

CITY OF BLOOMINGTON



SEPTEMBER 22, 2011 @ 5:30 p.m.
COUNCIL CHAMBERS #115
CITY HALL

ROLL CALL

MINUTES TO BE APPROVED: July 28, 2011

PETITIONS CONTINUED TO: October 20, 2011

- V-17-11 **Debby Herbenick**
528 S. Highland Ave.
Request: Variance from maximum fence height standards.
Case Manager: Jim Roach
- UV/V-34-11 **Options for Better Living**
1835 S. Highland Ave.
Request: Use variance to allow a multi-family use in a single-family zoning district. Also requested are variances from rear building setback, maximum impervious surface coverage, maximum number of primary structures and steep slope standards to allow construction of (2) duplexes and a group home.
Case Manager: Patrick Shay

REPORTS, RESOLUTIONS, AND COMMUNICATIONS:

PETITIONS:

- V-10-11 **Anita Sciscoe** (Bread of Life Soup for the Soul)
1300 S. Walnut St.
Request: Variance from sign standards to allow a projecting sign.
Case Manager: Eric Greulich
- UV/V-28-11 **CFC Properties, Inc.**
310 & 315 N. Grant St.
Request: Use variance to allow a hotel/motel use within a Residential Multi-family (RM) zoning district. Also requested is a package of variances from front, side and rear parking setbacks, side and rear building setback, and maximum impervious surface coverage standards.
Case Manager: Patrick Shay
- UV/V-33-11 **AT&T** (@ North Central Church of Christ)
2121 N. Dunn St.
Request: Use variance to allow an array of antennas inside a church steeple. Also requested are variances from height, maximum parking and landscaping standards.
Case Manager: Jim Roach

- V-37-11 **James Gronquist**
406 E. Hillside Dr.
Request: Variance from front and side yard building setback. Also requested is a variance from maximum density standards.
Case Manager: Eric Greulich

PETITIONER: Anita Sciscoe (Bread of Life Soup for Soul)
1300 S. Walnut St., Bloomington

REQUEST: The petitioner is requesting a variance from sign standards to allow a projecting sign.

SITE DESCRIPTION: The property is located at 1300 S. Walnut St. and is zoned Commercial General (CG). Surrounding land uses are a mix of various commercial uses and single family residences.

The property has been developed with a two-story, mixed-use building with 2 ground floor commercial spaces and apartments on the second floor. The petitioner is occupying one of the ground floor commercial spaces for a social service business and would like to reuse an existing projecting sign frame for a new projecting sign. Since the Unified Development Ordinance only allows projecting signs in the downtown zoning districts only, the petitioner is requesting a variance to allow an approximately 5 sq. ft. projecting sign at this location.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

STAFF FINDING: The granting of the variance from the standards will not be injurious to the public health, safety, morals, and general welfare. Staff cannot identify any negative impacts as a result of the proposed sign type.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

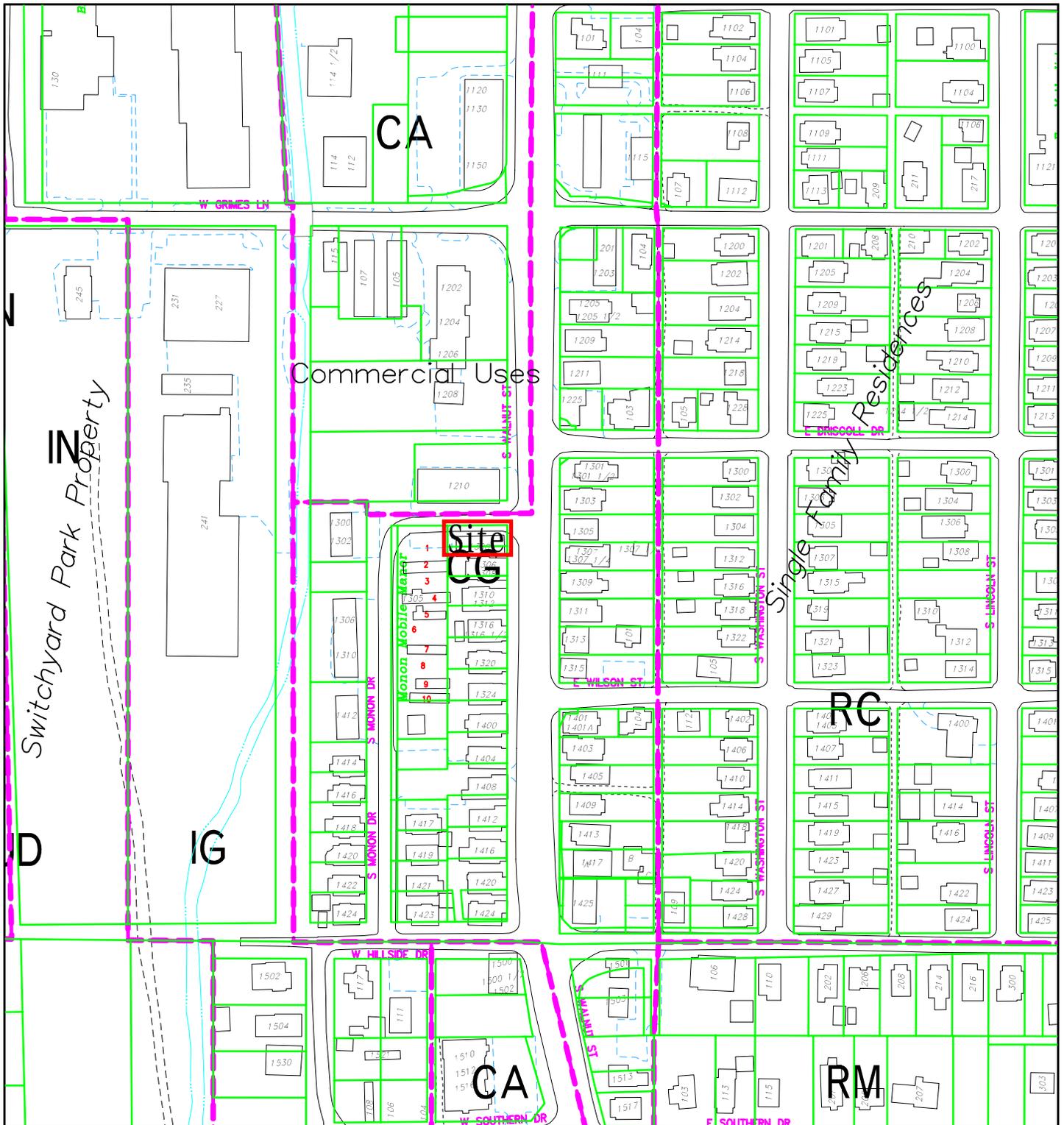
STAFF FINDING: Staff does not find any negative impacts to the surrounding uses or a negative impact on adjacent property values as a result of the proposed projecting sign.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

STAFF FINDING: Staff finds practical difficulty in that the minimal setback of 2' for the handicap accessible entrance and building from the front property line do not allow for the construction of a ground sign. A projecting sign would be the only type of sign that could provide signage perpendicular to the building to be seen by vehicles and pedestrians.

RECOMMENDATION: Staff recommends approval of V-10-11 with the following conditions of approval:

1. A sign permit shall be obtained prior to installation of the sign.
2. The petitioner forfeits the right to have a ground sign at this location as long as a projecting sign is used.



V-10-11 Anita Scisocoe (Bread of Life Soup for Soul)

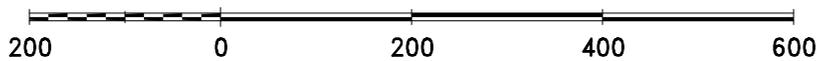
1300 S Walnut Street

Board of Zoning Appeals

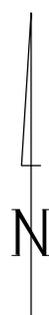
Site Location, Zoning, Parcels, Land Use

By: greulice

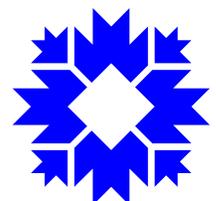
15 Sep 11



For reference only; map information NOT warranted.



City of Bloomington
Planning



Scale: 1" = 200'

Petitioners Statement

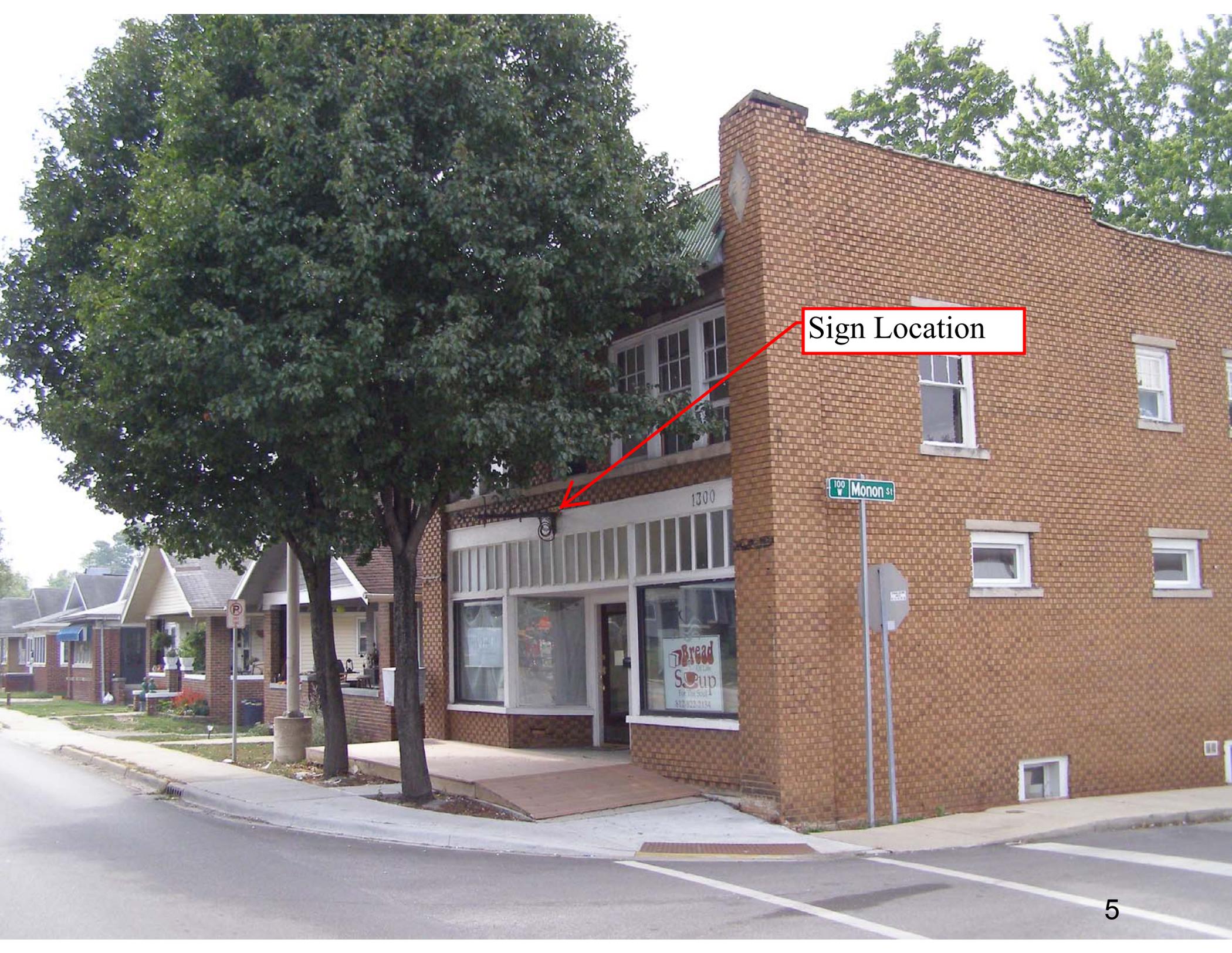
Bread of Life Soup for the Soul
1300 South Walnut Street #1
Bloomington, IN 47401



Bread of Life Soup for the Soul is a model of Christ like love and giving. It is without fail and without judgment that we offer a hand up not a hand out. We provide services such as, Wednesday night Bible studies in Spanish and English, Sunday school, Saturday Meals and Sunday school sack lunches. We also have a children's food pantry for those children that may have to cook their own meals. Free shopping in the thrift store is available to anyone seeking employment or for schooling purposes. Bread of Life also offers employment services and volunteer opportunities. All of our efforts are 100% community funded and volunteer driven with 100% of the funding raised going directly into our community service.

We are petitioning the City of Bloomington to allow us to place our professionally designed and made sign on the front of our building. This sign will help raise awareness to our organization and help community members find us. Our building is tucked behind two large trees and the view from the road is very limited. Our window signs for our thrift store and for the Sunday school program are hardly visible from the road. We desperately need our sign returned.

Many Blessings,
Anita Sciscoe President
812-822-2134

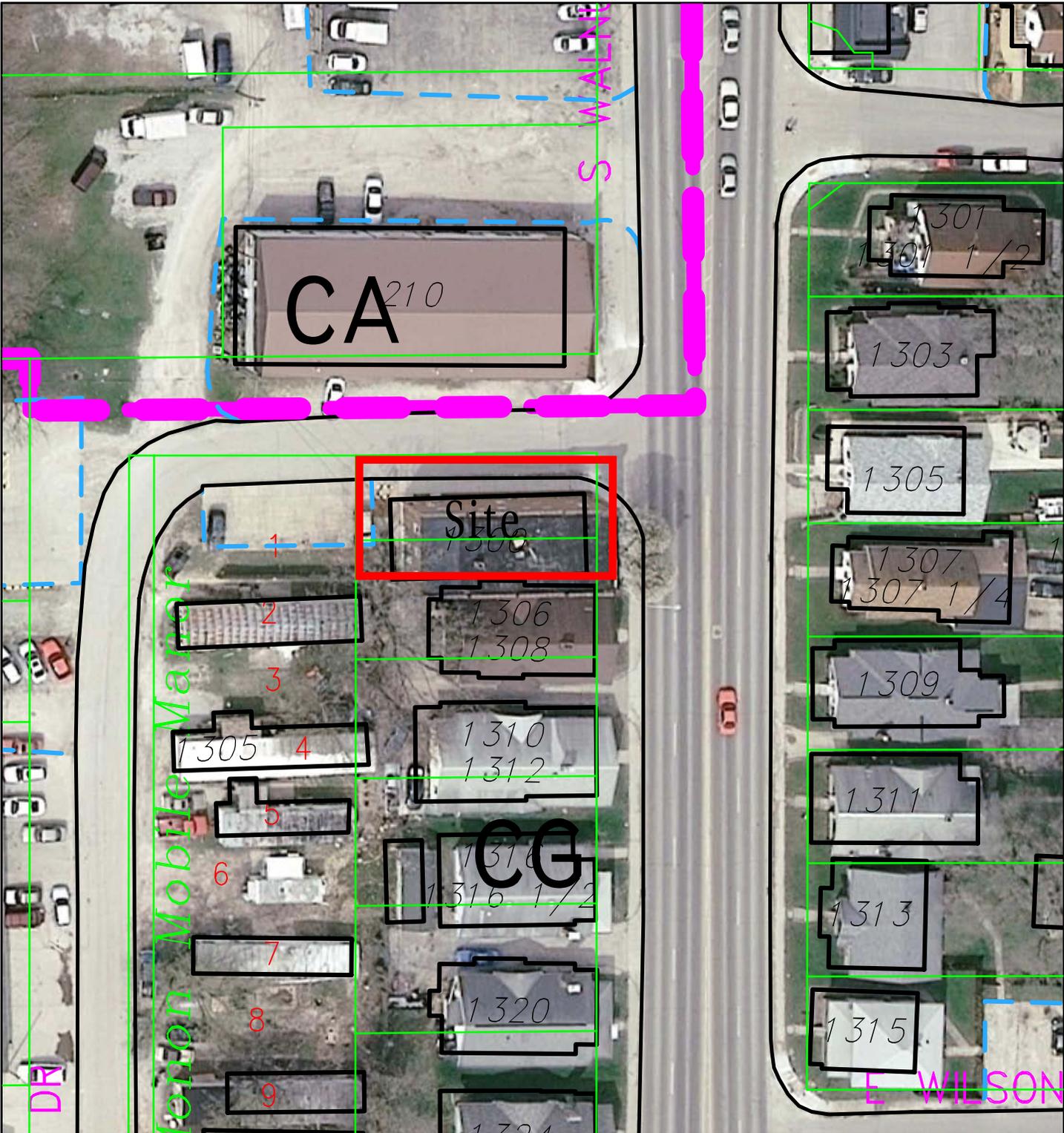


Sign Location

1300

100 W Monon St

Bread & Soup
For the Soul
812-222-2134



V-10-11 Anita Sciscoe (Bread of Life Soup for Soul)

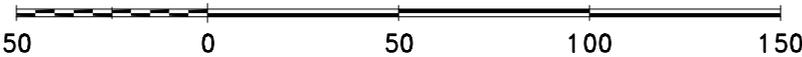
1300 S Walnut Street

Board of Zoning Appeals

2010 Aerial Photograph

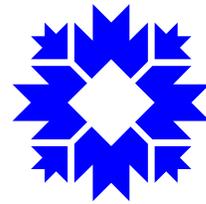
By: greulice

15 Sep 11



For reference only; map information NOT warranted.

City of Bloomington
Planning



Scale: 1" = 50'



**BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 315 & 310 N. Grant Street**

**CASE #: UV/V-28-11
DATE: September 22, 2011**

PETITIONER: CFC Properties
320 W. 8th St. Suite 200, Bloomington

REQUEST: The petitioner is requesting use variance approval to allow a hotel/motel use within a Residential Multifamily zoning district. Also requested is a package of variances from front, side and rear parking setbacks, side and rear yard building setbacks and maximum impervious surface coverage standards.

Zoning:	RM
GPP Designation:	Core Residential
Existing Land Use:	Vacant and Hotel/Motel
Proposed Land Use:	Hotel/Motel
Surrounding Uses:	North - Mixed-Residential South - Office (IU- Poplars Building), Mixed-Residential East - Office (Red Cross) West - Mixed-Residential

SUMMARY: The petitioner currently operates the Grant Street Inn at the northeast corner of N. Grant Street and E. 7th Street. They also own three vacant lots located on the west side of Grant St., one property south of E. 8th Street. All of these lots are zoned Residential Multifamily (RM). The surrounding area is also mostly zoned RM, with many residential uses located to the north and west. There are a mix of office and residential uses east of this property including offices for the Red Cross and Institutional (IN) zoning to the southeast that includes Indiana University's Poplars Building.

The existing Grant Street Inn received a use variance approval in 1991 to allow two historic homes to be used for a bed and breakfast use. The site later expanded and combined the two buildings, and in 1995 received approval to allow two additional structures to the north to be used for the business as well. This business has been successful and is now preparing for an additional expansion of their services. At this point, the business functions more like a small hotel/motel use. With the current RM zoning, the proposed expansion of the existing hotel/motel use requires a new use variance approval.

To accommodate this expansion, the petitioner is proposing to construct a small addition of approximately 184 square feet to the east side of the existing structure at the corner of 7th and Grant St. This will create an enlarged dining area. Also proposed is construction of a new structure on the three vacant lots to the west. The proposed 2-story structure on the west side of Grant St. would house 16 new guest rooms, a fitness center and a laundry area. The fitness center and the laundry area would be located within a proposed basement. The petitioner has also requested a package of variances to allow for the proposed construction. The variances are outlined below.

	UDO Standard	Proposed
Side yard setback (building - 310 and 315)	15'	5'
Rear yard setback (building – 315)	15'	8'8"
Front yard setback (parking – 315)	20' behind front façade	0'
Side and rear yard setback (parking -315)	7'	0'
Maximum back-out spaces	8	11
Maximum Impervious Surface Coverage (310)	40% (82% existing)	84%
(315)	40%	~45%

The petitioner has designed the building to be compatible with the surrounding buildings in both scale and architecture. The petitioner presented this proposal informally to the Historic Preservation Commission (HPC) for comment. Overall, the HPC was very supportive of the proposed construction. They also reviewed the proposed dining room addition of the existing building under the demolition delay ordinance. The expansion was approved to move forward without a recommendation to designate the structure. The petitioner also presented the proposed plans to the Old Northeast Neighborhood Association and received strong support for their proposal.

Although the site is vacant, there are a few trees that would be removed with the project. The petitioner is also seeking a variance from maximum impervious surface coverage standards of the RM zoning district. However, the petitioner has stated their intent to seek LEED certification of the proposed building and has also shown Class I bicycle lockers on the site plan, an upgrade from the required Class II bicycle racks.

Grant Street at this location has a very large right-of-way of 82.5 feet. The petitioner will be seeking Board of Public Works approval to allow several encroachments within the right-of-way as well as a designated handicap parking space along Grant Street. Some of these encroachments include steps, a handicap ramp and landscaping. By allowing these encroachments, the petitioner will be able to move the building forward to be more in line with surrounding structures.

20.09.140 CRITERIA AND FINDINGS FOR USE VARIANCE:

Findings of Fact: Pursuant to IC 36-7-4-918.4. the Board of Zoning Appeals or the Hearing Officer may grant a variance from use if, after a public hearing, it makes findings of fact in writing, that:

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

Staff Finding: Staff finds no injury with allowing the hotel/motel use to expand within this multi-family district. It will have similar impacts to other permitted and surrounding uses.

- (2) *The use and value of the area adjacent to the property included in the use variance will not be affected in a substantially adverse manner; and*

Staff Finding: Staff finds no negative impacts from the proposed use of a small scale hotel/motel. The proposed construction will only enhance the surrounding area. It will remove an existing vacant lot with a spill over gravel parking area. This is a positive investment into the area and will allow the expansion of a successful local business.

- (3) *The need for the use variance arises from some condition peculiar to the subject property itself; and*

Staff Finding: Staff finds peculiar condition in the combination of the properties in close proximity to the existing hotel/motel, the mix of uses in the immediate surrounding area, and the similar impacts of the proposed use to the permitted multi-family use of the district.

- (4) *The strict application of the terms of the Unified Development Ordinance will constitute an unnecessary hardship if they are applied to the subject property; and*

Staff Finding: Staff finds hardship in not permitting the proposed expansion of a desirable land use at the proposed location. Not approving the proposed use variance would require a traditional multi-family building to be constructed on this site. This area already has a heavy presence of multi-family rental units and impacts associated with this use.

- (5) *The approval of the use variance does not interfere substantially with the goals and objectives of the Growth Policies Plan.*

Staff Finding: The Growth Policies Plan (GPP) designates this area as Core Residential. This designation states that “*The predominant land use for this category is single family residential; however, redevelopment has introduced several uncharacteristic uses such as surface automobile parking, apartments, offices, retail space and institutional activities.*” Many of the areas designated as Core Residential were zoned Residential Core (RC), especially areas with a high percentage of single family homes.

The area in question has a higher percentage of multifamily and non-residential uses and was therefore zoned RM rather than RC. The Core Residential designation of the GPP also states that “*Multi-family...residential and neighborhood-serving commercial may be appropriate for this district when compatibly designed and properly located to respect and compliment single family dwellings.*” Staff finds that the proposed use is appropriate in scale and complimentary design based on the positive feedback and support gained from both the HPC and the surrounding neighborhood association.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may

be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

STAFF FINDING: Staff finds no injury with this petition. This redevelopment proposal will not create any safety risks and will only improve the surrounding area.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

STAFF FINDING: Staff finds no negative impacts from any of the proposed variances. The proposed construction will only enhance the surrounding area. It will remove an existing vacant lot with a spill over gravel parking area. This is a positive investment into the area and will allow the expansion of a successful local business.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

STAFF FINDING (Building Setbacks): Staff finds peculiar condition for these lots in the historic development patterns of the immediately surrounding area. The existing structures north and west of the proposed building as well as the existing building immediately east of the proposed addition to the existing Grant Street Inn all have non-conforming setbacks. The petitioner is seeking variances to allow for development standards similar to the surrounding area. The small nature of the lots and irregular shape of the western lot also contribute to the need for a variance. These lots were created long prior to the current minimum lot sizes and setback requirements of the RM district which can make redevelopment difficult without relief.

STAFF FINDING (Parking Setbacks): The UDO allows for parking within the 7 foot parking setback for a maximum of 8 back-out parking spaces along an adjacent alley. The petitioner needs a variance to have 11 spaces rather than 8. These spaces will be constructed of pervious pavers and will be split with 8 on the east/west alley and 3 along the north/south alley. Peculiar condition can be found in that these are not required parking spaces and are more efficient than a traditional parking lot. Furthermore, the proposed use has a much higher transient usage than most businesses. Staff finds the 3 extra spaces to be appropriate for this site.

STAFF FINDING (Impervious Surface Coverage): The existing Grant Street Inn building site has an approximately 82% impervious surface coverage. The

small addition to the dining room will nominally increase the impervious surface coverage to approximately 84%. The new site will have approximately 45% impervious surface coverage. Peculiar condition is found in the development patterns of the surrounding area. Staff finds hardship in not permitting the petitioner to develop in a pattern consistent with the surrounding area that was developed prior to current development standards. The smaller lot sizes created many situations with impervious surface coverage over 40%. Furthermore, the petitioner has mitigated any potential impacts through the use of pervious pavers for parking and a commitment to constructing the new building to LEED standards.

PLAN COMMISSION RECOMMENDATION: The Plan Commission voted 8:0 to forward the use variance request to the BZA with a positive recommendation. They concluded that the proposed use did not substantially interfere with the Growth Policies Plan.

CONCLUSION: Staff finds that the petitioner's request does not substantially interfere with the GPP. Furthermore, staff finds that the proposed use to be an appropriate expansion of a successful local business. The hotel/motel is very small in scale and compliments the residential character of the area. Staff also finds that the proposed commercial use will most likely have fewer negative impacts to the surrounding area than a permitted multifamily apartment building. Furthermore, staff finds all requested variances to be appropriate for the lots in question.

RECOMMENDATION: Staff recommends approval of UV/V-28-11 with the following conditions:

1. Proposed parking spaces shall be constructed of pervious pavers.
2. A grading permit is required prior to any construction or land disturbing activities.
3. Any changes within the public right-of-way must be approved by the Public Works Department.

Updated 8/1/11



CFC PROPERTIES
320 W. EIGHTH ST., SUITE 200
P.O. BOX 729
BLOOMINGTON, IN 47402-0729 U.S.A.
PHONE: 812.332.0053 FAX: 812.333.4680
WWW.CFCINCORPORATED.COM

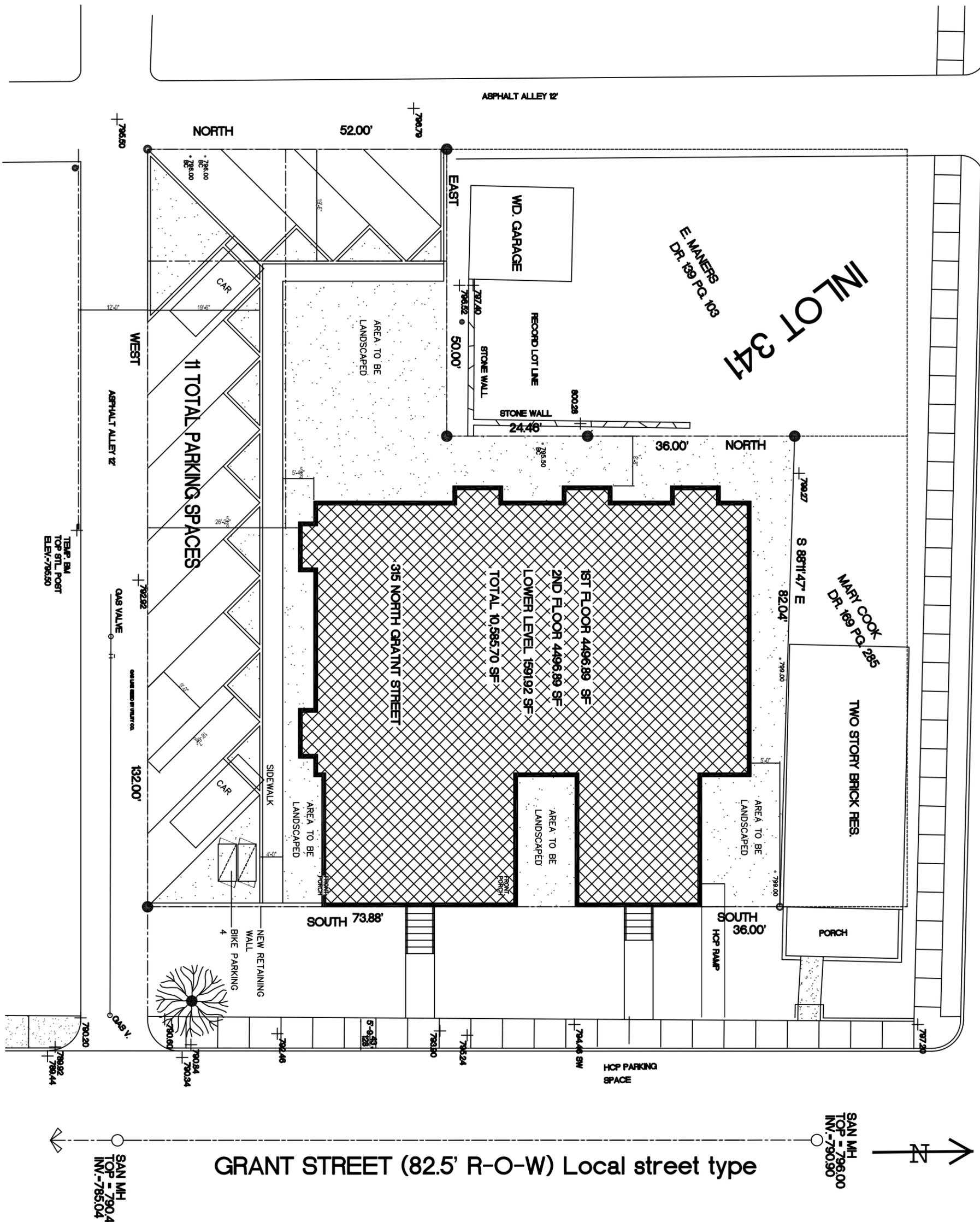
CFC proposes to construct a two-story building on the vacant lots located at 315, 317 and 319 North Grant Street. The new construction will be an expansion to the Grant Street Inn. The new building will include 16 guest rooms, a fitness center and laundry area. The fitness center and laundry area will be located on the lower level of the two-story building facing south. Each guest room will be approximately 390 square feet in size.

In addition, the existing building at 310 North Grant Street, known as the Ziegler House, will undergo a dining room expansion to the east which will add an additional 184 square feet to accommodate the added guest rooms. There will be 9 parking spaces which will be located to the south of the new building at 45 degree angled spaces. CFC plans for the building to be LEED certified. CFC requests a Use Variance to Hotel/Motel in a Residential Multifamily zone as the area is currently zoned Residential Multi-Family.

UV/V-28-11

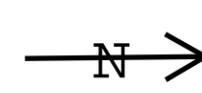
(Revised)
Petitioner's Statement

EIGHTH STREET



LOT 341

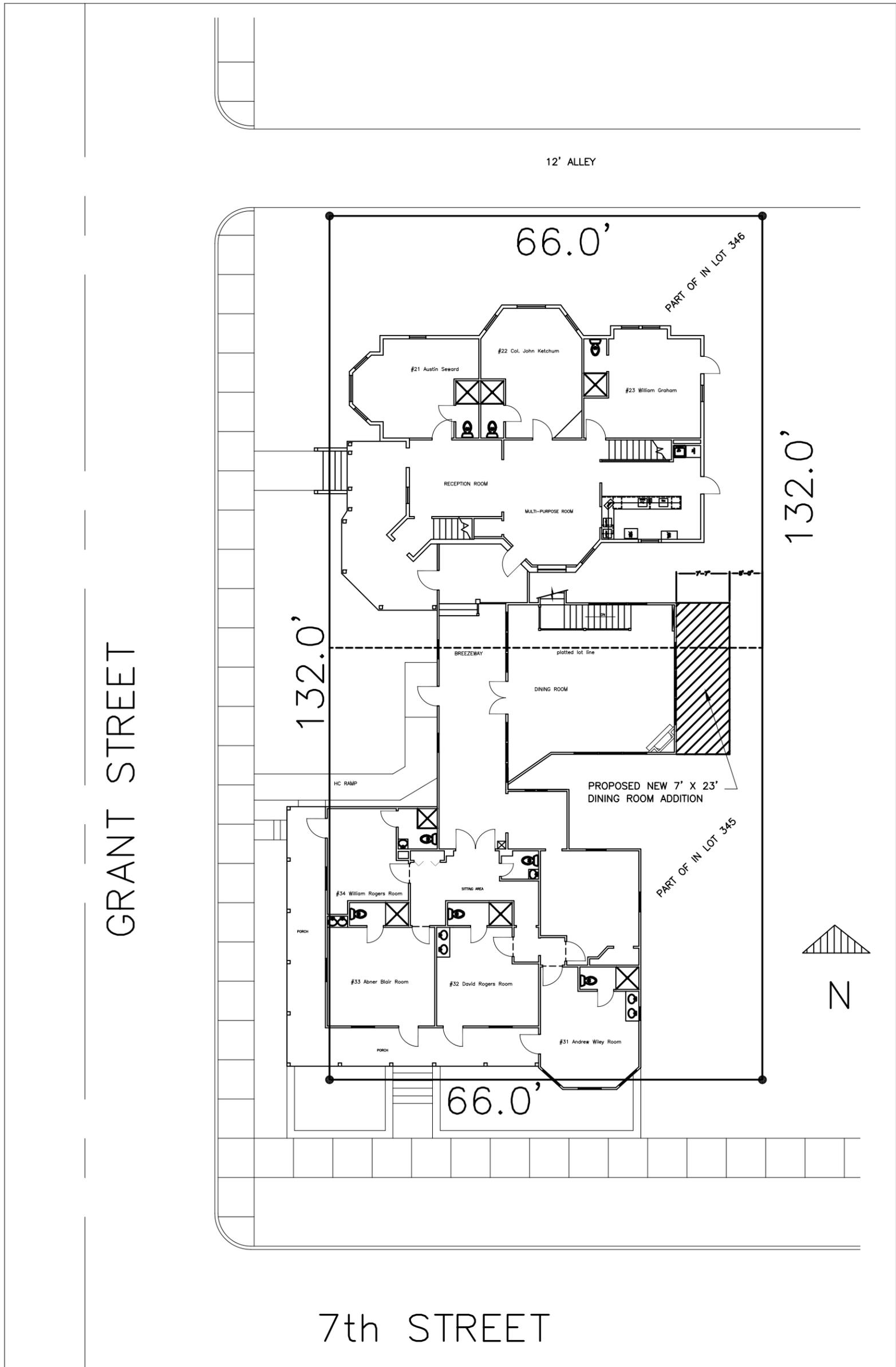
SAN MH
TOP = 796.00
INV. = 790.90



GRANT STREET (82.5' R-O-W) Local street type

SAN MH
TOP = 790.48
INV. = 785.04

UV/V-28-11
SITE PLAN (315 N. GRANT)



SITE PLAN Scale: 1/16" = 1'-0"

REVISED SETBACK 7-27-2011

UV/V-28-11

SITE PLAN (310 N. GRANT)

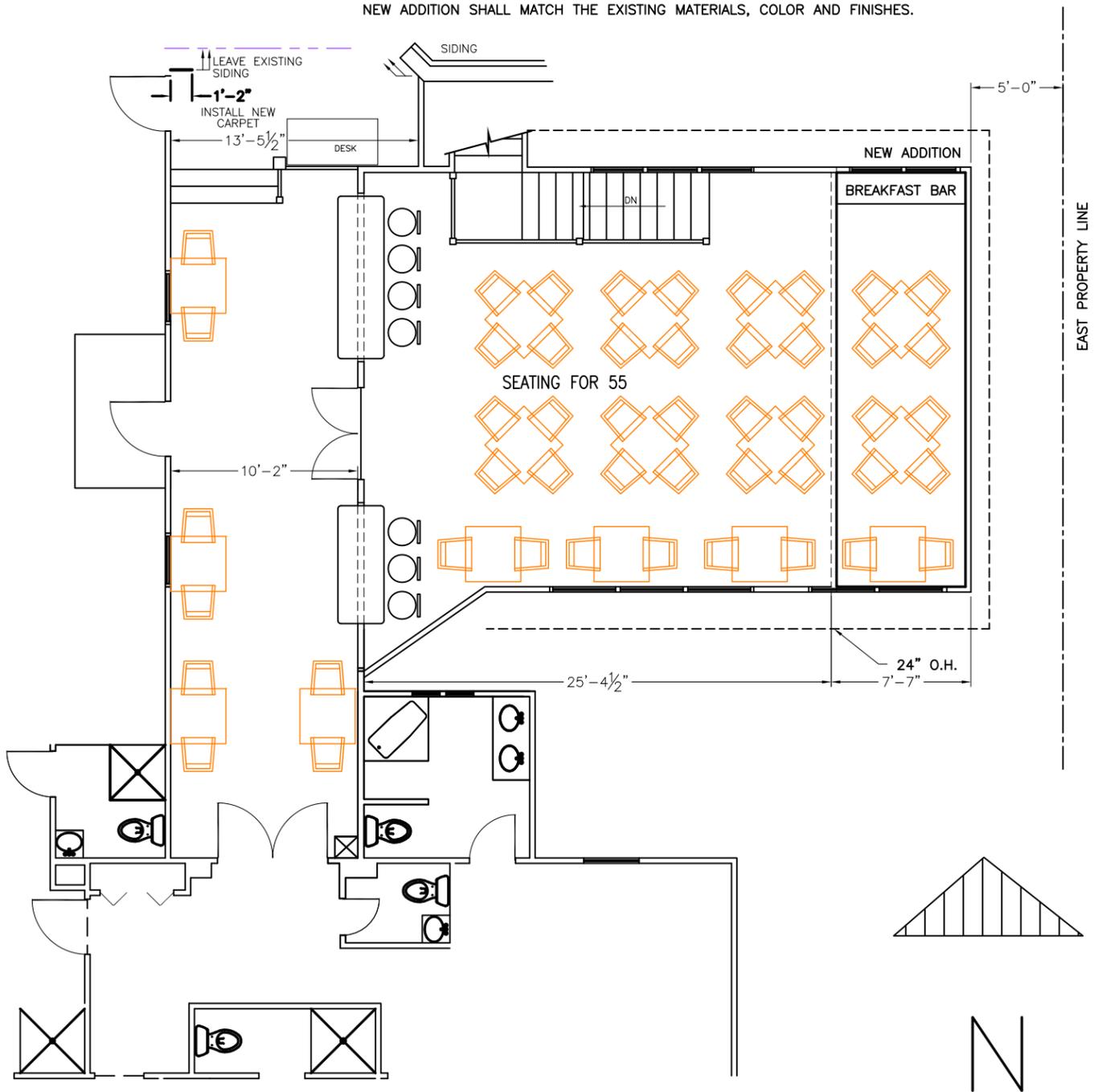


PHOTOGRAPH LOOKING NORTHWEST



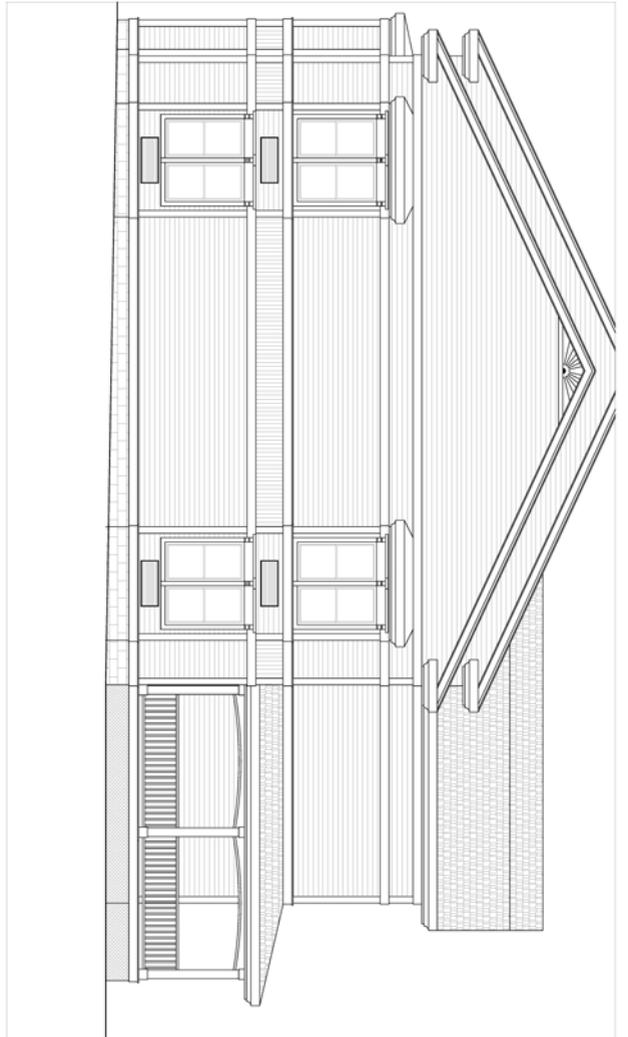
PHOTOGRAPH LOOKING SOUTHWEST

NEW ADDITION SHALL MATCH THE EXISTING MATERIALS, COLOR AND FINISHES.



FLOOR PLAN Scale: 1/8" = 1'-0"

REVISED SETBACK 7-27-2011



SOUTH ELEVATION

scale 1/4" = 1'-0"

UV/V-28-11
PROPOSED ELEVATION



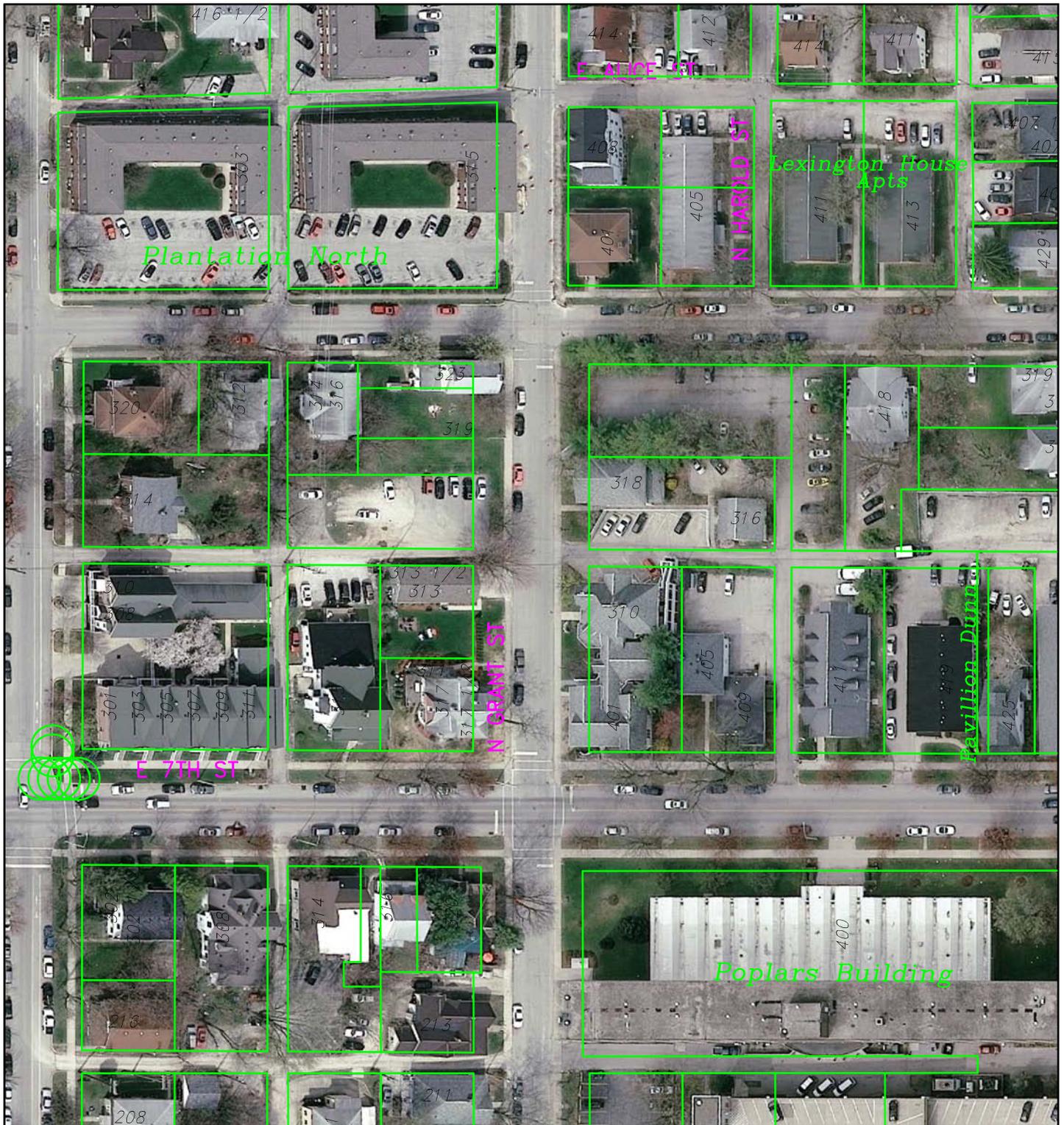
EAST ELEVATION

scale 1/4" = 1'-0"

<p>PROJECT DESCRIPTION:</p> <p>GRANT STREET INN EXPANSION</p>	<p>PROJECT ARCHITECT:</p>	<p>FOOD SERVICE CONSULTANT:</p>	<p>INTERIOR DESIGN CONSULTANT:</p>	<p>MECHANICAL ENGINEER:</p>	<p>STRUCTURAL ENGINEER:</p>
<p>PROJECT NUMBER:</p> <p>A.1</p>					<p>17</p>

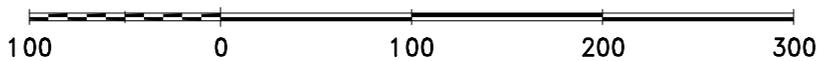


UV/V-28-11
PROPOSED RENDERING



UV/V-28-11 CFC PROPERTIES
 AERIAL PHOTO

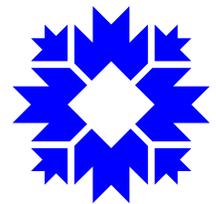
By: shapp
 8 Sep 11



For reference only; map information NOT warranted.



City of Bloomington
 Planning



Scale: 1" = 100'

**BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 2121 N. Dunn Street**

**CASE #: UV/V-33-11
DATE: September 22, 2011**

PETITIONER: Jeff Kellerman, AT&T
900 E. 96th St. Indianapolis, IN 46240

CONSULTANT: Allen Hughes
3115 Albright Ct. Indianapolis, IN 46268

REQUEST: The petitioners are requesting use variance approval to allow an array of cellular antennas inside of a church steeple in a Residential High-Density Multifamily (RH) zoning district.

The petitioners are also requesting development standards variances from maximum building height, landscaping standards, the maximum number of parking spaces, and maximum wall height.

SUMMARY: The property is located on the southwest corner of the SR 45-46 Bypass and N. Dunn Street and is zoned Residential High-Density Multifamily (RH). The property contains a 15,170 square foot church building for the North Central Church of Christ. Surrounding uses include Cedar Creek Apartments to the south, single family houses to the north, single family houses to the west and Memorial Stadium to the east.

The petitioners propose to remove the existing church steeple and replace it with a steeple with a cellular antenna array completely hidden within it. The proposed steeple will be virtually indistinguishable from the existing one. The petitioners also propose to add a 735 square foot concrete pad with telecommunications equipment to the rear of the church. The equipment will be surrounded by a 13 foot tall stone masonry wall, which will match the existing church exterior. The masonry wall will be screened with evergreen trees.

The petitioners are requesting a Use Variance to allow this use on the subject property within the RH zoning district. Additionally, the petitioners are proposing that the new steeple be built to the same height as the existing steeple. The maximum building height allowed in the RH district is 50 feet, which would allow a steeple to be 62.5 feet tall. The proposed steeple will be 86 feet tall. However, the rest of the building will remain less than 50 feet.

Because adding the communication facility use to the property is a change in use, other various improvements are required by the Unified Development Ordinance (UDO), including the installation of landscaping, the removal of parking spaces above the maximum allowed, sidewalk construction, and bike parking. The petitioner is proposing a variance from landscaping and maximum parking spaces.

Lastly, the petitioners propose to surround the telecommunications equipment area with a 13-foot tall masonry wall. The maximum wall or fence height allowed by the UDO is 8 feet.

PLAN COMMISSION RECOMMENDATION: The Plan Commission reviewed the use variance request at their September 12, 2011 meeting. The Plan Commission voted 8:0 to forward the use variance request to the BZA with a positive recommendation.

20.09.140 CRITERIA AND FINDINGS FOR USE VARIANCE:

Pursuant to IC 36-7-4-918.4. the Board of Zoning Appeals or the Hearing Officer may grant a variance from use if, after a public hearing, it makes findings of fact in writing, that:

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

Staff Finding: Staff finds no injury with the communication facility use.

- (2) *The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner; and*

Staff Finding: Staff finds no substantial adverse impacts to the adjacent area from this request. Cellular towers are partially regulated due to their aesthetic impacts to the community. With this request, the arrays will be hidden from view and the appearance of the existing church will not be substantially altered.

- (3) *The need for the variance arises from some condition peculiar to the property involved; and*

Staff Finding: Staff finds peculiar condition in that this is an institutional use with a large property. Communication facilities are permitted within Institutional zoning districts. Although this property is zoned multifamily, it is an institutional use adjacent to a very large institutional district, Indiana University.

- (4) *The strict application of the terms of the Unified Development Ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought; and*

Staff Finding: Staff finds the strict application of the UDO will constitute an unnecessary hardship because the UDO does not distinguish between zoning districts where cellular towers are permitted and zoning districts where cellular antenna arrays attached to or within a building are permitted. The impacts of stand alone cellular towers are different and more substantial than antennas disguised within or on a structure not associated with the communication facility use. Furthermore, the property in question allows for significant setbacks to adjacent residential uses.

(5) *The approval does not interfere substantially with the Growth Policies Plan.*

Staff Finding: The GPP designates this property as “Urban Residential”. The fundamental goal of these areas is to “encourage the maintenance of residential desirability and stability.” The Plan Commission found that the proposed use will not substantially interfere with the goals of the GPP as the cellular antenna array will be completely camouflaged and will have no known negative impacts on the surrounding area.

20.09.130 (e) CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE:

A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

1. *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

Staff’s Finding: Staff finds no injury with the petition. The proposed antenna will have a significant setback from any residential uses.

2. *The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.*

Staff’s Findings:

Steeple Height: There has been no known negative impact to the use and value of adjacent property from the existing steeple height. The proposal will replace the existing steeple with one of the same height as the existing. The large size of the property and the large setback of the church from adjacent properties further limit any impact of the steeple height.

Landscaping and Parking Spaces: There has been no known negative impact to the use and value of adjacent property from the existing nonconforming landscaping and parking spaces above the maximum allowed. The proposal will not change these existing conditions.

Wall Height: Staff finds no adverse impact to the use and value of adjacent property from the proposed 13-foot wall. The wall will be screened with evergreens and designed to look like a room addition to the church, further disguising the communication facility use. The wall will be setback a significant distance from the adjacent highway and will be lower than the church structure.

3. *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are*

peculiar to the property in question; that the variance will relieve practical difficulties.

Staff's Findings:

Steeple Height: Staff finds peculiar condition in a large property and the replacement of the existing steeple with a steeple of the same height. The large property allows the steeple to have significant setbacks from adjacent properties.

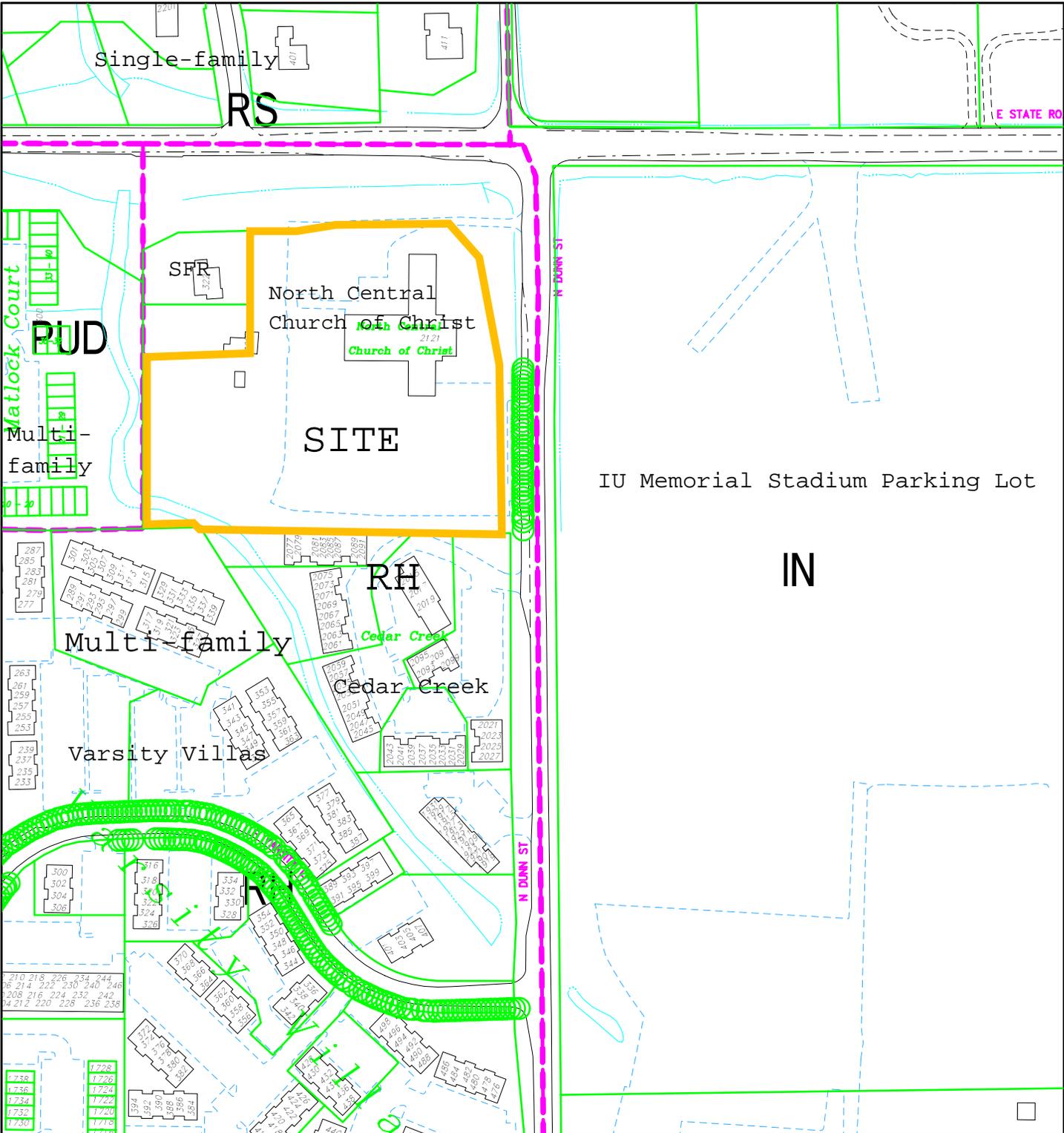
Landscaping and Parking Spaces: Staff finds peculiar condition in the level of site improvements required by the UDO for a minor change in use. The level of investment required to bring the site to current landscaping and maximum parking standards is not proportional to the change in use. Staff recommends delaying these improvements until a larger expansion or change of use is proposed.

Wall Height: Staff finds peculiar condition in the communication facility use in conjunction with an existing church use and building. The wall surrounding the telecommunications equipment is designed to look like a room addition to the church, and the existing first story of the church is taller than eight feet tall. The taller wall height will also allow an existing elevated door on the rear of the church to be screened from view.

CONCLUSION: Staff finds that this is an innovative solution to increase cellular capacity near Indiana University, where there is a high density of high demand users. The communication facility use will not be evident from the exterior of the building. Staff finds that the development standards variances are appropriate considering the use and existing conditions.

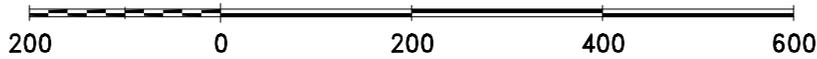
RECOMMENDATION: Based upon the written findings above, staff recommends approval of UV/V-33-11 and the requested variances with the following conditions:

1. Any future change in use, expansion, enlargement, or relocation of any use; reestablishment of a prior nonconforming use that has been discontinued for a period of twelve months or longer; or addition to any building of more than 10 percent of the gross floor area shall be brought into compliance with current development standards to the extent required by *Subsection 20.08.060* in the UDO.
2. Sidewalks shall be provided along all abutting frontage on N. Dunn Street.
3. A minimum of 13 bicycle parking spaces shall be provided.
4. The masonry wall around the telecommunications equipment shall be screened with evergreens.



UV/V-33-11, AT&T
 2121 N. Dunn St.
 Land Use and Zoning

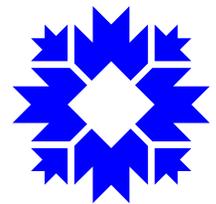
By: bannok
 8 Sep 11



For reference only; map information NOT warranted.



City of Bloomington
 Planning



Scale: 1" = 200'

**PETITION FROM AT&T TO PLACE A STEALTH CELLULAR TELEPHONE SYSTEM AT THE NORTH
CENTRAL CHURCH OF CHRIST, 2121 NORTH DUNN STREET, BLOOMINGTON, IN**
August 16, 2011

Ladies and Gentlemen,

AT&T Mobility along with The North Central Church of Christ is proposing to develop a wireless cellular site on the churches property.

The petitioner is asking for a variance in use to allow antennas and equipment for the purposes of sending and receiving cellular radio signal. Communication towers and equipment are not permitted uses in the RH zoning district. All equipment to be either inside the church structure itself or hidden behind a wall that matches the church building materials outside the church. The petitioner is asking for a variance in height for the church steeple. The current steeple height does not meet code now, but we would merely be replacing the existing steeple exactly as is with the exception of the material used that permits the transference of radio signal through the material.

The petitioner is asking for a variance in landscaping for the existing parking areas, due to a "change in use". The church needs all of the parking to accommodate the church seating capacity of 768. There are 190 parking spaces located in the churches adjacent parking areas.

The petitioner is asking for variance in maximum parking, due to the "change in use" of the property. Changes in use require compliance with parking standards. This variance will allow the continuation of the status quo until there are further changes on the property. This request is not increasing the intensity of the primary use of the property, the church.

As a part of this petition AT&T would like to make as a condition of approval the installation of required sidewalks along Dunn Street between State Roads 45 & 46 and the churches southernmost boundary as well as the location of 13 bicycle parking locations that meet City Code. If possible the sidewalk would be coordinated with the State project, but if the timing does not work out we will have private contractors complete the sidewalk per State specifications.

AT&T has been looking for a site with appropriate zoning for several years in close proximity to the Indiana University Campus. AT&T currently has antennas located on the old State Police Tower at SR 45 & 46 and Fee Lane. AT&T has an arrangement with Indiana University to lease that site on a per 6 month basis. It is our understanding that the property on which the tower is currently located is sometime in the near future going to become athletic fields and the tower is being removed. AT&T needs to find another suitable location for antennas. This cellular site is a Capacity site. It is needed to absorb AT&T cellular wireless traffic that other sites around the City cannot handle. With the explosion of the wireless industry, phones, ipads,

UV/V-33-11

PETITIONER'S STATEMENT

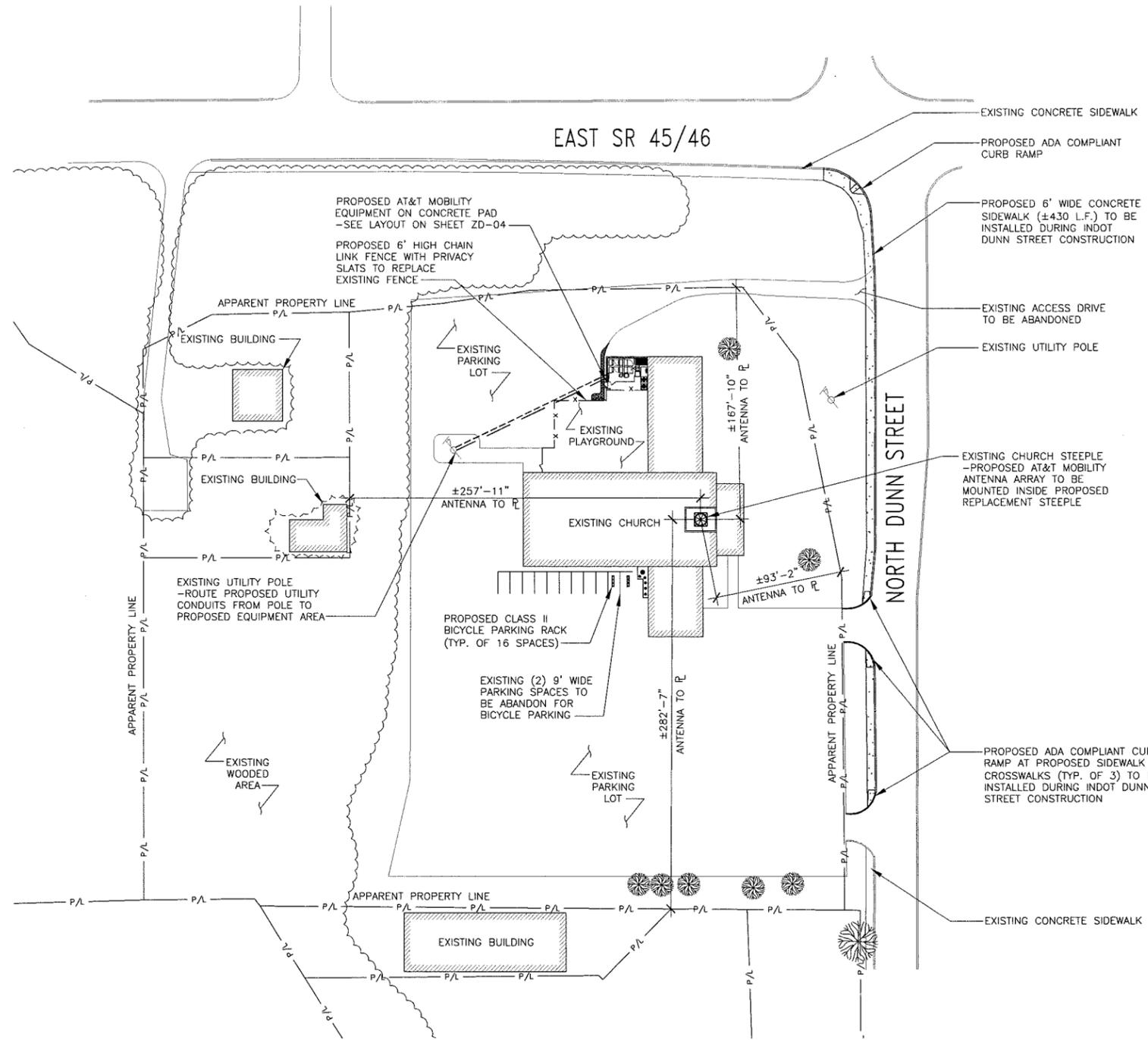
wireless computers, etc. there needs to be antennas to pick up and transmit the signal. Indiana University has a mass or captive user of wireless electronics who need to be served. AT&T has the temporary site on the old State Police tower, which we will lose in the future, and have only been successful over the past several years in negotiating one antenna location on campus at the Heating Plant at 10th & Fee Lane on the smoke stack. All other proposals of rooftop and stealth type proposals have been denied. AT&T did recently determine not to locate on the Indiana University facility on Sare Road. AT&T has attempted to encircle the campus, but that does not give sufficient in-building coverage or capacity to students, faculty or staff.

AT&T has used stealth technology in many locations throughout the US with great success. AT&T approached the Church of Christ with the idea of replacing their steeple with an almost exact duplicate, same height, style, shape and color only this steeple would house cellular antennas. The church was interested so we proceeded. An area north of the church will be designed to hold all of the cabinets, radios and other equipment necessary to operate the site. The cable from the equipment to the antennas will run through the roof joists and chases – all electrical will be underground. The equipment will be surrounded by a wall made of the same material as the church and will be landscaped per City code. The steeple will look no different and the enclosed equipment area will blend with the balance of the church. Due to the size and shape of the steeple and the size and configuration of the equipment this steeple facility will be able to house only one carrier – AT&T.

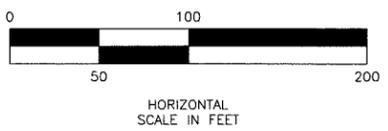
You should be able to get a very good idea of the project through the viewing of the building elevations and the photo simulations.

Please find along with this petition a copy of the completed application, a notarized copy of the affidavit from the church giving AT&T the right to petition, building elevations and drawing, photo simulations and an engineer's statement concerning design and wind load.

Allen E. Hughes
AT&T Consultant
Project # - IN0642



PROPOSED OVERALL SITE PLAN
SCALE: 1" = 100'

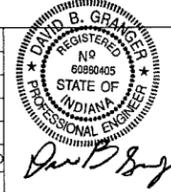


NOTE:
THE INFORMATION SHOWN IS NOT BASED ON AN ACTUAL FIELD SURVEY AND IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION OPERATIONS ON THE SITE:
HOLEY MOLEY: 1-800-382-5544
AT&T MOBILITY, MR. JEFF KELLERMAN: 317-581-2507
CPD GROUP, MR. TREVER POWERS: 317-299-2996
GOODMAN NETWORKS, MR. DAVID GOODMAN: 214-686-5727
- COORDINATION OF ALL WORK PERFORMED ON OR INSIDE THE BUILDING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WITH THE APPROVAL OF THE BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL GOVERNING AGENCIES THAT REQUIRE SITE INSPECTIONS.
- ALL WORK SHALL BE CONFINED TO THE LEASE AND/OR ACCESS AREAS, UNLESS AGREEMENT AND CONSENT IS OBTAINED FROM THE BUILDING MANAGEMENT.
- EXISTING CONDITIONS ARE SHOWN FROM EXISTING BUILDING PLANS AND A SITE INSPECTION CONDUCTED ON NOVEMBER 17, 2010 AND ARE NOT NECESSARILY COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, EXPOSE, AND DETERMINE IF CONFLICTS EXIST WITH THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER (GPD GROUP) IN ORDER TO RESOLVE ANY CONFLICTS. EXISTING BUILDING FACILITIES OR STRUCTURES DAMAGED SHALL BE REPAIRED OR REPLACED, AS NEEDED, ADD APPROVED BY THE BUILDING MANAGEMENT IN LIKE KIND AND CHARACTER.
- THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL REQUIRED TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR GOVERNING LOCAL AGENCY.
- THE CONTRACTOR SHALL SEAL ALL NEW AND EXISTING PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIES, CABLES, AND CONDUITS IN EXISTING AND NEW FIRE RATED FLOORS, CEILINGS, AND WALLS AFFECTED BY THE WORK. PROVIDE "CHASE-FOAM, CTC PR-855 FIRE RESISTANT FOAM SEALANT; HUNTINGTON STATION, NEW YORK OR APPROVED EQUAL BY A/E. THE FIRE RATING OF THE PENETRATION SEAL SHALL BE AT LEAST THAT OF THE FLOOR, CEILING OR WALL INTO WHICH IT IS INSTALLED. FOAM SEALANT SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR AND MATERIALS FOR THE INSTALLATION FOR THE RADIO EQUIPMENT CABINET COMPOUND, PLAYGROUND FENCING, ANTENNA CONCEALMENT STEEPLE, ANTENNAS, CABLE TRAY, BUILDING REPAIRS AND ELECTRICAL SERVICE UNLESS NOTED OTHERWISE IN THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL EXISTING FLOOR, CEILING, ROOF, WALL, FINISHES, ASPHALT PAVEMENT AND LANDSCAPING DISTURBED DURING THE DEMOLITION AND GENERAL CONSTRUCTION PHASES OF THE WORK. PROVIDE ALL LABOR AND MATERIALS AS REQUIRED TO RESULT IN A SMOOTH FINISH SURFACE TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL REMOVE ALL TRASH CREATED BY HIMSELF OR HIS SUBCONTRACTORS DUE TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL ALSO REMOVE TRASH CREATED BY OTHER CONTRACTORS INCLUDING CABLE REELS, CARDBOARD BOXES AND PACKING. ALL DEBRIS SHALL BE REMOVED IN A TIMELY FASHION TO A LEGAL DISPOSAL FACILITY.
- THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO INSTALL THE ANTENNAS, COAX CABLES AND GROUNDING. THE ANTENNAS & COAX CABLES SHALL BE PROVIDED BY CONTRACTOR.
- THE RADIO EQUIPMENT CABINETS SHALL BE FURNISHED AND INSTALLED BY OTHERS.
- ALL WORK PERFORMED ON THE EXISTING BUILDING STRUCTURE WILL REQUIRE SPECIAL NIGHT, WEEKEND OR EARLY MORNING OVERTIME HOURS. THIS WORK WILL INCLUDE BUT NOT BE LIMITED TO DRILLING IN EXISTING BEAMS, HEAVY MATERIALS PLACEMENT AND ROOF PENETRATIONS. ALL WORK WILL BE REQUIRED TO BE CONDUCTED TO MINIMIZE NOISE AND DISRUPTION TO EXISTING BUILDING PERSONNEL. AFTER HOUR WORK MUST BE COORDINATED WITH BUILDING MANAGEMENT.
- USE OF ELEVATORS FOR INSTALLATION OF NEW MATERIALS AND REMOVAL OF REMOVED MATERIAL SHALL BE PROPERLY SCHEDULED THROUGH THE BUILDING MANAGEMENT/MAINTENANCE AND THE ENGINEER. ELEVATORS SHALL BE USED FOR FREIGHT PURPOSES ONLY DURING THE MID MORNING AND MID AFTERNOON HOURS TO MINIMIZE THE EFFECT ON EXISTING PERSONNEL DURING BUSY HOURS. CONTRACTOR SHALL COORDINATE ELEVATOR USAGE WITH THE BUILDING MANAGER AND PROVIDE PROTECTIVE WALL COVERINGS DURING CONSTRUCTION.
- PHOTOGRAPHS OF THE CONSTRUCTION SHALL BE TAKEN DURING ALL PHASES OF PROGRESS. A COMPREHENSIVE BOOK OF THESE PHOTOS SHALL BE TRANSMITTED TO AT&T MOBILITY FOR RECORD PURPOSES.
- DAILY WRITTEN REPORTS SHALL BE MADE TO GOODMAN NETWORKS, Mr. CHARLIE HARDY (512) 825-0995.
- CONTRACTOR SHALL SUBMIT 6 SETS OF SHOP DRAWINGS AND CATALOG DATA FOR ALL MATERIAL AND EQUIPMENT USED FOR ACCEPTANCE BEFORE SUCH ITEMS ARE ORDERED OR FABRICATED FOR THE JOB. SHOP DRAWING NOT STAMPED WITH CONTRACTOR APPROVAL WILL BE RETURNED FOR REPROCESSING.
- CONTRACTOR TO PROVIDE WALK BOARDS TO PROTECT EXISTING CEILING FRAMING DURING CONSTRUCTION. WALK BOARDS WILL PERMANENTLY INSTALLED FOR OWNER'S/TENENAT'S USE UPON COMPLETION OF PROJECT.
- THE CONTRACTOR SHALL MAINTAIN A COMPLETE AS-BUILT SET OF PLANS AND CONDITIONS, AND SUBMIT SAME TO THE ENGINEER WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. THE AS-BUILT PLANS SUBMITTED TO THE ENGINEER SHALL INCLUDE A DRAWING WITH DIMENSIONS SHOWING THE LOCATION OF THE RADIO EQUIPMENT PLATFORM, ANTENNA POSITIONS AND ORIENTATION, ALL NEW UTILITIES AND GROUNDING CONDUIT ROUTING.

UV/V-33-11
SITE PLAN



GPD GROUP
Glaus, Pyle, Schomer, Burns & Delaven, Inc.
8275 Allison Pointe Trl., Suite. 220 317-299-2996
Indianapolis, IN 46250 Fax 317-293-1331
GPD JOB# 2010042.99

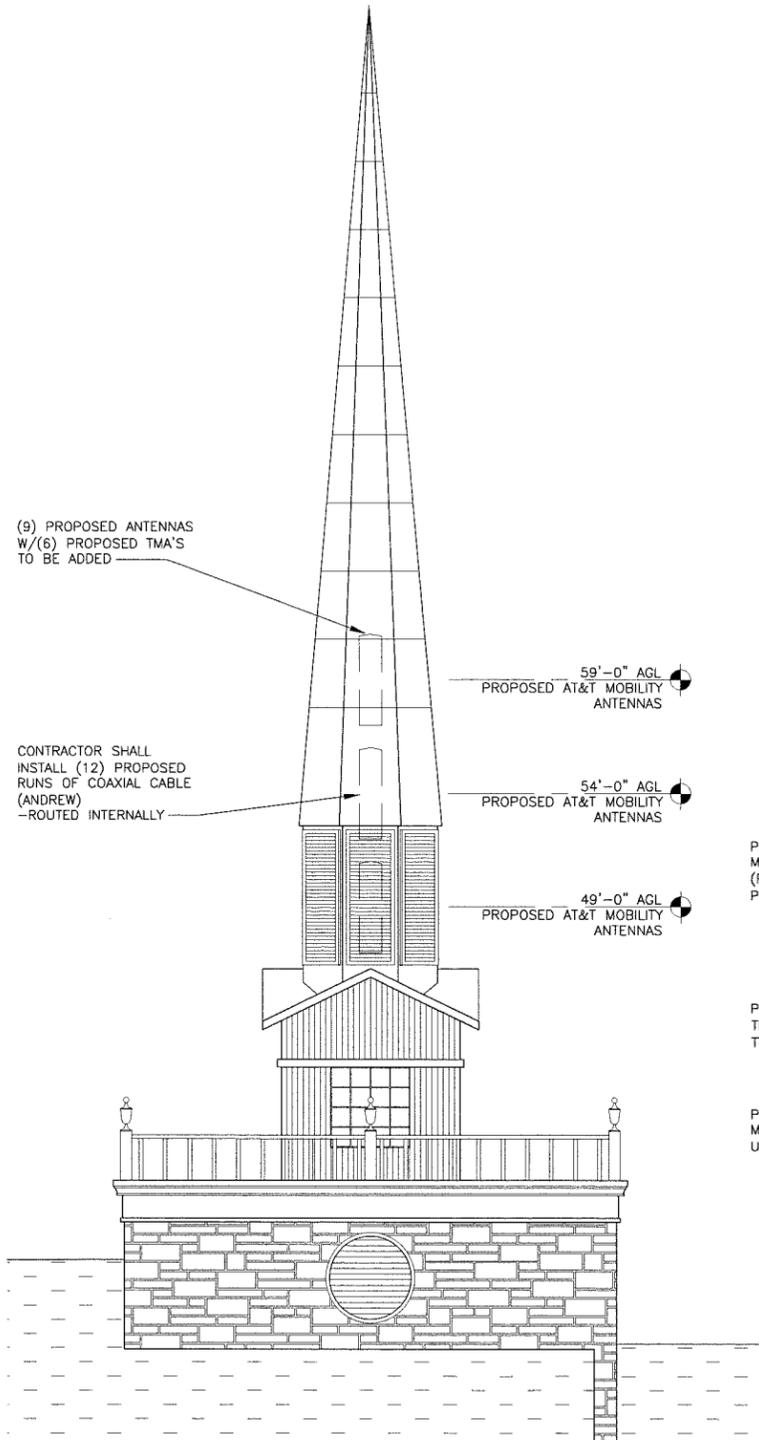
Goodman Networks
Network Knowledge... Delivered.

SITE NAME: BLOOMINGTON
SITE NUMBER: IN0642
2121 NORTH DUNN STREET
BLOOMINGTON, IN 47408
MONROE COUNTY

at&t
900 EAST 96TH. STREET
SUITE 500
INDIANAPOLIS, INDIANA 46240

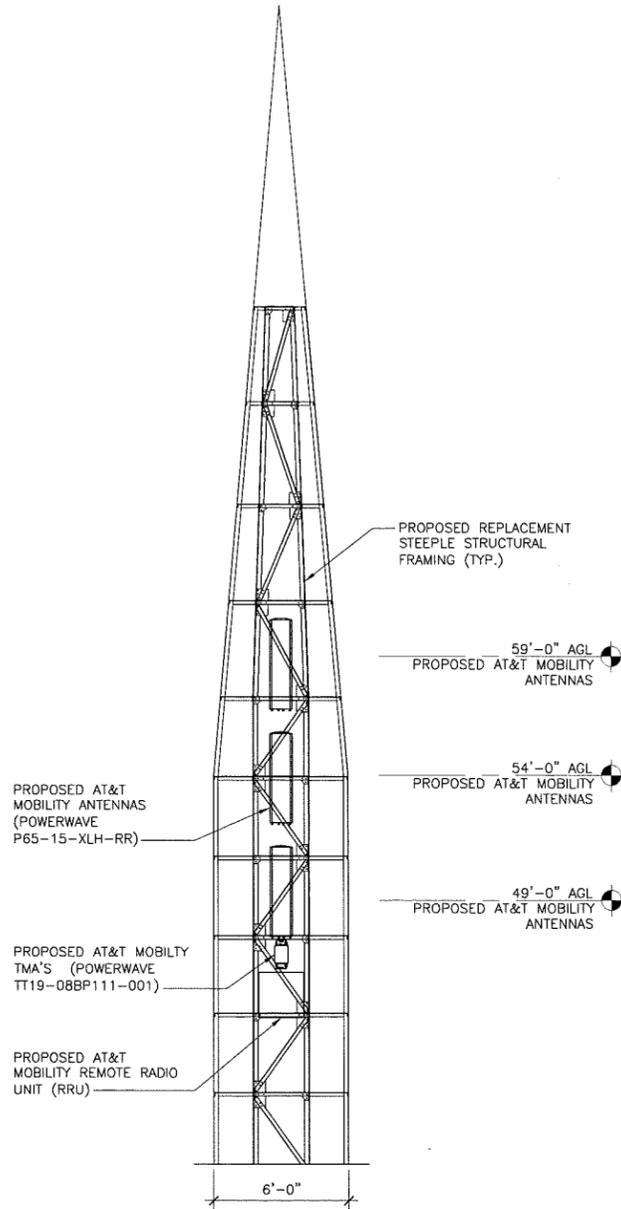
NO.	DATE	REVISIONS	BY	CHK	APP'D
A	08/16/11	ISSUED FOR ZONING REVIEW	JBA	LJB	TTP
SCALE: AS SHOWN		DESIGNED BY: MKS	DRAWN BY: MKS		

AT&T MOBILITY
PROPOSED OVERALL SITE PLAN
DRAWING NUMBER
IN-0642-ZD-03 **27**



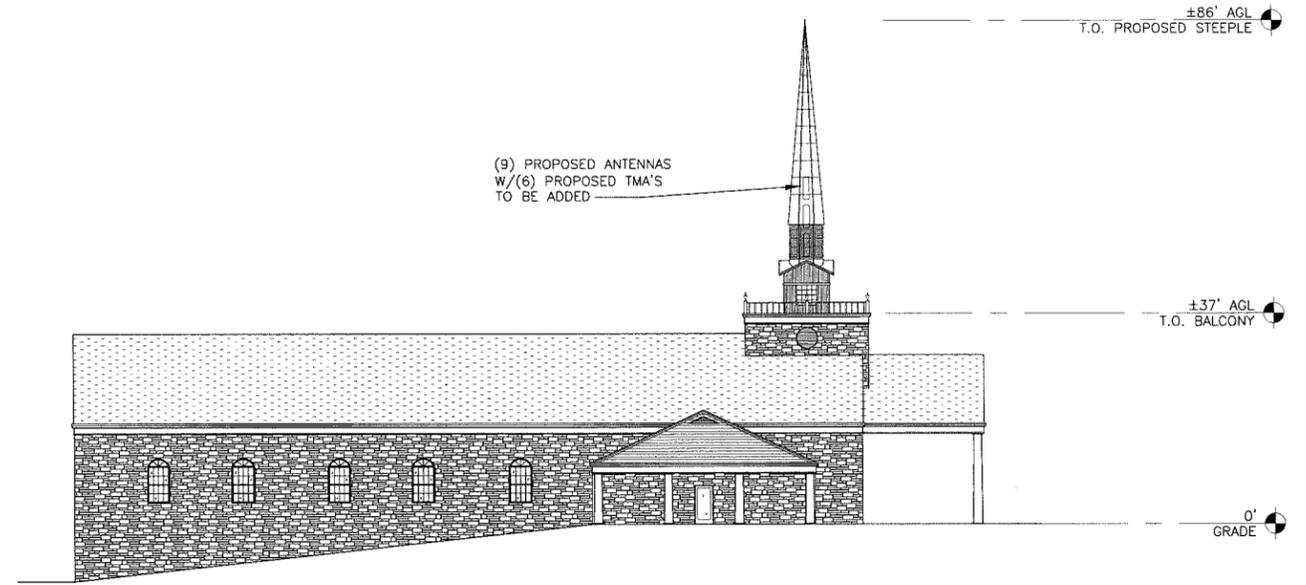
PROPOSED STEEPLE ELEVATION

SCALE: 1/8" = 1'-0"



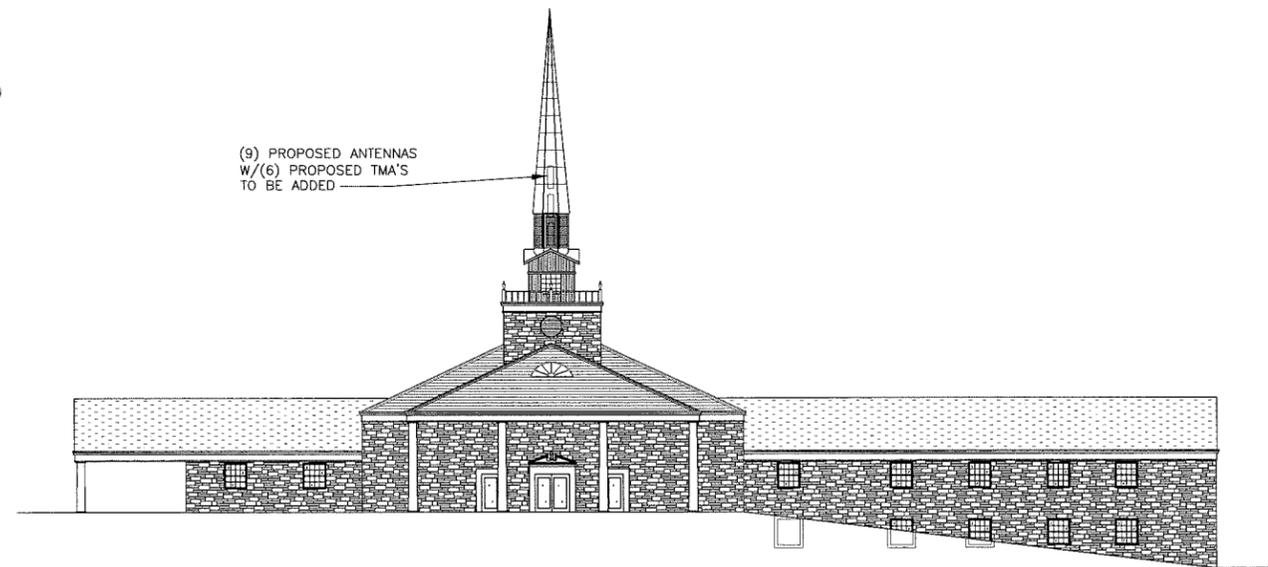
PROPOSED STEEPLE SECTION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/32" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/32" = 1'-0"



GPD GROUP

Glous, Pyle, Schomer, Burns & DeHaven, Inc.

8275 Allison Pointe Trl., Suite. 220 317-299-2996
Indianapolis, IN 46250 Fax 317-293-1331

GPD JOB# 2010042.99



Goodman Networks

Network Knowledge... Delivered.

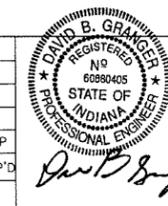
**SITE NAME: BLOOMINGTON
SITE NUMBER: IN0642**

2121 NORTH DUNN STREET
BLOOMINGTON, IN 47408
MONROE COUNTY



900 EAST 96TH. STREET
SUITE 500
INDIANAPOLIS, INDIANA 46240

NO.	DATE	REVISIONS	BY	CHK	APP'D
A	08/16/11	ISSUED FOR ZONING REVIEW	JBA	LJB	TTP
SCALE: AS SHOWN		DESIGNED BY: MKS	DRAWN BY: MKS		



AT&T MOBILITY

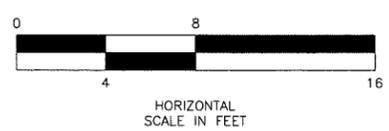
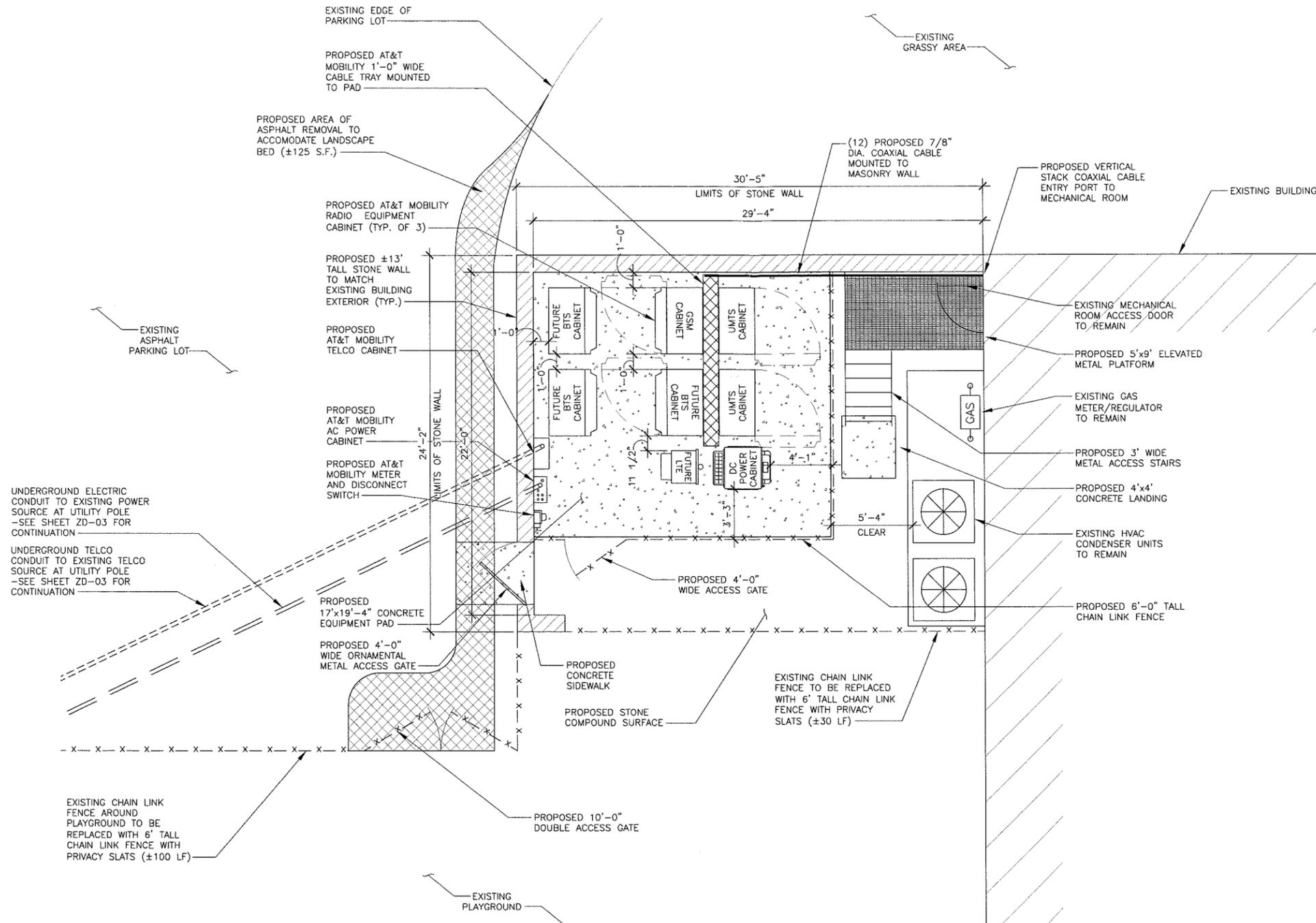
PROPOSED STEEPLE ELEVATION
AND BUILDING ELEVATIONS

DRAWING NUMBER

IN-0642-ZD-06 **28**

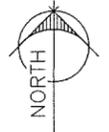
REV

A



PROPOSED DETAILED COMPOUND PLAN

SCALE: 1/8" = 1'-0"



NOTE:
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GPD GROUP
Glas, Pyle, Schomer, Burns & DeHaven, Inc.
8275 Allison Pointe Trl., Suite. 220 317-299-2996
Indianapolis, IN 46250 Fax 317-293-1331
GPD JOB# 2010042.99

Goodman Networks
Network Knowledge... Delivered.

SITE NAME: BLOOMINGTON
SITE NUMBER: IN0642
2121 NORTH DUNN STREET
BLOOMINGTON, IN 47408
MONROE COUNTY

900 EAST 96TH. STREET
SUITE 500
INDIANAPOLIS, INDIANA 46240

NO.	DATE	REVISIONS	BY	CHK	APP'D
A	08/16/11	ISSUED FOR ZONING REVIEW	JBA	LJB	TTP
SCALE: AS SHOWN		DESIGNED BY: MKS	DRAWN BY: MKS		



AT&T MOBILITY

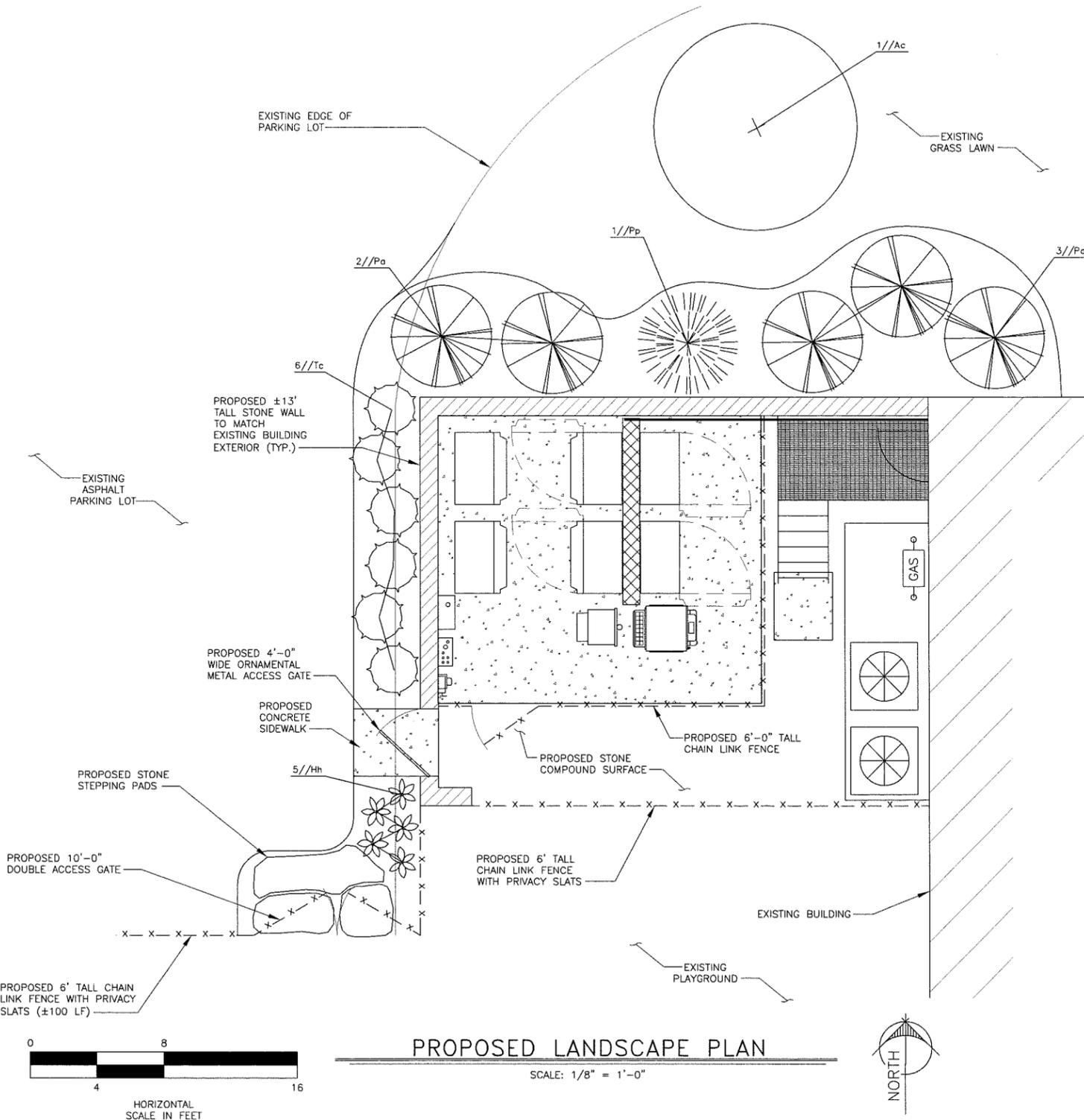
PROPOSED DETAILED COMPOUND PLAN

DRAWING NUMBER: IN-0642-ZD-04

REV: A

PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Size	Condition	Remarks
Ac	Acer rebrum	Autumn Flame Maple	1	6'	B&B	-
Hh	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	5	#2	Cont.	2' o/c
Pa	Picea abies	Norway Spruce	5	8'	B&B	8' o/c
Pp	Picea pungens	Blue Spruce	1	8'	B&B	-
Tc	Capitata	Capitata Yew	6	5'	B&B	3' o/c



PROPOSED LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



PLANTING SPECIFICATIONS

- SCOPE OF WORK**
 - A. THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
 - B. QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
 - C. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT LIMITS.
- PLANT MATERIALS**
 - A. GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
 - B. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
 - C. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
 - D. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRASED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
 - E. ALL EXISTING TREES WHICH ARE TO BE PRESERVED SHALL BE MAINTAINED WITHOUT INJURY AND WITH SUFFICIENT AREA FOR THE ROOT SYSTEM TO SUSTAIN THE TREE. PROTECTIVE CARE AND PHYSICAL RESTRAINT BARRIERS AT THE DRIP LINE, SUCH AS TEMPORARY PROTECTIVE FENCING, SHALL BE PROVIDED TO PREVENT ALTERATION OR INCREASED DEPTH OF THE SOIL IN THE ROOT SYSTEM AREA PRIOR TO AND DURING GROUNDWORK AND CONSTRUCTION. HEAVY EQUIPMENT TRAFFIC AND THE STORAGE OF CONSTRUCTION EQUIPMENT OR MATERIALS SHALL NOT OCCUR WITHIN THE DRIP LINE OF THE TREE.
 - F. BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. BARE-ROOT SHRUBS AND GROUNDCOVER PLANTS ARE ACCEPTABLE, IF THEY ARE DUG AND INSTALLED AT THE APPROPRIATE SEASON AND HANDLED IN THE APPROPRIATE MANNER.
 - G. PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY; IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
 - H. DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.
- TOPSOIL FERTILIZER AND SOIL CONDITIONERS**
 - A. TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
 - B. LIME: NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85 PERCENT TOTAL CARBONATES WITH A MINIMUM OF 30 PERCENT MAGNESIUM CARBONATES, GROUND SO THAT NOT LESS THAN 90 PERCENT PASSES A 10-MESH SIEVE AND NOT LESS THAN 50 PERCENT PASSES A 100-MESH SIEVE.
 - C. ALUMINUM SULFATE: COMMERCIAL GRADE.
 - D. PEAT HUMUS: FINELY DIVIDED PEAT, SO COMPLETELY DECOMPOSED AND FREE OF FIBERS THAT ITS BIOLOGICAL IDENTITY IS LOST. PROVIDE IN GRANULAR FORM, FREE OF HARD LUMPS AND WITH pH RANGE SUITABLE FOR INTENDED USE.
 - E. BONEMEAL: COMMERCIAL, RAW, FINELY GROUND; 4 PERCENT NITROGEN AND 20 PERCENT PHOSPHORIC ACID.
 - F. SUPERPHOSPHATE: SOLUBLE MIXTURE OF TREATED MINERALS; 20 PERCENT AVAILABLE PHOSPHORIC ACID.
 - G. SAWDUST: ROTTED SAWDUST, FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC SUBSTANCES AND WITH 7.5 POUNDS OF NITROGEN UNIFORMLY MIXED INTO EACH CUBIC YARD OF SAWDUST.
 - H. MANURE: WELL ROTTED, UNLEACHED STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS AND CONTAINING NO CHEMICALS OR INGREDIENTS HARMFUL TO PLANTS.
 - I. MULCH: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND SHALL BE
 - J. COMMERCIAL FERTILIZER: COMPLETE FERTILIZER OF NEUTRAL CHARACTER, WITH SOME ELEMENTS DERIVED FROM ORGANIC SOURCES AND CONTAINING PERCENTAGES OF AVAILABLE PLANT NUTRIENTS RECOMMENDED BY LABORATORY REPORT OF TOPSOIL ANALYSIS.
- IRRIGATION**
 - 1. CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE. SYSTEM SHALL INCLUDE ALL APPURTENANCES & BE APPROVED BY OWNER.
- OTHER MATERIALS**
 - A. WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH - TO BE INSTALLED IN ALL PLANTING BEDS.
 - B. BED EDGING - NONE. CONTRACTOR SHALL PROVIDE A 45 DEGREE TRENCH AT ALL PLANTING BED EDGES WHERE THEY MEET LAWNS.
- GENERAL WORK PROCEDURES**
 - A. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE INDIANA STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
- WEEDING**
 - A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- SOIL CONDITIONING**
 - A. OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
 - B. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
 - C. MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
 - D. FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
 - E. PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
 - F. APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.
- PLANTING**
 - A. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - B. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH WIDTH TWICE THE DIAMETER OF ROOT BALL AND 6" DEEPER THAN THE LENGTH OF ROOT BALL. EACH PLANT PIT SHALL BE BACKFILLED WITH THE SPECIFIED PLANTING MEDIUM.
 - C. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACKFILLING AND WATER THOROUGHLY.
 - D. ALL PLANTS SHALL BE SET SO THAT, WHEN SETTLED, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.
 - E. IMMEDIATELY AFTER PLANTING, STAKE ALL TREES TO PREVENT DAMAGE FROM WIND (LODGE-POLE STAKES LENGTH AS REQUIRED). FASTEN TREES TO UPPER END OF STAKE IN AT LEAST TWO (2) PLACES USING HOSE TYPE TIES. WRAP TRUNKS OF DECIDUOUS TREES WITH 4" WATERPROOF TREE WRAP.
 - F. STAKING SHALL BE INSPECTED PERIODICALLY AND SHALL BE REMOVED, REPAIRED OR ADJUSTED DEPENDING UPON THE NECESSITY OF ITS CONTINUED USE.
 - G. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH PLANT.
 - H. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - I. INSTALL BED EDGING, WEED BARRIER AND MULCH.
 - J. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
 - K. REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL.
 - L. MULCH TREES AND SHRUBS AND OTHER AREAS NOTED ON THE PLANTING PLAN. THE MULCH SHALL BE FREE OF INSECTS, DEBRIS, STONES AND ANY OTHER UNDESIRABLE SUBSTANCES.
 - M. FERTILIZE TREES AND SHRUBS WITH A COMMERCIAL SLOW RELEASE 12-12-12 FERTILIZER AT THE RATE SUGGESTED BY THE MANUFACTURER.
- FINISH GRADING**
 - A. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
 - B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
 - C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
 - D. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT AS SPECIFIED ON THIS SHEET.
- GUARANTEE**
 - A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR.
- CLEAN-UP**
 - A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN "ACCEPTABLE CONDITION" SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MAINTENANCE (MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)**
 - A. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
 - B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
 - D. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
 - E. REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON.
- SODDING**
 - A. SOD SHALL BE FIRST GRADE CERTIFIED KENTUCKY BLUEGRASS BLEND CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS. SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES. THE SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT. BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE. NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT). AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

GPD GROUP
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.
8275 Allison Pointe Trl., Suite. 220 317-299-2996
Indianapolis, IN 46250 Fax 317-293-1331
GPD JOB# 2010042.99

GoodmanNetworks
Network Knowledge... Delivered.

SITE NAME: BLOOMINGTON
SITE NUMBER: IN0642
2121 NORTH DUNN STREET
BLOOMINGTON, IN 47408
MONROE COUNTY

at&t
900 EAST 96TH. STREET
SUITE 500
INDIANAPOLIS, INDIANA 46240

NO.	DATE	REVISIONS	BY	CHK	APP'D
A	08/16/11	ISSUED FOR ZONING REVIEW	JBA	LJB	TTP

SCALE: AS SHOWN DESIGNED BY: MKS DRAWN BY: MKS



AT&T MOBILITY
PROPOSED LANDSCAPE PLAN & NOTES
DRAWING NUMBER: IN-0642-ZD-05
REV: A



IN0642 VIEW FROM NORTH (EXISTING)

8275 Allison Pointe Trail . Suite 220 . Indianapolis, Indiana 46250 • PHONE 317-299-2996 • FAX 317-293-1331



GPD GROUP

Glaus, Pyle, Schomer, Burns & DeHaven, Inc.
Engineers . Architects . Planners



24'-2"x30'-5"x13'-0" STONE
MASONRY SCREEN WALL

6' WIDE DOUBLE GATE

6' TALL CHAIN LINK FENCE
w/PRIVACY SLATS

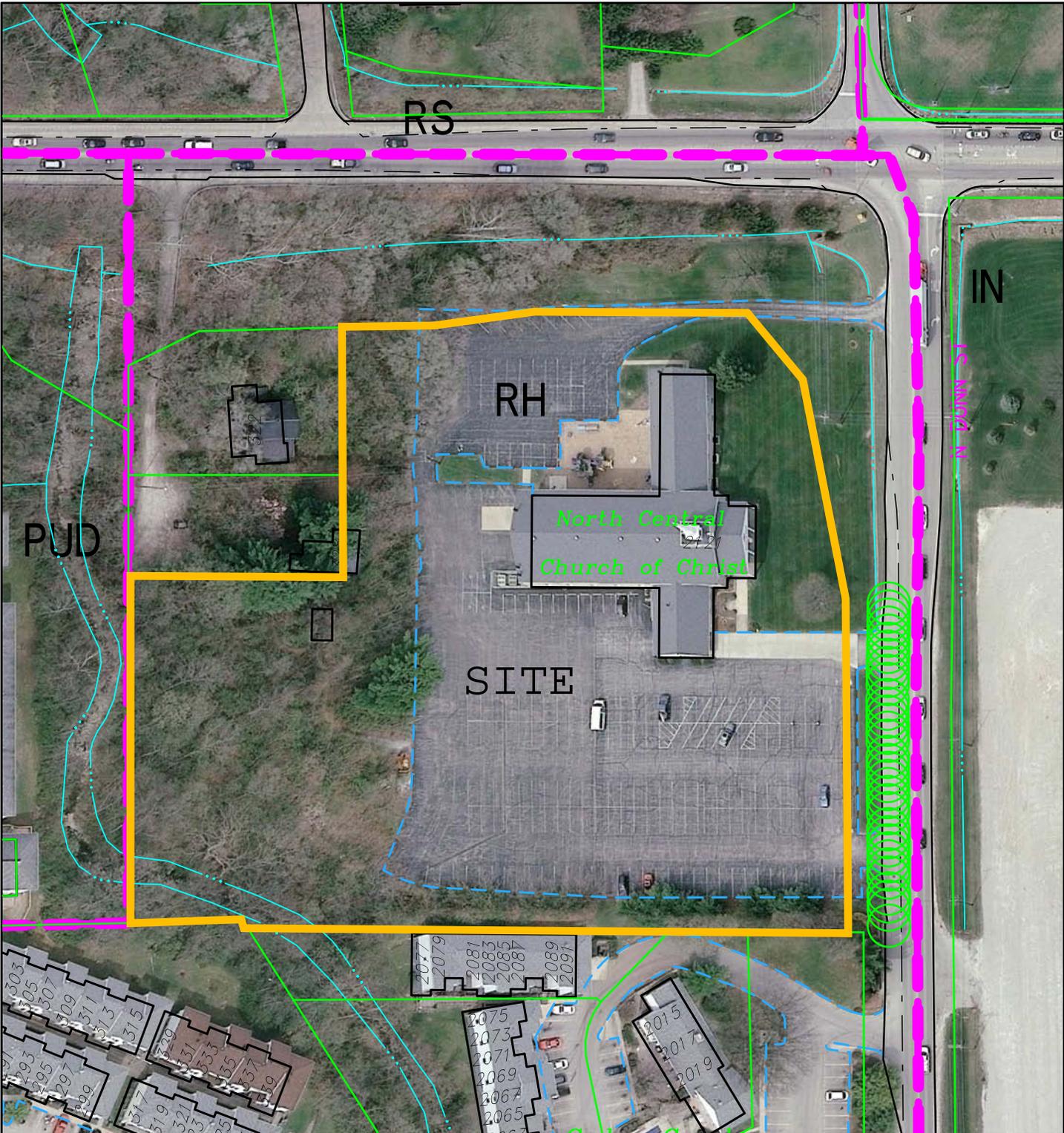
IN0642 VIEW FROM NORTH (PROPOSED)

8275 Allison Pointe Trail . Suite 220 . Indianapolis, Indiana 46250 • PHONE 317-299-2996 • FAX 317-293-1331



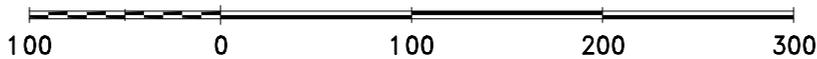
GPD GROUP

Glaus, Pyle, Schomer, Burns & DeHaven, Inc.
Engineers . Architects . Planners

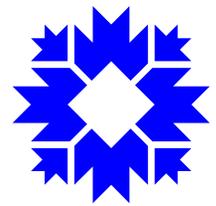


UV-18-11, AT&T
 2121 N. Dunn St.
 Aerial Photo

By: bannok
 8 Sep 11



City of Bloomington
 Planning



Scale: 1" = 100'

For reference only; map information NOT warranted.

PETITIONER: James Gronquist
1414 S. Lincoln Street, Bloomington

CONSULTANT: Kirkwood Design Studio
113 E. 6th Street, Bloomington

REQUEST: The petitioner is requesting variances from front and side yard building setback standards and the maximum allowed density.

<u>Variances Requested</u>	<u>UDO Requirement</u>	<u>Proposed</u>
Front Yard Building	55' from centerline	35' (existing)
Side Yard Building	15'	3'6" (existing)
Density	0.98 units allowed	1 unit

SUMMARY: The 0.14 acre property is located at 406 E Hillside Drive and is zoned Residential Multifamily (RM). The property is surrounded by single family residences to the north with single and multifamily residences to the west, south, and east.

The property currently has four, one-bedroom apartments within a two-story building. There are four parking spaces located in the rear of the property off of an alley. The petitioner is proposing to demolish three of the exterior walls along with the entire interior, in order to construct a new building with the same number of four, one-bedroom apartments. The existing front façade wall of the building will be preserved to be used as the face of the new building. The existing parking area in the rear will be improved and striped to denote the four parking spaces.

The petitioner is requesting variances from front and sideyard building setback standards to allow the reuse of the front wall of the existing building. The UDO requires the front of the building to be 55' from the centerline of Hillside Drive. The existing building, along with most of the other houses along the south side of Hillside Drive, is 35' from centerline. The petitioner is requesting a variance from the 15' side yard setback requirement to use the existing side yard setback of 3'6". Also requested is a variance from the maximum allowed density to allow the replacement of the existing four, one-bedroom units with the same number of units and bedrooms. Based on the dwelling unit equivalencies (D.U.E.), the one-bedroom units would each count as 0.25 unit and the total of all four units would equal 1.0 unit. The size of the property would only allow for 0.98 units.

SITE PLAN ISSUES:

Parking: The existing four parking spaces located in the rear (south) side of the property will be improved with paver blocks and striped. The petitioner is required to provide four on-site parking spaces and is meeting that requirement. The spaces are accessed from a platted alley that has been improved for the adjacent properties to utilize.

Environmental: There are no known environmental issues on this urban lot. There is a vegetated fence row along both side property lines with some mature trees. The petitioner will be installing new landscaping to meet UDO requirements and has submitted a landscape plan.

Sidewalk and Street Trees: There is an existing sidewalk in place along Hillside Drive and the petitioner will be installing street trees not more than 40' from center as required. These have been shown on the landscape plan.

Stormwater/Utilities: No on-site detention is being required. The property drains from north to south and no stormwater issues have been identified. The petitioner is required to install a sprinkler system in the building and is working with CBU for utility connections to provide the necessary service. Final acceptance and approval of utility plans has not yet been given by CBU and is required prior to issuance of a grading permit.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

STAFF FINDING: The granting of variances from these standards will not be injurious to the public health, safety, morals, and general welfare. No injuries have been found by the existing setbacks or the number of units and bedrooms.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

STAFF FINDING: Staff finds no negative effects from this proposal on the areas adjacent to the property. The redevelopment of this property will improve the condition of the property and improve the look of the building to the neighborhood. A letter of support from the adjacent property owner to the west has been received with no objection to the requested variances. The Bryan Park Neighborhood also reviewed the project and were supportive of the proposed redevelopment.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

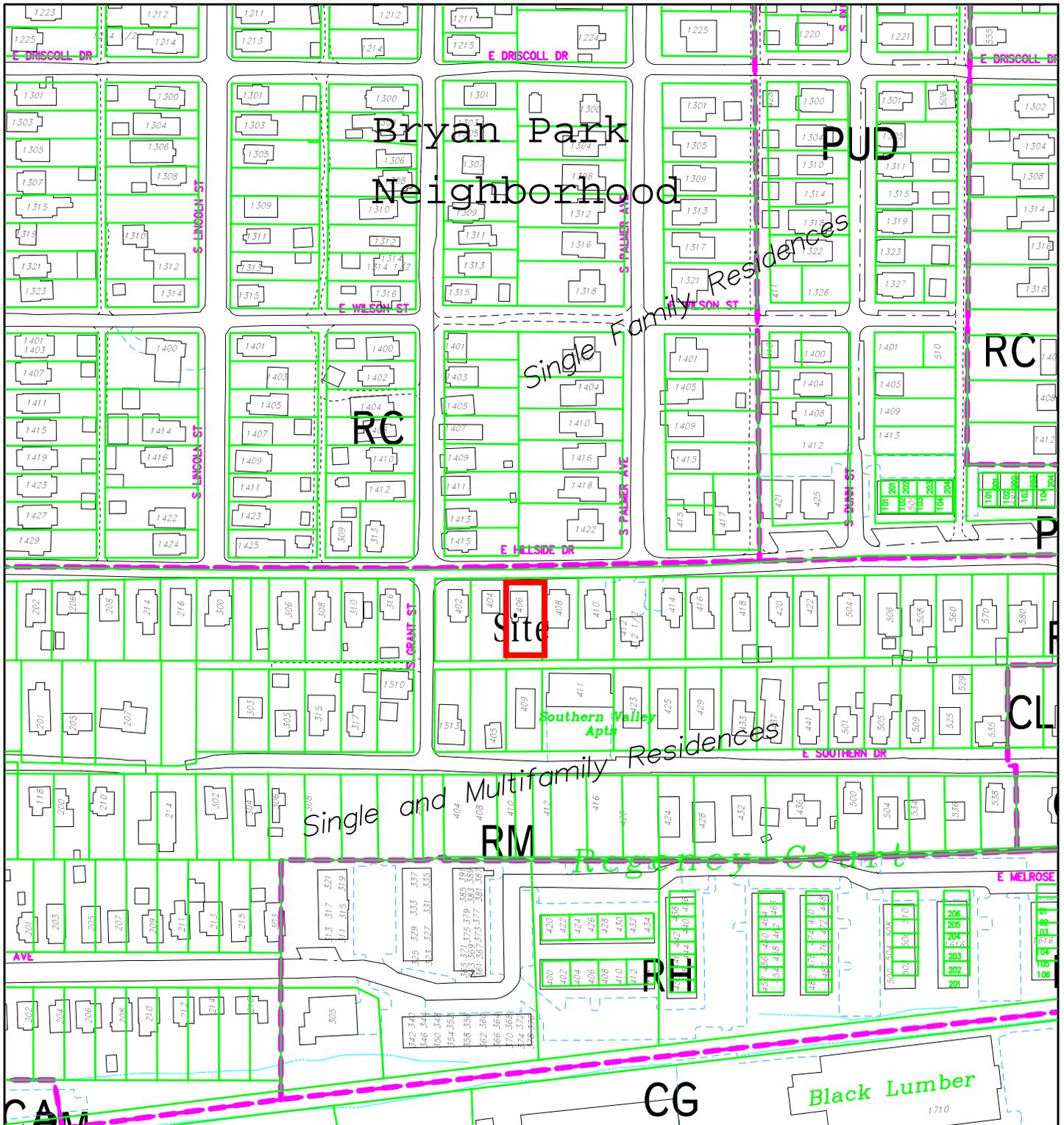
STAFF FINDING:

Staff finds peculiar condition in the narrow width of the property and the location of the existing front wall. Although not on the Historic Survey Inventory, the building does have a unique historic look to the front that the petitioner has chosen to preserve to meet the requests of the Bryan Park Neighborhood. The 15' setback would severely limit the redevelopment opportunity of the property. Staff finds practical difficulty in not allowing the reconstruction of the proposed number of dwelling units that is the same as the existing configuration.

CONCLUSION: The small lot width and location of the existing wall present difficulty in reusing the property while preserving the historic store front. The petitioner is making modest use of the property to provide the same number of bedrooms and units as the existing building. The redevelopment of this property will be an improvement to the neighborhood and increase property values.

RECOMMENDATION: Based upon the written findings above, staff recommends approval of the variance request with the following conditions:

1. A grading permit is required prior to any construction or land disturbing activities.
2. A lighting plan must be submitted for approval prior to issuance of a building permit.
3. All portions of the site covered with gravel must be removed and seeded.
4. The building must be consistent with the submitted elevations and drawings.



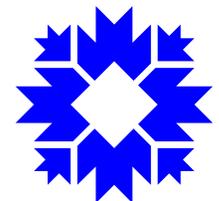
V-37-11 James Gronquist
 406 E Hillside Dr
 Board of Zoning Appeals
 Site Location, Zoning, Parcels, Land Use

By: greulice
 15 Sep 11



For reference only; map information NOT warranted.

City of Bloomington
 Planning



Scale: 1" = 200'

Petitioner's Statement:

Property address is 406 E. Hillside.

This area of land south of Hillside over to E. Southern and E. Melrose Dr. is zoned Residential Multi-Family. The area is a mix of owner and renter occupied homes.

The existing structure dates from the 1920s. Per Nancy Hiestand, American Institute of Certified Planners (AICP), Program Manager Historic Preservation for the City of Bloomington Housing and Neighborhood Development (HAND), the lower level of the property originally served as a neighborhood grocery store in the 1920s and 1930s, with upstairs apartments. At some point the entire building was converted into 4 apartments.

The building was inspected by Professional Engineer Kevin Potter, in July of this year. Potter identified a number of significant structural issues. Regarding the interior, the 1st and 2nd floors have undersized joists that do not span the full width of the building. The 2nd floor ceiling height does not meet code for the rear half of the building. Overall, the building is in poor condition. This stems from decades of neglect, deferred maintenance and harsh treatment by renters.

The front façade is made of Indiana Limestone and is in good condition. It has an inscription on it with the lettering "ice ceam" which almost certainly was intended to be "ice cream". The limestone façade does have historic value.

My intention is to preserve the façade, demolish the bulk of the structure down to the foundation and rebuild for the same use as 4 apartments utilizing the existing footprint and adding an additional 22' off of the back. Any material that can be recycled will be used directly on the rebuild or sent to Restore or JB Salvage.

I am seeking 3 variances.

1. Front setback variance to allow the existing façade to stay in its current location. Mary Miller and Jan Sorby, President and Vice-President respectively of the Bryan Park Neighborhood Association (BPNA), indicated that the neighborhood association would prefer that the current building setback be maintained so that the building continues to align with the neighboring properties.

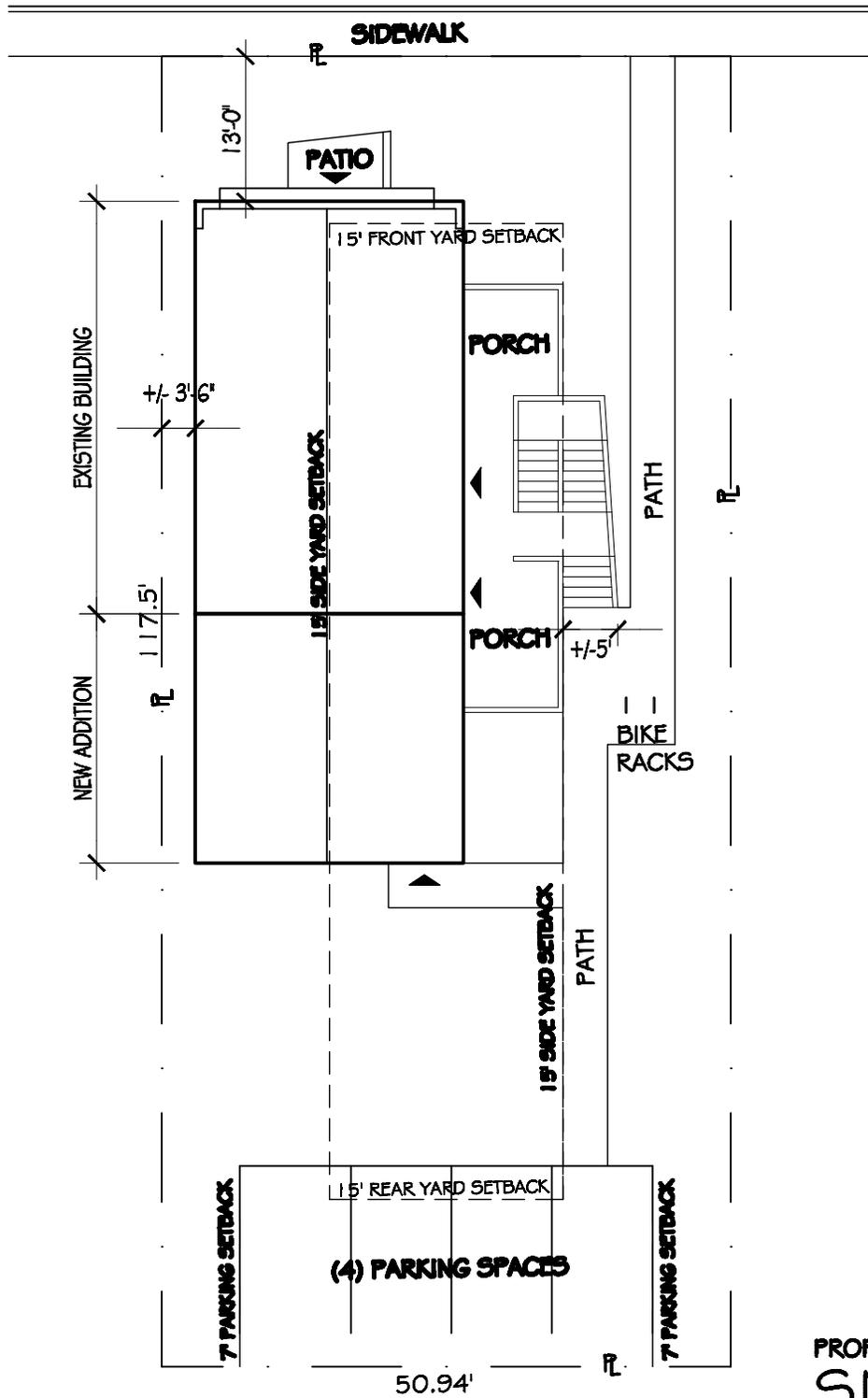
2. Side setback variance to allow the west wall of the structure to exist within 15' of the west property line.

3. Unit variance to allow four 1 bedroom apartments rather than three 1 bedroom apartments and 1 efficiency apartment. The lot is 50.94'x117.50'. This 5985.45 sq. ft. or 0.1374 acres. 0.1374×7 units/acre=.96 units. With this lot size, city code allows three 1br units and one studio/efficiency unit.

My overall goal is to maintain an efficient footprint while balancing the investment to preserve the historic front elevation and integrate modern safety and green elements into the property. Green

elements to include: facilities to plug in electric vehicles, gardening options, composting and recycling, as well as dedicated bicycle storage and parking to promote people powered transportation. If geothermal heating can be incorporated at a cost that makes sense it will be included. I am exploring cost effective geothermal options. Primary safety element to be a fire sprinkler system as well as updated and code compliant egress windows in all bedrooms. The property will retain the appearance of being Hillside facing. Unit 1 will have a working front door directly off of Hillside. Unit 3 will have a door facing Hillside though not directly accessible. All units will be accessible via stairs and decks along the east side of the building.

In my experience, these units will be leased by nurses, photographers, tattoo artists, computer programmers, professors, grad assistants, restaurant servers, and teachers. These are the current residents that I have in similar units in Bryan Park and the Pinestone neighborhood area.



PROPOSED
SITE PLAN

SCALE: 1/16" = 1'-0"

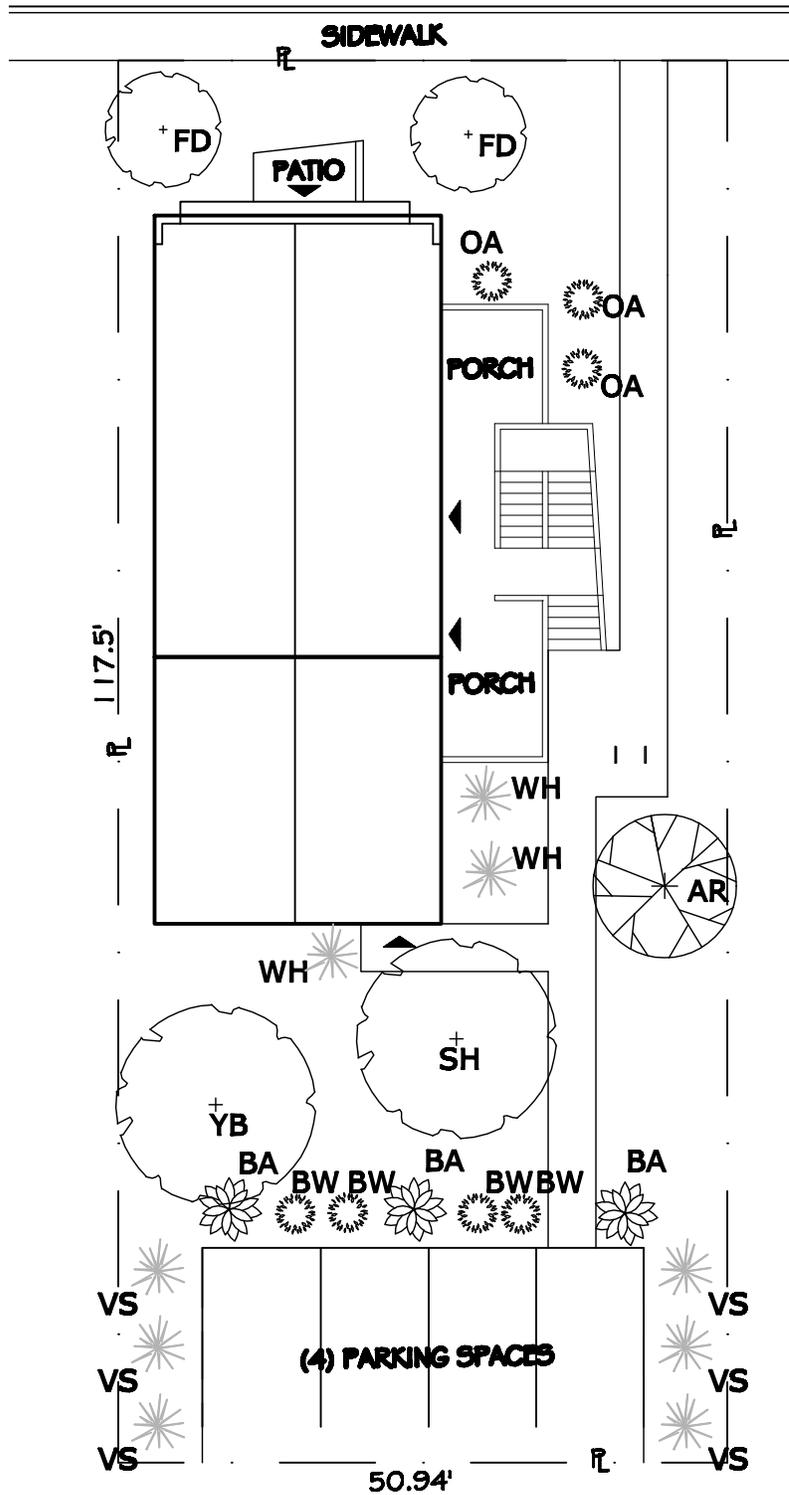


406 E. HILLSIDE

KIRKWOOD
 designstudio
 p.c.
 ARCHITECTURE+PLANNING

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 bloomington, in 47408
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 812.331.0755 fax
 www.kdsarchitects.com

DRAWING NO.:
 PROJECT NO.: 2011-29
 DATE: 9.14.11



PROPOSED PLANT SCHEDULE			
KEY	SCIENTIFIC NAME	COMMON NAME	QTY.
EVERGREEN AND DECIDUOUS TREES			
AR	THUJA OCCIDENTALIS	ARBORVITAE	1
SH	CARYA LACINIOSA	SHELLBARK HICKORY	1
FD	CORNUS FLORIDA	FLOWERING DOGWOOD	2
YB	AESCLUSUS OCTANDRA	YELLOW BUCKEYE	1
SHRUBS			
BA	RHODODENDRON - BOLLYWOOD AZALEA	BOLLYWOOD AZALEA RHODODENDRON	3
BW	BUXUS SEMP. WINTERGREEN	BOXWOOD "WINTERGREEN"	4
OA	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3
VS	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	6
WH	ILEX VERTICILLATA (M & F)	WINTERBERRY HOLLY	3

PROPOSED
LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

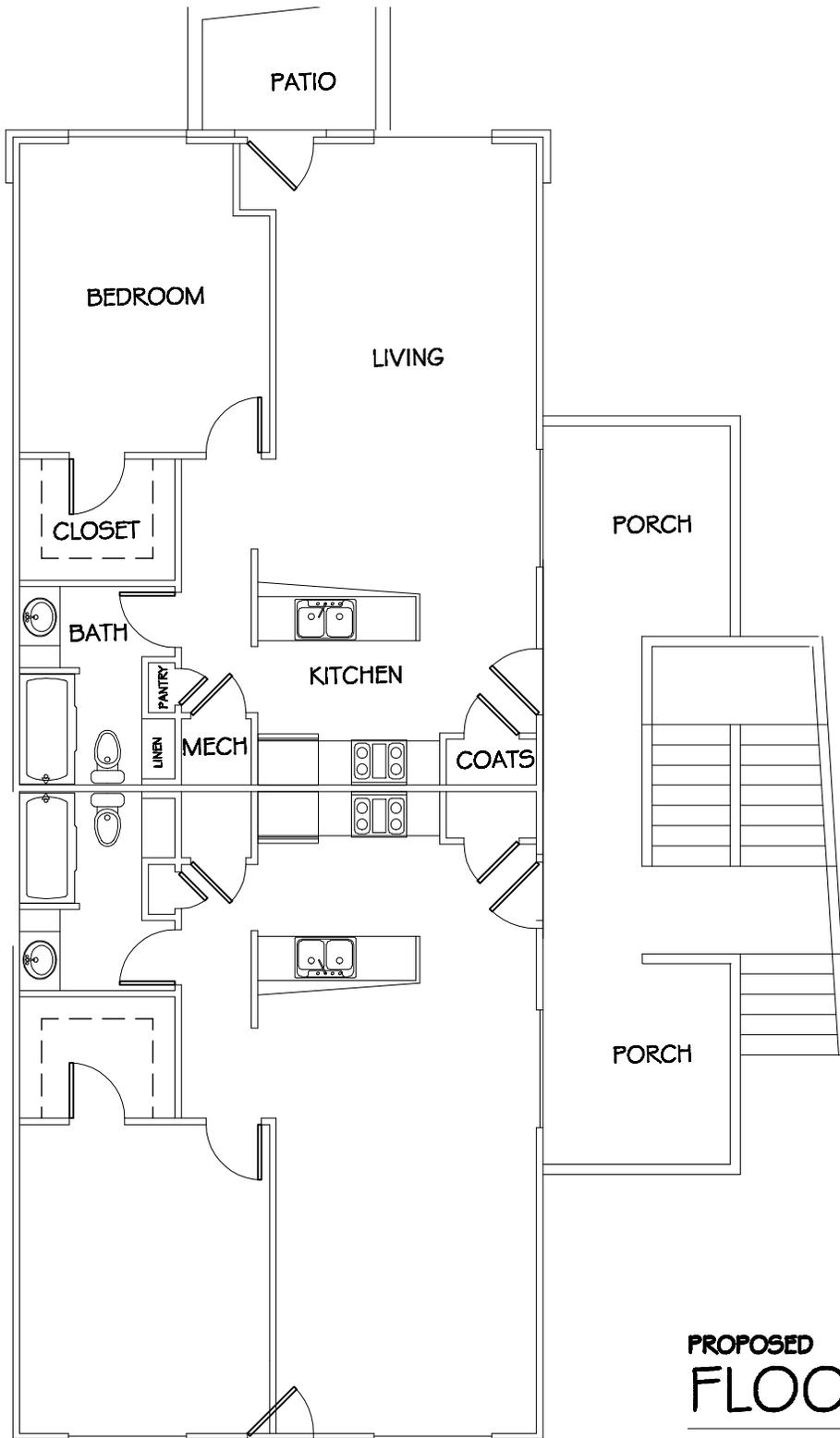


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PROJECT NO.: 2011-29
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PROPOSED
FLOOR PLAN

SCALE: 1/8" = 1'-0"

406 E. HILLSIDE

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DRAWING NO.:
 PROJECT NO.: 2011-29
 DATE: 8.16.11



PROPOSED
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

406 E. HILLSIDE

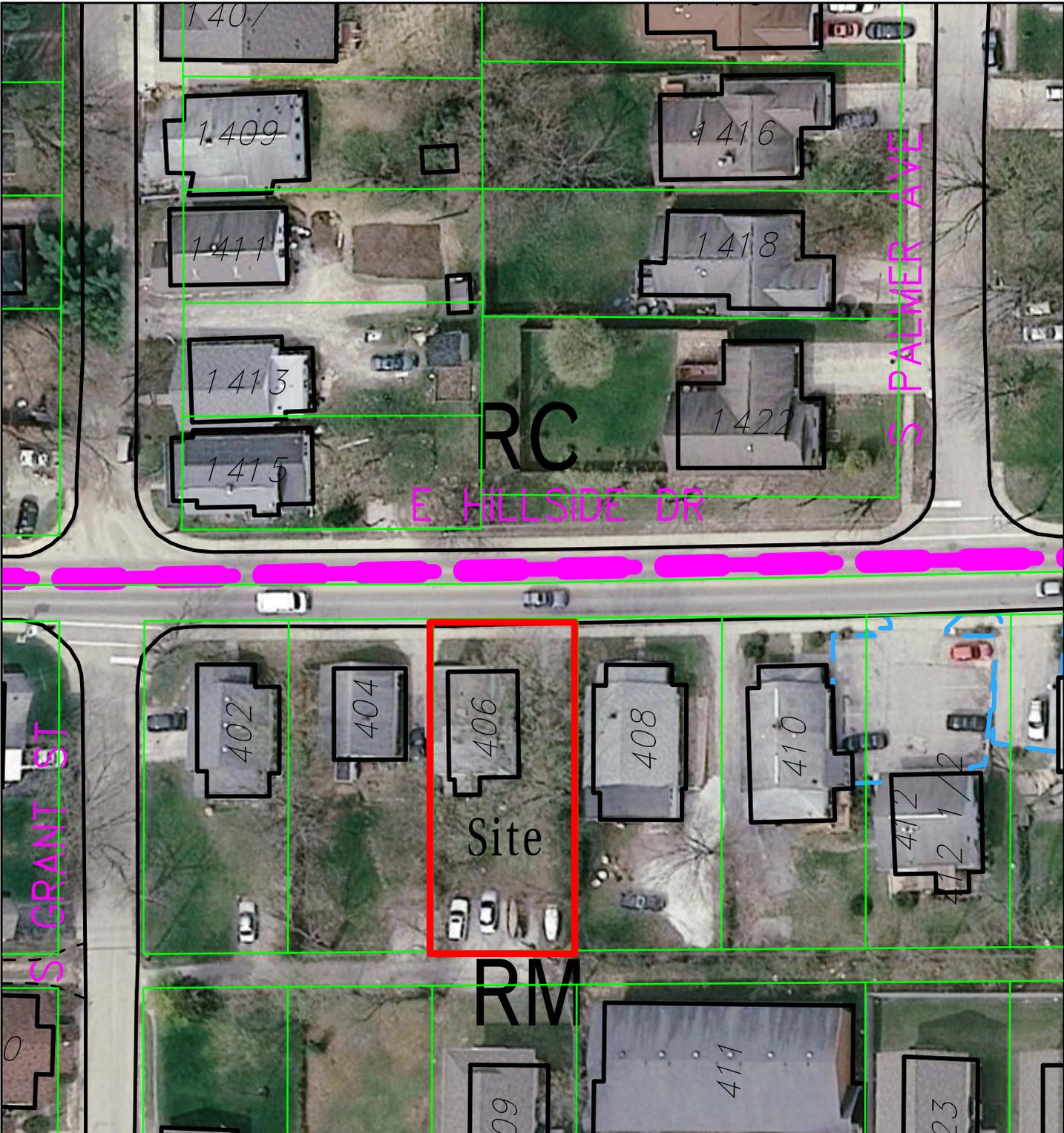
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DATE: 8.16.11

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V-37-11 James Gronquist

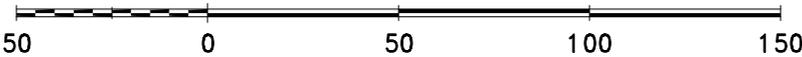
406 E Hillside Dr

Board of Zoning Appeals

2010 Aerial Photograph

By: greulice

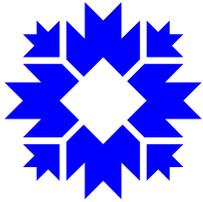
15 Sep 11



For reference only; map information NOT warranted.



City of Bloomington
Planning



Scale: 1" = 50'