

**CITY OF BLOOMINGTON**



**June 10, 2013 @ 5:30 p.m.  
COUNCIL CHAMBERS #115  
CITY HALL**

**CITY OF BLOOMINGTON  
PLAN COMMISSION AGENDA  
June 10, 2013 @ 5:30 p.m.**

**❖ City Hall Council Chambers, #115**

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**ROLL CALL**

**MINUTES TO BE APPROVED: May 6, 2013**

**REPORTS, RESOLUTIONS AND COMMUNICATIONS:**

**CONTINUED TO July 8:**

**SP-01-13      John Halluska  
                    117 E. 6<sup>th</sup> St.**

**APPROVAL OF CONSENT AGENDA:**

**SP-27-13      Fox Building  
                    420 S. Washington St.  
                    Site plan approval of a 26-unit multifamily structure  
                    (*Case Manager: Patrick Shay*)**

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**PETITIONS:**

**SP-21-13      Chong Sun Cho  
                    320 N. Walnut St.  
                    Site plan approval to allow a 2-story addition to an existing commercial building  
                    (*Case Manager: Eric Greulich*)**

**SP-22-13      Kilroy's Sports Bar  
                    319 N. Walnut St.  
                    Site plan approval to allow a 3500 sq. ft. addition  
                    (*Case Manager: Eric Greulich*)**

End of Agenda

*\*\*Next Plan Commission hearing scheduled for July 8, 2013*

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
LOCATION: 320 N. Walnut Street**

**CASE#: SP-21-13  
DATE: June 10, 2013**

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**PETITIONER: Chong Sun Cho (Japanee)  
320 N. Walnut St, Bloomington**

**CONSULTANT: Tabor Bruce Architecture & Design  
1101 S. Walnut St, Bloomington**

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**REQUEST:** The petitioner is requesting site plan approval to construct a two-story addition to an existing restaurant.

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**REPORT SUMMARY:** This location is at the southeast corner of N. Walnut St. and E. 8<sup>th</sup> Street. This property is zoned Commercial Downtown (CD) and is within the Downtown Edges Overlay (DEO) District. Surrounding land uses include a City Parking Garage to the south, the Elks Lodge to the north, restaurants and bars to the west, and single and multi-family residences to the east. The property has been developed with a two-story restaurant and outdoor seating area along Walnut St.

The petitioner is proposing to construct a 4,800 sq. ft., two-story addition to the front of the existing building for new restaurant space. The addition would be approximately 60'x40' and would be slightly taller in height than the existing building with a finished height of 32'. The addition is proposed to be finished with brick on the west (Walnut Street) and north (8<sup>th</sup> Street) sides. The south side of the building facing the parking garage will be finished with cement board. There would be new brick added along the north side of the existing building to cover existing concrete masonry block that would match the new brick. The addition would extend all the way to the front property line along Walnut Street and be set back approximately 5' from the north property line along 8<sup>th</sup> Street to match the setback of the existing building. There are 6 parking spaces in the rear of the property off of the alley that would remain.

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**Plan Commission Site Plan Review:** Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.230. Those aspects are as follows:

- The project is adjacent to a residential use to the east.
- The petitioner is requesting four waivers.

The petitioner is requesting four waivers from the standards in BMC 20.03.260 and 20.03.270. The following waivers are being requested:

- Sideyard building setback
- Minimum number of required parking spaces
- Building façade modulation
- Void-to-solid ratio

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## SITE PLAN REVIEW

**Parking:** The DEO has a minimum parking limit of 50% of the normal maximum. The 9,450 sq. ft. restaurant would be required 1 space per 100 sq. ft. of floor area, which would be 95 parking spaces. With the reduction of 50%, the requirement would be 45 on site parking spaces. The property currently has 6 parking spaces that would remain.

**Parking Waiver-20.03.330(c)(3):** A minimum of 45 parking spaces would be required for this use. Due to the parking garage that is located immediately adjacent to this site and the nonresidential nature of this project, staff supports the reduced parking requirement. The Downtown Vision and Infill Strategy Plan (DVISP) encourages the use of parking garages as the most efficient way of accommodating a large number of parking spaces.

**Streetscape:** There are currently two street lights along Walnut Street and one street tree. One additional street tree is required along Walnut Street and a condition of approval has been included. There is a concrete sidewalk along both street frontages and no improvements are necessary. Due to the limited amount of right-of-way along 8<sup>th</sup> Street, it is not possible to install street trees. Smaller street trees are possible on the north side of the building adjacent to the sidewalk and staff will work with the petitioner and Urban Forester to identify the ideal species for this limited area. The new building will have attached lighting that will provide illumination along the sidewalk and public right-of-way. One street light is required along 8<sup>th</sup> Street and a condition of approval has been included.

**Bicycle Parking:** The restaurant is required to have a minimum of 4 Class II bicycle parking spaces within 50' of the entrance. The property does not currently have a bike rack. A bike rack is required and must be shown on the site plan prior to issuance of a building permit. The remnant concrete pad from a previous driveway in front of the building provides an ideal location for the required bike parking.

**Architecture:** The new building will have brick veneer along the west facade facing Walnut Street. In addition, the petitioner will be using new brick to cover existing masonry block on the existing building as well as for the new portions of the building facing 8<sup>th</sup> St. The south side of the building facing the parking garage will be finished with cement board siding. A decorative limestone cap has been shown along the top of the building. In addition, a limestone water table will be used along the windows along Walnut and 8<sup>th</sup> Street. Vertical brick columns have also been shown along the front. There are no adjacent historical structures. A pedestrian entrance has been shown along the primary façade along Walnut Street. No mechanical equipment has been shown outside of the building that must be screened. The building has a flat roof which is allowed. The windows and doors along the ground floor meet the 40% void-to-solid requirement for the side of the building facing Walnut St. However the north side of the building facing 8<sup>th</sup> Street, only has 20% void-to-solid and does not meet the void-to-solid ratio. Due to the presence of an internal staircase behind that area the petitioner cannot meet the 40% void-to-solid requirement and is requesting a waiver. The upper floor windows meet the 20% void-to-solid requirements as well. All windows are transparent and do not make use of dark tinting or reflective glass. The primary pedestrian entrance is recessed a minimum of 4' and also has an awning.

**Building Setback Waiver-20.03.260(d)(3):** The UDO requires a 7' sideyard building setback from the property line. The south side of this property would be the only sideyard and is immediately adjacent to a parking garage. The existing building is approximately 3' from the south property line and the petitioner would like to match the existing setback for the addition. No negative impacts have been found from the existing setback and since the adjacent property that would be affected by a reduced setback is already developed with a parking garage, staff finds no negative impacts from this reduction and supports this waiver. The DVISP encourages matching existing setbacks when possible.

**Void-to-Solid Waiver-20.03.270(b)(2)(A):** The UDO requires a 40% void-to-solid ratio along the ground floors facing a street. Since this site is at a corner, there are two facades that would be subject to this requirement. The west side of the building facing Walnut St. meets the minimum 40% void-to-solid ratio. The petitioner is requesting a waiver to allow 20% void-to-solid along the north side facing 8<sup>th</sup> Street instead of the required 40%. The presence of an internal staircase to access the upper floor has made it difficult to meet this requirement. In addition, since this portion of the building faces north and Walnut Street is a one-way street going north, the north side of the building will be less visible from the street. Landscaping will be installed in this area as well to help improve the look of the property and building from the north. Staff does support this waiver. The DVISP places a priority on building design on the most visible portions of the building, which in this case would be the Walnut St. side of the building.

**Building Façade Modulation-20.03.270(c)(1):** The UDO requires a building façade module that is offset by a minimum depth of 3% of the total façade length every 45'. The building is 60' long along Walnut St. and would be required to contain a module that is at least 1.8' in depth. No module is required along the north side of the proposed building facing 8<sup>th</sup> Street since this area is less than 45' long. Due to the limited amount of space between the existing building and the front property line, the petitioner is requesting a waiver to not require the modules. The standard module described in the DVISP is 65' in length, which is less than the length of building frontage along Walnut St. or 8<sup>th</sup> St.

**Access:** The parking area is accessed by an alley that runs along the east side of the property. No changes to this area are proposed. The parking area is paved and provides one handicap accessible space as required.

**Landscaping:** The landscaping code requires open space to be planted to the extent practical. There is a 5' wide strip of open space along the north side of the existing building. Part of that area will be used for a new entry and ramp, however there will be some area remaining that can be landscaped. Staff will work with the petitioner to install landscaping to the extent practical in this small area.

**Utilities:** Water and sanitary sewer service are available along Walnut Street. Stormwater and utility plans have been submitted to the City Utilities Department and are under review. Final approval from CBU is required prior to issuance of a grading permit.

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**ENVIRONMENTAL COMMISSION RECOMMENDATIONS:** The Bloomington Environmental Commission (EC) has made 4 recommendations concerning this development.

1.) A Landscape Plan that shows the street trees and any other green space or vegetation is required; therefore the Petitioner shall submit one for review.

**Staff response:** Staff will work with the petitioner to install landscaping along the north side of the building in the only open space that will remain.

2.) The Petitioner should redesign the building and the tree plots to enhance the walkability of the site.

**Staff response:** Staff finds that the building forward design right along the sidewalk creates pedestrian accessibility consistent with the UDO standards.

3.) The Petitioner should apply green building practices to create a high performance and low carbon-footprint structure.

**Staff response:** Although not required, staff encourages the petitioner to utilize as many green building features as possible.

4.) The Petitioner should remove the obsolete concrete driveway in the tree plot and replace it with vegetation.

**Staff response:** The concrete driveway will be removed with this petition. This former drive has a curb along Walnut St. and could be reused as a bicycle parking area. If not used for bicycle parking, staff agrees that it should be removed.

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**RECOMMENDATION:** Based on the written findings above, staff recommends approval of SP-21-13 and associated waivers with the following conditions:

1. One street tree is required along Walnut Street. The petitioner will work with staff to install landscaping where possible along the 8<sup>th</sup> Street frontage
2. A fence or other structure is required between this building and the parking garage to the south.
3. The existing concrete pad along Walnut St. must be removed if not used for bicycle parking.
4. One street light is required along 8<sup>th</sup> Street.
5. Street trees are required along 8<sup>th</sup> Street and will be coordinated with the Urban Forester for appropriate species.

## MEMORANDUM

**Date:** May 30, 2013

**To:** Bloomington Plan Commission

**From:** Bloomington Environmental Commission

**Through:** Linda Thompson, Senior Environmental Planner

**Subject:** SP-21-13: Japanee addition  
320 N. Walnut St.  
Site Plan request

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This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a Site Plan request for a 2-story addition to an existing building within the Commercial Downtown Zoning District and the Downtown Edge Overlay. Some of the following issues the EC brings to your attention are directly in response to the Bloomington Municipal Code (Code). Other comments and recommendations are not necessarily required by the Code, but are based on sound environmental strategies consistent with the Bloomington Growth Policies Plan.

### **ISSUES OF CODE COMPLIANCE:**

#### 1.) LANDSCAPE PLAN:

The Petitioner is required to create a Landscape Plan for approval. Street trees are required along both Walnut and Eighth Streets. However, it would be advantageous to the Petitioner's business, the ecological services that need improved in the area, and the city as a whole to go beyond the bare minimum Code requirements, and use this opportunity to landscape this wide tree plot.

### **ISSUES OF SOUND ENVIRONMENTAL DESIGN:**

#### 2.) PEDESTRIAN-FRIENDLY ARCHITECTURAL STANDARDS:

As part of the Commercial Downtown Zoning District, the EC believes that this development does not meet the intent of the Code requirements regarding pedestrian-oriented design (20.02.370; District Intent). The EC believes that these standards are intended to help fulfill our city's Growth Policies Plan Vision for downtown development that maintains Bloomington's historic character and provides more extensive and inviting pedestrian options. Furthermore, the 2002 Growth Policies Plan (GPP), PART 1: Policy Essence, Nurture Environmental Integrity reads that "...the environmental integrity of Bloomington should not be compromised or diminished through future development."

Pedestrian-friendly development is an important factor in improving Bloomington's environmental quality because it helps to reduce reliance on automobile use, which in turn reduces greenhouse gas emissions and air pollution. Bloomington has made serious commitments to sustainability, including signing on to the Mayor's Climate Protection Agreement and passing City Council resolutions supporting

the Kyoto Protocol and reducing our community's greenhouse gas emissions, and for recognizing and planning for peak oil.

It is imperative that we adhere to the consensus vision for our city represented in the UDO. The interrelated environmental, economic and social challenges of 21<sup>st</sup> century society demand that we take special care to promote Bloomington's development as a sustainable city. Reduced reliance on automobile and more pedestrian-friendly development is an important part of such sustainable development.

The EC recommends that the Petitioner take advantage of a wide tree plot for vegetation, use green building design, and change the architecture such that the new structure won't look so awkward combining two completely differing architecture styles into one building.

### 3.) GREEN BUILDING:

The EC recommends that the developer design the building with as many best practices for energy savings as possible. Some examples of BMPs that go beyond the Building Code include enhanced insulation; high efficiency heating and cooling; Energy Star doors, windows, lighting, and appliances; high efficiency toilets; programmable thermostats; sustainable floor coverings; and recycled products such as carpet and counter tops. Some specific recommendations to mitigate the effects of climate change include the following.

Reduce Heat Island Effect. The new flat roof material should have a minimum initial Solar Reflective Index (SRI) of 0.65, and an aged index of 0.55.<sup>1</sup> If a roof membrane is used, it should be overlaid with a reflective coating or covered with a white, granulated cap sheet.

Water conservation. As recommended in the *City of Bloomington Utilities Water Conservation Plan*, every effort should be used to conserve water. All fixtures should be the low-flow type. The faucets for hand washing sinks should be the self-closing type, and the toilet design and plumbing should be the high efficiency type.

Energy efficiency. All insulation and windows should be highly insulating to save energy in both summer and winter, and to reduce greenhouse gas emissions in our region.

Green building supports Bloomington's overall commitment to sustainability and is being actively promoted by the City (<http://bloomington.in.gov/greenbuild> and UDO green building incentives 20.05.049 GD-01). Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Kruzan, by City Council resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions, and by City Council resolution 06-07, which recognizes and calls for planning for peak oil, and by *Redefining Prosperity: Energy Descent and Community Resilience Report* of the Bloomington Peak Oil Task Force.

### 4.) TREE PLOT:

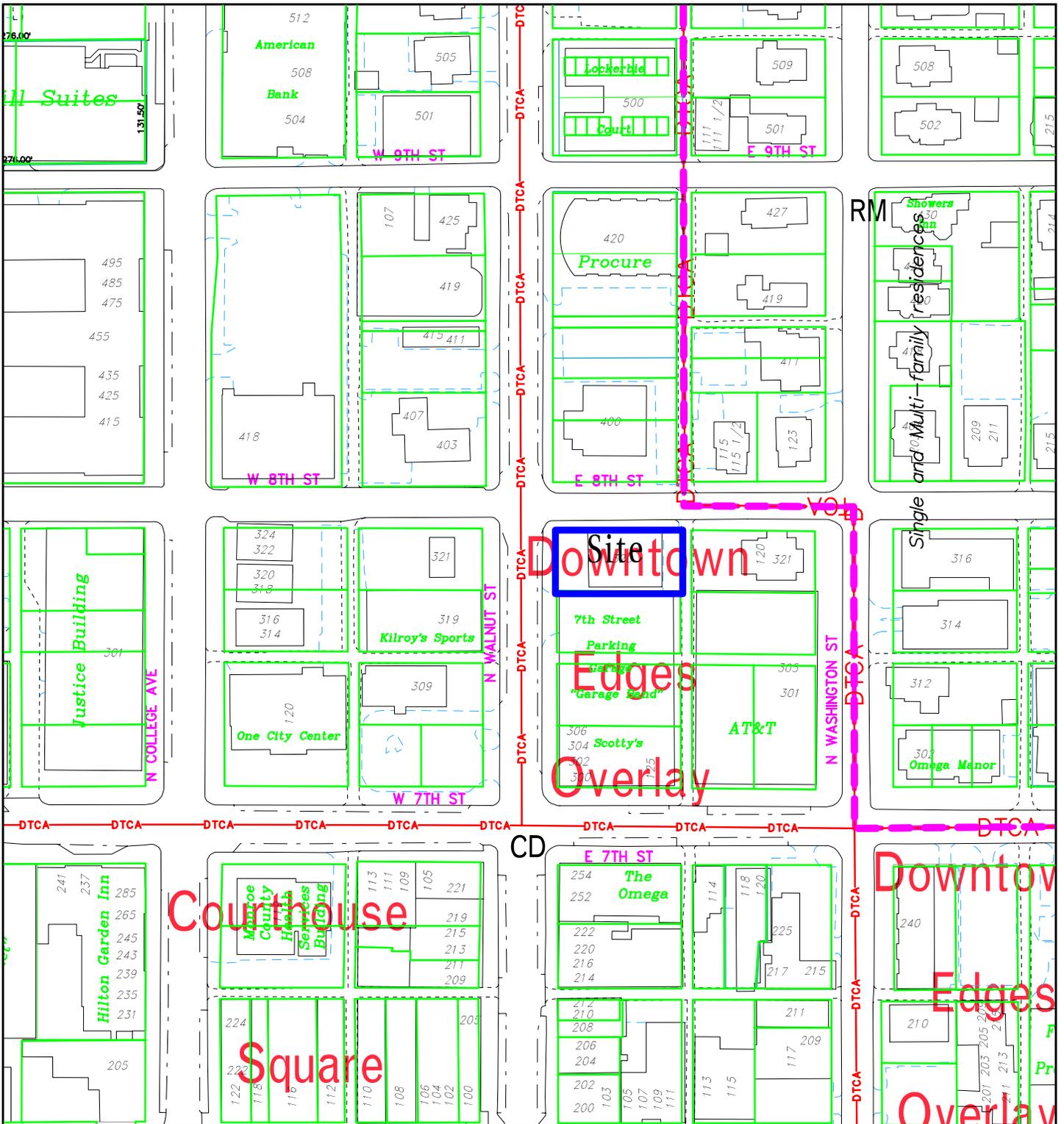
Because there used to be a parking lot in the front of the existing building, there is a drive cut through the tree plot that is no longer needed. The EC recommends that this concrete space that looks out of place now, be removed and used as it should be for a tree plot.

**EC RECOMMENDATIONS:**

- 1.) A Landscape Plan that shows the street trees and any other green space or vegetation is required; therefore the Petitioner shall submit one for review.
- 2.) The Petitioner should redesign the building and the tree plots to enhance the walkability of the site.
- 3.) The Petitioner should apply green building practices to create a high performance and low carbon-footprint structure.
- 4.) The Petitioner should remove the obsolete concrete driveway in the tree plot and replace it with vegetation.

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<sup>1</sup> *SRI* is a value that incorporates both solar reflectance and emittance in a single value to represent a material's temperature in the sun. *SRI* quantifies how hot a surface would get relative to standard black and standard white surfaces. It is calculated using equations based on previously measured values of solar reflectance and emittance as laid out in the American Society for Testing and Materials Standard E 1980. It is expressed as a fraction (0.0 to 1.0) or percentage (0% to 100%).



SP-21-13 Japanee

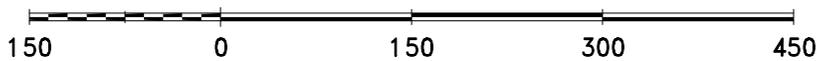
320 N Walnut Street

Plan Commission

Site Location, Zoning, Land Use, Parcels

By: greulice

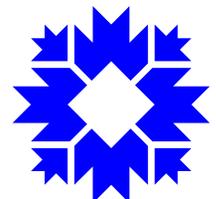
5 Jun 13



For reference only; map information NOT warranted.



City of Bloomington  
Planning



Scale: 1" = 150'



1101 S Walnut Street Bloomington, Indiana. 47401 Ph. 812.332.6258 Fax 812.332.8658  
www.taborbruce.com E-Mail dbruce@taborbruce.com

## PLAN COMMISSION

### Petitioner's Statement

Concerning the petition of **Japanee** for the purpose of consideration of their Petition for the property located at **320 N Walnut Street**, Bloomington, Indiana.

The project we present this evening is a result of a fire to the original Japanee restaurant. The existing structure suffered interior fire damage and roof damage and is being renovated to repair those issues.

Our client wishes to remove the wood decks and railing and EIFS façade along Walnut Street in what was the parking lot at one time for the building and construct a two story pedestrian scaled addition along Walnut Street to the front of the existing building. This addition will be connected to the existing structure. Because of the small scale of the footprint for the addition, it is our desire for only a 2 story structure, but with a low slope roof and parapet for a better aesthetic for the downtown. The project will add an interesting dynamic to our downtown with a two story restaurant.

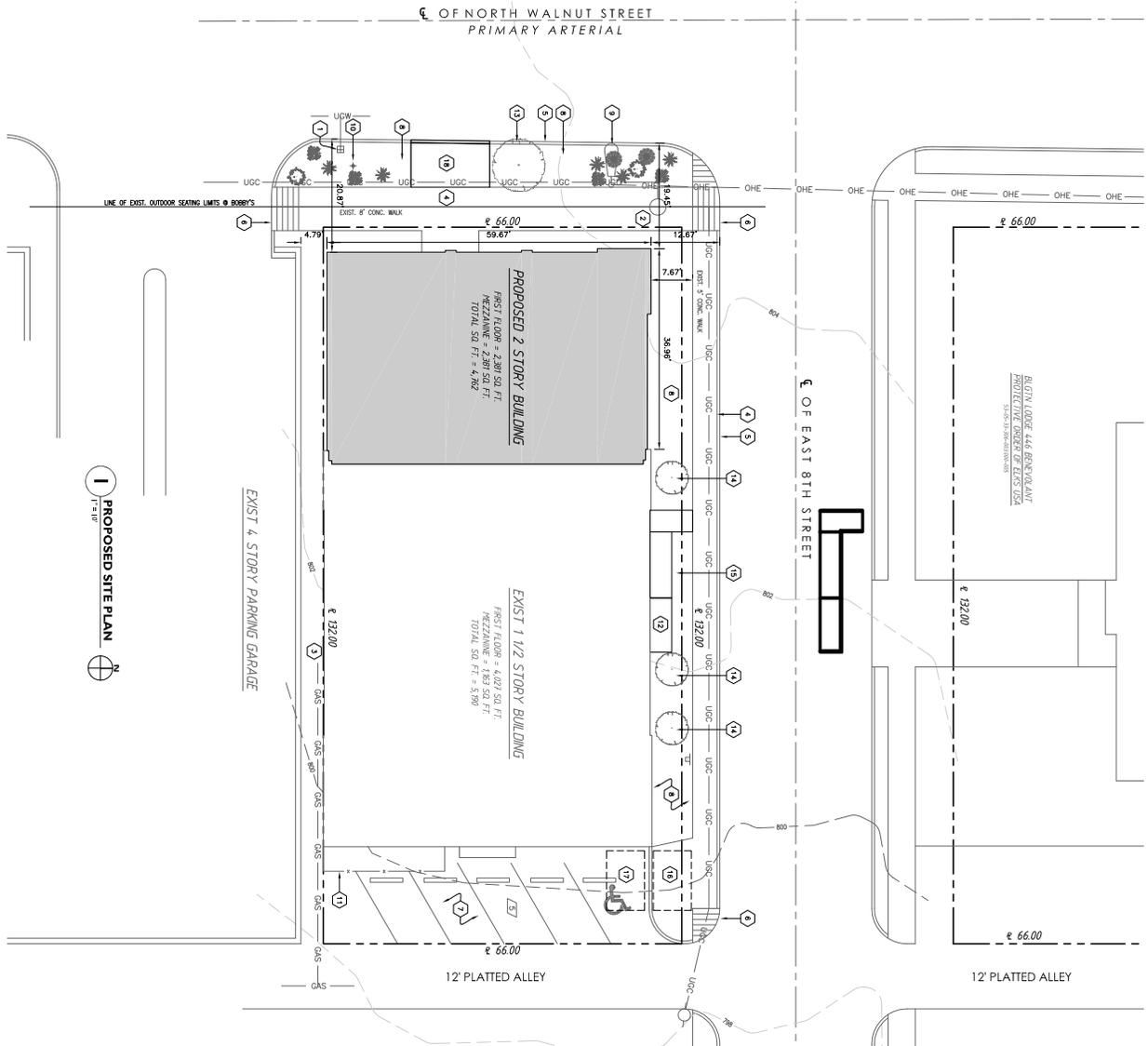
The building will be a brick faced structure, with as many windows as our location and plan will accommodate. Our main entrance will be highlighted by the raised parapet at the corner of Walnut and 8<sup>th</sup> streets. We will seek approval from Public Works for the canopies over the main, west facing windows along Walnut Street. The brick will add a rich texture along this side of the street that is dominated by the concrete parking garage that occupies about two thirds of the block. An existing pedestrian entrance along 8<sup>th</sup> street will be upgraded with a glass entrance door and matching canopy as an entrance to the existing structure. The south façade of our addition will not have any openings because of the closeness to the parking garage per the building code. We will provide a sprinkler system for the addition and the existing structure.

This proposal seeks to bring a “building forward” design to replace an asphalt and wood deck covered parking lot with a small scale restaurant. We feel that it complements the goals of the downtown at a perfect location with parking in the existing garage only steps away. We are seeking site plan approval for this addition to 320 N Walnut Street. We kindly ask for your approval of our request.

Sincerely,

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Doug Bruce NCARB-LEED AP  
TABOR/BRUCE ARCHITECTURE & DESIGN, Inc.  
1101 S Walnut Street  
Bloomington, IN 47401  
(812) 332-6258



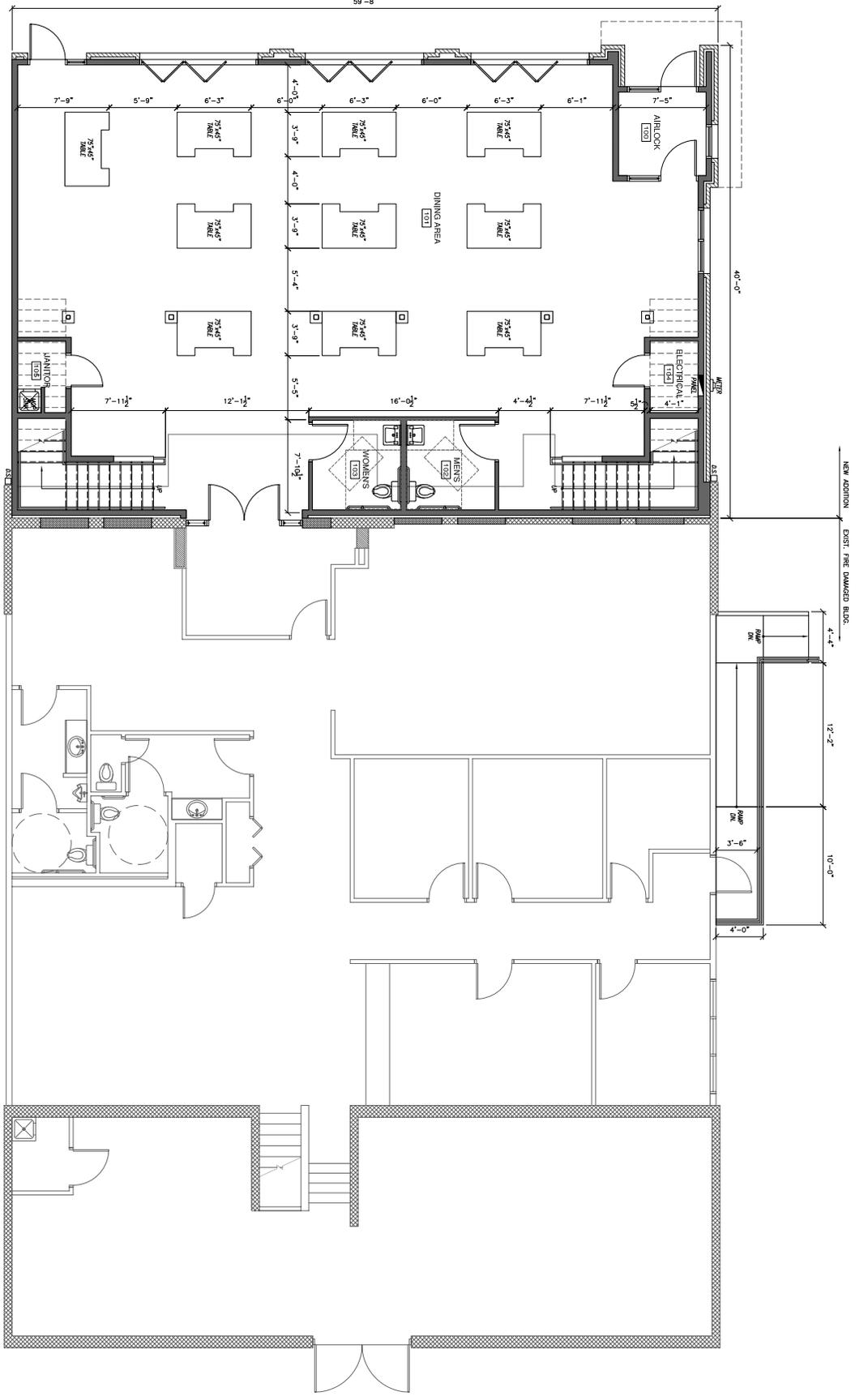
**1** PROPOSED SITE PLAN  
1" = 10'

- SITE PLAN NOTES:**
- 1) EXIST WALKER NEEDS TO REMAIN.
  - 2) EXIST COMMUNICATIONS MANHOLE TO REMAIN.
  - 3) EXIST GAS METER LOCATION TO REMAIN.
  - 4) EXIST CONC. WALK TO REMAIN.
  - 5) EXIST CONC. CURB TO REMAIN.
  - 6) EXIST ADA CONC. RAMP TO REMAIN.
  - 7) EXIST ASPHALT PAVING TO REMAIN.
  - 8) EXIST LANDSCAPING SPOTS TO REMAIN.
  - 9) EXIST OVERHEAD LIGHT TO REMAIN.
  - 10) EXIST SIDEWALK, STREET LIGHT TO REMAIN.
  - 11) EXIST FENCED IN HOLES LOCATION TO REMAIN.
  - 12) EXIST CONC. STOPS TO BE REPAIRED & REFINISHED w/ NEW ADA COMPLIANT RAMP # 1.
  - 13) EXIST SIDEWALK, STREET TREE TO REMAIN.
  - 14) EXIST SIDEWALK, STREET TREE TO REMAIN.
  - 15) NEW ADA COMPLIANT CONC. RAMPED WALK # EXIST CONC. DOOR.
  - 16) NEW CONC. WALK CONC. WALK FRT. SIDE CONC. DETAIL TO PER PER CONSTRUCTION.
  - 17) NEW SIDEWALK STOP LOC. NEW ADA COMPLIANT.
  - 18) EXIST CONC. CURB TO BE REPAIRED w/ NEW CONC. & LANDSCAPING AREA.

**SITE PLAN**  
1/2" = 1-20'

JAPANEE - 280 NORTH WALNUT STREET  
CONCEPT  
© 2013 HARBOR SERVICE ARCHITECTURE & DESIGN  
04/03/13

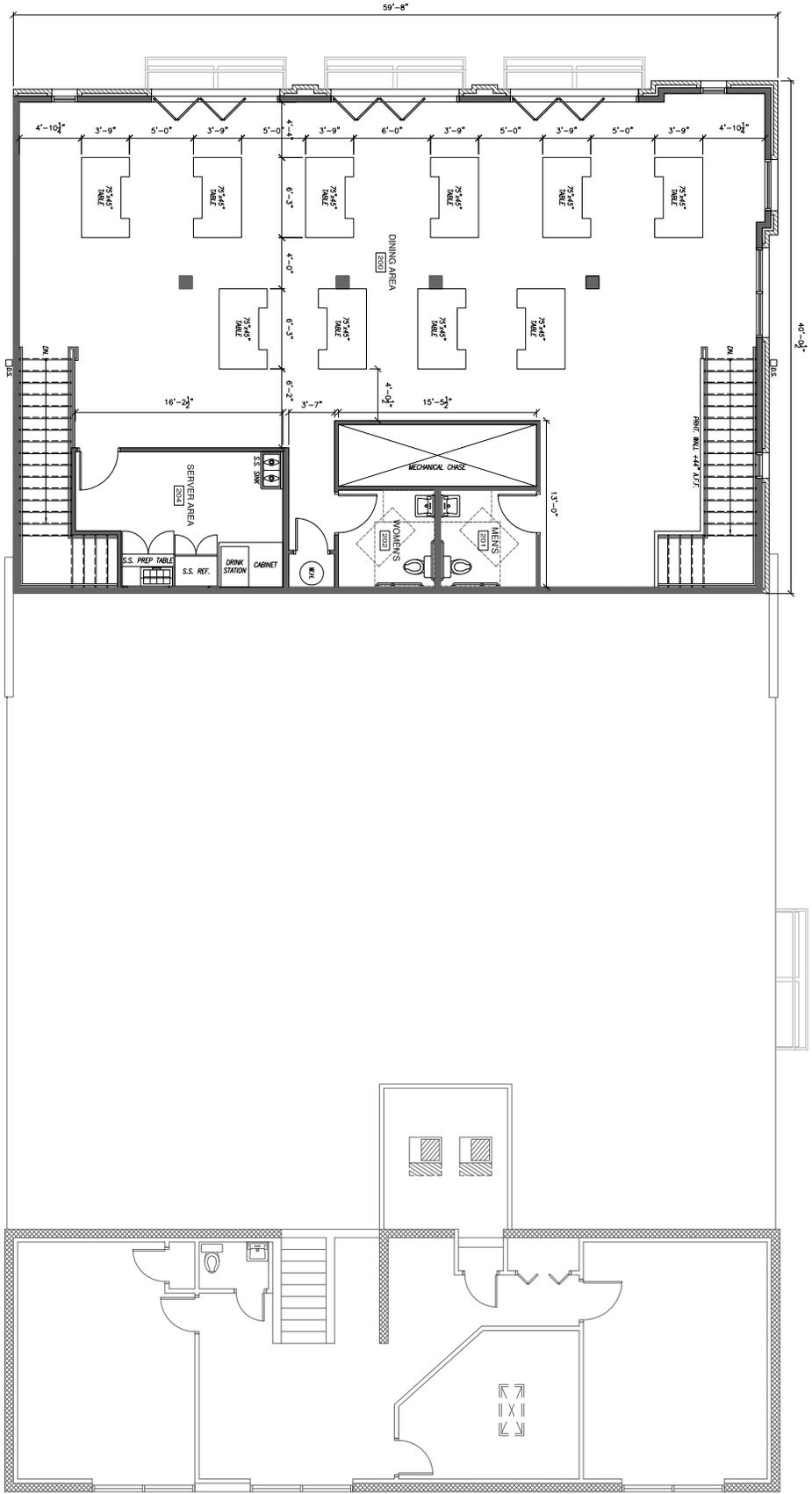




GROUND FLOOR PLAN

JAPANEE - 280 NORTH WASHINGTON STREET  
 CONCEPT  
 © 2013 HARBOR SERVICE ARCHITECTURE & DESIGN  
 04/03/13





SECOND FLOOR PLAN

1/2" = 1'-0"

DATE: 01/13

CONCEPT

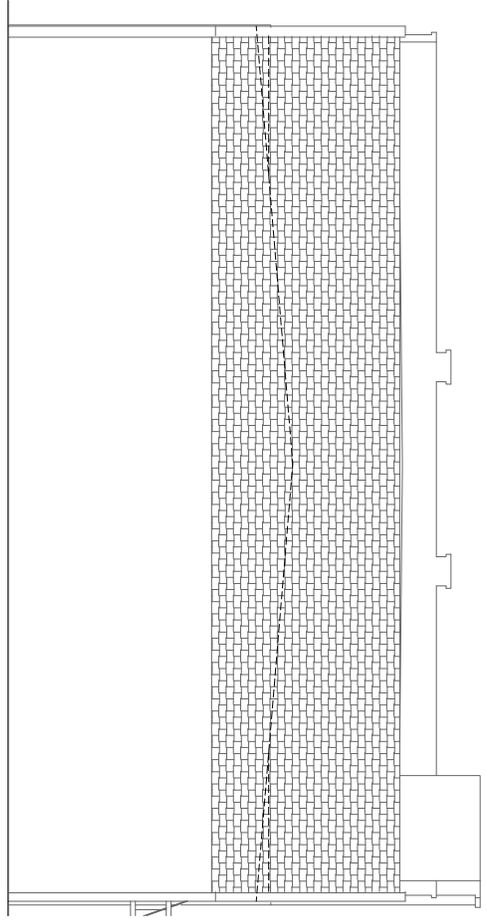
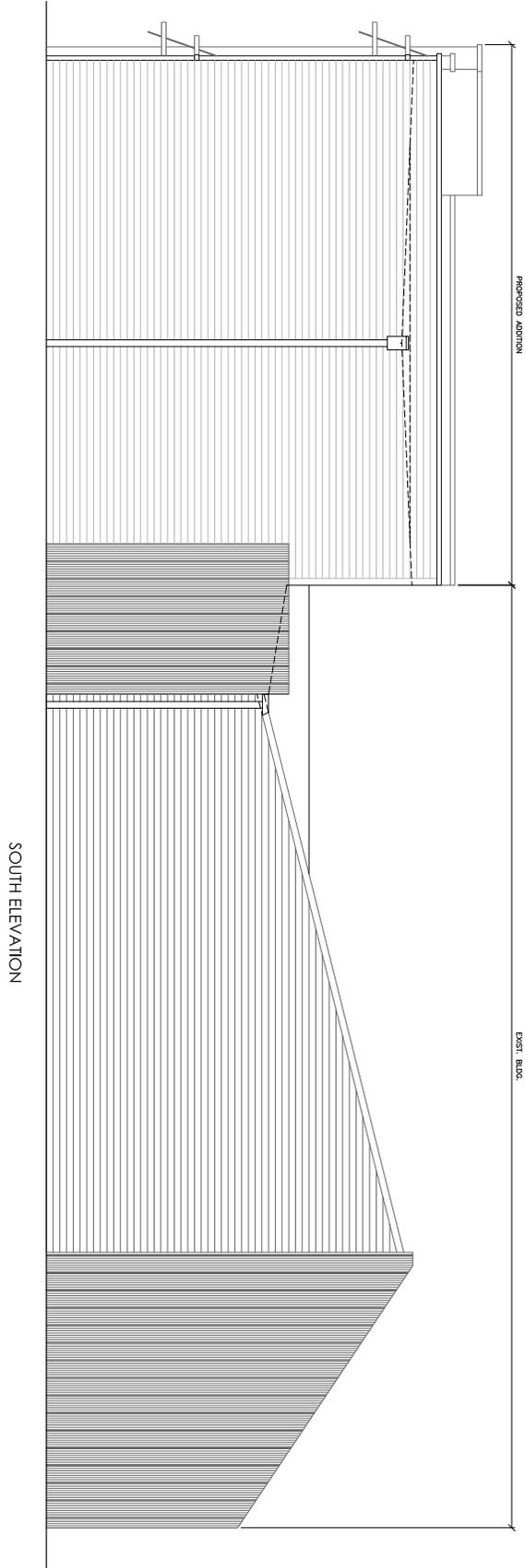
© 2013 HARBOUR BRIDGE ARCHITECTURE & DESIGN

JAPANEE - SAN NORIYUKI AND TOSHIKI



SP-21-13  
Second Floor Plan





JAPANEE - 300 NORTH WALNUT STREET  
 CONCEPT  
 03/07/13 ARCHITECTURE & DESIGN  
 04/05/13

**ELEVATIONS**

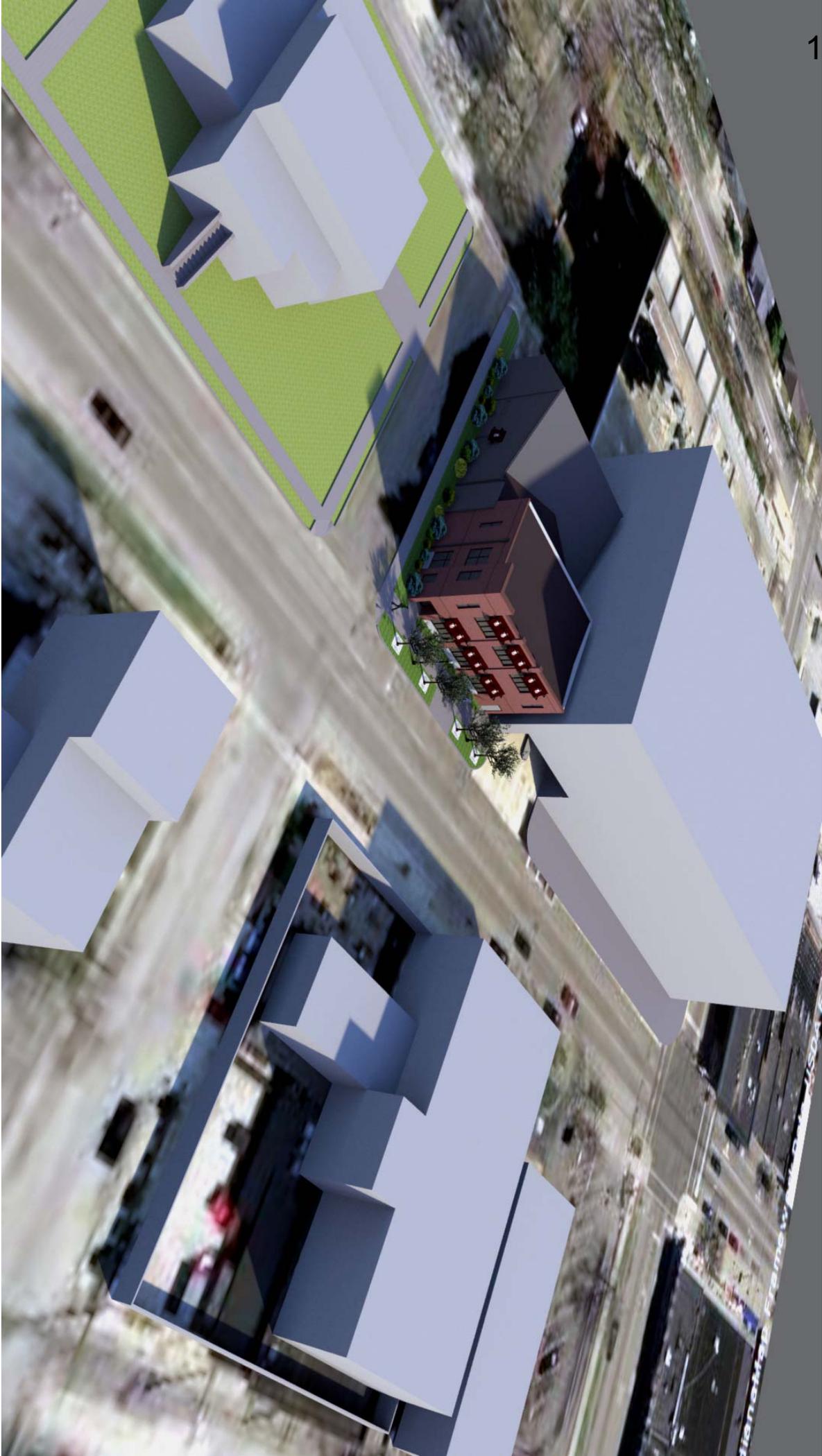
1/4" = 1'-0"

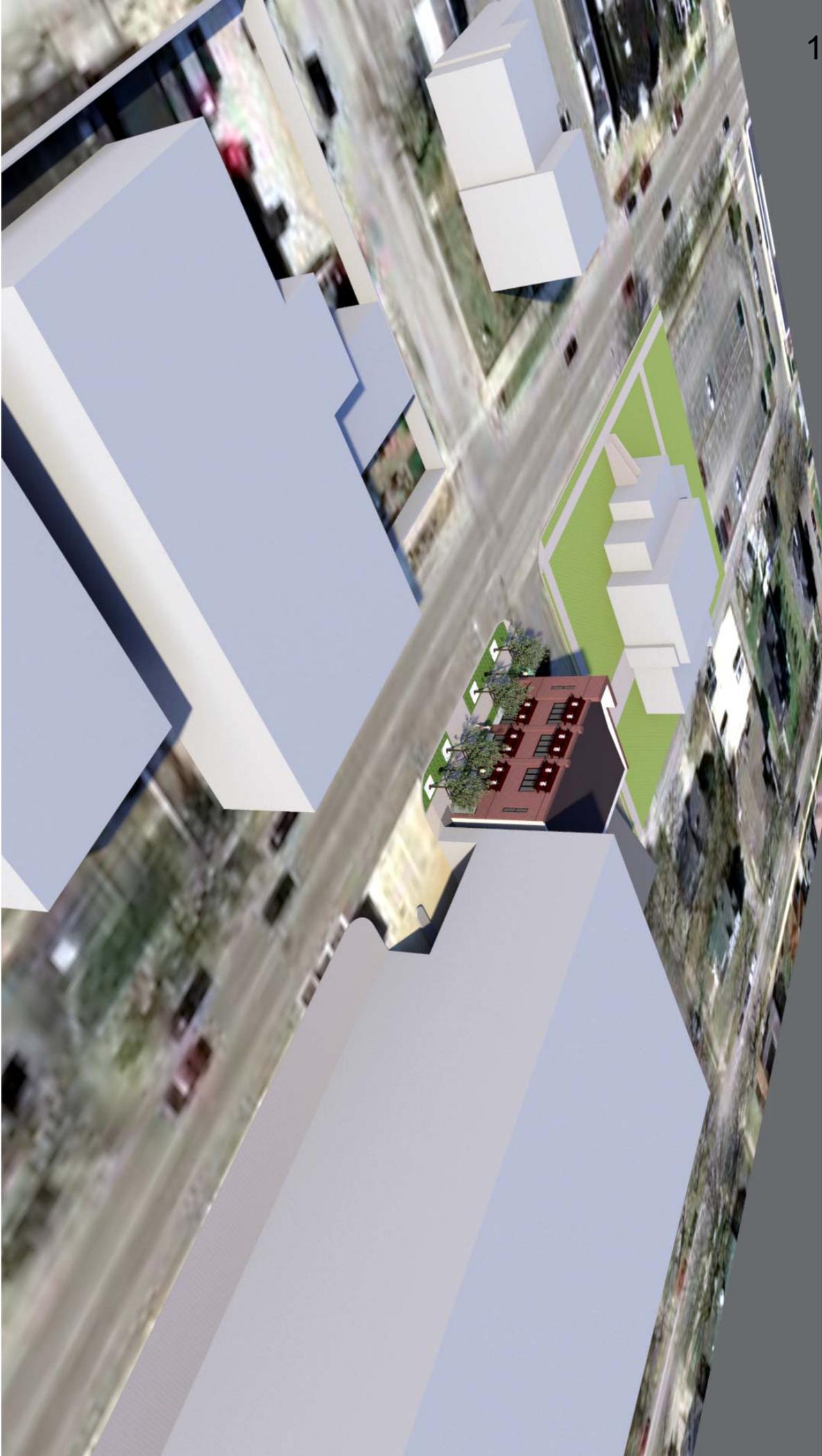
**HARVEY BRUCE ARCHITECTURE & DESIGN, P.C.**  
 ARCHITECTS  
 1000 WEST 10TH STREET, SUITE 100  
 DENVER, CO 80202

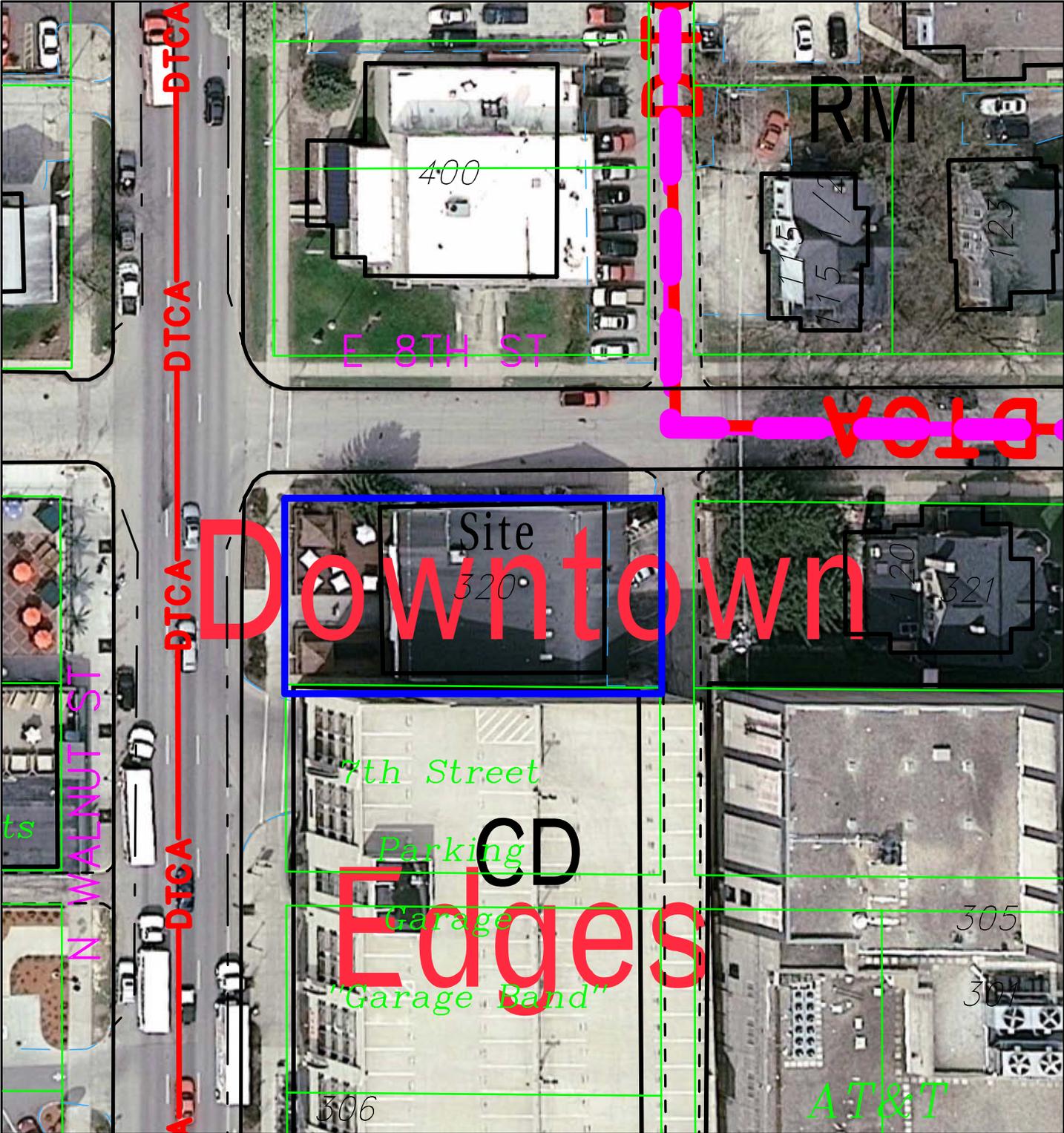
SP-21-13  
 East and South Elevations





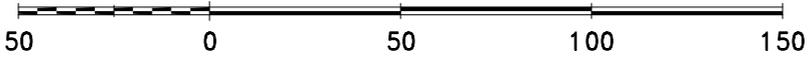




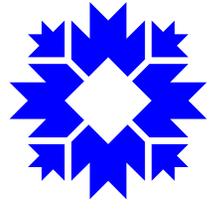


SP-21-13 Japanee  
 320 N Walnut Street  
 Plan Commission  
 2010 Aerial Photograph

By: greulice  
 5 Jun 13



City of Bloomington  
 Planning



Scale: 1" = 50'

For reference only; map information NOT warranted.

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
LOCATION: 319 N. Walnut Street**

**CASE#: SP-22-13  
DATE: June 10, 2013**

**PETITIONER: Kilroy's Sports Bar  
319 N. Walnut St, Bloomington**

**CONSULTANT: Cabrio Structures  
127 N. Main Street, River Falls, WI**

**REQUEST:** The petitioner is requesting site plan approval to construct a 3,500 sq. ft. addition to the existing bar.

**REPORT SUMMARY:** This property is located at the southwest corner of N. Walnut Street and E. 8<sup>th</sup> Street, is zoned Commercial Downtown (CD), and is within the Downtown Core Overlay (DCO). Surrounding land uses include restaurants to the north, south, and east, with multi-family residences to the west. The property has been developed with a two-story bar and outdoor patio area along Walnut St. and 8<sup>th</sup> Street.

The petitioner is proposing to construct an addition to the building to enclose an existing 45'x75' outdoor patio area. The addition would consist of new walls around the patio area and a retractable roof that could be opened and closed when necessary. The new roof would be made of a lightweight, high strength plastic and have a 3/12 slope. The bottom of the walls will utilize an existing limestone wall and contain new glass windows above the wall. There would be an internal entrance to the patio area from the bar as well as an entrance on 8<sup>th</sup> Street.

**Plan Commission Site Plan Review:** Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.090. Those aspects are as follows:

- The project is adjacent to a residential use to the west.
- The petitioner is requesting several waivers.

The petitioner is requesting several waivers from the standards in BMC 20.03.260. The following waivers are being requested:

- Minimum building height
- Roof and building cap features
- Flat roof requirement
- Vertical and horizontal design features
- Building façade modulation

## **SITE PLAN REVIEW**

**Parking:** No parking is required for nonresidential uses in the DCO district. The property does not currently have any on site parking and no parking will be added with this petition.

**Streetscape:** The petitioner completed several streetscape improvements with the site plan approvals consisting of tree grates, street lights, and bicycle parking. No new improvements to the streetscape are required with this petition.

**Architecture:** The addition will have a limestone foundation with glass windows above. The addition would be built to the property line and would bring the structure into compliance with the 70% building frontage requirement at the build-to-line. A pedestrian entrance has been provided along 8<sup>th</sup> Street. No new utility or mechanical equipment would be installed. The addition would meet the minimum 60% void-to-solid requirement. The UDO allows for only flat roofs and the petitioner is requesting a waiver to allow for the proposed roof to have a 3/12 pitch. The unique nature of this patio enclosure and retractable roof design make this roof pitch supportable. The roof and glass do not have any type of reflective coating. With this unique structure, it is also not possible to meet some of the other standard design elements such as the presence of a defined cap along the top of the roof or façade modulation.

**Roof or Building Cap-20.03.130(b):** The UDO requires a building cap comprised of different materials than the main building. The unique design and purpose of this structure makes it not possible to incorporate this typical building characteristic. Staff feels that the function of this addition would be greatly impacted if attempts were made to meet this requirement.

**Flat Roof -20.03.130(A):** The UDO allows for only flat roofs in the Downtown Core Overlay District. The petitioner is proposing a retractable roof for a patio area that due to the desired design and look does not allow for a flat roof. Many portions of the existing building do have a flat roof and this addition would be the only part of the building to not have a flat roof. Staff feels that the function of this addition would be greatly impacted if attempts were made to meet this requirement.

**Vertical and Horizontal Design-20.03.130(b)(5):** The UDO requires that-

“(A) Building facades shall incorporate exterior horizontal belt course design elements for the building base, middle and cap through techniques such as copestone, dripstone, string course, water table and/or plinth using natural stone or masonry.

(C) Building façades shall incorporate exterior vertical banding techniques using natural stone or masonry to visually define building subdivisions of wall planes, modules, or building façade focal points.”

The unique design and purpose of this structure does not lend itself to being able to incorporate these UDO requirements. The purpose of these design standards is to create visual interest for more traditionally designed buildings. The Downtown Core section of the DVISP encourages a high level of pedestrian interest. Although it does not meet the traditional design requirements, Staff finds the unique retractable patio design will help fulfill the desire for varied pedestrian interest.

**Building Façade Modulation-20.03.270(c)(1):** The UDO requires a building façade module that is offset by a minimum depth of 3% of the total façade length every 65'. The proposed structure does not have the required 2.25' of modulation that would be required. The petitioner is reusing an existing limestone wall for the new foundation and would therefore be harmed greatly if forced to incorporate modulation into an existing wall.

**Minimum Building Height-20.03.120(b):** The UDO requires a minimum building height of 35'. The existing building is approximately 25' tall. Neither the existing building nor the proposed addition would meet the minimum building height requirement and the petitioner is requesting a waiver. The addition is intended to cover the existing patio area only and as such is only planned on being 25' tall to enclose that area. The DVISP recommends building heights of 2-4 stories which is met by the roof height of 20'. This particular feature is more of a patio than a main building, so the minimum building height is more difficult to incorporate for a patio enclosure. Staff finds that the proposed height of the new patio enclosure is appropriate and supports this waiver.

**Landscaping:** No new landscaping is proposed or required with this petition.

**Utilities:** Water and sanitary sewer service are available along Walnut Street. Utility plans have been submitted to the City Utilities Department and are under review. Final approval from CBU is required prior to issuance of a building permit.

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**RECOMMENDATION:** Based on the written findings above, staff recommends approval of SP-22-13 and associated waivers with one condition:

1. Building materials and elevations must be consistent with submitted renderings.

## MEMORANDUM

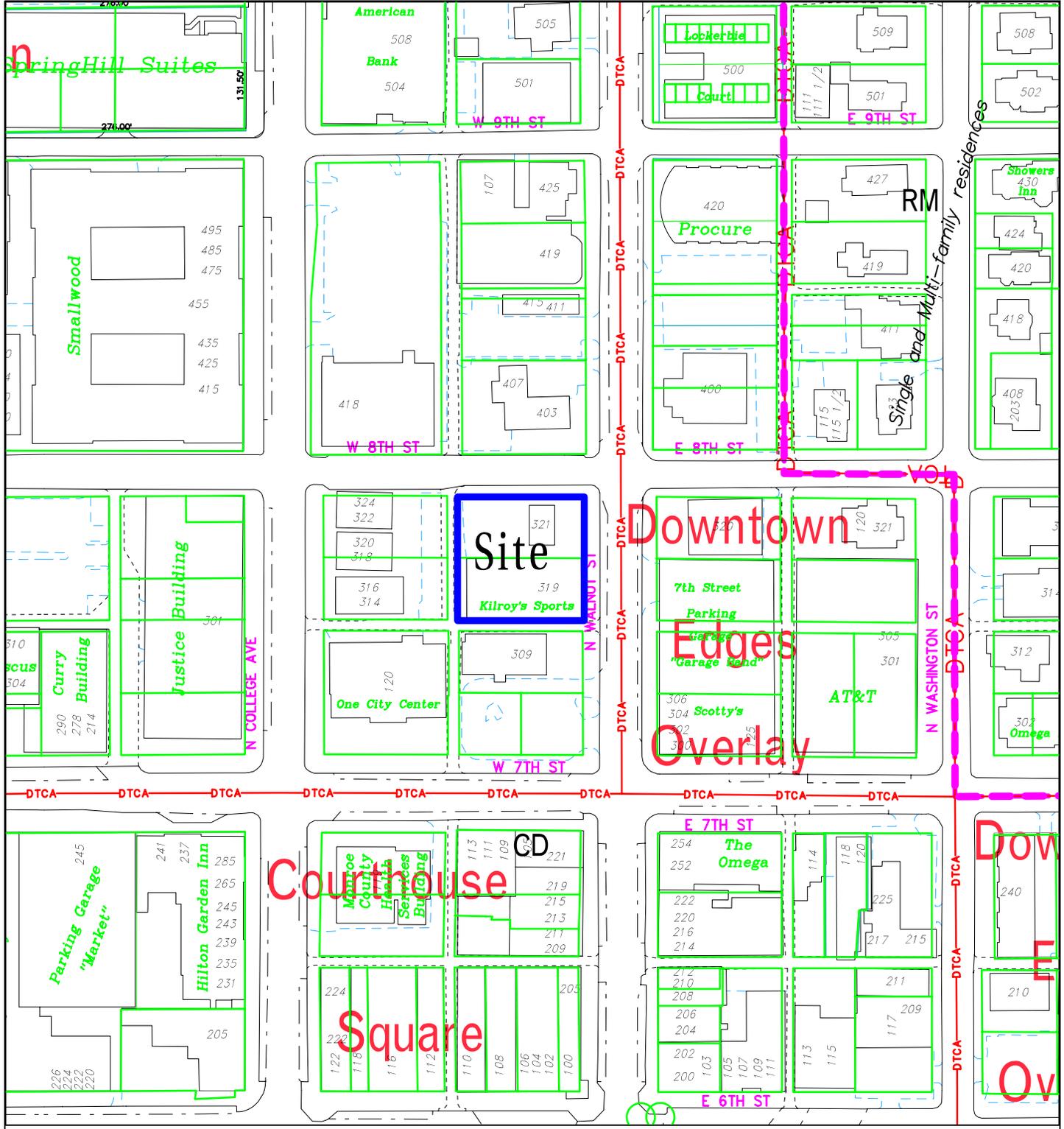
**Date:** May 30, 2013  
**To:** Bloomington Plan Commission  
**From:** Bloomington Environmental Commission  
**Through:** Linda Thompson, Senior Environmental Planner and Commission Liaison  
**Subject:** SP-22-13 Kilroy's Sports Bar  
Site Plan request for a 3,500 sq. ft. addition  
319 N. Walnut Street

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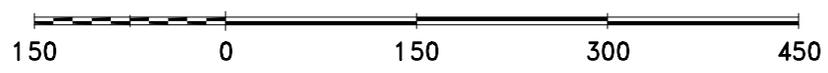
This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a Site Plan request for a 3,500 sq. ft. addition to the existing building. The site is within the Commercial Downtown Zoning District and the Downtown Core Overlay. The EC has no objections to the divergence from the regulations regarding roof height or shape in this case. The addition has a stylish and functional aesthetic that fits well with the surrounding area. However, the EC is curious about the energy efficiency of this roof system aside from its fashionable utility and looks forward to tracking its performance.

### **EC RECOMMENDATIONS:**

- 1.) The EC recommends approving the waivers of building height and roof pitch.



SP-22-13 Kilroy's Sports Bar  
 319 N Walnut Street  
 Plan Commission  
 Site Location, Zoning, Land Use, Parcels  
 By: greulice  
 5 Jun 13



City of Bloomington  
 Planning

N

Scale: 1" = 150'

For reference only; map information NOT warranted.

May 09, 2013

### Petitioner's Statement

Size: Proposed addition would be to enclose a 75X45 existing patio plus a 6X26 existing breezeway; total of 3531sf existing square feet to be enclosed.

Location: 321 North Walnut Street. Proposed location of addition would be the back patio on the west end of property. Adjacent to 8th street and the alley running north-south between College Avenue and Walnut Street.

Surrounding land use: The property is located in the downtown core. Surrounding properties include residential multi-family and downtown commercial.

Existing use and buildings: Property is currently being used as a Sports Bar and is open from 3pm-3am, 7 days a week. The site also houses the main office for the corporation. The current building has 14,211 # of interior square footage and 7,836 # of exterior square footage over 3 separate patio areas. The current building will not be altered for any additional bathrooms or capacity.

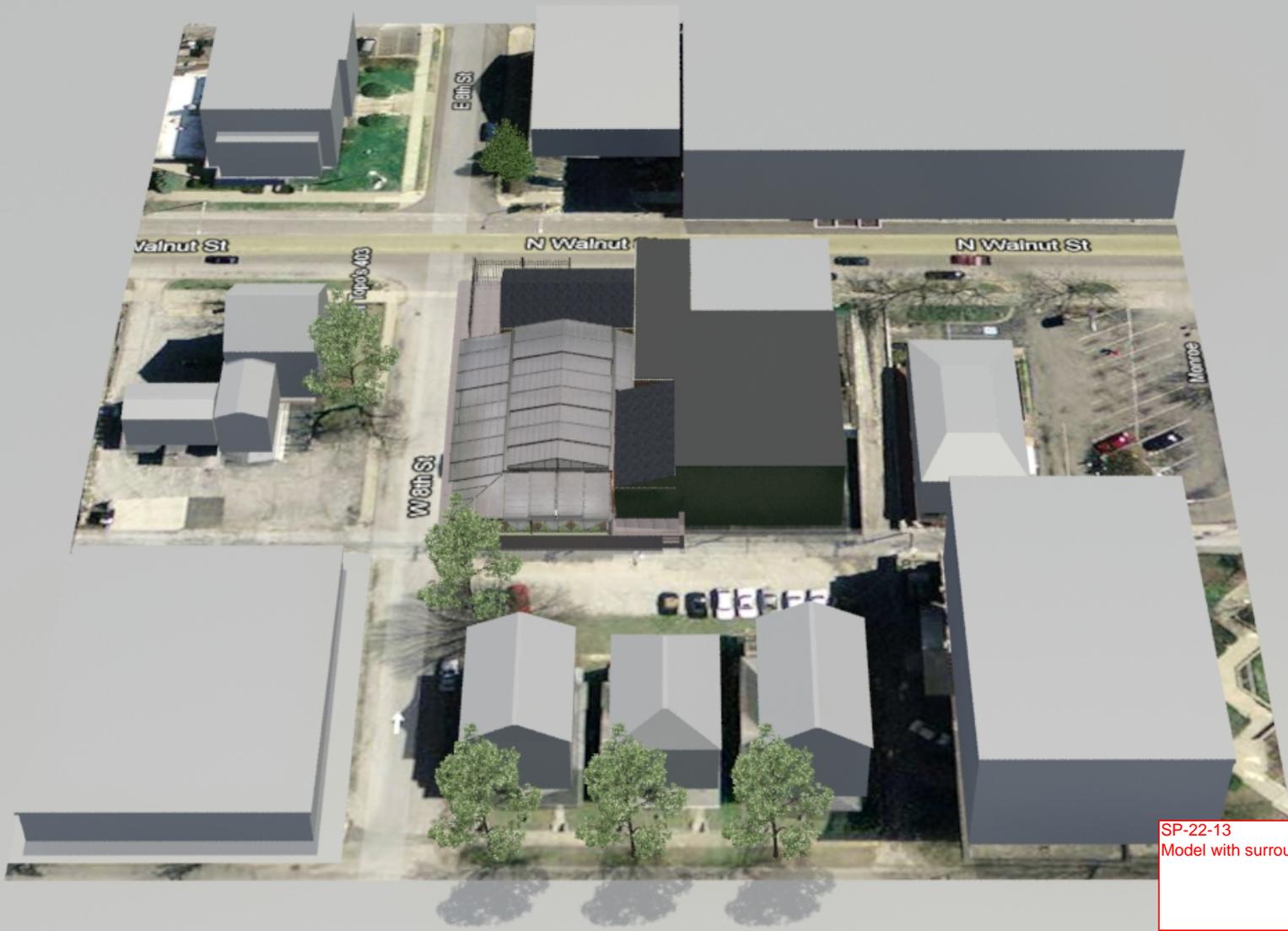
Proposed use and buildings: The goal is to enclose one of the three patios with a Cabrio Structure, a patio enclosure which allows patrons to use the space year-round as it will have a sliding wall system and retractable roof which allows for an open air environment when the weather is nice and an enclosed space during inclement weather. We feel that this addition will be a one of a kind addition to Bloomington and that it will offer something unique to the ever growing downtown dining and entertainment community. We plan on opening up for lunch at 11am throughout the week and on the weekends for brunch. In order to accomplish this we will be increasing our staff by 15-20 people when the remodel is finished. We are excited to have the space available year round to have as an option for live music, parties, banquets, reunions, etc in the downtown area.

Vehicular access: The proposed addition will not affect any vehicular traffic or access.

### Environmental issues:

- No odors or volatile organic compounds (VOC) are emitted by the finished structure.
- The structure itself does not generate or emit any sounds.
- The walls and roof provide a good source of natural light and reduce the need for electrical lightning. The polycarbonate panels for the roof are an energy efficient alternative to glass.
  - The panels offer a higher insulation value than glass and are 200 times stronger and lighter than glass. Therefore the structure required to hold the panels is considerably less than that for glass.
  - While the panels are translucent and can let in as much as 80% of the visible light, they provide UV protection blocking 99.5% of the sun's harmful rays.
- Minimal energy is required during the installation of the structure.
- A portion of the materials used in manufacturing the structure components have up to an 80% re-consumer recycled material content and all scrap is recycled.
- All materials are 100% recyclable at the end of their useful life.

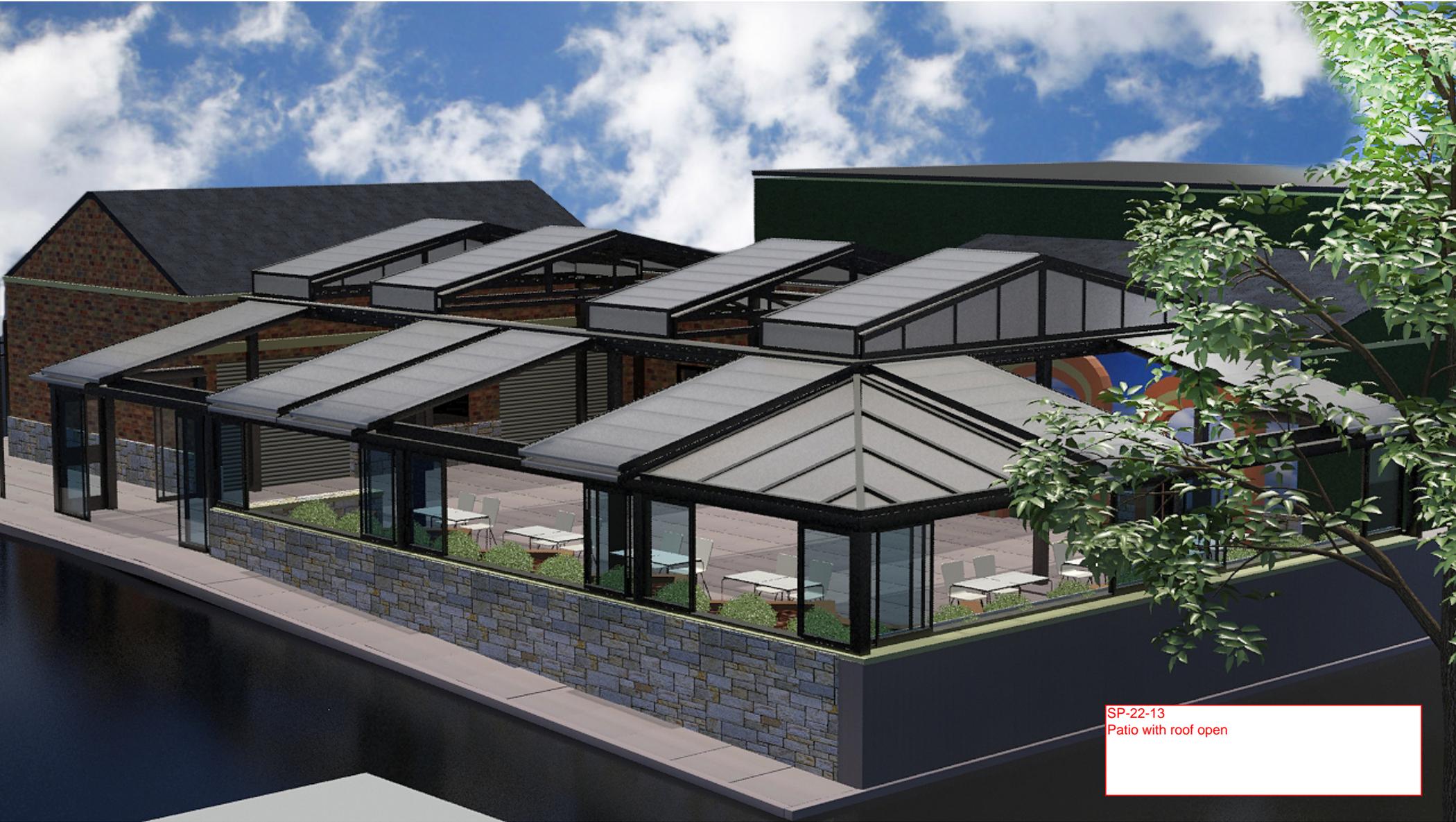
SP-22-13  
Petitioner Statement



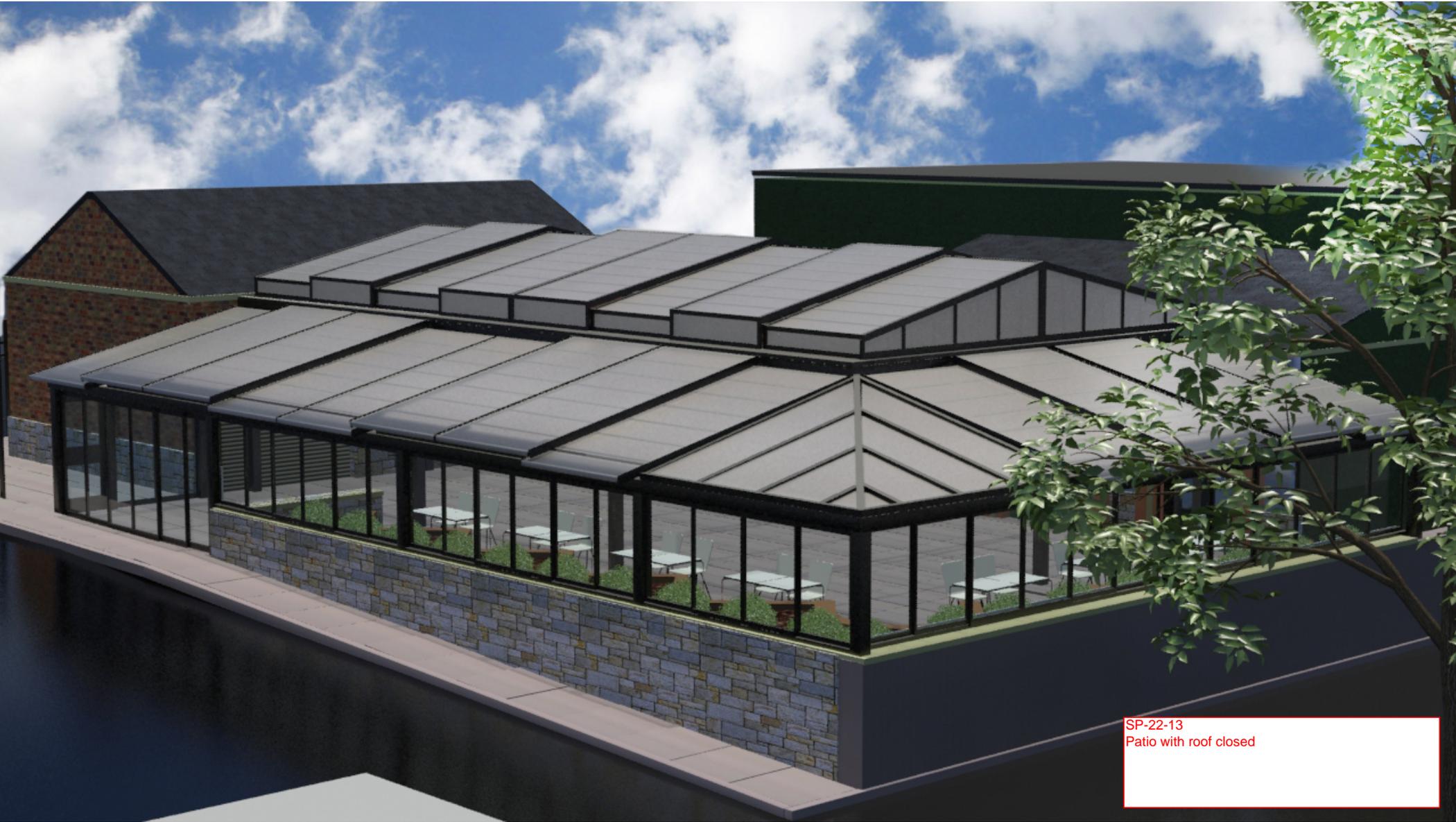
SP-22-13  
Model with surrounding buildings



SP-22-13  
Model with surrounding buildings



SP-22-13  
Patio with roof open



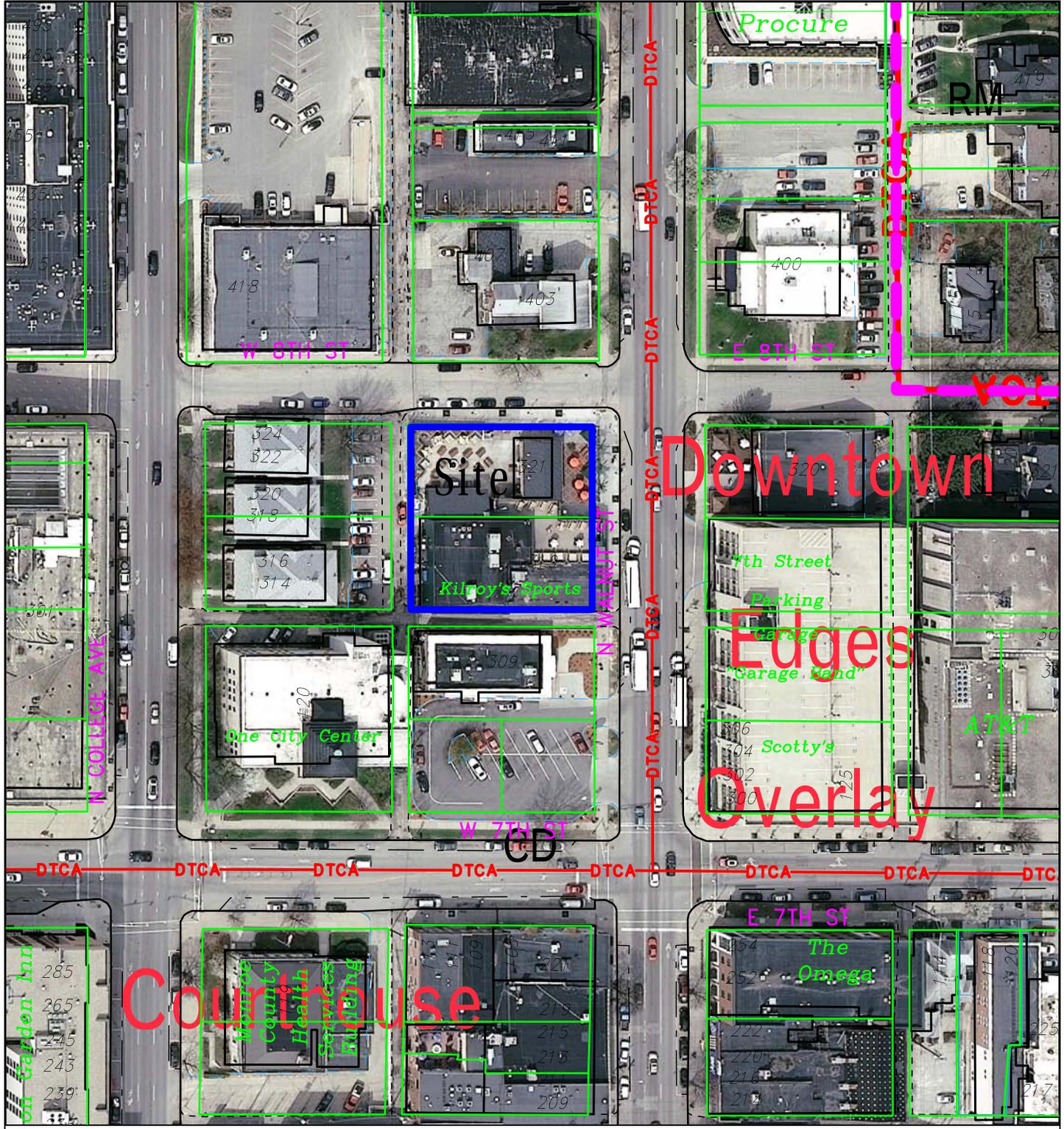
SP-22-13  
Patio with roof closed



SP-22-13  
Street view rendering

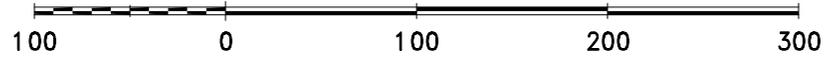


SP-22-13  
Street view looking east



SP-22-13 Kilroy's Sports Bar  
 319 N Walnut Street  
 Plan Commission  
 2010 Aerial Photograph

By: greulice  
 5 Jun 13



City of Bloomington  
 Planning

N

Scale: 1" = 100'

For reference only; map information NOT warranted.

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 420 S. Washington Street**

**CASE #: SP-27-13  
DATE: July 9, 2013**

**PETITIONER:** Fox Property and Development, LLC  
6440 Wellston Drive, Bloomington

**CONSULTANT:** Smith Neubecker & Associates  
453 S. Clarizz Blvd, Bloomington

**REQUEST:** The petitioner is requesting site plan approval for a 24-unit multi-family structure.

<b>Area:</b>	<b>0.18 Acres</b>	
<b>Zoning:</b>	<b>CD/Downtown Core Overlay</b>	
<b>GPP Designation:</b>	<b>Downtown</b>	
<b>Existing Land Use:</b>	<b>Commercial</b>	
<b>Proposed Land Use:</b>	<b>Mixed Use</b>	
<b>Surrounding Uses:</b>	<b>South</b>	– Mixed-Use (Goldcasters Jewelry)
	<b>West</b>	– Mixed-Use
	<b>North</b>	– Commercial (Ellis Event Rental)
	<b>East</b>	– Residential

**REPORT SUMMARY:** The subject property is located on the west side of S. Washington Street, mid-block between E. Smith Avenue and E. 2<sup>nd</sup> Street. This 0.18 acre site is currently a surface parking lot. The subject property and the surrounding properties to the north, south, and west are zoned Commercial Downtown (CD) and are within the Downtown Core Overlay (DCO). The properties to the northeast are within the CD district and within the Downtown Edges Overlay (DEO), the properties to the east are zoned Commercial General (CG), and the properties to the southeast are zoned Residential Multi-Family (RM). The property is bordered on the west and north by alley rights-of-way.

The petitioner is proposing to construct a new 4-story residential structure with parking on the first floor that would utilize the adjacent alley ways to provide access. The structure would include 24 units and a total of 27 bedrooms. This site is not in an area that requires ground floor non-residential space. Although the majority of the first floor is being utilized for parking, the petitioner has designed the building to provide common area for the elevator lobby, mailboxes, and the stairway along the street to create a more active streetscape. The stairway has been designed to be a decorative stair that will have window openings on the east side of the structure.

The property has an existing sanitary sewer line that runs along its northern property line. The petitioners have placed the proposed structure far enough from that property line to allow for adequate access to this utility line as well as creating a wide enough vehicular access to accommodate the garage structure and existing encroachments into the alley right-of-way by the neighbor to the north.

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**Plan Commission Review:** Three aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.090. These aspects are as follows:

- The project is adjacent to a residential use.
- The project proposes three waivers to the standards in BMC 20.03.130.

---

## **SITE PLAN REVIEW**

**Residential Density:** The petitioner is proposing 21 one-bedroom units and 3 two-bedroom units for a total of 24 units and 27 bedrooms. This proposal would equate to 7.23 dwelling unit equivalents (DUE) or 40.2 DUE/acre. This is below the 60 DUE/acre that is permitted within the DCO.

**Height:** The DCO district specifies a maximum structure height of 50 feet. The proposed structure has a height of approximately 45 feet from the lowest elevation along the building to the highest point on the roof. There is a stair tower that will extend to the rooftop on the western portion of the building to provide access to a roof deck

**Maximum Impervious Surface Coverage:** The DCO allows up to 100 percent coverage. With the building and the widened alley, the site will have nearly 100 percent coverage.

**Parking:** This site is located south of 4<sup>th</sup> St. Therefore, no parking is required within the DCO. The petitioner is proposing to construct approximately 13 parking spaces within the lower level garage that would be served by an entrance from the alley to the north and exit onto the alley to the west.

**Setbacks:** The DCO does not require any setback for structures on this property. The proposed structure will be placed at the south property line. There is a small overhang for the cornice of the building. The petitioner must either receive an easement for the air encroachment or set the structure back enough to remove the encroachment. Although the petitioner is proposing windows on the southern wall, these windows are not required for ingress/egress due to the fire suppression system to be installed in the structure. Construction in the future could block these windows in the future.

The structure is also set back from the northern property line enough to create a widened alley to allow access and to accommodate an existing sidewalk and building encroachment along the property to the north. This setback will also allow for adequate separation from an existing utility line.

### **Architectural Standards:**

**Frontage:** The DCO requires that a minimum of 70% of the building façade to be constructed at the build-to line. With the exception of the recessed entry, the entirety of the structure is located at the front build-to line.

**Orientation and Entrances:** The proposed structure has been designed to include the required primary pedestrian entry along S. Washington St. This entry will be at grade with the adjacent sidewalk.

**Streetscape:** The petitioner is proposing to create a new streetscape that would include a tree plot with two street trees and a 5-foot wide sidewalk. There is a very large right-of-way at this location which the petitioner will be seeking to utilize for bicycle parking and installation of the required fire meter pit and Fire Department connections. These will require an encroachment approval. This proposal requires a waiver from the requirement to place street trees within 5' x 5' tree grates.

**Tree Grate Waiver-20.03.130(a)(4):** The Downtown Vision and Infill Strategy Plan (DVISP) state that street trees are considered an important component to any downtown development proposal. It recommends tree grates to be utilized when appropriate. Staff finds that due to the very wide right-of-way and the residential nature of the proposed structure make a more appropriate streetscape. This proposal would remove a parking encroachment into the right-of-way and would be consistent with the tree plot located on the property to the south, allowing for a more consistent pedestrian path along S. Washington St. Staff supports this waiver.

**Roofs/Caps:** The proposed structure has the required design elements to meet all of the roof and cap requirements.

**Void-to-Solid:** The DCO sets a minimum first floor void-to-solid ratio at 60%, "consisting of display windows, entries and doors." The upper floors are required to have a minimum of 20% void-to-solid ratio. The proposed building has a first floor ratio of approximately 30% and the upper floors at 20%. The fourth floor falls slightly below 20% due to a smaller window being utilized above the entry.

**Void-to-solid Waiver-20.03.130(b)(2):** This requirement was developed with commercial storefronts as the intended result. Many areas of the DCO require first floor non-residential space. Since this project is not located in one of those areas, staff finds a reduced void-to-solid ratio to be appropriate. The proposed elevations are consistent in terms of void-to-solid ratios for traditional residential buildings and therefore, staff finds the proposal to be consistent with the intent of the DVISP.

**Windows:** The structure has shown a large number of windows on all facades. The windows that are on the south side of the structure are located at the property line and may be covered by future construction of that property. Due to this structure including appropriate fire suppression, these are not required ingress/egress windows. The petitioner has also added "bricked-in" window details to the north and south side elevations to reduce the impact of blank wall associated with the garage portion of the structure.

The proposed windows for the structure are nearly 1:2 in width to height ratio and meet the required design standards for the DCO. There is one window on the fourth floor that does

not meet the width to height ratio and drops the fourth floor void-to-solid ratio slightly below the 20% requirement.

**Window Waiver-20.03.130(b)(3):** This window choice is due to the addition of an arched architectural feature that highlights the building entry. Staff finds this to be a desirable feature and finds that a waiver for one window will still result in the structure meeting the intent of traditional window patterns as recommended by the DVISP.

**Materials:** The structure will be constructed of primarily brick and limestone. The petitioner has proposed a large cornice for this structure to create a pronounced building cap with significant detail. Originally the petitioner had proposed to construct this of EIFS. However, the petitioner has agreed to construct this cornice with alternative materials including options such as fiberglass and metal. These materials are permitted and do not require a waiver.

**Vertical/Horizontal Design:** The proposed building meets all vertical and horizontal design requirements.

**Entrance Detailing:** The proposed entry includes the required 4-foot recession and canopy structure. The petitioner will be adding the required address, lighting, and building name to the Washington St. elevation prior to permit issuance.

**Façade Modulation:** Due to the width of the structure, no modulation is required for this structure.

**Bicycle Parking:** The petitioner has shown the required bicycle parking for the proposed structure within the wide right-of-way for Washington St. near the entrance of the building.

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**ENVIRONMENTAL COMMISSION RECOMMENDATIONS:** The Bloomington Environmental Commission (EC) reviewed the proposal and has made three recommendations:

1.) The Petitioner should apply green building practices to create a high performance and low carbon-footprint structure.

**Staff's Response:** Although not required, staff encourages the petitioner to incorporate as many green building practices as possible. The petitioner has also explored the potential to include some rooftop greenspace as well.

2.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick it up.

**Staff's Response:** Although desirable, this is not a requirement of the UDO. Staff finds that these issues would be more appropriately addressed on a city-wide basis than arbitrarily with site plan approvals.

3.) The Petitioner should continue to work with the City to create a Landscape Plan.

**Staff's Response:** The petitioner will place the two required street trees and will work with staff to receive an encroachment for any additional landscaping that is placed within the Washington St. right-of-way.

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**DEVELOPER TRACK RECORD:** The petitioner has recently completed a multifamily project at the northeast corner of E. 10<sup>th</sup> Street and N. Walnut Street. There are no known existing violations at this site.

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**RECOMMENDATION:** Staff recommends approval of SP-27-13 and associated waivers with the following conditions:

1. The entry shall be revised to include a building address, building name, and exterior lighting prior to building permit issuance.
1. The petitioner must work with Planning and Engineering staff to include mirrors or alternative safety methods at the vehicular exits from garage, if deemed to be necessary.
2. All encroachments into the public right-of-way must be approved by the Board of Public Works.
3. The architecture of this structure shall be as submitted. No EIFS is approved with this approval.
4. The south side of the structure must also include "bricked-in" windows as shown on the north side of the first floor of the structure.
5. The petitioner must receive an easement from the property to the south to allow for the cornice encroachment to the south or the building must be setback to the north enough to remove the encroachment.
6. The petitioner must grant an easement to the City of Bloomington Utilities Department for the existing sanitary sewer line to the north of the proposed structure prior to any permit issuance.

# MEMORANDUM

**Date:** May 30, 2013

**To:** Bloomington Plan Commission

**From:** Bloomington Environmental Commission

**Through:** Linda Thompson, Senior Environmental Planner and Liaison to the EC

**Subject:** SP-27-13 Justin Fox, 420 S. Washington St.  
Site Plan request

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This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a Site Plan request for a 27-bed, multi-family structure on 0.18 acres within the Commercial Downtown Zoning District and the Downtown Core Overlay. The EC is enthusiastic about the roof-top garden and gathering space planned for the roof of this building.

## **ISSUES OF SOUND ENVIRONMENTAL DESIGN:**

### 1.) GREEN BUILDING:

The EC recommends that the developer design the building with as many best practices (BP) for energy savings as possible. Green building best practices means that the building will be built with significantly higher standards than minimum Building Code (ASHRAE 90.1) regulations. Some examples of BPs that go beyond the Building Code include enhanced insulation; high efficiency heating and cooling; Energy Star doors, windows, lighting, and appliances; high efficiency toilets; programmable thermostats; sustainable floor coverings; and recycled products such as carpet and counter tops. Some specific recommendations to mitigate the effects of climate change include the following.

Reduce Heat Island Effect. The roof material should have a minimum initial Solar Reflective Index (SRI) of 0.65, and an aged index of 0.55.<sup>1</sup> If a roof membrane is used, it should be overlaid with a reflective coating or covered with a white, granulated cap sheet.

Water conservation. As recommended in the *City of Bloomington Utilities Water Conservation Plan*, every effort should be used to conserve water. All fixtures should be the low-flow type. The faucets for hand washing sinks should be the self-closing type, and the toilet design and plumbing should be the high efficiency type.

Energy efficiency. All insulation and windows should be highly insulating to save energy in both summer and winter, and to reduce greenhouse gas emissions in our region.

Green building supports Bloomington's overall commitment to sustainability and is being actively promoted by the City (<http://bloomington.in.gov/greenbuild> and UDO green building incentives 20.05.049 GD-01). Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Krusan, by City Council resolution 06-05 supporting the Kyoto

Protocol and reduction of our community's greenhouse gas emissions, and by City Council resolution 06-07, which recognizes and calls for planning for peak oil, and by Redefining Prosperity: Energy Descent and Community Resilience Report of the Bloomington Peak Oil Task Force.

2.) **RECYCLING:**

The EC recommends that space should be allocated for recyclable-materials collection, which will reduce the development's carbon footprint and promote healthy indoor and outdoor environments. Lack of recycling services is the number one complaint that the EC receives from apartment dwellers in Bloomington, and hopefully will be required in the near future. Recycling has become an important norm that has many benefits in energy and resource conservation. Recycling is thus an important contributor to Bloomington's environmental quality and sustainability and it will also increase the attractiveness of the apartments to prospective tenants and short-term motel customers.

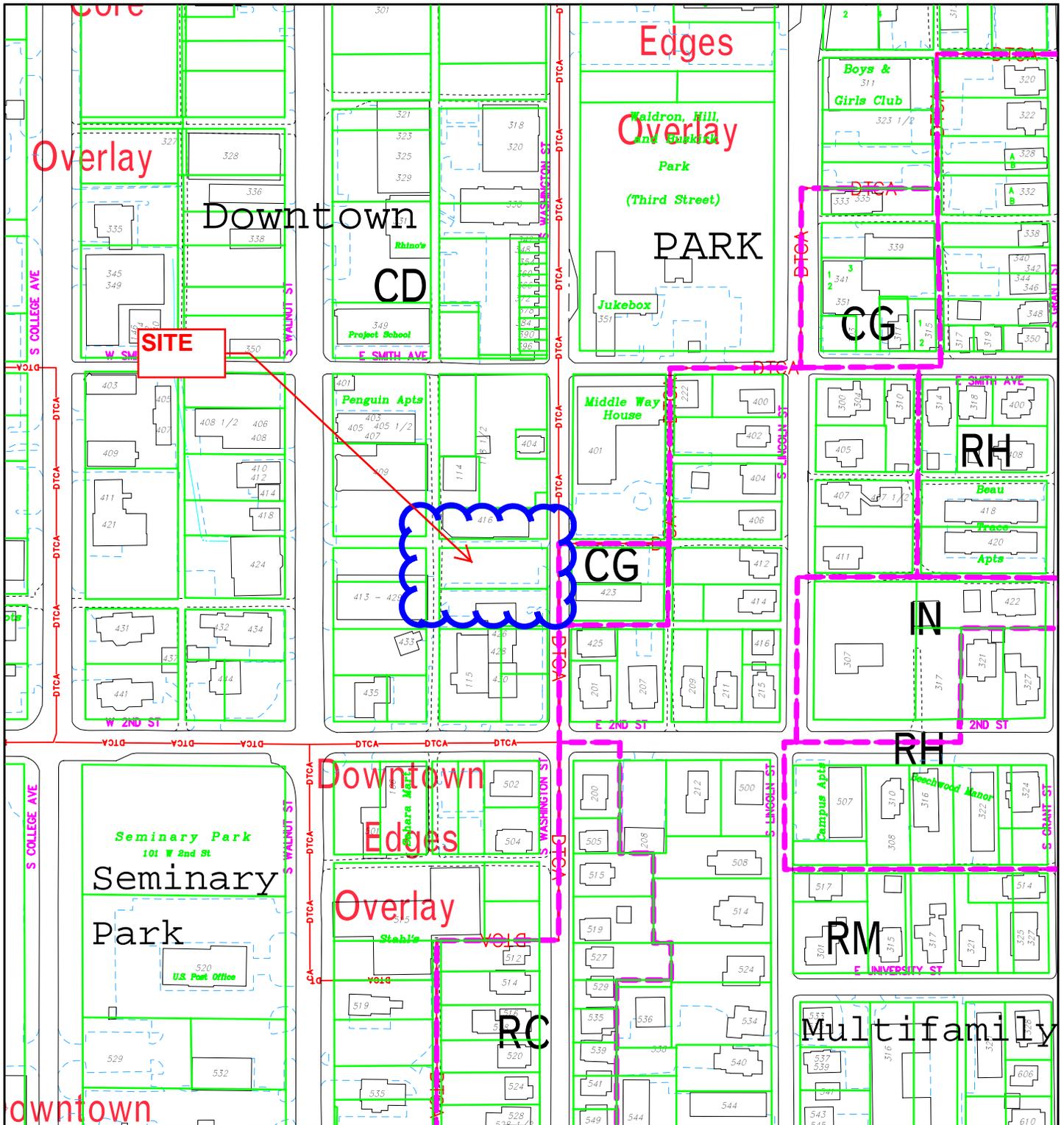
3.) **LANDSCAPE PLAN:**

This is an unusual site given the City Right-of-Way stretches up to the front of the building from Washington Street. The Petitioner has verbally agreed to landscape the small space that is there; however, they must first get permission from the City for disturbance in the ROW. The EC recommends the Petitioner continue to work with the City on a Landscape Plan.

**EC RECOMMENDATIONS:**

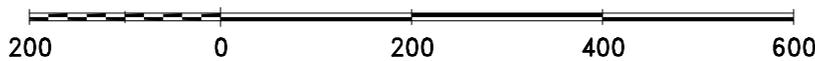
- 1.) The Petitioner should apply green building practices to create a high performance and low carbon-footprint structure.
- 2.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick it up.
- 3.) The Petitioner should continue to work with the City to create a Landscape Plan.

<sup>1</sup> *SRI* is a value that incorporates both solar reflectance and emittance in a single value to represent a material's temperature in the sun. *SRI* quantifies how hot a surface would get relative to standard black and standard white surfaces. It is calculated using equations based on previously measured values of solar reflectance and emittance as laid out in the American Society for Testing and Materials Standard E 1980. It is expressed as a fraction (0.0 to 1.0) or percentage (0% to 100%).

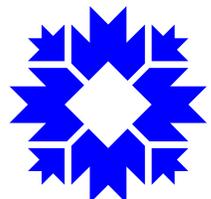


SP-27-13  
Location/Zoning Map

By: shapp  
6 Jun 13

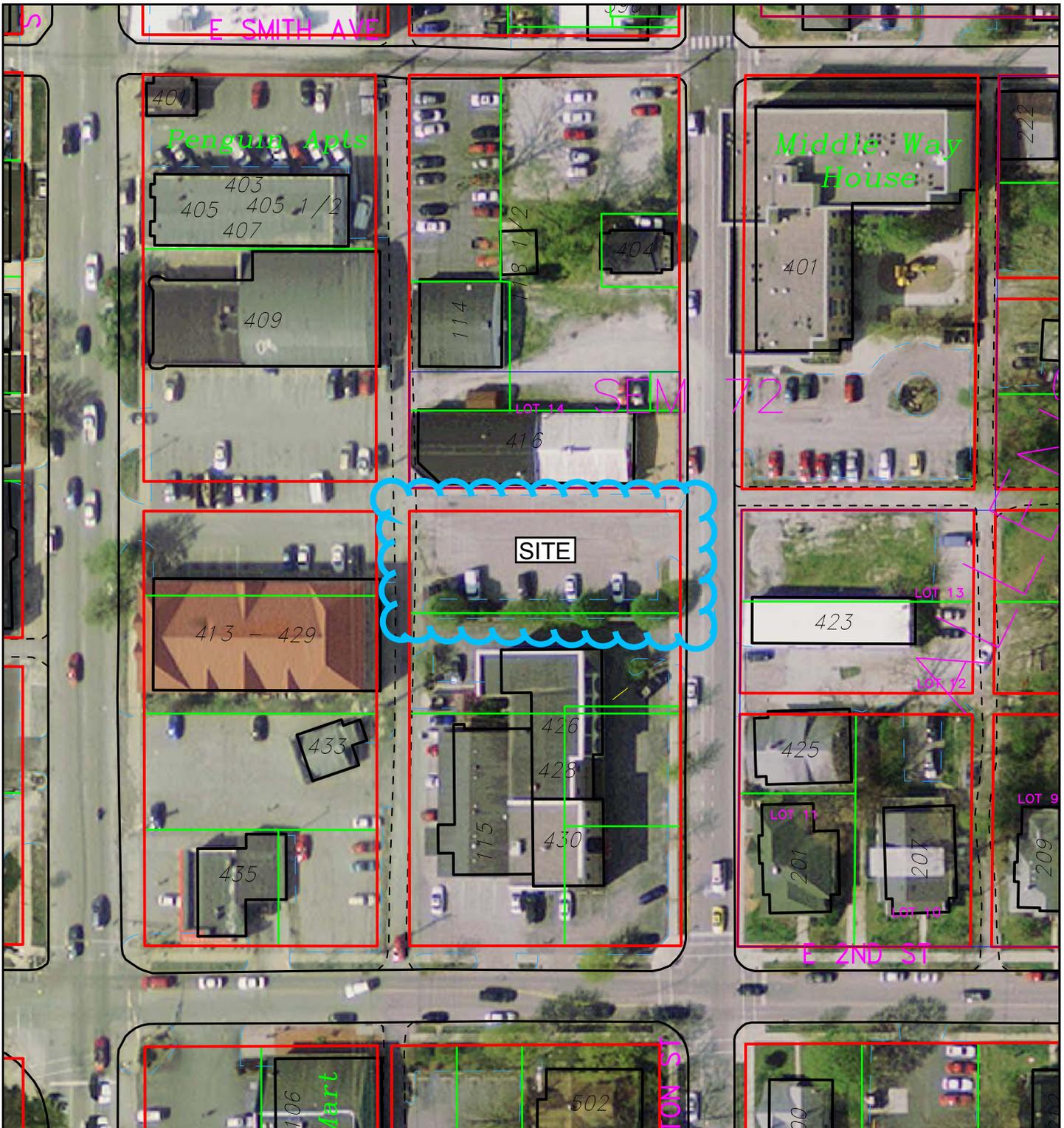


City of Bloomington  
Planning



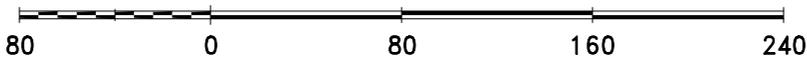
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For reference only; map information NOT warranted.



SP-27-13  
Aerial Photo

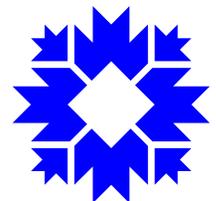
By: roachja  
2 May 13



For reference only; map information NOT warranted.



City of Bloomington  
Planning



Scale: 1" = 80'

Smith Neubecker & Associates, Inc.



"Providing professional land planning, design, surveying and approval processing for a quality environment"

Stephen L. Smith, P.E., L.S.  
Daniel Neubecker, L.A.  
Steven A. Brehob, BS.CNT.

May 10, 2013

Patrick Shay  
City of Bloomington Planning Department  
401 N. Morton Street  
Bloomington, IN. 47402

Re: Fox Building  
420 S. Washington St.

Dear Pat,

On behalf of our client, Justin Fox, we respectfully request to be placed on the Plan Commission agenda for the June 10<sup>th</sup> meeting for consideration of a multifamily building to be constructed at 420 S. Washington Street.

Details of the development proposal are contained in the attached petitioner's statements. Also attached with this letter are site and architectural plans, building elevations, color renderings, application form and filing fee.

Should you have any question concerning the application, please contact me.

Sincerely,

Steven A. Brehob  
Smith Neubecker & Associates, Inc.

Cc: 4937 file  
Attachments: Site Plan

J:\4937\correspondence\_out\PShay PC Application\_5-10-13.docx



"Providing professional land planning, design, surveying and approval processing for a quality environment"

Stephen L. Smith, P.E., L.S.  
Daniel Neubecker, L.A.  
Steven A. Brehob, BS.CNT.

## Petitioners Statement

### Location

The project site is located at 420 S. Washington Street which is roughly ½ block north of the NW corner of 2<sup>nd</sup> and Washington. The site is currently a surface parking lot with the Goldcaster's Building to the south and the Ellis Floral Building to the north.

### Parcel

The parcel is approximately 0.18 acres in size. The parcel fronts on Washington Street with a platted alley to the north and platted alley to the west.

### Zoning

The site is zoned CD – Downtown Commercial with a Downtown Core Overlay. This site would permit development density for multifamily of 60 units per acre or approximately 10 units.

### Density Proposed

The building will contain 21 one-bedroom units and 3 two bedroom units. This equates to a DUE of 5.25 one bedroom units and 1.98 two bedroom units for a total of 7.25 units.

### Parking

Though parking is not required, internal parking is being provided on the ground floor with an entry off of the northern alley and an exit to the western alley.

### Peculiar Conditions

The right-of-way of S. Washington Street is 40' north of the site. It increases in width to 56' at the north side of the Ellis Floral Building. Thus the right-of-way line is not at the back of the existing sidewalk, which is typical, but rather well into the existing surface parking lot. The existing Ellis Floral Building north of the site encroaches into the platted 12' wide alley by approximately 3'. There is an existing 6' wide concrete sidewalk along the south side of the building and currently parallel parking adjacent to the curb. There is also a parking island at the intersection of the alley with Washington Street. Effectively, the existing platted alley is not useable and the drive aisle through the site is actually located on the Fox Building development property. There is also an existing sanitary sewer line which



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Stephen L. Smith, P.E., L.S.  
Daniel Neubecker, LA  
Steven A. Brehob, BS.CNT.

runs diagonal from NE to SW across the alley and is not fully located within the alley area. The sewer encroaches onto the Fox building Development property.

### **Overcoming Peculiar Conditions**

Due to the encroachment into the platted alley of the Ellis Floral Building and the existing sidewalk, additional area must be provided create a functional alley as close to the location of the platted alley as possible. This will be accomplished by reducing the width of the existing sidewalk along the south side of the Ellis Floral building from 6' to 4'. The Fox Building will be set back from the north property line (south line of alley) by 10'. This will create a useable drive area to serve as the alley of 15'. It will also provide separation between the building and existing sanitary sewer line.

### **Streetscape**

The streetscape along Washington Street will consist of a 5' tree plot and 5' sidewalk. The remainder of the right-of-way area back to the property line will be lawn area.

### **Encroachments**

Because of the wider right-of-way area along Washington Street, an encroachment will be required below grade for the fire meter pit and above grade for the fire department connection and post indicator valve. An encroachment will also be required above grade for the bicycle parking in front of the building. Both are typical encroachments for downtown development.

### **Utilities**

Sanitary sewer service for the building is available along Washington Street and within the alley north of the site. Water, storm and gas service is available along Washington Street. Electric and phone service is available along the platted alley west of the site.

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**Fox Development – Apartment Building**

422 S. Washington St., Bloomington, IN

**Building Description:**

The proposed structure will be faced with brick with limestone trims. The cornice will be a substantial design. The design is very traditional and historical.

The building will have an enclosed parking structure on the main level. Although there is no parking requirement for this lot, parking will be provided for 13 cars. The entrance, stair tower, elevator and lobby will be on the street side. A second stair tower and trash receptacle will be on the opposing end off the alley. The building will be ADA compliant and all apartments will be adaptable.

There will be a total of 21 – One bedroom and 3 – Two bedroom apartments; for a total of 24 total units. This provides for a total of just over 7 DU's, far below the limit.

The prospective tenants will be targeted toward working professionals. Additional storage in the garage area, larger bathrooms, stack W&D's, Juliette balconies, parking and the rooftop areas and its proximity to the downtown are the main amenities.

**The following waivers are needed for this project.****Void-to-solid:**

- We are at about half of the required 60% on the first floor.
- We are at the required 20% for floors 2 & 3, but slightly under that for the 4<sup>th</sup> floor.

**Material for the Cornice:**

- We wish to use EFIS to construct the complex cornice work.
- All other materials shall be brick and limestone.

**We are complying with the following.****Roof or building caps:**

- We have a substantial cornice on our parapet.
- We are using a flat roof design. The plan will include some area for the tenants to use for gatherings and small gardens. It also will be where the mechanical units are located.

**Vertical & Horizontal Design:**

- We have the required beltline made of limestone and also an upper beltline that uses a half-round brick shape.



**MILLER  
ARCHITECTS**

PO BOX 568  
104 SOUTH JEFFERSON ST  
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ARCHITECTURE  
DESIGN  
PLANNING

STEPHEN V. MILLER, ARCHITECT

DOUG HARDEN, PROJECT MGR.

CAROLYN GRAB, OFFICE MGR.

PROGRAMMING

CONCEPTUAL DESIGN

SITE ANALYSIS

MASTER PLANNING

SPACE PLANNING

PROJECT ADMINISTRATION

FEASIBILITY STUDIES



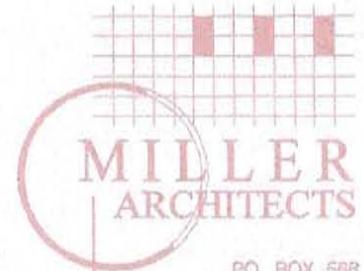
Entrance Detailing:

- Ours is inset the required 4'
- We will have lighting and the building name (not yet shown)
- We are using the quoins and soldier coursing, including the elliptical lintel to comply with the "pilaster or façade modules"

Street trees, pedestrian lighting and bicycle parking structures are going to be provided.



Doug Harden, Project Mgr.  
Miller Architects



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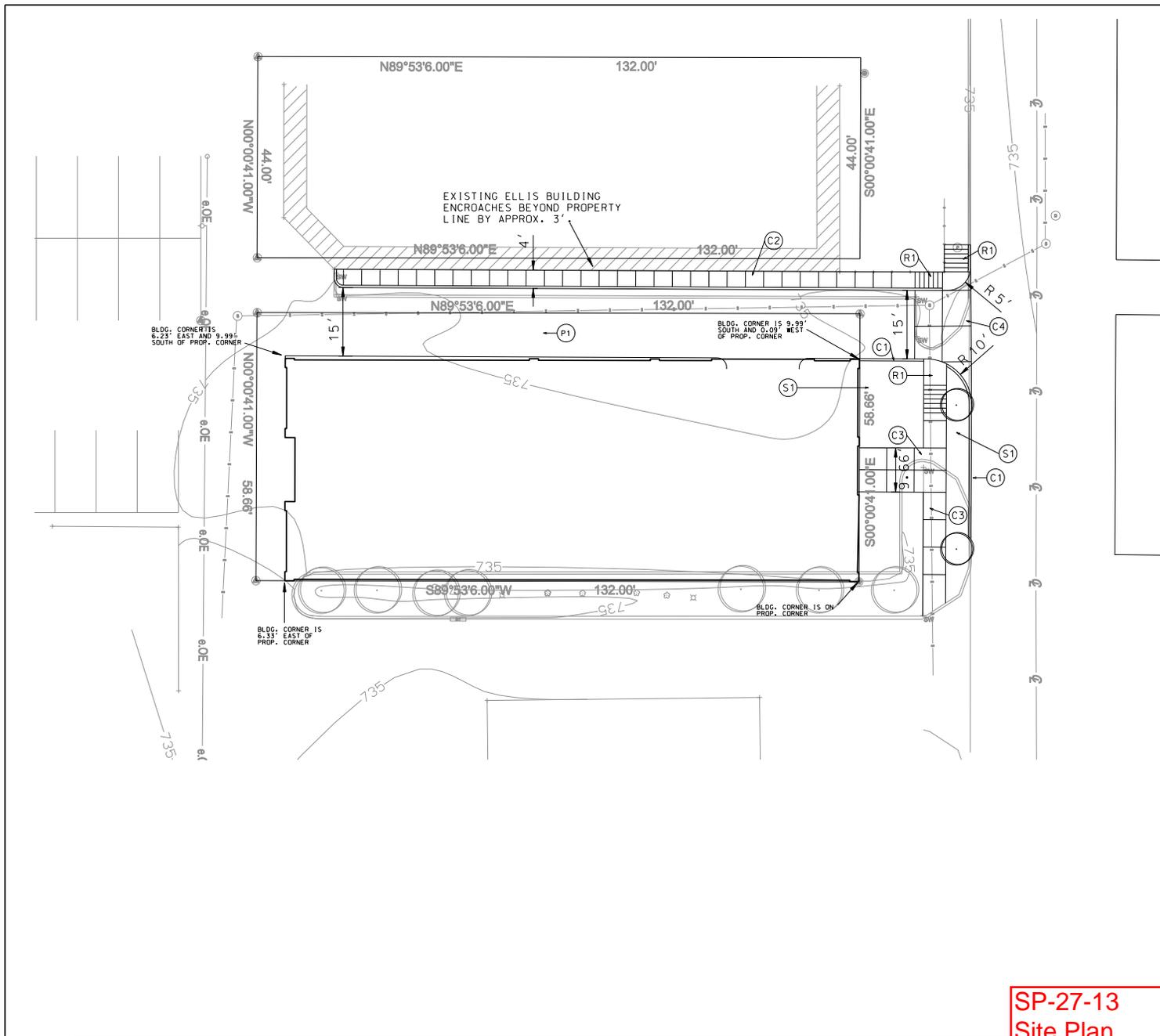
MASTER PLANNING

SPACE PLANNING

PROJECT ADMINISTRATION

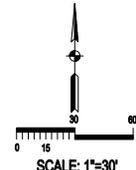
FEASIBILITY STUDIES





**SITE LEGEND**

- 10' DR. UT. EASEMENT
- 10' DR. UT. EASEMENT
- 2' RAIL CURB
- 2' CURB AND GUTTER
- 4\"/>



Smith Penobscot & Associates, Inc.  
 445 S. Center Street  
 Bangor, ME 04401  
 Tel: (207) 738-2000  
 Fax: (207) 738-0513  
 Web: www.spa.com

CONSTRUCTION DATE  
 //

JOB TITLE  
**FOX BUILDING  
 2ND AND WASHINGTON**

**GENERAL NOTES**

- 1) SEE WITH REFERENCED STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- 2) TOP OF EXISTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: A) MANHOLE, R/W ELEVATION B) CURB TO SEE FIELD PROJECT
- 3) LOCATION OF EXISTING UTILITIES ARE TO BE REVEALED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- 4) PROPERTY LINES SHOWN BASED ON ARCHER & ASSOCIATES, INC. SURVEY OF LOT 13 AND 14, ALSEB SUB., PART OF SCENARIO LOT 72 FOR ELLIS DATED AUGUST 24, 2004. ALL CORNERS SET BY THAT SURVEY FORD.

**SITE PLAN NOTES**

- 1) SIDEWALK RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA AND CITY OF BLDGINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
- 2) PAVEMENT MARKINGS, IF SHOWN, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 802.14 OF THE 1998 INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
- 3) CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY R/W EXCAVATION PERMIT IF WORK WITHIN THE PUBLIC R/W IS NECESSARY FOR THE PROJECT COMPLETION.

**MATERIALS LEGEND**

- 1) 1.5\"/>

DATE	BY	REVISIONS

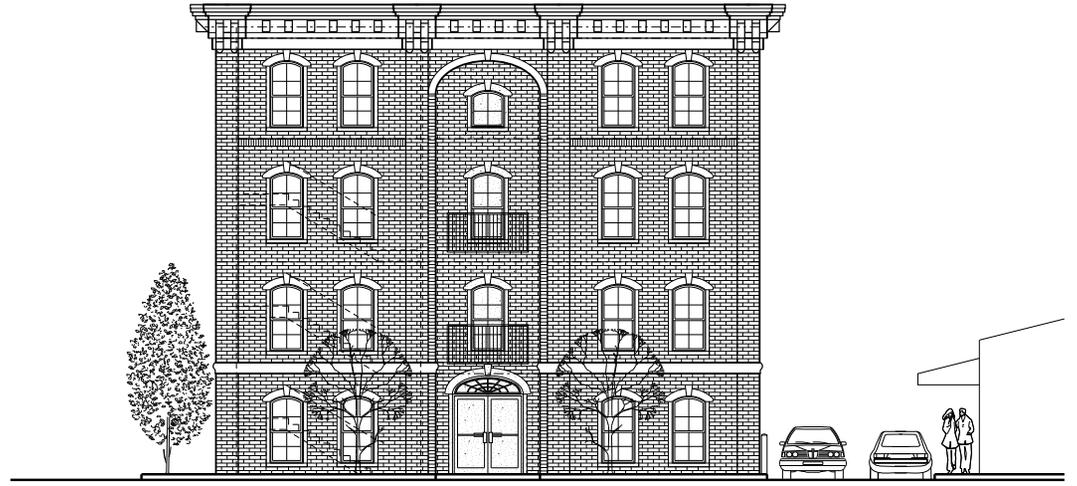
APPROVED	DATE
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JOB NUMBER  
**4937**  
 SHEET  
**3 OF 6**  
 DATE  
**4/30/13**

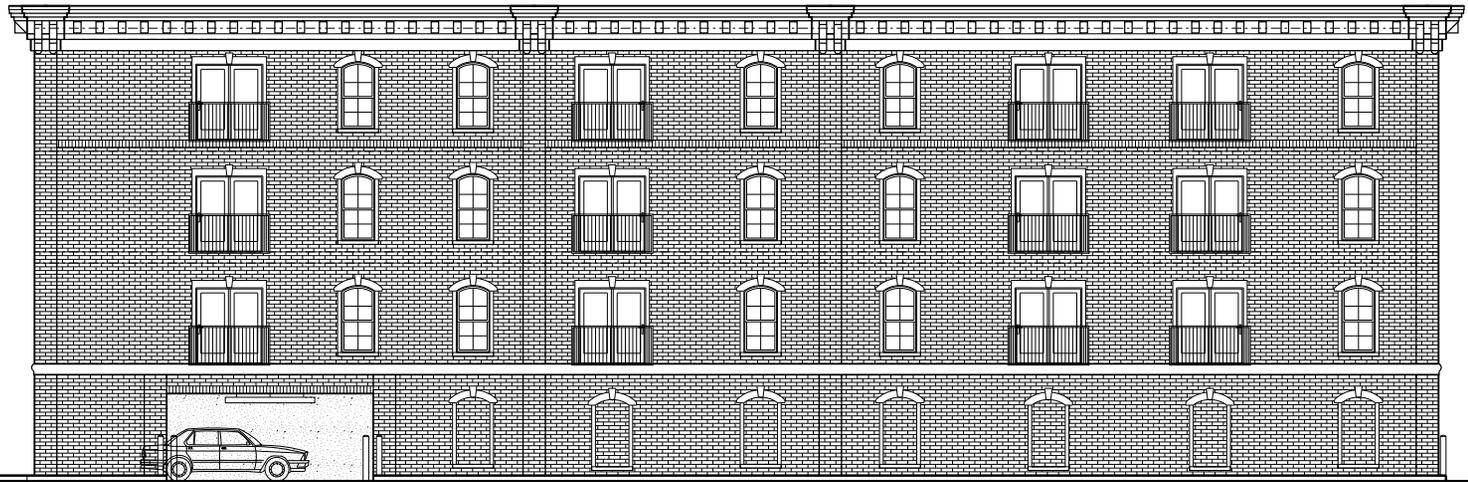
**SITE PLAN**

**SP-27-13  
 Site Plan**





EAST ELEVATION



NORTH ELEVATION

SP-27-13  
Elevations



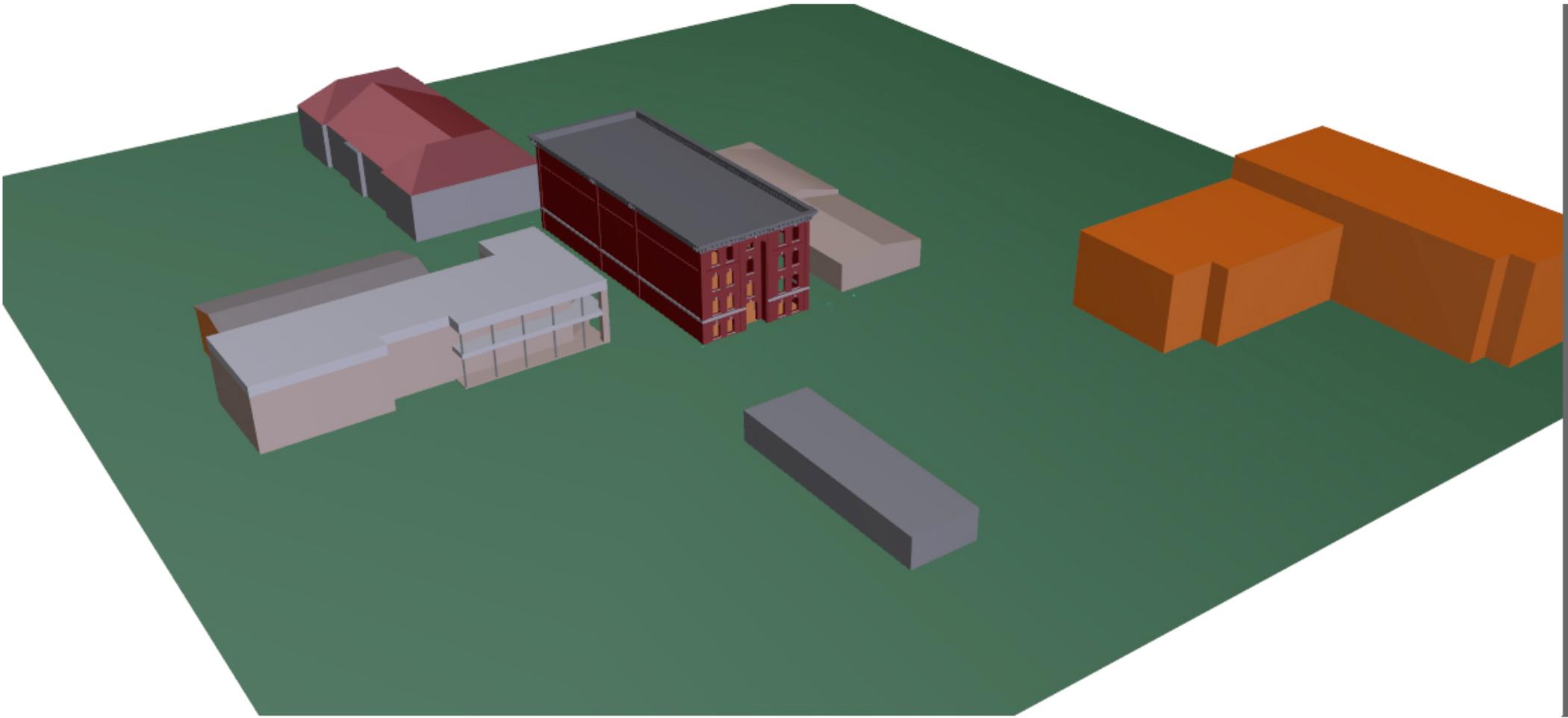
Looking West

SP-27-13  
Rendering looking  
West

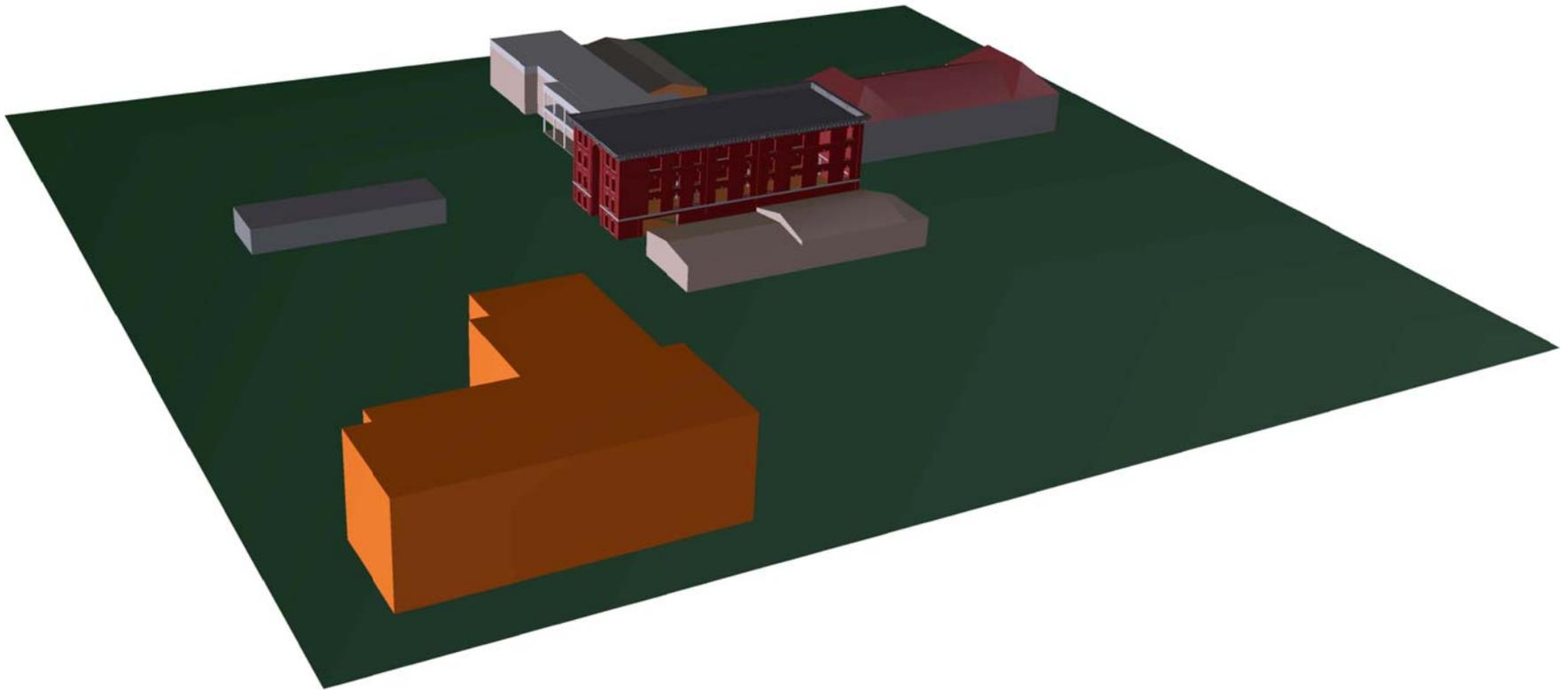


Looking South-West

SP-27-13  
Rendering Looking  
southwest



SP-27-13  
Model Looking northwest



SP-27-13  
Model Looking Southwest