

CITY OF BLOOMINGTON



FEBRUARY 14, 2013 @ 5:30 p.m.
COUNCIL CHAMBERS #115
CITY HALL

ROLL CALL

MINUTES TO BE APPROVED: November 15, 2012

PETITION WITHDRAWN:

- UV/V-55-12 **ERL-14**
1250 N. College Ave.
Request: Use variance to allow 1st floor residential use in a Commercial General (CG) zoning district. Also requested are variances from height, setback and landscaping standards.

REPORTS, RESOLUTIONS, AND COMMUNICATIONS:

- Introduction of new Board of Zoning Appeals Member
- Election of Officers – 2013
 - President – Position vacant
 - Vice President – Sue Aquila
- Amend Board of Zoning Appeals Rules of Procedure
 - Deletion of fee schedule

PETITIONS:

- V-59-12 **Bloomington Public Transportation Corp. (BT)**
301 S. Walnut St.
Request: Variance from wall height and driveway standards for a transportation terminal.
Case Manager: Jim Roach
Note: This case was forwarded to the Board of Zoning Appeals from the Hearing Officer.
- CU/V-1-13 **Bruce Storm**
2300 W. Vernal Pike
Request: Conditional use to allow a warehouse use in a Business Park (BP) zoning district. Also requested is a variance from front parking setback standards.
Case Manager: Eric Greulich
- V-2-13 **Varsity Villas**
197-498 Varsity Lane
Request: Variance from maximum density standards.
Case Manager: Patrick Shay

BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 301 S. Walnut Street

CASE #: V-59-12
DATE: February 14, 2012

PETITIONER: Bloomington Public Transportation Corp.
 130 W. Grimes Lane, Bloomington

CONSULTANT: Parsons Brinckerhoff
 300 N. Meridian Street, Indianapolis

REQUEST: The petitioner is requesting variance from maximum fence height and entrances and drives requirements in order to construct a Transportation Terminal.

	Proposed	Required
Fence/wall height	9'10" (majority at 8 feet)	4 foot maximum
Driveway width	53 feet (northern drive on Washington) 48 feet (northern drive on Walnut)	34 foot maximum
Driveway separation	38 feet 14 feet 15 feet (on Washington) 21 feet 14 feet (on Walnut)	100 foot minimum
Distance from intersection	98 feet	150 foot minimum

REPORT SUMMARY: The property is located at the southeast corner of E. 3rd street and S. Walnut Street and is currently vacant and used as construction staging for the S. Walnut Street Streetscaping project and the Spanker's Branch stormwater reconstruction project. The property is made up of four lots that are divided by a north-south alley. The property is bound by 3rd St. to the north, Walnut St. to the west, S. Washington Street to the east and an east-west alley to the south. The most recent uses on the property included a restaurant, a multi-tenant office building and a warehouse. Past uses include a gasoline service station and an auto repair business. This property and all surrounding properties are zoned Commercial Downtown (CD) and this property is within the Downtown Core Overlay (DCO).

On September 10, 2012, the Plan Commission approved the site plan (SP-31-12) for a 2-story building and bus boarding areas on the property. The proposed building will include waiting, ticketing and service areas for Bloomington Transit on the first floor and the Central Emergency Dispatch Center on the second floor. This facility will replace the existing Bloomington Transit Downtown Transfer Center at the northwest corner of S. Washington St. and E. 4th Street, one block to the north. This center has been in place since 1987 and no longer serves the needs of Bloomington Transit. The new Dispatch Center will replace

the existing 500 square foot facility currently located within the Bloomington Police Headquarters, one block to the east.

SP-31-12 was approved contingent on approval by the Board of Zoning Appeals of variances from fence and wall standards as well as entrance and drive standards.

Petition Overview:

Screen Wall: The petitioner proposes to construct an 8 foot tall screen wall along part of the southern property line adjacent to Middle Way House. Although the majority of the wall will be 8 feet in height, proposed pilasters and caps, in places the wall will be as tall as 9 feet, 10 inches. The wall was designed to screen the Middle Way House building, which is on the National Registry of Historic Places, from the proposed use. This wall was required by the State Historic Preservation Office. The UDO does not permit fences and walls taller than four feet between a building and the street. The main building is located at the northwest corner of the site and the waiting canopies sit further from Washington Street than the wall.

Entrances and Drives: Variances from the entrances and drive standards are required to allow for adequate bus turning movements and the two different directions of bus travel. The petitioner's consultants have designed the layout of the terminal to maximize the efficiency of the site and to allow expansion of public transportation service in the future. The site includes three lanes for buses and passengers. Two of these lanes will have buses pulling into the site from Washington St., while the third brings buses into the site from Walnut St. The waiting areas have been designed to provide a comfortable area for passengers with benches, planters and canopies for protection from the rain. Two lanes will then leave the site onto Walnut Street and one will exit onto Washington St. Variances are required from the maximum driveway width, minimum drive separation, and minimum distance from intersection requirements to allow the proposed bus flow.

CRITERIA AND FINDINGS

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

STAFF FINDING:

Fence/Wall: Staff finds no injury to the public health, safety, morals, or general welfare to the community. Staff does not anticipate the wall will negatively impact visibility at the intersection of the southern east-west alley and Washington St.

Entrances and Drives: Staff finds no injury to the public health, safety, morals, or general welfare to the community. These variances will allow the use to effectively

function, which is a great benefit to the general welfare of the community. The proposed drives enter into the main bus loading area, not a parking lot to be used by the general public. Professional bus drivers will be able to safely negotiate the reduced separation distances better than a typical driver. In addition, Walnut and Washington are both one-way streets, further reducing the impact of the reduced standards.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

STAFF FINDING:

Fence/Wall: Staff finds no adverse impacts to the use and value of the surrounding area. The wall was designed in order to minimize the impacts of the use on the Middle Way House. A shorter wall would actually create greater adverse impacts than the proposed wall.

Entrances and Drives: Staff finds no adverse impacts to the use and value of the surrounding area. Development of this site will bring additional pedestrian life to the area through redevelopment of an under utilized downtown property.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

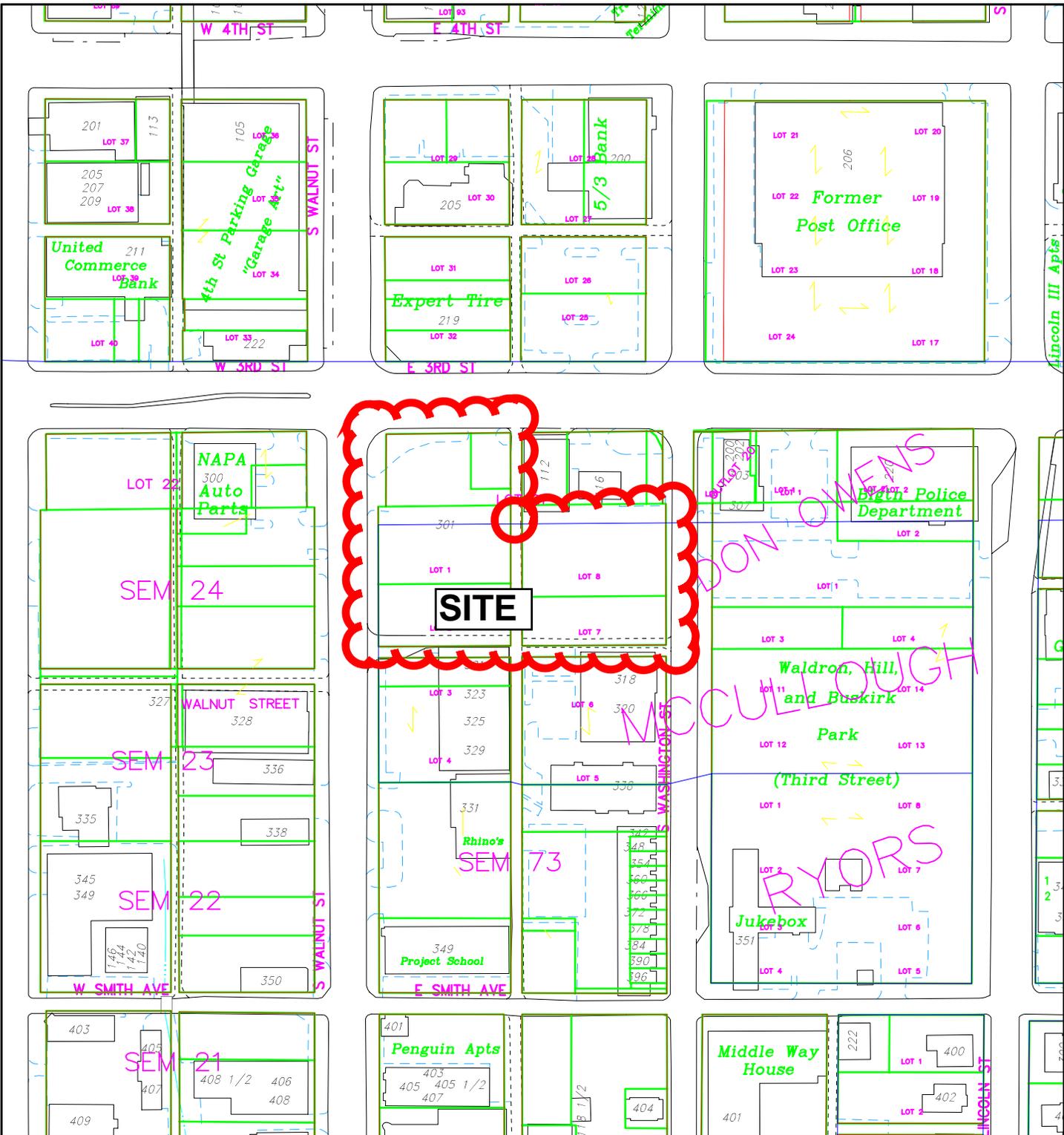
STAFF FINDING:

Fence/Wall: Staff finds peculiar condition in the fact that the use is adjacent to the national registry listed Middle Way House building. This adjacency creates the need for the wall in order to satisfy the Indiana State Historic Preservation Office requirements. The Indiana SHPO approved the wall as shown. Staff finds practical difficulty in strictly enforcing the UDO because a State office has required construction of the wall as a condition of this use.

Entrances and Drives: Staff finds peculiar condition in the size of the parcel. The City and Bloomington Transit believe that a downtown location is the most appropriate location for this use. This configuration of lots, and most downtown properties, are not large enough to facilitate turning movements outside of the street and utilize fewer drives or more narrow drive cuts. Staff finds practical difficulties in that without approval of these variances, this site could not be developed with a transportation terminal. The petitioner would likely have to look outside of the CD zoning district to find a parcel large enough for the on-site turning and loading of large buses, which is not in the best interest of the City, the petitioner or the City's transportation policies.

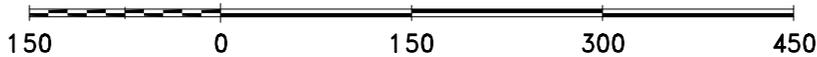
RECOMMENDATION: Based on the written findings above, staff recommends approval of SP-31-12, and all associated waivers, with the following condition:

1. Petition subject to all terms and conditions of SP-59-12.

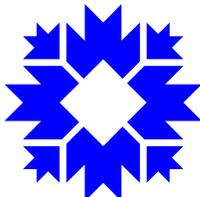


V-59-12
Location Map

By: roachja
2 Jul 12



City of Bloomington
Planning



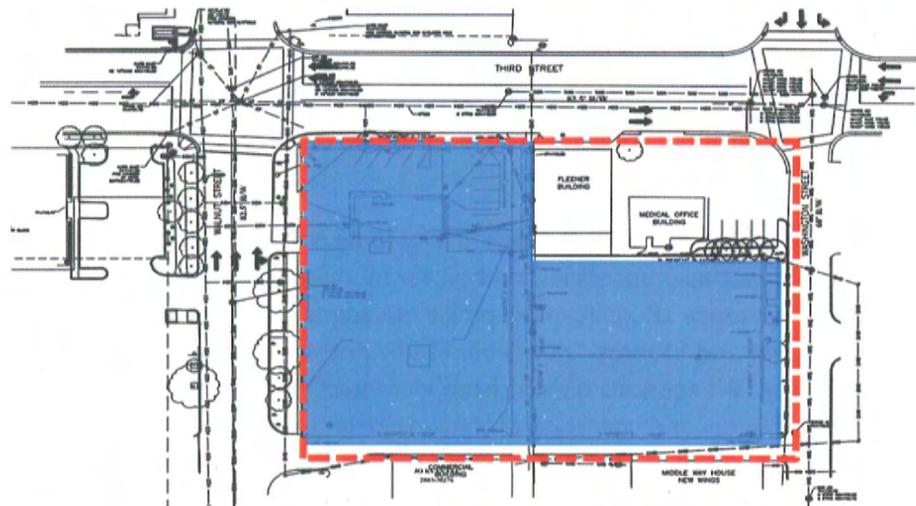
Scale: 1" = 150'

For reference only; map information NOT warranted.

Petitioner's Statement
Downtown Passenger Transfer Facility and Emergency Dispatch Center
Bloomington Public Transportation Corporation (BPTC), City of Bloomington, Monroe County
July 10, 2012

Introduction

This petitioner's statement is being submitted for the shared use project referenced above which is to be located at the southeast corner of the intersection of 3rd Street and Walnut Street in downtown Bloomington, Indiana. The property on which the development will be situated is owned by Bloomington Public Transportation Corporation (BPTC). The proposed passenger transfer facility will replace the existing BPTC transit facility at the corner of 4th Street and Washington Street. The proposed emergency dispatch center will replace the existing Bloomington/Monroe emergency dispatch facility, which is located within the Bloomington Police Department's (PD) headquarters at 220 East 3rd Street.



Description of existing facilities and statement of project need

BPTC Passenger Transfer Facility

The existing BPTC Downtown Passenger Transfer Facility was opened in 1987 and consists of a small indoor passenger waiting area with ticket sales booth, passenger seating, heating (no air conditioning), lighting, soft drink vending, water fountain, two small employee restrooms, and public information boards. The interior size of the facility is approximately 1,000 square feet with about 460 square feet devoted to the passenger waiting area. Outdoor passenger amenities include benches, signage, marked bus stops, sidewalks, newspaper vending, and a small amount of landscaping. When the existing facility at 4th and Washington was opened in 1987, system ridership was about 480,000 passengers annually. In 2011, ridership was 3.39 million riders. Much of the growth in passengers in the past ten years has come from the use of the system by Indiana University students. Increased use of the system has created new challenges at the existing downtown facility. Probably the most significant challenge has been the lack of adequate bus parking space along 4th and Washington Streets. The length of buses has grown from 30-foot buses used in 1987 to 30, 35, and 40-foot buses being used since 2007. As the existing facility was designed for 30-foot buses, the longer length buses used today do not fit well in the current facility. Other important challenges are the need for improved amenities such as wider sidewalks, air conditioning within the facility, improved lighting, improved employee restrooms, the



addition of public restrooms, improved passenger and employee security, and larger space for pass and ticket sales. The existing location at 4th and Washington has a constrained footprint and expansion of the existing facility is not considered a viable option.

Given recent development patterns, it is anticipated that downtown Bloomington will continue to be one of the most important destinations for persons using BPTC transit services over the next 20 years. Downtown will become an increasingly important origin for transit trips as downtown residential development continues. With its central location relative to the rest of the city, downtown is well situated for the purposes of transit riders transferring between routes.

Bloomington / Monroe County Emergency Dispatch Facility

The existing emergency dispatch facility for the City of Bloomington and Monroe County is located with the City police department's downtown headquarters along 3rd Street. The current dispatch room is 500 SF and contains five operator positions. Another 500 SF accommodates the radio and computer rooms. In addition to critical space constraints, challenges at the existing facility include poor lighting, inadequate display areas, lack of storage space, inconsistent and poor temperature control, and an inefficient layout that makes cleaning difficult and noise from bathrooms, break room, and lockers disruptive.

The opportunity for a new dispatch facility to be co-located with Bloomington Transit's passenger facility provides a mutually beneficial solution for all three agencies. Bloomington Transit will benefit from the ongoing presence of uniformed police personnel coming and going from the facility. The City of Bloomington and Monroe County benefit by not having to pay land and site development costs for their new facility. All agencies benefit from increased levels of cooperation that come from the coordinated planning, design, and operation of the new facility.

The project was heard and approved by the Bloomington Plan Commission on Monday September 10, 2012. The following sections describe the variances that are requested for the submitted plan.

Requested Variances

Variance #1: Spacing of Driveways. Per Master Thoroughfare Plan, we understand 3rd Street and Walnut Street to be considered Primary Arterials and Washington Street to be considered Primary Collector.

UDO: 20.05.035ED-01 (Entrance and Drive Standards, General)

Variance requested for the following subsections:

20.05.035 (b) (1) – Driveway within 150 of intersecting arterial or collector.

Variance 1a requested: Bus drive aisles are oriented E/W to accommodate bus operations and bus route distribution throughout the community, and is organized around the one-way structure to Walnut Street and Washington Street. Dimensional



restrictions for minimum, safe bus turning radii require bus drive aisle located as shown on the drawings. The current configuration includes the bus drive access for both Walnut and Washington to be approximately 80 feet from 3rd Street.

20.05.035 (b) (5) – Driveway within 100 feet of another entrance along an arterial or collector

Variance 1b requested: Similar to the above referenced variance request, Bus drive aisles are oriented E/W to accommodate bus operations and bus route distribution throughout the community, and is organized around the one-way structure of Walnut Street and Washington Street. Dimensional restrictions for minimum, safe bus turning radii require bus drive aisle located as shown on the drawings. The current configuration includes the bus drive access for both Walnut and Washington to be approximately 20 feet from one another.

20.05.035 (c) (e) (1) – Driveway width restricted to 34 feet from nonresidential onto arterial or collector

Variance 1c requested: The northern bus drive aisle is a two-way bus access lane, and is therefore approximately 50 feet in width. This again is due to site restrictions and bus turning radii. The southern bus drive aisle does comply with this requirement as it is approximately 30 feet in width.

20.05.035 (g) – Site located on corner lots, locate drive on lower functional classification

Variance 1d requested: again, due to one-way configuration of Walnut / Washington, and overlaying bus operations, access is required from Walnut as a preferred solution to access on 3rd Street. Access from Washington appears to comply with the "lower functional" classification.

Variance #2. Wall Height.

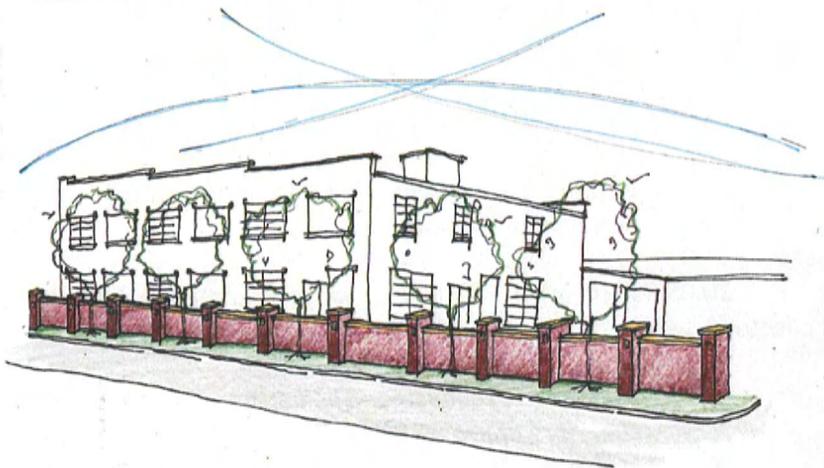
20.05.046 FW-01 (Fence and Wall Standards; General)

Variance requested for the following subsections:

20.05.046 (d) (1) – Maximum Height 8 feet

Variance 2 requested: Stepped configuration of wall along the property results in wall height between 8 feet and 9 feet 10 inches at the highest pilaster cap.

BPTC has committed to constructing the wall and an adjacent landscaping buffer along the south border of the property and north of the Coca-Cola Bottling Plant building (318 South Washington Street) as part of its commitment to mitigating potential noise and visual impacts. The commitment, documented through the Federal Section 106 process, is for a masonry wall designed to complement the historic, colorful, vertically scored brick of the historic Coca Cola Bottling Company building. In accordance with this commitment, the overall size and rhythm of the wall relates to the scale of the building with a system of piers that reference the pilasters of the building and sections of wall with proportions similar to the large, rectangular window openings. The height of the wall must be a minimum of eight feet to meet the commitment.



LOOKING SOUTH EAST
PERSPECTIVE
 SCALE: NTS

Schedule

Remaining milestones for the project are scheduled as follows:

Contract Award	December 31, 2012
Construction (Estimated)	January 2, 2012 through August 1, 2013



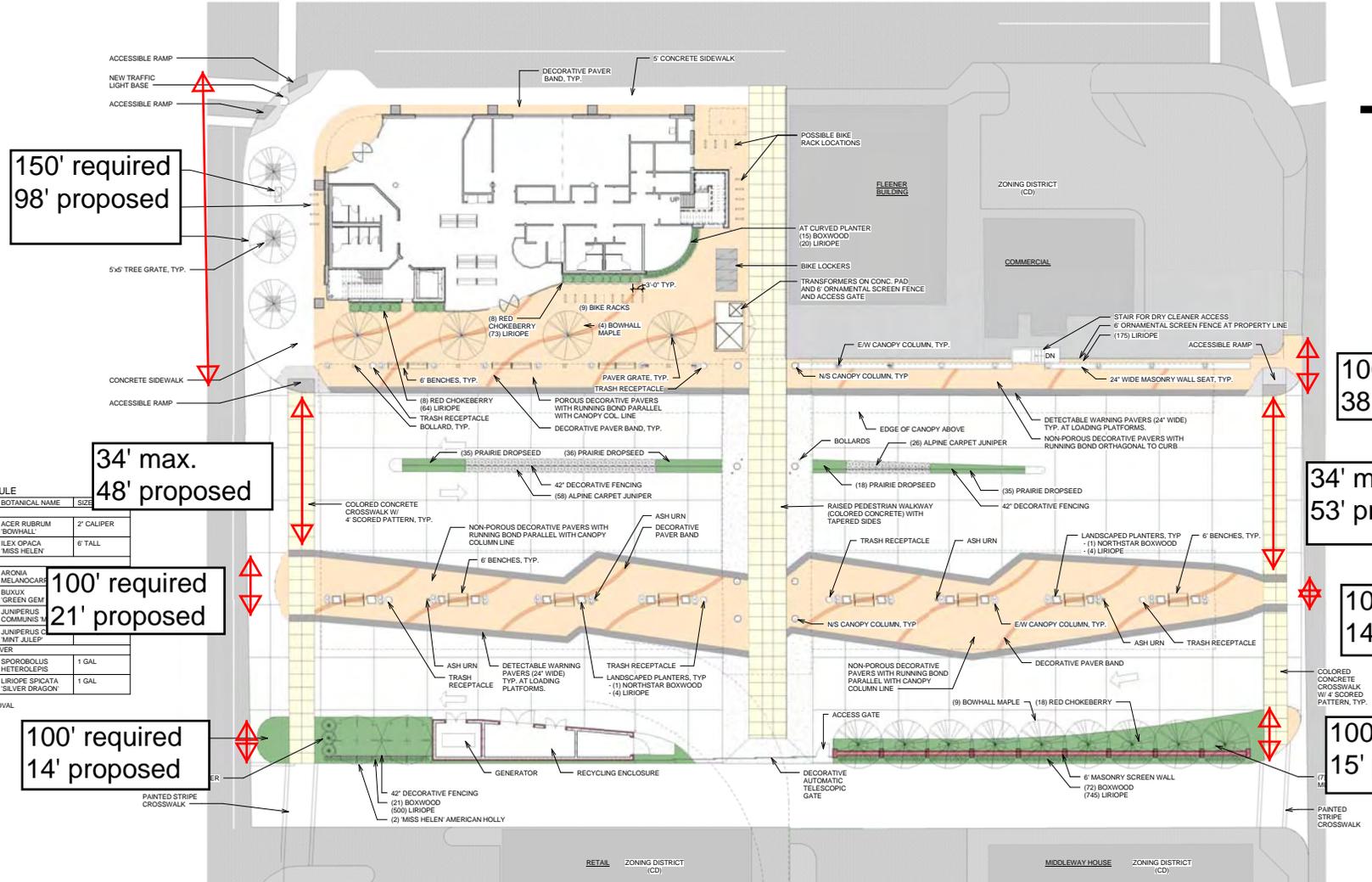
Prime Consultant: Architecture, Structure, Systems
PARSONS BRINCKERHOFF
 300 North Meridian Street Indianapolis, Indiana 46204
 T: 317.972.1706 F: 317.972.1708 | www.pbworld.com

Civil / Survey / Landscape
Bledsoe Riggert Quarrettax
 1351 West Tapp Road Bloomington, Indiana 47403
 T: 812.336.6277 F: 812.336.0817 | www.brgovill.com

Mechanical / Electrical / Plumbing / Fire Prot
L'ACQUIS
 CONSULTING ENGINEERS
 9229 Delegation Row Ste650 Indianapolis, Indiana 46240
 T: 317.706.5075 F: 317.706.2076 | www.lacquis.com

REV	DESCRIPTION	DATE

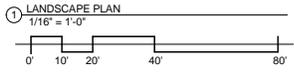
V-59-12
Site Plan



PLANTING SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE
TREES		
BOWHALL MAPLE	ACER RUBRUM	2" CALIPER
MISS HELEN AMERICAN HOLLY	ILEY OPACA MISS HELEN	6" TALL
SHRUBS		
RED CHOKEBERRY	ARGONIA MELANOCARPA	
GREEN GEM BOXWOOD	BUXUS GREEN GEM	
ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS M.	
MINT JULIP JUNIPER	JUNIPERUS MINT JULIP	
GRASSES / GROUND COVER		
PRAIRIE DROPSIEED	SPOROBOLLUS HETEROLEPIS	1 GAL
*CREEPING LILY TURF	LIRIOPE SPICATA SILVER DRAGON	1 GAL

* REQUIRES CITY APPROVAL



CITY OF BLOOMINGTON, INDIANA
 DEVELOPMENT STANDARDS
 ZONING DISTRICT: COMMERCIAL DOWNTOWN

SITE DATA

INTERIOR OPEN SPACE: 1,258 SF
 PERIMETER OPEN SPACE: 1,886 SF
 BUS PARKING SPACES: 14
 6' TALL MASONRY SCREEN WALL: 127'
 42" TALL PERIMETER ORNAMENTAL FENCE: 47'
 6' TALL PERIMETER ORNAMENTAL SCREEN FENCE: 140'

20.05.055 LA-04: LANDSCAPING STANDARDS

(a) INTERIOR PLANTINGS
 (a)(1) TREES
 REQUIRED: 1 CANOPY TREE PER 500 SF OF OPEN SPACE.
 - 1,258 SF / 500 = 2.5; 2.5 X 1 TREE = 3 TREES
 PROVIDED: 4 CANOPY TREES

(a)(2) SHRUBS
 REQUIRED: 8 SHRUBS PER 500 SF OF OPEN SPACE (50% SHALL BE EVERGREEN).
 - 1,258 SF / 500 = 2.5; 2.5 X 8 = 20 SHRUBS (10 TO BE EVERGREEN).
 PROVIDED: 115 SHRUBS (INCLUDING 99 EVERGREEN)

(b) PARKING LOT PERIMETER PLANTINGS
 (b)(1) TREES
 REQUIRED: 1 TREE PER 6 PARKING SPACES (CANOPY OR ORNAMENTAL) WITHIN 10 FT. OF PARKING LOT EDGE.
 - 14 BUS SPACES / 6 = 2 TREES
 PROVIDED: 11 TREES (9 CANOPY AND 2 EVERGREEN)

(b)(2) SHRUBS
 REQUIRED: 3 SHRUBS PER PARKING SPACE WITHIN 5' OF PARKING LOT EDGE (REQUIRED SHRUBS SHALL BE 4 TALL MINIMUM AND 50% OF QUANTITY SHALL BE EVERGREEN).
 - 14 BUS STALLS X 3 SHRUBS = 42 SHRUBS REQUIRED (21 SHALL BE EVERGREEN)

PROVIDED: 114 SHRUBS (INCLUDING 96 EVERGREEN). # HEIGHT REQUIREMENT IS NOT APPLICABLE DUE TO PRESENCE OF LARGE EVERGREEN TREES AND 6' TALL MASONRY WALL.

(b)(3) WALLS
 REQUIRED: 30" - 42" WALL ALONG PERIMETER TO SCREEN PARKING AREA FROM RIGHT OF WAY.
 PROVIDED: 6' ALONG CITY RIGHT OF WAY AND 127' OF 6' TALL MASONRY WALL ALONG ALLEY.

100' required
38' proposed

34' maximum
53' proposed

100' required
14' proposed

100' required
15' proposed

Sheet Content
 LANDSCAPE PLAN

DATE: 2012. SEPTEMBER.10
 SCALE: As indicated
 DRAWN BY: AJH
 CHECKED BY: MDC
 APPROVED BY: TBP

P8 Project Number: 35654A/B

Sheet Number: 1.1

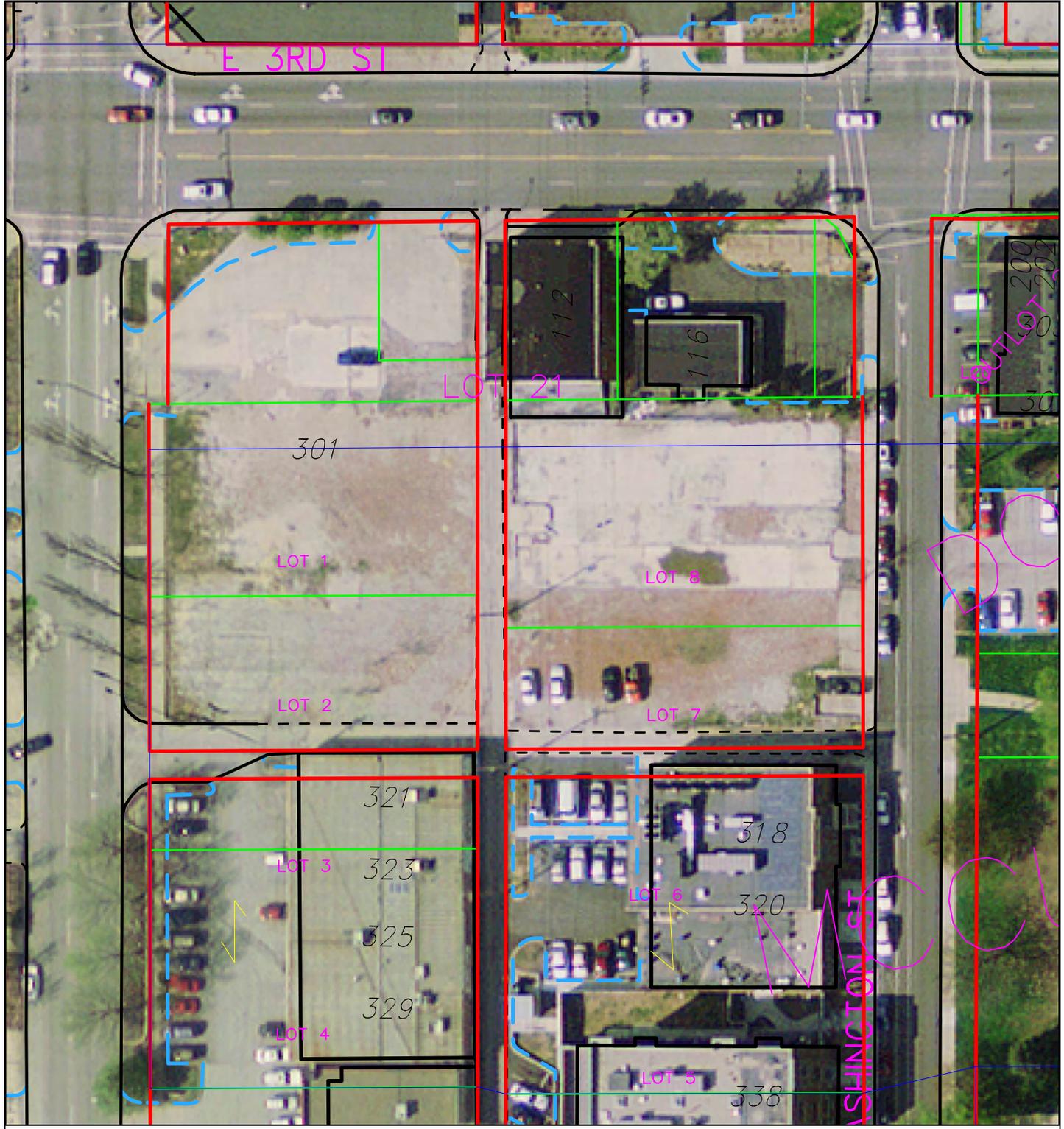
SP-31-12
Massing Model - Looking northwest



SP-31-12
Massing Model - Looking southeast

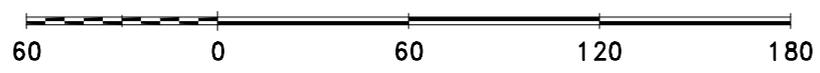


Walnut Drives

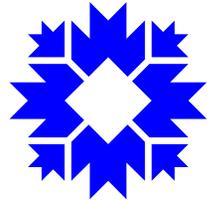


V-59-12
2010 Aerial Photo

By: roachja
2 Jul 12



City of Bloomington
Planning



Scale: 1" = 60'

For reference only; map information NOT warranted.

BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 2300 W. Vernal Pike

CASE #: CU/V-01-13
DATE: February 14, 2013

PETITIONER: Bruce Storm
2300 W. Vernal Pike, Bloomington

REQUEST: The petitioner is requesting conditional use approval to allow a warehouse in a Business Park (BP) zoning district. Also requested is a variance from front yard parking setback standards.

SITE DESCRIPTION: This vacant 1.0 acre property is located at 2300 W. Vernal Pike and is zoned Business Park (BP). Surrounding land uses include a building trade shop to the east (Neidigh Construction), a single family house to the west and north, and an office and commercial building to the south.

The petitioner is proposing to construct a new 4,400 sq. ft. warehouse that will be used to store food trucks. The building will have 5 bays for access to the interior. With the new construction a new parking area will be constructed to provide 5 on-site parking spaces. New landscaping will be installed throughout the property to meet landscaping requirements. Several existing trees will be preserved as well. A new 5-foot wide concrete sidewalk and street trees are required along Vernal Pike and will be installed. There are no specific architectural requirements for the warehouse. The building will have standing seam metal siding with windows along the Vernal Pike side.

The petitioner is requesting conditional use approval to allow the new warehouse and parking area. Also requested is a variance from front yard parking setback requirements for the new parking area.

SITE PLAN ISSUES:

Access: There is an existing drivecut on Vernal Pike that was utilized by the previous use and will be relocated further east. A concrete drive apron is required and has been shown.

Landscaping: There are several existing mature trees on the property that will be retained. Additional landscaping will be installed throughout the property as required and has been shown on the submitted landscape plan.

Parking: Although no parking spaces are required, the petitioner has shown 7 parking spaces for use by the food truck drivers. This number should be reduced to a maximum of 5 parking spaces. At least one space must be designated as a van accessible handicap parking space.

Bike Parking: The petitioner has shown the required bike rack. These spaces must be Class II bicycle parking spaces.

Pedestrian Facilities: There are existing sidewalks along Vernal Pike to the east. A

new 5-foot wide concrete sidewalk is required and has been shown on the submitted plan. This sidewalk must also include a sidewalk connection to the building entrance.

Criteria and Findings for Conditional Use Permits

20.05.023 Standards for Conditional Use Permits

No Conditional Use approval shall be granted unless the petitioner shall establish that the standards for the specific Conditional Use are met and that the following general standards are met.

1. *The proposed use and development must be consistent with the Growth Policies Plan and may not interfere with the achievement of the goals and objectives of the Growth Policies Plan;*

Staff's Finding: The property is designated "Employment Center" by the Growth Policies Plan (GPP). This land use category should contain a mix of office and industrial uses. Site design should be compatible with surrounding uses and the proposed site plan has been designed to center the building on the property and maximize the buffer from surrounding properties.

2. *The proposed use and development will not create nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights;*

Staff's Finding: The proposed use will not create a nuisance. The impacts from noise, smoke, odors, vibrations, and lighting will not differ from those typically found in a Business Park district.

3. *The proposed use and development will not have an undue adverse impact upon the adjacent property, the character of the area, or the public health, safety and general welfare;*

Staff's Finding: Staff finds no adverse impacts to the adjacent properties or character of the area as a result of this use. There are several industrial uses surrounding the property as well as several large lots around the property with no development.

4. *The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, stormwater management structures, and other services, or that the applicant will provide adequately for such services;*

Staff's Finding: The site is adequately served by an existing water line along Vernal Pike. A septic system will be installed on the north side of the property for sewer purposes. This proposal has been reviewed by the County Health Department and the City Utilities Department to determine the lack of availability to City Sanitary Sewer.

5. *The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets;*

Staff's Finding: The site is located directly off of W. Vernal Pike which is classified as a Secondary Arterial road and is in close proximity to State Road 37.

6. *The proposed use and development will not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance;*

Staff's Finding: There are no known natural, scenic, or historic features of significant importance on the property. There are a few larger trees located in the middle of the site that will be removed for the proposed building. The property is currently vacant.

7. *The hours of operation, outside lighting, and trash and waste collection must not pose a hazard, hardship, or nuisance to the neighborhood.*

Staff's Finding: The hours of operation, lighting, or trash and waste collection will not pose a hazard, hardship, or nuisance to the surrounding neighborhood and will be typical business hours. In most cases, tenants will come to the site, park and leave with one of the food trucks. They would then bring them back and leave in their own vehicles later in the day. The amount of traffic, noise, and waste will be minimal.

8. *Signage shall be appropriate to both the property under consideration and to the surrounding area. Signage that is out of character, in the Board of Zoning Appeal's determination, shall not be approved.*

Staff's Finding: No signage is approved with this request.

9. *The proposed use and development complies with any additional standards imposed upon the particular use by Chapter 20.05; CU: Conditional Use Standards.*

Staff's Findings: There are no additional standards for warehouses.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

STAFF FINDING: The granting of the variance from the parking setback standard will not be injurious to the public health, safety, morals, and general welfare. The location of the parking area will not be injurious and will have a 90' setback from the street.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

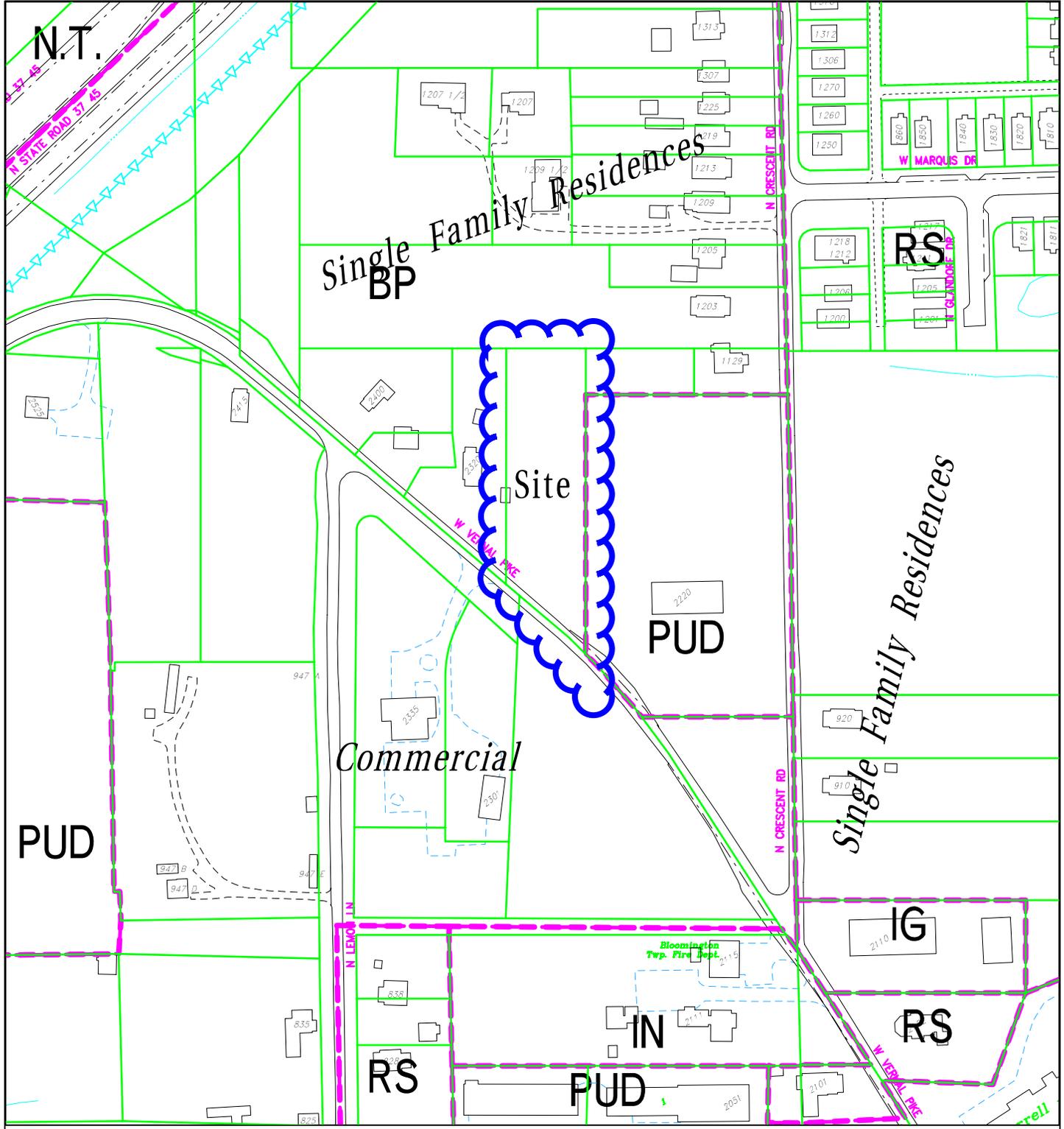
STAFF FINDING: Staff finds no negative effects from this proposal on the use and value of the areas adjacent to the property. Staff does find a positive impact on the use and value of the adjacent areas due to the redevelopment of this property.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

STAFF FINDING: Staff does find the strict application of the UDO will result in practical difficulty in the use of the property in that the irregular shape of the property makes placing a compliant parking area difficult while trying to keep the building close to the parking area. The angle of the street in relation to the property creates a very large setback that dictates the parking to be placed much further north on the lot. As proposed, the intent of the setback is still met and the parking is well buffered from the street. There will be 90 feet from the parking area and the street and the location of the parking area is still designed to place the parking behind the front of the building as required. Although a compliant parking plan could be achieved, it would require additional impervious surface to be installed.

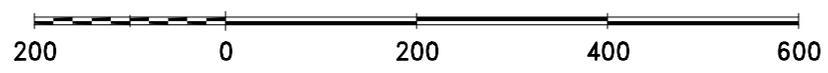
RECOMMENDATION: Staff recommends approval of CU/V-01-13 with the following conditions:

1. Four Class II bicycle parking spaces must be installed prior to occupancy.
2. All required landscaping must be installed prior to occupancy.
3. A 5-foot wide sidewalk must be installed to connect the public sidewalk to the building entry.
4. The site plan must reduce the number of parking spaces to 5 and one van accessible parking space. The hatched area of pavement indicated on the site plan must be removed from the plan prior to any permit issuance.



CU/V-01-13 Bruce Storm
 2300 W Vernal Pike
 Board of Zoning Appeals
 Site Location, Zoning, Land Use, Parcels

By: greulice
 4 Feb 13



City of Bloomington
 Planning

N

Scale: 1" = 200'

For reference only; map information NOT warranted.



1101 S Walnut Street Bloomington, Indiana. 47401 Ph. 812.332.6258 Fax 812.332.8658
www.taborbruce.com E-Mail dbruce@taborbruce.com

BLOOMINGTON BOARD OF ZONNING APPEALS

Petitioner's Statement

Concerning the petition of **Three Guys, LLC** for the purpose of consideration of their Petition for the property located at **2300 West Vernal Pike**, Bloomington, Indiana.

Location

The project we present is a single story, wood pole frame structure to be located along Vernal Pike on a 1.0 acre parcel that had a small vacant rundown home that has since been removed by the property owner. To the North is a small house, and to the South is a General Contractor office with several outbuildings and metal clad siding. The current site has an access drive and gate and several concrete slabs that remain from structures and outbuildings that were once erected on the site.

Design

Purpose The building is being constructed to house and service an ever growing business of food trucks. The building will have 5 bays for parking the expensive trucks inside and away from possible vandalism and the elements. There will be a small office and bathroom located within the building.

Building and Materials The project is very simple and needs to be cost effective. Since the building directly to the South is a metal clad structure, the owners for this proposal wish to utilize a similar, efficient wood pole framed structure and metal siding. Some brick or stone will be placed just along the street view of the building and a few windows will be installed along the street elevation.

Site Placement The building is situated on the site with consideration for its adjacent neighbors. The structure is placed away from the house to the North along the setback for the South property line. Because the site is long and narrow, the building is also situated so that the steeper portion of the site to the rear is left unbuilt. The building is placed forward for visibility issues as well as the equipment stored within is valuable and not easily to repair. The isolated nature of the area requires us to make the building visible to limit the ability for potential break-ins and theft.

Access & Parking. The primary access is from an existing drive/curb cut on Vernal Pike. Parking will be located behind the structure.

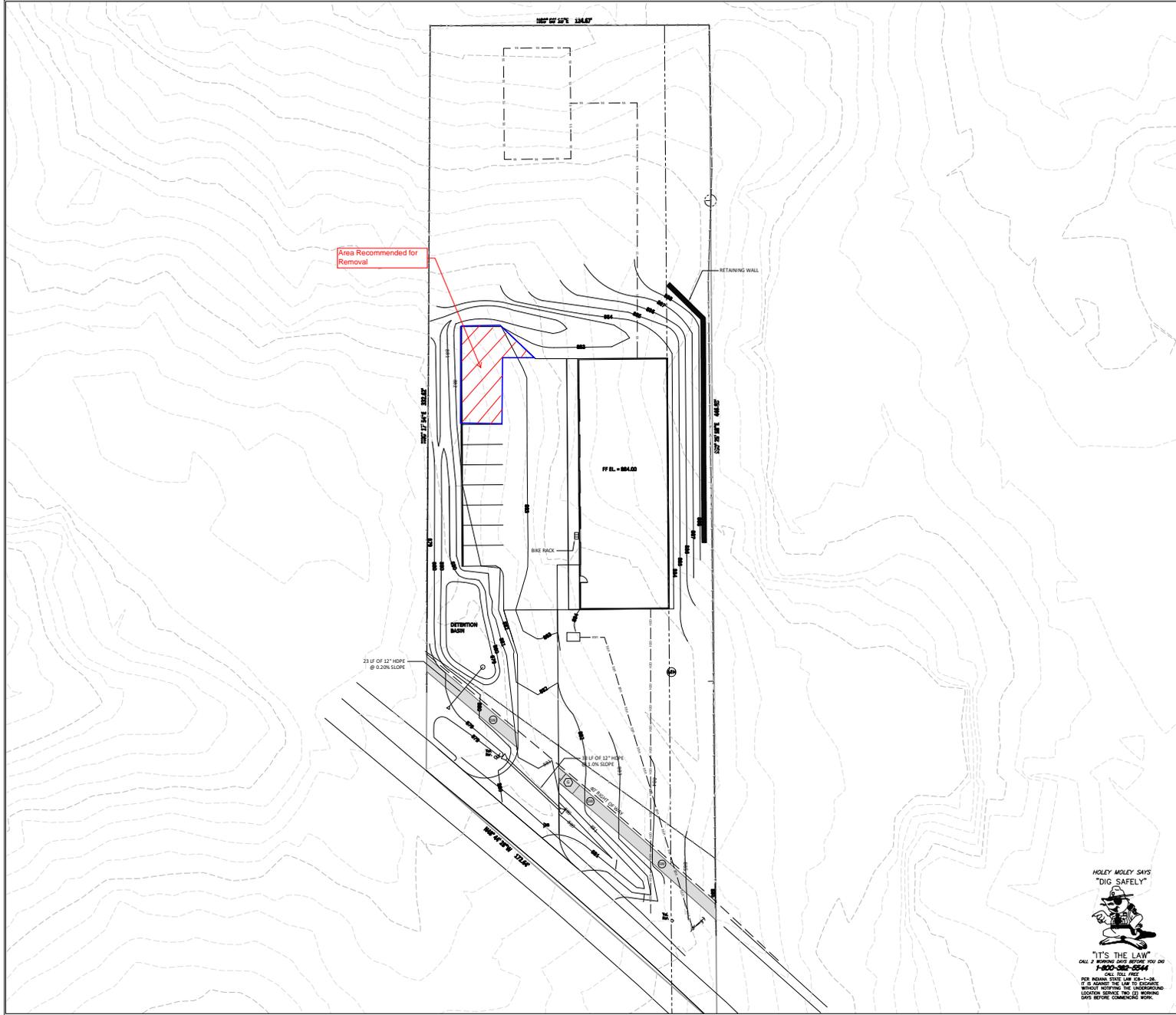
The building will allow for a growing business to have a safe, clean, environment to access and load and store its primary asset, the food trucks.

Thank you for the opportunity to submit our request for approval.

We kindly ask for your approval of our request.

Sincerely,

Doug Bruce NCARB-LEED AP
TABOR/BRUCE ARCHITECTURE & DESIGN, Inc.
1101 S Walnut Street
Bloomington, IN 47401
(812) 332-6258



GENERAL NOTES

- GRADE ALL AREAS TO THE FINISH GRADES SHOWN.
- CONTRACTOR TO VERIFY FIELD CONDITIONS WITH RESPECT TO THE PROPOSED GRADING PLANS AND NOTIFY ENGINEER OF ANY AND ALL DISCREPANCIES PRIOR TO BEGINNING WORK.
- INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED AND WHERE NECESSARY TO CONTROL SEDIMENT.
- CONTRACTOR SHALL PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES AND FROM FLOODING PROJECT SITE AND SURROUNDING AREAS. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT AND DAMAGE BY RAIN OR WATER ACCUMULATION. THIS WILL REQUIRE SUPPLEMENTAL GRADING ABOVE AND BEYOND THAT SHOWN.
- CONTRACTOR SHALL ADJUST ALL CUTTINGS TO FINISHED GRADE.
- CONTRACTOR SHALL ESTABLISH FINISH GRADES TO ENSURE POSITIVE DRAINAGE WITH NO PONDING.
- LONGITUDINAL SIDEWALK SLOPE SHALL NOT EXCEED 5%, UNLESS NOTED OTHERWISE. TRANSVERSE SIDEWALK SLOPE SHALL NOT EXCEED 2%.
- FINISH SURFACE GRADES OF ADA PARKING AREAS SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS.
- SPOT GRADES GIVEN AT THE FACE OF CURB INDICATE PAVEMENT EDGE/CURB INTERFACE (FLOW LINE) ELEVATION, UNLESS NOTED OTHERWISE. BOTTOM OF WALL ELEVATIONS INDICATE WHERE FINISH GRADE AND WALL MEET.
- ALL SLOPES GREATER THAN 3:1 TO BE COVERED WITH NORTH AMERICAN GREEN SB150 EROSION CONTROL BLANKET OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

PLAN NOTES

- ② 5' WIDTH CONCRETE SIDEWALK
- ③ CURB RAMP, CONC. TYPE 'C'

LEGEND

- PROPOSED CONTOURS
- - - EXISTING CONTOURS



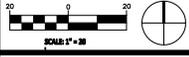
1351 West Tapp Road
Bloomington, Indiana 47403
Phone: 812.336.0277
Fax: 812.336.0817
www.brgcivil.com

BLOOMINGTON BEDFORD PADU

THREE GUYS

2300 WEST VERNAL PIKE
BLOOMINGTON, IN
BRG Project No: 7723

**THREE GUYS
SITE GRADING & DRAINAGE
PLAN**

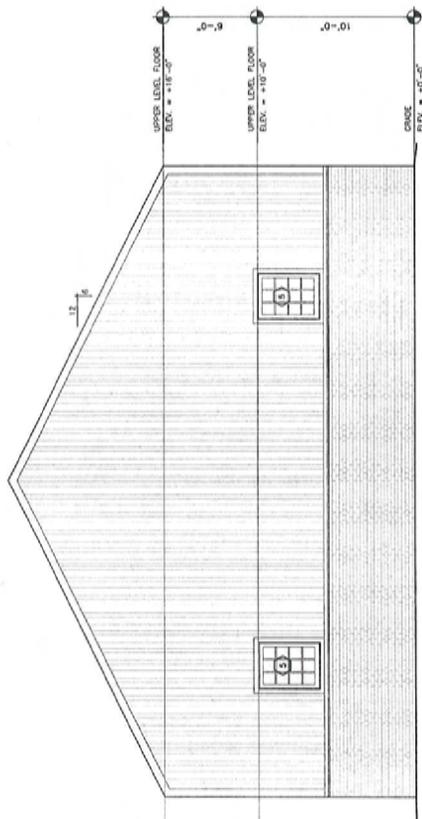


Date: _____ Issue: _____
01-31-2013 CITY PLANNING REVIEW

REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

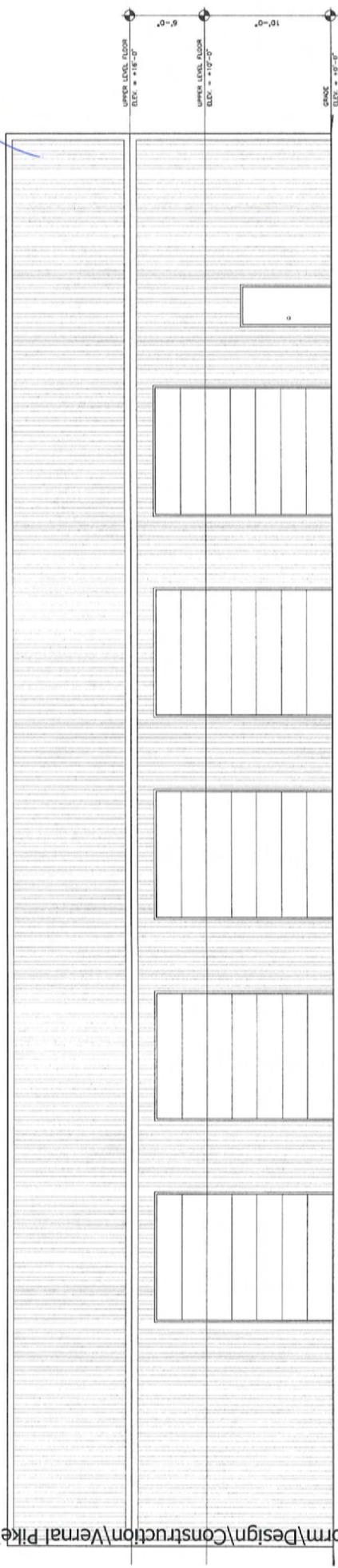
Drawn By: JLB
Designed By: JLB
Checked By: WSR

C100



1
SOUTH
EXTERIOR ELEVATION
1/4" = 1'-0"

Handwritten note: Standing
1/4" = 1'-0"



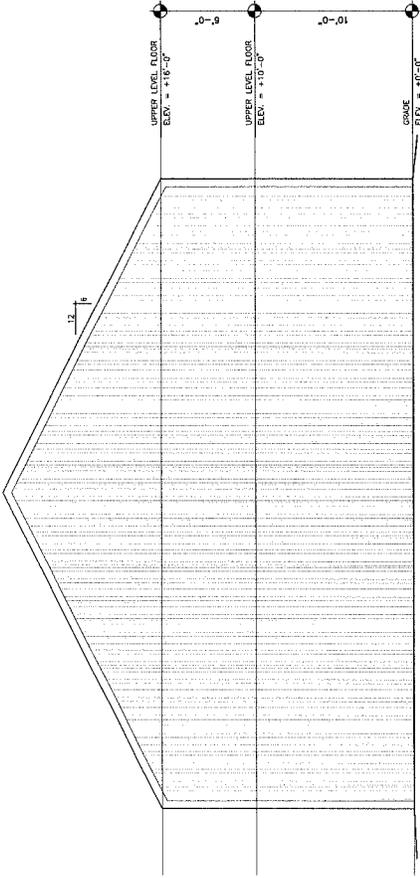
2
WEST
EXTERIOR ELEVATION
1/4" = 1'-0"

BRUCEFORM
CONCEPTUAL

©2013 TAYLOR BRUCE ARCHITECTURE & DESIGN
01/03/13

EXTERIOR ELEVATIONS
1/4" = 1'-0"

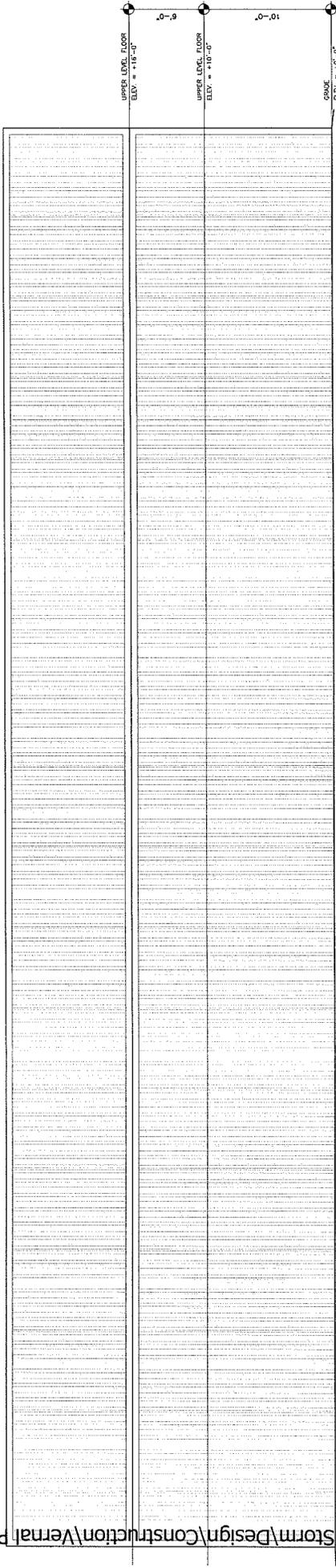




NORTH
EXTERIOR ELEVATION

1/4" = 1'-0"

1



EAST
EXTERIOR ELEVATION

1/4" = 1'-0"

2

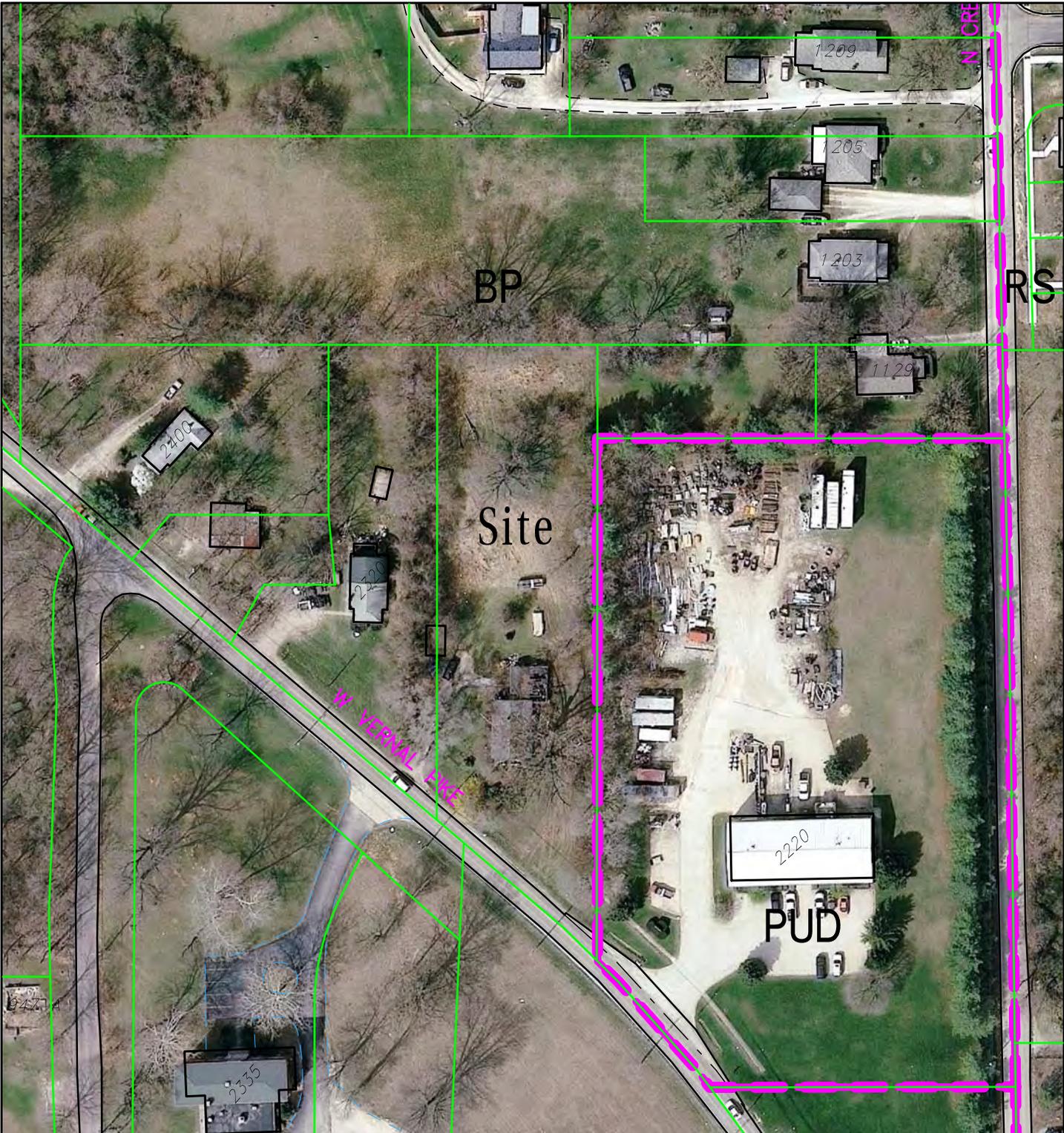
EXTERIOR ELEVATIONS

BRUCE TORRA
CONCEPTUAL

1/4" = 1'-0"
01/03/13

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BRUCE ARCHITECTURE & DESIGN





CU/V-01-13 Bruce Storm

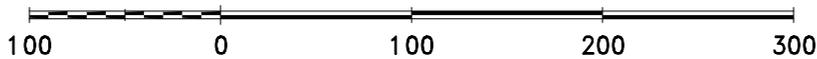
2300 W Vernal Pike

Board of Zoning Appeals

2010 Aerial Photograph

By: greulice

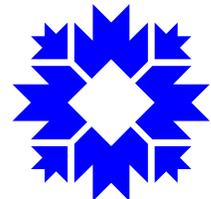
4 Feb 13



For reference only; map information NOT warranted.



City of Bloomington
Planning



Scale: 1" = 100'

BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
 Location: 197 – 498 Varsity Lane

CASE #: V-2-13
DATE: February 14, 2013

PETITIONER: Varsity Villas Homeowners Association
 2015 N. Dunn Street, Bloomington

COUNSEL: Mike Carmin, AHMCP
 400 W. 7th Street, Suite 104

REQUEST: The petitioner is requesting a variance from maximum density allowances to legitimize additional bedrooms within the Varsity Villas development.

Zoning: RH

GPP Designation: Urban Residential

Existing Land Use: Multi-family

Proposed Land Use: Multi-family

Surrounding Uses: East – Indiana University
 South – Multi-family
 West – Multi-family
 North – Multi-family

REPORT: The petitioner represents several owners within the Varsity Villas condo development. This development is located at the northwest and southwest corner of the intersection of N. Dunn Street and Varsity Lane and is currently zoned Residential High-Density Multi-family (RH). The Varsity Villas development was originally approved by the Plan Commission in three phases between 1984 and 1987. These original approvals permitted a total of 234 units and 579 bedrooms on 13.89 acres.

A portion of this area was later developed as a separate project. Therefore, the existing development includes 226 total units on approximately 12.12 acres. Since construction, the Code Enforcement/Housing and Neighborhood Development (HAND) Departments have conducted residential rental inspections. During this time, there have been units where finished and unfinished basements have been remodeled to add bedrooms to the development without approval from the Planning Department. In some instances, the rental permits were incorrectly changed to reflect new bedrooms observed within some of the units. Other inspections noted new bedrooms, but did not increase the number of bedrooms on the rental permit to reflect the additional bedrooms. These inspections were intended to determine compliance with the Property Maintenance Code and not Planning requirements so individual inspectors simply documented what was observed and unfortunately did not address the increase in bedrooms on the site. Therefore, the rental occupancy permits for these areas now reflect a total of 226 units and 645 bedrooms.

Since 01, the HAND Department is now documenting new bedrooms identified during property inspections. When new bedrooms are installed, the Planning Department is notified to determine if the changes are in compliance with the Unified Development Ordinance. During an inspection of an individual unit within this complex, a HAND inspector

noted more bedrooms than listed on the rental permit. One of the petitioners was notified of the violation. Subsequently, that petitioner requested that the rental permits for several units owned by them be revised to reflect higher bedroom counts. The increased counts are generally associated with the use of existing basements as bedrooms.

Under the current RH zoning, the petitioners are allowed a maximum aggregate density of 15 units/acre. When Dwelling Unit Equivalencies (DUEs) are applied to the 226 units and 645 bedrooms the existing approved density is calculated to be just under 218 DUEs or 18.0 un/ac. Therefore, staff is unable to approve any increase in the number of bedrooms within the complex. At this point, the petitioners were presented with two options; remove any bedrooms above the number stated on the rental permit or seek a variance to allow bedrooms to remain.

The petitioners have provided a list of the requested bedrooms for each unit within the development and are now seeking a variance to allow the rental permits to be changed to reflect their request. In evaluating the potential for a variance, staff reviewed the history of each individual rental file. Specifically, staff evaluated three main items:

1. The number of bedrooms listed on the approved permit,
2. The number of bedrooms listed on the owner's application form, and
3. The number of bedrooms noted on all inspections.

Staff placed each unit within several categories. These categories are as follows:

- Properties not seeking additional bedrooms and therefore not in dispute.
- Properties that the City had increased the number of bedrooms on the rental permit. In these cases, new bedrooms were observed and noted during inspections.
- Properties where new bedrooms had been observed during inspections, but the rental permit was not revised.
- Properties where new bedrooms had been observed during past inspections, but the owner later applied for the lower bedroom count and the subsequent inspection and permit concurred with the lower count.
- Properties where no new bedrooms have been observed during any inspections.

After consultation with the City Legal staff, it was determined that only a portion of the request would meet the criteria for a variance and would be supported by staff. Staff found that properties in the following categories should be supported:

- Those properties where the HAND department had increased the number of permitted bedrooms on the official rental permit.
- Those properties where HAND staff observed additional bedrooms in past inspections on single or multiple occasions.

Staff recognizes that although HAND staff did not have the authority to officially approve additional density over the limitations set by the UDO, owners that had received such approvals, or even the appearance of an approval by a bedroom being recognized on the

inspection report, were give a reasonable expectation that the bedroom was not in violation of current standards.

In some instances, however, staff also determined that the properties in the following categories would not meet the criteria to support a variance:

- Properties where new bedrooms had been observed during past inspections, but the owner later applied for a lower bedroom count and a subsequent inspection and permit recognized the lower count.
- Properties where no new bedrooms have been observed during any inspections, but the petitioners are requesting that more bedrooms be allowed.

Staff finds that if the inspections and the rental permit both indicate a lower bedroom count, than an expectation of additional bedrooms over the number listed on the permit is not justified or appropriate for an existing owner or perspective buyer. Specifically, staff finds that in a unit where an additional bedroom had been noted in the past, any justification for variance is lost if: 1) The owner requested a lower number of bedrooms on a subsequent rental application, 2) The owner received a permit for the lower number, and 3) No additional bedrooms have since been observed.

With these considerations, staff finds that the appropriate resolution is for the Board of Zoning Appeals to grant a variance according to staff's above-stated position. This would result in the number of total bedrooms being permitted to increase from 645 bedrooms to 689. The recommended variance would also legitimize all increases to permits approved in the past by HAND. This position would deny the petitioners request to further increase the number of bedrooms to 735. Staff's recommendation would increase the overall density to 19.4 un/ac. The petitioner's request would increase the density to 21.1 un/ac.

Staff's recommendation would result in 46 of the 226 units being out of compliance. One of these units is not part of this request and will have to be enforced separately. Staff also notes that an approval of new bedrooms also triggers the development to be brought into compliance with certain site planning standards. However, a compliant site plan has already been developed and approved with an earlier variance to allow construction of exterior decks. Although these improvements have not been done, the petitioner is still required to install these improvements.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

STAFF FINDING: Staff finds no injury to public health, safety, morals, and general

welfare with this request. Many of these bedrooms have been used in the past. Staff finds that allowing these bedrooms do not create a public health concern. These properties are otherwise compliant with the City's Property Maintenance Code. Additionally, the properties are adequately parked and do not have substandard access to public streets. While there have been some previous incidents affecting public safety, the decision on the total number of bedrooms cannot specifically be tied to whether these incidents would occur or not.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

STAFF FINDING: Staff finds substantial adverse impact to the adjacent property owners in allowing the additional 46 bedrooms. Staff finds that increasing the density of these properties further above the allowable density limits of the zoning code creates either an unfair competitive advantage or an unrealistic expectation of the development potential for surrounding properties. The surrounding properties have been developed within code standards.

Although this variance would allow other properties in the development to increase their value through the legalization of past bedroom creation, staff asserts that these particular owners were given a different set of expectations due to previous inspections and the issuance of prior rental permits. These expectations are not present on the 46 other properties because either the bedrooms have never been present or the owners and City clearly adjusted past rental permits to lower bedroom counts. Allowing the 46 properties to simply add bedrooms in excess of code or in conflict with property history would create a precedent that could be tested by other property owners both within the development and on adjoining properties.

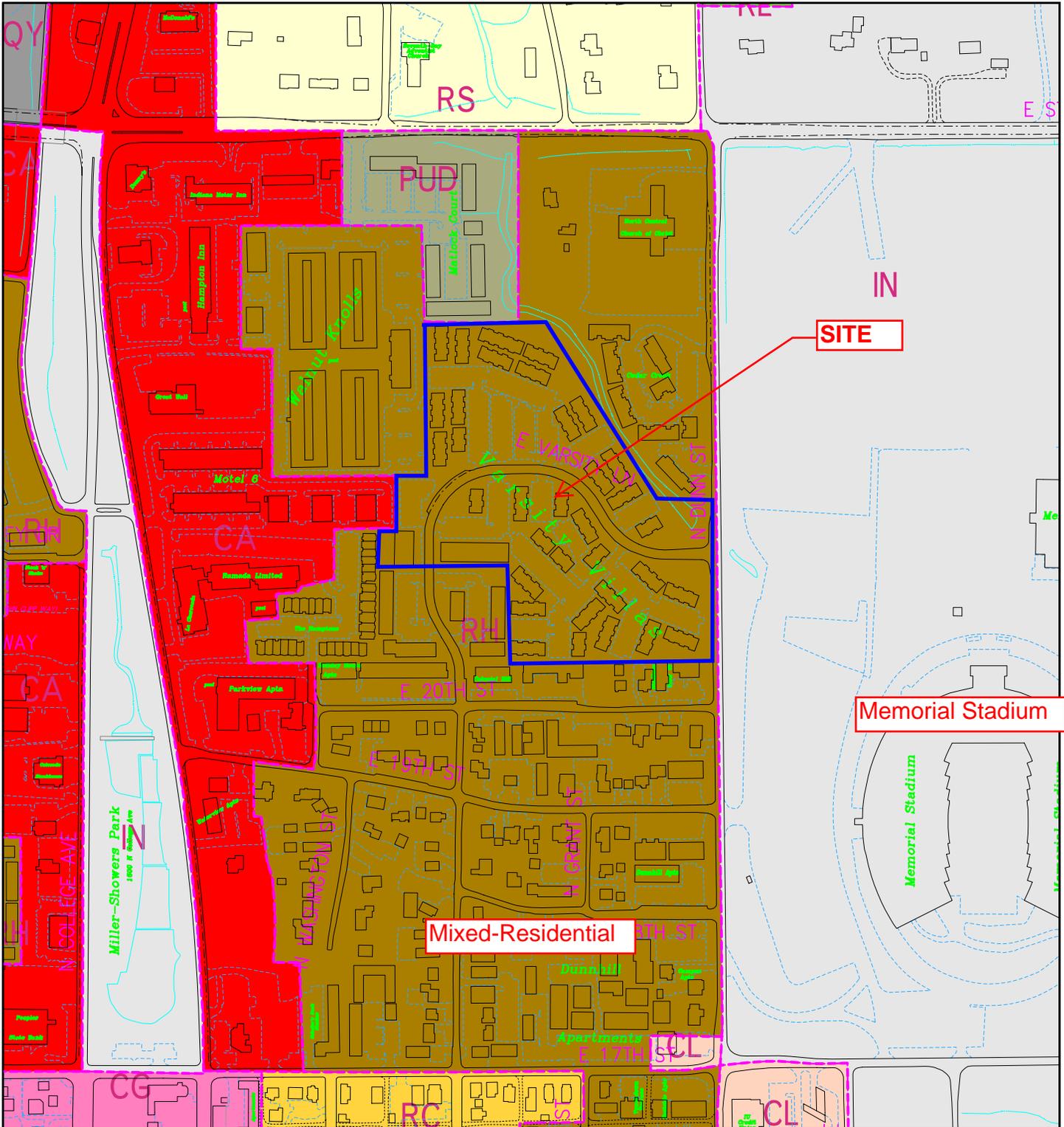
- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

STAFF FINDING: Staff finds peculiar condition to grant a variance for some of the properties due to the previous documentation and allowance of bedrooms in past City inspections. With this acknowledgement, staff finds that the owners of these units would incur practical difficulty in the loss of a long-standing use of property. However, staff does not find the same peculiar condition leading to practical difficulty for the 46 units that do not have the same history of City inspections and permits. Although none of the units appear to have received legitimate zoning approvals in the past, the 46 units have also not received the same informal approvals that would constitute a reasonable expectation of City approval. Simply utilizing the bedroom limitations that are currently present on the rental permits for the 46 units creates no practical difficulties for the petitioner.

CONCLUSION: After significant analysis, staff finds that the City has proposed a

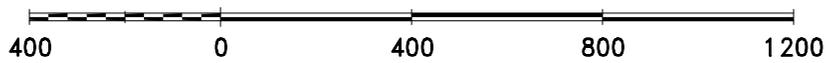
reasonable and fair resolution to this situation. Where bedrooms have been established either through regular observations and acknowledgment by another City Department, Staff finds that the owner has a reasonable expectation to the continued use of a bedroom. However, staff finds that in the case of the 46 units, there is no similar reasonable expectation. The rental permits on file with HAND have consistently not permitted any additional bedrooms for these units. Furthermore, these bedrooms have either not been observed or applied for in the past. In some instances, the petitioners have simply applied for newly requested bedrooms. Staff finds no justification in further increasing the density of this development over that allowed by code.

RECOMMENDATION: Staff recommends approval of the proposed bedroom counts for all units identified on Exhibit 2 and denial of the proposed bedroom counts on all properties on Exhibit 1.

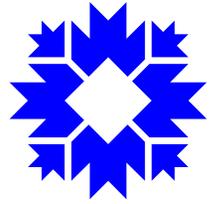


V-2-13 Varsity Villas
197-498 Varsity Lane

By: shayp
8 Feb 13



City of Bloomington
Planning



Scale: 1" = 400'

For reference only; map information NOT warranted.

January 15, 2013

Bloomington Board of Zoning Appeals
Monroe County Courthouse
Room 306
Bloomington, IN 47404

The Petitioners identified on Exhibit A petition the Bloomington Board of Zoning Appeals for a design standards variance for the properties identified on the attached list of affected properties. The Petitioners seek a zoning variance to allow the bedroom count as indicated on the attached list of affected properties.

The Varsity Villas property has been in existence more than 10 years with the bedroom count and uses as stated on the attached properties list under the column for VV Requested Bedroom Count. Petitioners assert that the count as requested has been the historic bedroom count in use on each of the properties. The condominium units located within the Varsity Villas complex have been used consistently for a certain number of occupants. This has existed under the prior City zoning ordinance where density was calculated based on the number of units through the adoption of the UDO which calculates density based on dwelling unit equivalence.

The units have been continually registered as residential rental properties with Certificates of Occupancy. These Certificates of Occupancy have often varied on the number of bedrooms as noted on the permit compared to the number of bedrooms actually in existence or rooms utilized as bedrooms.

Each of the properties have been purchased and acquired by the present owners in reliance upon historic bedroom count and use and Certificates of Occupancy have been regularly issued based on those counts. Financial liens on the properties include mortgages that were financed based on the rental income stream available from the historic use.

Some units have been improved at various times, including remodeling, in reliance upon the continuation of the number of bedrooms rented.

Inspection reports and Certificates of Occupancy recently have become more specific and the data included on the report with regard to the number of units, bedrooms, and other information, have been more specific and greater effort has been made for accuracy. As a consequence, on many rental properties, not just those that are affected by this petition, the information has been

corrected and bedroom counts or apartment counts have been adjusted. With regard to the properties in this petition, recent HAND inspections and reports have referred the properties to the Planning Department for verification of zoning compliance. This effort led to the discovery that the actual bedroom use, or what the Petitioners assert has been the historic bedroom use for the condominium units in many cases is in excess of the bedroom count permitted under the Unified Development Ordinance. Inconsistencies with the actual number of bedrooms as originally constructed compared to the number of bedrooms or apartments on the original HAND inspections and now the bedroom count as noted on more recent inspections have been inconsistent and are confusing. Petitioners submit that the simplest means to address all the units, both for factual and legal consistency and fairness is to present all the Varsity Villas units on the attached property list for a variance to legitimize the actual bedroom count and bedroom use consistent throughout the property, consistent with historic use and by variance to bring all of the units into compliance with the United Development Ordinance.

A design standard variance will have no adverse impact on adjacent property values. There will be no increase in parking demand, occupancy loads, or change in use. The bedroom count is proposed across for many owners and the numerous units on the attached list are consistent with historic use and will not generate any change in use, and therefore no increases in intensity or adverse external impacts. No new infrastructure is required. No changes to the present parking are required. Parking on the Varsity Villas complex is adequate. There have been no issues with overcrowded parking requiring spill-over onto other properties. Petitioners acknowledge that parking can be a different matter on isolated special events such as Little 500 race weekend at Indiana University. An isolated short-term event generating overcrowded parking is an aberration and is not part of the normal course for use or occupancy of the properties.

The units cannot be rebuilt. The change in density calculation from the number of apartments to number of bedrooms is an ordinance fact that Petitioners cannot change. The use of dwelling unit equivalence is imposed upon the property by ordinance, not by action of the Petitioners. Petitioners will suffer significant economic hardship if required to reduce bedroom count to the number as specified on the attached property list under the column City's Bedroom Count. The history, use of the property, zoning restrictions, change of zoning calculation and the configuration of the Varsity Villas complex are peculiar conditions to this property. Petitioners request a design standards variance to allow or authorize density as calculated based on the bedroom count as noted on the attached property list.

Respectfully submitted,



Michael L. Carmin
Attorney for Petitioners

356592 / 21007-29

V-2-13 Petitioner's
Statement

EXHIBIT 'A'

PETITIONERS – PROPERTY OWNERS

BDKM, LLC

CREAM & CRIMSON MANAGEMENT, LLC

FULLER, MICHAEL A.

HASSFURTHER, HARVEY LAWRENCE

ISON, RONNIE L. & PENNY A.

JLKM, LLC

MANNIX PROPERTIES, LLC

QUERESHI, ASIM H. & YASMIN A.

SHEIKH, SIBGHAT

SPIVEY, JAMES C. & CYNTHIA M.

VARSITY VILLAS INVESTMENT GROUP, LLC

QINGYA ZHAO

VARSITY VILLAS HOMEOWNERS ASSOCIATION, INC.

On behalf of the following Owners:

Adventures Littlehead, LLP

Blum, David

Brunetti, Joseph A.

Brunetti, Nicholas M. and Kathleen and Joseph

Burger, Donald F. & Linda R. and Caldwell, Kevin

Cheng, Lingling

Chester Rentals, LLC

Cooper, Kevin

Dahl, Russell B. & Julianne and Martin, Kim & Dee L.

Doell, William G. & Carol R.

Fitzgerald, Edward A. & Lisa A.

Fuller, Delois M.

Gilbert, Scott
Goode, Roy, Ruth & Audri
Jevtic, Sonja T. & Zoran
JLKM, LLC
Johnson, David P. & Candy L
Jones, Alexander D. & John G.
JPM Properties, LLC
Kacsor, Cynthia
Krumlauf, Dian S.
Langley, Daniel E.
Lin, Richard & Helena Christine
Lutes, Michael J. & Tracee D.
Mannix Properties, LLC
McCain, Michael C. & Dale Ann
McCracken, Michael & Alex
Mitchell, Vaughn G.
Moldenhauer, Richard N. & Robbie M.
Morris, Sean J. & Kelly
Mujezinovic, Haris
Osborne, C W
Osborne, Charles W. & Sandra E.
Osborne, Charles W., Sandra E. & Jennifer
Qurashi, Maroof H. & Naheed M.
Randall L. & Victoria J. Stephenson Trust
Ryan, W. Patrick & Gerry L.
Rymar Properties, LLC
Saltsgaver, Mark
Sekhon, Gurmeet S. & Hardev K.
Sheikh, Sibghat
Sinn, Alan Lee & Andrea Leigh
Sparks, James L. & Diane M.
Spivey, James C. & Cynthia M.
Spivey, James C. & Cynthia M. and John & Jane M.
Trust
Strang, Steven E.
TCG Properties, LLC
Varsity Ventures One, LLC
Varsity Villas Investment Group, LLC

Name of Owner	Property Address	VV Requested Bedroom Count	City's Bedroom Count
Adventures Littlehead, LLP	210 Varsity Lane	3	3
Adventures Littlehead, LLP	218 Varsity Lane	3	3
Adventures Littlehead, LLP	232 Varsity Lane	3	3
Adventures Littlehead, LLP	234 Varsity Lane	3	3
Adventures Littlehead, LLP	240 Varsity Lane	3	3
Adventures Littlehead, LLP	246 Varsity Lane	3	3
Adventures Littlehead, LLP	357 Varsity Lane	3	3
Adventures Littlehead, LLP	486 Varsity Lane	4	4
BDKM, LLC	408 Varsity Lane	4	4
Blum, David	228 Varsity Lane	3	3
Blum, David	230 Varsity Lane	3	3
Blum, David	242 Varsity Lane	3	3
Brunetti, Joseph A.	375 Varsity Lane	4	4
Brunetti, Nicholas M., Kathleen & Joseph	428 Varsity Lane	4	3
Burger, Donald F. & Linda R. and Caldwell, Kevin	402 Varsity Lane	2	2

C & E Investments, LLC	354 Varsity Lane	4	3
Cheng, Lingling	331 Varsity Lane	3	3
Chester Rentals, LLC	436 Varsity Lane	3	3
Cooper, Kevin	404 Varsity Lane	2	2
Cream & Crimson Management, LLC	414 Varsity Lane	4	3
Dahl, Russell B. & Julianne and Martin, Kim & Dee L.	330 Varsity Lane	3	3
Doell, William G. & Carol R.	261 Varsity Lane	3	3
Fitzgerald, Edward A. & Lisa A.	229 Varsity Lane	3	3
Fuller, Delois M.	200 Varsity Lane	3	3
Fuller, Michael A.	311 Varsity Lane	3	2
Gilbert, Scott	206 Varsity Lane	3	3
Goode, Roy, Ruth & Audri	394 Varsity Lane	4	4
Hassfurther, Harvey Lawrence	356 Varsity Lane	4	3
Hassfurther, Harvey Lawrence	482 Varsity Lane	3	3
Ison, Ronnie L. & Penny A.	221 Varsity Lane	4	3
James C. & Cynthia M. Spivey	334 Varsity Lane	4	3

Jevtic, Sonja T. & Zoran	313 Varsity Lane	3	3
JLKM, LLC	299 Varsity Lane	4	4
JLKM, LLC	452 Varsity Lane	3	3
JLKM, LLC	464 Varsity Lane	4	4
Johnson, David P. & Candy L	390 Varsity Lane	3	3
Johnson, David P. & Candy L.	327 Varsity Lane	4	4
Jones, Alexander D. & John G.	348 Varsity Lane	3	3
JPM Properties, LLC	247 Varsity Lane	3	3
Kacsor, Cynthia	199 Varsity Lane	3	3
Krumlauf, Dian S.	205 Varsity Lane	3	3
Langley, Daniel E.	215 Varsity Lane	3	3
Langley, Daniel E.	366 Varsity Lane	3	3
Lin, Richard & Helena Christine	207 Varsity Lane	3	3
Lutes, Michael J. & Tracee D.	297 Varsity Lane	3	3
Lutes, Michael J. & Tracee D.	329 Varsity Lane	4	4
Mannix Properties, LLC	498 Varsity Lane	4	3

Mannix Properties, LLC	209 Varsity Lane	3	3
Mannix Properties, LLC	220 Varsity Lane	3	3
Mannix Properties, LLC	226 Varsity Lane	3	3
Mannix Properties, LLC	400 Varsity Lane	2	2
Mannix Properties, LLC	458 Varsity Lane	3	3
McCain, Michael C. & Dale Ann	222 Varsity Lane	3	3
McCracken, Michael & Alex	267 Varsity Lane	3	3
Mitchell, Vaughn G.	406 Varsity Lane	3	3
Moldenhauer, Richard N. & Robbie M.	371 Varsity Lane	3	3
Morris, Sean J. & Kelly	204 Varsity Lane	3	3
Mujezinovic, Haris	350 Varsity Lane	3	3
Mujezinovic, Haris	376 Varsity Lane	2	2
Mujezinovic, Haris	388 Varsity Lane	3	3
Mujezinovic, Haris	426 Varsity Lane	4	4
Mujezinovic, Haris	438 Varsity Lane	4	4
Osborne, C W	197 Varsity Lane	3	3

Osborne, Charles W. & Sandra E.	208 Varsity Lane	3	3
Osborne, Charles W., Sandra E. & Jennifer	216 Varsity Lane	3	3
Qurashi, Maroof H. & Naheed M.	456 Varsity Lane	3	3
Qureshi, Asim H. & Yasmin A.	291 Varsity Lane	3	2
Randall L. & Victoria J. Stephenson Trust	307 Varsity Lane	3	3
Ryan, W. Patrick & Gerry L.	244 Varsity Lane	3	3
Rymar Properties, LLC	265 Varsity Lane	4	4
Saltsgaver, Mark	360 Varsity Lane	3	3
Sekhon, Gurmeet S. & Hardev K.	295 Varsity Lane	3	3
Sekhon, Gurmeet S. & Hardev K.	424 Varsity Lane	3	3
Sekhon, Gurmeet S. & Hardev K.	430 Varsity Lane	3	3
Sekhon, Gurmeet S. & Hardev K.	432 Varsity Lane	3	3
Sheikh, Sibghat	460 Varsity Lane	3	3
Sheikh, Sibghat	476 Varsity Lane	4	3
Sheikh, Sibghat	496 Varsity Lane	3	3
Sinn, Alan Lee & Andrea Leigh	225 Varsity Lane	3	3

Sparks, James L. & Diane M.	224 Varsity Lane	3	3
Sparks, James L. & Diane M.	494 Varsity Lane	3	3
Spivey, James C. & Cynthia M.	328 Varsity Lane	4	4
Spivey, James C. & Cynthia M. and John & Jane M. Trust	332 Varsity Lane	3	3
Strang, Steven E.	472 Varsity Lane	3	3
TCG Properties, LLC	323 Varsity Lane	3	3
TCG Properties, LLC	362 Varsity Lane	4	4
TCG Properties, LLC	422 Varsity Lane	3	3
Varsity Ventures One, LLC	361 Varsity Lane	3	3
Varsity Ventures One, LLC	202 Varsity Lane	3	3
Varsity Ventures One, LLC	212 Varsity Lane	3	3
Varsity Ventures One, LLC	285 Varsity Lane	3	3
Varsity Ventures One, LLC	352 Varsity Lane	3	3
Varsity Ventures One, LLC	367 Varsity Lane	3	3
Varsity Ventures One, LLC	379 Varsity Lane	3	3
Varsity Ventures One, LLC	462 Varsity Lane	4	4

Varsity Ventures One, LLC	470 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	201 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	203 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	213 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	235 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	236 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	237 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	238 Varsity Lane	3	3

Varsity Villas Investment Group, LLC	239 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	241 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	243 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	245 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	249 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	251 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	253 Varsity Lane	4	4
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Varsity Villas Investment Group, LLC	257 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	275 Varsity Lane	4	4
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Varsity Villas Investment Group, LLC	281 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	300 Varsity Lane	4	4
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Varsity Villas Investment Group, LLC	302 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	315 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	316 Varsity Lane	4	3

Varsity Villas Investment Group, LLC	317 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	318 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	319 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	320 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	321 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	322 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	324 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	325 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	326 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	333 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	335 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	336 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	337 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	338 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	339 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	340 Varsity Lane	3	3

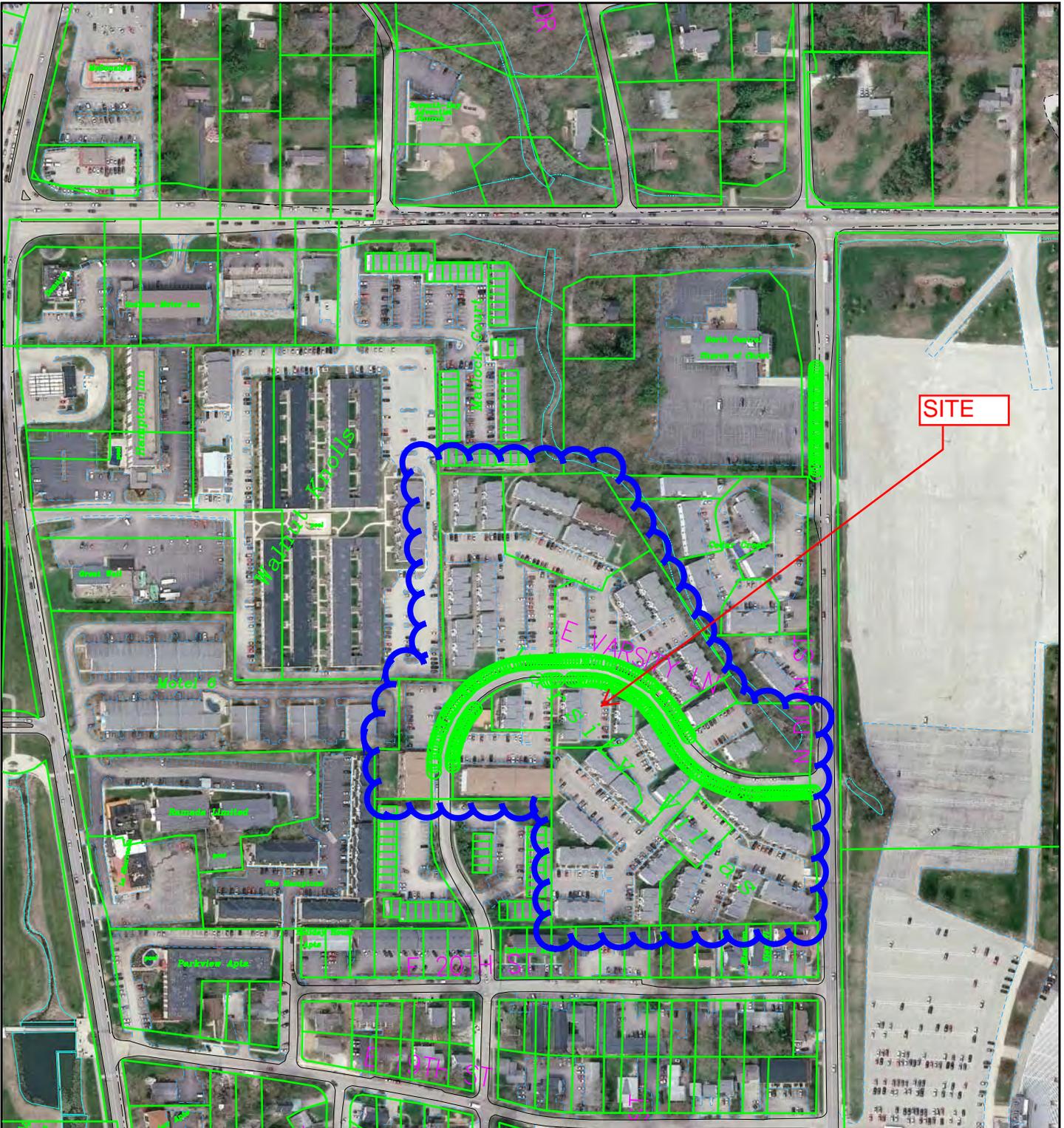
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Varsity Villas Investment Group, LLC	343 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	344 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	345 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	346 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	347 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	349 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	351 Varsity Lane	4	3
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Varsity Villas Investment Group, LLC	355 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	358 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	359 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	363 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	365 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	368 Varsity Lane	3	3

Varsity Villas Investment Group, LLC	369 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	370 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	372 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	373 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	374 Varsity Lane	2	2
Varsity Villas Investment Group, LLC	377 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	378 Varsity Lane	2	2
Varsity Villas Investment Group, LLC	381 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	382 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	383 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	384 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	385 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	386 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	387 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	389 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	391 Varsity Lane	3	2

Varsity Villas Investment Group, LLC	392 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	393 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	395 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	397 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	398 Varsity Lane	2	2
Varsity Villas Investment Group, LLC	399 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	401 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	403 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	405 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	407 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	410 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	412 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	416 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	418 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	420 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	434 Varsity Lane	3	3

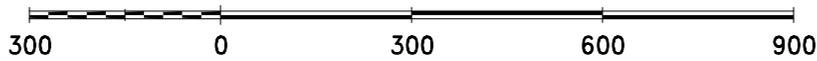
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Varsity Villas Investment Group, LLC	442 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	444 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	446 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	448 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	450 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	454 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	466 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	468 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	474 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	478 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	480 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	484 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	488 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	490 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	492 Varsity Lane	3	3

Weber, Marcia E. & Erickson III, Morris	364 Varsity Lane	4	4
Zahid, Mohammed & Din, Faiza	380 Varsity Lane	2	2
Zahid, Mohammed & Din, Faiza	396 Varsity Lane	3	3

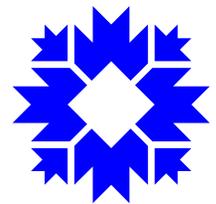


V-2-13 Aerial Photo

By: shayp
8 Feb 13



City of Bloomington
Planning



Scale: 1" = 300'

For reference only; map information NOT warranted.

Exhibit 1

Owner	Address	Bedrooms Requested	City Recommendation
Asim H. & Yasmin A. Qureshi	291 Varsity Lane	3	2
Cream & Crimson Management, LLC	414 Varsity Lane	4	3
Harvey Lawrence Hassfurth	356 Varsity Lane	4	3
James C. & Cynthia M. Spivey	334 Varsity Lane	4	3
JLKM, LLC	452 Varsity Lane	3	3
Mannix Properties, LLC	498 Varsity Lane	4	3
Michael A. Fuller	311 Varsity Lane	3	2
Nicholas M., Kathleen & Joseph Brunetti	428 Varsity Lane	4	3
Ronnie L. & Penny A. Ison	221 Varsity Lane	4	3
Sibghat Sheikh	476 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	319 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	338 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	343 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	345 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	347 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	349 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	391 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	397 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	405 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	420 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	442 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	444 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	446 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	448 Varsity Lane	3	2
Varsity Villas Investment Group, LLC	231 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	233 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	287 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	289 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	301 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	315 Varsity Lane	4	3

Not Part of Petition

Varsity Villas Investment Group, LLC	316 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	326 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	339 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	351 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	363 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	370 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	377 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	387 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	389 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	399 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	401 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	407 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	440 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	474 Varsity Lane	4	3
Varsity Villas Investment Group, LLC	488 Varsity Lane	4	3
Zhao, Qingya	354 Varsity Lane	4	3

Exhibit 2

Owner	Address	Bedrooms Requested	City Recommendation
Adventures Littlehead, LLP	357 Varsity Lane	3	3
Adventures Littlehead, LLP	210 Varsity Lane	3	3
Adventures Littlehead, LLP	218 Varsity Lane	3	3
Adventures Littlehead, LLP	232 Varsity Lane	3	3
Adventures Littlehead, LLP	234 Varsity Lane	3	3
Adventures Littlehead, LLP	240 Varsity Lane	3	3
Adventures Littlehead, LLP	246 Varsity Lane	3	3
Adventures Littlehead, LLP	486 Varsity Lane	4	4
Alan Lee & Andrea Leigh Sinn	225 Varsity Lane	3	3
Alexander D. & John G. Jones	348 Varsity Lane	3	3
BDKM, LLC	408 Varsity Lane	4	4
C W Osborne	197 Varsity Lane	3	3
Charles W. & Sandra E. Osborne	208 Varsity Lane	3	3
Charles W., Sandra E. & Jennifer Osborne	216 Varsity Lane	3	3
Chester Rentals, LLC	436 Varsity Lane	3	3
Cynthia Kacsor	199 Varsity Lane	3	3
Daniel E. Langley	215 Varsity Lane	3	3
Daniel E. Langley	366 Varsity Lane	3	3
David Blum	228 Varsity Lane	3	3
David Blum	230 Varsity Lane	3	3
David Blum	242 Varsity Lane	3	3
David P. & Candy L. Johnson	390 Varsity Lane	3	3
David P. & Candy L. Johnson	327 Varsity Lane	4	4
Delois M. Fuller	200 Varsity Lane	3	3
Dian S. Krumlauf	205 Varsity Lane	3	3
Donald F. & Linda K. Burger and Kevin Caldwell	402 Varsity Lane	2	2
Edward A. & Lisa A. Fitzgerald	229 Varsity Lane	3	3
Gurmeet S. & Hardev K. Sekhon	424 Varsity Lane	3	3

Gurmeet S. & Hardev K. Sekhon	295 Varsity Lane	3	3
Gurmeet S. & Hardev K. Sekhon	432 Varsity Lane	3	3
Gurmeet S. & Hardev K. Sekhon	430 Varsity Lane	3	3
Haris Mujezinovic	376 Varsity Lane	2	2
Haris Mujezinovic	350 Varsity Lane	3	3
Haris Mujezinovic	388 Varsity Lane	3	3
Haris Mujezinovic	438 Varsity Lane	4	4
Haris Mujezinovic	426 Varsity Lane	4	4
Harvey Lawrence Hassfurther	482 Varsity Lane	3	3
James C. & Cynthia M. Spivey	328 Varsity Lane	4	4
James C. & Cynthia M. Spivey and John & Jane M. Trust	332 Varsity Lane	3	3
James L. & Diane M. Sparks	224 Varsity Lane	3	3
James L. & Diane M. Sparks	494 Varsity Lane	3	3
JLKM, LLC	299 Varsity Lane	4	4
JLKM, LLC	464 Varsity Lane	4	4
Joseph A. Brunetti	375 Varsity Lane	4	4
JPM Properties, LLC	247 Varsity Lane	3	3
Kevin Cooper	404 Varsity Lane	2	2
Lingling Cheng	331 Varsity Lane	3	3
Mannix Properties, LLC	400 Varsity Lane	2	2
Mannix Properties, LLC	209 Varsity Lane	3	3
Mannix Properties, LLC	220 Varsity Lane	3	3
Mannix Properties, LLC	226 Varsity Lane	3	3
Mannix Properties, LLC	458 Varsity Lane	3	3
Marcia E. Weber & Morris H. Erickson III	364 Varsity Lane	4	4
Mark Saltsgaver	360 Varsity Lane	3	3
Maroof H. & Naheed M. Qurashi	456 Varsity Lane	3	3
Michael & Alex McCracken	267 Varsity Lane	3	3
Michael C. & Dale Ann McCain	222 Varsity Lane	3	3

Michael J. & Tracee D. Lutes	297 Varsity Lane	3	3
Michael J. & Tracee D. Lutes	329 Varsity Lane	4	4
Mohammed Zahid & Faiza Din	380 Varsity Lane	2	2
Mohammed Zahid & Faiza Din	396 Varsity Lane	3	3
Randall L. & Victoria J. Stephenson Trust	307 Varsity Lane	3	3
Richard & Helena Christine Lin	207 Varsity Lane	3	3
Richard N. & Robbie M. Moldenhauer	371 Varsity Lane	3	3
Roy, Ruth & Audri Goode	394 Varsity Lane	4	4
Russell B. & Julianne Dahl and Kim & Dee L. Martin	330 Varsity Lane	3	3
Rymar Properties, LLC	265 Varsity Lane	4	4
Scott Gilbert	206 Varsity Lane	3	3
Sean J. & Kelly Morris	204 Varsity Lane	3	3
Sibghat Sheikh	460 Varsity Lane	3	3
Sibghat Sheikh	496 Varsity Lane	3	3
Sonja T. & Zoran Jevtic	313 Varsity Lane	3	3
Steven E. Strang	472 Varsity Lane	3	3
TCG Properties, LLC	323 Varsity Lane	3	3
TCG Properties, LLC	422 Varsity Lane	3	3
TCG Properties, LLC	362 Varsity Lane	4	4
Varsity Ventures One, LLC	361 Varsity Lane	3	3
Varsity Ventures One, LLC	367 Varsity Lane	3	3
Varsity Ventures One, LLC	379 Varsity Lane	3	3
Varsity Ventures One, LLC	202 Varsity Lane	3	3
Varsity Ventures One, LLC	212 Varsity Lane	3	3
Varsity Ventures One, LLC	285 Varsity Lane	3	3
Varsity Ventures One, LLC	352 Varsity Lane	3	3
Varsity Ventures One, LLC	470 Varsity Lane	3	3
Varsity Ventures One, LLC	462 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	374 Varsity Lane	2	2

Varsity Villas Investment Group, LLC	378 Varsity Lane	2	2
Varsity Villas Investment Group, LLC	398 Varsity Lane	2	2
Varsity Villas Investment Group, LLC	235 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	269 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	281 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	325 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	340 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	358 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	381 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	383 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	385 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	393 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	395 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	403 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	418 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	434 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	466 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	454 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	201 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	203 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	211 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	213 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	214 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	217 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	219 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	223 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	236 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	237 Varsity Lane	3	3

Varsity Villas Investment Group, LLC	238 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	243 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	245 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	249 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	255 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	257 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	259 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	271 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	273 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	279 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	283 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	293 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	302 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	303 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	304 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	305 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	309 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	318 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	320 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	321 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	322 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	324 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	346 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	355 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	359 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	368 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	369 Varsity Lane	3	3

Varsity Villas Investment Group, LLC	372 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	410 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	468 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	478 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	484 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	490 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	492 Varsity Lane	3	3
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Varsity Villas Investment Group, LLC	275 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	306 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	317 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	342 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	353 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	384 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	450 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	337 Varsity Lane	3	3
Varsity Villas Investment Group, LLC	239 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	251 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	277 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	300 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	336 Varsity Lane	4	4

Varsity Villas Investment Group, LLC	341 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	344 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	365 Varsity Lane	4	4
Varsity Villas Investment Group, LLC	416 Varsity Lane	4	4
Vaughn G. Mitchell	406 Varsity Lane	3	3
W. Patrick & Gerry L. Ryan	244 Varsity Lane	3	3
William G. & Carol R. Doell	261 Varsity Lane	3	3