

CITY OF BLOOMINGTON



**JULY 8, 2013 @ 5:30 p.m.
COUNCIL CHAMBERS #115
CITY HALL**

**CITY OF BLOOMINGTON
PLAN COMMISSION AGENDA
July 8, 2013 @ 5:30 p.m.**

❖ City Hall Council Chambers, #115

ROLL CALL

MINUTES TO BE APPROVED: June 10, 2013

REPORTS, RESOLUTIONS AND COMMUNICATIONS: Staff/Commission discussion about Student Housing

PETITION CONTINUED TO August 5, 2013:

PUD-24-13 Trinitas Ventures

401 S. Patterson Dr.

PUD final plan approval of Areas B & C of the Patterson Park PUD to allow a 29-unit multi-family development. Also requested is final plat approval of a 4-lot replat of the Patterson Park subdivision

(Case Manager: Patrick Shay)

PETITION CONTINUED TO Sept. 9, 2013:

PUD-26-13 Daniel & Jessica Hoover

339 S. Dunn St.

PUD final plan approval to allow an addition to an existing single-family residence

(Case Manager: Eric Greulich)

APPROVAL OF CONSENT AGENDA:

SP-01-13 John Halluska

117 E. 6th St.

Site plan approval to add a 2nd story to an existing office

(Case Manager: Eric Greulich)

PUD-30-13 First Capital Management (Monon Crossing)

1140 S. Morton St.

PUD final plan approval of 14 multi-family dwelling units and preliminary and final plat approval of a 16-lot subdivision

(Case Manager: James Roach)

PETITION:

SP-31-13 11th & Walnut Holdings, LLC (The Crest at 11th)

701 N. Walnut St.

Site plan approval to allow construction of a 30-unit multi-family building

(Case Manager: James Roach)

End of Agenda

***Next Plan Commission hearing scheduled for August 5, 2013*

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
LOCATION: 117 E. 6th Street**

**CASE#: SP-01-13
DATE: July 8, 2013**

**PETITIONER: John Halluska
320 N. Walnut St, Bloomington**

**CONSULTANT: Tabor Bruce Architecture & Design
1101 S. Walnut St, Bloomington**

REQUEST: The petitioner is requesting site plan approval to construct a three-story addition to an existing building.

REPORT SUMMARY: This location is at the northwest corner of N. Washington St. and E. 6th Street. This property is zoned Commercial Downtown (CD) and is within the Courthouse Square Overlay (CSO) District. Surrounding land uses include multi-family residences to the north and east, and mixed-use buildings with ground floor non-residential and upper floor residences to the west and south. This 0.160 acre property has been developed with a 4,500 sq. ft., one-story, multi-tenant office building on the rear of the lot with a surface parking lot in front.

The petitioner is proposing to construct a 10,300 sq. ft., three-story addition to the front of the existing building. The ground floor of the new building will be entirely nonresidential space. The new nonresidential space will combine with a portion of the nonresidential space in the existing building to provide 7,300 sq. ft. of ground floor nonresidential space. There is a portion of the ground floor of the existing building that the petitioner is requesting to use as 2, 2-bedroom ground floor dwelling units. The upper two stories of the new building will each contain 2, 4-bedroom apartments on each floor. In total there will be 2, 2-bedroom units and 4, 4-bedroom units for a total of 6 dwelling units and 20 bedrooms with a Dwelling Unit Equivalency of 7.32 dwelling units.

The addition is proposed to be finished with brick on all four sides with limestone window sills and accent features. The addition would extend all the way to the front property line along 6th Street and would match the 1.25 foot setback of the existing building along Washington St. The surface parking lot, along with the two drivecuts, will be removed in entirety for the new building location. The pedestrian entrance along 6th St. will access the ground floor nonresidential spaces and the pedestrian entrance along Washington St. would access the upper floor apartments. There is a recessed storage and utility area on the west side of the building that will contain trash receptacles, recycling storage, and utility meters. This storage area would be accessed by a drivecut on 6th St.

Plan Commission Site Plan Review: Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.020. Those aspects are as follows:

- The project is adjacent to a residential use to the east.
- The petitioner is requesting three waivers.

The petitioner is requesting three waivers from the standards in BMC 20.03.060 and 20.03.270. The following waivers are being requested:

- Front build-to-line
- Building façade modulation
- Void-to-solid ratio

SITE PLAN REVIEW

Parking: The CSO district does not have any minimum on-site parking requirements for nonresidential or residential uses. There are no on-site parking spaces proposed with this petition. There is currently on-street parking along both sides of 6th St. and Washington St. adjacent to this property. With the removal of the drivecuts on 6th St. and Washington St., it will be possible to add additional on-street parking spaces along the adjacent streets in front of this project site.

Streetscape: There is currently one street light at the corner of 6th and Washington and no street trees along either 6th St. or Washington St. Two street trees in tree grates are required along 6th Street and have been shown on the site plan. One street tree is required along Washington St. and a condition of approval has been included. There is a concrete sidewalk along both street frontages and no improvements are necessary. One additional street light is required along both 6th Street and one along Washington St and a condition of approval has been included.

Bicycle Parking: The building is required to have a minimum of 4 Class II bicycle parking spaces within 50' of the entrance. The property does not currently have a bike rack. A bike rack is required and must be shown on the site plan prior to issuance of a building permit. There is room within the right-of-way adjacent to each entrance of the building to install the bike racks. Staff will work with the petitioner to locate the required bike racks adjacent to each entrance.

Architecture: The new building will have brick along all four facades facing. A decorative limestone cap has been shown along the top of the building along both street frontages. In addition, a limestone water table will be used along the windows along 6th and Washington Streets. Vertical brick columns have also been shown along the front façade on 6th Street. In addition, an arched doorway is shown at the west corner of the building and a similar arch is shown on the east end of the building above a patio. There are no adjacent historical structures. A pedestrian entrance has been shown along the primary façade along 6th Street and along Washington Street. No mechanical equipment has been shown outside of the building that must be screened. The building has a flat roof which is allowed. The windows and doors along the ground floor create a 40% void-to-solid ratio. The minimum void-to-solid ratio for ground floor space is 70%. Due to the change in topography along 6th St. and the desire to match the ceiling height of the existing building, the floor to ceiling height of the new building on the ground floor is 15'. This unusually large ceiling height makes it difficult to design a building with similar, consistent window heights to meet the 70% void-to-solid requirement. All windows are transparent and do not make use of dark

tinting or reflective glass. The primary pedestrian entrances along 6th Street and Washington St. are recessed a minimum of 4' and also have an awning over each.

Building Setback Waiver-20.03.050(d)(3): The UDO requires a 0' front build-to-line. The petitioner is requesting to match the setback of the existing building from Washington St. and is requesting to have a 1.25' setback. No negative impacts have been found from the existing setback and the difference of 1.25' will not create a noticeable, irregular block face. Staff finds no negative impacts from this reduction and supports this waiver. The Downtown Vision and Infill Strategy Plan (DVISP) encourages matching existing setbacks when possible.

Void-to-Solid Waiver-20.03.060(b)(2)(A): The UDO requires a 70% void-to-solid ratio along the ground floors facing a street. Since this site is at a corner, there are two facades that would be subject to this requirement- 6th St. and Washington St. The south side of the building facing 6th St. has a 40% void-to-solid ratio and the side facing Washington St. has a 26% void-to-solid ratio. The petitioner is extending the ceiling of the new building to match the ceiling height of the existing building. The ceiling of the existing building has a floor-to-ceiling height of 15'. This high ceiling height makes it difficult to meet the void-to-solid ratio and maintain a window height that is consistent with other buildings along the street. In addition, 6th Street slopes from west to east and Washington St. slopes from north to south. Consequently the southeast corner of this property sits almost 5' lower than the northwest corner of the property. The change in grade along the site requires fill to be placed in the southeast corner in order to maintain a level floor across the site that is the same elevation as the existing building. The petitioner is requesting a waiver to allow 40% void-to-solid along the south side facing 6th Street instead of the required 70%, and to allow 26% instead of 70% along Washington St. The desire to reuse the building, along with high ceilings and change in grade along the site, make this waiver necessary. Staff does support this waiver. The DVISP places a priority on building design on the most visible portions of the building, which in this case would be the 6th St. side of the building.

Building Façade Modulation-20.03.060(c)(1): The UDO requires a building façade module that is offset by a minimum depth of 3% of the total façade length every 50'. The building is 90' long along 6th St. and would be required to contain a module that is at least 2.4' in depth. No module is required along the east side of the proposed building facing Washington St since this area is less than 50' long. Due to the limited amount of space between the existing building and the front property line, the petitioner is requesting a waiver to not require the modules. The petitioner has provided several areas of modulation along 6th St. as well as a recessed storage area and recessed patio at each corner of the building, further increasing differences in building wall depth. Staff finds that the submitted elevations do meet the intent of the UDO and DVISP to provide differences in building facades.

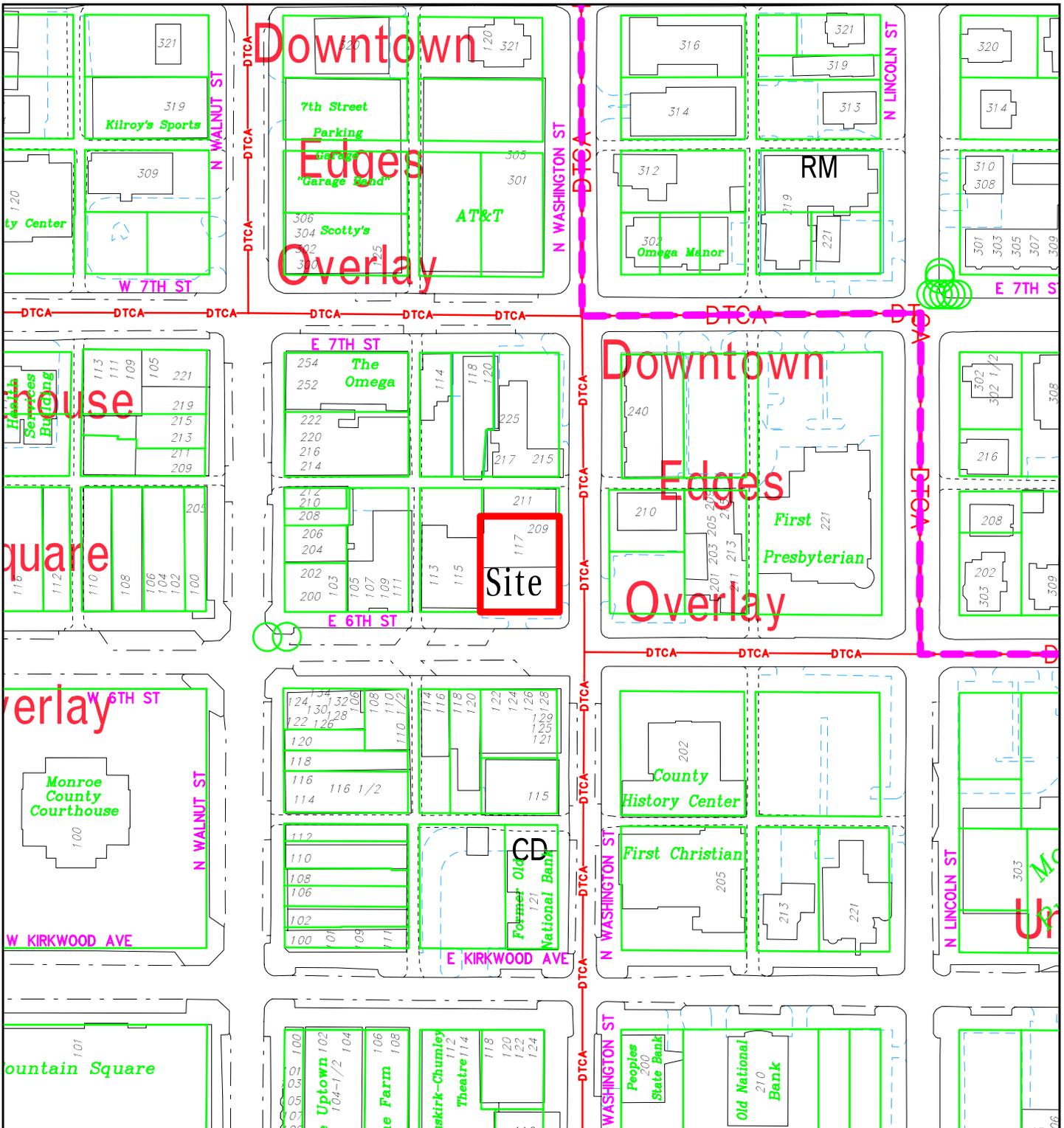
Access: There is an parking area that is accessed from both 6th St. and Washington St. that will be removed with this petition. In addition, both drivecuts will be removed and new curbing installed along the removed areas.

Landscaping: The landscaping code requires open space to be planted to the extent practical. With this petition there would not be any open space that would be required to be planted. The petitioner will be installing new street trees along 6th St. and along Washington St.

Utilities: Water and sanitary sewer service are available along both 6th St. and Washington St. Stormwater and utility plans have been submitted to the City Utilities Department and are under review. Final approval from CBU is required prior to issuance of a grading permit.

RECOMMENDATION: Based on the written findings above, staff recommends approval of SP-01-13 and associated waivers with the following conditions:

1. Two street trees are required along 6th St. and one street tree required along Washington St. The petitioner will work with the city's urban forester on exact location and species.
2. One street light is required along 6th Street and one along Washington St.



SP-01-13 John Halluska
 117 E 6th Street
 Plan Commission
 Site Location, Zoning, Land Use, Parcels

By: greulice
 3 Jul 13

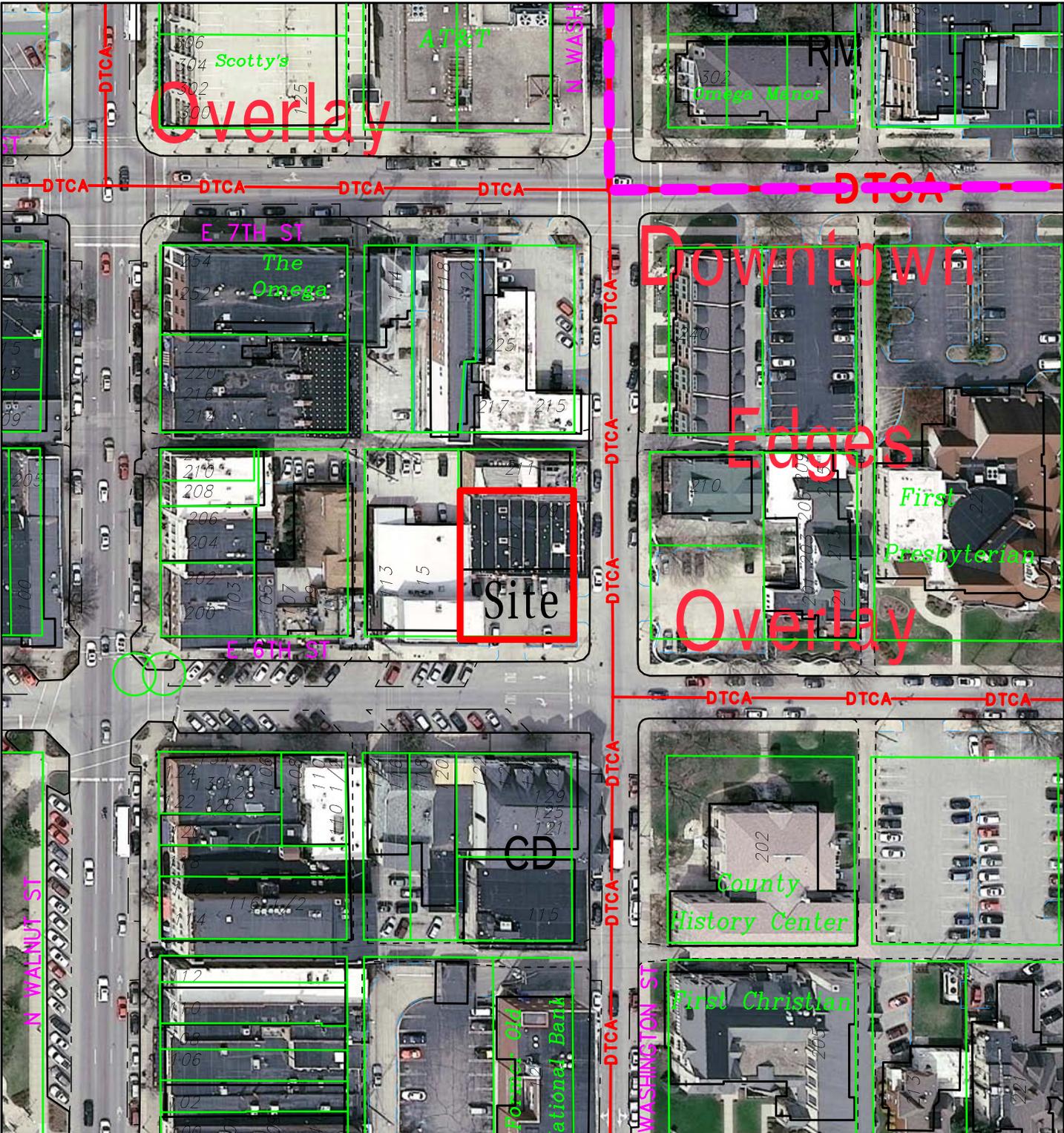
150 0 150 300 450

For reference only; map information NOT warranted.

City of Bloomington
 Planning

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Scale: 1" = 150'



SP-01-13 John Halluska

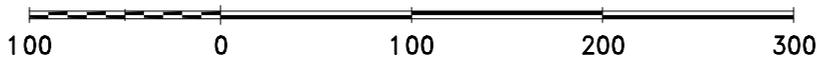
117 E 6th Street

Plan Commission

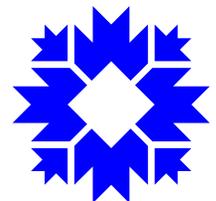
2010 Aerial Photograph

By: greulice

3 Jul 13



City of Bloomington
Planning



Scale: 1" = 100'

For reference only; map information NOT warranted.

Petitioners Statement

I am proposing a new 3 story addition to be built at the northwest corner of 6th & Washington St. The lot currently has a block and steel 4400 sq ft 1 story building and a 3800 sq ft paved parking lot. The new addition will replace the existing parking lot and provide new ground floor retail with 2nd and 3rd floor apartments above. The new addition will be approximately 3700 sq ft per floor. The exterior will be brick and limestone and should be a pleasant architectural improvement to the corner and to the neighborhood. The city will also gain 6-7 metered parking spots do to the removal of 2 drive cuts into the current parking area. The existing 4400 sq ft 1 story building could be utilized to provide 2 additional residential apts fronting Washington St. with the remaining rear square footage incorporated into the new building's retail area.

John Halluska



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

CONCEPT

JOHN HAKASAKI + PARTNERS ARCHITECTURE INC.
115 EAST BERRY STREET, WASHINGTON, DC 20002

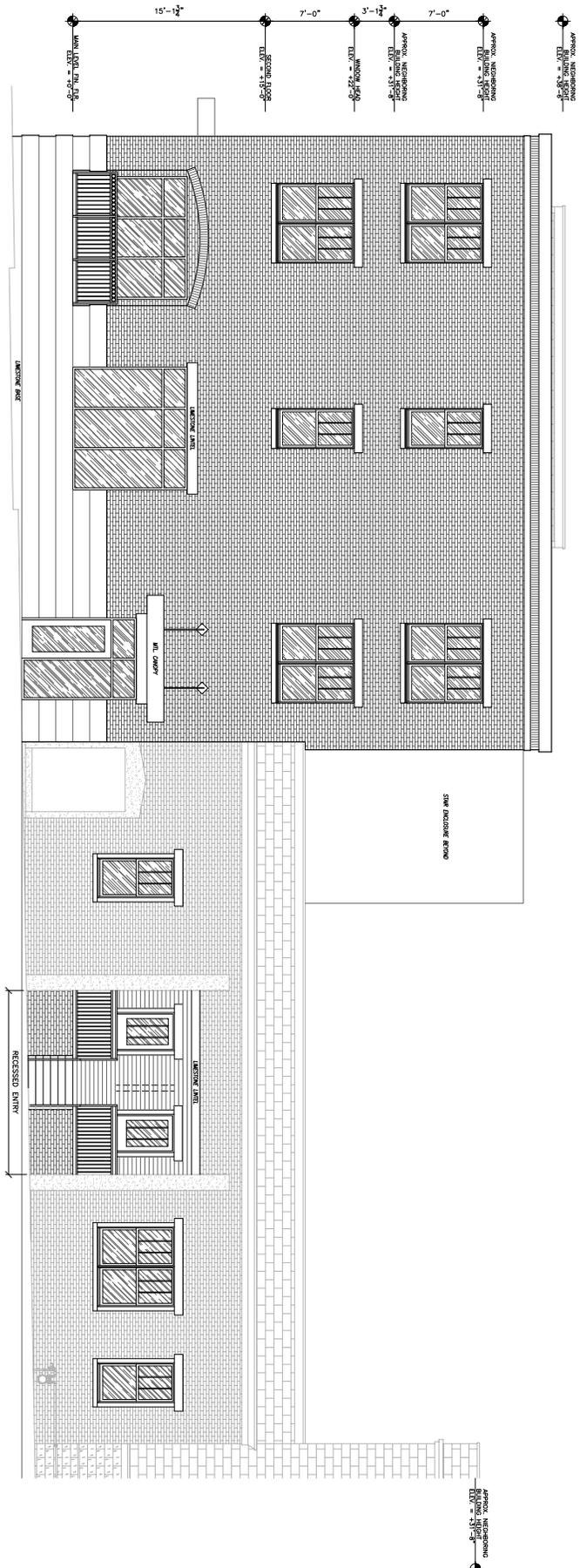
CONCEPT

OXFORD PARTNERS ARCHITECTURE & DESIGN
1000 17TH STREET, NW, WASHINGTON, DC 20036

02/27/13



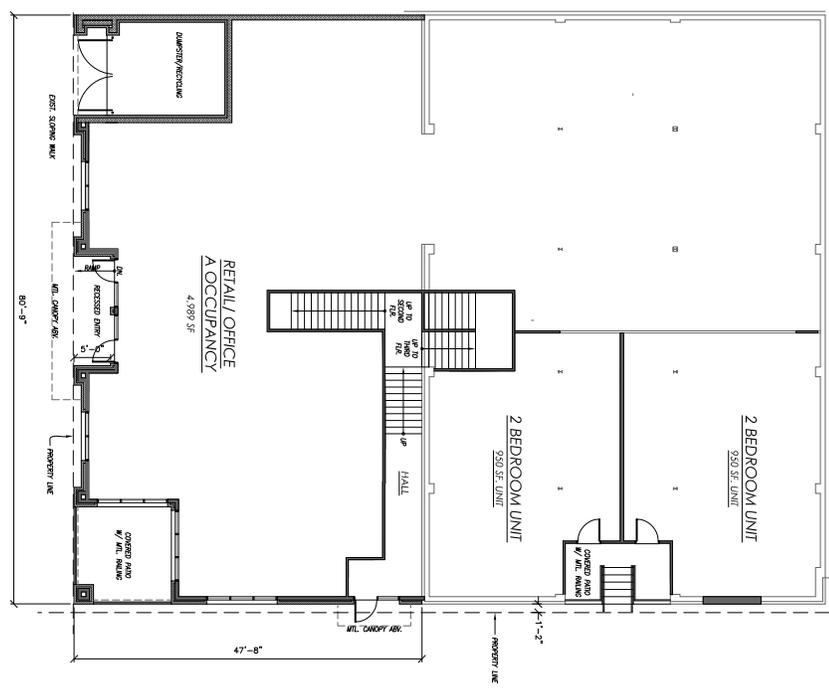
SP-01-13
South Elevation
(facing 6th Street)



SP-01-13
 East Elevation
 (facing Washington St.)

PROPOSED EAST ELEVATION
 1/4" = 1'-0"
 JOHN HAKALA • 116 GARDEN STREET BLOOMINGTON, IN
 CONCEPT
 © 2012 JOHN HAKALA ARCHITECTURE & DESIGN
 06/27/13





PROPOSED FIRST FLOOR PLAN

JOHN HAJASKA - 116 EAST 38TH STREET BOCA RATON, FL
 CONCEPT
 03/13 HAJASKA SERVICE ARCHITECTURE & DESIGN
 06/04/13



HAJASKA SERVICE
 ARCHITECTURE & DESIGN
 116 EAST 38TH STREET
 BOCA RATON, FL 33431
 TEL: 561-368-1111
 WWW.HAJASKASERVICE.COM



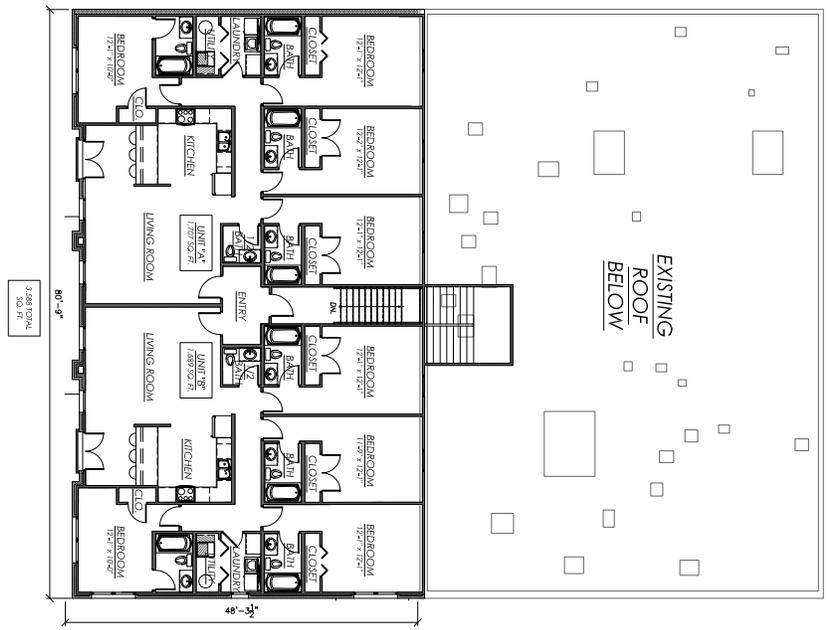
6th Street

SP-01-13
Rendering



6th Street

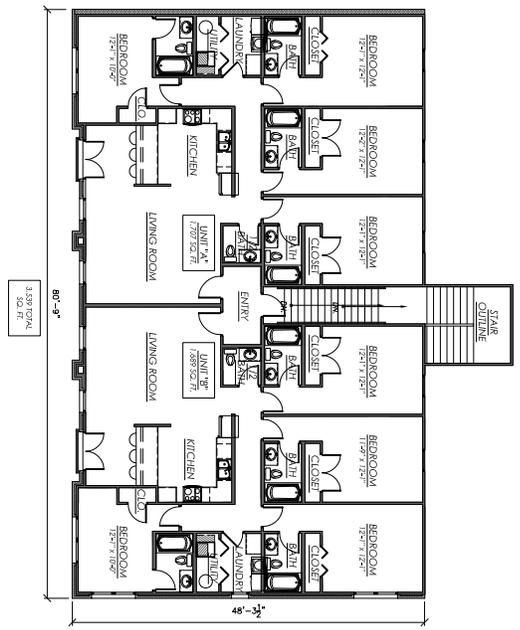
SP-01-13
Rendering



PROPOSED SECOND FLOOR PLAN
 1/8" = 1'-0"
 JOHN HAJASKA - 115 S 401 30TH STREET BLOOMINGTON, MN
 CONCEPT
 0313 HANCO SERVICE ARCHITECTURE & DESIGN
 04/04/13



HANCO SERVICE ARCHITECTURE & DESIGN, INC.
 115 S 401 30TH STREET BLOOMINGTON, MN 55425
 TEL: 612-281-1111 FAX: 612-281-1112
 WWW.HANCOARCHITECTURE.COM



PROPOSED THIRD FLOOR PLAN

JOHN HULSKA - 115 543 3RD STREET BLDG 2000-2001
 CONCEPT
 031013 HARGREAVES ARCHITECTURE & DESIGN
 04/04/13



HARGREAVES ARCHITECTURE & DESIGN, INC.
 115 543 3RD STREET BLDG 2000-2001
 ST. LOUIS, MO 63103
 TEL: 314.433.3333
 FAX: 314.433.3334
 WWW.HARGREAVESARCHITECTURE.COM

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
LOCATION: 1140 S. Morton Street**

**CASE #: PUD-30-13
DATE: July 8, 2013**

PETITIONER: First Capital Management
1720 N. Kinser Pike, Bloomington

COUNSEL: Bynum Fanyo & Associates, Inc.
528 N. Walnut St, Bloomington

REQUEST: The petitioner is requesting a PUD Final Plan for two multi-family buildings within Tract C(a) of the Thomson Planned Unit Development. Also requested is preliminary and final plat approval of a 16 lot subdivision.

SITE INFORMATION:

Lot Area: 1.47 Acres
Current Zoning: Planned Unit Development (Thomson PUD)
GPP Designation: Employment Center
Existing Land Use: Vacant
Proposed Land Use: Mixed-Use
Surrounding Uses: North – Single Family (McDoel Gardens neighborhood) & Industrial
 South – Retail, Restaurant, & Single Family
 East – B-Line Trail, Bloomington Transit
 West – Vacant, Former Raintree Muffler

REPORT: The property in question is approximately 1.47 acres and includes all of Tract C of the Thompson PUD north of W. Patterson Dr. The site is currently vacant and is nearly entirely covered with a previously used surface parking lot. In December of 2011, the Plan Commission, and subsequently the City Council, approved an amendment to the Thompson PUD District Ordinance that changed the permitted use list to include multifamily units on the ground floor and set development standards to allow the proposed site layout.

The schematic PUD Final Plan shown in 2011 included five buildings. The building at the immediate northwest corner of Patterson Dr. and Morton St. is planned to house a commercial use. Three 3-story condominium residential buildings were shown fronting on Patterson Dr. The fourth condominium residential building was shown fronting on Morton St. behind a small parking area.

This PUD Final Plan includes changes in the building layout and design. Where the original 2011 schematic PUD Final Plan showed three 4-unit buildings with stacked units, the petitioner currently proposes to construct a single townhouse style building. This would reduce the total number of dwelling units from 16 to 14 and allow the units to be platted as a zero lot-line traditional plat instead of a horizontal property condominium plat. Also the north building along Morton Street was schematically shown as a 3-story building. It is now proposed as a 2-story

building. Finally, the schematic architecture for the northern building that was shown in 2011 is now proposed for both buildings.

In addition to the PUD Final Plan, the petitioner has also developed a 16 lot Preliminary and Final Plat. This plat includes one lot for each of the 14 units, one commercial lot, one common area lot and all necessary right-of-way dedication and easements.

Neighborhood Meeting: This petition was presented to the McDoel Gardens Neighborhood Association on June 6th. The main concern raised was that the change in platting and building style would result in these units being more likely to be rental units instead of owner occupied units. Petitioner has indicated to staff that this not the project intent.

PUD FINAL PLAN ISSUES:

Floodplain: This eastern portion of this site is located within the 100-year floodplain. The PUD District Ordinance amendment included specific language concerning construction in a floodway titled “Rules for the Special Flood Hazard Areas within Tract C(a) of the Thomson Area Planned Unit Development.” Immediate construction includes parking lots and grading. No residential units are proposed or permitted in the floodway. The future commercial building would also be located in the floodway. The petitioner has submitted a copy of an approved IDNR “Construction in a floodway” certificate.

Madison Street Extension, Connection and Pocket Park: The plans still include a “pocket park” with structures, walking path and landscaping improvements at the dead end of Madison Street. Madison Street will be curved into the property to provide additional greenspace opportunities. The petitioner proposes a speed bump at the entrance to Madison St. This along with the indirect design of the parking lot will hopefully discourage cut-through traffic. A trellis is shown partially within the Patterson Drive right-of-way. This structure must either be removed or approved by encroachment resolution by the Board of Public Works.

Utilities and Stormwater: Due to the past use of the site as a large surface parking lot with little greenspace, the amount of impervious surface will decrease with the proposed site plan. It is anticipated that no stormwater detention will be required. However, since the site is more than an acre in size, water quality improvements are required. The petitioner is proposing to install a mechanical stormwater separator (i.e. Aqua-Swirl) in the southeast portion and a vegetated swale north of the parking lot to fulfill these requirements. Stormwater and utilities plans have been submitted to CBU and are under review.

Architecture: As previously stated, the proposed architecture for both buildings is in keeping with the schematically approved architecture for the 4-unit building. The building elevations utilize mostly cementitious siding with brick porches and porch columns.

Parking: The UDO does not require any parking for the future commercial use. The residential use requires a minimum of one space per bedroom. With a bedroom count of 28, the residential portion requires at least 36 spaces. The PUD Final Plan shows 32 surface spaces and 10 garage spaces for a total of 42 spaces. While this parking count exceeds the maximum parking for just this first residential phase, it is being built to handle the future commercial building also. Five on-street parking spaces are also being added along the west side of Morton Street.

Setbacks/Buffers: The proposed PUD Final Plan meets all CL and RH setback standards except for the front building and parking setbacks on Morton St. These deviations from the standard district were previously approved with the PUD District Ordinance amendment in 2011.

Impervious Surface Coverage: The PUD District Ordinance Amendment approved a maximum impervious surface coverage standard of 60%. The PUD Final Plan currently shows 62.5% impervious surfaces. This increase is likely due to the removal of the landscaped setback between three buildings along Patterson Drive. Staff recommends that the petitioner meet the 60% requirement through the removal of parking spaces or the conversion of some of the parking spaces to pervious pavers.

Density: The original PUD District Ordinance Amendment anticipated 16 dwelling units. The current proposal is for 14 dwelling units with up to three bedrooms per unit. With the 1.47 acre site, the proposed density is 9.52 DUEs/Acre. This is less than the 15 DUEs per acre permitted by the RH and CL districts.

Landscaping: The site is currently covered with asphalt paving. This project would remove a large amount of this asphalt and replace it with buildings and new pervious parking areas. The submitted landscaping plan meets minimum landscaping requirements of the UDO.

PLAT ISSUES:

Right-of-way Dedication: All required right-of-way dedications are shown on the plat.

Easements: All required easements are shown on the plat. This includes the relocation of an existing east-west water line and its associated easement.

Facilities Maintenance Plan: A Facilities Maintenance Plan has been submitted, but is deficient. The Plat needs to specify ownership of the common area through an association and delegate maintenance responsibility of the common area to the association. It must also indicate that individual lot owners are responsible for maintenance if the association becomes insolvent. Finally, the plan or the plat must define the terms and conditions of the parking easement.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 2 recommendations concerning this development.

- 1.) The EC recommends that the Petitioner embrace Low Impact Development practices, thus continuing to improve the environmental integrity of the site.

Staff response: No specific Low Impact Development practices were required of the PUD or in the UDO.

- 2.) According to the U.S. EPA, buildings contribute 38% of all greenhouse gases produced. Therefore, the EC recommends that the Petitioner use green, sustainable building practices to reduce the carbon foot print of buildings, one of the largest contributors in our country.

Staff response: No specific Green Development practices were required of the PUD or in the UDO.

RECOMMENDATION: Staff recommends approval of PUD-30-13 with the following conditions:

1. Per PUD-20-11, the PUD Final Plan for the commercial building shall be reviewed by the Plan Commission.
2. Through use of pervious pavers or reduced parking, the site must meet the 60% maximum impervious surface coverage requirement.
3. Prior to release of a grading permit, a final utilities plan must be approved by the Utilities Department.
4. A revised facilities plan must be submitted that references ownership and maintenance responsibilities of common area.
5. Approval of this final plan does not approve the shown trellis encroachment into the Patterson Drive right-of-way. This must be reviewed and approved by the Board of Public Works.
6. The Final Plat must be recorded prior to occupancy.

MEMORANDUM

Date: June 28, 2013

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Through: Linda Thompson, Senior Environmental Planner

Subject: PUD-31-13, Monon Crossing

This memorandum contains the Environmental Commission's (EC) recommendations regarding a Final Plan approval for a part of Tract C within the Thomson Area Planned Unit Development (PUD). If Tract C were not within a PUD and was regulated in accordance with the Unified Development Ordinance, the site would fall partially within both Industrial General (IG) and Commercial General (CG) Zoning Districts.

EC SPECIFIC CONCERNS

1.) LOW IMPACT DEVELOPMENT:

The original Thomson Area PUD allows development in the floodplain as long as State permits are obtained. Also, the PUD contains the requisite to "protect environmental quality as these parcels develop by ensuring adequate stormwater management, karst protection, and tree preservation." Therefore, the EC recommends that the plan be crafted to include state-of-the-art Low Impact Development (LID) best practices.

Low Impact Development is an integrated, holistic strategy for stormwater management, and thus is especially important at this site because just over one third of the site lies within a floodplain. The premise of LID is to manage rainfall at the source using decentralized small-scaled controls that will infiltrate, filter, store, evaporate, and detain runoff close to its source.

Examples of the types of LID practices that could be used are listed below.

1. Floodwater storage that can manage runoff timing
2. Multiple small biofiltration basins and trenches
3. Vegetated Roofs
4. Pervious pavement
5. Well-planned native landscaping
6. Remove curbs and gutters to allow sheet flow

2.) SUSTAINABLE BUILDING AND SITE DESIGN:

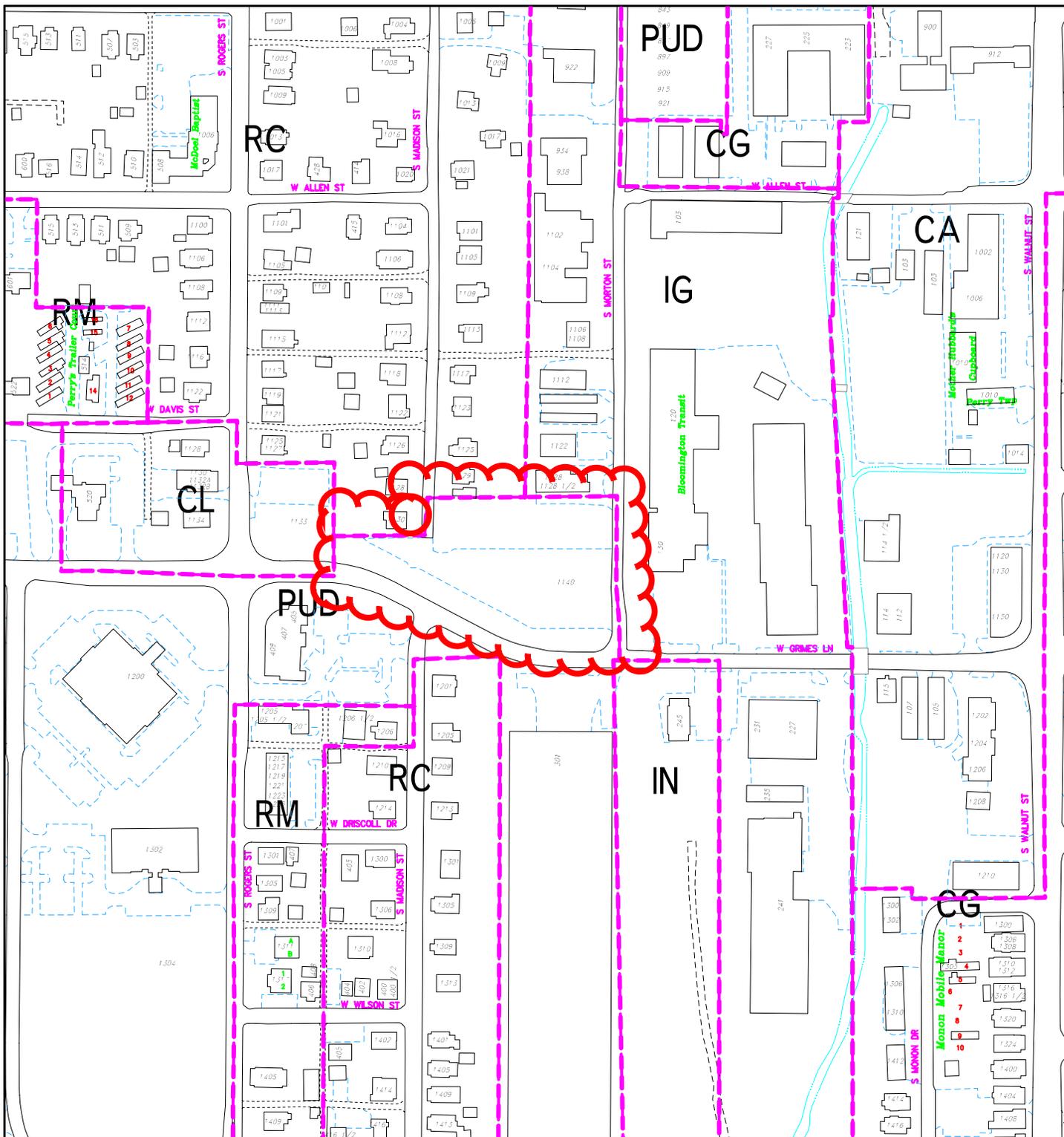
The location of this project is adjacent to the McDoel Neighborhood, the Indiana Enterprise Center, the downtown commercial area, and the B-Line Trail; therefore, its character will form an important transition between these important areas of our city. The PUD requires that the site design employ attractively landscaped roadways, entryways, berms, and parking lots. Therefore, the EC believes that this area is an excellent candidate for a “Complete Streets” approach (<http://www.completestreets.org/>) to enhance its navigability for all users – pedestrians, bicyclists, handicapped people, and others. While the EC recognizes that the developer is not responsible for the streetway itself, we encourage the developer to embrace a vision for the site that complements and anticipates the complete streets concept.

Beautiful, mixed-use development helps our city develop in a pedestrian-friendly fashion. The more walkable our city is, the less we rely on the use of automobiles, which translates into less oil depleted, less greenhouse gas emissions produced, cleaner air and a quieter, safer city. Walkable cities provide many tangible environmental benefits that contribute positively to high quality of life. All of these benefits help Bloomington to fulfill serious & important commitments to sustainability, including signing on to the Mayor’s Climate Protection Agreement, passing resolutions supporting the Kyoto Protocol, and recognizing and planning for peak oil.

The EC encourages the developer to choose local and sustainably–manufactured building materials, energy efficient architecture, appliances and windows, passive solar design, and climate-sensitive landscaping. Besides enhancing our city’s overall value as a tourist destination and its native biodiversity, these efforts will attract residents and shoppers to the proposed site, thus helping to stimulate the economic vitality of the area.

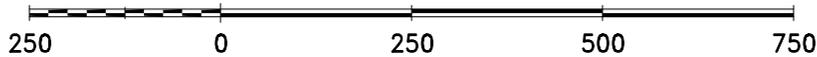
EC RECOMMENDATIONS:

- 1.) The EC recommends that the Petitioner embrace Low Impact Development practices, thus continuing to improve the environmental integrity of the site.
- 2.) According to the U.S. EPA, buildings contribute 38% of all greenhouse gases produced. Therefore, the EC recommends that the Petitioner use green, sustainable building practices to reduce the carbon foot print of buildings, one of the largest contributors in our country.

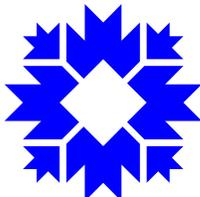


PUD-30-13
Location map

By: roachja
1 Jul 13



City of Bloomington
Planning



Scale: 1" = 250'

For reference only; map information NOT warranted.

June 11, 2013

City of Bloomington Plan Commission
401 N. Morton Street
Bloomington, Indiana 47403

Re: Final Plan Amendment to Tract "C" of Thomson Area PUD and Preliminary and
Final Plat Approval
BFA Project 400914

Attn: James Roach, AICP

Dear Plan Commission Members:

Our client, First Capital Management, respectfully request an amendment to the Thomson Area PUD Final Plan approval along with preliminary and final plat approval of a 16 lot subdivision. Fourteen of the lots will consist of townhomes contained in a 10-unit building and the previously approved 4-unit building. One lot will contain the commercial building and the last lot will contain the common areas.

The purpose of the amendment is to replace the previously proposed three 4-plex buildings of stacked flats to one 10-unit building of townhomes and to reduce the 4-plex building from 3-stories to 2-stories. All other aspects of the site plan remain unchanged. The change to the 10-unit building will allow the homeowner to own the ground the townhouse sites on making it possible to obtain financing for the purchase of the unit. This proposal reduces the number of units from 16 to 14.

Each townhouse will have a garage and stacked parking space as did the previous design the 22-surface parking spaces remain the same as previously approved.

All other aspects of the previously approved final plan remain unchanged.

We have included the revised site, grading and utility plans along with building elevations for your review of this request.

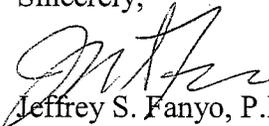
The construction schedule includes two phases. Phase I will consist of the 14 condominium units. We anticipate this construction to commence in August of 2013 and be completed by August of 2014. Phase II will consist of the commercial building. This scheduled construction is not known at this time. The space is currently being marketed and construction will commence once a tenant is secured.

The construction of the residential units will not require closure of the surrounding right of ways. We will be connecting to Madison Street and Morton Street with driveways and sidewalks. In addition, we will be working within Patterson Drive right of way north of the existing sidewalk to construction a new water main. We will also be cutting into the

pavement of Morton Street to connect to the existing sanitary manhole, existing storm inlet and connecting the previously mentioned water main to the existing water main in Morton Street. This will require short durations of one lane closure while the utility connection is being made. We anticipate a day or less for each connection. Traffic will be maintained using traffic barrels, barricades and or flagmen.

After reviewing our petition please feel free to contact this office at any time for clarification or questions. We thank you in advance for your consideration on this project.

Sincerely,



Jeffrey S. Fanyo, P.E., CFM

Bynum Fanyo and Associates, Inc.

Attachments: Site, grading and utility plans
Architectural elevations and Facility Maintenance Plan

XC: City of Bloomington Utilities
BFA file 400914
Troy Powell, CBU



STATE OF INDIANA
DEPARTMENT OF NATURAL RESOURCES
CERTIFICATE OF APPROVAL
CONSTRUCTION IN A FLOODWAY

4009127
McDOEL - Mort/PATT
BNK
EXPIRES 12/21/2013

APPLICATION # : FW-26366

MAILED: December 21, 2011

STREAM : Clear Creek

APPLICANT : First Capital Investment Group LLC
Randy Lloyd
1720 North Kinser Park
Bloomington, IN 47404

AGENT : Bynum Fanyo and Associates Inc
Jon B Thomas
528 North Walnut Street
Bloomington, IN 47404-3804

AUTHORITY : IC 14-28-1 with 312 IAC 10

DESCRIPTION : As part of a commercial/residential development, a 75' x 45' commercial building will be constructed on top of earthen fill on existing elevations of 722.0', NAVD88 to provide for a finished floor elevation of 729.8', NAVD88. The new building will have a finished floor elevation approximately 4.6' above the regulatory flood elevation of 725.2', NAVD88. All residential structures will be placed landward of the floodway. Details of the project are contained in information and plans received at the Division of Water on August 19, 2011 and October 5, 2011.

LOCATION : Along the right (west) overbank; at the northwest corner of the West Grimes and Morton Street intersection at Bloomington, Perry Township, Monroe County Section 5, T 8N, R 1W, Bloomington Quadrangle
UTM Coordinates: Downstream 4333909 North, 540057 East

APPROVED BY : 
Becky S. Davis, CFM, Sr Environmental Manager
Division of Water

APPROVED ON : December 21, 2011

Included: Notice Of Right To Administrative Review - General Conditions - Special Conditions - Service List

PUD-30-13
Floodplain permit

Monon Crossing MCDoel Neighborhood Meeting Minutes

Date: June 6, 2013

Project No. 2011-06

Present:

-Mary Krupinski, Kirkwood Design Studio, pc

-McDoel Neighborhood Association including Matt Press, Jack Baker, Paul Ash, Elizabeth Cox-Ash, and approximately 15 other members. A full list of participants is available from the neighborhood association sign-in sheet

-
1. On behalf of the owner, Mary Krupinski of Kirkwood Design Studio, presented the revisions to the Monon Crossing condo and mixed use project to be located at Patterson and Morton.
 2. The main revisions are a result of financing implications associated with condo projects that do not have real estate directly under each unit. This has prompted the owner to change from Flats over Flats to individual townhouses. This only affects the units that are scheduled along Patterson.
 3. The units that face Morton are still townhouse units as originally planned, although they have been reduced from 3-story units to 2-story units.
 4. The Patterson Street Condo units are now 2-story plus basement/parking level. The aesthetic is very similar to the original proposal, which is to reference bungalow styles with front porches found typically in the neighborhood.
 5. Originally there were 12 two-bedroom units. With revisions this has been reduced to 10 2-bedroom townhouse units.
 6. One parking garage space per unit has remained constant, although we have two less units and therefore two less garage units.
 7. The overall parking count has not changed with the exception of losing the two garages and the associated space in front of the garages. The total parking count is 37 plus 10 garage spaces. This count includes a parking space in front of each garage.
 8. Various questions were asked and answered as to help members understand how the physical revisions occurred: how the geometry of it worked out.
 9. There was concern stated that the neighborhood does not want these to be rentals. Mary stated that the owner's intent is for them to be owner-occupied condos. The units are designed with this in mind.
 10. The members questioned whether someone could just buy them and rent them out. Mary stated that this is not the owners' intent and that she has not heard any conversation that would lead her to understand differently.
 11. Phasing concerns of the project brought up several questions:

**Monon Crossing
McDoel Neighborhood Meeting Minutes**

- a) When will the project start? Answer: There has been no set date, but the owner was hoping to start yet this year. It will probably depend on how many units the developer can pre-sell.
- b) Would the owner wait to pre-sell all of them before starting? Answer: I doubt it, but I am not sure. I would suspect that the owner wants to at least get to a 30% pre-sell percentage before starting.
- c) Will it all be built at one time? Answer: It is not sure. It will depend on the sales of the condo units themselves. Given that the townhouses are attached, I would suspect that the Patterson St. Townhouses would be built in one stretch of time, while the other 4 townhouses could come at a different time.
- d) How long will the build-out take? Answer: It would depend on phasing, but would likely take 10 to 12 months for full build out, excluding the commercial building.
- e) If only part of the project is built what kind of condition would the rest of the site be left in? Answer: The owner would likely do all the underground utility work and grading at once. The commercial space may be left as a different phase. Any unbuilt ground area would have to be seeded for an interim period of time.
- f) What is going into the commercial building? And could it ever be turned over for rental housing. Answer: it is not known yet as to what will go into the commercial building, but in no case can it be housing because it falls within the flood plain.
- g) Would all the parking be built before the all the condos OR will the visitor parking be constructed along with the condos ? Answer: Not sure, but given that all the utility and grading work has to in place in order for the condo's to be built, it may be likely that at least the first asphalt layer would be in place, so the general construct of it all should be there.
12. Discussion occurred about the Madison Street connection. Members expressed that it is unlikely it would be heavily used and agreeable as an approach for the project.
13. A concern for lighting was made. Mary stated that the project would have to comply with local and state requirements for the exterior lighting and that we are aware that we need cut-off fixtures.
14. Members of the neighborhood mentioned that there is a planter and a bench that the neighborhood has and to let the owner know it could be made available, but is not a requirement. We revisited the fact that there will be a passive pocket park on the west side of the property.
15. Members were curious as to what the purchase price would be for the condos. Mary stated that the owner has not shared that with her and that it is still probably being worked out. She speculated that they would be at least around the \$200,000 range.
16. The size of the units were questioned: The units have a floor plate of about 600 square feet per floor, so they are in the 1,200 to 1,800 sf size depending on whether there is a lower level or not.

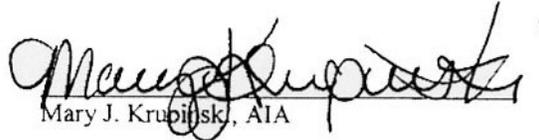
17. Mary stated that these revisions would be going before the Plan Commission for the July Hearing.

18. Members were asked if there were any objections for things moving forward with these revisions. No objections were made.

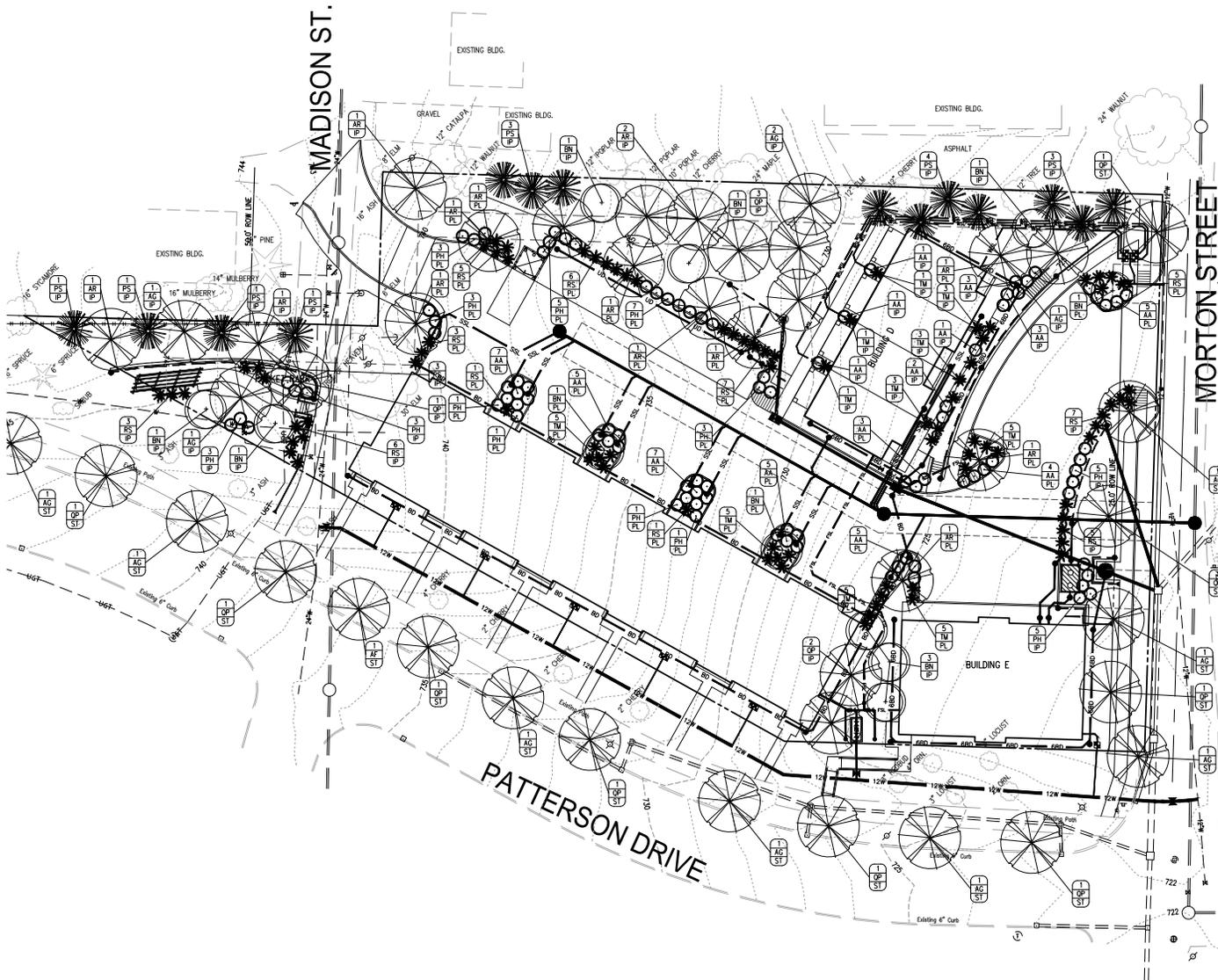
19. The neighborhood graciously thanked Mary for the presentation and were glad that they understood things better now. She said she would convey their questions and concerns to the owner.

If any of the above does not agree with your understanding, please notify Kirkwood Design Studio within five (5) days of receipt.

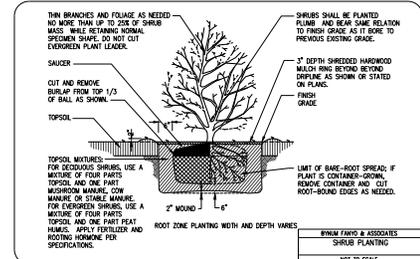
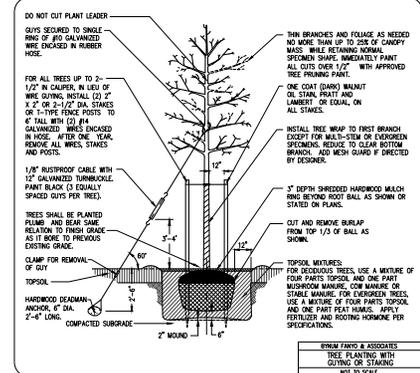
Respectfully Submitted:
KIRKWOOD DESIGN STUDIO, P.C.


Mary J. Krupinski, AIA

Copies via email:
McDoel Neighborhood Association c/o Matt Press
Randy Lloyd
James Roach
Mary Krupinski, KDS file.



PLANT LIST				
LARGE CANOPY DECIDUOUS TREES				
LEGEND KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
OP	QUERCUS PRINUS	CHESNUT OAK	14	2" CAL. B & B
AC	QUERCUS ALBA	WHITE OAK	14	2" CAL. B & B
AR	ACER RUBRUM	RED SWAMP MAPLE	14	2" CAL. B & B
SMALL / MEDIUM DECIDUOUS TREES				
LEGEND KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
BN	BETULA NIGRA	RIVER BIRCH	11	2" CAL. B & B
EVERGREEN TREES				
LEGEND KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
PS	PINUS STROBUS	WHITE PINE	14	5-6' HEIGHT
DECIDUOUS SHRUBS				
LEGEND KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
AA	ARNICA ARBUTIFOLIA	BLACK DOGWOOD	44	24" SPREAD 24" HEIGHT
EVERGREEN SHRUBS				
LEGEND KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
TM	TAKEA & MEDIA THOMASII	BROWN'S YEW	33	24" HGT. CONT.
RS	RHOXODENDRON SPECIES	RHOXODENDRON	44	24" HGT. CONT.



NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:
 15/3/11 Revised planting locations due to Site Plan revisions with same dots. JR

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BY/IN/ FOR/ OF ASSOCIATES, INC.
 528 North Walnut Street
 Bloomington, Indiana
 (812) 332-2800 (Fax)

certified by:

PROPOSED:
McDOEL GARDEN
 Bloomington, Indiana

title: LANDSCAPE PLAN
 designed by: JBT
 drawn by: JR
 checked by: JBF
 sheet no: 5
 project no: 400914

PUD-30-13
 Site Plan/Landscaping Plan



D EAST ELEVATION
SCALE: 3/16" = 1'-0"



B NORTH ELEVATION
SCALE: 3/16" = 1'-0"



C WEST ELEVATION
SCALE: 3/16" = 1'-0"



A SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

PUD-30-13
Building elevations

CONTRACT NO. 2011-06
PROJECT NO. 2011-06
DATE: 4.25.13
DRAWN BY: JMY
CHECKED BY: MKJ

ARCHITECTURE + PLANNING
1335 6th STREET
BLOOMINGTON, IN 47403
PHONE: 317.337.2200
WWW.KIRKWOODPAC.COM

KIRKWOOD
ARCHITECTURE + PLANNING
P.C.

CERTIFIED

REVISIONS

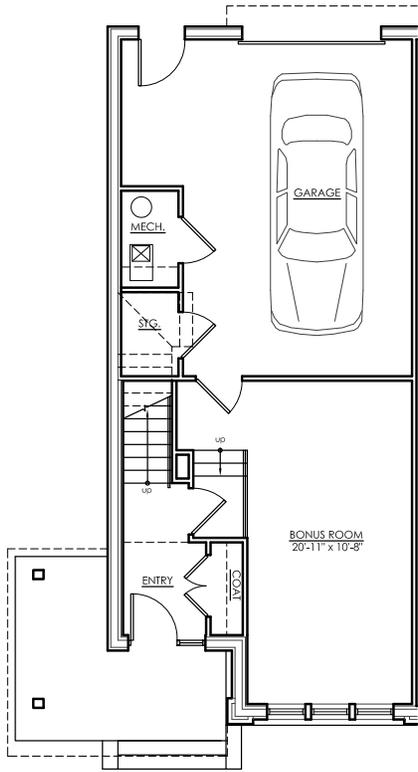
FIRST CAPITAL GROUP
MONON CROSSING
INDIANA
BLOOMINGTON

PROJECT NO.: 2011-06
DATE: 4.25.13
DRAWN BY: JMY
CHECKED BY: MKJ

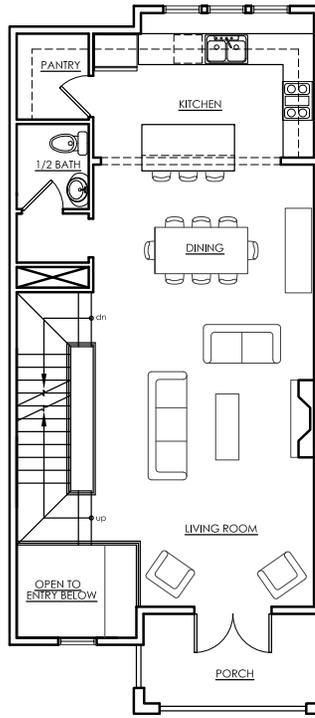
CONDOMINIUM BUILDING
ELEVATIONS
A.201A



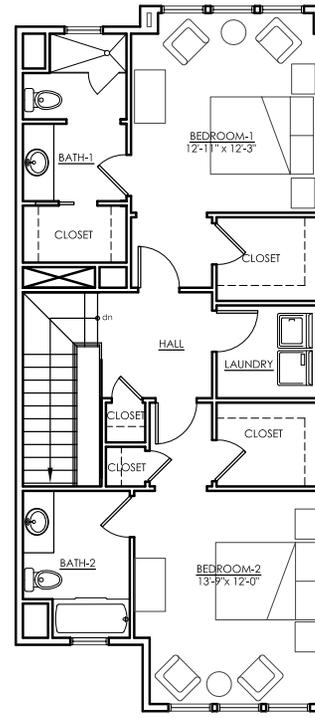
PUD-30-13
Building rendering



LOWER LEVEL



MAIN LEVEL



UPPER LEVEL

PUD-30-13
Floor Plan

CONDOMINIUM
FLOOR PLANS

SCALE: 1/8" = 1'-0"

MCDOEL MIXED USE- FIRST CAPITAL

DRAWING NO.: C1
PROJECT NO.: 2011-06
DATE: 06/24/13

113 e. 6th street
bloomington, In 47408
812.331.0255 ph
812.331.0755 fax
www.kdsarchitects.com

KIRKWOOD
designstudio
p.c.

ARCHITECTURE+PLANNING

c:\2011 Projects\2011-06 Mcdoel Mixed Use- First Capital\2011-06 Drawings\2011-06 Baseplans\2011-06 Condo Baseplan.dwg
Jun 24, 2013 7:45pm

DRAWING NO.: T1
PROJECT NO.: 2011-06
DATE: 6/11/13

MCDOEL MIXED USE- FIRST CAPITAL



TOWNHOUSE
FRONT ELEVATION

SCALE: 1/8" = 1'-0"

PUD-30-13
Elevation for 4-unit building

113 e. 6th street
bloomington, in 47408
812.331.0255 ph
812.331.0755 fax
www.kdsarchitects.com





QUAD - OVER GARAGE
FRONT ELEVATION

SCALE: 3/32"=1'-0"

PUD-30-13
Original 2011 schematic elevation
for Patterson Drive buildings

FIRST CAPITAL



FIRST CAPITAL

PUD-30-13
Original 2011 schematic elevation
for 4-unit building

A TOWNHOUSE - OPTION B
ELEVATIONS
SCALE: 3/32" = 1'-0"



TOWNHOUSE - OPTION A
WEST ELEVATION

SCALE: 3/32" = 1'-0"

PUD-30-13
Original 2011 schematic elevation
for 4-unit building

FIRST CAPITAL



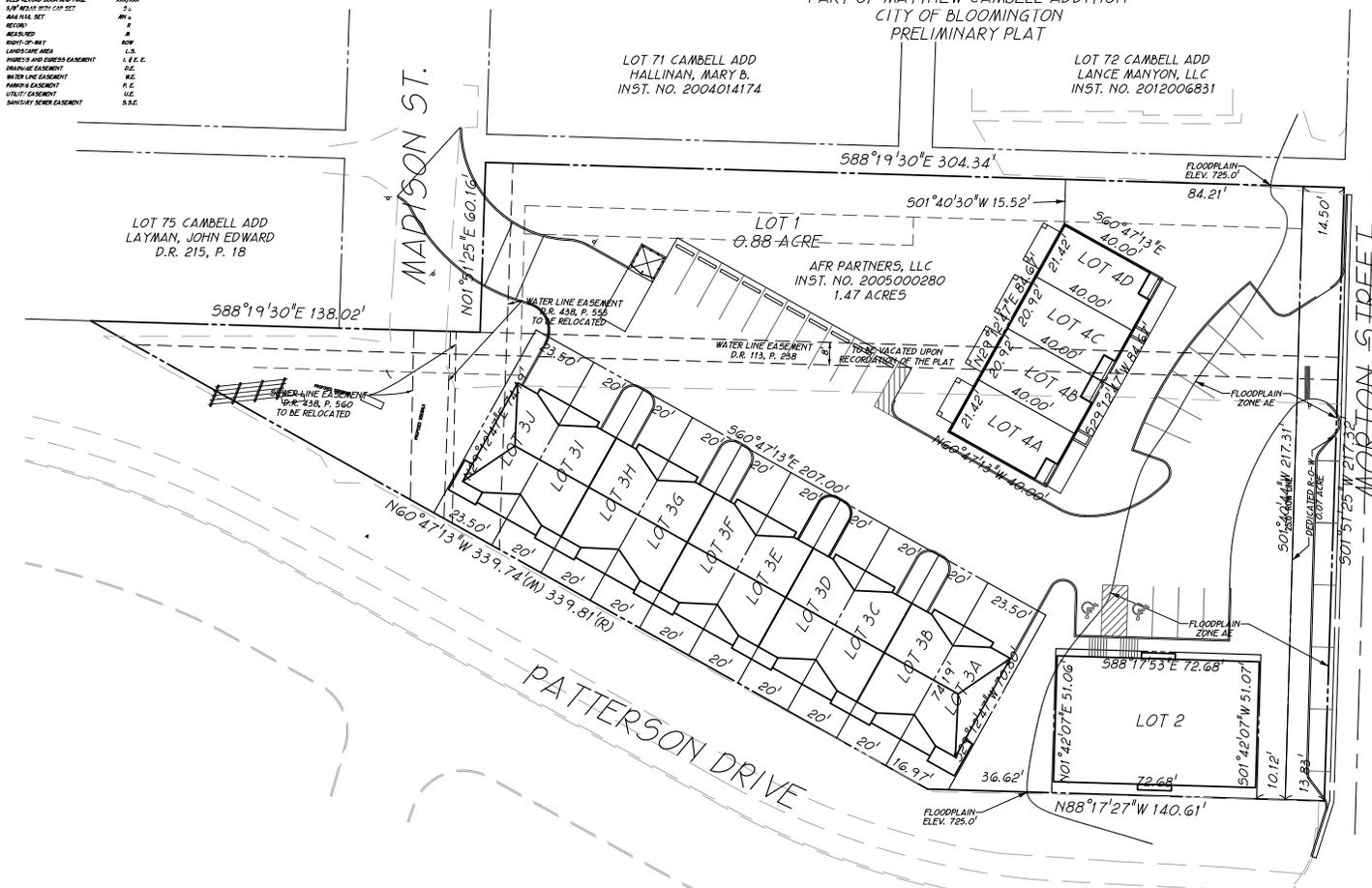
Scale 1" = 20 ft

MONON CROSSING SUBDIVISION

PART OF MATTHEW CAMPBELL ADDITION
CITY OF BLOOMINGTON
PRELIMINARY PLAT

LEGEND

PROPERTY LINE	---
EASEMENT LINE	- - - - -
DEED RECORD BOOK AND PAGE	XXX/XXX
SUB RECORD WITH CAP SET	S.
ASB FILE KEY	W.P.
RECORD	R
RECORDED	R
RIGHT-OF-WAY	ROW
LANDSCAPE AREA	L.S.
PURVES AND EGRESS EASEMENT	L.E.E.
DRAINAGE EASEMENT	D.E.
WATER LINE EASEMENT	W.E.
SEWER LINE EASEMENT	S.E.
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.



PROJECT LOCATION

ADDRESSES:	LOT AREAS:
LOT 1.....	LOT 1.....0.88 AC
LOT 2.....	LOT 2.....0.040 AC
LOT 3A.....	LOT 3A.....0.034 AC
LOT 3B.....	LOT 3B.....0.034 AC
LOT 3C.....	LOT 3C.....0.034 AC
LOT 3D.....	LOT 3D.....0.034 AC
LOT 3E.....	LOT 3E.....0.034 AC
LOT 3F.....	LOT 3F.....0.034 AC
LOT 3G.....	LOT 3G.....0.034 AC
LOT 3H.....	LOT 3H.....0.034 AC
LOT 3I.....	LOT 3I.....0.034 AC
LOT 4A.....	LOT 4A.....0.02 AC
LOT 4B.....	LOT 4B.....0.02 AC
LOT 4C.....	LOT 4C.....0.02 AC
LOT 4D.....	LOT 4D.....0.02 AC
LOT 4E.....	R-O-W.....0.07 AC

SOURCE OF TITLE: Instrument Number 2005000280

OWNER: AFR PARTNERS, LLC

ZONING: PUD

The undersigned, as owners of the real estate described on this plat, for and in consideration of the City of Bloomington, Indiana, granting to the undersigned the right to tap into and connect to the sewer system of the City of Bloomington for the purpose of providing sewer service to the described real estate, now release the right of the undersigned as owners of the platted real estate and their successors in title to reannexate against any pending or future annexation by the City of Bloomington, Indiana, of such platted real estate.

The owner of the real estate shown and described herein, does hereby layoff, plat and subdivide said real estate in accordance with the within plat.

This subdivision shall be known and designated as MONON CROSSING SUBDIVISION, an addition to the City of Bloomington. All streets and alleys shown, and not heretofore dedicated are dedicated to the public.

Front and side yard building setback lines are established as shown on the plat, between which lines and the property lines of the adjacent streets no building or other structure shall be erected or maintained.

The strips of ground that are shown on the plat and marked "easement" are owned by the owners of the lots that they respectively affect, subject to the rights of public utilities for the installation and maintenance of water and sewer mains, poles, ducts, lines, and wires. Buildings or other structures shall not be erected or maintained on these strips.

This subdivision shall be subject to the Declaration of Covenants, Conditions, and Restrictions as set forth in Instrument Number _____ in the Office of the Recorder of Monroe County, Indiana.

Legal Description

A part of Land of Bloomington L.L.C (D.R. 480, PG 774), BEING A PART OF Campbell's Addition to the City of Bloomington P.C. 'c', Env. 6) being a part of Seminary Lot 40 of the Reserved Township of Lands of Monroe County, Indiana, being a part of the Southeast Quarter of Section 5, Township 8 North, Range 1 West, in Monroe County, Indiana, more particularly described as follows:

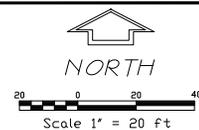
COMMENCING at the Southwest Corner of Lot 76 in said Campbell's Addition to the City of Bloomington; thence on the South line of said Campbell's Addition SOUTH 86 degrees 23 minutes 20 seconds East 197.94 feet to the POINT OF BEGINNING; thence continuing on said South line SOUTH 86 degrees 23 minutes 20 seconds East 138.02 feet to the Southwest Corner of Lot 74 in said Campbell's Addition; thence on the West and North line of said Lot 74 and continuing on the North line of said Lot 75 the following two (2) courses: 1) NORTH 03 degrees 47 minutes 35 seconds West 60.16 feet to a 3/8" rebar 1" tall; 2) SOUTH 86 degrees 23 minutes 20 seconds East 304.34 feet to the Northeast Corner of Lot 75 in said Campbell's Addition; thence on the East line of said Lot 75 and continuing on the East line of Land of Bloomington L.L.C SOUTH 03 degrees 47 minutes 35 seconds West 217.32 feet to a point on the North Right-of-Way of Patterson Drive, being recorded as Land of the City of Bloomington (D.R. 480, Pg. 797); thence on said North Right-of-Way the following two (2) courses: 1) NORTH 86 degrees 21 minutes 17 seconds West 140.61 feet; 2) NORTH 58 degrees 51 minutes 23 seconds West 339.81 feet to

AFR PARTNERS, LLC
Signed and Sealed _____ 2013.
Signature _____
Name Printed _____ Office _____
STATE OF INDIANA) 55;
COUNTY OF MONROE)
before me, the undersigned Notary Public, in and for the said county and state, personally appeared _____ and acknowledged the execution of the foregoing for the purposes therein expressed.
Witness my hand and notarial seal this _____ day of _____, 2013.
County of Residence _____ Commission Expiration _____
Notary Public, Written _____ Notary Public, Printed _____

PUD-30-13
Preliminary Plat

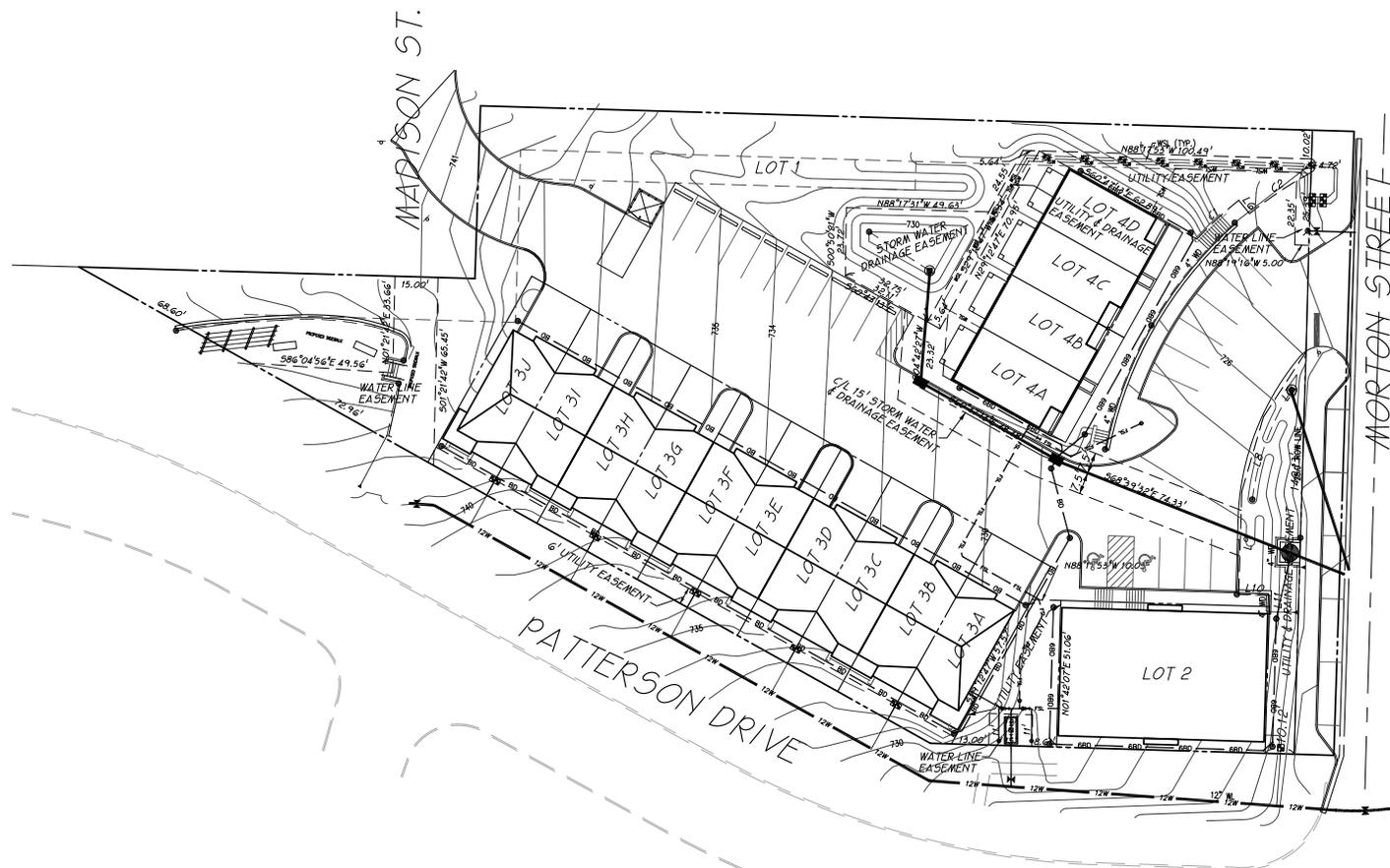
MONON CROSSING SUBD.
PRELIMINARY PLAT
BOUNDARY & LOTS
DATE: JUNE 7, 2013

MONON CROSSING SUBDIVISION
 PART OF MATTHEW CAMPELL ADDITION
 CITY OF BLOOMINGTON
 PRELIMINARY PLAT



LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
DEED RECORD BOOK AND PAGE	XXX/XX
5' REAR WITH CAP SET	S ₅
ADA HIL SET	W ₅
RECORD	R
RECORDED	R _W
RIGHT-OF-WAY	R _W
LANDSCAPE AREA	L.S.
PURSES AND EGRESS EASEMENT	L. & E.
DRAINAGE EASEMENT	D.E.
WATER LINE EASEMENT	W.E.
PARKING EASEMENT	P.E.
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.

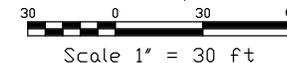


PUD-30-13
 Preliminary Plat/
 Grading Plan

MONON CROSSING SUBD.
 PRELIMINARY PLAT
 WATER, STORM & UTILITY
 DATE: JUNE 7, 2013

MONON CROSSING SUBDIVISION

PART OF MATTHEW CAMPELL ADDITION
CITY OF BLOOMINGTON
FINAL PLAT



LOT 71 CAMPELL ADD
HALLINAN, MARY B.
INST. NO. 2004014174

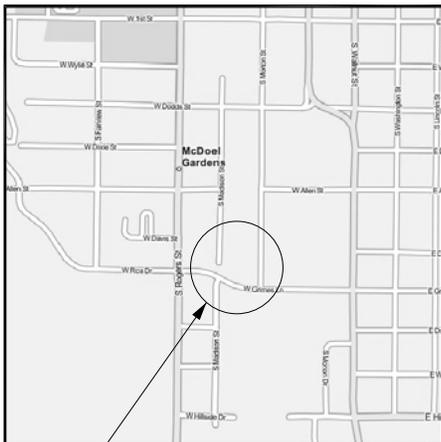
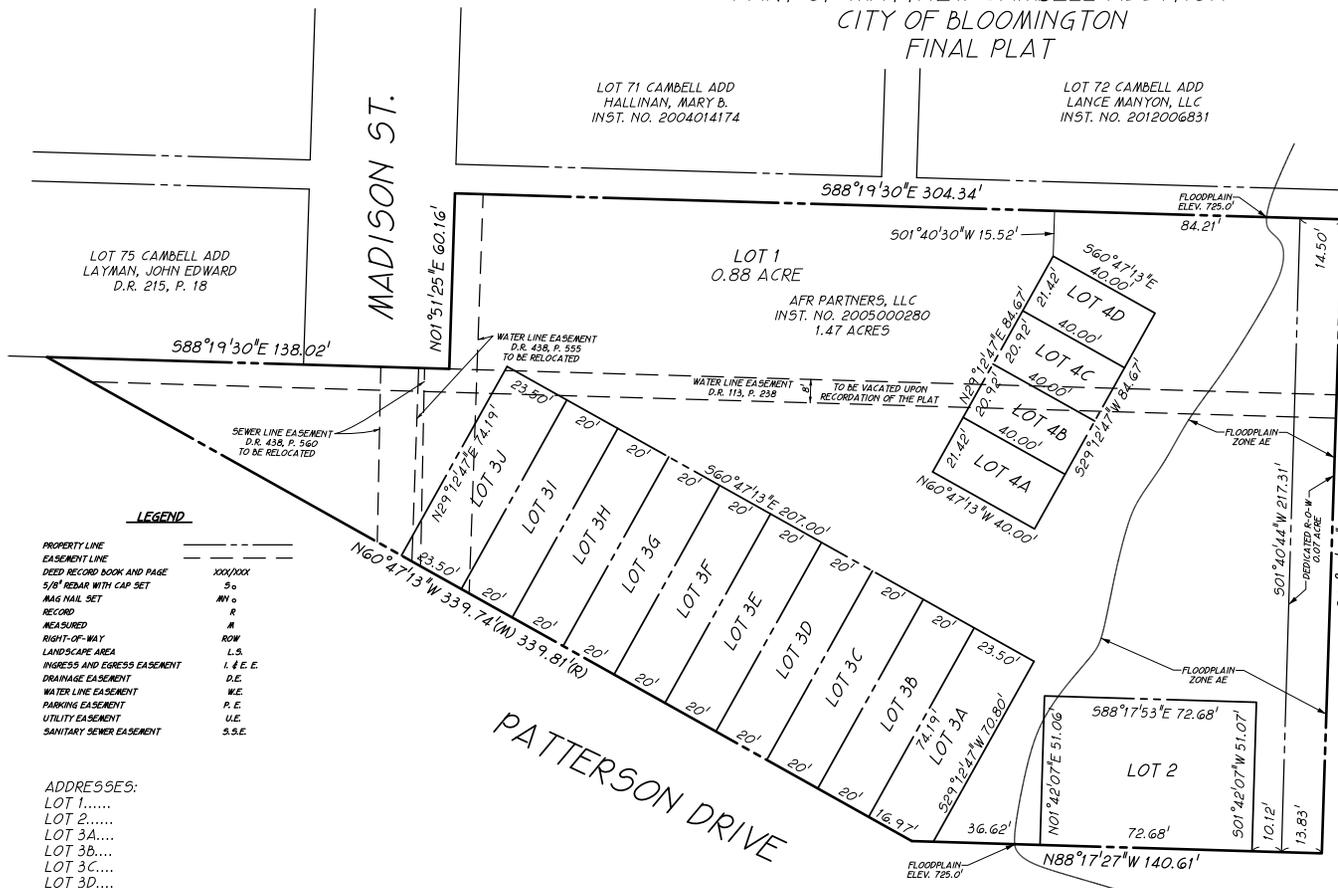
LOT 72 CAMPELL ADD
LANCE MANYON, LLC
INST. NO. 2012006831

LOT 75 CAMPELL ADD
LAYMAN, JOHN EDWARD
D.R. 215, P. 18

MADISON ST.

MORTON STREET

PATTERSON DRIVE



PROJECT LOCATION MAP LOCATION

- LOT AREAS:
- LOT 1.....0.88 AC
 - LOT 2.....0.09 AC
 - LOT 3A.....0.040 AC
 - LOT 3B.....0.034 AC
 - LOT 3C.....0.034 AC
 - LOT 3D.....0.034 AC
 - LOT 3E.....0.034 AC
 - LOT 3F.....0.034 AC
 - LOT 3G.....0.034 AC
 - LOT 3H.....0.034 AC
 - LOT 3I.....0.034 AC
 - LOT 3J.....0.040 AC
 - LOT 4A.....0.02 AC
 - LOT 4B.....0.02 AC
 - LOT 4C.....0.02 AC
 - LOT 4D.....0.02 AC
 - R-0-W.....0.07 AC

LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
DEED RECORD BOOK AND PAGE	1000/000
5/8" REBAR WITH CAP SET	50
IRIG NAIL SET	RV 6
RECORD	R
MEASURED	M
RIGHT-OF-WAY	ROW
LANDSCAPE AREA	L.S.
INGRESS AND EGRESS EASEMENT	I. & E.E.
DRAINAGE EASEMENT	D.E.
WATER LINE EASEMENT	W.E.
PARKING EASEMENT	P.E.
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.

- ADDRESSES:
- LOT 1.....
 - LOT 2.....
 - LOT 3A.....
 - LOT 3B.....
 - LOT 3C.....
 - LOT 3D.....
 - LOT 3E.....
 - LOT 3F.....
 - LOT 3G.....
 - LOT 3H.....
 - LOT 3I.....
 - LOT 3J.....
 - LOT 4A.....
 - LOT 4B.....
 - LOT 4C.....
 - LOT 4D.....

I affirm under penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.

Douglas R. Curry
This instrument prepared by Douglas R. Curry.

FLOOD NOTE:

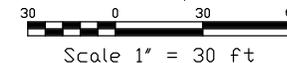
According to the Flood Insurance Rate Map (FIRM) having Number 18105C0143D and an Effective Date of December 17,

20' PUD-30-13 special flood hazard area.
50'

MONON CROSSING SUBDIVISION
BOUNDARY & LOTS
FINAL PLAT
JOB NO. 400914
JUNE 7, 2013
SHEET 1 OF 3

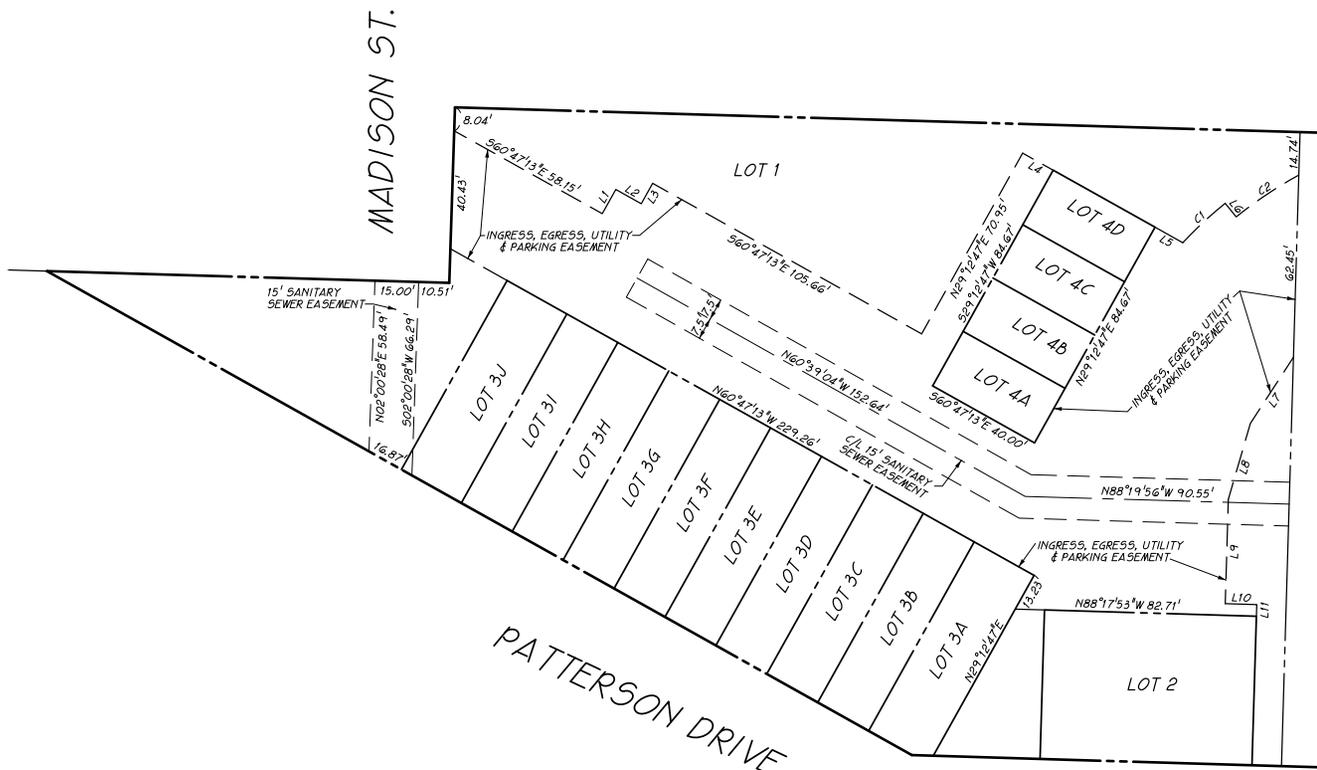
MONON CROSSING SUBDIVISION

PART OF MATTHEW CAMPELL ADDITION
CITY OF BLOOMINGTON
FINAL PLAT



NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	07°46'34"	146.30	19.86	N47°07'03"E	19.84
C2	10°33'07"	140.30	25.84	N56°16'53"E	25.80

NUMBER	DIRECTION	DISTANCE
L1	N29°12'47"E	9.50'
L2	S60°47'13"E	10.00'
L3	N29°12'47"E	8.00'
L4	S60°47'13"E	12.00'
L5	S60°47'13"E	10.89'
L6	S38°59'40"E	6.00'
L7	S33°07'09"W	27.07'
L8	S16°09'46"W	27.07'
L9	S01°42'07"W	35.74'
L10	S88°17'53"E	10.80'
L11	S01°42'07"W	4.00'



EASEMENT DEFINITIONS

Easement: A non-possessory interest in land granted by a property owner to the City, the general public, a corporation, or other persons for specific purposes including but not limited to the construction of utilities, drainage ways, and streets, or for the protection of natural features.

Easement, Drainage: An easement that permits the unobstructed flow of upstream storm water runoff. A drainage easement may include detention or retention ponds, swales, wetlands or underground pipes, and which allows the City Utilities Department access for installation, maintenance, repair or removal of drainage facilities.

Easement, Pedestrian: An easement that permits the general public the right to access the easement for purposes of walking, running, bicycling, skating, or utilizing certain classes of non-motorized vehicles, and grants the City the right to construct, alter, repair, maintain, or remove improvements within the easement area.

Easement, Sanitary Sewer: An easement that allows the City Utilities Department exclusive access for installation, maintenance, repair, or removal of sanitary sewer facilities.

Easement, Utility: An easement that allows both private and public utility providers access associated with the installation, maintenance, repair, or removal of utility facilities.

Easement, Waterlines: An easement that allows the City Utilities Department exclusive access for installation, maintenance, repair, or removal of water facilities.

CERTIFICATE OF SURVEYOR

I, Douglas R. Curry, hereby certify that I am a professional Land Surveyor licensed in compliance with the laws of the State of Indiana; that this plat correctly represents a survey completed by me on _____, 2013; that all the monuments shown thereon actually exist; and that their location, size, type, and material are accurately shown.

Douglas R. Curry Indiana L.S. No. 890006
Bynum Fanyo & Associates, Inc.
528 North Walnut Street
Bloomington, Indiana 47404
(812) 332-8030



**CERTIFICATE OF APPROVAL
OF COMMISSION AND BOARD OF PUBLIC WORKS**

Under the authority of Chapter 174 - Acts of 1947- enacted by the General Assembly of the State of Indiana and Ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington, as follows:

Approved by the City Plan Commission at a meeting held _____, 2013.

(Tom Micuda)

(Jack Baker) President Bloomington Plan Commission

Approved by the board of Public Works at a meeting held _____, 2013

(Chairperson)

(Member)

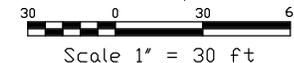
(Member)

MONON CROSSING SUBDIVISION
INGRESS, EGRESS & SANITARY
FINAL PLAT
JOB NO. 400914
JUNE 7, 2013
SHEET 2 OF 3

PUD-30-13
Final Plat

MONON CROSSING SUBDIVISION

PART OF MATTHEW CAMPELL ADDITION
CITY OF BLOOMINGTON
FINAL PLAT



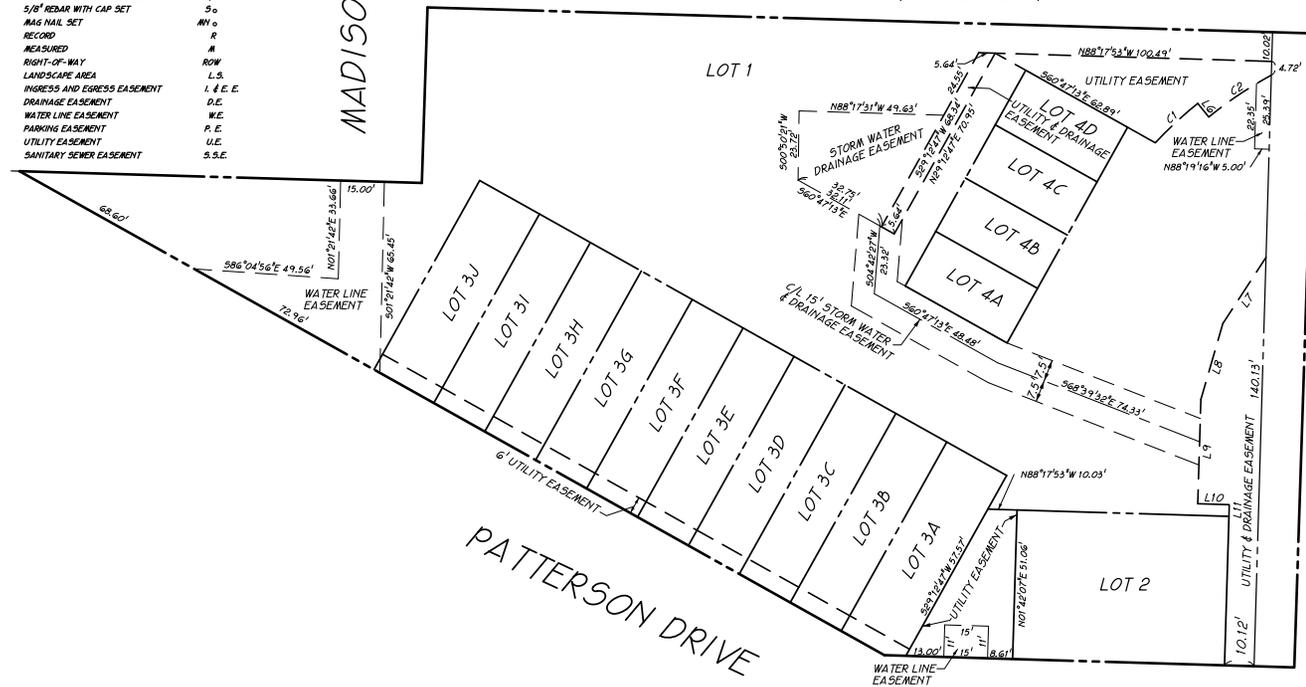
LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
DEED RECORD BOOK AND PAGE	XXX/XXX
5/8" REBAR WITH CAP SET	5o
3/4" NAIL SET	MN o
RECORD	R
MEASURED	M
RIGHT-OF-WAY	ROW
LANDSCAPE AREA	L.S.
INGRESS AND EGRESS EASEMENT	I. & E. E.
DRAINAGE EASEMENT	D.E.
WATER LINE EASEMENT	W.E.
PARKING EASEMENT	P. E.
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.

MADISON ST.

MORTON STREET

PATTERSON DRIVE



AFR PARTNERS, LLC

Signed and Sealed _____, 2013.

Signature _____

Name Printed _____

Office _____

STATE OF INDIANA)
COUNTY OF MONROE) SS:

Before me, the undersigned Notary Public, in and for the said county and state, personally appeared _____ and acknowledged the execution of the foregoing for the purposes therein expressed.

Witness my hand and notarial seal this _____ day of _____, 2013.

County of Residence _____

Commission Expiration _____

Notary Public, Written _____

Notary Public, Printed _____

SOURCE OF TITLE: Instrument Number 2005000280

OWNER: AFR PARTNERS, LLC

ZONING: PUD

The undersigned, as owners of the real estate described on this plat, for and in consideration of the City of Bloomington, Indiana, granting to the undersigned the right to tap into and connect to the sewer system of the City of Bloomington for the purpose of providing sewer service to the described real estate, now release the right of the undersigned as owners of the platted real estate and their successors in title to remonstrate against any pending or future annexation by the City of Bloomington, Indiana, of such platted real estate.

AFR PARTNERS, LLC

The owner of the real estate shown and described herein, does hereby layoff, plat and subdivide said real estate in accordance with the within plat.

This subdivision shall be known and designated as MONON CROSSING SUBDIVISION, an addition to the City of Bloomington. All streets and alleys shown, and not heretofore dedicated are dedicated to the public.

Front and side yard building setback lines are established as shown on the plat, between which lines and the property lines of the adjacent streets no building or other structure shall be erected or maintained.

The strips of ground that are shown on the plat and marked "easement" are owned by the owners of the lots that they respectively affect, subject to the rights of public utilities for the installation and maintenance of water and sewer mains, poles, ducts, lines, and wires. Buildings or other structures shall not be erected or maintained on these strips.

This subdivision shall be subject to the Declaration Of Covenants, Conditions, and Restrictions as set forth in _____ in the Office of _____

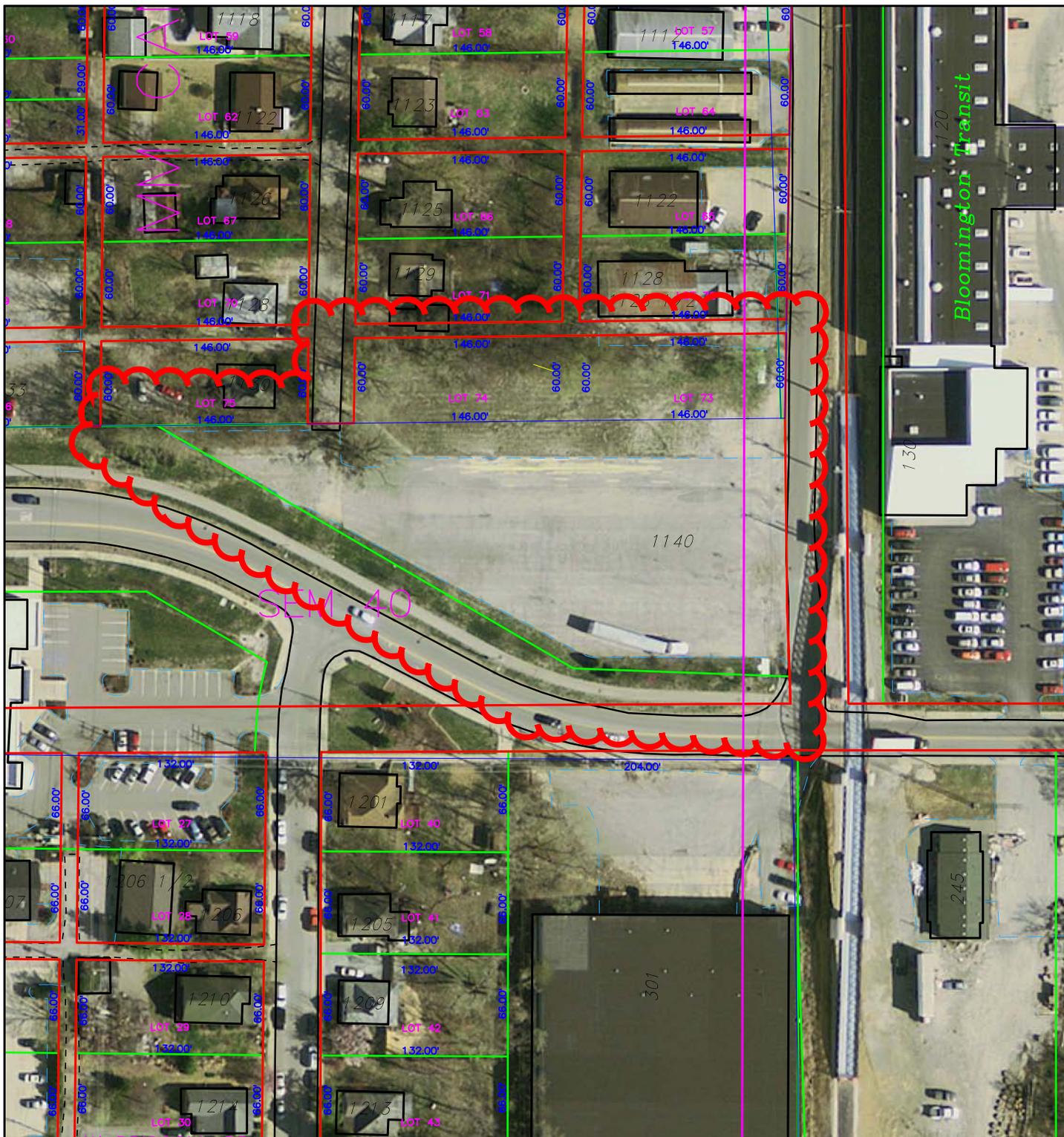
PUD-30-13
Final Plat

Legal Description

A part of Land of Bloomington L.L.C (D.R. 480, PG 774), BEING A PART OF Campbell's Addition to the City of Bloomington (P.C. "C", Env. 6) being a part of Seminary Lot 40 of the Reserved Township of Lands of Monroe County, Indiana, being a part of the Southeast Quarter of Section 5, Township 8 North, Range 1 West, in Monroe County, Indiana, more particularly described as follows:

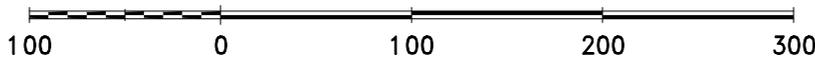
COMMENCING at the Southwest Corner of Lot 76 in said Campbell's Addition to the City of Bloomington; thence on the South line of said Campbell's Addition SOUTH 86 degrees 23 minutes 20 seconds East 197.94 feet to the POINT OF BEGINNING; thence continuing on said South line SOUTH 86 degrees 23 minutes 20 seconds East 138.02 feet to the Southwest Corner of Lot 74 in said Campbell's Addition; thence on the West and North line of said Lot 74 and continuing on the North line of said Lot 75 the following two (2) courses: 1) NORTH 03 degrees 47 minutes 35 seconds West 60.16 feet to a 3/8" rebar 7" tall; 2) SOUTH 86 degrees 23 minutes 20 seconds East 304.34 feet to the Northeast Corner of Lot 75 in said Campbell's Addition; thence on the East line of said Lot 75 and continuing on the East line of Land of Bloomington L.L.C SOUTH 03 degrees 47 minutes 35 seconds West 217.32 feet to a point on the North Right-of-Way of Patterson Drive, being recorded as Land of the City of Bloomington (D.R. 480, Pg. 797); thence on said North Right-of-Way the following two (2) courses: 1) NORTH 86 degrees 21 minutes 17 seconds West 140.61 feet; 2) NORTH 58 degrees 51 minutes 23 seconds West 339.81 feet to the POINT OF BEGINNING, containing 1.47 acres more or less.

MONON CROSSING SUBDIVISION
WATER, STORM & UTILITY
FINAL PLAT
JOB NO. 400914
JUNE 7, 2013
SHEET 3 OF 3

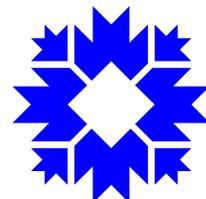


PUD-30-13
2011 Aerial Photo

By: roachja
31 May 13



City of Bloomington
Planning



Scale: 1" = 100'

For reference only; map information NOT warranted.

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 701 N. Walnut Street**

**CASE #: SP-31-13
DATE: July 8, 2013**

PETITIONER: 11th & Walnut Holdings, LLC
1557 S. Piazza Drive, Bloomington

CONSULTANT: Bledsoe Riggert and Guerrettaz
1351 W. Tapp Road, Bloomington

REQUEST: The petitioner is requesting site plan approval in order to build a 30-unit residential building.

Area:	0.36 Acres
Zoning:	CD/Downtown Gateway Overlay (DGO)
GPP Designation:	Downtown
Existing Land Use:	2-story office
Proposed Land Use:	Multi-family Residences
Surrounding Uses:	North, West – Multi-family
	South – Mixed Use
	East - Office (Highpoint)

REPORT SUMMARY: The subject property is located at the northwest corner of N. Walnut Street and W. 11th Street. This 0.36 acre property is zoned Commercial Downtown (CD) and is within the Downtown Gateway Overlay (DGO) District. The property currently contains a two-story office building. The property is surrounded on the north, west and northwest by recently constructed multi-family buildings. To the south is a mixed use building and to the east is the High Point office development.

The petitioner is proposing to demolish the existing building and construct a new multi-family building. This building is listed as non-contributing on the City's Survey of Historic Sites and Structures. The proposed building would contain 23 one-bedroom units and 7 two-bedroom units and includes 19 parking spaces (17 on-site and 2 off-site). First floor non-residential space is neither required nor proposed.

The proposed building is four stories in height at the northeast corner. Due to 12 feet of grade change the building was designed with a partial lower level with 2 walk-up units. The majority of the building is 3-stories in height. The building materials include brick, limestone, cementitious siding and metal. The building includes direct access to the garage and a partial surface parking lot from 11th Street, in a similar manner to the "Lofts of College" building to the immediate west.

Neighborhood Meeting: This petition was presented to the Old Northeast Neighborhood Association on June 24th. Neighbors expressed concern about the specific waivers and how they led to development that was more intensive than envisioned by the UDO. Concern was also raised about the building architecture. Those in attendance thought they building lacked local character and detracted from the character of the Illinois Central

Historic District.

Plan Commission Site Plan Review: Three aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.300. These aspects are as follows:

- The proposal is adjacent to a residential use (north, west and south)
 - The proposal includes ground floor residential units.
 - The petitioner is requesting waivers to the standards in BMC 20.03.340. The following waivers are being requested:
 - Void-to-solid ratio
 - Height
 - Height step-back
-

SITE PLAN REVIEW

Residential Density: The petitioner is proposing 30 units (10.37 DUEs) with a total of 37 bedrooms for an overall density of 28.8 DUEs per acre. The maximum allowed density in the DGO is 33 DUEs per acre.

Parking: The DGO requires a minimum of 19 parking spaces for a 31 bedroom multi-family building in the DGO. The petitioner is proposing 17 on-site spaces. Also proposed are 2 off-site parking spaces to be leased from the Highpoint development to the east. Shared off-site parking requires approval of the Planning Director, a location within 300 feet of the site and recording of a zoning commitment (BMC 20.05.070(e)(2)). On-street parking is not available on 11th St. or Walnut St. There is transit service on College Ave., with a stop at the northwest corner of 11th St. and College Ave.

Streetscape: A 5-foot wide sidewalk is proposed on Walnut St. and a 6-foot wide monolithic sidewalk is proposed on 11th St. Street trees, not more than 40' from center, are required along Walnut St. as well as street lights. Due to a narrow right-of-way and lack of planting area, street trees and street lights are not feasible on 11th St. While the location of street lights is shown on Walnut St., details on these lights and wall mounted replacement lights on 11th St. have not yet been provided.

Bicycle Parking: A 37-bedroom multi-family building requires 7 bicycle parking spaces. These spaces are shown adjacent near the vehicle entry inside of the garage. All spaces will be covered spaces. The petitioner has indicated that at least half of these spaces will be Class-I long term spaces in a secured room. This exceeds minimum UDO standards.

Access: Vehicle access to a parking garage and parking lot is provided from a single open garage entry onto 11th St. at the southwest corner of the site. A short distance between the garage entry and the sidewalk may make additional pedestrian safety devices, such as a convex mirror or bollards, necessary.

Pedestrian Entrance: The building contains four pedestrian entrances. Two entrances along Walnut St are provided that directly access individual dwelling units. A third entrance

is provided at street grade along 11th Street. The primary pedestrian entrance for the building is along Walnut St. which includes a recessed entry and a canopy. Staff recommends that the building name, lighting and building address be added to meet the entrance detailing requirement.

Landscaping: A complete landscaping plan has not been submitted. Landscaping of the green areas of the site and around the surface parking lot are required.

Utilities: Utility plans have been submitted to the City Utilities Department and are under review. Water and sanitary sewer service are available along 11th Street. Stormwater detention will likely not be required because of a small increase in impervious surfaces and the fact that there is no stormwater infrastructure in the area. In addition, the petitioner proposes to utilize pervious concrete for the surface parking area. Final approval from CBU is required prior to issuance of a grading permit.

Materials: The building is clad with a combination of brick, limestone and metal siding on the front along Walnut St. and 11th Street. The petitioner intends to reuse much of the limestone from the existing building, especially on some retaining walls on the site. The north and west sides of the building are shown with large expanses of metal siding that exceed the 20% permitted for a “secondary material.” The petitioners have indicated an intention of changing much of this metal siding to cementitious siding, but have not yet submitted revised elevations.

Height and Step Back and Step Down: Portions of the proposed building are 4-stories tall. This matches the height of the Lofts on College to the west and the nearly completed North College Avenue apartments to the northwest. The new building to the immediate north is only three stories in height. The North College Avenue Apartment building was approved at 51 feet at its tallest. The building to the north was approved at 35’10”. The proposed building height varies from 46’7” at the northeast corner to 36’6” feet at the southwest corner. The maximum height in the DGO is 40 feet.

The building is proposed without a step back. The UDO requires a 15 foot step back for buildings taller than 35 feet in height. The stepback must take place at 25 feet. A 25 foot step back would required that the 3rd and 4th floors both be stepped back from both Walnut St. and 11th St. The building to the north, the Lofts on College and The North College Avenue Apartments were all approved without a step back.

The building does not meet DGO standards for maximum height or step back. Waivers are required from these standards.

Void-to-solid Percentage: The first floor of the building has approximately 28-32% void on Walnut St. and approximately 35% void on 11th St., including the garage entry, while the DGO requires a minimum of 40% void. Higher void-to-solid ratios are difficult to incorporate into residential style buildings. Both the building to the north and the North College Avenue Apartments building received waivers from this standard.

Architecture: The requested waivers, void-to-solid percentage, step back, and height, have previously been granted for several buildings near the development site. However, the

granting of these waivers is a discretionary action by the Plan Commission and subject to the Commission's conclusion that the waivers are justifiable based on guidance from the Downtown Vision and Infill Strategy Plan, as well as the circumstances surrounding the property.

In this case, staff believes that the void-to-solid may be appropriate given the building's residential use. There are not areas of blank wall that lead staff to believe that the proposed ratio is inadequate. In staff's view there are still questions about whether a step back or shorter building should be considered along the Walnut St. façade. The proposed building height at the northeast corner is approximately 11 feet higher than the adjoining building to the north.

Finally, there have been questions raised about the materials and combinations of materials for the building. Although not a waiver for the individual materials is needed (if the rear of the building is changed to less than 20% metal) the Commission has discretion over general architectural quality and may address the materials used in the overall building design. In that regard, staff notes the following:

- 1.) The most common usage of metal panels for downtown buildings is typically to add small accents of color or denote recessed upper stories. In this instance, metal is being proposed over multiple stories, particularly on the northeast end.
- 2.) There is a good deal of usage of stacked stone beyond the building base. This use continues over multiple stories and also frames the corner tower element. The Commission should consider whether this multi-story treatment is a positive design element at this important corner property.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 3 recommendations concerning this development.

- 1.) The Petitioner shall submit a complete landscape plan for review.
- 2.) The Petitioner should apply green building and site design practices to create a high performance, low carbon-footprint structure.
- 3.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick it up.

DEVELOPER TRACK RECORD: The principal behind 11th & Walnut Holdings LLC is WS Property Group, also known as Winger/Stolberg. Other developments in Bloomington include Brighton Pointe, Renwick, Walnut Station II, 9North, and the recently approved 10North building at 10th St. and College Ave. They have no outstanding zoning compliance issues with their other properties in Bloomington.

CONCLUSION: The Planning Department staff finds that the proposed building meets use, density and minimum parking requirements. Staff requests that the Plan Commission provide guidance on height, step back, void-to-solid and architecture prior to the second hearing.

RECOMMENDATION: Staff recommends that this petition be forwarded to a second hearing in August.

MEMORANDUM

Date: June 28, 2013
To: Bloomington Plan Commission
From: Bloomington Environmental Commission
Through: Linda Thompson, Senior Environmental Planner
Subject: SP-31-13, The Crest at 11th, Site Plan request

This memorandum contains the Environmental Commission's (EC) recommendations regarding a Site Plan for a 30-unit multifamily building with 37 bedrooms. The site is within the Commercial Downtown zoning district, and the Downtown Gateway Overlay. A 1.5 story office building is proposed to be demolished.

ISSUES OF CODE COMPLIANCE:

1.) LANDSCAPE PLAN:

The Landscape Plan is incomplete. The Petitioner needs to submit a complete plan for review. With specific regard to the proposed street tree and lawn plantings, the EC recommends that the developer work with the Planning Department and the EC to create diverse tree, shrub, and native perennial plantings that exemplify Indiana's natural heritage. For suggestions, please see the EC's Natural Landscaping materials at www.bloomington.in.gov/beqi/greeninfrastructure/htm under 'Resources' in the left column. For additional suggestions plus an excellent guide to Midwest sources of native plants see: <http://www.inpaws.org/landscaping.html>. Attractive educational signage could also be considered for this area. Native plants provide food and habitat for birds, butterflies and other beneficial insects, promoting biodiversity in the city. Furthermore, native plants do not require chemical fertilizers or pesticides and are water efficient once established.

ISSUES OF SOUND ENVIRONMENTAL DESIGN:

2.) GREEN BUILDING & SITE DESIGN:

Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the Unified Development Ordinance (UDO). Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative (<http://Bloomington.in.gov/greenbuild>). Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Krusan; by City Council Resolution 06-05 supporting the Kyoto

Protocol and reduction of our community's greenhouse gas emissions; by City Council Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

The EC is pleased that the Petitioner has committed to installing a white roof membrane to reduce the urban heat island, and to recycle construction waste materials. Some additional specific recommendations for this site that may further reduce its carbon footprint include:

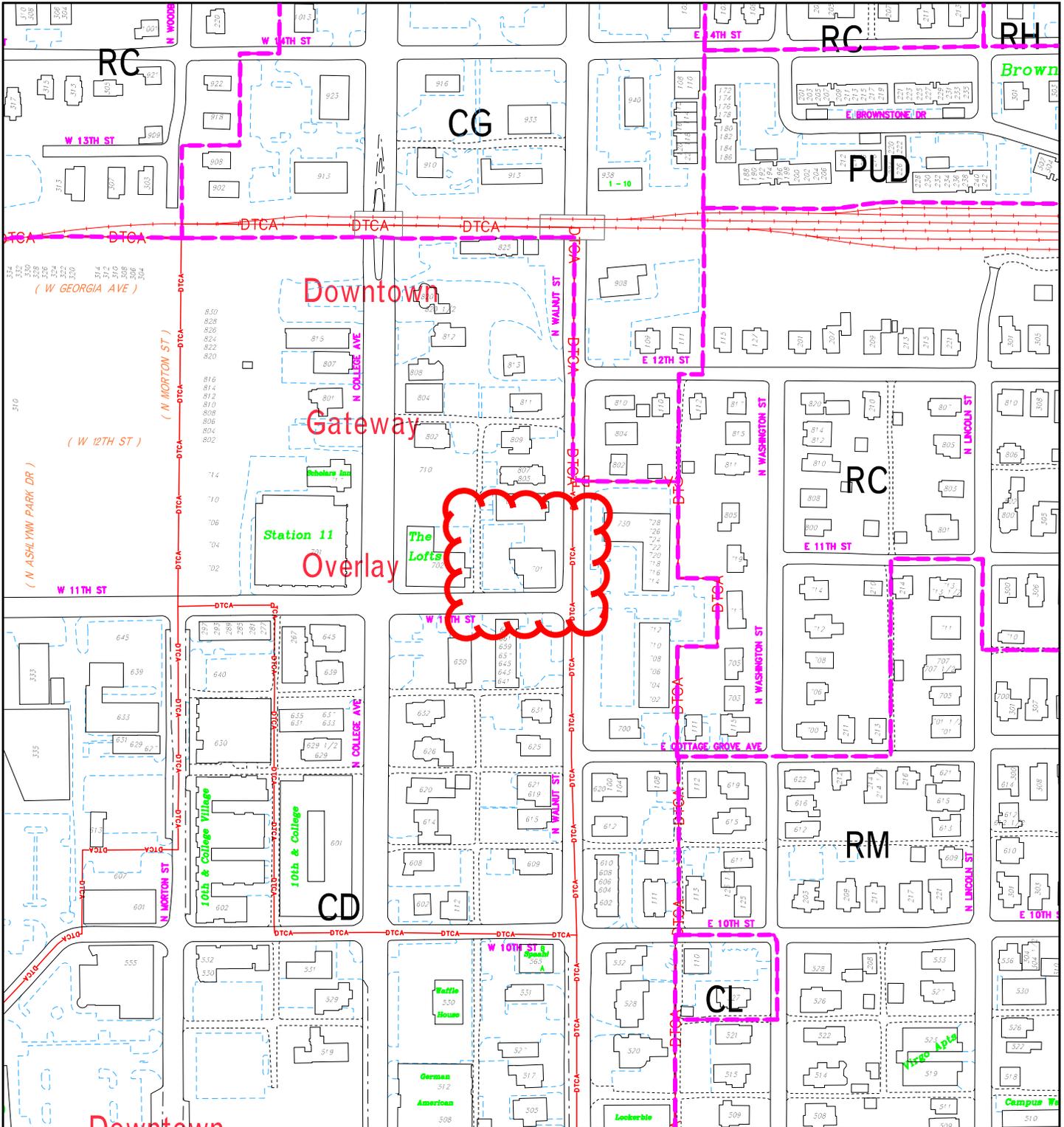
- a. Deconstruction and reuse of the current building that is planned for demolition.
- b. Installing charging stations for electric vehicles for some of the parking spaces
- c. Increasing vegetated greenspace and implementing Low Impact Development practices. (*LID is an approach to land development or re-development that works with nature to manage stormwater as close to its source as possible. LID employs principles such as preserving and recreating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treat stormwater as a resource rather than a waste product. There are many practices that have been used to adhere to these principles such as bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements. By implementing LID principles and practices, water can be managed in a way that reduces the impact of built areas and promotes the natural movement of water within an ecosystem or watershed. Applied on a broad scale, LID can maintain or restore a watershed's hydrologic and ecological functions. LID has been characterized as a sustainable stormwater practice by the Water Environment Research Foundation and others. From EPA)

3.) RECYCLING:

The EC recommends that space should be allocated for recyclable-materials collection, which will reduce the development's carbon footprint and promote healthy indoor and outdoor environments. Lack of recycling services is the number one complaint that the EC receives from apartment dwellers in Bloomington, and hopefully will be required in the near future. Recycling has become an important norm that has many benefits in energy and resource conservation. Recycling is thus an important contributor to Bloomington's environmental quality and sustainability and it will also increase the attractiveness of the apartments to prospective tenants and short-term motel customers.

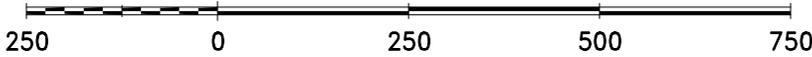
EC RECOMMENDATIONS:

- 1.) The Petitioner shall submit a complete landscape plan for review.
- 2.) The Petitioner should apply green building and site design practices to create a high performance, low carbon-footprint structure.
- 3.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick it up.



SP-31-13
Location Map

By: roachja
31 May 13



For reference only; map information NOT warranted.

City of Bloomington
Planning

N

Scale: 1" = 250'

June 11, 2013

James Roach
 City of Bloomington
 Planning Department
 401 N. Morton Street
 Bloomington, IN 47404

RE: The Crest at 11th

Dear Mr. Roach:

Please accept this application for the redevelopment of the southeast corner of 11th and North Walnut Street. This application is for a multi-family development on .36 acres comprised of one and two bedroom units.

The property is bounded on three sides by public right-of-ways; on the south by 11th Street, on the east by N. Walnut Street, and on the west by an alley. Site improvements will consist of a three story building with a partial lower level. The lower level will face on Walnut Street on the far north end of the building. This will allow the building architecture to relate to the pedestrian way as Walnut Street falls approximately 10 feet south to north.

Pedestrian access to the project is accommodated in four locations; two locations along Walnut Street one the main entrance just north of the southeast corner and one at the 2 units on the northern end of the building. There is a main building entry access along 11th Street and an access from the parking field.

Access to the parking field will be from 11th Street, similar to the adjacent buildings. The parking field will consist of 17 spaces. Two additional spaces have been procured for the project from the adjacent property for a total of 19 spaces.

The unit mix for the project will be 23 one bedroom units and 7 two bedroom units for a total of 30 units, 37 beds for an EDU count of 10.4. The allowable EDU density is 33U/ac, this projects density is 29.1.

The architectural materials will be a mix of brick, limestone, metal panels and cementitious panels. Were possible the stone of the existing structure will be reused to accent the new structure. The building height from the 11th Street frontage will be approximately 36 ½ feet. The Walnut Street height will vary as the grade of the street falls to the north requiring a waiver from the 40 foot maximum height to allow for approximately 46 ½ feet on the northern end of the building.

This project will incorporate a number of sustainable features;

- Provide natural light where possible to reduce the use of artificial lighting.
- Provide energy efficient mechanical systems to reduce energy.
- Use of white roof membrane to reduce heat island effect.
- Provide a highly efficient insulated envelop to minimize the use on HVAC systems.
- Utilize Low-E Glass to reduce heat transfer.
- Provide operable windows to allow for individual comfort control which can help to reduce the use of mechanical systems during optimal months.

- Provide Low-Emitting materials where possible.
- Use recycled materials where possible.
- Use locally extracted, manufactured, and processed materials where possible.
- Use Low-flow toilets and sinks to conserve water.
- Sort and recycle on site construction waste during construction to minimize contribution to landfills.

We feel this project will be a positive addition to the downtown and thank you for your consideration of this request and ask for your support.

Respectfully,

A handwritten signature in black ink, appearing to read "Timothy A. Hanson". The signature is fluid and cursive, with a large initial "T" and "H".

Timothy A. Hanson

PROJECT SUMMARY TABLE

PROJECT The Crest @ 11th						
Address	701 N College Avenue					
SIZE	15,536 SF 0.357 AC					
Zoning	CG - w/ Downtown Gateway Overlay					
	Non-Residential First Floor	NO				
	Residential Density Max	33 edu/ac				
	Parking Required	YES				
	Impervious Surface	25%				
SET BACKS						
	Front	0 ft				
	Rear	5 ft				
	Side	5 ft				
	Height	40 ft				
DENSITY	33.00 EDU/AC Maximum					
	29.08 EDU/AC Proposed					
PARKING	18.6 Spaces Required					
	19 Spaces Provided					
IMPERVIOUS	3,884 SqFt Required					
	5,098 SqFt Provided					

APARTMENT	UNITS	BEDS	EDU	Units	Beds
ONE BEDROOMS -	23	23	5.75	77%	62%
TWO BEDROOMS -	7	14	4.62	23%	38%
THREE BEDROOMS -	0	0	0	0%	0%
	30	37	10.37	100%	100%

	Non-Residential	Residential			Parking	
		1-Bed	2-Bed	3-Bed	On-Site	Off-Site
<i>Walnut ST Floor</i>		2	0			
<i>First Floor</i>		6	1		17	2
<i>Second Floor</i>		8	3			
<i>Third Floor</i>		7	3			
<i>sub-total</i>	<u>0</u>	<u>23</u>	<u>7</u>	<u>0</u>	<u>17</u>	<u>2</u>

NOTES:		LL	1	2	3
	Void	150	312	303	303
	Solid	313	811	820	1273
HEIGHT FROM 11TH = 36.44FT	Total	463	1123	1123	1576
HEIGHT FROM WALNUT = 46.58FT	Void %	32%	28%	27%	19%

Void % of Wall Area		LL	1	2	3
Walnut Street Frontage	Void	150	312	303	303
	Solid	313	811	820	820
	Total	463	1123	1123	1123
	Void %	32%	28%	27%	27%
Void % of Wall Area			1	2	3
11th Street Frontage	Void		436	346	332
	Solid		825	915	929
	Total		1261	1261	1261
	Void %		35%	27%	26%

SP-31-13
Petitioner's Statement

LEASE AGREEMENT FOR PARKING

This Agreement is entered into by and between: Parker Real Estate (hereinafter known as "Lessor"), and WS Property Group – dba: 11th & Walnut Holdings, LLC (herein known as "Lessee")

Work phone/cell phone _____

Email address _____

Emergency contact _____

The parties agree as follows:

1. Lessor hereby agrees to lease 2 parking spaces to Lessee at High Point which is located at 714 N. Walnut Ave., Bloomington IN.
2. This Lease shall commence on the 1st day of August, 2013 and expire on the 31st day of July, 2018.
3. Rent is to be paid in advance on an annual billing cycle the first day of August each year \$1200.00, without deduction or demand, payable to Parker Real Estate, 621 N. Walnut St. Indiana 47408.
4. Lessee shall be charged a fee of \$25.00 for checks returned for non-sufficient funds.
5. A vehicle parked in a leased parking space other than their own shall have parking fines or fees due to Parker Real Estate after commencement of this lease agreement. Failure to pay such fines or fees within thirty days of issuance of the violation may result in termination of this lease agreement.
6. To the extent of its authority under its Lease Agreement with Lessee, Lessor hereby agrees to maintain said parking space and parking lot in clean and orderly condition.
7. Lessee agrees to place the parking permit on the windshield of any vehicle parked in the leased parking spaces where it is readily visible.
8. Lessee agrees to park only those vehicles in the leased parking space displaying the appropriate parking permit, or leased area. Lessee agrees that any inoperable vehicles shall not be parked in the leased space and will be towed at the owner's expense. Also no vehicle repairs shall be performed in the leased space or in the leased area.
9. Lessee agrees and understands the parking permit is valid only for use in the designated parking space to Lessee. Lessee understands that he/she will be fined and may be towed if he/she parks in any other leased parking space.
10. The parties agree that:
 - (a) Lessor and Lessee are not and shall not be responsible for vandalism to vehicles, theft of vehicles, or theft of anything in or on vehicles.
 - (b) Lessor and Lessee are not and shall not be responsible nor liable for accidents or damage involving Lessee's vehicle or other vehicles, or harm or damage to Lessee, passengers or pedestrians.
 - (c) It is the Lessee's responsibility to report the unauthorized use of the leased parking space to Lessor. **Lessee shall not park in another leased space.** The violator may be towed and the tenant will be responsible for all fees.
 - (d) Lessee shall report any complaints, including but not limited to, the accumulation of trash and any illegal or questionable activity, including but not limited to, loitering or vandalism direct to Lessor or the Bloomington Police.

11. In the event of mutilation of the parking permit(s), Lessee may surrender the permit(s) and will be issued replacement permit(s) upon payment of a **Twenty Five Dollar (\$25.00) replacement fee.**
12. In the event of loss of the parking permit(s), Lessee will be issued a replacement hang tag provided that Lessee executes an **Affidavit of Loss** and pays a **Twenty Five Dollar (\$25.00) replacement fee.**
13. Lessor reserves the right to sell property where the parking spaces are located at anytime. This lease shall terminate effective the closing date of such sale if it shall occur.
14. Violation of any of the terms of this Lease by Lessee, including nonpayment of rent or violation of the conditions of use, shall be an event of default. Upon an event of default, Lessor, at its option, may: terminate this agreement and accelerate the rent for the remainder of this agreement; terminate Lessee's right to secured access to a parking space or area; entitle Lessor to charge Lessee a fine equal to Fifty Dollars (\$50) per day through the termination of the Lease Agreement; or, enforce any other rights available to Lessor under this agreement or under the laws of the State of Indiana.
15. In the event Lessor employs an attorney because of Lessee's breach of any term of this Lease, or should Lessor employ an attorney to exercise Lessor's rights pursuant to this Lease, Lessee agrees to pay Lessor's attorney's fees and applicable court costs which Lessor may deduct from Lessee's security deposit. Fees include the sending of any notice.

I have read this Lease Agreement and hereby agree to the terms and conditions set forth herein.

"LESSOR" –Parker Real Estate

"LESSEE" – WS Property Group Inc.
dba: 11th & Walnut Holdings, LLC

Signed:

Phyllis Bond, General Mgr

Signed:

Named Printed:

Phyllis Bond

Named Printed:

Date:

20 June, 2013

Date:



EAST ELEVATION



SOUTH ELEVATION

710 WALNUT (INTERSECTION OF 11TH & WALNUT STREET) 3/16 = 1/4"
 DESIGN DEVELOPMENT © 2013 TABOR BRUCE ARCHITECTURE & DESIGN 06.11.13

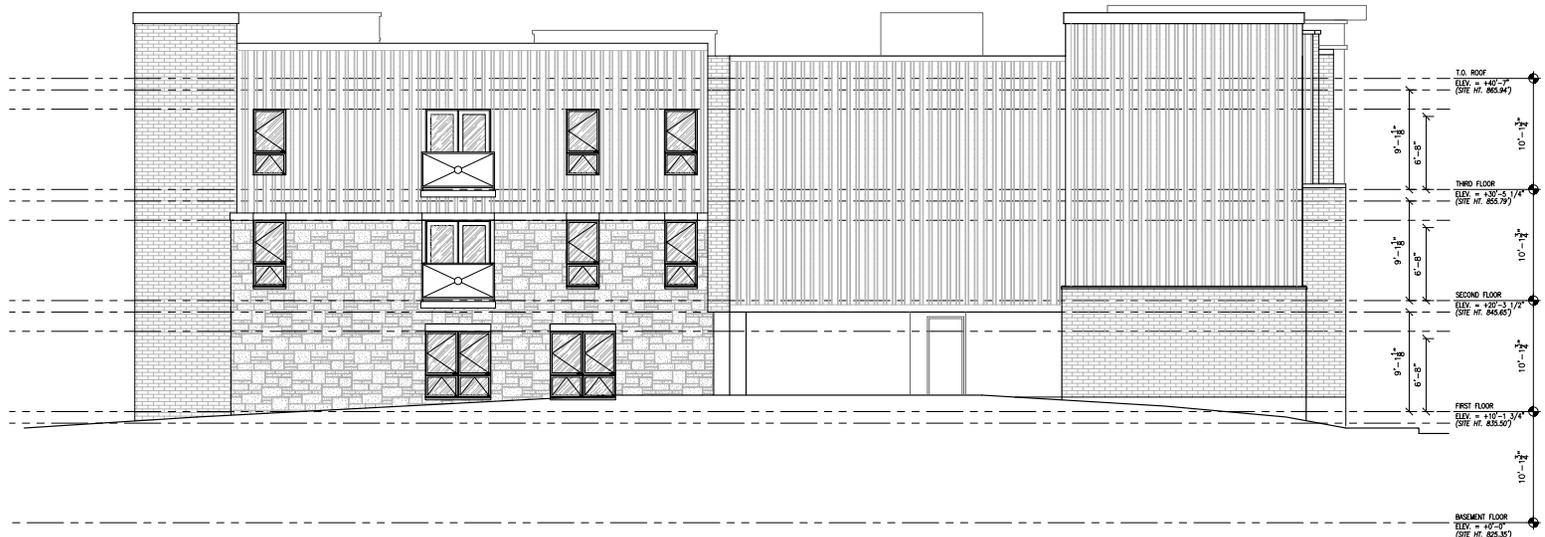


SP-31-13
 South and East
 Elevations

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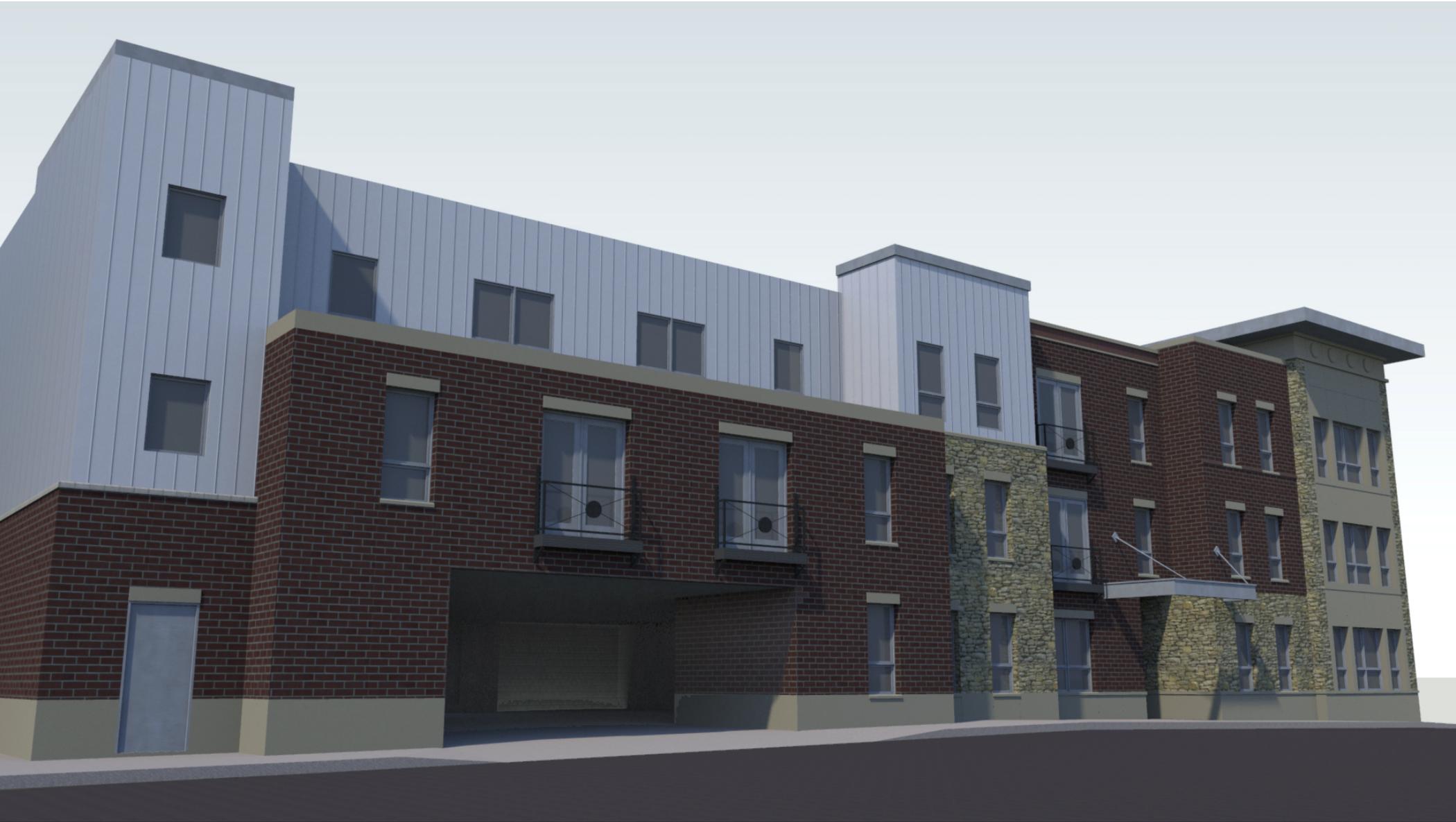
NORTH ELEVATION



WEST ELEVATION

SP-31-13
North and West
Elevations

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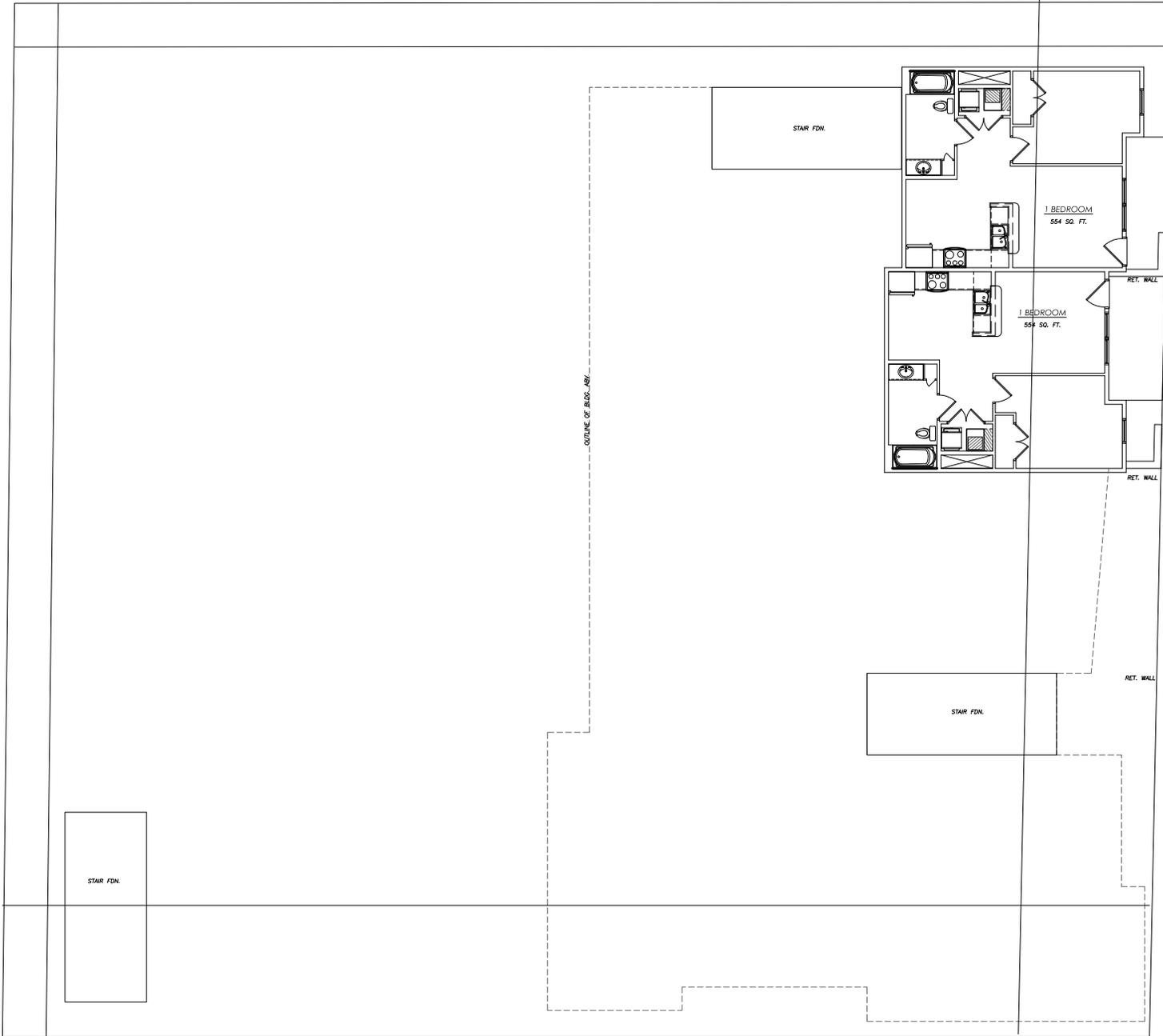
SP-31-13
Model Image - south/11th street facade



SP-31-13
Model Image - corner of 11th and Walnut



SP-31-13
Model Image - Walnut/East facade.



2 1 BEDROOM UNITS
 2 TOTAL BR. THIS FLR.
 1,146 SQ. FT. TOTAL FLR.

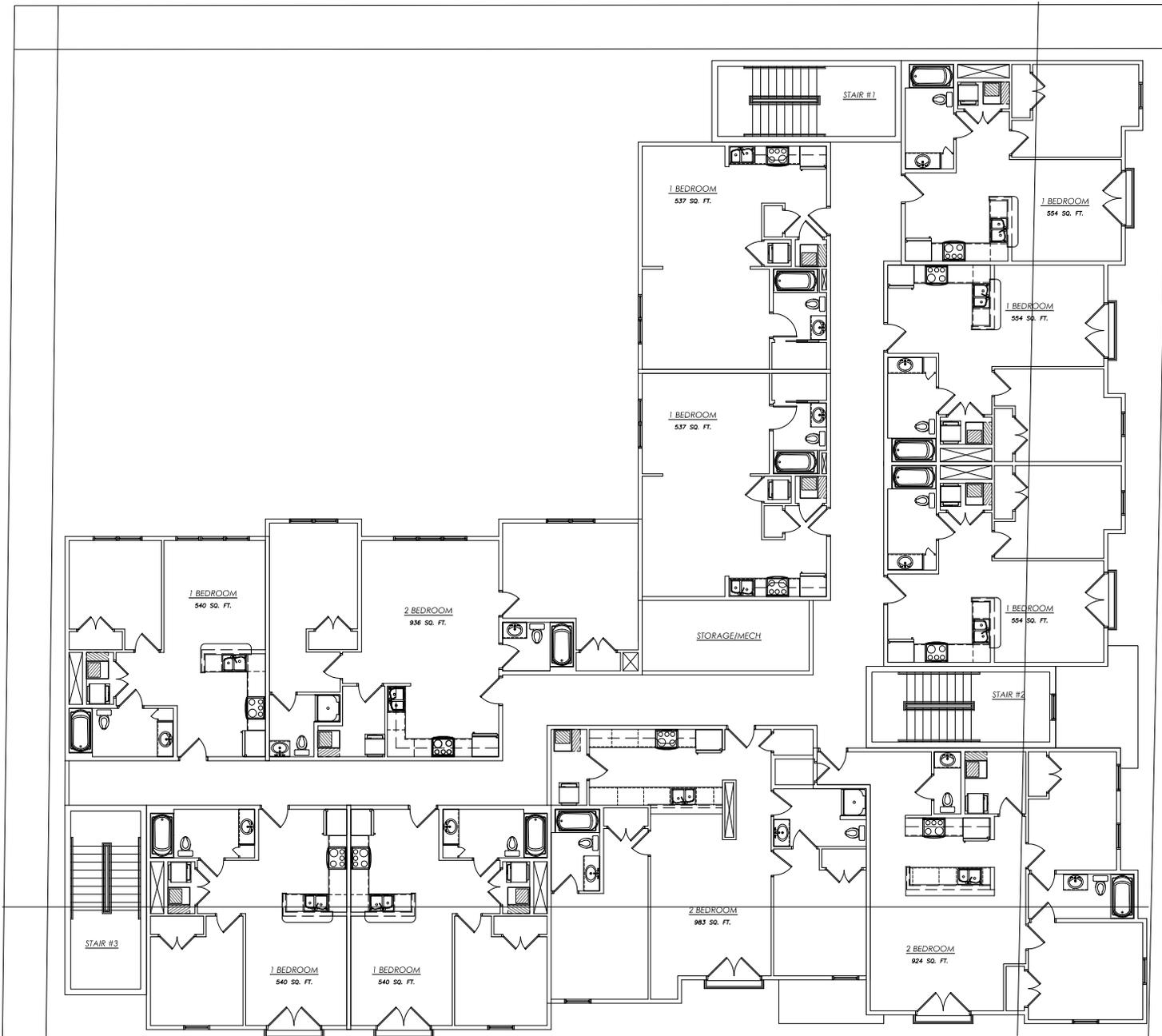
25 1 BEDROOM UNITS ALL FLOORS
 7 2 BEDROOM UNITS ALL FLOORS
 39 TOTAL BEDROOMS
 23,461 SQ. FT. TOTAL (ALL FLOORS)

BASEMENT PLAN	
710 WALNUT (INTERSECTION OF 11TH & WALNUT STREET)	3/16" = 1'-0"
DESIGN DEVELOPMENT	©2013 TABOR BRUCE ARCHITECTURE & DESIGN 05.30.13



SP-31-13
Lower Level

I:\COMMENTS\7013\Comments\710 Walnut\Design\Concepts\052213\ME101 Floor Planning - BASEMENT_30112013 9:55:17 AM



8 1 BEDROOM UNITS
 3 2 BEDROOM UNITS
 14 TOTAL BR. THIS FLR.
 8,664 SQ. FT. TOTAL FLR.

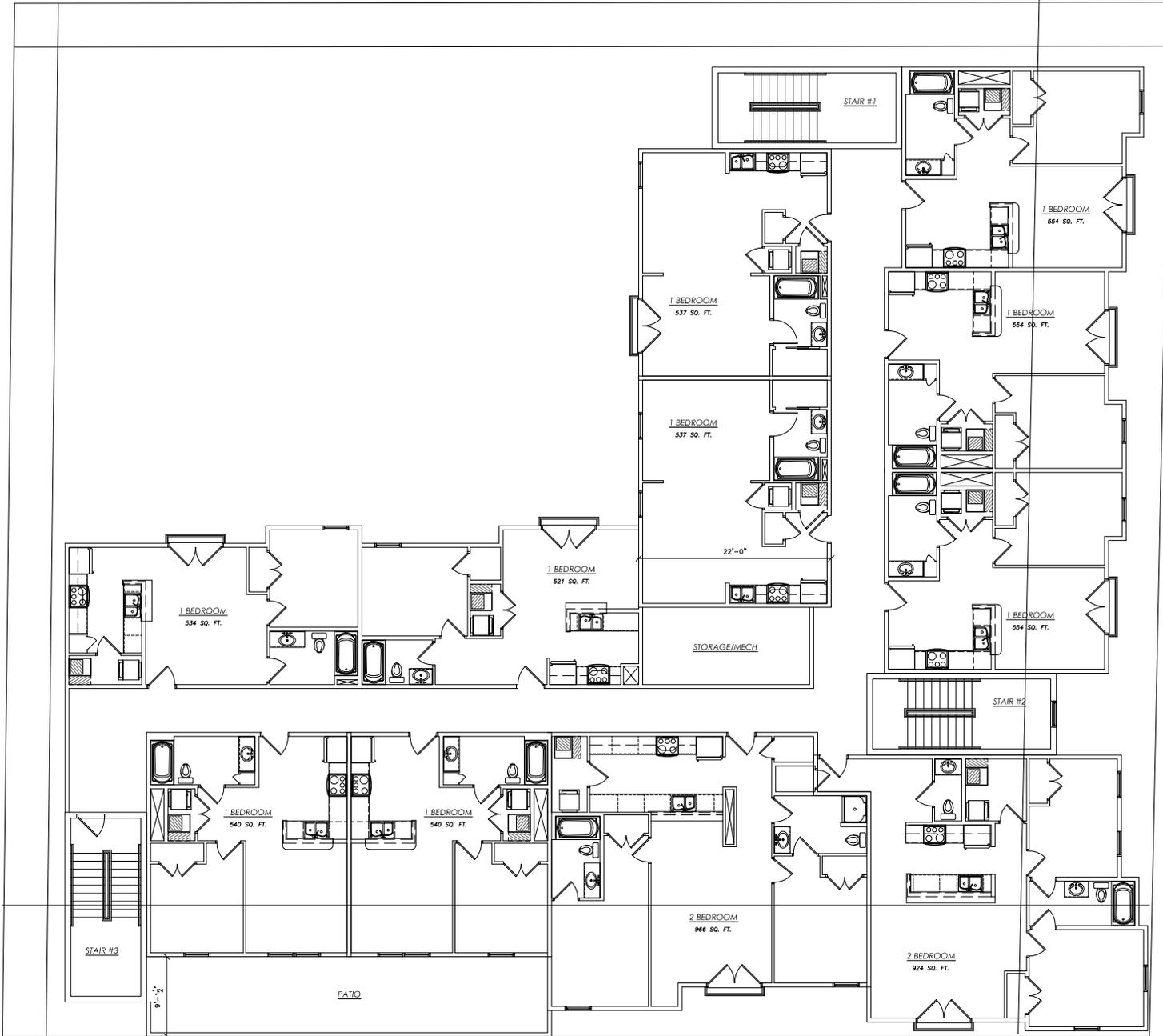
SECOND FLOOR PLAN

710 WALNUT (INTERSECTION OF 11TH & WALNUT STREET)	3/16" = 1'-0"
DESIGN DEVELOPMENT	05.30.13



SP-31-13
 Second Floor

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9 1 BEDROOM UNITS
 2 2 BEDROOM UNITS
 13 TOTAL BR. THIS FLR.
 6,247 SQ. FT. TOTAL FLR.

THIRD FLOOR PLAN

710 WALNUT (INTERSECTION OF 11TH & WALNUT STREET)	3/16" = 1'-0"
DESIGN DEVELOPMENT	05.30.13



SP-31-13
 Third Floor

I:\COMMENTS\7013\Comments\710 Walnut\3rd\3rd\Concept\052113\MED101 Floor Plans.dwg, THRD, 3/16/2013 9:42:29 AM

1351 West Tapp Road
Bloomington, Indiana 47403
Phone: 812.336.8277
Fax: 812.336.0817
www.brqval.com

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CONSTRUCTION

The Crest
11th & Walnut
Bloomington, IN
BRG Project No: 7832

SITE GRADING & UTILITIES PLAN

10 0 10 NORTH
SCALE: 1" = 10'

Date:	Issue:	
06-11-2013	OWNER REVIEW	
REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

Drawn By: CSM
Designed By: CSM
Checked By: CSM

C601

GENERAL NOTES

- REFER TO DEMOLITION PLANS FOR SEQUENCE OF UTILITY REPLACEMENT TO ENSURE CONTINUOUS SERVICE OF ALL UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING AS REQUIRED TO COMPLETELY INSTALL THE WORK INDICATED.
- CONTRACTOR SHALL COORDINATE EXACT UTILITY LOCATIONS WITH THE OWNER AND LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK. CONTACT THE INDIANA UNDERGROUND PLANT PROTECTION SERVICES INC. AT 1-800-382-5544 AND OTHER UTILITIES PRIOR TO ANY EXCAVATION ON THE SITE.
- ALL WORK ASSOCIATED WITH WATER AND SEWER SYSTEMS SHALL COMPLY WITH THE STANDARDS & REQUIREMENTS OF THE INDIANA DEPT. OF ENVIRONMENTAL MANAGEMENT, THE INDIANA STATE DEPARTMENT OF HEALTH, THE AMERICAN WATER WORKS ASSOCIATION (AWWA), THE GREAT LAKES UPPER MISSISSIPPI BOARD OF STATE PUBLIC HEALTH AND ENVIRONMENTAL MANAGERS (GLUMBE).
- CONTRACTOR IS REQUIRED TO VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL SET ALL EXISTING AND PROPOSED CASTINGS AND CLEANOUT COVERS TO FINAL FINISH GRADE.
- A MINIMUM OF 18 INCHES VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER UNLESS OTHERWISE INDICATED, OR UNLESS WRITTEN PERMISSION IS GIVEN BY THE ENGINEER. SEWERS CROSSING WATER MAINS SHALL BE LAID TO MAINTAIN A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND OUTSIDE OF THE SEWER MAIN. THIS SHALL BE THE CASE WHETHER THE WATER MAIN IS ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE JOINTS IN THE SEWER MAIN WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE JOINTS IN THE WATER MAIN. THE CROSSING MUST BE AT A MINIMUM ANGLE OF 45° MEASURED FROM THE CENTERLINE OF THE SEWER AND WATER MAINS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
- A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER UNLESS OTHERWISE INDICATED, OR UNLESS WRITTEN PERMISSION IS GIVEN BY THE ENGINEER.
- ALL SANITARY AND STORM LATERALS SHALL HAVE A MINIMUM COVER OF 24" UNLESS NOTED OTHERWISE.
- ALL SANITARY AND STORM LATERALS SHALL HAVE A MINIMUM SLOPE OF 1/8" PER FOOT UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 48". INSTALL LINES WITH NO ISOLATED HIGH POINTS.
- WHERE DISSIMILAR MATERIALS ARE JOINED TOGETHER CONTRACTOR SHALL USE A NON-SHEAR COUPLING EQUAL TO FERROD.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPE PLANS FOR ADDITIONAL UTILITY MODIFICATIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO EXTEND ALL FOUNDATION, SUBDRAIN, UNDERDRAIN, INTERNAL DRAIN, ROOF DRAIN AND RETAINING WALL DRAIN PIPING TO THE NEAREST PROPOSED STORM STRUCTURE WHILE MAINTAINING POSITIVE FLOW, UNLESS NOTED OTHERWISE. ALL CONNECTIONS SHALL BE WATER TIGHT.
- PRE-CONSTRUCTION MEETING: EFFECTIVE MARCH 1, 2010, ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812)349-2633 TO SCHEDULE THE MEETING.
- UTILITIES INSPECTION: CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY UTILITY WORK. A CITY INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKDAYS, A CITY INSPECTOR IS AVAILABLE BEYOND NORMAL CITY WORK HOURS. THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME FOR CITY WORK HOURS AND HOLIDAY INFORMATION. PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES DEPARTMENT AT (812)349-3660.

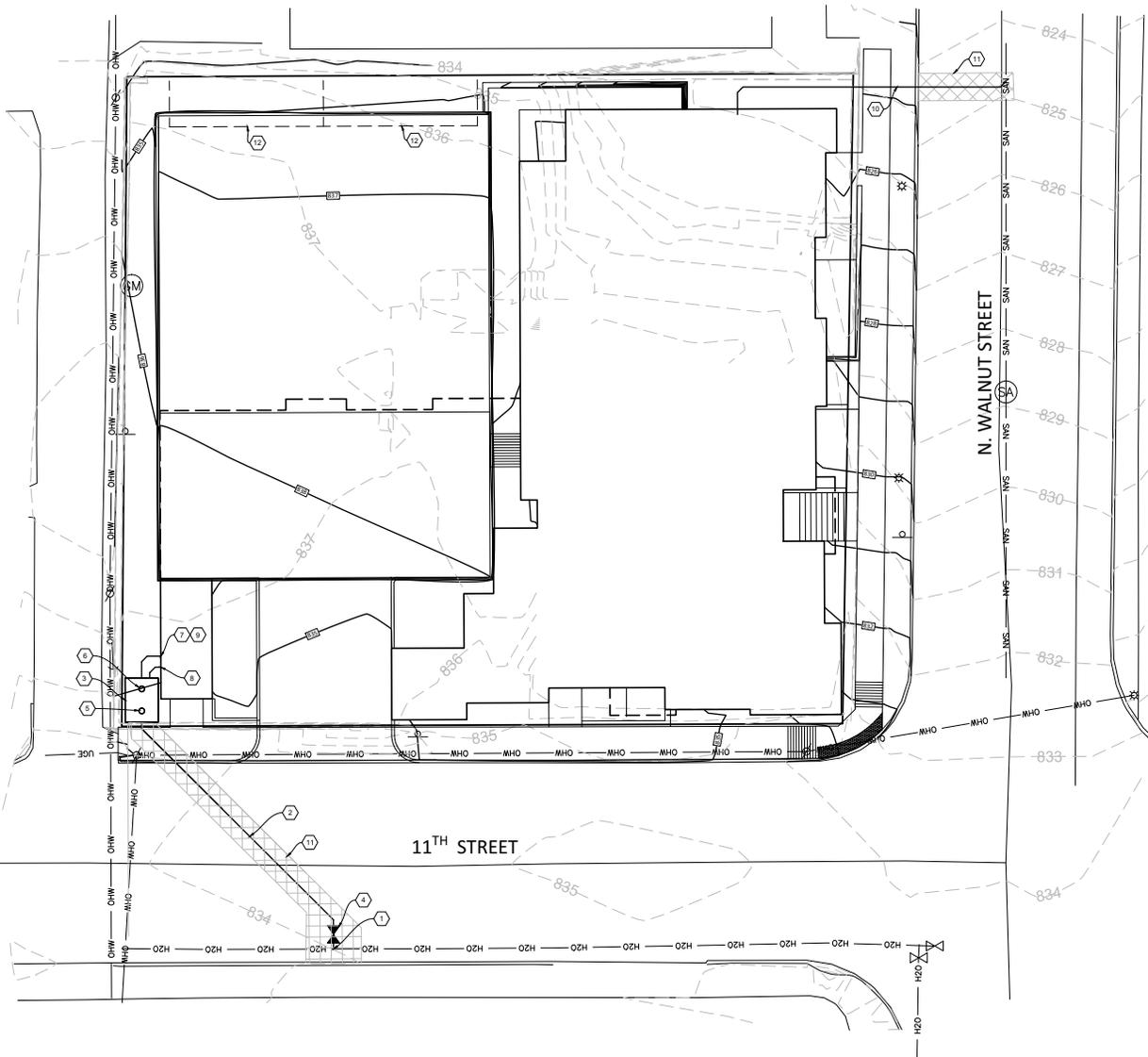
PLAN NOTES

- WATER TAP: CONTACT CBU TO APPLY FOR TAP AT LEAST 48 HOURS IN ADVANCE. CONTRACTOR TO EXCAVATE AND INSTALL TAPPING SADDLE AND VALVE.
- COMBINED DOMESTIC AND FIRE PROTECTION SERVICE LINE - 6" DUCTILE IRON PIPE, PRESSURE CLASS 350. REFER TO PLUMBING PLANS FOR CONTINUATION WITHIN THE BUILDING.
- WATER METER/VALVE VAULT: CONTRACTOR TO OBTAIN WATER METER FROM CITY OF BLOOMINGTON UTILITIES. CONTACT NANCY ANDERSON AT 812.349.3889 FOR DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PROPOSED WATER SERVICE.
- WATER VALVE
- POST INDICATOR VALVE WITH TAMPER PROOF SWITCH - REFER TO DETAIL.
- FIRE DEPARTMENT CONNECTION, STORAGE TYPE - REFER TO DETAIL.
- A PERMANENT INDICATING VALVE IS TO BE INSTALLED 12" ABOVE THE FLOOR ON THE FIRE LINE MAIN AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST AND WILL REMAIN AS PART OF THE SYSTEM. ONCE ALL TESTING IS COMPLETE, THE LINE WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM.
- DOMESTIC WATER SERVICE LINE - 1" DUCTILE IRON PIPE OR COPPER PIPE.
- FIRE PROTECTION SERVICE LINE - 4" DUCTILE IRON PIPE PRESSURE CLASS 350 AND FITTINGS.
- SANITARY LATERAL - 8" ASTM D-3034 SDR 35 PVC. CONFIRM LOCATION WITH 1" CIVIL SERVICE DRAWINGS. EXTEND AS INDICATED. INSTALL AT 2% MINIMUM SLOPE WITH 24" MINIMUM COVER. COORDINATE WITH CITY OF BLOOMINGTON UTILITIES.
- SAW CLIP PAVEMENT TO ALLOW FOR REMOVAL FOR INSTALLATION OF NEW UTILITIES. REPAIR WITH PAVEMENT PATCH - REFER TO DETAIL.
- UNDERDRAIN - REFER TO DETAIL.

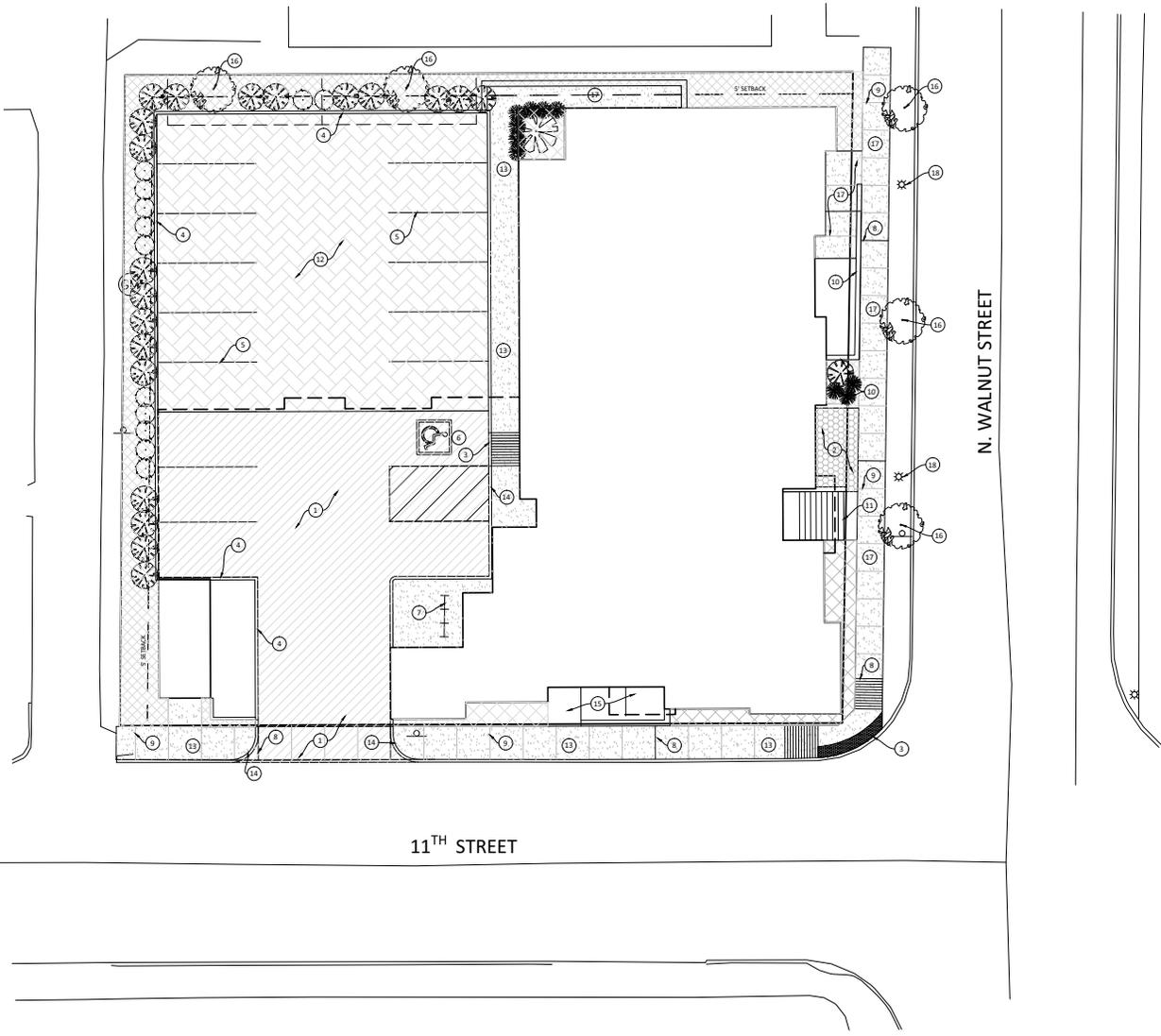
EXISTING	
PERVIOUS	3055 SF
IMPERVIOUS	1243 SF
DEVELOPED	
PERVIOUS	2051 SF (LAWN AND LANDSCAPE)
IMPERVIOUS	3047 SF (PAVERS)
IMPERVIOUS	1048 SF

LEGEND

- LIMITS OF ASPHALT PAVEMENT PATCH



SP-31-13
Utility Plan



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB, POINT OF TANGENCY, EDGE OF PAVEMENT, OR EDGE OF WALK, UNLESS OTHERWISE NOTED. ALL BORN ARE TO FACE OF CURB (UNLESS NOTED OTHERWISE). CURB AND WALL COORDINATES ARE TO THE BACK, UNLESS NOTED OTHERWISE. COORDINATE DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND CENTER SIDEWALKS WITH RESPECTIVE ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS REQUIRED TO VERIFY FIELD CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
3. ALL DISTURBED AREAS SHALL RECEIVE 6" OF TOP SOIL, MULCH AND SEED OR BE IMPROVED AS NOTED OTHERWISE.
4. REFER TO PLAN FOR DETAILS CORRESPONDING TO PLAN NOTES.
5. SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. ALL STREET CUTS FOR UTILITIES AND OTHER IMPROVEMENTS SHALL BE REPAIRED TO MATCH EXISTING PAVEMENT SECTION OR BETTER.

PLAN NOTES

1. HEAVY DUTY CONCRETE PAVEMENT, 6" THICK - REFER TO DETAIL
2. PATIO PAVING - REFER TO DETAIL
3. ADA COMPLIANT RAMP AND CONCRETE CURB TRANSITION, 1:12 SLOPE MAX. WITH 5/8" DEEP GROOVES AT 4' O.C. - REFER TO DETAILS
4. 6" STANDING CONCRETE CURB - REFER TO DETAIL
5. PAVEMENT MARKING, 4" WIDE, WHITE, -AUTO PARKING
6. ADA COMPLIANT VAN PARKING SPACE. INCLUDES PAVEMENT MARKING, 4" WIDE, BLUE, PAINTED WHEELCHAIR SYMBOL, CONCRETE WHEEL STOP AND VAN ACCESSIBLE SUPPLEMENTAL SIGN - SEE DETAILS
7. BICYCLE RACK - TO INCLUDE 4 PARKING SPACES
8. EXPANSION JOINT (TYPICAL) - REFER TO DETAIL
9. SCORE JOINT (TYPICAL) - REFER TO DETAIL
10. RETAINING WALL - REFER TO DETAIL
11. CONCRETE STEPS - REFER TO DETAIL
12. PERVIOUS PAVERS - REFER TO DETAIL
13. MONOLITHIC CURB AND WALK - REFER TO DETAIL
14. DEPRESSED MONOLITHIC CURB AND WALK
15. ADA COMPLIANT CONCRETE RAMP
16. TREE - REFER TO DETAIL
17. CONCRETE PAVEMENT, 4" THICK - REFER TO DETAIL
18. STREET LIGHT - REFER TO DETAIL

LEGEND

- LIMITS OF NEW 6" THICK HEAVY DUTY CONCRETE PAVING
- LIMITS OF NEW 4" THICK CONCRETE PAVING
- LIMITS OF PATIO PAVING
- LIMITS OF LANDSCAPING
- LIMITS OF PERMEABLE PAVERS

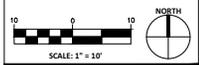
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 Fax: 812.336.0817
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SITE IMPROVEMENT PLAN



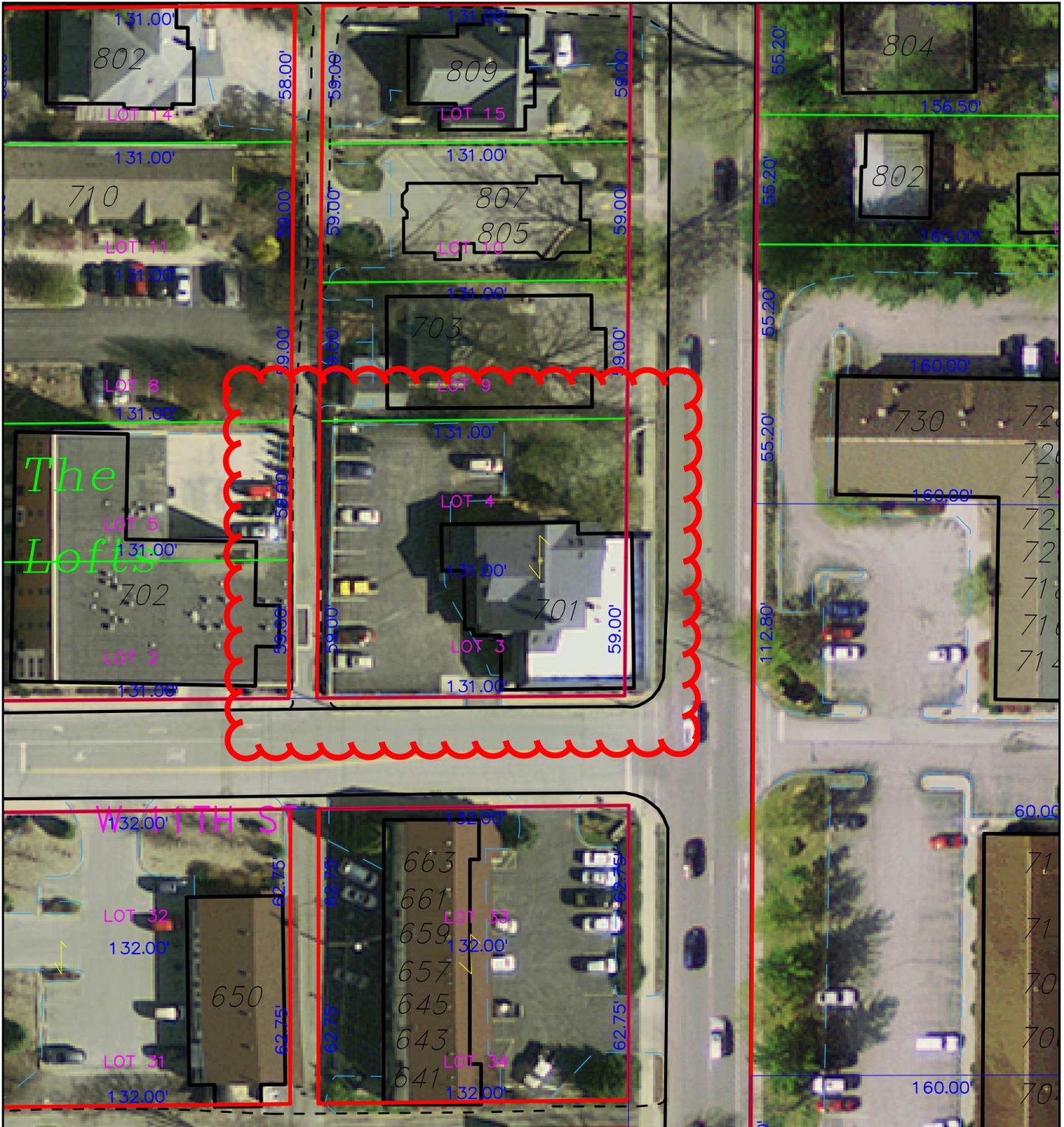
Date: 06-11-2013 Issue: OWNER REVIEW

REVISION SCHEDULE		
Rev. #	Rev. Description:	Issue Date

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 Designed By: CSM
 Checked By: CSM

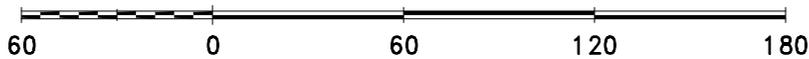
C401

SP-31-13
 Landscaping/Site Plan

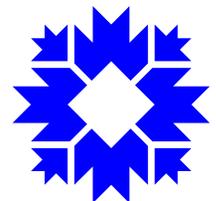


Sp-31-13
2011 Aerial Photo

By: roachja
1 Jul 13



City of Bloomington
Planning



Scale: 1" = 60'