

BLOOMINGTON HISTORIC PRESERVATION COMMISSION

Showers City Hall

McCloskey Room

Thursday February 12, 2015

5:00 P.M.

AGENDA

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES** June 12, 2014, July 10 2014, August 14, 2014, January 8, 2015, January 22, 2015
- IV. CERTIFICATE OF APPROPRIATENESS**
STAFF APPROVALS
 - A. COA-6-15**
1106 South Rogers Street
McDoel Historic District
Owner: Patricia Suits
Request to construct a concrete ramp along the north side of the house and a rear porch for accessibility. Widening of a rear door.**FULL COMMISSION REVIEW**
 - A. COA-1-15**
520 West Howe
Greater Prospect Hill Historic District
Petitioner: Doug Wissing
Request for a rear addition
- V. NEW BUSINESS**
 - A. Preliminary Review 632 North College -Addition Studio 3 Design for ERL II LLC**
 - B. Morton Street Parking Garage - Planner Patrick Shay**
- VI. OLD BUSINESS**
 - A. Awards and Preservation Month Plans May 2**
 - B. Designation of Tech Park structures- update**
- VII. COMMISSIONERS' COMMENTS**
- VIII. PUBLIC COMMENTS**
- IX. ANNOUNCEMENTS**
- X. ADJOURNMENT**

Next meeting date is Thursday February 26, 2015 at 5:00 p.m. in the McCloskey Room

Posted: February 5, 2015

BLOOMINGTON HISTORIC PRESERVATION COMMISSION
Thursday June 12, 2014
MINUTES

I. CALL TO ORDER

Meeting was called to order by Chairman, Dave Harstad at 5:00 pm.

II. ROLL CALL

Commissioners:

Jeannine Butler
Sam DeSollar
Dave Harstad
Marjorie Hudgins
John Saunders
Chris Sturbaum

Staff:

Lisa Abbott - HAND
Nancy Hiestand - HAND
Jacob Franklin - HAND
Patty Mulvihill - LEGAL
Nate Nickel - PLANNING

Guest(s):

Bryan Taylor
Stephen Borszcz
Elizabeth Blauvelt

III. APPROVAL OF MINUTES February 13, 2014

Jeannine Butler makes a motion to accept the February 13, 2014 minutes. **Sam DeSollar** seconded. Motion carries 6/0/0 (yes/no/abstain).

IV. CERTIFICATE OF APPROPRIATENESS

A. COA-16-14

918 West Howe Greater Prospect Hill Historic District

Owners: Stephan Borszcz and Elizabeth Blauvelt

Request to remove and replace double windows and to replace or overlay existing siding (asbestos) with cement board 4" reveal

Lisa Abbott gives her presentation. **Stephen Borszcz** states that he was having a problem clarifying the process of window replacement through email. Stephen further states that he was not changing the size of the historic windows. Lisa states they spoke of both replacement as well as change in size. Discussion is

held.

Dave Harstad notes there was a staff recommendation. **Lisa Abbott** goes over the staff recommendation. The neighborhood showed support of the restoration.

Stephen Borszcz gives his explanation of their intent to repair and or replacement materials during restoration. He states, due to the elevation of the neighborhood he is now having to come before the Commission to get approvals.

Discussion is held on what the owner wants to do with the property.

Question(s):

Sam DeSollar asks about the trim and siding. **Stephen Borszcz** states they will trim out the siding accordingly and inline with the photo that was supplied to the Commission.

Chris Sturbaum suggests they keep the windows on the porch. **Stephen Borszcz** he can comprise to keeping the windows and restoring the front door.

Jeannine Butler asks and summarizes what the Petitioners are wanting the Commission to decide.

Marjorie Hudgins asks if they will hire someone to remediate the asbestos siding. **Stephen Borszcz** they will not as it is something he understands the homeowner may do.

Duncan Campbell states for the record that vinyl double hung windows are junk. He states that removing asbestos will be far more dangerous than keeping the siding on the structure.

Nancy Hiestand arrives at the meeting.

Dave Harstad asks if anything has changed since they met on site.

Comments:

Sam DeSollar states that he understands the pain of the task as he is starting to wrap up a four year renovation that is not in a historic district. Sam states that he thinks cement board has some redeeming qualities in appearance and integrity.

Chris Sturbaum states that he has renovated many of homes within the district. Chris states that he feels they would realize more value if they reopen the porch.

Marjorie Hudgins states that she will be happy if all the asbestos is removed, windows are saved and that the details are maintained.

Dave Harstad states he is supportive of cement board.

Jeannine Butler makes a motion to accept **COA-16-14**. Request to remove and replace all windows on the structure and to replace or overlay existing siding (asbestos) with cement board incorporating a 4" reveal and window trim.

Marjorie Hudgins seconded. Motion carries 6/0/0 (yes/no/abstain).

Patty Mulvihill submits the Proposed Findings of Fact for **COA-16-14** located at 918 West Howe St., Greater Prospect Hill Historic District.

1. The Commission finds that any ability to salvage original doors and windows presently located on the structure at 918 W. Howe Street would be highly beneficial and appropriate, but considering the condition of the overall property the Commission does not feel it is appropriate to require such actions.
2. The Commission finds that in light of the structural deficiencies of the structure located at 918 West Howe Street, the proposed window removal and replacement of asbestos siding with 4 inch cement board, while not original in nature, is nevertheless justified and resembles the historic nature of the overall Greater Prospect Hill Historic District.
3. The Commission finds that replacing the asbestos siding with four inch cement board siding is appropriate and consistent with the historic character of the original home and the Greater prospect Hill District.
4. The Commission finds that while it will not mandate the return of the front porch to the original open-air porch, the Commission finds that such an action is greatly recommended and highly desired.
5. The Commission notes that the Greater Prospect Hill Neighborhood Association is supportive of the design and work being proposed by the owner.

Jeannine Butler makes a motion to approve the Proposed Findings of Fact for **COA-16-14**, 918 W. Howe St.. **Marjorie Hudgins** seconded. Motion carries 6/0/0 (yes/no/abstain).

B. COA-17-14 STAFF APPROVAL

2920 East 10th Hinkle Garton Farmstead

Owner: Bloomington Restorations Inc.

Renewal of an expired COA to build a volunteer station for the garden

See STAFF Report in packet

C. COA-18-14 STAFF APPROVAL

324 South Rogers Prospect Hill Historic District

Owner: Jaime Galvan

Construction of a rear 4' wood and wire fence around the back yard

See STAFF Report in packet

D. COA-19-14

408 West Dodds McDoel Historic District

Owner: Bryan Taylor

Enclosure of a rear stoop with a new door and window

Nancy Hiestand gives her presentation.

Question(s):

Chris Sturbaum asks if the back yard is fenced in. **Bryan Taylor** answers that it is.

Duncan Campbell asks if the window that will be added will be able to open. **Bryan Taylor** states it will not and is just for natural light but will be professionally installed.

Sam DeSollar asks if the exterior wall additions will be flush with the existing exterior walls. **Bryan Taylor** states they will be flush.

Comment(s):

Marjorie Hudgins comments that she wants to see people be able to enjoy their yards and be able to accommodate their needs.

Jeannine Butler makes a motion to accept **COA-19-14**, 408 West Dodds McDoel Historic District. Enclosure of a rear stoop with a new door and window. **Chris Sturbaum** seconded. Motion passes 6/0/0 (yes/no/abstain).

Patty Mulvihill submits the Proposed Findings of Fact for **COA-19-14**, 408 West Dodds McDoel Historic District. Enclosure of a rear stoop with a new door and window.

1. The Commission finds that since the primary facade of the structure located at 408 West Dodds Street is not being impacted by the proposed back porch stoop enclosure, such an enclosure is not inappropriate nor will it detract from the historic character of the house or the overall McDoel Historic District.
2. The Commission finds the proposed enclosure of the back porch stoop at 408 West Dodds Street is consistent with the way in which the Design Guidelines for the McDoel Historic District are being drafted, and as such, the Commission infers that such an enclosure is appropriate and not inconsistent with the historic nature of either the house or the McDoel Historic District.

Chris Sturbaum makes a motion to approve Proposed Findings of Fact for **COA-19-14**, 408 West Dodds St., McDoel Historic District. Enclosure of a rear stoop with a new door and window. **Jeannine Butler** seconded. Motion approved 6/0/0 (yes/no/abstain).

E. COA-20-14 STAFF APPROVAL

916 South Morton McDoel Historic District

Owner: Jeannette Burch

Construction of a concrete ramp to the rear door of the house.

See STAFF Report in packet

V. DEMOLITON DELAY

No Business

VI. NEW BUSINESS

A. Garden Hill Conservation District Referendum Results

Nancy Hiestand gives her presentation. The district was elevated by a vote of owners. Discussion is held.

B. Matlock Heights History

Nancy Hiestand gives her presentation. Nancy mentions our new intern **Josh Brewer** who will be compiling information of the neighborhood.

VII. OLD BUSINESS

A. Vote on University Courts Design Guidelines

Discussion is held. General consensus of the Commission is in favor of the Design Guidelines.

Marjorie Hudgins makes a motion to accept the University Courts Design Guidelines. **John Saunders** seconded. Motion carries 5/0/0 (yes/no/abstain).

B. Update McDoel and Greater Prospect Hill Design Guidelines

VIII. ADJOURNMENT

Meeting adjourns at 6:55 pm.

BLOOMINGTON HISTORIC PRESERVATION COMMISSION
Thursday July 10 2014
MINUTES

I. CALL TO ORDER

Meeting was called to order by Chairman, Dave Harstad at 5:00pm.

II. ROLL CALL

Commissioner(s):

Doug Bruce
Jeannine Butler
Chris Cockerham
Sam DeSollar
Dave Harstad
John Saunders
Chris Sturbaum

Staff:

Patty Mulvihill - LEGAL
Lisa Abbott - HAND
Nancy Hiestand - HAND
Jacob Franklin - HAND
Nate Nickel - PLANNING

Guest(s):

Mike Machango
Frank Spence
David Holdman
Diana Holdman
Rebecca Stoops
Paul T. Ash
Elizabeth Cox-Ash
Kerry Dishman

III. APPROVAL OF MINUTES February 27, 2014; April 10, 2014;
April 24, 2014

Jeannine Butler makes a motion to accept the minutes from February 27, 2014; April 10, 2014 and April 24, 2014. **Doug Bruce** seconded. Motion carries 7/0/0 (yes/no/abstain).

**IV. CERTIFICATE OF APPROPRIATENESS
STAFF APPROVALS**

A. COA-21-14 Staff Approval GPHD

503 West Kirkwood

Circle K Gas Station Representative Arkinetics, Inc..

Installation of a new door and ramp.

See STAFF report in packet.

B. COA-23- 14 Staff Approval EMHD

925 East University Owner Jonathon Ready and Jane Foster

Installation of a rear privacy fence.

Starts at midpoint of the side of the house and is masked by vegetation.

See STAFF report in packet.

C. COA-24-14 Staff Approval EMHD

725 South Highland owner Jane Alpert, removal of a mature redbud.

Removal of a large redbud in the rear yard (visible from 1st)

See STAFF report in packet.

COMMISSION REVIEW

D. COA-22-14 GPHD

727 West Kirkwood Ave. Owner Brennan Goolightly (business)

request for a sign (*VIOLATION*).

Nancy Hiestand gives her presentation. Nancy notes this is a handmade sign with wrought iron and wood. Nancy Hiestand notes there is no one present to represent this case. Nancy notes there are no sign or commercial guidelines within GPHD. Nancy notes that we would look at the Kirkwood corridor design guidelines created by the Planning Dept a seven or eight years ago, but that also does not address signs. Nancy further notes the sign represents the type of business that is salvage and antiques. Nancy explains the option the Commission has in approval, denial, or continuance.

Comment(s)/Question(s):

Chris Cockerham asks if the sign fits the requirements of the UDO and if the Petitioner went through the proper channels. Patty Mulvihill states they did retroactively. Chris Cockerham further asks if it fit the guidelines. Patty Mulvihill answers yes.

Chris Sturbaum asks if the clock on the sign worked. Petitioner is not present to

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answer.

Dave Harstad states he likes this sign and appreciates the in individual lettering and that this is a unique sign.

Jeannine Butler makes a motion to accept **COA-22-14**. **Chris Sturbaum** seconded. Motion carries 7/0/0 (yes/no/abstain).

Patty Mulvihill submits the **Proposed Findings of Fact for COA-22-14** (Installation of a Commercial Sign).

1. The Commission finds the commercial sign placed on the property at 727 West Kirkwood Avenue utilizes materials which are consistent with the folk artsy genre common throughout the Bloomington commercial districts and is therefore appropriate with the historic fabric of the community.
2. The Commission finds that the commercial sign at 727 W. Kirkwood Avenue is compatible with the historic nature of the structure upon which it rests as well as the overall historic nature of the district in which the structure is located.
3. The Commission finds that the commercial sign at 727 W. Kirkwood Avenue utilizes appropriate textures, materials, colors and styling so that it is consistent with the provisions of Title 8 of the Bloomington Municipal Code.

Jeannine Butler makes a motion to accept **Proposed Finding of Facts for COA-22-14** (Installation of a Commercial Sign). **Sam DeSollar** seconded. Motion carries 7/0/0. (yes/no/abstain).

E. COA-25-14 GPHD

300 S. Fairview Owner Jaelyn Ray and Jason Gold

Representative: Herndon Design LLC

Request for a screed-in porch on the rear of a building.

Nancy Hiestand gives her presentation. Nancy notes this building is on two thoroughfares but will not be visible from Fairview at all. Nancy states they will not be changing the fabric of the structure. Nancy further states she sent this request to the **GPHD Executive Committee** which had no objections. Nancy notes this fits the **Historic District Standards** of additions for family and recreational use.

Comment(s)/Question(s):

John Saunders states the addition of the rear porch looks great.

Doug Bruce comments that he likes the addition and it ties the structure together

very well.

Chris Sturbaum states he likes the use of the flat roof on the addition.

Jeannine Butler states she thinks it is a great addition to the house.

Sam DeSollar states he agrees with what has been said.

Dave Harstad states he wants to compliment the owners and designers for the work. Dave states that he thinks this is an elegant addition.

John Saunders makes a motion to accept **COA-25-14**. **Sam DeSollar** seconded. Motion carries 7/0/0 (yes/no/abstain).

Patty Mulvihill submits the **Proposed Findings of Fact for COA-25-14** (Construction of a rear screened-in porch).

1. The Commission finds that constructing a rear screened-in porch to the structure located at 300 South Fairview Street will not result in any changes to the body of the original structure.
2. The Commission finds that the construction of a rear screened-in porch to the structure located at 300 South Fairview Street will be minimally visible from public thoroughfares as the porch is predominantly blocked by the structure itself of landscaping.
3. The Commission finds that the presence of a screened-in porch at 300 South Fairview Street is not in contrast to the historic era of the Greater Prospect Hill District.
4. The Commission finds that the material to be used in the construction of the rear screened-in porch at 300 South Fairview Street, cement board and a membrane roof, are appropriate and do not detract from the historic nature or characteristics of either the original structure or the Greater Prospect Hill District.
5. The Commission finds that the addition of a rear screened-in porch to the structure at 300 South Fairview Street is consistent with Title 8 of the Bloomington Municipal Code.

Sam DeSollar makes a motion to accept **Proposed Finding of Facts for COA-25-14** (Construction of a rear screened-in porch). **Jeannine Butler** seconded. Motion carries 7/0/0. (yes/no/abstain).

F. COA-26-14 GHHD

412 E 16th Street Owner Chris Bomba Representative: Kerry Dishman
Request to partially, re-side a house, enlarge a window, re-roof and remove paint from limestone.

Nancy Hiestand gives her presentation. Discussion is held on the plans for

remodeling. **Kerry Dishman** states they are not going to change any of the steel supports. They do intend on power washing the foundation to remove the paint in order to reveal the limestone and to use cement masonry siding in a pre-finished color. Kerry states they just want to refresh the house and maintain the original look.

Question(s):

John Saunders asks if they will clean up the gutters. **Kerry Dishman** states they are going to use the original soffits as they are wood, they will be washed and painted it to clean it up. John asks if this structure is on a basement. **Kerry Dishman** states it is.

Discussion is held about the dormer. All agree this a great idea and cleaning up this property is an excellent half step into neighborhood revitalization.

Chris Sturbaum asks if they find four inch lap and trim details if they would be willing to commit to using like materials. **Kerry Dishamn** states they are.

Discussion is held on the use of shaker panels. All are in agreement with the use of this product.

Comment(s):

Doug Bruce comments that this is an excellent project to see before and after photos. Doug further states this is a structure that was almost lost and many people would ask why not tear it down. Doug states his is an example of saving a structure.

Chris Sturbaum comments that he would be disappointed to see an eight inch clapboard. Chris states he is very pleased to see them try to retain the original look.

Jeannine Butler comments that she is glad to see this being saved. Jeannine further states that maybe this could be a single family rental or single family owner occupied structure further down the road.

Sam DeSollar comments that he agrees with the other commissioners.

Dave Harstad comments that the commission is very lucky to have **Kerry Dishman** and **Chris Bomba** being the first to take on this area after it was elevated to a full historic district.

John Saunders makes a motion to accept **COA-26-14**. (Re-roofed, exterior siding replacement, paint removal from stone & rear window enlargement). **Sam DeSollar** seconded. Motion carries 7/0/0. (yes/no/abstain).

Patty Mulvihill submits the **Proposed Findings of Fact for COA-26-14** (Re-roofed, exterior siding replacement, paint removal from stone & rear window enlargement).

1. The Commission finds that replacing the three-tab shingles on the structure located at 412 East 16th Street with architectural shingles is appropriate and does not detract from the historic nature of the structure or the Garden Hill Historic District.
2. The Commission finds that power-washing the limestone porch at 412 East 16th Street to remove the red paint and allow the limestone to show is historically appropriate.
3. The Commission finds that removing the weatherboard siding at 412 East 16th Street and replacing it with cement board siding, of similar width to the original clapboard if determinable, is appropriate and will not detract from the historic appearance of the structure or the Garden Hill Historic District.
4. The Commission finds that enlarging a rear window on the structure at 412 East 16th Street is not detrimental to the overall historic nature of the structure or the Garden Hill Historic District as the enlargement will only be visible from an east-west alley and is located under a carport.
5. The Commission finds that the proposed work to the structure at 412 East 16th Street, as herein described, is consistent with Title 8 of the Bloomington Municipal Code.

Jeannine Butler makes a motion to accept **Proposed Finding of Facts for COA-26-14** (Re-roofed, exterior siding replacement, paint removal from stone & rear window enlargement). **John Saunders** seconded. Motion carries 7/0/0. (yes/no/abstain).

G. COA-27-14 GPHD

407 S. Walker St. Owner Rebecca E. Stoops

Request to re-roof with metal, construct a side porch roof. Remove the chimney and add wooden columns to the porches.

Nancy Hiestand gives her presentation. Discussion is held on the type of roofing that would be appropriate. Nancy gives examples of other properties that have metal roofing and supports for the porch and awning.

Discussion is held on the types of columns that can be used on the front porch. The Commission advises the Petitioner to check out the neighborhood to see what would be appropriate.

Discussion is held about the metal roof and the need for it. **Rebecca E. Stoops** states that the roofing company advised her that the roof would leak if the chimney stayed however if they installed a stove pipe off the peak of the gable it

would not leak.

Question(s):

Chris Sturbaum asks what is venting through the roof beside the chimney. **Rebecca E. Stoops** states the furnace is venting through the roof. **Chris Sturbaum** states that he does not understand the porch roof. **Rebecca** states she sent an example with the application. **Jacob Franklin** states the example would be in the Amended Agenda Packet. **Rebecca E. Stoops** states that she pictured this as a simple shed roof that comes off with a slant with no gable and a couple porticos holding it up. Discussion is held on the use of brackets versus porticos.

Doug Bruce states that he is with **Chris Sturbaum** and likes the brackets versus porticos as this is such a small roof area but porticos are acceptable.

Jeannine Butler makes a motion to accept **COA-27-14**. (Request to re-roof with metal, construct a side porch roof, remove the chimney and add wooden columns to the porches). **Sam DeSollar** seconded. Motion carries 7/0/0. (yes/no/abstain).

Patty Mulvihill submits the **Proposed Findings of Fact for COA-27-14** (Request to re-roof with metal, construct a side porch roof, remove the chimney and add wooden columns to the porches).

1. The Commission finds that replacing the three-tab shingled roof at 407 South Walker Street with a metal roof is appropriate because such a roof type is historically consistent with vernacular rural form houses, a form present on the structure issue.
2. The Commission finds that the existing Chimney at 407 South Walker Street is not original to the house; removing said chimney will not detract from the historic character or from of the original structure or the Greater Prospect Hill Historic District.
3. The Commission finds that the metal awning presently located over the south door of the house at 407 South Walker Street is not original to the late 19th century property; replacing it with a small gabled roof will not diminish the historic character of the original structure or the Greater Prospect Hill Historic District.
4. The Commission finds that the current wrought iron supports on the porch at 407 South Walker Street are not original to the house or historic; removing the wrought iron will not detract from the historic nature or character of either the structure or the Greater Prospect Hill Historic District. Replacing the wrought iron supports with treated lumber columns is appropriate, provided, the replacement columns are of diameter which is consistent with overall historic nature of the Greater Prospect Hill Historic District.
5. The Commission finds that the proposed work to the structure at 407 South Walker Street, as herein described, is consistent with Title 8 of the

Bloomington Municipal Code.

Doug Bruce makes a motion to accept **Proposed Finding of Facts for COA-27-14** (Request to re-roof with metal, construct a side porch roof, remove the chimney and add wooden columns to the porches). **Jeannine Butler** seconded. Motion carries 7/0/0. (yes/no/abstain).

V. **DEMOLITON DELAY**

A. Partial Demolition of 449 South Henderson Owner: Sheree Demming
Enlargement of two basement windows in order to provide egress.

Nancy Hiestand gives her presentation.

Discussion is held about the type and size of the window to be enlarged. Nancy notes this is zoned RH. Nancy asks **Mike Machango** about the type of window. **Mike Machango** states they are 400 series Anderson windows with six sashes built inside. Nancy notes **Elm Heights** is not concerned about any damage to the house. Nancy further adds that the plans have been reviewed and there is enough height in the basement to perform this type of work.

Questions/Comments:

Chris Sturbaum asks if **Nancy Hiestand** thought of making a decision on the STAFF level. **Nancy Hiestand** answers that she did not as this is Demo-Delay which entails the Commission's full review. Nancy notes that even if this was allowable at STAFF level she would have brought before the board due to the neighborhoods concern wit the use of property.

Jeannine Butler comments that she would not want to have to live down there and crawl through the window.

Sam DeSollar asks how large the window wells will need to be to accommodate the emergency egress. **Mike Machango** states they will need to be a 4'x3'. **Sam DeSollar** asks what type of materials will be used to construct the window wells. Sam asks if they will be galvanized steel. **Mike Machango** states they will be constructed out of treated wood. **Mike Machango** states there will be a 2"x4" handrail made of treated wood with a 2"x6" on top, which will be stained.

Discussion is held about the location of the windows as well what else could be used beside wood. **Nancy Hiestand** asks if they could use pipe railing. **Mike Machango** states that he will just leave them out as it is not required since there is no walk way.

Chris Cockerham states the he does not care for the railing however sees the need. Chris further states that this improvement will bring light into the basement.

Jeannine Butler moves that today regarding the property located at 449 S. Henderson Street, the Historic Preservation Commission (HPC) declares that it:

- got notice of proposed demolition, and,
- after today's discussion, sees no need to review the plans any further, and,
- waives the rest of the demolition delay waiting period.

The HPC may later recommend the property for historic designation to the Common Council. **John Saunders** seconded. Motion carries 6/0/1 (yes/no/abstain).

B. Partial Demolition of 608 North College Owner: Holdman Construction Addition in the CD zone on a commercially used residential building.

Doug Bruce notifies the board that he has a conflict as he is the architect for this project and will be abstaining from any vote on this topic.

Nancy Hiestand gives her presentation. Nancy notes the addition will be obscured by vegetation and that all other historic properties have become either residential rentals or have intuitional or business uses. The last owner occupant moved out last year.

Doug Bruce states that the owner has taken this house from day one and have fixed this property up for their accounting firm. Doug states they have tried to retain privacy while adding onto this structure. Doug further states this addition has the potential of being used as a loft if the owners so desire at a later time. **Doug Bruce** invites his clients to come to the table and speak on their needs for this addition.

Diana Holdman states that once they removed the asbestos siding they noticed there was clapboard underneath that they wanted to restore. Diana further states they uncovered original stained glass features that they have restored and reused.

Further discussion is held.

Questions/Comments:

Chris Cockerham asks if the addition is 5' from the property line. **Doug Bruce** states yes, and adds, in order to put openings in the wall they need to stay 5' from the property line and by doing this they do not have to fire rate the addition.

Dave Harstad asks that with all the space, why not do two stories and extend farther into the back yard. **Doug Bruce** states that as they drew the roof line they noticed that the two story addition roof line was literally 12 inches from the existing roof line. Doug further states that this not a true three story but rather a really tall two story, with the option of building a loft in the future if so desired. Doug states this is a design issue. **Diana Holdman** adds that she wanted to keep as much green space as possible.

Chris Sturbaum asks if this structure could be zoned residential or commercial. Someone answers yes. Chris states that his comment is that he likes it.

Sam DeSollar moves that today regarding the property located at 449 S. Henderson Street, the Historic Preservation Commission (HPC) declares that it:

- got notice of proposed demolition, and,
- after today's discussion, sees no need to review the plans any further, and,
- waives the rest of the demolition delay waiting period.

The HPC may later recommend the property for historic designation to the Common Council. **Jeannine Butler** seconded. Motion carries 6/0/1 (yes/no/abstain).

VI. NEW BUSINESS

NO NEW BUSINESS

VII. OLD BUSINESS

A. Rules Change for Staff Approvals (Second Meeting).

Nancy Hiestand gives her presentation. Discussion is held. General consensus is to allow **STAFF** certain abilities to approve or deny special acceptations in accordance with **INDIANA STATE LAW** in order to stream line the process. **Please see suggestions on page 55 in the packet.**

Chris Sturbaum makes a motion to accept the **Amended Bloomington Historic Preservation Rules and Procedures**. **Doug Bruce** seconded. Motion carries 7/0/0 (yes/no/abstain).

B. McDoel Design Guidelines preliminary review

Nancy Hiestand gives her presentation. Discussion is held. **Elizabeth Cox-Ash** gives her presentation and discusses the process she went through to catch the neighborhood up on the elevation status of McDoel Design Guidelines. **Elizabeth Cox-Ash** states the approval today would mean being able to get the ballots out to the homeowners of the McDoel.

Chris Sturbaum makes a motion to accept the McDoel Design Guidelines upon condition of the approval of the residents and City Council action. **John Saunders** seconded. Motion so carries 7/0/0 (yes/no/abstain).

VIII. COMMISSIONERS' COMMENT

NO COMMENTS

IX. PUBLIC COMMENTS

NO COMMENTS

X. ANNOUNCMEMENTS

NO ANNOUNCEMENTS

XI. ADJOURNMENT

Meeting adjourned at 7:00 pm.
END OF MINUTES

BLOOMINGTON HISTORIC PRESERVATION COMMISSION
Thursday August 14, 2014
MINUTES

I. CALL TO ORDER

Meeting is called to order by Chairman, Dave Harstad, at 5:00 pm.

II. ROLL CALL

Commissioners:

Jeannine Butler
Chris Cockerham
Sam DeSollar
Dave Harstad
Marjorie Hudgins
John Saunders
Chris Sturbaum

Advisory:

Leslie Abshier
Jeff Goldin
Derek Richey

Staff:

Lisa Abbott - HAND
Nancy Hiestand - HAND
Jacob Franklin - HAND
Patty Mulvihill - LEGAL
Nate Nickel - PLANNING

Guest(s):

Darla Brown
Jenny Southern

III. APPROVAL OF MINUTES May 5, 2014; May 8, 2014; May 22, 2014.

Marjorie Hudgins makes a motion to accept the minutes from May 5, 2014; May 8, 2014; May 22, 2014. **Sam DeSollar** seconded. Motion carries 5/0/1 (yes/no/abstain).

IV. CERTIFICATE OF APPROPRIATENESS

STAFF APPROVALS

A. COA-28-14

412 West 4th Street Greater Prospect Hill Historic District

Owner: Paolo Fratianni
Request to expand a parking area behind a residential structure adapted as an Inn.

See staff report in packet.

B. COA-29-14
915 E. University St. Elm Heights Historic District
Owner: Frank Helt and Doriet Berkowitz
Request to top an existing stone wall with dressed limestone.

See staff report in packet.

C. COA-30-14
601 S. Park Ave. Elm Heights Historic District
Owner: Barbara Backmura
Request to remove two mature spruce trees on either side of a limestone staircase and wall.

See staff report in packet.

V. DEMOLITION DELAY

A. Partial Demolition 210 South Grant Owner Bruce Storm
Glass enclosure of part of an arcaded front porch on a residential structure adapted for commercial use on the first floor.

Nancy Hiestand gives her presentation. Nancy explains the process of demolition delay to the new commissioners and advisory members.

Comment(s)/Question(s):

Chris Sturbaum states that it is too bad no one is here for this petition in order to have a discussion. Chris further states he believes that using vinyl siding to fill in the windows will look crummy. Chris suggests using fiber board and framing the window in.

Sam DeSollar seconded what **Chris Sturbaum** states. Sam asks if they are removing original windows. Nancy states she is not sure.

Discussion is held on where the entrance of the restaurant will be.

John Saunders states that he likes what **Chris Sturbaum** suggests of doing something different with the siding around the windows.

Dave Harstad states that he would think **Bruce Storm** would work with **Nancy Hiestand** the commission on the color and details of the finished look.

Jeannine Butler moves that today regarding the property located at 210 S. Grant Street, the Historic Preservation Commission (HPC) declares that it:

- got notice of proposed demolition, and,
- after today's discussion, sees no need to review the plans any further, and,
- waives the rest of the demolition delay waiting period.

The HPC may later recommend the property for historic designation to the Common Council. **John Saunders** seconded. Motion carries 6/0/0 (yes/no/abstain).

VI. NEW BUSINESS

A. Resolution to omit paint color review from McDoel, Prospect Hill, and Garden Hill Historic Districts.

Nancy Hiestand gives her presentation. Discussion is held. General consensus is to omit paint color review from McDoel, Prospect Hill, and Garden Hill Historic Districts. This recommendation will be forwarded to Council so that the ordinances can be modified.

Marjorie Hudgins moves to accept the **Resolution of The City of Bloomington Historic Preservation Commission** as presented in this meetings packet.

Jeannine Butler seconded. Motion carries 6/0/0 (yes/no/abstain).

B. Application for a Consulting Grant for 223 W. 6th St..

Nancy Hiestand gives her presentation and asks for a \$400.00 Consulting Grant for 223 W. 6th St. (Little Zagreb). Discussion is held.

Dave Harstad asks if there is a limit or match that needs to happen? **Nancy Hiestand** states that they try to keep it to three projects a year.

Chris Cockerham makes a motion to grant the Application for a Consulting Grant for the property located at 223 W. 6th St.. **Jeannine Butler** seconded. Motion carries 7/0/0 (yes/no/abstain).

C. Discussion concerned the deteriorating walls around a residential property in Greater Prospect Hill. 322 S. Buckner St. is bordered with different style retaining walls.

Nancy Hiestand gives her presentation. Discussion is held on the types of retaining walls. Further discussion is held on how to repair and maintain the drainage of the walls. General consensus is to prepare for this topic as there are many factors that can damage this type of wall.

Dave Harstad asks **Chris Sturbaum** if there is a reason to have a "best practice" guide for homeowners in a historic district. **Chris Sturbaum** answers that it wouldn't hurt.

Sam DeSollar states that he has seen contractors come in to a job, take a backhoe, tear the wall down just to rebuild it and backfill without installing proper drainage.

Nancy Hiestand states that it would be good to have a "best practice" outline and an alternative materials list. Nancy further states that McDoel will allow alternative materials in there guidelines.

D. Apartment Building on Second and Fess that is in major disrepair and is receiving citations. Owned by Tom Winger.

Nancy Hiestand gives her presentation. Nancy notes that permits are not being pulled for some of the work and may not be required to according to the Monroe County Building Department. Nancy states this could be a problem as it does not raise a flag to this commission when work is ongoing.

Jenny Southern discusses the property and what has been missing and or repaired. Jenny states the copper, brass and other valuable metals are being taken off of the building.

Chris Sturbaum asks **Jenny Southern** if she thinks the owner is removing these materials. Jenny answers she is not sure if the current owner is doing this.

Lisa Abbott states this property is not designated and would have to be before it needs a COA form this Commission.

Discussion is held about the designation process. General consensus is to hold off and try to talk with the owner.

E. Nancy Hiestand discusses the window repair workshop. Nancy mentions the possibility of purchasing tools (like a heat gun) to help with the repair of historic windows. This might be a tool that can be loaned out to promote the restoration.

Jeannine Butler thanks **Nancy Hiestand** for her hard work on the University Courts Design Guidelines. **Marjorie Hudgins** concurs.

VII. OLD BUSINESS

No old business

VIII. COMMISSIONERS' COMMENTS

No commissioners' comments

IX. PUBLIC COMMENTS

No public comment

X. ANNOUNCEMENTS

No announcements

XI. ADJOURNMENT

Meeting adjourned at 6:04 pm

BLOOMINGTON HISTORIC PRESERVATION COMMISSION
Thursday January 8, 2015
MINUTES

I. CALL TO ORDER

Meeting is called to order by Chairman, Dave Harstad, at 5:00 pm..

II. ROLL CALL

Commissioners:

Jeannine Butler
Chris Cockerham
Sam DeSollar
Dave Harstad
Marjorie Hudgins
John Saunders
Chris Sturbaum

Advisory:

Leslie Abshier
Jeff Goldin

STAFF:

Lisa Abbott - HAND
Nancy Hiestand - HAND
Jacob Franklin - HAND
Patty Mulvihill - LEGAL
Nate Nickel - PLANNING & TRANSPORTATION

Guests:

Frank Spence - Herndon Designs

III. APPROVAL OF MINUTES

No minutes

IV. CERTIFICATE OF APPROPRIATENESS

STAFF APPROVALS

A. COA-46-14

1021 West Wylie

Owner: Noam and Mirjam Zadoff

Full light storm door on the front entrance.

Staff recommends approval. See STAFF report in packet.

FULL COMMISSION REVIEW

29

A. COA-1-15

520 West Howe
Greater Prospect Hill Historic District
Petitioner: Doug Wissing
Addition of a rear dormer bedroom and bath

Pulled from review. Petitioner is out of the country.

B. COA-2-15

600 West 4th Street
Owner: Roxanne Flower
Petitioner: Herndon Design Inc.
Partial demolition and addition of space on the rear of a corner house.
Construction of a garage with studio space above.

Nancy Hiestand gives her presentation. Nancy notes that the addition currently on the house is typical in the neighborhood, but poorly constructed and encroaching on the right-of-way. The proposal will organize the space better. Nancy further notes that a new structure like this with studio space has been approved in Elm Heights.

Frank Spence adds that parts of this structure was poorly constructed. This will help the owner with flexibility within her structure.

Questions:

Chris Cockerham asks what type of utilities the structure will have. **Frank Spence** answers that it will be open construction with plumbing.

Sam DeSollar asks how high the structure is relative to the house. **Frank Spence** states the addition is about 18 feet high. It will be slightly taller than the house. **Sam DeSollar** asks what type foundation the structure will have. **Frank Spence** states that it will be block. Sam asks what type of roofing materials will be used for the different roof pitches. Frank states the garage will have a standard asphalt shingles on the main roof and a membrane on the dormers. **Sam DeSollar** asks if there will be cement board and batten. **Frank Spence** states it will not be cement board but possible plywood with a simulated board matte. **Sam DeSollar** asks what type of windows will be used. **Frank Spence** answers wooden framed windows.

Chris Sturbaum states that the east elevation is what face of the structure and asks why there is not a door on this side. **Frank Spence** states the door will be facing her house.

Comment(s):

Sam DeSollar comments that he wants to reiterate his comments on the foundation with his view towards limestone. Sam further states that the roof lines on the home and garage will not read as if they are matching based on the elevations.

Jeff Goldin states that when he first saw this project he liked it. Jeff further states that by walking through the neighborhood you will see many different out buildings like this garage and that this building fits in well.

Chris Sturbaum comments that adding a window in the garage space and eliminate the blank wall look and will bring in more light. Chris further states that the window above the garage door seems out of scale and a bit tall. **Frank Spence** states that the idea was for light and it is needed for egress.

Marjorie Hudgins suggests installing more windows for light especially as she is an artist.

Jeannine Butler makes a motion to accept **COA-2-15**, 600 West 4th Street, partial demolition and addition of space on the rear of a corner house plus a free standing garage structure with studio space above. **Marjorie Hudgins** seconded. Motion carries 7/0/0 (yes/no/abstain).

Patty Mulvihill submits the Proposed Findings of Fact for COA-2-15 (Construction of a rear addition and a freestanding garage/studio at 600 W. 4th St.).

1. The Commission finds that the construction of a rear addition to 600 W. 4th St. uses cement board siding which is an appropriate material that is consistent with the Greater Prospect Hill Historic District's Design Guidelines.
2. The Commission finds that proposed rear addition to 600 W. 4th Street will change the look of the structure it is still appropriate for two reasons: the view of the modification will be minimized by its placement on the lot and the new windows will still be proportional to the existing windows.
3. The Commission finds that the proposed rear addition to 600 W. 4th St. is appropriate and consistent with the historic nature of the Greater Prospect Hill Historic District as well as being appropriate and consistent with the structure at 600 West 4th Street itself.
4. The Commission finds that the construction of a free-standing garage in the rear of 600 West 4th Street is appropriate and consistent with both the Greater Prospect Hill Design Guidelines and Title 8 of the Bloomington Municipal Code.
5. The Commission finds that the proposed materials for the garage at 600 West 4th Street are appropriate and consistent with the historic character of the Greater prospect Hill Historic District.

Marjorie Hudgins makes a motion to accept the **Proposed Findings of Fact for COA-2-15** (Construction of a rear addition and a freestanding garage/studio at 600 W. 4th St.). **Jeannine Butler** seconded. Motion carries 7/0/0 (yes/no/abstain).

V. NEW BUSINESS

A. Dave Harstad states he was thinking of public art and how it relates to preservation as well as the 150th Anniversary of the end of the Civil War and the limestone statues on the Courthouse Square are in need or repair. Dave states that it would be wonderful to repair these statues in time for the anniversary. Dave states this may be a preservation month endeavor or maybe not. Discussion is held, general consensus is that this would be a wonderful project.

B. Chris Sturbaum brings up designating the Tech Park. Chris states it is a topic that has been brought up and he would like to see it implemented. Chris states we need to make a motion to hear this at the next meeting.

Chris Sturbaum makes a motion to hear the designation of the Showers Building at Tech Park during the BHPC Regular Meeting scheduled for February 12, 2015. **Dave Harstad** seconded. Motion carries 7/0/0 (yes/no/abstain).

Nancy Hiestand notes that the **Jeannine Butler, Dave Harstad** and **John Saunders** have all been re-appointed to this commission.

VI. OLD BUSINESS

A. Realtors luncheon reprise

Nancy Hiestand gives her presentation. Nancy was there to try and inform the Board of Realtors how to look up to see if a property is in a historic district. Those in attendance state that **Nancy Hiestand** did a wonderful job.

B. Awards (removed)

C. Chris Sturbaum informs the Commission that **Nore Winters** will be in town and invites all to meet at Samira Restaurant at 5:30 pm, January 14th, 2015 to discuss previous and upcoming plans for the downtown area. There is enough interest to notice this meeting.

D. Discussion is held on preservation month. Dale Hepford is to repair a circa 1906 clock that was originally in the Monon Station, which is one in three in the country. The clock will be dedicated and is to be a permanent fixture in City Hall.

VII. COMMISSIONERS' COMMENTS

No Commissioners' comments

VIII. PUBLIC COMMENTS

No public comment

IX. ANNOUNCEMENTS

No announcements

X. ADJOURNMENT

Meeting adjourns at 5:45 pm.

BLOOMINGTON HISTORIC PRESERVATION COMMISSION
Thursday January 22, 2015
MINUTES

I. CALL TO ORDER

Meeting is called to order by Vice-Chairman, Doug Bruce, at 5:00 pm.

II. ROLL CALL

Commissioners:

Doug Bruce
Jeannine Butler
Sam DeSollar
Marjorie Hudgins
Marleen Newman Arrived at 5:15 pm
John Saunders
Chris Sturbaum

Staff:

Nancy Hiestand - HAND
Lisa Abbott - HAND
Jacob Franklin - HAND
Patty Mulvihill - LEGAL
Nate Nickel - PLANNING & TRANSPORTATION
Beth Rosenbarger - PLANNING & TRANSPORTATION

Advisory:

Leslie Abshier
Duncan Campbell
Jeff Goldin
Derek Richey

Guest(s):

Mathew Waters - B-Town Coins
Ben Fraser - B-Town Coins
Samuel Sveen - Uel Zing Coffee

III. APPROVAL OF MINUTES

No minutes to approve

IV. CERTIFICATE OF APPROPRIATENESS

STAFF APPROVALS

A. COA-5-15

1100 East 2nd Street

Owner: Marcia Baron and Fred Schmitt

28

Removal of a tree and replacement of a salvage matching wooden window in an existing frame on the garage.

See STAFF report in packet

FULL COMMISSION REVIEW

A. COA-3-15

727 West Kirkwood

Greater Prospect Hill Historic District

Petitioner: Matthew Waters, B-TOWN Coins and Jewelry

Representative: Louis Levato

Signage package for a building on the corner of Maple and West Kirkwood

Nancy Hiestand gives her presentation. Nancy notes that in 2014 the Commission passed signage at this location that was 102 inches x 30.5 inches which had attachments that ended up making the overall sign 52 inches tall in size. The previous petitioners sign was made of iron and wood. Nancy further notes that the current petitioners have taken the signs from their previous building. Nancy states that the decision must be based on the **Secretary of the Interior Standards** (see packet for standards), in lieu of guidelines for signage..

Matthew Waters adds that these signs came from their last location. Matthew states that he needs as much signage as possible, he is a small business owner.

Question(s):

Jeannine Butler asks if the sign on the side of the building will cover any windows. Matthew states no and passes around a picture.

Chris Sturbaum asks if a sign is really needed on the side of building if they have a sign on the front of the building. **Louis Levato** states that when people drive east bound on West Kirkwood they will be able to see the sign as opposed to having to be right in front of the store. **Ben Fraser** adds that it may help keep the flow of traffic moving through people seeing what the building is instead of trying to sneak a peek at the front of the building. **Matthew Waters** states that each sign is important. **Matthew Waters** states that he can lower the sign a little bit.

Comment(s):

Marjorie Hudgins states that it seems like a lot of signage. She asks if they really need neon signs and the regular signs. **Matthew Waters** asks if this is a question. **Marjorie Hudgins** states that it is a comment not a question.

Jeff Goldin comments that he has no problems with either the front or side signs.

Derek Richey comments that he is not a 100% fan of the sign that is going to be

placed on the side of the building. Derek further states he concurs with **Jeff Goldin**.

John Saunders states he agrees with **Derek Richey** and **Jeff Goldin**.

Chris Sturbaum states that if the Commission is going to pass this he would like to see the sign moved down below the window and off to the side a little.

Marleen Newman states she likes the signs and would like to see a border. Marleen further states that the signs seem like part of the building and the border would make it stand out. Marleen states that keeping the sign away from other objects like windows, roof lines and edge of buildings will also help.

Leslie Abshier states that she likes the signs and adds that they are a bit bigger than necessary.

Sam DeSollar states that he agrees with a lot of the previous comments. Sam states that dropping the signs a little will really help out.

Discussion is held on how to adjust the signs and put a border on them.

Doug Bruce comments that he would like to see the wall sign on the west side wall dropped and moved to under the window on the side.

Jeannine Butler makes a motion to approve **COA-3-15** with two conditions. First, that the sign be bordered with tape or paint. Second, that the side sign is below the window. **Chris Sturbaum** seconded. Motion carries 7/0/0 (yes/no/abstain).

Patty Mulvihill submits the **Proposed Findings of Fact for COA-3-15** (Signage package for a building on the corner of Maple and West Kirkwood).

1. The Commission finds that the proposed sign installation at 727 West Kirkwood Avenue is compatible with the historic character of the structure itself.
2. The Commission finds that the proposed sign installation at 727 West Kirkwood Avenue is compatible with the overall historic character of the Greater Prospect Hill Historic District.
3. The Commission finds that the proposed sign installation at 727 West Kirkwood Avenue is not a permanent modification of the historic structure nor does it purport to damage any historically or architecturally significant features on the structure.

Sam DeSollar makes a motion to accept the **Proposed Findings of Fact for COA-3-15** (Signage package for a building on the corner of Maple and West Kirkwood). **Jeannine Butler** seconded. Motion carries 7/0/0 (yes/no/abstain).

B. COA-4-15

725 West Kirkwood

Petitioner: Uel Zing Coffee

Sign on a retail bay with frontage on West Kirkwood

Nancy Hiestand gives her presentation. Nancy adds that when considering this petitioner's sign to also consider the total look of the building with the sign that was just approved at 727 W. Kirkwood Ave.

Samuel Sveen adds that he has a few designs for a sign but is open to suggestions.

Question(s):

Sam DeSollar asks what is behind the current sign. Nancy answers that it is a bulkhead created by the elevation of a ceiling.. Sam states that anything that is put there in place of the current sign will be a benefit.

Chris Sturbaum asks if he is willing to reverse the color scheme. **Sam Sveen** states that he has thought about it. Sam states that he will urethane the wood but likes the look of natural pine. Sam also states that he would like to paint the exterior wall of the storefront white to tie the sign and building together. Discussion is held about possible colors for the sign.

Marleen Newman asks if he would consider putting a border on the sign as to help it stand out. Discussion is held about the design and color scheme. **Sam Sveen** answers that if the sign is downsized there will be a green border due to the face of the parapet.

Duncan Campbell asks what type of material the parapet is made out of. **Sam Sveen** states that it is OSB or pressed board. Sam further states that it is rotting and chunks of the board are coming off. Sam states he will be removing the existing board and replacing it with the pine.

Discussion is held on the type of photo design that is presented. **Duncan Campbell** and **Derek Richey** would like to have a more accurate rendition because the sign is in front of a tree as well as a pole going through the actual sign placement. The photo is not showing the actual look of the sign.

Sam Sveen states he is open and has not made the sign yet. Sam states that he tried to send a few styles but the photo did not look very accurate.

Chris Sturbaum asks **Sam Sveen** if he had some time before a decision is made as he doesn't feel this is ready to approve at this point. **Sam Sveen** states that his

Grand Opening is January 31st, 2015 and he would like to get this approved to meet that date.

Marjorie Hudgins asks how visible the sign will be from the street if it is a natural pine color with brown and yellow lettering. **Sam Sveen** answers that he is not sure but he can change the color scheme.

Doug Bruce asks if he has thought about how the pine boards will react to the outdoor elements. **Sam Sveen** answers that he will replace them after a few years and obtain better signage once his company has taken off a little. Doug mentions using treated lumber. Discussion is held on treated lumber versus untreated.

Comment(s):

Nate Nickel comments that the sign lettering is as large as it can be per PLANNING requirements.

Doug Bruce comments that he likes the look of pine versus the neon (all yellow) sign that was presented. Doug also states that he would like to see Sam use treated lumber. Doug further comments that treated lumber is more green in appearance due to the preservatives that are used. Doug also states that he is for painting the front of the store white.

Sam DeSollar comments that the sign is going to cover up the deteriorating material. Sam also comments the he does not have a problem with the wood sign nor the yellow color. Sam states that he thinks the petitioner needs as much signage as he can get.

John Saunders states that he thinks a border will help the sign stand out.

Duncan Campbell comments that he does not like the yellow color of the sign as it looks like a curb paint. Duncan does state that he understands why the sign is yellow. Discussion is held on what types of materials are used for signage. Duncan states he would take off the existing OSB and replace it with something water proof. Duncan states he likes the idea of natural wood with dark lettering.

Leslie Abshier comments that she likes the signage as presented. Leslie states that the yellow goes with the neighborhood as there are a lot of different colors schemes within the neighborhood.

Marleen Newman comments that everyone is worried about the deterioration of the wood materials and asks if he would consider corrugated materials.

Chris Sturbaum states that if the sign stays yellow then he would like to see a border on the sign.

Derek Richey comments that he agrees with the border and adds that before they approve the sign that he would like to see a rendition. Derek states that the current rendition does not give him a good view of what the actual sign will look like.

Jeff Goldin comments that he agrees with **Derek Richey**. Jeff further states that when he first saw the yellow sign that he was turned off immediately. Jeff states a smaller sign with a back ground and frame would make the sign.

Jeannine Butler states that she likes the sign, likes the color and would agree with **Duncan Campbell** on making the sign smaller will show separation of his building from the adjoining unit.

Marjorie Hudgins states that she agrees with the yellow sign, border and that it should be smaller to break up the buildings.

Sam Sveen states that he likes a clean look however he does not like the border. Sam further states that he will put a border on the sign if he has to but would prefer not to. Sam states that he does not want to have a trendy sign.

Discussion is held on the lettering color and size, bulk head, and framing.

Sam Sveen notes that there is a pole that the sign will need to straddle.

Discussion is held on how to compensate for the pole. General consensus is to hold the sign out away from the parapet so the sign will be continuous. It is noted that by doing so may create a problem with nesting of animals.

Jeannine Butler makes a motion to accept **COA-4-15** with the condition(s) of the damaged material be removed and replaced, a wooden sign of a 2x12 be installed, containing a yellow border with the same dimensions as the lettering that will be brown as well as the lettering and permission to paint the storefront white. **Sam DeSollar** seconded. Motion carries 5/0/0 (yes/no/abstain).

Patty Mulvihill submits the **Proposed Findings of Fact for COA-4-15** (Sign on a retail bay with frontage on West Kirkwood).

1. The Commission finds that the proposed sign installation at 725 West Kirkwood Avenue is compatible with the historic character of the structure itself.
2. The Commission finds that the proposed sign installation at 725 West Kirkwood Avenue is compatible with the overall historic character of the Greater Prospect Hill Historic District.
3. The Commission finds while the proposed sign installation at 725 W. Kirkwood Avenue includes the removal and repair of damaged materials, it also finds that the installation does not purport to damage any historically or architecturally significant features on the structure.

Jeannine Butler makes a motion to accept the **Purposed Findings of Fact for COA-4-15** (Sign on a retail bay with frontage on West Kirkwood). **Sam DeSollar** seconded. Motion carries 5/0/0 (yes/no/abstain).

V. NEW BUSINESS

Nancy Hiestand talks about the Showers Garage, which is listed on the National Register as a group. Nancy states that we (Commission) wanted people to look at this as a restoration as part of the Tech Park project, but knew this would be difficult to save. **Nancy Hiestand** states **Warren Ketchel** and **Jason Krothe** are putting forth a response to an **Request for Proposal (RFP)** for this building and before their presentation to the **Certified Tech Park (CTP)** they need to have plans drawn. Nancy further states, part of that will be adapting this building for office use. Warren and Jason are requesting a \$400.00 Consulting Grant for that purpose.

Chris Sturbaum makes a motion to grant the \$400.00 Consulting Grant to **Warren Cutshall** and **Jason Krothe**. **Margie Hudgins** seconded. Motion carries 6/0/0 (yes/no/abstain).

Nancy Hiestand gives her presentation of two possible Demolition projects. Both will be **ONSITE MEETINGS** with the first being **1505 W. 3rd St. on 2.2.15 at NOON** and the other being **417 E. 9th St. on 2.4.15 at NOON**.

This was decided by a show of hands.

Lisa Abbott discusses the noticing of the **CTP** and asks the Commission to postpone discussion to the February 26th, 2015 meeting.

Jeannine Butler moves that the Commission reviews the **CTP** on the February 26, 2015 meeting. **John Saunders** seconded. Motion carries 5/0/0 (yes/no/abstain).

VI. OLD BUSINESS

- A. Awards
- B. Nore Winter visit

VII. COMMISSIONERS' COMMENTS

No Commissioners' comments

VIII. PUBLIC COMMENTS

No public comments

IX. ANNOUNCEMENTS

No Announcements

X. ADJOURNMENT

Meeting adjourned at 6:40 pm.

STAFF APPROVAL

Summary

Request for a concrete ramp and reconstructing a back porch area (deck) to provide accessibility for a rear door and widening of rear door.

COA-06-15

**1106 South Rogers
McDoel Historic District
Owner: Patricia Suits**

Zoning RC

167 C 1106 House; Arts and Crafts/ California Bungalow, c.1929 BHD

This is a small frame house with a brick porch and a rear garage served by two alleys.



The owners are aging and wish to construct a ramp to access their back door from the driveway off of Rogers Street.

The ramp will be concrete with a gradual rise along the north side of the house. An existing wood deck will be replaced with concrete and the back door will be widened to accommodate wheel chairs. A wrought iron railing will surround the rear deck area and the ramp. This plan was submitted to the neighborhood and approved.

RAMPS AND EXTERIOR MODIFICATIONS FOR AGING IN PLACE:
Because McDoel has many retirees, the neighborhood prioritizes accessibility.

Preferred

The preferred location of ramps is away from front facade of the house.

Acceptable

Ramps are generally permitted, front or rear of lot.

From The McDoel Guidelines:

Staff Discussion: Construction of the ramp

with concrete is much less visually obtrusive than construction with treated wood. The improvements will only be visible along the north side of the house. The McDoel Guidelines clearly indicate a great deal of flexibility because of the demographic characteristics of the neighborhood.



Summary

Request to add a dormer and additional attic space to the rear of a house.

COA-1-15

**520 West Howe
Greater Prospect Hill Historic District
Owner : Doug Wissing**

90 C 526 (520) House; Queen Anne/ Gabled-ell, c.1900

RC Zoning



This is a modest gabled -ell with a chamfered bay that was originally restored 15 years ago along with the shotgun house next to it. The aerial shows a simple cross gable footprint with a shed roof addition to the rear. The first floor is around 1086 square feet, according to City GIS information. The owner wishes to create useable living space in the attic. This will involve creating another rear facing gable and bridge to the existing rear gable.

EXISTING CONDITIONS

The house is constructed of wood clapboard with wood trim. The proposal adds approximately 549 square feet to the structure, most of it being developed within existing space that will be adapted for habitation as a bedroom, bathroom, closet and storage area. The proposed design will make most of this invisible from the front. An alley alongside the west elevation (continuous with Jackson) allows a partial public view of the secondary elevation that will be modified. This house



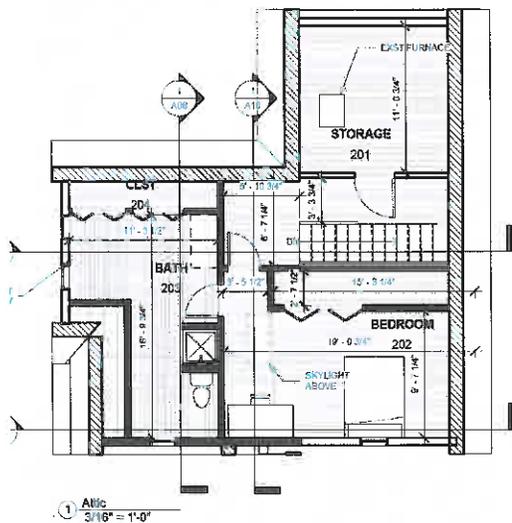
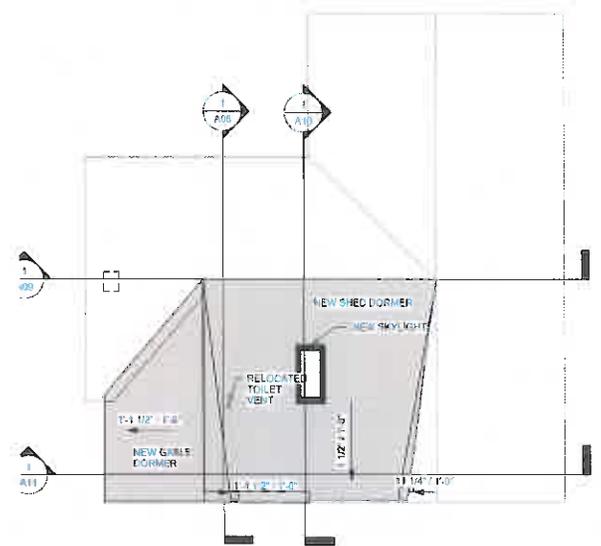
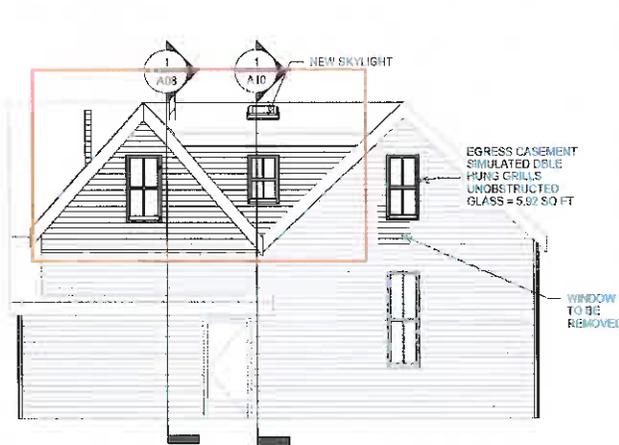
is clapboard sided with a flat reveal. It has the wide traditional foundation band boards and vertical board corners.



EXISTING
Rear Elevation showing rear gable on the west side and shed roof single story addition to the east

PROPOSED :
north elevation: adds dormer and bridge

roof modification



These three drawings show the interior floor plan, roof plan and rear elevation of the new construction. The alley is located to the right in all of these drawings.

Fenestration:

The proposed new windows will be vinyl clad wood. The new windows are as follows:
North side: Two new gable windows. One a casement with doubled hung grills for egress. a skylight between the two gables and a new smaller window in the roof bridge.
East Elevation: two small windows under the gable.

Roofs:

The modifications will be primarily on the north and east sides of the house., including a new gable and bridge roof. This will not impact the traditional appearance of the gabled-ell form from Howe Street, the primary facade.

Materials

Siding will be cement board on the addition and vinyl clad wood windows.

From the Guidelines for Greater Prospect Hill Historic District

V. GUIDELINES FOR ADDITIONS

The following Additions exceptions are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guideline exceptions are necessary to

address the elevation of the Prospect Hill Conservation District to a Historic District.

Additions Guidelines follow the **New Construction Guidelines** with the following exceptions:

- 1. Materials Exception:** Use of materials currently on the existing structure can be continued on the Addition.
- 2. Building Outline and Mass Exception:** Excessive impact to the public way façade should be discouraged.
- 3. Fenestration* Exception:** Increased design flexibility for additions on non-public way façades may be considered.

*Fenestration: The arrangement, proportioning, and design of windows, doors and openings.

Staff Discussion:

This proposal does not change the original materials visible from the primary street (Howe). It minimizes the view of the modifications from the alley by placing construction mostly on the northeast corner of the structure. It does not enlarge the footprint of the house.

New windows will be proportional to existing windows, although smaller and be placed on secondary facades (east and north). Some will be egress windows made to look like double hung.

Siding (cement board) will be consistent with acceptable uses on additions and will not involve replacement on the principal facade.

The front massing, height and setbacks will remain the same.

Staff recommends approval. Because of the holidays this report was sent late to the subcommittee. A report of their opinion will be made at the hearing.

HOWE STREET RENOVATION

520 Howe Street
Bloomington IN



① PERSPECTIVE OF NEW DORMER 2

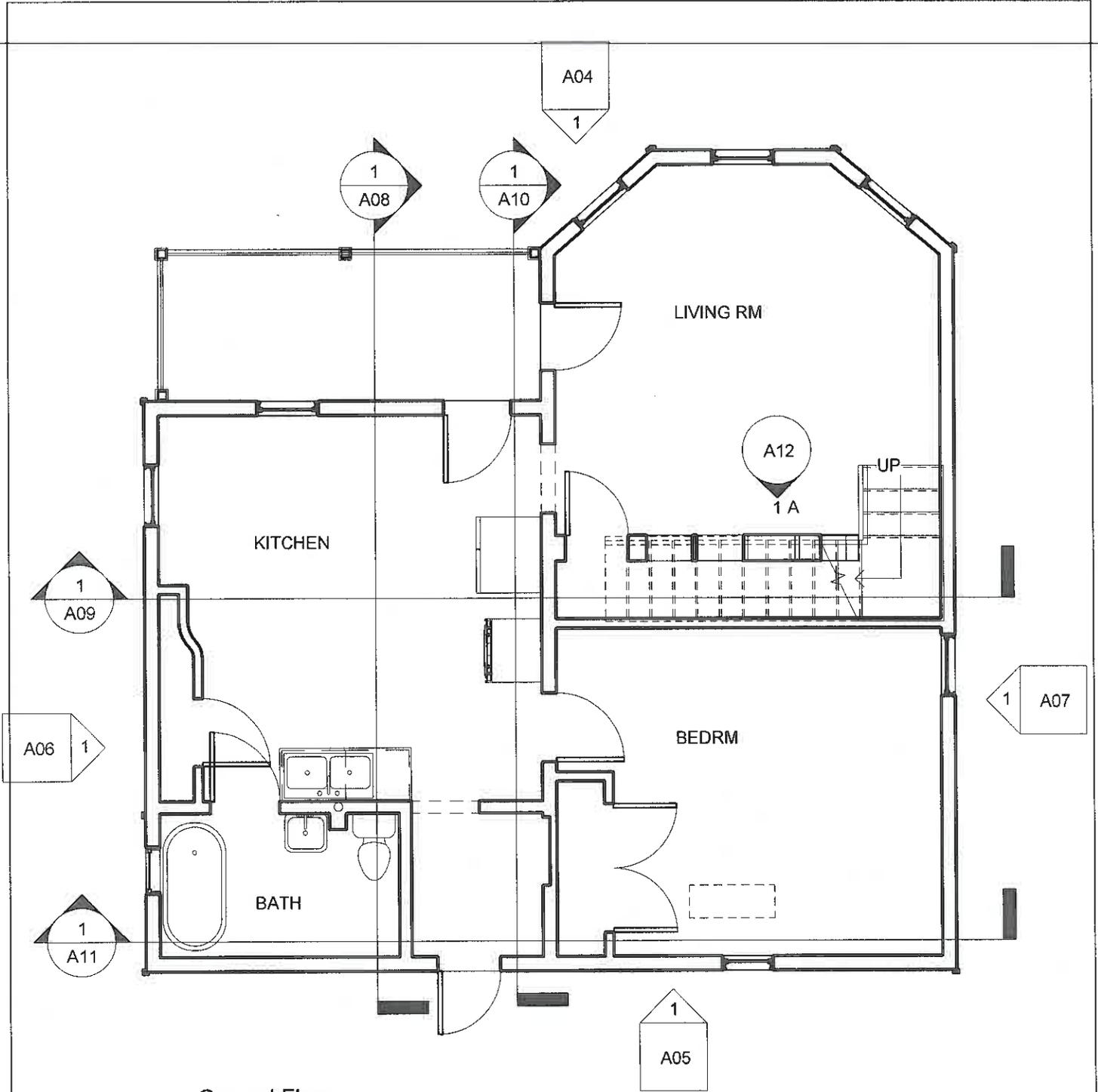
Sheet List	
Sheet Number	Sheet Name

D01	DEMO PLAN, GROUND
A01	GROUND FLOOR PLAN
A02	ATTIC FLOOR PLAN
A03	ROOF PLAN
A04	SOUTH ELEVATION
A05	NORTH ELEVATION
A06	WEST ELEVATION
A07	EAST ELEVATION
A08	BUILDING SECTION
A09	BUILDING SECTION
A12	INTERIOR ELEVATIONS
A10	BUILDING SECTION
A11	BUILDING SECTION
A13	SCHEDULES
A14	PERSPECTIVE
A15	PERSPECTIVE
A16	PERSPECTIVE
A17	PERSPECTIVE

NOT FOR
CONSTRUCTION

COVER SHEET

Project number	Project Number	A00
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	



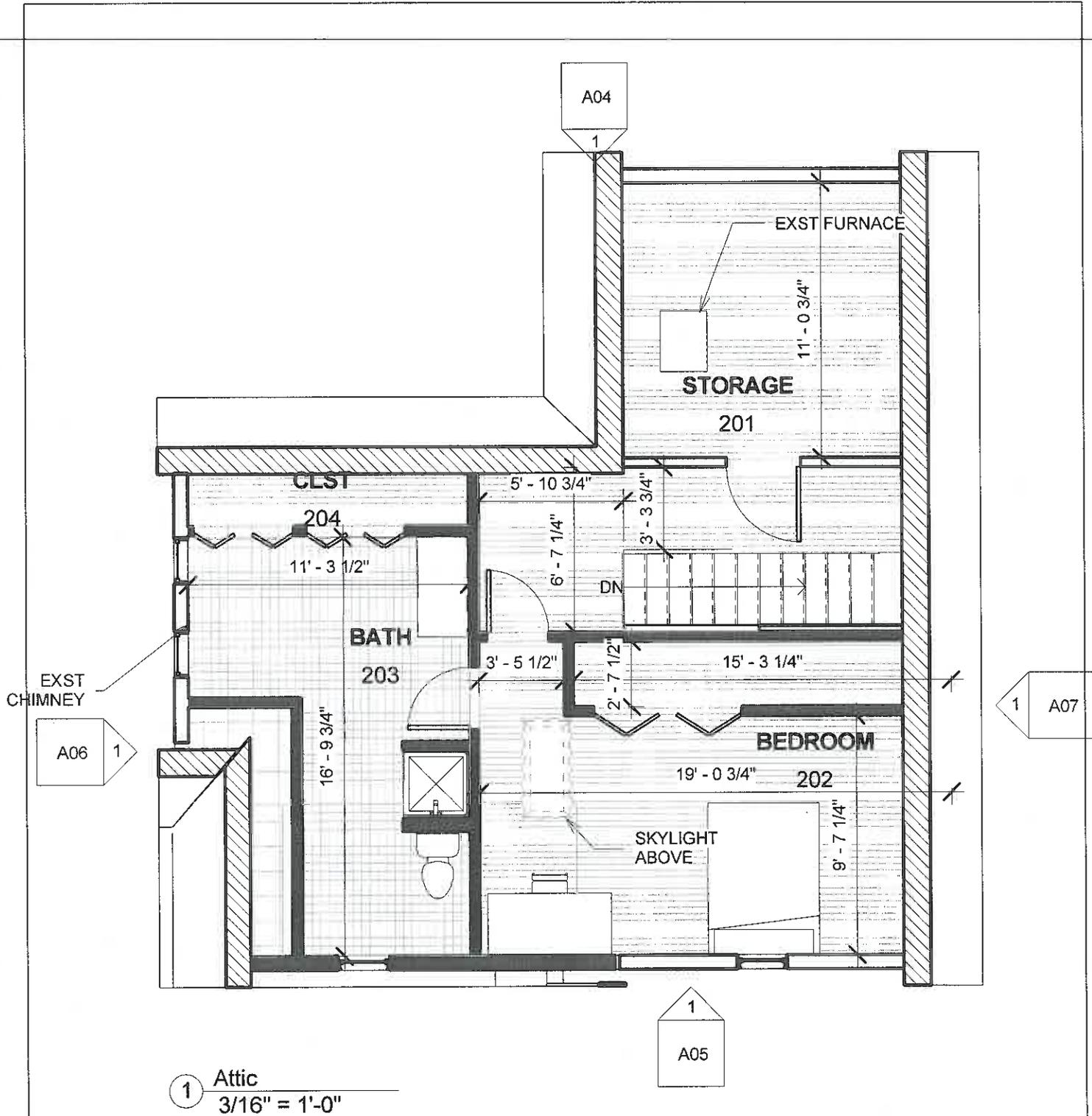
① Ground Floor
3/16" = 1'-0"

**NOT FOR
CONSTRUCTION**

GROUND FLOOR PLAN

Project number	Project Number	A01
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

41



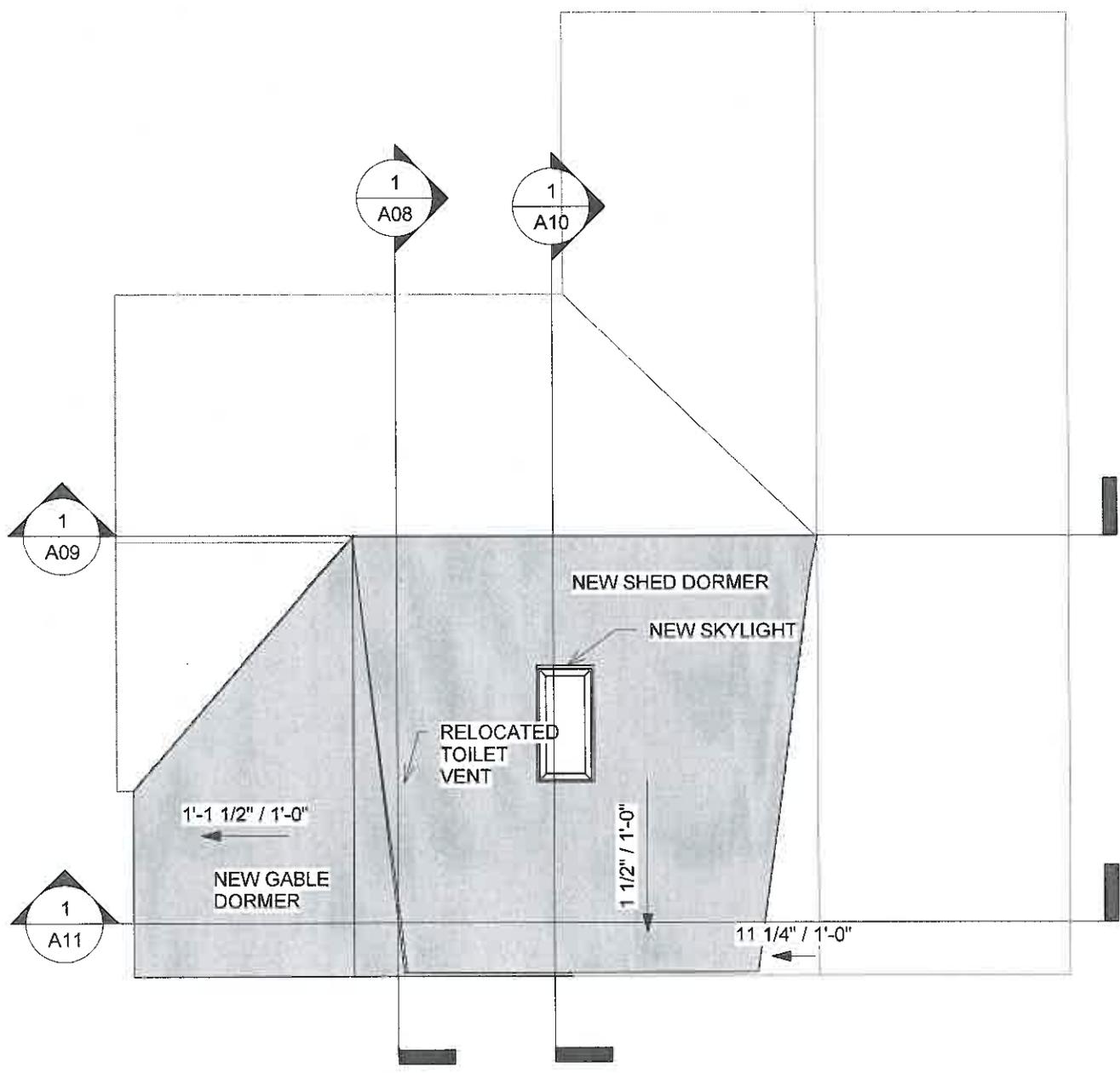
① Attic
3/16" = 1'-0"

**NOT FOR
CONSTRUCTION**

ATTIC FLOOR PLAN

Project number	Project Number	A02
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

42



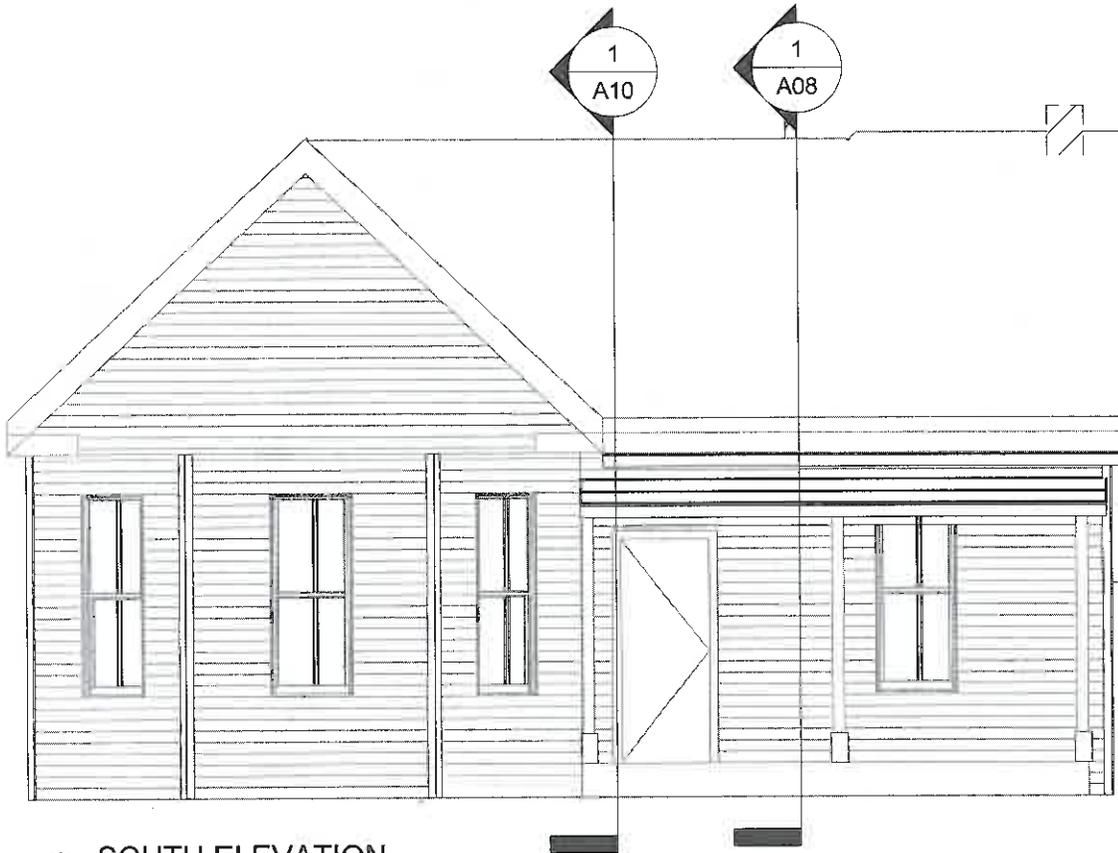
① Roof
 $\frac{3}{16}'' = 1'-0''$

**NOT FOR
 CONSTRUCTION**

ROOF PLAN

Project number	Project Number	A03
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale $\frac{3}{16}'' = 1'-0''$

4/3



① **SOUTH ELEVATION**
3/16" = 1'-0"

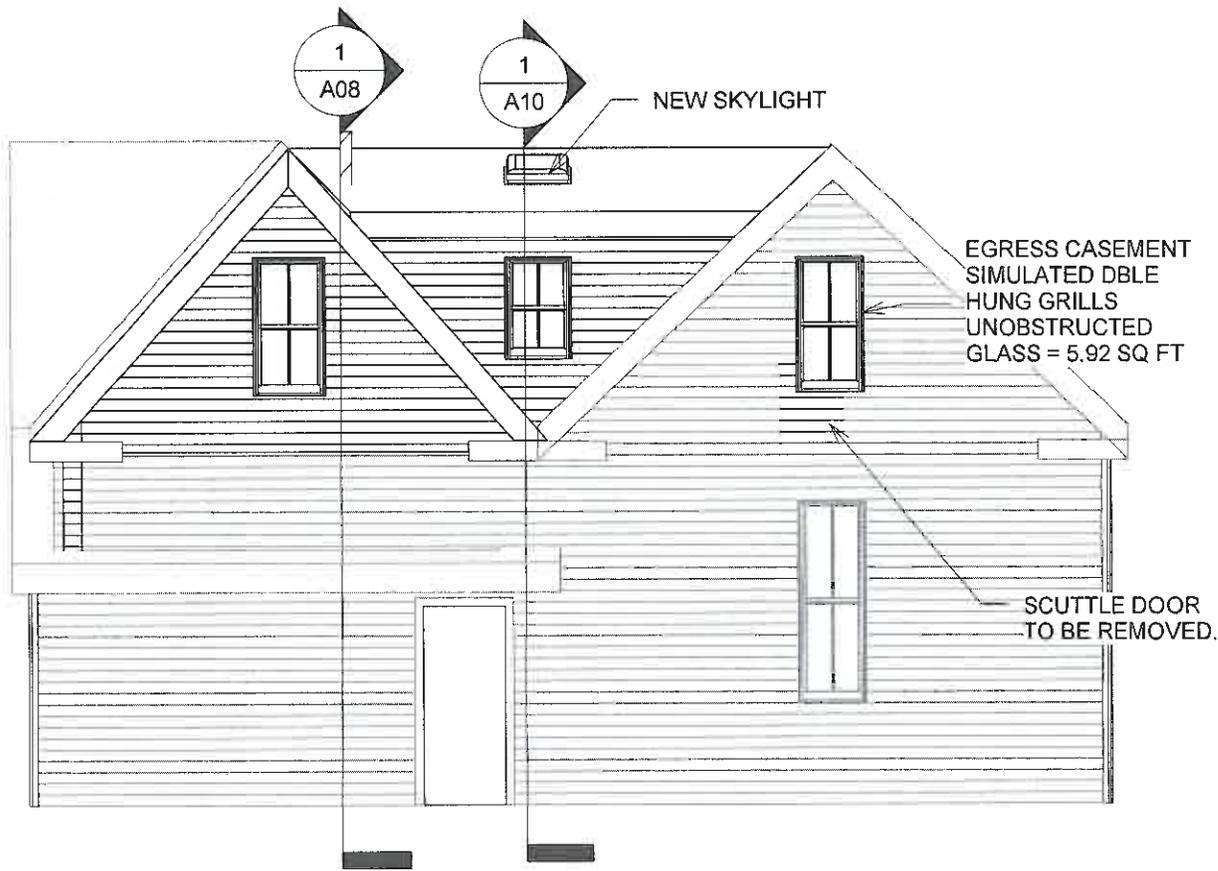
NO WORK ON THIS ELEVATION

**NOT FOR
CONSTRUCTION**

SOUTH ELEVATION

Project number	Project Number	A04
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

ef



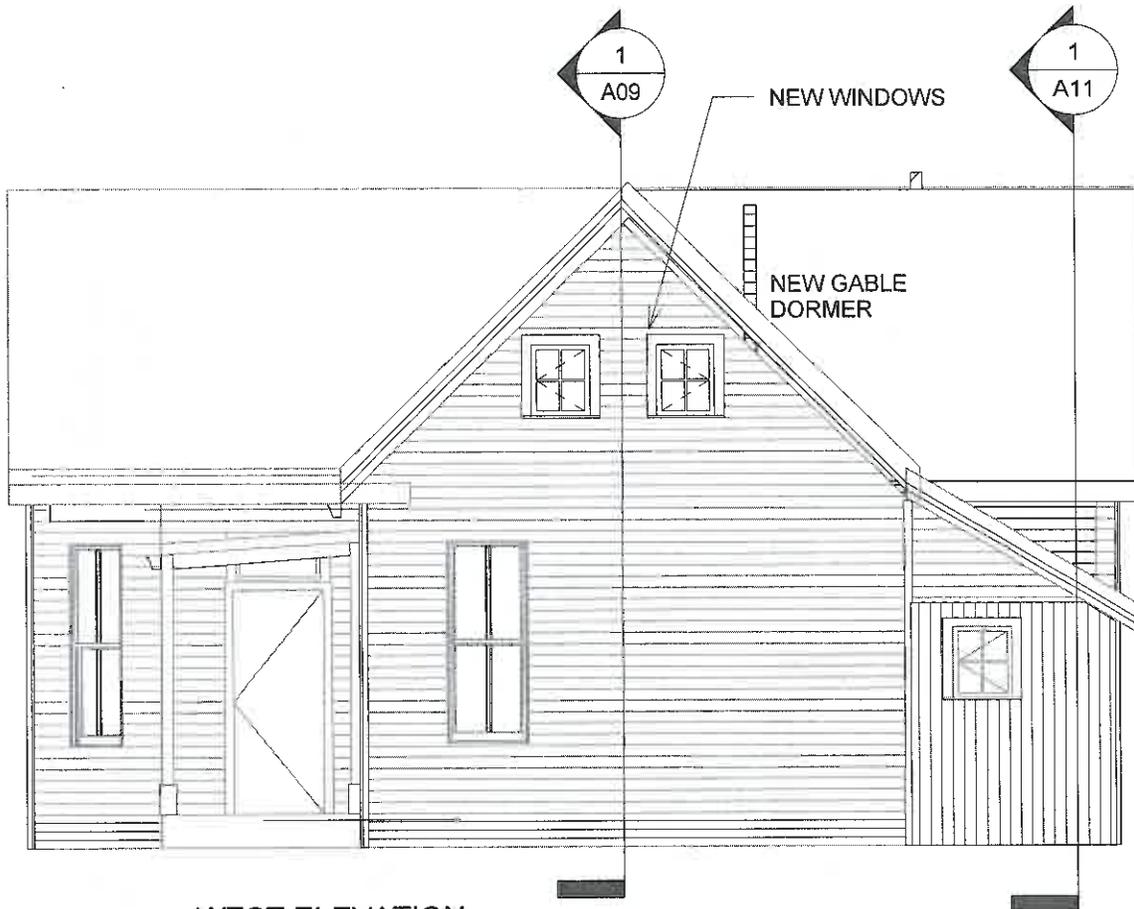
① NORTH ELEVATION
3/16" = 1'-0"

NOT FOR
CONSTRUCTION

NORTH ELEVATION

Project number	Project Number	A05
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

Handwritten initials



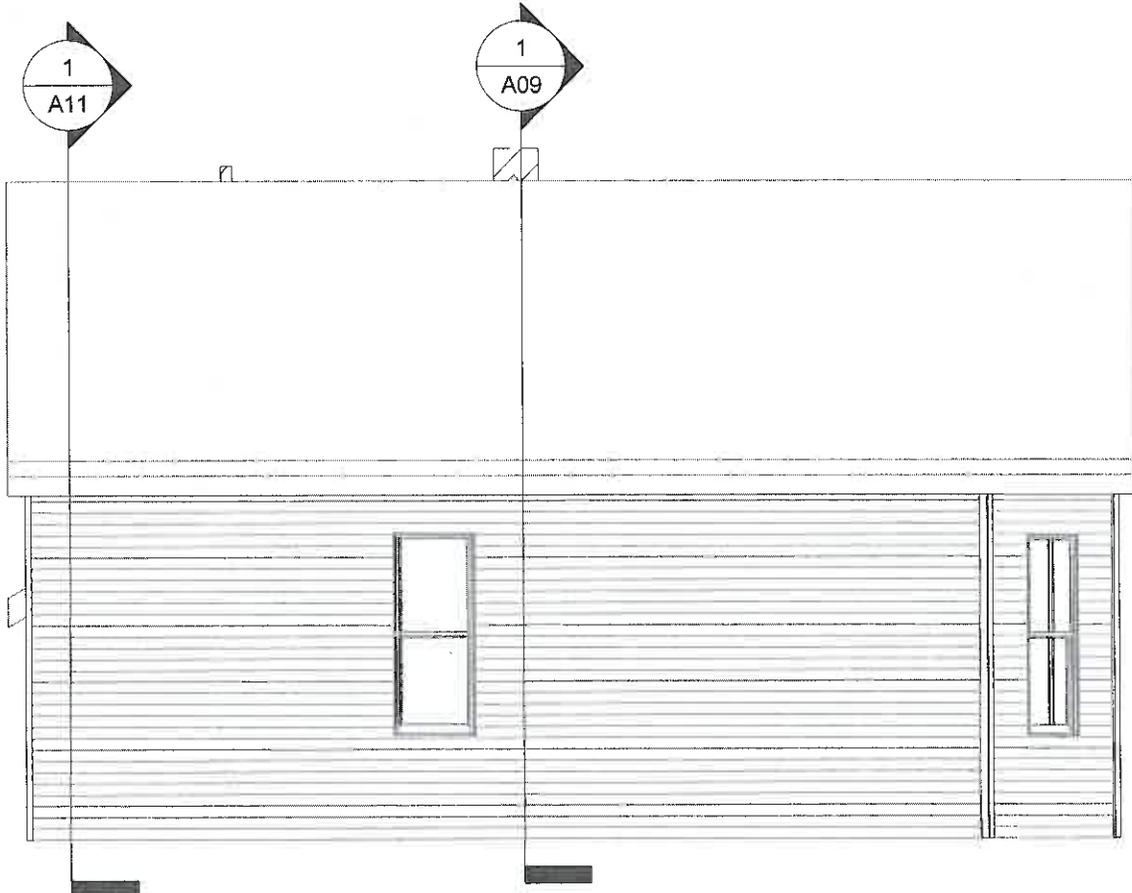
① WEST ELEVATION
3/16" = 1'-0"

NOT FOR
CONSTRUCTION

WEST ELEVATION

Project number	Project Number	A06
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
Scale		3/16" = 1'-0"

etc



① EAST ELEVATION
3/16" = 1'-0"

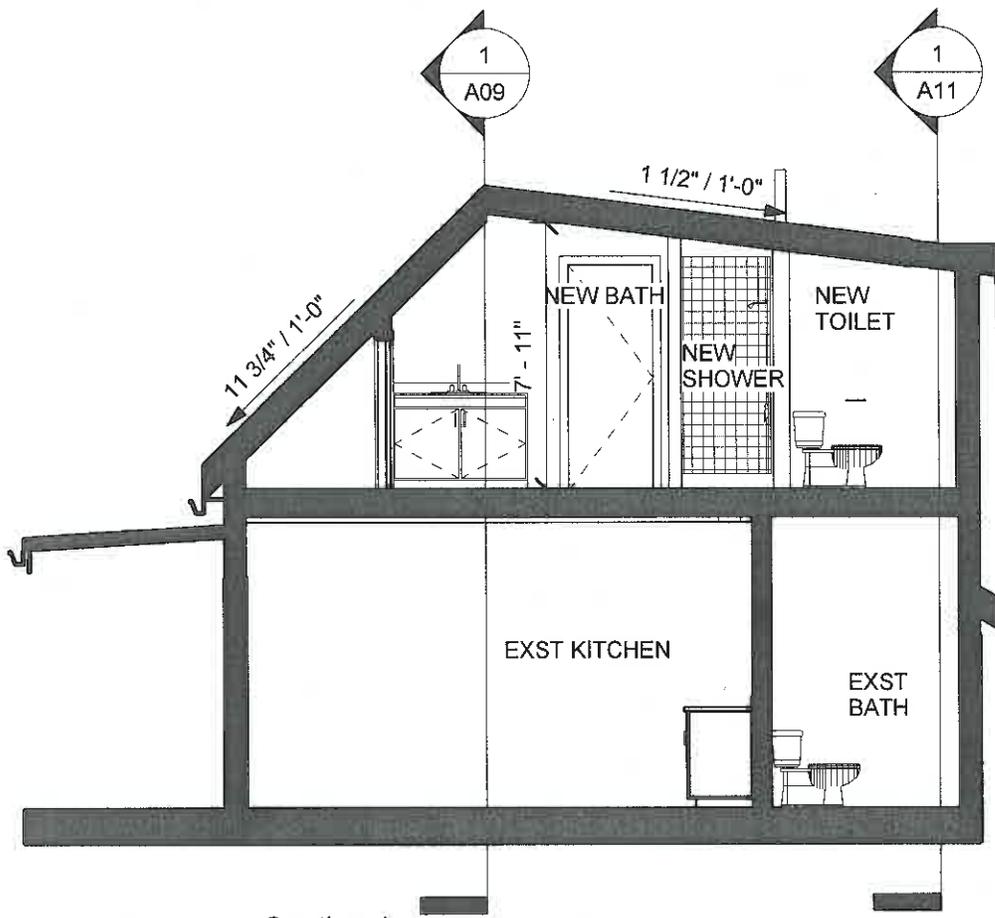
NO WORK ON THIS ELEVATION

NOT FOR
CONSTRUCTION

EAST ELEVATION

Project number	Project Number	A07
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
Scale		3/16" = 1'-0"

47

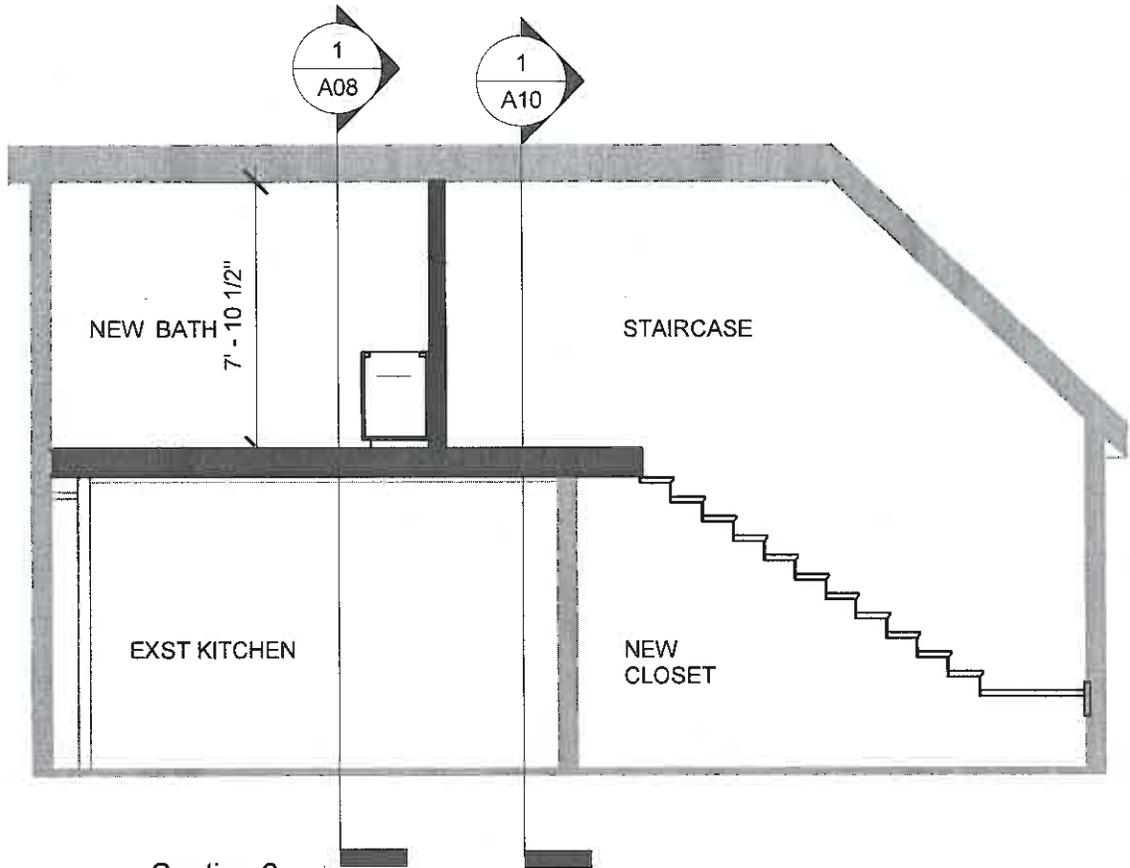


1 Section 1
3/16" = 1'-0"

NOT FOR
CONSTRUCTION

BUILDING SECTION

Project number	Project Number	A08
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

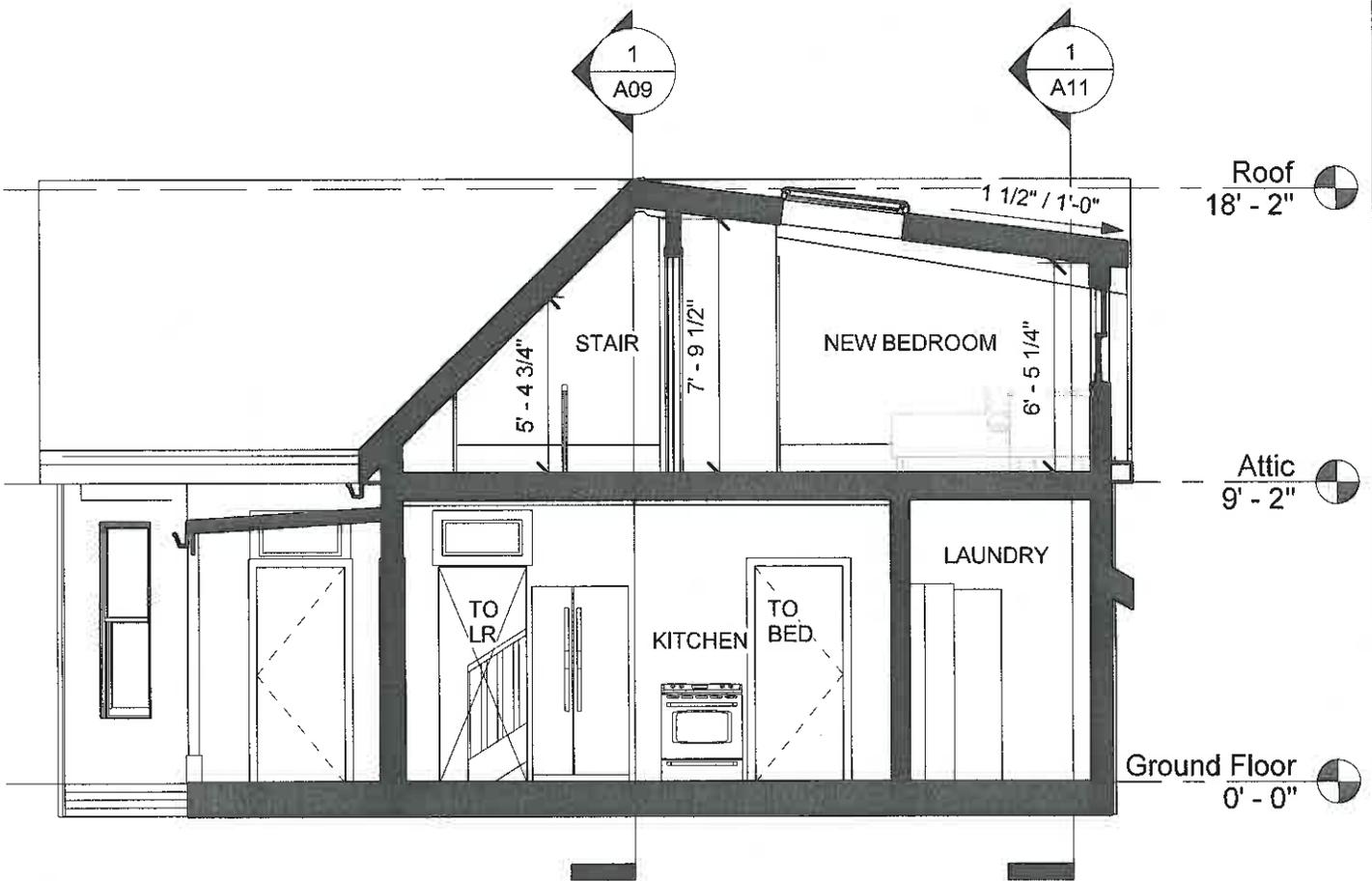


① Section 2
3/16" = 1'-0"

**NOT FOR
CONSTRUCTION**

BUILDING SECTION

Project number	Project Number	A09
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
Scale		3/16" = 1'-0"



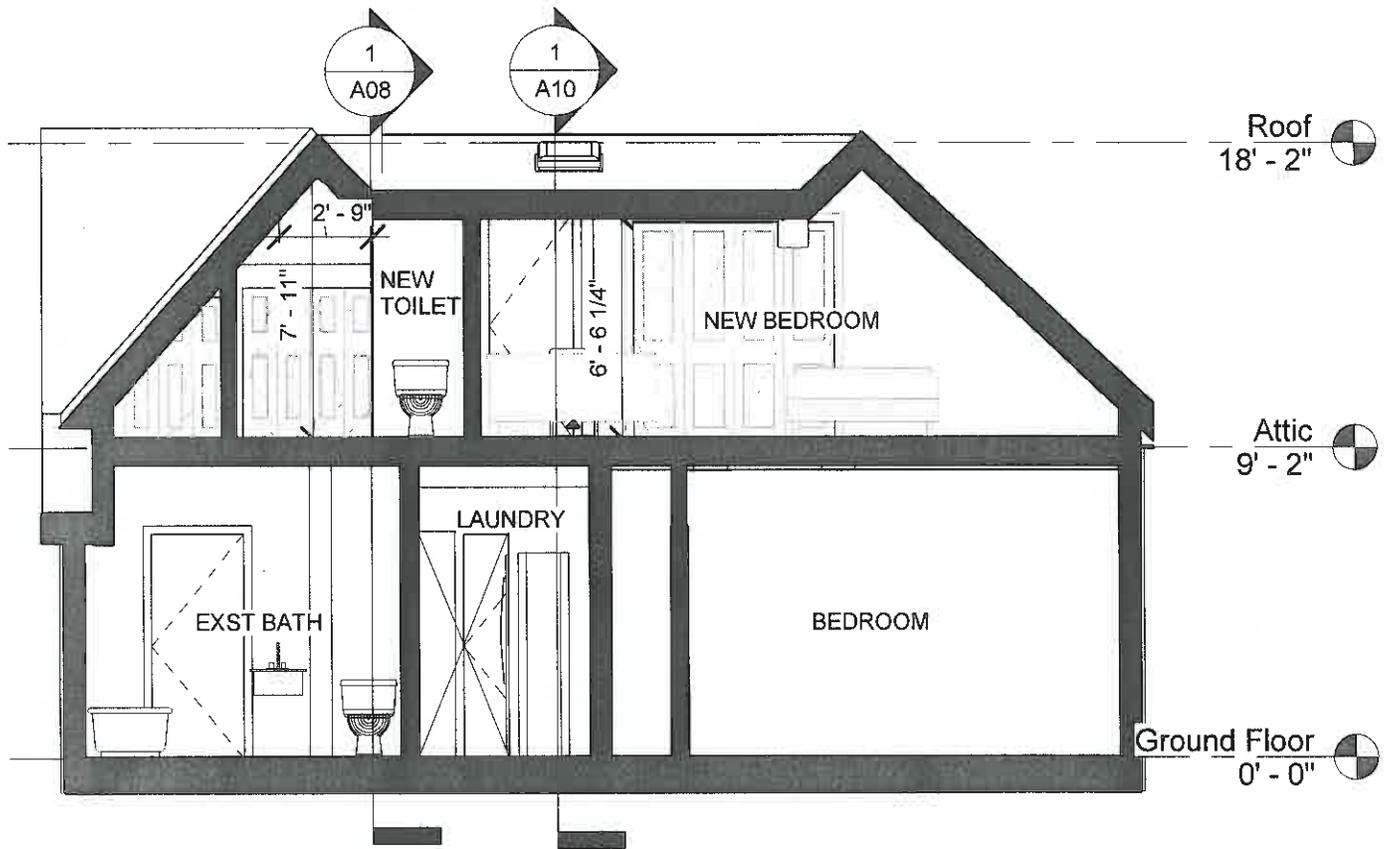
1 Section 3
3/16" = 1'-0"

NOT FOR
CONSTRUCTION

BUILDING SECTION

Project number	Project Number	A10
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

50



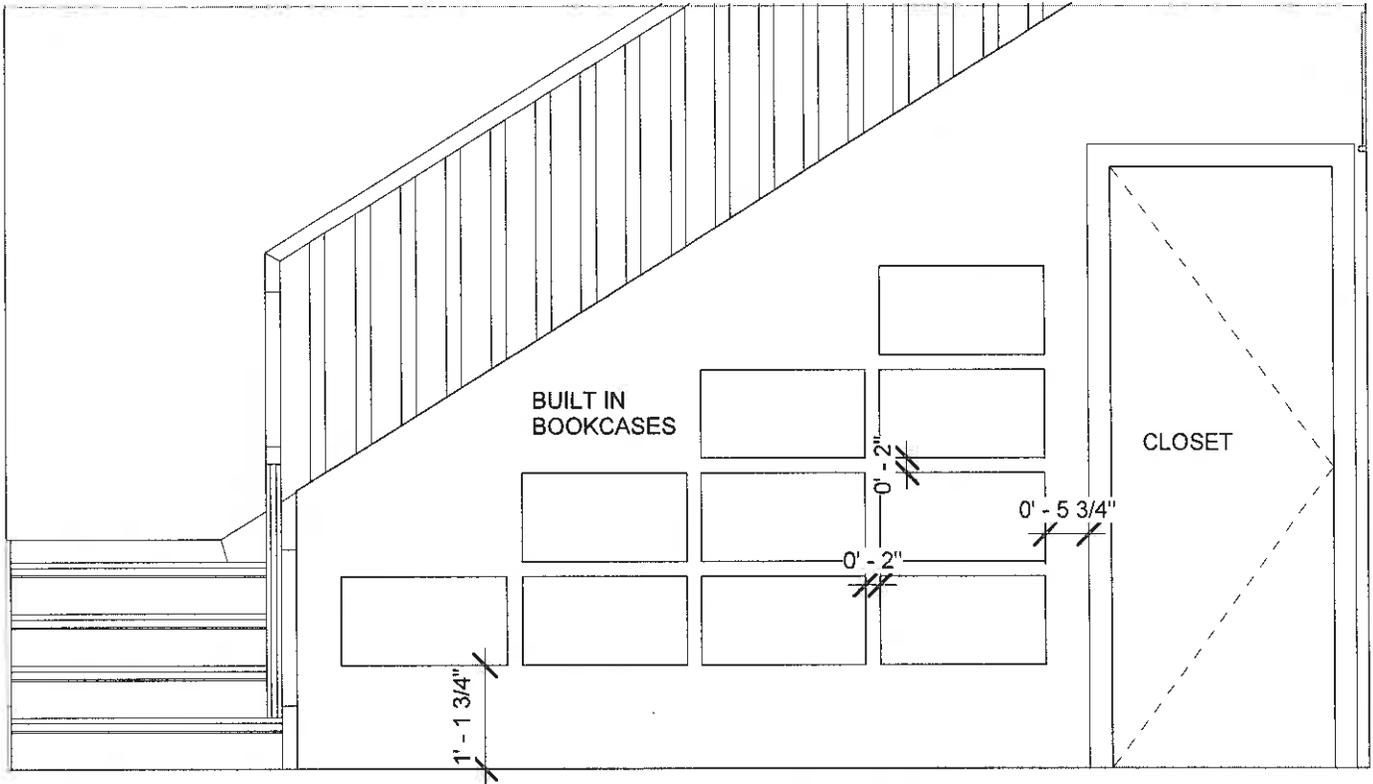
1 Section 4
3/16" = 1'-0"

**NOT FOR
CONSTRUCTION**

BUILDING SECTION

Project number	Project Number	A11
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
Scale		3/16" = 1'-0"

51



1 A
 1/2" = 1'-0"

**NOT FOR
 CONSTRUCTION**

INTERIOR ELEVATIONS

Project number	Project Number	A12
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 1/2" = 1'-0"

52

Room Finish Schedule

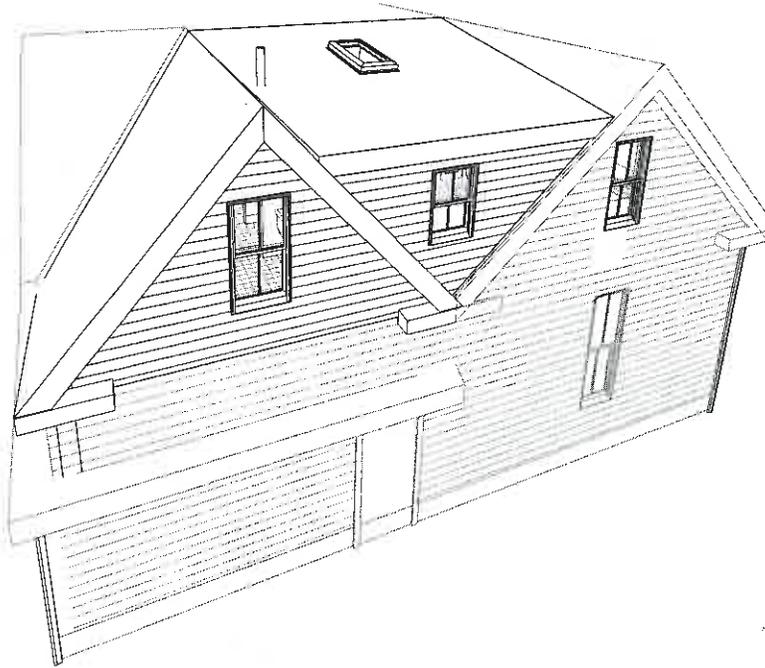
Name	Number	Area	Base Finish	Ceiling Finish	Floor Finish	Wall Finish
STORAGE	201	160 SF	WD TRIM	PTD GWB	WD FLRING	PTD GWB
BEDROOM	202	191 SF	WD TRIM	PTD GWB	WD FLOORING	PTD GWB
BATH	203	155 SF	TILE	PTD GBW	TILE	PTD GWB
CLST	204	43 SF	WD TRIM	PTD GWB	WD FLRING	PTD GWB

**NOT FOR
CONSTRUCTION**

SCHEDULES

Project number	Project Number	A13
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	

53



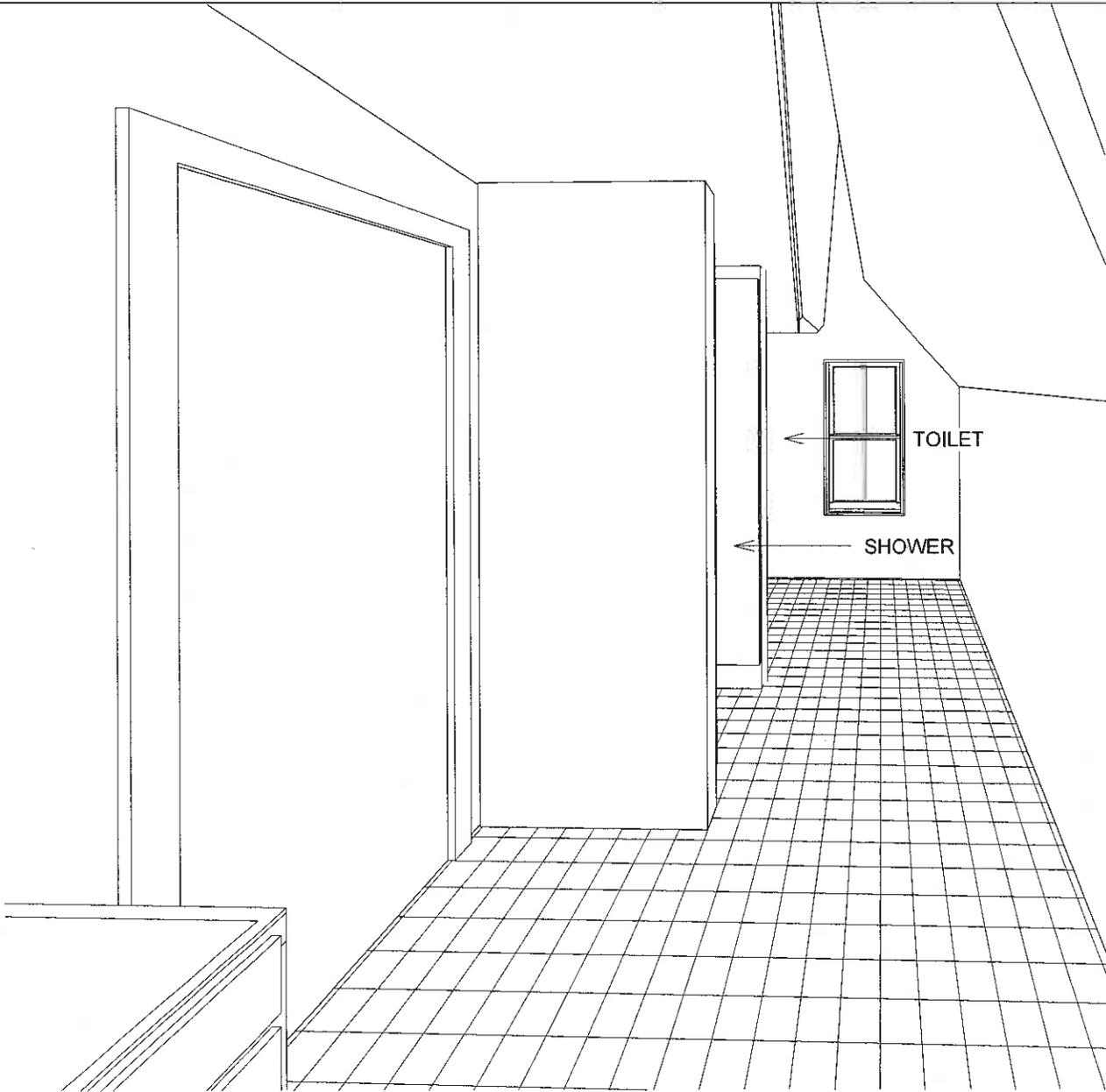
① PERSPECTIVE OF NEW DORMER

**NOT FOR
CONSTRUCTION**

PERSPECTIVE

Project number	Project Number	A14
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	

SH



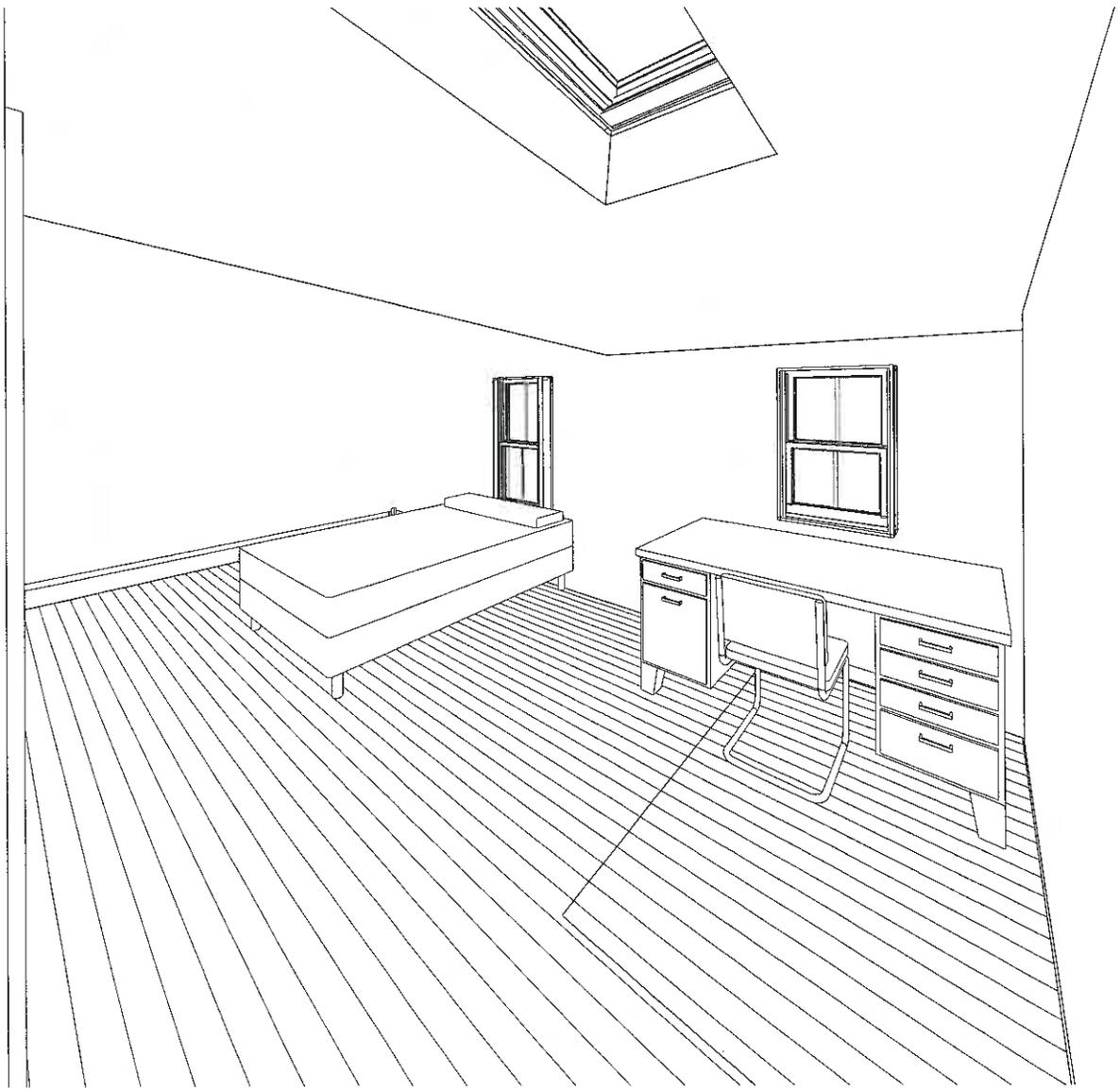
① VIEW OF NEW BATH

**NOT FOR
CONSTRUCTION**

PERSPECTIVE

Project number	Project Number	A15
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	

SS



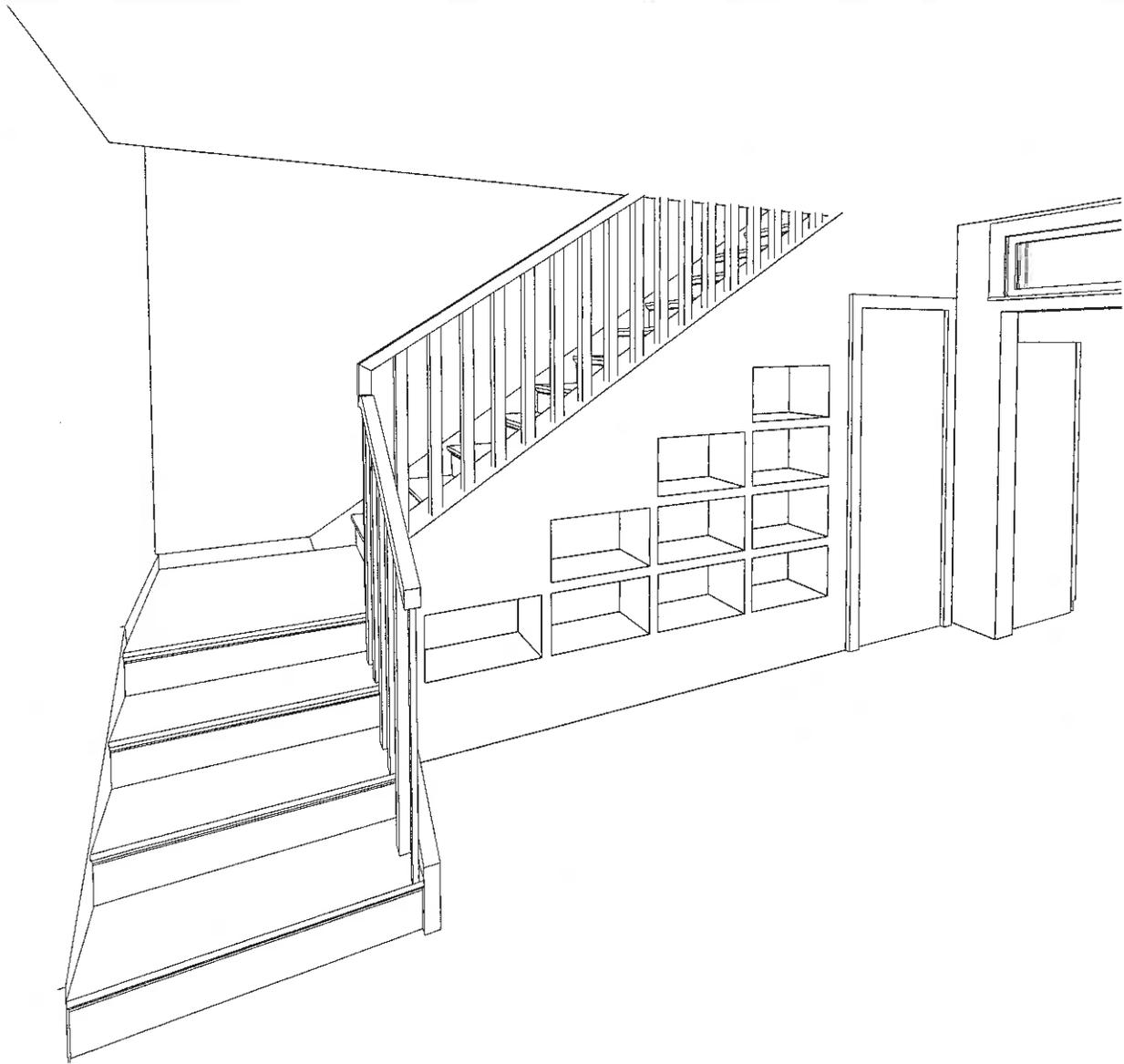
1 VIEW OF NEW BEDROOM

**NOT FOR
CONSTRUCTION**

PERSPECTIVE

Project number	Project Number	A16
Date	1/4/15	
Drawn by	Author	Scale
Checked by	Checker	

Sc



① VIEW OF STAIRS, BOOKCASE

**NOT FOR
CONSTRUCTION**

PERSPECTIVE

Project number Project Number

Date 1/4/15

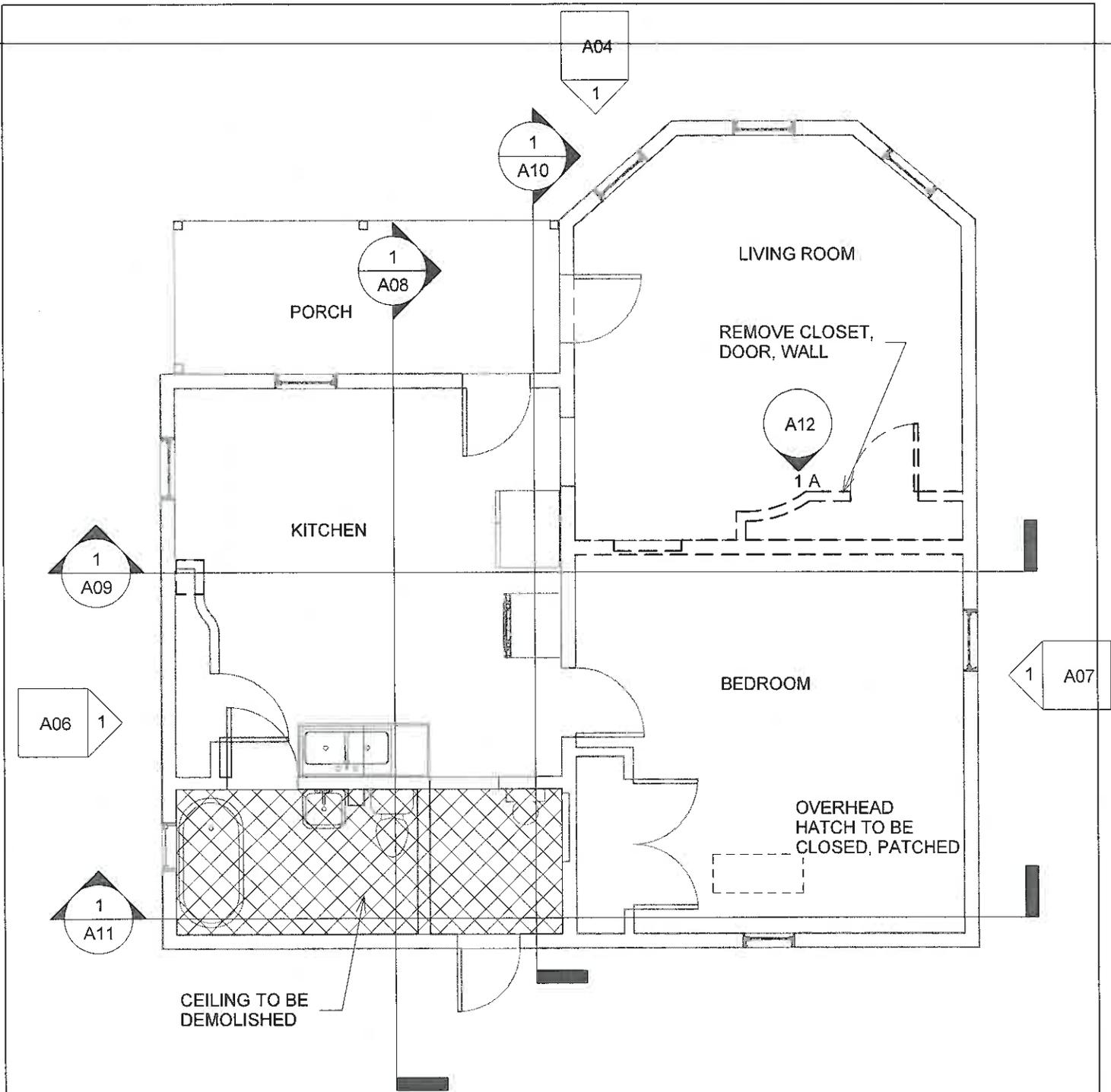
Drawn by Author

Checked by Checker

Scale

A17

57

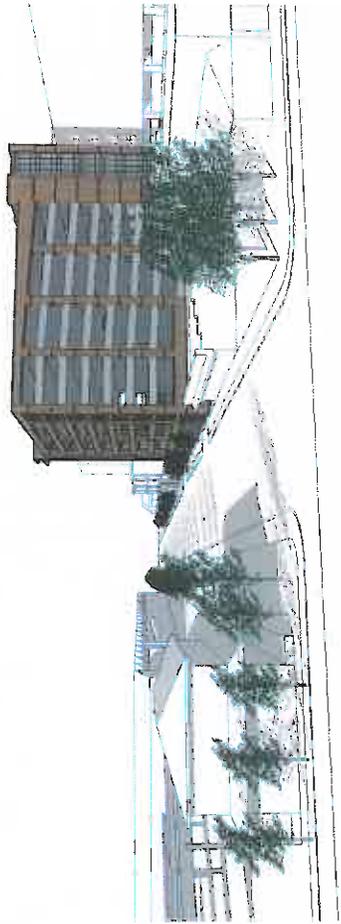


① DEMO PLAN, GROUND
 3/16" = 1'-0"

**NOT FOR
 CONSTRUCTION**

DEMO PLAN, GROUND

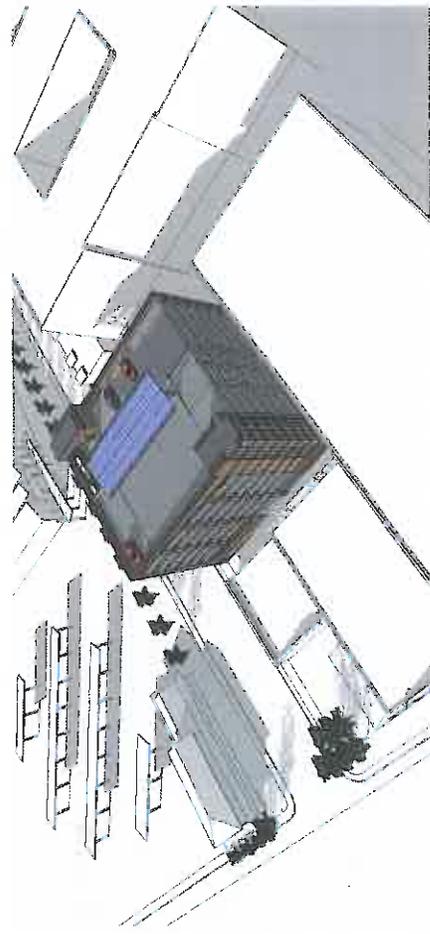
Project number	Project Number	D01
Date	1/4/15	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"



perspective 1



perspective 2

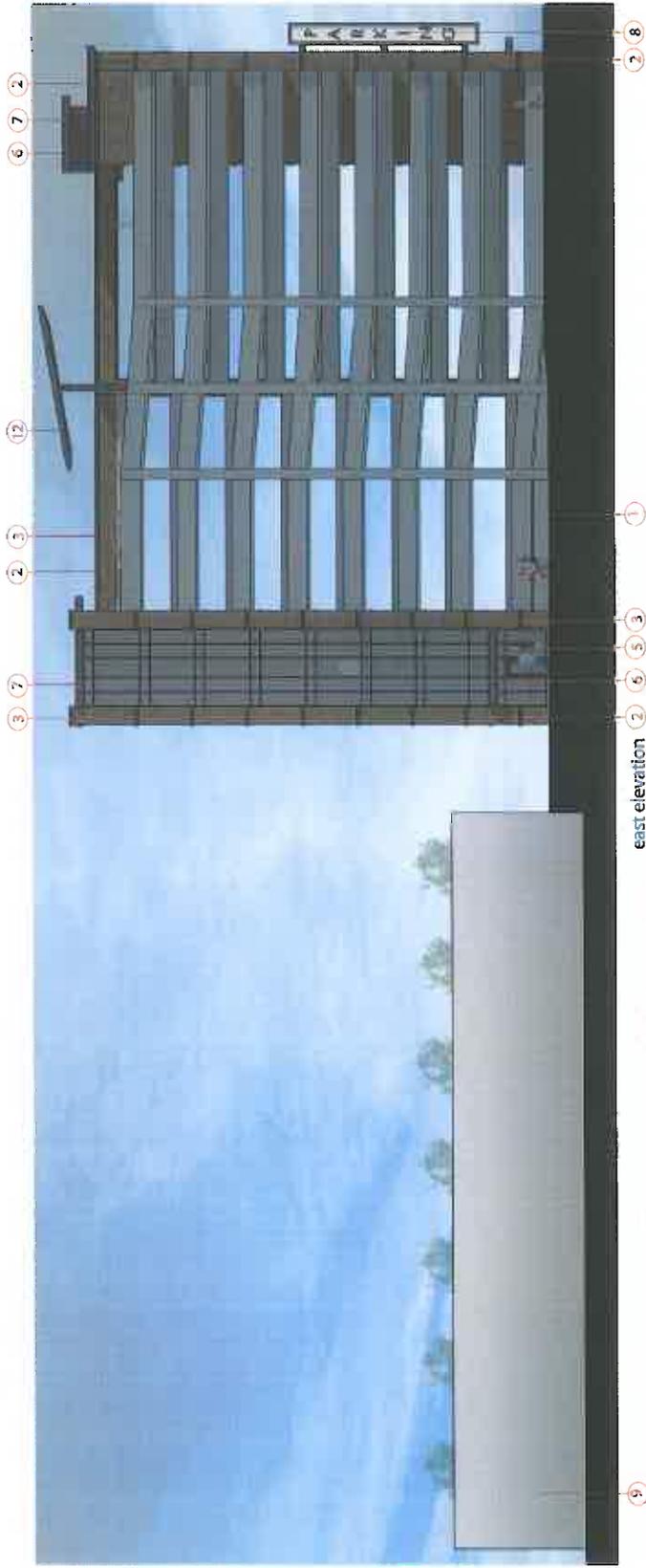


perspective 3

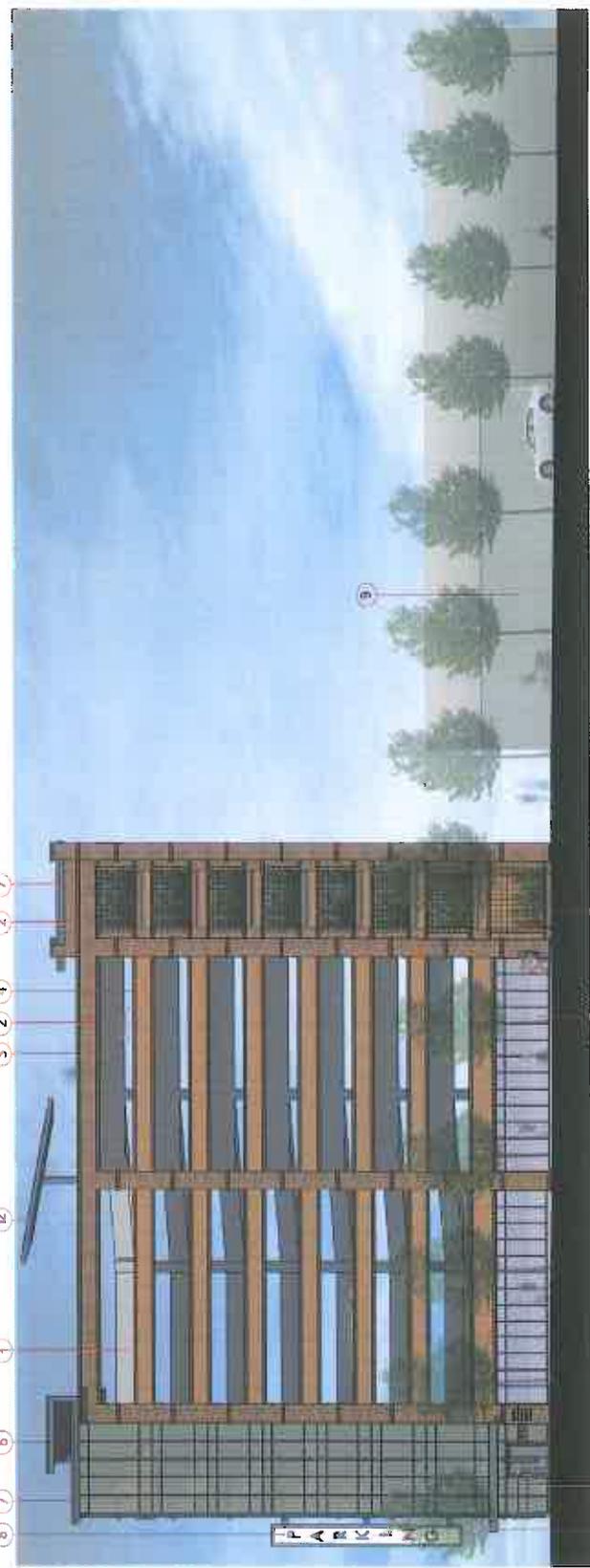


perspective 4





east elevation



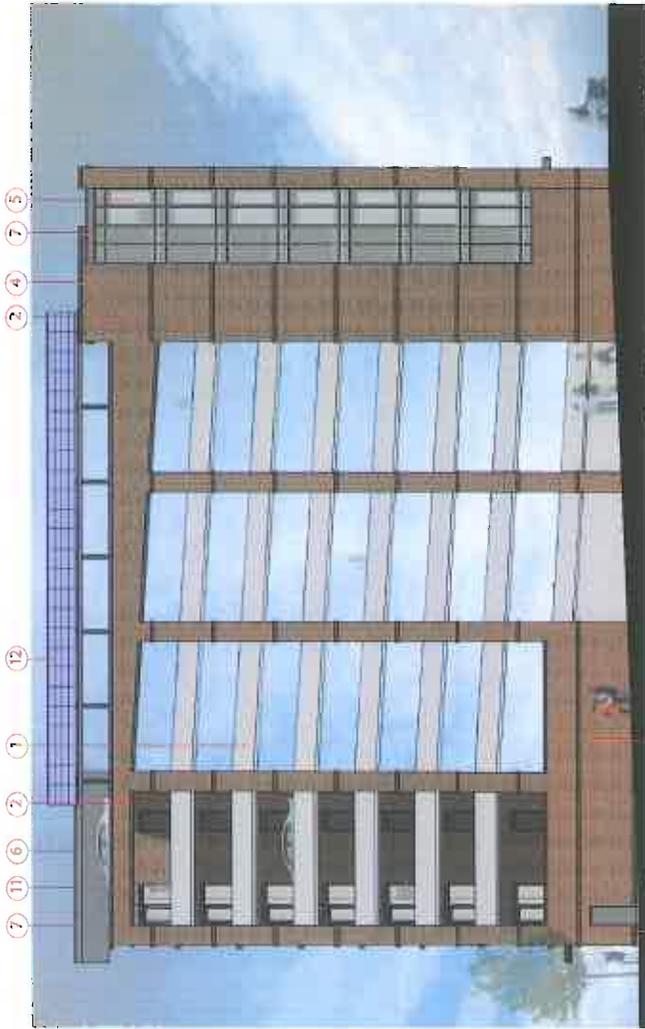
west elevation

- 1 Concrete Structure
- 2 Brick Masonry Type 1
- 3 Brick Masonry Type 2
- 4 Brick Masonry Type 3
- 5 Curtain Wall Cladding
- 6 Metal Panel
- 7 Metal Finish
- 8 Signage
- 9 Cladding Building
- 10 Security Gate
- 11 Green Screens Fruits
- 12 Solar Panel Structure
- 13 Signage Cladding

monte county commissioner's garage
 elevations 1-13-2015

scale: 1/8" = 1'-0"

80



south elevation



north elevation

- 10 Security Gate
- 11 Screened Glazing
- 12 Solar Panel Structure

- 7 Metal Mesh
- 8 Signage
- 9 Existing Building

- 11 Concrete Structure
- 12 Brick Masonry Type 1
- 1 Brick Masonry Type 2

- 4 Brick Masonry Type 3
- 5 Curable Wall Glazing
- 6 Metal Panel

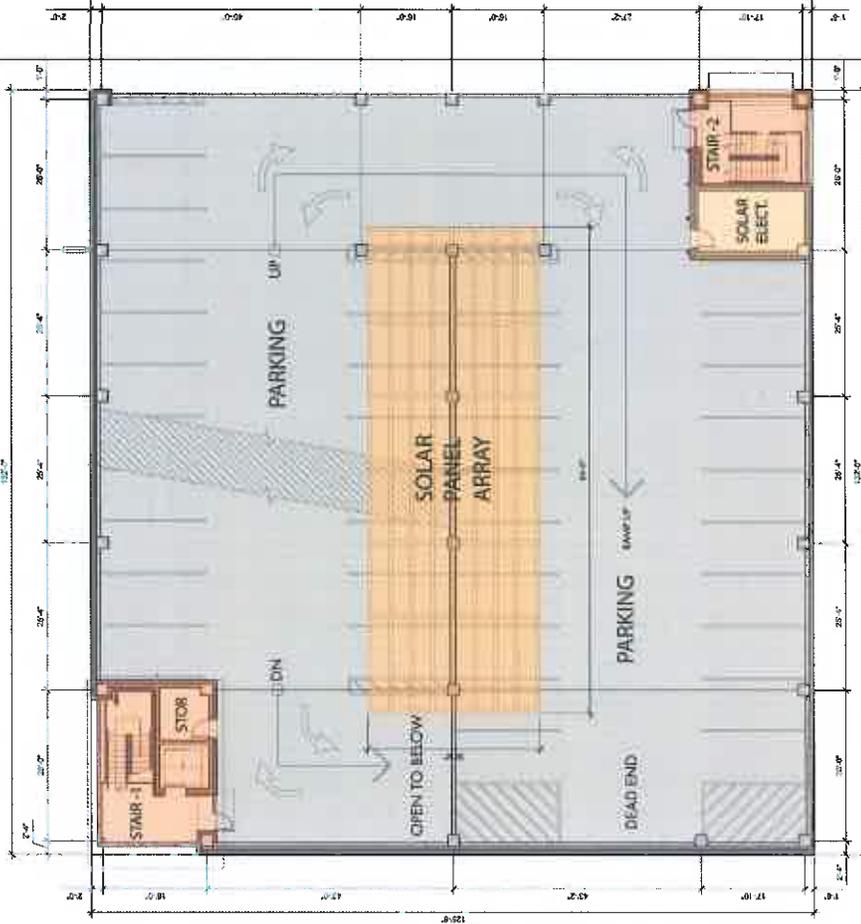


scale: 1/8" = 1'-0"

61



first floor plan



eight floor plan

parking count = 260 spaces
 sq. ft. = 124,425
 8-story building



BYNUM FANYO & ASSOCIATES, INC.

Architecture
Civil Engineering
Planning

Architectural Standards:

Height Standards:

Minimum Structure Height is 35 feet with a maximum height of 50. We are proposing the following heights to accommodate the emergency inmate sheltering space and the minimum number of parking spaces to meet the County's needs:

Southeast stair tower - 95'-0"

Northwest stair tower - 96'-4 ¾"

Morton Street parapet wall - 90'-0"

8th Street parapet wall - 83'-0"

7th Street parapet wall - 90'-0"

Alley parapet wall - 85'-5"

Building setback standard:

The requirement is the build-to-line of 0 feet and 70% of the building façade facing a street shall be constructed at the build-to line.

On Morton Street we have placed our column lines and portions of the northwest and southwest corners of the building on this line as well. As a result the entire the building is on the build to line.

On 8th Street we have held the building approximately 2 feet south of the right of way line to accommodate curb, tree grate and sidewalk. We are proposing an 81.23% build to line assuming the approximately 2 feet accommodating the 5 foot sidewalk will become the new right of way line.

Ground Floor Non-Residential Uses:

50% of the ground floor is required to non-residential use.

We are proposing 39.16% as being non-residential use excluding the parking garage.

Void to Solid Percentage:

The requirement is 60% of the first floor and 20% of the upper floors shall be open.

On 8th Street we are providing 73.7% open area on the first floor and 55.8% open on the upper floors.

On Morton Street we are proposing 71.8% open on the first floor and 52.7% on the upper floors.

528 North Walnut Street
812-332-8030

Bloomington, Indiana 47404
FAX 812-339-2990

63



BYNUM FANYO & ASSOCIATES, INC.

Architecture
Civil Engineering
Planning

Windows:

All windows in the stair towers shall be transparent and shall not make use of dark tinting or reflective glass. Large display windows shall be used along all first floor facades facing a street

Due to the security nature of proposed first floor use, transparent windows are not allowed. We are proposing tinted glass in front of a masonry wall to maintain the security necessary for this type of use.

Entrance Detailing:

We are able to meet all of the entrance detailing requirements with the exception of the 4' recessing of the entrance. We will have the building address number prominently displayed on the curtain wall glazing using a surface applied film graphic. The building and street name will be displayed using extruded aluminum signage attached to the brick masonry near each entrance door. Exterior lighting will be located in the entrance canopy and on the face of the masonry columns to properly illuminate the signage.

Massing, Scale and Form:

The proposed use as an inmate sheltering facility and parking garage does not lend itself to the modulation requirement in the fact that the modulation would be carried to the upper floors interfering with travel lanes and parking stalls. The proposed structure has a similar facade as the other parking structures in the downtown area.

If you have any questions regarding our petition we would be please to meet with you at any time. We thank you in advance for the consideration of our project.

Sincerely,

Jeffrey S. Fanyo, P.E., CFM

Bynum Fanyo and Associates, Inc.

528 N. Walnut Street

Bloomington, Indiana 47404

528 North Walnut Street
812-332-8030

Bloomington, Indiana 47404
FAX 812-339-2990