

CITY OF BLOOMINGTON



**MARCH 9, 2015 @ 5:30 p.m.
COUNCIL CHAMBERS #115
CITY HALL**

**CITY OF BLOOMINGTON
PLAN COMMISSION**

March 9, 2015 @ 5:30 p.m.

❖ City Hall Council Chambers - Room #115

ROLL CALL

MINUTES TO BE APPROVED: February 2015

REPORTS, RESOLUTIONS AND COMMUNICATIONS:

ITEMS CONTINUED TO APRIL 13, 2015:

PUD-8-15 **Joe Kemp Construction, LLC**
2400 S. Adams St
Site plan approval for single family and multi-family dwelling units on 27.98 acres of Sudbury Parcel O. Also requested is preliminary plat approval.
Case Manager: Eric Greulich

ITEM FOR THE CONSENT AGENDA:

ZO-6-15 **City of Bloomington**
Hear a request for amendments to the Unified Development Ordinance (UDO) to transfer authority regulating temporary food and beverage sales to Title 4 of the Bloomington Municipal Code as well as minor amendments to the regulation of Temporary Uses.
Case Manager: Tom Micuda

SP-7-15 **ERL-2, LLC**
632 N College Ave
Site plan review for an addition to a 3-unit multi-family building.
Case Manager: Jim Roach

PETITIONS:

SP-2-15 **Monroe County Commissioners**
312 N. Morton St.
Site plan to allow construction of an 8-story parking garage.
Case Manager: Patrick Shay

PUD-1-15 **Eastside Investments, LLC.**
901 N. Smith Rd.
Preliminary plan and district ordinance amendment of a planned unit development (PUD) to revise the list of approved uses.
Case Manager: Patrick Shay

PUD-5-15 **Simon Property Group**
2894 E 3rd St
Final plan amendment to allow partial reconstruction, two new outlets and revised sign package at the College Mall Planned Unit Development (PUD).
Case Manager: Eric Greulich

****Next Meeting Date: April 13, 2015**

Last Updated: 3/5/2015

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT**
Location: 312 N. Morton Street

**CASE #: SP-2-15
DATE: March 9, 2015**

PETITIONERS: Monroe County Commissioners
100 W. Kirkwood Ave, Bloomington

CONSULTANT: Bynum Fanyo & Associates, Inc
528 N. Walnut St, Bloomington

REQUEST: The petitioners are requesting site plan approval to allow construction of an 8-story parking garage in the Commercial Downtown (CD) Zoning District.

Area:	Approximately 0.4 Acres	
Zoning:	Commercial Downtown (CD)	
Downtown Overlay:	Downtown Core Overlay (DCO)	
GPP Designation:	Downtown	
Existing Land Use:	Parking lot	
Proposed Land Use:	Parking Garage; Emergency Evacuation Site; Potential Work Release Facility	
Surrounding Uses:	East	- Government (Monroe County Justice Building)
	South	- Office (Curry/Fiscus), Mixed-Use
	West	- Government, Office (Showers Complex)
	North	- Mixed-Use (Smallwood, Smallwood Annex)

PROPERTY SUMMARY: The petitioners own a surface parking lot located at the southeast corner of W. 8th Street and N. Morton Street. This property is zoned Commercial Downtown (CD) and is further located within the Downtown Core Overlay (DCO). The property is currently fenced and used to park a variety of Monroe County vehicles and is separated from additional properties owned by the petitioners by two adjacent public alleys.

PROJECT SUMMARY: The petitioners wish to replace the surface parking lot with a new 8-story building that would principally house a parking garage for approximately 268 parking spaces. The building would also function as an emergency evacuation center for the adjacent Correctional Center.

FIRST HEARING SUMMARY: The Plan Commission voted at its February 9 meeting to continue this petition to a second hearing. At the first hearing, the Commission rendered comments about the petition. These issues are summarized as follows:

- Several comments centered on the height and mass of the structure and a lack of upper story step-backs and articulation.
- Concern of the placement of the work-release facility within the first level of the proposed structure.
- Several members of the Plan Commission asked the petitioners whether the

proposed garage could be used for public parking at off-use times such as for the Farmer's Market.

- There was a potential safety issue noted with an entry located at the southeast corner of the building and its interaction with the adjacent north-south alley.
- There were also several concerns cited regarding the proposed architecture including:
 - Lack of openings and storefront glass along Morton Street.
 - Lack of visual interest and variation on several facades.
 - Excessive expanse on the parking deck levels. Suggestions for additional vertical breaks, differing materials, and smaller openings were made.
 - Some concern regarding the large amount of glass related to the stair towers was also discussed.
 - Lack of continuity of design at the southwest corner of the building. It was suggested to continue to wrap the architectural design elements from the west façade to the southern façade.

SUMMARY OF REVISIONS TO PETITION: The petitioners have since revised their petition to address many of the Plan Commission's comments. The following changes have been made to the petitioners' proposal:

- The partial 9th floor of the proposed structure was removed effectively reducing the height of the western (Morton St) and southern (7th St) facades by approximately 10 feet.
- The two stair towers have also been lowered by approximately 4-6 feet.
- The first level facing Morton St. has been revised to include transparent storefront glass that will create visibility into a lit corridor that would be used as a rotating art display area.
- Both of the stair tower entries have been revised to include a recessed design that brings one entry into compliance with code standards and removes a safety concern associated with the potential conflict of cars in the alley and an opened door for people exiting the garage.
- The proposed architecture has also been revised to:
 - Increase material variation, particularly a new pre-cast concrete material with a limestone look
 - Create additional vertical breaks to the parking decks
 - Create smaller openings along the Morton St. façade to better reference punched window openings
 - Reduce the amount of glass utilized on the stair towers
 - Create a more defined base to the structure
 - Remove the "Parking" sign from the elevations to comply with the sign code
 - Add canopies to the Morton St. streetscape
- The conditional use proposal to the Bard of Zoning Appeals for a work-release facility has also been withdrawn at this time.

Plan Commission Site Plan Review: Four aspects of the proposal require the Plan Commission to hear this petition for site plan approval. These aspects are:

- The project includes more than 25,000 square feet of non-residential space
- The proposal is adjacent to a residential use (Smallwood Plaza and Annex)
- The proposal includes a Parking Garage as a primary structure
- The petitioners are requesting waivers to the standards in BMC 20.03.120 & 130. The following waivers are being requested:
 - Building height
 - Building setback
 - Ground floor non-residential use
 - Building cap requirements
 - Void-to-solid requirements
 - Window design
 - Building modulation
 - Building step back

SITE PLAN REVIEW: DEVELOPMENT STANDARDS

Height: After the submitted revisions, the official height of the proposed building as measured by the UDO, would be approximately 94 feet (measured from the elevation at the intersection of 8th Street and Morton Street to the top of the southeast stair tower. The main wall along Morton Street has been reduced from 90 feet to approximately 80 feet in height. The perceived height along the 8th Street frontage (as it relates to the adjacent topographic grade) ranges from approximately 78 feet (east) to 90 feet at the corner stair tower. The DCO allows for a maximum of 50 feet without an associated waiver. As mentioned at the first hearing, several surrounding buildings exceed 50 feet in height. The immediate height context includes:

1. Smallwood – 97 feet (western façade); 80 feet on College Avenue
2. Morton 400 (the Smallwood Annex building) – Approx. 45 feet
3. Charlotte Zietlow Justice Center – 69 feet (western façade); 60' on College
4. Hilton Garden Inn – 70 feet
5. Morton Street Garage – 78 feet (84 feet with tower)
6. Curry Building – Approx. 30 feet
7. Fiscus Building – Approx. 20 feet
8. Mercury Building - Approx. Range from 60 to 78 feet

Since the UDO restriction of 50 feet was adopted in 2007, multiple waivers have been granted in this overlay. Two of these were hotel petitions. Waivers granted in close proximity to this site include:

1. Springhill Suites Hotel – 71 feet (5-6 stories)
2. Hyatt Place Hotel – 74 feet (7 stories)
3. 10 North – 68 feet (5 stories)
4. 304 W. Kirkwood (Elmore-Orego petition) – 62 feet (4 stories recessed)
5. Studio 531 (Elliot Lewis petition) – 54 feet (4 stories recessed)

Height Waiver - 20.03.120(b): The City's *Downtown Vision and Infill Strategy Plan*, which must be evaluated to justify any waiver request, provides the following guidance in regards to building height.

“Building Heights vary substantially in Downtown Bloomington and yet there is a strong sense of similarity in scale. This is in part because most buildings are within two to four stories in height. In addition, most buildings have features at the lower levels that are similar in scale. ...A variety of building heights in new construction is, therefore, appropriate. However, the dominant scale of two to four stories should be maintained. This may be accomplished by literally constructing a building within this traditional height range; in other cases, design elements that reflect traditional height may be incorporated into larger structures. Setting upper floors back from the building front also may be considered.

Staff Commentary: The proposal submitted for Plan Commission approval is in conflict with this policy guidance regarding preferred downtown heights for new construction. As a result, the Commission should consider the following issues in making this finding: 1) the unique height need in constructing a parking garage, 2) the combined challenge faced by the petitioners in adequately addressing employee parking needs with a property that is less than an ideal size for a parking garage, 3) taller building context in this area as compared to other areas of downtown, and 4) the overriding importance of the petitioners being able to control their long-term parking needs and remain viable as a key civic employer downtown.

In discussing the height issue with the petitioner, staff has noted that its preferred height of the building in reference to the guidance of the Downtown Plan would be one story less than currently proposed. As a result, staff made an offer to the petitioner to enter into negotiations with the City for leased parking in the 7th and Morton and/or 7th and Walnut Garages. There are approximately 212 spaces available, some of which could be leased to the County to lower the building height by another story. This offer was not accepted by the County, and the City Administration understands why the County would want more complete control of its parking needs. As a result, while staff cannot find strict compliance with the Downtown Plan, the City Administration supports the height of the building proposal due to the mitigating factors noted in this section.

Bicycle Parking: The petitioners are required to place a minimum of four covered bicycle parking spaces. The petitioners have proposed to place 20 secured bicycle parking spaces within the first level of the parking garage.

Setbacks: The proposed building is located at the build-to line along Morton Street. Along 8th Street, the proposed building is set back approximately 2 feet from the 8th St. right-of-way line to allow for a full sidewalk with tree grates. The proposed structure meets all other setback standards.

Front Setback Waiver (8th St.) – 20.03.120 (d)(1): Staff is supportive of this waiver. This waiver would allow the petitioners to achieve a desired design element by allowing adequate width to install street trees grates along 8th St. The proposed structure will still have the feeling of a structure built at the property line since the sidewalk will extend to the structure. An easement must be placed on the portion of the sidewalk that is outside of the right-of-way or it must be dedicated as right-of-way.

Ground Floor Non-Residential Uses: This project is in an area that requires non-residential use along both the 8th and Morton Street frontages. In addition, a minimum 50% of the entire ground floor level must be used for non-residential uses. For the purposes of this requirement, structured parking is not considered as a non-residential use within the CD district.

One of the main intents of this requirement is to create a more vibrant streetscape that creates pedestrian interest at the street level. Although the proposal does not meet this requirement, the petitioners have continued to revise their proposal to relocate the vehicular entry from Morton Street to 8th St. and to increase the openings and pedestrian interest of the streetscape with particular attention to the Morton St. façade. As mentioned, the petitioners have replaced the spandrel glass along the entirety of Morton St. with clear glass that opens to an internal corridor that will now allow light to flow from the internal space to the external. This also creates an opportunity to utilize this space in a gallery fashion for revolving art displays. A waiver is required for the absence of display windows along the 8th Street frontage and a non-residential floor area of only 40% for the first floor. The need for this waiver is driven by the petitioners' desire to maximize the amount of parking on the first level as well as the security requirements of the emergency evacuation center use.

Ground Floor Non-residential Waiver – 20.03.120(e): Due to the large amount of structured parking associated with this project, it does not meet the ground floor non-residential requirements. With the submitted changes, this waiver is supported. Although the Downtown Plan would guide the petitioners to include more active first level space, the size of the property coupled with the need for parking makes retail space impossible on the first floor. The desired emergency evacuation use also creates difficulty in using this space as office because of security orientation needs. The petitioners have worked with staff to find an alternative treatment to the Morton St. streetscape.

ARCHITECTURAL STANDARDS: The petitioners are proposing a 8-story structure in a conventional parking garage form. The garage will be accessed from 8th Street and be clad primarily in concrete, brick, metal, and glass. Although fewer parking decks are exposed due to significant changes to the facades, the upper level decks are still open with little screening or architectural detailing. Architectural elevations and a color model of the proposed structure have been included in your packet.

Building Frontage, Alignment, Orientation and Entrances: The structure is proposed to be constructed with a building forward design that fills the corner of 8th Street and Morton Street. The petitioners have designed the proposed garage with the required two primary pedestrian entries. These entries (within 3 feet of the adjacent sidewalk elevation) are both located near the intersection of 8th Street and Morton Street and enter into a combined entry vestibule. Although this corner entry will be heavily used, the petitioners have also shown a stairwell and entry at the southeast corner of the structure that will provide access to floors 2-8 of the garage.

Streetscape: The petitioners are proposing to reconstruct both of the adjacent street frontages. The proposed plan would retain the existing on-street parking while adding protective bump-outs that will narrow the distances at sidewalk crossings. The reconstruction will also replace the existing tree plots and sidewalks with new integrated sidewalks and 5' X 5' tree grates. This will likely require the relocation or reinstallation of several parking meters and street lights.

Additional decorative street lights will also be added near the alley intersections with both 8th Street and Morton Street. Staff is also exploring the potential for a formalized pedestrian crossing from the 8th Street intersection across Morton Street to an existing pedestrian ramp.

Roof/Building Cap: Due to the style of building chosen, the building does not have a pronounced cap. There is a small metal cap shown.

Building Cap Waiver – 20.03.130(b)(5)(A): This waiver is supported. Although this standard could be met, the waiver is requested to allow for flexibility in design. The stair towers are the main aesthetic focus and have incorporated caps. The addition of a continuous cap would not enhance the aesthetic of the structure.

Void-to-Solid Percentage – The DCO gives guidance for the first level of a building to have a minimum of 60% void to solid ratio and upper floors to have a minimum of 20% void-to-solid. The petitioners meet the 20% upper level requirement as well as the required void along Morton Street. However, due to the lack of transparent windows along 8th Street as previously mentioned, the project has fallen short of the required void along 8th Street. Staff finds a preference to the Morton Street frontage to have more void openings.

Void-to-Solid Waiver – 20.03.130(b)(2): As a parking garage, there is ample void in the upper levels of the structure. Per Plan Commission guidance, the petitioners increased the amount of solid along Morton St. to better mimic traditional windows and minimize the aesthetic impact of the parking decks. With the petitioners' revisions to the Morton St. façade, the main issue remaining is the lack of void along 8th St. The wall along 8th Street buffers the street from both interior parking and secured space. With the lack of pedestrian traffic along 8th St. and the desired use of the property, the use of spandrel glass on 8th St. only is found to be supportable.

Windows: The DCO requires that windows have a 1:1.5 ratio of width to height and have distinctive sills and lintels. Due to the nature of the proposed use for the building as a garage, there are relatively few windows in lieu of large openings at each garage level. The petitioners are proposing glass curtain walls at the stair towers. These curtain walls may be appropriate, but do require waivers from the design requirements for ratio and detailing.

Window Design Waiver – 20.03.130(b)(3): The main windows that fall under this requirement are those found in the stairwells. The larger curtain wall design has been revised to reduce the amount of glass on the stairwells, but these windows still have a more modern design that do not utilize sills and lintels. In this case, the curtain wall approach does improve the aesthetic quality of the building, and the City has also used this design in its parking garage structures.

Materials: As mentioned, the petitioners have revised their architecture to include more variety of materials and colors. They are now utilizing additional acid etched precast concrete panels to create a more defined base as well as breaking the Morton St. façade up to create additional visual interest and reduce the massing of a single material/color. They have also provided an alternative elevation that includes additional brick that wraps the southwest corner of the building to provide more brick on the south elevation. The proposal still includes a partial green wall feature on the western facade facing Morton Street. The petitioners are not proposing any non-permitted materials, and they have greatly reduced the amount of exposed concrete from the initial submittal.

Entrance Detailing: This site requires primary pedestrian detailing for both of the entries on 8th Street and Morton Street. The petitioners have committed to including the required signage, address, and lighting to primary entries. Furthermore, the petitioners have revised the entry design to include the requirement for a recessed entry of 4 feet. A waiver from this standard is no longer necessary.

MASS, SCALE, AND FORM:

Building Façade Modulation: The UDO requires building offsets of a minimum 3% of the total façade width on all the Morton Street and 8th Street facades. Based upon the 132 feet of frontage along both adjacent streets, the proposed building is required to have a minimum modulation of approximately 4 feet. No modulation has been proposed with this petition.

Building Height Step Back: The DCO guides structures over 45 feet in height to step back upper levels 15 feet from the lower levels along street frontages. The proposed structure is approximately 80 feet in height along Morton Street and reduces in height as it goes east due to the grade changes on the site. Step backs of 15 feet have not been incorporated into either of these taller building facades.

Façade Modulation Waiver and Building Height Step Back Waivers – 20.03.130(c)(1&3): Support of these waivers is found in the use of this building. Due to the small size of the lot, a traditional wrap is not possible. The small lot size also

does not allow for significant articulation as it greatly impacts the efficiency and practicality of the parking design. Parking garages usually have consistent parking layouts on each floor to maximize efficiency and provide adequate parking stall and aisle widths. Modulation and step-backs would make a parking garage impractical at this location.

Additional Downtown Plan Guidance:

The Downtown Plan offers the following specific guidance for parking structures being proposed in the downtown:

- *“Parking Structures should be designed to enhance pedestrian activity at street level. At a minimum, a parking structure should help to animated the street, contribute to the integrity if the streetscape and be compatible with the surrounding built environment. “*
- *“Design a parking structure that contributes to the desired character of the community, which results in a visibly attractive and active street edge.”*
- *“When feasible, a parking structure should be wrapped with retail, commercial or other uses that generate pedestrian activity along the street edge. The building should screen internally parked and moving vehicles from the street by locating access ramps to the rear of the building, preferably along an alley and by using façade treatments that mitigate rows of parked cars.”*
- *“Mitigation elements typically include, but are not limited to:*
 - *Retail/commercial “wrap” or leasable space that camouflages the parking structure*
 - *Murals or public art*
 - *Landscape elements such as window boxes and street trees*
 - *Product display cases and windows”*

Although staff finds that the proposed structure does not achieve a level of retail/commercial wrap, pedestrian activity, height, or upper story step backs intended by the Downtown Plan, staff acknowledges that the petitioners are restricted by need to achieve a reasonable number of parking spaces on a property of less than ideal size for a structured parking facility. In addition, the desired use of the lower level for an emergency evacuation center for the adjacent correctional center further complicates achieving all of the stated goals of the Downtown Plan. The petitioners have worked with the City to bring their proposal more into alignment with these specific goals with the revisions as described in this report. This proposal is being brought forward to utilize a small property that is already under the petitioners’ ownership and is one of the few sites that can accommodate the parking needs of County employees both in terms of location and number.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 2 recommendations concerning this development.

1. The Petitioner should plant street trees every twenty (20) feet along Morton and 8th Streets.

Staff response: Although desirable, the petitioners' proposal for street trees meets the UDO requirements.

2. The Petitioner should provide design details for the green wall prior to any approvals.

Staff response: Staff has addressed this recommendation as a proposed condition of approval.

CONCLUSION: Although staff cannot find strict compliance with some elements of the Downtown Plan, the City Administration supports the proposal for the reasons outlined in this report. Essentially, staff believes the Commission must determine whether the building is of an acceptable height or whether the structure should be one-story less most likely through a shared parking arrangement with the City. Additionally, the Commission must determine whether the building has been sufficiently modified to include enough removal of exposed parking decks on the Morton, 7th Street, and 8th Street facades.

RECOMMENDATION: Staff recommends approval of SP-2-15 with all the associated waivers and the following conditions of approval:

1. The petitioners must work with staff to find an appropriate species for the green wall feature.
2. Any portions of the proposed public sidewalk along W. 8th Street, but outside of the right-of-way must be placed within a pedestrian easement or dedicated as right-of-way prior to issuance of final occupancy.
3. The primary pedestrian entrance along Morton Street must include the required lighting, signage and address.
4. A parabolic mirror or similar measure for drivers to clearly see pedestrians must be evaluated and incorporated as needed into the vehicle entry along W. 8th St.
5. The proposed building must be constructed with materials and finishings as outlined in the petitioner's statement, renderings, and elevations.
6. The petitioner must work with City staff to develop an art concept to be used for the first floor interior space facing Morton Street.

MEMORANDUM

Date: February 26, 2015

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Through: Linda Thompson, Senior Environmental Planner

Subject: SP-2-15 Monroe County Commissioners
312 N. Morton Street

This memorandum contains the Environmental Commission's (EC) input and recommendations regarding the request of a Site Plan and Variances for a 9-story parking garage. The 0.4 acre parcel is in the Downtown Commercial zoning district and the Downtown Core Overlay district. The site is currently used as a surface parking lot and an emergency evacuation site for the Monroe County Jail. Eleven parking spaces will have electric vehicle charging stations, and there will be solar photovoltaic panels on the top floor.

ISSUES OF SOUND ENVIRONMENTAL DESIGN:

1.) STREET TREES:

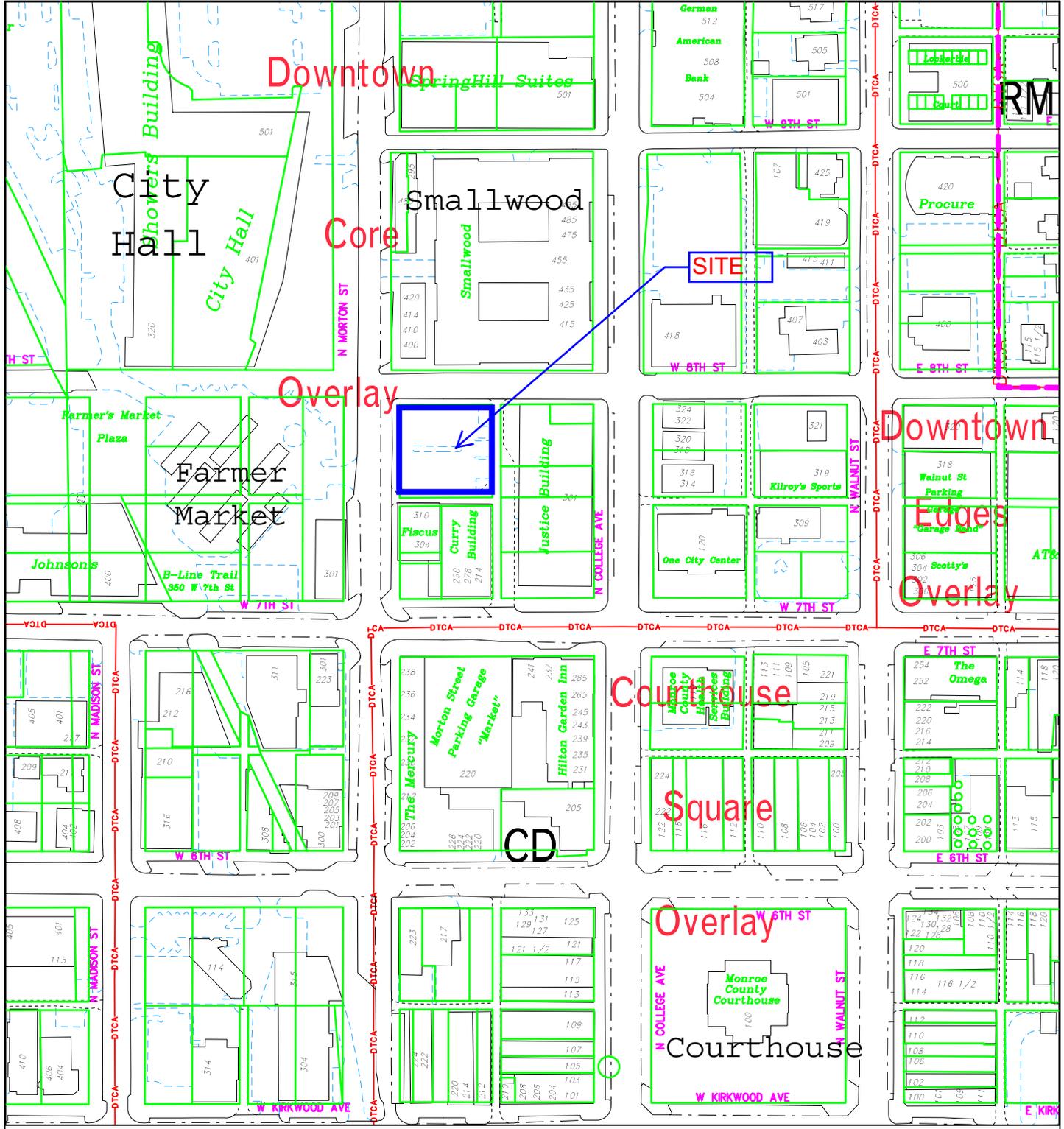
Because of the use of this building, it may be assumed difficult to install the kind of pedestrian-friendly streetscape that the city embraces. This is a high-density pedestrian location across from Showers City Hall, the Farmers' Market, and other large festivals that merits a design that enhances human usability and environmental benefits. Therefore, the EC recommends that the Petitioner plant street trees more densely than the minimum amount (one tree every 40 feet), and recommends that the street trees be planted every twenty (20) feet (the closest they are allowed) along both 8th and Morton Streets. Not only will more trees visually screen the building, it will add a calming social benefit, and provide habitat for birds and pollinators.

2.) GREEN WALL:

The EC applauds the petitioner for planning a green, or vegetated wall. The EC would like to know more details about the design and the type of system planned to be used. Additionally, the EC would like to know what type of plants will be used on the green wall.

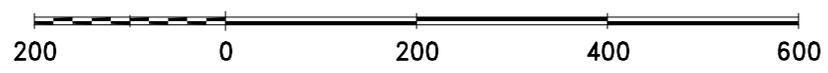
EC RECOMMENDATIONS:

- 1.) The Petitioner should plant street trees every twenty (20) feet along Morton and 8th Streets.
- 2.) The Petitioner should provide design details for the green wall prior to any approvals.



SP-2-15 Monroe County
Commissioners
Location/Zoning Map

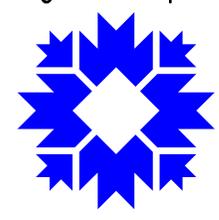
By: shapp
5 Feb 15



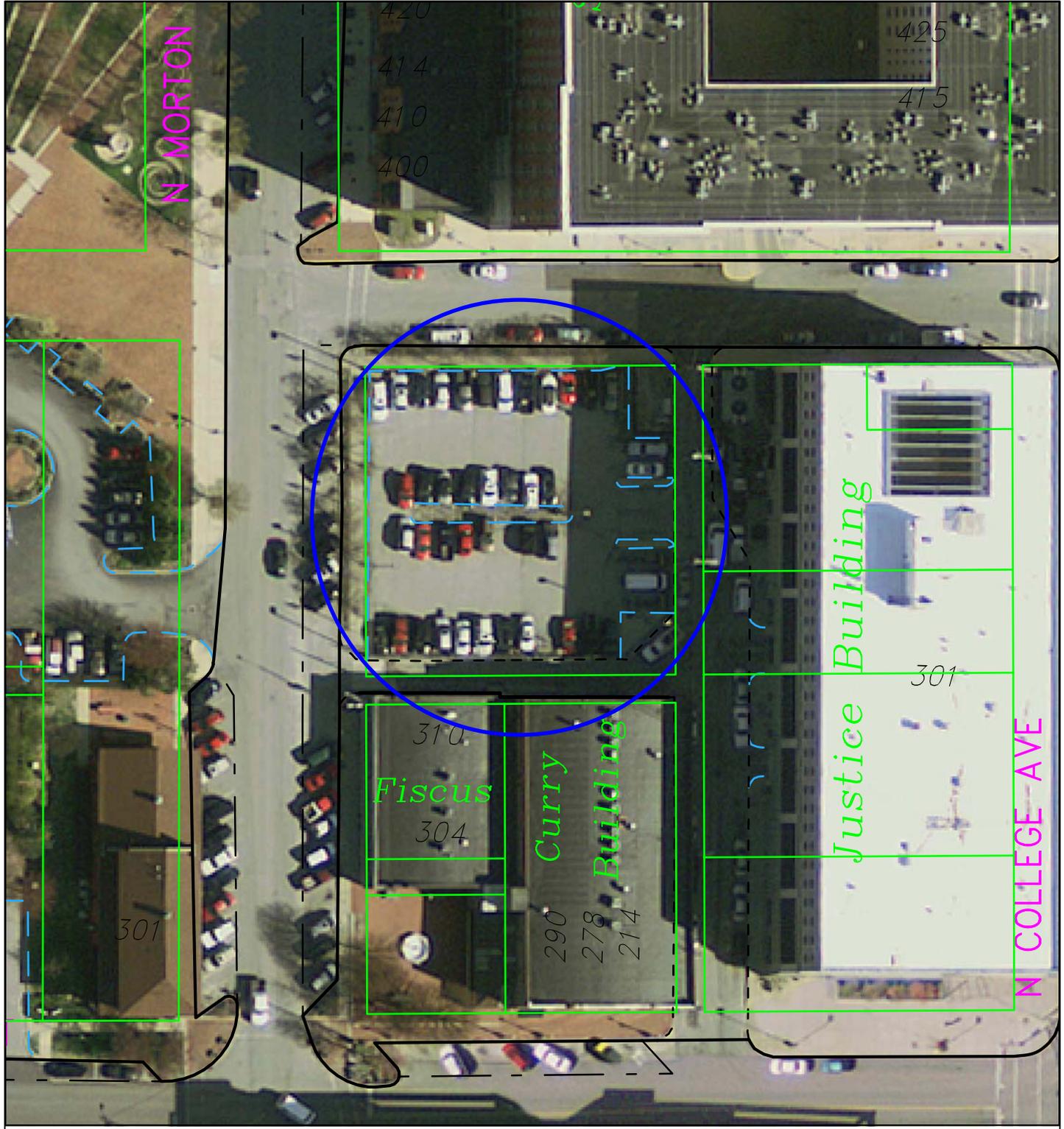
For reference only; map information NOT warranted.



City of Bloomington
Planning & Transportation

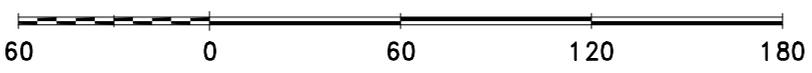


Scale: 1" = 200'

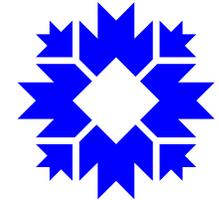


SP-2-15 Monroe County Commissioners
Aerial Photo

By: shayp
31 Dec 14



City of Bloomington
Planning & Transportation



Scale: 1" = 60'

For reference only; map information NOT warranted.



BYNUM FANYO & ASSOCIATES, INC.

Architecture
Civil Engineering
Planning

February 23, 2015 – Revised Submission

City of Bloomington Plan Commission
401 N. Morton Street
Bloomington, IN 47403

Re: Monroe County Parking Garage

Dear Plan Commission Members:

Our client, The Monroe County Commissioners, respectfully request site plan approval to construct an 8 level parking garage and emergency inmate shelter located at the southeast corner of the intersection of 8th and Morton Streets. The property is zoned CD downtown commercial and is in the Downtown Core Overlay Zone. The site is currently used as a surface parking lot and contains an emergency generator for the Justice Building located east of this property.

Surrounding Uses:

East of this site is the Justice Building housing the County Courts, Sheriff's Department and County Jail. There are a total of 289 county employees located in this building. South of this site is the Curry Building and the Fiscus Building with a total of 57 County employees. Across 7th Street from the Curry Building and the Fiscus Building is an 8-story parking garage, similar in height as the building we are proposing. West of this site is the Showers Building, the north side of this building contains the County Planning Department, County Building Commission and the County Highway Department with a total of 123 county employees. North of this site is the Smallwood Building, a 10 story privately owned mixed use building with a parking garage on the 8th, 9th and Morton Street frontages, commercial uses on the College Avenue frontage and multi-family dwellings on the upper floors.

In addition to the uses above the County have additional assets in close proximity to this site. They include the renovated County Court House with a total of 78 employees, the Health Building with a total of 43 employees, the Community Corrections Building with 42 employees and offices in One City Center with a total of 20 employees.

In total the County has 652 employees within approximately two blocks of this proposed building and only 13 County designated parking spaces which occur on this site.

Building Program:

The proposed parking garage facility located at the southeast corner of North Morton Street and 8th Street will have 8 levels of above grade parking that will provide 268 parking spaces for county

528 North Walnut Street
812-332-8030

SP-2-15
Petitioner's
Statement

iana 47404
-339-2990

employees working in adjacent and nearby buildings. One half of the top level of the garage has been eliminated from the original design which will allow for a reduction in height along Morton Street and the alley. Vehicle entry will be located along 8th Street per Staff's suggestion and will allow for easy entry/exiting from the parking garage without affecting vehicular traffic on North Morton Street.

Located underneath the parking garage and one-half level below grade will be an emergency inmate sheltering facility that will provide temporary shelter in the event of a fire or other emergencies may occur at the adjacent County Jail. Inmates will be escorted into the facility and temporarily held for a 24 hour period before being relocated to a permanent facility.

There is a possibility that the inmate sheltering facility could be converted and utilized for work-release housing for up to 75 correctional inmates. This possibility is wholly dependent upon available funding and is not being proposed at this time.

Architectural Features:

A summary of architectural features and revisions:

1. One half of the top level of the garage has been eliminated. This results in a reduction in height of the Morton Street façade and the alley façade (viewed from 7th Street). Both facades are reduced by 10'-4". Please reference the elevations for the newly proposed heights.
2. Both the northwest and southeast stair towers have been lowered (please reference the building elevations for the newly proposed heights).
3. A change of materials that will clad the concrete frame are being proposed. Cladding will be a combination of acid etched and brick veneer precast panels.
4. The use and combination of the two types of precast panels provides scale and more interest/freedom for the design of the building facades, especially along Morton and 8th Streets.
5. The void to solid ratio for the Morton Street façade has been decreased and a punched opening vocabulary has been added to the design.
6. The amount of glazing has been reduced in the Northwest stair tower. This change enhances the design of the tower and reduces the amount of solar gain from western sunlight.
7. The glazing for the first level storefront on Morton Street has been changed to clear glass in lieu of spandrel. Horizontal canopies have been incorporated into the storefront design as well.
8. The interior space plan layout for the emergency inmate shelter has been revised. The main entrance is now being proposed at the Southwest corner in lieu of utilizing the main entrance of the parking facility. ADA accessibility for the lower level when needed will still be achieved by utilizing the elevator in the northwest corner.
9. The newly proposed space plan also allows for a secondary corridor that runs parallel to the Morton Street storefront. The corridor space will be lighted properly and has the potential to be utilized for a rotating art program sponsored by both the City and County.

10. All entrances and exits from the building are now recessed, including the main entrance at the northwest corner. Please reference the newly proposed floor plans.
11. The large parking sign that was originally shown on the 8th Street façade has been eliminated.

The concrete structural frame of the parking garage facility is proposed to be clad with two types of architectural precast concrete panels that will be fabricated with acid etching and brick veneer. The acid etching will allow the architectural precast panels to have the appearance and durability of limestone and the thin brick system provides the aesthetic of real brick veneer. By utilizing the precast panels, the acid etched and brick veneer precast panels allow us the design freedom to assemble interesting facades that are attractive, within budget, quickly installed in any weather condition, durable, and fire resistant.

The main entrance for the parking garage is located in a stair and elevator tower at the Northwest corner of the building. The elevator will serve each level of the parking garage, and also provide ADA accessibility for the emergency inmate sheltering facility located on the lower level. The tower's vertical design and form reinforces the NW corner of the site and provides a clear indication of where the main entrance is located. The stair tower is clad with a vertical assemblage of the acid etched precast and clear glass storefront.

The building elevations were designed in a manner that emphasizes the importance of the Morton Street and Eighth Street façades. The Morton Street façade is an interesting mix of both the acid etched precast and the brick veneer precast that is intended to provide scale at the street and to break up the façade on the upper levels. Aluminum storefront with clear glazing is proposed on the first level while the upper levels incorporate a punched opening vocabulary. A vertically proportioned live wall system is proposed at the southeast corner that helps to balance the façade with the northwest stair tower.

The Eighth Street façade also incorporates a mix of both the acid etched and brick veneer precast panels. The acid etched panels are utilized to clad the first two levels of the garage, providing scale at the street similar to the Morton Street façade. Aluminum storefront with opaque spandrel glazing is proposed on the first level. The spandrel glazing will help screen cars parked on the first level of the parking garage and will also screen the vehicular ramp leading to the second level of parking.

A second stair tower is located at the Southeast corner of the building and will serve as a secondary entry/exit for county employees parking on floors 2-8. The southeast stair tower has been lowered in height by four feet and the façade design has been revised to incorporate the acid etched and brick veneer precast panels. The amount of glazing in the tower has been reduced slightly and has the appearance of a large punched opening in lieu of continuous curtain wall.

Sustainable Features:

The facility will employ a solar PV panel array and structure on the roof that will supply a significant portion of the electricity consumed by the lighting in the open parking area of the facility. The garage will also provide 10 electric vehicle charging stations connected to the PV array. Surplus electricity generated by

the panels, if any, will be metered back into the utility grid for consumption by other buildings. Energy efficient LED lighting fixtures will be utilized throughout the structure to minimize electricity consumption. An 8-story green screen trellis system will be attached to the masonry wall located along North Morton Street. Species of ivy will be planted in hanging planter boxes at each floor level and will provide a vertical element of vegetation that will be visually appealing from the streetscape. Secured bike parking has been provided on the first parking level near the 8th Street garage entrance. A total of 20 spaces have been provided.

Site Plan Standards:**Building frontage:**

Morton Street; the support column and south end of the building are set on the right of way line for a total of 30 feet of the 125' 4" building width.

8th Street; the building was held approximately 2 feet south of the right of way line to accommodate a 6" curb, 5 foot tree grate and 5 foot sidewalk.

Street trees:

Street trees and 5' by 5' tree grates are proposed at 40 foot centers along Morton Street and 8th Street.

Lighting:

Pedestrian scale street lights less than 15 feet similar to the existing lighting north and south of this site will be placed along Morton Street and 8th Street. Full cut off fixtures will be used. Exterior building lighting will comply with 20.05.060 lighting standards.

Water Service:

The City of Bloomington has a 12-inch water main in Morton Street that will meet the fire and domestic supply requirements of this building.

Sanitary Sewer:

The City of Bloomington Utilities has an existing sanitary sewer main in Morton Street that we will be connecting to with a 6-inch sanitary sewer lateral.

Storm Water:

The City of Bloomington Utilities has a curb inlet at the northeast corner of our property that we will connect our storm lateral.

Architectural Standards:**Height Standards:**

Standards: Minimum Structure Height is 35 feet with a maximum height of 50. We are proposing the following heights from grade to accommodate the minimum number of parking spaces to meet the County's needs:

Southeast stair tower – 88'-8"

Northwest stair tower – 90'-0"

Southwest Corner (Morton Street) – 80'-0"

Northeast Corner (8th Street) – 77'-10"

Building setback standard:

Standards: The requirement is a build-to line of 0 feet and 70% of the building façade facing a street shall be constructed at the build to line.

On Morton Street we have placed our column lines and portions of the northwest and southwest corners of the building on this line as well. As a result, the entire building is on the build to line.

On 8th Street we have held the building approximately 2 feet south of the right of way line to accommodate curb, tree grate and sidewalk. We are proposing an 81.23% build to line assuming the approximately 2 feet accommodating the 5 foot sidewalk will become the new right of way line.

Ground Floor Non-Residential Uses:

Standards: 50% of the ground floor is required to have non-residential use.

We are proposing 41% as being non-residential use excluding the parking garage.

Void to Solid Percentage:

Standards: The requirement is 60% of the first floor and 20% of the upper floors shall be open.

On 8th Street we are providing 60% open area on the first floor and 53% open on the upper floors.

On Morton Street we are proposing 61% open on the first floor and 40.2% on the upper floors.

Windows:

Standards: All windows in the stair towers shall be transparent and shall not make use of dark tinting or reflective glass. Large display windows shall be used along all first floor facades facing a street.

All storefront on the Morton Street façade has been revised to utilize clear, transparent glazing in lieu of opaque spandrel glazing. However, spandrel glazing is still being proposed along the 8th Street façade in an effort to screen parked cars.

Entrance Detailing:

All entrances/exits, including the northwest stair tower are now recessed and meet the entrance detailing requirements. We will have the building address number prominently displayed on the curtain wall glazing using a surface applied film graphic. The building and street name will be displayed using extruded aluminum signage attached to the brick masonry near each entrance door. Exterior lighting will be located in the entrance canopy and on the face of the masonry columns to properly illuminate the signage.

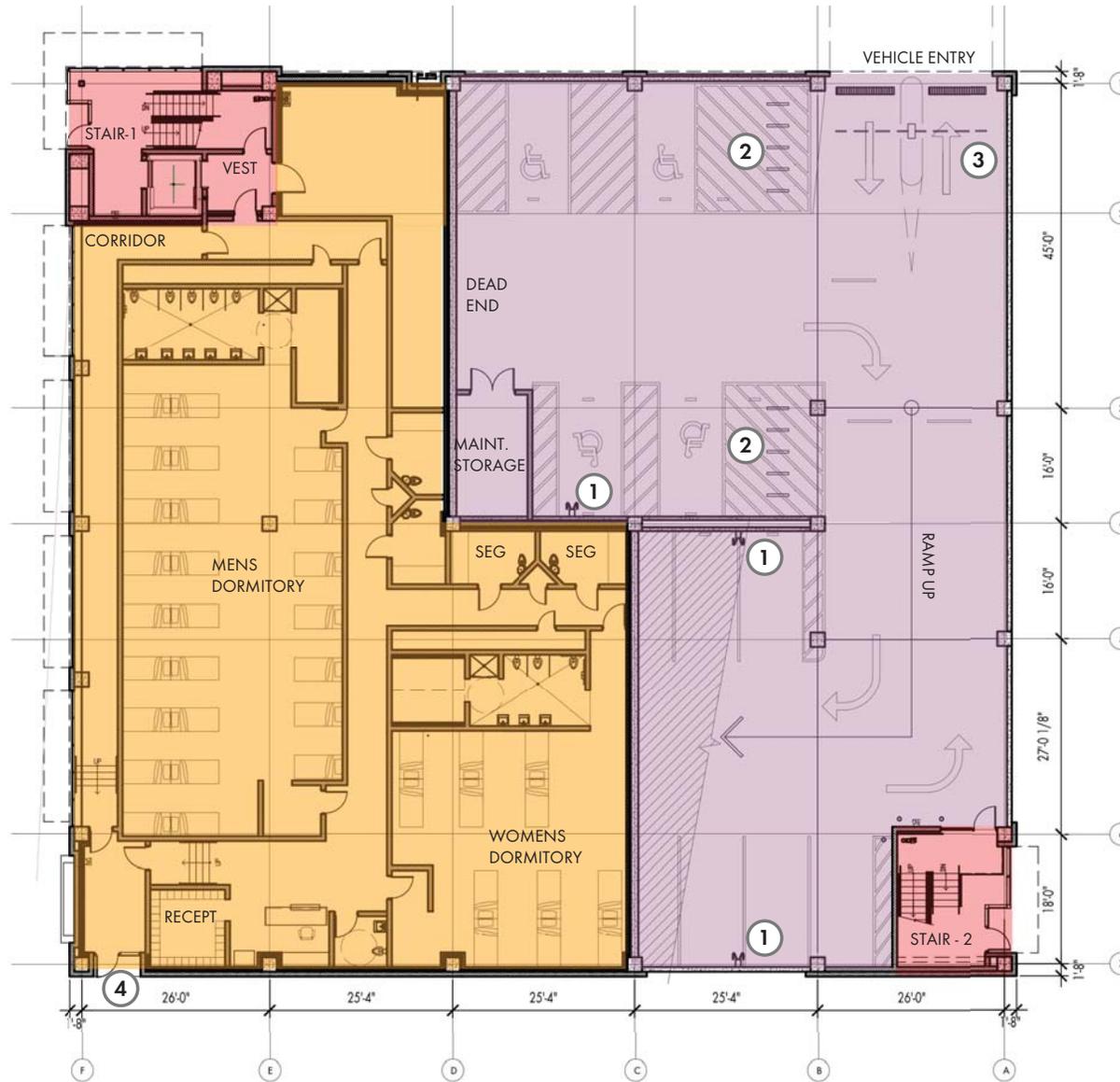
Massing, Scale and Form:

The proposed use as a parking garage does not lend itself to the modulation requirement that would normally be carried to the upper floors of an office building or mixed-use development. However, the newly proposed Morton Street façade has been modulated in a way that adds scale at street level with the incorporation of a two-story base, an interesting mix of acid etched and brick veneer precast, and the incorporation of a punched opening vocabulary. The 8th street façade's modulation has also been enhanced by the addition of a two-story base similar in nature to the Morton Street façade.

Sincerely,



Jeffrey S. Fanyo, P.E., CFM



- ① CHARGING STATIONS
- ② BICYCLE GARAGE
- ③ SECURITY GATE
- ④ EMERGENCY INMATE SHELTER - ENTRANCE
- ENTRY/ EXIT STAIRS
- PARKING GARAGE
- EMERGENCY INMATE SHELTER
- SOLAR PANEL ARRAY

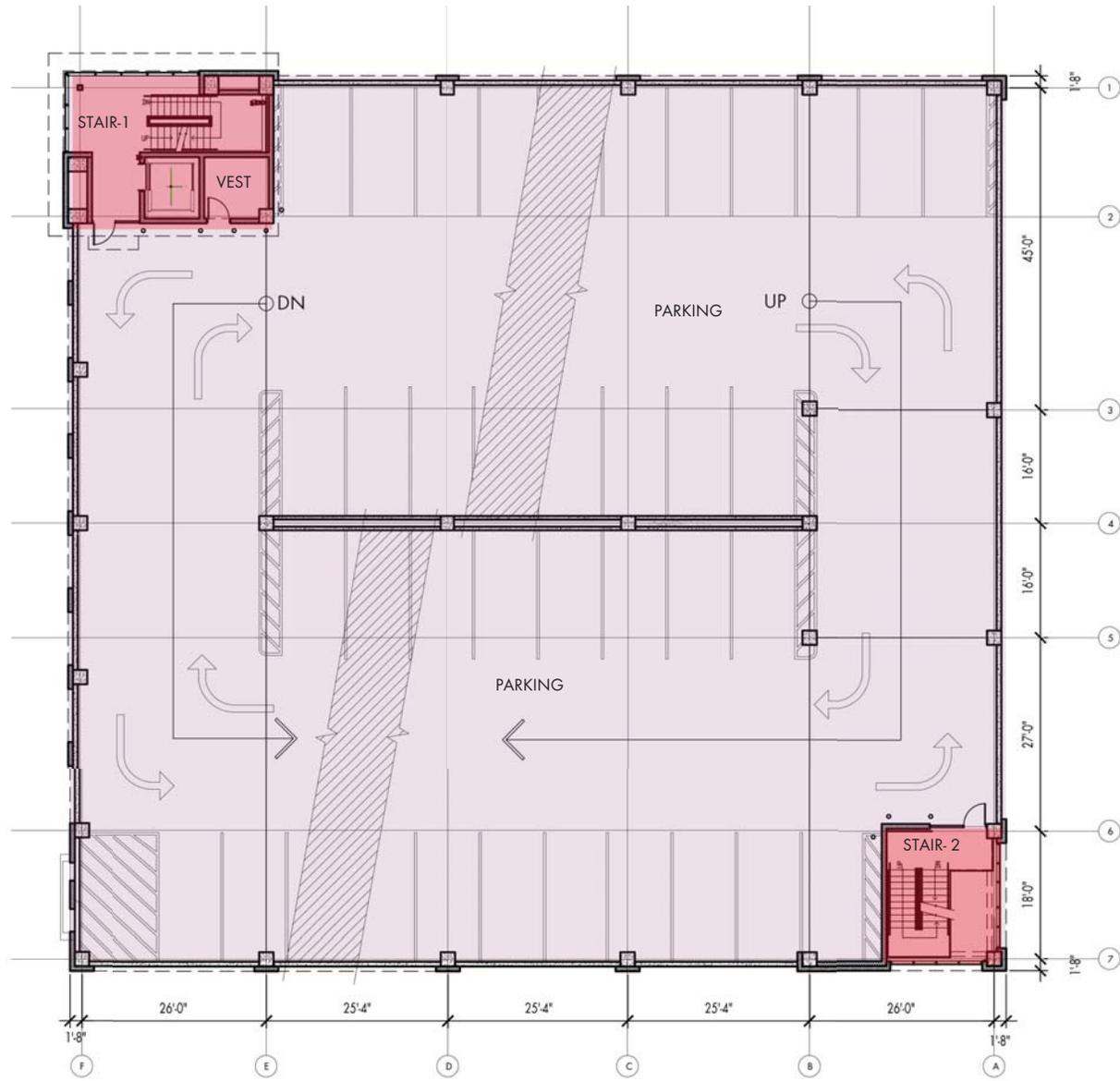
MONROE COUNTY COMMISSIONER'S GARAGE | LEVEL 01 FLOOR PLAN

MARCH 2015

SCALE: 1/16" = 1'-0"



First Level Floor Plan



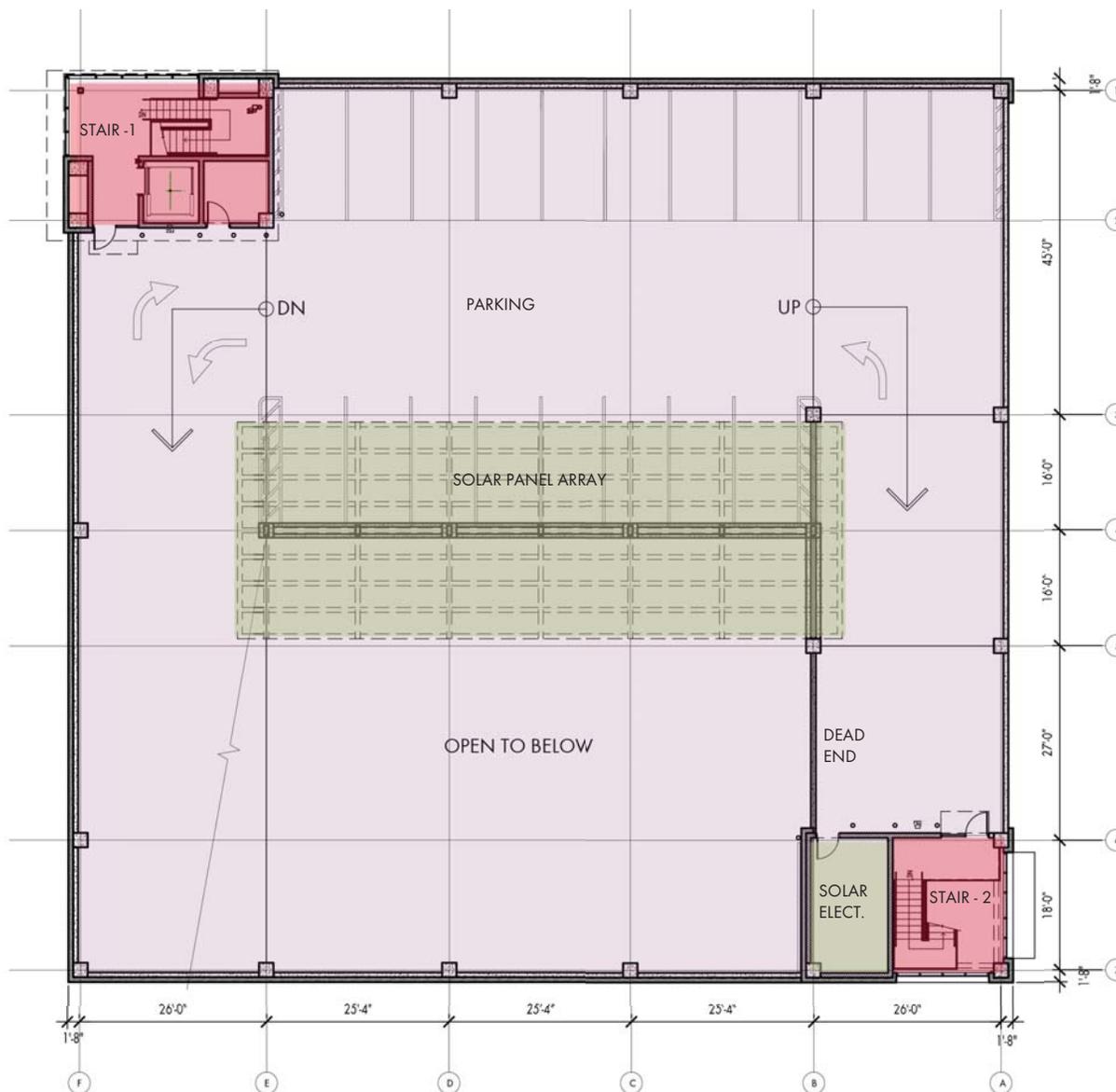
- ① CHARGING STATIONS
- ② BICYCLE GARAGE
- ③ SECURITY GATE
- ④ EMERGENCY INMATE SHELTER - ENTRANCE
- ENTRY/ EXIT STAIRS
- PARKING GARAGE
- EMERGENCY INMATE SHELTER
- SOLAR PANEL ARRAY

MONROE COUNTY COMMISSIONER'S GARAGE | LEVEL 02-07 FLOOR PLAN

MARCH 2015

SCALE: 1/16" = 1'-0"





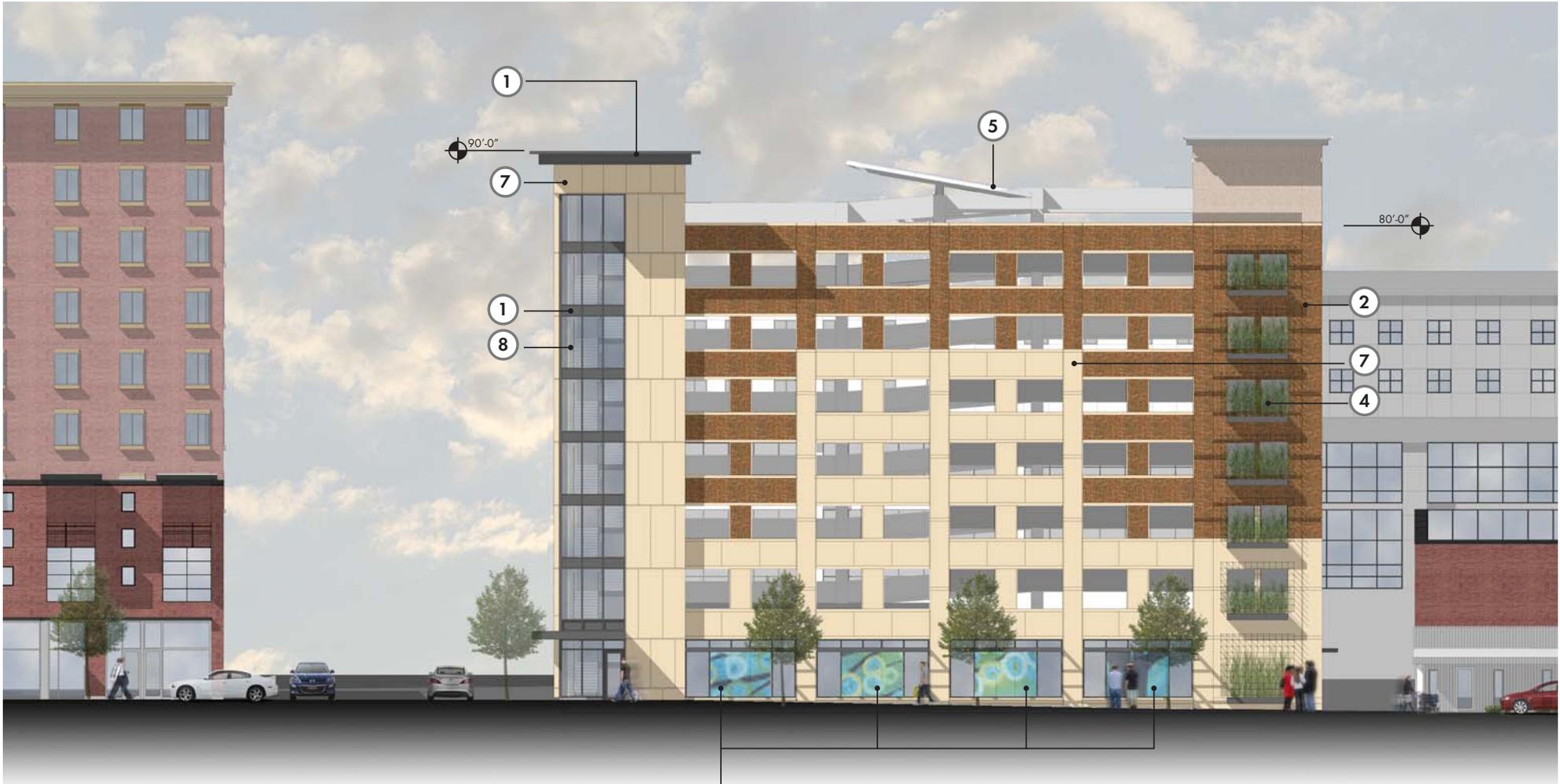
- ① CHARGING STATIONS
- ② BICYCLE GARAGE
- ③ SECURITY GATE
- ④ EMERGENCY INMATE SHELTER - ENTRANCE
- ENTRY/ EXIT STAIRS
- PARKING GARAGE
- EMERGENCY INMATE SHELTER
- SOLAR PANEL ARRAY

MONROE COUNTY COMMISSIONER'S GARAGE | LEVEL 08 FLOOR PLAN

MARCH 2015

SCALE: 1/16" = 1'-0"





MONROE COUNTY COMMISSIONER'S GARAGE | WEST ELEVATION
 MARCH 2015 | SCALE: 1/16" = 1'-0"

- 1 METAL PANEL
- 2 BRICK VEENER PRECAST PANELS
- 3 SECURITY GATE
- 4 GREEN SCREEN TRELLIS SYSTEM
- 5 SOLAR PANEL STRUCTURE
- 6 CONCRETE STRUCTURE
- 7 ACID ETCHED PRECAST PANEL
- 8 ALUMINUM STOREFRONT WITH CLEAR GLAZING
- 9 ALUMINUM STOREFRONT WITH SPANDREL GLAZING



West (Morton) Elevation

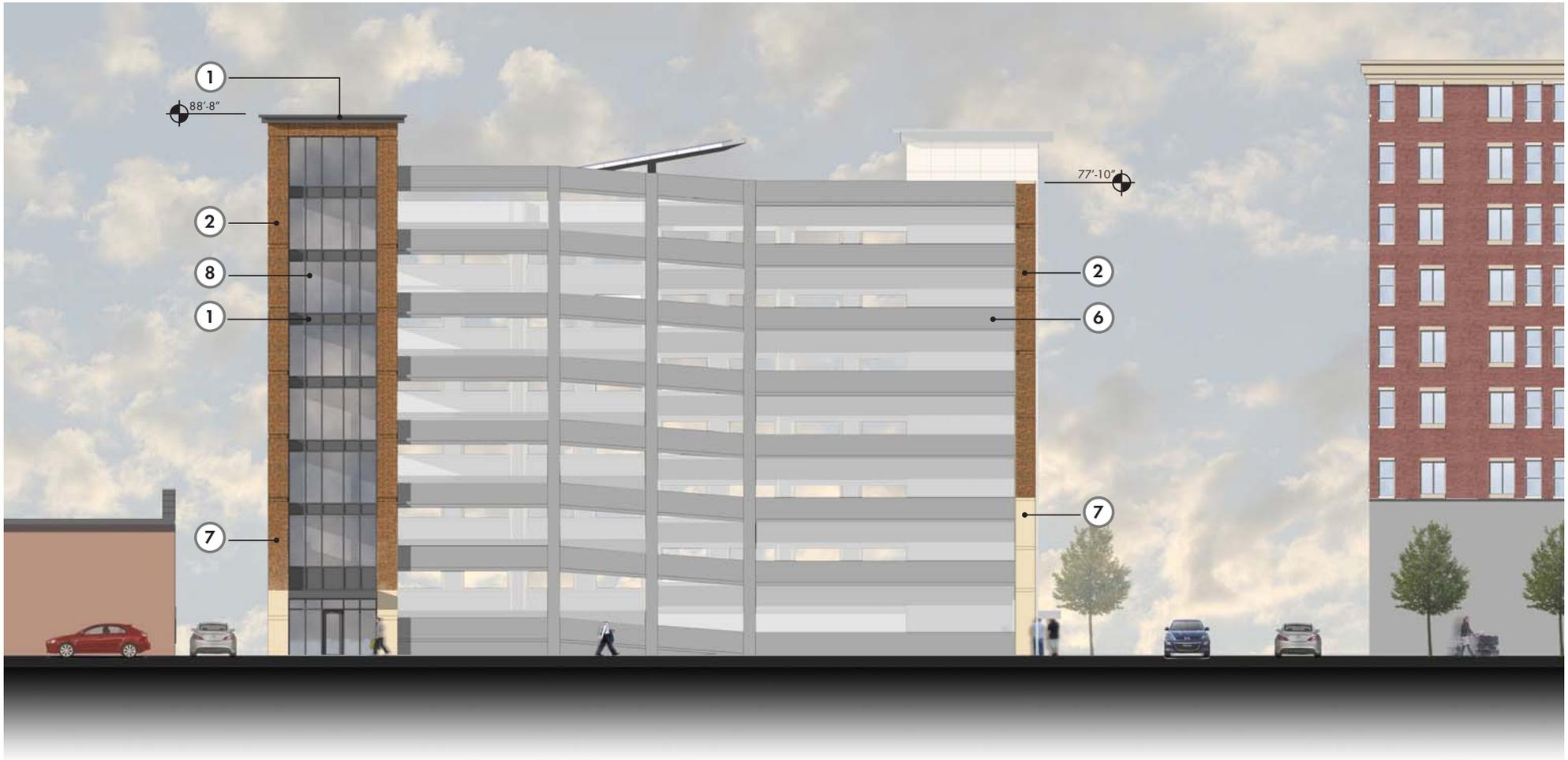


MONROE COUNTY COMMISSIONER'S GARAGE | NORTH ELEVATION
 MARCH 2015 SCALE: 1/16" = 1'-0"

- ① METAL PANEL
- ② BRICK VEENER PRECAST PANELS
- ③ SECURITY GATE
- ④ GREEN SCREEN TRELLIS SYSTEM
- ⑤ SOLAR PANEL STRUCTURE
- ⑥ CONCRETE STRUCTURE
- ⑦ ACID ETCHED PRECAST PANEL
- ⑧ ALUMINUM STOREFRONT WITH CLEAR GLAZING
- ⑨ ALUMINUM STOREFRONT WITH SPANDREL GLAZING



North (8th) Elevation

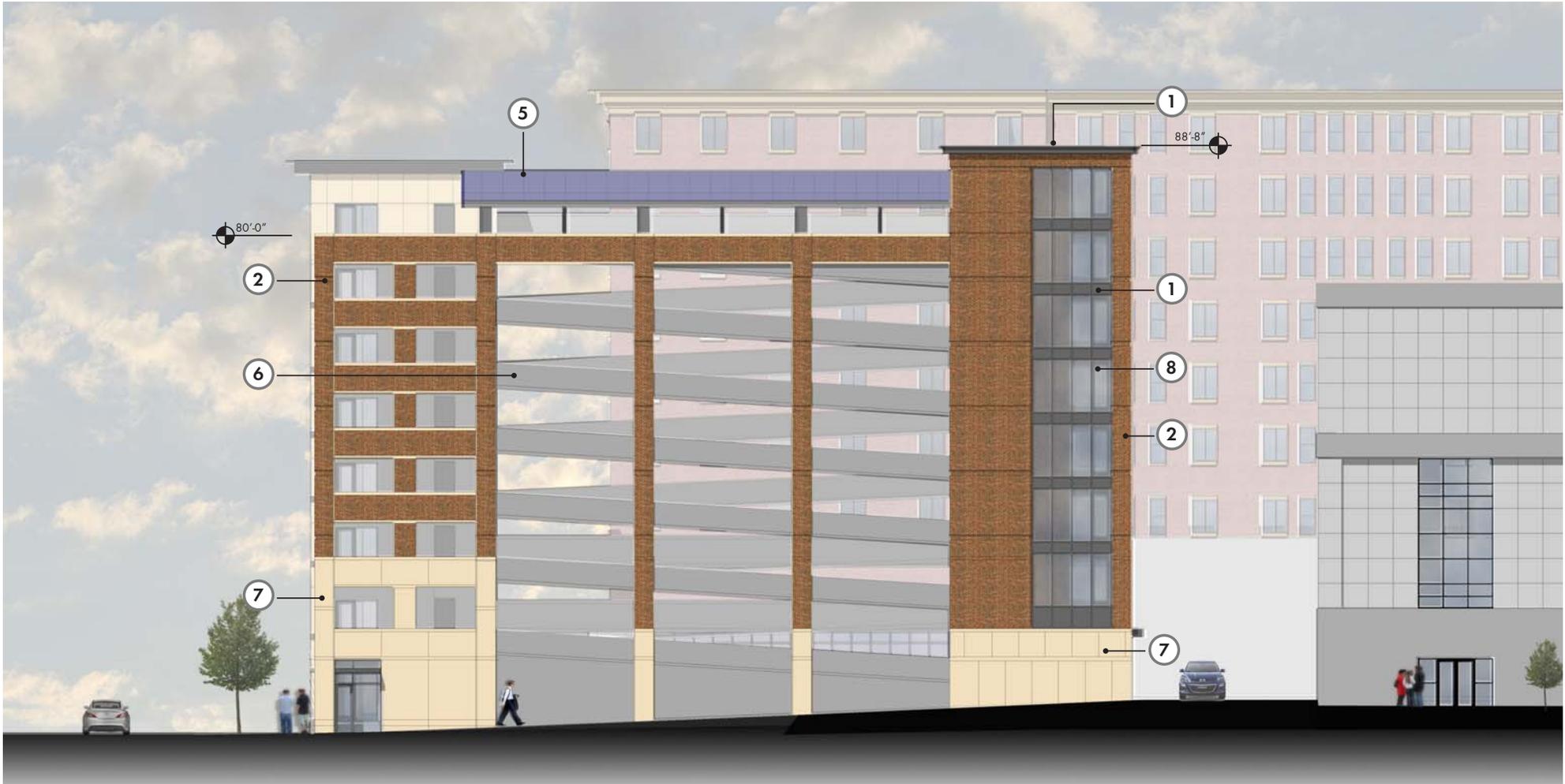


MONROE COUNTY COMMISSIONER'S GARAGE | EAST ELEVATION
 MARCH 2015 SCALE: 1/16" = 1'-0"

- ① METAL PANEL
- ② BRICK VEENER PRECAST PANELS
- ③ SECURITY GATE
- ④ GREEN SCREEN TRELLIS SYSTEM
- ⑤ SOLAR PANEL STRUCTURE
- ⑥ CONCRETE STRUCTURE
- ⑦ ACID ETCHED PRECAST PANEL
- ⑧ ALUMINUM STOREFRONT WITH CLEAR GLAZING
- ⑨ ALUMINUM STOREFRONT WITH SPANDREL GLAZING



East (Alley) Elevation



- ① METAL PANEL
- ② BRICK VEENER PRECAST PANELS
- ③ SECURITY GATE
- ④ GREEN SCREEN TRELLIS SYSTEM
- ⑤ SOLAR PANEL STRUCTURE
- ⑥ CONCRETE STRUCTURE
- ⑦ ACID ETCHED PRECAST PANEL
- ⑧ ALUMINUM STOREFRONT WITH CLEAR GLAZING
- ⑨ ALUMINUM STOREFRONT WITH SPANDREL GLAZING



MONROE COUNTY COMMISSIONER'S GARAGE | SOUTH ELEVATION
 MARCH 2015 SCALE: 1/16" = 1'-0"

South (7th/Curry) Elevation



MONROE COUNTY COMMISSIONER'S GARAGE | MORTON STREET AND 8TH STREET PERSPECTIVE

MARCH 2015



Model Rendering



MONROE COUNTY COMMISSIONER'S GARAGE | MORTON STREET PERSPECTIVE
MARCH 2015



Model Rendering



MONROE COUNTY COMMISSIONER'S GARAGE | 7TH STREET AND MORTON STREET PERSPECTIVE

MARCH 2015



Model Rendering



MONROE COUNTY COMMISSIONER'S GARAGE | 7TH STREET PERSPECTIVE
MARCH 2015



Model Rendering

**BLOOMINGTON PLAN COMMISSION
FIRST HEARING STAFF REPORT
LOCATION: 901 N. Smith Road**

**CASE #: PUD-1-15
DATE: March 9, 2015**

**PETITIONER: Eastside Investments, LLC
PO Box 5544, Bloomington**

REQUEST: The petitioner is requesting a Preliminary Plan and District Ordinance amendment to a Planned Unit Development to revise the approved list of uses.

REPORT: This property is located at the southwest corner of N. Smith Road and E. 10th Street (SR 45). The property was rezoned in 1982 (PCD-2-82) to a Planned Unit Development. This rezoning approval was very specific and had a very narrow list of approved uses that included mini-warehouses, office, and convenience store with gas pumps. A final plan was approved later that year to allow construction of the mini-warehouses and to add gas to the existing convenience store.

The PUD was revised in 1986 (PCD-22-86) to permit an additional use of carry-out and delivery pizza. Although not specifically approved, a small number of indoor seats have been in place for a number of years within the store and served both the convenience store and the pizza use. A few years ago, the petitioner began to barbecue product in the parking lot as an accessory to the convenience store. This grew into what is now the BBQ Train, a one day a week event that has grown in popularity. Although the petitioner barbeques multiple days a week for their product, the main focus has been on their weekly sales associated with the BBQ Train.

To take advantage of the success of the BBQ Train and to spread the sales out more evenly over the week, the petitioner is proposing to reallocate space within the existing building to accommodate internal space for a more formal kitchen and restaurant user that would have a common internal window with the convenience store. It will also allow for an expanded menu. Staff would consider the proposed use to be a limited service restaurant.

With the proposal, the petitioner is also seeking allowance for more internal seating within the structure. No exterior changes to the building or property are proposed, but recent improvements to the property have been made and will be made regarding grease collection and building maintenance.

In reviewing this petition, staff would like the Plan Commission to consider further widening of the permitted use list to avoid unnecessary delay and process if the buildings were reused in the future. This PUD has a very narrow list of uses. Staff recommends that the Plan Commission consider utilizing the Commercial Limited (CL) zoning district list of uses (in addition to the existing permitted uses) as a starting point. This is the Unified Development Ordinance's most restrictive commercial zoning district and is intended to be used for small, neighborhood-serving properties such as the petitioner's. Staff finds that most, if not all, of the

permitted uses would be appropriate for this location if a change in use were to occur in the future. Currently, if one of these other uses were desired, another PUD amendment would be required to be reviewed by the Plan Commission and the Common Council. If there are any uses allowed in the CL district that the Plan Commission and Council found to be inappropriate, they could be removed at this time.

GROWTH POLICIES PLAN COMPLIANCE: The Growth Policies Plan (GPP) designation for this property is Neighborhood Activity Center (NAC). The Commercial Limited district is usually associated with this GPP designation and a restaurant (as well as other CL uses) is fully consistent with the goals and policies of the NAC.

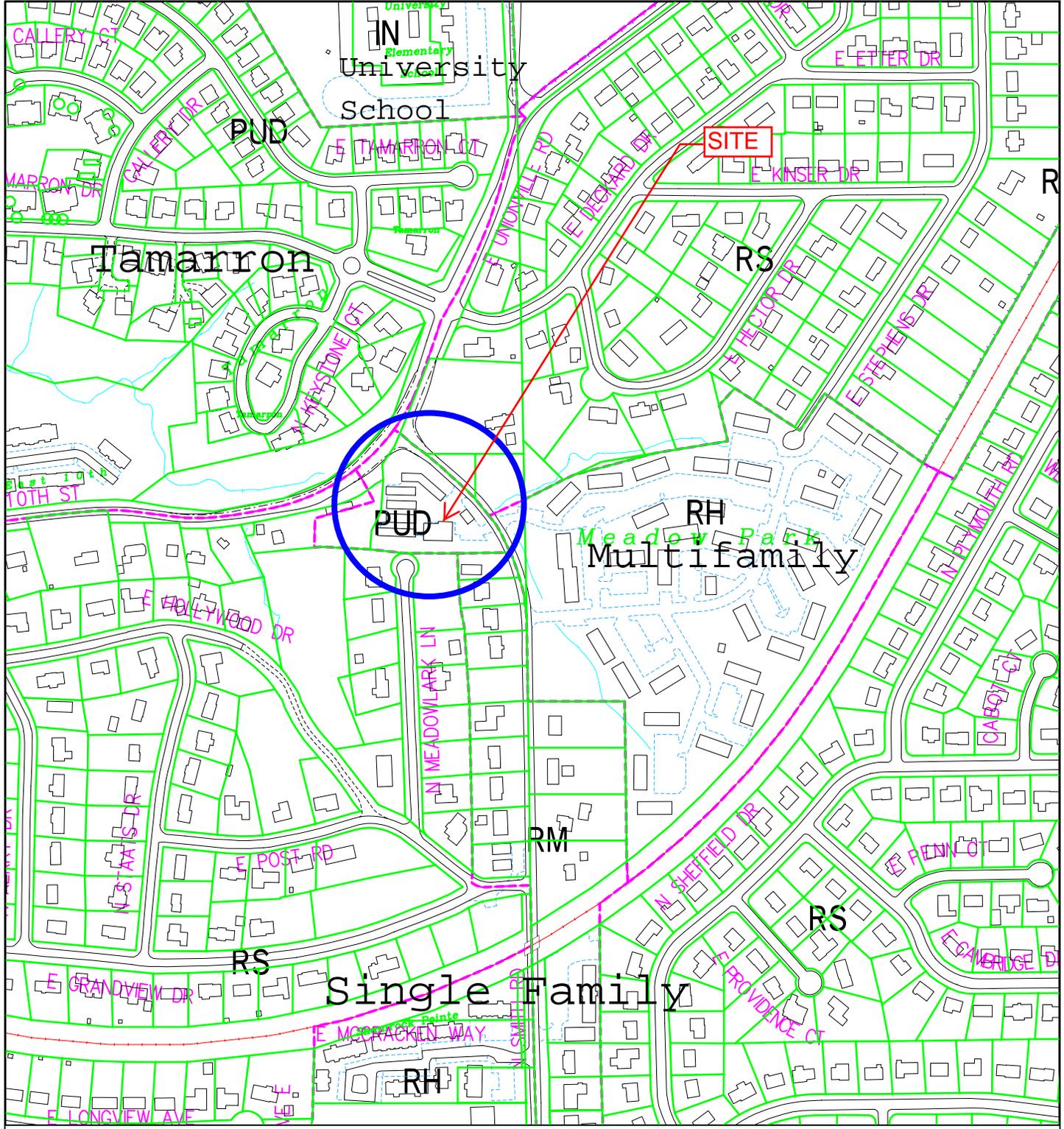
Of particular note for this petition, the NAC land use policies state:

- *The main focus of the NAC should be commercial uses at a scale that serves the immediate neighborhood, including such services as small food stores, video rental, or small cafes.*
- *Commercial Uses should be restricted to ensure their neighborhood focus.*

PUBLIC INPUT: Staff has received a few comments regarding this petition. Most have been positive with one neighbor expressing concerns regarding excessive smoke being generated from this use.

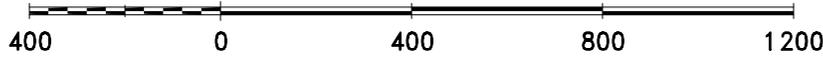
CONCLUSIONS: Staff finds this to be a very minor change to the PUD with negligible impacts to the development and the surrounding area.

RECOMMENDATION: Staff recommends forwarding this petition to the April 13 Plan Commission meeting for a second hearing.



PUD-1-15
 Location/Zoning
 Map

By: shayp
 5 Mar 15

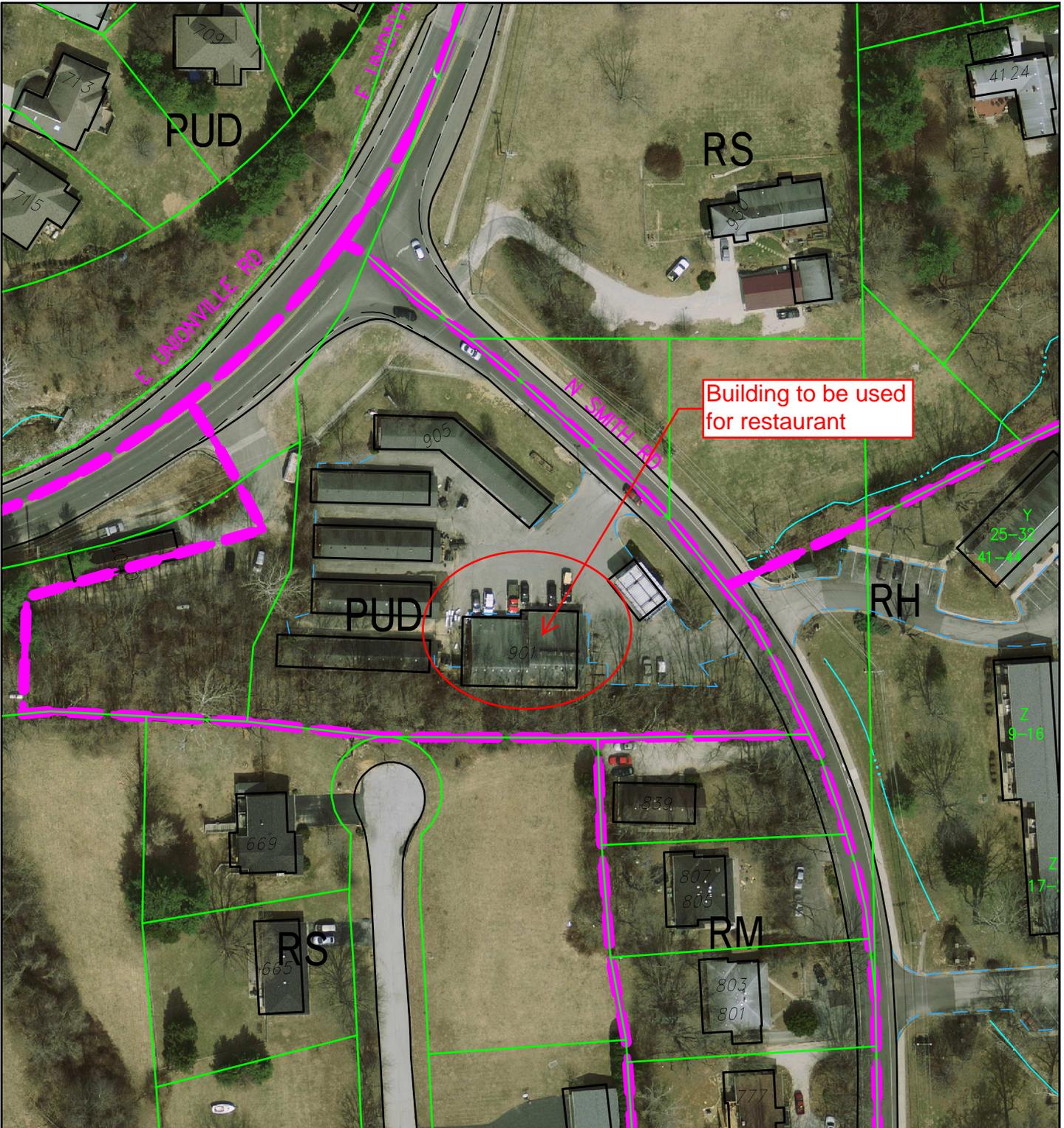


City of Bloomington
 Planning & Transportation

N

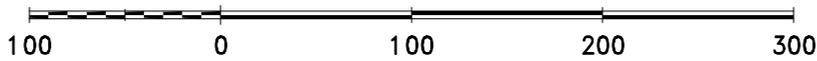
Scale: 1" = 400'

For reference only; map information NOT warranted.



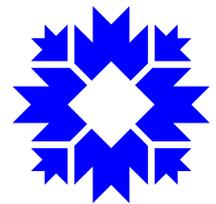
PUD-1-15
Aerial Map

By: shapp
5 Mar 15



For reference only; map information NOT warranted.

City of Bloomington
Planning & Transportation



Scale: 1" = 100'

**Eastside Investments, LLC
901 North Smith Road
Bloomington, Indiana 47408**

October 23, 2014

Tom Micuda
Planning and Transportation Director
401 N. Morton Street
Bloomington, Indiana 47404

RE: Request to amend PUD to allow indoor seating
901, 903, 905 North Smith Road with waiver of second hearing.

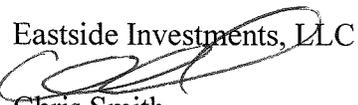
Dear Mr. Micuda,

Please accept this letter as our formal request to petition the City of Bloomington to amend the list of uses for the PUD located at 901 North Smith Road. Specifically we are requesting this to allow indoor seating for the Short Stop Food Mart/BBQ Train with waiver of second hearing. It is our understanding that the current PUD approval limits the property to a carry-out restaurant only. In order to differentiate our Gas station from other stations we started barbequing in our parking lot one day a week and that slowly grew into what is now the BBQ Train. Currently we operate in the parking lot every Thursday and sell pulled pork out of the gas station every day. Historically, there has always been some indoor seating. 905 North Smith was a Pizza place for years and had about 15 seats. The gas station consistently had seating for eight guests. Most of the retail sales were, and still are, carryout.

We are requesting a change in the PUD to allow us to serve a broader menu and increase the number of days of service for the BBQ Train. Our goal is to tie the BBQ Kitchen to the Gas Station via a sales window inside the existing building. In order to make this option viable we believe some indoor seating would be necessary above what has historically been on the site. We estimate the maximum number to be in the 25 guest range for sit down seating.

At this time there is no plan for any additions or exterior renovations other than cosmetic. In 2014 we did replace all of the roofs, soffit, fascia and gutters. We have worked with the Health Department and Utilities to make sure we are in compliance with the current Grease Interceptor requirements.

A preliminary floor plan is attached, if you have any questions please feel free to contact me at any time.

Eastside Investments, LLC

Chris Smith

PUD-1-15
Petitioner's Statement

History of Short Stop Food Mart

In the mid 1970's the corner of 10th Street and Smith Road was a wooded ravine with a small rental home, owned by Tim Ellis, a local realtor. In late 1978, Dave Trueblood and Dick Huffman (the owner of the Johnson Creamery which operated until 1987) approached Tim about opening a neighborhood grocery on this corner, and in 1979, the first Short Stop Food Mart opened.

At this time George Huntington was working at the Night Owl at the corner of 17th and Indiana and was approached by Dave and Dick to come manage the store, George agreed and by 1985 had bought out the original partner's, added gas and operated what has become a Bloomington Landmark for over 30 years.

In the 1980's Short Stop was the hangout for the local kids during the summer months enjoying the latest in video entertainment, Pac-man and Asteroids. Managers and employees included Darla, Debbie, and Kenny. The same year gas was added, a group of investors including, Jerry Gates, Mel Richardson, Bud Wyman, Mary Hartle, Charles Kelly, Thomas Gibbs and Patrick Duginske purchased the property and added the Eastside Mini Warehouses.

Since then, Short Stop has had some good and bad years. The reconstruction of 10th street and the railroad trestle on Smith Road almost ended its very existence.

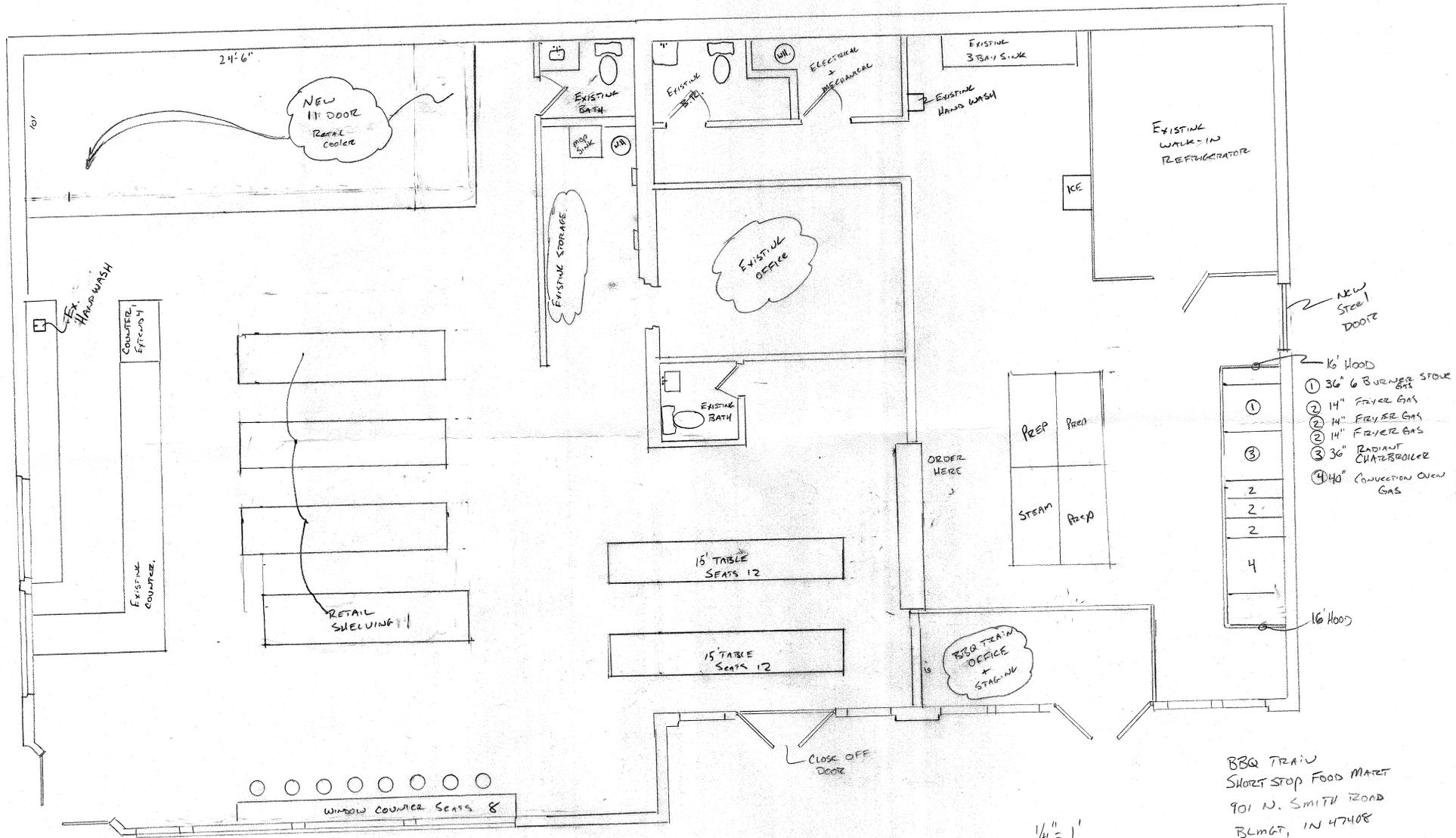
In 2000 the original partners sold their interest in the real estate to Eastside Investments, LLC whose members included Chris Smith and Whitney Gates, by 2005 Chris had bought out his partner in the real estate and George's interest in Short Stop Food Mart.

This was the year Short Stop closed for a summer to add branded gasoline (Sunoco) including some renovations such as a new canopy, modern gas pumps and sales counter. Then disaster hit, the financial crisis and a huge spike in gasoline prices drove the store operator into bankruptcy leaving empty shelves and gas tanks.

In January of 2009 the current property owner, Chris Smith a Bloomington Native, left his position as a Civil Engineer in Charlotte NC, returned to Bloomington and took over Short Stop Food Mart. Having grown up stopping at Short Stop thought-out his teen years he was devoted to reinventing the neighborhood grocery by focusing on customer service a friendly atmosphere and local products.

In the last few years Short Stop has once again become an asset to the surrounding community by offering products and services at reasonable prices and out of this rebirth the BBQ Train was created.

Proposed list of uses



BBQ TRAIN
SHORT STOP FOOD MARKET
901 N. SMITH ROAD
BLMGT, IN 47408
1/4" = 1'
PROPOSED PLAN
SEATING - 32 CUSTOMERS

PUD-1-15
Floor Plan

Hank-bikejerseys.com <bikejerseys@yahoo.com>

Jan
22

to Martin, me

Martin,

We have owned this property since 1981. Our property is also zoned commercial but we have a 150 year old log cabin on it as well which is (our residence). I know Chris Smith personally as we allowed them to use a piece of our property this last spring to fix a drainage issue on the southern most warehouse building so it was usable. We have had issues with the smoke since the Barbecue's inception but never complained until the issue became a real problem with my wife's illness in 2013. I had hoped that once the activity (Barbecue) was found to be a viable operation that Chris Smith would decide to move it inside and have proper ventilation.

The reason that I contacted you was the latest from (Eastside Investments & Chris Smith) is a request before the planning commission which is on the docket for 2-9-15. The plan is a request to expand the operation into basically a restaurant. I was hoping that the smoke issue was going to be addressed. But once I reviewed the details of the petition it is about the inside expansion of his building to accommodate more seating and not addressing the smoke issue. I had hoped this new petition was going to incorporate one of his warehouse buildings to place the cooking operation inside and have proper ventilation. But this is not the case.

There is also a parking issue for this activity to be expanded. As we have had to resort to towing the Barbecue patrons from our commercial lot on the Thursday event. We really have no issue with his commercial activities as long as it is contained to his property. I personally feel he needs to decide if he wants to be in the warehouse business or the restaurant business and tear few buildings down to accommodate his clients and the parking. Or move this portion of his business to another location. I have also included images when I was pumping gasoline last year at the location. This is just the smoke from one of the cookers.

Patrick Shay (shayp@bloomington.in.gov) in the planning department is handling this petition. Which I will CC to this email. I have a letter fashioned to send to him about this as well. But maybe this email will suffice. In closing your inspection in the spring will not address the current smoke situation. It will have gotten worse if they are allowed to expand. Again I have no issues with people being successful and conducting business. But it needs to be done correctly and not spill over onto all of the surrounding neighbors. I wish (Chris) his family and yourself future success in all your endeavors as life is very short. As I have unfortunately learned first hand in 2013.

Best Regards
Hank West

PUD-1-15
Letter of Opposition





**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 2894 E. 3rd Street**

**CASE #: PUD-05-15
DATE: March 9, 2015**

PETITIONER: Simon Property Group
225 W. Washington St., Indianapolis, IN

CONSULTANT: American Structurepoint
7260 Shadeland Station, Indianapolis, IN

REQUEST: The petitioner is requesting a final plan amendment to allow partial reconstruction, two new outlots, and a revised sign package for the College Mall Planned Unit Development.

BACKGROUND:

Area: 11.09 acres (this phase)
Current Zoning: PUD
GPP Designation: Regional Activity Center
Existing Land Use: Shopping Mall
Proposed Land Use: Shopping Mall
Surrounding Uses: North – Commercial businesses
 West – Commercial businesses
 East – Commercial and Single Family residences
 South – Commercial and Multifamily dwellings

SUMMARY: The property is located at 3294 E. 3rd Street and is zoned Planned Unit Development (PUD). The property received rezoning approval under PCD-05-79 and a sign package was later approved under PUD-88-96. The property has been developed with an approximately 670,000 sq. ft. shopping mall, several outlot buildings, and surface parking lots. Surrounding land uses include commercial businesses to the north, west, and south with single and multifamily uses further to the east and south.

This petition involves removing the northern portion of the mall currently occupied by Sears to allow for a new addition and the construction of two new freestanding restaurants. The new addition would then be constructed for a 31,000 sq. ft. grocery store and an additional 28,000 sq. ft. divided for future tenants. The proposed freestanding buildings will be constructed on the periphery with a Panera restaurant along the 3rd Street frontage and a BJ's Restaurant on the College Mall frontage. There would also be substantial improvements to the parking lot and other areas surrounding this portion of the mall including new landscaping, covered bike racks, and new internal sidewalks installed throughout the property. The existing vehicular entrance to the mall from College Mall Rd. will remain in its current location and the entrance on 3rd Street will be moved slightly west. Both entrances will be modified to increase stacking distance and improve traffic flow. Rain gardens will be installed adjacent to the parking areas to provide storm water quality improvements.

Also requested with this petition is approval of a sign package to allow the replacement

of the existing multi-tenant freestanding sign on College Mall Rd. and to allow a new multi-tenant freestanding sign on 3rd Street. In addition, new freestanding signs are requested for the two new freestanding restaurants and an additional freestanding sign is requested for the existing Longhorn restaurant. There are also two existing freestanding signs identifying the College Mall along Clarizz and Buick Cadillac Drive that are requested to be replaced with new signs.

SITE PLAN ISSUES:

Architecture/Design: The petitioner has submitted elevations for the addition to the mall, as well as for the two new freestanding restaurants. The 28,000 sq. addition to the mall for the multi-tenant spaces will be finished with a mix of wood and stone cladding, EIFS, and stacked block stone. There will be a mix of recessed entries, covered awnings, glass storefronts, changes in building height (through the use of parapets), and recesses in the building façade. The 31,000 sq. ft. addition for Whole Foods will use precast concrete and wood cladding for the main (west) façade with glass storefront along the west side that wraps around to a portion of the north façade. There is a large section of the proposed north side of the building that is proposing to utilize a standing seam metal for the exterior. Given the high visibility of the north side of the building from 3rd Street, staff finds that an alternative material along with some improvements to the amount of modulation, glass storefront, and other detailing of the north side is necessary. Staff seeks guidance from the Plan Commission regarding this.

Elevations have also been submitted for the 7,500 sq. ft. BJ's Restaurant and Brewery which show elements of brick along the building corners and entrance, with a smooth faced concrete block around the lower portions of the façade. The rest of the façade is EIFS. The petitioner has used the architectural guidelines of the UDO to create elements of the building façade that are recessed by the use of the extended corners and projecting entrance canopy, as well as changes in overall building height along the length of the building. The north side of the proposed building has a large section of blank wall that would benefit from some additional architectural detailing. Staff is seeking guidance regarding these elevations as well.

The proposed 4,500 sq. ft. Panera restaurant shows a large amount of glass storefront along the north side facing 3rd Street, with brick on the corners and EIFS on the remainder of the facade. There are some portions of metal that are being used for accent along the top and edges. The building has a drive-thru that has been located on the west side of the building. Staff feels that placing the drive-thru on the west side of the building increases the visibility of the drive-thru use and believes that the building should be placed at the northwest corner near the entry drive, in order to better screen the drive-thru from view. The drive-thru lane has also been shown closer to the street than the proposed building. Staff recommends that the building be moved forward so that the drive-thru lane is not between the building and the street. Staff is seeking comments from the Plan Commission on the most appropriate location for the building and drive-thru lane. Staff is also seeking comments about the proposed facades for the building and if additional detailing is necessary for the most visible sides.

Access: There are two entrances to the mall that would be altered with this project. The current entrance on 3rd Street will be straightened to remove the S-curve. There are

three drive lanes shown that are each 12' wide. The maximum width of a drive entrance is 34' and the drive entrance should be reduced by 2' to meet that standard. There is a raised median on 3rd Street that restricts this entrance to a right-in/right-out only.

The entrance on College Mall Road will also be redone to lengthen the drive entrance and provide additional stacking space for vehicles entering and exiting the mall. This entrance is controlled by a stop light. There is a 10' wide grass strip separating the two entrance and exit lanes for the entrance, that currently exist, and will be utilized also with the new boulevard entrance. This area currently has a multi-tenant sign for the mall that will be replaced in the same location with a proposed new multi-tenant sign of the same approximate size.

Landscaping: The petitioner has submitted a landscape plan to provide new landscape plantings throughout the property. There will be new islands installed in the parking areas to define the parking areas and drive aisles. Each island is required to be a minimum of 324 sq. ft. and to be planted with a tall, deciduous canopy tree. A few of the islands shown may need to be increased in size. There will be a raised landscape berm installed along the College Mall Road frontage to help buffer the view and impact of those parking areas from the street. There will be two rain gardens installed to provide storm water quality improvements. Staff feels that there are more opportunities for landscaping to be installed on the property and are continuing to work with the petitioner to install more landscaping.

Parking: With this proposal there will be a 31,000 sq. ft. grocery store along with a 28,000 sq. ft. multi-tenant center that will be attached to the mall. There will also be two free standing restaurant buildings that are 4,500 sq. ft. and 7,500 sq. ft. in size. In total, there will be 71,000 sq. ft. of new building construction associated with this project. A total of 528 parking spaces are proposed and there are currently 521 spaces. The proposed number of spaces equals a ratio of one space per 134 sq. ft. of building area. The mall PUD was approved under the 1973 zoning code with a minimum parking requirement of one space per 200 sq. ft. of floor area. The current maximum parking requirement for a multi-tenant nonresidential center (greater than 100,000 sq. ft.) is 1 space per 300 sq. ft. Since the parking spaces that are shown with this phase will be used by other adjacent businesses in the mall, and are not just exclusively used for this portion of the mall, it is difficult to assign a parking ratio for this project by itself since the spaces are shared by the mall as a whole. Staff has requested a parking number count and building square footage assessment for the entire mall so that we can best determine an appropriate number of parking spaces.

The internal drives that circulate around the parking areas and throughout the property are shown to be 30' wide. Staff believes these drives could be reduced to 22' in width without negatively effecting traffic flow and would minimize excess asphalt throughout the property. In addition, since the property is over the maximum impervious surface coverage requirements, removing an extra 8' from the internal drives could greatly reduce impervious surface coverage and provide opportunities for more landscaping.

Pedestrian Facilities: There is currently a monolithic sidewalk along College Mall Road and an 8' wide asphalt sidepath along the 3rd Street frontage. With this petition, the petitioner has proposed to install several new sidewalks throughout the interior of the

property to connect the buildings to the adjacent public sidewalks. Sidewalk connections are shown from both sides of the bus stop on College Mall Rd. to connect to the mall. Staff feels that there are some slight modifications to the proposed internal sidewalk system that could be made to enhance pedestrian movement. An additional connection along the north side of the entrance drive on College Mall that more directly links to the front of the Whole Foods would improve pedestrian access to that space. The Bicycle and Pedestrian Commission will be reviewing this petition at their next meeting and staff will be reviewing those comments with the petitioner to make any desired improvements.

Alternative Transportation: Based on the 528 parking spaces that are shown, there would be a total of 36 covered bicycle parking spaces required. The petitioner has shown 20 spaces and needs to add an additional 16 covered spaces. Staff will continue to work with the petitioner to provide locations for those spaces. In addition, Bloomington Transit has indicated that due to the high number of riders to and from the mall, the bus stop on College Mall Road is frequently overcrowded. Staff encourages the petitioner to explore the possibility to increase the size of the shelter to 20-25 feet in length.

Signage: There was a specific sign package approved for the mall in 1996 under PUD-88-96. The approved sign package allowed for a multi-tenant sign at the College Mall entrance and at the 3rd Street entrance. Each multi-tenant sign was approved to be 35' tall with 276 sq. ft. of signage on each side. The multi-tenant sign that was approved along 3rd Street was later installed at the Kingston Drive entrance, rather than at the western entrance as originally proposed. The petitioner would like to replace the multi-tenant sign on College Mall Rd., with a new multi-tenant sign that is the same approximate height and width as the existing sign, but includes more sign area. The petitioner is requesting to allow an additional multi-tenant sign at the western entrance along 3rd Street adjacent to the proposed entrance. The proposed new multi-tenant sign on 3rd Street would be the same dimensions as the other proposed sign on College Mall Rd. The amount of sign face on the new signs is approximately 500 sq. ft. The additional sign face area of the new signs versus the previous signs is gained by reducing the size of the base to add more sign face area. Elevations of the current signs as well as the proposed signs have been included in the packet. Staff is seeking guidance from the Plan Commission on the size of the proposed multi-tenant signs.

The petitioner would also like to replace the individual mall signs at the Clarizz and Buick Cadillac entrances with new signs that are slightly larger than the previously approved signs. The new signs are proposed to be 8' tall with approximately 55 sq. ft. of signage. The current signs at those locations are 6' tall and 21 sq. ft. in size.

Also requested with this sign package are freestanding signs for the two new freestanding restaurants and a sign for the existing Longhorn restaurant. The petitioner is requesting that the proposed Panera, BJ's, and the existing Longhorn restaurant be treated as outlots for the purposes of signage. The request for separate freestanding signs for the restaurant outlots is not uncommon and is similar to the request for a freestanding sign that was recently approved by the Plan Commission for the Chick-Fil-A that is also on the mall property. The petitioner is requesting that each restaurant be allowed a 6' tall, 45 sq. ft. sign. That size is consistent with what the UDO allows for an

individual lot. The signs would be over 100' away from any other freestanding signs, which meets the UDO requirement for sign separation along a property.

The proposed BJ's restaurant has shown some proposed murals along the building. Staff is seeking guidance from the Plan Commission on whether or not these signs should be regulated as wall signs or would be exempt.

Utilities: There is adequate water and sewer service along College Mall Road and the 45/46 Bypass. Stormwater drainage will be directed through new gardens on the site and will then flow either to an existing onsite detention pond or to the stormwater pipes along College Mall Rd. New water meters will be installed on all water lines. A utility plan has been submitted to the Utilities Department and is under review. No problems have been identified with the proposed utility lines and connections. Final approval from CBU is required prior to issuance of a grading permit.

Lighting: With this petition all of the existing parking lot lights in the parking areas will be removed and replaced with new LED lights. All of the proposed lights and fixtures are fully shielded with full cutoffs as required. The amount of light that falls on the property lines does not exceed the UDO maximum of 30 lucas.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 4 recommendations concerning this development.

1. The Petitioner should continue to revise the Landscape Plan using as many native plants as possible, and to replace all of the ash trees on the property now to establish different tree species that will survive

Staff response: Staff will continue to work with the petitioner on improving the landscape plan and incorporating native plants where possible. Staff will also work to identify any Ash trees on the property and have those replaced with new species.

2. The Petitioner should apply green building and site design practices to create a high performance, low carbon-footprint structure, and grounds that exhibit our City's commitment to environmental sustainability.

Staff response: Although not required, staff encourages the petitioner to incorporate as many green building practices as possible.

3. The Petitioner should commit to salvaging, recycling, and reusing all possible construction and demolition materials not needed on site.

Staff response: Although not required, staff encourages the petitioner to commit to salvaging, recycling, and reusing as much construction materials as possible. Reusing the limestone on the existing Sears could provide this opportunity.

4. The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick it up

Staff response: Although staff finds this to be a desirable addition, the issue of required recycling is better addressed through a City-wide ordinance.

CONCLUSION: Overall with this petitioner there will be substantial upgrades to this portion of the mall property with new landscaping, new sidewalk connections, and improvements to the mall façade. Staff is seeking guidance on the issues highlighted in staff's report and include the following issues-

- Whole Foods north building façade.
- BJ's Restaurant building facades.
- Panera building façade and location of drive thru.
- Overall pedestrian network through the site.
- The size of the proposed new signs.
- Appropriate width of the internal driveways and number of overall parking spaces.

RECOMMENDATION: Staff recommends continuance of this petition to the April 13, 2015 hearing.

MEMORANDUM

Date: February 23, 2015

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Through: Linda Thompson, Senior Environmental Planner

Subject: PUD-5-15 Simon Property Group, College Mall, first hearing
2894 E. 3rd Street

This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a request for an amendment to the Final Plan of the College Mall PUD. The request includes demolition and new construction of some current space in the mall, and a revised sign package. The proposed project consists of new parking configurations, retail, grocery, and restaurants.

ISSUES OF SOUND ENVIRONMENTAL DESIGN:

1.) LANDSCAPING:

The Landscape Plan submitted still needs some revisions. The EC recommends that the Petitioner continue to work with the Planning & Transportation Department to create a plan that complies with the regulations, at the least. The EC promotes using native plant species in the landscaping. Native plants exemplify Indiana's natural heritage and benefit native birds and insects, particularly pollinators. Native plants provide food and habitat for birds, butterflies and other beneficial insects, promoting biodiversity in the city. Furthermore, native plants do not require chemical fertilizers or pesticides and are water efficient once established.

For additional suggestions, please see the EC's Natural Landscaping materials at www.bloomington.in.gov/beqi/greeninfrastructure/htm under 'Resources' in the left column. We also recommend an excellent guide to midwest sources of native plants at: <http://www.inpaws.org/landscaping.html>.

The EC also recommends that the Petitioner remove and replace the ash trees that are not within the scope of this redevelopment project, but are elsewhere on the Simon, College Mall property. Ash trees are being decimated by the Emerald Ash Borer, and unless the trees are chemically treated, they will likely not survive. The city's Urban Forester, the Tree Commission, and the EC all recommend removing existing ash trees now rather than waiting for them to slowly die, enabling new trees to be established. When choosing replacement trees, the EC recommends employing an arborist to test the soil and recommend appropriate trees to use in specific locations.

2.) GREEN BUILDING & SITE DESIGN:

The EC recommends that green building practices be employed at this site to the extent possible. Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the Unified Development Ordinance (UDO). Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative (<http://Bloomington.in.gov/greenbuild>).

Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Kruzan; by City Council Resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions; by City Council Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

Some general recommendations the EC offers for this site include LED lighting and energy-saving appliances; solar systems (e.g. solar photovoltaic cell and solar hot water systems); recycled products, such as counter tops and carpets; and high-efficiency insulation and windows.

Some specific recommendations for this site include:

- ~ enhancing the weather, air, and thermal barriers of the building envelope to reduce the energy consumption associated with conditioning indoor air, thus reducing site's carbon footprint;
- ~ installing charging stations for electric vehicles for some of the parking spaces; and
- ~ using reflective roofing material.

This proposed development is a major destination spot in Bloomington, therefore the EC believes that the proposed site represents an opportunity to welcome customers with a special sense of environmental character that Bloomington is known for, by demonstrating through example that we are, indeed, a Tree City USA, a National Wildlife Federation Wildlife Habitat Community, and a winner of America in Bloom's national competition.

3.) CONSTRUCTION and DEMOLITION MATERIALS:

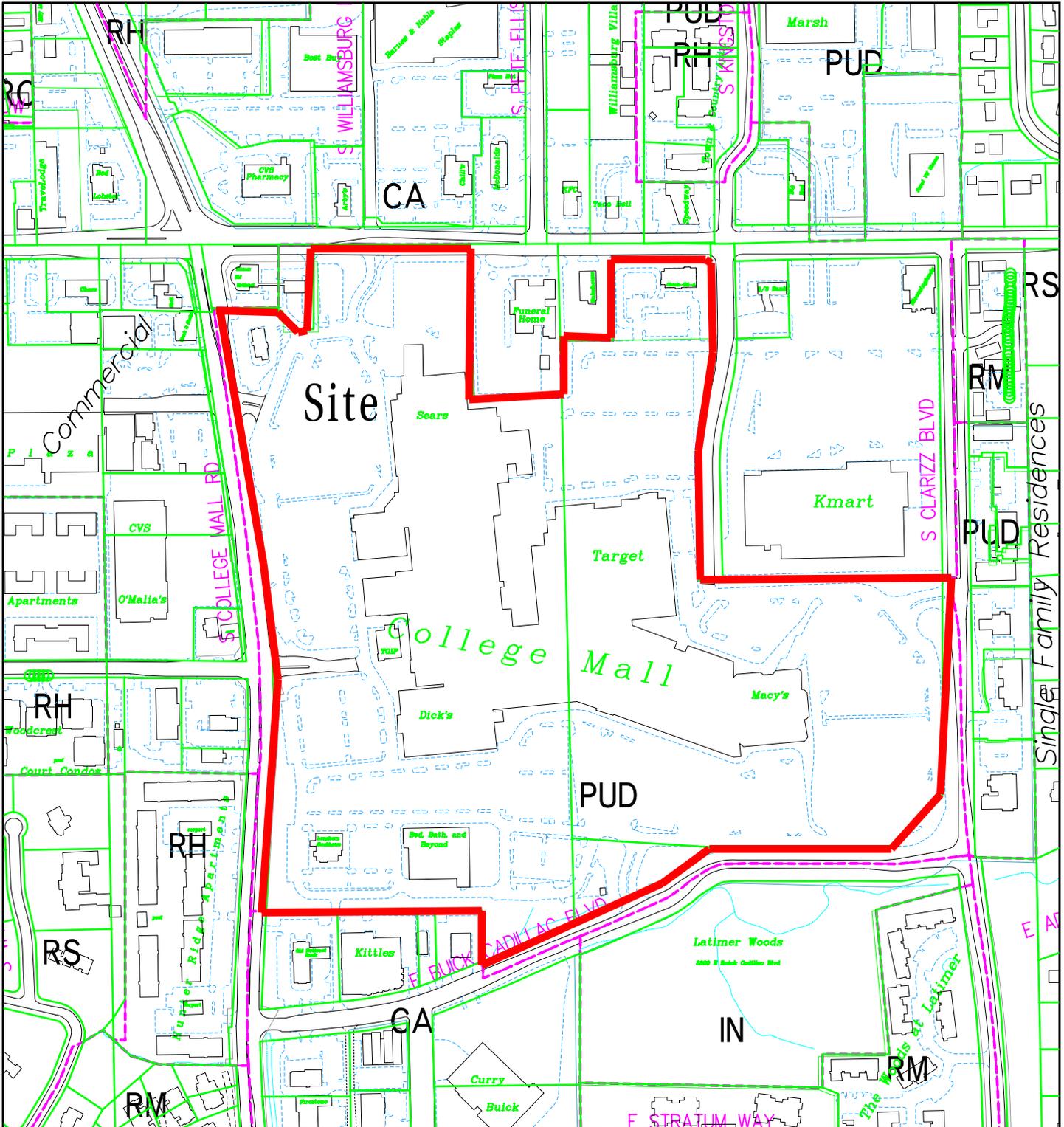
The EC recommends that construction and demolition debris from the existing structure and construction of the new buildings be collected for reuse or recycling. This material could be sold to local salvage businesses, given to a resale store for future re-use, or recycled. Very little material should have to be disposed in a landfill.

4.) RECYCLING:

The EC recommends that space be allocated for recyclable-materials collection, which will reduce the facilities' carbon footprint and promote healthy indoor and outdoor environments. Recycling has become an important norm that has many benefits in energy and resource conservation. Recycling is thus an important contributor to Bloomington's environmental quality and sustainability and it will also increase the attractiveness of the facility to 21-century customers.

EC RECOMMENDATIONS:

- 1.) The Petitioner should continue to revise the Landscape Plan using as many native plants as possible, and to replace all of the ash trees on the property now to establish different tree species that will survive, and to employ an arborist to recommend the right tree for the right place.
- 2.) The Petitioner should apply green building and site design practices to create high performance, low carbon-footprint structures, and grounds that exhibit our City's commitment to environmental sustainability.
- 3.) The Petitioner should commit to salvaging, recycling, and reusing all possible construction and demolition materials not needed on site.
- 4.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick it up.

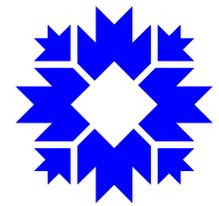


PUD-05-15 Simon Property Group
 2894 E 3rd Street
 Plan Commission
 Site location, Zoning, Land Use, Parcels

By: greulice
 5 Mar 15

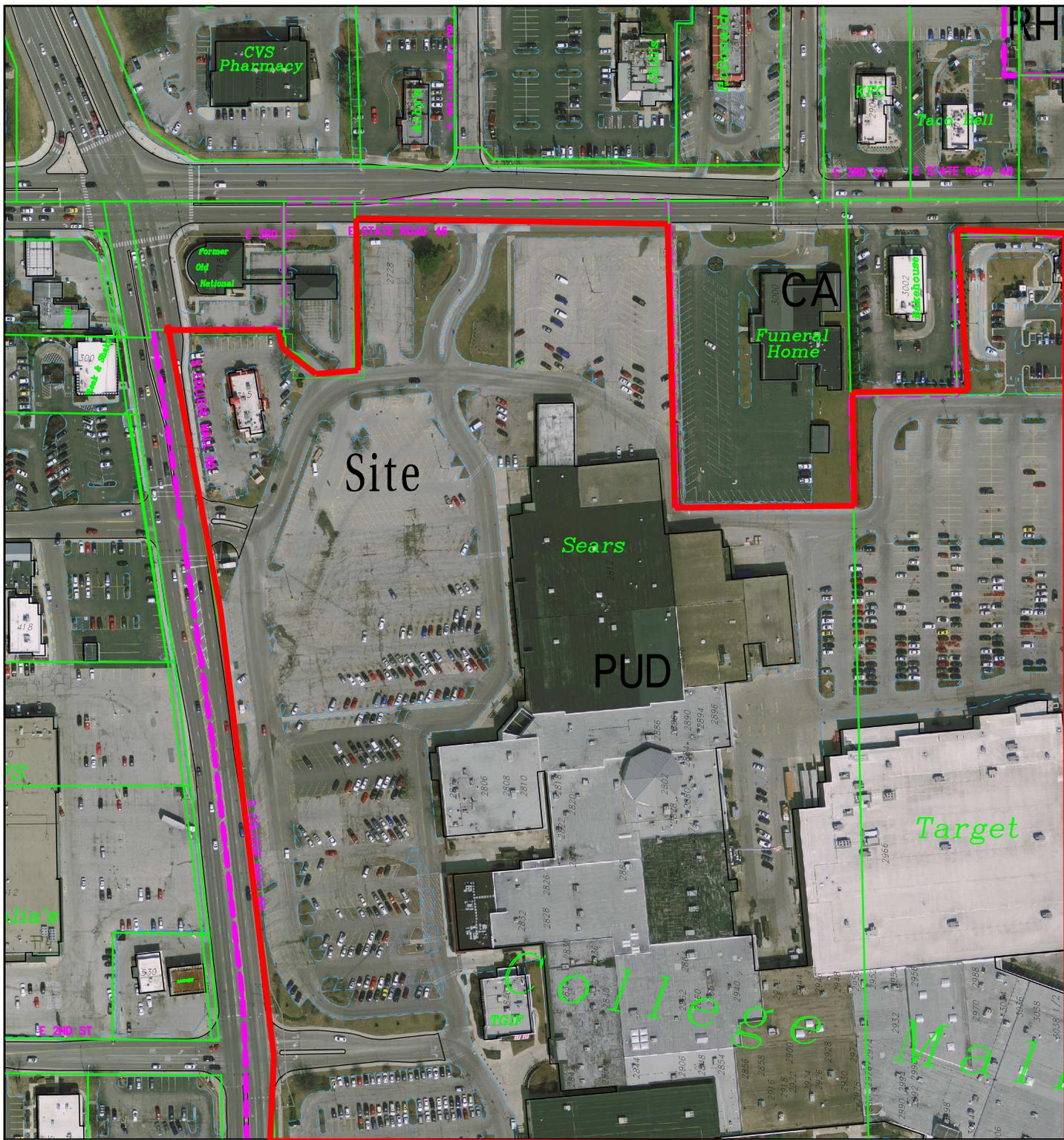


City of Bloomington
 Planning & Transportation



Scale: 1" = 400'

For reference only; map information NOT warranted.



PUD-05-15 Simon Property Group

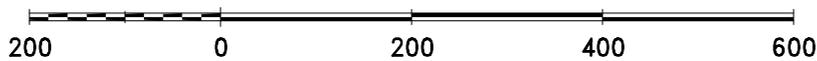
2894 E 3rd Street

Plan Commission

2014 Aerial Photograph

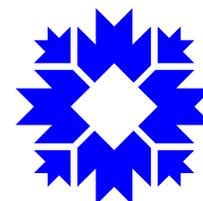
By: greulice

5 Mar 15



For reference only; map information NOT warranted.

City of Bloomington
Planning & Transportation



Scale: 1" = 200'



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COLLEGE MALL SEARS REDEVELOPMENT

2894 E. 3RD STREET
 BLOOMINGTON, IN

**APPROVAL PENDING
 NOT FOR CONSTRUCTION**

CERTIFIED BY

ISSUANCE INDEX

DATE:	02/06/2015
PROJECT PHASE:	DEVELOPMENT PLAN

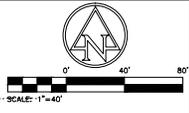
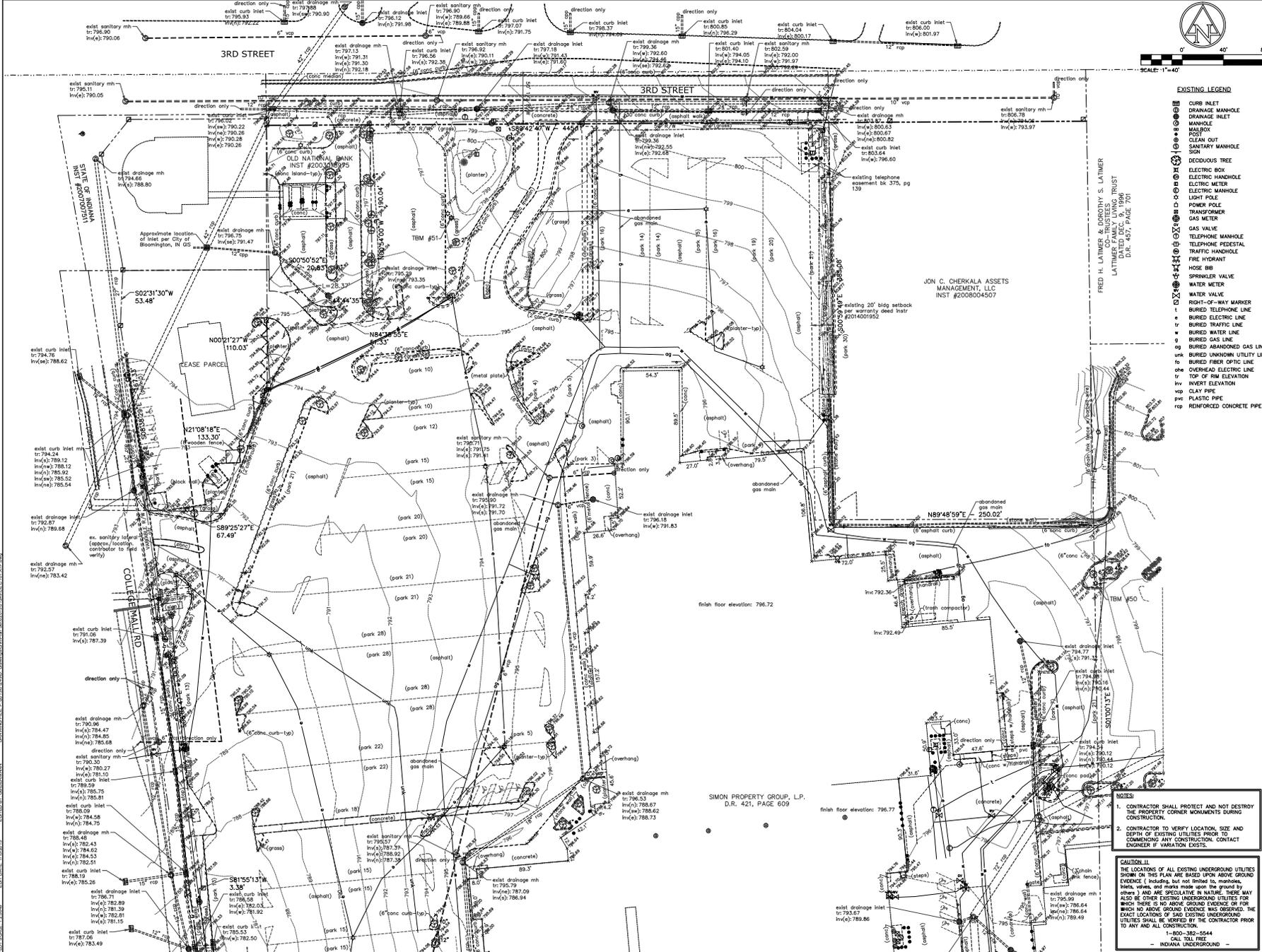
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2013.01249

EXISTING TOPOGRAPHY

C101



- EXISTING LEGEND**
- CURB INLET
 - ⊕ DRAINAGE MANHOLE
 - ⊖ DRAINAGE INLET
 - ⊙ MANHOLE
 - ⊕ MAIL BOX
 - ⊕ CLEAR CUT
 - ⊕ SANITARY MANHOLE
 - ⊕ SIGN
 - ⊕ DECIDUOUS TREE
 - ⊕ ELECTRIC BOX
 - ⊕ ELECTRIC HANGHOLE
 - ⊕ ELECTRIC METER
 - ⊕ ELECTRIC MANHOLE
 - ⊕ LIGHT POLE
 - ⊕ POWER POLE
 - ⊕ TRANSFORMER
 - ⊕ GAS METER
 - ⊕ GAS VALVE
 - ⊕ TELEPHONE MANHOLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ TRAFFIC HANGHOLE
 - ⊕ FIRE HYDRANT
 - ⊕ HOSE BIB
 - ⊕ SPRINKLER VALVE
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - ⊕ RIGHT-OF-WAY MARKER
 - ⊕ BURIED TELEPHONE LINE
 - ⊕ BURIED ELECTRIC LINE
 - ⊕ BURIED TRAFFIC LINE
 - ⊕ BURIED WATER LINE
 - ⊕ BURIED GAS LINE
 - ⊕ BURIED UNKNOWN UTILITY LINE
 - ⊕ BURIED FRESH OPTIC LINE
 - ⊕ OVERHEAD ELECTRIC LINE
 - ⊕ TOP OF FIN ELEVATION
 - ⊕ INVERT ELEVATION
 - ⊕ CLAY PIPE
 - ⊕ PLASTIC PIPE
 - ⊕ REINFORCED CONCRETE PIPE

NOTES

- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

CAUTION!!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and meters made upon the ground by whom) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-382-1544
 CALL THE FINISH
 - INDIANA UNDERGROUND -

**PUD-05-15
 Existing Topography**

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 PLOT DATE: 2/6/2015 11:48 AM
 PLOT SCALE: 1"=40'
 E-COPY: BY: GREGORY.MANNING



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COLLEGE MALL SEARS REDEVELOPMENT

2894 E. 3RD STREET
BLOOMINGTON, IN

APPROVAL PERMITS
NOT FOR CONSTRUCTION

CERTIFIED BY

ISSUANCE INDEX

DATE:	02/06/2015
PROJECT PHASE:	DEVELOPMENT PLAN

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2013.01249

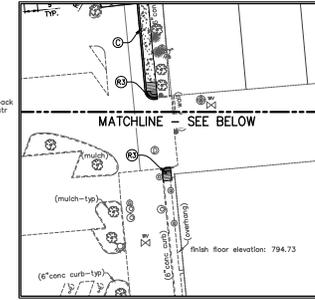
SITE PLAN

C201



PROPOSED SITE LEGEND

- RIGHT OF WAY ASPHALT PAVEMENT
- LIGHT DUTY PAVEMENT
- MILL AND RESURFACE
- HEAVY DUTY PAVEMENT
- CONCRETE
- 6" STRAIGHT CONCRETE CURB
- 2" CONCRETE CURB & GUTTER
- CONCRETE LIP & GUTTER
- INTEGRAL CURB
- COMBINED WALK & CURB
- CONCRETE SIDEWALK
- CONCRETE PIPE RETARDANT
- 3" CONCRETE FLUME
- 4" SOLID WHITE, PAINT LINE
- 4" DASHED WHITE, PAINT LINE
- 34" STOP BAR, WHITE, PAINT
- 4" SOLID BLUE, PAINT LINE (A.D.A. SPACE)
- ADA PARKING SIGN (VAN ACCESSIBLE AS NOTED)
- PIPE RETARDANT ADA PARKING SIGN (VAN ACCESSIBLE AS NOTED)
- 4" SOLID YELLOW, PAINTED, PEDESTRIAN CROSSING
- 4" DASHED YELLOW, PAINT LINE
- STOP SIGN
- STOP SIGN WITH "CROSSING TRAFFIC DOES NOT STOP" SIGN
- YIELD SIGN
- SLOPED WALL
- CURB TURNOUT
- 24" WHITE, THERMOPLASTIC, PEDESTRIAN CROSSING
- TRUNCATED DOMES
- ADA RAMP (TYPE "M")
- ADA RAMP (TYPE "A")
- ADA RAMP (TYPE "C")
- ADA RAMP (TYPE "H")
- ADA RAMP (TYPE "F")
- ADA RAMP (TYPE "G")
- 4" SOLID YELLOW, PAINT LINE
- 4" DASHED YELLOW, PAINT LINE
- CURB TAPER
- CONCRETE WALK FLUSH WITH ASPHALT
- HANDICAP ACCESSIBLE PARKING SPACE

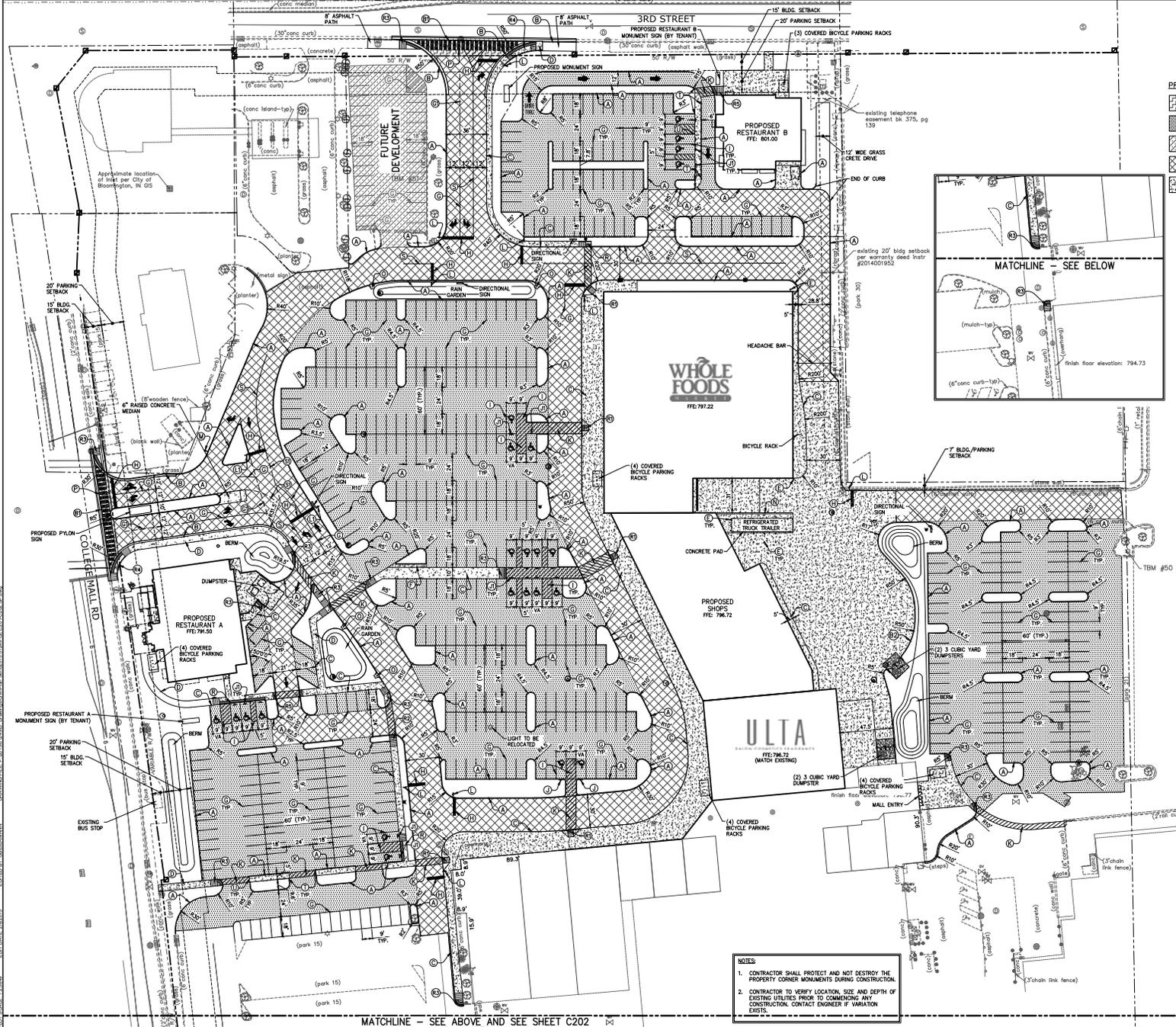


PARKING ANALYSIS

RESTAURANT "A"	RESTAURANT "B"	RESTAURANT "C"	SEBCKEY
TOTAL S.F. = 7,500	TOTAL S.F. = 4,515	TOTAL S.F. = 3,100	TOTAL S.F. = 31,000
REQUIRED RATIO = 1/100 S.F.	REQUIRED RATIO = 1/200 S.F.	REQUIRED RATIO = 1/200 S.F.	REQUIRED RATIO = 1/200 S.F.
SPACES PROVIDED = 75	SPACES PROVIDED = 23	SPACES PROVIDED = 510	SPACES PROVIDED = 210
STANDARD PARKING = 84	STANDARD PARKING = 64	STANDARD PARKING = 64	STANDARD PARKING = 64
HANDICAP PARKING (INCLUDES 1 VAN ACCESSIBLE) = 6	HANDICAP PARKING (INCLUDES 1 VAN ACCESSIBLE) = 4	HANDICAP PARKING (INCLUDES 1 VAN ACCESSIBLE) = 4	HANDICAP PARKING (INCLUDES 1 VAN ACCESSIBLE) = 4
TOTAL PROPOSED PARKING = 90	TOTAL PROPOSED PARKING = 68	TOTAL PROPOSED PARKING = 68	TOTAL PROPOSED PARKING = 68
COVERED BICYCLE PARKING = 4	COVERED BICYCLE PARKING = 3	COVERED BICYCLE PARKING = 3	COVERED BICYCLE PARKING = 3

CAUTION !!
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1-800-382-5544
CALL TOLL FREE
INDIANA UNDERGROUND

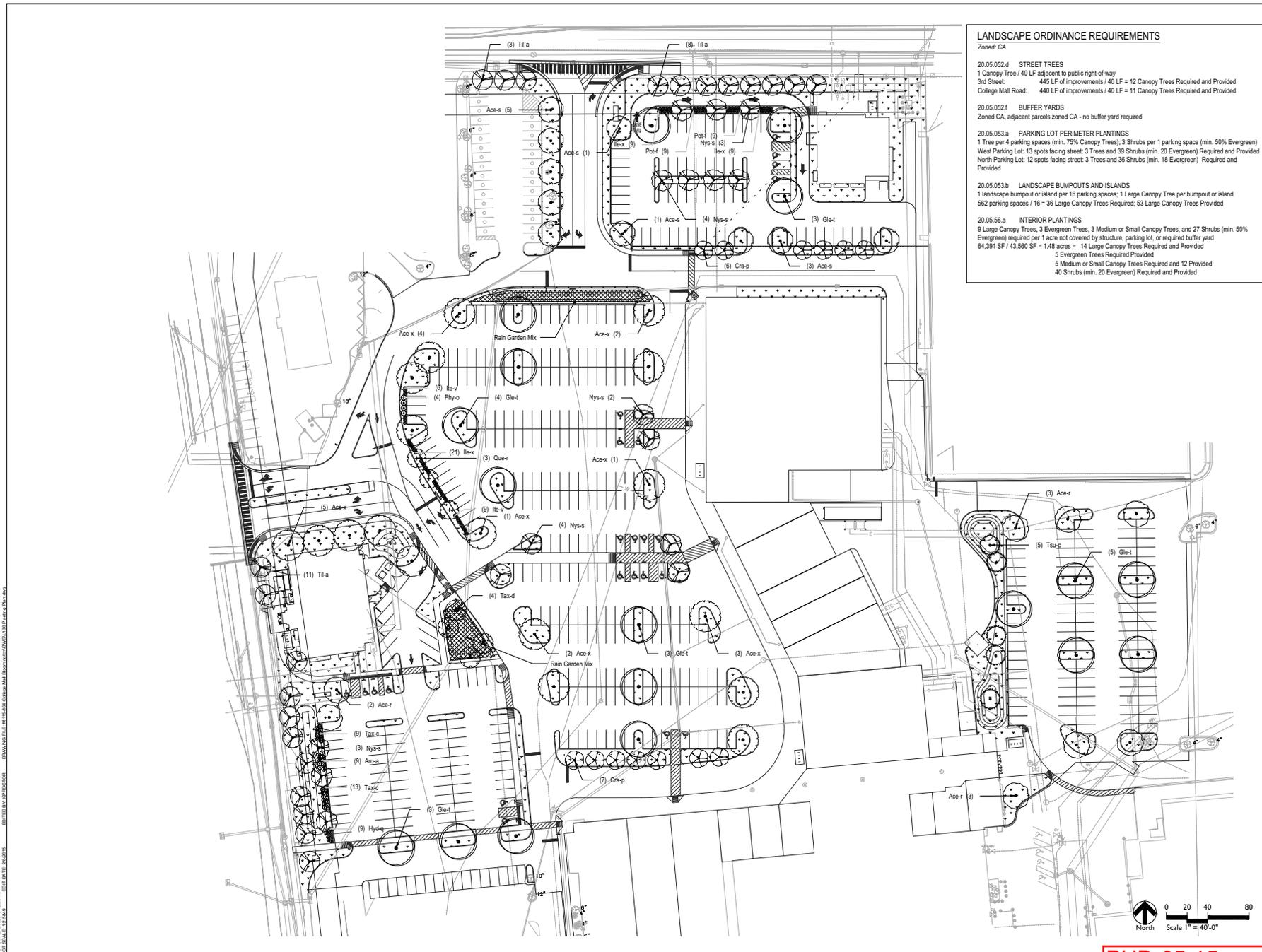
- NOTES:**
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MATCHLINE - SEE ABOVE AND SEE SHEET C202

DRAWN BY: G. BROWN
CHECKED BY: J. BROWN
DATE: 02/06/2015
PROJECT: 2013.01249

PUD-05-15
Site Plan



LANDSCAPE ORDINANCE REQUIREMENTS
 Zoned: CA

20.05.052.d STREET TREES
 1 Canopy Tree / 40 LF adjacent to public right-of-way
 3rd Street: 442 LF of improvements / 40 LF = 12 Canopy Trees Required and Provided
 College Mall Road: 440 LF of improvements / 40 LF = 11 Canopy Trees Required and Provided

20.05.052.f BUFFER YARDS
 Zoned CA, adjacent parcels zoned CA - no buffer yard required

20.05.053.a PARKING LOT PERIMETER PLANTINGS
 1 Tree per 4 parking spaces (min. 75% Canopy Trees); 3 Shrubs per 1 parking space (min. 50% Evergreen)
 West Parking Lot: 13 spots facing street: 3 Trees and 39 Shrubs (min. 20 Evergreen) Required and Provided
 North Parking Lot: 12 spots facing street: 3 Trees and 36 Shrubs (min. 18 Evergreen) Required and Provided

20.05.053.b LANDSCAPE BUMPOUTS AND ISLANDS
 1 landscape bumpout or island per 16 parking spaces; 1 Large Canopy Tree per bumpout or island
 562 parking spaces / 16 = 36 Large Canopy Trees Required; 53 Large Canopy Trees Provided

20.05.56.a INTERIOR PLANTINGS
 9 Large Canopy Trees, 3 Evergreen Trees, 3 Medium or Small Canopy Trees, and 27 Shrubs (min. 50% Evergreen) required per 1 acre not covered by structure, parking lot, or required buffer yard
 64,381 SF / 43,560 SF = 1.48 acres = 14 Large Canopy Trees Required and Provided
 5 Evergreen Trees Required Provided
 5 Medium or Small Canopy Trees Required and 12 Provided
 40 Shrubs (min. 20 Evergreen) Required and Provided



1700 Main Street, Suite 200
 Fortville, Indiana 46030
 tel 317.438.8300
 www.structurepoint.com

COLLEGE MALL SEARS REDEVELOPMENT

2894 E. 3RD STREET BLOOMINGTON, IN

PROVIDED PERIOD NOT FOR CONSTRUCTION

CERTIFIED BY

ISSUANCE INDEX	
DATE:	01/30/2015
PROJECT PHASE:	...

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

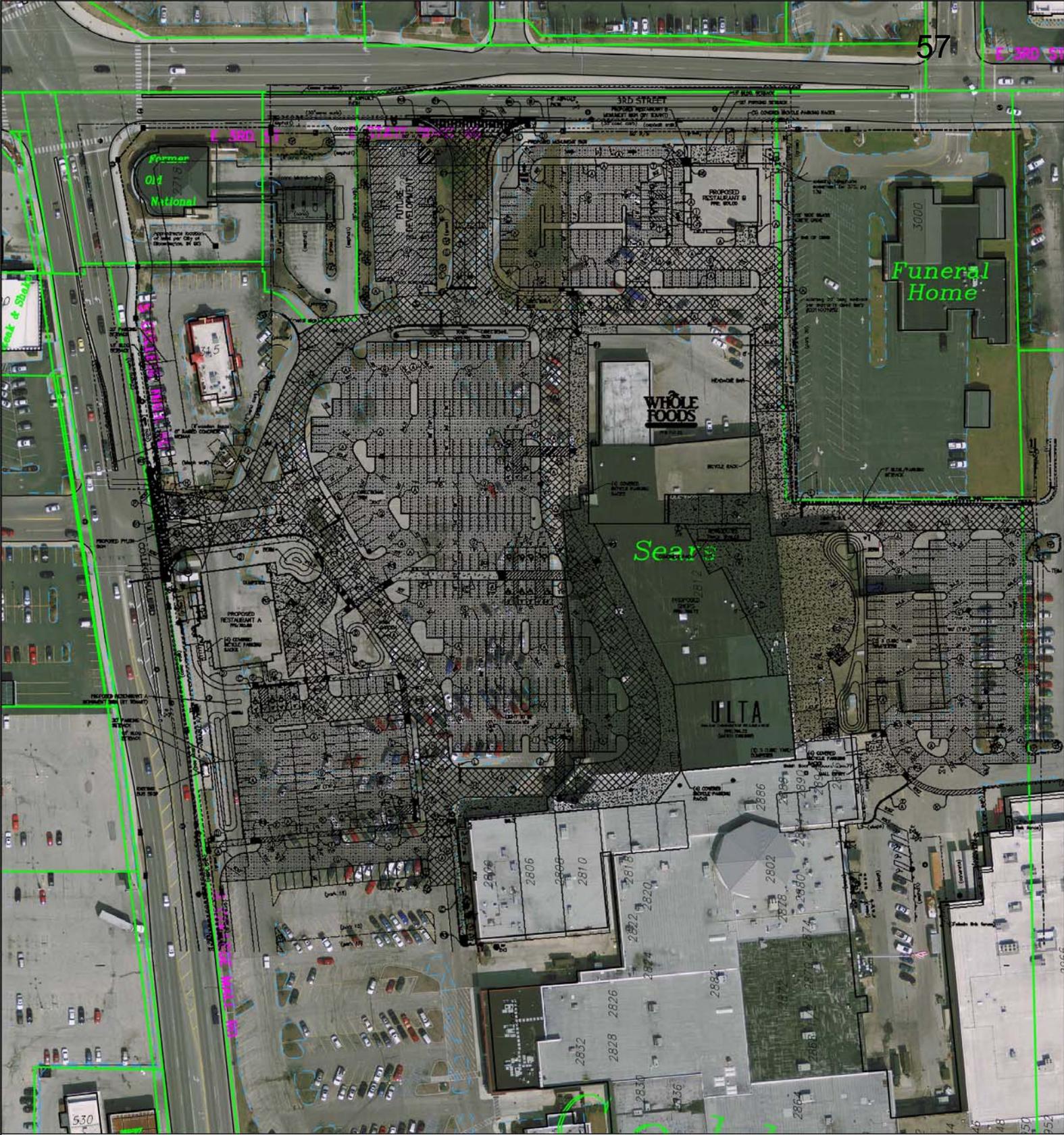
Project Number 2013.01249

MINIMUM CODE COMPLIANCE PLANTING PLAN

L100

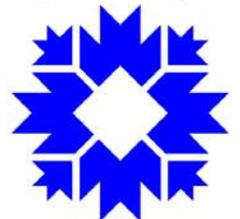
PUD-05-15 Landscape Plan

PROJECT DATE: 01/01/2015 11:58 AM
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 INTERNAL PROJECTOR: ...
 DATE: 01/30/2015 11:58 AM



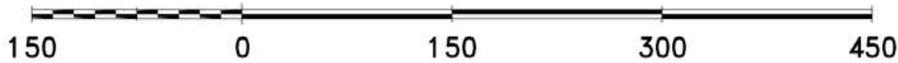
Proposed site plan and 2014 Aerial Photograph

City of Bloomington
Planning & Transportation



Scale: 1" = 150'

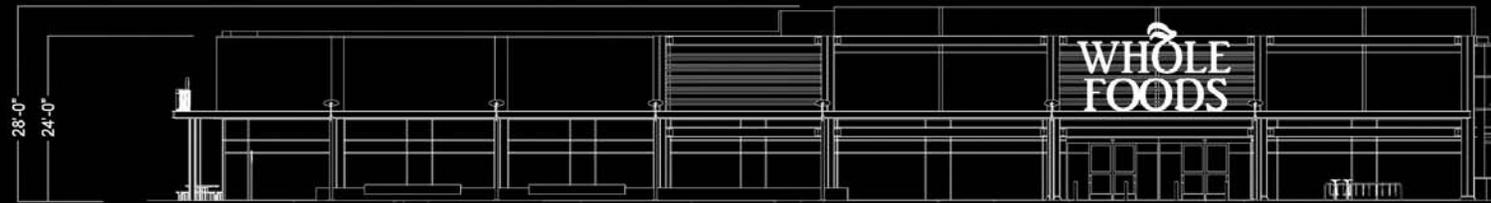
By: greulice
4 Mar 15

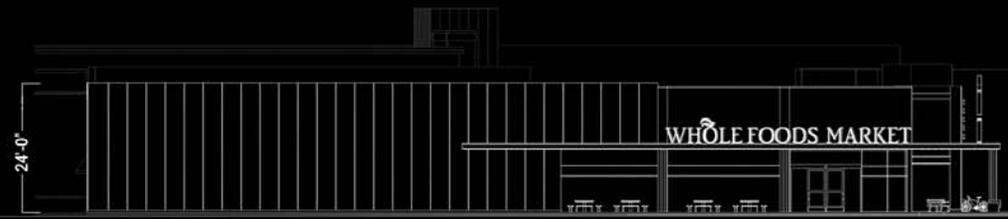


For reference only; map information NOT warranted.











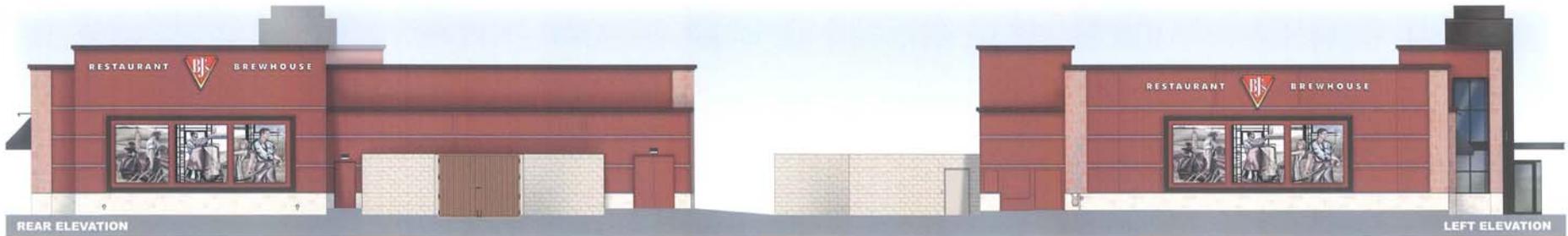




PUD-05-15
Proposed Rendering -
New multi-tenant space and
mall entrance



PUD-05-15
Proposed Rendering -
New entrance



16"x16" TILE VENEER
RESOURCE BUILDING MATERIALS
COLOR: ROSE LIMESTONE

WAINSCOT
RESOURCE BUILDING MATERIALS
COLOR: AMBER GOLD

STUCCO - PAINT
SHERWIN WILLIAMS
SW6334 FLOWER POT

CMU
ORCO BLOCK
TAN

FABRIC AWNINGS
SUNBRELLA CANVAS
BLACK STYLE - 5408

CORNICE
SHERWIN WILLIAMS
SW2838 POLISHED MAHOGANY

NOTE: BUILDING MATERIALS SHOWN ARE REPRESENTATIONAL ONLY AND DO NOT REFLECT ENVIRONMENTAL VARIABLES.



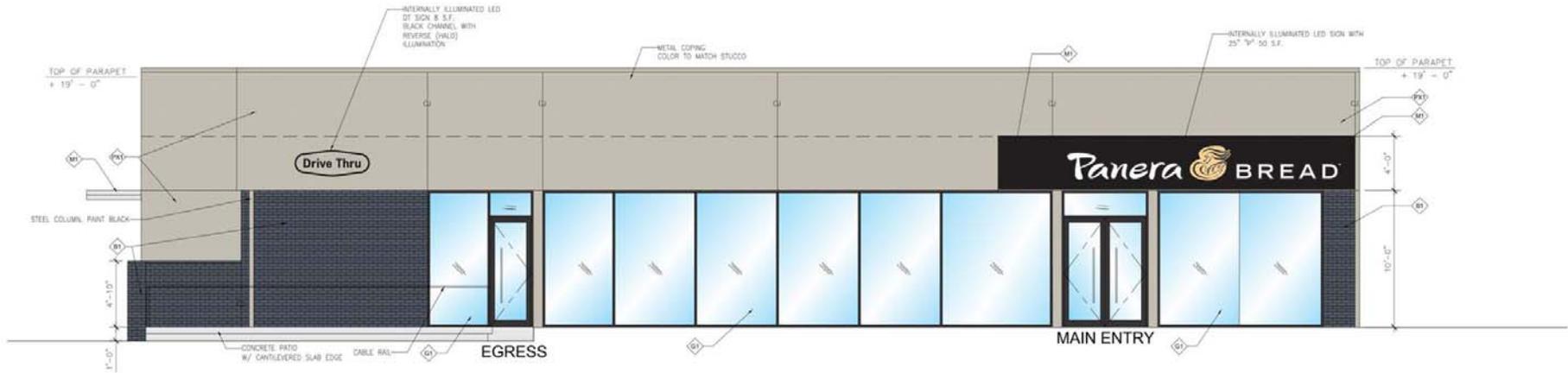
BJ's Restaurant & Brewhouse

"College Mall" - 2894 East Third St.

Bloomington, Indiana

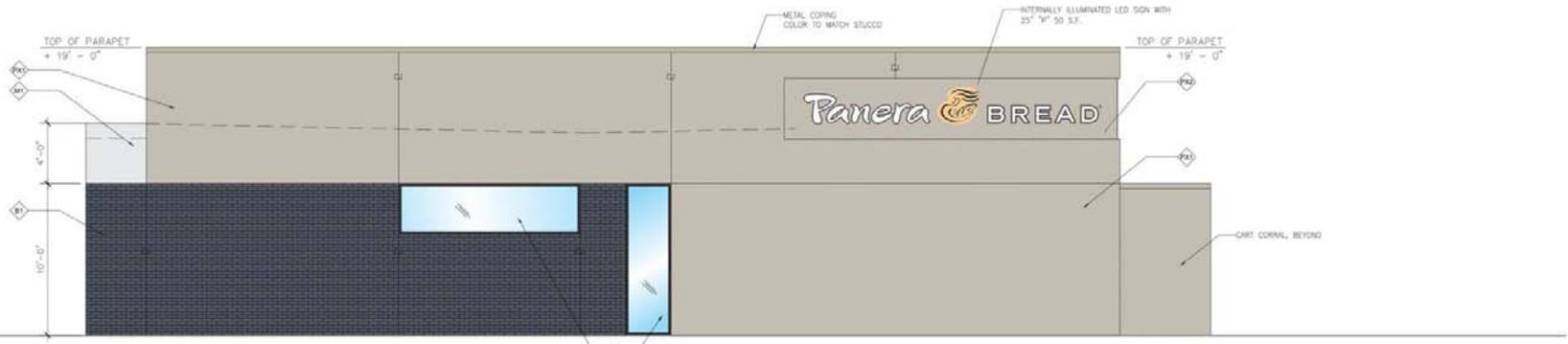


Copyright wdparkers 8.058.0240 03.04.2015



EXTERIOR MATERIALS:

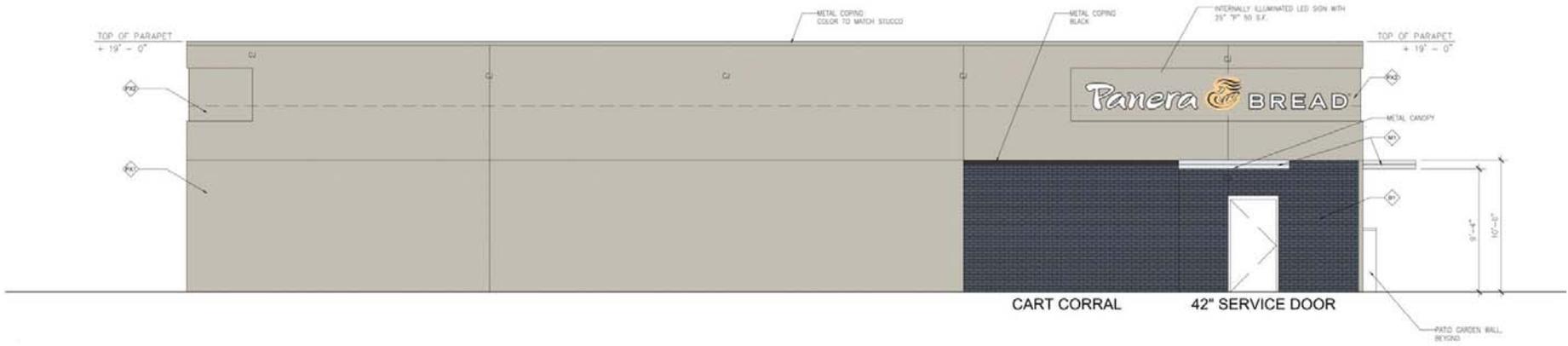
- ◆ ENDICOTT FULL BRICK - MAGANESE IRONSPOT (NORMAN 3 5/8" x 2 1/4" x 1 13/16")
- ◆ HOT ROLLED STEEL PANEL - CLEAR POWDER COAT
- ◆ ALUMINUM STOREFRONT - BLACK KYNAR FINISH ALUM. W/ 1" INSULATED GLAZING (TYP.)
- ◆ STUCCO-FINISH: COLOR: BENJAMIN MOORE: SHALE
- ◆ STUCCO-FINISH: COLOR: BENJAMIN MOORE: TBD



Panera Bread, Bloomington, IN Concept Elevations

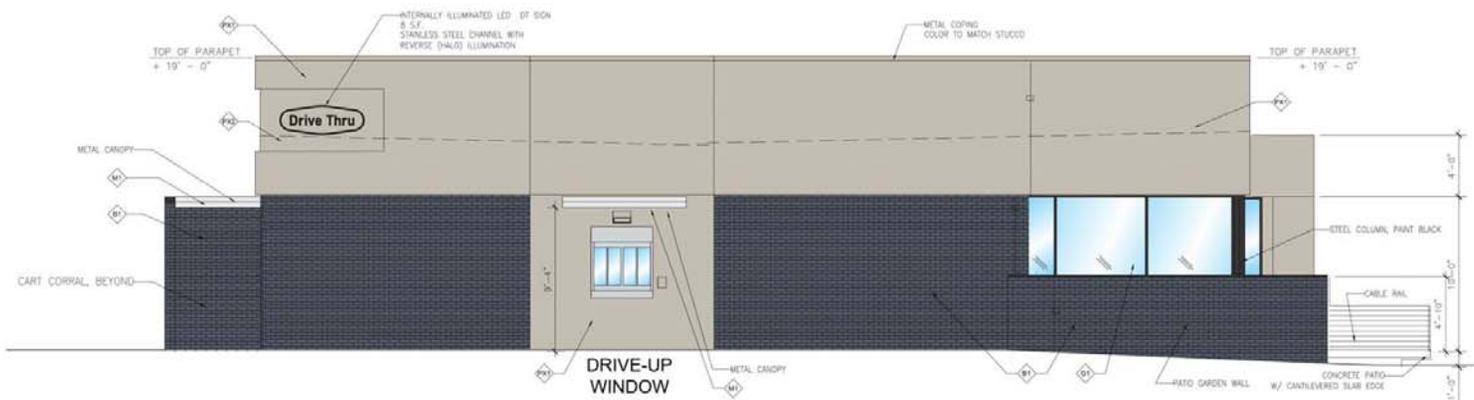
Panera Concept | Bloomington, IN





EXTERIOR MATERIALS:

- Ⓧ ENDICOTT FULL BRICK – MAGANESE IRONSPOT (NORMAN 3 $\frac{3}{8}$ " x 2 $\frac{1}{2}$ " x 1 $\frac{13}{16}$ ")
- Ⓧ HOT ROLLED STEEL PANEL – CLEAR POWDER COAT
- Ⓧ ALUMINUM STOREFRONT – BLACK KYNAR FINISH ALUM. W/ 1" INSULATED GLAZING (TYP.)
- Ⓧ STUCCO-FINISH: COLOR: BENJAMIN MOORE: SHALE
- Ⓧ STUCCO-FINISH: COLOR: BENJAMIN MOORE: TBD



Panera Bread, Bloomington, IN Concept Elevations

Panera Concept | Bloomington, IN





Panera Bread, Bloomington, IN Concept Perspective

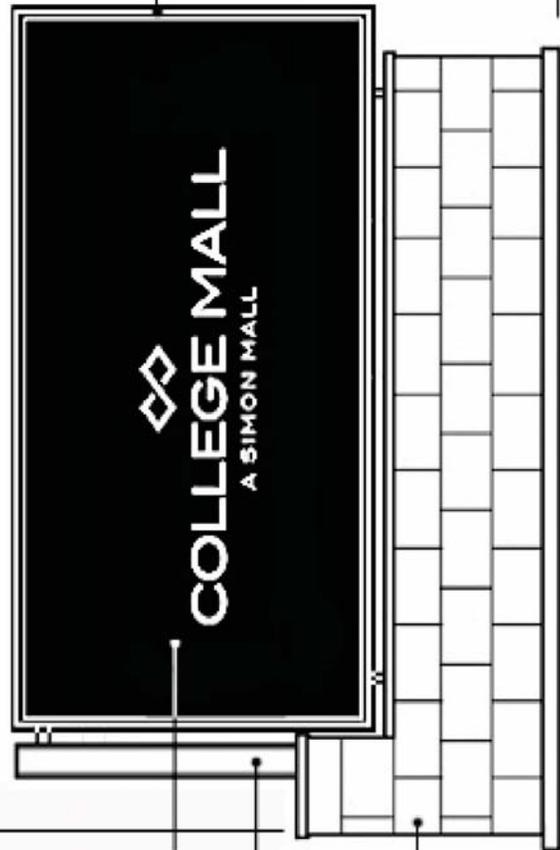


12' - 0"

- Two sided internally illuminated sign panel; routed graphics with push through acrylic letters
- Painted alum. over steel column
- Limestone clad base and cap

Polished chrome trim

3' - 3"
8' - 0"

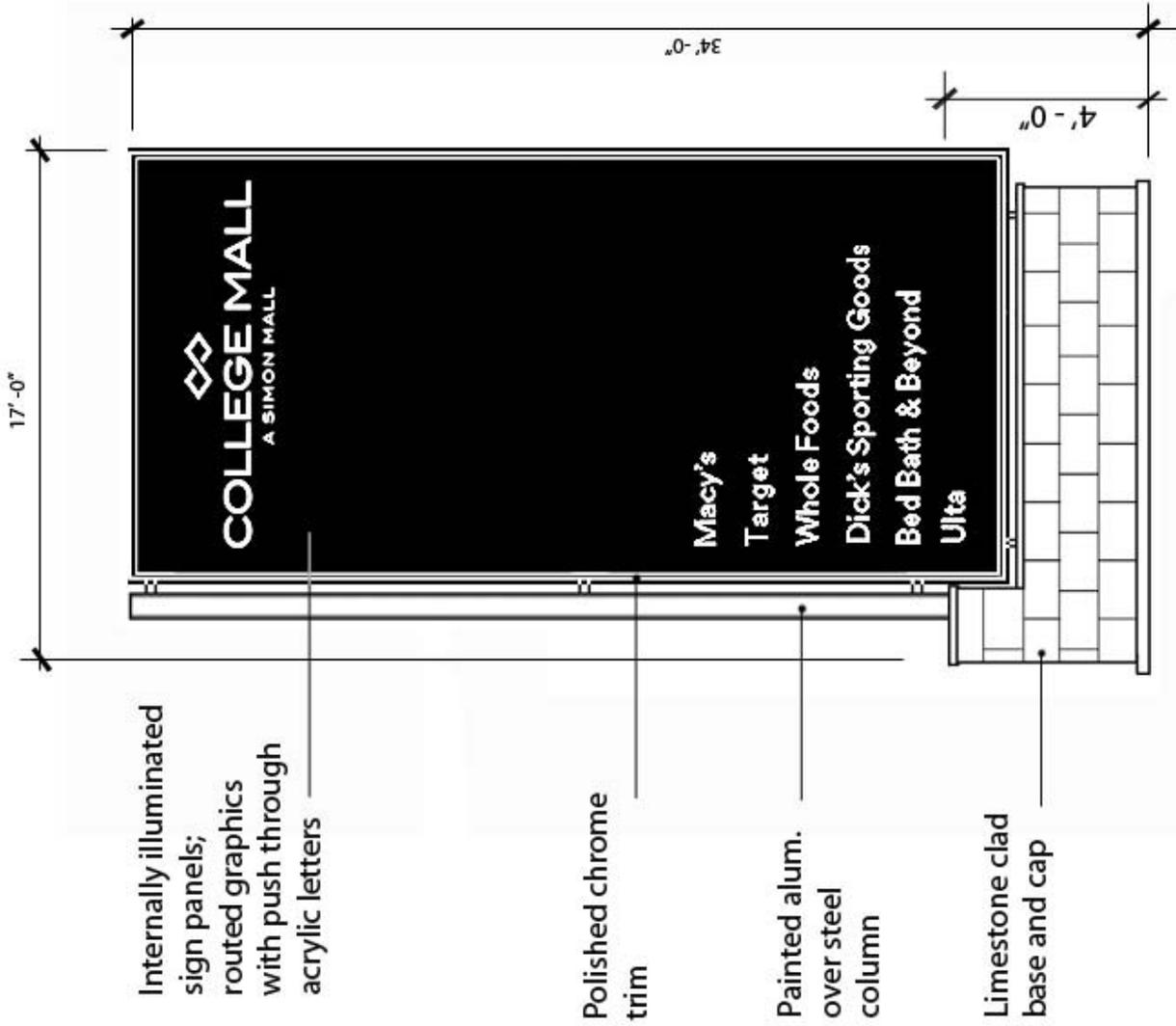


College Mall
Proposed Monument Sign



- 5 - 15

PUD-05-15
Proposed entrance signs



College Mall
Proposed Pylon Sign

PUD-05-15
Proposed multi-tenant sign

72

app. 17 1/2"
AGaramond Semibold

COLLEGE MALL

app. 265.50sq.ft.
(11' - 6" W")

app. 14"

TARGET

MCL Cafeteria

app. 14"

24'-0"

app. 35'-0"

17' - 0" W"
(BASE)



ROWLAND
DESIGN
INC.

Interior Design
Architecture
Graphic Design
833 West Main Street
Louisville, Kentucky 40202
502.595.1232
FAX 502.581.0462

PROJECT Simon Property Group
College Mall

Bloomington, Indiana

TITLE
**Pylon with Tenant Signage
Entrance No. 2 & No. 3**

REVISIONS

PUD-05-15

Current multi-tenant sign approved
under PUD-88-96.

Staff Report:

To: City of Bloomington Plan Commission
From: Tom Micuda, Planning and Transportation Director
Date: March 5, 2015
Re: Amendments to UDO Regarding Temporary Uses

BACKGROUND: Staff is requesting the Plan Commission's positive recommendation for a minor amendment to the Unified Development Ordinance (UDO) that addresses Temporary Use regulations. The Plan Commission voted unanimously in favor of this same amendment at its October meeting last year, but the amendment could not be codified by the City Council because it was tied to legislation in Title 4 of the Bloomington Municipal Code involving Food Trucks. As Plan Commissioners probably know, the Food Truck legislation decision was not acted upon in 2014. However, the Council is ready to re-open discussions on that legislation, so this ordinance must be brought back through the process to match the same time line as Title 4.

For many months, staff from City Legal, Economic and Sustainable Development, and Planning and Transportation has been working to develop new regulations for food trucks and push carts. As Plan Commissioners know, there is substantial entrepreneurial interest in the sale of food and beverages from mobile food trucks and push carts. Communities across the country are reviewing their codes in light of this growing mobile food vending movement.

Currently, any entrepreneur interested in mobile food vending on private property must get two different permits from two City departments to engage in this short term business activity. First, a temporary use permit is needed from the Planning and Transportation Department. Second, an Itinerant Merchant permit must be obtained through the City Controller's Office. There is simply no need for a food vendor to have to obtain two different permits working through two different City departments. Additionally, food vendors run into problems when trying to obtain a Temporary Use permit because the Temporary Use standards in the UDO only allow for retail activity over 15 consecutive days. This presents an enormous obstacle for food vendors who want to operate at multiple locations, operate only one or two days a week, or operate on a seasonal basis.

AMENDMENT OVERVIEW: The proposed amendment to the UDO is very simple and addresses both of the problems outlined above. The first part of the amendment, 20.05.110 (a)(3) adds an exemption to the ordinance allowing mobile food vending to only be regulated by Title 4 of the Bloomington Municipal Code. This means that a mobile food vendor wishing to operate on private property will no longer need a Temporary Use Permit, but would still need to receive a food vending permit governed by Title 4. Planning and Transportation staff would still review the site plan for the permit request to make sure the proposed temporary use does not negatively affect property access, block sidewalks or handicapped accessibility, cause parking problems, or lead to excessive signage displays. As a companion piece to this legislation, a comprehensive amendment to Title 4 will be brought to the City Council in November addressing appropriate fees, duration of activity, food handling and waste restrictions, and location requirements.

The next code change affects Section 20.05.111 of the UDO. This change would allow for temporary uses in Institutional and Commercial Limited zoning districts. The purpose of the amendment is to think ahead to merchant activity the City may want to allow at the future Switchyard Park as well as to eliminate the need for variances to allow temporary use activity in smaller commercial business areas (West Kirkwood Avenue, the Crosstown Shopping Center on East 10th Street, and the 17th and Dunn Convenience Store site).

The final proposed text amendments address temporary use activities that don't work well within the 15 consecutive day provision in the UDO. These are also outlined in 20.05.111. The first allows for longer time periods associated with farm produce sales. Given the great interest in the community in the growing and purchase of local produce, extending the time period for sales from 60 days to 180 days is consistent with the City's support for local food security. Finally, the City proposes new regulations for higher education "book buy-back" activities. In the past, the City has been forced to grant variances for these temporary uses because they wish to operate at the end of fall and spring semesters (twice a year for short durations rather than one time period for 15 days). The proposed amendment removes the need for future variances.

RECOMMENDATION: Staff recommends that the Plan Commission send this text amendment proposal, Case # ZO-6-15, with a positive recommendation to the City Council.

20.05.110 TU-01 [Temporary Uses and Structures; General]

This Temporary Use/Structure Standards section applies to the following zoning districts:

RE RS RC RM RH MH CL CG CA CD IG BP IN MD QY

- (a) Permit Required: All temporary uses shall require a Temporary Use Permit unless specified otherwise in this Unified Development Ordinance.
- (b) Exemptions from the permit requirement:
- (1) Garage sales, religious tent meetings, nonprofit events and political rallies, provided they meet the following standards:
 - (A) The event is allowed for a maximum of seven (7) consecutive days;
 - (B) No property shall hold more than three (3) such events in a single calendar year; and
 - (C) The hours of operation of such events shall be limited to between the hours of 7:00 a.m. and 11:00 p.m.
 - (2) Temporary structures used for collection of donation items by a non-profit organization, provided they are displayed for a maximum of 90 days.
 - (3) Any business activity licensed by Chapter 4 of the Bloomington Municipal Code.
- (c) Termination and Removal: Temporary uses shall be terminated and removed at the end of the event period.
- (d) Required Parking: Temporary uses shall not displace required parking for any existing use or block any existing drives.
- (e) Off-street Parking: Adequate off-street parking is required for each temporary use in accordance with the parking standards of *Chapter 20.05; §PK: Parking Standards*.
- (f) Public Rights-of-way: Temporary uses shall be arranged so that vehicles do not block a public right-of-way.
- (g) Contractor's Offices, Equipment Storage and Portable Lavatories: Contractor's offices, equipment storage and portable lavatories are permitted on or adjacent to construction sites subject to following conditions:
 - (1) The use is for the length of the construction activity. All temporary facilities shall be removed upon completion of construction.
 - (2) The structures shall not contain sleeping or cooking facilities.
 - (3) Portable lavatories shall be located as to minimize impacts to adjacent residential uses.
- (h) Real Estate Sales and Model Homes: Real estate sales and model homes are permitted in any zoning district on the site of the development for which the sales are taking place. They are permitted to remain on the site of the development until all home sites within the development are sold.
- (i) Signs: Temporary uses shall be permitted to display signs subject to the following standards:
 - (1) Temporary uses shall also be subject to additional applicable sign standards in *Chapter 20.05; §SI: Sign Standards*.
 - (2) *Maximum Number*:
 - (A) One (1) freestanding temporary sign;
 - (B) One (1) banner type sign.

Comment [IA1]: Items proposed for deletion are identified by the use of ~~strike through~~ and new proposals to the ordinance are identified by the use of gray highlight.

- (3) *Maximum Sign Area:*
 - (A) Freestanding Temporary Sign: Twenty-four (24) square feet per side.
 - (B) Banner Type Sign: Thirty (30) square feet. Banners shall be placed on the structure, and shall not be freestanding.
- (4) *Sign Permit:* A separate Sign Permit is not required for temporary uses.

20.05.111 TU-02 [Temporary Uses and Structures; Commercial, Industrial, Business Park, Institutional,

This Temporary Use and Structure Standards section applies to the following zoning districts:

CL CG CA CD IG BP IN

- (a) Seasonal Sales: Temporary uses selling seasonal items such as Christmas trees, Halloween pumpkins and 4th of July fireworks shall be permitted subject to the following standards:
- (1) Fireworks sales shall be permitted only at locations within the Commercial Arterial (CA) zoning district.
 - (2) A Temporary Use Permit shall be required and shall be valid for a maximum of thirty (30) consecutive days. The temporary use shall be removed from the property within five (5) days after the holiday, regardless of the remaining valid length of the Temporary Use Permit. No property shall be issued more than one (1) Temporary Use Permit in a calendar year.
 - (3) The temporary use shall be located on a lot that fronts on a collector or arterial street.
 - (4) The temporary use shall be located at least fifty (50) feet from any residential district.
- (b) Farm Produce: The seasonal sale of farm produce shall require a Temporary Use Permit, and such permit shall be valid for a maximum of ~~sixty (60)~~ one hundred and eighty (180) consecutive days. No property shall be issued more than one (1) such Temporary Use Permit in a calendar year.
- (1) The Bloomington Community Farmers' Market and any other approved Farmers' Market shall be exempt from this requirement.
- (c) Book Buyback: The temporary buyback of higher education books shall require a Temporary Use Permit. Such permit shall be valid for a maximum of two (2) periods of seven (7) consecutive days or one period of fifteen (15) consecutive days. No property shall be issued more than one (1) such Temporary Use Permit in a calendar year.
- (d) Sales Associated with a Permanent Retail Use: Temporary retail activity conducted on property associated with a permanent retail use shall be permitted subject to the following standards:
- (1) The temporary retail activity shall be of the same nature as the permanent retail activity conducted on the property.
 - (2) A Temporary Use Permit shall be required and good for a maximum of forty-five (45) consecutive days.
 - (3) A Temporary Use Permit shall only be issued to the operator of the associated permanent retail use.
 - (4) No property shall be issued more than one (1) such Temporary Use Permit in a calendar year.
- (e) Other: Other temporary retail or wholesale activities, carnivals, and traveling circuses shall require a Temporary Use Permit, and such permit shall be valid for a maximum of fifteen (15) consecutive days. No property shall be issued more than one (1) such Temporary Use Permit in a calendar year.

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
LOCATION: 632 N. College Ave.**

**CASE#: SP-07-15
DATE: March 9, 2015**

**PETITIONER: ERL-2, LLC
601 N. College Ave., Bloomington**

**CONSULTANT: Studio 3 Design
8604 Allisonville Road, Indianapolis**

REQUEST: The petitioner is requesting site plan approval to construct a two-story addition to an existing building.

REPORT SUMMARY: This property is located on the east side of N. College Avenue between W. 10th Street and W. 11th Street. This property is zoned Commercial Downtown (CD) and is within the Downtown Gateway Overlay (DGO) District. Surrounding land uses include multi-family residences to the south and east, a pet store to the north and an office building to the west. This 0.19 acre property has been developed with a 2-story, 3-unit residential building.

The petitioner is proposing to remodel the building and construct an addition to the rear of the existing structure. The building would contain 4 units, 14 bedrooms, and 8 parking spaces within a garage.

The building is listed as a contributing historic structure to the Illinois Central and N. College Ave. Historic District in the 2001 Survey of Historic Sites and Structures. The addition to the building was approved as part of a demolition delay review by the Historic Preservation Commission at their meeting on February 26th, 2015.

The proposed building is in compliance with all aspects of the UDO, including but not limited to:

- Parking
- Density
- Minimum and maximum height (33 feet proposed)
- Maximum impervious surface coverage (75%)
- Landscaping
- Materials

Plan Commission Site Plan Review: One aspect of this project requires that the petition be reviewed by the Plan Commission, per BMC 20.03.310. That aspect is follows:

- The project is adjacent to a residential use to the east and south.

SITE PLAN REVIEW

Density: This 0.19 acre property is permitted 6.27 DUEs (33 DUEs/acre). The petitioner is proposing one large 2-bedroom unit, one 3-bedroom, one 4-bedroom, and one 5-bedroom

unit for 5.5 DUEs (29 DUEs/acre). Staff has added a recommended conditional approval regarding how this structure will be rented in the future. The petitioner has advertised the new layout with the potential of one large house (advertisement is included in your packet). This would not be permitted by the UDO.

Parking and Access: The DGO requires a minimum of two parking spaces and permits a maximum of fourteen spaces for 14 bedrooms. The petitioner is proposing 8 spaces within a garage with access from the north-south alley to the east of the property. Six of the eight spaces are arranged in a stacked parking arrangement.

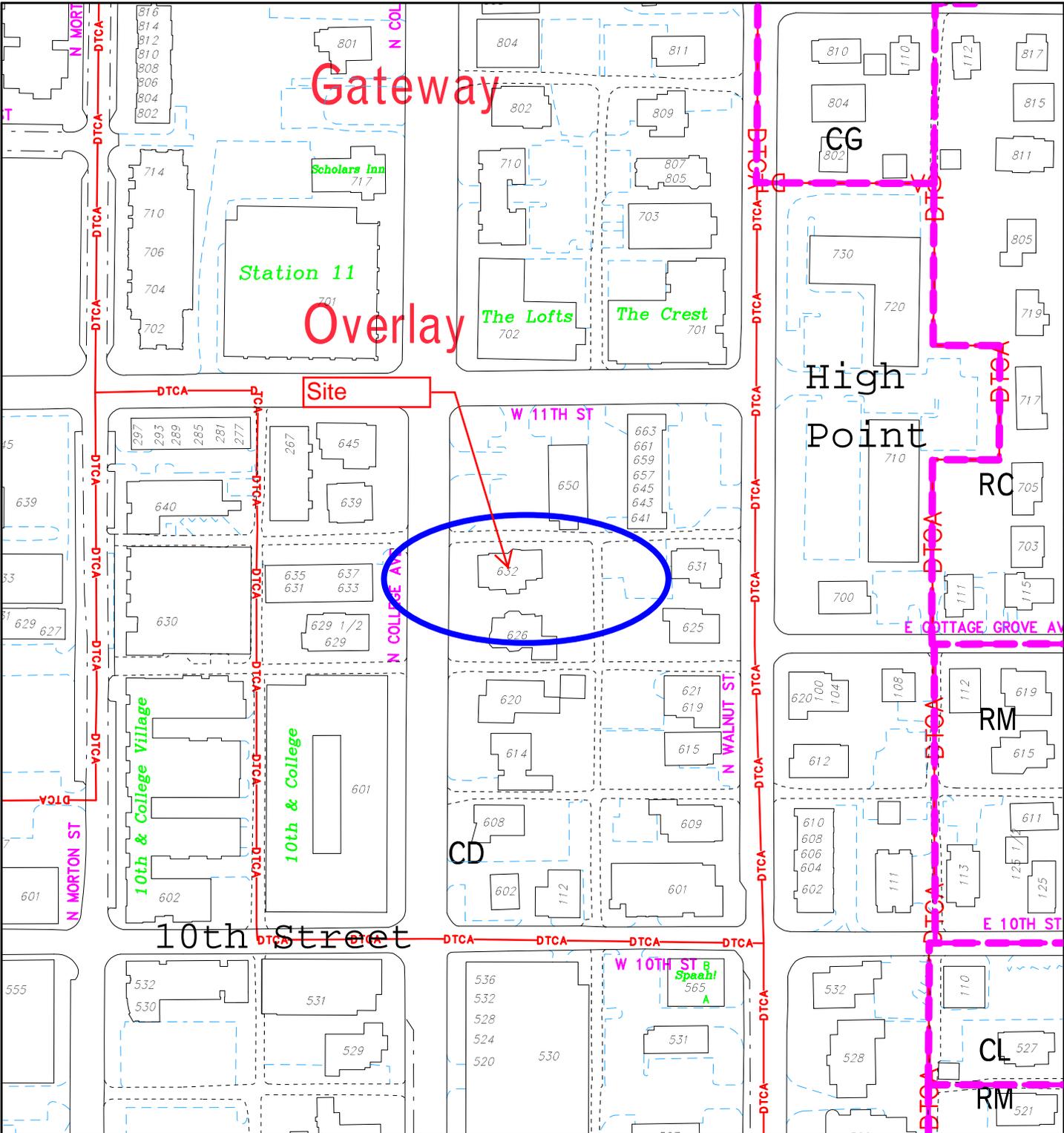
Architecture: The building is currently clad in vinyl siding. With this addition, the petitioner will re-clad the building in cementitious siding and repair the front porch. The Historic Preservation Commission would like the petitioner to continue to work with the Housing and Neighborhood Development staff on the final details of the porch restoration. Apart from the porch restoration and re-siding, no changes are proposed for the historic street façade of the building.

Utilities: Water and sanitary sewer service are available along both 6th St. and Washington St. Stormwater and utility plans have been submitted to the City Utilities Department and are under review. Final approval from CBU is required prior to issuance of a grading permit.

DEVELOPER TRACK RECORD: Developer Elliot Lewis is the principle behind ERL-2, LLC. Other recent projects completed by this petitioner include the 10th and College building, the 4th and Indiana building, the remodeling of the Odd Fellows building, Village at 10th and College, Morton Mansions, Eastbay Apartments, the Horizons building, Studio 531 and the Morton Grad building. The Gateway building at 17th and College is currently under construction. There are no outstanding zoning violations associated with these developments.

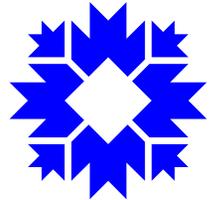
RECOMMENDATION: Based on the written findings above, staff recommends approval of SP-07-15 with the following conditions:

1. One pedestrian-scale street light is required along N. College Ave.
2. Four (4) class-2 bicycle parking spaces are required.
3. Approved per all terms and conditions of Historic Preservation Commission demolition delay review from its meeting held on February 26th, 2015.
4. This site plan approves a 4 unit structure. This structure shall contain one 2-bedroom unit, one 3-bedroom unit, one 4-bedroom unit, and one 5-bedroom unit. Each unit shall be occupied by a single family, as defined by the Unified Development Ordinance, which limits the number of unrelated adults to no more than 5 in each separate unit. This site plan approval prohibits the use of this property as anything on than a 4 unit structure; it shall not permit the use of the structure as a 14 bedroom unit, nor shall it permit the occupancy of any part of the structure by more than 5 unrelated adults living together as a single housekeeping unit. Units shall not be combined together with a tenancy based on a single lease for the entire structure or for more than one unit.



SP-7-15
Location Map

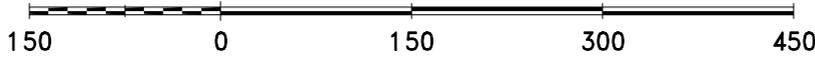
City of Bloomington
Planning & Transportation



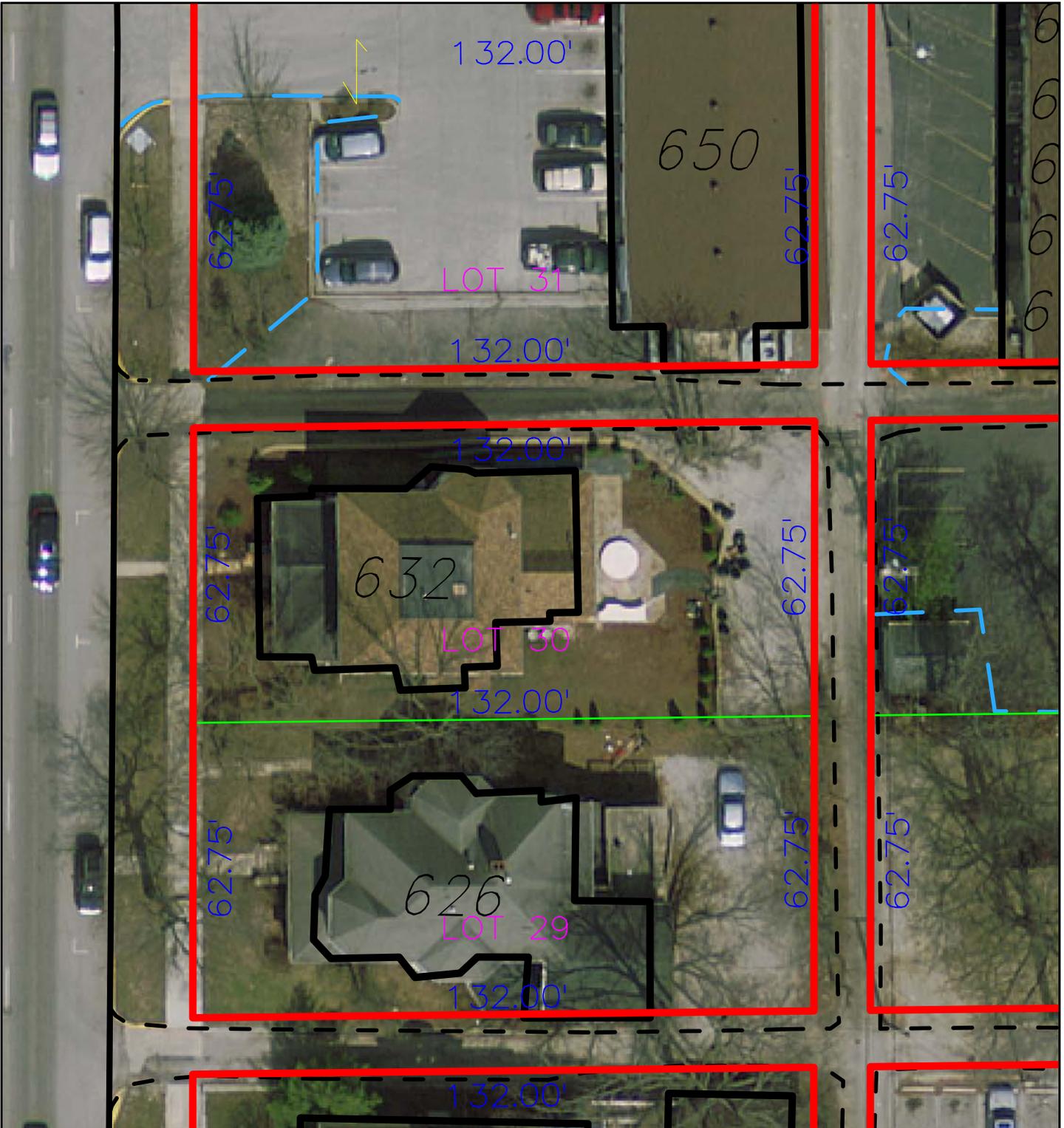
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By: roachja

4 Mar 15

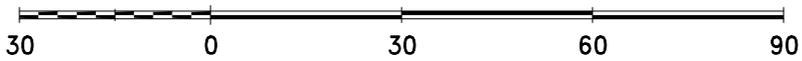


For reference only; map information NOT warranted.

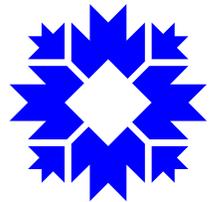


SP-7-15
Aerial Photo

By: roachja
4 Mar 15



City of Bloomington
Planning & Transportation



Scale: 1" = 30'

For reference only; map information NOT warranted.



February 10, 2015
February 23, 2015 (revised)

City of Bloomington Planning Department
P.O. Box 100
Bloomington, IN 47402

Attn: Mr. James Roach

RE: 632 N. College Ave.

PETITIONERS STATEMENT

Dear Mr. Roach

Studio 3 Design is pleased to submit the attached apartment development, "632 N. College" for Plan Commission review. The following document outlines the project scope and addresses comments received to date regarding the project. Please take time to review and contact us with any additional questions.

<u>Apartment Types</u>	<u>Count</u>	<u>Beds</u>
2 Bedroom	1 Units	2 Beds
3 Bedroom	1 Units	3 Beds
4 Bedroom	1 Units	4 Beds
5 Bedroom	<u>1 Units</u>	<u>5 Beds</u>
	4 Units	14 Beds

Property density:

Site: 62.75' x 132' = **.19 acres**
33 DUE's/ acre = **6.27 DUE's allowed**

2 Bedroom (over 950 s.f.)	1 DUE x 1 = 1 DUE
3 Bedroom	1 DUE x 1 = 1 DUE
4 Bedroom	1.5 DUE x 1 = 1.5 DUE's
5 Bedroom	<u>2 DUE x 1 = 2.0 DUE's</u>

5.5 DUE's provided (6.27 DUE's allowed)

**SP-7-15
Petitioner's
Statement**

Project Location

The project is located along College Ave between 10th and 11th Streets in the Downtown Gateway Overlay. The surrounding land use includes commercial/retail use to the North, Multifamily residential to the West, and a mix of residential and commercial in single family homes to the South and East. The lot currently has a locally designated contributing single family home that has been subdivided into 3 apartment units.

Project Concept

Since the existing house on site is locally designated as a historically contributing structure, the main goal of the project is to work with the HPC to maintain the look of the original building from the street while increasing density to the East. The existing (2) lower level apartments and the (1) Level 2 apartment will be renovated and expanded to the east. A fourth apartment unit will be added in an addition on the East side of the house over a small 8 car parking garage.

The buildings architecture is defined by a strong porch element that will be reconditioned from its present state with the use of paint and thin brick veneer. The existing house and the addition will both be clad in a 4" reveal cement board siding with strong trim details to match the surrounding houses. The strong vertical windows will be maintained in the existing house while the new windows in the addition will mimic proportions as much as possible. A breezeway at level 1 near the center of the building as well as a setback will help to break down the scale of the building and separate the existing house from the addition.

Non-Residential space - Retail

Retail space is not required in this location.

Parking Counts

Required parking for 14 beds.	2 spaces
Parking provided	8 spaces

Window detailing

Existing windows in the building have a strong vertical feel, and all windows in the building addition will mimic this look as much as possible. Both existing and new windows meet the 1:1.5 ratio as outlined by the UDO.

Parking Garage

Parking is located under the building on level 1 accessed off the east alley. The parking garage contains 8 parking spaces measuring 18'-0" deep by 9'-0" wide. The parking spaces are set back off the alley a minimum of 5'-0" to allow for an easier turn in from the existing 12'-0" alley.

Streetscape

An existing, mature street tree is located in the right-of-way along College Ave. (1) new street tree will be added to continue the rhythm required by the UDO.

Building Façade modules

The typical building façade modules outlined in the UDO do not apply to this property due to the fact that the existing street frontage is remaining largely unchanged.

Building Height

The existing house stands roughly 32'-8" from low point on grade to the peak of the roof. The majority of the building addition sits below this roof height with the exception of the peak of the hipped roof at the far east end of the building. This peak sits 3'-6" above the existing roof height for a total height of 36'-2" above the low point on site. This falls below the maximum 40'-0" allowed in the Downtown Gateway Overlay.

Building Materials

The existing building is clad in a majority of vinyl siding with a monolithic limestone foundation and some parged concrete finish on the existing porch. The front porch will be re-painted on the column elements and have a thin brick veneer applied to sections to call back to the existing brick veneer that has been covered up. The entirety of the existing house will be re-clad with 4" reveal cement board siding to match the building addition to the East.

Void to Solid Percentages

Void-to-solid percentages are not met due to the fact that the only façade facing a street is the existing house which is a locally contributing history structure.

Building Setback

A 5'-0" building setback is provided around the North, East and South sides of the building addition which meets the requirement of the Downtown Gateway Overlay.

Bike Storage/ Parking

An effort has been made to make the facility "bike friendly" through the incorporation of bike parking focused around the College Ave entry point. Bike spaces are provided at the minimum UDO requirement of (4) spaces.

Environmental Considerations

The developer is interested in providing a building that is sensitive to the concerns of today's built environment. As such, we are reviewing the incorporation of the following into the project:

- "Green friendly" building materials – This includes both materials with recycled content as well as building materials that have been harvested and manufactured within a 500 mile radius. Examples of these materials include cement board siding and CMU blocks.
- Energy efficient "Energy Star" appliances.
- Energy efficient windows with low-E glazing
- Energy efficient lighting fixtures
- Building shell and demising wall insulation.

Building Entrances

The building has (1) resident entrance off of College Ave, (1) residential entrance off the north side of the building, and (2) residential entrances off the South side of the building.

Encroachments:

The project will not require any encroachments from the city.

Trash Removal

Trash removal has been provided off of the East alley. A trash area is provided at the back of the parking garage on Level 1 of the addition. Each of the (4) apartments will have its own trash tote that will be rolled out to the curb on trash day.

Water Service & Meter Pit

Water service is already in place for the existing structure, so new service and meter pit are not required.

Sewer Service

Sewer service is existing to remain.

Private Utilities

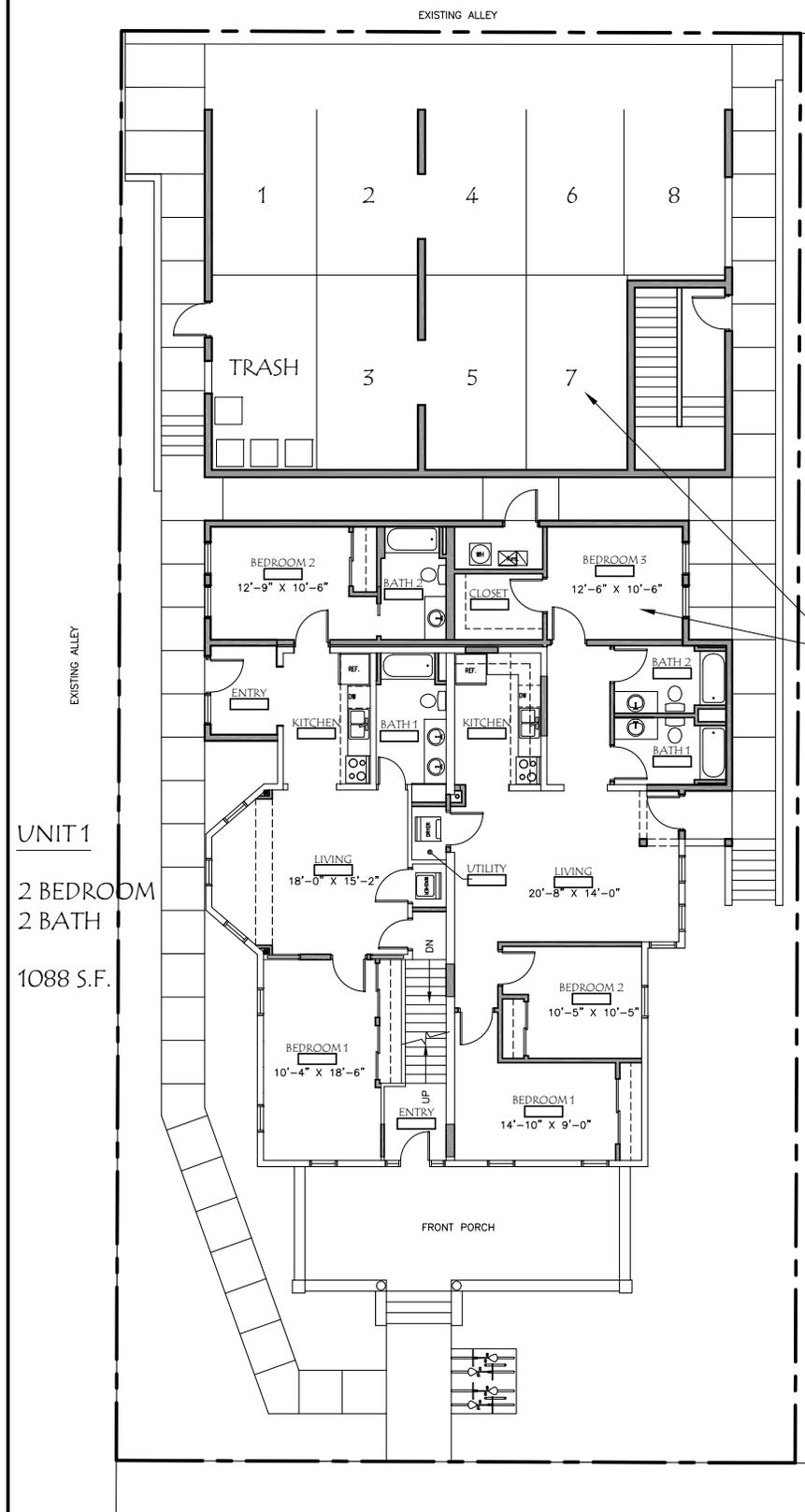
Duke Energy and a cable/phone/internet provider to be determined will provide for the service needs of the development. We anticipate the placement of either a pole-mounted transformer in the alley to the East.

Respectfully submitted,

STUDIO 3 DESIGN, INC



J. Zach Bode



632 N. COLLEGE

- 2 BED X 1 = 2 BEDS = 1.0 DUE'S
- 3 BED X 1 = 3 BEDS = 1.0 DUE'S
- 4 BED X 1 = 4 BEDS = 1.5 DUE'S
- 5 BED X 1 = 5 BEDS = 2.0 DUE'S

4 UNITS - 14 BEDS = 5.5 DUE'S
(6.27 DUE'S ALLOWED)

8 PARKING SPACES PROVIDED
(2 SPACE REQUIRED)

2 STORY ADDITION

LEVEL 1 - 2455 S.F.
LEVEL 2 - 2438 S.F.
TOTAL - 4893 S.F.

UNIT 1

2 BEDROOM
2 BATH
1088 S.F.

UNIT 2

3 BEDROOM
2 BATH
1291 S.F.



1 LEVEL 1 PROPOSED LAYOUT
A1 3/32" = 1'-0"

SP-7-15
Site Plan & First
Level

**STUDIO
THREE
DESIGN**
www.studiodesign.com
317 595.1000 main 317 572.1236 fax
8604 Allisonville Road, Suite 330 Indianapolis, IN 46250

632 N. COLLEGE AVE
BLOOMINGTON, INDIANA

PROJECT NO.
15014
DATE
2-23-15

SHEET DESCRIPTION
LEVEL 1
PROPOSED
LAYOUT

SHEET NUMBER
A1

UNIT 4
4 BEDROOM
3 BATH

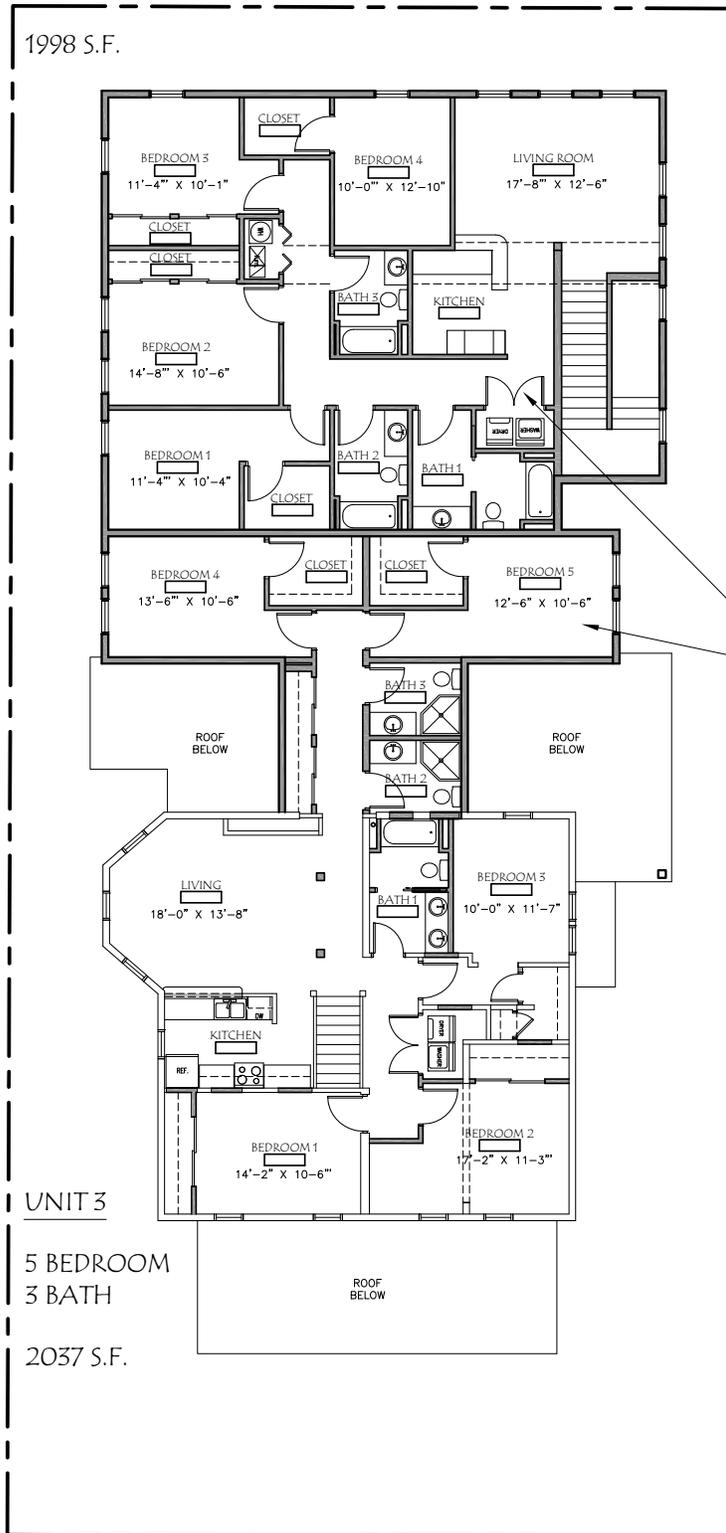
1998 S.F.

632 N. COLLEGE

2 BED X 1 = 2 BEDS = 1.0 DUE'S
3 BED X 1 = 3 BEDS = 1.0 DUE'S
4 BED X 1 = 4 BEDS = 1.5 DUE'S
5 BED X 1 = 5 BEDS = 2.0 DUE'S

4 UNITS - 14 BEDS = 5.5 DUE'S
(6.27 DUE'S ALLOWED)

8 PARKING SPACES PROVIDED
(2 SPACE REQUIRED)



2 STORY ADDITION

LEVEL 1 - 2455 S.F.
LEVEL 2 - 2438 S.F.
TOTAL - 4893 S.F.

UNIT 3

5 BEDROOM
3 BATH

2037 S.F.



1 LEVEL 2 PROPOSED LAYOUT
A2 3/32" = 1'-0"

Second Level

NO.	DATE	BY	DATE

DESIGNED	SAB
CHECKED	SAB
APPROVED	SAB
DATE	

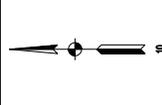


UTILITIES
 AT&T (Phone) 4632 334-4621
 4917 E. Indiana Blvd Ct.
 P.O. Box 56
 Bloomington, Indiana 47408
 317.339.0411.com
 BONE ENERGY (Electric)
 Kerry Ducker (812) 337-3035
 1100 W. 2nd St.
 Bloomington, IN 47403
 kerry.ducker@bone-energy.com
 CITY OF BLOOMINGTON
 UTILITIES (Water/Sewer)
 Nancy Axson (812) 349-3889
 1000 W. 2nd St.
 Bloomington, IN 47402
 osamb@bloomington.in.gov
 VECTREN Gas
 Doug Anderson (812) 330-4031
 1000 W. 2nd St.
 Bloomington, IN 47404
 doug.anderson@vectren.com
 COMCAST (Cable)
 Scott Cripe (812) 322-3612
 1000 W. 2nd St.
 Bloomington, IN 47401
 scott.c@comcast.com

DEMOLITION PLAN NOTES
 1) EXCAVATION PERMIT.
 2) ALL DEMOLITION ACTIVITIES MUST BE IN ACCORDANCE WITH CITY PUBLIC WORKS.
 3) TEMPORARY CLOSURE SHALL BE COORDINATED WITH CITY PUBLIC WORKS.
 4) ALL FOOTINGS, FOUNDATIONS AND SLABS SHALL BE REMOVED IN THEIR ENTIRETY. EXISTING EXCAVATION SHALL FILL WITH COMPACTED GRANULAR MATERIAL.
 5) ALL DEMOLITION ACTIVITIES SHALL BE MONITORED AND MAINTAINING EXISTING SERVICE LINES AS REQUIRED WITH THE RESPECTIVE UTILITY SERVICE PROVIDER.
 6) CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND MAINTAINING EXISTING SERVICE LINES AS REQUIRED WITH THE RESPECTIVE UTILITY SERVICE PROVIDER.
 7) DEMOLITION SHALL BE COMPLETED BY 06:00 AM ON THE DATE SPECIFIED.
 8) REFER TO ARCHITECTURAL PLANS FOR SELECTIVE DEMOLITION REQUIREMENTS IN EXISTING STRUCTURE.



DEMOLITION PLAN



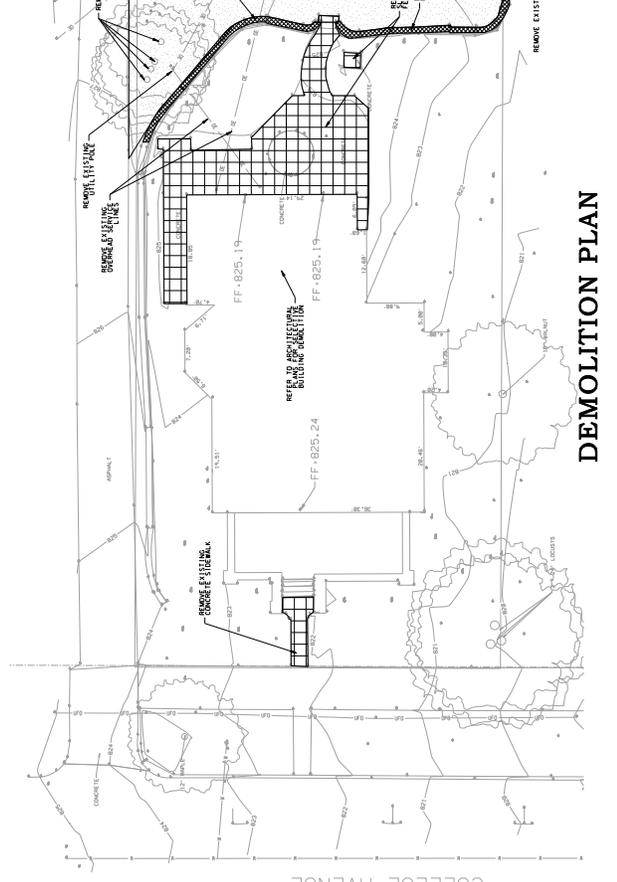
SITE PLAN NOTES
 1) REFER TO ARCHITECTURAL PLANS FOR EXISTING BUILDING.
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SITE PLAN

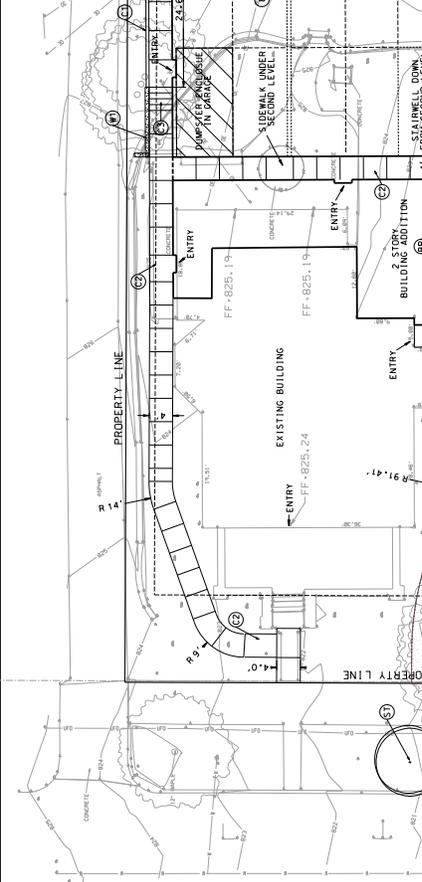
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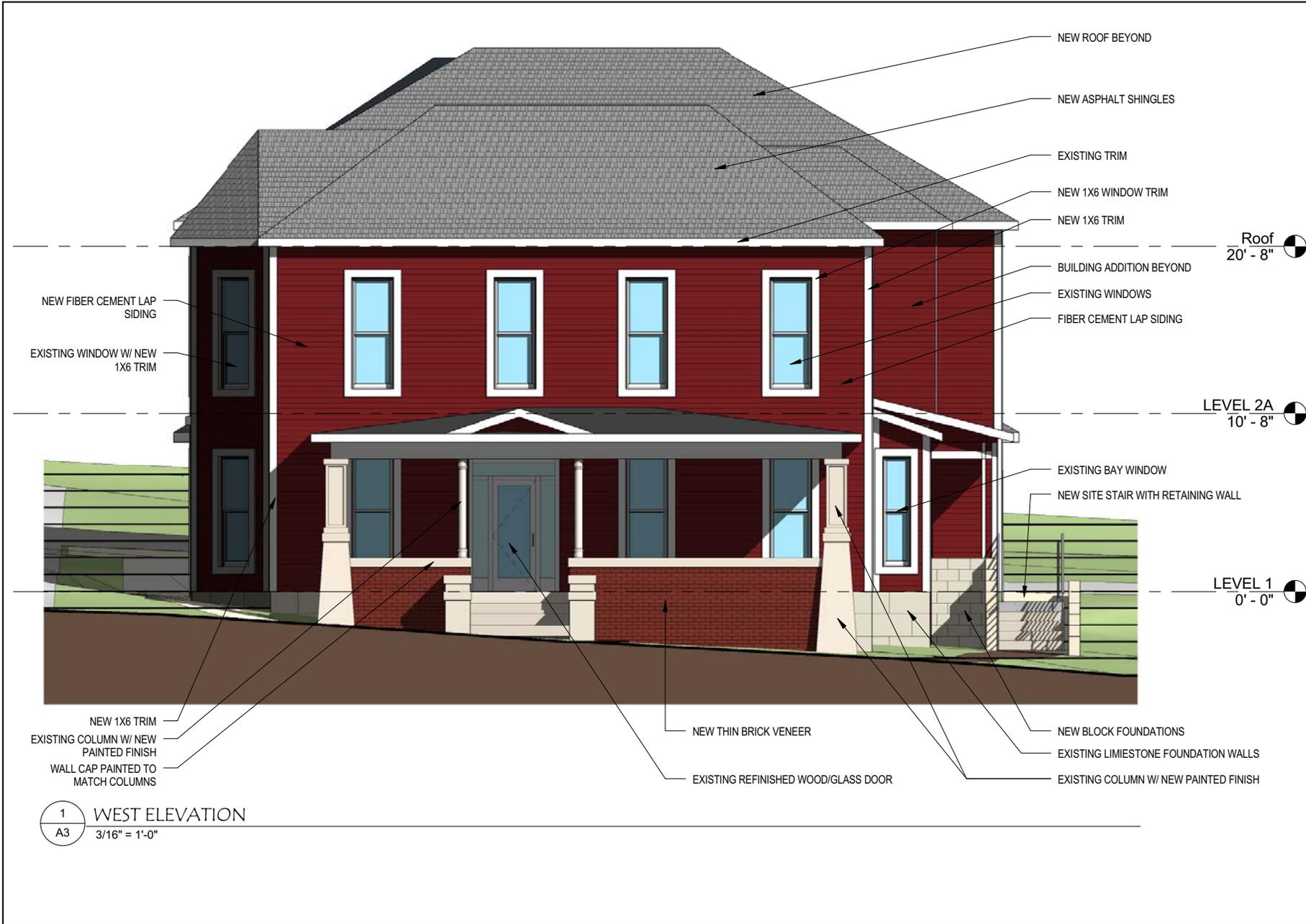
DEMOLITION PLAN

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SITE PLAN



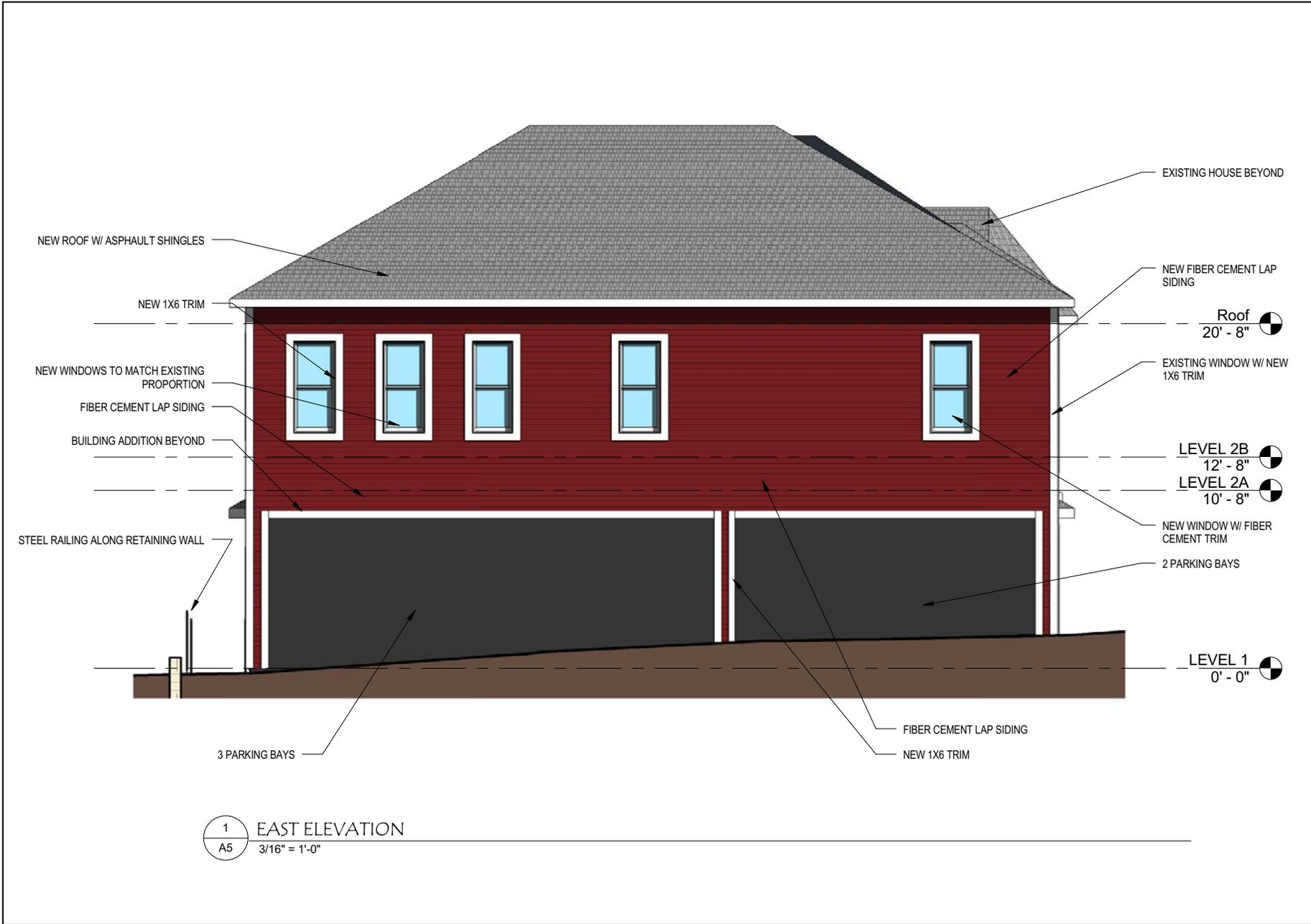
SHEET NUMBER A3	
SHEET DESCRIPTION WEST ELEVATION	
PROJECT NO. 15014	DATE 2/23/2015
ERL-14, LLC. 632 N. COLLEGE AVE. BLOOMINGTON, INDIANA	

1 WEST ELEVATION
A3 3/16" = 1'-0"



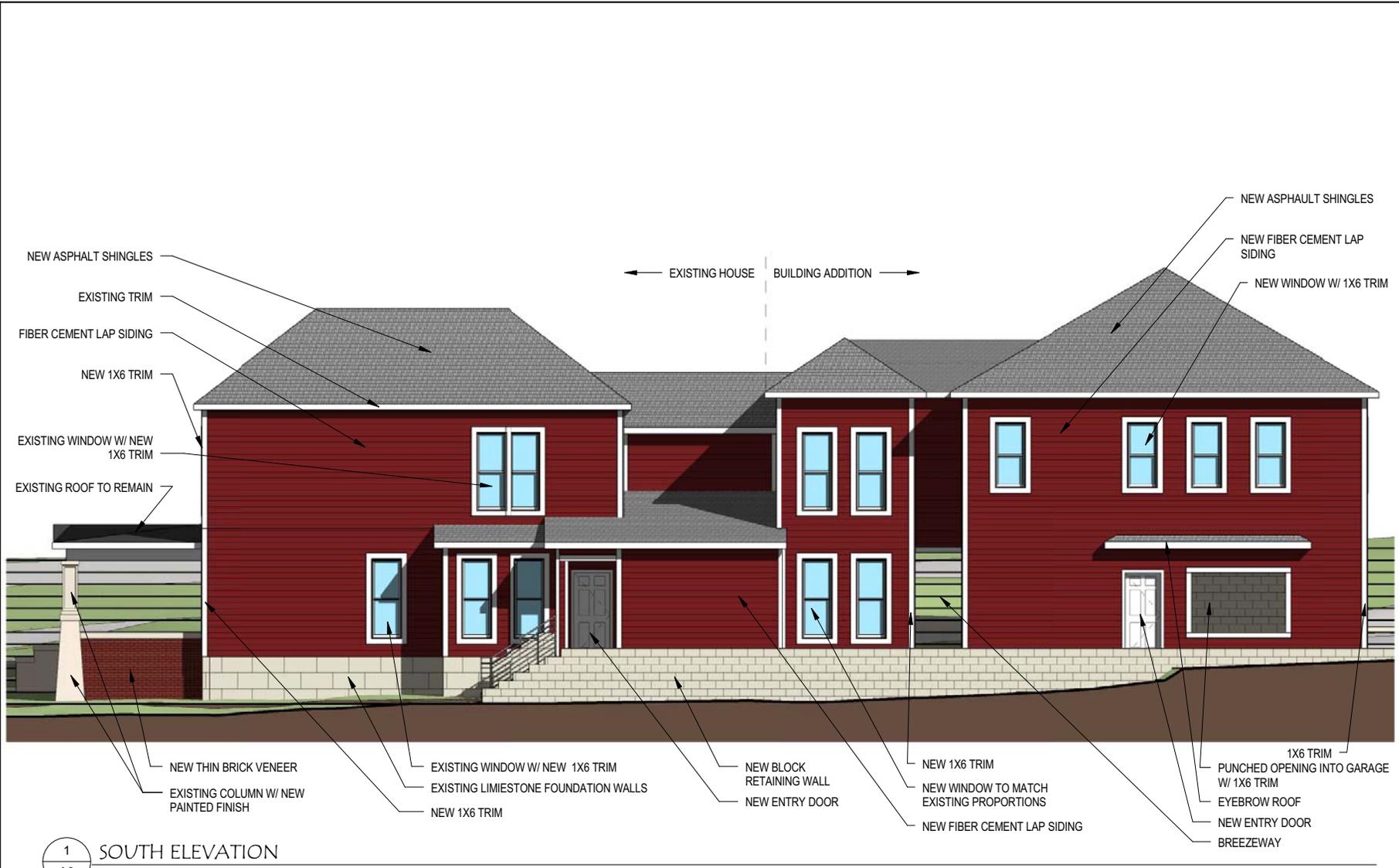
1 NORTH ELEVATION
 A4 1/8" = 1'-0"

SHEET NUMBER A4	
SHEET DESCRIPTION NORTH ELEVATION	
PROJECT NO. 15014	DATE 2/23/2015
ERL-14, LLC. 632 N. COLLEGE AVE. BLOOMINGTON, INDIANA	



SHEET NUMBER A5	
SHEET DESCRIPTION EAST ELEVATION	
PROJECT NO. 15014	DATE 2/23/2015
ERL-14, LLC. 632 N. COLLEGE AVE. BLOOMINGTON, INDIANA	

1 EAST ELEVATION
A5 3/16" = 1'-0"



1 SOUTH ELEVATION
A6 1/8" = 1'-0"

SHEET NUMBER A6	
SHEET DESCRIPTION SOUTH ELEVATION	
PROJECT NO. 15014	DATE 2/23/2015
ERL-14, LLC. 632 N. COLLEGE AVE. BLOOMINGTON, INDIANA	



View From South

SHEET NUMBER

A7

SHEET DESCRIPTION

VIEW FROM SOUTH

PROJECT NO.
15014

DATE
2/23/2015

ERL-14, LLC.
632 N. COLLEGE AVE.
BLOOMINGTON, INDIANA



SP-7-15
Model Renderings



VIEW FROM NORTH

SHEET NUMBER

A8

SHEET DESCRIPTION

VIEW FROM NORTH

PROJECT NO.

15014

DATE

2/23/2015

ERL-14, LLC.

632 N. COLLEGE AVE.

BLOOMINGTON, INDIANA





View from South East

SHEET NUMBER

A12

SHEET DESCRIPTION

Unnamed

PROJECT NO.

15014

DATE

2/23/2015

ERL-14, LLC.
632 N. COLLEGE AVE.
BLOOMINGTON, INDIANA





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Studios
1 Bedroom
2 Bedrooms
3 Bedrooms
4 Bedrooms
5 Bedrooms

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1100-2000
2000-2800

Search by LOCATION

Blown Downtown East
Blown Downtown West
Blown Downtown South
Blown Downtown North
Campus East

Search by STYLE

Apartment Flat
Apartment Townhome
Commercial
House

CTRL key selects multiple options

Search

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632 N. College - 2 to 14 Beds NEW AUG 2015

632 N. College Avenue
Bloomington, IN, 47404

[APPLY NOW](#)

[VIEW APARTMENTS](#)

BRAND NEW FOR AUGUST 2015, READY FOR YOUR GROUP OF 2 - 14!

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[Print this community](#)

The 632 house will be gutted, remodeled and added onto for August 2015 to create 4 apartments OR a large 14 bed house for your group. This house has 4 apartments - a 2 bed/2 bath, 3 bed/2bath, 4 bed/3 bath and 5 bed/3 bath.



Ready for your group of 2 to 14!



[Click here to download a PDF with more information, including floor plans](#)

Community Amenities:

- Conveniently located on 6 bus line
- Free On-site Resident Parking
- 24 Hr Laundry Facility Access
- 24 Hour Emergency Maintenance
- Online Service Requests
- Flats
- Hardwood Floors
- Sub-lets Allowed
- Studio and One Bed Units
- Two Bed House
- Five Bed House

SP-7-15
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