

**CITY OF BLOOMINGTON**



**August 10, 2015 @ 5:30 p.m.  
NAT U HILL III MEETING ROOM,  
MONROE COUNTY  
COURTHOUSE,  
100 W. KIRKWOOD AVE**

# AGENDA

**CITY OF BLOOMINGTON  
PLAN COMMISSION  
August 10, 2015 @ 5:30 p.m.**

**❖ Monroe County Courthouse  
Nat U Hill III Meeting Room  
100 W. Kirkwood Ave.**

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## ROLL CALL

**MINUTES TO BE APPROVED:** None at this time

## REPORTS, RESOLUTIONS AND COMMUNICATIONS

### CONSENT AGENDA:

- SP-16- 15      **Evergreen Partners II LLC.**  
2602 E. Creeks Edge Dr.  
Request: an amendment to the list of permitted uses and development standards for Parcel F of the Canada Farm PUD to allow a 125-unit assisted living facility.  
Case Manager: Eric Greulich
- SP-17-15      **Downtown Square I LLC.**  
108 W. 6th St.  
Request: site plan review of addition of upper floor dwelling unit adjacent to residential users within Courthouse Square overlay.  
Case Manager: Beth Rosenbarger
- SP-19-15      **Upland Brewery**  
350 W. 11th St.  
Request: site plan approval to allow the construction of a 6,240-square-foot new building.  
Case Manager: Eric Greulich

### PETITIONS:

- SP-15-15      **CRTM Reality**  
2300 S. Walnut St.  
Request: site plan review a 32,489-square-foot structure for auto sales and repair use.  
Case Manager: Eric Greulich
- SP-18-15      **H.M. Mac**  
2780 S. Walnut Street Pike  
Request: site plan approval of a 143-unit multifamily development.  
Case Manager: James Roach

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT – SECOND HEARING  
Location: 2300 S. Walnut Street**

**CASE #: SP-15-15  
DATE: August 10, 2015**

**PETITIONER:** CRTM Realty  
2200 S Walnut Street, Bloomington, IN

**CONSULTANT:** Bynum Fanyo & Associates, Inc.  
528 N Walnut St, Bloomington, IN

**REQUEST:** The petitioner is requesting site plan approval to allow the construction of a 32,000 sq. ft. car dealership building and vehicle display area.

**BACKGROUND:**

<b>Current Zoning:</b>	Commercial Arterial (CA)
<b>GPP Designation:</b>	Community Activity Center
<b>Existing Land Use:</b>	Vacant/Vehicle Sales
<b>Proposed Land Use:</b>	Vehicle Sales
<b>Surrounding Uses:</b>	North – Vehicle Sales West – Switchyard Park East – Bank/Pet Food Supply South – Taco Bell/Walnut Park shopping center

**CHANGES SINCE FIRST HEARING:** The Plan Commission heard this case at the July 13, 2015 hearing. At that hearing, the Plan Commission expressed concern regarding portions of the building with a blank wall, landscaping within the site, the size of the proposed interior islands, and the amount of green space within the interior.

The petitioner has made several changes to the proposed architecture and site plan in response to those comments. Additional windows, awnings, and changes to the building façade have been added along the previously blank section of the south part of the building to meet code requirements. All of the required interior islands have been increased in size to the minimum 324 sq. ft. size. Trees and shrubs have been added to the islands as well. Additional interior islands have also been added between this property and the adjacent parking area to the north to break-up the amount of parking along the front. The proposed street trees have been moved back behind the sidewalk to provide the necessary sight distance at the entrance and have been changed to a tall canopy tree species. In addition, clustered areas of landscaping have been added around the base of the street trees to provide more landscaping along the front.

**SUMMARY:** The property is located at 2300 S. Walnut Street and is zoned Commercial Arterial (CA). This parcel is currently vacant with an open pasture along the front and some mature trees along the back portion of the property. The Clear Creek floodplain encroaches onto the west side of this site. Surrounding land uses include a bank and pet food store to the east, a Taco Bell and shopping center to the south, vacant land and the future Switchyard Park to the west, and other automobile dealerships owned by the petitioner to the north. This site, as well as several other properties to the north, are

all owned by the same entity (CRTM Realty) and have been developed with automobile dealerships.

The petitioner is requesting site plan approval to establish a new Chrysler automobile dealership on this lot. This proposal includes an expansion of an adjacent vehicle display area along the front as well as the construction of a 32,000 sq. ft. sales office building with a two-story service bay in the rear. The display area in the front is proposed to be a seamless expansion of the existing display area from the dealership to the north. There are 4 rows of display area proposed between the building and the street with other areas of display to the side of and behind the building. In total there are 86 parking spaces and 127 display spaces proposed to be installed with this petition. There is an existing drivecut on Walnut Street that would be utilized for access. There is currently a 5' wide sidewalk along the street frontage, and new street trees would be installed with this petition. New landscaping will also be installed throughout the site. A stormwater detention pond is proposed in the rear of the property to meet stormwater quality and detention requirements.

The petitioner has also filed a variance request to the Board of Zoning Appeals from the front yard parking setback requirements and from landscaping requirements. Since this type of land use typically has only a small building for transactions and large parking area in front for the display of vehicles for sale, Staff expected that there would be difficulties in meeting some of the requirements of the Unified Development Ordinance. Specifically, the code requires parking to be located behind the front of a building as well as tall canopy trees to be planted within and immediately adjacent to the parking areas. In an attempt to accommodate a more building forward design than is typical of the use, the petitioner has placed 4 rows of parking in front of the building to allow for display area that is visible from the street. The petitioner is also requesting a variance from landscaping standards to allow for the required tall, canopy trees within the interior islands and around the parking areas to be installed at other portions of the site away from the display area for new vehicles. Staff has worked with the petitioner to provide the quantity of landscaping plantings required on the site as a whole.

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#### **SITE PLAN ISSUES:**

**Architecture/Design:** The building will have large glass windows along the majority of the front with EIFS and painted precast concrete on the main building face, which are both permitted materials. As mentioned previously, there have been new architectural elements added to the building to meet code requirements that include new windows, an awning, and building modulation.

**Access:** There is an existing drivecut on Walnut Street that will be utilized with this project. The location will need to be modified slightly so that it directly aligns with the drivecut across the street for the commercial businesses. The location of the proposed street trees has been adjusted to provide the necessary site distance at the drive entrance.

**Landscaping:** Street trees are also required with this petition and have been shown. The location of the proposed street trees has been adjusted to provide the necessary site distance at the drive entrance. The proposed street trees will be a tall canopy

species and are required to not be more than 40' apart from center. Based on the 340' of frontage, a total of 9 street trees are required. Some minor modifications are needed to the proposed species of some of the proposed street trees to meet the street tree requirements. The petitioner has requested a variance from landscaping standards in order to allow flexibility in the location and species of the required landscaping. Specifically they are requesting a variance to not require canopy trees in the landscaping islands and to not require the parking lot canopy trees to be installed within 10' of the parking areas. Based on the proposed 213 parking spaces, there are 14 interior islands required that must be a minimum of 324 sq. ft. The proposed site plan shows a disbursement of different island sizes and shapes around the parking areas. The petitioner has modified the site plan to show all 14 required islands and they are all a minimum of 324 sq. ft. as required.

As mentioned previously, even though the petitioner is requesting a landscape variance to allow flexibility in the location of the required landscaping, staff is requiring that all of the required landscaping be installed on the site. The petitioner is requesting to not plant the required tall, canopy trees in the interior islands and instead has shown shorter ornamental trees and shrubs.

**Lighting:** The UDO requires that lighting for outdoor display lots and parking lots with more than twenty parking spaces shall be reduced by half no later than 11:00 PM, or within thirty minutes after closing of the business, whichever is later. This is required with this petition. All lighting must also be downlit with full-cutoffs and shielding. A lighting plan has been submitted that shows the proposed lighting does not exceed the light trespass requirements.

**Environmental:** The site is open pasture along the front that has been filled over the years. There are some mature trees along the rear of the property and are mostly all located in the floodplain of Clear Creek. There is no disturbance proposed or allowed with this petition within the Clear Creek floodplain.

**Parking:** There are 213 display parking spaces proposed to be installed with this petition. The UDO allows for a maximum of 32 parking spaces for the dealership building (1 space per 1,000 sq. ft. of display area) and 54 for the 18 service bays (1 space per employee plus 2 spaces per service bay) for a total of 86 maximum parking spaces allowed. The additional parking spaces are for the display of vehicles for sale, which is to be expected.

**Pedestrian Facilities:** There is currently a 5' wide sidewalk along the property frontage that is in good condition. There is also a sidewalk connection shown from the building to the public sidewalk along Walnut St. A total of 8 covered bike spaces are required and must be shown on the grading plan. Staff has also had an opportunity to evaluate the possibility of a sidewalk or other pedestrian connection through this site to connect to the B-Line Trail to the west and due to the steep slopes, floodplain, contaminated soil, separate property not owned by the petitioner or the City, and creek crossing that would be required with such a connection, it is staff's opinion that a pedestrian connection through this site is not feasible and should not be required.

**Utilities:** Water service is provided along Walnut St. with a sanitary line that runs

through the back side of the site. No issues have been identified with establishing new connections to these utilities and final approval from CBU is required prior to issuance of a grading permit.

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**ENVIRONMENTAL COMMISSION RECOMMENDATIONS:** The Bloomington Environmental Commission (EC) has made 4 recommendations concerning this development.

1. The Petitioner shall revise the Landscape Plan to meet UDO regulations at a minimum.

**Staff response:** Staff will continue to work with the petitioner to revise the proposed landscape plan and incorporate the Environmental Commission's recommendations.

2. The Petitioner should apply green building and site design practices to create a high performance, low carbon-footprint structure, and grounds that exhibit our City's commitment to environmental sustainability.

**Staff response:** Although not required, staff encourages the petitioner to incorporate as many green building practices as possible.

3. Redundant erosion control measures and reduced timelines for stabilization shall be planned and monitored.

**Staff response:** Although not required, staff encourages the petitioner to incorporate this suggestion if possible.

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**CONCLUSION:** Staff has worked with the petitioner to design a site plan that attempts to comply with as many of the development standards of the UDO as possible. The petitioner has made several changes to the site plan based on comments from the Plan Commission that include increasing the size of the interior islands, adding more interior islands, adding new landscaping along the front, and adding new landscaping around the building. Although not a desired site layout with the parking in front of the building, staff is supportive of the site plan with the modification that have been made.

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**RECOMMENDATION:** Staff recommends approval of this petition with the following conditions:

1. Approval contingent upon the granting of the requested variances by the Board of Zoning Appeals.
2. A total of 8 covered bike parking spaces are required and must be shown on the grading plan.

# MEMORANDUM

**Date:** July 31, 2015

**To:** Bloomington Plan Commission

**From:** Bloomington Environmental Commission

**Through:** Linda Thompson, Senior Environmental Planner

**Subject:** SP-15-15, CRTM, second hearing  
2300 S. Walnut St.

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This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a request for Site Plan approval plus two variances to the Unified Development Ordinance (UDO) regulations in order to construct a structure and parking lots for automobile sales and repair. The variances include front yard setback for parking, and changes in the requirements for landscaping.

## **ISSUES OF SOUND ENVIRONMENTAL DESIGN**

### **1.) LANDSCAPING**

The EC has no objection to the variance of smaller trees in the parking lot islands. However, the submitted Landscape Plan still is deficient, thus the EC recommends the Petitioner continue to work with the Planning and Transportation staff to satisfy the requirements of the UDO.

The Landscape Plans shows deficiencies such as the following.

1. Not enough street trees;
2. Missing Erosion Control Plan, which is necessary to complete the landscape review;
3. Using short perennial plants for parking lot perimeter instead of the required shrubs.

### **2.) GREEN BUILDING and SITE DESIGN**

The EC recommends that green building practices be employed at this site. Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the UDO. Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative (<http://Bloomington.in.gov/greenbuild>). Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Kruzan; by City Council Resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions; by City Council Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

Some recommendations the EC offers include the following.

1. Install light emitting diode (LED) lighting, due to the amount of lighting that will be required;
2. Enhance the weather, air, and thermal barriers of the building envelope because the building will be so large and open with doors opening regularly;
3. Use solar photovoltaic cells given the expansive size of the roof; and
4. Use reflective roofing material (not simply white).

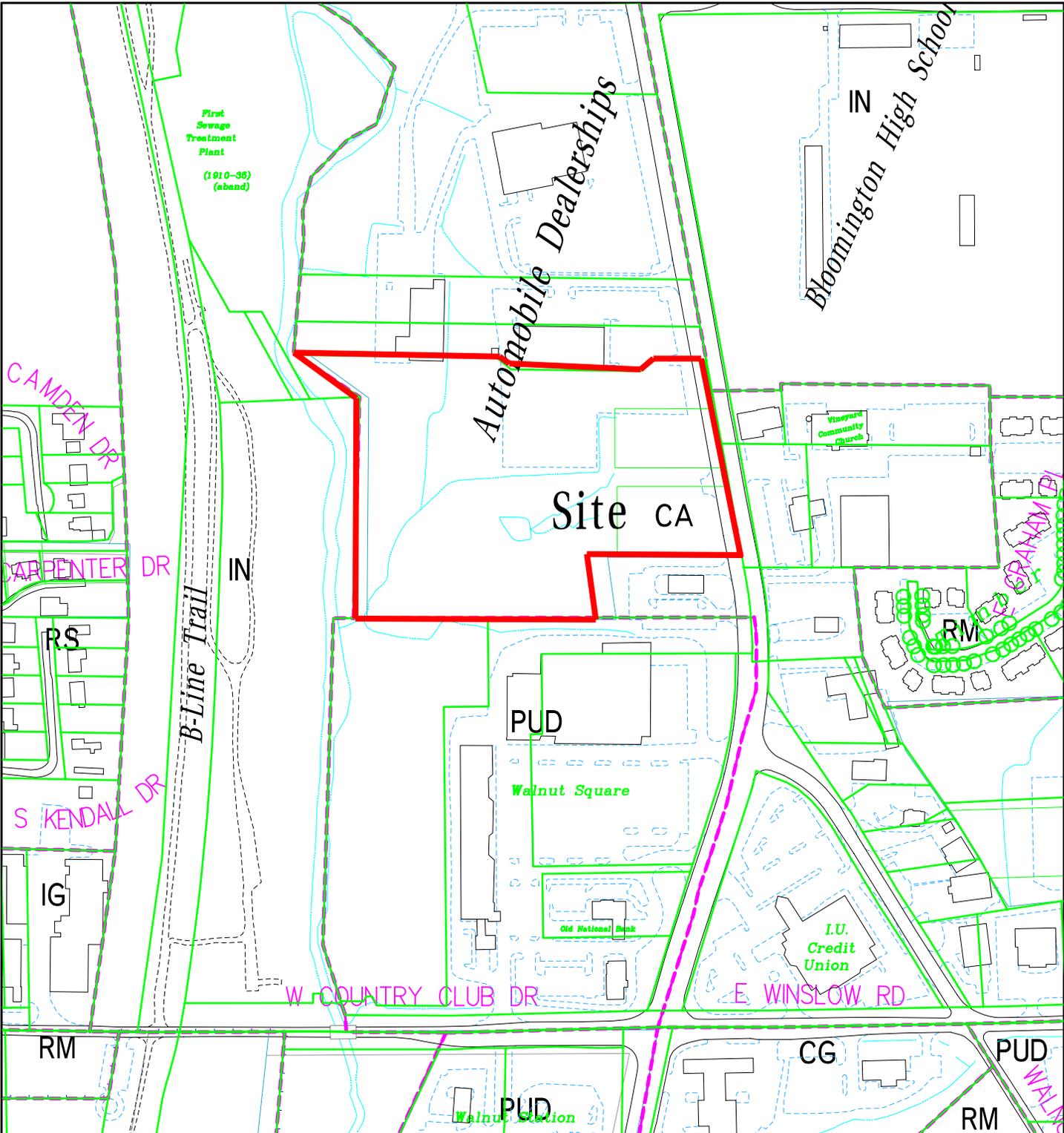
### 3.) EROSION CONTROL

The land disturbing activities associated with this construction will come very near to environmentally-sensitive areas of floodplain, wetland, riparian buffer, and dense woodland. Already, much fill has been placed on the site with no erosion control in place, which has resulted in erosion down slope toward the creek. During construction this area will be particularly vulnerable to additional soil erosion into these environmental features due to the additional fill required.

Redundant erosion control measures are required per UDO 20.05.040, Siltation and Erosion Prevention, “For land-disturbing activities that occur adjacent to environmentally sensitive areas, as regulated by this chapter, redundant erosion control measures, such as additional barriers and reduced timelines for soil stabilization, shall be required.” Therefore the EC recommends that these measures be planned from the beginning and monitored carefully on a daily basis throughout construction and post construction.

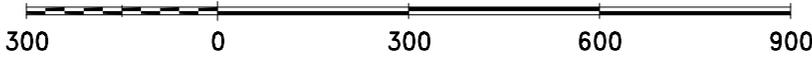
### RECOMMENDATIONS

- 1.) The Petitioner shall revise the Landscape Plan to meet UDO regulations at a minimum.
- 2.) The Petitioner should apply green building and site design practices to create high performance, low-carbon-footprint structures and grounds.
- 3.) Redundant erosion control measures and reduced timelines for stabilization shall be installed and monitored.



SP-15-15 CRTM Realty  
 2300 S Walnut Street  
 Plan Commission  
 Site Location, Zoning, Land Use, Parcels

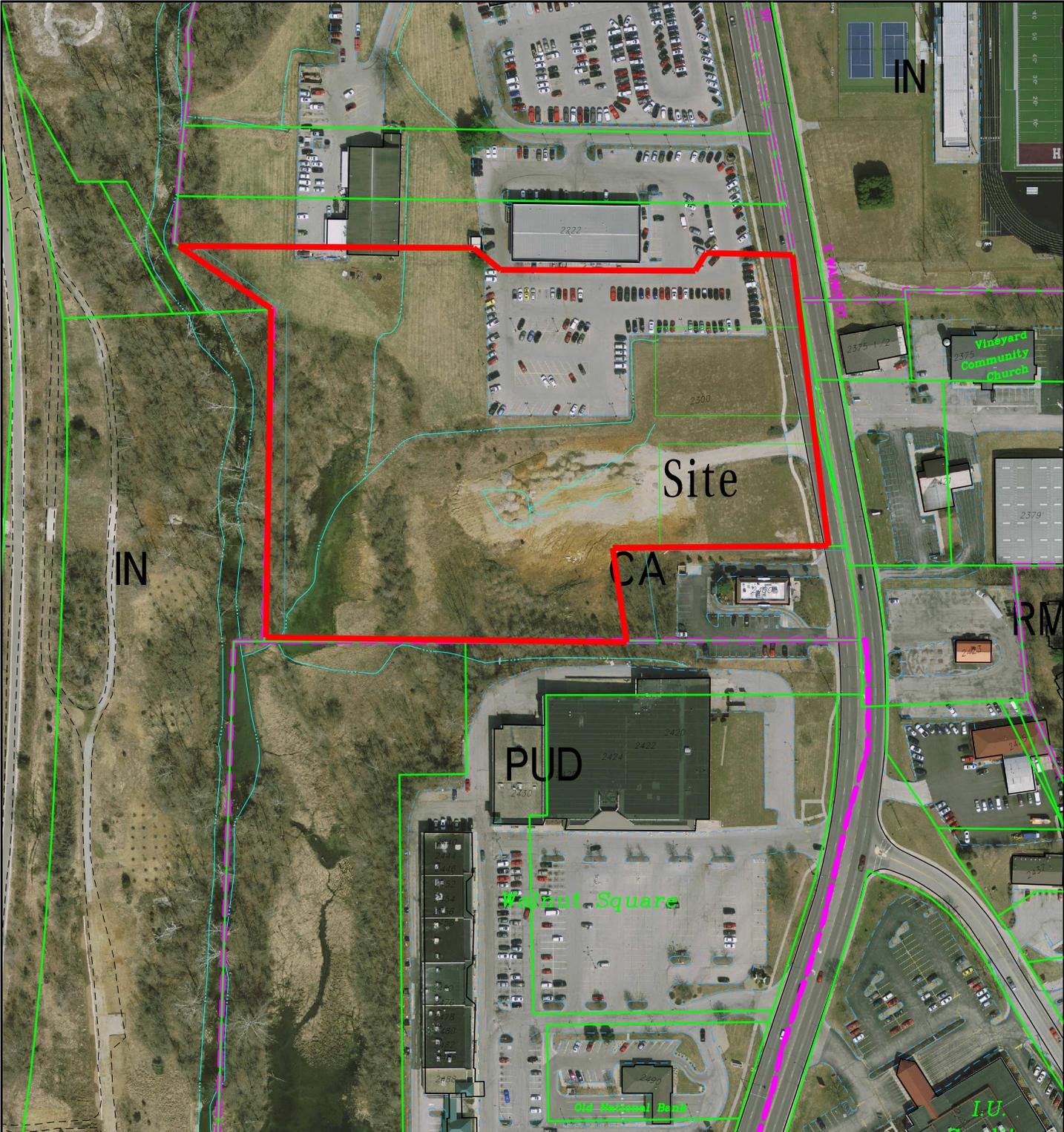
By: greulice  
 9 Jul 15



City of Bloomington  
 Planning & Transportation

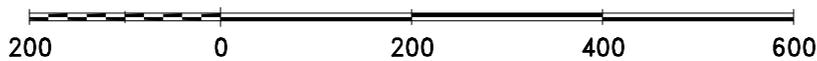
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Scale: 1" = 300'



SP-15-15 CRTM Realty  
 2300 S Walnut Street  
 Plan Commission  
 2014 Aerial Photograph

By: greulice  
 9 Jul 15



City of Bloomington  
 Planning & Transportation

Scale: 1" = 200'

For reference only; map information NOT warranted.



BYNUM FANYO & ASSOCIATES, INC.

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

July 27, 2015

City of Bloomington Planning Department  
And Plan Commission members  
401 N. Morton Street  
Bloomington, Indiana 47403

RE: CRTM Realty Chrysler Dealership  
2300 S. Walnut St., Bloomington, IN 47401  
Revisions per Plan Commissioners Comments

Attention Eric Greulich:

Attached please find our revised site, landscaping and grading plans to accommodate the comments offered at the July Plan Commission hearing. These revisions include the following items:

1. Placed 4 curbed islands between the existing dealership to the north and the proposed dealership.
2. Widening two curbed islands in front of the proposed dealership to contain 324 square feet achieving the 14 required curbed islands per the UDO.
3. Placed foundation landscaping in front of the new building.
4. Adding the required shrubs along the Walnut Street frontage to comply with the parking perimeter landscape requirements.
5. Realign street trees along Walnut St. to accommodate the required sight distance exiting our site. This allows us to use larger species of tree since we are no longer under the overhead lines.
6. Added a curbed island with ADA ramp in front of new building and realigned the pedestrian route from the new building to Walnut Street.
7. Complied with the UDO bufferyard requirements between this commercial use and the institutional use to west of this property.
8. Placed groupings of coniferous trees at the entrance and corners of the property.

528 NORTH WALNUT STREET  
812-332-8030

BLOOMINGTON, INDIANA 47404

FAX 812-339-2990

SP-15-15  
Petitioner Statement

Also attached are the revised elevations and rendering of the Chrysler Building. The Architect has added windows, metal canopy and wall projections to the area facing Walnut Street that did not meet the UDO requirements.

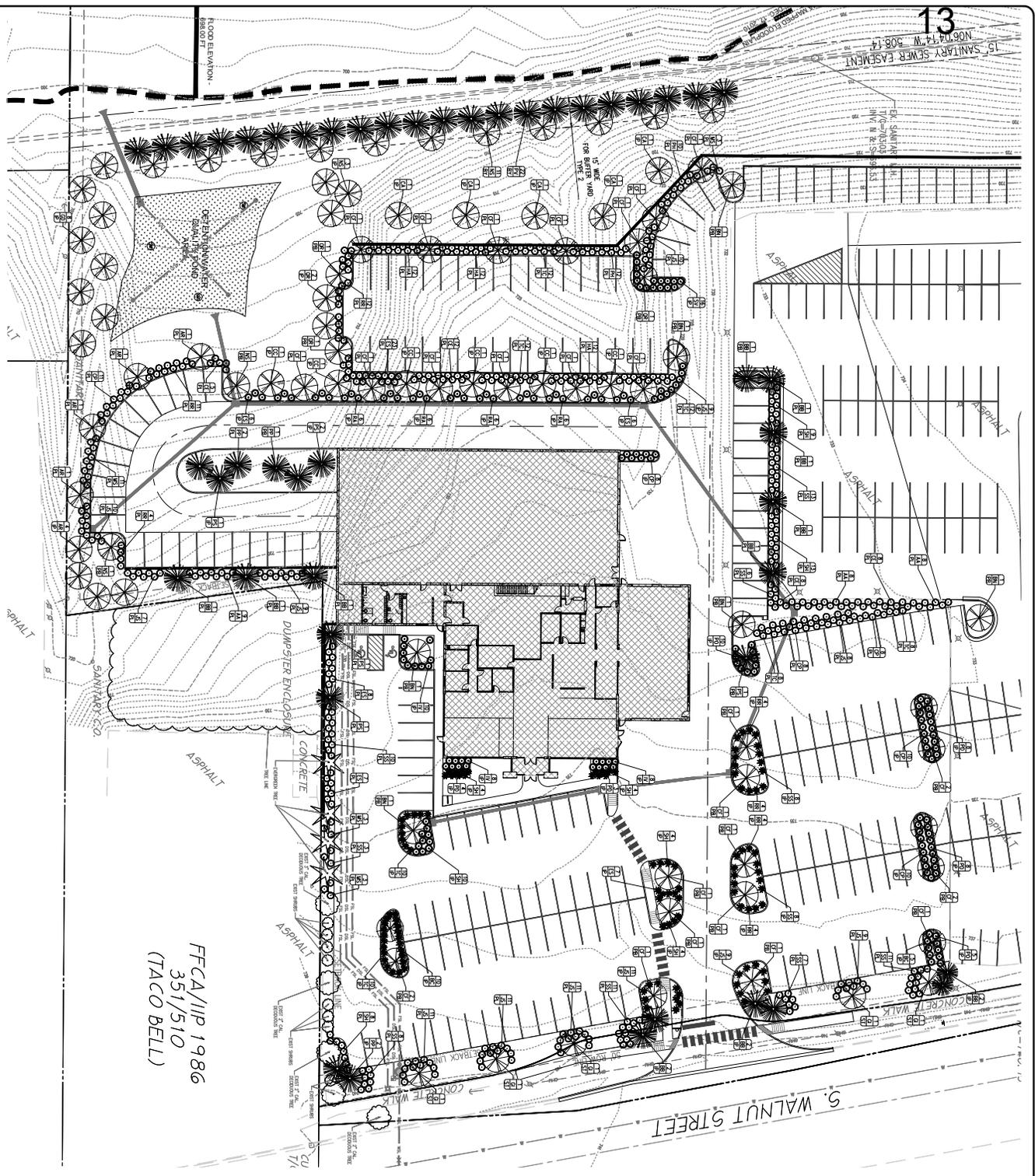
After you have had a chance to review our revisions please feel free to contact me at any time with questions of clarifications.

Sincerely,

**Jeffrey S. Fanyo, P.E., CFM**  
**Bynum Fanyo and Associates, Inc.**  
**Phone 812 332 8030**

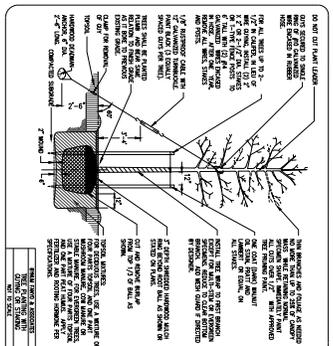
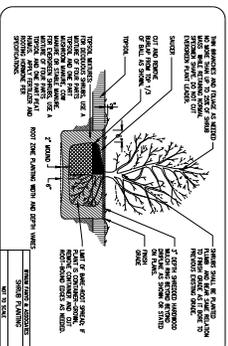
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SP-15-15  
Petitioner Statement



FFCA/IIP 1986  
351/510  
(TACO BELL)

SCALE 1"=20'



**PLANT LIST**

SYMBOL	PLANT NAME	COMMON NAME	SIZE	QUANTITY	NOTES
1	SPRING BURNING BUSH	SPRING BURNING BUSH	3' x 3'	10	SEE SPECIFICATIONS
2	DOGWOOD	DOGWOOD	3' x 3'	10	SEE SPECIFICATIONS
3	DOGWOOD	DOGWOOD	3' x 3'	10	SEE SPECIFICATIONS
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5	DOGWOOD	DOGWOOD	3' x 3'	10	SEE SPECIFICATIONS
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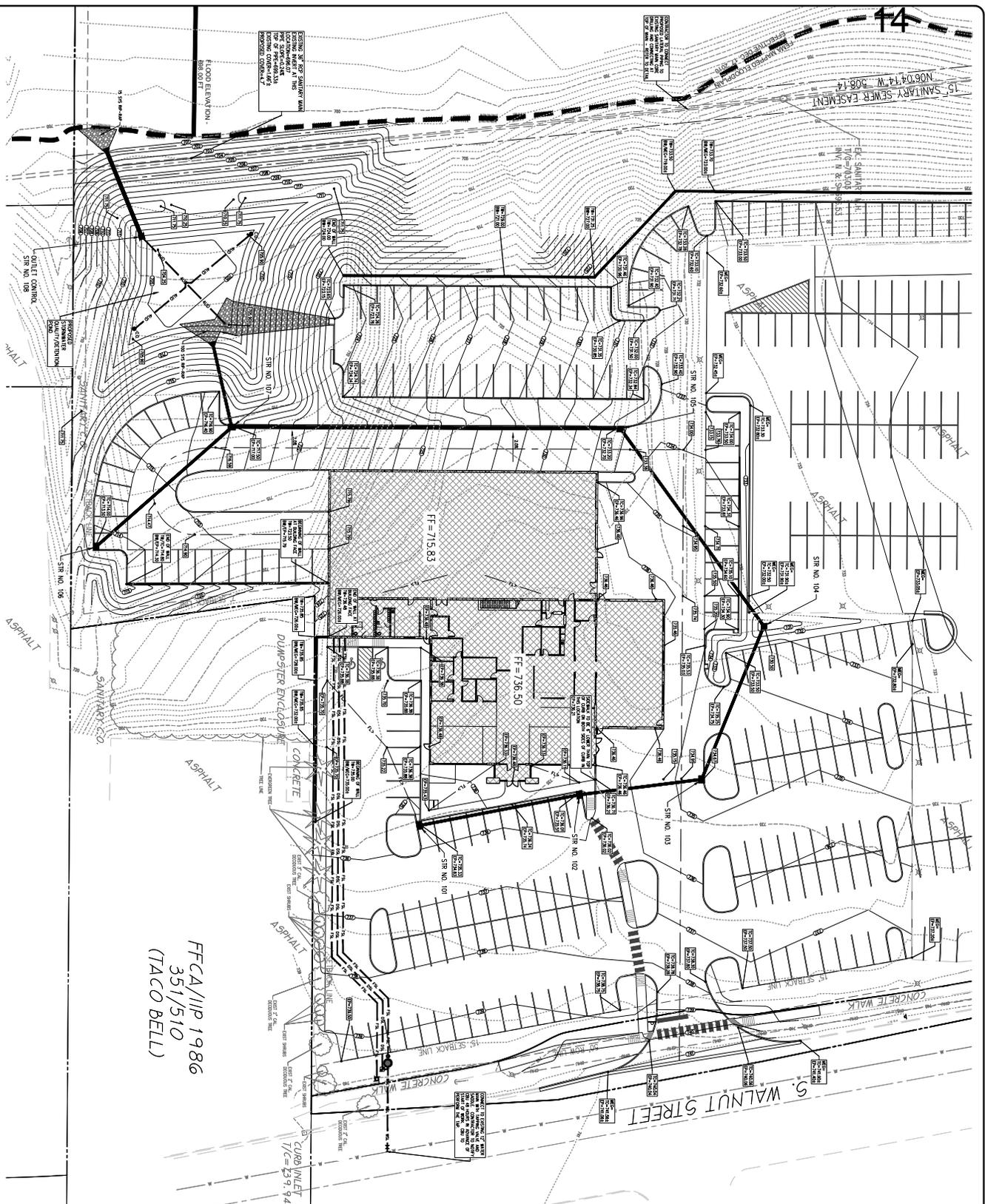
**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL VERIFY ALL OTHER CONTRACTS & PERMITS AND NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY CONFLICTS OR OMISSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO ANY FIELD OR EXCAVATION. ALL PERMITS SHALL BE MADE AVAILABLE TO CONTRACTOR AND ARCHITECT FOR REVIEW. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO ANY FIELD OR EXCAVATION. ALL PERMITS SHALL BE MADE AVAILABLE TO CONTRACTOR AND ARCHITECT FOR REVIEW.

**PROPOSED BLOOMINGTON CHRYSLER DEALERSHIP**  
2200 S. WALNUT STREET  
BLOOMINGTON, IN 47401

DESIGNED BY: O&B  
OWNER: O&B  
ARCHITECT: BEE  
PROJECT NO.: 401917

**BEE**  
BYNUM FANYO & ASSOCIATES, INC.  
528 North Walnut Street  
Bloomington, Indiana  
(812) 332-8030

**SP-15-15**  
**Landscape Plan**



FFCA/11P 1986  
351/510  
(TACO BELL)

CURB INLET  
7/6 - 439.94

**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPT. AND NOTIFY ALL AGENCIES PRIOR TO ANY EXCAVATION. NO PAYMENT SHALL BE MADE UNLESS ALL UTILITIES HAVE BEEN PROTECTED AND ALL NECESSARY PERMITS OBTAINED PRIOR TO COMMENCING WORK.

SCALE 1/8"=1'-0"

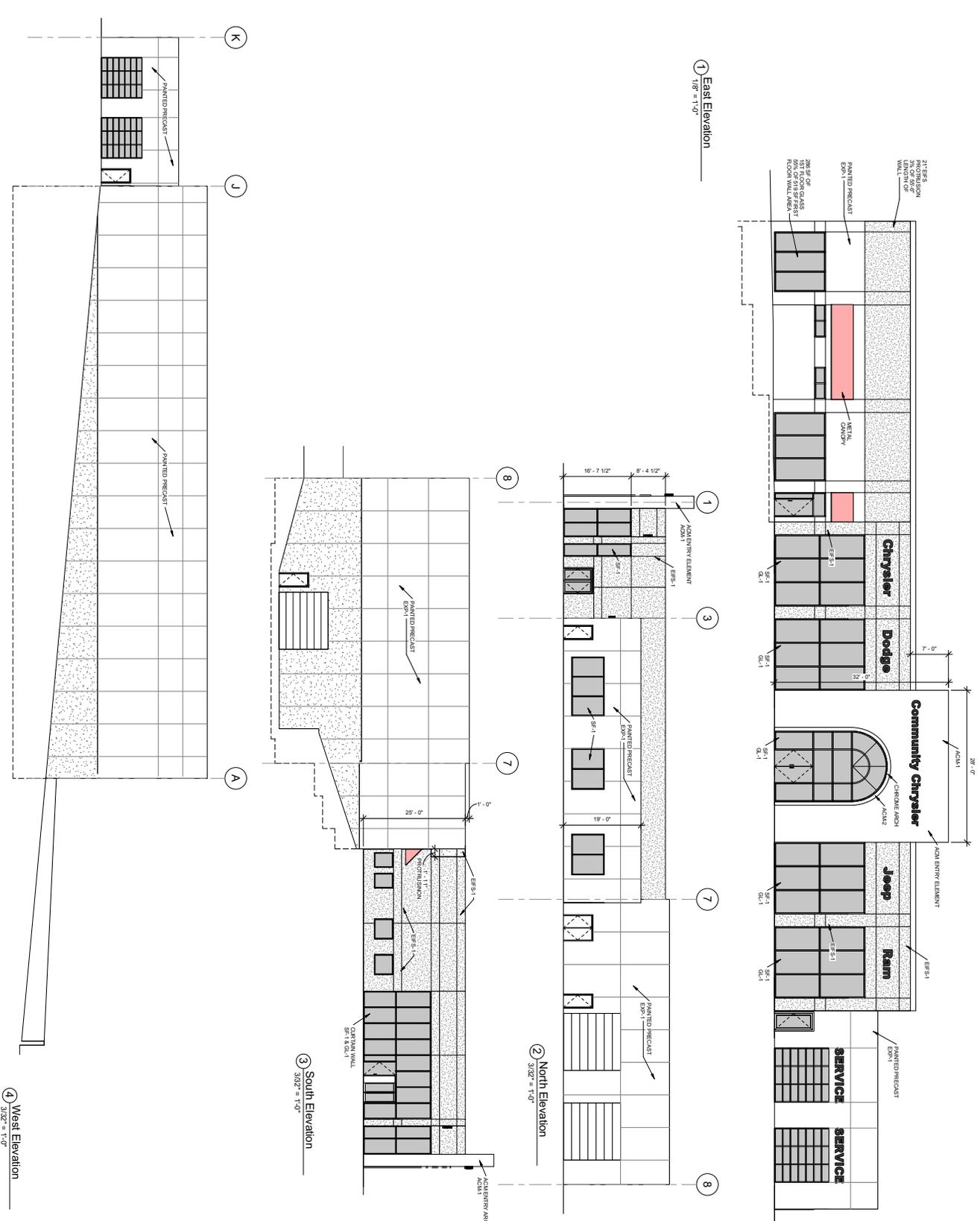


**GRADING LEGEND**

	EXISTING GROUND
	PROPOSED FINISHED GROUND
	PROPOSED SPOT GRADE
	PROPOSED STREET GRADE
	PROPOSED SIDEWALK GRADE
	PROPOSED DRIVEWAY GRADE
	PROPOSED PARKING AREA GRADE
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**UTILITY LEGEND**

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**SP-15-15**  
**Exterior Elevations**

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Tel: 317-259-4034  
 Fax: 317-259-4785

Proposed Project for  
 Bloomington Chrysler

Bloomington, Indiana

www.customfacilities.com

7/24/2015 12:18:31  
 Sld

Project No.: 120116  
 Drawn By: KTM  
 Checked By: KTM

Revisions

Rev	Date	Revisions

**DO NOT SCALE DRAWINGS.**  
 Design Technologies, Inc. and  
 its employees shall not be held  
 responsible for any errors or  
 omissions. All drawings are  
 provided subject to the following  
 conditions:

**A4-1**

Exterior Elevations



SP-15-15  
Exterior Rendering

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT – SECOND HEARING**  
Location: 2602 E. Creeks Edge Drive

**CASE #: PUD-16-15  
DATE: August 10, 2015**

**PETITIONER:** Evergreen Partners II, LLC  
10 Plaza Drive, Suite #201, Scarborough, ME

**CONSULTANT:** Bledsoe Riggert Guerrettaz.  
1351 W. Tapp Road, Bloomington, IN

**REQUEST:** The petitioner is requesting an amendment to the list of permitted uses and development standards for Parcel F of the Canada Farm PUD to allow for a 115-unit assisted living facility.

**BACKGROUND:**

**Area:** 5.78 acres  
**Current Zoning:** PUD  
**GPP Designation:** Community Activity Center  
**Existing Land Use:** Vacant  
**Proposed Land Use:** Assisted Living Facility  
**Surrounding Uses:** North – Medical Office  
 West – Child Day Care/Offices  
 East – Vacant  
 South – Vacant

**CHANGES SINCE FIRST HEARING:** The Plan Commission heard this case at the July 13, 2015 hearing. At that hearing, the Plan Commission expressed comments regarding architecture and requested that the limestone columns along the front be extended to the top of the façade, more information was requested regarding the use of environmentally friendly construction practices and interior products, the creation of an outdoor recreation area was suggested, and the petitioner was urged to incorporate as many of the environmental commission's comments as possible.

The petitioner has been able to incorporate some of the Plan Commission's recommendations and addresses the comments further in their revised petitioner statement. A bike path has been shown connecting Sare Road to the Jackson Creek Trail as required. In addition, a second connection point to the Jackson Creek Trail has been added along the east side of Lot #5 adjacent to an emergency services access road. The petitioner has committed to utilizing native species along the floodplain and riparian buffer areas. On-site recycling will be provided as well. A revised rendering has been submitted showing the building elevation along with surrounding buildings to provide a better perspective of building massing in relation to surroundings. The petitioner has been able to extend the brick portions of the building as shown in the revised elevations. The building itself has also been slightly reduced in size and 10 units have been removed.

**SUMMARY:** This property is located at 2602 E. Creeks Edge Dr. and is on Parcel F of

the Canada Farm PUD. The site is currently vacant and consists mostly of open meadow with some scattered mature trees in the center. A portion of the property is encumbered by 100-year floodplain of the East Fork of Jackson Creek, which is located along the southeast property line. The Jackson Creek Trail is also located on this property and runs along the southeast property line. There is a substantial grade change across the property with the grade going downhill toward the creek to the east.

When the Canada Farm PUD was created in 1996 (PUD-67-95), Parcel E and F were approved for a 30,000 square foot anchor grocery store and 50,000 square feet of additional retail space. This was conceptually shown in the preliminary plan as a centrally located grocery store with several surrounding out-buildings and shared parking throughout the shopping center. A doctor's office for IMA was constructed on Parcel E in 2005 (PUD-29-05). A plat approval was given in 2006 (PUD-13-06) to subdivide Parcel F and to allow a multi-tenant office to be constructed on Lot #2. A daycare facility was recently constructed on the adjacent Lot #1. The remaining lots have remained vacant. There were two sections of on-street parking that were approved and installed in 2011 (PUD-26-11) that provided an additional 18 parking spaces along the internal driveway to supplement surface parking for the office building. A portion of those spaces are proposed to be removed with this petition to allow for a sidewalk and street trees to be installed.

The petitioner is requesting an amendment to the list of approved uses for Parcel F to allow for an assisted living facility with 115 units to be constructed on Lot #4 and #5. Also requested is an amendment to the approved development standards to allow for a 3-story building. There would be a 62-space surface parking lot constructed to provide parking. The building will be finished with a stone masonry veneer base and fiber cement panels. A mix of colors and window trim has been provided to enhance design details around the exterior. There are two, one-story extensions along either side of the building with exterior porches to provide additional building design and reduce the massing of the building, as well as to provide outdoor seating areas. A circle drive has been shown along the internal driveway to provide access to a covered entryway and drop-off area on the front. The building will be three-stories along the front with a walk-out basement facing the creek and wooded area to the east. There is an asphalt sidepath that was stubbed to the property from the offices and daycare to the west that would be extended through the site to connect to the Jackson Creek Trail. There would also be an additional connection to the Jackson Creek trail from Creek's Edge Drive that would extend along the east property line. These connections have not yet been shown, but are required and will be detailed on future site plans.

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#### **SITE PLAN ISSUES:**

**Architecture/Design:** The building will be finished with a stone masonry veneer along the base with fiber cement panels and fiber cement shakes along the exterior. The roof will be a pitched roof with shingles. The PUD required that all buildings in these commercial parcels be one-story with pitched roofs. Due to this different land use, the building is proposed to be three-story along the front with a walk-out basement facing the creek and wooded area to the east. The increased height and three stories is necessary for this project to be feasible from the petitioner's perspective and they are requesting an amendment to allow the three-story building. The petitioner has submitted

an exterior rendering showing the proposed building in relation to the adjacent building and surroundings. The Plan Commission expressed support for the 3-story building as the extra height and massing supported the affordable housing aspect of this petition. Staff believes that that proposed building layout could be further improved by placing the building front along Creek's Edge Drive to provide a better public street interaction. This issue will be reviewed separately with PUD final plan review.

**Access:** There is a circle drive shown along the private internal drive to provide access to the front and to facilitate drop-offs. There is a covered awning shown that extends over this driveway and entrance. There is another drivecut shown along the internal driveway for the parking area located in the rear of the property. A sidewalk and street trees were required along the west side of the internal driveway with the previous petitions for the multi-tenant building and the daycare facility, and would be required along the east side of the internal drive as well with this petition. A secondary emergency access drive has been shown along the east side of Lot #5 to provide an additional access point for emergency services.

**Development Standards:** The petitioner is requesting to amend the approved development standards for Parcel F as well as the list of uses. Specifically, the petitioner is proposing to adopt the development standards outlined for the Commercial General (CG) zoning district and to amend the list of approved uses to allow "assisted living facility". No other changes to the PUD are proposed or approved. This amendment would apply to Lots #4 and #5 only. Maximum parking would be as outlined in the UDO unless otherwise approved by the Plan Commission.

**Landscaping:** The petitioner has not yet submitted a full landscape plan and that will be reviewed with the final site plan approval. No deviations are expected from the UDO standards for landscaping. The petitioner has committed to using native species for plantings along the floodplain and riparian buffer. Staff would also encourage the petitioner to preserve as many existing trees as possible.

**Environmental:** The site is a mixture of mature trees and open pasture. There is an intermittent stream/drainage channel that drains east through the property and connects to Jackson Creek. Portions of this have been modified with previous approvals to redirect drainage through the site. The portion of the site that is encumbered by the 100-year floodplain was placed in a conservation easement with previous plats. There is a group of mature trees located within the center of the site that staff would encourage the petitioner to try and save. There were not any specific areas of conservation or preservation that were required with the PUD. Areas of preservation within the overall Canada Farm PUD were outlined and approved with the initial outline plan and rezoning. Only the portion of this site within the floodplain was outlined for preservation, which was set aside with a previous plat approval.

**Parking:** The UDO allows a maximum of 1 space per employee on the largest shift plus 1 space per 3 residential units. There would be a maximum of 28 employees on the largest shift and 115 units which combines for a maximum of 66 parking spaces allowed. There is a parking lot with 67 parking spaces proposed with this petition. Staff is supportive of the extra parking space as this use will be sharing extra parking spaces with the adjacent office. As mentioned previously, with a previous approval there were

18 parking spaces created along the internal driveway to supplement on-site parking for the multi-tenant office. Nine of those spaces are proposed to be removed with this petition. The removal of the parking spaces allows for a continuous sidewalk and tree plot along the east side of the driveway along this property to increase pedestrian connectivity. The original PUD required a 5' sidewalk and a 5' wide tree plot along both sides of the internal drive, which must be installed. Staff recommends that additional parking spaces be added to the parking plan to replace the parking spaces being removed along the internal drive. The Plan Commission can allow for additional parking spaces to be installed above the maximum to supplement existing parking spaces for adjacent uses. This issue will be dealt with when the petitioner comes forward for PUD final plan approval.

**Pedestrian Facilities:** The Jackson Creek Trail is located along the south and east sides of this property and extends from Canada Drive to the south, to the north side of the Creek's Edge development to the north of this site. A recently approved project located at the southeast corner of Sare and Rogers Roads will allow the trail to be extended north to Rogers Rd. A small portion of the Jackson Creek trail will need to be extended along the southeast portion of this site to extend it all the way to the property line. A bike path connection from the multi-use path on Sare Road to the Jackson Creek Trail was required with previous approvals and a stub was placed to this property from the west. The petitioner has shown a bike path connection from Sare Road to the Jackson Creek trail that wraps around a proposed parking area. Staff would prefer to see a straight connection through the site. This issue will be reviewed separately with the future PUD final plan approval. Additional connections were also expected from Creek's Edge Drive to the Jackson Creek Trail along the property lines of Lot's #4,5, and 6. To that end, an additional bike/ped connection has been shown along the east side of Lot #5. There is a 5' wide concrete sidewalk and tree plot currently along the property frontage on Creek's Edge Drive. Street trees were not installed along Creek's Edge Dr. and are required with this petition.

**Utilities:** Water service is available along Creek's Edge Drive and sanitary service is available along the rear of the property adjacent to the Jackson Creek Trail. At this point no issues have been identified with providing utility service to the building. Final acceptance and approval from CBU is required prior to issuance of any permits. Stormwater detention was provided by a large detention pond that was intended to serve all of the lots in this development. The petitioner will be evaluating this pond to see if the size was adequately provided and if there are any changes that are needed. The pond was seeded with a rain garden mix to provide stormwater quality improvements.

**Lighting:** A lighting plan has not been submitted yet and will be reviewed prior to issuance of any permits. No deviations from the lighting code are expected.

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**ENVIRONMENTAL COMMISSION RECOMMENDATIONS:** The Bloomington Environmental Commission (EC) has made 4 recommendations concerning this development.

1. The Petitioner should apply green building and site design practices to create a high performance, low carbon-footprint structure, and grounds that exhibit our

City's commitment to environmental sustainability.

**Staff response:** Although not required, staff encourages the petitioner to incorporate as many green building practices as possible.

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**CONCLUSION:** At the first hearing the Plan Commission was supportive of the proposed amendment and felt comfortable with the proposed building size and massing. The location of this use next to a school, a day care, and medical offices provides a mix of adjacent land uses that compliment this use. The presence of a bus route along the adjacent street frontage and the Jackson Creek Trail along the rear of the property provide several alternative transportation and recreation possibilities for the tenants.

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**RECOMMENDATION:** Staff recommends forwarding this petition to the Common Council with a positive recommendation and the following conditions of approval:

1. The petitioner will continue to work with staff to review the possibility of rotating the building orientation to face Creek's Edge Drive prior to PUD final plan approval.
2. No PUD final plan approval is granted with this request. A PUD final plan approval is required by the Plan Commission prior to issuance of a grading permit.
3. The petitioner will provide on-site recycling for the residents per their commitment outlined in the petitioner statement.
4. Native species must be used in the areas adjacent to the floodplain and riparian buffer.
5. Although only 115 units are requested with this petition, a maximum of 125 units is approved for this parcel.
6. A final plat amendment is required for any relocation of easement locations.

## MEMORANDUM

**Date:** July 31, 2015

**To:** Bloomington Plan Commission

**From:** Bloomington Environmental Commission

**Through:** Linda Thompson, Senior Environmental Planner

**Subject:** PUD-16-15, Evergreen Assisted Living facility, second hearing  
2602 E. Creeks Edge Drive

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This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a request for an amendment to the Preliminary Plan of the Canada Farm Planned Unit Development (PUD) to allow an assisted living use. The EC has no objections to the added use in this PUD, but does recommend some design measures that would reduce the greenhouse gas emissions and the overall environmental footprint associated with this development.

The EC believes that the proposed site represents an opportunity to enhance that special sense of environmental character that Bloomington is known for, by demonstrating through example that we are, indeed, a Tree City USA, a National Wildlife Federation Wildlife Habitat Community, a winner of America in Bloom's national competition, and that we are committed to reducing the carbon footprint of our community while meeting the needs of our people.

### **ISSUES OF SOUND ENVIRONMENTAL DESIGN**

#### **1.) LANDSCAPING**

The EC previously recommended that the plants adjacent to the floodplain and riparian buffer be native to south central Indiana. The EC applauds the Petitioner for committing to this request.

#### **2.) GREEN BUILDING & SITE DESIGN**

The EC previously recommended that green building practices be employed at this site. Since that time, the building size has been reduced and an additional path has been added, but no other green building commitments have been made. Therefore, the EC still encourages the Petitioner to make a priority of employing green building practices.

Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the Unified Development Ordinance (UDO). Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative (<http://Bloomington.in.gov/greenbuild>). Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Kruzan; by City Council Resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions; by City Council

Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

Some general recommendations the EC offers for this site include LED lighting and energy-saving appliances; solar systems (e.g. solar photovoltaic cell and solar hot water systems); and recycled products, such as counter tops and carpets.

Some specific recommendations for this site include the following four actions.

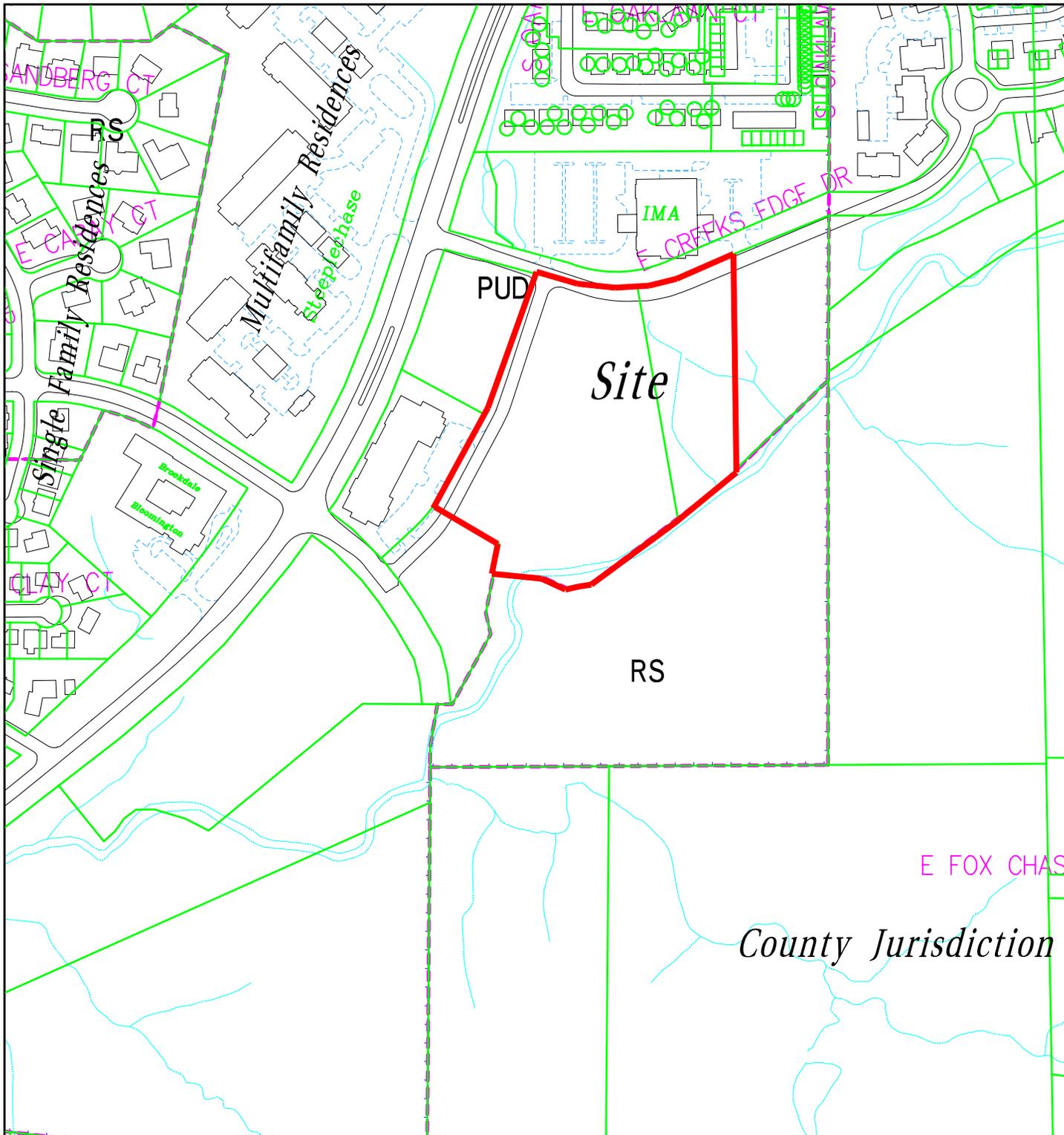
- a. Use locally-sourced, real limestone or sandstone instead of cast concrete as described in the Petitioner's Statement for accents on the facade of the building.
- b. Enhance the weather, air, and thermal barriers of the building envelope to reduce the energy consumption associated with conditioning indoor air.
- c. Provide individual apartment air temperature controls.
- d. Use reflective roofing material, which is now available in asphalt shingles to maintain the look that the developer wants to achieve.

### 3.) RECYCLING

The EC previously recommended that space be allocated for recyclable-materials collection, and the Petitioner has agreed to this request, which the EC applauds.

## EC RECOMMENDATIONS

- 1.) The Petitioner should commit to using green building practices to create a high performance, low-carbon-footprint structure that exhibit our city's commitment to environmental sustainability.



PUD-16-15 Evergreen Partners II, LLC

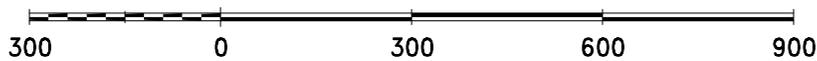
2602 E Creek's Edge Drive

Plan Commission

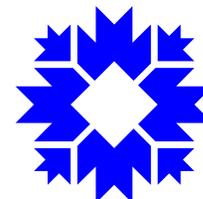
Site Location, Zoning, Land Use, Parcels

By: greulice

9 Jul 15



City of Bloomington  
Planning & Transportation



Scale: 1" = 300'

For reference only; map information NOT warranted.





August 6, 2015

Mr. Eric Greulich  
 City of Bloomington, Planning Department  
 401 N. Morton St., Suite 160  
 Bloomington, IN 47402-0100

RE: Assisted Living Facility - Canada Farms PUD Outline Plan Petitioner's Statement Update

Dear Eric:

In response to the feedback we received from the Planning Commission on July 13, 2015, below is a list of the revisions and changes to our plan for the Canada Farms Affordable Senior Assisted Living Facility:

*Extension of the Height of the Exterior Building Stone Facade:*

- We have implemented Planning Commissioner's Sturbaum recommendation to expand the building's exterior "stone" facade in several places from the ground level to the eaves. This change helps to break-up the visual feel of the building and improves the exterior architecture. We have replaced the stone with brick so the building's exterior materials are in line with the building materials utilized by the neighboring properties. For more information, please see the revised project drawings and building mock-up which capture the proposed facade change.

*Building Rendering/Site Design:*

- Though the Plan Commission expressed support for the building height and general look, comments were made with regard to reducing the overall mass of the building where possible. Based on feedback from our market analyst and the Plan Commission we will be reducing the numbers of apartments at the project from 125 units to 115 units. This is expected reduce the overall building size to approximately 107,133 from the prior layout of 112,924. The north wing has been reduced by 13'-2" and the East wing (rear of the building) by 15'-8".

We will present a revised rendering of the building and site plan at the meeting on August 10<sup>th</sup>, 2015. The materials will include a mock-up of the building demonstrating how it will look/sit amongst the neighboring properties along E. Creeks Edge Drive and South Sare Road. We believe the proposed building's massing and its visual impact is appropriate for the site.

Parking:

- We have been able to increase the total number of parking spaces to 67 from 62. As part of the installation of the new sidewalk/bike path along E. Canada Drive, we will likely need to remove the 9 existing horizontal parking spaces utilized by Lot 2 via the Parking Easement. We are currently planning to replace these spaces with 5 new parallel parking spots. We have shared this proposed change with the owner's of Lot 2. If necessary, we will work with them to amend the parking easement to allow for some form of a shared parking arrangement to exist between the two sites.

Bike Path:

- We are proposing adding a bike path that will connect to the property at E. Canada Drive and will connect to the Jackson Creek Trail path via access we will provide along the boundaries of Lot 4 and Lot 3. We have redirected the bike path along the property line to minimize conflicts between public bicyclists and private parking area pedestrians accessing our facility. By turning the path to the south and avoiding long straight-a-ways, bicyclists will necessarily have to slow down through this area. These precautions will reduce the opportunity for accidents to occur.

Multi-Purpose Path/Emergency Vehicle Access:

- We are proposing adding a combination public walking path and emergency access road within Lot 5. This path/road will provide a sidewalk connection to E. Creeks Edge Drive and the Jackson Creek Trail. The multi-purpose path will be clearly distinguished from the sidewalk along E. Canada Drive, per the PUD requirements. Access will be limited to pedestrians and emergency vehicles. Access by bicycles and non-emergency motorized vehicles will be prohibited. Beyond the point where emergency vehicle access is needed we are considering narrowing the multi-purpose path and/or utilizing bollards to limit access to Jackson Creek Trail only to pedestrian traffic.

Environmental/Green Building:

- Although construction materials have not yet been selected, we will use best efforts to utilize green building materials such as low/no-VOC paints, green flooring materials and other energy efficient/green building materials where financially feasible. We also intend to implement a recycling program at the property.

Native Planting:

- We propose a native plant zone for the area East of the parking lot and service drive, extended to the north property line as indicated on the revised site plan. Any plants installed within this area will be Midwest native species.

Planned Use for Lot 5:

- We will be utilizing a portion of Lot 5 for the construction of the Multi-Purpose Path/Sidewalk Connection/Emergency Vehicle Access described above. At this point in time, we intend to

leave the balance of the parcel as undeveloped green space and do not plan to develop another building on this Lot 5.

The following Planning Commission recommendations were taken into consideration but not implemented into our revised plan for the project at this time:

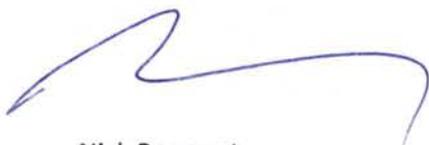
Outdoor Recreation Area/Playground:

- Due to the financial constraints of the project, we are not able to implement the request for an outdoor recreation/sitting area and/or playground area at this point in time. As described earlier, we will be connecting the project to the nearby Jackson Creek Trail. Additionally, the project is located in close proximity to Olcott Park (adjacent to Jackson Creek Middle School). Access to the Jackson Creek Trail and Olcott Park will provide ample outdoor and recreational opportunities for both families/guests visiting the facility and its residents.

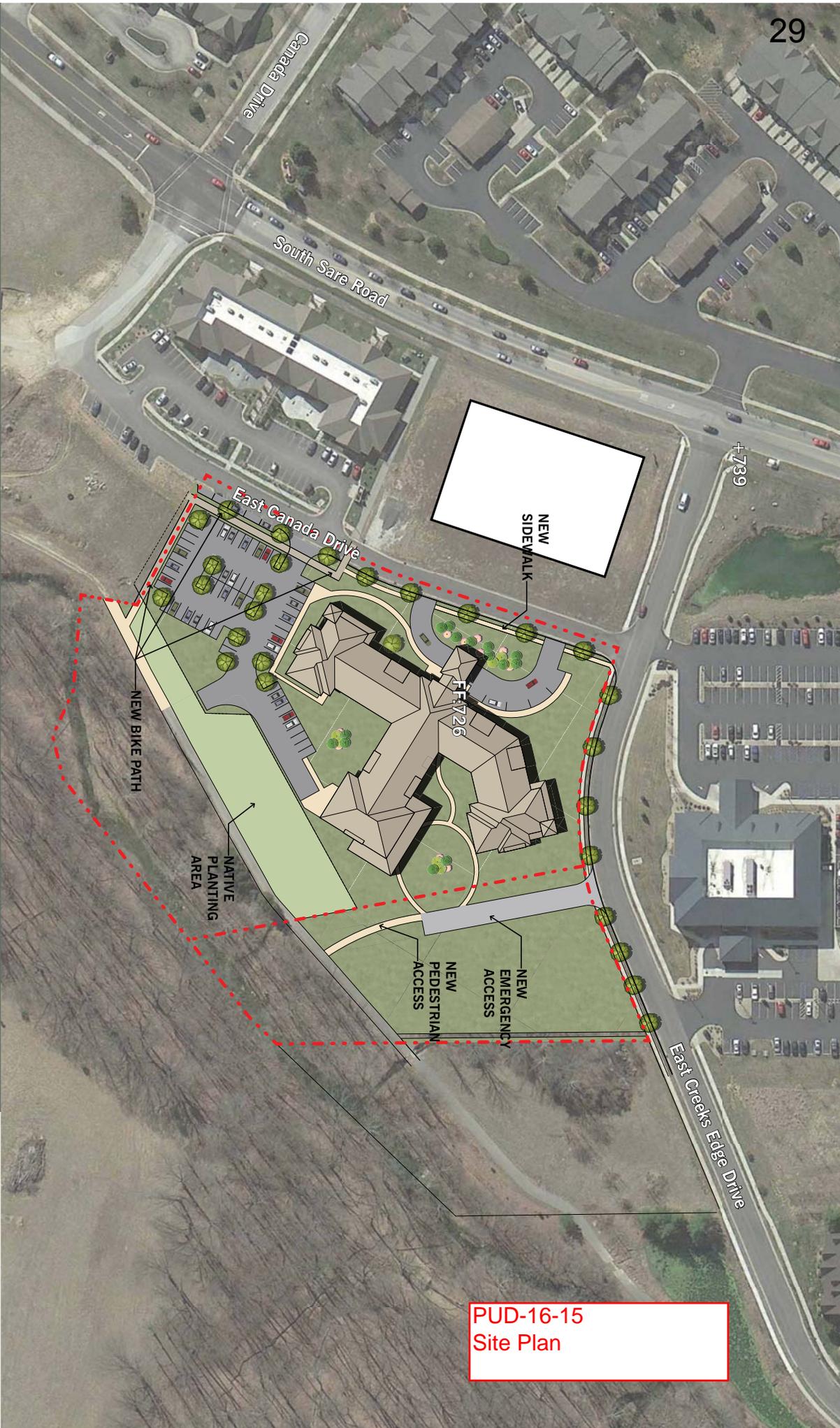
The aforementioned modifications are reflected on our revised preliminary Site Plan. Should you have any questions about these items prior to our 2<sup>nd</sup> Planning Commission meeting scheduled for August 10<sup>th</sup>, 2015 please let us know and we can schedule a time to discuss.

We continue to look forward to working with you/your staff, the Planning Commission and City Council to make this project a success. Thank you for your help with this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "Nick Bouquet". The signature is fluid and cursive, starting with a large loop on the left and ending with a long, sweeping tail that curves back towards the left.

Nick Bouquet



**PUD-16-15  
Site Plan**

**Canada Farms Assisted Living**  
Bloomington, IN

Site Plan



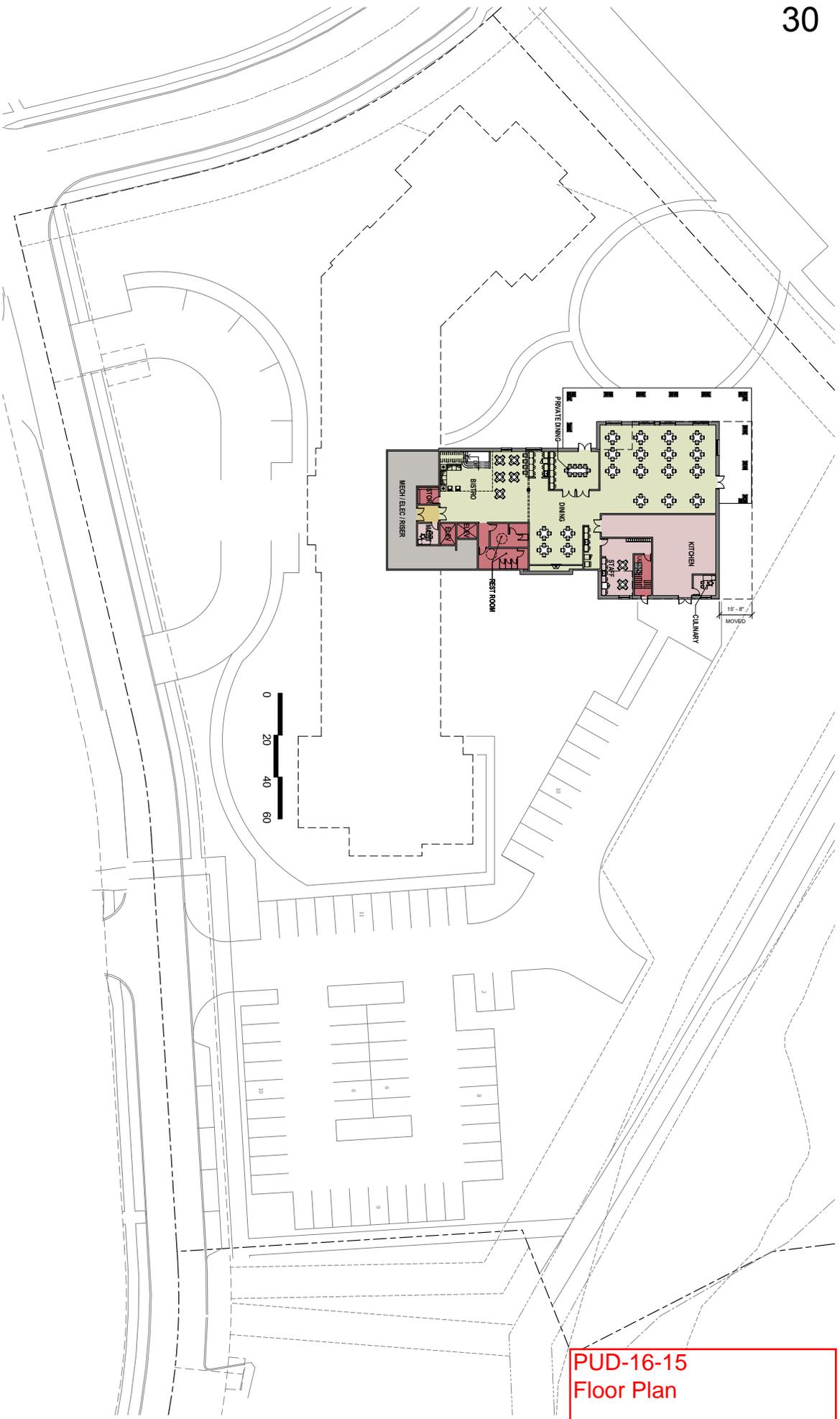
August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205



PUD-16-15  
Floor Plan

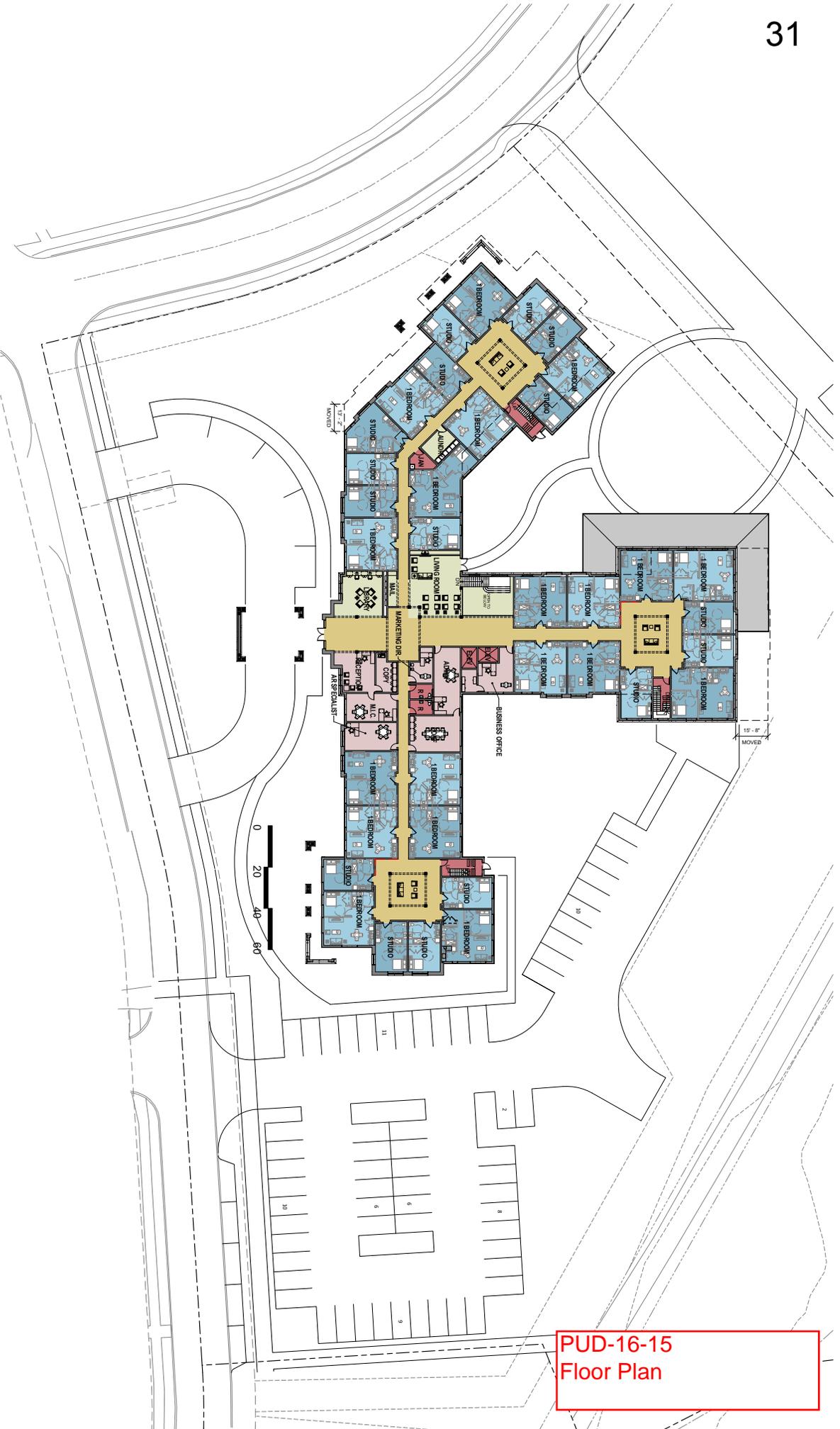
FIRST FLOOR PLAN

Scale : 1" = 20'-0"

04/06/15

DEVELOPER : EVERGREEN PARTNERS  
ARCHITECT : The Architectural Team

14205



PUD-16-15  
Floor Plan

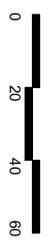
2nd FLOOR PLAN

Scale : 1/16" = 1'-0"

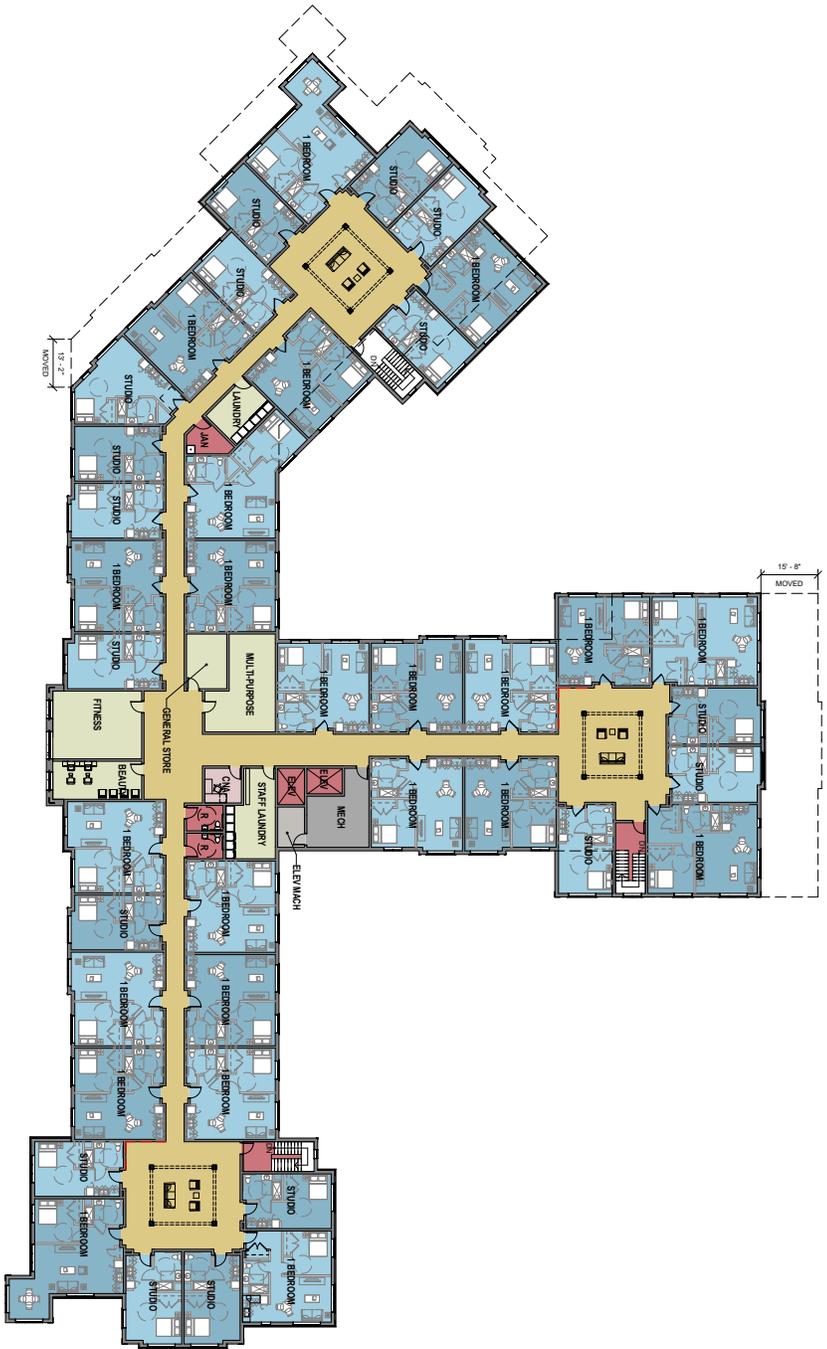
04/06/15

DEVELOPER : EVERGREEN PARTNERS  
ARCHITECT : The Architectural Team

14205



PUD-16-15  
Floor Plan



3rd FLOOR PLAN

Scale : 1/16" = 1'-0"

05/08/15

DEVELOPER : EVERGREEN PARTNERS  
 ARCHITECT : The Architectural Team

14205

PUD-16-15  
 Floor Plan



West Elevation



East Elevation



South Elevation

PUD-16-15 Elevations

Canada Farms Assisted Living  
Bloomington, IN

Building Elevations



August 5, 2015

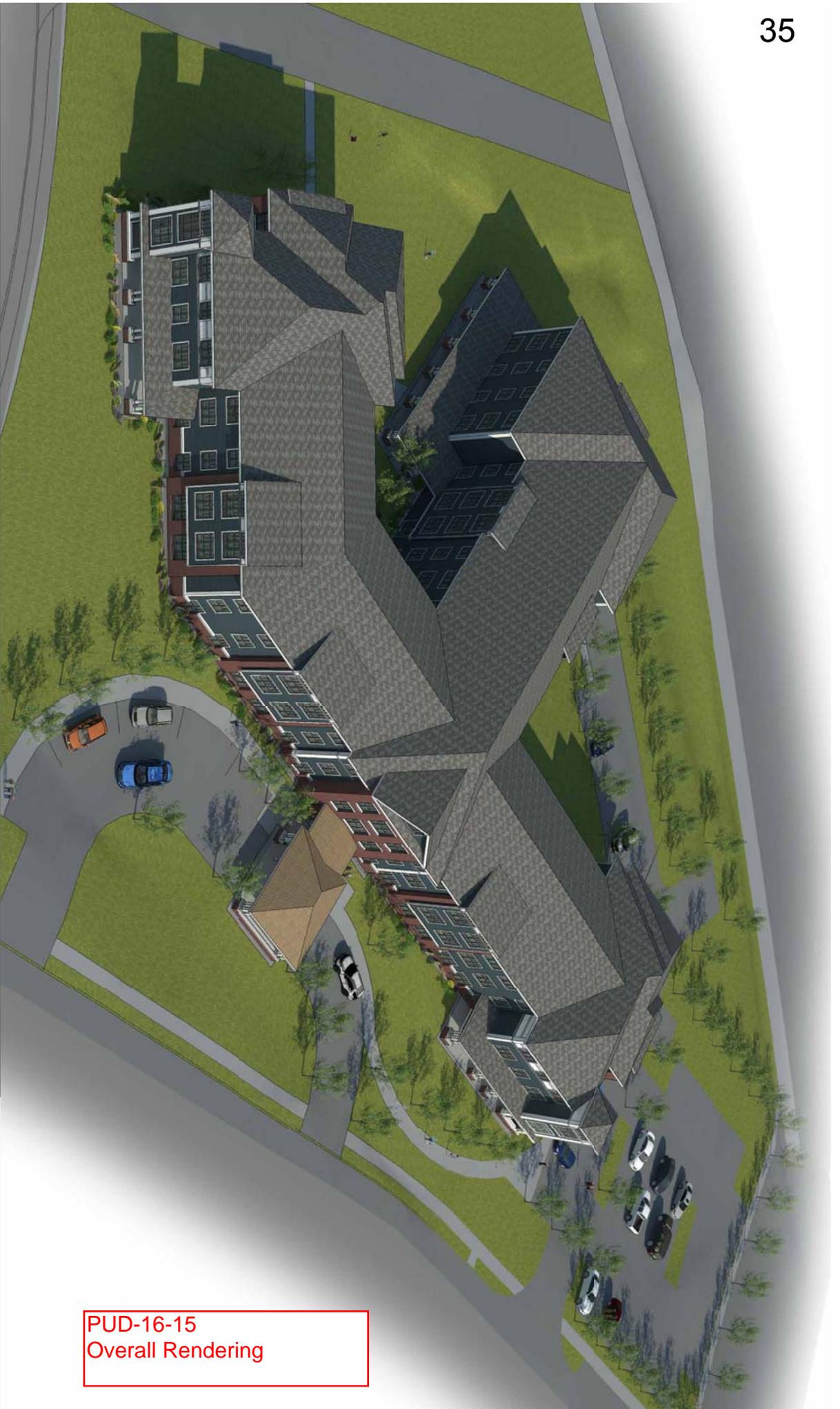
DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205

tat | the architectural team



PUD-16-15  
Overall Rendering

Canada Farms Assisted Living  
Bloomington, IN

Aerial Perspective

August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205



PUD-16-15  
Exterior rendering

Canada Farms Assisted Living  
Bloomington, IN

Rendered Perspective

August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205



PUD-16-15  
Exterior rendering

Canada Farms Assisted Living  
Bloomington, IN

Rendered Perspective

August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205



PUD-16-15  
Exterior rendering

Canada Farms Assisted Living  
Bloomington, IN

Rendered Perspective

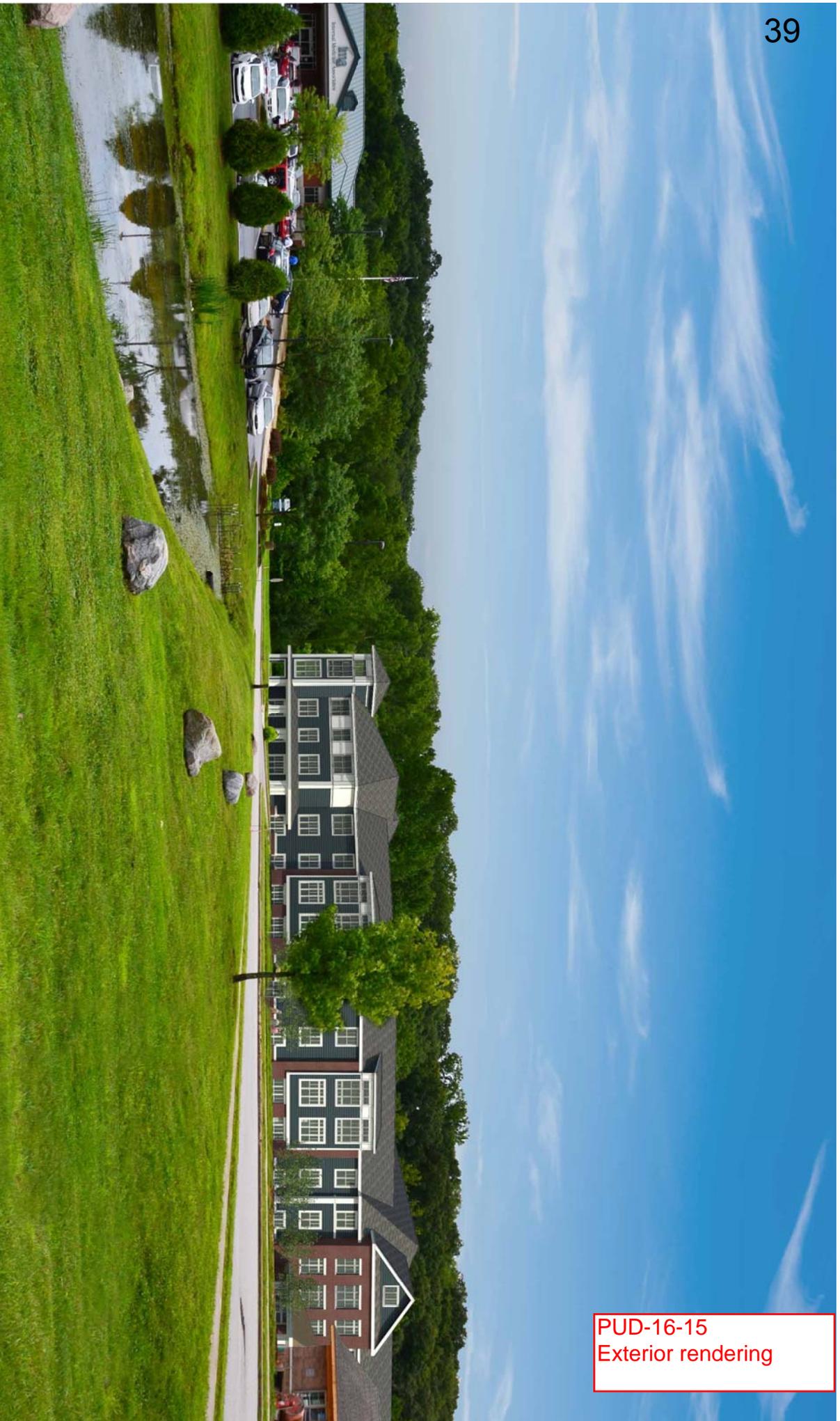
August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205



PUD-16-15  
Exterior rendering

Canada Farms Assisted Living  
Bloomington, IN

View from South Sate

August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205



PUD-16-15  
Exterior rendering with  
existing building

Canada Farms Assisted Living  
Bloomington, IN

View from South Side

August 5, 2015

DEVELOPER : Evergreen Partners

OPERATOR : Gardant Management Solutions

ARCHITECT : The Architectural Team

14205

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 108 W. 6th Street**

**CASE #: SP-17-15  
DATE: August 10, 2015**

**PETITIONER:** Downtown Square 1 LLC  
2769 Fox Court East, Martinsville

**CONSULTANT:** Doug Bruce, Tabor Bruce Architecture and Design  
1101 S. Walnut Street, Bloomington, IN

**REQUEST:** The petitioner is requesting site plan review for an addition to a 2-story mixed-use building with upper floor dwelling units.

**BACKGROUND:**

<b>Area:</b>	0.10 acres
<b>Current Zoning:</b>	CD/CSO
<b>GPP Designation:</b>	Downtown
<b>Existing Land Use:</b>	Restaurant / Vacant 2nd floor
<b>Proposed Land Use:</b>	Mixed Use: Restaurant and Upper floor dwelling units
<b>Surrounding Uses:</b>	North – Mixed Use West – Mixed Use (Furniture/Rug Store + Upper floor dwelling unites East – Restaurant South – Government Office (County Courthouse)

**REPORT SUMMARY:** Petitioner would like to add upper floor dwelling units and construct an addition to the existing two-story building. There is a portion of the rear of the building that is currently only one story. Petitioner proposes to build an addition to the building on a portion not visible from W. 6th Street. Along with the addition, the petitioner would like to renovate the second story into three apartments. Further, the plan calls for the apartments in the middle and rear of the building will have access to the roof through 3rd floor stair towers. The project was reviewed by the Historic Preservation Commission and granted release from Demolition Delay at their meeting on July 23, 2015.

**Plan Commission Site Plan Review:** Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.020, as follows:

- The proposal is adjacent to a residential use.
- The project requests one waiver to the standards in BMC 20.03.060.

**SITE PLAN REVIEW:**

**Residential Density:** The addition and remodel will create 3 upper floor apartments with 3 bedrooms each for a total of 3 Dwelling Unit Equivalents. This

complies with the maximum permitted of 3.3 DUEs for the lot.

**Architecture/Design:** The proposed addition will be visible from the alley which runs east/west between College Avenue and Walnut Street, and it will not be visible from the Courthouse Square. There have been facade improvements to the front of the building that are not a part of this petition, and have been reviewed by the Historic Preservation Commission. The rear of the existing building is one story while the front facade facing the Courthouse Square is two stories. The addition will result in a building of two stories with two small staircases that provide access to the rear facing rooms. The rooftop access is only available to the middle and north units and will not be visible from the Courthouse Square.

**Exterior Finish Materials:** The building addition would be clad predominantly in cementitious board siding and fiber cement panels. The sides of the building addition, which will abut existing buildings and not be visible from the Courthouse Square, are proposed to utilize cementitious siding. The rear of the building, which faces the alley, is proposed to utilize fiber cement panels along with seven windows facing the alley on the second floor addition; the rooftop stair towers are similar with fiber cement panels and windows.

**Material Waiver-20.03.060(b)(4):** A waiver from the standards of the UDO is required to allow cementitious panels and cementitious siding as an exterior finish material. The Downtown Plan provides guidance on building materials in Guidelines 3.10 through 3.12. Guideline 3.10 states that materials should appear similar to those used traditionally and that masonry is preferred for new construction. Guideline 3.11 states that “new materials may be considered” as long as they appear similar to traditional materials, are detailed to express human scale, have demonstrated durability, and avoid large expanses of featureless siding. Planning staff has determined that the panels are appropriate in this area, where they are not visible from the street or the Courthouse Square, and recommends approval of this waiver.

**Access:** Pedestrian access is provided on W. 6th Street and an additional exit for the apartments will be added on the alley.

**Parking:** No parking for automobiles is required and no parking is provided.

One waiver is requested from the building materials standard. The proposal meets all other UDO standards.

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**CONCLUSION:** The proposal meets nearly all UDO standards. The site has been designed to redevelop an existing building and to add residential units while complimenting its historic surroundings.

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**RECOMMENDATION:** Staff recommends approval of SP-17-15 with the following conditions:

1. Submitted plans must be consistent with terms and conditions of the Demolition Delay approval from the Historic Preservation meeting on July 23, 2015.
2. The petitioner must purchase, install, and maintain one inverted-U style bicycle rack, and an encroachment agreement must be approved prior to installation for the bicycle parking area on W. 6th Street.
3. An encroachment agreement for the fire safety equipment located within the right-of-way must be approved and recorded prior to release of the Certificate of Occupancy.



## PLAN COMMISSION

### Downtown Square 1 LLC Petitioner's Statement 108 West 6th Street

#### Overview-Existing site and location

The current proposed development at the site of the old Max's pizza is currently undergoing a facade replacement/update and interior renovations for a new locally owned restaurant. This petition is for the addition of a second story to the rear of the building for the creation of three, three bedroom apartments. Currently the second story is only 2,844 sf and extends only 79 feet from 6<sup>th</sup> street to the north. The addition will add 1,185 sf to the upper level. The upper level has not been utilized as an occupied space since before Max's pizza was in business. Now, with the facade restoration and the new restaurant use on the main level, the building will have a NFPA 13 sprinkler system installed throughout. The change to an apartment use with this addition for the upper level is the necessary economic engine to provide the funds for the facade restoration.

The front apartment has the fantastic view of the courthouse. The middle apartment has not a single window and the rear apartment has banks of new windows towards the alley. For this reason, we added roof access for the middle and rear unit that will provide light and a roof access amenity. The stair penthouses were designed with a simple roof structure that is not too unlike old light wells found on other buildings and also meant to compliment the historic shingle roof of the front part of the second story that remains untouched.

The new rear addition is not readily visible from 7<sup>th</sup> or College Ave.

#### Key Courthouse Square Overlay Attributes

Maximum allowable height 40 feet

Proposed height 36 feet 8 inches

Maximum density 33 units per acre, allowable density for this parcel 3.3DUE.

Proposed density 3.0 DUE

No required parking

First floor will remain entirely commercial occupancy

SP-17-15  
Petitioner's  
Statement

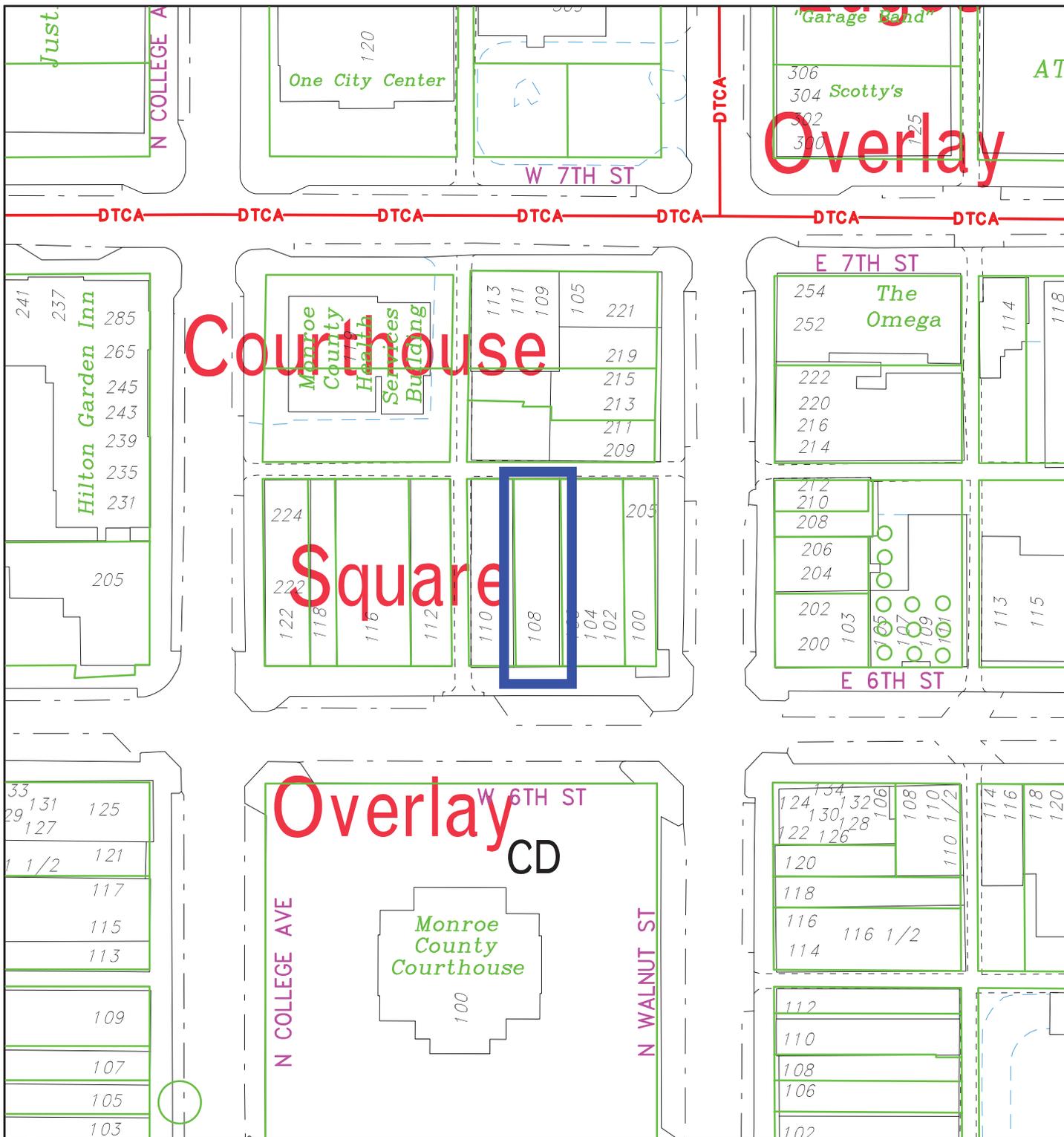
The architectural character of the addition is to inspire others along the alley to dress up not only the front street side view of their structures, but to look to the back side alleys that often become pedestrian streets. We are using cement board panels and decorative elements and a vibrant pain scheme to match the new character of the street front facade.

Thank you for your consideration.



---

Doug Bruce NCARB-LEED AP  
TABOR/BRUCE ARCHITECTURE & DESIGN, Inc.  
1101 S Walnut Street  
Bloomington, IN 47401  
(812) 332-6258



Square

Overlay

CD

Overlay

SP-17-15

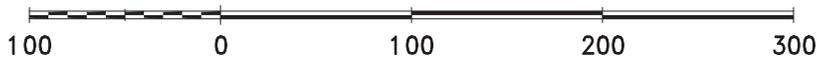
108 W. 6th Street

Plan Commission

Location, Zoning, Downtown Overlays, and Buildings

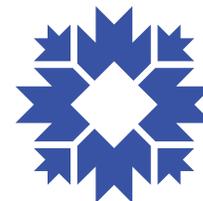
By: rosenbab

16 Jul 15

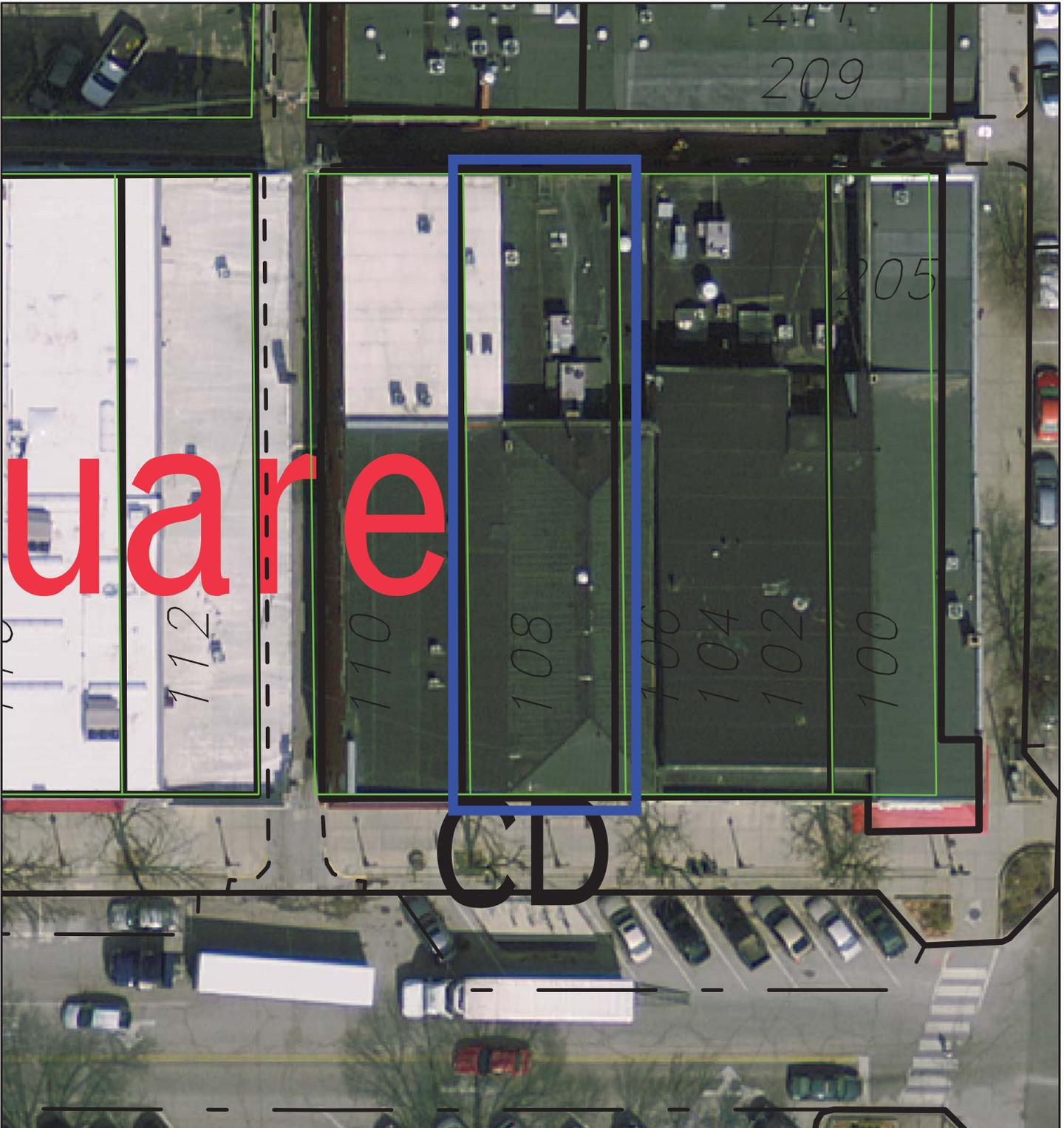


For reference only; map information NOT warranted.

City of Bloomington  
Planning & Transportation

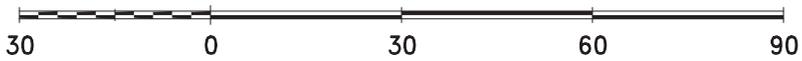


Scale: 1" = 100'



SP-17-15  
 108 W. 6th Street  
 Plan Commission  
 2014 Aerial Photography

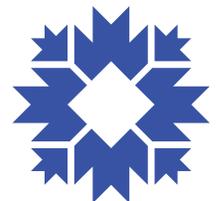
By: rosenbab  
 16 Jul 15



For reference only; map information NOT warranted.



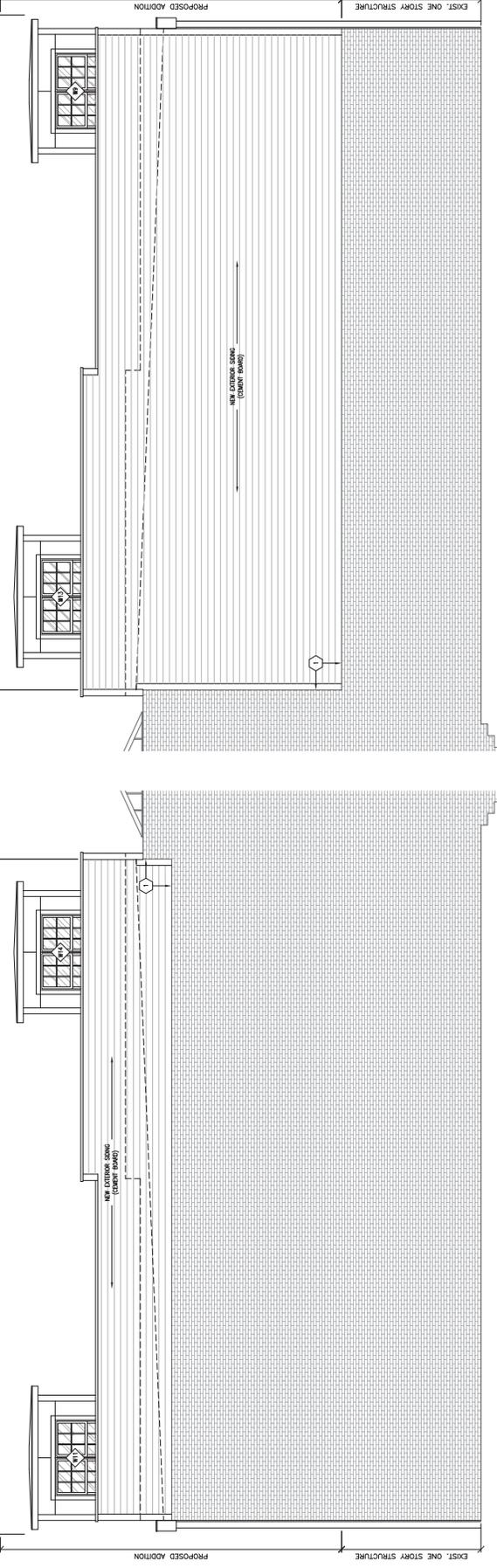
City of Bloomington  
 Planning & Transportation



Scale: 1" = 30'

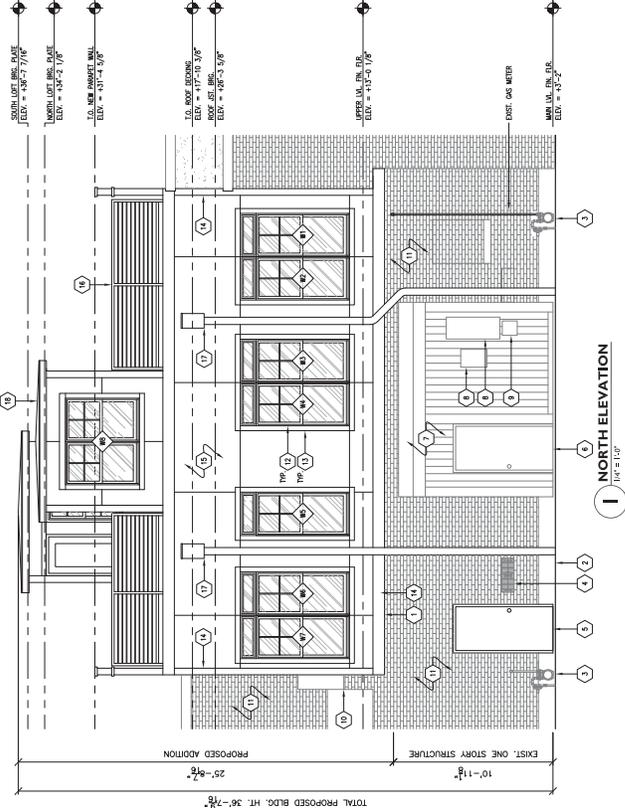
THIS PLAN HAS BEEN PREPARED BY AN ARCHITECT OR ARCHITECTURAL ENGINEER AS REQUIRED BY THE PROFESSIONAL SEAL ACT. THE ARCHITECT OR ARCHITECTURAL ENGINEER HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL SEAL ACT. THE ARCHITECT OR ARCHITECTURAL ENGINEER HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL SEAL ACT. THE ARCHITECT OR ARCHITECTURAL ENGINEER HAS REVIEWED THE PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL SEAL ACT.

NEW SECOND FLOOR ADDITION



**3 WEST ELEVATION**  
1/4" = 1'-0"

**2 EAST ELEVATION**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

- ELEVATION KEYNOTES:**
- 1) REMOVE OF EXIST. BRICK VENEER. FIELD VERIFY EXIST. LOC. PRIOR TO ORDERING MATERIALS.
  - 2) EXIST. LANTERNE BACK TO REMAIN.
  - 3) EXIST. GAS SERVICE METER TO REMAIN.
  - 4) EXIST. MTL. WALL VENT TO REMAIN.
  - 5) NEW MTL. CUT DOOR & EXIST. OPENING.
  - 6) EXIST. EXIT DOOR TO BE REFINISHED.
  - 7) EXIST. EXTERIOR MTL. FRAMING & TRIM TO BE REFINISHED.
  - 8) EXIST. ELECTRICAL SERVICE METER ENTRANCE.
  - 9) EXIST. COMMUNICATION SERVICE ENTRANCE.
  - 10) EXIST. PATENT. MTL. WALL TO REMAIN.
  - 11) EXIST. BRICK VENEER TO REMAIN.
  - 12) NEW PERVIOUSLY FINISHED EX. HANG BRICKWORK.
  - 13) NEW PER. CONCRETE WALK TRAIL.
  - 14) NEW PER. CONCRETE WALK TRAIL.
  - 15) NEW PER. CONCRETE WALK TRAIL.
  - 16) NEW MTL. WALKING PER. PLANKS.
  - 17) NEW PRE-FINISHED ALUM. TRIM-WALL COFFER BOX & DOWNSPOUT W/ ALL REQS. ANCHORS.

SP-17-15  
Site Plan



TABOR  
ARCHITECTURE & DESIGN INC.  
1101 S. WALNUT STREET - BLOOMINGTON, IN 47401  
TELEPHONE: (317) 333-0000 FAX: (317) 333-8600

REVISIONS

PROPOSED TENANT IMPROVEMENT FOR:  
**KING DOUGH**  
108 WEST SIXTH STREET  
BLOOMINGTON, INDIANA 47404

PROJECT NO. 2015  
DATE 03/21/15  
DRAWN BY CHANNIFER  
CHECKED BY G. BRUCE

SHEET NAME  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**AE2008**



*View from the Courthouse Square of the facade of 108 W. 6th Street.*



*View from the alley of the rear of the building where the 2nd floor addition will be.  
Facing west.*

SP-17-15  
Site Photos



*View from the alley of the rear of the building where the 2nd floor addition will be.  
Facing east.*

SP-17-15  
Site Photos

- a. Use locally-sourced, real limestone or sandstone instead of cast concrete and concrete blocks (CMUs) as described in the Petitioner's Statement for accents on the facade of the building. Concrete building materials carry a very large environmental footprint, and are not produced here in our backyard like limestone is.
- b. Use roofing material that is not simply white, but also contains reflective material. A white membrane roof should have a minimum initial Solar Reflective Index of 0.65, and an aged index of 0.55. It should be overlaid with a reflective coating or covered with a white, granulated cap sheet.
- c. Install solar photovoltaic cells to reduce the use of greenhouse-gas emitting pollutants.

Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the Unified Development Ordinance (UDO). Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative (<http://Bloomington.in.gov/greenbuild>). Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by Mayor Krizan; by City Council Resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions; by City Council Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

### 3.) RECYCLING

The EC recommends that space be allocated for recyclable-materials collection, which will reduce the facilities' carbon footprint and promote healthy indoor and outdoor environments. Recycling has become an important norm that has many benefits in energy and resource conservation. Recycling is thus an important contributor to Bloomington's environmental quality and sustainability and is expected in a 21<sup>st</sup>-century structure.

## EC RECOMMENDATIONS

- 1.) The Tree Preservation areas should be changed to Conservancy Easements.
- 2.) The Petitioner should apply green building and site design practices to create a high performance, low-carbon-footprint structure that exhibit our city's commitment to environmental sustainability.
- 3.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick them up.

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 2780 S. Walnut Street Pike**

**CASE #: SP-18-15  
DATE: August 10, 2015**

**PETITIONER:** H.M.Mac  
112 W. 3<sup>rd</sup> Street, Bloomington

**CONSULTANTS:** Smith Brehob & Associates, Inc.  
453 S. Clarizz Blvd, Bloomington  
  
Studio 3 Design  
8604 Allisonville Road, Indianapolis

**REQUEST:** The petitioners are requesting site plan approval of a 143 unit multifamily development.

**BACKGROUND:**

**Area:** 9.96 acres  
**Current Zoning:** RM  
**GPP Designation:** Urban Residential  
**Existing Land Use:** Vacant/Wooded  
**Proposed Land Use:** Multifamily dwelling units  
**Surrounding Uses:** North – Commercial  
 West – Office  
 East – Mini-warehouses  
 South – Single Family (Sunny Slopes Neighborhood)

**NOTE:** This petition was originally advertised with an incorrect address of 3300 S. Walnut Street Pike. Although all neighboring property owners were notified of the project, Planning and Transportation Staff will re-notify the petition prior to the second hearing.

**SUMMARY:** The property is located at 2780 S. Walnut Street Pike and is zoned Residential Multifamily (RM). Surrounding land uses include a restaurant and gas station to the north, offices to the west, the Sunny Slopes neighborhood to the south, and mini-warehouses to the east. The property is 100% covered with woods and includes several sinkholes, a creek to the north, and several areas of steep slopes.

The petitioners propose to develop this property with multifamily residential uses. The proposal includes 143 apartments and 220 bedrooms with a mix of studios, 1, 2, and 3 bedroom units for a total of 220 bedrooms within three, three-story buildings. Two automobile access points are proposed along S. Walnut Street Pike, as well as 220 parking spaces. All environmentally sensitive land required to be preserved will be preserved.

**Neighbor Concerns:** The petitioners arranged a meeting for interested neighbors on Tuesday, June 30<sup>th</sup>. Invitations were sent to the neighborhood contacts of record with

the Housing and Neighborhood Development Department. Unfortunately this did not result in a high turnout of neighbors. Since that meeting, staff has been in contact with several interested neighbors with various concerns, including neighborhood buffering, erosion control, an increase in traffic, light pollution, building height, loss of woods, and drainage concerns. Many neighbors have sent in letters and e-mail that are included in the packet. Because of the high level of interest, staff recommends that the Plan Commission treat this hearing as an informational hearing and continue the petition to the September 14<sup>th</sup> meeting.

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#### **SITE PLAN ISSUES:**

**Architecture/Design:** There few specific UDO architectural standards for multifamily dwellings which are not located along a primary arterial roadway. The UDO specifies permitted siding and roofing materials and has regulations related to anti-monotony standards for developments with more than three buildings. This petition will meet all of the UDO architectural requirements including the maximum permitted height of 40 feet. The buildings are clad in a mix of brick, and cementitious lap siding and panels. The buildings include a mix of sloped and flat roofs. While not required, Building A (the building that fronts on Walnut Street Pike) includes a primary pedestrian entry along S. Walnut Street Pike. Building C (the northern most building) includes structured parking on the first and second floor with apartments on the third floor.

**Density:** The 9.96 acre property can be developed with 7 Dwelling Unit Equivalents (DUEs) per acre, or 69.72 total DUEs. The 143 unit, 220 bedroom proposal equates to 66.46 DUEs.

**Access:** This property will be accessed through two new driveways cuts onto S. Walnut Street Pike. Because of the slope of Walnut Street Pike and the speed of traffic, staff requested a stopping sight distance analysis be conducted by the developer. While this analysis is still under review, Planning and Transportation Staff believe it will be able to meet requirements for a 30 MPH posted speed limit.

One early staff review issue was whether the Ridgeview Drive “stub street” that ends at the southern edge of the property should be extended through the site. Ultimately, after consultation with the Fire and Police Departments, staff determined that even with the extension of this road, two drives onto S. Walnut Street Pike would be necessary in order to provide adequate emergency service protection to the site. Because of this and the anticipated traffic increases in the Sunny Slopes neighborhood that an extended road would cause, staff recommends to not require the extension of this street. A bicycle or pedestrian connection may still be desirable and staff is looking for guidance from the Plan Commission on this issue.

**Environmental Preservation:** The site is currently 100% wooded and also contains areas of steep slopes, riparian buffer area and sinkholes. The UDO requires that all slopes over 18%, 50% of the slopes between 12%-18%, all karst features and a 25' buffer, all riparian areas, and 50% of the trees be preserved. The proposed site plan meets all of these requirements. Preserved land includes two large blocks of trees; one along S. Walnut Street Pike and one on the western edge of the property. Preserved areas also include trees along the southwest and southern property lines. All preserved

areas would be protected with conservation easements. 4.63 acres, or 50% of the property, will be preserved. A question has been raised about whether the trees along the buffer will be damaged during construction with cutting of their root system during construction. This should be further reviewed before the second hearing.

**Impervious Surface Coverage:** The site plan meets the maximum impervious surface coverage requirement of 40%, through a combination of preserved land and pervious pavers. Proposed impervious surface coverage is 33%.

**Landscaping/bufferyard:** The petitioners have submitted a landscape plan that satisfies all UDO landscaping requirements including general site landscaping, parking lot landscaping, street trees and bufferyard landscaping. With this petition the street trees must be placed behind the sidewalk along S. Walnut Street Pike due to sight distance conflicts and the existence of overhead electric lines within the tree plot. In addition to the setbacks, the UDO requires a minimum 10-foot bufferyard adjacent to the single family zoned homes to the south and southwest. The UDO requires that this bufferyard must be planted with one large deciduous tree every 30 feet. Instead of planting new trees, the petitioner intends to preserve existing trees in the bufferyard and the setback. The building setback is 15 feet and the parking setback is 7 feet in addition to the 10 foot bufferyard; which results in setbacks of 25 feet and 17 feet from the neighborhood. Much of the 25 and 17 feet setback areas adjacent to the neighborhood will be used to preserve existing trees.

**Parking:** The UDO does not require any parking for a multi-family development of this type. Instead it specifies a maximum parking regulation of one parking space per bedroom. The 220 proposed bedrooms can have a maximum of 220 parking spaces. The maximum of 220 parking spaces is proposed.

**Pedestrian Facilities/Alternative Transportation:** A 5-foot wide sidewalk separated from the street by a 5-foot wide "tree plot" is required along S. Walnut Street Pike, both of which are shown on the site plan. The proposed 220 bedrooms require 37 bicycle parking spaces (10 Class 1 spaces, 19 covered Class 2 spaces, and 8 Class 2 covered or uncovered). The site plan exceeds these requirements through a combination of an interior bicycle room, covered spaces, spaces with a garage and open air spaces totaling 46 spaces. The property is not located along an existing or planned bus route. No accommodations for Bloomington Transit are required or proposed.

**Utilities:** Water and sewer service is shown on the site plan connecting to existing mains northwest of the property behind a building along S. Walnut Street. There are currently no water or sewer mains in S. Walnut Street Pike. Utility plans have been submitted and are under review by City Utilities. Stormwater detention will be handled through an underground detention system, a rain garden at the north end of the development and through considerable amounts of pervious pavement parking spaces. Staff has been in contact with some neighbors concerned about the drainage impacts of the development. The petitioners have submitted a drainage basin analysis, included with this packet, demonstrating a decrease in the amount of land that will drain south toward the adjacent neighborhood. Final acceptance and approval from City Utilities is needed before the issuance of a grading permit.

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**ENVIRONMENTAL COMMISSION RECOMMENDATIONS:** The Bloomington Environmental Commission (EC) has made the following 3 recommendations concerning this development.

- 1.) The Tree Preservation areas should be changed to Conservancy Easements.
- 2.) The Petitioner should apply green building and site design practices to create a high performance, low-carbon-footprint structure that exhibit our city's commitment to environmental sustainability.
- 3.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick them up.

---

**CONCLUSION:** This petition involves development on environmentally sensitive land with a more dense residential land use adjacent to a less dense residential land use. While staff believes that the petition as presented meets all aspects of the UDO, discussion is necessary in order that all concerns of adjacent neighbors can be aired and addressed.

In addition to the addressing issue, prior to the second hearing, staff requests that the petitioners:

1. Develop a lighting plan compliant with UDO requirements.
2. Identify all trees 6" in caliper or greater within 15 feet of the edge of the grading line along the neighborhood buffer and estimate the extent of the canopy.

---

**RECOMMENDATION:** Staff recommends that this petition be continued to the September 14, Plan Commission meeting.

# MEMORANDUM

**Date:** July 31, 2015

**To:** Bloomington Plan Commission

**From:** Bloomington Environmental Commission

**Through:** Linda Thompson, Senior Environmental Planner

**Subject:** SP-18-15, Echo Park Apartments, H.M. Mac  
2780 S. Walnut Street Pike

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This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a request for a 143-unit, 220-bedroom apartment complex in three buildings. The site covers 9.96 acres, is zoned RM (Residential Multifamily) and is 100% wooded. The site has constraints including sinkholes, tree preservation, steep slopes, and riparian buffer. The developer intends to follow Bloomington's regulations for all environmental constraints.

Because of the ecological services that this ten acres currently provides, the EC believes that the proposed site represents an opportunity to assert that special sense of environmental character that Bloomington is known for, by demonstrating through example that we are, indeed, a Tree City USA, a National Wildlife Federation Wildlife Habitat Community, a winner of America in Bloom's national competition, and that we are committed to reducing the carbon footprint of our community while meeting the needs of our people.

Because of the sensitivity of the site and the proximity to existing neighborhoods, the EC believes that this site should proceed to a second hearing. It is at that time, after issues have been fleshed out, that the EC will provide a more detailed memorandum of any recommendations that remain.

## **ISSUES OF SOUND ENVIRONMENTAL DESIGN**

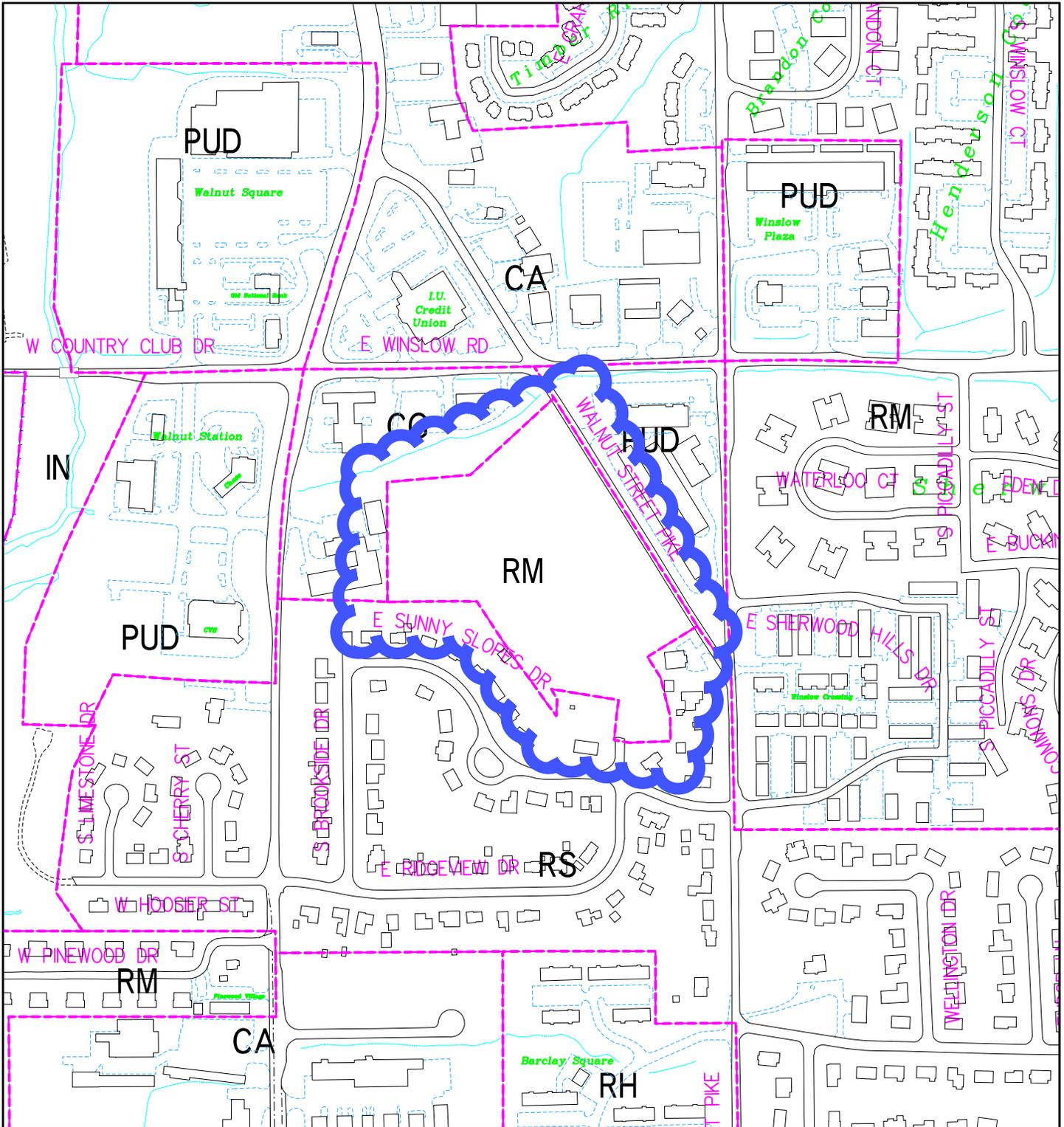
### **1.) CONSERVANCY EASEMENT**

The EC recommends that the Tree Preservation areas be changed and recorded as Conservancy Easements. By designating them as Conservancy Easements, the entire ecosystem of the areas will be protected and not simply the trees.

### **2.) GREEN BUILDING & SITE DESIGN**

The Petitioner's Statement shows that the developer has committed to very little beyond what is required in regard to green building. Because the EC recommends that green building practices be employed at this site, we offer some specific recommendations that include the following three actions.





SP-18-15  
Location and  
Zoning Map

By: roachja  
1 Jul 15



City of Bloomington  
Planning & Transportation

N

Scale: 1" = 400'



Attn: James Roach

RE: **Walnut Pike apartments – Echo Park**  
**July 27th, 2015**

## **PETITIONERS STATEMENT**

Dear Mr. Roach;

Studio 3 Design is pleased to submit the attached developments for the Walnut Pike Development – Echo Park for Planning department and Plan Commission Review. The following document outlines the project scope for the project site. We believe we have addressed all code requirements and will not be requesting any variances to standards as part of this submittal. Please take time to review and contact us with any additional questions.

### **Project Location:**

The project is located on 9.96 acres of land accessed off of Walnut Pike in Bloomington, Indiana. Site is currently contains 100% tree canopy coverage and contains zones of 12-18% slopes as well as sink hole protected zones. The project has worked to maintain all required clearances, retained slope standards and tree preservation requirements.

### **Proposed Land Use:**

The proposed project is being developed as market rate apartments targeting young professionals that are locating in Bloomington and are looking for an environment that provides both natural and built amenities for its' residents.

The Site will contain (3) three buildings along with a clubhouse/ amenity center for the development and both covered garage and surface parking. (2) Entrances off of Walnut Pike have been provided for residence and emergency personnel access to the structures. The buildings are broken down into 3 structures to maximize the preservation of trees and take advantage of the relatively limited flat zone for buildings "A" and "B" as well as take advantage of the natural slopes for the development of a two level garage for building "C".

**Building "A"** – located along Walnut Pike is a (3) three level building with an entrance drive from Walnut Pike entering under the building (min. clearance 14'). The drive entrance is associated with a main building entrance facing Walnut Pike. Building "A" contains 64 apartment units and 92 beds.

**Building "B"** – located in the middle of the site is a (3) level building that contains the clubhouse and amenity center and outdoor pool. All amenity spaces and building entrances face inward toward parking locations to respect for the adjacent neighborhoods and maintain activity and noise toward the interior of the development. The building contains 65 apartment units and 114 beds.

SP-18-15 Petitioner's Statement
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Walnut Pike- Echo Park  
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 Page 2

**Building "C"** –Is a (3) level structure located at the north end of the site is on a heavily sloped section of the property and takes advantage of the natural terrain to create a two level parking structure with an entrance to the lower deck at the north end and an entrance to the upper deck at grade on the south end. The 3<sup>rd</sup> level contains a mix of studio and one bedroom apartments. 14 apartment units and 14 beds. The garage holds 52 parking spaces.

#### **Units/ Beds/ DUE's**

The development is focused on small units,  
 49% studio / 1 bed units  
 50% two bed units  
 01% three bed units

Units			
Studio	13 units	13 beds	2.6 DUE
1 bed	56 units	56 beds	14 DUE
2 bed	71 units	142 beds	46.86 DUE
3 bed	3 units	9 beds	3 Due
	<u>143 UNITS</u>	<u>220 BEDS</u>	<u>66.46 due</u>

9.96 ACRES X 7 DUE/ ACRE    **69.72** DUE available  
 66.46 DUE used

#### **Site Information:**

##### **Zoning and access.**

The existing RM zoned site totals 9.96 acres. Net right-of-way, the site acreage is 9.26 acres. A neighborhood street is stubbed to the south property line but will not be connected in response to concerns by the adjoining neighborhood that the connection would create increased traffic flow through the area. Access to the site will be provided by new driveway connections at the north and south end of the property from Walnut Pike. These locations have been selected based on site lines, distances from neighboring drives and to provide two means of access for emergency vehicles. Sidewalks will be constructed along Walnut Pike as part of the project where none currently exist. This will provide an opportunity for the residents and adjoining neighborhood to have a connected path to the north.

##### **Setbacks**

Front yard setbacks along Walnut Pike are 20' behind the proposed right-of-way from the master thoroughfare plan. Side yard parking and building setbacks are 7' and 15' respectively. Because the site is adjacent to single family residential, the parking setback requires an additional 10' buffer for a total side yard setback of 17'. The building setback, due to the adjacent single family residential is increased to 25'. Parking adjacent to a public street must be a minimum of 20' behind the front of the building. The site plan complies with those requirements.

##### **Existing Tree Canopy Coverage and Preservation**

The site tree canopy coverage is 100%. The UDO requires 50% preservation of tree canopy coverage for a site with this amount of coverage. That equates to a preservation requirement of 4.63 acres. The site plan meets that preservation requirement.

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### **Slope Area**

There are several areas of steep slopes on the property. Slope area ranging from 12% to 18% totals 3.20 acres of the site. The UDO permits up disturbance of up to 50% of the 12% to 18% slope area. This equates to 1.60 acres of slope encroachment permitted. The site plan meets this requirement and only encroaches into 0.20 acres of slope area or 6.25% of total disturbance. There is one area of slope in excess of 18% that is a manmade slope created by the construction of Walnut Pike. The southern drive access to the property will encroach into this area. Manmade slopes such as this have not been counted towards slope preservation, but their impact should be minimized where possible. There are also areas of slope in excess of 18% near the stream that borders the northern property line. No disturbance is proposed for this area.

### **Karst Preservation**

There are 6 karst features on the site. The UDO requires a 25' karst conservancy area plus a 10' no disturbance buffer around each karst feature. The site plan meets this requirement.

### **Impervious Surface Area**

The UDO limits the amount of impervious surface coverage on a site to 40%. That equates to 3.70 acres of the total site area. The site plan proposes a maximum impervious surface coverage of 3.27 acres or 35.3% of the site area. This figure excludes the permeable pavers proposed within the parking lot. Counting permeable paver area, that number decreases to 33%.

### **Parking Lot Conditions with respect to Storm Water**

The total number of parking spaces provided matches the bed count at 220 spaces.

This is 1 space per bed which is the maximum allowed. A portion of these spaces are accommodated in building 3 on two parking deck levels.

The UDO requires that any parking lot area totaling more than 16 spaces include green development features for storm water quality management. The Site plan includes permeable pavers, a mechanical BMP on the outlet of the underground detention system and a rain garden to collect roof water runoff at some locations and at the final discharge point of the storm sewer system.

### **Drainage and Detention**

Storm water detention will be accomplished by an underground detention system beneath the parking lot areas consisting of oversized pipes with a reduced outlet. This system has been employed on numerous developments previously.

### **Sanitary Sewer**

Sanitary sewer service will be provided by a connection to the existing City sewer main that has been stubbed to the property at it's northwest corner. No connection to the adjacent neighborhood system will be made.

### **Water Service**

Water service will be provided by a connection to the existing City main stubbed to the property at it's northwest corner. The water system will be looped through the project site and will include fire hydrants for fire suppression as well as sprinkler systems in the building.

### **Trash removal**

A centralized dumpster zone, screened by a fence and landscaping is provided for trash pick-up. Additional zones could be provided if deemed necessary across from Building "C and or behind building "B".

### **Site amenities:**

An outdoor fire pit across from the pool, an outdoor pool and grill area, and connectivity from the development to Walnut Pike for pedestrians.

### **Streetscape**

Along Walnut Pike, a sidewalk will be added running the length of the property with connections up and into the apartment development. Street trees will be incorporated along the path. At the primary entrance drive, landscape walls and both a vehicular and a pedestrian path will provide access from Walnut Pike and provide opportunities for additional landscaping. Within the site, parking lot islands and natural rain garden zones as noted above.

### **Site Accessibility**

The site is accessible by vehicle at the north and south ends of the property from Walnut Pike. Once inside the site, accessible parking is provide with accessible routes to the various buildings and amenities. Pedestrians can access the site by foot / bike from a new sidewalk along Walnut Pike that connects to the interior of the project site. An accessible route is provided from the interior parking zones to the Building 1 lobby along with a sidewalk and stairs coming up from Walnut Pike to the same building lobby on the opposite side. Within each building, all levels are accessible via elevators and corridors.

### **Project organization, scale and architecture:**

The Site will contain 3 building structures all of which will be 3 levels with a maximum height not to exceed 40'. The detailing of each of the buildings will be similar which is allowed for under the guidelines based on the project containing 3 or less separate structures. A natural buffer of mature trees surrounds the site and provides privacy to the adjoining neighborhood. Large tree preservation zones remain untouched and are available for the residents and neighbors to walk through on the planned trails. Each of the three structures is associated with some key differences. Building "A" serves as the entrance to the site and will have a building entrance addressing the street (Walnut Pike) and the primary site entrance off of Walnut Pike. Building "B" will incorporate the facility amenities which will be immediately visible upon entering the site. Building "C" will provide covered parking for approximately 52 vehicles as well as a floor of apartments.

The primary materials will be a mix of brick and cement board lap and panel sections, ganged residential windows to create larger scale openings and maximize internal natural lighting, and a flat white TPO roof for energy efficiency. Sloped roofs, material and color changes work together to break down the massing into smaller components as well as provide variety to the architecture. The amenity zone in building 1 surrounds and opens onto the pool deck and provides an additional breakdown in scale to a 1 ½ story structure. The windows opening from the clubhouse/work out facilities are 9' storefront sections – floor to ceiling, with fabric awnings to further differentiate that this area is common area.

### **Environmental Considerations:**

The developer is interested in providing a building that is sensitive to the concerns of today's built environment. As such, we are reviewing the incorporation of the following into the project:

- "Green friendly" building materials – This includes both materials with recycled content as well as building materials that have been harvested and manufactured within a 500 mile radius. Examples of these materials include cementitious siding/panels, brick, CMU blocks, and cast concrete.

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 July 27, 2015  
 Page 5

- Energy efficient “Energy Star” appliances.
- Energy efficient windows with low-E glazing
- White reflective roofing membrane for energy conservation and reduced heat island effect at flat roof areas.
- Use of larger window openings for natural day lighting of interior spaces to cut down on the use of artificial lighting.
- Energy efficient lighting fixtures
- Building shell and demising wall insulation.
- Rain gardens
- Permeable pavers
- Tree preservation zones equaling a min. of 50% of the site.
- Natural trails
- Slope and karst preservation
- Bike racks at each building
- Bike/ pedestrian connection to the adjoining neighborhood at the current street stub-out at the south end of the property.

**Bike parking:**

Building “A”	6 open air locations
Building “B”	10 open air locations
Building “B”	12 covered outdoor locations
Building “B”	10 Indoor (bike room)
Building “C”	8 covered in garage

**Total**                    **46 Bike spaces provided**  
                                   **37 required**

**Variances:**

The project will meet all zoning requirements and will not require any variances to development standards.

Sincerely;

Tim Cover  
 Studio 3 Design

SP-18-15 Petitioner's Statement
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SITE PLAN - RENDERING

	<p><b>ECHO PARK</b> BLOOMINGTON, INDIANA</p>		<p>PROJECT NO. <b>15024</b></p>	<p>SHEET DESCRIPTION <b>SITE PLAN - RENDERING</b></p>	<p>SHEET NUMBER <b>A0</b></p>
			<p>DATE <b>07-27-15</b></p>		

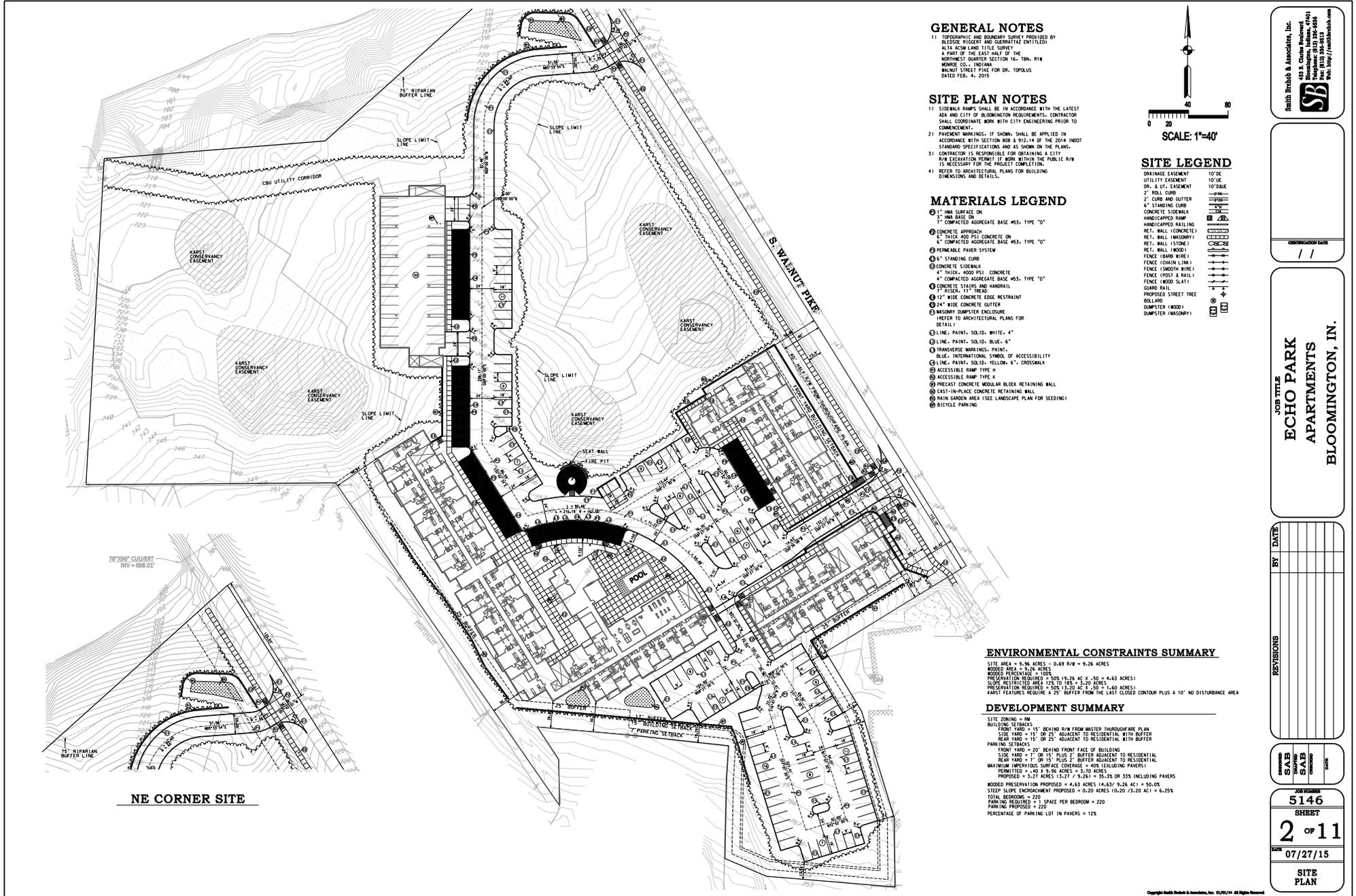
SP-18-15  
Illustrative Site Plan



SITE - AERIAL VIEW

PROJECT NO. <b>15024</b>		SHEET DESCRIPTION <b>SITE RENDERING</b>	SHEET NUMBER <b>A19</b>
DATE <b>07-27-15</b>			
<b>ECHO PARK</b> BLOOMINGTON, INDIANA			
			

SP-18-15  
Illustrative Site Rendering



**GENERAL NOTES**

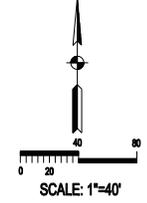
1. TOPOGRAPHY AND BOUNDARY SURVEY PROVIDED BY BLESSE RIGGERT AND GUERRATTAZ ENTITLED "ALTA RESUBDIVISION SURVEY" A PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 16-12N- 81W MARION CO., INDIANA WALNUT STREET FOR DR. TOPOLUS DATED FEB. 4, 2015

**SITE PLAN NOTES**

1. SIDEWALK RAMP SHALL BE IN ACCORDANCE WITH THE LATEST ADA AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
2. PAVEMENT MARKINGS, IF SHOWN, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 912.14 OF THE 2014 INDIAN STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY R/W EXCAVATION PERMIT IF WORK WITHIN THE PUBLIC R/W IS NECESSARY FOR THE PROJECT COMPLETION.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.

**MATERIALS LEGEND**

- ① 1" MAX CURB ON 4" COMPACTED AGGREGATE BASE W/S. TYPE "D"
- ② CONCRETE APPROACH 4" THICK 400 PSI CONCRETE ON 4" COMPACTED AGGREGATE BASE W/S. TYPE "D"
- ③ PERMEABLE PAVEMENT SYSTEM
- ④ 6" STANDING CURB
- ⑤ CONCRETE SIDEWALK 4" THICK 4000 PSI CONCRETE
- ⑥ CONCRETE STAIRS AND HANDRAIL 2" TREAD, 1" TREAD
- ⑦ 12" WIDE CONCRETE EDGE RESTRAINT
- ⑧ 24" WIDE CONCRETE GUTTER
- ⑨ MASONRY DAMPSTER ENCLOSURE REFER TO ARCHITECTURAL PLANS FOR DETAIL
- ⑩ LINE - PAINT - SOLID - WHITE - 4"
- ⑪ LINE - PAINT - SOLID - BLUE - 4"
- ⑫ TRANSVERSE MARKINGS - PAINT - BLUE - INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ⑬ LINE - PAINT - SOLID - YELLOW - 6" - CROSSWALK
- ⑭ ACCESSIBLE RAMP TYPE H
- ⑮ ACCESSIBLE RAMP TYPE K
- ⑯ PRECAST CONCRETE MODULAR BLOCK RETAINING WALL
- ⑰ CAST-IN-PLACE CONCRETE RETAINING WALL
- ⑱ BICYCLE PARKING



**SITE LEGEND**

- ① DRAINAGE EASEMENT 10' DE
- ② UTILITY EASEMENT 10' DE
- ③ 8' UT. EASEMENT 10' DE
- ④ 2" CURB AND GUTTER
- ⑤ 6" STANDING CURB
- ⑥ CONCRETE SIDEWALK
- ⑦ HANDICAPPED RAMP
- ⑧ HANDICAPPED RAILING
- ⑨ RET. WALL (CONCRETE)
- ⑩ RET. WALL (MASONRY)
- ⑪ RET. WALL (STONE)
- ⑫ RET. WALL (WOOD)
- ⑬ FENCE (CHAIN WIRE)
- ⑭ FENCE (SMOOTH WIRE)
- ⑮ FENCE (POST & RAIL)
- ⑯ FENCE (WOOD SLAT)
- ⑰ GUARD RAIL
- ⑱ PROPOSED STREET TREE
- ⑲ DAMPSTER (WOOD)
- ⑳ DAMPSTER (MASONRY)

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 435 S. Carter Boulevard  
 Bloomington, IN 47404  
 Tel: (317) 334-6000  
 Fax: (317) 334-6013  
 Web: http://www.sbrub.com

CONSTRUCTION DATE

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JOB TITLE  
**ECHO PARK APARTMENTS**  
 BLOOMINGTON, IN.

REVISED	DATE

DATE	BY

REVISIONS

--	--

DATE: 07/27/15

JOB NUMBER: 5146

SHEET: 2 OF 11

SITE PLAN

**ENVIRONMENTAL CONSTRAINTS SUMMARY**

SITE AREA = 9.96 ACRES - 0.69 R/W = 9.26 ACRES  
 WOODS AREA = 9.26 ACRES  
 WOODS PERCENTAGE = 100%  
 SLOPE RESTRICTED AREA 1% TO 14% = 3.20 ACRES  
 PRESERVATION REQUIRED = 208 (19.20 AC @ 10' - 4.45 ACRES)  
 KARST FEATURES REQUIRE A 25' BUFFER FROM THE LAST CLOSED CONTOUR PLUS A 10' NO DISTURBANCE AREA

**DEVELOPMENT SUMMARY**

SITE ZONING = RM  
 BUILDING SETBACKS  
 SIDE YARD = 15' OR 25' BEHIND R/W FROM MASTER THROUGHFARE PLAN  
 REAR YARD = 15' OR 25' ADJACENT TO RESIDENTIAL WITH BUFFER  
 PARKING SETBACKS  
 FRONT YARD = 20' BEHIND FRONT FACE OF BUILDING  
 SIDE YARD = 7' OR 15' PLUS 2' BUFFER ADJACENT TO RESIDENTIAL  
 REAR YARD = 7' OR 15' PLUS 2' BUFFER ADJACENT TO RESIDENTIAL  
 MAXIMUM IMPERVIOUS SURFACE COVERAGE = 40% (EXCLUDING PAVERS)  
 PERMITTED = 40.97% ACRES = 3.79 ACRES  
 PROPOSED = 3.27 ACRES (15.27 / 4.26) = 35.2% OR 35% INCLUDING PAVERS  
 WOODS PRESERVATION PROPOSED = 4.45 ACRES (14.67' R/W AC) = 50.2%  
 TOTAL BEDROOMS = 210  
 SLEEP SLOPE ENCROACHMENT PROPOSED = 0.20 ACRES (0.20 / 3.20 AC) = 6.25%  
 PARKING PROPOSED = 220  
 PERCENTAGE OF PARKING LOT IN PAVERS = 12%

SP-18-15  
 Site Plan

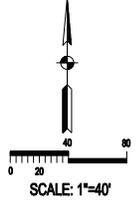
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**GENERAL NOTES**

11. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY BLESSE RIGGERT AND GUERRATTZ ENTITLED "ALTA RESUBDIVISION SURVEY" A PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 16-18N-01W MONROE CO., INDIANA WALNUT STREET FIVE FOR DR. TOPOLUS DATED FEB. 4, 2015

**GRADING NOTES**

- 1. FF=+1 IF SHOWN ON THE PLANS, = RECOMMENDED FINISH FLOOR ELEVATION.
- 2. BF=+1 IF SHOWN ON THE PLANS, = RECOMMENDED BASEMENT FLOOR ELEVATION.
- 3. GF=+1 IF SHOWN ON THE PLANS, = RECOMMENDED GARAGE FLOOR ELEVATION.
- 4. PP=+1 IF SHOWN ON THE PLANS, = RECOMMENDED PERMANENT POND ELEVATION.
- 5. 100R=+1.0L+1 IF SHOWN ON THE PLANS, = 100R. FLOOD ELEV.
- 6. MG=+1 IF SHOWN ON THE PLANS, = MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
- 7. MF=+1 IF SHOWN ON THE PLANS, = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- 8. GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- 9. PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.



**GRADING & EROS. CTRL LEGENDS**

- PROPOSED 1" CONTOUR
- PROPOSED 5" CONTOUR
- PROPOSED SPOT ELEVATION
- SOIL BORING
- RIP-UP
- SILT TRAP
- INLET PROTECTION
- DETENTION BASIN
- STRIP BALE DAM
- ROCK CHECK DAM
- PAVED SLIDE DITCH
- DIVERSION DITCH
- TREE PROTECTION FENCE
- FLOOD LINE
- GRADING LIMITS
- SEEDMENT BASIN
- SILT FENCE

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CONSTRUCTION DATE  
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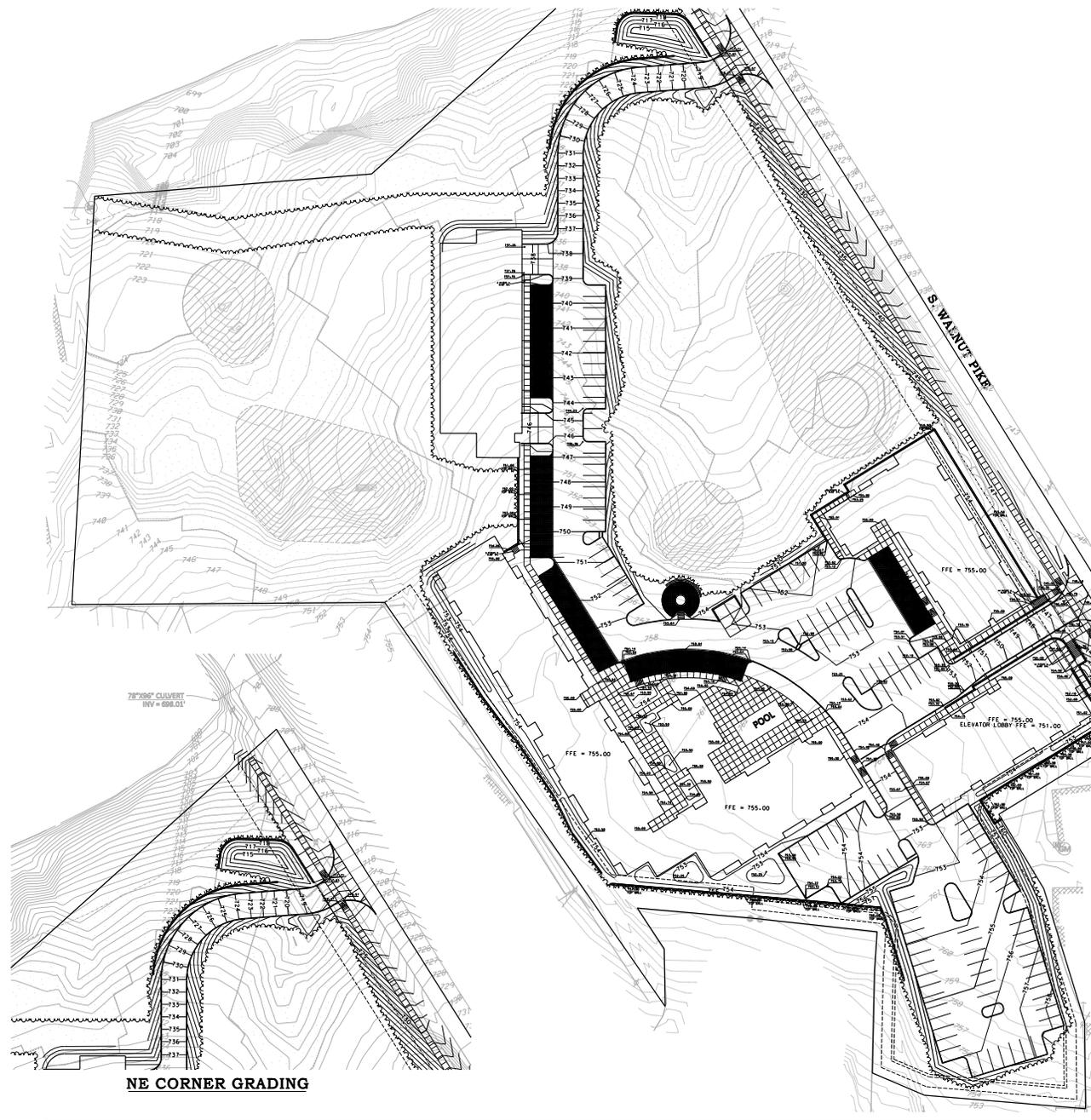
JOB TITLE  
**ECHO PARK APARTMENTS**  
 BLOOMINGTON, IN.

REVISIONS	BY	DATE

DESIGNED BY  
 DRAWN BY  
 CHECKED BY  
 DATE

JOB NUMBER  
**5146**  
 SHEET  
**3 OF 11**  
 DATE  
**07/27/15**

GRADING PLAN



**NE CORNER GRADING**

**SP-18-15**  
**Grading Plan**

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**UTILITIES**

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Brent McScope - (812) 334-4521  
4517 E. Indiana Bell Ct.  
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bmt792@att.com

DUKE ENERGY (Electric)  
Kerry Ducker (812) 337-3035  
1100 W. 2nd St.  
Bloomington, IN 47403  
kerry.ducker@duke-energy.com

CITY OF BLOOMINGTON  
UTILITIES (Water/Sewer)  
Nancy Asson (812) 349-3689  
600 E. Miller Dr.  
Bloomington, IN 47402  
assonm@bloomington.in.gov

VECTREN (Gas)  
Doug Anderson (812) 330-4031  
205 S. Madison  
Bloomington, IN 47404  
danderson@vectren.com

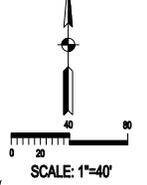
COMCAST (Cable)  
Scott Crisp (812) 322-9612  
2450 S. Henderson St.  
Bloomington, IN 47401  
scott.cr@peacock.comcast.com

**GENERAL NOTES**

11. TROISSANDS AND BROTHERS PROVIDED BY BLEDGE RIBBERT AND GERBARTZ ENTITLED: ALL NEW AND EXISTING CONDUITS A PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 16-18N, R18W, W38E CO., INDIANA, BANGS STREET TRACE FOR DR. TOPALS DATED FEB. 4, 2015

**UTILITY NOTES**

- 1) ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON. UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT UTILITIES TECHNICIAN AT (812) 349-3689 TO SCHEDULE THE MEETING. CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE 50 WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CBU DESIGNATED HOLIDAY, OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 349-3689.
- 2) SEE SPECIFICATIONS FOR SIZES OF WATER SERVICE LINES AND SEWER LATERALS NOT SPECIFICALLY NOTED ON THE PLANS.
- 4) MS+1 IF SHOWN ON THE PLANS = MINIMUM SEWER ELEVATION. IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKWATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE MIN. FLOOR ELEVATION OF THE SEWER LATERAL. IF NOT, A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEE 409.4.4 OF THE UNIFORM BUILDING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- 5) ON ALL EXISTING SANITARY MAINS, WELLS SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT NANCY ASSON AT (812) 349-3689 FOR MORE INFORMATION.
- 6) WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRILLED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT JOINT-HORIZONTAL 1 OR 2 FLEXIBLE CONNECTOR APPROVED EQUAL. TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE. IN ACCORDANCE WITH SECTIONS 901.2.1-901.2.1.1 OF THE CBU CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 50 FEET. ALL CLEAN-OUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE 3/8" SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2919 OR WHELAN CATALOGUE NO. RW1074. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 6" THICK AND SHALL EXTEND AT LEAST 6" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 3" BELOW THE TOP OF THE CASTING. A WID INSULATED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT THE LOCATOR WIRE IS MADE AT LEAST EVERY PIPE JOINT. SPLICES ARE TO BE MADE WITH AN APPROVED CONNECTOR, AND ARE TO BE PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19.
- 8) WHEREVER CROD PIPE IS USED FOR SEWER, ALL WELLS SHALL BE HARCO - SIZED FOR CROD ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM CROD TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARCO CROD TO SDR-35 ADAPTER WELLS.
- 9) ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CHEMIC EPOXY FINISH. MINIMUM THICKNESS 40 MILS, AND SHALL BE PROTECTED 40% AS MANUFACTURED BY INDIAN PROTECTIVE COATINGS. WELLS FOR D.I.P. SHALL BE HARCO D.I.P. TO SDR-35 ADAPTER WELLS.
- 10) THE OWNERSHIP OF THE WATER AND SANITARY SEWER MAINS IN THIS DEVELOPMENT WILL BE OWNED AND MAINTAINED BY THE CITY OF BLOOMINGTON UTILITIES. OWNERSHIP WILL TAKE EFFECT AFTER FINAL MAKE-THROUGH, WHEN EXCUREMENT ARE RECORDED AND FINAL ACCEPTANCE IS GIVEN. ANY EXCEPTIONS SHALL BE INDICATED WITH SYMBOLS ON THE PLANS, ADDRESSED BY LETTER AND APPROVED IN WRITING BY THE UTILITIES ENGINEER.
- 11) A PERMANENT INDICATING CONTROL VALVE SHALL BE INSTALLED ON THE FIRE LINE 12" ABOVE THE FLOOR AT THE FORMATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST AND WILL BEHOLD AS A PART OF THE SYSTEM. ONCE ALL TESTING IS COMPLETE, THE LINE WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. PLEASE CONTACT NANCY ASSON (812) 349-3689 FOR ADDITIONAL INFORMATION.
- 12) ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE 3-MILL LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASEMENT OF 4-MILL HIGH-DENSITY (HD) POLYETHYLENE ENCASEMENT MATERIAL. INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE UNWOUND AND INSTALLED IN ACCORDANCE WITH ANGLAMBA C-1042-15, USING PLASTIC TIE STRIPS OR CIRCUMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.



**UTILITY LEGEND**



Smith Brubach & Associates, Inc.  
445 S. Carter Boulevard  
Bloomington, IN 47404  
Phone: (812) 342-5000  
Fax: (812) 342-5013  
Web: http://smithbrubach.com

CONSTRUCTION DATE: //

JOB TITLE  
**ECHO PARK APARTMENTS**  
BLOOMINGTON, IN.

BY: DATE:

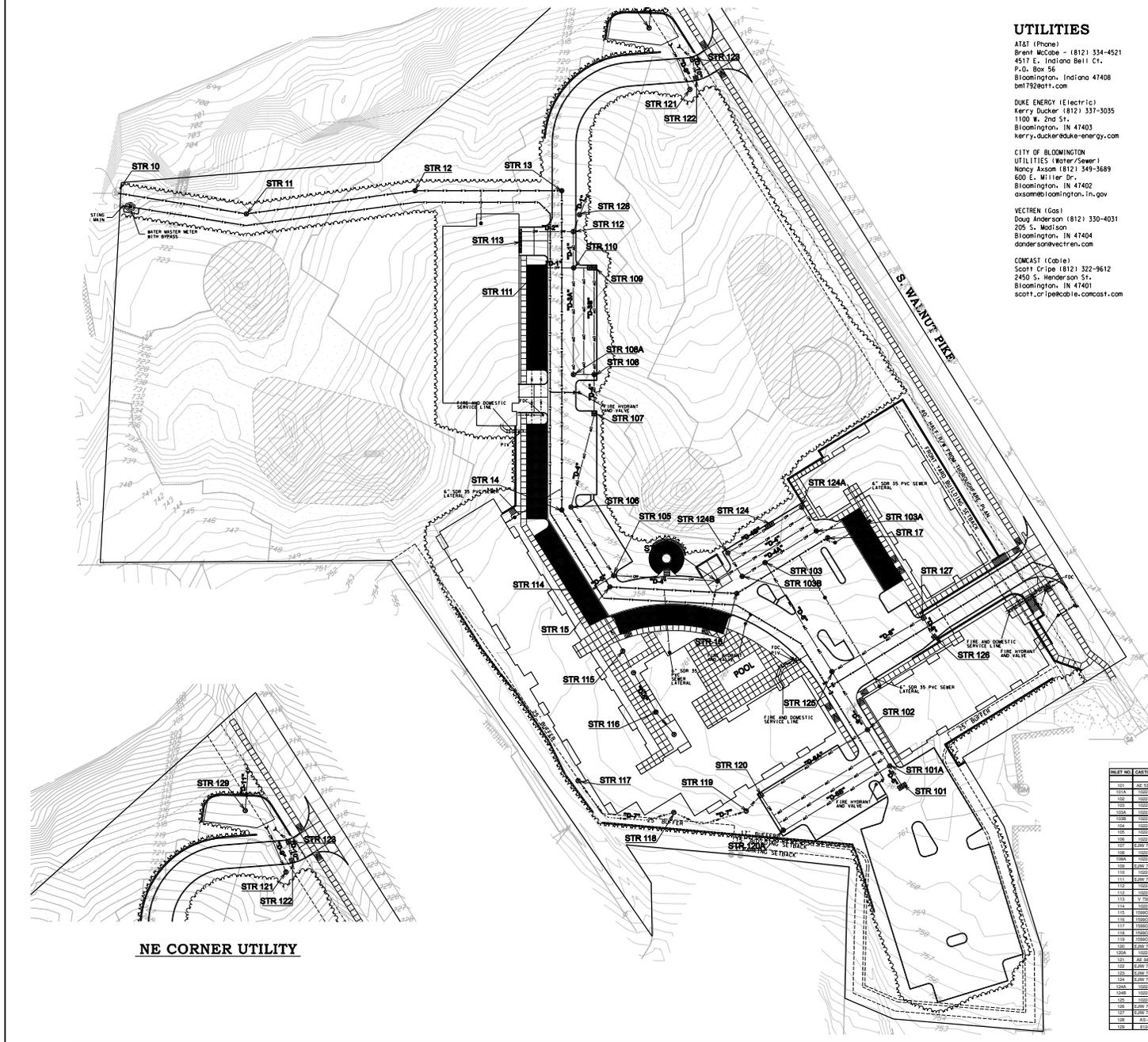
REVISIONS

DATE: 07/27/15

5146 SHEET

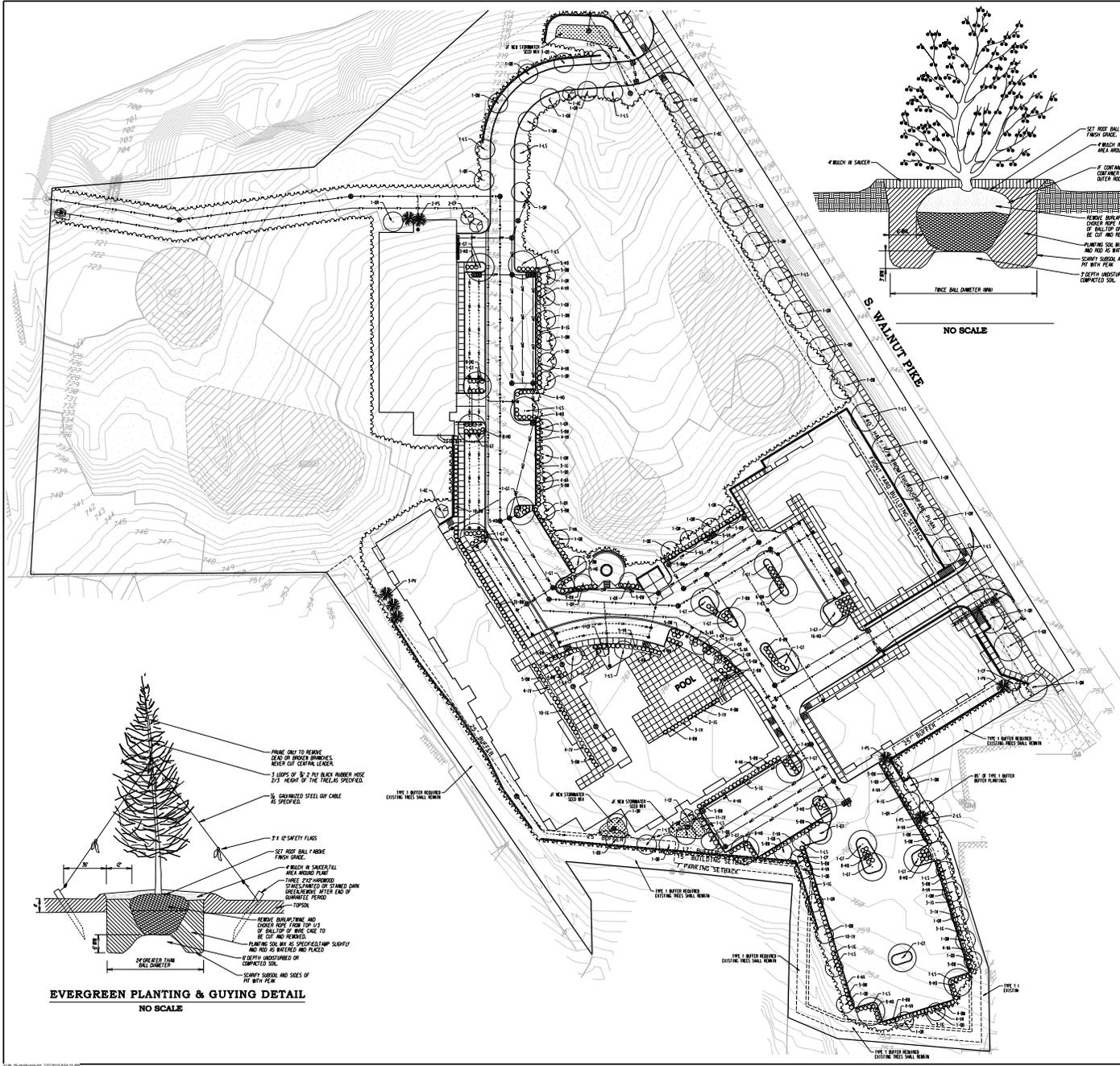
4 OF 11

UTILITY PLAN

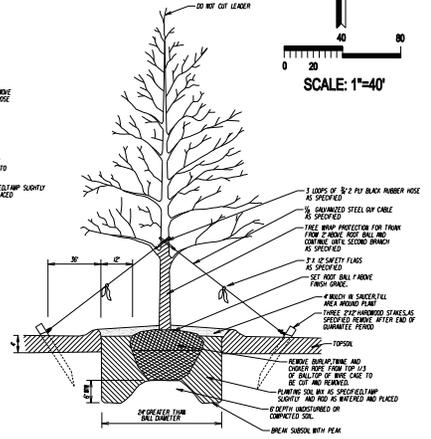
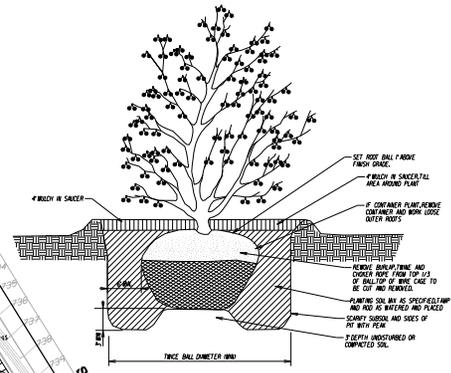
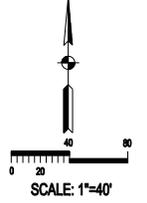


INLET NO.	CASTING	DESCRIPTION	LENGTH	SIZE	TYPE	SP. INV.	DN. INV.	UP. INV.	CL. & E.	CONNECTION
101	48-2000	18\"/>								

SP-18-15  
Utility Plan



**GENERAL NOTES**  
 11. TOPSOILS AND BROWNSUB SOILS PROVIDED BY BLEDGE RIGGERT AND GERRITZ ET AL. ENTITLED: ALTA ACUM LAND TITLE, CORP. A PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 14, 18N, 10W, MEMPHIS CO., INDIANA WALNUT STREET TRACE FOR DR. TOPOLUS DATED FEB. 4, 2015



**TREE PLANTING & GUYING DETAIL**  
NO SCALE

**5. Walnut Pike Multifamily**

**Street Trees Required**

1 tree required for every 40 ft of property that abuts ROW, Walnut Pike 761 ft of ROW - 20 trees required

**Parking lot Requirements: 169 Surface Parking Spaces**

One large canopy tree required for every 4 large spaces, tree required, 43 new large canopy trees, 43 new large canopy trees provided, 2 in islands 3 shrubs required for every parking space, 507 shrubs required, 507 provided 50% evergreen (Boxwood and Inkberry). Some parking lot perimeter shrubs were within the islands and bumpouts because of lack of space around the parking lot perimeter.

**Landscape Bumpout and Islands**

1 large canopy tree required per bumpout and island, 15 bumpouts and islands provided, 15 new large canopy trees provided in islands.

**Interior plantings**

Total area: 4.4 ac (area of development), Parking and buildings = 2.91 ac Area not covered by building or parking lot = 1.49 ac 34 large canopy trees, 5 evergreen trees and 5 med or small canopy trees required per acre of site not covered by building parking lot or structure. 21 large canopy trees required, 8 evergreen trees required and 8 med or small trees required 36 shrubs required per acre of site not covered by parking lot or structure. 54 Shrubs required, 50% evergreen, 56 shrubs provided in 53% evergreen (Boxwood and Inkberry)

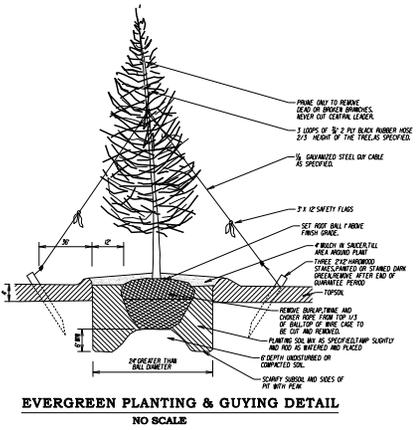
**Buffer Yard along RS zone**

Type 1 (10') required on the RS zones 1 Deciduous canopy tree, Existing trees shall be preserved along RS 85' of buffer landscape added (3 trees)

**Species Diversity**

Maximum of one species of tree provided is 25%

LANDSCAPE PLANT TABLE					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>TREES</b>					
AC	2	AMELANCHIER canadensis	Shadblow Serviceberry	2" Caliper	
CP	4	CORNUS Florida	Flowering Dogwood	2" Caliper	
CF	4	CRATAEGUS phoenopyrum	Washington Hawthorn	2" Caliper	
CT	20	CLEISTHIA triflorum	Thornless Honeylocust	2" Caliper	
LS	20	LIGULAMBAR styraciflura	Sweet Gum	2" Caliper	
PS	4	PINUS strobus	White Pine	6' Hgt.	
Pv	4	PINUS virginiana	Virginia Pine	6' Hgt.	
OC	5	QUERCUS	Crimson Spire Oak	2" Caliper	
GM	25	QUERCUS rubra	Red Oak	2" Caliper	
GM	17	QUERCUS BICOLOR	WHITE OAK	2" Caliper	
GM	16	QUERCUS MACROCARPA	BUR OAK	2" Caliper	
<b>SHRUBS</b>					
EM	237	BUXUS "Green Mountain"	Green Mountain Boxwood	3 Gallon	
IV	25	ITEA virginica	Virginia Sweetshrub	3 Gallon	
HD	93	HYDRANGEA quercifolia	Dotted Hydrangea	3 Gallon	
VA	100	VIBURNUM acerifolium	Mopistead viburnum	3 Gallon	
TO	68	ILLEX GLABRA	INKBERRY	3 Gallon	



**EVERGREEN PLANTING & GUYING DETAIL**  
NO SCALE

Smith Brubaker & Associates, Inc.  
 445 S. Carter Boulevard  
 Bloomington, IN 47404  
 Tel: (317) 342-5400  
 Fax: (317) 342-5413  
 Web: http://smithbrubaker.com

CONTRACTOR SIGNATURE  
 \_\_\_\_\_

JOB TITLE  
**ECHO PARK APARTMENTS**  
 BLOOMINGTON, IN.

REV.	DATE	BY

DESIGNED BY: D.J.K.  
 DRAWN BY: D.J.K.  
 CHECKED BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_

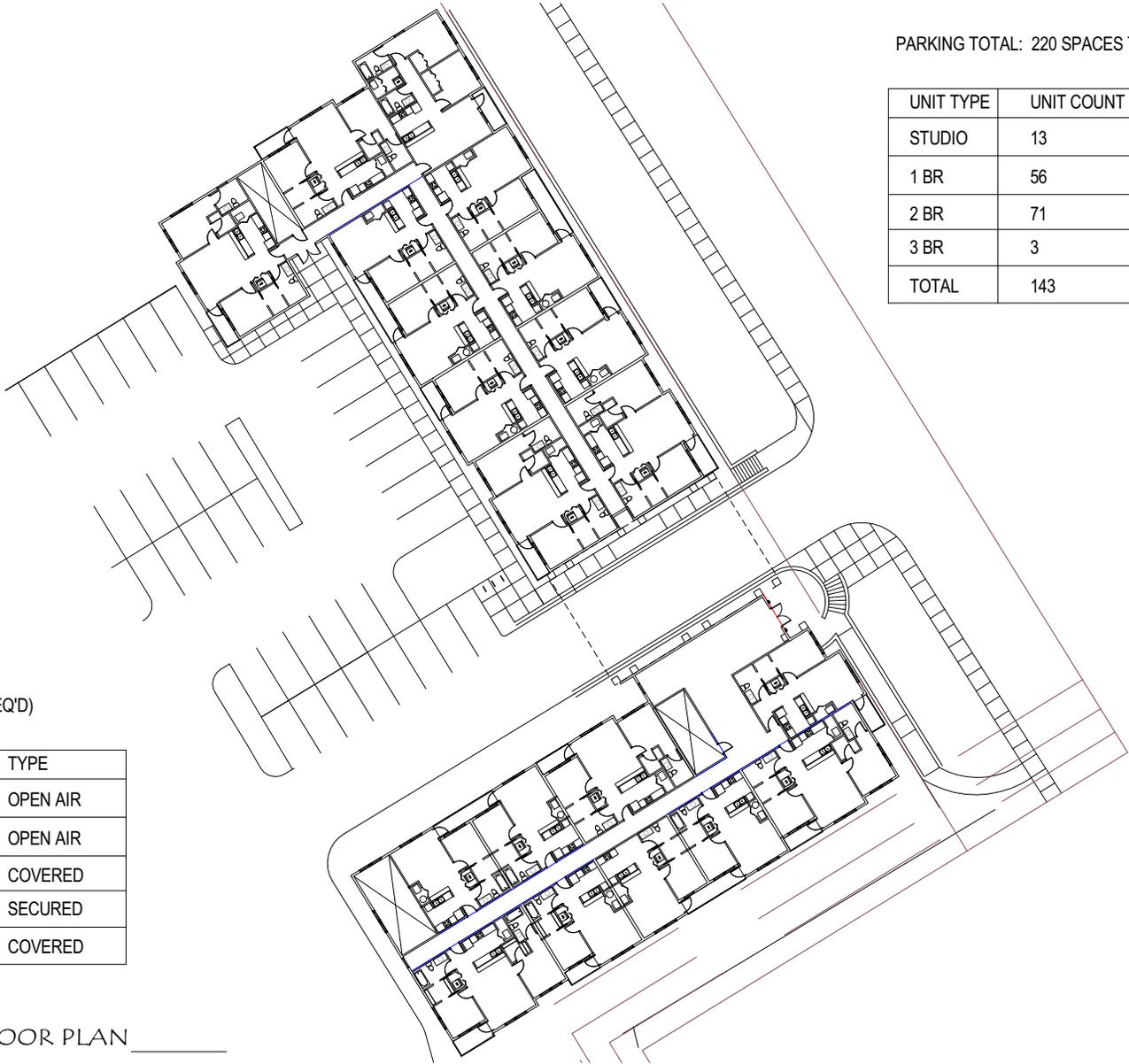
JOB NUMBER: **5146**  
**SHEET**  
**5 OF 11**

DATE: **07/27/15**

LANDSCAPE PLAN

SP-18-15  
 Landscaping Plan

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PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
<b>TOTAL</b>	<b>143</b>	<b>220</b>

BIKE PARKING: 46 PROVIDED (37 REQ'D)

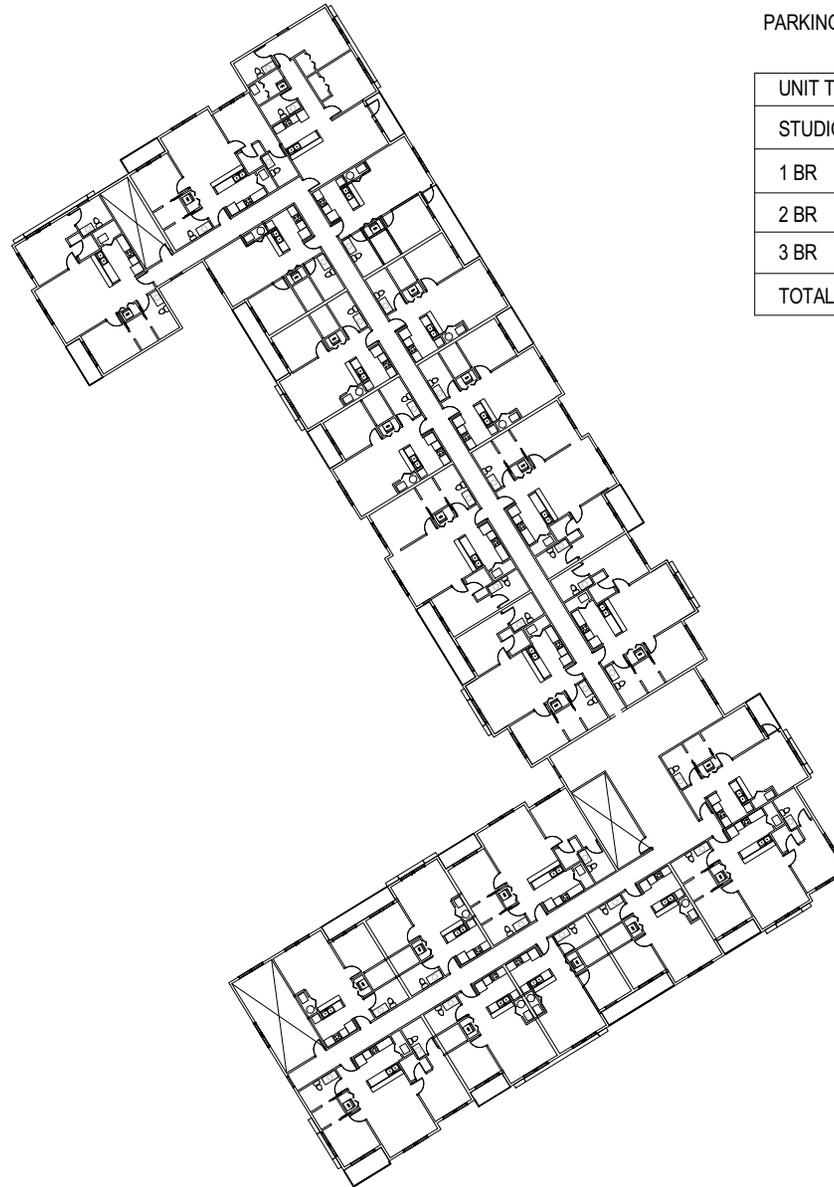
BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



**Level 1A FLOOR PLAN**  
 1/32" = 1'-0"

PROJECT NO. <b>15024</b>	DATE <b>07-27-15</b>	SHEET NUMBER <h1 style="font-size: 2em;">A1</h1>
		SHEET DESCRIPTION <b>BUILDING A - LEVEL 1 FLOOR PLAN</b>
<b>ECHO PARK</b> BLOOMINGTON, INDIANA		
		

**SP-18-15**  
**Building A Floor Plan**



PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
<b>TOTAL</b>	<b>143</b>	<b>220</b>

BIKE PARKING: 46 PROVIDED (37 REQ'D)

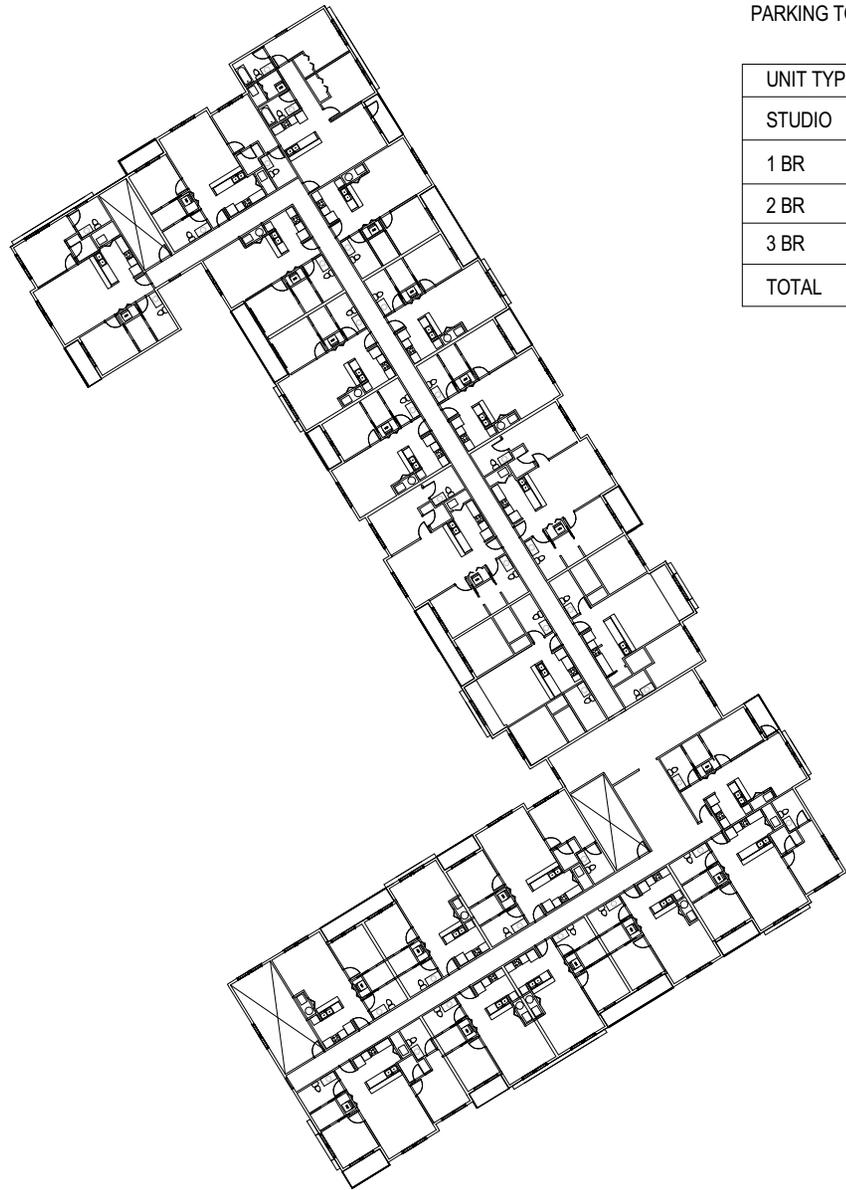
BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



**Level 2A FLOOR PLAN**  
 1/32" = 1'-0"  
 NORTH

SHEET NUMBER	<b>A2</b>
SHEET DESCRIPTION	<b>BUILDING A - LEVEL 2 FLOOR PLAN</b>
PROJECT NO.	<b>15024</b>
DATE	<b>07-27-15</b>
<b>ECHO PARK</b> BLOOMINGTON, INDIANA	
	

**SP-18-15**  
**Building A Floor Plan**



PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
<b>TOTAL</b>	<b>143</b>	<b>220</b>

BIKE PARKING: 46 PROVIDED (37 REQ'D)

BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



**Level 3A FLOOR PLAN**  
 1/32" = 1'-0"  
 NORTH

SHEET NUMBER  
**A3**

SHEET DESCRIPTION  
**BUILDING A -  
 LEVEL 3  
 FLOOR PLAN**

PROJECT NO.  
**15024**

DATE  
**07-27-15**

**ECHO PARK**  
 BLOOMINGTON, INDIANA


**STUDIO  
 THREE  
 DESIGN**

**SP-18-15**  
**Building A Floor Plan**



1 BUILDING A - NORTH-EAST ELEVATION  
A4 1/32" = 1'-0"



2 BUILDING A - NORTH-WEST ELEVATION  
A4 1/32" = 1'-0"

SHEET NUMBER

A4

SHEET DESCRIPTION

BUILDING A -  
ELEVATIONS

PROJECT NO.

15024

DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA





1 BUILDING A - SOUTH-EAST ELEVATION  
 A5 1/32" = 1'-0"



2 BUILDING A - SOUTH-WEST ELEVATION  
 A5 1/32" = 1'-0"

SHEET NUMBER <b>A5</b>	
SHEET DESCRIPTION <b>BUILDING A - ELEVATIONS</b>	
PROJECT NO. <b>15024</b>	DATE <b>07-27-15</b>
<b>ECHO PARK</b> BLOOMINGTON, INDIANA	
<b>STUDIO THREE DESIGN</b>	

SP-18-15  
 Building A Elevations



RENDERED VIEW FROM WALNUT PIKE

PROJECT NO. <b>15024</b>		SHEET NUMBER <b>A20</b>
DATE <b>07-27-15</b>		SHEET DESCRIPTION <b>RENDERING -WALNUT PIKE</b>
<b>ECHO PARK</b> BLOOMINGTON, INDIANA		
 <b>STUDIO THREE DESIGN</b>		

SP-18-15  
Building A Rendering



BUILDING A - RENDERING

SHEET NUMBER

A6

SHEET DESCRIPTION

BUILDING A -  
RENDERING

PROJECT NO.

15024

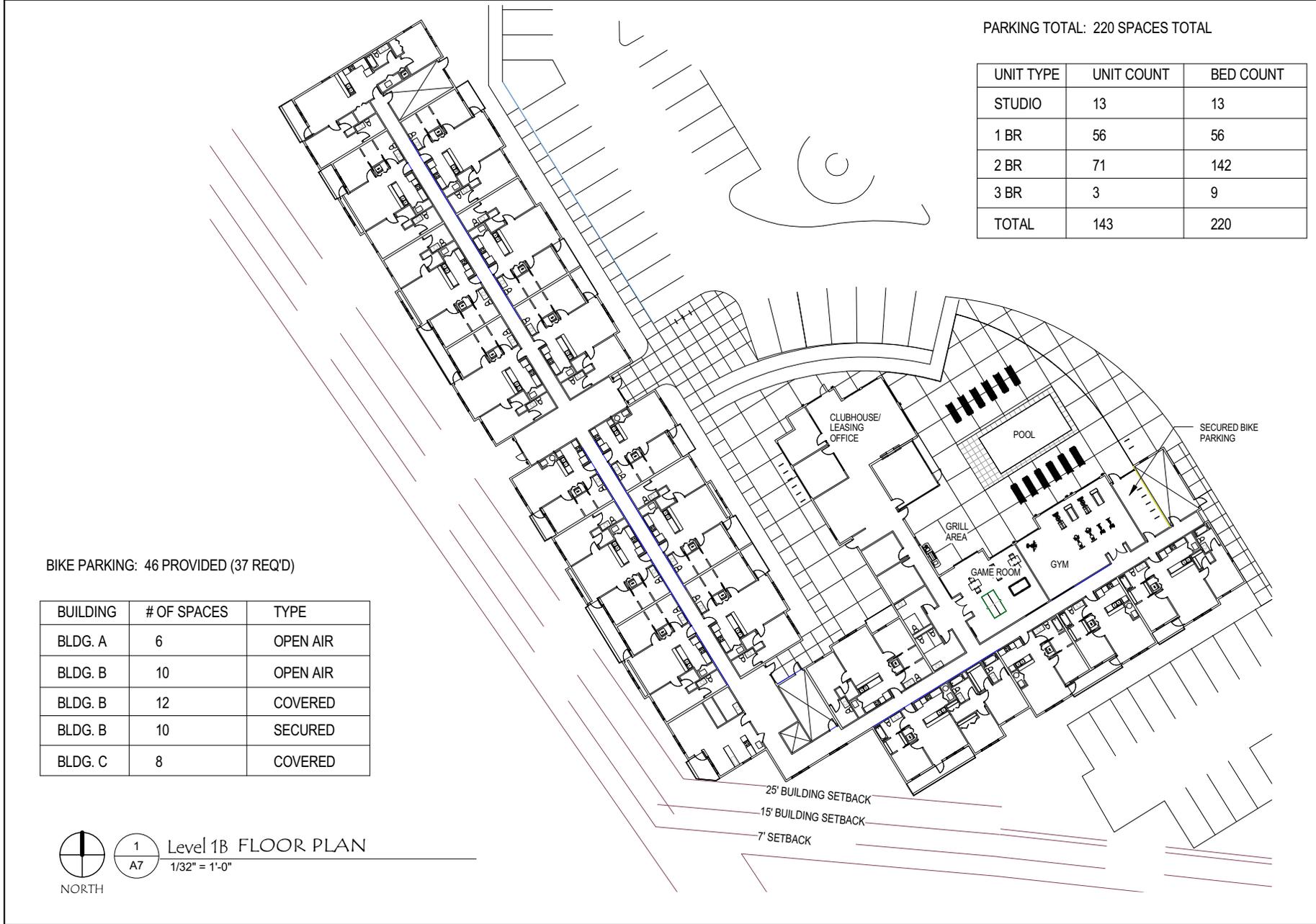
DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA





PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
<b>TOTAL</b>	<b>143</b>	<b>220</b>

BIKE PARKING: 46 PROVIDED (37 REQ'D)

BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



**Level 1B FLOOR PLAN**  
 1/32" = 1'-0"

SHEET NUMBER	<b>A7</b>
SHEET DESCRIPTION	<b>BUILDING B - LEVEL 1 FLOOR PLAN</b>
PROJECT NO.	<b>15024</b>
DATE	<b>07-27-15</b>
<b>ECHO PARK</b> <small>BLOOMINGTON, INDIANA</small>	
	

**SP-18-15**  
**Building B Floor Plan**



PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
TOTAL	143	220

BIKE PARKING: 46 PROVIDED (37 REQ'D)

BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED


1  
A8
 Level 2B FLOOR PLAN  
 1/32" = 1'-0"

SHEET NUMBER

A8

SHEET DESCRIPTION

BUILDING B -  
LEVEL 2  
FLOOR PLAN

PROJECT NO.

15024

DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA



SP-18-15  
Building B Floor Plan



PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
<b>TOTAL</b>	<b>143</b>	<b>220</b>

BIKE PARKING: 46 PROVIDED (37 REQ'D)

BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



**Level 3B FLOOR PLAN**  
 1/32" = 1'-0"

SHEET NUMBER

**A9**

SHEET DESCRIPTION

**BUILDING B -  
LEVEL 3  
FLOOR PLAN**

PROJECT NO.  
**15024**

DATE  
**07-27-15**

**ECHO PARK**

BLOOMINGTON, INDIANA





1 BUILDING B - NORTH-EAST ELEVATION  
A10 1/32" = 1'-0"



2 BUILDING B - NORTH-WEST ELEVATION  
A10 1/32" = 1'-0"

SHEET NUMBER

A10

SHEET DESCRIPTION

BUILDING B -  
ELEVATIONS

PROJECT NO.

15024

DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA





1 BUILDING B - SOUTH-EAST ELEVATION  
A11 1/32" = 1'-0"



2 BUILDING B - SOUTH-WEST ELEVATION  
A11 1/32" = 1'-0"

SHEET NUMBER

A11

SHEET DESCRIPTION

BUILDING B -  
ELEVATIONS

PROJECT NO.

15024

DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA





BUILDING B - RENDERING

SHEET NUMBER

A12

SHEET DESCRIPTION

BUILDING B -  
RENDERING

PROJECT NO.

15024

DATE

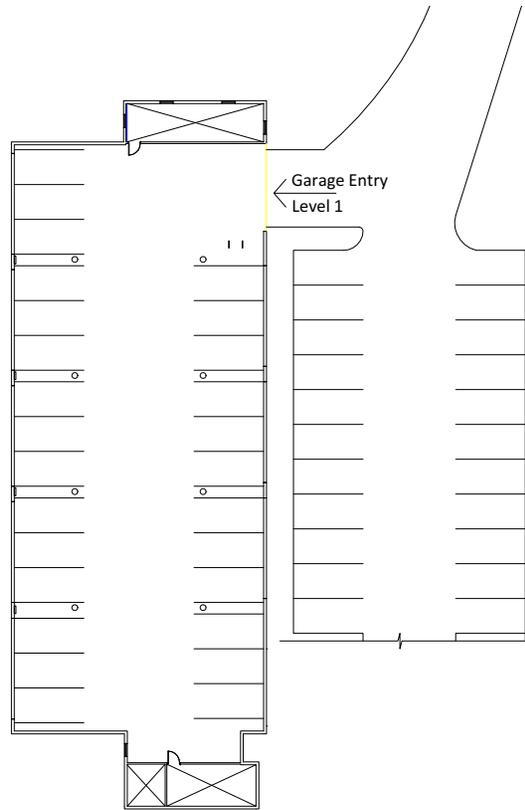
07-27-15

ECHO PARK

BLOOMINGTON, INDIANA



SP-18-15  
Building B Rendering



BIKE PARKING: 46 PROVIDED (37 REQ'D)

BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED

PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
TOTAL	143	220

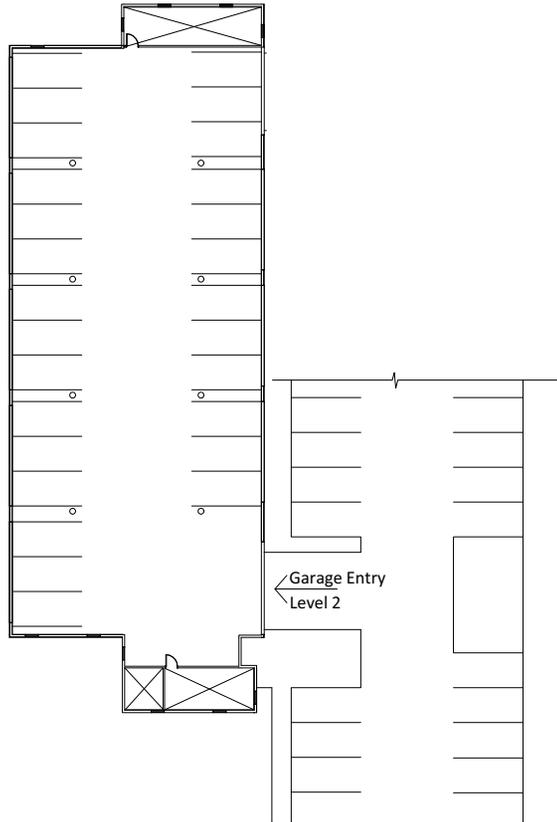


 Level 1C FLOOR PLAN  
 1/32" = 1'-0"

PROJECT NO. <b>15024</b>	DATE <b>07-27-15</b>	<b>ECHO PARK</b> <small>BLOOMINGTON, INDIANA</small>
SHEET DESCRIPTION <b>BUILDING C - LEVEL 1 FLOOR PLAN</b>		SHEET NUMBER <b>A13</b>
		

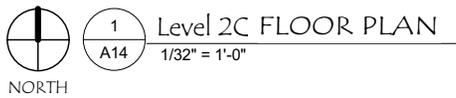
PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
TOTAL	143	220



BIKE PARKING: 46 PROVIDED (37 REQ'D)

BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



SHEET NUMBER  
**A14**

SHEET DESCRIPTION  
**BUILDING C -  
LEVEL 2  
FLOOR PLAN**

PROJECT NO.  
**15024**

DATE  
**07-27-15**

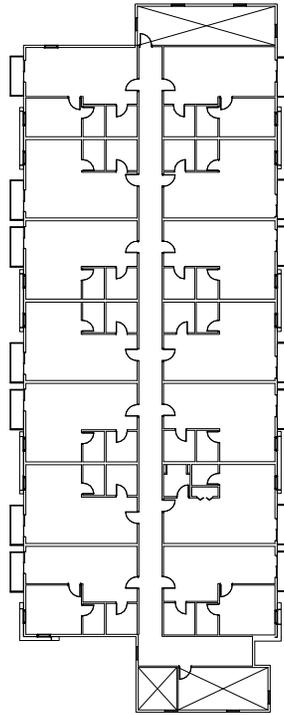
**ECHO PARK**  
BLOOMINGTON, INDIANA



**SP-18-15**  
**Building C Floor Plan**

PARKING TOTAL: 220 SPACES TOTAL

UNIT TYPE	UNIT COUNT	BED COUNT
STUDIO	13	13
1 BR	56	56
2 BR	71	142
3 BR	3	9
<b>TOTAL</b>	<b>143</b>	<b>220</b>



BIKE PARKING: 46 PROVIDED (37 REQ'D)

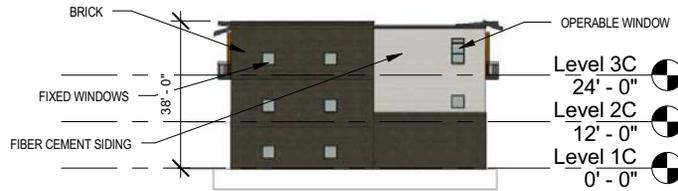
BUILDING	# OF SPACES	TYPE
BLDG. A	6	OPEN AIR
BLDG. B	10	OPEN AIR
BLDG. B	12	COVERED
BLDG. B	10	SECURED
BLDG. C	8	COVERED



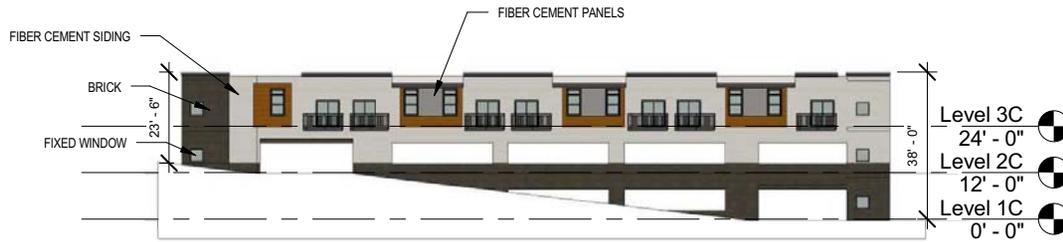
**Level 3C FLOOR PLAN**  
 1/32" = 1'-0"

PROJECT NO. <b>15024</b>		SHEET NUMBER <b>A15</b>
DATE <b>07-27-15</b>		
SHEET DESCRIPTION <b>BUILDING C - LEVEL 3 FLOOR PLAN</b>		
<b>ECHO PARK</b> BLOOMINGTON, INDIANA		
		

**SP-18-15**  
**Building C Floor Plan**



2 BUILDING C - NORTH ELEVATION  
A16 1/32" = 1'-0"



1 BUILDING C - EAST ELEVATION  
A16 1/32" = 1'-0"

SHEET NUMBER

A16

SHEET DESCRIPTION

BUILDING C -  
ELEVATIONS

PROJECT NO.

15024

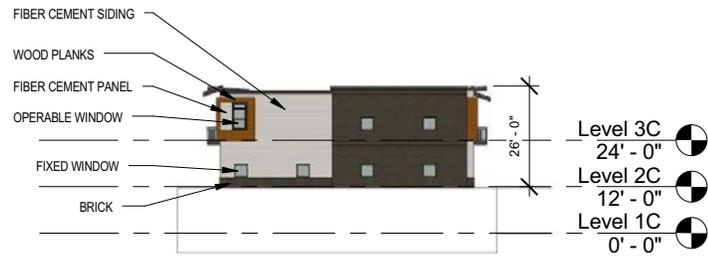
DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA





1 BUILDING C - SOUTH ELEVATION  
A17 1/32" = 1'-0"



2 BUILDING C - WEST ELEVATION  
A17 1/32" = 1'-0"

SHEET NUMBER

A17

SHEET DESCRIPTION

BUILDING C -  
ELEVATIONS

PROJECT NO.

15024

DATE

07-27-15

ECHO PARK

BLOOMINGTON, INDIANA





BUILDING C - RENDERING

SHEET NUMBER

A18

SHEET DESCRIPTION

BUILDING C -  
RENDERING

PROJECT NO.

15024

DATE

07-27-15

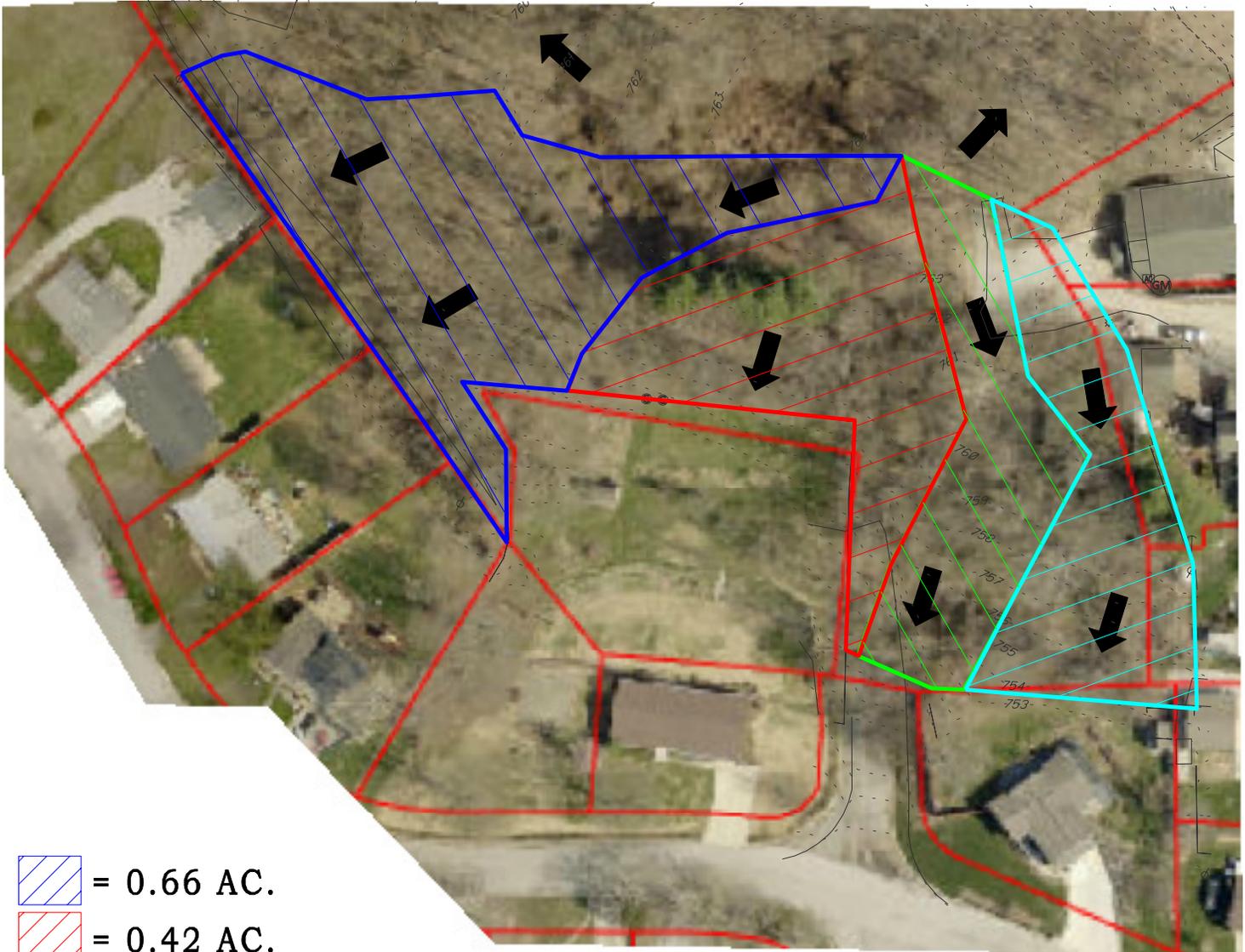
ECHO PARK

BLOOMINGTON, INDIANA



SP-18-15  
Building C Rendering

# ECHO PARK APARTMENTS PRECONSTRUCTION DRAINAGE



 = 0.66 AC.

 = 0.42 AC.

 = 0.32 AC.

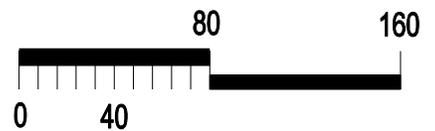
 = 0.33 AC.

 = DIRECTION OF FLOW

Smith Brehob & Associates, Inc.



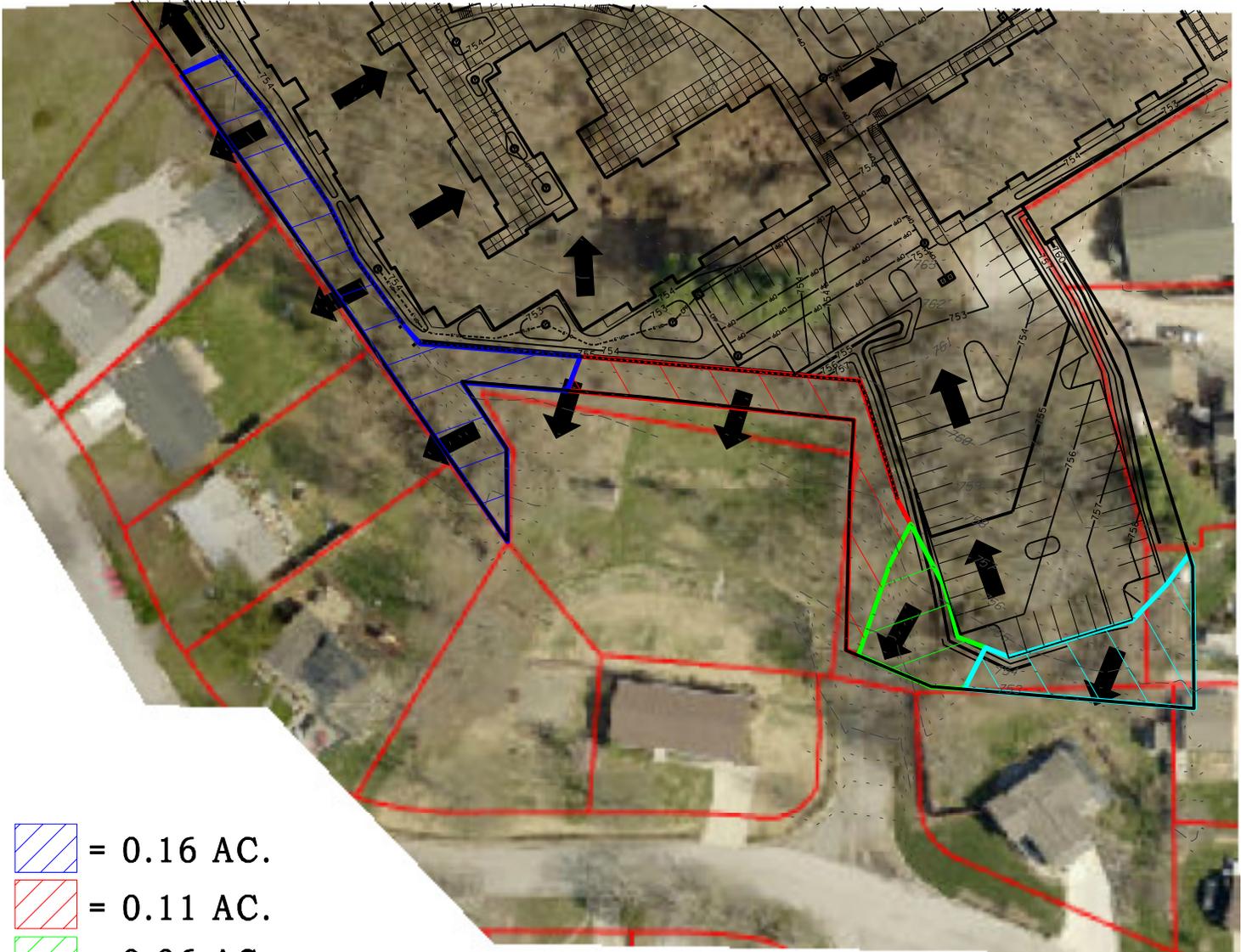
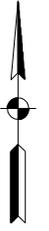
453 S. Clarizz Boulevard  
Bloomington, Indiana, 47401  
Telephone: (812) 336-6536



SCALE: 1"=80'

SP-18-15  
Pre-construction drainage basins

# ECHO PARK APARTMENTS POST CONSTRUCTION DRAINAGE



 = 0.16 AC.

 = 0.11 AC.

 = 0.06 AC.

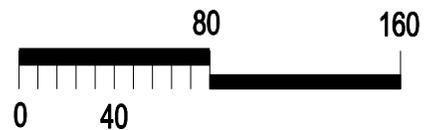
 = 0.09 AC.

 = DIRECTION OF FLOW

Smith Brehob & Associates, Inc.



453 S. Clarizz Boulevard  
Bloomington, Indiana, 47401  
Telephone: (812) 336-6536  
Fax: (812) 336-0512



SCALE: 1"=80'

SP-18-15  
Post-construction drainage basins

Richard A. Phillips (812) 336-9142 August 3, 2015  
174 E. Sunny Slopes Dr. raphillips5@comcast.net  
Bloomington, In. 47401

Commissioner James Roach

Dear Mr. Roach,

I along with other neighbors in the Sunny Slopes addition have several concerns about the proposed Echo Park apartments.

We have a severe flooding problem where my wife and I live at 174 E. Sunny Slopes Dr. Our house is located at the south end of a cul-de-sac. Our house is built on a hill where the front of the house opens at the top of the hill on Sunny Slope Dr. and the basement is a walkout basement that opens at the bottom of the hill.

Storm water flows into our cul-de-sac from Sunny Slopes Dr. from both directions (east and west). When we have a heavy rain, our street turns into a river. The water level rises above the curb and flows into our yard. The storm water runs up against our house and to the west side of our property. The storm water has eroded the ground in front of our house and our basement floods. We have had our basement waterproofed twice and we have a total of three sump pumps. The waterproofing system cannot keep up with the volume of water coming from the street. The storm water has also created a sink hole in our neighbor's yard to our west.

I have a great concern that the storm water runoff from Echo Park could add to the flooding problem at our home location. Even though I brought this topic before with the Bloomington Planning Commission, I would like this concern discussed at the August 10<sup>th</sup> Bloomington Planning Commission meeting. I am also interested in how the Bloomington Utilities will work with the Echo Park developers as far as storm water drainage from the apartment is concerned. I would like to know the services and arrangements the Bloomington City Utilities will make with the developers of the Echo Park apartment. (Please see the images on the last two pages of this letter that illustrates the flooding).

My second concern with the proposed Echo Park apartments is increased traffic caused by the residents of Echo Park and certain safety issues. The residents of Echo Park only have two entrances to their apartments, both of which are on Walnut Street Pike between Winslow Road and Henderson Street at the top of the hill. The increase traffic from the residents of Echo Park who are coming from and going to their apartments will affect the traffic on Winslow Drive and southbound Walnut Street Pike. This increase in traffic would make it harder for residents of nearby additions to turn on to Walnut Street Pike. I would like for the

city of Bloomington to conduct a traffic study on all of the streets involved with the Echo Park project. This would include Winslow Drive from South Walnut Street to Henderson Street, Henderson Street from Winslow Drive to Walnut Street Pike, Walnut Street Pike between Winslow Drive and the intersection of Henderson Street and Walnut Street Pike, and southbound Walnut Street Pike to East Allendale Drive.

The winter season presents a special hazard on Walnut Street Pike where the entrances to the Echo Park apartments would be. The section of Walnut Street Pike that runs between Winslow Road and Henderson Street is on a steep hill. There is increased risk of accidents due to freezing rain and heavy snow. I would also like this to be addressed at the Bloomington Planning Commission meeting.

I appreciate your interest in our concerns.

Yours truly,

Richard A. Phillips



Looking south towards 174 E. Sunny Slopes Dr. from circle



Looking west from the east side of driveway at 174 E. Sunny Slopes Dr.



James Roach &lt;roachja@bloomington.in.gov&gt;

**S. Walnut Street Pike**

Jeni Waters &lt;waters.jeni@gmail.com&gt;

Mon, Jul 13, 2015 at 3:08 PM

To: Beth Rosenbarger &lt;rosenbab@bloomington.in.gov&gt;

Cc: James Roach &lt;roachja@bloomington.in.gov&gt;

I am writing to respectfully ask you to consider the viability of the plans being proposed by Pavilion Properties to develop high-rise apartments in the back yard of a small neighborhood of homes near the Walnut Street Pike property. I understand that it is your responsibility to make sure that laws are obeyed and a development will be profitable, but please take into consideration some of the following when deciding if this plan is best for the property tax paying home owners and the community overall.

The City Planning Department and proposed developers may or may not be aware of some significant shifting of the land over the last few years. The land has shifted the slopes bordering the homes on Sunny Slopes Dr. downward enough in the last year to cause cracking of concrete patios, driveways and even causing foundation issues. Also, the properties on Sunny Slopes Dr. have been subject to significant water pooling and even some flooding due to runoff water from the sloping land. I am very concerned that construction of the Walnut Street Pike woods and covering with concrete so near to the homes would significantly exacerbate both issues.

With a large low-income population in the area, the residents of the Sunny Slopes neighborhood have been the victim of countless break-ins, both auto and home as well as vandalism. There is a great chance that sandwiching this neighborhood between low-income and high-income residents will cause a major increase in traffic of criminal activity and cause undue safety issues to the residents, who are comprised of elderly and families with young children.

It is my understanding that the development goals of the City of Bloomington are to provide affordable housing to the Bloomington community. From the information I received, Pavilion Properties intends to charge \$900 per month for a one bedroom apartment. I'm not sure I've ever met anyone who would consider this affordable. This leads me to question who they're really marketing to. According to Pavilion Properties, they are targeting small families and grad students, but what grad student can afford \$900 a month for rent, and what small family would want to cram themselves into a one bedroom apartment? So who will rent these apartments? Young college kids with rich parents. And what do they like to do? Party and make noise. In my opinion, placing them far from campus and in a small family oriented neighborhood would only cause a nuisance to the neighboring residents and give them a longer drunken drive home from the bars on the weekends.

In addition to my concerns of how this development will affect the topography, crime rate and what type of people it will attract, I am very concerned about how this will affect our property value as homeowners. Some may say that high end apartments will raise property values, but when a three story high rise in someone's backyard (literally...only feet away) replaces a beautiful wooded view, I can't help but think that the property value will only go down. No one wants a towering wall of windows peering into their back yard, especially when their neighbors were previously limited to wildlife. There will no longer be privacy and safety for our children to play in their own back yards and the quality of life in our homes will be severely impacted.

If this development absolutely has to happen, I would greatly appreciate consideration of relocating the building directly bordering the homes on Sunny Slopes Dr. With all of the land available, why does this building have to butt up right against our back yards? Can this not be considered the nature preserve area? By relocating the one building and putting the nature preserve along Sunny Slopes Dr., issues such as rain runoff, resident privacy and loss of property value would not exist. Alternatively, I would request that at the absolute minimum, providing some kind of real buffer to separate the apartment building from our back yards. A thin line of trees is not going to do anyone any good.

As I said in the beginning, I do understand that your primary concerns are legal and financial, but please, PLEASE, consider the feelings and well-being of the property tax paying homeowners in your community. We in the Sunny Slopes neighborhood have all worked so hard for our homes and this development with plans "as is" will have a great and negative impact on many facets of our lives. Lives that we have devoted to the city we love and want to remain a part of.

Respectfully,

Jennifer Waters  
155 E. Sunny Slopes Dr.  
Bloomington, IN 47401  
(812) 679-8748

On Thu, Jul 9, 2015 at 5:03 PM, Beth Rosenbarger &lt;rosenbab@bloomington.in.gov&gt; wrote:

[Quoted text hidden]

SP-18-15  
Letter from neighbor



James Roach &lt;roachja@bloomington.in.gov&gt;

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**Echo Park /Sunny Slopes****Beth Baxter** <bethbaxter@sbcglobal.net>

Reply-To: Beth Baxter &lt;bethbaxter@sbcglobal.net&gt;

To: "roachja@bloomington.in.gov" &lt;roachja@bloomington.in.gov&gt;

Tue, Aug 4, 2015 at 2:40 PM

Dear James,

I do not know if anyone in the neighborhood has emailed you but in case they have not I made a list of some of the concerns:

- How much of a buffer there will be between the trees and the neighborhood
- Erosion concerns when the trees are cut down
- Traffic from cars cutting thru our neighborhood
- Light Pollution
- Noise
- The height issue of the apartments
- The building materials
- How much of the view of the forest will be blocked by the development
- Drainage issues getting worse for our street which already floods when it rains

These were my notes from last week's meeting.

We have another meeting tonight

I am trying to form a neighborhood Ass. here in Sunny Slopes and will be contacting Vicki soon

Sincerely,

Beth

SP-18-15 Letter from neighbor
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James Roach &lt;roachja@bloomington.in.gov&gt;

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**August 10 hearing**

David Keppel <keppel@sbcglobal.net>  
To: James Roach <roachja@bloomington.in.gov>  
Cc: Sharon Dalton <pegasus.properties@gmail.com>

Fri, Jul 24, 2015 at 4:37 PM

Dear Mr. Roach,

It was a pleasure to speak to you today about the Studio 3 Design proposal for apartments at 3300 S. Walnut Street Pike. Sherwood Hills II is not ready to take a final position on the proposal. I believe our preliminary concerns would center on traffic and on water runoff. On traffic, I am particularly concerned about the safety for pedestrians and cyclists of the intersection of Walnut Street Pike and Winslow Road. It is already dangerous (especially from East-bound cars on Winslow making a fast right onto Walnut Street Pike and failing to see a pedestrian trying to cross), and problems would get worse with increased traffic. At a minimum there would need to be a four-way stop sign. I urge the City to do this before we have a serious injury or loss of life.

Another serious issue is water runoff, which would be exacerbated by more asphalt. The Planning Commission must ensure there are adequate measures to contain this.

As more information becomes available, I may submit further concerns on behalf of the Sherwood Hills II Homeowners' Association, but the comments above are ones I do hope the Planning Commission and the Transportation Department will consider now.

With thanks and best wishes,

David Keppel  
President, Sherwood Hills II Homeowners' Association  
890 East Sherwood Hills Drive  
Bloomington, IN 47401-8107  
[\(812\) 272-0597](tel:8122720597)

SP-18-15  
Letter from neighbor



James Roach &lt;roachja@bloomington.in.gov&gt;

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**Class-A Multifamily project on South Walnut Pike**

Roger Kugler <roger@hoosierwoodworks.com>  
To: roachja@bloomington.in.gov

Mon, Aug 3, 2015 at 9:44 AM

Dear Mr. Roach,

In regards to the new sub-division being built north of the Sunny Slopes addition I would like to express a few concerns:

1. Proximity to neighbors on Sunny Slopes- These neighbors on the north side have enjoyed a wooded backyard for nearly 60 years. I don't believe the 10 foot buffer is enough to truly create a separation between the two neighborhoods. I live on E Ridgeview Dr and remember the collaboration between the Ridgeview residents, city officials and Tom Martin the developer of the wooded area south of us around 1999/2000. It was agreed that when the property sold and building started a berm about 5' high would be built and evergreen trees planted atop to create a year round visual and sound barrier. In addition Mr. Martin agreed to build a fence along the property line as a physical barrier. I would like to see these measures considered for the northern boundary of Sunny Slopes addition.
2. Light Pollution- I would strongly encourage the developer and city work to limit the amount of light escaping the property, both vertically and horizontally. Special attention should be given to shroud light sources to eliminate direct view by Sunny Slopes residents and to establish a method residents could use to work with the developers to correct any problems.
3. Increased Traffic- Cut through traffic on Ridgeview, Brookside and Sunny Slopes has increased significantly with the addition of new residences on the East side of Walnut Street Pike. This cut-through traffic travels at a greater speed than do most residents. I ask the city to be cognitive of this and make every effort to not increase this problem and perhaps, to offer solutions to reduce speed and traffic. Currently the speed limit is 30 MPH, the same as on four-lane S. Walnut in front of the high school.

Thank you for taking the time to hear my concerns.

Respectfully,  
Roger Kugler

--  
Roger Kugler  
Hoosier Woodworks  
118 E Ridgeview Dr  
Bloomington, IN 47401  
812.325.9823  
[www.hoosierwoodworks.com](http://www.hoosierwoodworks.com)  
<http://www.hoosierwoodworksstore.com>  
<https://www.etsy.com/shop/hoosierwoodworks>  
[roger@hoosierwoodworks.com](mailto:roger@hoosierwoodworks.com)

SP-18-15  
Letter from neighbor



James Roach &lt;roachja@bloomington.in.gov&gt;

**Proposed development, Walnut St Pike and Sunny Slopes**

Kutnicki, Saul Davis &lt;skutnick@indiana.edu&gt;

Wed, Aug 5, 2015 at 10:16 AM

To: "roachja@bloomington.in.gov" &lt;roachja@bloomington.in.gov&gt;

Dear Mr. Roach,

As I am sure you know by now, many of the residents in the Sunny Slopes neighborhood in South Bloomington are concerned about the potential development of a 143-unit apartment complex on the wooded hill that backs up to many of the homes in the area. These concerns are diverse and address many different perceived effects of such a large development. However, I would like to use this email to inform you of some of my own concerns and highlight why I am strongly opposed to the scale and impact of the project.

I live at 135 E Sunny Slopes and decided to make my home here, while I attended graduate school at Indiana University. Some of the things I love about living here are the proximity to an excellent public transit system, the nearby B-Line, the quiet and tucked away patches of backyard that many of the houses here enjoy, and the wonderful mix of people whom I call my neighbors. But one of the best things about this neighborhood are the trees, especially those in the old woods behind my house. These woods provide a rich ecosystem for a variety of wildlife, such as red tail hawks, foxes, salamanders, countless small birds and mammals, and trees that were likely here before most of us. I consider this wildlife to be part of the neighborhood ecosystem. They may not be able to vote, and we may have our petty disagreements about how many tomatoes disappear from my vegetable garden, but I consider their homes to be just as much at stake right now as my own. While some woods will be preserved during the development of the landscape and will not be demolished as a result of the proposed project, I do not believe that the full environmental impact has been considered concerning what will be destroyed, especially since these particular woods are surrounded on three sides by roadways, leaving few options for some wildlife to migrate safely and for others to continue to thrive.

These three roadways, incidentally, will be suddenly occupied by a large number of cars associated with the 143-unit development. In my opinion, it is unclear at this time whether the current civic landscape can accommodate such a condensed amount of traffic, which would be further congested by fleeing wildlife. I am concerned about the readiness of the city to absorb the increased traffic and the subsequent hazards that might be expected when the suburban infrastructure is impacted by such a large development. While I have been informed that the city and developer plan to make improvements to sidewalk accessibility and traffic control, none of these seem to take into account the complexity of vehicular traffic as it currently exists and how that complexity will be compounded by the apartment complex being proposed. This includes not only the final impact of the project, but the projected months dedicated to construction and deforestation that precede it.

While the nature of the construction project itself, from my understanding, has met all the legal criteria to comply with zoning laws, this does not make such a development a good idea. What's more, I am not convinced that either the city, or the developers have assessed the full environmental impact of eliminating approximately 40% of a densely wooded area, such as this one. For instance, while there have been rumors of a tree buffer to be maintained between the back of the development and the Sunny Slopes neighborhood, a plan has not been established for how those trees are to be continuously protected, nor is it clear how the construction project will assuredly protect underground root systems that may stretch as far as 20-30 feet beyond the base of the tree line. Arborists and landscape architects will attest that if you destroy a tree's root system, then the tree will follow. If a parking lot or building foundation is placed next to a tree line, those trees will most likely eventually die off eliminating much more forest than the developers claim to preserve. The age of these trees and the forest as a whole does not seem worth the risk of this scale of destruction.

While I have chosen to focus mostly on the environmental impact of the development being proposed, I know that my neighbors have many more concerns that are equally important for the city and developers to consider. I recommend that the project planned for the lot behind the Sunny Slopes neighborhood be postponed until as many of these concerns can be addressed and responded to with evidence and careful study of the *full* impact of the project. In the end, I believe that the developers and the city will find that the project would be best constructed elsewhere, since there are many areas in the city that would benefit greatly from a development like this. If they reach this conclusion, I believe it will be for the good for them, good for the Sunny Slopes community, good the future tenants of the apartment complex, and good for a thriving ecosystem that Bloomington has an opportunity to preserve.

Sincerely,

Saul Kutnicki

Saul Kutnicki  
Associate Instructor  
PhD Student,  
Communication and Culture  
Indiana University-Bloomington  
[skutnick@indiana.edu](mailto:skutnick@indiana.edu)

SP-18-15  
Letter from neighbor



James Roach &lt;roachja@bloomington.in.gov&gt;

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**Echo Park concerns**

allison strang <astrangebeet@gmail.com>  
To: roachja@bloomington.in.gov

Wed, Aug 5, 2015 at 1:28 PM

Dear Mr. Roach,

I learned last night at our community gathering that you had expected our emails to be into you by yesterday. I apologize for my late contribution with hopes you will still consider these concerns.

First is for the greater pattern of development in Bloomington In. We are destroying the wild nature pockets within city limits. Doing so destroys ecosystems and, "many writers have suggested that the rupture between human communities and the natural world contributes to a lack of psychological well-being, and ultimately to emotional problems and ill-health (Kuhn, 2001; Pilisuk & Joy, 2001; Roszak et al, 1995; Roszak, 2001)." Not to mention what eliminating green spaces does to global temperatures. Pouring concrete onto the earth increases temperatures because the sun is reflected off of the concrete then trapped within the atmosphere, whereas with earth, the heat is absorbed. I do not like the idea of developing that nature scape; home to screech owls, coopers hawks, many native plants that are typically choked out by honeysuckle, and the old trees with wide root systems. However, if my concerns will echo the Lorax's and yield the same outcome then:

1. The buffer between Sunny Slopes and the development should be as wide as the building is tall.
2. 2 stories rather than 3
3. As little artificial lighting as possible
4. No water runoff into Sunny Slopes

Some other questions and concerns I have are, will our property taxes increase because of the development? Are there plans to sell the property after it is developed to a different owner? How will traffic flow be managed? Right now the speed limit in Sunny Slopes is 30 mph which is way too fast anyway, could that be lowered?

The forest gives residents in Sunny Slopes a sense of protection, comfort in a sea of speed and plastic. Bulldozing and destroying the landscape will have a chain effect on all the trees. They say only 50% will be destroyed, but many more will die because of the destruction of their root systems.

Thank you for taking the time to listen and consider my heart felt concerns about a city and home I love.

Sincerely,  
Allison Strang  
129 E. Ridgeveiw Dr.

SP-18-15  
Letter from neighbor

**BLOOMINGTON PLAN COMMISSION**  
**STAFF REPORT**  
**LOCATION: 350 W. 11<sup>th</sup> Street**

**CASE#: SP-19-15**  
**DATE: August 10, 2015**

**PETITIONER: Upland Brewing Company**  
**350 W. 11<sup>th</sup> Street, Bloomington**

**CONSULTANT: Bynum Fanyo & Associates, Inc.**  
**528 N. Walnut Street, Bloomington**

**REQUEST:** The petitioner is requesting site plan approval to allow the construction of a new 6,240 sq. ft. building for a brewing component of a brewpub.

**BACKGROUND:**

**Lot Size:** 1.84 acres  
**Current Zoning:** Commercial Downtown (CD)/Showers Technology Park Overlay District (STPO)  
**GPP Designation:** Community Activity Center  
**Existing Land Use:** Brewpub  
**Proposed Land Use:** Brewpub  
**Surrounding Uses:** North – Single and Multifamily residences  
West – Office/Multifamily residences  
East – Multifamily residences/Future Commercial  
South – Vacant (Future Technology Park)

**REPORT SUMMARY:** This 1.84 acre property is located at 350 W. 11<sup>th</sup> Street. The property is zoned Commercial Downtown (CD) and is within the Showers Technology Park Overlay (STPO) district. Adjacent land uses include an office and multifamily residences to the west, multifamily residences and future commercial space to the east, and the City's future 12-acre Showers Technology Park to the south.

The site has been developed with a 9,400 sq. ft. brewpub that includes 1,200 sq. ft. of brewery and bottling, a 1,400 sq. ft. banquet facility, and a 2,136 sq. ft. barrel aging and storage building (former 11<sup>th</sup> Street Tavern). The petitioner has recently acquired the adjacent property to the west that currently houses a one-story office and parking area. The petitioner is proposing to remove the one-story office building and the former 11<sup>th</sup> Street Tavern building, to allow for the construction of a new 6,000 sq. ft. building that will be used exclusively for brewing and storage. There would be a total of 10,800 sq. ft. of restaurant space and 7,100 sq. ft. of brewery space on the site, which meets the UDO requirement for brewpubs that at least 50% of the gross floor area be used as a restaurant.

With this petition, the entire site must be brought into compliance with UDO standards. Site improvements include paving and striping all parking areas, as well as installing new landscaping throughout the site. With the removal of the two buildings, the number of drivecuts for this property on 11<sup>th</sup> Street will be reduced from 3 drivecuts to only 1 drivecut.

New on-street metered parking spaces will then be created along 11<sup>th</sup> Street in place of the removed drivecuts.

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**Plan Commission Site Plan Review:** Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.370. Those aspects are as follows:

- The project is adjacent to a residential use to the west.
- The petitioner is requesting one waiver.

The petitioner is requesting one waiver from the standards in BMC 20.03.400. The following waiver is being requested:

- Parking Setback

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## SITE PLAN REVIEW

**Height:** The new building will be 25' tall and meets the 25' minimum height limit for the STPO District. There will be a parapet that extends around the top of the building to screen roof top mechanicals.

**Parking:** The STPO district does not have any minimum on-site parking requirements for nonresidential uses. The maximum number of parking spaces for a brewpub is 1 space per 200 sq. ft. of restaurant space plus 1 space per employee on the largest shift of the brewery. There will be a maximum of 12 employees on the largest shift for the brewery plus 54 spaces allowed for the restaurant for a maximum of 66 parking spaces. The proposed site plan shows 63 parking spaces, which does not exceed the maximum number of parking spaces allowed.

**Parking Setback Waiver-20.03.400(c)(1)(B):** The petitioner is requesting a waiver from parking setback standards to allow for a 0' parking setback along the interior of the site for a portion of the proposed parking area that is adjacent to an existing alley. There is a 12' wide platted alley that stubs into this property from Rogers Street to the west. The petitioner is requesting a 0' setback from the alley to allow for a parking aisle and dumpster to be accessed without a setback from the alley. While the Downtown Vision and Infill Strategy plan does not get into detail regarding a waiver of this nature, it is encouraged to minimize excess asphalt and allowing the parking to have a 0' setback increases greenspace elsewhere on the property. Staff supports this waiver request.

**Streetscape:** There is 5' of right-of-way along 11<sup>th</sup> Street with an existing 5' wide monolithic sidewalk that extends along the 11<sup>th</sup> Street corridor. Due to the limited right-of-way and location of existing utilities, it is not possible to install street trees or street lights within the right-of-way along this frontage. Instead the petitioner has agreed to place street trees at additional points along the frontage to function as street trees, but would be on private property. The petitioner will also be installing a street light that would be located on their property as well. The existing 6' monolithic sidewalk will be extended along the portions of the site where the existing drivecuts will be removed. With the removal of some of the

existing drivecuts, there will be the opportunity to install new on-street parking. These new spaces would be metered and the petitioner will be responsible for installing the poles for the meters, and the City will install the actual parking meters. This will be coordinated with the Parking Enforcement Department.

**Bicycle Parking:** The building is required to have a minimum of 5 Class II bicycle parking spaces within 50' of the entrance. There is currently a bike rack on the property with adequate parking for the restaurant and brewery building, however the spaces are not located within 50' of the entrance. There is space available along the front for 4 bike parking spaces and staff will work with the petitioner to install bike parking close to the front.

**Architecture:** The new building will be finished with a corrugated metal and a wood banding around the top. The metal will have a dark grey finish applied called burnished slate and a sample will be available at the hearing. Metal is permitted as a primary finishing material and wood is allowed as a secondary finishing material in the Showers Technology Park Overlay District. There is a large section of windows along the south side of the building facing 11<sup>th</sup> Street with additional large banks of windows at the southeast and southwest corners. Due to the elevated grade and an existing retaining wall on the property to the west, only about 25' of the west side of the building will be visible looking east along 11<sup>th</sup> Street. The petitioner has placed windows along the top portions of the west side of the building that are most visible looking east from 11<sup>th</sup> Street. A loading dock is planned at the northeast corner of the building and a screening wall is shown to screen the loading dock from the public view from 11<sup>th</sup> Street. The building does meet the void-to-solid ratio along 11<sup>th</sup> Street. An ADA accessible pedestrian entrance is provided along 11<sup>th</sup> Street that is recessed with an awning extending over the entrance area.

**Access:** There are three drivecuts currently on 11<sup>th</sup> Street and with this petition only one drivecut will be used to access the parking areas. New on-street metered parking spaces will be installed where the existing drivecuts are removed. The petitioner is responsible for installing the poles for the meters.

**Landscaping:** The landscaping code requires all open space to be planted and a landscape plan has been submitted to show compliance. With this petition there would be new landscaping installed throughout the property to meet UDO requirements. New parking islands with tall, canopy trees will be installed as well. There are a few species proposed for fulfilling the parking lot perimeter requirement that need to be modified to meet UDO requirements and staff will continue to work with the petitioner to insure the landscape plan meets code requirements.

**Utilities:** Water service is available and in place along 11<sup>th</sup> Street. Sewer service will be provided through a force main that connects to an existing line that extends to Rogers Street. Utility plans have been submitted to the City Utilities Department and are under review. Final approval from CBU is required prior to issuance of a grading permit.

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**ENVIRONMENTAL COMMISSION RECOMMENDATIONS:** The Bloomington Environmental Commission (EC) has made 4 recommendations concerning this development.

1. The Petitioner should continue to revise the Landscape Plan using as many native plants as possible

**Staff response:** Staff will continue to work with the petitioner to review the proposed landscape plan and incorporate the Environmental Commission's recommendations.

2. The Petitioner should apply green building and site design practices to create a high performance, low carbon-footprint structure, and grounds that exhibit our City's commitment to environmental sustainability.

**Staff response:** Although not required, staff encourages the petitioner to incorporate as many green building practices as possible.

3. The Petitioner should commit to salvaging, recycling, and reusing all possible construction and demolition materials not needed on site.

**Staff response:** Although not required, staff encourages the petitioner to incorporate this suggestion if possible.

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**RECOMMENDATION:** Based on the written findings above, staff recommends approval of SP-19-15 and associated waiver with the following conditions:

1. A full cutoff and fully shielded street light is required along the street frontage and must be shown on the grading plan.
2. This approval does not approve any encroachments onto adjacent properties.
3. Building must be consistent with submitted elevations and renderings.
4. No signage is approved with this request. Any additional signage beyond the 100 sq. ft. allowed for a downtown property must receive a separate variance.
5. Any encroachment into the right-of-way must receive an encroachment agreement from the Board of Public Works.
6. The petitioner is responsible for installing poles for new parking meters along 11<sup>th</sup> Street.

# MEMORANDUM

**Date:** July 31, 2015

**To:** Bloomington Plan Commission

**From:** Bloomington Environmental Commission

**Through:** Linda Thompson, Senior Environmental Planner

**Subject:** SP-19-15 Upland Brewery new building  
350 W. 11 Street

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This memorandum contains the Environmental Commission's (EC) input and recommendations regarding a request for the demolition of two buildings and the construction of one new brewing facility building. The site will be brought up to Unified Development Ordinance (UDO) standards.

## **ISSUES OF SOUND ENVIRONMENTAL DESIGN:**

### **1.) LANDSCAPING**

The Landscape Plan submitted still needs some revisions and does not yet meet UDO standards. The EC recommends that the Petitioner continue to work with the Planning & Transportation Department to create a plan that exemplifies Indiana's natural heritage and benefits native birds and insects, particularly pollinators.

Native plants provide food and habitat for birds, butterflies and other beneficial insects, promoting biodiversity in the city. Furthermore, native plants do not require chemical fertilizers or pesticides and are water efficient once established. For additional suggestions, please see the EC's Natural Landscaping materials at [www.bloomington.in.gov/beqi/greeninfrastructure/htm](http://www.bloomington.in.gov/beqi/greeninfrastructure/htm) under 'Resources' in the left column. We also recommend an excellent guide to midwest sources of native plants at: <http://www.inpaws.org/landscaping.html>.

### **2.) GREEN BUILDING and SITE DESIGN:**

The EC applauds the Petitioner for voluntarily employing green building practices (GBP) into their existing building in the past. The EC recommends some GBPs for this building that were not mentioned as commitments in the Petitioner's Statement.

- a.) Install solar systems (e.g. solar photovoltaic cell and solar hot water systems).
- b.) Enhance the weather, air, and thermal barriers of the building envelope, especially the windows.
- c.) Use roof material that has a minimum initial Solar Reflective Index (SRI) of 0.65 and an aged

index of 0.55<sup>1</sup>. If a roof membrane is used, it should be overlaid with a reflective coating or covered with a white, granulated cap sheet.

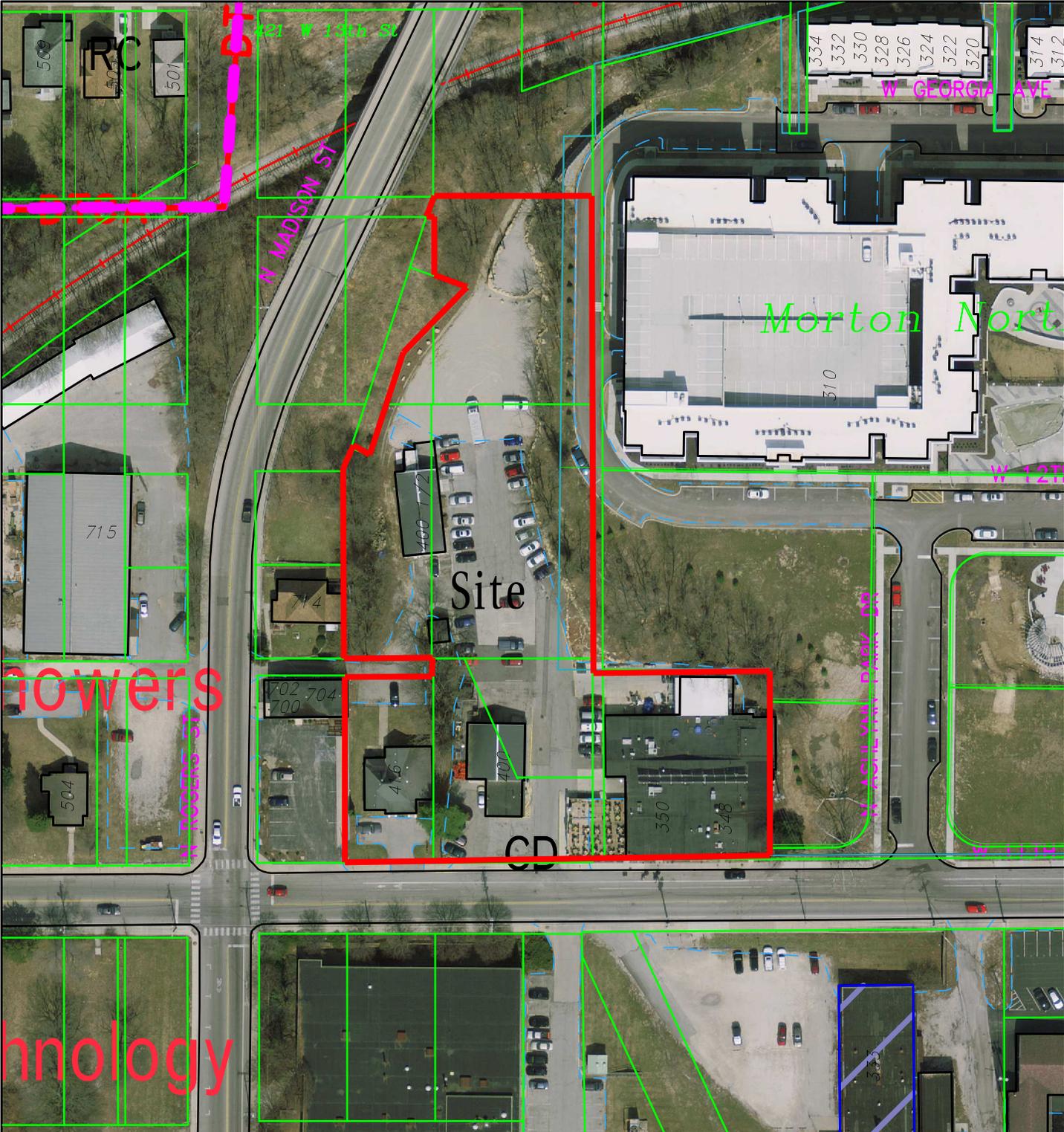
**3.) CONSTRUCTION and DEMOLITION MATERIALS:**

The EC recommends that construction and demolition debris from the existing structure and construction of the new buildings be collected for reuse or recycling. This material could be sold to local salvage businesses, given to a resale store for future re-use, or recycled. Very little material should have to be disposed in a landfill.

**EC RECOMMENDATIONS:**

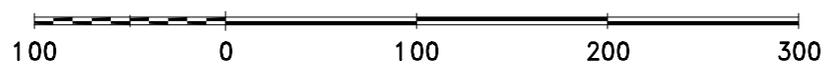
- 1.) The Petitioner should continue to revise the Landscape Plan using as many native plants as possible.
- 2.) The Petitioner should apply green building practices to create a high performance, low carbon-footprint structure that exhibit our City's commitment to environmental sustainability.
- 3.) The Petitioner should commit to salvaging, recycling, and reusing all possible construction and demolition materials not needed on site.





SP-19-15 Upland Brewery  
 350 W 11th Street  
 Plan Commission  
 2014 Aerial Photograph

By: greulice  
 6 Aug 15



City of Bloomington  
 Planning & Transportation

N

Scale: 1" = 100'

For reference only; map information NOT warranted.



BYNUM FANYO & ASSOCIATES, INC.

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

July 27, 2015

City of Bloomington Plan Commission  
401 N. Morton Street  
Bloomington, IN 47403

Re: Upland Brewery Expansion, 416 W. 11<sup>th</sup> Street; BFA Project #401534

Attention Eric Greulich:

Attached please find revisions to our petition filed for the August 10, 2015 Plan Commission hearing. These revisions were completed to address the comments received at the Plan Commission work session as relay to us. The attached documents include a revised site and landscaping plan adding landscaped areas between the sidewalk and building frontage at the southeast and southwest corners of the building.

We have included additional windows along the west elevation where visible from Rogers Street. We were limited by the Fire Code to a total of 192 square feet of opening. In addition to the tall window at the south end of this wall we have added four 4' by 4' windows to the 3 that were shown on the original application. With these additional windows we reached our maximum square footage. These windows will provide natural light into the interior of the building and the barrels on the elevated racks.

We have prepared a rendering that provides a visualization of what will be seen from Rogers Street.

Dan Barrett of Upland Brewery spoke with Steve Wyatt at BRI. He stated they were not interested in this property. Moravec Realty, who purchased the property, has directed us to contact Habitat for Humanity to see if there are items they can reuse or repurpose.

Following this paragraph we have provided a link to two web pages demonstrating color and siding profiles. We also have a photograph of the wall profile and physical sample of another option. The panels come pre-painted from the manufacturer in the colors we desire. The design concept of this building is to incorporate elements of the beer barrels that will be used to age the beer being stored inside. This is why the wood banding is being used to imply the wood staves of the barrel. The wood will most likely be a stained cedar and sealed. The metal panel will do the same to metal bands holding the barrels together. The color will be similar to the burnished slate shown on the following web page.

<http://www.nucorbuildingsystems.com/products/colors/index.html#colorchanger>

<http://www.nucorbuildingsystems.com/products/wallsystems/wallsystems.htm>

528 NORTH WALNUT STREET  
812-332-8030

BLOOMINGTON, INDIANA 47404

FAX 812-339-2990

SP-19-15  
Petitioner Statement

In answer to your question about pedestrian activity at this facility, there will be tours offered to view the brewing process. In addition, the large recessed windows on the south and east façade will allow internal views of the 18' tall tanks inside the building from both the street and sidewalk.

When we achieve Plan Commission approval we will be filing for the encroachment agreement with BPW to allow the proposed landscaping in the alley to prohibit vehicle access to Rogers Street.

Once you have had a chance to review our revisions please feel free to contact me at any time for questions or clarifications.

Sincerely,

**Jeffrey S. Fanyo, P.E., CFM**  
**Bynum Fanyo and Associates, Inc.**  
**Phone 812 332 8030**

revisions:

SCALE: 1"=20'

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

Bloomington, Indiana  
(612) 339-2990 (Fax)

BYNUM FAYAT & ASSOCIATES, INC.

528 North Walnut Street  
(612) 332-8630

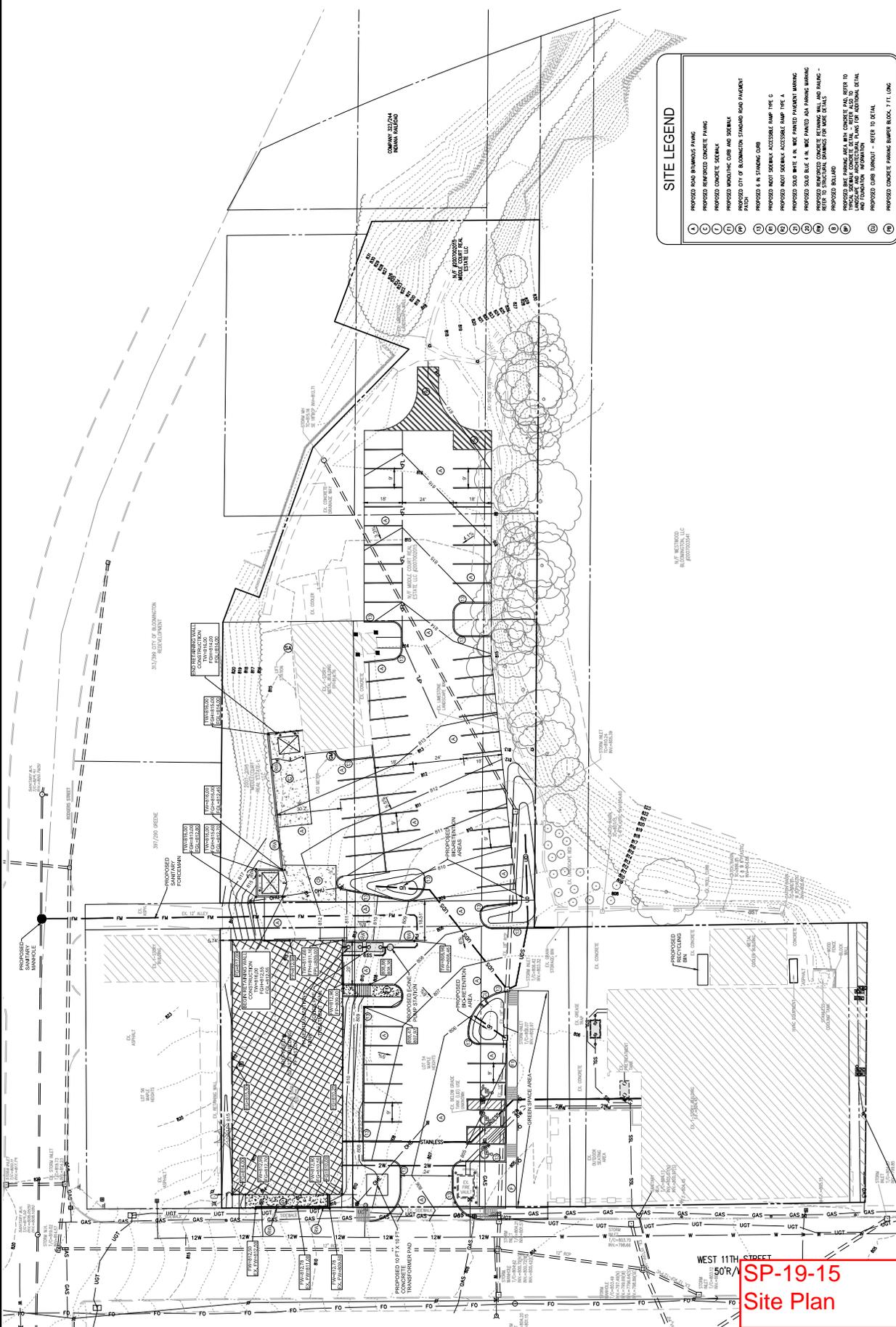
**BBB**

certified by:

PROPOSED  
UPLAND BREWERY EXPANSION

416 W 11TH STREET  
BLOOMINGTON, INDIANA

111  
111  
designed by: JBT  
drawn by: JBT  
sheet no: 0202  
Project no: 401534



**SITE LEGEND**

- ① PROPOSED ROAD BARRIERS PARKING
- ② PROPOSED REINFORCED CONCRETE PAVING
- ③ PROPOSED CONCRETE SIDEWALK
- ④ PROPOSED MONOTONIC CURB AND SIDEWALK PAVEMENT
- ⑤ PROPOSED CITY OF BLOOMINGTON STAIRS ROAD PAVEMENT
- ⑥ PROPOSED 8" IN STAINLESS CURB
- ⑦ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE C
- ⑧ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE A
- ⑨ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE B
- ⑩ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE D
- ⑪ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE E
- ⑫ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE F
- ⑬ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE G
- ⑭ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE H
- ⑮ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE I
- ⑯ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE J
- ⑰ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE K
- ⑱ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE L
- ⑲ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE M
- ⑳ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE N
- ㉑ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE O
- ㉒ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE P
- ㉓ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE Q
- ㉔ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE R
- ㉕ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE S
- ㉖ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE T
- ㉗ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE U
- ㉘ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE V
- ㉙ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE W
- ㉚ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE X
- ㉛ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE Y
- ㉜ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE Z
- ㉝ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AA
- ㉞ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AB
- ㉟ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AC
- ㊱ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AD
- ㊲ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AE
- ㊳ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AF
- ㊴ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AG
- ㊵ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AH
- ㊶ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AI
- ㊷ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AJ
- ㊸ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AK
- ㊹ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AL
- ㊺ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AM
- ㊻ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AN
- ㊼ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AO
- ㊽ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AP
- ㊾ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AQ
- ㊿ PROPOSED 8" MONOTONIC ACCESSIBLE RAMP TYPE AR
- Ⓚ PROPOSED CONCRETE PAVING BARRIERS 11" LANE

**NOTE TO CONTRACTOR**

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY THE CITY OF BLOOMINGTON PRIOR TO ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CHANGING ELEVATIONS.

**NOTE: ALL INFORMATION ON THIS SHEET IS FROM THE TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED TO THE OWNER BY BLEDSOE RIGGERTZ & GUERRETTAZ, INC.**

**SP-19-15**  
**Site Plan**





SOUTHWEST VIEW



SOUTHEAST VIEW

SP-19-15  
Exterior Elevation

PROPOSED  
UPLAND BREWERY EXPANSION  
416 W 11TH STREET  
BLOOMINGTON, INDIANA

Title: RENDERINGS

A-03

Project no.: 401534

certified by: SIM A. STROZAR

**BBB**

BYNUM FAYO & ASSOCIATES, INC.

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

528 north walnut street  
Bloomington, Indiana

(812) 332-8030  
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7/27/2015



