

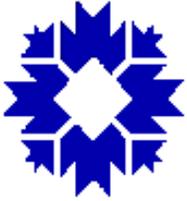
City of Bloomington Common Council

Legislative Packet

Containing legislation and materials related to:

Wednesday, 18 September 2024

Regular Session at 6:30pm



CITY OF BLOOMINGTON COMMON COUNCIL

AGENDA AND NOTICE:
REGULAR SESSION
WEDNESDAY | 6:30 PM
18 September 2024

*Council Chambers (#115), Showers Building, 401 N. Morton Street
The meeting may also be accessed at the following link:*

<https://bloomington.zoom.us/j/89785801620?pwd=6OWPhxPgR5vxLedRuDUPIJ9u0GbfHj.1>

1. ROLL CALL
2. AGENDA SUMMATION
3. APPROVAL OF MINUTES

None

4. **REPORTS** *(A maximum of twenty minutes is set aside for each part of this section).*
 - A. Councilmembers
 - B. The Mayor and City Offices
 - a. Report from Nathan Ferreira on the development of the Summit Hill Community Land Trust (Bloomington Housing Authority)
 - C. Council Committees
 - D. Public*

5. **APPOINTMENTS TO BOARDS AND COMMISSIONS**

6. **LEGISLATION FOR FIRST READINGS**

- A. Ordinance 2024-18 – To Amend Title 8 of the Bloomington Municipal Code, Entitled “Historic Preservation and Protection” To Establish a Historic District – Re: Green Acres Conservation District

7. **LEGISLATION FOR SECOND READINGS AND RESOLUTIONS**

- A. Ordinance 2024-17 – To Amend Title 20 of the Bloomington Municipal Code – Re: Amendment and updates related to grading permit and alignment with Title 13 and BMC 20.04 related to steep slopes

(over-->)

*Members of the public may speak on matters of community concern not listed on the agenda at one of the two public comment opportunities. Individuals may speak at one of these periods, but not both. Speakers are allowed up to three minutes.

Auxiliary aids are available upon request with adequate notice. To request an accommodation or for inquiries about accessibility, please call (812) 349-3409 or e-mail council@bloomington.in.gov.

Posted: 13 September 2024

- B. Appropriation Ordinance 2024-03 – To Additionally Appropriate From the Public Works General Fund for Personnel Expenditures
- C. Appropriation Ordinance 2024-04 - To Additionally Appropriate From the Public Works General Fund for Debris Removal

- 8. **ADDITIONAL PUBLIC COMMENT ***
(A maximum of twenty-five minutes is set aside for this section).
- 9. **COUNCIL SCHEDULE**
- 10. **ADJOURNMENT**

*Members of the public may speak on matters of community concern not listed on the agenda at one of the two public comment opportunities. Individuals may speak at one of these periods, but not both. Speakers are allowed up to three minutes.

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Posted: 13 September 2024



CLERK NICOLE BOLDEN

CITY OF BLOOMINGTON

401 N Morton St, Ste. 110
Bloomington, IN 47404

OFFICE OF THE CITY CLERK

812.349.3408
clerk@bloomington.in.gov

To: Members of the Common Council

From: Clerk Nicole Bolden

Date: 13 September 24

Re: Interview Committee Recommendations for Board and Commissions

The council interview committees have made the following recommendations for appointment to the following boards and commissions:

Interview Committee Team C Recommendations:

- For the Parking Commission - to appoint Katie Yoder to seat C-2.

Contact

Clerk Nicole Bolden, 812-349-3408, clerk@bloomington.in.gov

Jennifer Crossley, Deputy City Clerk, 812-349-3838, jennifer.crossley@bloomington.in.gov





MEMO FROM COUNCIL OFFICE:

To: Members of the Common Council

From: Ash Kulak, Interim Council Administrator/Attorney

Date: September 13, 2024

Re: Ordinance 2024-18 - To Amend Title 8 of the Bloomington Municipal Code, Entitled “Historic Preservation and Protection” to Establish a Historic District – Re: Green Acres Conservation District (Green Acres Historic Designation Committee, Petitioner)

Synopsis

This ordinance amends the List of Designated Historic Districts in Chapter 8.20 of the Bloomington Municipal Code by establishing the Green Acres Conservation District. In recommending this designation, the Bloomington Historic Preservation Commission held a public hearing and submitted a map and accompanying report to the Council. The map sets forth the boundaries of the district and classification of buildings within the district. The report demonstrates how this district meets the necessary criteria. At the end of three years after adoption of this ordinance, this conservation district will elevate into a full historic district, unless within 180 and 60 days before that date, a majority of the property owners provide the Historic Preservation Commission with written objections to the elevation.

Relevant Materials

- Ordinance 2024-18
- Map of proposed Conservation District
- Staff Report from Bloomington Historic Preservation Commission
- Green Acres Conservation District Survey & Corresponding Cover Memo by City Staff
- July 29, 2024 Application from Green Acres Historic Designation Committee
- July 29, 2024 Appendix to Application
- Signed Petition to Historic Preservation Commission from Green Acres residents
- Letters of Objection
- Green Acrose Neighborhood Plan (2007)

Summary

Ordinance 2024-18 would add “Green Acres Conservation District” as a conservation district under Title 8 of the Bloomington Municipal Code (entitled “Historic Preservation and Protection”). The provisions of Title 8 are enabled by state law under Indiana Code 36-7-11 (and following provisions) and are intended to, as stated in BMC 8.02.010:

- protect historic and architecturally-worthy properties that either impart a distinct aesthetic quality to the City or serve as visible reminders of our historic heritage;
- ensure the harmonious and orderly growth and development of the City;
- maintain established residential neighborhoods in danger of having their distinctiveness destroyed;



- enhance property values and attract new residents; and
- ensure the viability of the traditional downtown area and to enhance tourism.

The [Historic Preservation Commission](#) (“HPC”) is authorized to make recommendations to the Council regarding the establishment of historic districts either on its own accord or by petition of the property owner. In this case, the Green Acres Historic Designation Committee petitioned the HPC to consider designating Green Acres as a historic district due to it meeting at least three of the criteria required by [Bloomington Municipal Code 8.08.010\(e\)](#).

Indiana Code ([I.C. 36-7-11-19](#)) allows for the establishment of a historic district in two phases, first as a conservation district and then as a full historic district. [BMC 8.08.010\(b\)](#) spells out this two-phase process, in which the first phase is called a conservation district and lasts three years. Conservation districts are generally less restrictive than a full historic district and automatically elevate to historic districts upon the third anniversary of the adoption of the ordinance, unless a majority of owners submit their objections in writing within a window of 60-180 days before that date.

In order to create a historic or conservation district, the HPC prepares a map describing the district, which may divide the district into primary and secondary areas. The HPC report also designates all buildings and structures within the proposed district as either historic or non-historic. Historic buildings and structures are then further classified as either Outstanding, Notable, or Contributing. Under [BMC 8.02.020](#), the definitions of the ratings are outstanding, notable, contributing, and non-contributing. The classifications for each property in the proposed Green Acres Conservation District are listed in the ordinance as well as the survey promulgated by city staff.

In order to bring forward a conservation or historic district designation, the HPC must hold a public hearing and submit a map and staff report to the Council. The map identifies the district and classifies properties, and the Report explains these actions in terms of the historic and architectural criteria set forth in the ordinance (see also [BMC 8.08.010\(e\)](#)). These criteria provide the grounds for the designation.

The HPC held the required public hearing on August 12, 2024 and voted to submit to the Council the map and report recommending local historic designation of the properties as a conservation district. The HPC also voted to grant interim protection on the properties, which will expire upon passage or failure of this ordinance. Under [BMC 8.08.015](#), buildings, structures, or sites under interim protection may not be demolished, moved, nor may their exteriors be conspicuously changed by addition, reconstruction, or alteration.



City of Bloomington Indiana

City Hall | 401 N. Morton St. | Post Office Box 100 | Bloomington, Indiana 47402

Office of the Common Council | (812) 349-3409 | Fax: (812) 349-3570 | email: council@bloomington.in.gov

Under [BMC 8.08.020](#), once an area is designated as a conservation district, a Certificate of Appropriateness must be issued by the HPC prior to the issuance of a permit for, or prior to work beginning on, any of the following within all areas of the historic district:

- The moving of any building;
- The demolition of any building; or
- Any new construction of a principal building or accessory building or structure subject to view from a public way.

The HPC's [rules and procedures](#) dictate the process for applying for and reviewing proposed changes to properties within conservation or historic districts. Article IV outlines this process in detail, in line with the requirements under [BMC 8.08.020](#).

In summary, [Ordinance 2024-18](#):

- Approves the map and establishes the district, which provides the basis for the designation;
- Attaches the map and the report as part of the legislation;
- Describes the district and classifies the properties;
- Inserts the newly-established district into the List of Historic and Conservation Districts contained within BMC 8.20;
- Addresses the elevation to a full historic district at third anniversary of the adoption of the ordinance, unless a majority of property owners object to the Commission in writing within a specified time frame.

Contacts

Noah Sandweiss, Historic Preservation Program Manager, (812) 349-3420,
noah.sandweiss@bloomington.in.gov

Anna Killion Hanson, Director, Housing and Neighborhood Development, (812) 349-3420,
anna.killionhanson@bloomington.in.gov

ORDINANCE 2024-18

**TO AMEND TITLE 8 OF THE BLOOMINGTON MUNICIPAL CODE, ENTITLED
“HISTORIC PRESERVATION AND PROTECTION”
TO ESTABLISH A HISTORIC DISTRICT –
Re: GREEN ACRES CONSERVATION DISTRICT
(Green Acres Historic Designation Committee, Petitioner)**

- WHEREAS, the Common Council adopted Ordinance 95-20 which created a Historic Preservation Commission (“Commission”) and established procedures for designating historic districts in the City of Bloomington; and
- WHEREAS, on August 12th, 2024, the Commission held a public hearing for the purpose of allowing discussion and public comment on the proposed historic designation of the “Green Acres Conservation District”; and
- WHEREAS, at the same hearing, the Commission found that the site has historic and architectural significance that merits the protection of the property as a historic district; and
- WHEREAS, at the same hearing, the Commission approved a map and written report which accompanies the map and validates the proposed district by addressing the criteria outlined in Bloomington Municipal Code 8.08.010; and
- WHEREAS, at the same hearing the Commission voted to submit the map and report which recommends local historic designation of said properties as a Conservation District to the Common Council; and
- WHEREAS, at the same hearing the Bloomington Historic Preservation Commission voted to impose interim protection on the properties within the proposed district (which will terminate upon adoption or rejection of this ordinance by the Common Council);

NOW THEREFORE, BE IT HEREBY ORDAINED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, MONROE COUNTY, INDIANA, THAT:

SECTION 1. The map setting forth the proposed conservation district for the site is hereby approved by the Common Council, and the Green Acres Conservation District is hereby established. A copy of the map with a report as submitted by the Historic Preservation Commission are attached to this ordinance and incorporated herein by reference and two copies of them are on file in the Office of the Clerk for public inspection.

The Green Acres Conservation District shall consist of the following addresses (447):

N Union Street: 102, 106, 108, 110, 112, 130, 134

S Union Street: 101, 105, 111, 115, 117, 125, 129, 203, 209, 211, 213

N Bryan Avenue: 100, 101, 104, 111, 112, 113, 117, 120, 121, 122, 124, 125, 134, 135, 300, 304, 310

S Bryan Avenue: 102, 104, 105, 106, 107, 108, 111, 115, 116, 117, 118, 119, 120, 200, 201, 204, 205, 206, 212, 213, 214, 223

N Jefferson Street: 100, 105, 106, 111, 112, 117, 118, 119, 120, 122, 123, 127, 128, 130, 131, 301, 305, 307, 310, 311, 314, 318, 324, 326, 336, 400, 410, 416, 426, 428, 430

S Jefferson Street: 101, 104, 109, 110, 111, 114, 115, 117, 118, 121, 123, 200, 201, 205, 208, 213, 215, 218, 219, 220

N Roosevelt Street: 101, 103, 104, 105, 110, 113, 116, 117, 121, 122, 125, 128, 130, 134, 300, 306, 309, 310, 312, 315, 319, 320, 324, 330, 400, 403, 404, 407, 408, 409, 412, 415, 416, 419, 420, 423, 424, 425, 429, 430

S Roosevelt Street: 101, 105, 106, 109, 110, 111, 114, 116, 120, 123, 126, 200, 204, 208, 211, 212, 213, 215, 217, 218, 220, 221

N Clark Street: 101, 102, 105, 106, 109, 110, 115, 116, 118, 119, 122, 123, 125, 128, 131, 134, 135, 302, 309, 310, 311, 313, 320, 324, 325, 329, 333, 401, 402, 405, 409, 410, 413, 416, 417, 419, 421, 422, 428, 429

S Clark Street: 102, 103, 106, 108, 110, 111, 113, 115, 117, 118, 119, 121, 124, 126, 127, 128, 202, 203, 204, 205, 206, 207, 208, 212, 213, 217, 218

N Hillsdale Drive: 101, 106, 117, 118, 126, 131, 139, 144, 145, 154, 300, 309, 310, 315, 316, 323, 335, 405, 410, 411, 419, 420, 425, 431, 437

S Hillsdale Drive: 102, 105, 107, 120, 201, 202, 205, 208, 209, 214, 217, 218, 225, 228, 229, 230

N Overhill Drive: 104, 105, 121, 127, 133, 134, 138, 141, 307, 308, 313

S Overhill Drive: 102, 106, 107, 110, 204, 212, 213

Eastgate Lane: 2509, 2510, 2513, 2516, 2521, 2524, 2527, 2530, 2533, 2536, 2540, 2548, 2552

E 8th Street: 2206, 2304, 2400, 2401, 2404, 2407, 2408, 2500, 2501, 2512, 2513, 2518, 2519, 2525, 2530, 2531, 2536, 2544, 2551, 2552, 2563

E 7th Street: 2002, 2004, 2126, 2200, 2201, 2210, 2214, 2219, 2221, 2327, 2331, 2400, 2401, 2407, 2408, 2413, 2414, 2500, 2511, 2512, 2518, 2519, 2524, 2525, 2531, 2537, 2600, 2601, 2612, 2618, 2624

E 5th Street: 2100, 2205, 2127, 2128, 2222, 2301, 2307, 2404, 2408, 2409, 2414, 2415, 2423, 2505, 2506, 2509, 2513, 2514, 2516, 2517, 2600, 2604, 2605, 2608, 2611, 2612, 2615, 2616, 2619, 2620, 2623, 2624, 2625, 2631, 2632

E 4th Street: 2115, 2301, 2304, 2408, 2410, 2412, 2415, 2418, 2419

E 3rd Street: 2001, 2027, 2029, 2031, 2101, 2105, 2115, 2201, 2301, 2305, 2315, 2333, 2401, 2425, 2435, 2501, 2603, 2605

E Dekist Street: 2600, 2601, 2612, 2615, 2620, 2621, 2624, 2627, 2630, 2633, 2634, 2638, 2639, 2645

E Edwards Row: 2605, 2607, 2608, 2612, 2615, 2621, 2625, 2629

Narrative Description of Boundary: The eastern boundary of the proposed district begins at the southwest intersection of the Illinois Central RR tracks and E. State Road 46 Bypass, and proceeds south along the bypass until the eastern end of E. Dekist Street. At that point, the boundary continues south to the eastern end of E. 5th Street, then to the southern property lines of 2629 E. Edwards Row, turning west to 2621 E. Edwards Row, then to the southern property lines of 2612 E. Edwards Row, and then turning south and ending at the eastern property lines of 2607 E. 3rd Street;

The southern boundary runs west along the north side of E. 3rd Street starting at the east side of 2607 E. 3rd Street and ending at the northeast corner of S. Union Street and E. 3rd Street;

The western boundary runs north from the northeast corner of S. Union Street and E. 3rd Street along the east side of S. and N. Union Street to the southeast corner of N. Union Street and E. 7th Street. At that corner, the boundary continues east on 7th Street and goes to the southwestern

intersection of E. 7th Street and N. Bryan Avenue, then turns to the north and goes up to the northern property line of 312 N. Bryan Avenue. It then turns east again and goes along this property line, and along the northern property line of 307 N. Jefferson Street. On Jefferson Street, the boundary continues north, ending at the northern property line of 430 N. Jefferson Street;

The northern boundary runs east of the northwestern property lines of 430 N. Jefferson Street to the end of the northeastern property lines of 428 N. Clark Street. At that point it runs north to the intersection of the Illinois Central RR tracks, after which it continues along the southern side of the Illinois Central RR tracks, ending once again at the southwestern side of the intersection of the Illinois Central RR tracks and E. State Road 46 Bypass.

SECTION 2. The properties within the Green Acres Conservation District shall be classified as below:

The following properties are classified as Outstanding (1):

N Bryan Avenue: 112

The following properties are classified as Notable (5):

N Hillsdale Drive: 316

S Hillsdale Drive: 201

E 8th Street: 2563

E 4th Street: 2412

E 3rd Street: 2201

The following properties are classified as Contributing (294):

N Union Street: 102, 106, 108, 112

S Union Street: 105, 111, 117, 129, 203, 209, 211, 213

N Bryan Avenue: 101, 104, 111, 113, 117, 121, 122, 310

S Bryan Avenue: 102, 104, 105, 106, 108, 111, 116, 117, 118, 119, 120, 200, 201, 204, 205, 206, 212, 213, 214, 223

N Jefferson Street: 100, 105, 111, 112, 117, 118, 122, 128, 131, 307, 310, 311, 314, 318, 324, 416

S Jefferson Street: 101, 111, 121, 123, 200, 208, 213, 218, 219, 220

N Roosevelt Street: 101, 104, 105, 113, 116, 117, 121, 122, 125, 134, 309, 315, 319, 400, 403, 404, 407, 408, 409, 412, 415, 420, 423, 425, 429, 430

S Roosevelt Street: 101, 111, 114, 116, 120, 123, 126, 212, 218, 220, 221

N Clark Street: 102, 106, 115, 118, 122, 125, 128, 131, 134, 135, 302, 309, 311, 313, 401, 402, 409, 410, 413, 417, 429

S Clark Street: 102, 106, 110, 111, 115, 118, 119, 121, 124, 126, 128, 202, 203, 204, 207, 208, 213, 217, 218

N Hillsdale Drive: 101, 106, 117, 118, 126, 131, 139, 144, 145, 309, 310, 315, 335, 410, 411, 419, 425, 437

S Hillsdale Drive: 102, 105, 107, 120, 202, 205, 208, 209, 217, 218, 225, 228, 229, 230

N Overhill Drive: 104, 121, 133, 138, 141, 307, 313

S Overhill Drive: 102, 106, 107, 204, 212, 213

Eastgate Lane: 2509, 2510, 2516, 2521, 2524, 2527, 2530, 2536, 2540, 2548, 2552

E 8th Street: 2206, 2304, 2401, 2407, 2408, 2501, 2513, 2518, 2519, 2525, 2530, 2531, 2536, 2544, 2551, 2552

E 7th Street: 2201, 2327, 2331, 2400, 2401, 2500, 2511, 2512, 2519, 2524, 2600, 2601, 2612, 2618, 2624

E 5th Street: 2100, 2127, 2222, 2301, 2307, 2408, 2409, 2415, 2423, 2505, 2509, 2513, 2517, 2600, 2604, 2605, 2608, 2611, 2615, 2616, 2620, 2623, 2624, 2625, 2631, 2632

E 4th Street: 2301, 2304, 2410, 2415, 2418

E 3rd Street: 2027, 2029, 2031, 2101, 2105, 2115, 2305, 2315, 2333, 2401, 2425, 2435, 2603, 2605

E Dekist Street: 2600, 2601, 2612, 2615, 2620, 2621, 2624, 2627, 2630, 2633, 2634, 2638, 2639

E Edwards Row: 2608, 2612, 2615, 2621, 2625, 2629

The following properties are classified as Non-Contributing (147):

N Union Street: 110, 130, 134

S Union Street: 101, 115, 125

N Bryan Avenue: 100, 112, 120, 124, 125, 134, 135, 300, 304

S Bryan Avenue: 107, 115

N Jefferson Street: 106, 119, 120, 123, 127, 130, 301, 305, 326, 336, 400, 410, 426, 428, 430

S Jefferson Street: 104, 109, 110, 114, 115, 117, 118, 201, 205, 209, 215

N Roosevelt Street: 103, 110, 128, 134, 300, 306, 310, 312, 320, 324, 327, 330, 416, 419, 424

S Roosevelt Street: 105, 106, 109, 110, 200, 204, 208, 211, 213, 215, 217

N Clark Street: 101, 105, 109, 110, 116, 119, 123, 310, 320, 324, 325, 329, 333, 405, 416, 419, 421, 422, 428

S Clark Street: 103, 108, 113, 117, 127, 205, 206, 212

N Hillsdale Drive: 154, 300, 323, 405, 420, 431

S Hillsdale Drive: 214

N Overhill Drive: 105, 127, 134, 308

S Overhill Drive:

Eastgate Lane: 2513, 2533

E 8th Street: 2400, 2404, 2500, 2512

E 7th Street: 2002, 2004, 2126, 2200, 2210, 2214, 2219, 2221, 2407, 2408, 2413, 2414, 2518, 2525, 2531, 2537

E 5th Street: 2128, 2205, 2404, 2414, 2506, 2514, 2516, 2612, 2619

E 4th Street: 2115, 2408, 2419

E 3rd Street: 2001, 2301, 2501

E Dekist Street: 2645

E Edwards Row: 2605, 2607

SECTION 3. Chapter 8.20 of the Bloomington Municipal Code, entitled “List of Designated Historic and Conservation Districts,” is hereby amended to insert “Green Acres Conservation District” and such entry shall read as follows:

Green Acres Conservation District (447 properties)

SECTION 4. In accordance with IC 36-7-11-19, no earlier than 180 days before the three year anniversary date of the adoption of this Ordinance, but no later than 60 days before the three year anniversary date of the adoption of this Ordinance, property owners in the Green Acres Conservation District shall be given the opportunity to object, in writing, to the elevation of the district to a full Historic District. If a majority of the property owners in the Green Acres Conservation District do not object, in writing, to said elevation, then Green Acres shall automatically elevate to a full historic district on the third anniversary date of the adoption of this Ordinance.

SECTION 5. If any section, sentence, or provision of this ordinance, or any application thereof to any person or circumstances shall be declared invalid, such invalidity shall not affect any of the other sections, sentences, provisions, or applications of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are declared to be severable.

SECTION 6. This ordinance shall be in full force and effect from and after its passage by the Common Council of the City of Bloomington and approval of the Mayor.

PASSED AND ADOPTED by the Common Council of the City of Bloomington, Monroe County, Indiana, upon this _____ day of _____, 2024.

ISABEL PIEDMONT-SMITH, President
Bloomington Common Council

ATTEST:

NICOLE BOLDEN, Clerk
City of Bloomington

PRESENTED by me to the Mayor of the City of Bloomington, Monroe County, Indiana, upon this _____ day of _____, 2024.

NICOLE BOLDEN, Clerk
City of Bloomington

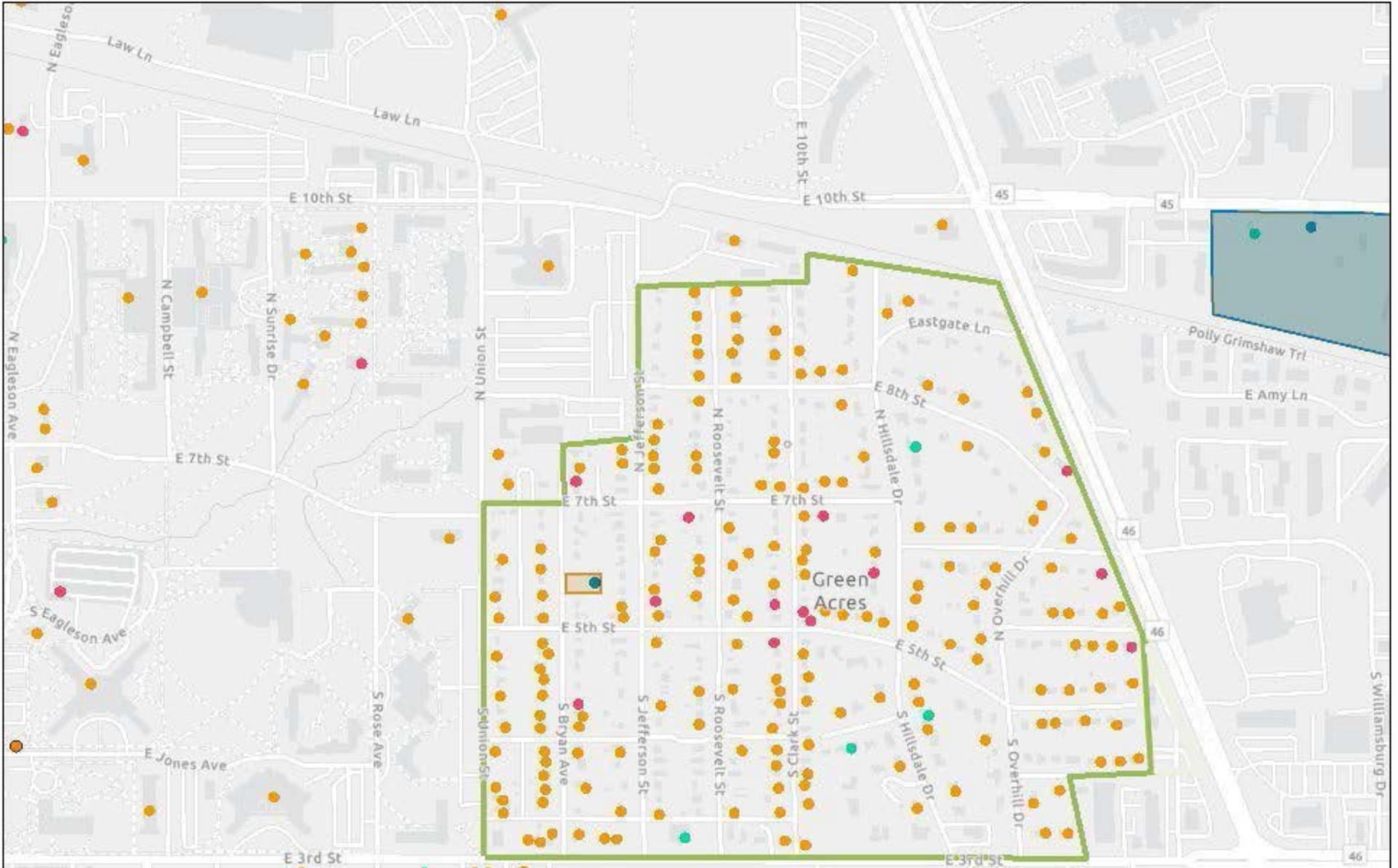
SIGNED and APPROVED by me upon this _____ day of _____, 2024.

KERRY THOMSON, Mayor
City of Bloomington

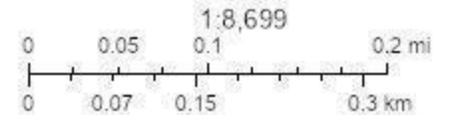
SYNOPSIS

This ordinance amends the List of Designated Historic Districts in Chapter 8.20 of the Bloomington Municipal Code by establishing the Green Acres Conservation District. In recommending this designation, the Bloomington Historic Preservation Commission held a public hearing and submitted a map and accompanying report to the Council. The map sets forth the boundaries of the district and classification of buildings within the district. The report demonstrates how this district meets the necessary criteria. At the end of three years after adoption of this ordinance, this conservation district will elevate into a full historic district, unless within 180 and 60 days before that date, a majority of the property owners provide the Historic Preservation Commission with written objections to the elevation.

Map of Green Acres Proposed Conservation District Boundaries



7/10/2024, 10:21:28 PM



Esri Community Maps Contributors, City of Bloomington, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METV

HD-24-03
Green Acres Neighborhood

Staff Report:

Bloomington Historic Preservation Commission

The Green Acres Neighborhood qualifies for local designation under the following highlighted criteria found in Ordinance 95-20 of the Municipal Code (1) a, c; (2) g

- 1) Historic:
 - a) **Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation; or is associated with a person who played a significant role in local, state, or national history; or**
 - b) Is the site of an historic event; or
 - c) **Exemplifies the cultural, political, economic, social, or historic heritage of the community.**

- 2) Architectural:
 - a) Embodies distinguishing characteristics of an architectural or engineering type; or
 - b) Is the work of a designer whose individual work has significantly influenced the development of the community; or
 - c) Is the work of a designer of such prominence that such work gains its value from the designer's reputation; or
 - d) Contains elements of design, detail, materials, or craftsmanship which represent a significant innovation; or
 - e) Contains any architectural style, detail, or other element in danger of being lost; or
 - f) Owing to its unique location or physical characteristics, represents an established and familiar visual feature of the city; or
 - g) **Exemplifies the built environment in an era of history characterized by a distinctive architectural style**

Case Background

The Green Acres neighborhood, roughly bounded by SR46, 3rd Street, the Illinois Central RR tracks, and Indiana University campus was subdivided in the 1920s and 40s from a 160 acres farm established in the 1840s by William Moffat Millen. Unusual for neighborhoods in Bloomington and the US in general, the neighborhood's development was slowed but not halted by the Depression and World War II, and so the neighborhood demonstrates a southwest to northeast gradient of consistent suburban development from the 1920s through 1960s. The neighborhood has not been previously studied as a potential district, although it has been repeatedly surveyed for historic properties. In 2007, a neighborhood plan was developed by the Green Acres Neighborhood

Association that listed historic structures included in the 2001 interim report, and described “historically preserved homes well maintained and in good condition” as one of the neighborhood’s strengths.”

On the May 9th meeting of the Bloomington Historic Preservation Commission (HPC), five adjacent Demolition Delays came up for consideration on N Jefferson Street bordering campus between E 7th Street and E 8th Street. Built between 1940 and the early 1950s, these houses are rated contributing on the Indiana Historic Sites and Structures Inventory. Throughout their history, these houses were home to artists, students, blue-collar workers, and academics. At this meeting staff recommended the release of these Demolition Delays because in our opinion none of the houses individually or as a group met criteria for designation. One of the homes, a fairly intact 1940 bungalow at 324 North Jefferson Street, had been owned as the home and studio of a significant local sculptor, Jean-Paul Darriau, who is best known locally for the Adam and Eve sculpture on the IU campus and the Red Blonde Black and Olive statues at Showers Park. According to national standards except in exceptional circumstances, a site must have achieved significance fifty or more years ago to be considered for historic designation. Although the building itself is over eighty years old, Darriau occupied and worked in the house from 1978 to 2007.

Some Commissioners expressed concern about the potential demolition of a block of five contributing buildings and its impact on the neighborhood, inquiring whether there was any neighborhood interest in the establishment of a historic or conservation district, while others expressed skepticism whether there was enough historical context or public support to justify the consideration of a larger district. The Historic Preservation Program Manager shared that he had not yet heard any interest in a district and agreed with the opinion that the Commission should not move to nominate such a large district on its own. The commission then recommended that staff produce a report on the history of the larger neighborhood for the subsequent meeting, and tabled the vote to release demolition delay.

On May 23rd the Historic Preservation Program Manager shared a brief history of the neighborhood along with maps indicating the location of rental properties, as well as the 2018 Bloomington historic survey map showing the locations of buildings that had been singled out as Contributing, Notable, or Outstanding. A longtime neighborhood resident, Marines Fornerino attended the meeting and spoke in favor of designation, over the following months she would prepare the application submitted by the petitioning residents. The commission voted that a map be drawn of the Green Acres neighborhood boundaries. Steve Wyatt of Bloomington Restorations Inc (BRI), was also in attendance, and suggested that he would consider relocating one or more of the houses up for Demolition Delay.

The following HPC meeting on June 13th was attended by five Green Acres residents who spoke in favor of designating the neighborhood, and the HPC voted to petition the

director of the Department of Housing and Neighborhood Development to extend the Demolition Delay period by thirty days to a maximum of 120 days in order to give the residents time to prepare an application and hold their three required public meetings. The extension was granted, and the petitioners organized three public meetings in the neighborhood's Christian Science Church on 3rd street on July 11th, July 20th, and July 27th. In each of these meetings the petitioners presented the same information on the history of the neighborhood and the meaning of designation as a Conservation District, questions and comments were taken from the attendants and a petition was presented for those who wished to express support. Two of these meetings were also attended by members of the press.

Running up against the release date of the five demolition delays on August 14th, and the preceding August 8th meeting of the HPC—for which applications must be received two weeks in advance—the petitioners asked whether a special meeting could be called by the HPC Chair to vote on the nomination before August 14th. At the July 25th HPC meeting the Chair motioned to call a meeting on August 12th, and the motion was approved. The petitioners submitted their application, petition, and supplementary information on Monday July 29th.

Historic surveys and rating historic properties:

The last historic sites survey to include the Green Acres neighborhood was conducted in 2018 by Bloomington Restorations Inc. The results from this survey are included on the Bloomington Historic Preservation GIS map. The survey counted one Outstanding property, the 1845 Millen House, which is included on the National Register of historic places; five Notable properties including the firehouse at 2201 E 3rd St, the Elaine Doenges House at 201 S Hillside, and several other architecturally distinct modernist houses at 316 N Hillside Drive, 2412 E 4th St, and 2563 E 8th St; 183 structures rated Contributing; and 11 rated non-contributing. 244 structures were not counted in the survey. Many of these are mid-century houses in the eastern part of the neighborhood that retain a good deal of their historic integrity, but BRI staff did not include them in their survey which they had intended as a general indicator of the location of historic structures though not a comprehensive list. Because the eastern half of the district is relatively modern, it has not been surveyed as thoroughly as by state or local surveyors as some of Bloomington's older neighborhoods. While some parts of the district like the southern end of Roosevelt Street and the intersection of 5th and Clark have lost most of their historic structures, a walk through the neighborhood gives the impression that most of it is built up contiguously of structures that are over fifty years old, retain their important historic features, and demonstrate a legible historic pattern of occupation and development.

Historic Background: Criteria (1) A, C

- A.** The built environment of the Green Acres neighborhood is of significant interest to the development of Bloomington at a time when the City and University began to experience extensive growth thanks to New Deal and postwar policies promoting home ownership and higher education. Although the western half of Green Acres was platted in 1923 as Highland Homes and contains several blocks of well-preserved 1920s cottages and bungalows, most of the area's development took place between the 1930s and 1960s, making Green Acres effectively Bloomington's first postwar suburb.

In the 1930s, mortgage insurance, financing options, and construction standards enforced by the Federal Housing Administration rebooted America's homebuilding industry. Kit houses, including the minimal ranches ubiquitous in Green Acres, were built to these standard for safe, efficient, tasteful, and affordable design. Many of the components for these houses were manufactured in Lafayette and New Albany Indiana.

Following the Second World War the Servicemen's Readjustment Act, better known as the GI Bill, offered new financial aid to veterans for home ownership and education. Facing a massive influx of new students and residents, the campus-adjacent neighborhood filled out rapidly in the following two decades providing housing for students, faculty, and workers occupied in the rapidly expanding University. The smooth transition from the prewar gridded plat in the western end of the district to the winding parklike roads streets in the eastern half, occupied by a clear gradient of postwar housing development clearly demonstrates the development and evolving cultural tastes of this important juncture in Bloomington's history.

- C.** The development of Green Acres largely coincides with the tenure of Indiana University President Herman B Wells (1937-1962), a period of massive expansion in the size and academic breadth of the University. The economically mixed suburb located adjacent to campus has been home to many artists, academics, and university staff who were attracted to Bloomington for work and housing opportunities played a part in this cultural, economic, and social transformation. Since the neighborhood's development, Green Acres has been consistently defined by its cultural, spacial, and economic relationship to campus as well as the development of Bloomington outward from its prewar core.

Architectural Significance: Criteria (2) E, F, G

- E.** In this criterion, staff opinion differs from the applicants' assertion that the buildings in the proposed conservation district contain any architectural style, detail or element in danger of being lost. While several houses within the bounds were brought to the Historic Preservation Commission for Demolition Delay and parts of the district are zoned for higher density development, staff does not believe that the styles of homes

represented in this area contain characteristics in danger of being lost. The styles represented in this area come from two of the most prolific periods of housing development in US history—the 1920s and post-war building boom—and few houses in the neighborhood demonstrate features that are rare or generally threatened. This is not to say that that changes to substantial parts of the Green Acres neighborhood would not affect the historic integrity of the whole or that there are not building styles or details from this era that are in risk of being lost. 1920s and postwar kit houses, national homes, and minimal ranches can be found throughout Bloomington albeit not in many contexts so consistent and substantial.

F. Applicants argue that Green Acres “owing to its unique location or physical characteristics, represents an established and familiar visual feature of the city.” This is a large area adjacent to campus that has been home to thousands or renters and owners as well as countless visitors. The neighborhood is of course familiar to its current and former residents and has substantial sentimental value. In the context of the city as a whole, it is difficult to make the case that Green Acres represents an established and familiar visual feature. Located between the 46 bypass, railroad tracks, 3rd street, and the west end of campus, the neighborhood is not a thoroughfare, and the parts of the neighborhood north of 3rd street are not likely familiar to most Bloomington residents. While the neighborhood does contain some distinctive buildings, these are mostly located on quiet roads at some distance from the street.

G. Owing in part to its rapid development and integrity of historic resources, the green Acres neighborhood exemplifies the built environment in an era of history characterized by a distinctive architectural style. The bulk of the neighborhood was built up from the 1940s through 1960s with American Small Houses, Ranches, Bungalows, Cottages, and Split-levels. While the neighborhood’s historic period of development spans four decades, the style of much of the neighborhood can be best described as Minimal Traditional—the blending of colonial, craftsman, and modernist architectural influences. For the most part the buildings avoid ostentatious ornamentation and emphasize efficiency and the use of local materials, most notably in this case Indiana limestone which is ubiquitous in Bloomington’s post-war construction. Although homes built in the late 1950s and 1960s are generally larger and embrace more modern design elements than the FHA influenced homes of the New Deal and immediate post-war periods, the neighborhood nonetheless demonstrates consistent stylistic influence. Notable houses in the neighborhood draw greater influence from the new architectural schools burgeoning in this period including International and Usonian design.

Staff Recommendation: Meets Criteria for Designation (1) a, c; (2) g.

Staff recommends that the Green Acres Conservation District is eligible for designation as a local conservation district. After careful consideration of the application and review of the Historic District Criteria as found in Ordinance 95-20 of the Municipal Code, staff finds that the district meets multiple criteria listed in the code.

The district meets Criteria 1(a) as Bloomington's first substantial postwar suburb and demonstrating a continuum of development influenced by federal policy as well as the growing importance of higher education in Bloomington's culture and economy. This significance is represented both by the characteristics of the built environment and by the significance of notable residents for the history of the City and University.

The district meets Criteria 1(c) for its significant value as part of development of the city of Bloomington because it served as housing for the massive influx of students, faculty, and staff who greatly expanded and developed Indiana University after World War II, contributing to the cultural, economic, and social transformation of the city during this time. The housing stock is characterized by the burgeoning economic opportunities of this period that enabled the growth of homeownership for veterans across the class spectrum.

The property meets Criteria 2(g) because the built environment of the district, which includes the streetscape and buildings, maintains high integrity and still conveys the distinct architectural character from their period of construction.

A note about historic postwar suburbs:

The National Historic Preservation Act of 1966 established a framework for standardizing the approach to Historic Preservation in the US and over the following decade guidelines were established for evaluating the integrity and significance of historic sites and structures. These guidelines and the growing body of interpretive literature are meant to be uniformly applicable so that those working in the field or applying for historic designation can make objective determinations. As a rule the threshold age for eligibility is fifty years with an exception for sites that have achieved exceptional significance before that time. The majority of America's housing stock was built after World War II, and in the past thirty years has become subject to the same considerations for eligibility as properties from before this period of massive growth. In 2002 the National Park Service published National Register Bulletin NRB46 Historic Residential Suburbs to provide a historical context and tools for evaluating the eligibility of suburbs, including postwar developments.

This Bulletin considers that "The post-World War II building boom... resulted in the widespread development of suburban subdivisions that were not only large in size but vast in number. In coming years as many of these approach 50 years of age, there will be increasing pressure to evaluate their eligibility for listing in the National Register" and that "Because of their large size and great number, residential suburbs present a challenge to preservationists and decision makers." During this period traditional

craftsmanship has given way to mass production and manufactured components, and many decisions makers in preservation and other fields feel squeamish that something built in their childhood could now be considered “historic.”

For modern buildings that are not architecturally distinctive on their own or associated with specific individuals or events, their eligibility for listing often depends on their inclusion in a larger context. In a historic site survey, these properties would be considered “Contributing,” a level of designation that indicates a building is likely not eligible for listing on its own, but could contribute to a district that demonstrates integrity and significance as a whole. The Green Acres neighborhood, for instance, contains five buildings designated “Notable” for their stand-alone architectural significance and one “Outstanding” property, the 1840s Millen House which is listed on the National Register of Historic Places for its architectural and settlement-period significance. To be eligible as a District, the neighborhood must “retain the spatial organization, physical components, aspects of design, and historic associations that it acquired during its period of significance.” Such an area may, and likely will, contain properties that are non-Contributing but the overall effect should not disrupt the integrity of the district.



TO: Common Council
FROM: Noah Sandweiss, Historic Preservation Program Manager
RE: Conservation District Nomination for Green Acres
DATE: September 13, 2024

A survey conducted by the HPC staff, which provides additional detail about the individual structures within the proposed Green Acres district and which supplements the map, has been included for the Council's review. The information was completed after the HPC vote on August 12th and is consistent with the map.

Noah Sandweiss

Historic Preservation Program Manager

Green Acres Conservation District Survey

The Green Acres Conservation District shall consist of the following addresses (447):

N Union Street: 102, 106, 108, 110, 112, 130, 134

S Union Street: 101, 105, 111, 115, 117, 125, 129, 203, 209, 211, 213

N Bryan Avenue: 100, 101, 104, 111, 112, 113, 117, 120, 121, 122, 124, 125, 134, 135, 300, 304, 310

S Bryan Avenue: 102, 104, 105, 106, 107, 108, 111, 115, 116, 117, 118, 119, 120, 200, 201, 204, 205, 206, 212, 213, 214, 223

N Jefferson Street: 100, 105, 106, 111, 112, 117, 118, 119, 120, 122, 123, 127, 128, 130, 131, 301, 305, 307, 310, 311, 314, 318, 324, 326, 336, 400, 410, 416, 426, 428, 430

S Jefferson Street: 101, 104, 109, 110, 111, 114, 115, 117, 118, 121, 123, 200, 201, 205, 208, 213, 215, 218, 219, 220

N Roosevelt Street: 101, 103, 104, 105, 110, 113, 116, 117, 121, 122, 125, 128, 130, 134, 300, 306, 309, 310, 312, 315, 319, 320, 324, 330, 400, 403, 404, 407, 408, 409, 412, 415, 416, 419, 420, 423, 424, 425, 429, 430

S Roosevelt Street: 101, 105, 106, 109, 110, 111, 114, 116, 120, 123, 126, 200, 204, 208, 211, 212, 213, 215, 217, 218, 220, 221

N Clark Street: 101, 102, 105, 106, 109, 110, 115, 116, 118, 119, 122, 123, 125, 128, 131, 134, 135, 302, 309, 310, 311, 313, 320, 324, 325, 329, 333, 401, 402, 405, 409, 410, 413, 416, 417, 419, 421, 422, 428, 429

S Clark Street: 102, 103, 106, 108, 110, 111, 113, 115, 117, 118, 119, 121, 124, 126, 127, 128, 202, 203, 204, 205, 206, 207, 208, 212, 213, 217, 218

N Hillsdale Drive: 101, 106, 117, 118, 126, 131, 139, 144, 145, 154, 300, 309, 310, 315, 316, 323, 335, 405, 410, 411, 419, 420, 425, 431, 437

S Hillsdale Drive: 102, 105, 107, 120, 201, 202, 205, 208, 209, 214, 217, 218, 225, 228, 229, 230

N Overhill Drive: 104, 105, 121, 127, 133, 134, 138, 141, 307, 308, 313

S Overhill Drive: 102, 106, 107, 110, 204, 212, 213

Eastgate Lane: 2509, 2510, 2513, 2516, 2521, 2524, 2527, 2530, 2533, 2536, 2540, 2548, 2552

E 8th Street: 2206, 2304, 2400, 2401, 2404, 2407, 2408, 2500, 2501, 2512, 2513, 2518, 2519, 2525, 2530, 2531, 2536, 2544, 2551, 2552, 2563

E 7th Street: 2002, 2004, 2126, 2200, 2201, 2210, 2214, 2219, 2221, 2327, 2331, 2400, 2401, 2407, 2408, 2413, 2414, 2500, 2511, 2512, 2518, 2519, 2524, 2525, 2531, 2537, 2600, 2601, 2612, 2618, 2624

E 5th Street: 2100, 2205, 2127, 2128, 2222, 2301, 2307, 2404, 2408, 2409, 2414, 2415, 2423, 2505, 2506, 2509, 2513, 2514, 2516, 2517, 2600, 2604, 2605, 2608, 2611, 2612, 2615, 2616, 2619, 2620, 2623, 2624, 2625, 2631, 2632

E 4th Street: 2115, 2301, 2304, 2408, 2410, 2412, 2415, 2418, 2419

E 3rd Street: 2001, 2027, 2029, 2031, 2101, 2105, 2115, 2201, 2301, 2305, 2315, 2333, 2401, 2425, 2435, 2501, 2603, 2605

E Dekist Street: 2600, 2601, 2612, 2615, 2620, 2621, 2624, 2627, 2630, 2633, 2634, 2638, 2639, 2645

E Edwards Row: 2605, 2607, 2608, 2612, 2615, 2621, 2625, 2629

The following properties are classified as Outstanding (1):

N Bryan Avenue: 112

The following properties are classified as Notable (5):

N Hillsdale Drive: 316

S Hillsdale Drive: 201

E 8th Street: 2563

E 4th Street: 2412

E 3rd Street: 2201

The following properties are classified as Contributing (294):

N Union Street: 102, 106, 108, 112

S Union Street: 105, 111, 117, 129, 203, 209, 211, 213

N Bryan Avenue: 101, 104, 111, 113, 117, 121, 122, 310

S Bryan Avenue: 102, 104, 105, 106, 108, 111, 116, 117, 118, 119, 120, 200, 201, 204, 205, 206, 212, 213, 214, 223

N Jefferson Street: 100, 105, 111, 112, 117, 118, 122, 128, 131, 307, 310, 311, 314, 318, 324, 416

S Jefferson Street: 101, 111, 121, 123, 200, 208, 213, 218, 219, 220

N Roosevelt Street: 101, 104, 105, 113, 116, 117, 121, 122, 125, 134, 309, 315, 319, 400, 403, 404, 407, 408, 409, 412, 415, 420, 423, 425, 429, 430

S Roosevelt Street: 101, 111, 114, 116, 120, 123, 126, 212, 218, 220, 221

N Clark Street: 102, 106, 115, 118, 122, 125, 128, 131, 134, 135, 302, 309, 311, 313, 401, 402, 409, 410, 413, 417, 429

S Clark Street: 102, 106, 110, 111, 115, 118, 119, 121, 124, 126, 128, 202, 203, 204, 207, 208, 213, 217, 218

N Hillsdale Drive: 101, 106, 117, 118, 126, 131, 139, 144, 145, 309, 310, 315, 335, 410, 411, 419, 425, 437

S Hillsdale Drive: 102, 105, 107, 120, 202, 205, 208, 209, 217, 218, 225, 228, 229, 230

N Overhill Drive: 104, 121, 133, 138, 141, 307, 313

S Overhill Drive: 102, 106, 107, 204, 212, 213

Eastgate Lane: 2509, 2510, 2516, 2521, 2524, 2527, 2530, 2536, 2540, 2548, 2552

E 8th Street: 2206, 2304, 2401, 2407, 2408, 2501, 2513, 2518, 2519, 2525, 2530, 2531, 2536, 2544, 2551, 2552

E 7th Street: 2201, 2327, 2331, 2400, 2401, 2500, 2511, 2512, 2519, 2524, 2600, 2601, 2612, 2618, 2624

E 5th Street: 2100, 2127, 2222, 2301, 2307, 2408, 2409, 2415, 2423, 2505, 2509, 2513, 2517, 2600, 2604, 2605, 2608, 2611, 2615, 2616, 2620, 2623, 2624, 2625, 2631, 2632

E 4th Street: 2301, 2304, 2410, 2415, 2418

E 3rd Street: 2027, 2029, 2031, 2101, 2105, 2115, 2305, 2315, 2333, 2401, 2425, 2435, 2603, 2605

E Dekist Street: 2600, 2601, 2612, 2615, 2620, 2621, 2624, 2627, 2630, 2633, 2634, 2638, 2639

E Edwards Row: 2608, 2612, 2615, 2621, 2625, 2629

The following properties are classified as Non-Contributing (147):

N Union Street: 110, 130, 134

S Union Street: 101, 115, 125

N Bryan Avenue: 100, 112, 120, 124, 125, 134, 135, 300, 304

S Bryan Avenue: 107, 115

N Jefferson Street: 106, 119, 120, 123, 127, 130, 301, 305, 326, 336, 400, 410, 426, 428, 430

S Jefferson Street: 104, 109, 110, 114, 115, 117, 118, 201, 205, 209, 215

N Roosevelt Street: 103, 110, 128, 134, 300, 306, 310, 312, 320, 324, 327, 330, 416, 419, 424

S Roosevelt Street: 105, 106, 109, 110, 200, 204, 208, 211, 213, 215, 217

N Clark Street: 101, 105, 109, 110, 116, 119, 123, 310, 320, 324, 325, 329, 333, 405, 416, 419, 421, 422, 428

S Clark Street: 103, 108, 113, 117, 127, 205, 206, 212

N Hillsdale Drive: 154, 300, 323, 405, 420, 431

S Hillsdale Drive: 214

N Overhill Drive: 105, 127, 134, 308

S Overhill Drive:

Eastgate Lane: 2513, 2533

E 8th Street: 2400, 2404, 2500, 2512

E 7th Street: 2002, 2004, 2126, 2200, 2210, 2214, 2219, 2221, 2407, 2408, 2413, 2414, 2518, 2525, 2531, 2537

E 5th Street: 2128, 2205, 2404, 2414, 2506, 2514, 2516, 2612, 2619

E 4th Street: 2115, 2408, 2419

E 3rd Street: 2001, 2301, 2501

E Dekist Street: 2645

E Edwards Row: 2605, 2607

APPLICATION FORM
 Historic Designation
 Historic Preservation Commission of the City of Bloomington

Case Number:

Date Filed: July 29, 2024

Date of Commission Hearing: August 12, 2024

Request: Conservation District Designation

Address of proposed district or **description of boundaries:**

The proposed district encompasses most of the area known as the Green Acres neighborhood. The boundaries are as follows:

The **eastern** boundary of the proposed district begins at the southwest intersection of the Illinois Central RR tracks and E. State Road 46 Bypass, and proceeds south along the bypass until the eastern end of E. Dekist Street. At that point, the boundary continues south to the eastern end of E. 5th Street, then to the southern property lines of 2629 E. Edwards Row, turning west to 2621 E. Edwards Row, then to the southern property lines of 2612 E. Edwards Row, and then turning south and ending at the eastern property lines of 2607 E. 3rd Street;

The **southern** boundary runs west along the north side of E. 3rd Street starting at the east side of 2607 E. 3rd Street and ending at the northeast corner of S. Union Street and E. 3rd Street;

The **western** boundary runs north from the northeast corner of S. Union Street and E. 3rd Street along the east side of S. and N. Union Street to the southeast corner of N. Union Street and E. 7th Street. At that corner, the boundary continues east on 7th Street and goes to the southwestern intersection of E. 7th Street and N. Bryan Avenue, then turns to the north and goes up to the northern property line of 312 N. Bryan Avenue. It then turns east again and goes along this property line, and along the northern property line of 307 N. Jefferson Street. On Jefferson Street, the boundary continues north, ending at the northern property line of 430 N. Jefferson Street;

The **northern** boundary runs east of the northwestern property lines of 430 N. Jefferson Street to the end of the northeastern property lines of 428 N. Clark Street. At that point it runs north to the intersection of the Illinois Central RR tracks, after which it continues along the southern side of the Illinois Central RR tracks, ending once again at the southwestern side of the intersection of the Illinois Central RR tracks and E. State Road 46 Bypass.

Petitioner's Name: Dr. Lois M. Sabo-Skelton (signatures of additional petitioners included)

Petitioner's Address: 121 N. Overhill Drive **Phone Number:** 812-339-9678

Owner's Name: Dr. Lois M. Sabo-Skelton

Owner's Address: 121 N. Overhill Drive **Phone Number:** 812-339-9678

Preparer's Name: Marines Fornerino (with Margaret Menge, Ann Kreilkamp)

Preparer's Address: Margaret Menge 117 S. Bryan Avenue **Phone Number:** 812-369-4325

Please respond to the following questions and attach additional pages for photographs, drawings, surveys, as requested.

1. **A legal description of the proposed district:** See above.
2. **Photographs – representative sampling of structures and styles:** See appendix 1.
3. **Zoning Map and Proposed Boundary Map:** See appendix 2.
4. **Provide copies of any listing on a state or national registry or historic survey information pertinent to the property(s):** See attached National Register of Historic Places information in appendix 3.
(4.a.. List of outstanding, notable, and contributing properties. See appendix 4.)
5. **If the designation is proposed on grounds other than architectural significance, supply evidence of historic linkages described. Such evidence as deed transfers, Sanborn maps, City Directories and Atlases, written histories, when available, or oral histories may be used:** See appendix 5.

An historic district must be ruled to meet one of the following criteria by the Historic Preservation Commission. The criteria that fit the proposed Green Acres Conservation District are in boldface in the following list:

Historic:

- a. **Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, nation; or is associated with a person who played a significant role in local, state, or national history.**
- b. Is site of an historic event; or
- c. **Exemplifies the cultural, political, economical, social, or historical heritage of the community.**

Architecturally worthy:

- a. Embodies distinguishing characteristics of an architectural or engineering type; or
- b. Is the work of a designer whose individual work has significantly influenced the development of the community; or
- c. Is the work of a designer of such prominence that such work gains its value from the designer's reputation; or
- d. Contains elements of design. Detail, materials, or craftsmanship which represent a significant innovation; or
- e. **Contains any architectural style, detail or element in danger of being lost; or**
- f. **Owing to its unique location or physical characteristics, represents an established and familiar visual feature of a neighborhood of the city; or**
- g. **Exemplifies the built environment in an era of history characterized by a distinctive architectural style.**

Explanations of how the proposed Green Acres Conservation District meets the selected criteria begin below and continue on subsequent pages.

Introduction: Green Acres as a Time Capsule

You are invited to come to Green Acres and take a walk through time.

You might, for instance, start on the neighborhood's western boundary on Union or Jefferson Street and head east. Through the architecture alone, you will find yourself walking through the 1920s, 30s and 40s and will experience history developing into the 1960s. You will sense the importance of the interplay between Bloomington and Indiana University then and now—a complex relationship embodied by the students, faculty, and staff who have lived and still live in the area.

As you explore the area in space and time, you might wish to keep in mind, regardless of your own political leanings, the words of Franklin Delano Roosevelt from the Economic Bill of Rights (1944), also known as the Second Bill of Rights: “We have come to a clear realization of the fact that true individual freedom cannot exist without economic security and independence.” Indeed, you might ponder how F.D.R. went on to maintain that an important aspect of achieving such security and independence for all of us, regardless of station, race, or creed, is to have the right to a good education and the right to a decent home. In that document, and here in this physical space in Bloomington, you can sense the optimism of a nation that has just won a monumental war and sees nothing but hope for the future. The bungalows, small American houses, modest cottages, and compact ranches built during that time and still standing today all speak to the relationship between education and home-ownership, to the sanguine expectation that things will keep getting better for us all. From the early postwar years of Harry Truman, through the economic growth of Eisenhower's 1950s, up through the dreams of Kennedy's New Frontier, these houses bear witness to the priority of fulfilling the need for affordable and efficient housing for the working class—housing “with dignity,” as the Federal Housing Administration would put it as a requirement. As you walk, you will see how this dream shifts and changes as you begin to encounter houses that reflect architectural styles that distance themselves from those constructed under a crisis of a shortage of housing (and thus mark the need for strict efficiency and affordability in the 1940s), coming upon domiciles that slowly begin to show a sense of growth during a time of economic stability. You will see, in the very materiality of Green Acres, how various aspects of the GI Bill and FHA-insured mortgages adapted to different economic situations. You will see, in short, a time capsule of mid-twentieth century American ideals.

Be prepared, though, to have that euphoria and optimism sadly questioned, as you learn that minorities were not originally allowed to participate in reaping the full benefits of those policies and that hope, and therefore the houses in this beautiful neighborhood have been primarily owned by white people. To be sure, you might legitimately become not only saddened but outraged as you make your way to the Hillsdale addition in the southeast area of the neighborhood, knowing that the deed to that addition from 1947 read: “The ownership and occupancy of lots or buildings for this addition are forever restricted to members of the white race, and no person except for a member of the white race shall acquire title to a lot, lots, or parts

of lots, or buildings in this addition.” Yet still you will encounter some of history’s most profound workings—the push and pull of battling ideologies—when you further come to learn that the previous owner of the subdivision, Lester Smith, was an historian who was passionate about publishing and keeping records of the oral history of the Underground Railroad in Monroe County.

Indeed, at the end of your journey, you will not only have walked through time, but you will have ridden a small roller coaster of emotions. Such wide-ranging emotions are felt whenever one reads history with a critical eye, but in Green Acres all of this can be experienced directly through the architecture and the land. In Green Acres, the complexities of history on a local as well as national scale are made manifest in a living time capsule that, rather than being buried somewhere to be dug up by a future generation, is, here and now, living, breathing, changing, and bearing witness to who we are, who we have been, and who we aspire to be.

The History of Green Acres

Green Acres was Bloomington’s first post-World War II suburb. Many of the new homes built here in the 1940s and 50s housed students and young professors and professionals who raised families in them after returning from the war. This contributed to the post-war economic boom and the famous Baby Boom as well. Small affordable houses with yards that could be purchased with government help were the seeds of growth for many communities including Bloomington.

The present residential character of Green Acres is the result of three main land subdivisions. In 1923, the western area of the proposed district between Union and Clark streets was platted as Highland Homes; it follows a grid pattern in its street plan. Most of the cottages and bungalows built during this time (from the mid-1920s and 1930s) that are still standing are located closer to Third and Union Streets.

The second land subdivision was platted in 1947, and it comprises the southeast area of the neighborhood. The Hillsdale subdivision deeds, as mentioned above, originally contained a racially restrictive covenant—as was and still is the case with more than a thousand other deeds in Monroe County, including part of the land where Indiana University sits, as well as the land flanking on the east and west side of Miller-Showers Park. Such covenants were deemed unenforceable by a decision of the Supreme Court in 1948; and later, in 1968, they were made illegal by the Federal Fair Housing Act.

Finally, the Overhill subdivision was platted in 1953, and it is similar to the Hillsdale subdivision in its design, with curvilinear street plans as well as housing stock composed of mostly ranch houses and split-levels.

Green Acres' history and land development are closely tied to those of Indiana University, and to the events that determined the United States' housing and education boom during the postwar era (c. 1945 - 1968). Even before the end of World War II, the United States government began planning for how best to reincorporate such a large number of military personnel back into civilian life by providing financial aid to the veterans. Coming home from fighting what some scholars call the "last just war," soldiers reintroduced to non-military life thus tended to have a strong economic base and a sense of a financially stable future. Signed into law by President Franklin D. Roosevelt, the Servicemen's Readjustment Act of 1944, also known as the GI Bill, secured funds to offer federal financial aid for housing, college education, and unemployment insurance to World War II veterans. This bill, along with FHA-insured mortgages, had an immeasurable impact on the economic base of the country. And in this little corner of the world known as Green Acres, these policies determined the local character, architectural traits, and population composition.

Indiana University-Bloomington, like many other universities at the time, was overwhelmed by the influx of new faculty and students. In a letter written on February 4, 1946 to the chairman of the Department of Psychology, Herman B. Wells (IU President, 1937-1962) expresses the concern that the "faculty housing shortage is a critical matter. Considerable contact with other campuses convinces me that our situation is not unique." In a report on faculty housing prepared more than seven months later (September 27, 1946), the picture of the housing situation is described as rapidly changing and aggravated by shortages of materials. It also lists several faculty members and their families who have been assigned to houses in Green Acres on Jefferson and Bryan streets.

The massive influx of people was overwhelming for the students and the university administration. By the start of the 1946-47 academic year, the fall semester had to be postponed by nearly a month due to the housing shortage. Student enrollment had, in fact, doubled compared to the previous year. A biographer of Herman B. Wells compared the influx of new students due to the G.I Bill to a "tsunami." In response to this human wave of new students, "IU put out a call to locals, begging them to assist by making any extra bedrooms available." You can confirm the community's response when looking at census data collected that included "roomers" in many households. So strong was the tide of growth that at the start of the postwar era the incipient number of houses in Green Acres did, indeed, begin to increase. Houses built for members of faculty and administration and their families as well as working class families

not tied to Indiana University continued to fill the empty lots of the neighborhood well into the 1960's.

Such is the historical framework that establishes the significant value of Green Acres as part of the **development, heritage, and cultural characteristics of the city**. One could say that Green Acres is a typical example of housing developments during the postwar era in the Midwest, but with several unique local qualities especially due to the interplay between the university and the city. This sense of being typical yet exceptional still exists today. To be sure, in most ways, our neighborhood has retained its postwar character over the years. With its 1920s-era Arts & Crafts-style bungalows and its unassuming ranch houses—marked by their simple lines and humble yet charming Midwestern yards—Green Acres invites us not only to think about a time in the United States when optimism and hope for a better future were symbolized by the possibility of owning a house and obtaining an education, but also the ways in which home-ownership and education were, and continue to be, so closely tied together. The combination of these two aspects of “the American Dream” have been, and still are being realized in an historically significant way in Green Acres.

The area began marked by the two incompatible values of racial segregation and the good-heartedness that drives a neighborhood to answer the distress call of an overrun university. It continued to have its character shaped as a community where the values and goals of home-ownership and education came together in a unique and empowering way (for returning GI's, civilians, and diverse post-segregation residents); and it still is today a place where all of this important history informs the local ethos. On a much grander scale, as Dr. Martin Luther King, Jr. might have put it, the arc of the moral universe continues striving to bend toward justice. The small and the grand; the local and the national; the university and the city; the quietly humble and the overwhelmingly beautiful: Green Acres is that most important liminal, borderland place where differences are not taken to be binaries but are, instead, simply seen to be part of the dialectic of history working itself out—a place where such working out happens among neighbors on a daily basis, a place we need, and need to protect, now more than ever.

Before Green Acres—The Outstanding Millen House

To add one important moment of history: the area where Green Acres is currently located was once populated by the Miami, Delaware, and Piankeshaw Indians. After the Fort Wayne Treaty of 1809, the indigenous people of the area were forcibly displaced, making way for white settlers under what was known as “manifest destiny.”

William Moffat Millen was part of a group of Scotch-Irish Presbyterians also known as Covenanters. The Covenanters were abolitionists who came to Indiana from South Carolina in the early-1800s. In 1839, William purchased 160 acres of land in Southern Indiana made “free” for white ownership by the Fort Wayne Treaty. The location of the Millen land would one day become known as Green Acres. Within a decade after purchasing the land Millen had built a two-story, brick Greek Revival-style home from bricks that he dug and fired on the property. Today, this handsome house still stands at 111 and 112 N. Bryan Avenue. The structure is a nationally recognized historic site rated as “outstanding,” and has been part of the National Register of Historic Places since 2004 (see Appendix 3). Now known as the Raintree House, the Millen home is currently the property of the Indiana University Foundation. During the start of the postwar era, and due to the crisis caused by a shortage of housing, the Millen house was occupied by IU faculty and staff. Since 1970, it has housed the Organization of American Historians.

The Millen House is one of the oldest and best-preserved houses in Monroe County. Unlike some of the other homes from this era, it retains most of its original glass and all but three original doors. The front portico, according to city records, originally had a Greek Revival-style entablature and detailing. It is one of the few remaining houses in Southern Indiana with a center-hall Georgian floor plan, with four rooms on the first floor that all have two doors – one opening to the center hall and another to the next room.

Notable Green Acres’ Neighbors

Due to its proximity to the Indiana University campus both spatially and historically, Green Acres has been home to several distinguished scholars who have made remarkable contributions to their fields of study and their areas of expertise. The area is also home to scholars and students whose work has transcended the walls of the ivory tower, truly having an impact on American culture at large. Among such neighbors is Joseph Muhler, who lived at 202 S. Hillsdale Drive. In 1951, Muhler’s research on stannous fluoride led to the formula for Crest toothpaste. He was posthumously inducted into the National Inventors Hall of Fame in 2019 for “moving society forward,” along with another IU faculty member who also contributed to the project. Their work raised a considerable amount of funding for Indiana University, and became the basis for modern research into oral health. Another neighbor and chemistry professor (who was also related to a lesser extent to the Crest patent) was Robert Fisher. Fisher, who is known for contributing to the safe harnessing of nuclear energy through his studies of deuterium as part of the Manhattan Project during World War II, lived at 2201 E. 7th Street from 1950 to 1959.

Well-noted for the scientific figures that have called Green Acres home, the neighborhood is also an important site for the arts. To choose two examples, Jean-Paul Darriau and Elaine Doenges—internationally-recognized and celebrated artists whose tangible legacy was and still is a source of healing and immeasurable contribution to our neighborhood and to the city—created bodies of work that have so inspired us to strive for a better and more thoughtful life that they are worth a moment of our time to note as examples of the Green Acres ethos.

- **Jean-Paul Darriau and his Racially Inclusive Statement**

Jean-Paul Darriau was a Green Acres resident from 1978 until his passing in 2006. He lived at 324 N. Jefferson Street. History refers to him as a “sculptor whose work can be seen at the Guggenheim Museum, the Hirshhorn Museum, the Walker Art Center in Minneapolis, the Denver Art Museum, and the Galleria Schneider in Rome—to name only a few locations in the United States and Europe—as well as in private collections.” Darriau was deeply committed to facilitating discussions of issues of race, gender, sexuality, and social justice—a commitment that was made manifest in the creation of art for his community and not just for private owners and the art establishment. Indiana University owns several sculptures by Darriau, and they are displayed outdoors on campus and at the IU art museum. While living in Green Acres, Darriau also put together performance art events and plays around the city, as he believed that words were as important as images. Arguably, his most significant contribution to the city can be seen in Miller-Showers Park, on the south boundary of Old SR 46 between College Avenue and Walnut Street. Funded by the first competitive grant offered by Bloomington’s Community Arts Commission, the monument located here was dedicated in 1980.

Consisting of two 10-ton statues carved from limestone, this monument depicts a different racial image on each of their four sides all facing one another. Viewed from one side, the profiles of an African and an Asian woman face each other; from the other side, the faces of a Nordic man and an Indian man gaze at each other. The title of the work is *Red, Blond, Black, & Olive*, and Darriau called these sculptures *an interracial monument*, a celebration of Bloomington’s diverse population. He created them while focused specifically on our local geography and geology—and genealogy. According to Darriau, the space between the statues is as important as the statues themselves, as it is in that space where communication can take place—a communication that requires a coming together with our differences, as all good communication must. Darriau did not offer much more concerning his own personal feelings concerning the monument. In fact, he (rightly) believed that art transcends the intentions of the artist: the people who are exposed to a work of art are going to interpret it through their particular concerns, history, and experiences; and that interpretation is going to provoke various degrees of agreement or disagreement both as to what we think the artist meant might have intended and to what the work means to us, to the neighborhood, to the community.



Jean-Paul Darriau installing
Red, Blond, Black, and Olive (1980)



Miller-Showers Park, the location of Darriau's statue, between land marked by racially restrictive covenants

- **Elaine Doenges and her Exceptional Contribution to Modernist Architecture**

Elaine Doenges was a self-taught female architect who persevered and succeeded in spite of the myriad obstacles imposed by gender discrimination. In 1958, only 1% of all architects in the United States were women—and according to a “Women in Architecture Survey,” Elaine Doenges was truly one of the “exceptional ones.” It is our good fortune that a notable house in Green Acres was designed and built by Doenges, and, according to City Directories, was occupied by the architect and her husband, Byron, from 1952 until at least 1966. Moreover, this structure is historically important because this particular house, located at 201 S. Hillsdale Drive, is the first house that Doenges ever designed.

History records that Doenges' first institutional obstacle came in the form of an assertion by the Dean of the University of Syracuse (c. 1943) that even though she could earn a degree in architecture, no firm and no individual would ever hire her because she was a woman. Those words, spoken by a man in a position of academic authority, had a dissuading effect on the young female aspiring architect, and so, dejected, she decided to study theater at DePauw University instead. But Doenges' desire to design buildings, and her determination to become a practicing architect, soon placed her on a path of self-education and growing self-confidence that would eventually lead her to build at least sixteen houses in Bloomington—many of which are still standing.



Elaine Doenges (from St. Mark's Church archives)



201 S. Hillsdale Drive, the first home Elaine Doenges designed

Doenges moved to Bloomington with her husband, who took a position as an Assistant Dean at Indiana University. Now able to have access to a wide range of courses, Doenges modeled her own self-made architectural curriculum after Yale University's, and thus began taking classes at IU in mathematics, art, and architectural history. It would not take long until she found opportunities to apply all of that knowledge and her ever-growing talent, building what is now known as the "Byron and Elaine Doenges' home." When designing the structure, her goals were functionality and bringing in the project under a strict budget. The result was a 1100-square-foot house on Hillsdale Drive with beautiful horizontal lines, nestled among the local trees and flora. Thus was her career as an architect born.

It was not long until Doenges began receiving contracts to design more houses in the area, among them houses meant to be homes for young members of faculty. During the 1950s Doenges offered her clients a novel approach to building their dream houses, especially given that during this time most small homes were tract houses or traditional houses. Instead, Doenges' clients had the luxury of having their homes designed around their own particular and individual needs and wishes, rather than having to purchase a house, or a house plan, from a builder with a preset traditional design. Doenges gained a reputation for achieving all of this both while keeping the costs within a budget and letting the design of the houses grow organically in the space with the needs of her clients in mind.

Forced to categorize her life's work, we could say that Doenges' architectural style lies somewhere within the tradition of twentieth-century Modernism. Her homes tend to fit an aesthetic between the eras of Art Deco and postmodernism, with an obvious importance given to functionality and simplicity as well as the use of open floor-plans, the use of glass (which helped to find a playful relation within the binary of indoor-outdoor), and the use of a material such as wood (taking up local resources and keeping in mind the local geography and aesthetic). Such a conceptualization works when we are forced to overlay it on her work, but it would be missing the point that Doenges was also a pioneer in putting forward the "viewpoint of a woman" when designing a house.

During the 1950s, with the economic situation improving and the nation overcoming the shortage of housing that marked the readjustment period, homebuyers started demanding more when considering buying a home. Even though men typically and traditionally were (and are) the ones to apply for loans and thus the ones who officially *buy* houses, in 1956 the FHA sponsored the Women's Congress on Housing in order to get the perspective of women in general and especially "female homemakers" concerning home design. As a result, and with the influence of the Modernist movement, houses began to look different as they became available to middle class America. Doenges was part of this movement before it became mainstream, caring about the woman's perspective and including it in designs springing from her technical expertise, her artistic talent, and her dedication to her particular clients' needs. All true. And yet, her houses are also personal statements that go beyond a particular style-label, as she was working "outside of the system" and was dedicated to treating each new home as a structure open to infinite possibilities, all in line with the wishes of her clients.

Like several other courageous and defying women of her time, Doenges' lifework is a monument to the tenacity and the determination needed to fight against the arbitrary rules of a system that tries to oppress classes of people for its own benefit and survival. It is thus that Elaine Doenges brought beauty and practicality to our city with her houses. She stands as an example for anyone embarking on a journey to liberate themselves from arbitrary limits. Hers was a career and a life spent defying expectations, bettering her community, and creating works of art in which real people could live, love, and grow. And it all began in our little corner of the world, Green Acres, the place where her first home still stands—strong, sturdy, and proud—some six decades later.

That Exceptional One

INDIANA'S EARLY FEMALE ARCHITECTS & BUILDERS

"I cannot, in whole conscience, recommend architecture as a profession for girls. I know some women who have done well at it, but the obstacles are so great that it takes an exceptional gift to make a go of it. If she insisted on becoming an architect, I would try to dissuade her. If, then, she was still determined, I would give her my blessing—she could be that exceptional one."

—Pietro Belluschi
Dean of the School of Architecture at the Massachusetts Institute of Technology, 1931-1932. He was the first to tell the first woman to study architecture at MIT.

This quote, by a well-known fellow of the American Institute of Architects, shows just how devoted a woman had to be to pursue a career in architecture. She had to be not only smart, but also driven, tough, and determined to face such attitudes and still persevere. And this was in 1906. Imagine what it must have been like in the late 1800s for a teenage girl who wanted to take mechanical drawing classes—or trying to persuade a professional architect to take her on as an apprentice, knowing that the odds were massively stacked against her. Mr. Belluschi was correct, each of the women pictured here is indeed "that exceptional one!"

This year the DHPA is highlighting the women who worked in Indiana and shaped our built environment, at least those we know about and could find photographs of. Certainly there are others. Some sought college degrees in the field, others were apprentices to existing architects, and still others taught themselves.

To learn more about these women and their work, follow the DHPA's Facebook page during May 2021.

LEARN MORE ABOUT HISTORIC PRESERVATION IN INDIANA:
ON.IN.GOV/DHPA • [FACEBOOK.COM/INDHPA](https://www.facebook.com/INDHPA)

Elaine Doenges (sixth on the bottom row) noted by the state of Indiana

Other notable people who have been an integral part of the Green Acres community are:

1. Karl Martz (1912-1997). An American studio potter, ceramic artist, and teacher whose work achieved national and international recognition. Journalist Ernie Pyle wrote: "... Each piece [of pottery] is an individual thing, almost with a soul. He never makes a duplicate of anything ... The ingenuity and artistry that he fashions into his clay are actually touching."

2. Dr. Frank Hrisomalos (1929- 2015). A beloved family doctor, the longest practicing physician in Monroe County and a selfless public servant who served on countless boards and councils under several different mayors. Awarded the Sagamore of the Wabash and a Kentucky Colonel, Mayor Mark Kruzan proclaimed "Dr. Frank Hrisomalos Day" on

April 1, 2009. His wife Becky, also an outstanding public servant, still resides in Green Acres. Frank's father Nicholas founded Nick's English Hut.

3. Paul Pietsch (1929-2009). Professor in the Indiana University School of Optometry and adjunct professor in Anatomy 1970-1994. His book "Shuffle Brain: The Quest for the Holgramic Mind" (1981) began as an article that explores amphibian brain transplants to determine connections between brain and memory. It was published in Harper's in 1972. It was awarded the 1972 Medical Journalism Award by the American Medical Association and was featured on the TV program "60 Minutes" in 1973. His research papers are housed in the IU Archives.
4. Charlotte Zietlow "... has left an indelible mark in Bloomington and Monroe County through four decades of community service" ... stated Mark Stoops, kicking off a ceremony to name the county's Justice Building the Charlotte T. Zietlow Justice Center. As a City Council member, business owner, first female County Commissioner, director for the Monroe County United Way, and development director for Planned Parenthood of Southern Indiana, she remains today a "persistent fighter for good and the social conscience of this community" said former state Senator Vi Simpson. This vital octogenarian is still hard at social work in our community.
5. Edward W. Najam, Jr. "... was appointed to the Court of Appeals by Governor Evan Bayh in 1992. Judge Najam earned his J.D. from Harvard Law School and was admitted to the Indiana Bar in 1972. ... The Indiana Supreme Court appointed Judge Najam to the Supreme Court Committee on Rules of Practice and Procedure and he served for 10 years. ... Judge Najam has represented the Indiana judiciary on the Indiana Department of Homeland Security Counter-Terrorism and Security Council since its creation in 2001, as well as many other committees related to security." He is the author of "Public School Finance in Indiana: A Critique", and "Caught in the Middle: The Role of State Intermediate Appellate Courts" and "Merit Selection in Indiana: The Foundation for a Fair and Impartial Appellate Judiciary."

The Importance of Green Acres as an “Architectural Whole”

Green Acres contains a range of housing types that are typical of the postwar era, including American Small Houses, Ranches, Bungalows, Cottages, Split-levels, and Massed Two-Stories. These housing types, although common for their eras, are currently **in danger of being lost** to demolition. Because of Green Acres’ proximity to the Indiana University campus, the historic houses in the neighborhood are targeted for demolition by developers in order to build higher density student housing characterized by multi-unit and multi-story buildings that would destroy the historical character of the neighborhood. This has been made possible thanks to the passing of the 2021 Unified Development Ordinance that seeks to increase density in neighborhoods regardless of their historical value.

The point here is not an argument against densification in general, but it is an argument for preserving the historic character of the neighborhood as a whole for the future. A local conservation district designation would allow change to take place in the neighborhood, but change that is more in tune with the community’s needs and its historic character.

“Naturally” bounded, as it is, by the east side of the Indiana University campus (west), the bypass (east), railroad tracks (north), and the busy 3rd Street thoroughfare (south), Green Acres is a neighborhood that has arisen organically, with obvious borders and a character all of its own. Many IU students pass through the neighborhood, especially moving along 7th Street and the tunnel—that is safe for pedestrians and bikers—going underneath the bypass. Indeed, Green Acres is a neighborhood that is visibly friendly to non-automobile travelers, to walkers and bike-riders—something that could change for the worse if construction is done in a thoughtless way. The neighborhood is also visible, of course, when driving down 3rd Street, or when traveling from 10th Street to 3rd Street (or vice versa) either by means of Union Street or Jefferson Street. Countless people (i.e., non-residents) visit the neighborhood over the course of a year, even if they perhaps do not know its name. Nestled in a part of Bloomington that serves as a transition from university to city, Green Acres’ four-sided perimeter is marked by three important transportation “arteries” and Indiana University. It is this latter “border”—the one shared with IU—that has undoubtedly influenced the character of the neighborhood the most, as Green Acres has always been in a mutually beneficial relationship with people with various ties to the university. Culturally, the community is one where this mixing has led to a particular way of seeing the academia/non-academia border as porous and worth celebrating *as* porous. From Elaine Doenges building homes for young faculty sixty years ago to residents interacting with IU students today, Green Acres is a particularly Bloomington sort of neighborhood, to be sure, but is unique in the city, as well, in its history, culture, and manner of participating in the larger communities in which it finds itself.

It is this whole, this collection of pre-war and post-war homes among a modest handful of city blocks, that constitutes the neighborhood's unique past heritage and future promise as something truly worth preserving. Through distinct yet immeasurable ways, Green Acres represents **an established and familiar visual feature of the city** for its residents, for IU students, and for all Bloomingtonians. Although Green Acres has been home to many individually notable residents and noteworthy structures, it is only when one steps back and sees the neighborhood as a whole—as a *gestalt*, as an aggregate that is more than the sum of its parts—that the true historical significance of the area can be appreciated. This bird's-eye-view is when the significance of Green Acres surely comes into focus: here is a place with its own unique history; here is a place with its own unique style; here is a place that supports and nurtures all sorts of local people and local life in general; here is a place worth preserving by allowing it a small modicum of autonomy to decide how change will progress and how best to respect the past while being open to the future.

Conclusion: Green Acres, Change, and the Importance of Our Shared History

Even the Presocratic philosophers more than two-and-a-half millennia ago knew that the only thing that is permanent is change. One cannot step into the same river twice, to be sure. And one cannot walk through the same neighborhood twice, either. Asking the Historic Preservation Commission of the City of Bloomington to grant Green Acres a conservation designation is not to suggest that change will come to an end in the neighborhood. It is change, after all, that created the neighborhood—created the need for postwar housing, created the convergence of the goals of education and home-ownership, created the convergence of particular architectural styles celebrated there, created the inspiration for the scientists, humanists, artists, and noteworthy others who have called this place home to create the things they have created. It was change that made possible the ending of the enforcement of the racially restrictive covenant. Change is not the enemy. But change must have some sort of background against which it is measured even in order to appear as change. And *good* change is always *thoughtful* change.

In the grand history of the world, the founding of our little blooming-town two centuries ago happened recently. And yet, how much transformation we have seen over those years. And how many moments of importance stand out in that timeline, moments worth remembering and codifying as part of what makes us who we are today and who we still aspire to be.

One of the fallacies in the history of doing history has been that we all too often have thought of history as being created by the big-time “movers and shakers,” the people with a lot of power interacting with each other on large scales. Green Acres has seen its fair share of such historical names. From scientists who improved world health to an architect who, by building up the walls

of her own home here, helped to break the glass ceiling everywhere. But the truth is that the history of Green Acres has also been formed—and formed importantly, deeply, and meaningfully—by the ordinary, working-class people who have lived there, who have passed through, and who are still living there and are making this a vibrant neighborhood: the people whom history often overlooks as “insignificant.” These are the people, after all, who were Elaine Doenges’ neighbors and complimented the design of her house; these are the people who played formative roles in the life of Jean-Paul Darriau before he scrawled on his *Red, Blond, Black, & Olive* statue the words:

In this place
 where breath alone
 connect us
 we organize the earth:
 as cities
 lighting up the map
 we are the world’s
 many pulsing hearts
 as families
 branching out
 till peace breaks out...
 we are the human trees
 who green the diamond-blue
 still burdened planet
 blooming in our
 Red, Blond, Black, and Olive
 skins

Like the individually unique and beautiful houses that make up more than the sum of their parts when taken together, the unique and beautiful stories of each and every resident are threads in a larger tapestry of Bloomington culture and history. Granting the area a conservation designation will not only codify a truth that is already in play, but will help to assure that as history continues to unfold, it will do so in a way such that the diverse people who live here today and tomorrow have a say in what is to come, an opportunity to have their voices heard, a chance to branch out like peaceful human trees, one limb in the past, another limb reaching for tomorrow.

For more information about the Green Acres neighborhood, see the Green Acres Neighborhood Plan, completed in 2007, which is included with this application. The forward, written by Green Acres resident Ann Kreilkamp, is below:

Green Acres Neighborhood Plan Foreword – By Ann Kreilkamp, January 15, 2007

Walk into a tall, narrow, hidden room in the Monroe County Historical Society Museum and look up on the west wall. There you will find a floor-to-ceiling photograph, taken in 1955, from downtown Bloomington that looks east, as if from a low-flying aircraft. St. Charles Borromeo Catholic Church, on the corner of 3rd and High Street, sticks out isolated, with only green fields beyond. In Green Acres itself, you can make out the small, mostly post-World War II houses of Union, North Bryan, Jefferson, Roosevelt—some kit homes, some Arts and Crafts California Bungalows of various types— but the neighborhood looks sort of barren, not many trees. Further east there is so much tree cover that it’s hard to tell how many houses were already built on Hillsdale and Overhill, or even if those streets existed then (they did; Hillsdale was platted in 1947 and Overhill in 1953). Nor is the east edge of Green Acres obvious in the photo (the bypass wasn’t built until the ‘60s).

Now zoom back even further, way back, to 1839 when William Moffat Millen purchased 160 acres, the “SE quadrant of section 34,” from William Bonner, for \$1800. The west (Union Street), north (“Nashville Road,” now 10th Street) and south (“Columbus Road,” now E. 3rd Street) boundaries of this farm are still those of Green Acres, though the east boundary spread further than what is now the bypass.

Near the western edge of his farmstead, in 1849, Mr. Millen built a Greek Revival, two-story, Georgian home (a style no longer in vogue on the east coast, but still favored by well-to-do farmers in Southern Indiana and other parts of the Upland South). This house, the Millen-Stallknecht House—recently renamed the Raintree House because of its two raintrees (*Koelreuteria paniculata*), one of which is the largest of its species in Southern Indiana—and the 7/10th acre that remains of the original property now bear the addresses of 111 and 112 North Bryan.

One of four of its type in Monroe County, the Millen-Stallknecht house with its elaborate classical portico is the only one to retain historical integrity (having not been substantially added to or subtracted from). As of 2004, the Millen House was federally approved on the National Register of Historic Places, and is listed as an Indiana

Historic Site. We can view the Millen-Stallknecht/Raintree House, as the oldest house still standing, as the cornerstone of our Green Acres Neighborhood.

According to a report filed by the United States Department of Interior, in 1880 Millen sold the property to James B. Clark, a farmer. Clark sold it to a Mr. Rogers in 1882. In the 20th century, the home went through numerous owners (Agnes Wells, Geneva L. Graeba, Anna and Newton Stallknecht) and the property subdivided a number of times. The westernmost acreage, called Highland Homes, from Union through Clark Street, was platted in 1923.

In 1946, the Trustees of Indiana University purchased the Millen House and rented it for three years to university personnel and students before selling to the Stallknechts, who refurbished the interior. In 1969, the “Stallknecht House” and property were sold to the IU Foundation and renamed Raintree House. Since 1970, at the invitation of then president Herman Wells, it has been used as headquarters for the Organization of American Historians. In 1992, the Foundation deeded it back to the Trustees of Indiana University.

The report calls the Millen House a “surviving landmark of a group of Scotch-Irish Presbyterians who migrated from Chester City, South Carolina before 1834.” They “helped transform the economic fabric of the community, were active in the formation of IU, and anti-slavery in spirit.” Mr. Millen’s own father’s will (in South Carolina, 1844) “took the rare and radical step of freeing his seven slaves and leaving them \$300 to move to a free state.” (By comparison, he left \$50 to each son and \$100 to a daughter.) It has long been rumored that the Millen House was one of the stations along the Underground Railroad, though no proof of this has been found.

This cornerstone of our neighborhood thus carries connotations of an enlightened awareness that preceded the Civil War by decades and serves as a lodestone, both for GANA’s embrace of neighborliness and for our decision to guide the future of Green Acres in the direction of sustainability.

Bloomington itself sits at an edge between the rural, folksy, can-do, smalltown values of the southern hills and the larger industrial cities of the north. Perhaps partly because of its position as a crossroads (in 1910 the U.S. census deemed it the center of the nation’s population), and of course, also due to its location as a university town, Bloomington itself has long served as a fertile oasis for all kinds of diversity.

Unfortunately, there have also been disturbing incidents in the neighborhood as well. Margaret Carter, a long-time resident, tells of a black family that moved in next to her on North Bryan, sometime in the '70s she thinks it was, and she welcomed them. However, a few months later she was surprised to discover that they had moved out, saying that shots had been fired at their house. And she tells of a real estate agent that went from house to house between 4th and 5th streets on Bryan, to warn those who lived there to sell their houses since a black professor and his family had moved into one of the rentals that IU owned on that street. However, this kind of memory is rare. Mostly, old-timers who have resided in this neighborhood for 30, 40, 50 years tell of a place full of children, spilling out of what seemed to be every house. A dozen or more on a single block, and all of them walked to school—St. Charles on the corner of 3rd and High Street, or the University School then located at 10th and the Bypass.

When at home they roamed all over the neighborhood, on foot or on their bikes, playing kickball, tag, Frisbee, hide and seek, “muckle” (like tackle, they made it up). They would buy ice cream bars from the Johnson Creamery milkman on his daily rounds (he lived at the corner of 3rd and Overhill), sled down snow-covered streets, throw a ball on dead-end streets, and head in a straight line through everyone’s yards, front yards, back yards, towards yet another empty lot or the aroma of someone’s mother’s cookies and milk. Nobody minded them or thought they were “trespassing.” Nor did parents need to keep an eye on their kids. As George Huntington, who has lived in the neighborhood for 47 of his 50 years said, “When I was a kid, in the summer I’d get up in the morning, leave home and not come back until well after dark. I don’t remember being scared of anything. This was a real little mini-community.”

George grew up on Edwards Row, “the edge of town,” since there was nothing but fields to the east. Stanley Routon, also on Edwards Row, remembers George as a kid, and says that in 1956, when he and his wife Bobbie bought a lot (for \$1200) and built their house (for \$12,000) where their four kids grew up, they were “in the country,” the city boundary being then Union Street. Their whole block “sprung up,” he says, within a few years.

Whenever a new family moved to Edwards Row, a dead-end street, the neighbors would invite them for a welcoming get-together, and this went on for years. Bobbie remembers holding a baby shower for someone on her block. And if someone was sick, others would look after them. Neighbors of all kinds mingled, an insurance salesman, a textile peddler, a trucker, a factory worker, a policeman, a professor at the university.

“The kids would all play in anybody’s yard, whether or not they were home.” Shirley Bushey, on Eastgate Lane since 1966, comments that “one time, two old people were arguing about a garage, using words like ‘your property’ and ‘my property.’ My kids had never heard those phrases before and asked me, ‘Why are they arguing, Mom? And where’s our property?’”

It is said that the fastest way to heal an ecosystem is to connect it with more parts of itself. By that measure, then in the ‘50s and ‘60s, Green Acres was a healthy ecosystem, the kids knitting its parts together by constantly roaming across legal boundaries. Nostalgic memories of Green Acres are bolstered by the theme song, “Green Acres is the place to be . . .” from the ‘60s TV sitcom of the same name, itself modeled on a 1950s radio series, “Granby’s Green Acres.” In that TV show, a New York City “city slicker” lawyer (Eddie Albert) and his wife (Eva Gabor) bought a 160-acre farm (note: same acreage as the real Green Acres!) in “Hooterville.”

The name “Green Acres” also conjures up associations that the word “green” has come to embody in this post-carbon, peak-oil era when we begin to wake up to how we “city slickers” must learn to invite nature into our cities if we are to survive and thrive in a future of dwindling energy resources.

Besides its enlightened origins, its populist feel, its history as a haven for young families, and its wonderfully evocative name, Green Acres has always occupied the enviable position of being a quiet, tree-shaded interior sanctuary surrounded by busy streets and commerce. As its exterior boundaries grow even more frenetic and congested, the feeling of sanctuary deepens, grows ever more precious, worth protecting.

We can thank the far-seeing folks who started the Greater Green Acres Neighborhood Association (GGANA) back in 1972, formed to address zoning, traffic and drainage issues. A 1973 Herald-Telephone headline sounds like *deja vu*: “GA is Looking for Help: speeders cut through on Hillsdale, Bryan and Overhill. Parked cars on Bryan and Jefferson.”

Al Ruesink, Marie Webster, Grace Martin, Tim and Sue Mayer and Georgia Schach were among the early active members of GGANA and they fought a number of zoning battles at the boundaries of the neighborhood, including those over development at the corners of Union and 3rd, Union and 7th, and of 10th and the Bypass. Al was one of the founders of the Council of Neighborhood Associations (CONA), also formed in

the early '70s to network with and coordinate the efforts of the 20 newly-emerged Neighborhood Associations in Bloomington.

Many consider Green Acres to be more convenient to diverse city amenities than any other neighborhood. This is because one can easily walk or ride a bike from Green Acres to grocery stores, movies, bookstores and other retail stores at Eastgate and the College Mall, to educational and cultural events on the IU campus, or continue downtown for city business, music and other cultural venues, ethnic restaurants, and the Saturday farmer's market—all within a mile or two.

Margaret Carter remembers taking the bus all the way downtown from a bus stop at 7th Street and Union (7th no longer goes through). She and others remember two neighborhood grocery stores, one on 10th, the other on the southwest corner of Union and 3rd called Livingston's, where she sent her kids for milk and bread. "And," says Stan Routon, "when Mr. Livingston read in the paper that a Kroger's was going in (in what is now Eastland Mall, in the Petco location), that very day he put up a sign that said the store was closing."

Tim Mayer, a City Council member on South Bryan, tells of a Mrs. Alma Stevenson, who lived on the southeast corner of 4th and Union in a two-story house built in 1927. In the '70s, she was referred to as "Monroe County's oldest living Republican" and politicians would come at election time to have their picture taken with 'Mommy Stevenson,' including Richard Lugar."

Mrs. Stevenson had four lots, and even into her 90s she maintained gardens, including vegetable gardens. Tim says she always wore a dress, and would "sit in the dirt and scoot herself along—scattering seed for two rows of corn and a handful of fertilizer." Tim shoveled her walks in the winter, and looked after her house when she broke her hip and had to move into a convalescent center. George Huntington took in old ladies' trash barrels when he saw them on his paper route. Back then, neighbors not only baked cookies for each others' kids, they watched out for each other, lent each other a hand.

Tim says that the neighborhood association started in the early 70s because of the pressure of development. "Park Ridge sprung up, with bigger houses on bigger lots, so many IU professors moved out there, vacating those houses and students moved in." Likewise, Stan says that when the houses were sold, they usually turned into rentals, and the block parties gradually stopped. By 1973, a Herald-Telephone news report

quotes a Green Acres resident, “It’s a weird, strange neighborhood. People are very nice, but they stick to themselves. We just don’t get together.”

This introduction to the history of Green Acres is intended to evoke what was and, in part still is, good about this small corner of the world; what we like very much and would like to see more of. We intend our commitment to “neighborliness” to include student renters, as well as the older folks who tend, like in most of America, to be nearly invisible. And, while apparently scarce, believe it or not, children do live in Green Acres! Once in a while, you will see a young mother walking a stroller with her dog on the street, and a whole busload of children leave for school every morning.

We would like to help college students be aware that they live in a neighborhood and that they might learn to enjoy it enough to want to settle in Green Acres, buy a home, start a family and a garden. The elderly among us need our help—we need to check in on them once in a while, listen to their stories, offer to take them to the store or to the doctor, mow their lawns, shovel their walks like neighbors used to do.

And we would like to engage our children to find each other, play kickball and tag once again, get out on their bikes. There aren’t many empty lots left, but we plan on pocket parks, and we encourage them to play and run through our front and back yards once again, so that they can help us remember that we actually live in community, that, in a very real way, we hold this land in common, in trust for the future of them and their children.

And yes, let us remember the block parties of old, and get together again, both for official GANA events, and more spontaneously on our own blocks. The new block captain program should help immeasurably—both to introduce us to each other and to facilitate sharing our diverse knowledge, skills and tools.

As with just about every neighborhood in a city where nearly half its occupants are college students, we recognize as a great challenge our decision to enlist the huge vitality and natural idealism of youth to partner with us as we launch experimental projects that demonstrate a more harmonious blend between nature and culture and intensify both our capacity to sustain ourselves locally and our commitment to the health of our environment.

Proximity to IU is a key to the success of our effort. We plan to involve SPEA (School of Public and Environmental Affairs) and other schools and departments of the university to create credit courses and in-service programs that utilize Green Acres as a living laboratory to incubate the growth of a “village-like” atmosphere in which

residents can choose to live and work in place. We envision planting and plucking our own food; retrofitting our homes for energy efficiency and alternative energy; and utilizing inexpensive, low impact methods to conserve, enhance and connect energy flows of all kinds. We intend to support small neighborhood businesses and to carve out common areas that encourage us, as a microecosystem within the larger Bloomington area, to connect more parts of itself to itself.

Lois Sabo-Skelton, my close neighbor on Overhill Drive, sums it up well: “We cherish Green Acres as a safe and civil pocket within a safe and civil city that allows its neighbors, while maintaining personal privacy, to rely and depend on one another as one would in a family.”

Our quest then, as a community, is to become healed, healthy, whole; so diverse, so stable and secure and that the winds of change, no matter how strong, will find us able to adapt and thrive. Ultimately, we hope to leave a legacy that we can be proud of, that does justice to the enlightened, farseeing views of the family who bought the original 160 acre farm which evolved into our Green Acres neighborhood home.

I want to thank Betty Byne, Keith Johnson, Tim Mayer, Marian Shaaban, Lois Sabo-Skelton, Georgia Schaich and Rob Turner for their helpful, and sometimes crucial, suggestions for edits to this document.

###

Owner Signature: Lois M. Sano Skelton Date: 7/28/2024
Petitioner Signature: Ron M. Sano Skelton Date: 7/28/2024
Preparer Signature: Mary Mary Date: 7/28/2024

Postscript: A Brief Autobiographical Account of the Significance of Green Acres –
by Marines Fornerino

I, Marínés Fornerino, live on Roosevelt Street in Green Acres. As one member of the Green Acres Historic Designation Committee and the main author of this petition, I want to offer my brief personal experience and arguments here as a postscript, hoping that they are useful in some way to the members of the Commission as they deliberate.

I am originally from Venezuela, having come to study at IU in 1988. I fell in love with Bloomington the moment I arrived; it is a love affair that has now lasted nearly four decades. The first two years attending graduate school, I lived in Eigenmann Hall. I remember very clearly looking from my room at the beautiful houses on Jefferson St. and beyond, and walking by them with other international students on our way to the grocery store and the mall. We had a sense that we were leaving the protected life at the university and truly stepping into the “American experience” as we passed through Green Acres. The attractive unpretentious houses in the neighborhood told us a unique story about place and identity; and each house spoke to us through their particular features, prompting us to choose a favorite one. Later on, I lived as a tenant in the neighborhood, and several years ago, I finally became a homeowner. The architectural style of my neighborhood represents the cultural heritage of my community. It reflects the values and traditions of its past even while keeping the future open. Preserving the historic houses in my neighborhood will help to ensure that we don’t forget where we come from, and will give the future that we envision a point of reference.

I believe that we are a city that does not think only of short-term gain. I believe that we are a community that always moves forward, but strives to do so in a reasonable way. I would love for my neighborhood to continue offering the many students that come to IU the same experience and perception that I had: Bloomington is an incredibly special and unique place; here we respect our past as we try to figure out a better future by strengthening our shared cultural fabric and our communal sense of place. I have a stake in this application, that is, not only as a resident of Green Acres, but as someone who has seen the power of this area to inspire—and thus someone who feels an obligation to maintain that heritage in order to give future generations the same chance to be inspired. There might be houses similar in architecture elsewhere; there might even be “borderlands” that act as porous passageways between civil and academic life. But Green Acres is unique in countless ways. Its particular situated place in the world creates a particular sense of place in its residents and visitors. Its unique history shapes and molds attitudes about who we are and where we are going. It is a place I firmly believe is worth preserving not only for the betterment of its current residents and visitors, but for the

countless versions of people like me who have yet to discover the wonders of Bloomington, who have yet to “choose a favorite house” while walking by as a poor student only to find themselves a fortunate homeowner in the neighborhood in the future, who have yet to arrive and come upon Green Acres and, simply and magically, fall in love. Preserving the past is surely always about preserving the future in this way. We speak, thus, not only for ourselves, but for future generations in the decision that is being made. Thank you for your consideration of our petition.

###

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APPENDIX 1

Photographs: representative sampling of structures and styles

OUTSTANDING HOUSE



Public domain photo.

The Millen House-Raintree House
111 and 112 North Bryan Avenue – Outstanding
Architectural Style: Greek revival, 1849

NOTABLE HOUSES AND BUILDING



2412 E 4th Street – Notable
Architectural Style: Modernist, 1960



Bloomington Fire Station #4 – 2201 E 3rd Street – Notable
Architectural Style: Modernist, c. 1970



316 N Hillsdale Drive – Notable
Architectural Style: Massed Ranch, 1955



Byron and Elaine Doenges House -- 201 S Hillsdale Drive – Notable
Architectural Style: Modernist, 1955



118 S Bryan Avenue – Contributing
Architectural Style: Bungalow, 1930



101 N Bryan Avenue – Contributing
Architectural Style: English Cottage, 1925



The Rodessa House – 2027 E Third Street - Contributing
Architectural Style: Bungalow, 1927



2101 E Third Street - Contributing
Architectural Style: English Cottage, 1931



311 N Jefferson Street – Contributing
Architectural Style: Colonial Revival, 1940



2206 E 8th Street - Contributing
Architectural Style: Ranch, 1960



420 N Roosevelt Street – Contributing
Architectural Style: American Small House, 1940



105 N Union Street – Contributing
Architectural Style: Ranch, 1940



121 N Bryan Avenue – Contributing
Architectural Style: American Small House, 1949 (Severely altered)



310 N Jefferson Street – Contributing
Architectural Style: Minimal Bungalow, 1945



318 N Jefferson – Contributing
Architectural Style: Minimal Ranch, early 1950s
Featuring the tree that Professor Edward Najam planted from a seedling, c. 1958



Darriau's House - 324 N Jefferson Street - Contributing
Architectural Style: Front-Gabled Bungalow, 1940



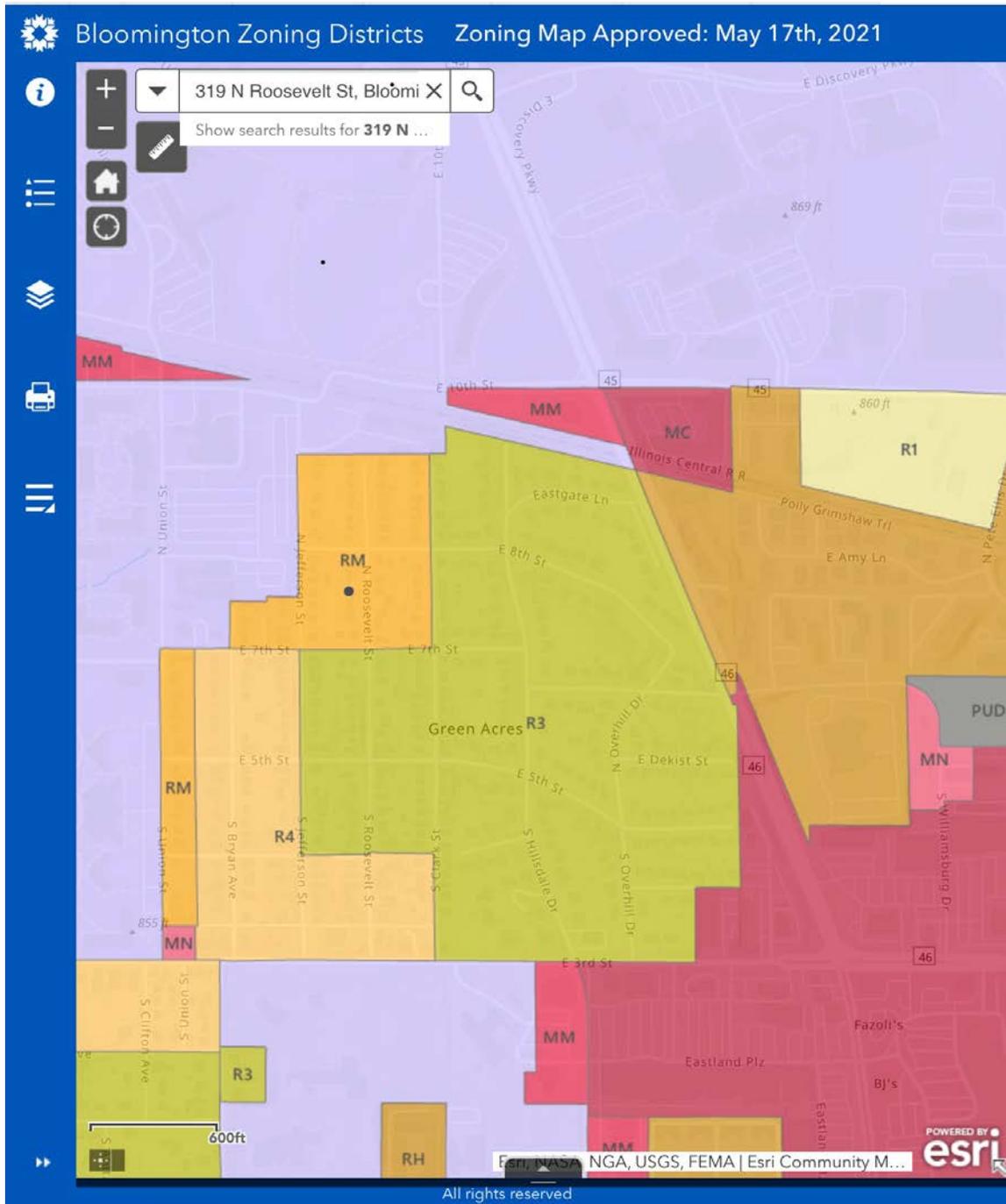
2201 E 7th Street – Contributing
Architectural Style: Cottage, 1940



2031 E 3rd Street – Contributing
Architectural Style: California Bungalow, 1928

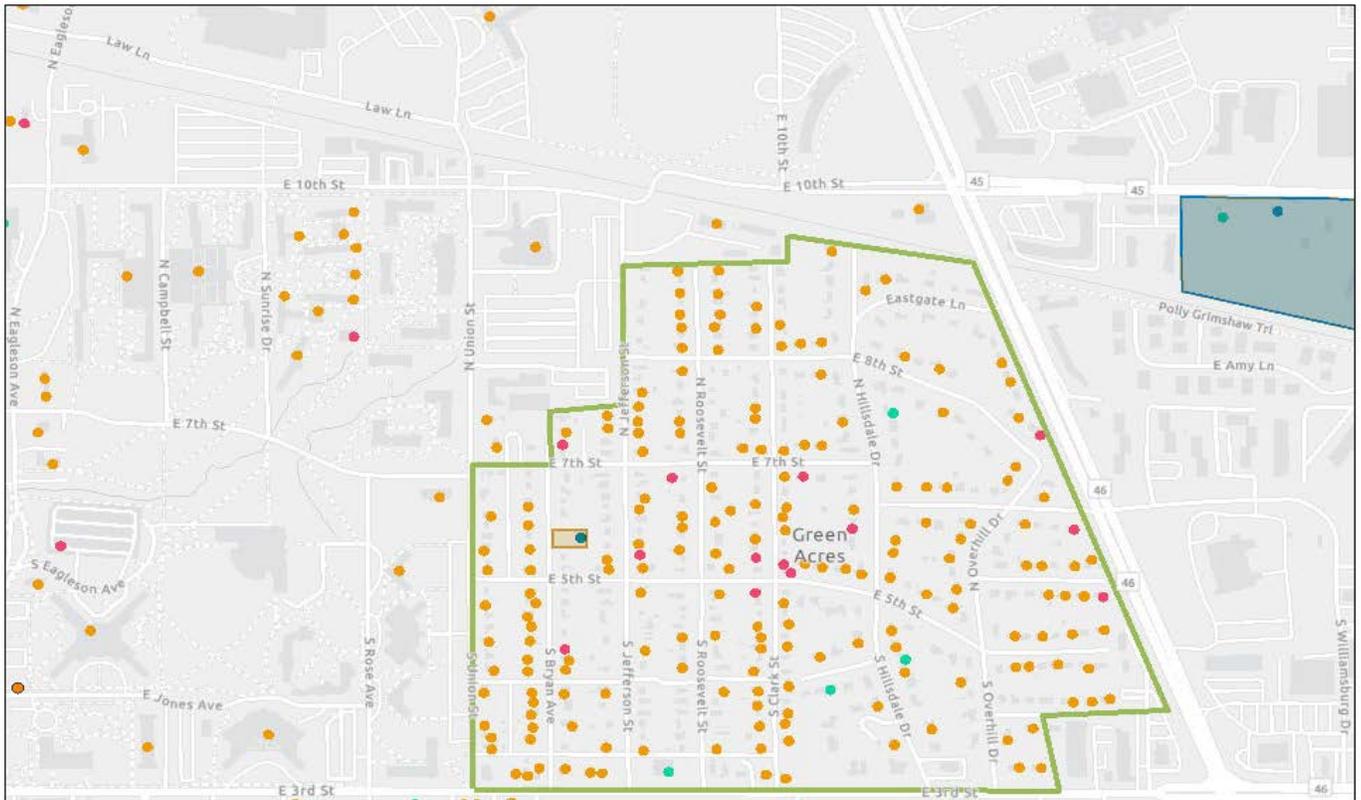
APPENDIX 2

MAPS: ZONING AND PROPOSED BOUNDARIES FOR CONSERVATION DISTRICT

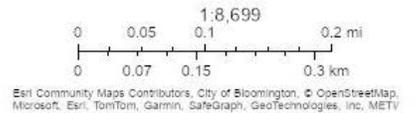


- RM: Residential Multifamily
- R3: Residential Small Lot
- R4: Residential Urban
- MN: Mixed-Use Neighborhood Scale

Map of Green Acres Proposed Conservation District Boundaries



7/10/2024, 10:21:28 PM



- Blue: Outstanding
- Green: Notable
- Orange: Contributing
- Pink: Non-Contributing
- Gray: Not Rated

APPENDIX 3

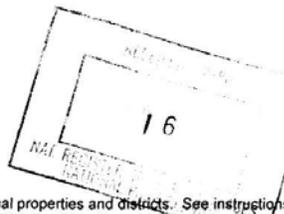
National Register of Historic Places Form for the Millen House

NPS Form 10-900
(Oct. 1990)

OMB No. 10024-0018

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Registration Form**



This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "X" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Millen House
other names/site number Rain Tree House; Millen-Stallknecht House 105-055-80021

2. Location

street & number 112 North Bryan Avenue N/A not for publication
city or town Bloomington N/A vicinity
state Indiana code IN county Monroe code 105 zip code 47408

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

John R. Gos 8/11/04
Signature of certifying official/Title Date
Indiana Department of Natural Resources
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title Date
State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:
 entered in the National Register.
 See continuation sheet.

determined eligible for the National Register
 See continuation sheet.

determined not eligible for the National Register

removed from the National Register
 other, (explain:)

Edson Beall 9/29/04
Signature of the Keeper Date of Action

Millen House
Name of Property

Monroe IN
County and State

5. Classification

| | | | | | | | | | | | | | | | | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|-----------------|--|---|---|-----------|---|---|-------|---|---|------------|---|---|---------|---|---|-------|
| <p>Ownership of Property (Check as many boxes as apply)</p> <p><input type="checkbox"/> private <input type="checkbox"/> public-local <input type="checkbox"/> public-State <input type="checkbox"/> public-Federal</p> | <p>Category of Property (Check only one box)</p> <p><input checked="" type="checkbox"/> building <input type="checkbox"/> district <input type="checkbox"/> site <input type="checkbox"/> structure <input type="checkbox"/> object <input type="checkbox"/> landscape</p> | <p>Number of Resources within Property (Do not include previously listed resources in the count)</p> <table border="0"> <tr> <td style="text-align: center;">Contributing</td> <td style="text-align: center;">Noncontributing</td> <td></td> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">1</td> <td>buildings</td> </tr> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">0</td> <td>sites</td> </tr> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">0</td> <td>structures</td> </tr> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">0</td> <td>objects</td> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">1</td> <td>Total</td> </tr> </table> | Contributing | Noncontributing | | 1 | 1 | buildings | 0 | 0 | sites | 0 | 0 | structures | 0 | 0 | objects | 1 | 1 | Total |
| Contributing | Noncontributing | | | | | | | | | | | | | | | | | | | |
| 1 | 1 | buildings | | | | | | | | | | | | | | | | | | |
| 0 | 0 | sites | | | | | | | | | | | | | | | | | | |
| 0 | 0 | structures | | | | | | | | | | | | | | | | | | |
| 0 | 0 | objects | | | | | | | | | | | | | | | | | | |
| 1 | 1 | Total | | | | | | | | | | | | | | | | | | |

Name of related multiple property listing
(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

0

6. Function or Use

| | |
|----------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Historic Functions (Enter categories from instructions)</p> <p>DOMESTIC: Single Dwelling EDUCATION: Education-Related</p> | <p>Current Functions (Enter categories from instructions)</p> <p>DOMESTIC: Single Dwelling EDUCATION: Research Facility</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|

7. Description

| | |
|-----------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Architectural Classification (Enter categories from instructions)</p> <p>MID-19th c.: Greek Revival OTHER: Double Pile</p> | <p>Materials (Enter categories from instructions)</p> <p>foundation: STONE: Limestone walls: BRICK roof: ASPHALT other:</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

Millen House _____

Monroe IN _____

Name of Property

County and State

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

ARCHITECTURE
EXPLORATION/SETTLEMENT

Period of Significance

c. 1845-1880

Significant Dates

N/A

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

Millen, William Moffett

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographic References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:

Indiana Room, Monroe County Public Library

Millen House
Name of Property

Monroe IN
County and State

10. Geographical Data

Acreage of Property Less than 1 acre

UTM References (Place additional UTM references on a continuation sheet.)

| | | | | | | | |
|---|------|---------|----------|---|------|---------|----------|
| 1 | 16 | 542530 | 4335230 | 3 | | | |
| | Zone | Easting | Northing | | Zone | Easting | Northing |
| 2 | | | | 4 | | | |
| | | | | | | | |

See continuation sheet

Verbal Boundary Description
(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification
(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title Katherine Roberts, Doctoral Student, Indiana University; John Dichtl, Matthew Reckard, &
organization _____ date 02-27-2003
street & number P. O. Box 613 telephone 812/ 334-0717
city or town Bloomington state IN zip code 47402

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

- A **USGS map** (7.5 or 15 minute series) indicating the property's location.
- A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white** photographs of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name Indiana University Trustees
street & number Indiana Memorial Union, Rm M005 telephone 812/ 855-3761
city or town Bloomington state IN zip code 47405

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 1

Millen House, Bloomington, Monroe County, IN

Architectural Description

The Millen House (also referred to locally as the Raintree House and the Millen-Stallknecht House, #105-055-90098 in City of Bloomington Historic Sites and Structures Inventory) is a Greek Revival style brick house. It is an excellent example of the Georgian house plan favored by well-to-do farmers in southern Indiana and other parts of the Upland South in the mid-nineteenth century. The house now stands on seven-tenths of an acre from the original 160-acre farmstead that William Moffatt Millen purchased in 1839 in northeastern Bloomington Township.

Today, the Millen House is located on North Bryan Avenue, one block east of the Indiana University campus and within a neighborhood of post-World War II housing. However, the house remains secluded by several large trees and shrubs that were planted by the last private owners, Newton P. and Anna G. Stallknecht, who lived in the house in the 1950s and 1960s. The house faces south, overlooking a long, sloping lawn that runs unencumbered to east Fifth Street. It is the only remaining original structure on the property. A deteriorating concrete block garage that was built in the 1950s (City of Bloomington building permit, 1949) is located behind the northwest corner of the house. Three cisterns are located on the north and west sides of the house, near the northwest back door. A circular gravel drive on the west side of the lot provides access to North Bryan Avenue. Anna G. Stallknecht added a walkway of unusual bricks stamped with a star pattern at the front of the house to accommodate foot traffic from the driveway to the front door.

The house is built of hand-pressed brick bearing walls, yellow poplar framing and a rough-cut limestone foundation. The bricks are laid in common bond, alternating six rows of stretchers over one row of headers. Brick bearing walls of eight to twelve inches divide the rooms in the house, with the exception of four-inch wood frame walls upstairs and downstairs along the west side of the central passage. A massive support beam (10.5" x 18") runs east/west across the ceiling in the upstairs central passage. There are paired, interior brick chimneys at either gable end of the house. They are rectangular and relatively large, featuring slight corbelling in the brick mid-way down. The medium-pitch, side-gabled roof is supported by evenly planed oak rafters and rough sawn yellow poplar nailers and ties. The limestone foundation extends approximately twenty inches above ground level. A full cellar with dirt and cement floor is divided into four rooms, separated by the load bearing brick walls. A stone fireplace protrudes from the northwest wall of the cellar. The exterior entrance in the northwest corner is boarded over (see photo 20).

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 2

Millen House, Bloomington, Monroe County, IN

Exterior proportions of the Millen House are typical of the Georgian plan. The north and south faces of the house are divided into five bays, while the gabled ends have two windows on each floor and a central window beneath the gable. The house's 27 windows are all the same size—33' x 77"—and are symmetrically placed. The upper five windows on the north and south faces line up in vertical precision with the windows and doors below. On the gable ends, an attic window is positioned between the two upper and two lower windows. All windows have double-hung sashes with six over six lights. Windows have two-inch unornamented wood casements. There are wide wooden lintels at the top of every window and a limestone sill at the bottom.

The three exterior doors in the house are of similar size—approximately 34" x 74". The front door on the south face of the house is wood paneled and matches the rest of the wood paneled doors in the house (see photo 6). The northwest corner entrance has a blond wood door with a small window on its upper half, and the back central door has two large panes of glass over a wood paneled bottom. Both back entrances have screen doors.

Architectural detailing is restrained but demonstrates an awareness of local Greek Revival style. A portico around the front door comprises the largest concentration of the exterior Greek Revival detailing. Four narrow, square wooden pillars support a flat roof, with an unembellished cornice (see photo 5). Two identical pilasters flank either side of the eight pane sidelights, broken into a unit of two panes over a separate unit of six panes. A tall three-pane casement transom (34.5" x 20") tops the wood panel door. The door and surrounds span approximately six feet (see photo 6). The undecorated, broad wooden lintels, subtle gable-end cornice returns and simple wide band of cornice trim complete the austere Greek Revival exterior treatment.

The Millen House has a rectangular, double-pile plan. A central passage with two adjacent rooms on either side comprises the basic design. The front entrance on the south face of the house opens onto a spacious central passage, approximately ten feet in width. A twelve-inch brick wall that runs east to west divides the downstairs passage, and a door in this wall provides access to the back portion of it (see photos 11 and 12). The front and back entrances align on either end of the passage. Two rooms of similar dimension (approximately 16' x 16' with twelve foot ceilings on the first floor and ten foot ceilings on the second floor) flank the central passage on each floor of this two-story house. Each room has a fireplace, and except for the downstairs southeast room, all rooms have corner presses (see photo 16, left side).

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 3

Millen House, Bloomington, Monroe County, IN

Each of the first floor rooms has two doors—one leading to the central passage and another opening into the adjacent room. An exterior door on the north face of the house opens into the northwest room. To the west of the doorway in the middle of the central passage is the interior entrance to the cellar stairs.

A straight staircase to the west of the front entrance leads to the second floor (see photo 11). The four upstairs rooms have only one door each, with no access between rooms. Against the north wall of the upstairs central passage is a trunk room (now a bathroom) and small utility closet. At the south end of the upstairs central passage there is a straight staircase leading to the attic (see photo 19). The attic has a window in the center of the east and west walls. The 4" x 6" floor joists are approximately two feet apart and are covered with slats of particleboard. Two thin walls of paneling run the east to west length of the attic, closing access to its north and south ends.

Interior Greek Revival detailing is equally restrained and is concentrated in the transoms, the mantels and door, window and baseboard molding. The downstairs southeast room was likely the formal parlor and contains the most lavish detailing. The two-inch curvilinear molding around the interior and exterior of the central passage doorway is repeated around all the windows and the door to the adjacent room as well as on top of the twelve-inch baseboards (see photo 15). In addition, the windows are emphasized with four-inch embrasing and wide sills. (The southwest room has the same window embrasure but does not feature the same molding.) A wooden mantelpiece is stored in the attic and has thin classical, horizontal lines, corner block bull's eyes, and channeled pilasters; another mantelpiece with simpler ornamentation is stored in the basement. Both are period pieces that are very probably original to the house. The imposing marble mantel in the southeast room was installed by the Stallknechts sometime after they acquired the property in 1950.

Throughout the rest of the house, molding is a consistent two-inch band of flat, two-tiered woodwork around windows and doors. Baseboards have unornamented functional, molding. All first floor doors have the same tall casement transoms as the front door, while upstairs transoms are narrow, single panes (34.5" x 7"), which do not open (see photo 18). The three remaining wooden mantels have the clean lines, plain panels, and Doric pilasters typical of the Greek Revival style (see photos 16 and 17). The mantel in the southwest downstairs room has an unusual row of four triangular bars at either end of the horizontal panel (see photo 14).

The basic plan, structure and interior woodworking in the Millen House are virtually unaltered. Some changes have been made in the interest of structural maintenance and the accommodation of a contemporary lifestyle. Indoor plumbing was installed, and a bathroom was

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 4

Millen House, Bloomington, Monroe County, IN

added on the second floor. According to Robert Louttit, who lived in the house in the 1930s, where there now is a small utility closet next to the upstairs bathroom, there used to be a small staircase that descended to the central back (i.e., north) room. Carol Hudson, an occupant of the house from 1949 to 1950, reported that Indiana University installed the first floor bathroom at this time to accommodate the large number of residents—her family, which was renting the first floor, and six medical students living on the second floor. Four of the eight original fireplaces have been completely plastered over, and the other four are sealed off. The house is now heated with a forced air furnace, which is located in the basement, along with the main electrical panel. According to Carol Hudson, a coal bin was added next to the northwest corner fireplace in the cellar, and there was a coal-burning furnace in the cellar as late as 1949. Indiana University workers completely rebuilt the wooden double door closure over the exterior stairwell to the cellar in the late 1990s (see photo 8). Ductwork for the central air system runs along the bottom side of the first floor joists, with intake and exhaust vents cut into the floor boards. Central air reaches the second floor through vertical ducts that pass internally through the east and west walls of the central passageway and, external to the wall, through the first floor bathroom. Electrical wiring was laid under the floorboards, with one electrical outlet mounted into the floor of each room. Newer wiring was added, probably after the house became an office in 1970, and runs in conduits along the walls.

According to notes and reports in the Organization of American Historians office files and in the Indiana University Archives, Newton P. and Anna G. Stallknecht, who lived in the house in the 1950s-1960s, repointed the brickwork and installed two star-capped, steel supporting rods from north to south through the brick load bearing walls. Anna Stallknecht also claimed to have had the floor joists strengthened with the addition of steel and brick supports and the front (south) porch replaced (see photos 5 and 6). A late-nineteenth-century photograph in the Indiana University Archives shows the front of Millen house then had a flush portico with Greek Revival entablature and detailing. The current porch also has Greek Revival detailing, more elaborate than original detailing inside the building. Although not original, the porch is a reasonably sympathetic addition. Its brick foundation is not continuous with the house's (there is a small gap between the two). Two upright limestone blocks sit equidistant on either side of the existing porch. It has been speculated that these may be remains of an earlier porch's foundation.

Stallknecht reported that she had removed a deteriorating wooden porch and replaced it with stone. This presumably refers to the porch floor which is limestone today (as are the stairs). Above floor level, the porch is wood (as it was in 1977 according to Helen Kahn).

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 5

Millen House, Bloomington, Monroe County, IN

No additional evidence of the present porch's origins have been located. The house was outside the city until recent times and does not appear on any Sanborn maps between 1883 and 1947. In the mid-1970s, University carpenters removed the original wooden porch that ran the length of the back (north) of the house, and a small concrete porch with an awning was added to the northwest entrance. The wooden northwest door, which has a small plexiglass window, was probably added in the late 1960s or early 1970s, when Millen House was converted into office space. Other alterations include the installation of drop ceilings, particle board flooring, and paneling partitions in the attic.

The Millen House has a few distinguishing features that reveal the individual needs and whims of the builder/designer. The central passage of most Georgian plan houses is an open space from front door to back door. This feature, which circulates air well, is a blessing in the summer, but can be a curse in the winter. The builder of the Millen House seems to have wanted the prestige of the central passage design but also the ability to manipulate the space. Shutting the door in the middle of the passage could stem cold and warm air circulation. In addition, this would create a separate back room, accessible from the back porch and the northwest and northeast downstairs rooms.

The wood frame walls along the west side of the central passage are a little unusual for local Georgian plan houses, which mostly feature load bearing brick walls on either side of the central passage. Of further interest is the slight jog between the northwest and southwest wood walls downstairs. Because of this the northwest downstairs room is approximately one foot narrower than the rest of the downstairs rooms and the back part of the central passage is one foot wider than the front part. This may have been done to accommodate the interior cellar entrance. Other peculiarities include a small set of cabinets tucked into the southeast corner of the southwest room (see photo 13) and a cabinet of similar dimensions embedded into the wall just to the east of the front door.

The Millen House is in remarkably good condition. It retains much of its original glass, and all but three doors in the house are original. According to employees who work in the house today and were present at the time, these original doors were stripped of multiple layers of paint in 1990. Other than the loss of their original finish the doors are in excellent shape, and several have original hinges. The decorative woodwork throughout the house is also original, and it resembles that of other period houses in the area (the Woodburn House #105-055-90170 and the Blair-Dunning House #105-055-66005 in the City of Bloomington Historic Sites and Structures Survey, 2004; the Samuel Harbison House #105-055-15028 and the Ben Owens House #105-

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7&8 Page 6

Millen House, Bloomington, Monroe County, IN

055-25016 in Monroe County Historic Sites and Structures Survey, 1989). There have been very few structural alterations to the Millen House. One of the few remaining Georgian plan houses of the 1840s-60s in the county, it retains the overall integrity of its architectural period.

Statement of Significance

The Millen House is eligible for the National Register of Historic Places under Criterion C, and is historically significant between the years 1839, when the Millens purchased the land, and 1880, when they sold it. The large brick Georgian plan house exemplifies "high style" residential architectural of its time and place. It is one of only four buildings of its type left in Monroe County. While two of these four have been substantially altered, the Millen House retains exceptional historical integrity. The Millen House also meets Criterion A, as an example of a significant residence from Bloomington's settlement era. Its first residents were part of a significant settlement trend that helped shape Bloomington.

The Millen House, like the Thomas Smith House, James Faris House, Woodburn House, and Wylie House, is a surviving landmark of a group of Scotch-Irish Presbyterians who migrated primarily from Chester County, South Carolina, to settle in early Bloomington. The greater part of this migration was complete by 1834. Presbyterians from the uplands of South Carolina who came to southern Indiana in this period were divided into three groups: Reformed Presbyterians, or Covenanters; Associate Presbyterians, or Seceders; and, thanks to a union of most members of these two groups in 1782, the Associate Reformed Presbyterians. As historian James A. Woodburn has shown, key members of these groups migrated together, intermarried, helped transform the economic fabric of the community, were active in the formation of Indiana University, and were anti-slavery in spirit. Some of these settlers aggressively defended the lives of escaping slaves, offering their homes as stations along the Underground Railroad. The Millens were early members of these interconnecting religious communities, which were significant in the early development of Bloomington and Monroe County.

Historical Background

William Moffat Millen (1801-1893) and his first wife, Martha Bonner (d.1843), came to Monroe County from Chester District, South Carolina, by 1834. It was in May of that year that they were received as members of the Union Congregation of the Associate Reformed Presbyterian church in Bloomington. According to church records, William's younger brother, James (b. 1805), and more than a dozen other settlers from South Carolina had formed the

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 7

Millen House, Bloomington, Monroe County, IN

congregation the previous year (Woodburn, 1910). William Millen, fellow migrants from South Carolina, such as Samuel Harbison (an Associate Reformed Presbyterian) James Blair (a Covenanter and a member of the first Board of Trustees at Indiana University), William Fee, and others would establish successful farms close to Bloomington (Woodburn, 1910; Blanchard, 1884).

Millen paid \$1,800 in 1839 for 160 acres in the southeast quadrant of section 34 in Bloomington Township, one mile east of downtown Bloomington. Millen purchased the land from William Bonner, who may have been a relative of his wife, Martha Bonner Millen. The property was well situated, bounded on the north by the Nashville Road (now Tenth Street) and on the south by the Columbus Road (now Third Street). Although documentation has not been found to establish when Millen's house was built, it may have been between 1839, when the property cost him \$1,800, and 1850, when the U.S. Census of Agriculture and the U.S. Census valued his farm at \$3,200 and \$4,000 respectively. The sharp increase in property value over the eleven intervening years—from \$11.25 per acre to \$20 or \$25 per acre—suggests the addition of the house. (In contrast, according to the U.S. Department of Agriculture Economic Research Service, the average price per acre in Monroe County in 1850 was \$8.)

Martha Bonner Millen died in February 1843, and William married Eleanor McDill (1811-1899) late the next year. Eleanor, William, and William's three children of his first marriage, Eliza, James, and William, occupied the house for many years. William and Eleanor sold it in 1880 and moved to a house in town on Lincoln Street (Shepherd; Millen obituary, 1899).

The Millen family had arrived in Monroe County during a period that saw Bloomington grow from a small frontier county seat with about 700 residents and a tiny seminary to become a prosperous small city with the state university. It was a time of increasing prosperity as well as population, with improved roads and other infrastructure, culminating with the arrival of the New Albany and Salem Railroad in 1854. William M. Millen, at least six of his nine siblings, and his uncle, who also was named William, were part of the economic transformation of the area. By 1835, one of the two Williams opened a steam powered sawmill with William Fee, the first elder of the Millen's Associate Reformed Presbyterian congregation. In 1843 the two business partners added a grist mill to their enterprise (Blanchard, 1884). William M. Millen's sister, Eliza Chestnut Millen (b.1810), was married to one of the most prominent Covenanters in Bloomington, James K. Hemphill (Shepherd; Woodburn, 1910). And when James K. Hemphill, also one of the city's foremost early merchants, passed away in 1837, it was William M. Millen

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 8

Millen House, Bloomington, Monroe County, IN

and James Blair, another prominent Covenanter, who administered his estate and liquidated the merchandise from his store (*The Bloomington Post*, December 1837-January 1838).

During the previous period of early European settlement, residential architecture in the area had been almost entirely in traditional vernacular styles such as double pen or hall-and-parlor. The new period brought the appearance of more sophisticated, consciously "high style" architecture. In residences this typically meant the Georgian style, a tradition brought by emigrants from Kentucky and the Eastern States. The Millen House is typical of the double-pile Georgian plan, with its paired chimneys at each gable-sided end, symmetrical fenestration and floor plans, and restrained Greek Revival detailing.

The area had limited manufacturing capabilities at this time. Much of the Millen House's considerable architectural ornament is very simple in form and could have been made locally by men with limited skills and few tools. Baseboards in some rooms, for example, are simply boards with a beveled upper half. The house's more sophisticated elements were imported: the hardware certainly, but also quite possibly mantels, doors and windows. The house's Greek Revival ornament, while new to this part of Indiana, was becoming outdated in the eastern U.S., where Italianate and Gothic homes were more in fashion. The Millen House thus reflects the provincial world in which it was built.

There are four brick Georgian houses from this period left in Monroe County, according to the County and City Historic Sites and Structures Surveys. Samuel Harbison, who migrated to Bloomington at the same time as Millen, built a similar brick Georgian house on his large farm in Richland Township around 1840. Joseph Bunger and Benjamin Owens, also prosperous farmers in the county, likewise built large brick Georgian houses between 1850-1860 (respectively #105-40025 and #105-25016 in the Monroe County Interim Report). All three houses have similar restrained Greek Revival detailing in the lintels, cornice returns, and porticos. Unlike the Millen House, all three have an original ell at the back which housed the kitchen. Otherwise the same basic floor plan is the same in all four. The interior detailing in the Harbison and Owens Houses is similar to the Millen House—tall transoms, embrasure around the windows, and simple curved molding along high baseboards, doors and windows.

Both the Owens and Harbison Houses have had substantial structural alterations. In contrast, structural alterations to the Millen House have been few and minor, as discussed in Section 7. Non-structural alterations have also been minor and have resulted in the loss of very little of the building's original fabric. The only substantial missing feature is the shed-roofed

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 9

Millen House, Bloomington, Monroe County, IN

porch that once extended the length of the rear façade (replaced by a small modern porch at one door and a stoop at the other).

The historic setting of the building, once an isolated farmhouse, has been substantially altered by residential development. The effects of this are mitigated by the house's location in the center of a block. The building is not in a line with any other building, nor does it directly front on any street. It is surrounded by back yards and, in the front of the house, undeveloped lots, all with mature vegetation. While unlike the house's original environment, which would have been open fields descending to the west toward downtown Bloomington, the present setting give the house a secluded atmosphere which suggests its rural origins.

Further Research

This nomination asserts the house is eligible for the National Register for its architecture and role in settlement; additional investigation may establish that it also qualifies for the Register for its associations to ethnic heritage.

Oral tradition suggests the Millen house may have been used on the Underground Railroad. The Millens were members of the Associate Reformed Presbyterian church, which, in the antebellum period, condemned slavery as an evil. In northern communities the Associate Reformed Presbyterians had an attitude on slavery that "was essentially the same" as that of the Covenanters, or Reformed Presbyterians. (Woodburn, 1910). William M. Millen's father's will, for example, written in South Carolina in 1844, took the rare and radical step of freeing his seven slaves and leaving them \$300 so they could move to free states of their choosing. Unsure if this could be accomplished, Millen's father stipulated that if the slaves could not be freed legally, then they should fall into the care of his children, whom he trusted to ameliorate their situation. Millen's father, although perhaps only a posthumous abolitionist, was serious enough to leave \$300, a large amount of money at the time, to see his plan through. In contrast, he left only \$50 to each of several sons and \$100 to a daughter (John Millen, 1844). This suggests the Millen family's moral beliefs, and perhaps political opinion, was strongly anti-slavery.

Local members of the Reformed Presbyterian Church, or Covenanters, were instrumental in local Underground Railroad efforts. Several of the original Covenanter settlers from South Carolina—Thomas Smith, Rev. James Faris, and James Blair—figure prominently in the only published account of Underground Railroad activity in Bloomington. Faris was an active

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 10

Millen House, Bloomington, Monroe County, IN

abolitionist and had petitioned the South Carolina state legislature to pass a law allowing the voluntary release of slaves.

Despite some effort, however, no connection between the Millen House and the Underground Railroad has been proven. Direct evidence of the Underground Railroad's secret activities is notoriously scarce, but additional research might prove fruitful.

Nevertheless, Reformed, Associate, and Associate Reformed Scotch-Irish Presbyterians who migrated to the Bloomington area in the 1820s-40s were historically important for reasons other than the Underground Railroad. They established a sizeable and lasting presence in Monroe County where they were instrumental in the commercial and civic growth of Bloomington and the establishment of Indiana University. The first president of the university, was a Covenanter scholar and minister. Sons and daughters of these early Presbyterians were early graduates of the university and would join the faculty and administration. (Clark, 1970; Woodburn, 1910). Additional research might establish a stronger link between these developments and the Millen family or their house.

It is clear, however, that the Millens and many of their neighbors were part of an influx of Scotch-Irish Presbyterians who helped settle Monroe County and left a personal, material legacy on the local landscape. Seven of Bloomington's oldest remaining houses belonged to these early settlers: the Thomas Smith House (#105-055-9134), the Woodburn House (#105-055-90170), the Andrew Wylie House (#105-055-74007), the James Faris House (#105-055-90133), the James Blair House (#105-055-90058), and the Millen House in the City of Bloomington Historic Sites and Structures Survey, 2004; and the Samuel Harbison House (#105-055-15028) in the Monroe County Historic Sites and Structures Survey, 1989. All built between 1830 and 1850, these houses leave an important material record of early settlement.

History of the Site: 1879-Present

The Millens sold their house and 158 acres to James B. Clark, a local farmer, and his wife, Anne E. Clark, in 1880. Two acres in the southeastern corner of the original parcel had gone to Robert Rock in 1879. Emily Smith Rogers and her son Ben purchased the house and land in 1882, and Ben sold his eastern half of the property back to his parents three years later (Abstract of Title). Emily Smith Rogers (1832-1898) and Isaac Milton Rogers (1830-1899) lived in the house with their many children until 1900. Isaac was the grandson of Henry Rogers who, with his brother Aquilla, came to southern Indiana in 1816 and was among the earliest

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 889 Page 11

Millen House, Bloomington, Monroe County, IN

landowners in the county. Portraits of Isaac and Emily Rogers hang in the Millen House's northeast downstairs room (see photo 16). George W. Morrison (1820-1893), a local artist, painted the portraits in March 1878 (Peat, 1954).

The Millen House went through many changes of ownership during the twentieth century, and the land through numerous subdivisions. The Indiana University Foundation bought the Millen House, with its grounds reduced to their present size of seven-tenths of an acre, in 1969. In 1992, the Foundation deeded the house and grounds to the Trustees of the University, who own it at present. Since 1970, at the invitation of Chancellor Herman B Wells, the house has been used by the Organization of American Historians for its executive headquarters.

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National Register of Historic Places Continuation Sheet

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National Register of Historic Places Continuation Sheet

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Section number 9&10 Page 14

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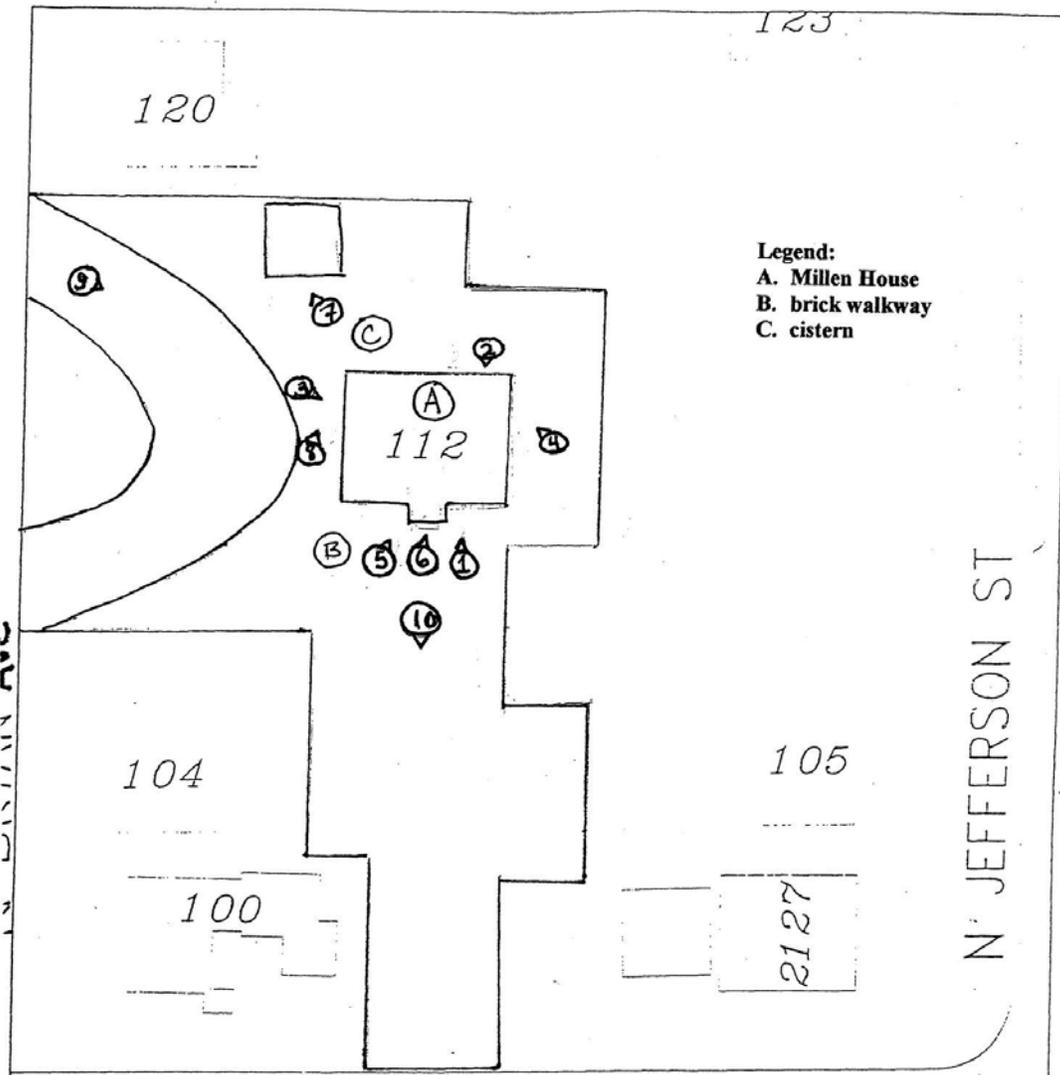
Verbal Boundary Description

Lots number ten (10), eleven (11), twelve (12), thirteen (13) and fourteen (14), in Block "I" in Highland Homes Subdivision of the west one-half of the southeast quarter of Section Thirty-four(34), Township Nine (9), North, Range One (1) West, as shown by the recorded plat thereof.

Also part of lots number 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27 and 28 in Block "I" in Highland Homes Subdivision of the west one-half of the southeast quarter of Section Thirty-four (34), Township Nine (9) North, Range One (1) West, as shown by the recorded plat thereof, described as follows: The north fifteen feet (15) feet of lot number fifteen (15), and the east forty-one (41) feet of the south ten (10) feet of lot number fifteen (15), and forty-one (41) feet off the entire east end of lots number sixteen (16), seventeen (17), eighteen (18) and nineteen (19), and twenty-six (26) feet off the entire west end of lots number twenty (20), twenty-one (21), twenty-two (22), twenty-three (23), twenty-four (24), twenty-five (25), twenty-six (26), twenty-seven (27) and twenty eight (28), all in Block "I" in Highland Homes Subdivision of the west one-half of the southeast quarter of Section Thirty-four (34), Township Nine (9) North, Range One (1) West, as shown by the recorded plat thereof.

Boundary Justification

These are the legal parameters of the land on which the Millen House stands.



Legend:
 A. Millen House
 B. brick walkway
 C. cistern

PHOTODOCUMENTATION

Millen House 112 North Bryan
 Monroe County, Bloomington, Indiana

By: hiestann
 24 Feb 03



For reference only; map information NOT warranted.

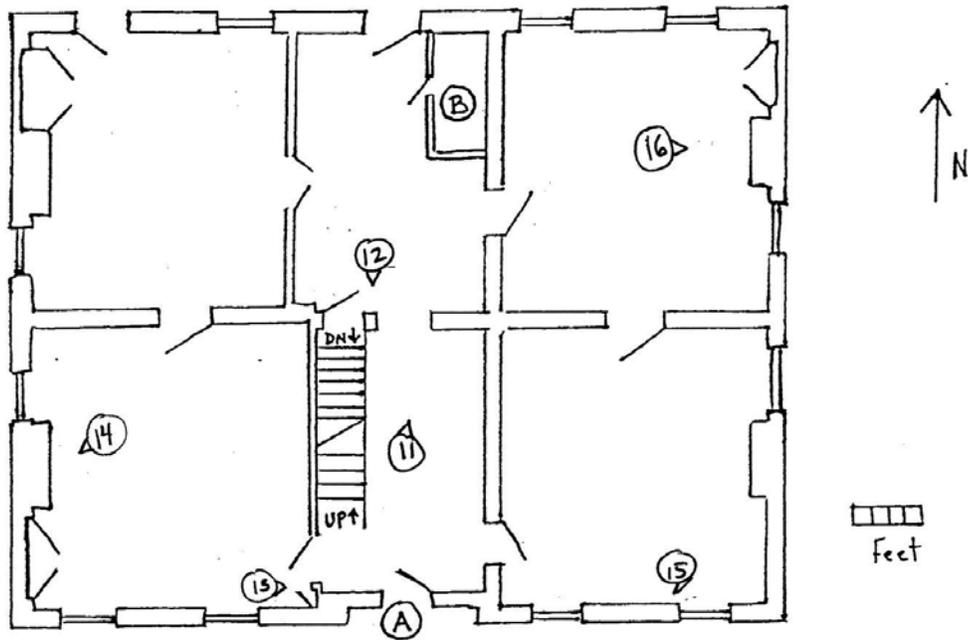
City of Bloomington



Scale: 1" = 40'

The Millen House
112 North Bryan Ave.
Bloomington
Monroe County, Indiana

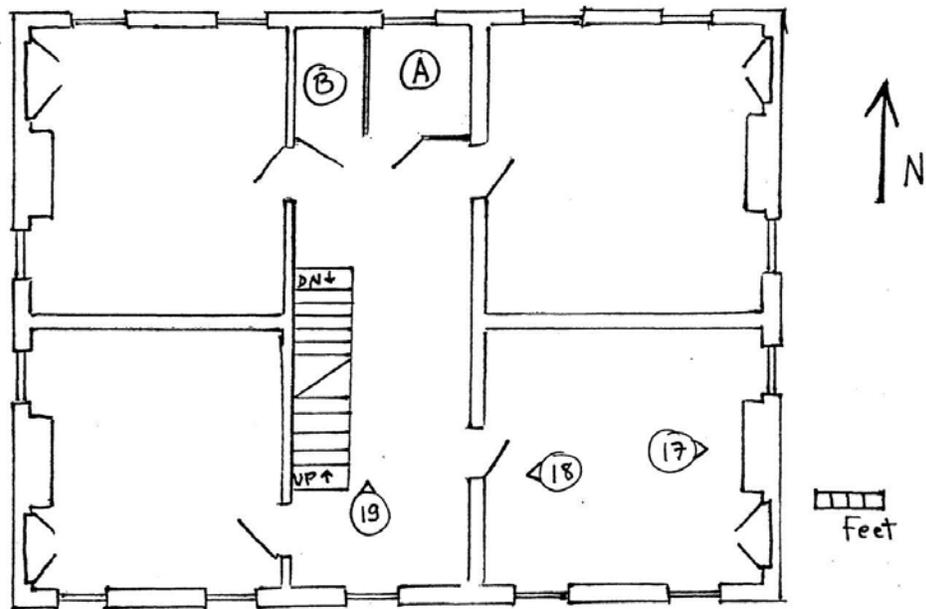
First Floor



Legend:
A. front entrance
B. bathroom

The Millen House
112 North Bryan Ave.
Bloomington
Monroe County, Indiana

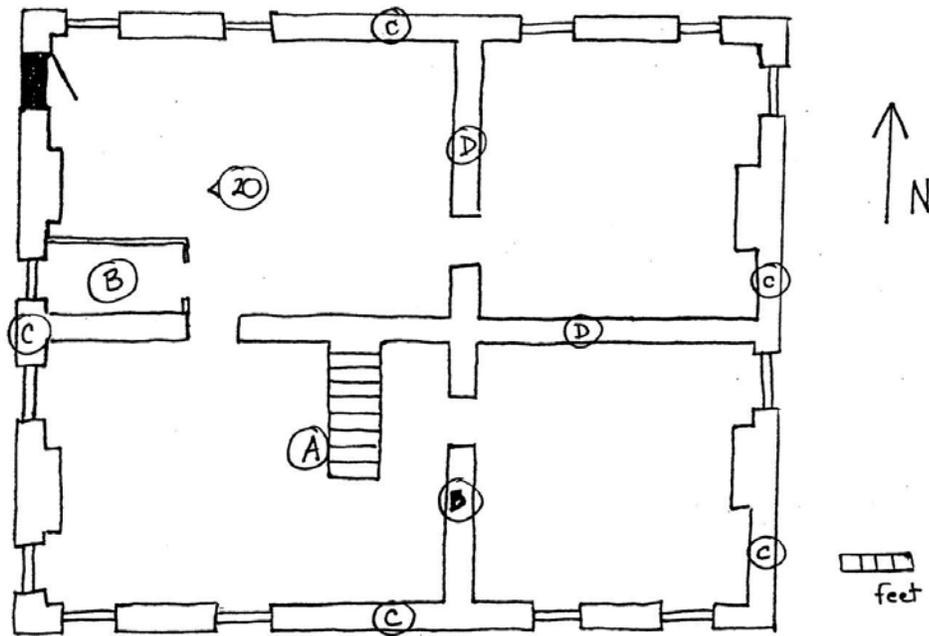
Second Floor



Legend:
A. Bathroom
B. Utility Closet

The Millen House
 112 North Bryan Ave.
 Bloomington
 Monroe County, Indiana

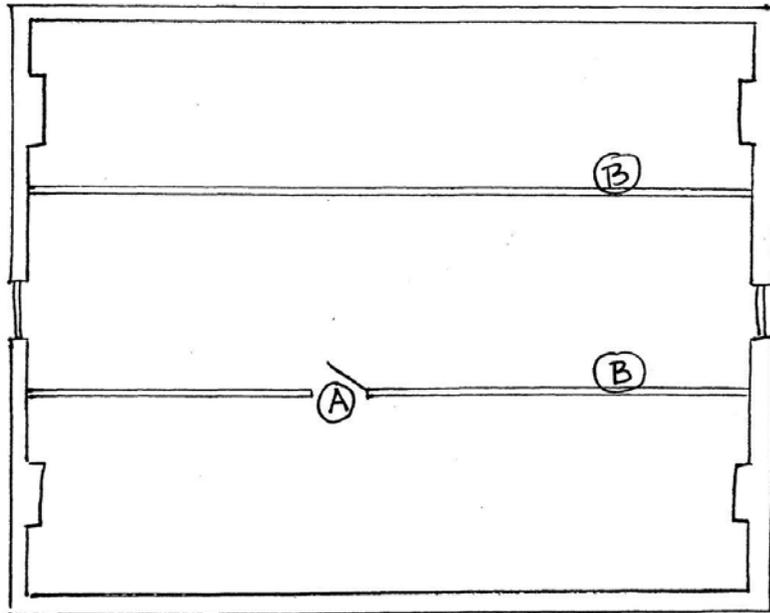
Cellar



Legend:
 A. stairs to first floor
 B. coal bin
 C. limestone walls
 D. brick walls

The Millen House
112 North Bryan Ave.
Bloomington
Monroe County, Indiana

Attic



Legend:
A. entrance from attic stairs at second floor
B. thin paneling partitions

APPENDIX 4

LIST OF NOTABLE, CONTRIBUTING, AND NON- CONTRIBUTING PROPERTIES

GREEN ACRES CONSERVATION DISTRICT

Total Properties: 203

OUTSTANDING - 1

1. 111 and 112 N Bryan Avenue. The Millen House

NOTABLE - 4

1. 2201 E 3rd Street
2. 2412 E 4th Street
3. 201 S Hillsdale Drive
4. 316 N Hillsdale Drive

CONTRIBUTING - 184

1. 318 N Union Street
2. 306 N Union Street
3. 112 N Union Street
4. 106 N Union Street
5. 102 N Union Street
6. 105 N Union Street
7. 117 N Union Street
8. 129 N Union Street
9. 203 N Union Street
10. 209 N Union Street
11. 211 S Union Street
12. 213 S Union Street
13. 310 N Bryan Avenue
14. 121 N Bryan Avenue
15. 117 N Bryan Avenue
16. 111 N Bryan Avenue
17. 101 N Bryan Avenue
18. 102 S Bryan Avenue
19. 104 S Bryan Avenue
20. 106 S Bryan Avenue
21. 108 S Bryan Avenue
22. 116 S Bryan Avenue
23. 117 S. Bryan Avenue
24. 118 S Bryan Avenue
25. 119 S Bryan Avenue
26. 120 S Bryan Avenue
27. 200 S Bryan Avenue
28. 201 S Bryan Avenue

29. 204 S Bryan Avenue
30. 206 S Bryan Avenue
31. 212 S Bryan Avenue
32. 213 S Bryan Avenue
33. 214 S Bryan Avenue
34. 307 N Jefferson Street
35. 311 N Jefferson Street
36. 324 N Jefferson Street
37. 318 N Jefferson Street
38. 314 N Jefferson Street
39. 310 N Jefferson Street
40. 128 N Jefferson Street
41. 122 N Jefferson Street
42. 112 N Jefferson Street
43. 106 N Jefferson Street
44. 105 N Jefferson Street
45. 100 N Jefferson Street
46. 101 S Jefferson Street
47. 121 S Jefferson Street
48. 200 S Jefferson Street
49. 219 S Jefferson Street
50. 220 S Jefferson Street
51. 429 N Roosevelt Street
52. 430 N Roosevelt Street
53. 420 N Roosevelt Street
54. 423 N Roosevelt Street
55. 415 N Roosevelt Street
56. 412 N Roosevelt Street
57. 409 N Roosevelt Street (recently demolished)
58. 408 N Roosevelt Street
59. 403 N Roosevelt Street
60. 400 N Roosevelt Street
61. 315 N Roosevelt Street
62. 309 N Roosevelt Street
63. 130 N Roosevelt Street
64. 122 N Roosevelt Street
65. 121 N Roosevelt Street
66. 116 N Roosevelt Street
67. 117 N Roosevelt Street
68. 105 N Roosevelt Street
69. 104 N Roosevelt Street
70. 101 S Roosevelt Street
71. 111 S Roosevelt Street
72. 116 S Roosevelt Street
73. 126 S Roosevelt Street
74. 221 S Roosevelt Street

75. 417 N Clark Street
76. 410 N Clark Street
77. 409 N Clark Street
78. 402 N Clark Street
79. 313 N Clark Street
80. 311 N Clark Street
81. 302 N Clark Street
82. 134 N Clark Street
83. 125 N Clark Street
84. 124 N Clark Street
85. 122 N Clark Street
86. 118 N Clark Street
87. 115 N Clark Street
88. 111 S Clark Street
89. 110 S Clark Street
90. 115 S Clark Street
91. 118 S Clark Street
92. 119 S Clark Street
93. 124 S Clark Street
94. 128 S Clark Street
95. 203 S Clark Street
96. 202 S Clark Street
97. 204 S Clark Street
98. 207 S Clark Street
99. 208 S Clark Street
100. 213 S Clark Street
101. 217 N Clark Street
102. 218 S Clark Street
103. 437 N Hillsdale Drive
104. 420 N Hillsdale Drive
105. 315 N Hillsdale Drive
106. 144 N Hillsdale Drive
107. 139 N Hillsdale Drive
108. 126 N Hillsdale Drive
109. 118 N Hillsdale Drive
110. 101 N Hillsdale Drive
111. 106 N Hillsdale Drive
112. 105 S Hillsdale Drive
113. 120 S Hillsdale Drive
114. 107 S Hillsdale Drive
115. 205 S Hillsdale Drive
116. 208 S Hillsdale Drive
117. 225 S Hillsdale Drive
118. 230 S Hillsdale Drive
119. 2509 E Eastgate Lane
120. 2540 E Eastgate Lane

121. 2548 E Eastgate Lane
122. 313 N Overhill Drive
123. 307 N Overhill Drive
124. 141 N Overhill Drive
125. 133 N Overhill Drive
126. 121 N Overhill Drive
127. 106 S Overhill Drive
128. 213 S Overhill Drive
129. 2615 E Dekist Street
130. 2621 E Dekist Street
131. 2624 E Dekist Street
132. 2630 E Dekist Street
133. 2633 E Dekist Street
134. 2634 E Dekist Street
135. 2639 E Dekist Street
136. 2608 E Edwards Row
137. 2621 E Edwards Row
138. 2625 E Edwards Row
139. 2629 E Edwards Row
140. 2401 E 8th Street
141. 2407 E 8th Street
142. 2408 E 8th Street
143. 2513 E 8th Street
144. 2525 E 8th Street
145. 2530 E 8th Street
146. 2551 E 8th Street
147. 2201 E 7th Street
148. 2327 E 7th Street
149. 2331 E 7th Street
150. 2401 E 7th Street
151. 2407 E 7th Street
152. 2511 E 7th Street
153. 2512 E 7th Street
154. 2519 E 7th Street
155. 2524 E 7th Street
156. 2600 E 7th Street
157. 2601 E 7th Street
158. 2127 E 5th Street
159. 2307 E 5th Street
160. 2409 E 5th Street
161. 2415 E 5th Street
162. 2423 E 5th Street
163. 2509 E 5th Street
164. 2517 E 5th Street
165. 2604 E 5th Street
166. 2605 E 5th Street

167. 2608 E 5th Street
168. 2615 E 5th Street
169. 2616 E 5th Street
170. 2623 E 5th Street
171. 2624 E 5th Street
172. 2631 E 5th Street
173. 2304 E 4th Street
174. 2415 E 4th Street
175. 2027 E 3rd Street
176. 2029 E 3rd Street
177. 2031 E 3rd Street
178. 2101 E 3rd Street
179. 2105 E 3rd Street
180. 2115 E 3rd Street
181. 2333 E 3rd Street
182. 2401 E 3rd Street
183. 2603 E 3rd Street
184. 2605 E 3rd Street

NON-CONTRIBUTING – 14

1. 304 N Bryan Avenue
2. 115 S Bryan Avenue
3. 106 N Jefferson Street
4. 2210 E 7th Street
5. 2400 E 7th Street
6. 105 N Clark Street
7. 106 N Clark Street
8. 102 N Clark Street
9. 102 S Clark Street
10. 131 N Hillsdale Drive
11. 2509 E Eastgate Lane
12. 2563 E 8th Street
13. 2624 E 7th Street
14. 2638 E Dekist Street

APPENDIX 5

EVIDENCE OF HISTORIC LINKS

The Herald-Times, Saturday, April 19, 2014 • An Advertising And Marketing Supplement

Times

IDEAS • TIPS • REAL ESTATE LISTINGS • RENTALS • CONDOS



Featured home of the week
See page 3

fromstyle

Ideas, Tips & Trends
See pages 4-8

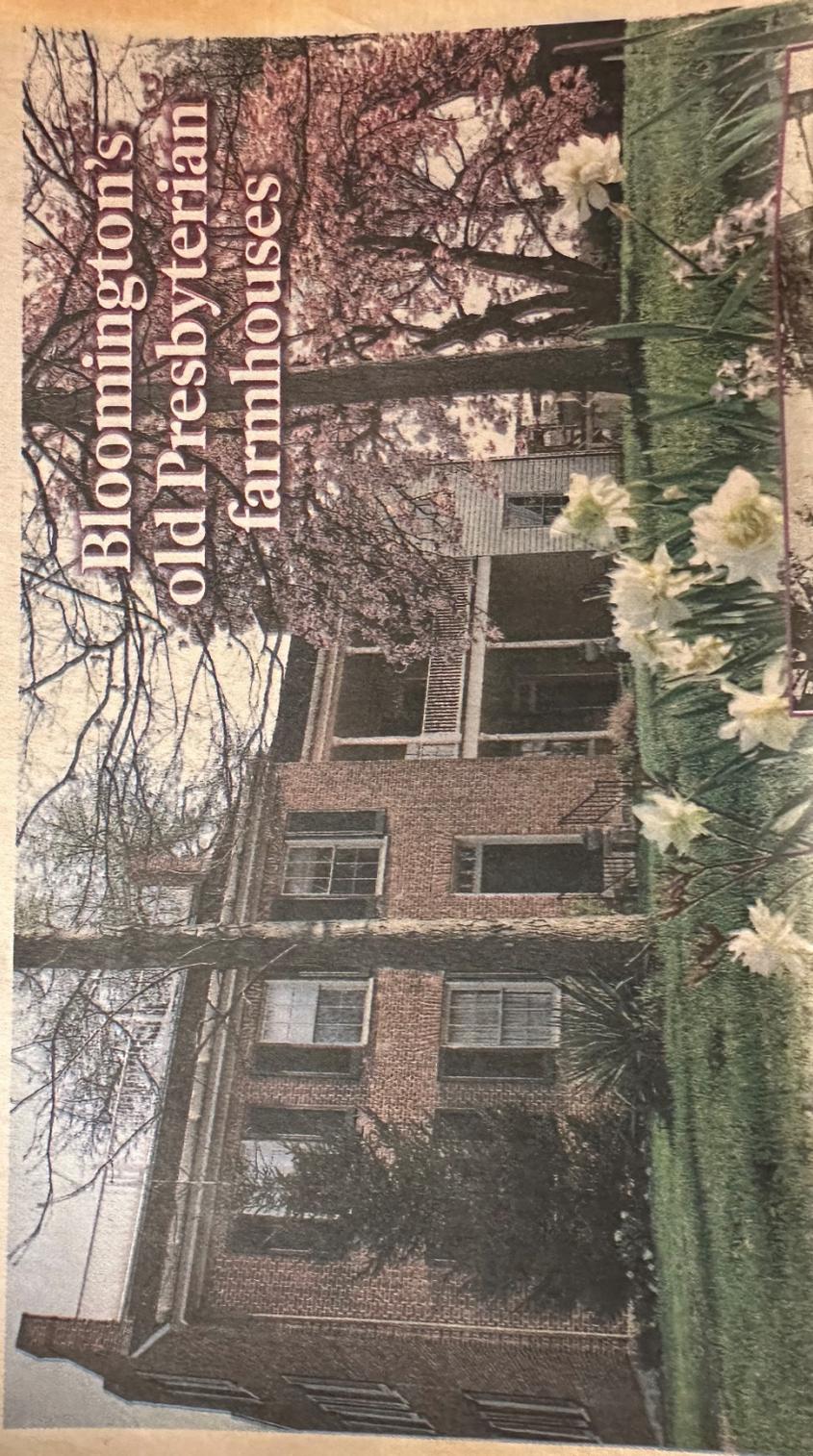
1613 NANCY STREET
 \$180,900

Chicco style and rock solid construction are hard to find! This level on the 1600s side features an in private, this level is set on a lot of 6,000 sq. ft. This 3 bed plus den and 2 1/2 bath is finished on the main level with a large deck, and also for enjoying the outdoors. The master suite is finished with a large walk-in closet, and a private bathroom. The kitchen is finished with granite countertops, stainless steel appliances, and built-in oven and refrigerator. Don't miss this superb value! #201404984

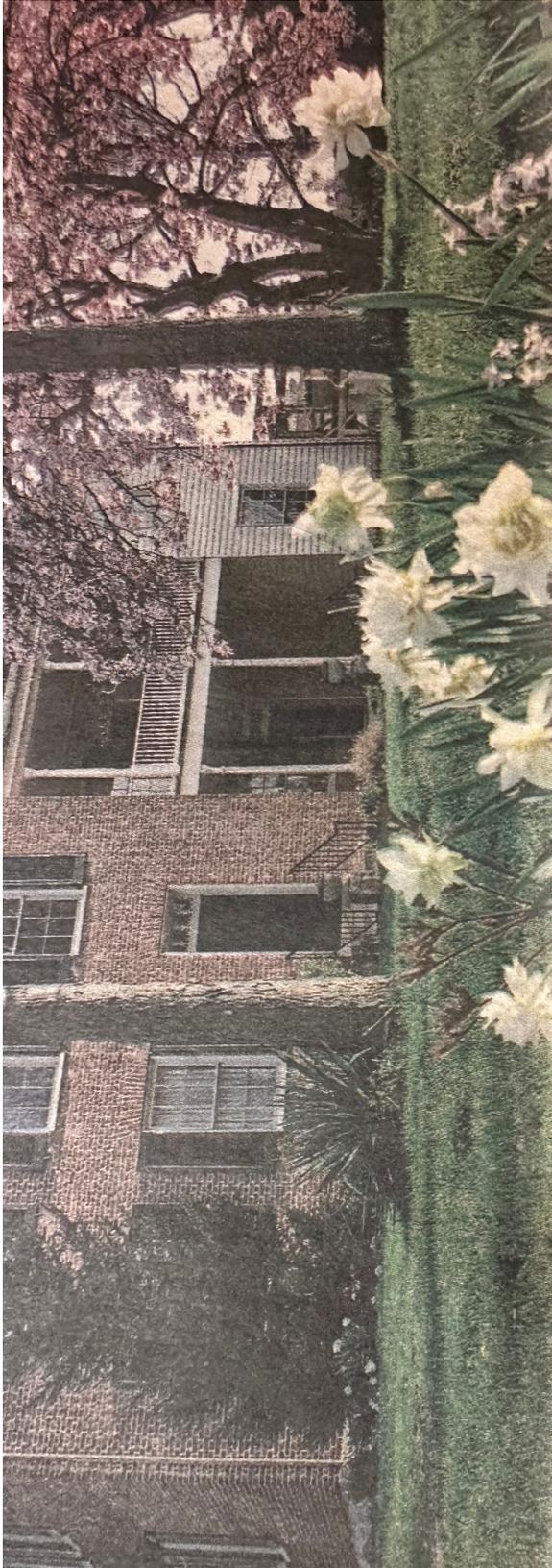
Andy Walker
 812-325-1290
 www.andy-walker.com

RE/MAX
 REALTY GROUP, INC.

MT 02758



Bloomington's old Presbyterian farmhouses

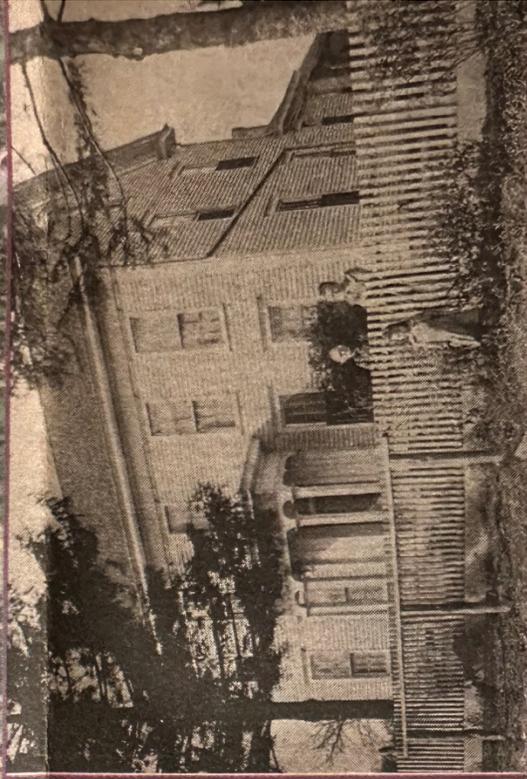


By **CAROL KEAUSE**
Herold-Times Homes • homes@heroldt.com

Five farmhouses built by prominent Presbyterians in the mid-1800s still stand today inside the city limits, surrounded by neighborhoods that were built on top of former farm fields. Their original builders would be astonished to find houses today where only fields and pastures used to be; but they would be pleased to see their handiwork still standing.

The first is **Paris House**, built in the 1850s. Paris House is rumored to have been a station on the Underground Railroad. Although Blooming-ton was not one of the major stops on the Underground Railroad, people escaping slavery intermittently made their way through our town due to the well-known abolitionist sympathies of the local Presbyterian congregations. Escaped slave Robert Anderson was staying under Paris protection when the Emancipation Proclamation was proclaimed. According to the story, Anderson went directly to the courthouse and had himself legally declared a free man of color. He remained in Bloomington for the rest of his life, settling down with his wife on land just adjacent to the nearby Covenanter Cemetery; his descendants live there to this day.

**PRESBYTERIAN FARMHOUSES,
 CONTINUED ON PAGE D11**



Top of page: Historic Wylie House was built in 1835; **above:** Blair House, circa 1900 featuring Mattie Small, Margaret Blair, and Agnes "Quilery" Blair (wife of James N. Blair). Photo courtesy of Agnes Davis/Susan Hathaway

PRESBYTERIAN FARMHOUSES

Continued from D1

The next old house is often called **Raintree House** for the trees that once distinguished the property, but it should by rights be called **Millen House**. Built by William Millen around 1845, the house resembles the **Faris House**, with a central front entry, a front façade five windows wide, and chimneys on both ends; but it's larger, being two rooms deep instead of one. Like **Faris**, Millen built his home using bricks that he dug and fired on site. Green Acres neighborhood represents the original 200-acre farm. The house is sadly orphaned today, for its yard virtually disappeared when Green Acres was platted, and little ranch homes surround it. No longer a private home, it's the base of the Organization of American Historians. Hemmed in on all sides, Millen House looms mournfully above the back yards of surrounding homes.

The third old farmhouse, **Blair House**, can be regarded as a wooden version of the previous brick homes. Built in the 1860s, it's located in **Maple Heights**, which of course represents the original farmstead. The **Blair** family was prominent in **Bloomington** doings from the earliest days, and the



Raintree House was built in the 1840s. Although it resembles **Faris House**, it's deeper from front to back. Photo by Carrol Krause



Thomas Smith built his home in the late 1820s using local brick. This is one of the oldest remaining homes in the county. Photo by Carrol Krause

the church that used to stand next to it. A private drive appears to have once run between **Faris House** and **Smith House**, reflecting the close ties between these two families.

We mustn't ignore historic **Wylie House**, the most luxurious farmhouse in the county when built in 1835 by **Andrew Wylie**, first president of **Indiana University**. Characterized by expensive trim and large and gracious rooms, the home was an elegant base from which **President Wylie** received his guests, as well as providing a home for his large family, but it was also a working farmhouse whose estate stretched east to **Henderson** and north to **Smith Street**. When built, the farm featured several types of livestock, barns, outbuildings, a well, standing timber, crops, and all the other amenities of farm life in early **Indiana**.

The thing that inter-

ests me is that all of these 150-year-old-plus houses are still standing and still enjoy useful lives, although the vast majority of other homes from the same era have been demolished over the years. **Bloomington** in the 1800s was by no means an all-**Presbyterian** town, and yet **Presbyterian** houses appear to be overrepresented in our remaining historic record. The question "Why is that so?" cannot be easily answered.

But somehow, for whatever unknown reason, this small handful of buildings survived the sustained demolition of many decades. Both in architectural and historic terms, our community is richer for having them.

A long and interesting essay on the history of **Bloomington Presbyterians** can be read at http://www.upcbloomington.org/about/upc/docu_ments/175th_UPC_History.pdf

com/2013/12/28/623-n-maple-street-the-historic-james-blair-house/.

The fourth old farmhouse is the oldest structure of the group, and is built in a different style. The **Thomas Smith House** was constructed in the late 1820s and it too, like nearby **Faris House**, is associated with the **Underground Railway**. The house is of immense architectural value

because barely a handful of houses from this era remain in the entire county. The frame part of the house is an addition; the brickwork is original and the bricks were dug on-site, as with the other houses. It was **Thomas Smith** who donated part of his extensive farm to provide land for the **Covenanter Cemetery** and



The **James Faris House**, built around 1853, is a beautiful example of a brick I-house. Photo by Carrol Krause

very first **Presbyterian** assembly in **Bloomington** met in a log cabin on its land in 1821. **James Blair** served as a trustee of **Indiana University** and was a leading citizen. **Blair House** today looks very different than in this

photograph due to the addition of a 1920s-era brick porch; it currently serves as housing for **Centurstone** clients. There's an interesting essay about the house and the family at <http://bloomingtonthenandnow.wordpress.com>

Local Contractors See No Letup In Shortage of Building Materials

CITATION (AGLC STYLE)

Herald-Times (online), 11 Apr 1946 1 <<https://infoweb-newsbank-com.ezproxy.monroe.lib.in.us/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A18FAF053D553BE24%40EANX-19131E64A61B24A7%402431922-19100FACF4E29413%400-19100FACF4E29413%40>>

7/17/24, 9:37 PM

Access World News – Historical and Current | All content

GOING TO BUILD?

Now is the time to buy a site for that post-war home you've been planning and here's the opportunity. We have for sale at very reasonable prices and on terms a number of fine lots in **HIGHLAND HOMES**, Bloomington's most promising addition, they're near the University, high and dry where the air is fresh and clean. Come in today and pick out your spot. A small down payment, and easy monthly payments will bring that new home much closer.

CITATION (AGLC STYLE)

Herald-Times (online), 26 Jul 1945 11 <<https://infoweb-newsbank-com.ezproxy.monroe.lib.in.us/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A18FAF053D553BE24%40EANX-19101351F2F7BB76%402431663-191007691624DE5A%4010-191007691624DE5A%40>>

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7/17/24, 10:00 PM

Access World News - Historical and Current | All content

Situation May Continue For Year and Half

Some Homes Being Constructed Here For War Veterans

By VIRGINIA DEAM

As the mayor and city engineer produce plans to obtain army barracks for alleviating the local housing shortage, Bloomington carpenters and contractors assist

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7/17/24, 10:00 PM

Access World News - Historical and Current | All content

the situation with an abbreviated program bounded by priorities.

Limited by lack of materials, including lumber, interior wall coverings and flooring, particularly, and plumbing fixtures, local builders, however, have been able to and are constructing a few homes for veterans.

HOMES BEING BUILT

About 40 homes are being built and have been completed this year, according to the estimate of one contractor.

Jack Black, of the Black Lumber Company, said today that the building situation is not beginning to ease, despite newspaper articles to that effect, and that "more materials are becoming shortages" every day. Lately, he pointed out, roofing materials are going on the shortage

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7/27/24, 10:00 PM

Access World News - Historical and Current | All content

Ledli Harlos, of the Harlos Building Service, is not constructing homes now but is working at Indiana University in erecting the dormitories being made ready on Tenth Street for 600 soldiers at the University. Harlos and the Curry Construction company have the contracts for this work.

The home construction situation in Bloomington, similar to problems faced everywhere in the nation is expected by local contractors to be critical throughout the housing emergency shortage.

Lumber manufacturers, they blame the O.P.A. for much of the shortages in that business, the manufacturers contend that lumber now being produced at much higher wages, cannot be sold at the O.P.A. ceiling without suffering a loss.

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7/27/24, 10:00 PM

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... a loss. The plumbing shortages has been attributed in part to the steel strikers.

Herbert Layman, ...

T

CITATION (MLC STYLE)

Herald-Times (online). 11 Apr 1946. <https://ifweb-newbank.com.ezproxy.monroelibrary.us/apps/news/document-view/?p=WORLDNEWS&docref%3A18FAF05305538E24940EANDX19131E6461824A78402431922-19100FAC4E29413640D-19100FAC4E29413640D>

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<https://ifweb-newbank.com.ezproxy.monroelibrary.us/apps/news/document-view/?p=WORLDNEWS&rfavorite%3A18FAF0539221 Herald-Times%2...> 77

Lots in Hillsdale Addition Will Go on Sale Tomorrow

Opening of Hillsdale, First Addition, tomorrow morning was announced today by Clyde and Carl Snoddy, local contractors and owners of the spacious lots for home-construction east of Bloomington between Third and Tenth streets.

Streets have been completed and sewage construction is now being planned by the Snoddys and city officials.

Included within the city limits, it has FHA approval and carries prospective building restrictions. Width of the streets and circular divisions is 60 feet with variations in some sections of 40, 50 and 60 feet. The lots also vary in size but all are larger than average-sized city-lots.

Some of the lots have already been sold but with intensive sales getting underway today, the Snoddys hope that home-construction will be start-

ed within the near future and the addition made into a beautiful residential area.

As soon as building materials can be obtained 50 homes will be started by local contractors.

There will be a salesman on the grounds from 6 to 8 p. m. each week day and from 2 to 4 on Sundays. Prospective home-builders are invited to inspect the addition.

Carl Snoddy, of the Allied Construction company also has made considerable progress with construction in his Highland homes area on Jefferson street between Fifth and Seventh streets.

He has completed seven homes for former G. I.'s and they are now occupied and has planned to build 20 more on Roosevelt and Clark streets.

Clyde Snoddy co-owner of Hillsdale, is manager of the Quality Ice Cream company

LEGAL NOTICES

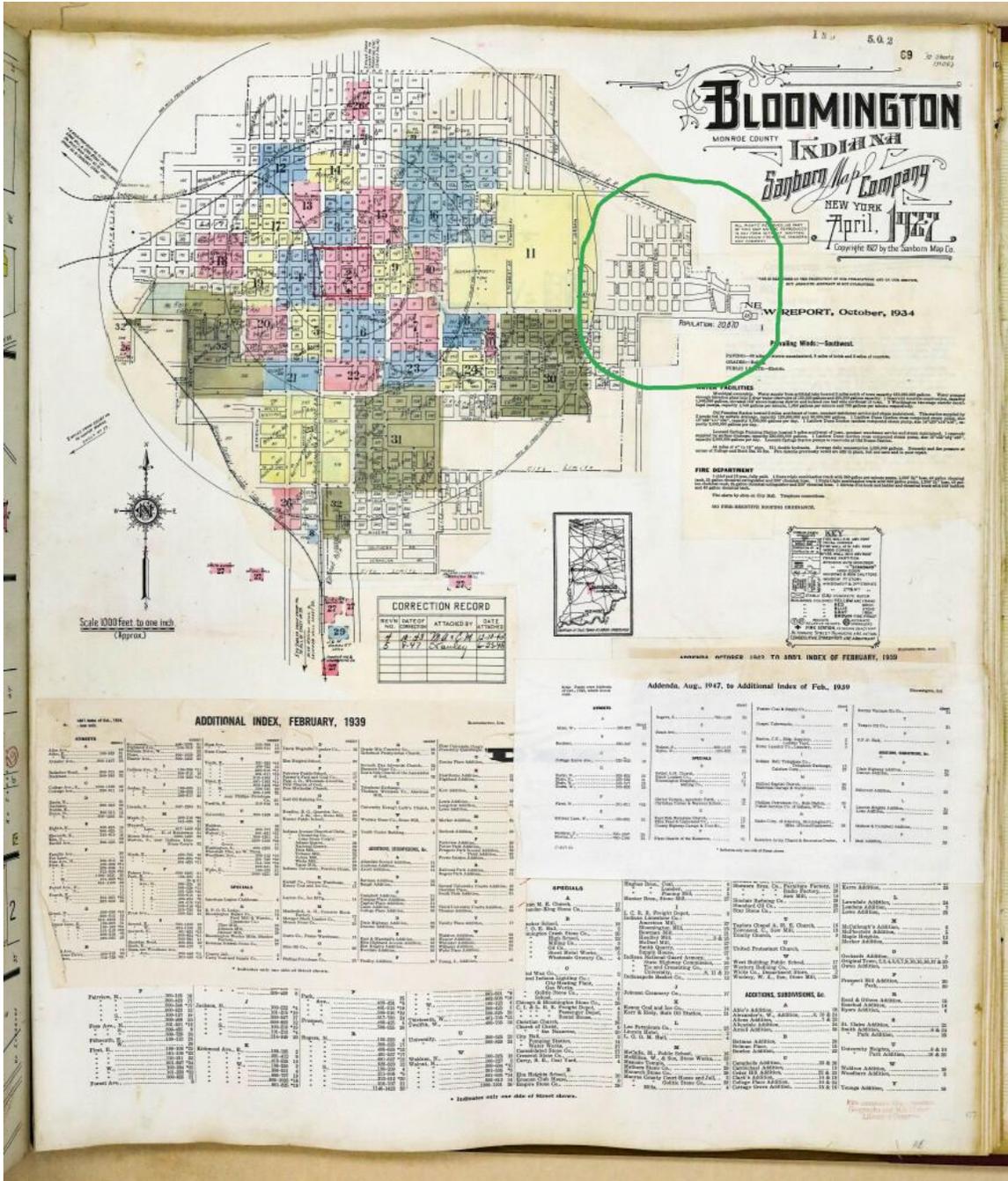
NOTICE OF FINAL SETTLEMENT

MR. AND MRS. BERT PHILLIPS, 1203 S. Rogers have re-

CITATION (CMS STYLE)

Herald-Times (Bloomington, Indiana), June 21, 1946: 2. NewsBank: Access World News - Historical and Current. <https://infoweb.newsbank.com/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A18FAF053D553BE24%40EANX-190F6287AAB228FC%402431993-190DC3A7630B99E9%401-190DC3A7630B99E9%40>

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39 owners

6/6/13

Petition To:

TO: THE HISTORIC PRESERVATION COMMISSION.

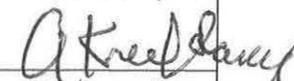
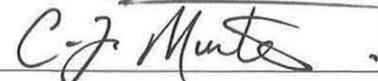
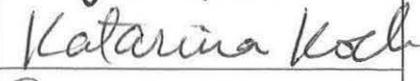
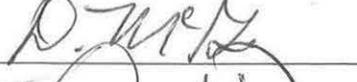
WE, THE UNDERSIGNED, ARE IN SUPPORT OF THE GREEN ACRES NEIGHBORHOOD BEING DESIGNATED A CONSERVATION DISTRICT.

Printed Name

Address

Contact Info

Signature

| Printed Name | Address | Contact Info | Signature |
|------------------------------------------------------------------|---------------------------------------------------------------------|-------------------------------------------|---------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Flois SABO-SKELTON Owner. | BLOOMINGTON, 121 N. OVERHILL DR. 47408 Bloomington, In: owner | 812-339-9678 EMAIL: MILOIV9 AOL.COM |  |
| <input checked="" type="checkbox"/> Ann Kreilkamp | 134 N. Overhill Dr. | 812-606-9563 arkcrone@gmail.com |  |
| <input checked="" type="checkbox"/> Jelene Campbell | 2521 E Eastgate LN | 812-391-4341 |  |
| <input checked="" type="checkbox"/> Margaret Meyer | 117 S. Bryan Ave | 561-801-6397 812-369-4325 |  |
| <input checked="" type="checkbox"/> Mary C. Sasse | 2513 Eastgate Ln | 812-381-1328 |  |
| <input checked="" type="checkbox"/> Elisha Hardy | 2615 E. DeKist | 812 361 8425 |  |
| <input checked="" type="checkbox"/> C. J. MINTER | 2505 E 5th St. | 812-327-3406 |  |
| <input checked="" type="checkbox"/> Katarina Koch | 1807 N Maple St | 812-272-4804 |  |
| <input checked="" type="checkbox"/> Janet Jin | 213 S. Overhill Dr. | 812-325-9093 |  |
| <input checked="" type="checkbox"/> Devin McGuire | 2607 E Edwards Row | devin@iu.edu |  |
| <input checked="" type="checkbox"/> Paulette Davidson | 2620 E. DeKist St | 812 369 8887 |  |
| <input checked="" type="checkbox"/> Abigail Fritsch | 2600 E. 5th St | |  |

Petition To:

TO: THE HISTORIC PRESERVATION COMMISSION.

WE, THE UNDERSIGNED, ARE IN SUPPORT OF THE GREEN ACRES NEIGHBORHOOD BEING DESIGNATED A CONSERVATION DISTRICT.

| | Printed Name | Address | Contact Info | Signature |
|---|----------------------|-----------------------------------|----------------|-----------------------------|
| O | MARCELA HUERTES | 203 S. UNION | 812 391 0026 | <i>M. Huertes</i> |
| R | Trevor Williams | 2006 E Dekist St. Bloomington, IN | 765-520-6560 | <i>Trevor Williams</i> |
| R | Jake Decker | 2012 E Dekist St. | 812-677-0183 | <i>Jake Decker</i> |
| O | Emily Graf | 2621 Dekist St. | 812-318-6280 | <i>Emily Graf</i> |
| R | Dorothy O'Connell | 2655 Dekist | 812-555-1706 | <i>Dorothy O'Connell</i> |
| | Jaylin Boone | 601 Sloss Ave | 812-677-1486 | <i>Jaylin Boone</i> |
| R | Alexander Schumacher | 2630 E Dekist | 812-343-123 | <i>Alexander Schumacher</i> |
| O | Logan Smith | 127 N Overhill Dr | 530 400 2755 | <i>Logan Smith</i> |
| O | Carissa Carman | 127 N. Overhill Dr. | (805) 3776613 | <i>Carissa Carman</i> |
| R | Marita Pinkstaff | 2601 E Dekist | (812) 243-4009 | <i>Marita Pinkstaff</i> |
| R | Joseph Benefiel | 2601 E Dekist St. | (765) 7174085 | <i>Joseph Benefiel</i> |
| R | Adam Baruch | 134 N. Overhill Dr. | 812-727-5964 | ADAM BARUCH |
| O | Rebekah Seola | 212 S. Overhill Dr. | 812-219-2506 | <i>Rebekah Seola</i> |

Petition To:

TO: THE HISTORIC PRESERVATION COMMISSION.

WE, THE UNDERSIGNED, ARE IN SUPPORT OF THE GREEN ACRES NEIGHBORHOOD BEING DESIGNATED A CONSERVATION DISTRICT.

| | Printed Name | Address | Contact Info | Signature |
|---|--------------------|---------------------|---------------------------------------------|---------------|
| O | Ibadullah Shahrani | 229 S Hillsdale Dr | (812) 679-8332 | |
| O | Fatimah Shahrani | 212 S Overhill Dr | (812) 269-2506 | Fatimah |
| | Alexander Legg | 2612 E Edwards | 765-635-3831 | |
| O | YUSUF A NUR | 2615 E. Edwards | 812-606-8828 | |
| | Habebah Ahmed | 2615 E Edwards Row | 812 ⁶⁷¹⁻⁸¹³⁴ 606-8828 | Habebah Ahmed |
| | Mikal Ahmed | 2615 E Edwards Row | 812 - 272-3532 | |
| | Fatima Ahmed | 2615 E Edwards Row | (812) 606-70227 | Fatima Ahmed |
| | Marta Ahmed | 2615 E Edwards Row | (812) 606-8835 | Marta Ahmed |
| | Maryem Ahmed | 2615 E Edwards Row | (812) 606-8825 | M. A. |
| | Hasan Ahmed | 2615 E Edwards Row | (812) 606-8825 | hasan me |
| | Katherine Barus | 2615 E Edwards Row | (812) (812) 606-8822 | |
| O | Sally McGuire | 2607 E. Edwards Row | 912-219-2662 | Sally McGuire |
| R | Zachary Gruber | 2615 E Decist St | 317-313-3942 | ZG |

TO: THE HISTORIC PRESERVATION COMMISSION.

Petition To:

WE, THE UNDERSIGNED, ARE IN SUPPORT OF THE GREEN ACRES NEIGHBORHOOD BEING DESIGNATED A CONSERVATION DISTRICT.

| | Printed Name | Address | Contact Info | Signature |
|---|-------------------|-----------------------------|--------------------------|-------------------|
| O | William Scharch | 202 S Hillsdale | | William Scharch |
| O | Larry Clark | 120 S. Hillsdale | | Larry V. Clark |
| O | Juliet Frey | 309 N Hillsdale Dr | jstarkfrey@comcast.net | Juliet Frey |
| O | CARLY EVANS | 2600 E. 7 TH ST. | carlamity.ra@gmail.com | Carly Evans |
| O | Rachel Haile | 2126 E 7 th St | haile rac1234@gmail.com | Rachel Haile |
| R | Hester Hemmerling | 105 N. Clark St. | hesterhemmerling@att.net | Hester Hemmerling |
| O | James Castrolow | 118 S Clark St | jcastrat@u.wa.edu | James Castrolow |
| O | Tom Dambrosi | 2620 E. Dekist St. | tdambrosi@sbcglobal.net | Tom Dambrosi |
| O | Diane Dormant | 316 N. Hillsdale | dianedormant@gmail.com | Diane Dormant |
| O | G. Janeen Overman | 102 N Union St. | janeenj0@gmail.com | G. Janeen Overman |
| O | Adrian L. Overman | 102 N Union St | janeenj0@gmail.com | Adrian Overman |
| O | John Woodstok | 218 S. Jefferson | twoodsta@gmail.com | John Woodstok |
| R | Travis Brooks | 100 N Jefferson | trav.brooks2@gmail.com | Travis Brooks |

Petition To:

TO: THE HISTORIC PRESERVATION COMMISSION.

WE, THE UNDERSIGNED, ARE IN SUPPORT OF THE GREEN ACRES NEIGHBORHOOD BEING DESIGNATED A CONSERVATION DISTRICT.

| | Printed Name | Address | Contact Info | Signature |
|---|-----------------|-------------------|--------------------------|------------------------|
| R | Willow Hatcher | 2615 E Dekist St. | 317-966-0984 | <i>Willow Hatcher</i> |
| R | Miranda Tate | 2625 E 5th St | 214-984-8894 | <i>Miranda Tate</i> |
| R | Jacob Hardy | 2623 E 5th St | | <i>Jacob Hardy</i> |
| R | Anthony McNight | 2619 E Fifth St, | | <i>Anthony McNight</i> |
| R | Amanda Baker | 2615 E. 5th St. | 812-345-3864 | <i>Amanda Baker</i> |
| R | Jaden Corde | 105 N Overhill Dr | 219-204-0516 | <i>Jaden Corde</i> |
| O | Lee Bastin | 2316 E 5th St | 812-630-2293 | <i>Lee Bastin</i> |
| R | Cesar Cicio | 2514 E 5th St | 812-929-3147 | <i>Cesar Cicio</i> |
| R | Isiah White | 2514 E 5th St | 812- 340-6804 | <i>Isiah White</i> |
| R | Hannah Wesley | 2514 E 5th St | 812-340-8356 | <i>Hannah Wesley</i> |
| | | | | |
| | | | | |

Petition To:

TO: THE HISTORIC PRESERVATION COMMISSION.

WE, THE UNDERSIGNED, ARE IN SUPPORT OF THE GREEN ACRES NEIGHBORHOOD BEING DESIGNATED A CONSERVATION DISTRICT.

| Printed Name | Address | Contact Info | Signature |
|------------------|-----------------------------|------------------------|--------------------|
| COLLEEN TALTY | 2307 E. 5 th St. | ctalty@iu.edu | Colleen Talty |
| Brent Baker | 2409 E. 5th St. | bbaker@gmail.com | Brent Baker |
| PHILLIP CSLOFFER | 2423 E. 5 th ST | psloff@iu.edu | Phillip C. Sloffer |
| Betty Hardy | 2509 E. 5 th St. | beehardy1369@gmail.com | Betty Hardy |
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#192830

open

Other:

Other: Opposing making Green Acres a Conservation District: I am writing today as a member of the real estate community here in Bloomington having been an agent for close to a decade. I'm also writing from my experience as a commissioner of both the Planning Commission and Board of Zoning Appeals for the past several years. I can very much value and appreciate the history and architectural history of the Green Acres neighborhood. I thank the residents who put in the work and told the story of how Green Acres has evolved from the beginning. Stories like these are worth telling and being displayed to the public as much as possible. As far as the petition itself to deem Green Acres a conservation district leading to full fledged historic district designation, I believe is a very broad overreach of the intentions of historical preservation. Having lived several years in the Near West Side/Prospect Hill neighborhood as well as having owned several properties in historic neighborhoods in other cities I can speak to the impact of this type of designation personally as well. Talking about a select handful of houses, which are notable and can be kept as such, and expanding that to include several hundred that have little to no historic significance is where the overreach comes into play. As a real estate agent and investor myself, I fully understand where many are coming from who oppose this broad reach. The point of historic designation is to single out properties that carry a story all their own, not to lump an entire neighborhood, with a large rental population and no historical significance, and confine the expansion and development that is desperately needed to support a growing University and the city as a whole. I've been a part of many discussions on the commissions which I serve about how we can balance preservation with expansion and development and I've seen cases where that blends very well together and is a win-win. This is not one of those cases but since it has been presented as such I'm strongly opposed to it. I believe the intentions are misguided and really crosses a line into government intrusion into the livelihood of many tax paying owners in that neighborhood who want to continue to house students and families at a time when more housing density, of any kind, is very much needed. There are checks and balances in place already to prevent what many are referencing as the Kmart type development here and I fully support the expansion of this neighborhood. I think the goal here should be to keep the current historically significant houses in Green Acres just as they are and work to preserve other individual properties one at a time. Not taking a very broad stroke and misusing the point of preservation in the first place and thus bottlenecking an area ripe for future development. Thank you for your time.



| Cases | Locations | Report a problem |
|-------|-----------|------------------|
|-------|-----------|------------------|

#192312

open

Other:

Other: Heard Green Acres wants a conservation district. This is an inappropriate use of historic preservation protections. Historic preservation should be to preserve history, not to prevent development as a NIMBY tactic. This area should be able to grow and evolve to meet the density and environmental priorities of the City. There are other areas that have superior and unique historic structures. Don't make a joke of historic preservation. Please include this in public comment in the packet. The City needs a plan for historic preservation of choosing key areas of the City to protect. Blocking general development helps no one. Areas adjacent to campus should maximize student housing for the benefit of all residents.



8/11/2024

Dear Members of the Bloomington Historic Preservation Commission:

We are writing to express our deep concern with the proposed conservation district for the Green Acres neighborhood. A conservation district, which would eventually become a historic district without significant intervention by residents, is out of step with the few historic buildings within the neighborhood and creates substantial barriers to property owners while locking out future residents.

Conservation and historic districts should be reserved for the most transparently clear cases of a neighborhood and its structures holding deep historical value. The data from the 2018 Historic Survey commissioned by the city casts a clear picture: this neighborhood contains few historic structures. In fact, over half the properties in the neighborhood were not included in the inventory. Further, most of the structures were only listed as “contributing,” meaning they did not on their own merit historic designation. According to this data, almost a dozen structures are non-contributing. Only one structure is on the National Register of Historic Places, and only five properties are notably historic; one is not a residence but the home of Bloomington Fire Department Station Four. This does not speak of a historic neighborhood but of a neighborhood with a few specific buildings that, on their own, may be considered historic. This distinction and data make clear that the Historic Preservation Commission cannot, in good faith, recommend this neighborhood be established as a conservation district.

A conservation district, which will likely become a historic district automatically due to the significant and anti-democratic hurdle of obtaining a majority of deed holders’ written opposition, also establishes significant barriers to homeowners’ property rights. The Historic Preservation Commission must approve all exterior changes to homes within historic districts. While members might appreciate having oversight, this undeniably takes away the ability for homeowners to freely do what they wish with their properties. It is antithetical to the very nature of property rights. Even if approved, it creates delays and would impose additional costs on homeowners who might want to renovate their homes. Considering the age of many of these homes and their rapid construction when originally built, renovations are undoubtedly needed to bring them up to modern building and amenity standards. Homeowners would face significant hurdles to make such renovations.

Conservation and historic district status would also create barriers to new construction in Green Acres. This neighborhood is highly desirable because of its walking distance to the Indiana University Campus and commercial corridor along East Third Street and College Mall Road. However, all demolitions and new buildings would have to get additional approval from this body. Given the lack of new construction in other historic neighborhoods in Bloomington, we believe this would curtail almost any new development in the neighborhood. This will force would-be residents elsewhere, as only a finite number of units currently exist. Increased competition for living in this neighborhood will drive up property values, increasing the tax load



for homeowners and landlords who pass along tax hikes to renters, causing economic harm to almost every existing resident.

In closing, we urge this body to reject the nomination for Green Acres to become a conservation district. The neighborhood's pronounced lack of historic structures exemplifies why this nomination is erroneous and should be rejected. Further, the significant hurdles for homeowners to exercise their property rights following establishing a historic district and the curtailing of new development that will raise property tax assessments for existing residents are clear financial harms to all who live in Green Acres. This Commission must reject the nomination of Green Acres for conservation district status.

Thank you,

The Undersigned Residents of Bloomington

Matt Gleason

Sam Tobin-Hochstadt

YY Ahn

Tim Dwyer

Adam Martinez

Jerrett Alexander

Isabelle Ruiz

Daniel Jenkins

Conner Wright



CLENDENIN
JOHNSON
& BOHRER, P.C.

James F. Bohrer

*Attorney at Law
Board Certified Indiana Trust & Estate Lawyer
by the Trust and Estate Specialty Board*

jfbohrer@lawcjb.com

August 1, 2024

Bloomington Historic Preservation Commission
City Hall
401 North Morton, Suite 135
Bloomington, IN 47404

Re: **Owner:** 3rd Street NJ Indy LLC
Property: 2607 East Third Street, Bloomington, IN
Lot 16, Hillside First Addition
tax parcel 53-01-34-036-000.000-005

Commission Members:

I am the resident agent listed with the Indiana Secretary of State for **3rd Street NJ Indy LLC**, an Indiana limited liability company (the "LLC").

The LLC is the record titleholder to the real property legally described as Lot Number 16, Hillside First Addition to the City of Bloomington, Lot 16 and commonly known as 2607 East Third Street, Bloomington, Indiana (the "Property").

The Property is a vacant. The Property is situated at the eastern fringe of the Green Acres Conservation District under consideration. The Property is bounded on the east by the property that has recently been renovated into a mixed residential and commercial use and is now known as LOFTON EAST THIRD. The southern boundary of the Property is East Third Street. The northern and western property boundaries adjoin homes that have rented for many years and which have no distinguishing features.

Since this Property is vacant, there is no structure on the Property that was inventoried in the 2018 Historic Resources survey.

This Property does not contain a structure that is contributing, notable or outstanding. Likewise, the Property does not adjoin a structure that was inventoried and classified as notable or outstanding on the Historic Resources Survey.

409 W. PATTERSON DR., SUITE 205, BLOOMINGTON, IN 47403

201 N. ILLINOIS STREET, SOUTH TOWER, 16TH FLOOR, INDIANAPOLIS, IN 46204

T 812-332-1000 136 812-332-7601

WWW.LAWCJB.COM

The LLC desires to have the LLC's Property EXCLUDED from the Green Acres Conservation District.

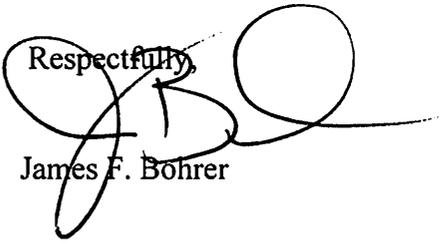
The basis for the EXCLUSION OF THIS PROPERTY FROM THE CONSERVATION DISTRICT BOUNDARIES ARE:

- (1) there is no structure on the Property;
- (2) the Property does not adjoin any notable or outstanding historic structures;
- (3) the Property is on the easternmost edge of the Green Acres Neighborhood Conservation District under consideration by the Commission;
- (4) the LLC owners did not sign the Petition to designate the area a Conservation District.
- (5) the Conservation District boundary can be redrawn to exclude the LLC's Property without damaging the integrity of the Green Acres Conservation District.

We oppose the Conservation District designation for the property commonly known as 2607 East Third Street, Bloomington, Indiana owned by 3rd Street NJ Indy LLC for the reasons stated in this letter.

If the Commission enacts a Conservation District for the Green Acres Neighborhood, we request that the property at 2607 East Third Street be EXCLUDED from the boundaries of the Conservation District.

Respectfully,



James F. Bohrer



CLENDENING
JOHNSON
& BOHRER, P.C.

James F. Bohrer

Attorney at Law

*Board Certified Indiana Trust & Estate Lawyer
by the Trust and Estate Specialty Board*

jfbohrer@lawcjb.com

August 1, 2024

Bloomington Historic Preservation Commission
City Hall
401 North Morton, Suite 135
Bloomington, IN 47404

Re: **Owner:** Athena Hrisomalos
Properties: 228 South Hillsdale, Bloomington, IN (Hillsdale Lot 43 and Pt Lot 42)
214 South Hillsdale, Bloomington, IN (Hillsdale Lot 45)
218 South Hillsdale, Bloomington, IN (Hillsdale, Lot 44)
208 South Hillsdale, Bloomington, IN (Hillsdale, Lot 46)
2401 East Third Street, Bloomington, IN (Hillsdale Lot 3)
East third Street, Bloomington, IN (Hillsdale Lots 1 &2)
217 South Clark, Bloomington, IN (Highland Homes Lots 78,79 &80)
213 South Clark, Bloomington, IN (Highland Homes Lots 75,76 & 77)
207 South Clark, Bloomington, IN (Highland Homes Lots 73 & 74)
218 South Clark, Bloomington, IN (Highland Homes Lots 23 & 24)

Commission Members:

I represent Athena Hrisomalos (the "Owner").

The Owner is the record titleholder to the 18 Lots which consist of 10 distinct parcels listed above which we believe are part of the Petition that has been filed to designate the Green Acres Neighborhood a Conservation District.

Among those parcels is the Owner's personal residence where she has resided and which has been the Owner's homestead for over 60 years. The Owner's husband, Dr. Frank Hrisomalos, was referenced in the Petition filed with the Commission to designate the Green Acres Neighborhood a Conservation Area..

The Owner raised her family in the Green Acres neighborhood. The Owner supports healthy residential neighborhoods in Bloomington. The Owner and her family have contributed to their neighborhood and the larger Bloomington community through their service on many of Bloomington's boards, commissions and community organizations.

409 W. PATTERSON DR., SUITE 205. BLOOMINGTON, IN 47403

201 N. ILLINOIS STREET, SOUTH TOWER, 16TH FLOOR, INDIANAPOLIS, IN 46204

T 812-332-1000 138 812-332-7601

WWW.LAWCJB.COM

The Owner believes that current zoning and planning laws and public processes are sufficient to protect the Green Acres Neighborhood. She further believes that the map for the proposed Conservation District that encompasses 125 acres of the Bloomington east side is too large since (a) many properties in the neighborhood have been remodeled or modified; and, (b) the Indiana University Trustees own many of the properties in the proposed District.

The Owner understands the Petitioners desire to protect property values; however, she feels the Conservation District Designation may prevent owners and investors from making needed improvements and changes that are required to attract families and homeowners to the area.

Many of the Owner's properties have been renovated and remodeled. The exteriors have been changed. The Owner's personal residence has significantly renovated and updated multiple times. It was not inventoried on the last Historic Survey but it was nevertheless included on the map that was attached to the Application.

The Owner opposes the designation of the Conservation Designation for her personal residence and for the 10 distinct parcels listed on the first page of this letter for the following reasons:

1. A Conservation District is not necessary to prevent demolition of any structure. Owners must already seek demolition permits from the City of Bloomington under current regulations.
2. Public processes and ordinances are currently in place to protect the neighbors and community from rampant development of properties in Green Acres.
3. A Conservation District designation (which becomes a Historic District in 3 years) makes the process of maintaining and renovating properties more cumbersome which makes housing in the area more expensive and less affordable.
4. The goals of the neighbors who oppose the development on Jefferson Street could be accomplished by mapping a much smaller Conservation District that did not encompass the 125 acres of Bloomington's east side that would not have affected so many other property owners.

For the above reasons, the Owner OPPOSES the adoption of a Green Acres Neighborhood Conservation District as it is presently mapped and drawn. Specifically, the Owner OPPOSES a Conservation District that would include the Owner's properties listed on page 1 of this letter.

Respectfully,

James F. Bohrer

Green Acres Interim Protection on the Proposed Conservation District External Inbox x



Delgar Woodruff <ubattulg@gmail.com>
to me ▾

Fri, Sep 6, 2:19 PM (3 days ago) ★ ↶ ⋮

Hi Noah,

I reside at 218 S Jefferson St, Bloomington, IN 47408 with my husband, Todd Woodruff. I wanted to send a note indicating that we do not approve of the proposed plan for a conservation district for our neighborhood in Green Acres.

There was a woman who came around and asked for signatures. My husband felt very intimidated and the exchange was aggressive and he was misled into signing the document supporting the conservation district. I would like to make clear that his signature on the list is not accurate and we actually, in fact, DO NOT support this measure.

Sincerely,
Utzielger Woodruff

GREEN ACRES

Neighborhood Plan



Spring, 2007

City of Bloomington, Indiana
Mayor Mark Kruzan



GREEN ACRES NEIGHBORHOOD VISION STATEMENT

*Green Acres aims to become a sustainable community that
embraces neighborliness and
forges partnerships within and beyond its borders.*

ACKNOWLEDGEMENTS

An extensive amount of time, effort, and energy was committed by many individuals. The following citizens are recognized for the countless hours and tireless efforts that they contributed in order to turn a neighborhood vision into a plan.

THE GREEN ACRES NEIGHBORHOOD ASSOCIATION

| | |
|-----------------|--------------------------------|
| Betty Byrne | Tim Mayer, City Council member |
| Jelene Campbell | Kevin Polk |
| Stefano Conard | Stanley Routon |
| Diane Dormant | Kathy Ruesink |
| Phil Eskew | Georgia Schaich, President |
| Noriko Hara | Marian Shaaban |
| Nathan Harman | Lois Sabo-Skelton |
| Maggie Jessep | Maggie Sullivan |
| Ann Kreilkamp | Jiangmei Wu |
| Herschel Lentz | |
| Adam Lowe | |

SPECIAL THANKS

Chief Jeff Barlow and the City of Bloomington Fire Department for making Fire Station Number Four available for the SWOT exercise.

The First United Church for hosting all of the neighborhood plan development workshops.

CITY OF BLOOMINGTON, MAYOR

Mark Kruzan

CITY OF BLOOMINGTON, STAFF

Tom Micuda, AICP, Planning Director
Josh Desmond, AICP, Assistant Planning Director
Scott Robinson, AICP, Long Range/Transportation Manager
Nate Nickel, Senior Long Range Planner
Rachel Johnson, Long Range Planner
Lisa Abbott, HAND Director
Vickie Provine, Program Manager

TABLE OF CONTENTS

1. INTRODUCTION

| | |
|-----------------------------------------------|---|
| Neighborhood Planning Initiative..... | 2 |
| The Neighborhood Plan Selection Overview..... | 4 |
| Planning Process..... | 5 |

2. GREEN ACRES PROFILE

| | |
|--------------------------------------|----|
| Foreword..... | 10 |
| Study Area..... | 16 |
| Current Home Ownership Analysis..... | 18 |
| Zoning Report..... | 19 |

3. THE PLAN

| | |
|-------------------------|----|
| How The Plan Works..... | 22 |
| Goal 1..... | 23 |
| Goal 2..... | 25 |
| Goal 3..... | 27 |

4. APPENDICES

| | |
|------------------------------------------------------|----|
| Appendix A: Demographic Profile..... | 30 |
| Appendix B: Historic Homes Inventory..... | 38 |
| Appendix C: SWOT Exercise Summary..... | 41 |
| Appendix D: SWOT Exercise Voting Results..... | 51 |
| Appendix E: City of Bloomington Project Summary..... | 53 |
| Appendix F: Glossary & Community Resources..... | 55 |

ACCEPTANCE STATEMENT

The Green Acres Neighborhood Association and the City of Bloomington hereby acknowledge the Green Acres Neighborhood Plan. Through the City's Neighborhood Planning Initiative, the Green Acres Neighborhood Plan will function as a tool to coordinate resources, open channels of communication, and convey the prevailing interests of the Green Acres neighborhood to the greater community at large. We accept the purpose of the Green Acres Neighborhood Plan and will strive to work within the prescribed framework detailed within it.

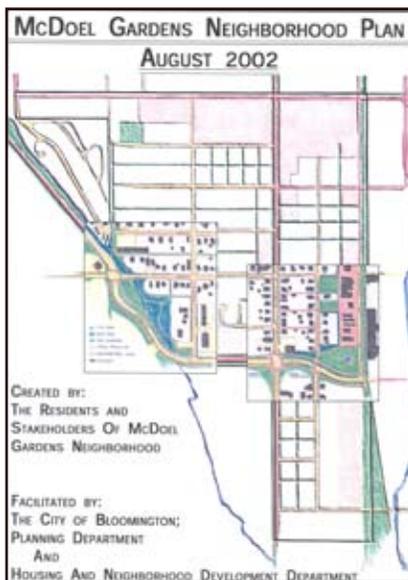
INTRODUCTION

GREEN ACRES NEIGHBORHOOD PLAN

1

NEIGHBORHOOD PLANNING INITIATIVE

The American Planning Association defines neighborhoods as “diverse, dynamic social and economic entities with unique characteristics, which are recognized by residents of both the neighborhood and the community at large.” The City of Bloomington understands that its neighborhoods are an important foundation of the community, and for this reason, the City places a high importance on planning for its neighborhoods. The Neighborhood Planning Initiative is the process by which the City works with Bloomington’s residents to envision the future of a particular neighborhood. The vitality of Bloomington’s neighborhoods depends on careful consideration of each neighborhood’s unique identity and character. A Neighborhood Plan works to suppress the negative elements that can erode a neighborhood’s character; it also works to enhance the elements of a neighborhood that improve the quality of life for current and future residents.



The 2002 McDoel Gardens Neighborhood Plan

NEIGHBORHOOD PLANNING GOALS

Recognize Community Assets

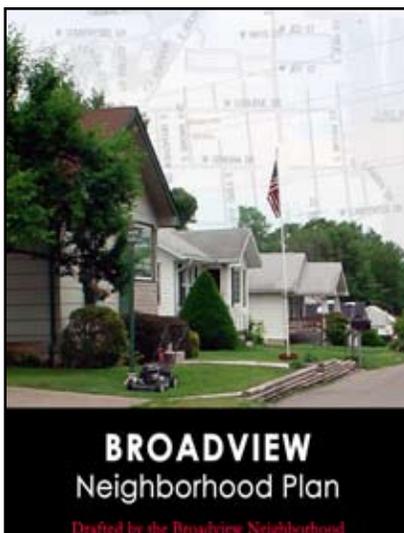
Vibrant neighborhoods are essential to the overall health of the community. Bloomington’s Growth Policies Plan (GPP) recognizes the importance of the City’s many communities and the various assets its neighborhoods bring to the city as a whole. Architectural significance, pedestrian amenities, diversity, affordability, and proximity to parks, commercial districts, and civic institutions are several examples of amenities that many Bloomington neighborhoods possess. Neighborhood Plans build off of the GPP to identify the unique and important characteristics of a neighborhood that should be protected. Recognizing these assets and placing them in a Neighborhood Plan document will further ensure that Bloomington’s neighborhoods will prosper.

Envision the Future

The neighborhood planning process allows a neighborhood to construct a clear vision of its unique needs and priorities. Through the planning process, community members are able to creatively explore their ideas for their neighborhood’s future. The planning process also allows a neighborhood the opportunity to come together to discuss their ideas, and develop a plan for how their common vision can then be reached.

Empower Residents

Neighborhood plans begin with the residents of a recognized neighborhood association. A dedicated group of neighborhood leaders and community representatives are brought together to set goals, determine objectives, and establish action strategies to preserve, enhance, or revitalize neighborhood assets. Empowering residents to lead their neighbors in the planning process is the most rewarding aspect of neighborhood planning.



The 2003 Broadview Neighborhood Plan

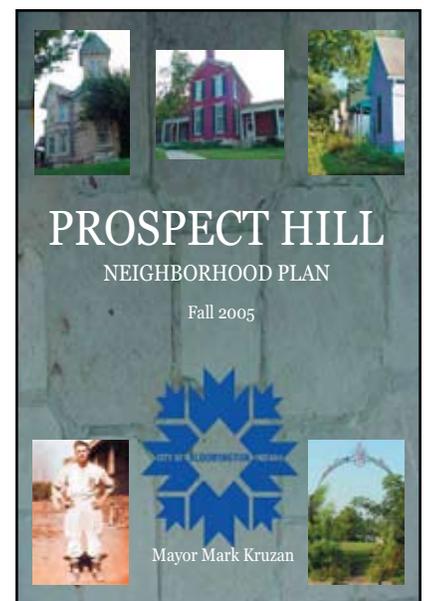
Through the neighborhood planning process, a neighborhood can develop an effective “living” neighborhood plan. This plan becomes a tool for the neighborhood and the greater community at large. It will provide a vision of the future and a general education and awareness about the unique characteristics that a neighborhood possesses. Additionally, it will begin to unify expectations so that changes to the neighborhood can occur with a degree of precision and predictability. The plan can help to work as the voice for the neighborhood, guiding city departments, agencies, and commissions, as well as informing developers, landlords, architects and engineers.

Foster Consensus

A neighborhood plan works to foster consensus on planning issues, thus unifying a neighborhood under a common vision for the future. The best neighborhood plans will not only gain the entire neighborhood’s approval, but will energize widespread community recognition of a neighborhood’s unique characteristics. The Plan will also build a framework that enables a neighborhood’s vision to gain support, not only at the neighborhood level, but throughout the entire City as well. The City of Bloomington is devoted to developing the best neighborhood plans because the City recognizes that its neighborhoods are the strategic building blocks of a great community.

Strengthen Community Ties

Ultimately, a neighborhood plan should steer private investment and public services toward projects that are most important to residents. The planning process will also help to foster healthy interaction between citizens, business leaders, interest groups, and government representatives. The resulting plan will work to create mutual trust and bring together an association between citizens, business and government where strategic alliances and friendships can develop. The final product of the neighborhood planning process is a living document composed of real projects that are timely and feasible. The City of Bloomington is eager to continue working with its neighborhood associations in developing Neighborhood Plans through the City’s Neighborhood Planning Initiative.



*The 2005 Prospect Hill
Neighborhood Plan*

THE NEIGHBORHOOD PLAN SELECTION OVERVIEW

Selecting an individual neighborhood association to participate in the City of Bloomington Neighborhood Planning Initiative is a challenging process. To assist with the selection process, a formal application form and review procedure was introduced in 2004. This new approach measures a neighborhood's demonstration of its vision, organization, opportunities, community involvement, and understanding of current issues that are relevant to the neighborhood.

A call for applications by the City of Bloomington typically takes place in the early spring, where neighborhood associations are encouraged to apply. Neighborhood plan application forms are then made available to the public at City Hall, as well as via the Planning Department's website. Staff from the City's Planning and HAND Departments review each application using a set of established guidelines and criteria. These include the applicant's prior involvement with the program; their assessment of current neighborhood strengths and critical issues; the compatibility of their potential goals and long-term strategies within the neighborhood plan framework; prior commitment to civic or charitable organizations; and neighborhood created projects or initiatives. The committee makes a recommendation for the neighborhood that has demonstrated the highest levels of civic involvement and neighborhood commitment based on the criteria and guidelines listed above. The Mayor's Office then formally announces the winning applicant that will participate in the neighborhood planning process.

A total of three neighborhoods applied for the 2006 neighborhood plan. Applications were received not only from Green Acres, but also from the Bryan Park and Elm Heights neighborhoods as well. However, City staff made a final recommendation to the Mayor's Office that Green Acres participate in the 2006 neighborhood planning process for the following reasons: first, there was a significant increase in the number of active members within the neighborhood association; second, a diverse and well-rounded set of goals were proposed that were achievable in the context of a neighborhood plan; third, a high level of participation was shown in both civic and neighborhood activities; fourth, vigorous grass-roots efforts have been organized by neighborhood residents for various local initiatives; fifth, a comprehensive approach was taken to address neighborhood issues; and lastly, strong outreach efforts were proposed by the neighborhood association to include Indiana University student residents throughout the planning process.

On May 2, 2006, the Mayor's Office officially announced that the Green Acres neighborhood had been awarded the 2006 City of Bloomington Neighborhood Plan.

Soon after being awarded with the 2006 Neighborhood Plan, a core group of Green Acres neighborhood representatives worked with City staff to outline the planning process and solidify logistics. The City of Bloomington Fire Station Number 4 was selected as the location for the initial workshop, due to its convenient location within the neighborhood. The first workshop was set aside for the Strength, Weakness, Opportunity & Threat (SWOT) exercise.

To facilitate greater exposure to the kickoff of the neighborhood planning process, City staff mailed informational flyers to every individual property address within Green Acres. Extra flyers were also given to the neighborhood association, which had block captains assist with distributing to as many rental properties as possible. This set the stage for the beginning of the Green Acres Plan, which officially kicked-off with the SWOT exercise held on Saturday, September 9, 2006 (to learn more about the SWOT exercise, please see Appendix C).



Green Acres enjoys strong grass-roots participation in a wide variety of neighborhood activities. This picture was taken at the 2006 Summer Solstice Parade

PLANNING PROCESS

In order to develop the Green Acres Neighborhood Plan, five workshops were held between September and December of 2006. The final event in the process was the formal “unveiling” event, where the Green Acres Neighborhood Plan was officially released to the public. A comprehensive summary of the planning process is provided below.

WORKSHOP #1: KICK-OFF MEETING, SEPTEMBER 9, 2006

- Neighborhood planning process introduced and SWOT exercise conducted
- Participants summarized and prioritized SWOT findings
- Future workshop information distributed

WORKSHOP #2: PUBLIC INPUT MEETING, SEPTEMBER 27, 2006

- Summary of SWOT exercise results presented
- Participants voted on top SWOT priorities
- Neighborhood began developing Vision Statement

WORKSHOP #3: PLANNING MEETING, OCTOBER 17, 2006

- SWOT voting exercise results reviewed
- Development of goals and objectives
- Neighborhood continued work on Vision Statement

WORKSHOP #4: PLANNING MEETING, NOVEMBER 8, 2006

- Goals and objectives solidified
- Development of action strategies
- Neighborhood began compiling historical information for use in the Plan’s Foreword section

WORKSHOP #5: PLAN OVERVIEW MEETING, DECEMBER 5, 2006

- Process initiated to finalize all plan materials
- Neighborhood residents began to work on cover design options
- Neighborhood strategized on options for the Plan’s release event

PLAN OFFICIALLY RELEASED TO THE PUBLIC, SPRING, 2007



City staff and neighborhood residents discussing material at a neighborhood planning workshop

ISSUES SUMMARY

When the Green Acres neighborhood applied for a neighborhood plan in March of 2006, there were a host of issues that they wanted to address in the document. The SWOT exercise and subsequent voting activity were tools used to help Green Acres residents define and prioritize these issues (for more information on the SWOT exercise and voting activity, please see Appendix C and D). This was necessary to develop a solid base of material to begin the neighborhood planning process.

STRENGTHS & OPPORTUNITIES

Residents used the SWOT exercise to identify the neighborhood’s strengths and potential opportunities. The prime location of Green Acres, with easy access to the Indiana University campus, as well as eastside entertainment, restaurants, churches, retail and health care opportunities, was considered to be a strong asset. The tree-lined streets and yards were deemed to be important neighborhood characteristics. The diverse mix of residents within the neighborhood, which includes students, young families and retirees, was identified as another benefit. Exploring ways to increase homeownership options and alternative transportation modes throughout Green Acres was seen as a great opportunity. Building stronger relationships with neighborhood landlords and renters (especially student renters) was seen as another priority.

CONCERNS & ISSUES

Several potential concerns of the neighborhood were also highlighted during this process. The lack of any public spaces or playgrounds in Green Acres was a major concern. The former “Bedroom One” building along East Third Street was another concern, due to it being a very large, empty, commercial space. Finding a new tenant (or multiple tenants) for this building was consistently an important theme discussed among planning participants. Potential traffic and noise impacts from the planned widening of the State Road 45/46 Bypass, as well as missing sidewalk links along East Third Street, were additional issues voiced during the planning process. Also, it was noted that many elderly residents may either be planning to, or are currently in the process of, selling their homes. Although this trend was a concern, the neighborhood also acknowledged that it could become an opportunity to attract new residents and families to live in Green Acres.

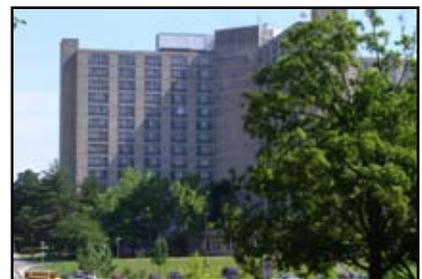
These observations on both the positive features and the areas of concern for the neighborhood helped to pave the way for the creation of the goals, objectives and action strategies that are detailed in Chapter Three.



The residents of Green Acres were constantly seen as a major strength throughout the planning process



Increasing homeownership opportunities and building stronger relationships with neighborhood landlords and renters was noted as an important opportunity



Easy access to the Indiana University campus from Green Acres was identified by residents as a strong asset

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GREEN ACRES PROFILE

GREEN ACRES NEIGHBORHOOD PLAN

2

FOREWORD

WRITTEN BY ANN KREILKAMP

RESIDENT AND GREEN ACRES NEIGHBORHOOD ASSOCIATION SCRIBE

JANUARY 15, 2007

Walk into a tall, narrow, hidden room in the Monroe County Historical Society Museum and look up on the west wall. There you will find a floor-to-ceiling photograph, taken in 1955, from downtown Bloomington that looks east, as if from a low-flying aircraft. St. Charles Church, on the corner of 3rd and High street, sticks out isolated, with only green fields beyond. In Green Acres itself, you can make out the small, mostly post-World War II houses of Union, North Bryan, Jefferson, Roosevelt—some kit homes, some Arts and Crafts California Bungalows of various types—but the neighborhood looks sort of barren, not many trees. Further east there is so much tree cover that it's hard to tell how many houses were already built on Hillsdale and Overhill, or even if those streets existed then (they did; Hillsdale was platted in 1947 and Overhill in 1953). Nor is the east edge of Green Acres obvious in the photo (the bypass wasn't built until the '60s).



The historic Millen House (renamed the Raintree House) is currently under restoration. It serves as the home to Indiana University's Organization of American Historians

Now zoom back even further, way back, to 1839 when William Moffat Millen purchased 160 acres, the "SE quadrant of section 34," from William Bonner, for \$1800. The west (Union Street), north ("Nashville Road," now 10th Street) and south ("Columbus Road," now E. 3rd Street) boundaries of this farm are still those of Green Acres, though the east boundary spread further than what is now the bypass.

Near the western edge of his farmstead, in 1849 Mr. Millen built a Greek Revival, two-story, Georgian home (a style no longer in vogue on the east coast, but still favored by well-to-do farmers in Southern Indiana and other parts of the Upland South). This house, the Millen-Stallknecht House—recently renamed the Raintree House because of its two raintrees (*Koelreuteria paniculata*), one of which is the largest of its species in Southern Indiana—and the 7/10th acre that remains of the original property now bear the addresses of 111 and 112 North Bryan.

One of four of its type in Monroe County, the Millen-Stallknecht house with its elaborate classical portico is the only one to retain historical integrity (having not been substantially added to or subtracted from). As of 2004, the Millen House was federally approved on the National Register of Historic Places, and is listed as an Indiana Historic Site. We can view the Millen-Stallknecht/Raintree House, as the oldest house still standing, as the cornerstone of our Green Acres Neighborhood.¹

According to a report filed by the United States Department of Interior, in 1880 Millen sold the property to James B. Clark, a farmer. Clark sold it to a Mr. Rogers in 1882. In the 20th century, the home went through numerous owners (Agnes Wells, Geneva L. Graeba, Anna and Newton Stallknecht) and the property subdivided a number of times. The westernmost acreage, called Highland Homes, from Union through Clark Street, was platted in 1923.

In 1946, the Trustees of Indiana University purchased the Millen House and rented it for three years to university personnel and students before selling to the Stallknechts, who refurbished the interior. In 1969, the “Stallknecht House” and property were sold to the IU Foundation and renamed Raintree House. Since 1970, at the invitation of then president Herman Wells, it has been used as headquarters for the Organization of American Historians. In 1992, the Foundation deeded it back to the Trustees of Indiana University.

The report calls the Millen House a “surviving landmark of a group of Scotch-Irish Presbyterians who migrated from Chester City, South Carolina before 1834.” They “helped transform the economic fabric of the community, were active in the formation of IU, and anti-slavery in spirit.” Mr. Millen’s own father’s will (in South Carolina, 1844) “took the rare and radical step of freeing his seven slaves and leaving them \$300 to move to a free state.” (By comparison, he left \$50 to each son and \$100 to a daughter.) It has long been rumored that the Millen House was one of the stations along the Underground Railroad, though no proof of this has been found.

This cornerstone of our neighborhood thus carries connotations of an enlightened awareness that preceded the Civil War by decades and serves as a lodestone, both for GANA’s embrace of neighborliness and for our decision to guide the future of Green Acres in the direction of sustainability.²



A late 1940’s map depicting the municipal boundaries of the City of Bloomington. At this time, the Green Acres neighborhood was still mostly undeveloped

1 We could go back further, of course, to uncover the bones and artifacts of the Delaware, Piankeshaw and Miami Indians who populated this area before the European-Americans displaced them in the early 1800s. Taking advantage of the Land Act of 1780, which opened Land Offices to permit easy, legal land acquisition by private individuals from the federal government, the earliest “settlers,” mostly middle-class, self-reliant, hard-working Upland Southerners, migrated up from Kentucky, North Carolina, Virginia and Tennessee. The Land Act followed the Land Ordinance of 1785 which overlaid the natural contours of the land with a Roman-style grid by surveying land into six-mile square townships subdivided into 36 sections of 600 acres each, and the Northwest Ordinance of 1787 which provided for a system of government in the area of Indiana and nearby states then known as the Northwest Territory. So many arrived so quickly that by 1816, Indiana had the 80,000 settlers necessary for statehood. This particular area was appropriated through the Fort Wayne Treaty of 1809 whereupon, to ensure survival, the Indians were forced to migrate even further west, following the promise of yet one more two-faced treaty. (Facts, but not point of view, gleaned from Sieber and Munson, *Looking at History: Indiana’s Hoosier National Forest Region, 1600-1950*, by Sieber and Munson, IU Press, 1992.)

2 Enlightened awareness regarding slaves, but not Indians. And, as regards sustainability, we would do well to learn from the earliest white settlers what not to do. In 1800, this entire area was old growth forest, mostly hickory and oak in the uplands, beach and maple in the valleys. The settlers cleared the land, farmed it to the point of depletion and massive erosion—whereupon they cleared more land and did the same thing. By the 1930s, when the Forest Service began to buy up land and reseed it with trees, very little forest remained. And extreme erosion made the hills of Brown County, for example, even steeper and deeper.

Though the settlers didn’t know how to farm sustainably, they did know how to cooperate with each other, such as in raising barns and houses as a group. This probably ensured their survival, and in this sense we can emulate them. (Again, facts, but not point of view, from Sieber and Munson.)

FOREWORD

Bloomington itself sits at an edge between the rural, folksy, can-do, small-town values of the southern hills and the larger industrial cities of the north. Perhaps partly because of its position as a crossroads (in 1910 the U.S. census deemed it the center of the nation's population), and of course, also due to its location as a university town, Bloomington itself has long served as a fertile oasis for all kinds of diversity.

Unfortunately, there have also been disturbing incidents in the neighborhood as well. Margaret Carter, a long-time resident, tells of a black family that moved in next to her on North Bryan, some time in the '70s she thinks it was, and she welcomed them. However, a few months later she was surprised to discover that they had moved out, saying that shots had been fired at their house. And she tells of a real estate agent that went from house to house between 4th and 5th streets on Bryan, to warn those who lived there to sell their houses since a black professor and his family had moved into one of the rentals that IU owned on that street. However, this kind of memory is rare. Mostly, old-timers who have resided in this neighborhood for 30, 40, 50 years tell of a place full of children, spilling out of what seemed to be every house. A dozen or more on a single block, and all of them walked to school—St. Charles on the corner of 3rd and High Street, or the University School then located at 10th and the Bypass.

When at home they roamed all over the neighborhood, on foot or on their bikes, playing kickball, tag, Frisbee, hide and seek, “muckle” (like tackle, they made it up). They would buy ice cream bars from the Johnson Creamery milkman on his daily rounds (he lived at the corner of 3rd and Overhill), sled down snow-covered streets, throw a ball on dead-end streets, and head in a straight line through everyone's yards, front yards, back yards, towards yet another empty lot or the aroma of someone's mother's cookies and milk. Nobody minded them or thought they were “trespassing.” Nor did parents need to keep an eye on their kids. As George Huntington, who has lived in the neighborhood for 47 of his 50 years said, “When I was a kid, in the summer I'd get up in the morning, leave home and not come back until well after dark. I don't remember being scared of anything. This was a real little mini-community.”

George grew up on Edwards Row, “the edge of town,” since there was nothing but fields to the east. Stanley Routon, also on Edwards Row, remembers George as a kid, and says that in 1956, when he and his wife Bobbie bought a lot (for \$1200) and built their house (for \$12,000) where their four kids grew up, they were “in the country,” the city boundary being then Union Street. Their whole block “sprung up,” he says, within a few years.

Whenever a new family moved to Edwards Row, a dead-end street, the neighbors would invite them for a welcoming get-together, and this went on for years. Bobbie remembers holding a baby shower for someone on her block. And if someone was sick, others would look after them. Neighbors of all kinds mingled, an insurance salesman, a textile peddler, a trucker, a factory worker, a policeman, a professor at the university.

“The kids would all play in anybody’s yard, whether or not they were home.” Shirley Bushey, on Eastgate Lane since 1966, comments that “one time, two old people were arguing about a garage, using words like ‘your property’ and ‘my property.’ My kids had never heard those phrases before and asked me, ‘Why are they arguing, Mom? And where’s our property?’”

It is said that the fastest way to heal an ecosystem is to connect it with more parts of itself. By that measure, then in the ‘50s and ‘60s, Green Acres was a healthy ecosystem, the kids knitting its parts together by constantly roaming across legal boundaries. Nostalgic memories of Green Acres are bolstered by the theme song, “Green Acres is the place to be . . .” from the ‘60s TV sitcom of the same name, itself modeled on a 1950s radio series, “Granby’s Green Acres.” In that TV show, a New York City “city slicker” lawyer (Eddie Albert) and his wife (Eva Gabor) bought a 160-acre farm (note: same acreage as the real Green Acres!) in “Hooterville.”

The name “Green Acres” also conjures up associations that the word “green” has come to embody in this post-carbon, peak-oil era when we begin to wake up to how we “city slickers” must learn to invite nature into our cities if we are to survive and thrive in a future of dwindling energy resources.

Besides its enlightened origins, its populist feel, its history as a haven for young families, and its wonderfully evocative name, Green Acres has always occupied the enviable position of being a quiet, tree-shaded interior sanctuary surrounded by busy streets and commerce. As its exterior boundaries grow even more frenetic and congested, the feeling of sanctuary deepens, grows ever more precious, worth protecting.

We can thank the far-seeing folks who started the Greater Green Acres Neighborhood Association (GGANA) back in 1972, formed to address zoning, traffic and drainage issues. A 1973 Herald-Telephone headline sounds like *deja vu*: “GA is Looking for Help: speeders cut through on Hillsdale, Bryan and Overhill. Parked cars on Bryan and Jefferson.”

Al Ruesink, Marie Webster, Grace Martin, Tim and Sue Mayer and Georgia Schaich were among the early active members of GGANA and they fought a number of zoning battles at the boundaries of the neighborhood, including those over development at the corners of Union and 3rd, Union and 7th, and of 10th and the Bypass. Al was one of the founders of the Council of Neighborhood Associations (CONA), also formed in the early ‘70s to network with and coordinate the efforts of the 20 newly-emerged Neighborhood Associations in Bloomington.

Many consider Green Acres to be more convenient to diverse city amenities than any other neighborhood. This is because one can easily walk or ride a bike from Green Acres to grocery stores, movies, bookstores and other retail stores at Eastgate and the College Mall, to educational and cultural events on the IU campus, or continue downtown for city business, music and other cultural venues, ethnic restaurants, and the Saturday farmer’s market—all within a mile or two.



Neighbors getting together for the Ice Cream Social on a hot summer day



Solstice Parade held in the summer of 2006



The Sample Gates at Indiana University are an easy bike ride away from Green Acres

Margaret Carter remembers taking the bus all the way downtown from a bus stop at 7th Street and Union (7th no longer goes through). She and others remember two neighborhood grocery stores, one on 10th, the other on the southwest corner of Union and 3rd called Livingston’s, where she sent her kids for milk and bread. “And,” says Stan Routon, “when Mr. Livingston read in the paper that a Kroger’s was going in (in what is now Eastland Mall, in the Petco location), that very day he put up a sign that said the store was closing.”

Tim Mayer, a City Council member on South Bryan, tells of a Mrs. Alma Stevenson, who lived on the southeast corner of 4th and Union in a two-story house built in 1927. In the ‘70s, she was referred to as “Monroe County’s oldest living Republican” and politicians would come at election time to have their picture taken with ‘Mommy Stevenson,’ including Richard Lugar.”

Mrs. Stevenson had four lots, and even into her 90s she maintained gardens, including vegetable gardens. Tim says she always wore a dress, and would “sit in the dirt and scoot herself along—scattering seed for two rows of corn and a handful of fertilizer.” Tim shoveled her walks in the winter, and looked after her house when she broke her hip and had to move into a convalescent center. George Huntington took in old ladies’ trash barrels when he saw them on his paper route. Back then, neighbors not only baked cookies for each others’ kids, they watched out for each other, lent each other a hand.

Tim says that the neighborhood association started in the early 70s because of the pressure of development. “Park Ridge sprung up, with bigger houses on bigger lots, so many IU professors moved out there, vacating those houses and students moved in.” Likewise, Stan says that when the houses were sold, they usually turned into rentals, and the block parties gradually stopped. By 1973, a Herald-Telephone news report quotes a Green Acres resident, “It’s a weird, strange neighborhood. People are very nice, but they stick to themselves. We just don’t get together.”

This introduction to the history of Green Acres is intended to evoke what was and, in part still is, good about this small corner of the world; what we like very much and would like to see more of. We intend our commitment to “neighborliness” to include student renters, as well as the older folks who tend, like in most of America, to be nearly invisible. And, while apparently scarce, believe it or not, children do live in Green Acres! Once in a while, you will see a young mother walking a stroller with her dog on the street, and a whole busload of children leave for school every morning.

We would like to help college students be aware that they live in a neighborhood and that they might learn to enjoy it enough to want to settle in Green Acres, buy a home, start a family and a garden. The elderly among us need our help—we need to check in on them once in a while, listen to their stories, offer to take them to the store or to the doctor, mow their lawns, shovel their walks like neighbors used to do.

And we would like to engage our children to find each other, play kickball and tag once again, get out on their bikes. There aren't many empty lots left, but we plan on pocket parks, and we encourage them to play and run through our front and back yards once again, so that they can help us remember that we actually live in community, that, in a very real way, we hold this land in common, in trust for the future of them and their children.

And yes, let us remember the block parties of old, and get together again, both for official GANA events, and more spontaneously on our own blocks. The new block captain program should help immeasurably—both to introduce us to each other and to facilitate sharing our diverse knowledge, skills and tools.

As with just about every neighborhood in a city where nearly half its occupants are college students, we recognize as a great challenge our decision to enlist the huge vitality and natural idealism of youth to partner with us as we launch experimental projects that demonstrate a more harmonious blend between nature and culture and intensify both our capacity to sustain ourselves locally and our commitment to the health of our environment.

Proximity to IU is a key to the success of our effort. We plan to involve SPEA (School of Public and Environmental Affairs) and other schools and departments of the university to create credit courses and in-service programs that utilize Green Acres as a living laboratory to incubate the growth of a “village-like” atmosphere in which residents can choose to live and work in place. We envision planting and plucking our own food; retrofitting our homes for energy efficiency and alternative energy; and utilizing inexpensive, low impact methods to conserve, enhance and connect energy flows of all kinds. We intend to support small neighborhood businesses and to carve out common areas that encourage us, as a micro-ecosystem within the larger Bloomington area, to connect more parts of itself to itself.

Lois Sabo-Skelton, my close neighbor on Overhill Drive, sums it up well: “We cherish Green Acres as a safe and civil pocket within a safe and civil city that allows its neighbors, while maintaining personal privacy, to rely and depend on one another as one would in a family.”

Our quest then, as a community, is to become healed, healthy, whole; so diverse, so stable and secure and that the winds of change, no matter how strong, will find us able to adapt and thrive. Ultimately, we hope to leave a legacy that we can be proud of, that does justice to the enlightened, far-seeing views of the family who bought the original 160 acre farm which evolved into our Green Acres neighborhood home.

I want to thank Betty Byrne, Keith Johnson, Tim Mayer, Marian Shaaban, Lois Sabo-Skelton, Georgia Schaich and Rob Turner for their helpful, and sometimes crucial, suggestions for edits to this document.

STUDY AREA

Green Acres has been able to maintain its neighborhood identity despite continuous growth and change along all four of its perimeters. The neighborhood's unique location has provided its residents with both hardships and benefits. The southern border of the Green Acres neighborhood runs along East Third Street, providing residents with quick access to many of the shops and restaurants located along that corridor. To the east, there are also many commercial and retail developments separated from Green Acres by the State Road 45/46 Bypass. The northern border of Green Acres runs along East Tenth Street, while the western edge of the neighborhood is marked by Union Street, which abuts the Indiana University campus. The neighborhood's proximity to Indiana University offers many advantages to its residents, many of whom work or study at the University. Partnering with Indiana University in various capacities has therefore developed as an important topic in the plan.

While the neighborhood's proximity to so many surrounding retail businesses is a definite advantage, dealing with the traffic along East Third Street and the State Road 45/46 Bypass is an obvious hindrance to the neighborhood's accessibility to these services. Transportation and neighborhood accessibility have therefore become important components of the neighborhood plan as well.



One of many unique homes in the neighborhood



Mature trees line most of the streets throughout Green Acres



The Green Acres Neighborhood Ice Cream Social that was held in the summer of 2005

GREEN ACRES BORDERS

Below is an aerial photograph of the entire Green Acres neighborhood. The heavy amount of green in this photo clearly indicates how much of the neighborhood contains mature trees. The solid red line visually denotes the boundaries of the Green Acres neighborhood.



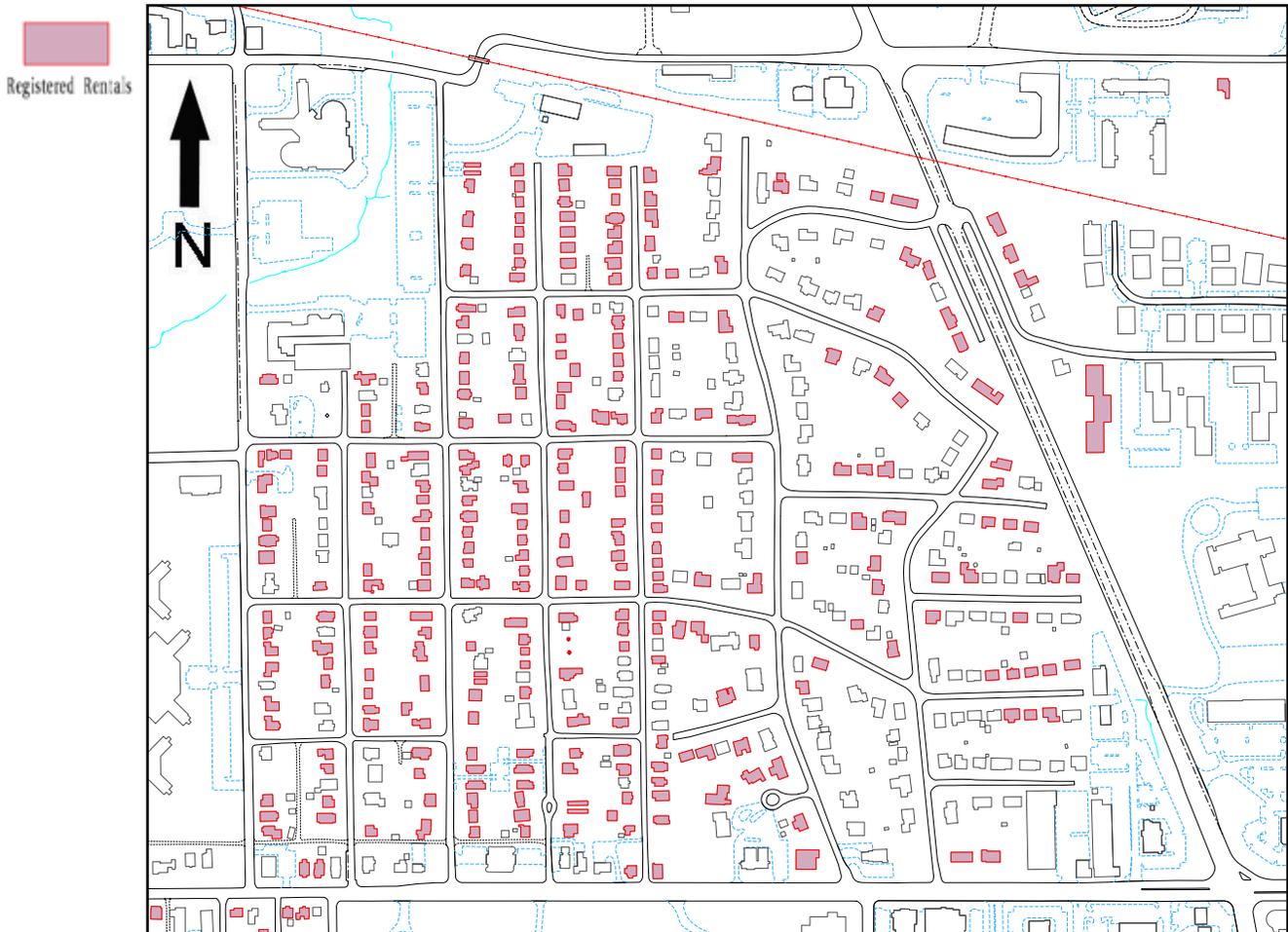
The Green Acres neighborhood, as seen from this 2006 aerial photograph

CURRENT HOME OWNERSHIP ANALYSIS

NEIGHBORHOOD RENTALS

As evidenced on the map below, Green Acres has a fairly large proportion of rental properties. The map below highlights those properties that are registered as rentals with the City’s Housing and Neighborhood Development Department. Properties are shown as registered rentals in the City data until their rental permit expires; thus, some rentals may have become owner occupied before the permit has expired, and still show on the map as a rental. Vice versa, some rentals may have not yet been registered at the time of this map printing and therefore are not shown as rentals on the map below.

Despite potential inaccuracies of the map, it is still a helpful tool to see what general areas of the neighborhood are most heavily rental units. It is clear from the map that portions of the neighborhood that are farther east are more owner-occupied. This most likely is correlated to the distance from the IU campus. Since many of the rentals are occupied by students, the homes closest to campus are in higher demand for student rentals.



Green Acres Neighborhood Registered Rentals (as of February 12, 2007)

City of Bloomington ITS Department, Geographic Information Systems
 For reference only; map information NOT warranted.

NEIGHBORHOOD ZONING DISTRICTS

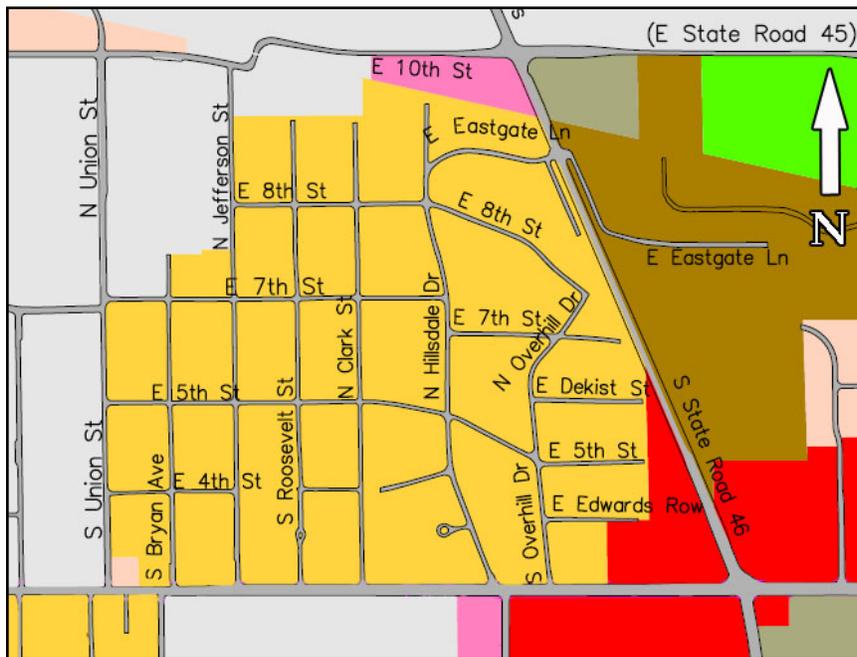
The purpose of zoning is to protect the character of an area and to promote positive and appropriate development. Zoning can safeguard property value, promote public health, mitigate traffic, create healthier living environments and prevent overcrowding.

As shown on the map below, most of Green Acres is zoned Residential Core (RC). This zoning district permits one dwelling unit per property, or parcel of land, and comprises a large portion of the neighborhood, making up approximately ninety-one percent of the total land area of the neighborhood.

There are a few parcels in Green Acres that are zoned for commercial use, which allows for various degrees of business activity on a single parcel or property. These commercial properties are along the southeastern end of the neighborhood, near the intersection of East Third Street and the State Road 45/46 Bypass. The land zoned Commercial Arterial (CA) makes up approximately five percent of the neighborhood’s land area.

A small amount of land is designated Institutional (IN) at the northeastern edge of the neighborhood. This land area makes up about three percent of the neighborhood’s land area. The neighborhood also has a small amount of Commercial Limited (CL), located at the northeast corner of East Third Street and Union Street. This land area makes up less than one percent of the neighborhood’s total land area.

Additional information about zoning in the City of Bloomington can be obtained from the Planning Department at (812) 349-3423, or by visiting www.bloomington.in.gov/planning.



- RC Residential Core
- RH Residential High Density
- CA Commercial Arterial
- CG Commercial General
- CL Commercial Limited
- RE Residential Estate
- PUD Planned Unit Development
- IN Institutional

Green Acres Neighborhood Zoning Map (effective February 12, 2007)

*City of Bloomington ITS Department, Geographic Information Systems
For reference only; map information NOT warranted.*

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THE PLAN

3

GREEN ACRES NEIGHBORHOOD PLAN

HOW THE PLAN WORKS

The key step of the neighborhood planning process is the development of the goals, objectives and action strategies. The Green Acres neighborhood has used the three themes of their Vision Statement to create the three goals of the plan. Under each of the goals are related objectives, which will help to measure the progress toward reaching the goals once the plan begins its implementation. Under each objective are action strategies, which offer specific tasks to be completed in order to achieve the desired objectives that lead to fulfilling a goal.

Also included with each action strategy is a desired timeframe for completion. These are referred to as the target. Target completion times range from short-term, which are typically one to two years, to long-term, which can be anything anticipated to take more than five years to complete. In addition, with each action strategy is a list of potential resources that will share the responsibility of completing the task. (Please see Appendix F, Glossary, for listing of acronyms.)

Periodic meetings between the Green Acres Neighborhood Association and the City will allow for progress reports, evaluation and modification of the plan's material. This plan is a "living tool" which will need to be tweaked from time to time as action strategies are pursued with various degrees of satisfaction. As time proceeds, priorities may shift and focus may be lost. Thus, continuous work to refine the plan and implement the action strategies contained in it will ensure success.

NEIGHBORHOOD PLAN DEFINITIONS

- **Goal:** The general statements of purpose or the long-term end toward which programs or activities are ultimately directed.
- **Objectives:** Provisions that have measurable elements to mark progress towards the corresponding goal.
- **Action Strategies:** The way in which programs and activities are conducted to achieve an identified goal; concrete steps that address short-term, achievable actions and implementation measures.
- **Target:** Anticipated date or frequency that an action strategy should be accomplished.
 - Short-term:** one to two years to complete
 - Mid-term:** two to five years to complete
 - Long-term:** more than five years to complete
 - Ongoing:** occurs annually or continuously
- **Resource:** Logical entities that should be directly involved with the implementation of a specified action strategy.

Become an exemplary community for green living and sustainability

Objective 1.1 Organize on-going sustainability initiatives and educational outreach

| <i>Action Strategies</i> | Target | Resource |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|----------------------|
| a) Invite “green” speakers to neighborhood meetings and host knowledge exchanges | on-going | GANA, others |
| b) Establish a neighborhood “green” task force | short | GANA |
| c) Hold regular work parties to build sustainable features for neighborhood homes and yards | short | GANA |
| d) Create an online resource base for seed and tool exchange within the neighborhood | short | GANA |
| e) Identify edible plants in the neighborhood that are available for neighborhood harvest and sharing | short | GANA |
| f) Create a Green Acres neighborhood garden by first conducting a feasibility study of potential locations (Overhill and 3rd St., Fire Station #4, 7th St. and Bypass, Tulip Trace, other) | short | GANA, IU Parks, Fire |
| g) Create brochure or informational packet of materials for residents to learn about sustainable practices for home and yard | mid | GANA |
| h) Work with energy providers to assist homeowners with improving household energy efficiency | mid/long | GANA, others |
| i) Create a surplus of neighborhood-grown edibles that can be sold at a GANA booth at the Bloomington Farmers’ Market (or other venue) | long | GANA, Parks |

Objective 1.2 Protect and enhance the unique green image of the neighborhood by establishing partnerships with public, private and non-profit institutions

| <i>Action Strategies</i> | Target | Resource |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|-------------------------------------------|
| a) Pursue Neighborhood Improvement Grants to add defining art and entrance features at neighborhood gateways, or a City Repair project, that highlights the neighborhood’s image | mid | GANA, HAND, Planning |
| b) Develop an annual neighborhood tree planting program for native tree species | mid | GANA, Parks, IDNR |
| c) Hold “tree workshops” to educate and encourage residents about planting and caring for trees - invite knowledgeable individuals to assist | mid | GANA, Parks, IU, Arbor Day Assoc., others |
| d) Conduct a feasibility study that explores developing potential partnerships to construct a neighborhood pocket park (possible locations include: 7th Street Tunnel, Bypass ROW, Fire Station #4, others) | long | GANA, IU, INDOT, Planning, Parks |

3 GOAL 1

Objective 1.3 **Improve stormwater drainage techniques to better utilize and care for water resources**

| <i>Action Strategies</i> | Target | Resource |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|----------------------------------------|
| a) Provide educational opportunities on rain gardens, water catchment systems, permeable surfaces, and other techniques to facilitate natural drainage in yards | short/ mid | GANA, Environmental Commission, others |
| b) Increase plantings to facilitate natural drainage | mid | GANA, others |
| c) Work closely with the City of Bloomington Utilities Department on potential drainage improvement projects | long | GANA, CBU |

GOAL 2

Strive for a stronger and more vibrant Green Acres neighborhood through increased social capital

Objective 2.1 Attract both families and new homeowners to the neighborhood

| <i>Action Strategies</i> | Target | Resource |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|---------------|
| a) Utilize and promote GANA list-serve to identify homes for sale, keep a list of those who want to move into Green Acres neighborhood, and match homes-for-sale with buyers | short | GANNA |
| b) Collaborate with local realtors to actively market and promote Green Acres neighborhood assets to potential homebuyers | mid | GANNA, others |
| c) Work with HAND to market the Green Acres Neighborhood to interested residents through the annual Homebuyers Club | mid/ long | GANNA, HAND |

Objective 2.2 Strengthen the overall block captain program and bring every block in the neighborhood into the block captain program

| <i>Action Strategies</i> | Target | Resource |
|----------------------------------------------------------------------------------------------------------------------------------------------------------|----------|---------------------|
| a) Upgrade communication methods, such as: website, list-serve, flyers, and newsletter | on-going | GANNA |
| b) Create a toolbox for block captains, which will include a welcome packet, to distribute to new neighborhood residents | short | GANNA |
| c) Utilize the Small and Simple Grants program to provide communication skills education and training to block captains and to help increase recruitment | long | GANNA, HAND, others |
| d) Have block captains encourage residents to enroll in Citizens Academy classes to provide education on City services and programs | long | GANNA, HAND |

Objective 2.3 Have regular and frequent neighborhood celebrations and events

| <i>Action Strategies</i> | Target | Resource |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|-------------------|
| a) Continue to annually hold the Solstice event, Ice Cream Social and Spring Plant Share | on-going | GANNA |
| b) Actively participate in training and disaster preparation activities associated with the Monroe County Citizen Corps CERT Program and invite other neighborhoods to participate | on-going | GANNA, CERT, CONA |
| c) Hold a fall festival that includes a neighborhood-grown fruit & pie contest | short/ mid | GANNA |
| d) Encourage block captains to hold parties on their blocks | mid | GANNA |

Objective 2.4 Increase attendance and participation at GANA meetings, activities and events

| <i>Action Strategies</i> | Target | Resource |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|-----------------|
| a) Specifically invite landlords and renters to attend GANA meetings and activities | on-going | GANAs, others |
| b) Advertise upcoming GANA meetings through the list-serve, signage, flyers, newspaper, etc. | on-going | GANAs, others |
| c) Have residents or local businesses sponsor door prizes for GANA meetings | short | GANAs, others |
| d) Create, or find, a meeting place in the Green Acres neighborhood for GANA meetings and events (look into utilizing the IU Raintree House or Fire Station #4) | short/mid | GANAs, Fire, IU |
| e) Form a committee with representatives of all neighborhood interest groups (including renters, landlords and businesses) to identify opportunities to improve relations | short/mid | GANAs, others |
| f) Publish a resource directory of neighborhood residents who have teaching, construction, design, and gardening skills, as well as other services, that can either be shared or traded with the entire neighborhood | mid | GANAs |

Objective 2.5 Conduct several neighborhood trash removal and clean-up events per year

| <i>Action Strategies</i> | Target | Resource |
|------------------------------------------------------------------------------------------------------|----------|---------------------------|
| a) Apply for HAND clean-up grants | on-going | GANAs, HAND |
| b) Hold a neighborhood clean-up once a year to utilize the City of Bloomington “Pick it Up” campaign | on-going | GANAs, HAND |
| c) Establish a neighborhood-based “Adopt a Street” program for litter control | mid | GANAs |
| d) Recruit landlords and renters to assist in clean-up activities | mid | GANAs |
| e) Educate new renters and residents on City trash pick-up and recycling policies | mid/long | GANAs, HAND, Public Works |

Achieve excellent connectivity within the neighborhood, and with the greater Bloomington community and government

Objective 3.1 Establish working partnerships with Indiana University

| <i>Action Strategies</i> | Target | Resource |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|--------------------|
| a) Coordinate with the IU Real Estate Office on future planning for University-owned property within the neighborhood | on-going | GANA, IU, Planning |
| b) Form a committee to identify potential studies, programs and volunteer opportunities in Green Acres that would be ideally targeted to IU students | mid | GANA |
| c) Directly contact the IU Business School, SPEA, Education School and other University organizations to form partnerships to recruit students for targeted studies, programs and volunteer opportunities as identified by the committee | mid/long | GANA, IU |

Objective 3.2 Work with local and state government agencies to mitigate traffic impacts and identify opportunities to improve bicycle and pedestrian safety throughout the neighborhood and surrounding areas

| <i>Action Strategies</i> | Target | Resource |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|----------------------------------------------|
| a) Appoint a neighborhood representative to the Metropolitan Planning Organization (MPO) Citizens’ Advisory Committee, seek City appointments to the Traffic Commission, Bicycle and Pedestrian Safety Commission, Sustainability Commission and any other relevant boards and commissions | on-going | GANA, Mayor’s office, Planning, Public Works |
| b) Review current Alternative Transportation and Greenways System Plan and recommend relevant improvements to the City Planning Department | short | GANA, Planning |
| c) Submit a proposal for a sidewalk project to the City Council Sidewalk Committee | mid | GANA, City Council |
| d) Establish a neighborhood car sharing cooperative or a partnership with a car sharing organization | mid | GANA, other |
| e) Schedule or attend a meeting (or contact representatives) with Indiana Department of Transportation (INDOT), the Traffic Commission, and Bicycle and Pedestrian Safety Commission to voice neighborhood concerns | mid/long | GANA, INDOT, others |
| f) Work closely with Bloomington Transit (BT) to identify opportunities for new or improved bus shelters along East Third Street | long | GANA, BT, Public Works, Planning |

Objective 3.3 Improve City of Bloomington/neighborhood relationships

| <i>Action Strategies</i> | Target | Resource |
|---------------------------------------------------------------------------------------------------------------------|----------|-----------------------|
| a) Invite local elected officials and City staff to participate in an annual “town-hall” style neighborhood meeting | on-going | GANNA, others |
| b) Schedule an annual walk-through of the neighborhood with staff from both the HAND and Planning Departments | on-going | GANNA, HAND, Planning |
| c) Participate in the City of Bloomington Police Department’s Neighborhood Watch program | on-going | GANNA, Police |

Objective 3.4 Ensure that infill development within the established neighborhood is context sensitive

| <i>Action Strategies</i> | Target | Resource |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|---------------------------------------------|
| a) Participate in Council of Neighborhood Associations (CONA) activities | on-going | GANNA, CONA |
| b) Develop personal contacts with the City of Bloomington and the development community to proactively discuss neighborhood ideas for any proposed development activity within Green Acres (i.e. green building design options, sustainability concepts, etc.) | mid/long | GANNA, Planning, IU, developers |
| c) Target desirable neighborhood locations for infill development | long | GANNA, Planning |
| d) Seek appointments for residents to serve on the City of Bloomington Plan Commission and the Board of Zoning Appeals | long | GANNA, Mayor’s office, City Council, others |

APPENDICES

4

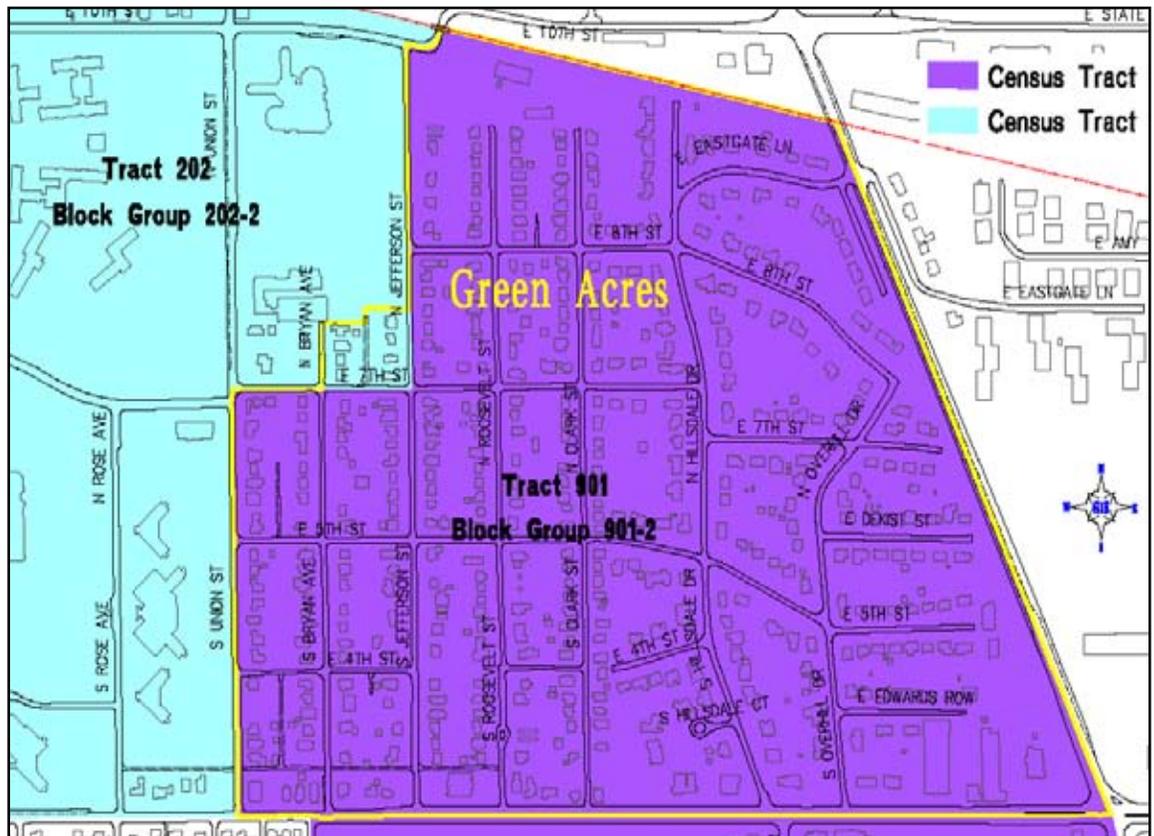
GREEN ACRES NEIGHBORHOOD PLAN

APPENDIX A: DEMOGRAPHIC PROFILE

In order to get a closer look at the make-up of the Green Acres neighborhood, staff turned to data from the U.S Census Bureau. Using census data offers a unique opportunity to see demographic issues and compare trends for a specific area over a number of years. Both the Monroe County Public Library and Indiana University Memorial Library contain vast amounts of census material and were great resources for this endeavor. Another excellent source was the U.S. Census Bureau website at www.census.gov.

To create all of the following graphs and charts, staff used the U.S. Census Bureau’s data for Bloomington, Indiana, Years 1980, 1990 and 2000. Specific data used for the Green Acres neighborhood in 2000 was from the following areas: SF 1 (Short Form data) and SF 3 (Long Form data) from Tract 9.01, Block Group 1. (Figure 1 contains a map illustrating these census tracts and boundaries). Although it represented a portion of Green Acres, Tract 202, Block Group 2, was not used in the 2000 census calculations because it almost exclusively consisted of Indiana University’s Eigenmann Hall. Staff felt that this would cause inaccurate data due to the heavy skew toward college students. Additionally, the U.S. Census Bureau’s 2005 American Community Survey (ACS) was used as well. The ACS offered a glimpse of more current information than the data from the 2000 census for Bloomington and Green Acres was able to provide.

FIGURE 1: 2000 U.S. CENSUS TRACT BOUNDARIES FOR GREEN ACRES



Source: U.S. Census Bureau

For both the 1980 and 1990 Census data sets, some assumptions had to be made when compiling information because the boundaries of the Green Acres neighborhood did not exactly conform to the specific boundaries used by the U.S. Census Bureau.

NEIGHBORHOOD POPULATION INFORMATION

Although perceived as being dominated by college-aged people, census data shows that the Green Acres neighborhood is really a diverse community. As Figure 2 illustrates, Green Acres is not exclusively composed of people from the 15-34 age group (which usually consists of college students). Instead, people from a wide range of age groups call Green Acres home. Half of the neighborhood population (53%) indeed consists of those between the ages of 15 and 34. This mirrors the overall City of Bloomington, which has just over half (51%) its population within that 15-34 age group. Conversely, the 2005 ACS indicated that the entire city had only 31% of the population fall within this range. Whether or not this indicates a major shift away from a youthful population for Bloomington remains to be seen.

The close proximity of Indiana University to the neighborhood more than likely is a major factor for this situation. This age demographic captures the typical age of most college undergraduate and graduate students. By being so close to Indiana University, the neighborhood is a natural draw for many college students because they can easily access campus destinations from their residences. Thus, one could assume that a significant portion of this age group currently found in the neighborhood are Indiana University students.

FIGURE 2: HOUSEHOLDERS* BY AGE GROUP (2000)

| Age Group | Green Acres | Percentage | City Total | Percentage |
|--------------|-------------|-------------|---------------|-------------|
| 15-34 | 229 | 53% | 13,600 | 51% |
| 35-64 | 114 | 27% | 9,233 | 35% |
| 65+ | 85 | 20% | 3,635 | 14% |
| Total | 428 | 100% | 26,468 | 100% |

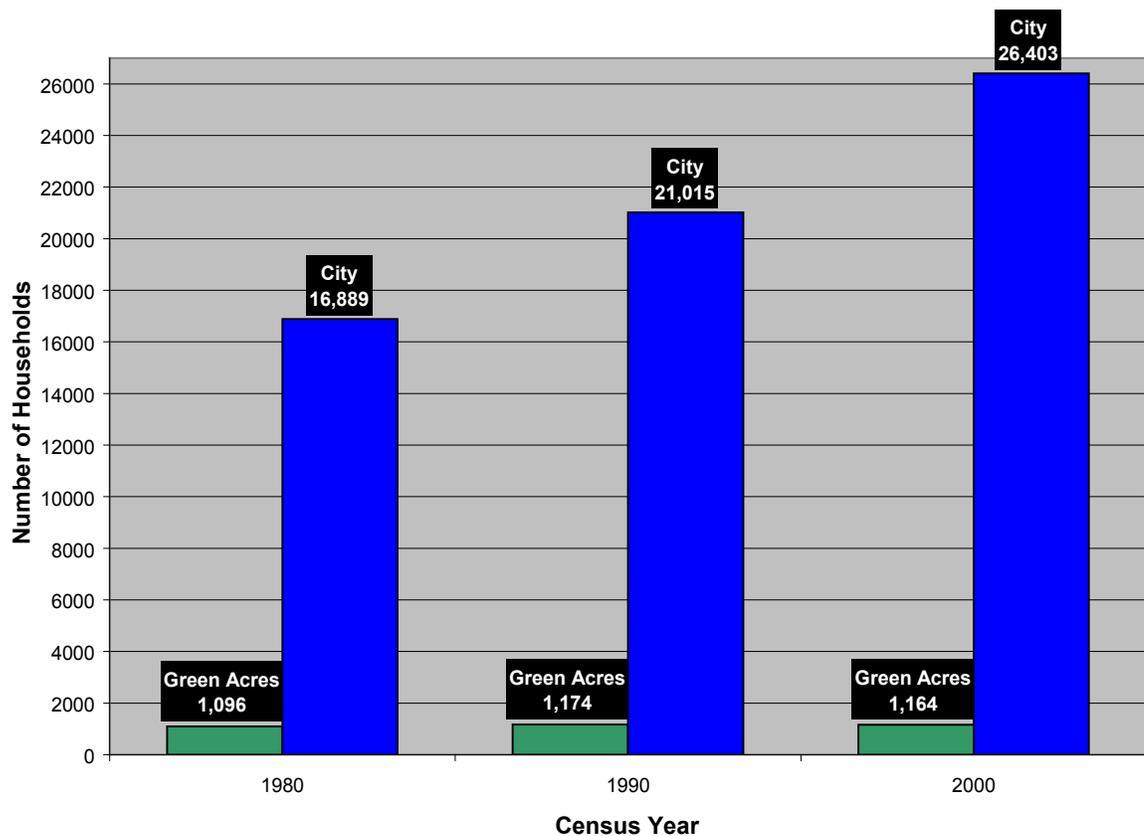
** The U.S. Census Bureau defines “Householder” as the person (or one of the people) in whose name the housing unit is owned or rented (maintained) or, if there is no such person, any adult member, excluding roomers, boarders, or paid employees. If the house is owned or rented jointly by a married couple, the householder may be either the husband or the wife. The person designated as the householder is the “reference person” to whom the relationship of all other household members, if any, is recorded. Only persons ages 15 and up are included by the Census Bureau in these calculations.*

APPENDIX A: DEMOGRAPHIC PROFILE

Because of the depth of the 15-34 age group, this demographic may also represent young professionals who are recent college graduates and just starting their careers. As such, many Indiana University graduates may find Green Acres residences desirable for the same reasons that current Indiana University students do. Living there provides them easy access to campus and the many attractions and events associated with it. Therefore, these young professionals may further bolster the mix of the the 15-34 age demographic that is found in the Green Acres neighborhood.

Besides college students and young professionals, a large contingent of non-students live in the neighborhood as well. A total of 27% of the population is between the ages of 35-64. This indicates that Green Acres is also home to a healthy mix that typically includes families, middle-aged people and mid-career professionals. A total of 20% of the neighborhood composed of people above the age of 65 indicates that there are probably many in their 'golden years' living in Green Acres. This age demographic typically includes people pursuing a second career, are semi-retired, or are enjoying their retirement. These people may have adult children that no longer live with them at home. Many of these people usually remain active in various community groups, organizations and functions. This could indicate that people are not moving away to newer areas of the City, but instead remain vested in Bloomington's older, more centrally-located neighborhoods.

FIGURE 3: TOTAL HOUSEHOLD ANALYSIS



As Figure 3 illustrates, the number of householders has remained consistent over the last twenty years, with only a very minor decline between 1990 and 2000. As a mature residential neighborhood, this data indicates that Green Acres still enjoys a stable population base.

Very little vacant land has been available in Green Acres for new residential development. With no room to expand, the neighborhood has not seen marked spikes in population growth as other areas in the city have. Additionally, the strong age diversity of neighborhood households may also help explain this trend. With the proximity of the Indiana University campus, college students continue to live in the neighborhood year after year. This same proximity to campus also provides non-students access to jobs, continuing educational opportunities, cultural and sporting events, and recreational activities. As a result, students, young professionals, families, career professionals, empty-nesters and retirees all have found the neighborhood a very desirable place to live, causing the population to remain stable over the years.

NEIGHBORHOOD HOUSEHOLD INCOME ANALYSIS

As Figure 4 illustrates, household income for both Green Acres and the entire City of Bloomington increased steadily from 1980 to 1990. During that time period, Green Acres actually had a higher average household income than the City of Bloomington. From 1990 to 2000, household income for Green Acres dropped slightly, but still kept pace with the City of Bloomington, which experienced a continued increase during that same time period.

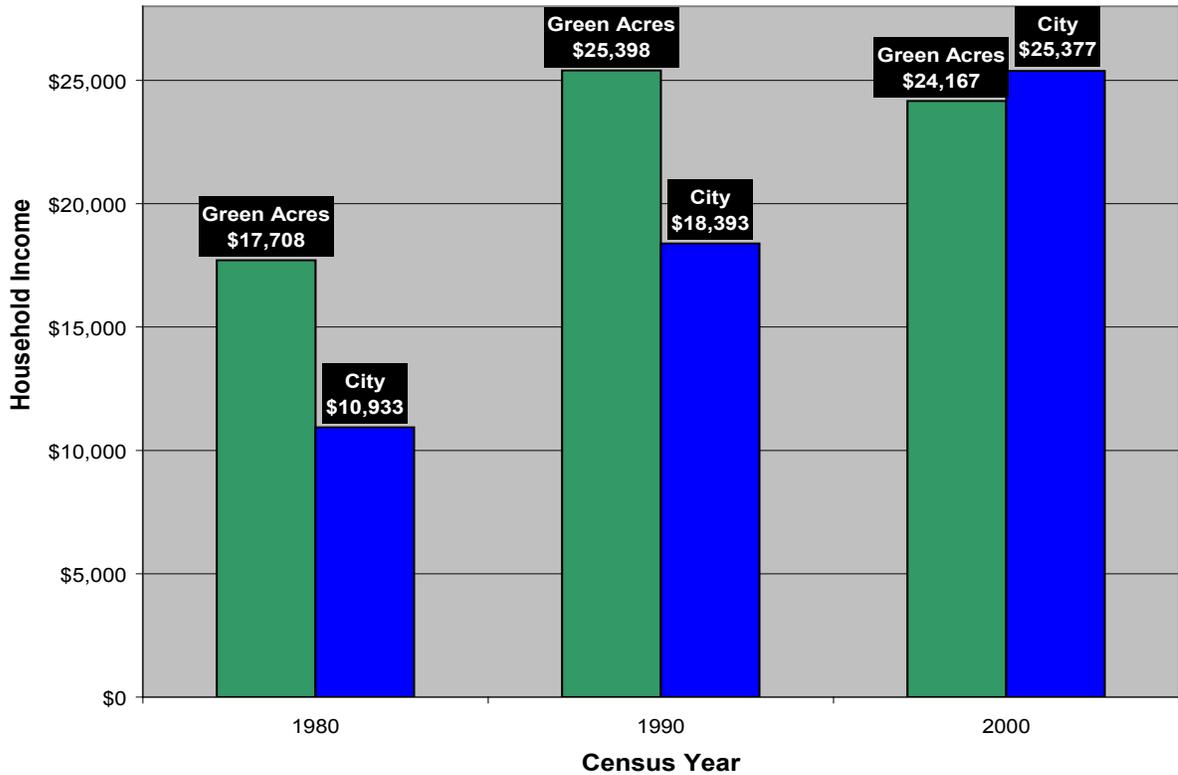
The slight decrease in household income seen by Green Acres between 1990 to 2000 may be due to several issues. Quite possibly, the number of Indiana University professors living in Green Acres was a significant factor with this phenomenon. As stated in the Foreword within Chapter 2, written by Ann Kreilkamp, several long-time neighbors remember professors and their families moving from Green Acres to the Park Ridge development when it was first built. Over time, these relocations could have seriously impacted the household income levels for the neighborhood. University professors typically have strong, stable income levels. If they left Green Acres and were replaced by rental units, occupied by largely Indiana University students, this would be very noticeable because college students usually have lower income levels. Spaced over a number of years (like the decennial U.S. census), this type of change certainly would impact household income levels for the entire neighborhood.

Other possible factors could include a slight decrease in salaries for jobs, internships or stipends that college students often hold. With fifty-three percent of the neighborhood consisting of the usual college-aged bracket, any change in student incomes would register for Green Acres.

APPENDIX A: DEMOGRAPHIC PROFILE

Likewise, any reduction in Social Security income or other retirement pension amounts, even if only relatively moderate, would impact the household incomes of retired people. With twenty percent of Green Acres consisting of people typically enjoying their “golden years”, this type of income reduction would also affect the neighborhood’s average household income.

FIGURE 4: HOUSEHOLD INCOME* (1980 - 2000)



* According to the U.S. Census Bureau, household income is the sum of money income received in the calendar year preceding the census by all household members 15 years old and over, including household members not related to the householder, living alone, and other non-family household members. This includes income amounts that are reported separately for wages or salaries, self-employment, Social Security, retirement pensions, disability pensions and public assistance.

OCCUPIED HOUSING ANALYSIS

Housing tenure for both owner-occupied and rental units in the Green Acres neighborhood and City-wide are illustrated in Figures 5 and 6. Data from the 1980, 1990 and 2000 census years are included. The number of rental units in the neighborhood increased during this period by twenty percent. When compared to city-wide data for this same time period, the neighborhood increase is higher than what occurred across Bloomington (the city saw a net increase of three percent).

FIGURE 5: OWNER-OCCUPIED HOUSING

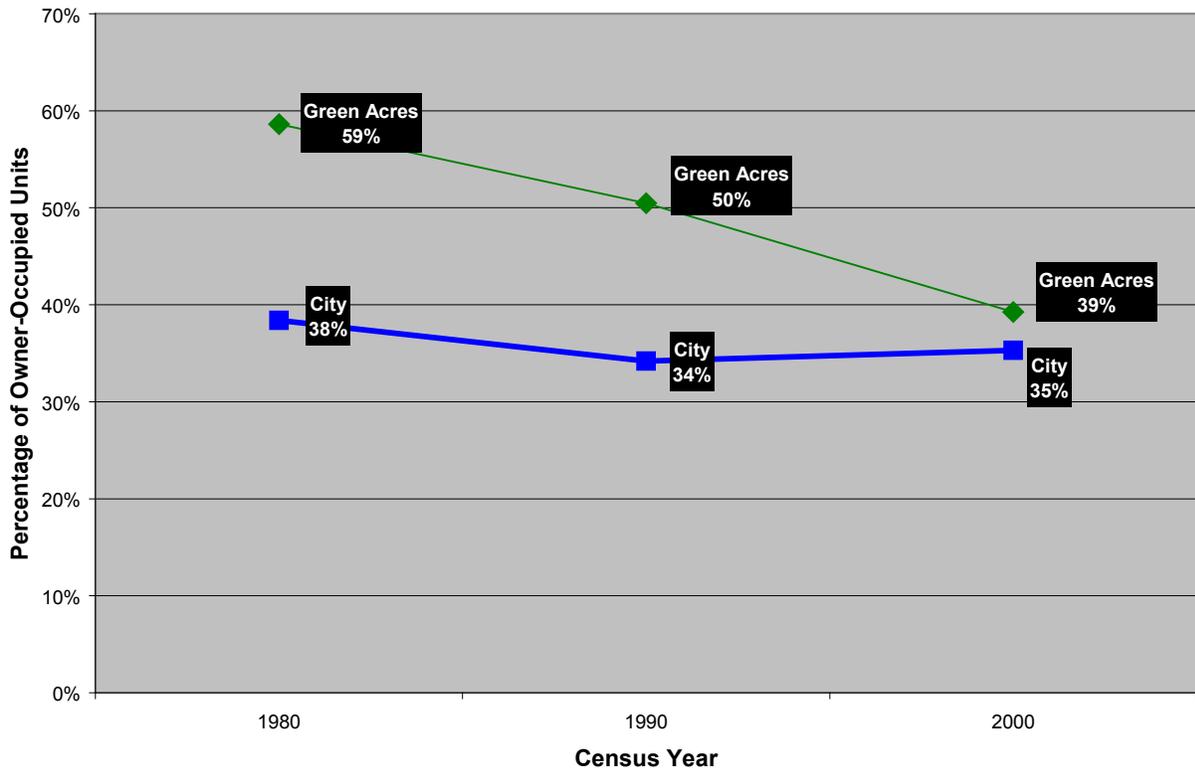
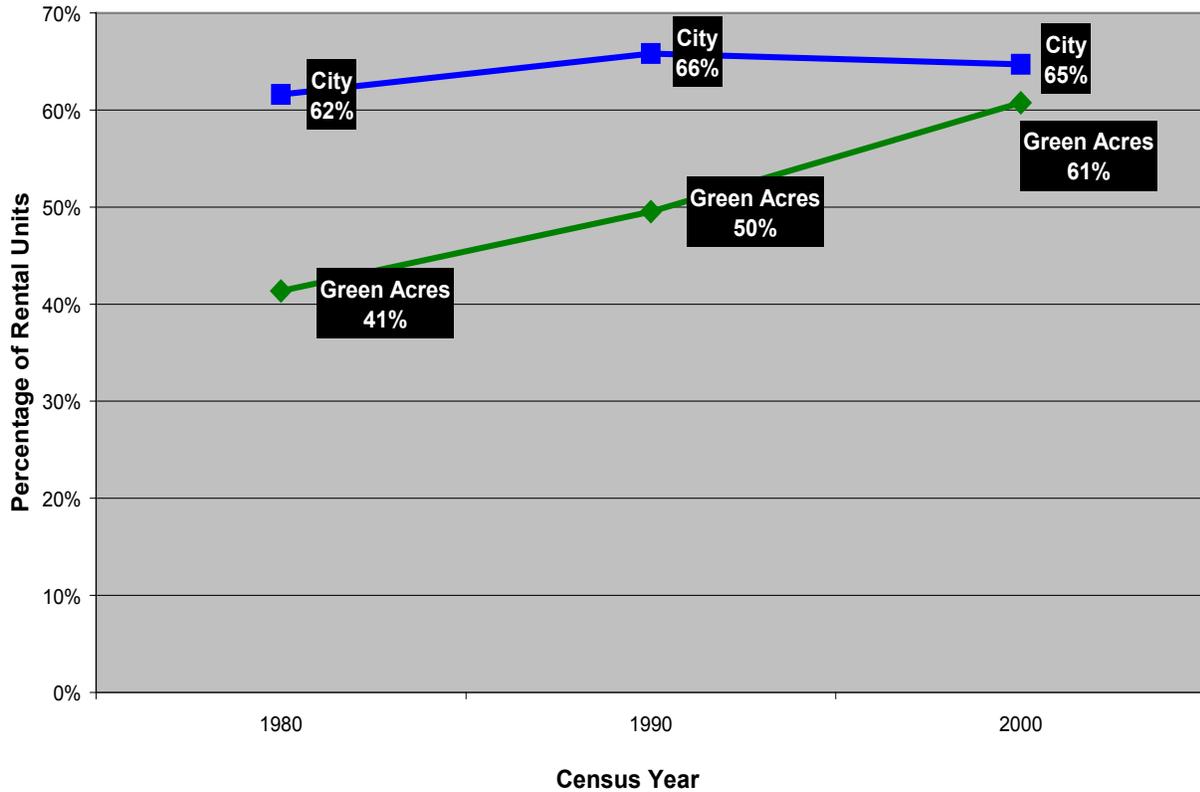


FIGURE 6: RENTAL HOUSING



APPENDIX A: DEMOGRAPHIC PROFILE

From 1980 to 2000 the number of owner-occupied housing units in the neighborhood declined by twenty percent. This is similar to the overall trend in the city, which saw a decrease in owner-occupied housing too (net three percent); however, Green Acres saw a much greater loss in the amount of owner-occupied housing. For this comparison, it is important to note that the City of Bloomington has grown considerably in land area since 1970.

In contrast, Green Acres is landlocked by Indiana University and the State Road 45/46 Bypass, so the neighborhood's housing stock has been relatively the same over the last thirty years. As a result, any changes in occupancy status is sharply noticed in Green Acres, as opposed to relatively small change for the entire city. This is because the city housing stock has progressively increased over the years, with relatively the same ratio of owners and rental housing units.

Recent new rental developments in Bloomington may offer an opportunity to increase the number of owner-occupied housing units in Green Acres. A large number of rental units that cater to student renters have been constructed in recent years, both in the downtown and the surrounding areas near campus. As a result, the total number of student renters that currently live in Green Acres may be reduced as they are presented with additional, newer, rental opportunities elsewhere. If demand for rentals in the neighborhood decreases, this could present an opportunity to convert rental housing to owner-occupied housing.

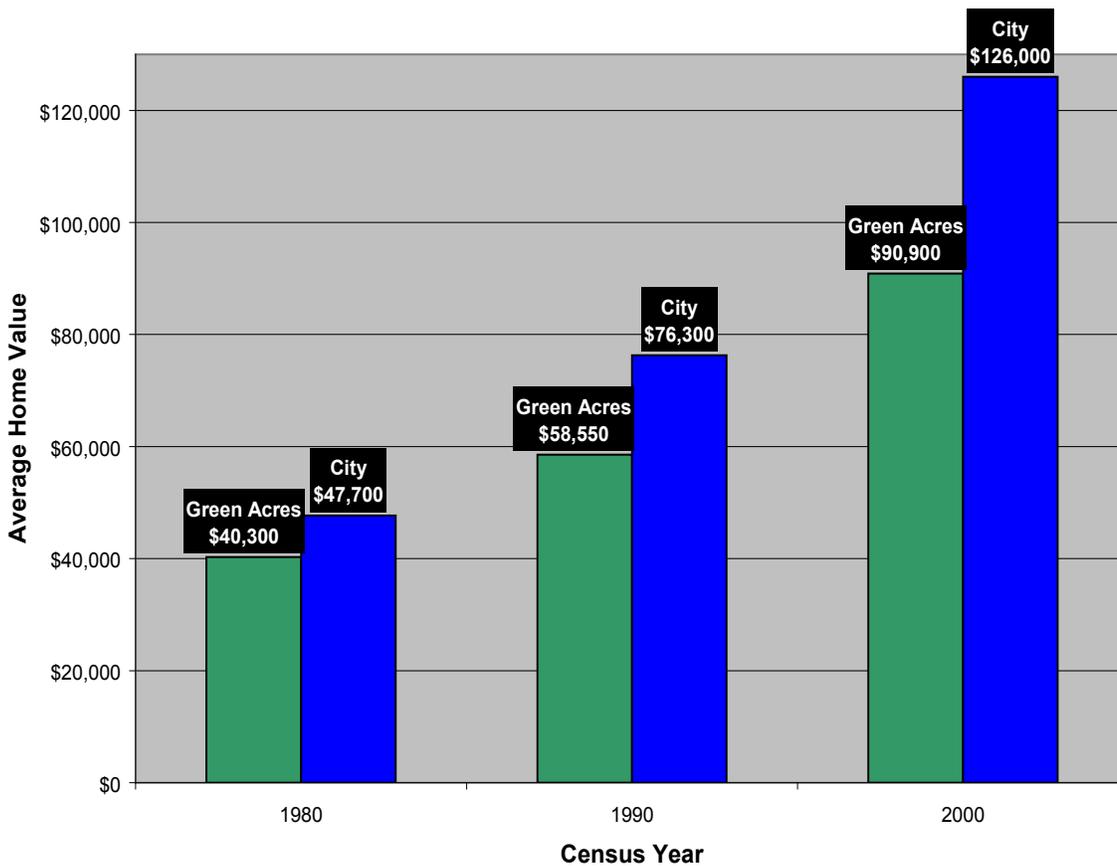
HOUSING VALUE ANALYSIS

As shown in Figure 7, median values for owner-occupied housing units in both Green Acres and the City of Bloomington have steadily increased over the past twenty years. For Green Acres, this has resulted in median values increasing by more than \$50,000 since 1980. This increase was especially noticeable between 1990 and 2000, when the median value for Green Acres occupied homes rose by \$32,350. This is a positive sign for several reasons. For one, steadily increasing values helps to indicate a healthy demand for housing units in Green Acres. Stable and positive market trends tend to show that Green Acres continues to be a neighborhood many people desire to live in. Furthermore, although there is a significant rental market in the neighborhood, purchasing property for an owner-occupied home in Green Acres is a good financial investment.

The value of owner-occupied units in Green Acres, however, has still lagged somewhat behind that of the overall city. This situation still presents an opportunity to increase the number of owner-occupied units within the neighborhood. A strong market for new student housing currently exists with the large amount of rental units constructed downtown and near-campus areas over the past three years. Anecdotal evidence suggests that these developments are competing with core neighborhood rental properties and student renters have far more attractive (and varied) housing options than they did in the past.

As a result, rental occupancy rates in Green Acres may fall in comparison to previous years. This trend may present investment opportunities to convert rental units into owner-occupied units. Some landlords might decide that selling their properties in core neighborhoods would be a better financial decision than continuing to rent them out. With lower median values than the city as a whole, Green Acres, therefore, potentially offers homes that could be much more affordable to prospective home buyers. This, in turn, might provide a serious chance to attract new college graduates, young families and retirees to live in the neighborhood.

FIGURE 7: GREEN ACRES OWNER-OCCUPIED HOUSING VALUE



The Green Acres neighborhood has a variety of architecturally unique structures. Some of the more notable structures are listed in the *2001 City of Bloomington's Interim Report: Indiana Historic Sites and Survey Inventory*. The Inventory is a publication of the State of Indiana Division of Historic Preservation and Archeology. The intent of this document is to be part of a comprehensive statewide survey of historic properties that maintains inventories of such properties for the purpose of locating, identifying and evaluating cultural resources. Additionally, the document ensures that historic properties are taken into consideration during the planning and development of various projects.

The Inventory classifies properties into four different categories: Outstanding, Notable, Contributing, and Non-Contributing. Typically, everything except those structures with a Non-Contributing ranking are considered historically noteworthy. The Inventory lists eleven different structures within the Green Acres neighborhood: nine of these are listed as Contributing, while one structure is listed as Notable and one is listed as Outstanding.

OUTSTANDING

A property with the designation of Outstanding has enough historic or architectural significance that it already is, or should be considered for, an individual listing on the National Register of Historic Places. These can be historic resources of national, state or local importance.



*Outstanding: 112 N. Bryan Street
Raintree House*



*Notable: 2027 E. Third Street
The Rodessa*

The Green Acres Neighborhood building listed in the Inventory as Outstanding is the Raintree House, also known as the Millen-Stallknecht House, located at 112 N. Bryan Street. This building, done in Greek Revival/Georgian style architecture, was built in 1845, and is the oldest structure in the neighborhood. The home has maintained its integrity, with no later additions made to the original structure. In addition, it was constructed of local materials, including hand-pressed brick, a limestone foundation, and native oak and yellow poplar.

According to the U.S. Department of the Interior National Registration Form that was completed for the Millen-Stallknecht House, it is one of a few surviving structures left from a group of Scotch Irish Presbyterians who settled in Bloomington in the 1830s. Many of these immigrants, who came from Chester District, South Carolina, were active in the formation of Indiana University, and may have had ties to the Underground Railroad.

NOTABLE

A property with a designation of Notable does not quite merit an Outstanding rating, but is still above average in its importance. Further research or investigation may reveal that the property could be eligible for a listing on the National Register of Historic Places.

Green Acres is home to one structure that is listed in the Inventory as Notable. This structure is the house located at 2027 E. Third Street. This building is believed to have been constructed circa 1925, and was constructed from a Sears, Roebuck and Company architectural model known as "The Rodessa."

CONTRIBUTING

A Contributing property is a property that is a pre-1955 structure, but is not historically significant enough to merit an Outstanding or Notable rating. Such resources are, however, important to the density or continuity of the area’s historic fabric. Properties that are listed as Contributing can be individually listed on the National Register of Historic Places if they are part of a historic district (local examples include Prospect Hill or McDoel Gardens), but otherwise would not usually qualify.

There are nine homes within Green Acres that are listed in the Inventory as Contributing structures.

- 318 North Union Street - Arts and Crafts/California Bungalow style circa 1920.
- 106 North Union Street - California style bungalow with a dormer front. It was also constructed circa 1920.
- 110 North Union Street - Arts and Crafts style architecture with an airplane bungalow, built circa 1920.
- 2029 East Third Street - cross-gabled bungalow done in the Arts and Crafts architectural style. It was constructed circa 1913.
- 2031 East Third Street - California style Bungalow, built circa 1920.
- 2101 East Third Street - English Cottage style, built circa 1930.
- 201 South Bryan Street - Arts and Crafts style known as Airplane Bungalow, built circa 1915.
- 214 South Bryan Street - California Bungalow, built circa 1915.
- 206 South Bryan Street - Arts and Crafts style Bungalow with dormer front, built circa 1915.

NON-CONTRIBUTING

A Non-Contributing property is not included in the inventory unless it is located within a historic district. Such properties are usually either post-1955, are older structures that have been badly altered and have lost their historic character, or they are otherwise incompatible with their historic surroundings. These properties are not eligible for the National Register of Historic Places.



*Contributing: 201 S. Bryan
Airplane Bungalow*

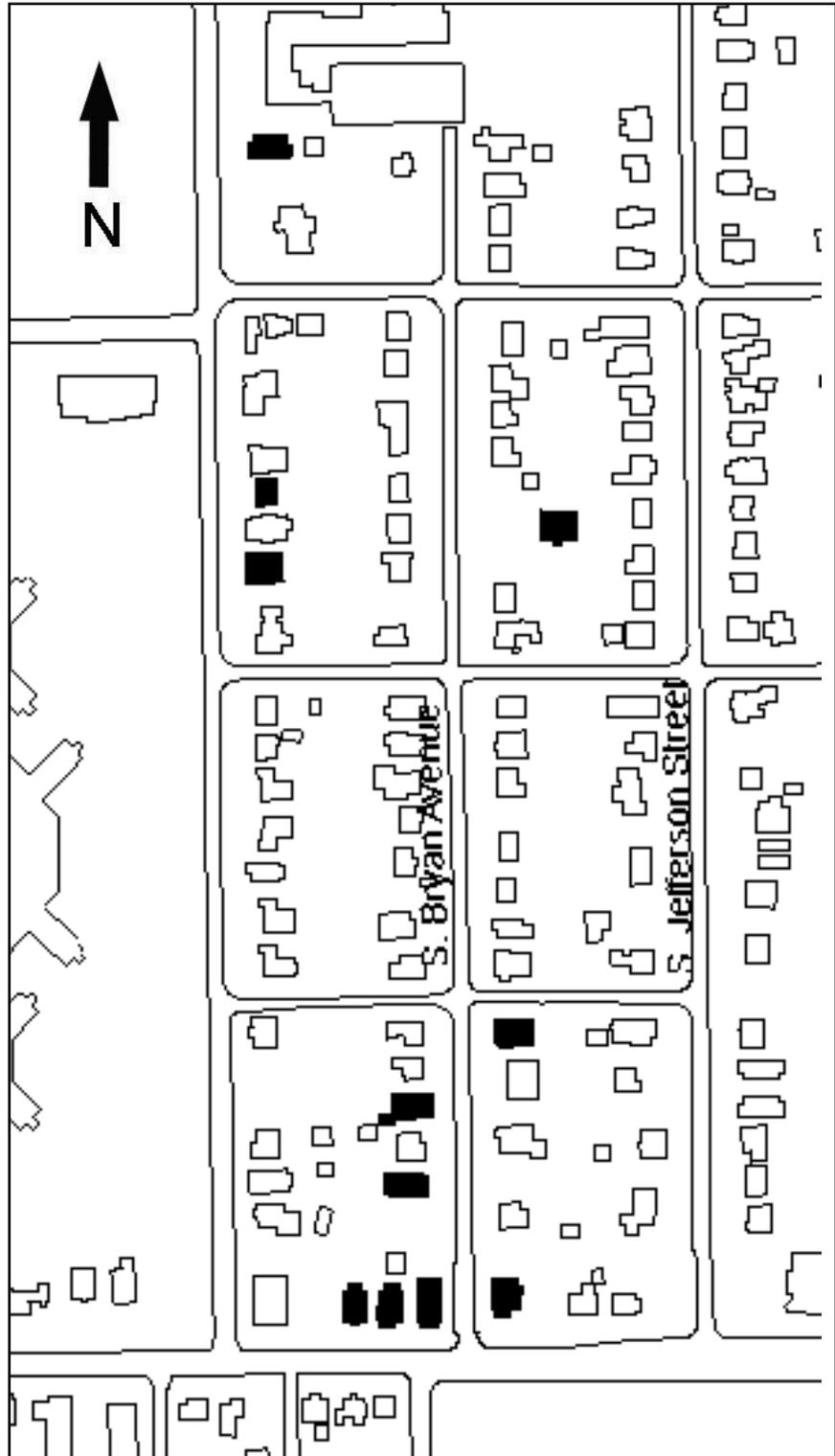


*Contributing: 2029 E. Third
Cross-gabled Bungalow*



*Contributing: 206 S. Bryan
Arts and Crafts Bungalow*

MAP OF STRUCTURES LISTED IN SURVEY INVENTORY



The locations of designated historic homes in the Green Acres neighborhood



Contributing: 318 N. Union
California Bungalow



Contributing: 2101 E. Third
English Cottage

OVERVIEW

The kick-off activity for the Green Acres neighborhood planning process was held on September 9, 2006. It featured an interactive experience known as a Strength, Weakness, Opportunity and Threat (SWOT) exercise. The goal of this exercise was to allow people an opportunity to gain a first-hand look at the current conditions found throughout the neighborhood. Each condition would then be rated by the participants, according to established criteria, as being a Strength, Weakness, Opportunity or Threat to the neighborhood. All neighborhood residents, property owners, businesses and renters were invited to attend this event.

To conduct the SWOT exercise, the neighborhood was divided into four separate, walkable, geographic zones. A group of neighborhood participants was then assigned to inventory each individual zone. Dividing the neighborhood into several zones allowed each group to have different and unique vantage points of the neighborhood. For those who did not wish to walk, a City van was made available so that they could still participate in the SWOT exercise.

The SWOT exercise took place on a warm, clear, Saturday afternoon. Participants met on the lawn of Fire Station #4, which is centrally located within the neighborhood and proved to be an ideal location. City staff started the exercise by providing a brief overview of neighborhood planning and specific instructions for the SWOT exercise. Neighborhood participants were divided into four separate groups. For record keeping purposes, each group then designated an official note-taker and a photographer. The groups then took to the streets. When a condition of interest was discovered, the participants would discuss how to rate it, record their observations and take a photograph. This provided a complete and accurate list of neighborhood conditions for each group to review and discuss later on.

Once the fieldwork was completed, all of the attendees returned to the fire station. While enjoying a lunch of pizza and soda, each group was tasked with drafting a list of the top priorities that they had discovered during the SWOT exercise. Then each group presented their SWOT findings to the rest of the attendees. Many neighborhood strengths and assets were identified, as were opportunities and potential areas for improvement.

At the next workshop, City staff summarized all the strengths, weaknesses, opportunities and threats. These findings were placed on posters and presented to the neighborhood so that people had the opportunity to directly vote for what they considered to be their top individual strength, weakness, opportunity and threat (for those who could not attend this workshop, voting options were made available via the internet and direct mailing to keep them involved). A high level of participation to prioritize the SWOT findings was achieved using these methods. Many people were able to contribute their “absentee votes” to the Planning Department by sending either e-mails or letters. In fact, a neighborhood resident who was on a volunteer mission in Central Africa at the time, but still very



Neighborhood residents met to conduct the SWOT exercise on September 9, 2006



Participants walked the neighborhood in order to catalog current conditions

interested in staying involved with the process, submitted his votes on-line - a testament to all of the dedication and hard work displayed by Green Acres residents during this process.

The results from the SWOT voting exercise established a clear foundation for developing the neighborhood plan's goals and objectives. Determining the neighborhood's top assets, priorities and areas for improvement set the course for the third workshop. Staff was then able to bring forward a list of potential goals and objectives for participants to review and edit at the third workshop. This set the stage for solidifying all of the final goals, objectives and action strategies for the Green Acres neighborhood plan.

SWOT EXERCISE CRITERIA

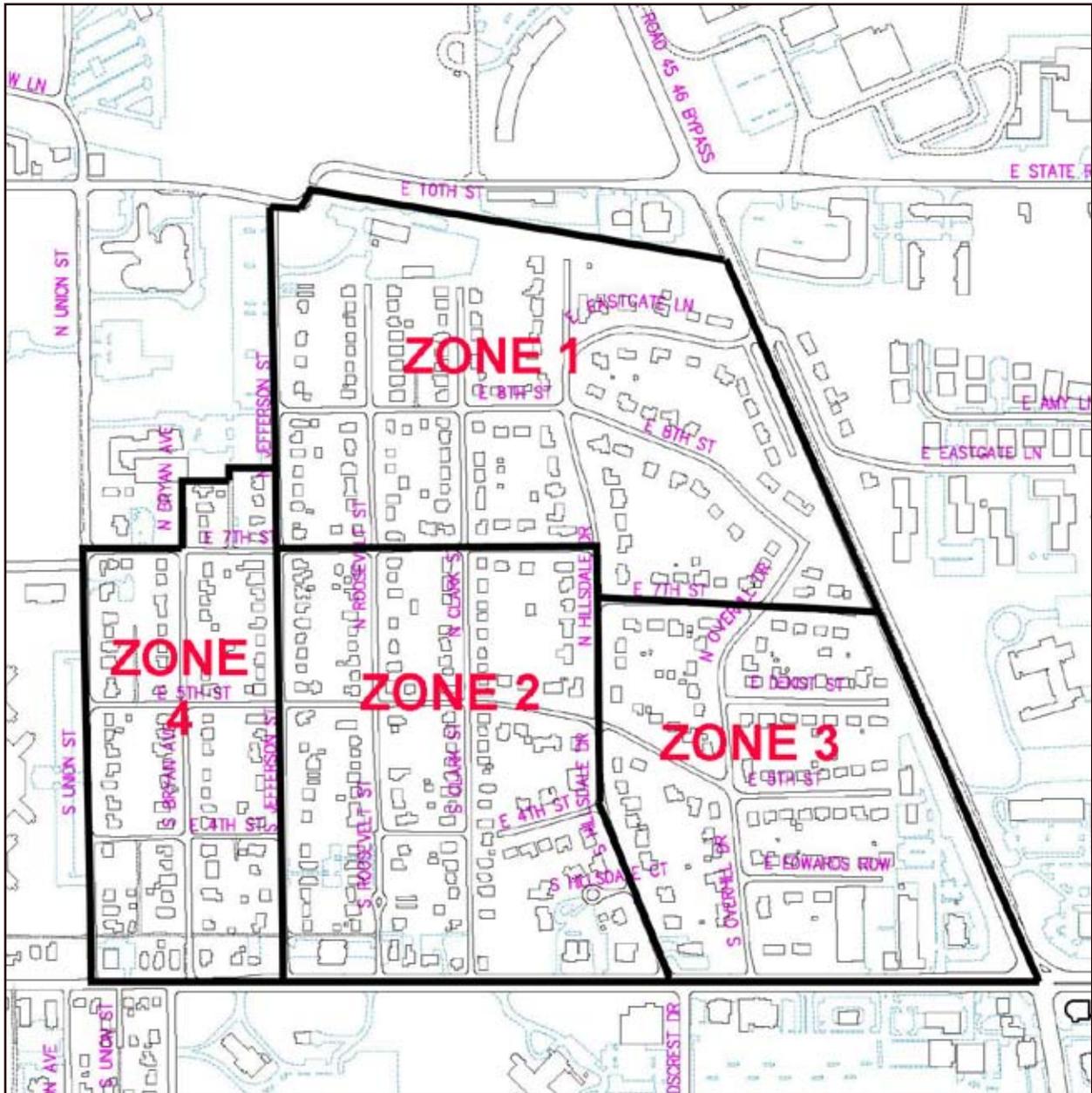
- **Strength (S):** An asset that contributes positively to the quality of life
- **Weakness (W):** Condition that detracts from the quality of life.
- **Opportunity (O):** Condition with potential to transform a weakness into a strength.
- **Threat (T):** A negative trend that threatens the future security of the neighborhood.



Groups shared their SWOT findings with everyone at the first workshop



At the second workshop, residents voted for their top neighborhood priorities



The boundaries of each of the four individual SWOT exercise zones that were analyzed by neighborhood participants on September 9, 2006

SWOT ZONE ONE FINDINGS

Boundaries: Indiana Railroad tracks in the North to E. 7th Street in the South; N. Jefferson St. in the West to the SR 45/46 Bypass in the East.

Group Note-Taker: Ann Krielkamp

Photographer: Kathy Ruesink

Staff Member: Nate Nickel

STRENGTHS

- Artistic flair and creativity in the neighborhood
- Creative and attractive paint colors, schemes and designs on homes
- Skylights: good use of passive solar energy
- Innovative, experimental and environmental friendly home designs (please also see under Weaknesses)
- New bungalows on Jefferson & 7th Streets – nice construction, fits in well with the neighborhood
- Mature trees in the neighborhood (please also see under Weaknesses)
- Front-yard vegetable gardens: some fed 3 people over the entire summer
- The use of interesting ‘natural’ landscaping, trees and bushes in front-yards
- Nicely kept homes, front-yards, back-yards and porches
- Porches – potentially neighborly (please also see under Weaknesses)
- GANA signs Hillsdale/Eastgate corner – indicates a strong neighborhood association
- Bike route signs – encourages bicycling as a form of transportation in the neighborhood
- Greenspace at the corner of 7th St. and Overhill Drive (please also see under Opportunities)

WEAKNESSES

- Porches – also invites parties and noise
- Innovative and non-traditionally designed homes can sometimes look out of place and detract from the neighborhood’s character
- Mature trees (especially Silver Maples) can cause problems and are vulnerable to disease
- Flooding and no connections for water run-off on Eastgate Lane
- Garbage along the street – some landlords don’t inform tenants of garbage and recycling days.
- “For Sale” and “For Rent” signs



The numerous homes for sale and rent were identified as a concern



Mature trees were a very positive feature

OPPORTUNITIES

- Trash on Roosevelt Street – possible opportunity for neighborhood solutions and stronger GANA (please also see under Threats)
- Greenspace at the corner of 7th Street and Overhill Drive could be used as a future pocket park/shared gardens
- Several large, currently vacant, lots – could be used for future single-family housing developments

THREATS

- Trash on Roosevelt Street
- Blacktop parking pads along Roosevelt Street
- Indiana Railroad tracks – an accident involving any hazardous materials could put the neighborhood in danger

SWOT ZONE TWO FINDINGS

Boundaries: E. 7th Street in the North to E. 3rd Street in the South; S. Jefferson Street in the West to Hillside Drive in the East.

Group Note-Taker: Julia Jackson
 Photographer: Stefano Conard
 Staff Member: Vickie Provine

STRENGTHS

- Love having the Fire Station in the neighborhood
- New development (houses and complexes) infill of appropriate housing – nice to see the creation of responsible parking areas
- Love the alternative paved pathway between Roosevelt and Jefferson Streets – need more greenways!
- Tree lined streets
- Creation of gardens in the neighborhood
- Dr. Hrisomalos’s well kept property
- Well maintained homes and lawns
- Prompt Care a plus for the neighborhood

WEAKNESSES

- Noise and traffic of 3rd Street
- Mature trees cut without reason
- Questionable if some rental properties are up to code/regulations
- Trash stacked in piles around houses
- Six cars parked in a driveway
- Drainage concerns at 5th and Hillsdale
- Water drainage flow downwards along 5th Street, from the intersection of Hillsdale Drive to the intersection of Overhill Drive
- On the end of 4th Street – too many cars and much noise
- “No Parking” signs can make on-street parking difficult



Having the fire station within Green Acres was highlighted as a very strong asset



Preventing the loss of mature trees was a priority

APPENDIX C: SWOT EXERCISE SUMMARY

OPPORTUNITIES

- Need to have trash receptacles
- Empty lot for community space
- Would like more “Neighborhood Watch” signs on East end of neighborhood
- Turn the alleys into garden walkways
- Stop signs needed to make a 4-way intersection at: 5th and Clark Streets, 5th and Jefferson Streets and 5th Street and Hillsdale Drive

THREATS

- 5th and Hillsdale: traffic concerns for walkers & bikers - danger!
- No sidewalk from Hillsdale to Overview on 3rd Street
- Parking along Hillsdale Ct. – it’s too narrow and if there was a fire or other emergency, no emergency vehicles could get by

SWOT ZONE THREE FINDINGS

Boundaries: E. 7th Street in the North to E. 3rd Street in the South; S. Hillsdale Drive in the West to the SR 45/46 Bypass in the East.

Group Note-Taker: Rob Turner

Photographer: Maggie Jesseph

Staff Member: Lisa Abbott

STRENGTHS

- GANA signs – strong neighborhood association
- Well maintained yards and edible gardens
- Pedestrian connection with commercial zone at the end of 5th St.
- Tree houses in the neighborhood – provides space for kids
- Retaining wall at 5th St. and Overhill Dr.
- Drainage infill
- Front porches
- Rehabilitation of homes (Please also see under Opportunities)
- Rob the U.S. mailman – he lives in the neighborhood too.
- Dead-end streets affect traffic calming
- Natural materials used in landscaping and gardens
- Dekist St. is shaded and pleasant for walking small kids
- Public seating area on Overhill Dr. (City Repair style)
- Hydroponic greenhouse in the neighborhood



Heavy traffic along E. 3rd Street and the Bypass, as well as various missing sidewalk sections on these streets, were weaknesses noted in the SWOT



Rob, the U.S. Mailman, has both worked and lived in Green Acres for many years. Friendly and familiar faces like his were a key strength noted by almost everyone during the SWOT

WEAKNESSES

- Lack of sidewalks on the north side of 3rd. St. – (Please also see under Threats)
- Homes for sale – high turnover rate (Please also see under Opportunities and Threats)
- Bad drainage at 5th St. and Overhill Dr. intersection – fills up with rainwater
- Condition of drainage ditches & general drainage issues along 5th Street (Please also see under Opportunities)
- Unkept landscaping (Please also see under Opportunities)
- Trash in the right-of-way along 5th St.
- Crumbling City infrastructure
- No stop-signs on Hillsdale Dr. between 3rd St., Eastgate Ln. and the Bypass

OPPORTUNITIES

- Homes for sale –could lead to new residents in Green Acres (please also see under Threats)
- Need to create a noise buffer between the Bypass and the neighborhood (please also see under Threats)
- Potential for a bus stop at the intersection of 5th St. & Overhill Dr.
- Possible opportunity to upgrade drainage facilities along 5th Street in the future
- Possible improvements to be made on lots that have un-kept landscaping
- Empty “Mattress Factory” (Bedroom One) building needs occupant(s)
- Rehabilitated homes can fit in well and add to the neighborhood’s character
- Pedestrian underpass planned for E. 7th St. and the Bypass

THREATS

- Lack of sidewalks on the north side of 3rd. St.
- Homes for sale – many older residents selling their homes and leaving Green Acres
- Poison Ivy overtaking many areas throughout the neighborhood
- Broken tree on Edwards Row
- Additional noise in the future from a widened Bypass



Pursuing “City Repair” style improvements, like this streetside bench and rest area, present an opportunity for Green Acres



Finding a new tenant to occupy the former Bedroom One store was another important issue found during the SWOT

SWOT ZONE FOUR FINDINGS

Boundaries: Phi Delta Kappa driveway and parking lot in the North to E. 3rd Street in the South; S. Union St. in the West to S. Jefferson Street in the East.

Group Note-Taker: Diane Dormant

Photographer: Georgia Schaich

Staff Member: Rachel Johnson

STRENGTHS

- The GANA signs – indicative of the neighborhood’s strong organization
- Well-kept business: Dermatology office on the corner of 3rd and Union Streets – well-kept, quiet
- Historically preserved homes well maintained and in good condition
- Nice brick houses
- Homes with adequate parking in rear (please also see under Weaknesses)
- Unique houses, many well kept homes with nice landscaping, unique architecture
- Raintree House – currently under historic restoration – asset to the neighborhood
- New sidewalks are big improvement, added safety for walkers (300 block of N. Jefferson)
- New home construction has added some nice new houses to neighborhood
- Mature trees important to neighborhood identity, new trees are being planted (please also see under Threats)



The option of bicycle transportation in Green Acres was another strength



Members of a SWOT group discuss their findings after walking the neighborhood

WEAKNESSES

- Parking issues – Cars are parked along Jefferson Street where parking is not allowed
- Narrow streets – Cause access problems when cars are parked along sides, create illegal pull-off parking, damage lawns, deplete green space
- Homes in need of repair/maintenance
- Driveways in some areas are too wide, yards have turned into parking (please also see under Threats)
- Large gravel parking lots in rear of houses: some need redesign to stop green space from turning into gravel
- Too much visible trash: unkempt houses, visible garbage bags – no place to store trash
- Poorly designed new construction: shotgun houses
- Overgrown shrubs compromise visibility at some intersections

OPPORTUNITIES

- Potential neighborhood park if land was acquired around/in front of the Raintree House?
- Walking path could be spruced up to be more inviting – replace yellow poles with something more aesthetically pleasing, put in benches, etc.

THREATS

- Alley near fire station is being used as a cut-through, dangerous for bikes/pedestrians and cars at intersection
- Streets are not adequately lit at night.
- Intersection at Union and 3rd Streets – dangerous, difficult to turn east on 3rd, dangerous for pedestrians; traffic on alley exacerbates problem.
- Alley maintenance
- Need sidewalks on more streets (especially Jefferson)
- Front yards turned into gravel parking
- Some evidence of mature trees being cut down, not replaced

GENERAL SWOT FINDINGS

Any general comments, observations, suggestions or ideas that were discussed at the SWOT exercise and relate to the entire Green Acres Neighborhood and not necessarily to a single SWOT zone.

STRENGTHS

- Strong Green Acres Neighborhood Association
- Human and animal habitats co-exist
- Number of houses with well maintained gardens, yards and edible plants

WEAKNESSES

- Trash and litter
- Lack of sidewalks along E. 3rd Street

OPPORTUNITIES

- Potential future partnerships between GANA and Indiana University students
- Additional bicycle and pedestrian transportation options & connectivity
- Promote homeownership possibilities in the neighborhood
- Empty lots – possibly use to develop future public spaces/pocket parks in the neighborhood



“For Sale” signs indicated a turnover of owner-occupied homes in Green Acres



After returning from the exercise, each group discussed and prioritized their findings

APPENDIX C: SWOT EXERCISE SUMMARY

THREATS

- Loss of mature trees
- Over-occupancy of rental properties
- Failure of some rental properties to undertake required property maintenance

FINAL SWOT VOTE TALLIES

SWOT Ranking Category (Total Number of Votes)

Strengths:

- The neighborhood’s location (7)
- Strong neighborhood association (6)
- Mature trees and plentiful natural landscaping (4)
- Alternative transportation amenities such as pathways and bike routes (3)
- Unique, creative, innovative and well maintained homes, yards and gardens (3)
- New residential development and investment that fits well into neighborhood fabric (1)

Weaknesses:

- High turnover of homes and loss of homeowners - many “for sale” and “for rent” signs (9)
- Busy streets around neighborhood and cut-through traffic make alternative transportation options difficult (7)
- Too much visible garbage, trash piles and litter (6)
- Problems with parking – either too much or too little (2)
- Lack of pedestrian/bicycle-only pathways throughout the neighborhood & beyond (1)

Opportunities:

- Additional greenspace (or pocket parks) in the neighborhood and a ‘green screen’ (landscaping buffer) from any future SR 45/46 Bypass project (8)
- Work towards being a “green” & sustainable neighborhood (5)
- New infill construction and/or rehabilitation of existing structures to attract homeowners to Green Acres (2)
- Provide for alley improvements, especially behind the Fire Station (1)
- Potential future partnerships between GANA and Indiana University students (5)
- Four-way stops at every intersection on 5th, 7th & 8th Streets to slow traffic (1)
- Noise, increased traffic, less neighborhood access and potential loss of homes from future SR 45/46 Bypass widening project (6)
- Loss of mature trees throughout the neighborhood (1)
- Lack of maintenance/upkeep on some rental properties in the neighborhood (1)



The voting exercise built the foundation for creating neighborhood goals and objectives



Participants voting on their SWOT priorities at the 9/27 workshop

APPENDIX D: SWOT EXERCISE VOTING RESULTS

Threats:

- Lack of sidewalks along both Third Street and other neighborhood streets (7)
- Drainage issues throughout various locations in the neighborhood (7)
- Noise, increased traffic, less neighborhood access and potential loss of homes from future SR 45/46 Bypass widening project (6)
- Loss of mature trees throughout the neighborhood (1)
- Lack of maintenance/upkeep on some rental properties in the neighborhood (1)

CURRENT CITY OF BLOOMINGTON PROJECTS WITHIN GREEN ACRES

The City of Bloomington and the Green Acres neighborhood have embarked upon several recent joint endeavors to maintain the integrity of the neighborhood's character, while strengthening the desirable attributes that make it unique. As the list below illustrates, City departments and Green Acres residents have enjoyed a partnership that has brought to fruition many wonderful projects. This close relationship should continue to bring forth many benefits to Green Acres in the coming years.

Sidewalk Improvements

The Public Works Department, through the direction of the City Council Sidewalk Committee, has designed and completed several recent projects. In 2005, new sidewalks, curbs, stormwater infrastructure and parking on Jefferson Street (between 7th and 8th Streets) was finished. Additionally, installation of sidewalks, curbs and stormwater drainage infrastructure was constructed along Roosevelt Street (between 4th and 5th Streets) in the fall of 2006. In January of 2007, the City Council approved the Sidewalk Committee's proposal to construct an east-west sidewalk along E. 5th Street, from Overhill Drive to the dead-end at the State Road 45/46 Bypass. The design for this project was funded in 2006, with construction planned to occur in 2007. Additionally, improvements to the 10th and Jefferson Street railroad underpass are underway in order to improve safety for both pedestrians and bicyclists.

Neighborhood Development

In 2006, the Green Acres Neighborhood Association (GANA) successfully applied for a \$1,000 Small and Simple grant from the Housing and Neighborhood Development Department (HAND). Funding from this Small & Simple grant, along with various in-kind volunteer donations from the neighborhood, allowed for the completion of the Green Acres "From Dreams to Reality" project. Accomplishments stemming from this project include the following: redesigning the GANA logo; the purchase of over seventy t-shirts (featuring the GANA logo) for free distribution at neighborhood association meetings and events; publishing a Green Acres neighborhood informational brochure; providing refreshments at the Summer Solstice event and parade held in June; and maintaining a GANA website and list-serve.

Water and Sewer Infrastructure

City of Bloomington Utilities (CBU) has identified several sections of existing sanitary sewer mains and manholes in the Green Acres neighborhood as being high priorities for either upgrade or repair. In 2005, CBU replaced some of the existing sanitary sewer main on Roosevelt Street, between 3rd and 4th Streets. The 2007 CBU budget, approved by the City Council, authorized \$216,000 to install storm infrastructure on E. 5th Street, starting near the Bypass to approximately the Hillsdale Drive intersection. This project will also likely include the replacement of the existing sanitary sewer and water mains as well.

Public Safety

The Green Acres Neighborhood Association, in cooperation with the City of Bloomington Fire Department, conducted a “Summerfest” on June 24, 2006. This event provided an opportunity for department personnel to distribute fire prevention information and material to residents, teach fire safety to children and answer any questions from residents.

An additional public safety cooperative venture is the ‘Neighborhood Watch’ program, which is administered through the City of Bloomington Police Department. The Green Acres neighborhood is encouraged to take advantage of this program. More information about participating in the Neighborhood Watch program can be obtained by contacting the Police Department at 339-4477, or via the internet at <http://bloomington.in.gov/police/>.

Zoning

The Planning Department has completed the adoption of the Unified Development Ordinance (UDO), which became effective on February 12, 2007. The new UDO replaces the City of Bloomington Zoning Ordinance, which was adopted in 1995. The purpose of the UDO is to update the City’s zoning and subdivision regulations, as well as to legally implement the recommendations that are found in the 2002 Growth Policies Plan (GPP). Through the Council of Neighborhood Associations (CONA), the Green Acres Neighborhood Association was closely involved in the public input process for the UDO. The following zoning districts are found in, or around, the Green Acres neighborhood:

- **Residential Core (RC):** established for single-family detached homes, with small to medium sized lots.
- **Residential Estate (RE):** established for single-family detached homes in a rural or agricultural setting, while protecting sensitive environmental resources.
- **Residential High Density (RH):** established for high density residential housing, on larger sized parcels.
- **Commercial Arterial (CA):** established for high intensity commercial developments along major thoroughfares.
- **Commercial General (CG):** established for medium scaled commercial services that create minimal detrimental impacts to the surrounding area.
- **Commercial Limited (CL):** established for the provision of small-scaled retail goods and services required for regular or daily convenience of adjacent residential neighborhoods.
- **Planned Unit Development (PUD):** generally a parcel(s) of land controlled by a single land owner to be developed as a single entity, which does not correspond in size or density to the established regulations of any other zoning district.
- **Institutional (IN):** established for public related services, operations or uses.

Action Strategies: The way in which programs and activities are conducted to achieve an identified goal that includes the What, Who, By Whom, What Resources and Communication aspects in addressing the short-term achievable actions and implementation measures.

Alternative Transportation and Greenways System Plan: The Alternative Transportation and Greenways System Plan represents a commitment by the City to design, construct, and maintain a network of safe, convenient, and attractive bicycle and pedestrian facilities for commuting and recreational use throughout the City. More information is available at <http://bloomington.in.gov/planning> (under ‘Transportation Planning’).

Bloomington Restorations, Inc. (BRI): Bloomington Restorations, Inc. was incorporated in 1976 as a not-for-profit organization whose mission is to oversee historic preservation activities in Bloomington and Monroe County, Indiana. BRI’s work began with saving key endangered buildings and has expanded to include two significant programs that provide funds to restore historic buildings, rehabilitate neighborhoods and provide affordable housing in core areas. For more information call 336-0909, e-mail bri@bloomington.in.us, or visit <http://www.BloomingtonRestorations.org/>.

Bloomington Transit (BT): The Bloomington Public Transportation Corporation (BPTC) is a municipal corporation that provides efficient and timely public transportation within the City of Bloomington limits. For more information call 336-7433, or visit <http://www.bloomingtontransit.com>.

Bloomington Urban Enterprise Association (BUEA): A non-profit charitable organization that forms successful public-private partnerships to revitalize business and residential districts within their jurisdiction. The mission is to improve the economic health of its jurisdiction through facilitating business investment in the BUEA, implementing community development projects which support a healthy business sector, quality jobs and strong neighborhoods and aggressively support the quality of life in the Zone and urban Westside community. For more information call 349-3805, or visit <http://bloomington.in.gov/hand/buea.php>.

Bloomington Volunteer Network: Promotes and facilitates volunteer activities throughout the community. It functions as an umbrella agency, cooperating with other agencies, non-profit corporations, businesses, and Indiana University to mobilize the effective use of volunteers in resolving community problems. It supports, guides, and assists agencies in recruiting, utilizing, and managing volunteers. For more information call 349-3433, or visit <http://bloomington.in.gov/volunteer>.

Board of Zoning Appeals (BZA): The Board of Zoning Appeals consists of five members. The Board hears and makes the final decision on requests for variances from both the development and the use standards in the Zoning Ordinance. The Board also hears and makes final decisions on conditional use requests. In addition, the Board makes the final decision on appeals from administrative decisions, determining whether or not an appealed staff decision was or was not within the scope of the Zoning Ordinance. All meetings of the Board of Zoning Appeals take place in the City Council Chambers at City Hall and begin at 5:30 pm, unless otherwise announced.

Capital Improvement Plan (CIP): A plan that schedules the timing and implementing of major municipal projects or purchases. Usually covers large-scale infrastructure and equipment purchases. CIP's normally have a five year outlook.

Community Emergency Response Team (CERT): Citizens trained in basic response techniques providing critical support to first responders during emergencies. The CERT is administered locally by the Monroe County Citizen Corps, which is a network of volunteer organizations that use the abilities of citizens to prepare communities for the threats of terrorism, crime and natural disasters. For more information, please see <http://cgi.hoosier.net/~mccc/cgi-bin/main.php>

Citizens' Academy: To encourage more civic involvement through a basic understanding of City services, the HAND Department developed the Citizens' Academy. The Academy is a nine-week program that provides thirty participants with an interactive learning experience about City services, programs and responsibilities. Through the sessions with various City Departments, the participants learn about the challenges to city government, budget limitations, day-to-day operations and mandates. For more information, or to apply for the program, visit Citizen's Academy (under 'Classes and Courses') at <http://bloomington.in.gov/hand/>, or call 349-3420.

City of Bloomington Utilities (CBU): The City of Bloomington Utilities is a municipally-owned water and wastewater utility under the guidance of the seven-member Utility Service Board, which is appointed by the Mayor and City Council. The utility is responsible for the production and distribution of drinking water and the collection and treatment of sanitary sewage. For more information call 349-3930, or visit <http://bloomington.in.gov/utilities>.

Community Activity Center (CAC): The CAC is designed to provide community-serving commercial opportunities in the context of a high density, mixed use development. The CAC must be designed to serve not only the pedestrian traffic from nearby neighborhoods, but also a community-wide group of users that may drive a personal vehicle to the CAC.

Community Development Block Grant (CDBG): As an entitlement city, Bloomington annually receives HUD-sponsored CDBG money. Eligible programs and projects include a wide range of community and economic development activities aimed at revitalizing decayed urban areas and benefiting low and moderate income persons. CDBG funds are administered through the Housing and Neighborhood Development department of the City of Bloomington. For more information call 349-3420, or visit <http://bloomington.in.gov/hand/>.

Community and Family Resources Department (CFRD): The Department exists to identify the social service needs in the community and to help the community develop solutions to addressing these needs. The CFRD runs a number of social service programs, distributes a number of informative publications, and offers consultation and training services to the social service community. For more information call 349-3430, or visit <http://bloomington.in.gov/cfrd/>

Conservation District: A historic district that allows the City’s Historic Preservation Commission to regulate only the design of new construction, demolition or the moving of a primary building.

Context Sensitive: Development or construction that compliments and preserves the existing community’s aesthetics, history and environment.

Council of Neighborhood Associations (CONA): A non-profit organization dedicated to promoting interest in the neighborhoods of Monroe County, promoting mediation training and working with neighborhoods to promote productive citizen involvement within the community. For more information visit <http://www.conaonline.org>, or call 331-3979.

Environmental Commission (EC): The EC is an advisory body composed of local citizens appointed by the Mayor and Common Council. It provides information and recommendations on environmental matters to the City of Bloomington, other government agencies, developers and the public. For more information on the EC, contact the Planning Department at 349-3423, or visit <http://www.bloomington.in.gov/planning>.

Goals: The general statements of purpose or the long-term end toward which programs or activities are ultimately directed.

Green Acres Neighborhood Association (GANA): For more information, please visit <http://cgi.hoosier.net/~gana/welcome/>.

Growth Policies Plan (GPP): The Growth Policies Plan is the long range planning document that serves as the City of Bloomington’s comprehensive plan. The plan consists of the City’s planning goals, land use recommendations, critical sub-areas, and the Master Thoroughfare Plan. The GPP is based on a 10 year timeframe. For the complete plan, visit <http://bloomington.in.gov/planning/> (under ‘Long-Range Planning’), or call the Planning Department at 349-3423.

APPENDIX F: GLOSSARY AND COMMUNITY RESOURCES

Habitat for Humanity: Habitat for Humanity of Monroe County is a nonprofit organization. Their stated mission is to build simple, decent homes for people in need. They charge no interest on mortgages and sell homes for no profit. Their goal is to eliminate poverty through affordable housing in Monroe County. For more information, please visit <http://www.bloomington.in.us/~habitat>, or call 331-4069.

Housing and Neighborhood Development (HAND): A City of Bloomington Department that is responsible for neighborhood compliance (through code enforcement and rental inspection), historic preservation (by promoting the restoration and preservation of historic areas and buildings), and housing specialists (who provide a wide array of programs to provide and rehabilitate affordable housing). Development activities are funded through CDBG and HOME funds for physical improvement projects, curb and sidewalk programs, and land acquisition. Neighborhood services provide technical assistance, funding resources and support services to neighborhoods. For more information call 349-3420, or visit <http://bloomington.in.gov/hand/>.

HPC: The City of Bloomington Historic Preservation Commission. For more information on the activities of the HPC, please call 349-3401, or visit <http://bloomington.in.gov/hand/btoncmsn.php>.

HUD: U.S. Department of Housing and Urban Development. For more information, visit <http://www.hud.gov/>.

IDNR: Indiana Department of Natural Resources. For more information, visit <http://www.in.gov/dnr/>.

INDOT: Indiana Department of Transportation. For more information visit <http://www.in.gov/dot/>.

Infrastructure: Physical municipal assets including roads, bridges, sewer and water lines, street lights, and sidewalks.

Infill development: Building homes, businesses and public facilities on unused or underutilized land within existing urban areas.

Local Historic Designation: A local historic designation is created by City ordinance and like the National Register, an eligible property can be listed either individually or as part of a larger district. Being Locally Designated grants the City of Bloomington Historic Preservation Commission (HPC) design review over exterior modifications to the property. A Certificate of Appropriateness is then required from the HPC before work is permitted to proceed. For more information about Local Historic Designation, please contact the HAND Department at 349-3401.

National Register of Historic Places: This listing honors a historic place by recognizing its importance to its local community, state or the entire nation. To be eligible for an individual listing to the National Register, a property must meet certain historic standards and criteria. Under federal law, owners of private property listed on the National Register are free to maintain, manage, or dispose of their property as they choose. Owners have no obligation to open their properties to the public, restore them, or even to maintain them, if they choose not to do so. A National Register listing does, however, qualify income-producing historic structures, such as commercial, industrial, or rental residential buildings, for a possible 20% investment tax credit for certified rehabilitation projects. For more information, please visit <http://www.cr.nps.gov/nr/>.

Neighborhood Activity Center (NAC): The NAC is a mixed commercial node that serves as the central focus of each neighborhood. The NAC must be designed so that it serves the neighborhood adequately without attracting an influx of usage from surrounding areas.

Neighborhood Clean-up Grant Program: Neighborhood clean-ups are one-day events in which neighborhood residents can apply for assistance to conduct a neighborhood clean-up. HAND staff will work with residents to facilitate the removal of tires, trash, old furniture, hazardous materials, oil, car batteries, non-perishable food and usable clothing. What can be recycled back into the community is and what cannot is appropriately discarded. For more information call 349-3420, or visit <http://bloomington.in.gov/hand/> (under 'For Neighborhoods').

Neighborhood Improvement Grant: The program is intended to give residents an opportunity to have direct input and influence into the improvement of their neighborhoods. The funds provide for non-traditional capital projects with community-wide benefit. Improvement projects include physical improvement projects, public art, and design for a future capital improvement through a Neighborhood Improvement Grant. The minimum amount for this award is \$2,000, with a 10% match. Past projects include neighborhood signs, restoration of historic sidewalks, landscaping, and historical markers. For more information, or to fill-out an application, visit <http://bloomington.in.gov/hand/> (under 'For Neighborhoods'), or call 349-3401.

Neighborhood Planning Initiative: A program created to bring emphasis to neighborhoods in Bloomington. The process involves staff from both the Planning Department and the Housing & Neighborhood Development Department (HAND) acting as a facilitator to encourage public and private investment in a neighborhood.

Neighborhood Traffic Safety Program (NSTP): To maximize neighborhood involvement in improving local traffic conditions, the City of Bloomington Bicycle and Pedestrian Safety Commission (BPSC), with assistance from the Public Works, Engineering and Planning Departments, has developed the NSTP for Bloomington neighborhoods. For more information, call 349-3417.

APPENDIX F: GLOSSARY AND COMMUNITY RESOURCES

Neighborhood Watch Program: With assistance from the Bloomington Police Department, neighborhoods can establish a watch program in the area to watch for criminal activity. For more information, call 349-3343.

Objectives: Provisions that have measurable elements to mark progress towards the corresponding goal.

Parks and Recreation Department (Parks): The Bloomington Parks and Recreation Department provides parks, open space, facilities, services and programs necessary for the positive development and well-being of the community. For more information call 349-3700, or visit <http://bloomington.in.gov/parks/>.

Planned Unit Development (PUD): An area under single ownership and control to be developed in conformance with a development plan; consisting of a map showing the development area, all improvements to the development area and a text which sets forth the uses and the development standards to be met.

Planning Department: The Planning Department is responsible for administering the policies, programs and regulations that manage the growth and development of the City of Bloomington. Planners work on issues such as transportation, the environment, long range planning, zoning code compliance and the review of development proposals and permits. For more information call 349-3423, or visit <http://bloomington.in.gov/planning/>.

Permaculture: According to the National Sustainable Agriculture Information Service at the University of Arkansas-Fayetteville, Permaculture is a contraction of the phrases “permanent agriculture” or “permanent culture”. Permaculture stresses the use of ecology as the basis for designing integrated systems of food production, housing, appropriate technology and community development. For further information regarding Permaculture, visit the National Sustainable Agriculture Information Service website at <http://attra.ncat.org/attra-pub/perma.html#defined>. Another good Permaculture resource website is www.permacultureactivist.net.

Public Works (PW): The Department of Public Works manages and directs the policies, programs and activities for seven departments and divisions. Public Works is also responsible for administrative duties associated with the numerous commissions and the Board of Public Works. The Board of Public Works monitors and grants final approval to commission resolutions and directives. For more information call 349-3410, or visit <http://bloomington.in.gov/publicworks/>.

Small and Simple Grant Fund: This grant provides neighborhoods with the opportunity to promote neighborhood community building activities that demonstrate a neighborhood benefit that require \$1,000 or less. Match is \$1 to \$1; 10% cash match is required. Applications are always available. Eligible projects could be to build or enhance a physical improvement, one-time events such as a special celebration, training sessions or educational campaigns. For more information, or to fill out an application, call 349-3420, or visit <http://bloomington.in.gov/hand/>.

Sustainability: is the ability to achieve continuing economic prosperity while protecting the natural systems of the planet and providing a high quality of life for its people. Achieving sustainable solutions calls for stewardship, with everyone taking responsibility for solving the problems of today and tomorrow; individuals, communities, businesses and governments are all stewards of the environment.

SWOT: An acronym for Strengths (assets that contribute positively to the quality of life), Weaknesses (conditions that detract from the quality of life), Opportunities (projects with the potential to transform weaknesses into strengths) and Threats (negative trends that threaten the future security of the neighborhood). SWOT analysis is an effective method of identifying all the current conditions of your neighborhood. The SWOT framework will then be used as the foundation for the goals, objectives and action strategies that will be addressed in the Neighborhood Plan.

UDO: The Unified Development Ordinance of the City of Bloomington. This document replaced the previous zoning and subdivision ordinances. The UDO governs land use and development throughout the City of Bloomington's planning jurisdiction. For more information, please see www.bloomington.in.gov/udo.

Vision Statement: A statement that reflects the overall values and interests for a recognized group, organization, or delegation of individuals found within a community.



MEMO FROM COUNCIL OFFICE:

To: Members of the Common Council

From: Ash Kulak, Interim Council Attorney

Date: August 30, 2024

Re: Ordinance 2024-17 – To Amend Title 20 of the Bloomington Municipal Code – Amendment and updates related to grading permit and alignment with Title 13 and BMC 20.04 related to steep slopes

Relevant Materials

- Ordinance 2024-17
- Certification form from Plan Commission
- Attachment A & staff memo, with redline amendments showing proposed changes

Background

On August 12, 2024, the Plan Commission considered a proposal brought forward by city planning staff to make amendments to the UDO to remove language that regulates stormwater management that is now regulated by Title 13, a new Title of the Bloomington Municipal Code which was passed at the May 8, 2024 Regular Session through adoption of Ordinance 2024-08. The proposal also includes amendments related to steep slopes in alignment with state law.

The Plan Commission Case Z0-30-24 was given a recommendation of approval by a vote of 8-0-0. The August Plan Commission meeting can be viewed online on CATS TV (<https://catstv.net/m.php?q=13677>). The proposal was certified on August 14, 2024, giving the Council until November 12, 2024, 90 days from the date of certification, to act on the proposal pursuant to state law.

General Information about UDO Updates:

General information about the UDO, including the complete text of the current UDO, can be found at the Unified Development Ordinance webpage (<https://bloomington.in.gov/planning/udo>). Information about the Council's 2019 repeal and replacement of the UDO, the history of the Council review of the City's Unified Development Ordinance is also available online (<https://bloomington.in.gov/council/plan-schedule>). Finally, the City's Comprehensive Plan is also available online (<https://bloomington.in.gov/planning/comprehensive-plan>).

Proposals to amend the text of the UDO are governed by state law under Indiana Code (IC) 36-7-4 in the "600 Series – Zoning Ordinance." State law (IC 36-7-4-201) provides that the purpose of the local planning and zoning laws are "to encourage units to improve the



health, safety, convenience, and welfare of their citizens and to plan for the future development of their communities to the end:

1. that highway systems be carefully planned;
2. that new communities grow only with adequate public way, utility, health, educational, and recreational facilities;
3. that the needs of agriculture, forestry, industry, and business be recognized in future growth;
4. that residential areas provide healthful surroundings for family life; and
5. that the growth of the community is commensurate with and promotive of the efficient and economical use of public funds.”

In considering UDO text amendments, both state code ([IC 36-7-4-603](#)) and local code ([BMC 20.06.070\(d\)\(4\)](#)) require the legislative body to pay reasonable regard to:

1. the Comprehensive Plan;
2. current conditions and the character of current structures and uses in each district;
3. the most desirable use for which the land in each district is adapted;
4. the conservation of sensitive environmental features (a local criteria);
5. the conservation of property values throughout the jurisdiction; and
6. responsible development and growth.

These are factors that a legislative body must *consider* when deliberating on zoning ordinance proposals. However, nothing in statute requires that the Council find absolute conformity with each of the factors outlined above. Instead, the Council is to take into consideration the entire constellation of the criteria, balancing the statutory factors. Notably, Indiana courts have found that comprehensive plans are guides to community development, rather than instruments of land-use control. A municipality must consider all factors and make a balanced determination. *Borsuk v. Town of St. John*, 820 N.E.2d 118 (Ind. 2005) (interpreting [IC 36-7-4-603](#)).

[IC 36-7-4-607](#) provides the following procedure that applies to a proposal to amend or partially repeal the text of the UDO:

- After the Plan Commission determines its recommendation on a proposal, it certifies the proposal to the Council with either a favorable recommendation, an unfavorable recommendation, or no recommendation. All four proposals sent to the Council received a favorable recommendation by the Plan Commission (votes listed above). The Council must consider these Commission recommendations before acting on the proposal.
- At the first regular meeting of the Council after the proposal is certified (or at any subsequent meeting within 90 days after the proposal is certified), the Council may adopt, reject, or amend the proposal. The Council must post and give notice at least 48 hours in advance of its intention to consider the proposal at a meeting.



City of Bloomington Indiana

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Office of the Common Council | (812) 349-3409 | Fax: (812) 349-3570 | email: council@bloomington.in.gov

- If the Council fails to act on a proposal that received a positive recommendation within 90 days after certification (deadlines listed above), the proposal would take effect as if it had been adopted (as certified) 90 days after certification.
- Assuming the Council does act within the 90 days after a proposal is certified to it, the Council can adopt, reject, or amend the proposal. If the Council amends or rejects a proposal, the Council must return that proposal to the Plan Commission along with a written statement of the reasons for the amendment or rejection. Doing so would start a 45-day period for the Plan Commission to consider the Council's amendment or rejection.
- If the Plan Commission approves of the Council's amendment or fails to act within 45 days, the ordinance would stand as passed by the Council. If the Plan Commission disapproves of the amendment or rejection, the Council's action on the original amendment or rejection stands only if confirmed by another vote of the Council within forty-five (45) days after the Plan Commission certifies its disapproval.

These detailed procedures may seem cumbersome, but are designed to ensure that there is a dialogue between the Plan Commission and the Council.

Contact

Jacqueline Scanlan, Development Services Manager, Planning & Transportation, 812-349-3423, scanlanj@bloomington.in.gov

David Hittle, Director, Planning & Transportation, 812-349-3423, david.hittle@bloomington.in.gov

ORDINANCE 2024-17
TO AMEND TITLE 20 (UNIFIED DEVELOPMENT ORDINANCE)
OF THE BLOOMINGTON MUNICIPAL CODE –

**Re: Amendments and updates related to grading permit and alignment with Title 13 and
BMC 20.04 related to steep slopes**

WHEREAS, the Common Council, by its Resolution 18-01, approved a new Comprehensive Plan for the City of Bloomington, which took effect on March 21, 2018; and

WHEREAS, thereafter the Plan Commission initiated and prepared a proposal to repeal and replace Title 20 of the Bloomington Municipal Code, entitled “Unified Development Ordinance” (“UDO”); and

WHEREAS, on December 18, 2019 the Common Council passed Ordinance 19-24, to repeal and replace the UDO; and

WHEREAS, on January 14, 2020 the Mayor signed and approved Ordinance 19-24; and

WHEREAS, on April 15, 2020, the Common Council passed Ordinance 20-06 and Ordinance 20-07; and

WHEREAS, on April 18, 2020, the Unified Development Ordinance became effective; and

WHEREAS, on August 12, 2024, the Plan Commission voted to favorably recommend this amendment proposal to the Common Council, after providing notice and holding public hearings on the proposal as required by law; and

WHEREAS, the Plan Commission certified this amendment proposal to the Common Council on August 14, 2024; and

WHEREAS, in preparing and considering this proposal, the Plan Commission and Common Council have paid reasonable regard to:

- 1) the Comprehensive Plan;
- 2) current conditions and character of current structures and uses in each district;
- 3) the most desirable use for which land in each district is adapted;
- 4) the conservation of property values throughout the jurisdiction; and
- 5) responsible development and growth;

NOW, THEREFORE, BE IT HEREBY ORDAINED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, MONROE COUNTY, INDIANA, THAT:

SECTION I. Title 20 of the Bloomington Municipal Code, entitled “Unified Development Ordinance”, is amended.

SECTION II. An amended Title 20, entitled “Unified Development Ordinance”, including other materials that are incorporated therein by reference, is hereby adopted. Said replacement ordinance consists of the following documents which are attached hereto and incorporated herein:

1. The Proposal forwarded to the Common Council by the Plan Commission with a favorable recommendation, consisting of:
 - (A) ZO-30-24 (hereinafter “Attachment A”)
 - (B) Any Council amendments thereto (“Attachment B”)

SECTION III. The Clerk of the City is hereby authorized and directed to oversee the process of consolidating all of the documents referenced in Section II into a single text document for codification.

SECTION IV. Severability. If any section, sentence, or provision of this ordinance, or the application thereof to any person or circumstances shall be declared invalid, such invalidity shall not affect any of the other sections, sentences, provisions, or applications of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of

this ordinance are declared to be severable.

SECTION V. This ordinance shall be in full force and effect from and after its passage by the Common Council and approval by the Mayor.

PASSED AND ADOPTED by the Common Council of the City of Bloomington, Monroe County, Indiana, upon this ____ day of _____, 2024.

ISABEL PIEDMONT-SMITH, President
Bloomington Common Council

ATTEST:

NICOLE BOLDEN, Clerk
City of Bloomington

PRESENTED by me to Mayor of the City of Bloomington, Monroe County, Indiana, upon this __ day of _____, 2024.

NICOLE BOLDEN, Clerk
City of Bloomington

SIGNED AND APPROVED by me upon this __ day of _____, 2024.

KERRY THOMSON, Mayor
City of Bloomington

SYNOPSIS

This petition contains amendments throughout Title 20 related to changes to the grading permit and other erosion control regulations and amendments to 20.04 related to steep slopes to align with State regulations.

****ORDINANCE CERTIFICATION****

In accordance with IC 36-7-4-604 I hereby certify that the attached Ordinance Number 2024-17 is a true and complete copy of Plan Commission Case Number ZO-30-24 which was given a recommendation of approval by a vote of 8 Ayes, 0 Nays, and 0 Abstentions by the Bloomington City Plan Commission at a public hearing held on August 12, 2024.



Date: August 14, 2024

David Hittle, Secretary
Plan Commission

Received by the Common Council Office this _____ day of _____, 2024.

Nicole Bolden, City Clerk

| | | |
|------------------------------------|-------------------------------------------------|--------------------|
| Appropriation Ordinance # _____ | Fiscal Impact Statement Ordinance # _____ | Resolution # _____ |
|------------------------------------|-------------------------------------------------|--------------------|

Type of Legislation:

| | | |
|---------------------------------------------------|------------------------------------------|---------------------------------------------------------------|
| Appropriation Budget Transfer Salary Change | End of Program New Program Bonding | Penal Ordinance Grant Approval Administrative Change |
| Zoning Change New Fees | Investments Annexation | Short-Term Borrowing Other |

If the legislation directly affects City funds, the following must be completed by the City Controller:

Cause of Request:

| | |
|---------------------------|-----------------|
| Planned Expenditure _____ | Emergency _____ |
| Unforeseen Need _____ | Other _____ |

Funds Affected by Request:

| | | |
|---------------------------------------|----------|----------|
| Fund(s) Affected _____ | | |
| Fund Balance as of January 1 | \$ _____ | \$ _____ |
| Revenue to Date | \$ _____ | \$ _____ |
| Revenue Expected for Rest of year | \$ _____ | \$ _____ |
| Appropriations to Date | \$ _____ | \$ _____ |
| Unappropriated Balance | \$ _____ | \$ _____ |
| Effect of Proposed Legislation (+/-) | \$ _____ | \$ _____ |
| Projected Balance | \$ _____ | \$ _____ |

Signature of Controller

Will the legislation have a major impact on existing City appropriations, fiscal liability or revenues?

Yes _____ No _____ XX _____

If the legislation will not have a major fiscal impact, explain briefly the reason for your conclusion.

Approval of case ZO-30-24 amends the Unified Development Ordinance (UDO), with amendments and updates related to alignment with Bloomington Municipal Code Title 13 and House Enrolled Act 1108, by the Bloomington Plan Commission. This ordinance is in accordance with Indiana Code 36-7-4-600.

If the legislation will have a major fiscal impact, explain briefly what the effect on City costs and revenues will be and include factors which could lead to significant additional expenditures in the future. Be as specific as possible. (Continue on second sheet if necessary.)

Case # ZO-30-24 Memo

To: Bloomington Common Council

From: Jackie Scanlan, AICP Development Services Manager

Date: August 14, 2024

Re: Text Amendments to Unified Development Ordinance

The Plan Commission heard case #ZO-30-24 on August 12, 2024 and voted to send the petition to the Common Council with a positive recommendation with a vote of 8-0. The report and documents submitted to the Plan Commission by the Planning and Transportation Department are below.

The Planning and Transportation Department proposes an update to the Unified Development Ordinance (UDO), Title 20 of the Bloomington Municipal Code, in order to address two legislative changes that affect this Title.

Title 13 was approved by the Bloomington Common Council on May 8, 2024 and signed into law by Mayor Thomson on May 13, 2024. Title 13 went into effect on July 1, 2024. Title 13, Stormwater, addresses stormwater permitting requirements enacted by the Indiana Department of Environmental Management. Stormwater management was previously, in part, regulated by Title 20. This Ordinance seeks to amend Title 20 in order to align it with approved Title 13. The changes to Title 20 include a removal of the grading permit and a reconfiguration of permitting the rest of the site improvements, including parking, landscaping, bicycle parking, etc. that were previously reviewed for permitting in through the grading permit process. There are also updates in the parking section related to stormwater treatment in parking lots, as well as the removal of the Erosion and Siltation section. All items removed from Title 20 are now covered by the permitting process in Title 13.

The second legislative change was approved by the State of Indiana legislature and is related to steep slope regulation. The regulations related to development on steep slopes is contained within Title 20. This Ordinance seeks to amend Title 20 in order to align it with the new State regulations. Title 20 is proposed to change the outlying slope percentage from 18 percent to less than 25 percent.

BLOOMINGTON INDIANA



UNIFIED DEVELOPMENT ORDINANCE

| | | |
|------------------|---------------------------------------------------------|------------|
| 20.06.010 | General | 280 |
| | (a) Purpose | 280 |
| | (b) Enforcement | 280 |
| 20.06.020 | Review and Decision-Making Bodies | 280 |
| | (a) Purpose | 280 |
| | (b) Common Council | 280 |
| | (c) Plan Commission | 281 |
| | (d) Board of Zoning Appeals | 282 |
| | (e) Planning and Transportation Department | 284 |
| | (f) Floodplain Administrator | 286 |
| | (g) Hearing Officer | 287 |
| | (h) Plat Committee | 287 |
| 20.06.030 | Summary Table of Review Procedures | 288 |
| 20.06.040 | Common Review Procedures | 289 |
| | (a) General | 289 |
| | (b) Pre-Submittal Activities | 290 |
| | (c) Petition Submittal and Processing | 292 |
| | (d) Staff Review and Action | 295 |
| | (e) Scheduling and Notice of Public Hearings | 302 |
| | (f) Appearance Waives Defects | 304 |
| | (g) Review and Decision | 304 |
| | (h) Post-Decision Actions and Limitations | 306 |
| 20.06.050 | Development Permits and Procedures | 308 |
| | (a) Site Plan Review | 308 |
| | (b) Conditional Use Permit | 314 |
| | (c) Demolition Delay Permit | 317 |
| | (d) Floodplain Development Permit | 322 |
| | (e) Site Development Grading Permit | 327 |
| | (f) Certificate of Zoning Compliance | 330 |
| | (g) Certificate of Occupancy | 332 |
| | (h) Certificate of Final Acceptance | 334 |
| | (i) Certificate of Nonconforming Use | 336 |
| | (j) Sign Permit | 337 |
| | (k) Temporary Use Permit | 339 |
| | (l) Easements | 341 |
| 20.06.060 | Subdivision Procedures | 343 |
| | (a) General Standards | 343 |
| | (b) Primary Plat | 344 |
| | (c) Secondary Plat | 347 |
| | (d) Vacating Plat | 352 |
| 20.06.070 | Plan and Ordinance Amendments | 355 |
| | (a) Comprehensive Plan Amendment | 355 |
| | (b) Zoning Map Amendment | 355 |
| | (c) Rezoning to Planned Unit Development (PUD) | 358 |
| | (d) Zoning Text Amendment | 368 |
| 20.06.080 | Flexibility and Relief Procedures | 370 |
| | (a) Minor Modification | 370 |
| | (b) Variance | 373 |
| | (c) Administrative Interpretation | 378 |
| | (d) Administrative Appeal | 382 |
| 20.06.090 | Nonconformities | 385 |
| | (a) Purpose | 385 |
| | (b) Regulations Applicable to All Nonconformities | 385 |
| | (c) Nonconforming Uses | 386 |
| | (d) Nonconforming Structures | 388 |
| | (e) Nonconforming Lots | 389 |

(b) Effect of Change in the Law after Filing of Complete Petition

- (1) For any petition filed with the city prior to the effective date of this UDO for any permit or approval listed in Section 20.01.040(b)(3), the effect of any change in the applicable law after submittal of such petition but prior to the grant or denial of the permit or approval sought shall be governed by the transition rules of the prior zoning ordinance that was in effect on the date of petition submittal.
- (2) Whenever a complete petition is filed with the city on or after the effective date of this UDO for any of the permits or approvals listed in Section 20.01.040(b)(3), the grant or denial of such permit or approval, and the grant or denial of any secondary, additional or related permit or approval required by the city with respect to the general subject matter of the first complete petition, shall be governed by the statutes, ordinances, rules, development standards, and regulations applicable to the property in question ("Requirements") that were in effect at the time of the first complete petition, for the time periods listed in Section 20.01.040(b)(4), notwithstanding any change in such requirements that occurs after such first petition but prior to the grant or denial of such permit or approval, except as otherwise provided herein.
- (3) The permits and approvals covered by this section are:
 - (A) Section 20.06.050(a) (Site Plan Review);
 - (B) Section 20.06.050(b) (Conditional Use Permit);
 - (C) Section 20.06.060(b) (Primary Plat);
 - (D) Section 20.06.060(c) (Secondary Plat);
 - (E) Section 20.06.050(e) (~~Site Development Permit~~Grading Permit);
 - (F) Section 20.06.050(f) (Certificate of Zoning Compliance);
 - (G) Section 20.06.070(c) (Rezoning to Planned Unit Development).
- (4) The requirements in effect at the time of the first complete petition submittal for a permit or approval described in Section 20.01.040(b)(2) shall continue to govern such first complete petition and any secondary, additional or related permits described in that subsection for a period of at least three years from the date of the first complete petition. If no construction or other activity to which the permit or approval relates is commenced within that three-year period, then after that period the renewal of any expired permit, and the grant or denial of any new petition for any secondary, additional or related permit, shall be governed by then current regulations if the Planning and Transportation Director, based upon advice from the City Legal Department, determines that such action is lawful and does not deprive the owner or petitioner of any vested right. Moreover, if construction or other activity to which the permit or approval relates is not completed within 10 years of the date upon which such construction or other activity commenced, then after that period the renewal of any expired permit, and the grant or denial of any new petition for any secondary, additional or related permit, shall be governed by then current regulations if the Planning and Transportation Director, based upon advice from the City Legal Department, determines that such action is lawful and does not deprive the owner or petitioner of any vested right.
- (5) Where a permit or approval is rendered pursuant to this section, any construction, use or other activity authorized by such permit or approval shall be treated as lawfully nonconforming to the extent such activity does not conform to the current requirements of this UDO and shall be subject to the provisions of Section 20.06.090 (Nonconformities).

| | |
|--------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| Communication facilities | Communication facilities are exempt from height restrictions, subject to the limitations of 20.03.030(f)(1) (Communication Facility). |
|--------------------------|---------------------------------------------------------------------------------------------------------------------------------------|

No building or structure or part of a building or structure shall exceed the maximum building height within any zoning district unless authorized in Table 04-7, or elsewhere in this UDO.

(g) Building Floor Plate

- (1) The area of the lot covered by the primary building shall be included in the calculation of building floor plate in all districts.
- (2) The area of a lot covered by accessory buildings, parking garages, carports, and utility and storage sheds shall not be included in this calculation.

(h) Minor Modification

Minor modifications to some of the dimensional standards in this section may be available through the Minor Modification process in Section 20.06.080(a) (Minor Modification), which may be approved by staff during the petition process without the need to apply for a variance, provided that the criteria in Section 20.06.080(a) are met.

20.04.030 Environment

(a) Purpose

The Bloomington area is characterized by a wide variety of environmental features that affect the way land is developed. These features include karst geology (sinkholes, caves, springs, etc.), wetland areas, steep slopes, mature tree stands, and water resources such as lakes, streams and other surface watercourses. It is prudent and necessary that every area that becomes the subject of a petition for development be routinely scrutinized for the presence of environmental features in order to protect and enhance these environmental features and help mitigate the climate and extinction emergencies as well as the public health, ecology, and welfare.

(b) Applicability

Compliance with this Section 20.04.030 (Environment) shall be required pursuant to Section 20.04.010 (Applicability) and the specific applicability criteria established in Sections 20.04.030(c) through ~~20.04.030(i)~~20.04.030(j).

(c) Steep Slopes

(1) Applicability

This section shall apply to all land-disturbing activities on properties that contain naturally occurring steep or excessive slopes.

(2) Slope Measurement

For the purposes of this section, the percent slope shall be calculated by dividing the number of feet of elevation change between the top and toe of the slope in question by the horizontal distance of the slope in question, then multiply by 100 to acquire a percent figure.

(3) **Easements**

All slope areas required to be preserved subject to this section shall be placed within conservation easements pursuant to the standards of Section 20.05.040 (Easements).

(4) **Excessive Slopes**

Areas of land where the pre-development slopes are ~~25 percent or greater~~^{greater than 18 percent} shall not be disturbed for any improvements with the exception of utility lines.

(5) **Steep Slopes**

Any development on slopes between 12 percent and ~~less than 25~~¹⁸ percent shall be allowed a maximum disturbance of 50 percent of the total slope area. Priority for slope preservation shall be given to slope areas that exhibit one or more of the following characteristics:

- (A) Presence of highly erodible soils as identified in the Web Soil Survey produced by the National Cooperative Soil Services and operated by the USDA Natural Resources Conservation Service;
- (B) Adjacent to slopes of greater than 18 percent;
- (C) Adjacent to water resources;
- (D) Adjacent to other environmental features that are required to be preserved as part of this UDO;
or
- (E) Presence of tree cover on 50% or more of the surface area of the slope.

(6) **Construction Measures**

Any development on slopes between 12 percent and 18 percent shall incorporate construction measures such as retaining walls and walkout basements as well as current preferred practices for erosion control measures during construction, as provided in ~~Section 20.04.030(d)(3)(A)~~^{Title 13 (Stormwater) of the Bloomington Municipal Code}.

(7) **Street Grades**

Arterial and collector streets shall not exceed grades of six percent and local streets or alleys shall not exceed grades of eight percent unless the petitioner demonstrates that steeper grades will minimize disturbances to existing topography.

(8) **Street Design**

All drives and streets shall follow the topography with a minimum of cutting and filling.

(9) **Soil Constraints**

When unstable or contaminated soils are found, the effect of cutting and filling, alterations to slope, and the stabilization measures required to either avoid or address unstable or contaminated soils shall be minimized to the maximum extent practicable, given the soil condition to be avoided or mitigated.

(10) **Overlapping Preservation Areas**

Where acreage set aside to fulfill the conservation or buffer requirements in Section ~~20.04.030(d)~~^{20.04.030(e)}, Section ~~20.04.030(f)~~^{20.04.030(g)}, Section ~~20.04.030(g)~~^{20.04.030(h)}, and Section ~~20.04.030(h)~~^{20.04.030(i)} also meets the requirements for steep slope preservation under this section, such acreage shall be counted toward fulfillment of all applicable requirements.

~~(d) Siltation and Erosion Prevention~~

~~(1) Applicability~~

~~(A) This subsection applies to any land development or land-disturbing activities that include one or more of the following conditions:~~

- ~~i. That disturbs a ground surface of 2,500 square feet or more;~~
- ~~ii. That involves excavation or filling of dirt, sand, or clean fill, including but not limited to single-family development;~~
- ~~iii. That involves street, highway, or bridge construction, enlargement, relocation or reconstruction; or~~
- ~~iv. That involves the laying, repairing, replacing, or enlarging of an underground pipe, facility, or any utility.~~

~~(B) All municipal government departments, including the City Utilities Department, shall comply with this section.~~

~~(2) Compliance with Other Regulations Also Required~~

~~Compliance with the requirements set out in this section shall not relieve any person of the independent obligation to comply with all applicable standards and practices set out in Indiana Administrative Code, 327 IAC 15 (Article 15), regarding stormwater runoff; the Indiana Stormwater Quality Manual developed by the Indiana Department of Environmental Management (IDEM); all applicable provisions of Title 10 (Wastewater) of the Bloomington Municipal Code regarding stormwater runoff; and all applicable rules, regulations, standards and specifications of the City Utilities Department regarding stormwater management practices.~~

~~(3) Erosion and Pollutant Control Requirements~~

~~(A) Current Preferred Practices~~

~~All sites undergoing land disturbing activities, regardless of size, shall prevent the erosion of sediment or any other contaminant off site or conveyed into any bodies of water, either by wind or water. All land disturbing activities shall be protected by current preferred practices (CPP) including, but not limited to silt or erosion control fences, filter socks, straw bales, sedimentation basins, articulated concrete blocks, mechanically stabilized earth, storm grate filters, or erosion control mats.~~

~~(B) Environmental Features~~

~~For land disturbing activities that occur adjacent to environmentally sensitive areas including but not limited to steep slopes, sinkholes, floodplain, and riparian buffers; redundant erosion control measures, such as additional barriers and reduced timelines for soil stabilization, shall be required, as determined by the Planning and Transportation Director.~~

~~(C) Waste and Material Disposal~~

~~Waste and unused building materials (e.g., garbage, debris, cleaning wastes, concrete waste, wastewater, toxic materials or hazardous materials) shall be properly disposed of in facilities labeled and designed for the containment of those materials while minimizing air, soil, and water pollution to the maximum degree practicable.~~

(D) — Tracking

~~Each site shall have sediment control devices or crushed stone streets, access drives, and parking areas of sufficient size and thickness to prevent sediment from being tracked onto public or private streets. Such areas shall be maintained at sufficient size and thickness throughout the duration of the construction activity on site. Any sediment that leaves the site is a violation of this UDO.~~

(E) — Drain Inlet Protection

~~All storm inlets shall be protected with best management practices meeting accepted design criteria, standards and specifications.~~

(F) — Sediment Control

~~Sediment shall be controlled and contained on site, and control measures shall prevent damage to existing vegetation or pavement.~~

(G) — Ground Cover

~~Vacant land held for development shall be planted with grass or other vegetative ground cover that complies with Section 20.04.080(l) (Vacant Lot Landscaping).~~

(H) — Inspection

~~All erosion control measures shall be installed by the developer and inspected and approved by the City Planning and Transportation Department before land-disturbing activity may take place. Where applicable, developers shall follow their self-monitoring inspection program throughout construction as outlined in Bloomington Municipal Code Section 10.21.070(r).~~

(I) — Finished Grade

~~Disturbed areas that are at finished grade with installed utilities shall be permanently seeded or mulched within seven days.~~

(J) — Unfinished Grade

~~Areas that have undergone land-disturbing activities and are not yet at finished grade, and that have no construction activity for 15 days or more, shall be established with temporary vegetation, seed, and/or straw, or other measures approved by the City.~~

(K) — Soil Stockpiles

~~All soil stockpiles shall be protected by erosion control barriers and areas that remain inactive for seven days or more shall be seeded, covered, or protected.~~

(L) — Plastic Netting

~~Under no circumstances shall plastic netting or plastic mesh be used on site for any type of landscaping or erosion control.~~

(M) — Single-Family Lots

~~Single-family lots that remain inactive for 15 days or more shall be established with temporary vegetation.~~

~~(N) Channelized Runoff~~

~~Channelized runoff from off-site areas passing through a construction site shall be diverted around disturbed areas. Sheet flow runoff from off-site areas shall also be diverted around disturbed areas. Diverted runoff shall be conveyed in a manner that will not erode the conveyance and receiving channels.~~

~~(O) Sequence of Land-Disturbing Activity~~

~~Land-disturbing activity shall be performed in a construction sequence that minimizes the area of bare soil exposed at any one time. Construction sequencing shall be subject to the approval of the City Planning and Transportation Department.~~

~~(e)(d) Drainage~~

(1) Applicability

All proposed site plans submitted for approval, under the provisions of this UDO, shall provide for the collection and management of all surface water drainage.

(2) Exemption

The construction of single-family, duplex, triplex, fourplex, Mobile home, and manufactured home dwellings on existing lots of record where fully engineered drainage infrastructure is in place prior to occupancy of the home shall be exempt from the requirements of this Section 20.04.030 (Environment).

~~**(3) Drainage Plan**~~

~~All grading permit petitions shall include the submittal of a drainage plan to the City Utilities Department. The drainage plan shall include, but not be limited to, the following items:~~

- ~~(A) Complete construction plan showing all proposed detention and retention facilities, swales, and drainage structures.~~
- ~~(B) All proposed piping including size and location of proposed stormwater lines, as well as plan and profile drawings for all proposed improvements.~~
- ~~(C) Complete and accurate stormwater calculations justifying methodology of the drainage plan in compliance with City Utilities Department standards.~~

~~**(4) Stormwater Mitigation Requirements**~~

~~Drainage facilities shall be provided to control runoff from all upstream drainage areas and from all areas within the site to a location adequate to receive such runoff, and shall:~~

- ~~(A) Be designed and constructed in accordance with City Utilities Department standards.~~
- ~~(B) Be durable, easily maintained, retard sedimentation, and retard erosion, not endanger the public health and safety, and not cause significant damage to property.~~
- ~~(C) Be sufficient to accept runoff from the site after development and the present water runoff from all areas upstream to achieve discharge rates meeting City Utilities Department standards.~~
- ~~(D) Provide stormwater runoff quality mitigation in compliance with City Utilities Department standards.~~

~~(5)~~(3) **Poorly Drained Sites**

Development proposed for sites that are adjacent to a floodplain area, located in an area with converging drainage flows, located in an area characterized by documented drainage problems, or located in an area with closed, depressed contour lines as shown on the City's GIS maps shall be subject to a higher level of drainage plan review. Site plans for these areas shall submit documentation that finished floor elevations of structures shall be at least two feet above areas that would be flooded during a one hundred-year storm event.

~~(6)~~(4) **Dry Hydrants**

Any development that incorporates a retention pond with a standing pool of water of at least 10,000 cubic feet in volume shall provide a dry hydrant that meets the specifications of the National Fire Protection Association (NFPA) Standard on Water Supplies for Suburban and Rural Fire Fighting, NFPA 1142 Chapter 9 (2001 Edition), or any subsequent amendment thereto.

~~(f)~~(e) **Riparian Buffers**

(1) **Applicability**

- (A) This subsection shall apply to all land development activities on properties that are contiguous with or contain intermittent or perennial streams. However, lots of record of less than one-half acre in size shall not be subject to ~~20.04.030(e)(6)~~~~20.04.030(f)(6)~~ (Intermediate Zone) nor ~~20.04.030(e)(7)~~~~20.04.030(f)(7)~~ (Fringe Zone) of this section.
- (B) Any new, non-single-family development that is exempt from providing riparian buffer zones as outlined in ~~20.04.030(e)(1)~~~~20.04.030(f)(1)~~, shall provide at least a 25-foot wide streamside buffer zone in compliance with the design standards of ~~20.04.030(e)(5)~~~~20.04.030(f)(5)~~. Additionally, two of the following best management practices, including plans for post-installation maintenance of such practices, shall be incorporated into the site design:
 - i. Use of 100 percent native vegetation;
 - ii. Use of permeable pavement for 100 percent of all the on-site parking areas;
 - iii. Biofiltration swales; or
 - iv. 50 percent vegetated roof.

(2) **Adjacent Properties**

Where intermittent or perennial streams are present on adjacent properties, and where required buffer zones for such streams would extend onto the subject property, the buffer zones required by this subsection ~~(e)~~~~(f)~~ shall be established.

(3) **Easements**

All riparian buffer zones required to be preserved subject to this subsection ~~(e)~~~~(f)~~ shall be placed within riparian buffer easements pursuant to the standards of Section 20.05.040 (Easements).

(4) **Graduated Buffer Zones**

All intermittent or perennial streams shall be protected by a riparian buffer composed of three distinct zones. These zones shall be defined as:

(A) **Streamside Zone (Zone 1).**

The primary function of the streamside zone is to ensure stream-bank stabilization.

- (B) **Intermediate Zone (Zone 2)**
The primary function of the intermediate zone is to protect soil particles that trap nutrients and chemicals.
- (C) **Fringe Zone (Zone 3).**
The primary function of the fringe zone is to filter runoff, and to maximize infiltration, water storage, and nutrient absorption.
- (5) **Streamside Zone Design**
The streamside zone (Zone 1) shall be designed as follows:
- (A) **Location**
Immediately adjacent to the stream channel.
- (B) **Buffer Width**
The width of this zone shall be a minimum of 25 feet on each side of the stream, measured from the centerline of the stream.
- (C) **Vegetation Requirements**
All vegetative cover within this zone shall consist of undisturbed, existing vegetation, except that invasive and nonnative plants may be removed with permission from the Planning and Transportation Department. In cases where little or no existing vegetation is present, only native, water tolerant species shall be planted. Acceptable species for planting within buffer zones are listed in Section 20.04.080(d) (Permitted Plant Species). Plant spacing and density for new vegetation within buffer zones shall comply with current preferred practices for each plant type.
- (D) **Disturbance Activities**
Only the following land disturbance activities may be allowed within this zone, subject to approval of the City Planning and Transportation Department:
- i. Utility installation; if no alternative location is available;
 - ii. Street crossings, where necessary to achieve connectivity;
 - iii. Bicycle and/or pedestrian crossings, where necessary to achieve connectivity;
 - iv. Connector path and multi-use trail constructed with a permeable surface.
- (6) **Intermediate Zone Design**
The intermediate zone (Zone 2) shall be designed as follows:
- (A) **Location**
Immediately outside the streamside zone (Zone 1).
- (B) **Buffer Width**
The required width shall be a minimum 25 feet on each side, measured perpendicularly from the outer boundary of Zone 1.

- (B) Temporary vegetation, sufficient to stabilize the soil, may be required on all disturbed areas as needed to prevent soil erosion. New plantings shall be given sufficient water and protection to ensure reestablishment.
- (C) In order to ensure vegetative diversity, a minimum of nine different plant species shall be used within the overall riparian buffer area. At least three of these species shall be trees selected from Section 20.04.080(d) (Permitted Plant Species).
- (D) No alteration to the shoreline or bed of a stream or creek shall be made unless written approval is obtained from the appropriate governmental agencies. Alterations subject to this requirement include, but are not limited to, filling, damming, or dredging of a stream, creek, ditch, or wetland.

(9) Riparian Buffer Maintenance

Management of riparian buffers shall be limited to the minimum necessary, with no alterations of forest understory, except for the removal of nonnative or invasive species. Limited mowing may occur in Zone 3 but shall be prohibited in Zones 1 and 2.

~~(g)~~(f) Karst Geology

(1) Applicability

- (A) This section shall apply to all land-disturbing activities on properties that contain surface and subsurface karst features.
- (B) In the event an undetected karst feature is formed on a developed lot or parcel, the Planning and Transportation Director may authorize emergency remediation measures subject to guidance from the City Senior Environmental Planner.

(2) Adjacent Properties

Where surface or subsurface karst features are present on adjacent properties, and where required conservation areas for such karst features would extend onto the subject property, the buffer zones required by this subsection ~~(f)~~(g) shall be established.

(3) Compound Karst Features

For the purposes of this subsection, compound karst features shall be defined as any two or more karst features where the last closed contour of the features are located within 100 feet of each other. The outer boundary of the compound karst feature shall be drawn by connecting the last closed contour at its widest point of each individual karst feature with a tangential line.

(4) Karst Conservancy Easement (KCE)

All karst features shall be protected by Karst Conservancy Easements (KCE). Such easements shall be established in accordance with the following standards:

- (A) No land-disturbing activity, permanent or temporary structures, or the placement of any fill material shall be allowed within a KCE.
- (B) The outer perimeter of the KCE shall be protected with silt fencing and/or tree protection fencing during the entire period of construction.

- (C) For all individual karst features, the KCE shall encompass the entire feature and all of the area within 25 feet horizontally from the last closed contour line of the feature. The last closed contour line shall be as shown on the City's geographic information system (GIS) using a contour interval of two feet. When the City has reason to doubt the accuracy of the GIS data, the City shall use field verification to determine the location of the last closed contour.
- (D) For all compound karst features, the KCE shall encompass the entire outer boundary of the compound karst feature as defined in ~~20.04.030(f)(3)~~~~20.04.030(g)(3)~~ above and all of the area within 25 feet horizontally from the outer boundary of the compound karst feature.
- (5) **Setback**
No structures shall be located within 10 feet of a Karst Conservancy Easement.
- (6) **Stormwater Discharge**
Stormwater discharge into a karst feature shall not be increased over, or substantially reduced below its pre-development rate.
- (7) **Stormwater Detention**
Karst Conservancy Easements shall not be used for stormwater detention. Drainage shall be designed to route runoff through vegetative filters or other filtration measures before entering a karst feature.
- (8) **Disturbance**
No land-disturbing activity, mowing, or temporary or permanent structure shall be allowed within the sinkhole nor within 25 feet of the last closed contour of the sinkhole.
- (9) **Spring or Cave Entrances**
Spring or cave entrances shall not be modified except for the placement of a gate to prevent human access.

~~(h)~~(g) Wetlands

- (1) **Applicability**
This section shall apply to all land-disturbing activities on properties containing wetlands.
- (2) **Adjacent Properties**
Where wetlands are present on adjacent properties, and where required buffer areas for such wetlands would extend onto the subject property, the buffer zones required by this subsection ~~(g)(h)~~ shall be established.
- (3) **Compliance with Other Regulations Also Required**
In addition to the standards of this UDO, all determined and delineated jurisdictional wetlands subject to disturbance shall be governed by Indiana Department of Natural Resources (DNR), Indiana Department of Environmental Management (IDEM), and Army Corps of Engineers regulations.
- (4) **Disturbance**
No land-disturbing activity, mowing, or temporary or permanent structure shall be allowed within 25 feet of a wetland.

(5) Wetland Conservancy Easement

A wetland buffer area extending 25 feet from a delineated wetland shall be placed within a conservancy easement consistent with the standards of Section 20.05.040 (Easements) and shall be protected with silt fencing, tree protection fencing, or both, during the entire period of construction.

(6) Draining

Draining of a delineated wetland is prohibited.

(7) Stormwater Discharge

Stormwater discharge into a wetland shall not be increased over, or substantially reduced below, its preexisting rate.

(+)(h) Tree and Forest Preservation

(1) Applicability

This section shall apply to all land-disturbing activities on properties containing closed-canopy wooded areas.

(2) Retention of Existing Canopy

The following table shall be used to determine the minimum amount of existing vegetation canopy that must be retained during land-disturbance activity.

Table 04-8: Minimum Required Vegetation Canopy

| Baseline Canopy Cover | Retained Canopy Cover |
|-----------------------|------------------------------|
| 80—100% | 0.50 × Baseline canopy cover |
| 60—79% | 0.60 × Baseline canopy cover |
| 40—59% | 0.70 × Baseline canopy cover |
| 20—39% | 0.80 × Baseline canopy cover |
| 0—19% | 0.90 × Baseline canopy cover |

Example:

For a property of 20 acres with 50 percent canopy cover (i.e., 10 acres), a development would be required to maintain at least seven acres (10 acres × 0.70) of canopy cover.

(3) Preference to Stands of Vegetation

The retention standards outlined above shall be applied to retain high-quality stands of native trees, undisturbed woodlands, and corridors of contiguous vegetation in priority over individual specimen trees, or younger stands of vegetation. No more than 10 percent of the canopy retention standard shall be met by preserving individual trees not included within preferred wooded areas as defined in this subsection (h)(+). Where individual specimen trees are to be preserved, preference shall be given to protecting heritage trees that are of particular value due to their type, size or age.

(4) Smaller Parcels

For parcels of land less than two acres, the preservation standards in Table 04-8: Minimum Required Vegetation Canopy, may be altered by the City Planning and Transportation Director to allow preservation of individual specimen trees or tree lines along property borders in lieu of the minimum required vegetation canopy.

(5) Overlapping Preservation Areas

Where acreage set aside to fulfill the conservation or buffer requirements found in 20.04.030(c), ~~20.04.030(d)~~~~20.04.030(e)~~, ~~20.04.030(f)~~~~20.04.030(g)~~, and ~~20.04.030(g)~~~~20.04.030(h)~~ also meets the requirements for tree and forest preservation under ~~20.04.030(h)(2)~~~~20.04.030(i)(2)~~, such acreage shall be counted toward fulfillment of all applicable requirements.

(6) Conservancy or Tree Preservation Easement

Where contiguous areas of at least 8,712 square feet (0.20 acres) of tree cover are required to be preserved, a conservancy and/or tree preservation easement shall be required per Section 20.05.040 (Easements). The edges of such easements shall be delineated 10 feet beyond the driplines of the trees to be preserved.

(7) Tree Protection During Construction

A tree protection zone shall be installed per Section 20.04.080(c)(3) and inspected by the Planning and Transportation Department prior to any land-disturbing activities. The tree protection zone and the tree protection barrier shall remain undamaged and unmoved during the entire duration of construction. If a petitioner believes the conditions of a tree protection zone cannot be established, they shall contact the Planning and Transportation Department and the Urban Forester in order to develop an individual plan for tree protection.

(j)(i) Lake Watershed Areas

(1) Applicability

This section shall apply to all land-disturbing activities on properties located within the watersheds of Lake Monroe and Griffy Lake as delineated on the City's geographic information system (GIS).

(2) Exception

Single-family, duplex, triplex, fourplex, mobile home, and manufactured home dwellings on existing lots of record shall not be subject to the requirements of this section.

(3) Geotechnical Report

When required by the Planning and Transportation Director, based on potential development impacts, site plans, subdivision plats, and Planned Unit Development plans shall include a report prepared by a geotechnical consultant that addresses soil stabilization, erosion/siltation control and stormwater runoff quality. The geotechnical consultant who prepares the required report shall be a licensed professional engineer.

(4) Site Design

Site design shall locate structures and land-disturbing activities so as to avoid tree concentrations. Streets, parking areas, and building pads shall conform closely to existing contours and minimize grading.

(h) Adjustments to Maximum Parking Allowance

No use shall provide vehicle parking spaces in an amount exceeding the maximum established in Table 04-10: Maximum Vehicle Parking Allowance, unless approved by the City Planning and Transportation Department based on the following:

- (1) The proposed development has unique or unusual characteristics that typically do not apply to comparable developments, uses, or combinations of uses, such as high sales volume per floor area or low parking turnover, that create a parking demand that exceeds the maximum ratio;
- (2) The petitioner submits a parking demand study demonstrating that anticipated off-street vehicle parking demand for the proposed development, use, or combination of uses will be more than that calculated from Table 04-10: Maximum Vehicle Parking Allowance, and the City Planning and Transportation Department determines that the information and assumptions used in the study are reasonable and that the study accurately reflects maximum reasonably anticipated off-street vehicle parking demand for the proposed development, use, or combination of uses; and
- (3) Any parking provided above the maximum required in Table 04-10: Maximum Vehicle Parking Allowance, is constructed in a parking structure or with approved pervious surfaces.

(i) Vehicle Parking Location and Design**(1) Applicability**

The standards in 20.04.060(i) shall apply to all surface and aboveground vehicle parking and maneuvering areas.

(2) Location**(A) Generally**

- i. All parking spaces required to serve buildings or uses erected or established after the effective date of this ordinance shall be located on the same lot as the building or use served, unless otherwise allowed pursuant to 20.04.060(g)(1).
- ii. Parking areas shall be designed to ensure safe and easy ingress, egress, and movement through the interior of the lot.
- ~~iii. For surface parking lots with 100 or more parking spaces, landscaped bioretention areas located below the surface level of the parking spaces, shall be provided on the interior of the parking lot to help direct traffic flow and to provide landscaped areas within such lots.~~
- ~~iv.iii.~~ No park strip shall be used for parking unless otherwise approved by the City Planning and Transportation Department based on considerations of pedestrian and traffic safety, visual appearance, and buffering.
- ~~v.iv.~~ All parking shall comply with parking landscape standards in Section 20.04.080 (Landscaping, Buffering, and Fences).
- ~~vi.v.~~ For single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, Parking shall be prohibited within the setback between the street and the building except on a driveway that meets the provisions of this Section 20.04.060.
- ~~vii.vi.~~ No commercial vehicles or trailers shall be parked overnight at a residence unless that home is occupied by the business owner or employee.

- (B) If the petitioner can provide different acceptable standards based on a professionally recognized source of parking lot design, the City Planning and Transportation Department may approve alternative standards pursuant to the minor modification process outlined in Section 20.06.080(a) (Minor Modification).

(4) Stacked Parking

Stacked parking arrangements are permitted.

(5) Back-out Parking

(A) Generally

All on site vehicle parking areas shall be designed to avoid the need for vehicles to back onto public streets when exiting the parking space, unless otherwise stated in this UDO.

(B) Exceptions

Single-family, duplex, triplex, and fourplex uses in any zoning district shall be permitted to back-out directly onto an alley or a public street, other than an arterial street.

(C) Back-out Parking Waiver

Back-out parking within the required side or rear setback may be allowed onto adjacent alleys subject to the following standards:

- i. The lot in question does not exceed 20,000 feet in area;
- ii. A maximum of eight back-out parking spaces are permitted per site; and
- iii. Parking shall directly access an improved alley.

(6) Stormwater Drainage

~~(A) Parking lots shall be constructed such that all surface water is directed into an approved landscape bumpout, island, or endcap per Section 20.04.080(h)(2) (Landscape Bumpouts, Islands, and Endcaps). Stormwater run-off that cannot be directed into approved landscape bumpouts, islands, or endcaps shall be treated using one or more of the best management practices prescribed in Section 20.04.060(i)(6)(E) or directed into the stormwater drainage system.~~

~~(B)~~(A) Water draining from a parking lot shall not flow across a sidewalk.

~~(C)~~(B) Stormwater drainage plans for off-street parking lots shall be reviewed and approved by the City.

~~(D)~~(C) All parking lots, excluding drives that do not afford direct access to abutting parking spaces, shall have a slope of five percent or less.

~~(E) For all new parking lots containing 12 or more spaces, the following best management practices shall be used to improve stormwater infiltration and water quality:~~

- ~~i. Permeable pavement materials shall be installed. If such materials are the only practice employed from this list, then they shall cover at least 25 percent of the total parking lot area; or~~
- ~~ii. Treatments such as culvert outfalls, bioretention basins, or vegetated swales designed to the specifications of City of Bloomington Utilities shall be installed; or~~

~~iii. Other combinations of best management practices for stormwater infiltration and water quality subject to approval by the City of Bloomington Planning and Transportation and Utilities Departments.~~

(7) **Surface Material**

- (A) Except for dwelling, single family (detached), dwelling, single-family (attached), dwelling, duplex, dwelling, triplex, and dwelling, fourplex residences or as stated in subsection (6) above, or an exception is provided elsewhere in this UDO, all areas used for parking shall be hard surface of concrete, asphalt, brick pavers, or other approved material. Where crushed stone parking surfaces are approved, they shall be contained within a raised, permanent border.
- (B) All new driveway aprons onto a street shall be surfaced with concrete. Enlargement or modification of an existing driveway shall require the driveway apron to be surfaced with concrete, except that the driveway apron for a single-family, duplex, triplex, or fourplex use on a local street may use asphalt or concrete.
- (C) Areas using permeable parking pavers shall not count towards impervious surface calculations.
- (D) Except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, and display areas for vehicle sales and rental uses, all off-street parking spaces shall be striped or otherwise designated to clearly mark each space.
- (E) All driving lanes and parking aisles in parking lots shall be curbed, unless an alternative design allowing for adequate stormwater management is approved.

(8) **Electric Vehicle Charging**

Parking areas with 50 or more parking spaces shall provide a minimum of one parking space dedicated to electric vehicles for every 25 parking spaces provided on site. The provision of three or fewer electric vehicle parking spaces shall not count toward the maximum allowed number of parking spaces. The provision of four or more electric vehicle parking spaces shall count toward the maximum allowed number of parking spaces. The electric vehicle parking space shall be:

- (A) Located on the same lot as the principal use;
- (B) Signed in a clear and conspicuous manner, such as special pavement marking or signage, indicating exclusive availability to electric vehicles; and
- (C) Outfitted with a standard electric vehicle charging station.

(9) **Parking Area Landscaping**

All development shall comply with Section 20.04.080(h).

(10) **Parking Area Lighting**

All development shall comply with Section 20.04.090.

(11) **Pedestrian and Bicycle Circulation**

All development shall comply with Section 20.04.050.

(j) **Loading Area Location and Design**

(1) **Applicability**

This Section 20.04.060(j) shall apply to all loading areas.

(4) Vehicles and Trailers

Except for uses where auto repair is authorized, the parking of vehicles or trailers of any type without current license plates or in an inoperable condition shall be prohibited for periods in excess of 30 days, unless such vehicle or trailer is completely enclosed within a building or within an approved Salvage or Scrap Yard.

(5) Storage, Occupancy, or Similar Uses

Vehicles, campers or tractor/trailers of any type shall not be used for the purpose of storage, occupancy, or similar use.

(o) On-street Parking Standards for Private Streets

The following standards related to on-street parking apply to all developments where the City has approved the use of private streets that have not been dedicated to the City.

(1) No Parking Signs

Any side of a street where parking is not permitted shall be clearly delineated with yellow curbs or no parking signs noting such restrictions.

(2) Bump-outs

(A) Bump-outs may be required at street intersections where on-street parking is used. Where required, bump-outs shall use a six-inch standing curb, unless the City determines that a curb and gutter is required based on considerations of public safety, utility design, or site constraints.

(B) Bump-outs shall be designed to extend a minimum of eight feet from the curb line and may not reduce the travel lane widths below the standards of the Transportation Plan. The City may allow alternative bump-out widths based on considerations of public safety, utility design, or site constraints.

~~(C) Curbing may include cuts for water runoff collection into approved swale or the like to improve water quality.~~

~~(D)~~(C) Bump-outs shall be installed at angles greater than 90 degrees away from the street curb to facilitate street maintenance and shall use designs approved by the Transportation and Traffic Engineer based on considerations of pedestrian and traffic safety and efficient maintenance.

(p) Outdoor Storage**(1)**

In all zoning districts, except for the M1 zoning district, outdoor storage of equipment, materials, waste or scrap materials, and pallets is prohibited. Shipping containers, cargo containers, and portable on-demand storage units may not be used for long-term storage, and may only be located on a lot or parcel:

- (A) To provide storage for construction projects during the period of an approved construction project on the same lot or parcel; or
- (B) During the process of being loaded or unloaded, the duration of which may not exceed 72 consecutive hours.

(C) Vehicular and Pedestrian Movement

Plant materials shall be located to avoid interference with vehicular and pedestrian movement and shall not project over sidewalks, paths, or trails below a height of eight feet. Plant materials shall not project over street curbs or pavement within rights-of-way or access easements below a height of 15 feet.

(D) Vision Clearance

Landscape materials shall be located to avoid interference with visibility per Section 20.04.050(c)(4) (Vision Clearance Triangle).

(E) Green Infrastructure

All green infrastructure facilities, including detention basins, bioswales, and raingardens shall be planted with only native seed and/or plugs.

(F) Installation Prior to Occupancy

All landscaping required by the approved site plan shall be installed and inspected prior to issuance of a recommendation for final occupancy, unless an extension is approved by the Planning and Transportation Department for weather-related or unique circumstances.

(2) Plant Material Standards

(A) Live Plantings

All plant material shall be living and healthy. Dead, ailing, diseased or artificial plants shall not be recognized as contributing to required landscape treatments.

(B) Species Identification

New plantings shall have species identification tags on the plant or paid purchase identification labels on the plants during the final inspection. A receipt with purchase order for plantings may be submitted prior to inspection in lieu of tags or labels on site.

(C) Prohibited Plant Species

Species identified as invasive, detrimental, or noxious shall not be planted under any circumstances and will not be counted toward landscape requirements. Unless specifically approved by the City Urban Forester or Senior Environmental Planner, the use of columnar trees is not allowed.

(D) Species Diversity

- i. On sites that require an aggregate total of 20 or more new trees, any given genus of tree shall be limited to a maximum of 20 percent of the total number of newly planted trees on site.
- ii. Where shrubs are required to be planted, up to 15 percent of the total number of required shrubs may be substituted with perennial forb species, graminoids, or ferns. This does not apply to shrubs required as part of a landscape buffer requirement per Section 20.04.080(g). Any substituted plants used toward parking lot perimeter requirements shall be species that typically grow to be at least four feet in height, and shall be maintained in accordance with Section ~~20.04.120(a)~~20.04.120(b) (Landscaping).

(E) New Planting Sizes

The following minimum sizes shall apply to all required plant material:

i. **Deciduous Trees**

All newly planted deciduous trees shall be at least two-inch caliper.

ii. **Evergreen Trees**

All newly planted evergreen trees shall be at least six feet in height.

iii. **Shrubs**

Shrubs shall be at least three-gallon container size and a minimum of 18 inches in height.

(F) **Substitution**

i. **Public Art**

The Planning and Transportation Department may allow up to five percent of the minimum landscape area requirement to be replaced with public art. Public art shall not replace required buffer yard landscaping as required by Section 20.04.080(g) or required parking lot landscaping required by Section 20.04.080(h) and shall not count towards impervious surface area on the lot.

ii. **Existing Vegetation**

1. The City Planning and Transportation Department may permit the substitution of required on-site landscape excluding street tree requirements with existing vegetation provided that the existing vegetation is in good health and quality and is found on the permitted plant list in this UDO.
2. Vegetation preserved to meet the requirements of Section ~~20.04.030(h)~~~~20.04.030(i)~~, (Tree and Forest Preservation), may be substituted for required landscaping, provided it meets the requirements of Section 20.04.080(c)(2).
3. Existing vegetation listed in Section 20.04.080(d), shall be credited towards required landscaping based on the following values:

[a] **Deciduous Trees**

A credit of one tree per every four inches DBH of an existing qualified deciduous tree is earned. No single existing tree shall count towards more than four individual required trees.

[b] **Evergreen Trees**

A credit of one tree per every 12 feet in height of an existing qualified evergreen tree is earned. No single existing tree shall count towards more than three individual required trees.

[c] **Shrubs**

A credit of one shrub per every one existing qualified shrub is earned.

(G) **Ground Cover**

- i. Except in the PO zoning district, turf grass and other vegetative ground cover shall be used for all landscaped areas, except as listed below. Crushed rock or gravel is not allowed as ground cover.

ii. **Type**

A minimum of 75 percent of the required trees shall be large, canopy trees.

iii. **Location**

Trees shall be planted within 10 feet of the parking lot edge.

(C) **Shrubs**

i. **Number**

Parking lot perimeter areas shall contain a minimum of three shrubs per one parking space.

ii. **Location**

Shrubs shall be planted within five feet of the parking lot edge. In situations where there is a sidewalk immediately adjacent to a parking area, the required shrubs must be within 5' of the edge of the sidewalk.

iii. **Height**

Shrubs planted in parking lot perimeter areas shall be selected from species that grow to a minimum height of four feet.

(2) **Landscape Bumpouts, Islands, and Endcaps**

(A) **Number**

Parking lots with 12 or more parking spaces shall provide one landscape bumpout, island, or endcap per every 10 parking spaces.

(B) **Minimum Area**

The width and length of each required landscape bumpout, island, or endcap shall be equal to the width and length of the adjacent parking space.

(C) **Minimum Planting**

Each landscape bumpout, island, or endcap shall contain at least one large canopy tree and four shrubs or native grasses. Where a bumpout, island, or endcap area is equal to the width and length of two parking spaces, a minimum of two large canopy trees and eight shrubs or native grasses shall be provided. Required trees within bumpouts, islands, or endcaps do not count toward required street tree totals, required parking lot perimeter area tree totals, or required interior plantings tree totals.

(D) **Stormwater Filtration**

Parking lot bumpouts, islands, or endcaps shall be installed ~~lower than the parking surface to allow stormwater run-off to enter the bumpout, island, or endcap for natural treatment and filtration. Any parking areas with curbing shall incorporate gaps to allow stormwater to enter the bumpout, island, or endcap in order to meet Title 13 (Stormwater) of the Bloomington Municipal Code.~~

(E) **Placement**

Landscape bumpouts, islands, or endcaps shall be installed to control vehicular circulation and define major drives. Such islands shall be placed at intervals of no more than 10 consecutive spaces.

- i. One floor of building height, not to exceed 12 feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).
- ii. Projects that qualify for the affordable housing incentives in Section 20.04.110(c) (Affordable Housing) in addition to the sustainable development incentive in 20.04.110(d)(2) shall be eligible for the additional incentive height described in Section 20.04.110(c)(5)(B)iv).

20.04.120 Operation and Maintenance

~~(a)~~ **Siltation and Erosion**

- ~~(1) Sedimentation basins and other control measures necessary to meet the requirements of Section 20.04.030(d) (Siltation and Erosion Prevention) shall be maintained by the property owner during construction.~~
- ~~(2) Any site stabilization measures shall be maintained by the property owner in perpetuity.~~
- ~~(3) Sediment shall be removed to maintain a depth of three feet.~~

~~(b)~~**(a) Landscaping**

Developers and their successors in interest shall be responsible for the regular maintenance of all landscaping elements in perpetuity. Failure to maintain all landscaping is a violation of this UDO. Specifically:

- (1) All plant material, including plant material on vegetated roofs, shall be maintained alive, healthy, and free from disease and pests;
- (2) All landscape structures including, but not limited to, vegetated roof infrastructure, raised landscape planters, fences, and walls shall be repaired or replaced periodically to maintain a structurally sound and aesthetic condition;
- (3) Ground cover shall be maintained in compliance with Title 6 (Health and Sanitation) of the Bloomington Municipal Code; and
- (4) Public sidewalks shall be maintained in compliance with Title 12 (Streets, Sidewalks, and Storm Sewers) of the Bloomington Municipal Code.

~~(c)~~**(b) Outdoor Lighting**

All lighting fixtures that are required to be shielded shall be installed and maintained so that they maintain compliance with all standards for shielded fixtures as specified in this Section 20.04.090 (Outdoor Lighting).

~~(d)~~**(c) Signs**

All signs and components thereof shall be kept in good repair and in safe, clean, neatly painted, and working condition.

20.05.040 Easements

(a) Applicability

All proposed plats submitted for approval under the provisions of this Chapter 20.05: (Subdivision Standards) shall comply with the standards in this Section 20.05.040.

(b) General Standards

- (1) All easements and corresponding utility location plans shall be approved prior to the approval of the plat.
- (2) All necessary easements shall be clearly identified on secondary plats and shall be recorded per processes as defined within Chapter 20.06: (Administration & Procedures), and shall include a definition consistent with Section 20.05.040(e).
- (3) All proposed plats shall clearly identify all existing easements on the property, including dimensions, bearings, and recorded instrument numbers.
- (4) Signs shall not be located within utility easements unless the sign is a public sign authorized by Section 20.04.100(c)(2)(A) (Public Signs), and is further authorized by the city.
- (5) Each easement shall allocate sufficient areas for the utilities, infrastructure, amenities, or features that are the subject of the easement, including but not limited to drainage, utilities, tree preservation, environmental conservation, pedestrian access, vehicular access, and transit facilities, wherever necessary.

(c) Environmental Features

The following environmental features that are determined to not be developable per Section 20.04.030 (Environment) shall be placed within the appropriate easements on the secondary plat or set aside in easements on a deed where no plat is required or proposed, as identified in Section 20.04.030 (Environment).

- (1) All areas of excessive slope as defined in Section 20.04.030(c) (Steep Slopes).
- (2) All karst features and their required buffer zones as defined in Section ~~20.04.030(f)~~20.04.030(g) (Karst Geology).
- (3) All required riparian buffer areas as defined in Section ~~20.04.030(e)~~20.04.030(f) (Riparian Buffers).
- (4) All areas within regulatory floodways and flood fringes as defined in Section 20.04.040 (Floodplain).
- (5) All delineated wetlands and required wetland buffer areas as defined in Section ~~20.04.030(g)~~20.04.030(h) (Wetlands).
- (6) All trees required to be preserved by Section ~~20.04.030(h)~~20.04.030(i) (Tree and Forest Preservation).

(d) Maintenance

- (1) For features required to be in an easement, maintenance shall generally be the responsibility of the lot owner, except as expressly provided otherwise in this UDO or in the development approval.

iii. **Slope**

The man-made slopes within the detention facility shall not exceed a four to one ratio.

iv. **Perimeter Access**

1. A buffer area around the full circumference of the facility of at least 25 feet from the top of bank shall be available as open space.
2. This open space (facility and buffer area) shall be planted and maintained as usable area. This includes use of prairie grasses, native species, native ground cover, or lawn grass. Tree planting shall not be within the basin area or on the slopes of the bank.

(D) **Regulated Floodplain**

The regulated floodplain of any stream, regulated drain, or river shall count toward the open space requirements.

(E) **Other**

Other common areas set aside to meet open space requirements.

(h) **Storm Water**

(1) **Applicability**

All proposed subdivisions submitted for approval, under the provisions of this UDO, shall provide for the collection and management of all surface water drainage.

(2) **Drainage Plan**

All subdivision requests shall include the submittal of a drainage plan to the City Utilities Department, ~~and are subject to the requirements of Title 13 (Stormwater) of the Bloomington Municipal Code.~~ ~~The drainage plan shall include, but not be limited to, the following items:~~

~~Complete grading plan showing all proposed detention and retention facilities, swales, and drainage structures;~~

~~All proposed piping including size and location of proposed stormwater lines, as well as plan and profile drawings for all proposed improvements;~~

~~Complete and accurate stormwater calculations justifying methodology of the drainage plan in compliance with City Utilities Department standards; and~~

~~The finish floor elevation of all proposed structures.~~

~~Stormwater Mitigation Requirements~~

~~Drainage facilities shall be provided to control runoff from all upstream drainage areas and from all areas within the proposed subdivision to a location adequate to receive such runoff. Furthermore, drainage facilities shall:~~

~~Be designed and constructed in accordance with City Utilities Department standards.~~

~~Be durable, easily maintained, retard sedimentation, and retard erosion. Facilities shall not endanger the public health and safety or cause significant damage to property.~~

~~Be sufficient to accept runoff from the site after development and the present water runoff from all areas upstream to achieve discharge rates meeting City Utilities Department standards.~~

~~Provide stormwater runoff quality mitigation in compliance with City Utilities Department standards.~~

(3) **Common Area**

Engineered and built drainage improvements, including but not limited to detention and retention facilities, for subdivisions shall be contained within common areas. Such improvements shall be constructed and maintained according to City Utilities Department standards, ~~and a Facilities Maintenance Plan shall be required pursuant to the Administrative Manual.~~

(4) **Easements**

Features and improvements shall be located within easements where required, in accordance with the Administrative Manual and this UDO.

(i) **Flood Damage Mitigation**

All subdivision proposals shall:

- (1) Be consistent with the need to minimize flood damage.
- (2) Have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
- (3) Have adequate drainage provided to reduce exposure to flood hazards.

(j) **Streets and Rights-of-Way**

(1) **Applicability**

All developments submitted for subdivision approval shall allocate adequate areas for new streets in conformity with this UDO and Transportation Plan.

(2) **Private Streets**

- (A) Unless approved by the Plan Commission and the Board of Public Works, private streets are not permitted. All proposed streets shall have right-of-way dedicated as indicated on the Transportation Plan.
- (B) All private streets shall be constructed to the public street standards established in this UDO and other applicable City standards.

(3) **Dedication of Right-of-Way**

In developments that adjoin or include existing streets that do not conform to the minimum right-of-way dimensions as established in the Transportation Plan, the petitioner shall dedicate additional width along either one or both sides of such streets in order to bring them up to standards.

(4) **Construction and Installation Standards for Streets**

- (A) All street improvements are to be designed, constructed and installed per the City Planning and Transportation Department Standards and Specifications.
- (B) Any new development that includes the construction of a new or widened public street shall be required to install underground telecommunications conduit to extend the City's fiber optic network, known as the Bloomington Digital Underground (BDU). Conduit installation shall be in accordance with BDU specifications and permit requirements of the City of Bloomington. This requirement shall not apply if the Planning and Transportation Director determines that the installation of underground telecommunications conduit is not necessary after review by the City's Director of Information and Technology Services.

- (A) Primary plats;
- (B) Secondary plats;
- (C) Requests for vacation of plats or parts of plats.

(2) **Procedures**

The Plat Committee shall review and hear petitions pursuant to procedures adopted by the Plan Commission by rule.

20.06.030 Summary Table of Review Procedures

Table 06-1 lists the development petitions authorized by this UDO, whether public notice is required, whether pre-submittal activities are required, and the role of City review and decision-making bodies.

Table 06-1: Summary Table of Review Procedures

R = Review and Recommendation D = Decision A = Appeal * = Public Hearing Required

| Procedure | UDO Section | Public Notice | | | Pre-Submittal Activities | | | Review and Decision-Making Bodies | | | | | | |
|-------------------------------------------------|--------------|------------------------------|--------|--------|--------------------------|-------------|----------------------|-----------------------------------|-----------------|----------------|-------------------------|----------------|-----------------|----------------------------------|
| | | Published | Mailed | Posted | Pre-Submittal Meeting | DRC Meeting | Neighborhood Meeting | Staff | Plan Commission | Plat Committee | Board of Zoning Appeals | Common Council | Hearing Officer | Historic Preservation Commission |
| Development Permits and Procedures | | | | | | | | | | | | | | |
| Site Plan Review, Minor | 20.06.050(a) | | | | ✓ | | | D | A | | | | | |
| Site Plan Review, Major | 20.06.050(a) | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | R | D* | | | | | |
| Conditional Use Permit | 20.06.050(b) | ✓ | ✓ | ✓ | ✓ | | | R | | | D*/A | | D* | |
| Demolition Delay Permit | 20.06.050(c) | | | ✓ | ✓ | | | R | | | | | | D |
| Floodplain Development Permit | 20.06.050(d) | | | | | | | D | | | | | | |
| Site Development/Grading Permit | 20.06.050(e) | | | | | | | D | | | | | | |
| Certificate of Zoning Compliance | 20.06.050(f) | | | | | | | D | | | | | | |
| Certificate of Occupancy | 20.06.050(g) | | | | | | | D | | | | | | |
| Certificate of Final Acceptance | 20.06.050(h) | | | | | | | D | | | | | | |
| Certificate of Nonconforming Use | 20.06.050(i) | | | | | | | D | | | | | | |
| Sign Permit | 20.06.050(j) | | | | | | | D | | | | | | |
| Temporary Use Permit | 20.06.050(k) | | | | | | | D | | | | | | |
| Easements | 20.06.050(l) | See 20.06.050(l) (Easements) | | | | | | | | | | | | |
| Subdivision Procedures | | | | | | | | | | | | | | |
| Primary Plat | 20.06.060(b) | ✓ | ✓ | ✓ | ✓ | ✓ | | R | D*/A | D* | | | | |

Table 06-1: Summary Table of Review Procedures

R = Review and Recommendation D = Decision A = Appeal * = Public Hearing Required

| Procedure | UDO Section | Public Notice | | | Pre-Submittal Activities | | | Review and Decision-Making Bodies | | | | | | |
|--------------------------------------------|--------------|---------------|--------|--------|--------------------------|-------------|----------------------|-------------------------------------|-----------------|----------------|-------------------------|----------------|-----------------|----------------------------------|
| | | Published | Mailed | Posted | Pre-Submittal Meeting | DRC Meeting | Neighborhood Meeting | Staff | Plan Commission | Plat Committee | Board of Zoning Appeals | Common Council | Hearing Officer | Historic Preservation Commission |
| Secondary Plat | 20.06.060(c) | | | | | | | R / D | D/A | D | | | | |
| Vacating Plat | 20.06.060(d) | ✓ | ✓ | ✓ | ✓ | ✓ | | R | D*/A | D* | | | | |
| Plan/Ordinance Amendments | | | | | | | | | | | | | | |
| Comprehensive Plan Amendment | 20.06.070(a) | ✓ | | | | | | R | R* | | | D* | | |
| Zoning Map Amendment | 20.06.070(b) | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | R | R* | | | D* | | |
| Rezoning to Planned Unit Development (PUD) | 20.06.070(c) | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | R | R* | | | D* | | |
| Zoning Text Amendment | 20.06.070(d) | ✓ | ✓ | | ✓ | | | R | R* | | | D* | | |
| Flexibility and Relief Procedures | | | | | | | | | | | | | | |
| Minor Modification | 20.06.080(a) | | | | ✓ | | | As required for associated petition | | | | | | |
| Variance | 20.06.080(b) | ✓ | ✓ | ✓ | ✓ | | | R | | | D*/A | | D* | |
| Administrative Interpretation | 20.06.080(c) | | | | | | | D | | | A | | | |
| Administrative Appeal | 20.06.080(d) | ✓ | ✓ | | | | | R | | | D* | | | |

20.06.040 Common Review Procedures

(a) General

- (1) The common review procedures in this Section 20.06.040 provide the foundation for specific review and approval procedures identified in Section 20.06.050 through Section 20.06.080. The common review procedures are illustrated in Figure 06.04-1. Tailored versions of this illustration appear in each of the specific petition types.
- (2) Not all common review procedures apply to every development petition type. Sections 20.06.050 through Section 20.06.080 identify how these common review procedures are applied to specific petition types, and identify additional procedures and requirements beyond the common review procedures.

iv. Creation or expansion of any vehicular parking area.

(B) Activities Exempt from Site Plan Review

Site plan review is not required for the following activities, but such activities shall be subject to the standards of this UDO and building permit review:

- i. Construction of a single-family detached, duplex, triplex, or fourplex dwelling on a single lot, additions to such dwellings, an accessory dwelling unit, and structures accessory to such dwellings; and
- ii. Construction or erection of accessory buildings, fences, hedges, or walls; and
- iii. Interior tenant alterations or improvements that do not increase parking requirements or alter exterior building appearances.
- iv. Projects that fall below the thresholds for minor site plan review in Section 20.06.050(a)(2)(C)i).

~~v. Activities that require a grading permit but do not require any site improvements.~~

(C) Thresholds for Minor and Major Site Plan Review

Site plan review is conducted by the Planning and Transportation Director or the Plan Commission, based on the thresholds below:

i. Minor Site Plan Review

Minor site plan review is required for any of the following activities unless that activity is exempt from the site plan process under Section 20.06.050(a)(2)(B), or the project meets or exceeds the thresholds requiring major site plan review under Section 20.06.050(a)(2)(C)ii:

1. A change in use that involves or requires site improvements;
2. Any expansion, alteration, or modification of a lawful nonconforming site feature or building that meets or exceeds the thresholds established in Section 20.06.090(f)(2) (Limited Compliance), and falls below the thresholds for major site plan review in Section 20.06.050(a)(2)(C)(ii).
3. Development that contains 20,000 square feet or less of new non-residential gross floor area;
4. Development that contains 50 dwelling units or less;
5. The alteration of any vehicular parking area;
6. Petitions for a site development grading permit ~~where site improvements are required~~; or
7. Projects that qualify for affordable housing incentives and/or sustainable development incentives established in Section 20.04.110 (Incentives), provided that, if located adjacent to one or more lots in an R1, R2, R3, or R4 district or such project does not contain more than 75 dwelling units.

ii. Major Site Plan Review

Major site plan approval is required for any project that meets or exceeds the following criteria, unless otherwise exempted from site plan review under Section 20.06.050(a)(2)(B):

(C) **Staff Review and Action**

i. **Generally**

1. The Planning and Transportation Director shall review the minor site plan petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(d) (Staff Review and Action), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).
2. Alternatively, the Planning and Transportation Director may refer the petition to the Plan Commission pursuant to Section 20.06.040(d)(2) (Petition Routing).

ii. **Commitments**

The Planning and Transportation Director may allow or require the owner of a parcel of real property to make a written commitment concerning use and/or development of that parcel in connection with approval of a site plan pursuant to Section 20.06.040(d)(8) (Commitments).

iii. **Additional Review for Drainage and Floodplain**

Any projects that are determined by the Planning and Transportation Department to be located within an identified floodway, flood fringe, or within the floodplain shall also meet the criteria in Section 20.04.040 (Floodplain).

(D) **Post-Decision Actions and Limitations**

Post-decision actions and limitations in Section 20.06.040(h) shall apply with the following modifications:

i. **Notification of Findings**

The Planning and Transportation Director shall make and sign written findings concerning each decision to approve or disapprove a minor site plan, and such written findings shall be made available to the petitioner.

ii. **Expiration of Approval**

Approval of a minor site plan shall be effective for a maximum period of one year unless, upon petition by the petitioner, the Planning and Transportation Director grants an extension during that one year period and pursuant to Section 20.06.040(h)(1) (Expiration of Approval). A site plan approval will be considered expired if no Site Development Permit has been approved related to the site plan within the one year period or the approved extended time period. Or, in the case where no Site Development Permit is required, no Certificate of Zoning Compliance for a building permit on the site plan has been approved related to the approval within the one year period, or the approved extended time period.

iii. **Modification or Amendment of Approval**

An approved minor site plan may be modified or amended in accordance with Section 20.06.040(h)(3) (Modification or Amendment of Approval).

(D) Scheduling and Notice of Public Hearings

The major site plan petition shall be scheduled for a public hearing before the Plan Commission and noticed in accordance with 20.06.040(e) (Scheduling and Notice of Public Hearings).

(E) Review and Decision

i. Generally

The Plan Commission shall review the major site plan petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).

ii. Commitments

The Plan Commission may allow or require the owner of a parcel of real property to make a written commitment concerning use and/or development of that parcel in connection with approval of a site plan pursuant to Section 20.06.040(d)(8) (Commitments).

iii. Additional Review for Drainage and Floodplain

Any projects that are determined by the Planning and Transportation Department to be located within an identified floodway, flood fringe, or within the floodplain shall also meet the criteria in Section 20.04.040 (Floodplain).

(F) Post-Decision Actions and Limitations

Post-decision actions and limitations in Section 20.06.040(h) shall apply with the following modifications:

i. Notification of Findings

The Plan Commission shall make written findings concerning each decision to approve or disapprove a major site plan, and such findings shall be made available to the petitioner.

ii. Expiration of Approval

Approval of a major site plan shall be effective for a maximum period of one year unless, upon petition by the petitioner, the Plan Commission grants an extension during that one year period and pursuant to Section 20.06.040(h)(1) (Expiration of Approval). A site plan approval will be considered expired if no Site Development Grading Permit has been approved related to the site plan within the one year period or the approved extended time period. Or, in the case where no Site Development Grading Permit is required, no Certificate of Zoning Compliance for a building permit on the site plan has been approved related to the approval within the one year period, or the approved extended time period.

iii. Modification or Amendment of Approval

An approved major site plan may be modified or amended in accordance with Section 20.06.040(h)(3) (Modification or Amendment of Approval).

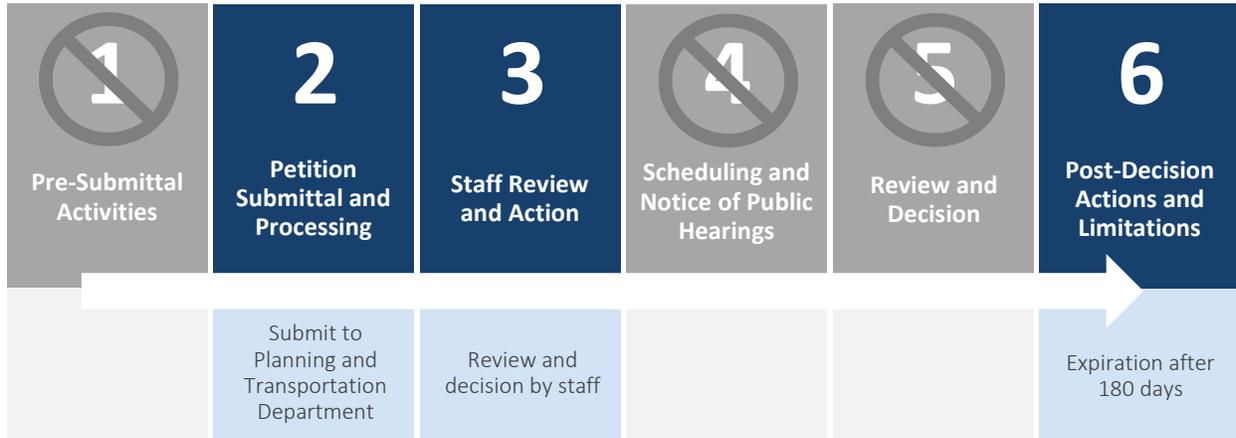
(2) Applicability

- (A) No development shall occur in any special flood hazard area (SFHA) and known flood prone areas, unless a required stormwater management grading permit per Title 13 (Stormwater) of the Bloomington Municipal Code for such activity has been issued. In cases where a stormwater management permit is not required, no development shall occur unless a site development permit has been issued.
- (B) Compliance with the standards in this UDO shall not relieve any person of the independent obligation to comply with all applicable standards and practices established in federal and state law and all other applicable rules, regulations, standards and specifications of the City regarding development within a floodplain.

(3) Floodplain development permit Review Process

Figure 06.05-6 identifies the applicable steps from 20.06.040 (Common Review Procedures) that apply to floodplain development permit review. Additions or modifications to the common review procedures are noted below.

Figure 06.05-5: Summary of Floodplain development permit Procedure



(A) Petition Submittal and Processing

The floodplain development permit petition shall be submitted, accepted, and revised, and may be withdrawn, in accordance with Section 20.06.040(c) (Petition Submittal and Processing) with the following modifications:

i. Petition Submittal Requirements

The petition shall include, but not be limited to, the following documents:

1. A description of the proposed development;
2. Location of the proposed development sufficient to accurately locate property and structure(s) in relation to existing roads and streams;
3. A legal description of the property site;
4. A site development plan showing existing and proposed development locations and existing and proposed land grades;
5. Elevation of the top of the planned lowest floor (including basement) of all proposed buildings. Elevation should be in NAVD 88 or NGVD;

iv. **Revocation of Permits**

1. The Floodplain Administrator may revoke a permit or approval, issued under the provisions of this UDO, in cases where there has been any false statement or misrepresentation as to the material fact in the application or plans on which the permit or approval was based.
2. The Floodplain Administrator may revoke a permit upon determination that the construction, erection, alteration, repair, moving, demolition, installation, or replacement of the structure for which the permit was issued is in violation of, or not in conformity with, the provisions of this UDO.

(e) **Site Development Grading Permit**

(1) **Purpose**

The site development grading permit procedure is intended to ~~mitigate the environmental impact of site development and to protect the water quality of the City of Bloomington, Monroe County, and surrounding areas, and to~~ provide a mechanism to ensure compliance with this UDO by providing a thorough permitting and inspection process for all site development grading activities.

(2) **Applicability**

No site development ~~land-disturbing~~ activity shall occur on platted or unplatted lands in any zoning district, unless a site development grading permit for such activity has been issued.

(A) **Exemptions**

- ~~i. Land-disturbing activity covering an area less than 2,500 square feet;~~
- i. Site development ~~land-disturbing~~ activity on lots containing the uses: dwelling, single-family (attached); dwelling, single-family (detached); dwelling, duplex; dwelling, triplex; or dwelling, fourplex.
- ii. Site development activity containing only new buildings or changes, alterations, or additions to an existing building, with no additional improvements required.
- iii. Site development activity containing only new signs, or changes, alterations, or additions to a sign.
- ~~ii.iv. Site development activity containing related to an approved temporary use. Land-disturbing activity solely for new foundations for buildings or additions with a footprint of 5,000 square feet or less.~~

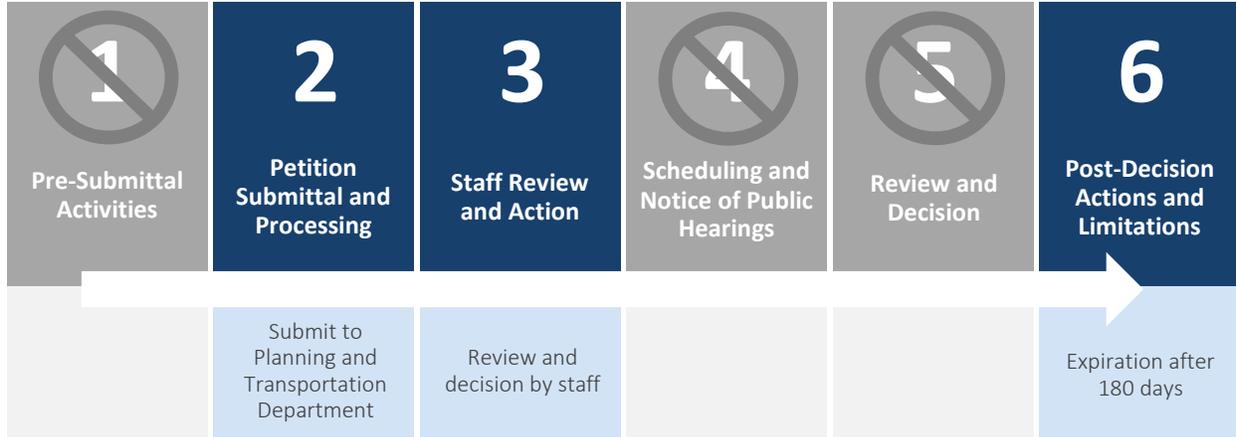
(B) **Additional Requirements**

~~Compliance with the standards in this UDO shall not relieve any person of the independent obligation to comply with all applicable standards and practices set out in Indiana Administrative Code, 327 IAC 15-5, and 327 IAC 15-13, regarding stormwater runoff associated with construction activity; the Indiana Stormwater Quality Manual developed by the Indiana Department of Environmental Management; all applicable provisions of Title 10 (Wastewater) of the Bloomington Municipal Code regarding stormwater runoff; and all applicable rules, regulations, standards and specifications of the City Utilities Department regarding stormwater management practices.~~

(3) **Site Development Grading Permit Review Process**

Figure 06.05-6 identifies the applicable steps from 20.06.040 (Common Review Procedures) that apply to site development grading permit review. Additions or modifications to the common review procedures are noted below.

Figure 06.05-6: Summary of Site Development Grading Permit Procedure



(A) **Petition Submittal and Processing**

The site development grading permit petition shall be submitted, accepted, and revised, and may be withdrawn, in accordance with Section 20.06.040(c) (Petition Submittal and Processing) with the following modifications:

i. **Petition Submittal Requirements**

The petition shall include, but not be limited to, the following documents:

1. Verification of site plan approval when such approval is required;
- ~~2. Construction plan including all proposed site improvements;~~
- ~~2. Estimate prepared by a licensed engineer of erosion control features for erosion control measures based on fair market price;~~
3. Topography of the site - proposed and existing two-foot contours;
4. Identification of environmental features, including but not limited to karst, water, trees, and steep slopes.

(B) **Staff Review and Action**

The planning and transportation staff shall review the site development grading permit petition and approve, approve with conditions, or deny the petition within 20 working days of the receipt of a complete petition and all supportive documents in accordance with Section 20.06.040(d) (Staff Review and Action), based on the general approval criteria in 20.06.040(d)(6)(B) (General Compliance Criteria) and the following specific approval criteria.

i. Construction Plan

~~The construction plans shall include all required and proposed environmental protections including but not limited to: tree protection zones, easements and setbacks from environmental features and conservation areas; as well as all required and proposed site improvements. The requirements are further detailed in the Administrative Manual. As required by Title 10 (Wastewater), of the Bloomington Municipal Code, a construction plan including the stormwater pollution prevention plan for the site shall be approved by the appropriate local, state, and federal authorities prior to the issuance of a grading permit.~~

ii. Planned Unit Development Approval

An approved final plan shall be in place prior to the issuance of a grading permit.

iii. Stormwater Permit

~~If required by Title 13 (Stormwater) in the Bloomington Municipal Code, petitioner must submit an application for a stormwater management permit to the City of Bloomington Utilities Department at the time of application for the site development permit.~~

(C) Post-Decision Actions and Limitations

Post-decision actions and limitations in Section 20.06.040(h) shall apply with the following modifications:

i. Duration

- ~~1. Site development~~Grading permits shall be valid for a period of 180 days, as measured from the date on the certificate of zoning compliance or run concurrently with the building permit or other construction authorizations, whichever is longer.
- At the written request of the petitioner, the city may extend the period one or more times for up to a maximum of an additional 180 days. ~~The city may require additional erosion control measures as a condition of the extension if they are necessary to meet the requirements of this UDO.~~

ii. Changes or Amendments

- The petitioner may submit revisions or amendments to an approved site development~~grading~~ permit for consideration by the local, state, and federal authorities having jurisdiction. A revision or amendment to an approved site development~~grading~~ permit shall only be authorized upon review and approval by all the local, state, and federal authorities having jurisdiction.
- Changes to the site development~~grading~~ permit shall be approved in writing.

~~iii. Financial Bond Required~~

- ~~1. In conjunction with the approval of grading permit, the petitioner shall provide a financial guarantee for erosion control measures, by performance bond or an irrevocable, unconditional, acceptable letter of credit issued by a financial institution acceptable to the City, that all erosion control measures required under the provisions of this UDO and Planning and Transportation Department requirements shall be completed.~~

- ~~2. If the City draws on the erosion control bond to stabilize and reestablish the site, either the erosion control estimate prepared by the licensed engineer or the documented actual dollar per acre amount for reestablishment of the site, whichever is greater, shall be used.~~
- ~~3. The posting of a performance guarantee is not required when the petitioner is the City of Bloomington.~~

(f) Certificate of Zoning Compliance

(1) Purpose

The Certificate of Zoning Compliance procedure is intended to provide a mechanism for City staff to ensure that the establishment of and alterations to uses, sites, and structures conform to the standards of this UDO.

(2) Applicability

(A) Generally

- i. A Certificate of Zoning Compliance shall be required for any of the following activities:
 1. Alteration, erection, construction, reconstruction, division, enlargement, demolition, partial demolition or moving of any building, structure, sign, or mobile home;
 2. Establishment of a use or change in use to another use (see Section 20.06.090(c)(2) (Change in Use));
 3. Enlargement in the area used for any use or relocation of a use to another portion of a lot, site, or building;
 4. ~~Site Grading, development~~, improvement, or other alteration of land, including paving or the establishment of drives or parking areas, or any other land distributing activity.
 5. Tree removal requests that decrease the baseline canopy cover shall follow the procedures outlined in Section 20.06.050(a) (Site Plan Review), and shall comply with the requirements of Section ~~20.04.030(h)~~~~20.04.030(i)~~ (Tree and Forest Preservation).
 6. Any action that would result in partial or complete demolition of any exterior portion of a building or structure that is listed as "Outstanding," "Notable," or "Contributing" on the City of Bloomington Survey of Historic Sites and Structures as the same may be amended or replaced ("Historic Survey"). Such action shall be subject to the procedures outlined in Section 20.06.050(c) (Demolition Delay Permit). An accessory building or structure not attached to the principal building or structure upon the listed parcel shall not be considered "listed" within the meaning of this UDO unless the accessory building or structure is of the same era of construction as the principal building or structure, as determined by the staff. Such determination shall be based upon resources that may include but shall not be limited to Sanborn Company Fire Insurance maps, visual inspection of the accessory building or structure, and records and expertise of Historic Preservation Commission or its staff.

1. Construction under a valid site development grading permit or building permit has commenced and is ongoing; or
2. Upon petition, the Planning and Transportation Director grants an extension pursuant to Section 20.06.040(h)(1) (Expiration of Approval).

(g) Certificate of Occupancy

(1) Purpose

The Certificate of Occupancy procedure is intended to provide a mechanism for City staff to ensure that the establishment of and alterations to uses, sites, and structures conform to the standards of this UDO.

(2) Applicability

(A) Generally

A Certificate of Occupancy shall be obtained prior to a building or structure being occupied or used in each of the following situations, except for detached single-family dwellings:

- i. Occupancy or use of any new building or structure;
- ii. Re-use or re-occupancy of any existing building or structure that requires either a permit from the County Building Department or a Certificate of Zoning Compliance from the Planning and Transportation Department;
- iii. Addition to any existing building or structure. Parts of the existing building or structure not included in the addition may continue to be occupied or used.

(B) Certificate of Occupancy Required

If a certificate of occupancy is required pursuant to subsection (A) above, it is unlawful and a violation of this UDO for anyone to occupy or use a building or structure, or to cause, suffer or permit another to occupy or use a building or structure, until a temporary or final Certificate of Occupancy has been granted. Any violation of this provision shall be subject to a stop work order, mitigation, and/or fines and penalties as specified in Section 20.06.100 (Enforcement and Penalties).

(3) Certificate of Occupancy Review Process

- iii. More than a 10 percent change to the proportion of housing types;
- iv. Substantial increase in the building envelope;
- v. More than a one percent reduction of proposed open space;
- vi. Changes in functional uses of open space, where such change constitutes an intensification of open space usage;
- vii. Substantial change in the ratio of off-street parking spaces to use;
- viii. Substantial changes in standards, continuity, or general location of roads, utilities, or stormwater management features; or
- ix. Substantive changes in the covenants, conditions and restrictions, or other governing agreements, that affect any matter regulated by this UDO.

ii. **Final Plan**

1. **Effect of Approval**

- [a] No permit of any kind shall be issued for any purpose within a Planned Unit Development zoning district except in accordance with the approved final plan. Any material deviation from the final plan is subject to appropriate enforcement action.
- [b] No permit of any kind shall be issued until the final plan has been approved.

2. **Duration**

[a] **Abandonment**

The final plan shall be considered abandoned if no [site development/grading](#) permits or building permits have been obtained and are still valid for the area contained in the final plan within three years after final plan approval has been granted, or if such permits have been obtained but are no longer valid per the terms of this UDO.

[b] **Extension**

An extension, not to exceed 12 months, may be granted by the Plan Commission for good cause shown. The Plan Commission may grant one 12-month extension.

3. **Changes or Amendments**

[a] **Minor Changes**

The Planning and Transportation Director may approve minor changes to an approved final plan, if the changes do not change the concept or intent of the development, without a public hearing or public notice as authorized by rule of the Plan Commission. Such decisions shall be subject to appeal pursuant to Section 20.06.070(c)(3)(E)ii.4). This shall include the following:

- i. Minor changes in the location and siting of buildings and structures;
- ii. Changes in height of less than one story, but not over eight feet in any case;

- [h] The safety of access to the property in times of flood for ordinary and emergency vehicles.
- [i] The expected height, velocity, duration, rate of rise, and sediment of transport of the floodwaters at the site.
- [j] The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.

2. **Review Criteria**

The Board of Zoning Appeals or the Hearing Officer may grant a floodplain variance if, after a public hearing, it makes findings of fact in writing, that there is:

- [a] A showing of good and sufficient cause;
- [b] A determination that failure to grant the variance would result in exceptional hardship;
- [c] A determination that the variance is the minimum necessary, considering the flood hazard, to afford relief; and
- [d] A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud or victimization of the public, or conflict with existing laws or ordinances;

iii. **Commitments**

1. The Board of Zoning Appeals or the Hearing Officer may allow or require the owner of a parcel of real property to make a written and recorded zoning commitment concerning use and/or development of that parcel in connection with approval of a variance pursuant to Section 20.06.040(d)(8) (Commitments).
2. Upon approval of a determinate sidewalk variance, the Planning and Transportation Department staff shall prepare a zoning commitment indicating that the determinate sidewalk variance was approved, and that future installation of sidewalk may be required. The petitioner shall record the zoning commitment in the Monroe Office of the Monroe County Recorder before a certificate of zoning compliance is issued.
3. If the owner of a parcel of real estate fails to accept a condition imposed, or to make a commitment allowed or required, by the Hearing Officer, then the owner's petition shall be considered withdrawn or, if requested by the owner, shall be transferred to the Board of Zoning Appeals.

(F) **Post-Decision Actions and Limitations**

i. **Effect of Approval**

1. The granting of a variance from the development standards authorizes the development and establishes the terms of use.
2. Variances are also subject to site plan requirements, all necessary permits and approvals, and other applicable requirements. All required permits shall be obtained before any site developmentgrading, construction, or use commences.

- (2) Any violation as defined herein is hereby declared a common and public nuisance, and any person who is a responsible party as defined in Section 20.06.100(e) with respect to such violation shall, in addition to any other penalty or remedy provided herein, be liable for maintaining a common and public nuisance.
- (3) Any violation shall be subject to the penalties and remedies provided in this Section 20.06.100, and the City shall have recourse to any remedy available in law or equity.
- (4) Each day that any violation continues shall be considered a separate violation for purposes of the penalties and remedies specified in this chapter. A violation continues to exist until corrected. Correction includes, but is not limited to:
 - (A) Cessation of an unlawful practice;
 - (B) Removal of a building, structure, or other improvement;
 - (C) Faithful or otherwise-approved restoration or replacement of a building, structure, site or natural feature;
 - (D) Any other remedy specified in this UDO; and/or
 - (E) Other remedy acceptable to the City.
- (5) The City Legal Department may institute appropriate action to impose and collect fines and/or other penalties; to enforce or defend any action taken pursuant to Section 20.06.100(e)(5); and to prevent, enjoin, abate, remove or correct any violation of or noncompliance with this UDO or any condition, requirement, or commitment established in connection with this UDO or any development approval hereunder.
- (6) In addition to all other penalties and remedies provided for herein, if a building or structure is demolished (which shall include partial demolition) in violation of Section 20.06.050(c) (Demolition Delay Permit), then, for a period of two years following such demolition, no new certificate of zoning compliance authorizing any use or any release of a building or demolition permit shall be issued for any activity upon the lot of record upon which the building or structure was located, or any adjoining lot of record under common ownership or control, except for an approved restoration or replacement of the demolished building or structure, or as otherwise agreed to by the City or ordered by the Court in enforcement proceedings. The Planning and Transportation Director shall be authorized to execute and record in the Office of the Monroe County Recorder a sworn statement containing these restrictions upon the properties affected thereby.
- (7) In addition to all other penalties and remedies provided for herein, where the violation is removal of one or more trees contrary to Section ~~20.04.030(h)~~20.04.030(i) (Tree and Forest Preservation), the responsible party shall be required to meet the following requirements:
 - (A) Replace the removed trees with healthy trees of similar species.
 - i. The aggregate caliper of replacement trees shall equal the aggregate caliper of removed trees. Determination of total caliper to be replaced shall be made by the Planning and Transportation Director.
 - ii. The size of replacement trees shall be the largest reasonably available which can either be planted or transplanted from another location.



MEMO FROM COUNCIL OFFICE:

To: Members of the Common Council

From: Ash Kulak, Interim Council Administrator/Attorney

Date: August 30, 2024

Re: Appropriation Ordinance 2024-03 - To Additionally Appropriate From the Public Works General Fund for Personnel Expenditures; and Appropriation Ordinance 2024-04 - To Additionally Appropriate From the Public Works General Fund for Debris Removal

Background

This memo addresses two appropriation ordinances brought forward by the administration that would appropriate funds from the Public Works General Fund for two different reasons. To avoid a division of the question, the administration is bringing them forth in two different appropriation ordinances.

Synopses

Appropriation Ordinance 2024-03: This appropriation ordinance funds the position authorized in Ordinance 2024-10 to add a Facilities Asset and Operations Coordinator.

Appropriation Ordinance 2024-04: On June 25, 2024 the City of Bloomington was struck by a super-cell storm and incurred costs to a third-party hired to perform debris clean-up and removal. The Public Works Department is requesting an additional appropriation to cover the cost paid to the third-party vendor.

Relevant Materials

- Staff Memo from Corporation Counsel Margie Rice
- Appropriation Ordinance 2024-03 and Appropriation Ordinance 2024-04

Summary

Appropriation Ordinance 2024-03 would appropriate additional money from the Public Works General Fund for personnel expenditures in order to fund the additional position that was included in an amended salary ordinance, Ordinance 2024-10, which was passed at the May 8, 2024 Regular Session.

Appropriation Ordinance 2024-04 would appropriate money from the same fund in order to pay for tree debris cleanup and removal following [a supercell storm](#) that hit the city on June 25, 2024. The Public Works Department is requesting an additional appropriation to cover the cost paid to a third party vendor to accomplish the clean-up.

[Indiana Code 36-4-7-8](#) provides that the legislative body may, on the recommendation of the city executive, make further or additional appropriations by ordinance, as long as the result does not increase the City's tax levy that was set as part of the annual budgeting process. The additional appropriations requested by Appropriation Ordinance 2024-03 and Appropriation Ordinance 2024-04 should not result in such an increase to the City's tax levy.



City of Bloomington Indiana

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Office of the Common Council | (812) 349-3409 | Fax: (812) 349-3570 | email: council@bloomington.in.gov

[Indiana Code 6-1.1-17-3](#) requires a public hearing to be held before additional appropriations can be made, with a notice to taxpayers sent out at least ten (10) days before the public hearing. The public hearing for this appropriation ordinance is set for the Regular Session on September 18, 2024.

Contacts

Jessica McClellan, Controller, 812-349-3412, jessica.mcclellan@bloomington.in.gov

Margie Rice, Corporation Counsel, 812-349-3426, margie.rice@bloomington.in.gov

Adam Wason, Director, Public Works, 812-349-3410, wasona@bloomington.in.gov



Memorandum

TO: Members of the City of Bloomington Common Council (“Council”)
FROM: Margie Rice, Corporation Counsel
CC: Kerry Thomson, Mayor
Gretchen Knapp, Deputy Mayor
Jessica McClellan, City Controller
Adam Wason, Public Works Director
Council Staff
RE: Appropriation Ordinances 24-03 and 24-04
DATE: July 26, 2024

Summary

Circumstances have arisen requiring Public Works to need additional funds appropriated for both Personnel expenses (Category 1) and for Services (Category 3). As such, Legal has prepared Ordinances 24-03 and 24-04 and requests the approval of the Common Council of the City of Bloomington (“Council”).

PERSONNEL – Category 1

Public Works now employs a Facilities Operations and Asset Specialist. This is a new position in 2024, and it was previously authorized by the Council; however, the funding was not put in place at that time. There is an employee in place, and in order to cover payroll expense for the remainder of the year and additional \$72,000 is necessary.

OTHER SERVICES AND CHARGES – Category 3

Bloomington saw one of its worst storms on June 25, 2024, resulting in substantial damage to private and public trees caused by strong winds. Almost immediately, members of the public began asking if the City would be able to assist in picking up, at their curbs, debris left on their properties caused by the storm. In order to be responsive to City residents and to assist the City with its own clean-up and removal of debris, the City utilized a special purchasing provision under Indiana Code 36-4-8-14 and Bloomington Municipal Code 2.26.085 to address these immediate and emergent needs. The City hired a third-party vendor to assist them. This appropriation is requested to pay the vendor and to supplement the Public Works’ budget, as they incurred additional expenses that were not anticipated in 2024.

APPROPRIATION ORDINANCE 2024-03

**TO ADDITIONALLY APPROPRIATE FROM THE PUBLIC WORKS
GENERAL FUND FOR PERSONNEL EXPENDITURES**

WHEREAS, Salary Ordinance 23-25 was amended by the Ordinance 2024-10 to add a Facilities Asset and Operations Coordinator; and

WHEREAS, the Director of the City of Bloomington Public Works Department was authorized to hire a Facilities Operations and Asset Specialist; and

WHEREAS, the City of Bloomington Administration (“City”) has determined that additional funds must be appropriated in order to fully fund this position in 2024; and

WHEREAS, the Common Council of the City of Bloomington (“Council”) is empowered to authorize an additional appropriation; and

WHEREAS, notice of a hearing on said appropriation has been duly given by publication as required by law, and the hearing on said appropriation has been held, at which all taxpayers and other interested persons had an opportunity to appear and express their views as to such appropriation; and

WHEREAS, the Council now finds that all conditions precedent to the adoption of an ordinance authorizing an additional appropriation of the City have been complied with in accordance to Indiana law;

NOW THEREFORE, BE IT HEREBY ORDAINED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, MONROE COUNTY, INDIANA THAT:

SECTION 1: For the expenses of the City the following additional sums of money are hereby additionally appropriated and ordered set apart from the funds herein named and for the purposes herein specified, subject to the laws governing the same:

General Fund 101-19 - Public Works - Facilities

| | |
|---------------------------------------------|-----------|
| Classification – 1 Personnel | \$ 72,000 |
| Total General Fund – Facilities Maintenance | \$ 72,000 |

PASSED by the Common Council of the City of Bloomington, Monroe County, Indiana, upon this ____ day of _____, 2024.

Isabel Piedmont-Smith, President
Bloomington Common Council

ATTEST:

NICOLE BOLDEN, Clerk
City of Bloomington

PRESENTED by me to the Mayor of the City of Bloomington, Monroe County, Indiana,
upon this ____ day of _____, 2024.

NICOLE BOLDEN, Clerk
City of Bloomington

SIGNED and APPROVED by me upon this ____ day of _____, 2024.

KERRY THOMSON, Mayor
City of Bloomington

SYNOPSIS

This appropriation ordinance funds the position authorized in Ordinance 2024-10 to add a
Facilities Asset and Operations Coordinator.

APPROPRIATION ORDINANCE 2024-04

**TO ADDITIONALLY APPROPRIATE FROM THE PUBLIC WORKS
GENERAL FUND FOR DEBRIS REMOVAL**

WHEREAS, the Public Works Department desires to transfer funds from the General Fund into its budget for expenditures not included in the 2024 adopted budget; and

WHEREAS, on June 25, 2024 the City of Bloomington (“City”) incurred unanticipated costs related to payment to a third-party for tree debris clean-up and removal due to a super-cell event that struck Bloomington; and

WHEREAS, the Common Council of the City of Bloomington (“Council”) is empowered to authorize an additional appropriation; and

WHEREAS, notice of a hearing on said appropriation has been duly given by publication as required by law, and the hearing on said appropriation has been held, at which all taxpayers and other interested persons had an opportunity to appear and express their views as to such appropriation; and

WHEREAS, the Common Council now finds that all conditions precedent to the adoption of an ordinance authorizing an additional appropriation of the City have been complied with in accordance with Indiana law;

NOW, THEREFORE, BE IT HEREBY ORDAINED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, MONROE COUNTY, INDIANA, THAT:

SECTION 1. For the expenses of said Municipal Corporation the following additional sums of money are hereby appropriated and ordered set apart from the funds herein named and for the purposes herein specified, subject to the laws governing the same:

General Fund 101-02 - Public Works Administration

| | |
|--------------------------------------------------|-----------|
| Classification - 3 Services and Charges | \$500,000 |
| Total General Fund - Public Works Administration | \$500,000 |

PASSED by the Common Council of the City of Bloomington, Monroe County, Indiana, upon this _____ day of _____, 2024.

Isabel Piedmont-Smith, President
Bloomington Common Council

ATTEST:

NICOLE BOLDEN, Clerk
City of Bloomington

PRESENTED by me to the Mayor of the City of Bloomington, Monroe County, Indiana,
upon this _____ day of _____, 2024.

NICOLE BOLDEN, Clerk
City of Bloomington

SIGNED and APPROVED by me upon this _____ day of _____, 2024.

KERRY THOMSON, Mayor
City of Bloomington

SYNOPSIS

On June 25, 2024 the City of Bloomington was struck by a super-cell storm and incurred costs to a third-party hired to perform debris clean-up and removal. The Public Works Department is requesting an additional appropriation to cover the cost paid to the third-party vendor.