

CITY OF BLOOMINGTON



June 26, 2025 @ 5:30 p.m.
City Hall, 401 N. Morton Street
Common Council Chambers, Room #115

<https://bloomington.zoom.us/j/82448983657?pwd=enJxcnArK1pLVDI nWGROTU43dEpXdz09>

Meeting ID: 824 4898 3657
Passcode: 319455

**CITY OF BLOOMINGTON
BOARD OF ZONING APPEALS (Hybrid Meeting)
June 26, 2025 at 5:30 p.m.**

**City Hall, 401 N. Morton Street
Common Council Chambers, Room #115 and via Zoom**

❖Virtual Meeting: <https://bton.in/Zoom>

Meeting ID: 824 4898 3657 Passcode: 319455

Petition Map: <https://bton.in/G6BiA>

ROLL CALL

APPROVAL OF MINUTES: May 22, 2025

PETITIONS CONTINUED TO: July 24, 2025

AA-17-22	<p>Joe Kemp Construction, LLC & Blackwell Construction, Inc. Summit Woods (Sudbury Farm Parcel O) W. Ezekiel Dr. Parcel(s): 53-08-07-400-008.002-009, 53-08-07-400-008.004-009... Request: Administrative Appeal of the Notice of Violation (NOV) issued March 25, 2022. <u>Case Manager: Jackie Scanlan</u></p>
CU-33-24/ USE2024-11-0068	<p>Hat Rentals, LLC 202 N. Walnut Street Parcel: 53-05-33-310-028.000-005 Request: Request for conditional use approval of "student housing or dormitory" to allow one four-bedroom unit in the Mixed-Use Downtown (MD) zoning district. <u>Case Manager: Jackie Scanlan</u></p>
V-13-25/ VAR2025-03-0063	<p>Carolina Lopes 4216 E. Penn Court Parcel: 53-05-36-302-045.000-005 Request: Variance from Fence Height standards to allow a six-foot tall fence along the front east side of the property located in the Residential Medium Lot (R2) zoning district. <u>Case Manager: Joe Patterson</u></p>
V-22-25/ ZR2025-06-0075	<p>Autovest, LLC 2130 S. Walnut Street</p>

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or E-mail human.rights@bloomington.in.gov.

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact Melissa Hirtzel at hirtzelm@bloomington.in.gov and provide your name, contact information, and a link to or description of the document or web page you are having problems with.

Parcel: 53-08-09-301-005.000-009
 Request: Variance from front parking setback requirements and landscaping standards to allow the expansion of a vehicle display area for the use "Vehicle sales or rental" in the Mixed-Use Corridor (MC) zoning district. Case Manager: Eric Greulich

PETITIONS:

V-11-25/ VAR2025-03-0065

Smith and Hays Properties, LLC

300 W. 6th Street

Parcel: 53-05-33-310-263.000-005

Request: Variance from use specific standards to allow ground floor dwelling units within 20' of the first floor façade within the Mixed-Use Downtown in the Downtown Core Overlay (MD-DCO). Case Manager: Eric Greulich

V-19-25/ ZR2025-05-0072

Lance and Gretchen Weidner

1215 N. Woodburn Avenue

Parcel: 53-05-33-204-118.000-005

Request: Variance from front parking setback requirements and request for determinate sidewalk variance to allow for construction of a new duplex in the Mixed Use Medium Scale (MM) district. Case Manager: David Brantez

V-20-25/ ZR2025-05-0073

City of Bloomington Parks and Recreation Department

1510 S. Strong Drive

Parcel: 53-08-08-200-001.000-009

Request: A variance from the Environmental Standards of Section 20.04.090 requiring the platting of easements to allow the installation of a multi-use path on a property in a Planned Unit Development (PUD). Case Manager: Eric Greulich

V-21-25/ ZR2025-05-0074

Greystar Development Central, LLC

503 N. Rogers Street

Parcel: 53-05-32-100-006.000-005

Request: Variances from use-specific standards for multifamily dwellings regarding ground-floor dwelling units, maximum front building setback, upper floor facade setback standards, and building design standards for windows and doors on primary facades to allow construction of a "dwelling, multifamily" use in the Mixed-Use Downtown zoning district within the Showers Technology downtown character overlay (MD-ST). Case Manager: Gabriel Holbrow

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CU-24-25/ ZR2025-06-0076

North College Partners, LLC

717 S. Henderson Street

Parcel: 53-08-04-112-052.000-009

Request: Conditional Use approval to allow a "Dwelling, Duplex" in the Residential Small Lot (R3) zoning district.

Case Manager: Eric Greulich

V-26-25/ ZR2025-06-0078

All American Storage (Sam Heale)

2401/2501 N. Walnut Street

Parcel: 53-05-28-200-040.000-005

Request: Determinate sidewalk variance request for a portion of required pedestrian facilities in the Mixed-Use Corridor (MC) zoning district. Case Manager: Jackie

Scanlan

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BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 300 E. 6th Street

CASE #: V-11-25
VAR2025-03-0065
DATE: June 26, 2025

PETITIONER: David Hays
8301 S. Anne Avenue, Bloomington, IN

CONSULTANTS: Doug Bruce
1101 S. Walnut Street, Bloomington

REQUEST: Variance from use specific standards to allow ground floor dwelling units within 20' of the first floor façade within the Mixed-Use Downtown in the Downtown Core Overlay (MD-DCO).

CHANGES SINCE FIRST HEARING: The Board of Zoning Appeals heard this case at the March 27, 2025 hearing and voted to continue the petition to give the petitioner additional time to make any possible revisions. The petitioner requested an additional continuance at the April 24, 2025 and May 22, 2025 hearings. The petitioner submitted some additional renderings of the proposed exterior and interior views and a Letter of Intent regarding proposed art to be displayed, however no changes to the overall petition have been submitted since the first hearing in March.

REPORT: The 9,583 sq. ft. property is located at the northwest corner of N Morton St. and W 6th St. and is zoned Commercial Downtown (CD), within the Downtown Core Overlay (DCO) district. Surrounding land uses include mixed-use buildings to the north and south, a commercial use to the west, and mixed-use and the Morton Street Garage to the east. The B-Line Trail runs along the property's west property line. The current structure is designated as a contributing local historic structure.

The Board of Zoning Appeals heard case #V-24-23 from this petitioner for the same request on August 24, 2023 and denied the petition. The current proposal differs slightly from the previously denied petition to create an interior wall that is 1.5' from the east (front) wall along Morton Street to separate the units from the street by creating a void space, however the location of the units within the building and overall petition are the same. There have not been any changes to the overall property or adjacent streetscape since the previous petition was denied.

The property has been developed with a one-story, mixed-use building on the south portion of the site and a two-story, residential building on the north portion of the site that was constructed in 2019 (SP-28-19) with 16 units. The building on the south portion of the site has been developed with 2 ground floor units at the northwest corner of the building and a commercial space on the south side of the building. A building permit (CZC-2023-0266) was approved to remodel the commercial space for a new dentist office.

The petitioner is requesting a variance from the use specific standards to allow a portion of the existing space to be converted into 2 ground floor dwelling units. No changes to the exterior of the building are proposed and the units would be accessed from an interior hallway and door on the north side of the building. The modified site plan shows the creation of a 1.5' deep dead space

between the front of the building and the proposed apartments. The creation of this void space is not deemed an improvement as it further creates an inactive ground floor pedestrian experience and streetscape. In addition, this space is shown to be used for signage, however there is no commercial use that occupies the space adjacent to the signage and therefore no signage would be allowed in this space.

Section 20.03.030(b)(5)(D)(ii) states that in the MD zoning district, each dwelling unit located on the ground floor shall be located at least 20 feet behind each building façade facing a public street. The proposed residential units would be within 20' of the front façade of the building and therefore requires a variance.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E) Standards for Granting Variances from Development Standards:

A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

PROPOSED FINDING: The granting of the variance will not be injurious to the public health, safety, morals, or general welfare of the community. There will be no impact to the overall safety in the design of the building with the granting of this variance.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

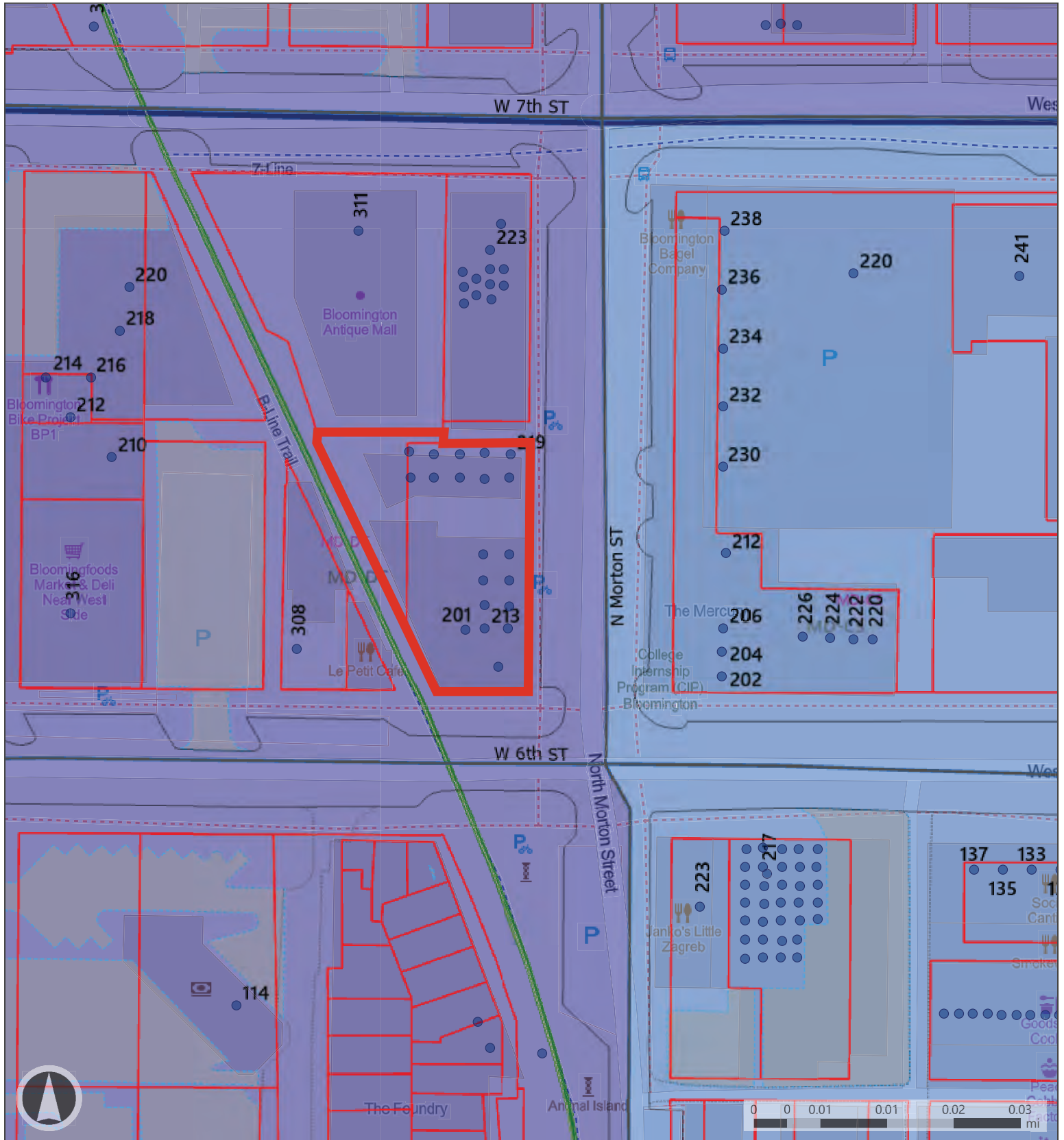
PROPOSED FINDING: While no direct adverse impacts to the use and value of surrounding properties as a result of the requested variance are found, the presence of the ground floor unit does detract from the overall pedestrian experience that was desired by the UDO with the requirement that residences be located 20' behind the façade. The intent of this regulation is to create active, nonresidential space along the portions of a building immediately adjacent to the sidewalk and pedestrian area. The location of a residence immediately adjacent to the sidewalk does not provide the desired pedestrian experience within the Downtown that is envisioned by the UDO and adopted policies.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

PROPOSED FINDING: The Department does not find that the strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property as the ground floor of the building, including this location within the building, has always had commercial space and met all of the requirements of the UDO. There do not appear to be any practical difficulties that are peculiar to the property in question that

prevent a nonresidential use from occupying this space nor preventing residential units from being constructed within the building and meeting the 20' setback requirement. In addition, the petitioner previously applied for a permit to remodel the ground floor for a new commercial tenant and excluded this proposed space from that plan for the proposed new units. There is space within the building that new residences could be added and meet the 20' setback requirement from the front facade as required.

RECOMMENDATION: The Department recommends that the Board of Zoning Appeals adopt the proposed findings and deny V-11-25.



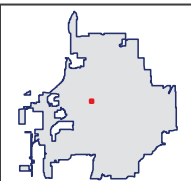
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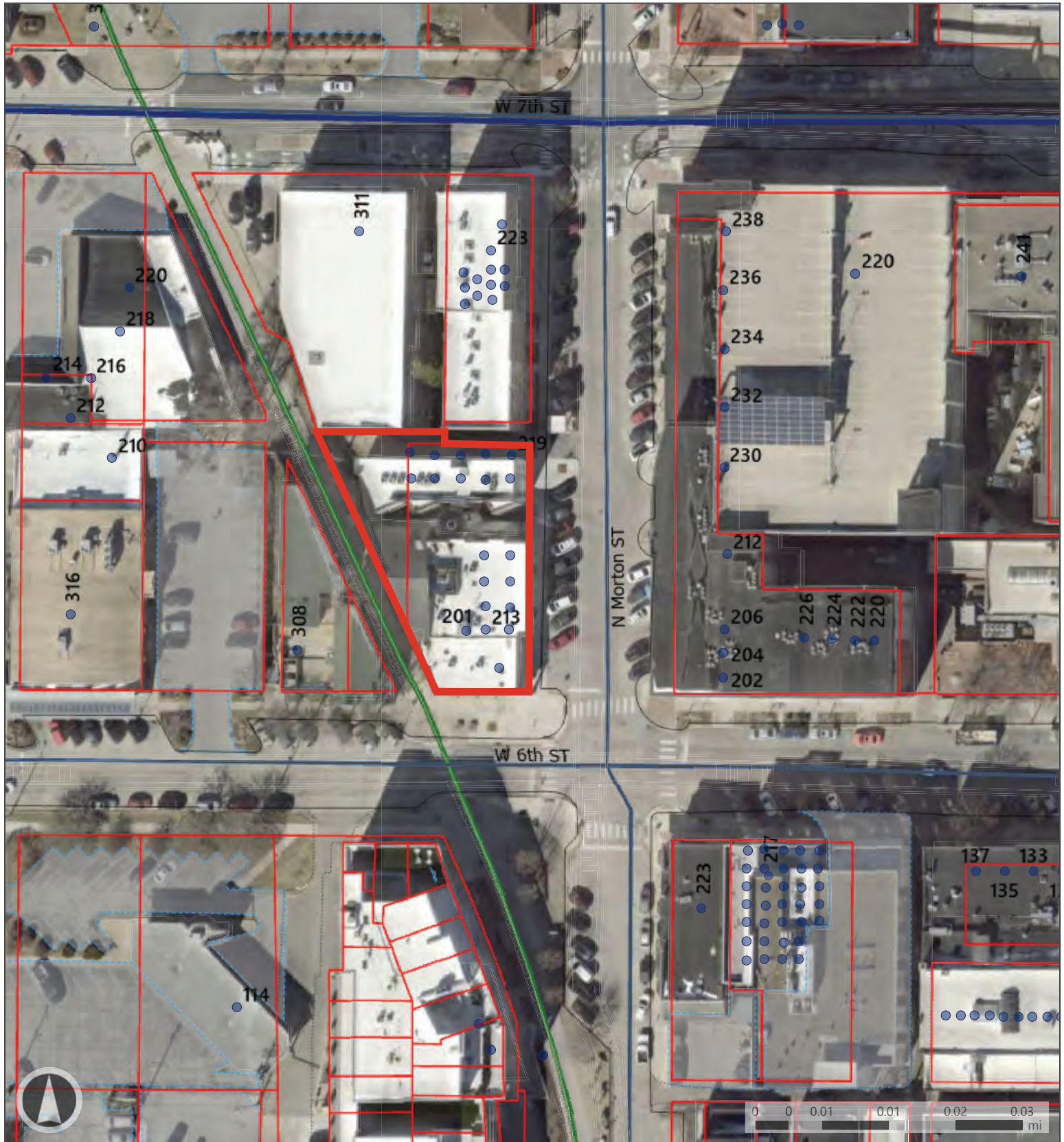
- Addresses
- Parcels
- Pavement

- Drive
- Alley
- Paved Parking Lot

- Current
- City Maintained Streets
- General Urban

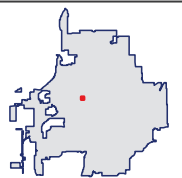
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Map Legend

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| ● Addresses | Drive | Current | Neighborhood Connector |
| Parcels | Alley | City Maintained Streets | Neighborhood Residential |
| Pavement | Paved Parking Lot | General Urban | Primary Collector |





Bloomington Board of Zoning Appeals

Petitioner's Statement
228 West Kirkwood LLC
228 West Kirkwood Ave

Overview-Existing site

The site as it exists is .056 acres containing a paved parking surface that has been used as parking at this location. The Zoning is MD-CS (Mixed Use-Courthouse Square), and the unique size and corner location for almost any use, requires the owner to seek a variance.

Location

The site has been a vacant lot for decades and is unique in it's small width. There is not another legal lot in our downtown that currently exists that is this narrow and sits on a corner. Furthermore, as the Alta survey shows, the existing structure adjacent to the east of this lot sits anywhere from 1.9 feet to 1.6 feet over the property line unto our site. This effectively reduces our site even more and down to a usable width of just under 17 feet. This narrowness and corner location of this site is our reason for seeking variances so that this vacant parcel will provide an attractive infill development in our downtown. Infill development fills our missing teeth in our downtown and builds density and uses where services and infrastructure already exists.

Architectural Character

This structure is designed to harmonize with the existing character of many of the masonry buildings found around the downtown square. Brick, with detailing and limestone accents matches many of the details found downtown as well as the window patterns and main Kirkwood storefront entry to the commercial use. Utility spaces are placed along the north alley side and out of sight.

Current UDO implications

The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.

Proposed Finding: The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property-This is readily evident as almost any use on this site would require a variance within the current UDO.

Variances being sought:

Architecture

70% glass requirement along Morton Street ground floor
 Facade articulation
 Pedestrian entry design elements along Morton Street

Parking minimum 20 feet setback within a building

Ground floor minimum 50% nonresidential use

Back out parking unto a public street

Requirement to access parking from an improved alley

Maximum building height

To allow a dwelling multifamily use in the mixed use downtown (MD) courthouse square district (CSO)

We propose that we meet the Criteria to evaluate the approval under flexibility and relief procedures with the following:

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and
 The proposed use and design matches the existing downtown architecture and is complementary to other nearby uses.
2. The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and
 No impacts on the neighboring properties or reduction in value will result from this variance request, in fact the values of nearby property will increase with this conversion of a paved parking lot into a three story building. The unsightly, exposed wall of the adjoining building will be forever hidden behind this proposed structure.
3. The strict application of the terms of this UDO will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the development standards variance will relieve the practical difficulties.
 There is probably not another parcel in our downtown as unique as this site with it's very narrow width and long length. The strict application of the UDO has made this parcel a longtime eyesore as it sits less than a block away from our city center as an entirely paved lot. The circle is the most efficient form, closely followed by the square. This site at 17 feet wide and 132 feet long is the least efficient shape.
 The strict UDO requirements to this extremely unique site make any use, especially for upper floors, almost impossible. Accessible circulation functions such as stairs and elevators require space and a narrow lot makes fitting those items difficult. Facade articulation is almost impossible as the UDO could not imagine a building so narrow as to step back and become even more narrow.
 We placed all required services for trash, sprinkler, and utilities at the alley side of the building and have created as much ground floor commercial space as possible at Kirkwood Ave. and around the Morton Street corner. With Morton Street being a one way street, back out parking is accomplished much easier, and for owner occupied units as we have planned, we have placed those single garage doors along the northern most area of the ground floor plan. Developing this site that has sat for decades is a win win for the city as infill development and added housing,

meeting some basic goals of the UDO, to meet these basic goals require variances as we have requested.

Our proposal will blend into the existing downtown architecture and use materials such as brick, storefront and recess entry at the commercial space along Kirkwood, and limestone to compliment nearby detailing, will add necessary owner occupied housing, add infill commercial space along Kirkwood, and pay homage to the musical mural that once existed along the damaged existing blank wall, we hope you find the merits in our request for approval.

Thank you for your consideration.



Doug Bruce NCARB-LEED AP
TABOR/BRUCE ARCHITECTURE & DESIGN, Inc.
1101 S Walnut Street
Bloomington, IN 47401
(812) 332-6258



William J. Beggs
Partner
Direct: 812-245-6015
wjbeggs@lawbr.com

February 26, 2025

Eric Greulich
Senior Zoning Planner
City of Bloomington Planning &
Transportation Department
401 N. Morton Street, Suite 130
Bloomington, IN 47404

Via email to:
greulice@bloomington.in.gov

Re: *Petitioner's Statement*
Our Client: Smith & Hays Properties, LLC
"Hays Market Building" 6th Street & Morton Street
Property Address: 300 West Sixth Street
Zone: Mixed-Use Downtown, Downtown Core Overlay (MD-DCO)
Request: Partial Relief From 20 foot Building Façade Requirement

Dear Mr. Greulich:

Please accept this Petitioner's Statement in connection with the variance request being sought by Smith & Hays Properties, LLC. The subject property is known as the "Hays Market Building" and is designated historic. That designation is critical to the request being sought in this variance. In general, Petitioner seeks to convert space located on the ground floor in the northeast area of the building into two separate dwelling units. One would be a studio apartment and the other would be a one-bedroom apartment.

You will recall that this property was the subject of a request for variance identified as Case No. V-24-23 where a different request was denied. In light of that result and information learned through that hearing, the Petitioner has substantially modified the request for variance to satisfy the stated concerns.

We believe that the UDO section from which relief is sought is 20.03.030(b)(5)(D)(ii), which requires that "...each dwelling unit located on the ground floor shall be located at least 20 feet behind each building façade facing a public street."

The 2023 Variance Request sought relief from the entire 20-foot setback requirement. The present request seeks relief only as to approximately 15 feet when the definition of "façade" is applied because of the presence of exterior canopies. (See 20.07.010 definition of "façade").

No changes to the exterior of the historic Hays Market Building are proposed except installation of an operable window at the north end of the building, within the locked courtyard. That window cannot be seen from Morton Street so, effectively, no change to the appearance is proposed.

Much of the ground floor of this property is presently occupied by a dental office. The back (west) of the building is bordered by the B-Line Trail and the rear façade is approximately six (6) feet from the edge of the trail. The “front” of the building faces Madison Street.

The primary concern raised in 2023 that has been solved in the current Petition concerns the “overall pedestrian experience” along Madison Street. In order to guard against there being some unpleasant visual experience by those walking or driving along Madison Street, Petitioner proposes installation of an interior wall that will be positioned approximately three feet inside each apartment unit. The purposes of the wall are to (a) protect the “overall pedestrian experience” by causing the appearance of the building to be similar to its south side and other commercial properties in the immediate area, and (b) to eliminate the need for a variance as to the entire 20-foot setback requirement. In 2023, Petitioner’s request was for a variance from the entire 20 foot setback requirement. This petition seeks a variance of approximately 15 feet instead.

For passers-by, the view into these buildings would be of anticipated commercial advertisements and marketing materials rather than any residential characteristics, thus protecting the “overall pedestrian experience.” Because the building is designated historic, there will be no change to the openings or other appearance along Madison Street. Whether this variance request is granted or not, there will be no new doorways installed on the exterior of the building. In other words, the Morton Street side of the building will look the same even if the request is granted.

With respect to the elements that the BZA will consider, the Petitioner states the following.

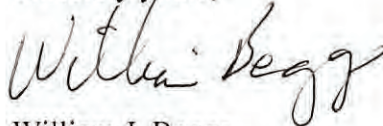
First, granting this variance will not be injurious to the public health, safety, morals, and general welfare of the community. There will be no impact to public health and safety if the subject space is occupied by residential tenants as opposed to hoped-for commercial tenants, which Petitioner has been unable to secure. To the contrary, allowing for occupancy of the subject space will serve the general welfare of the community by adding to the vibrancy of the street and eliminating yet more idle ground floor commercial space downtown.

Second, the use and value of the area adjacent to the site will not be affected in a substantially adverse manner if this Petition is granted. There is clearly an overabundance of commercial space available within mere feet of this site. The property at the north end of this block is commercial and has been vacant since its construction in what we believe was approximately 2019. In fact, that building’s ground floor commercial space has never been finished or occupied. Imposing the setback requirement on the Hays Market building will only serve to perpetuate Bloomington’s now-characteristic unoccupied ground floor commercial space, both in the immediate vicinity and beyond. Also, there are already multiple residential units within two blocks of the Hays Market building, further supporting the fact these two additional residential units would pose no adverse impact to the use and value of the area adjacent to the Hays Market building.

Third, strict application of the terms of the UDO has, and will continue to, result in practical difficulties in the use of this property; the practical difficulties are peculiar to the property; and the variance sought will relieve those practical difficulties. The Hays Market building's peculiarities include its historic designation, its location on the B-Line Trail, its longtime entrance door at the southeast corner of the building that remains today, and its mechanical service location along the rear (west) of the building. The historic designation means that no new openings or significant changes can be made to the exterior of the building without permission by the Commission. The rear of the property being located on the B-Line Trail is another peculiarity because the building's mechanical service is located there along with restroom space. Those would have to be situated on the Morton Street side of the building otherwise. Requiring Petitioner to locate residential tenants along the B-Line would simply transfer concerns about "overall pedestrian experience" to the B-Line, which sees more pedestrian traffic than this stretch of Morton, instead. The present request relieves that peculiarity altogether and would allow Petitioner to finally put the space to use, albeit still at a loss to Petitioner due to the decreased available square footage. Finally, the relief being sought is not for the entire 20-foot setback but, instead, seeks to place the residential units approximately five (5) feet from the front façade.

While Petitioner believes that the proposed modification will satisfy the concerns imposed by UDO Section 20.03.030(b)(5)(D)(ii), it would frankly prefer not to construct the new wall along the east side of the two proposed apartments and receive a variance as to the entire twenty (20) feet. If the BZA were willing to grant Petitioner's variance request without that wall, Petitioner would be grateful. If the BZA is not so inclined then Petitioner respectfully requests approval of this revised variance request.

Sincerely yours,



William J. Beggs

WJB/khj

Petitioner's Proposed:

FINDINGS OF THE BOARD OF ZONING APPEALS
CITY OF BLOOMINGTON, INDIANA
June 26, 2025

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE
20.06.080(b)(3)(E) Standards for Granting Variances from Development Standards:

A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

PROPOSED FINDING: The granting of the variance will not be injurious to the public health, safety, morals, or general welfare of the community. There will be no impact to the overall safety in the design of the building with the granting of this variance.

- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner.*

PROPOSED FINDING: The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner. There exist other ground floor residential living units in the property immediately north of the subject property within the same block, further verifying that there will be no impact to the use and value of the area adjacent to the subject property.

- (3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the development standards variance will relieve the practical difficulties.*

PROPOSED FINDING: The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property if the variance is denied; the practical difficulties are peculiar to the property in question; and the requested Development Standards Variance will relieve the practical difficulties.

The subject property is the only designated historic building on Morton Street within the block in which it is located, which designation imposes limitations and restrictions that would cause practical difficulties in making changes to the exterior of the building, thus affecting its use. Other practical difficulties that are peculiar to the subject property include its historic commercial entrance/exit door being located at the southeast corner of the building, the narrow width (when considering parking meters) of the adjacent sidewalk as compared to others adjacent to the property and within the block, the disparity in pedestrian traffic along the B-Line Trail as opposed to Morton Street, the long-existing

utility service entry at the west side of the subject building, and its proximity to the B-Line trail, which the UDO would otherwise favor for residential placement within the building. The utility service enters the building from the west side, which would interfere with placement of residential space within the building's west area.

The variance being sought here is a request for partial relief from the 20' setback requirement rather than a request for complete relief. The petitioner's commitment to a condition of approval that requires full time placement of local art within the affected windows that is visible from the sidewalk will satisfy a desire for active, nonresidential space along the portions of the building adjacent to the sidewalk and pedestrian area, it will incidentally serve as a benefit to local arts and local artists, and will relieve the practical difficulties imposed by the UDO.

Petitioner's Proposed:**CONDITION OF APPROVAL**

Approval of the variance being sought by Petitioner in Case No. : V-11-25 VAR2025-03-0065 is conditioned upon Petitioner, and its successors in title, making the inside of the five (5) northernmost windows located along Morton Street that are affected by Petitioner's request available for the display of art created by local artists. Such displayed art will be displayed within the affected windows in such a manner that it is visible from the sidewalk for pedestrians to enjoy. In the event the City of Bloomington's then-current zoning ordinance (presently called the "UDO") no longer contains a 20-foot front façade residential use setback requirement, this condition of approval shall no longer apply.

Smith & Hays Properties, LLC
c/o Hoosier Choice Properties
674 S. College Avenue
Bloomington, IN 47403

April 30, 2025

Arts Alliance of Greater Bloomington, Inc.
a/k/a Pillar Arts
c/o Charles R. Pearce, Executive Director

Re: Letter of Intent Concerning the Display of Art in Specific Windows Within the Property Commonly Known as 300 W. Sixth Street, Bloomington, Indiana

This Letter of Intent is intended to describe, on a non-binding basis, anticipated terms and conditions of a lease agreement between Smith & Hays Properties, LLC ("Owner") and Arts Alliance of Greater Bloomington, Inc. n/k/a Pillar Arts ("AAGB"). The parties acknowledge that entering such a lease is contingent upon approval by the City of Bloomington of Owner's requested use of its property at 300 W. Sixth Street, Bloomington, Indiana. Subject to City approval that includes the display of art within the property as proposed by Owner, the parties intend that an agreement for this purpose would include, but not be limited to, the following general terms:

1. Execution, within 7 days of completion of buildout, of a written Lease Agreement for space within 300 W. Sixth Street (the "Space") that would allow the placement and display of local artist works of art within the five windows located on the east side of the building, in its northern section (the "Space").
2. AAGB will be responsible for selecting which of its member artists' works will be displayed in the Space. Owner would reserve the right to disapprove of certain works of art in its sole discretion but, in the event a particular work of art is disapproved, AAGB would replace it with another work.
3. The works of art displayed in the subject property will remain in place for periods of time as the parties may agree, but shall not be changed more often than quarterly.
4. The cost for rental of the display space shall be Zero Dollars (\$0).
5. Owner will not be responsible for damage or loss to works of art caused by any reason, and will not be responsible for replacement or repair of any work of art damaged by any cause. AAGB will agree to hold harmless Owner from and against any and all claims for damage

or injury in connection with placement of art in the Space. Owner will not maintain insurance coverage for the benefit of AAGB or any artist whose work is being displayed in the Space.


6. The written Lease Agreement will contain a term of one (1) year with automatic renewals unless the applicable body of the City of Bloomington requires a different term as a condition of approval of Owner's requested use of its property.

7. If the City denies Owner's requested use of its property, the agreement contemplated by this Letter of Intent would likely not be executed.

By their signatures below, the parties do hereby approve of the foregoing terms and conditions of this Letter of Intent, which they acknowledge are subject to execution of an acceptable written Lease Agreement.


Sincerely,

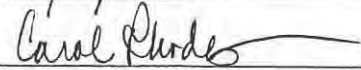
SMITH & HAYS PROPERTIES, LLC

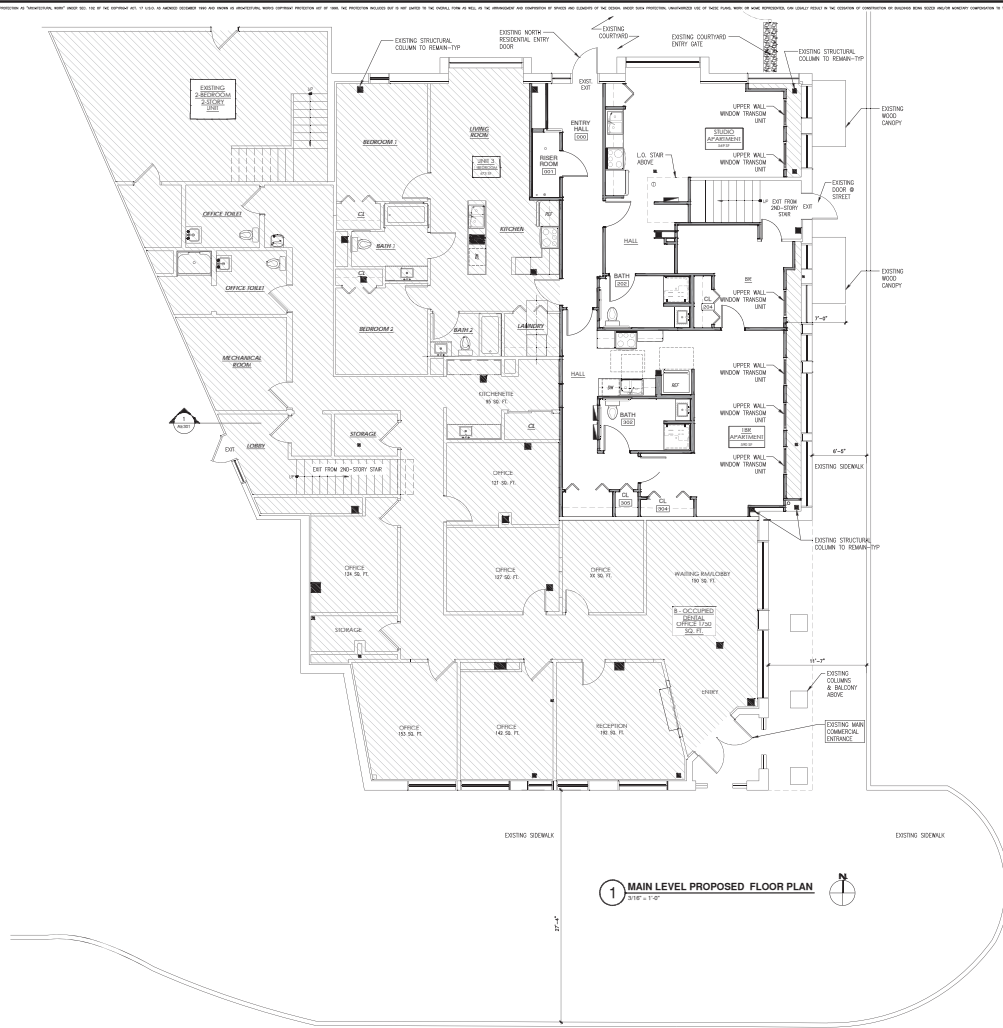
By: 
 Printed: David Hays
 Title: Managing Member
 Date: 5-5-25

ACCEPTED:

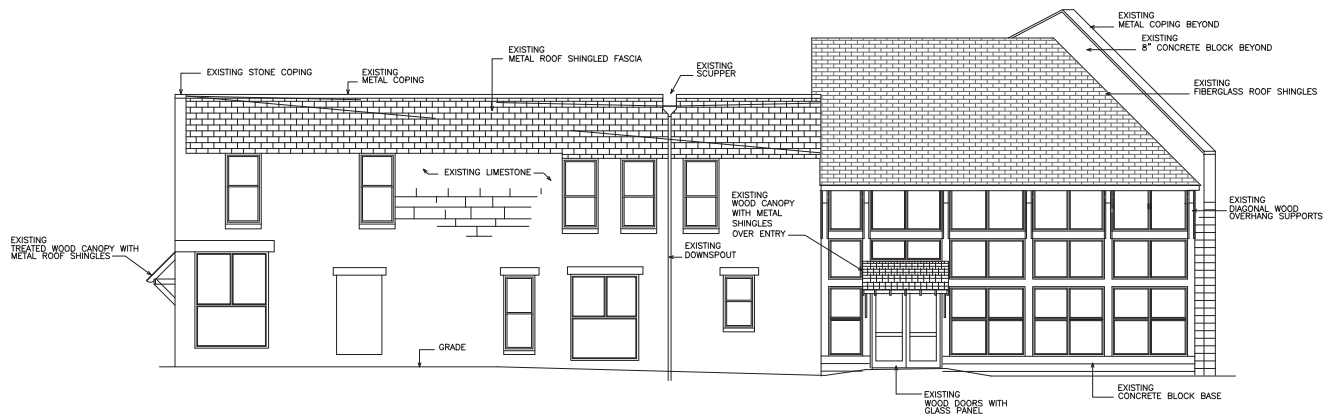
ARTS ALLIANCE OF GREATER
BLOOMINGTON, INC.

By: 
 Printed: Charles R. Pearce
 Title: Executive Director
 Date: 5/1/2025

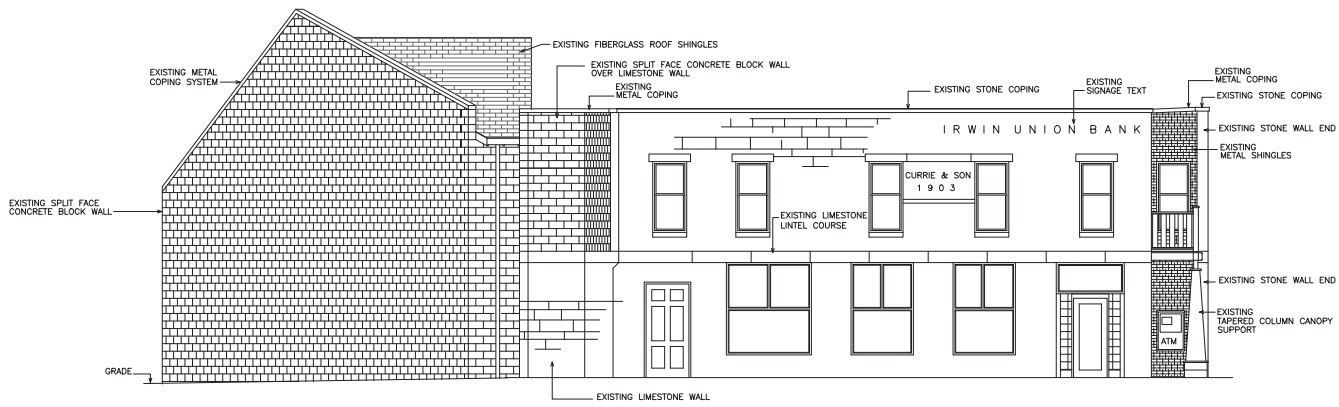
By: 
 Printed: Carol Rhodes
 Title: President
 Date: 5/1/2025



THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT FOR THE PURPOSE OF OBTAINING PERMITS AND FOR THE GUIDANCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION AND PRESERVATION OF THE EXISTING STRUCTURE AND CONTENTS OF THE BUILDING. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR FOR THE QUALITY OF THE WORKMANSHIP OR FOR THE RESULTS OF THE CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR FOR THE QUALITY OF THE WORKMANSHIP OR FOR THE RESULTS OF THE CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR FOR THE QUALITY OF THE WORKMANSHIP OR FOR THE RESULTS OF THE CONSTRUCTION.



2 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



REVISIONS

1	
2	
3	
4	
5	

A RENOVATION FOR:
HAYS MARKET
300 WEST 4TH ST.
BLOOMINGTON, INDIANA 47404



PROJECT NO.	3003
DATE	FEBRUARY 8, 2023
DESIGNED BY	S. MATTHEWS
DRAWN BY	D. BRUCE
SHEET NAME	EXTERIOR ELEVATIONS

SHEET NO.
AD201

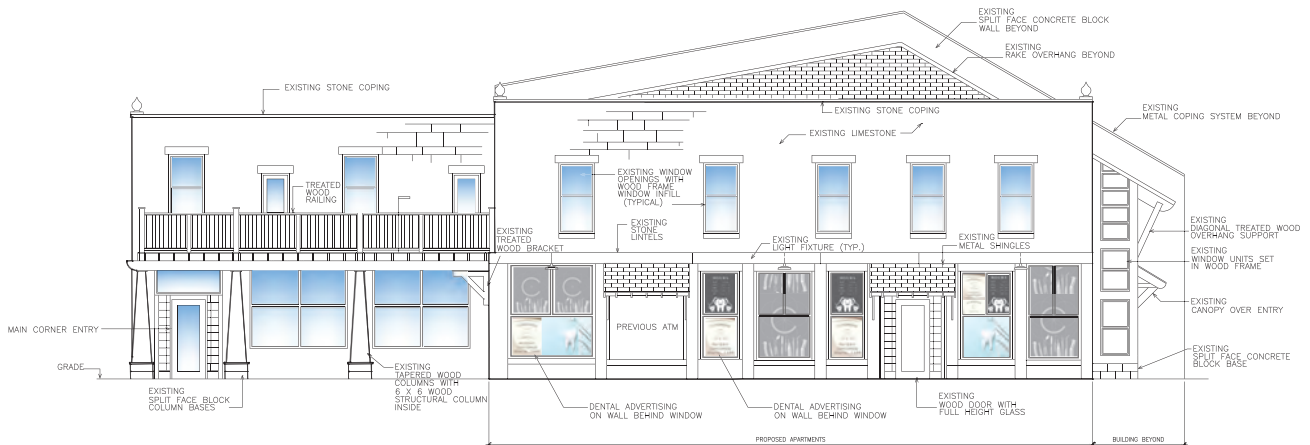
ALL DRAWINGS ARE PREPARED BY THE ARCHITECT AND ARE SUBJECT TO THE PROFESSIONAL RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT AND HAS FOUND IT TO BE REASONABLY ACCURATE.

22



REVISIONS

A RENOVATION TO FIRST FLOOR OFFICE UNITS OF THE:
HAYS MARKET
300 WEST 4TH ST.
BLOOMINGTON, INDIANA 47404



1 EAST EXTERIOR ELEVATION
1/4\"/>

PROJECT NO.	3003
DATE	NOVEMBER 13, 2023
DRAWN BY	J. HARTSHORN
CHECKED BY	D. BRUCE
PROJECT NAME	AD202

EXTERIOR ELEVATIONS

AD202



**TABOR
BRUCE**
ARCHITECTURE & DESIGN INC.
1101 S. WALNUT STREET • BLOOMINGTON, IN 47401
TEL: 846-4651 • FAX: 846-4652 • WEB: WWW.TABORBRUCE.COM

REVISIONS

EXISTING
ARCHITECTURAL
SITE PLAN



① $1^{\circ} = 20' - 5'$

SITE LOGS/NOTES:

GENERAL SITE NOTES:

- CONTRACTOR SHALL INCLUDE IN THEIR BID PROPOSAL COSTS FOR CUTTING & PATCHING.









BLOOMINGTON BOARD OF ZONING APPEALS**STAFF REPORT****Location: 1215 N Woodburn AVE****CASE #: V-19-25****ZR2025-05-0072****DATE: June 26, 2025**

PETITIONER/OWNER: Lance Weidner
 2004 That RD
 Bloomington, IN 47403

REQUEST: The petitioner is requesting a variance from front parking setback requirements and request for determinate sidewalk variance to allow for construction of a new duplex in the Mixed Use Medium Scale (MM) district.

REPORT: This 50' by 132' (6,600 square foot) property is located at the southwest corner of N Woodburn Ave and W. Kenwood DR in the Maple Heights Neighborhood. The property is located in the Mixed Use Medium Scale (MM) zoning district. The surrounding properties are zoned Mixed Use Medium Scale (MM) and Residential Multifamily (RM) and have been developed with single and multifamily dwellings. The property has a 12' platted alley along the west property line.

The petitioner proposes to build a new duplex on the lot along with a 27' wide by 32' deep parking area that will be accessed from the adjacent alley to the west. The parking standards within the Mixed-Use Medium Scale (MM) district of the UDO requires that the parking area be located 20' behind the front building wall for both the N Woodburn Ave. and W Kenwood Dr. frontages. The proposed duplex is shown at the required 15' building setback line, but the required 20' front parking setback from the front building wall in combination with side and rear parking setbacks would not provide any room for a parking space. This petition would also require the construction of a 5' tree plot and 6' sidewalk along W Kenwood Drive. Kenwood Drive was only platted with 25' of right-of-way and is a very low volume street in terms of vehicular or pedestrian traffic.

The petitioner is requesting a variance from the required 20' front parking setback from W Kenwood DR to allow for the construction of the proposed parking area to be even with the front of the building. The petitioner is also requesting a determinate sidewalk variance from the required 6' sidewalk along W Kenwood DR.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E)(i) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

PROPOSED FINDING:

Parking Setback: The approval of the requested variance is not expected to be injurious to the general welfare of the neighborhood and community in that the proposed parking area will be accessed from the alley and similar to structures in the surrounding area.

Determinate Sidewalk: The approval of the requested variances is not expected to be injurious to the general welfare of the neighborhood and community in that the proposed parking area will be accessed from the alley and similar to the surrounding area. The determinate sidewalk variance is unlikely to have an adverse effect on bike and pedestrian traffic. W Kenwood DR is less than 500' long and only 13' wide. It primarily serves the mobility needs of those residents of these blocks. There will be no impact to the overall safety of the building as a result of the requested variances. The building must still meet all building code requirements.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

PROPOSED FINDING:

Parking Setback: The granting of the variances is not expected to impact the use and value of the area adjacent to the property in a substantially adverse manner as the proposed addition will have very little impacts on massing from adjacent properties. The new structure is proposed to comply with current building setbacks that the existing house does not meet. The scale of the proposed structure is congruent with the other single family and multifamily structures on the surrounding properties.

Determinate Sidewalk: The granting of the variances is not expected to impact the use and value of the area adjacent to the property in a substantially adverse manner as the proposed structure will remain a similar density to the neighborhood. The scale of the proposed structure is congruent with the other single family and multifamily structures on the surrounding properties.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

PROPOSED FINDING:

Parking Setback: The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property in that the requirements of the UDO would not allow for any surface parking if front building and front parking area setbacks are applied on the W Kenwood DR and N Woodburn AVE frontages.

Determinate Sidewalk: The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property in that requiring the installation of the sidewalk would require the installation of a pedestrian facility along a short corridor with very little current or potential pedestrian or vehicular traffic. The Transportation

Plan states that along Neighborhood Residential streets with expected Average Daily Trips (ADT) of less than 500 vehicles per day and an expected operation speed of less than 20 MPH that a lack of sidewalks can be appropriate. There are no adjacent community amenities that the lack of a sidewalk would impact. Peculiar condition is found in the narrow width of Kenwood Drive and limited right-of-way that create a very narrow street with low traffic speed and volume that make the use of Kenwood as a Shared Street a more appropriate design. Pedestrian traffic is therefore reasonably anticipated to not be high enough to require sidewalks.

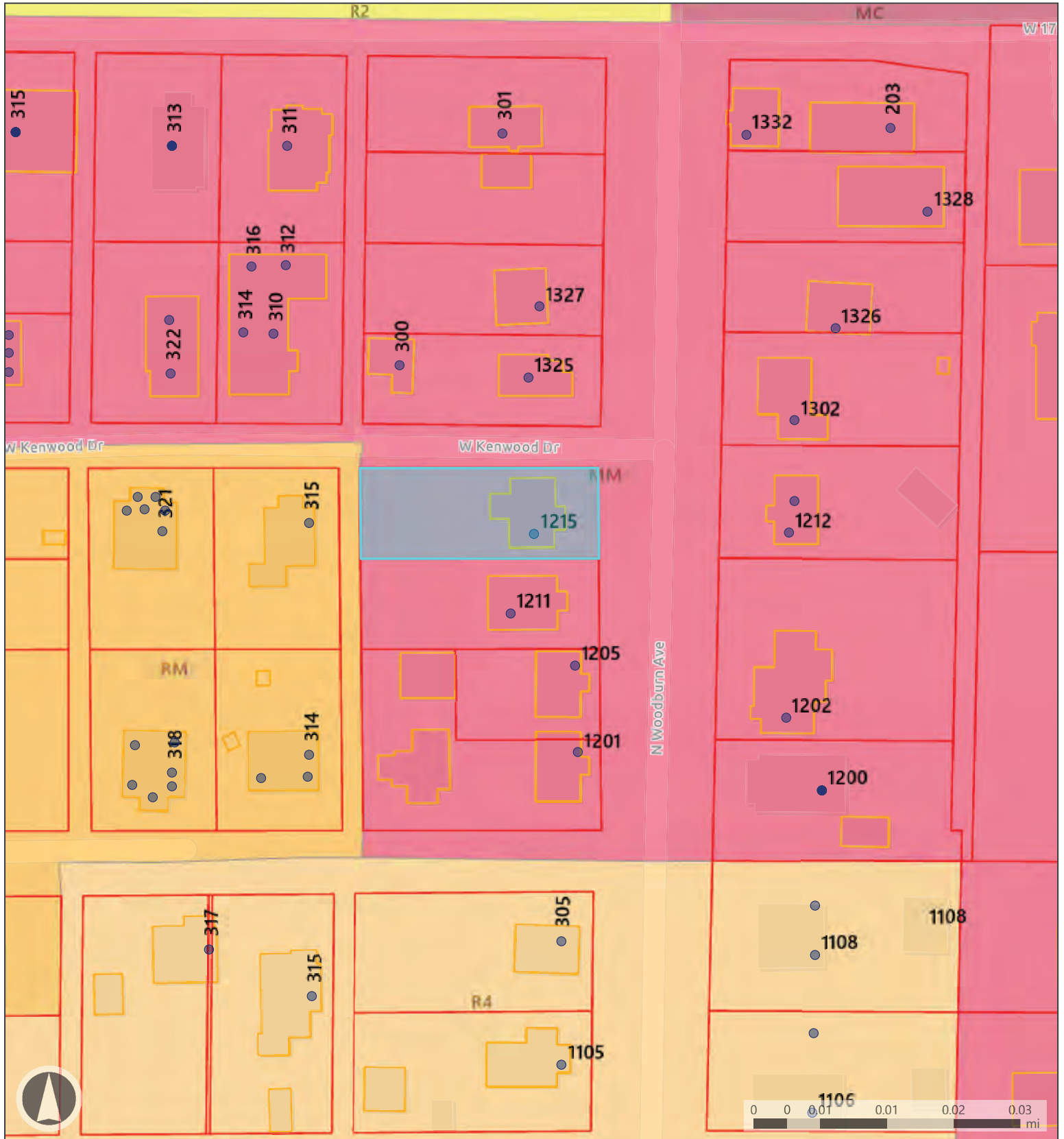
20.06.080(b)(3)(E)(i)(3) Determinate Sidewalk Variance Approval Criteria:

While not to be included as separate findings of fact, items to consider when determining the practical difficulties or peculiar conditions associated with a determinate sidewalk variance include, but are not limited to:

- [a] That the topography of the lot or tract together with the topography of the adjacent lots or tract and the nature of the street right-of-way make it impractical for construction of a sidewalk; or*
- [b] That the pedestrian traffic reasonably to be anticipated over and along the street adjoining such lot or tract upon which new construction is to be erected is not and will not be such as to require sidewalks to be provided for the safety of pedestrians; or*
- [c] The adjacent lot or tracts are at present developed without sidewalks and there is no reasonable expectation of additional sidewalk connections on the block in the near future; or*
- [d] The location of the lot or tract is such that a complete pedestrian network is present on the other of the street on the same block; or*
- [e] Uniformity of development of the area would best be served by deferring sidewalk construction on the lot or tract until some future date.*

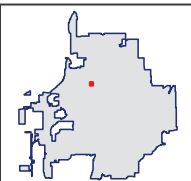
RECOMMENDATION: Based upon the written findings above, the Department recommends that the Board of Zoning Appeals adopt the proposed findings for V-19-25 / ZR2025-05-0072 and approve the requested variances with the following conditions:.

1. A building permit is required prior to construction.
2. A zoning commitment for the determinate sidewalk variance must be recorded prior to issuance of a building permit.
3. Street trees not more than 30' on center are required along both frontages.



Map Legend

- Addresses
- Parcels
- Buildings
- Mixed-Use Corridor
- Mixed-Use Medium-Scale
- Residential Medium Lot
- Residential Urban
- Residential Multifamily



Petitioner's Statement

1215 N WOODBURN AVE DUPLEX



Attention: City of Bloomington Board of Zoning Appeals
 Petitioner: Lance Weidner, Property Owner

Property Description

The **.15 acre (approx. 6,600 sf)** property at 1215 N Woodburn Ave currently has a small 1 story single-family structure that will be removed prior to the new proposed development. It is bounded by North Woodburn Ave with a pedestrian walk and tree plot to the east, a narrow W Kenwood Dr to the north, an alley to the west and an existing single-family structure to the south. It is designated **MM (Mixed-Use Medium Scale)** under the current (2024) UDO.

Project Description

The petitioner is proposing a new **2-story duplex** that will include **2 – 4 bedroom/4 bath units**. The gable and hip roof design incorporates the requirements of the Duplex section of the UDO (20.03.030.b.3.C) by incorporating separate exterior entrances that face the street and generally match the roof pitch, front porch size, front building setback and vehicle parking access of surrounding properties. **The site plan proposes a similar configuration to a recently completed project directly north across W Kenwood Dr (1325 N Woodburn)** with a considerable parking area on the west side of the property. New water service and sanitary connection will be coordinated with City Utilities along with electrical service (to be coordinated with Duke Engineering).

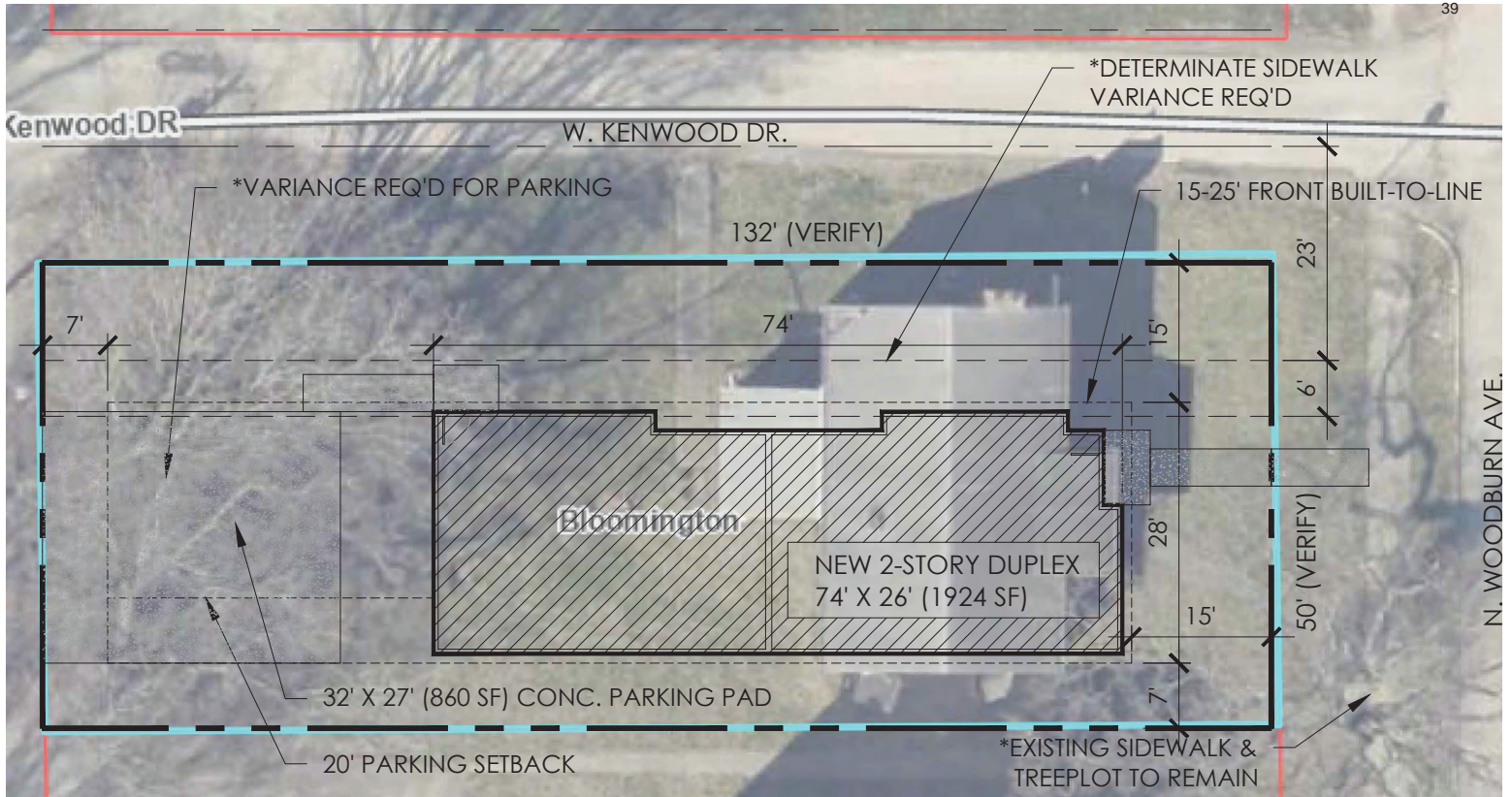
Variance Request

The petitioner is filing for a **variance from the 20' front parking setback requirement and determinate sidewalk** along W Kenwood Drive that would limit the potential parking to less than 7' of width (not enough for even a single space). The proposed parking area would be in line with the front of the proposed structure along W Kenwood Drive and connect to the west unit entrance with a short walk (per the provided site plan). The parking area would meet the other setback requirements and be limited to access from the alley to the west.

Thank you for your consideration of this petition.

A handwritten signature in black ink, appearing to read "Matt Ellenwood".

Matt Ellenwood, AIA (on behalf of the petitioner)



SITE: 132' X 50' = 6600 SF
 60% MAX IMPERVIOUS = 3960 SF
 TOTAL IMPERVIOUS SURFACE AREA = 2898 SF
 (BUILDING = 1850 SF)
 (PARKING = 865 SF)
 (SIDE WALKS = 183 SF)

PROPOSED SITE PLAN
 SCALE: 1" = 10'



1215 N WOODBURN AVE. DUPLEX

MATTE
 BLACK
 ARCHIT
 ECTURE

5.07.2025

BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 1510 S. Strong Drive

CASE #: V-20-25
VAR2025-05-0073
DATE: June 26, 2025

PETITIONER: City of Bloomington Parks and Recreation Department
401 N. Morton Street, Bloomington, IN

REQUEST: A variance from the Environmental Standards of Section 20.04.090 requiring the platting of easements to allow the installation of a multi-use path on a property in a Planned Unit Development (PUD).

REPORT: This 7.46 acre property is located at 1510 S. Strong Drive and is owned by the Monroe County Board of Commissioners. This property is zoned Planned Unit Development and is part of the Thomson PUD. Surrounding zoning includes Planned Unit Development (Thomson PUD) to the north, Parks and Open Space (PO) to the east, Residential Medium Lot (R2) and Planned Unit Development to the south, and Planned Unit Development (Summit PUD) to the west. Surrounding land uses include a Duke Substation, a trucking warehouse, and undeveloped land to the north, Switchyard Park to the east, single family residences and RCA Community park to the south, and the Summit PUD to the west. As mentioned, this property is owned by the Monroe County Board of Commissioners and the only improvements on this site are a Duke transmission line and associated support towers that run the length of the property. The overall property has a mix of environmental features that include karst features, steep slopes, intermittent streams with associated riparian buffers, and closed tree canopy. The powerlines are located within a 100' wide easement that runs the length of the corridor.

The petitioners, the City of Bloomington Parks and Recreation Department, have been working on developing a portion of this site with a 12' wide, multi-use trail that runs the length of the property through the corridor established by the existing powerlines and easement area. The path would extend from Rogers Street to east to the western end of the property owned by the County.

Section 20.04.030 of the UDO requires that any land-disturbing activity on properties that contain regulated environmental features to establish easements related to those relevant environmental features. The construction of the trail would constitute a land-disturbing activity and require various environmental easements to be established related to riparian buffers, karst features, tree preservation, and steep slopes. The proposed project by the petitioner would not involve any substantial development on the property as it consists solely of installing a multi-use path through the existing powerline easement corridor. The large size of the property and number of environmental features present on the site creates a substantial burden on the petitioners relative to the minor scope of this project that is better addressed with a larger scale of development of the site.

The petitioner is requesting a variance from Section 20.04.030 of the UDO to not require environmental easements to be established as part of project to install a multi-use path through this property. The installation of the trail would meet all of the Environmental Standards and this request is simply to not require easements to be platted.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE
20.06.080(b)(3)(E) Standards for Granting Variances from Development Standards:

A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

PROPOSED FINDING: The granting of the variance will not be injurious to the public health, safety, morals, or general welfare of the community. The proposed trail would meet all of the requirements and restrictions of the environmental standards of UDO and no disturbance within the required karst preservation areas, tree preservation standards, or riparian buffer areas is proposed or allowed.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

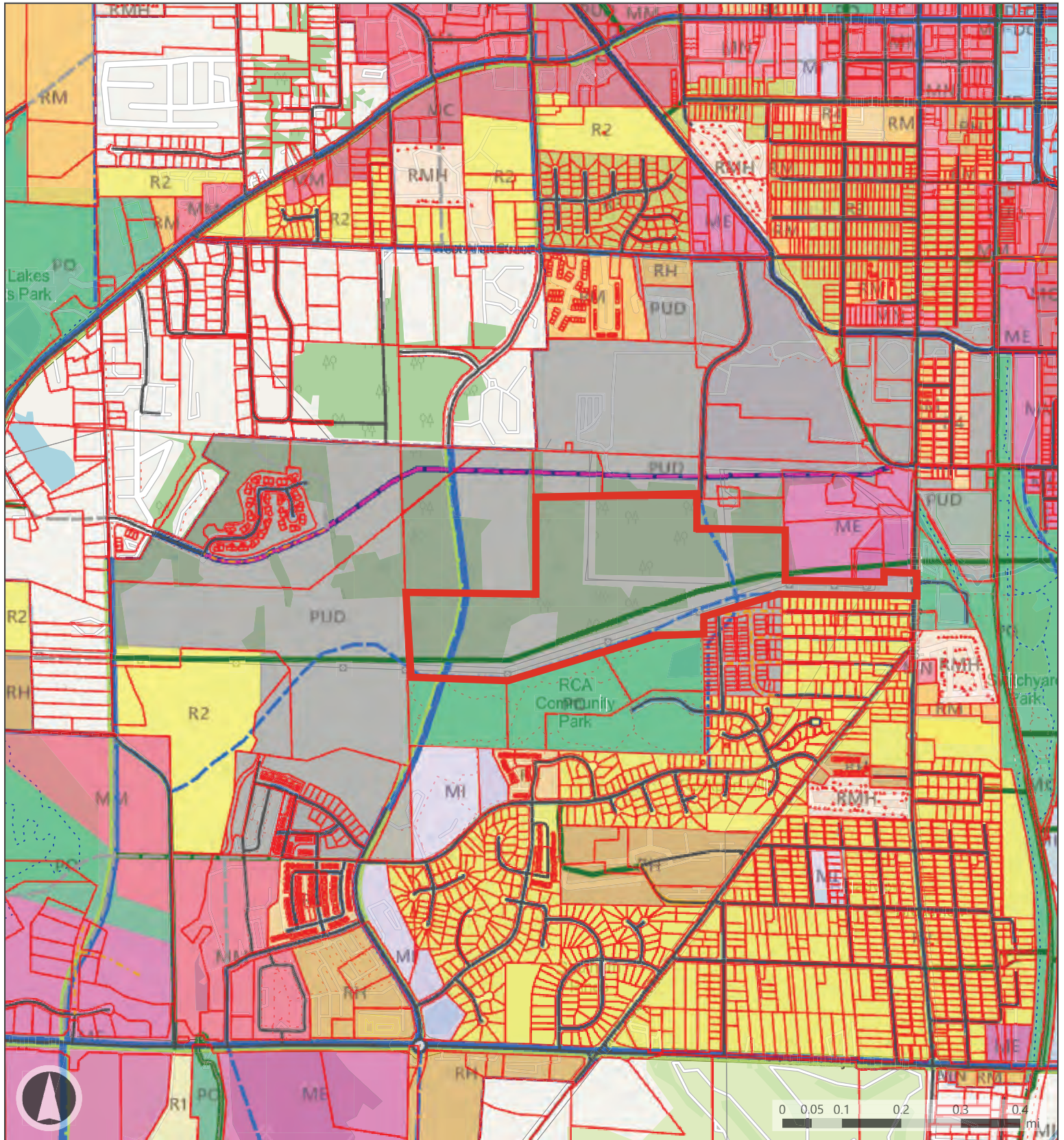
PROPOSED FINDING: The use and value of the areas adjacent to the property are not expected to be affected in a substantially adverse manner as a result of the granting of this variance. As mentioned, the installation of the trail would still meet all of the required environmental standards in regards to the areas of disturbance allowed.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

PROPOSED FINDING: The Department finds that the strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property in that the establishment of the required easements would require a substantial amount of survey work that is not proportional to the limited scale of this project. In addition, without any overall development plan for the property the platting of tree preservation easements could place areas of the property into restrictive easements that could create practical difficulties in the use of the property at a future time that are not necessary or appropriate now. The practical difficulties are peculiar to the property in question in that the large size of the property and number of environmental features present greatly exceed the relative small scope of work and proposed limited disturbance with this project.

RECOMMENDATION: The Department recommends that the Board of Zoning Appeals adopt the proposed findings and approve V-20-25 with the following conditions:

1. The granting of this variance does not relieve any future land disturbing activities from the requirements of the UDO.
2. This approval is valid for this project as proposed only.

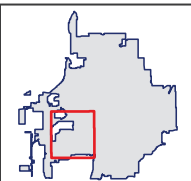


Map Legend

- Parcels
- Current
- Proposed

- City Maintained Streets
- General Urban
- Main Street

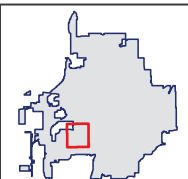
- Neighborhood Connector
- Neighborhood Residential





Map Legend

Parcels	Current	General Urban	Secondary Arterial
Paved Parking Lot	Proposed	Neighborhood Connector	Primary Collector
Gravel Parking Lot	City Maintained Streets	Neighborhood Residential	Secondary Collector





City of Bloomington - Bloomington Parks and Recreation
401 N. Morton Street, Suite 250
Bloomington, IN 47404
May 20, 2025

City of Bloomington - Planning and Transportation Department
401 N. Morton Street
Bloomington, IN 47404

RE: Variance Request – Powerline Trail Project

Dear Planning Staff and Board of Zoning Appeals,

On behalf of the City of Bloomington Parks and Recreation Department, we respectfully submit this letter in support of our request for a variance from Section 20.04.030 of the Unified Development Ordinance (UDO), which pertains to Environmental Standards.

This request is associated with the Powerline Trail Project and specifically seeks relief from the requirement to plat easements that would otherwise be triggered by the trail's construction. These include, but may not be limited to, easement requirements for riparian buffers, karst features, steep slopes, and potentially wetlands. Due to the limited, linear scope of the trail and its design within an existing utility corridor, we believe that platting these easements is unnecessary and may impose constraints that do not meaningfully enhance environmental protection in this context.

As part of our project planning, we are working closely with City staff to ensure the trail is constructed with environmental sensitivity and in accordance with best practices. Notably, we are coordinating the installation of tree protection fencing along the adjacent tree line, especially in areas where trees are located within 10 feet of the construction limits.

We believe this variance supports the City's goals of expanding multiuse connectivity and public access to greenways while still upholding the core environmental values of the UDO.

Thank you for your consideration of this request. Please do not hesitate to contact our office should you require any additional information or clarification.

Sincerely,

A handwritten signature in black ink, appearing to read "Rebecca Swift".

Rebecca Swift, Operations & Development Director

PROJECT	DESIGNATION
POWER LINE TRAIL	N/A
CONTRACT	
POWER LINE TRAIL	

CITY OF BLOOMINGTON

TRAIL PLANS

**POWER LINE TRAIL
CITY OF BLOOMINGTON, INDIANA**

Beginning at a point approximately 2000 feet south of the northwest corner of Section 8, Township 8 North, Range 1 West within a Duke Energy Power line easement, thence running along the easement in an northeasterly direction 4,739.80 feet to a point approximately 825 feet west and 1133 feet south of the northeast corner of Section 8, Township 8 North, Range 1 West being a part of Section 8, T-8-N, R-1-W, Perry Township, Monroe County, Indiana

CITY OF BLOOMINGTON

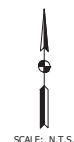
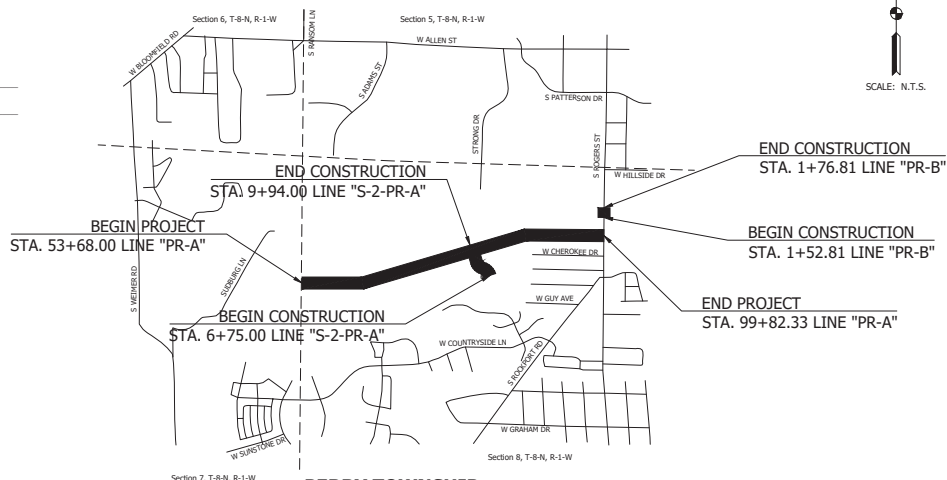
APPROVED:

Kathleen Mills, President, Board of Parks Commissioners

Date _____

Tim Street, Operations and Development Division Director

Date _____



PROJECT LOCATION SHOWN BY ———

LATITUDE: 39 08' 48" N LONGITUDE: 86 32' 52" W

GROSS LENGTH:	0.87	MI.
NET LENGTH:	0.87	MI.
MAX. GRADE:	9.22	%

INDIANA DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS DATED 2024
TO BE USED WITH THESE PLANS.

THE LATEST VERSION OF THE CITY OF
BLOOMINGTON UTILITY STANDARDS ARE TO
BE USED WITH THESE PLANS.

PERRY TOWNSHIP MONROE COUNTY LOCATION MAP



PLANS PREPARED BY: _____ PHONE NUMBER _____

CERTIFIED BY: _____ DATE _____

APPROVED FOR LETTING: _____ DATE _____

INDIANA DEPARTMENT OF TRANSPORTATION

	DESIGNATION
	N/A
	SHEETS
	1 of 53
CONTRACT	PROJECT
CORNER LINE TRAIN	CORNER LINE TRAIN

GENERAL NOTES

**	All earth shoulders, median areas, and cut and fill slopes shall be plain or seeded except where sodding is specified.
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** REPRESENTS GENERAL NOTE REQUIRED

DRAWINGS INDEX

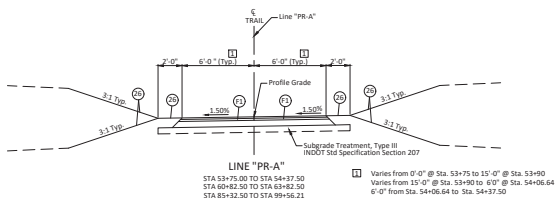
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RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: BSF	DRAWN: PRD	
CHECKED: LAR	CHECKED: LAR	

CITY OF BLOOMINGTON
POWER LINE TRAIL

INDEX SHEET

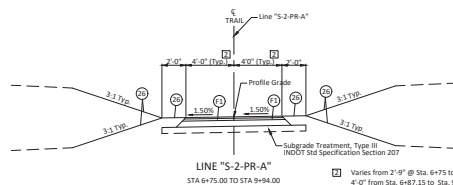
HORIZONTAL SCALE		BRIDGE FILE	
N/A		N/A	
VERTICAL SCALE		DESIGNATION	
N/A		N/A	
SURVEY BOOK		SHEETS	
N/A		2	53
CONTRACT		PROJECT	
POWER LINE TRAIL		POWER LINE TRAIL	



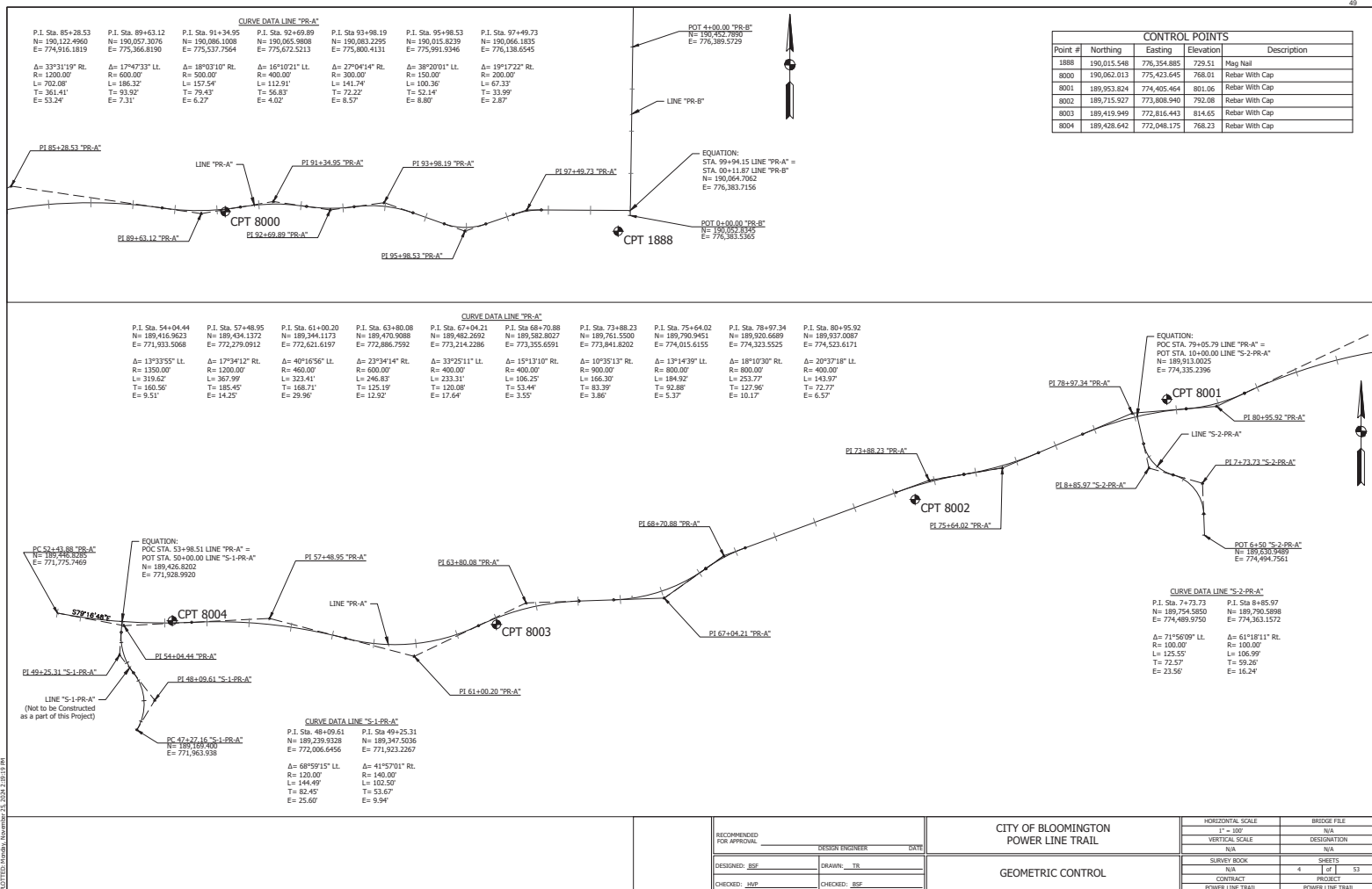
(F1) HMA for Sidewalk:
140 #/SYS HMA Surface, Type B on
220 #/SYS HMA Intermediate, Type B on
6" Compacted Aggregate, No. 53, Base

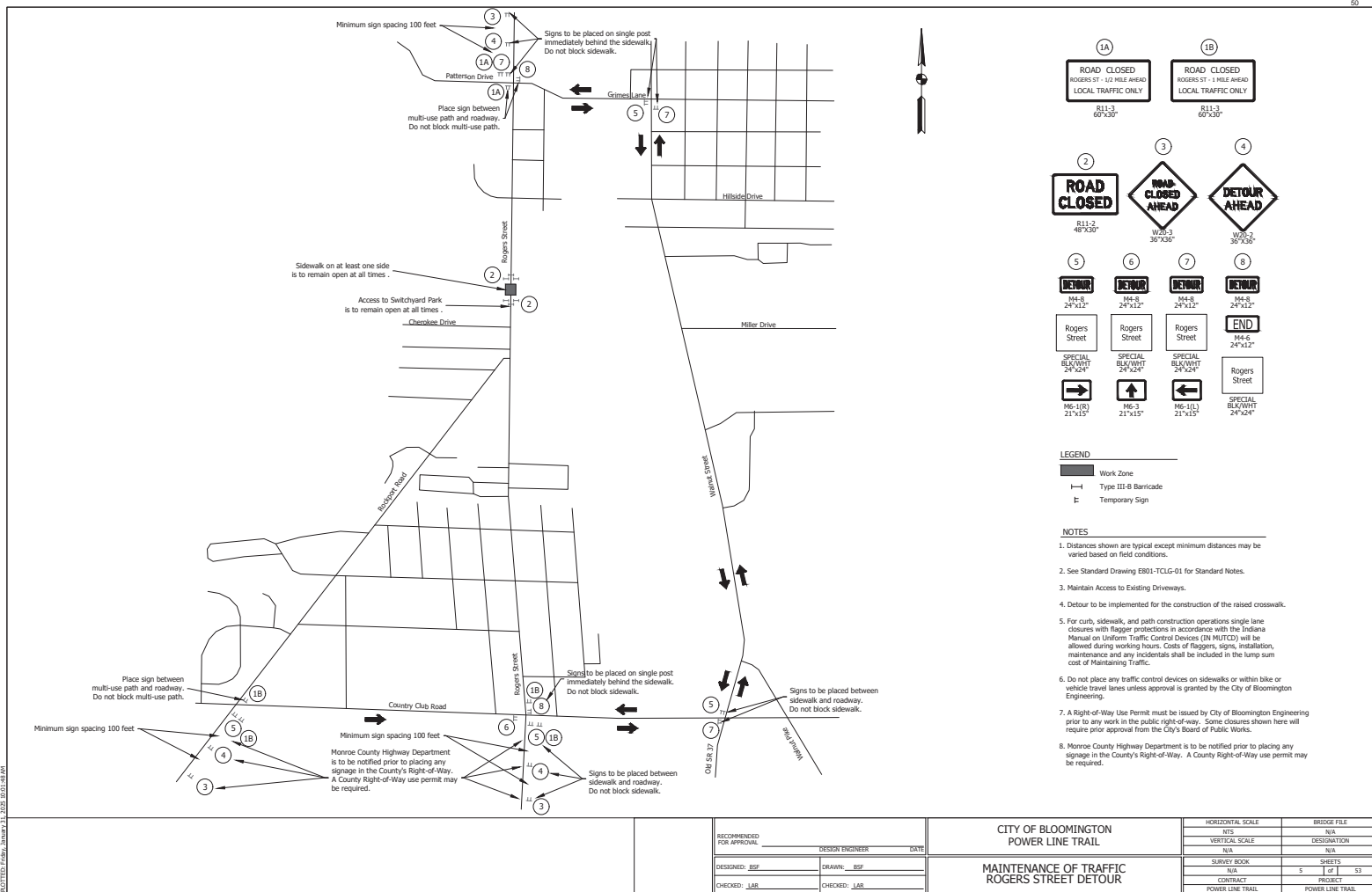
(26) Seeding

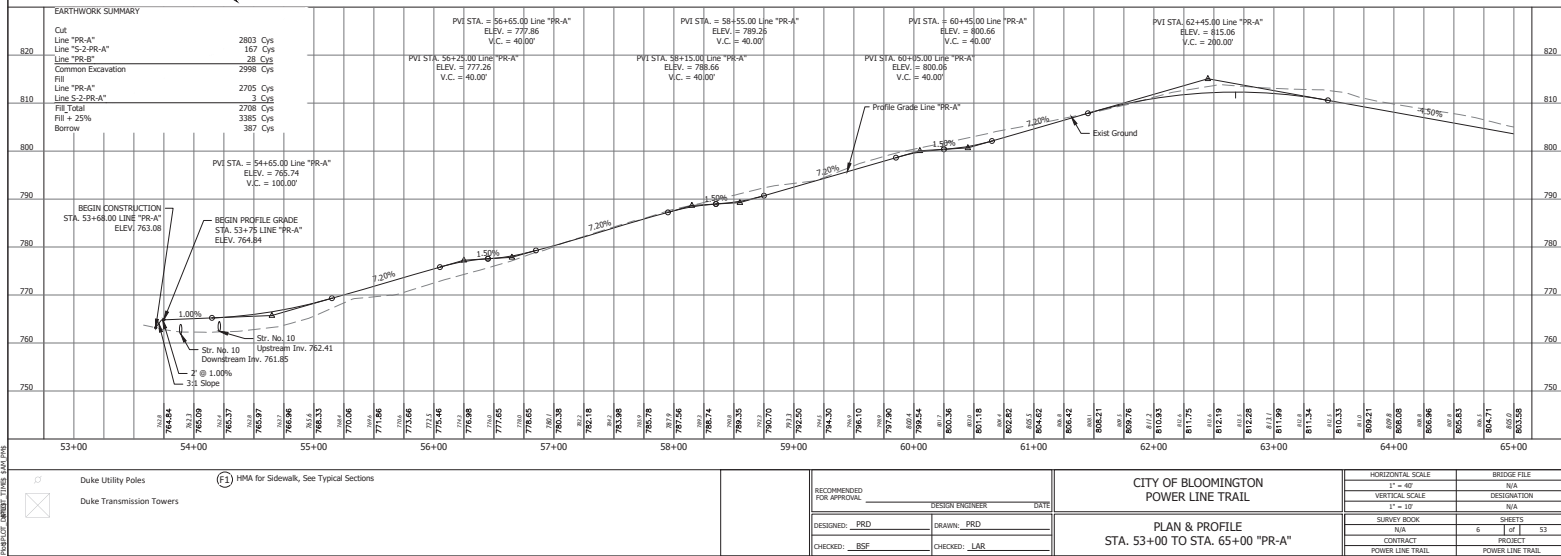
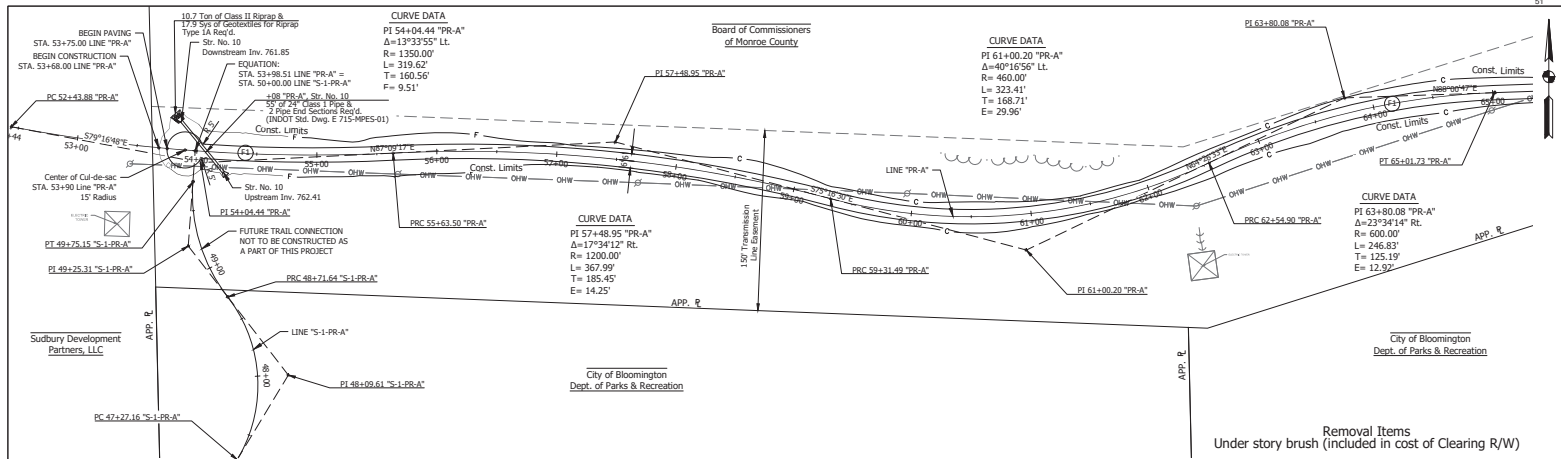
- Trailhead Treatment is required from Sta. 99+56.21 "PR-A" to Sta. 99+71.52 "PR-A". See Sheet 12 for Details.
- Raised Crosswalk is required from Sta. 1+52.81 "PR-B" to Sta. 1+76.81 "PR-B". See Sheet 13 for Details.



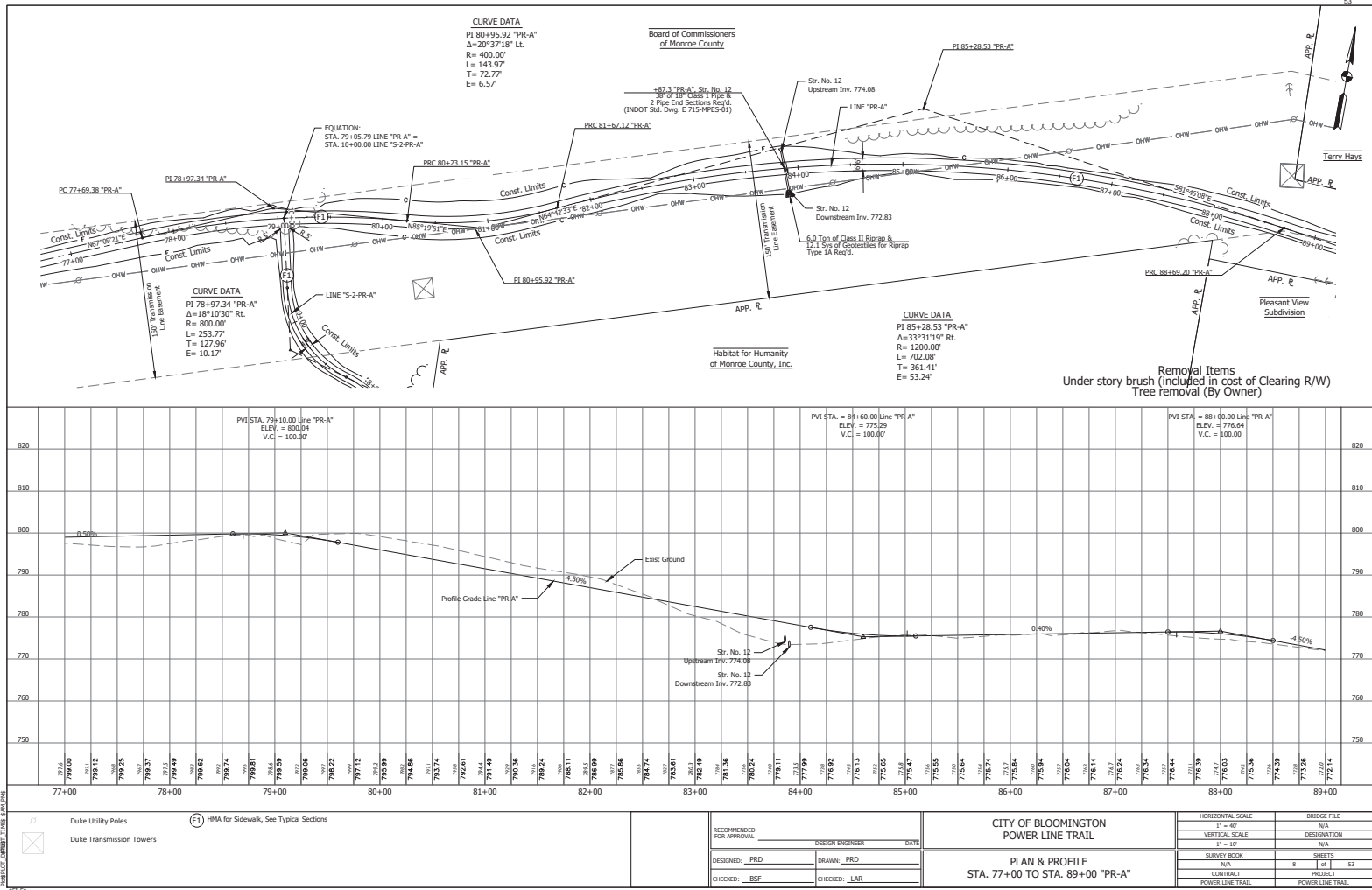
RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE	BRIDGE FILE
				1" = 1'-0"	N/A
				VERTICAL SCALE	DESIGNATION
				1" = 1'-0"	N/A
DESIGNED: <u>BSF</u>	DRAWN: <u>MR</u>		TYPICAL CROSS SECTIONS LINE "P-2-A" LINE "S-2-PR-A"	SURVEY BOOK	SHEETS
CHECKED: <u>LAR</u>	CHECKED: <u>BSF</u>			N/A	3 of 53
				CONTRACT	PROJECT
				POWER LINE TRAIL	POWER LINE TRAIL

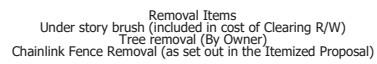




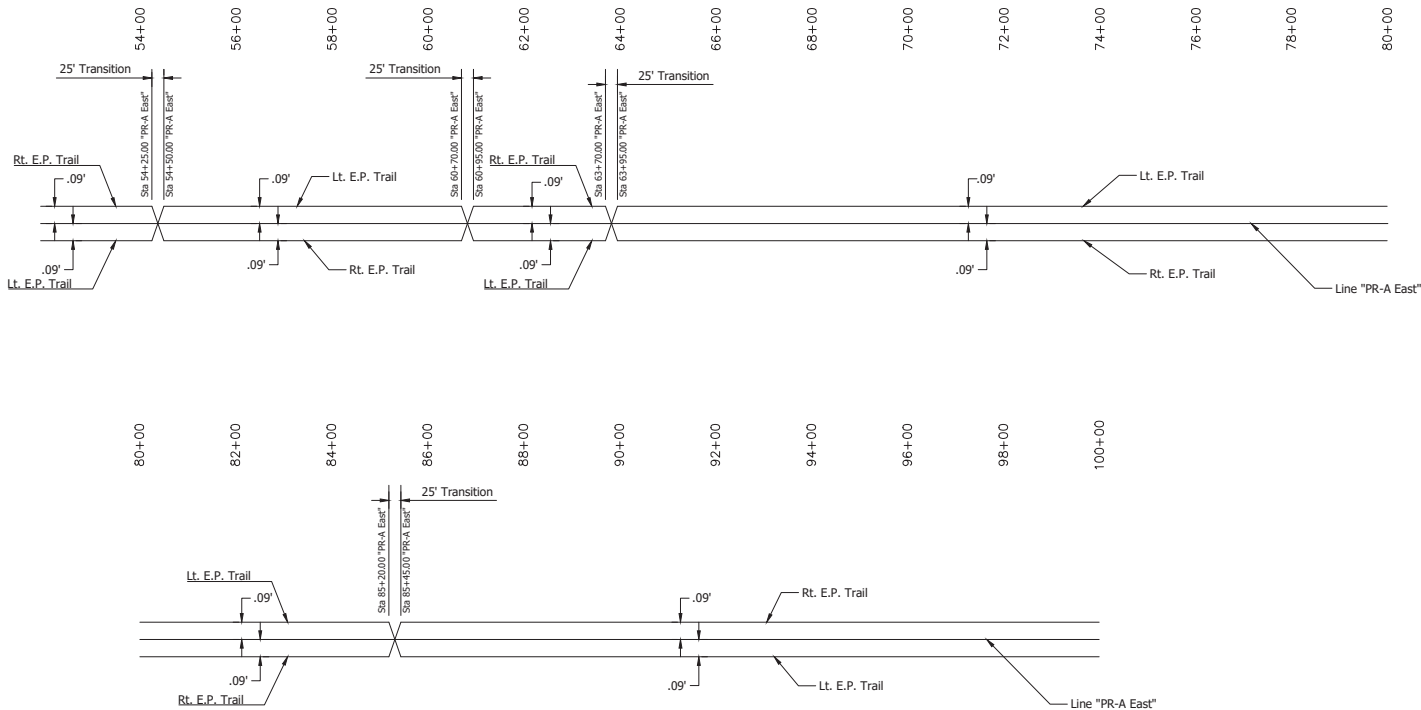








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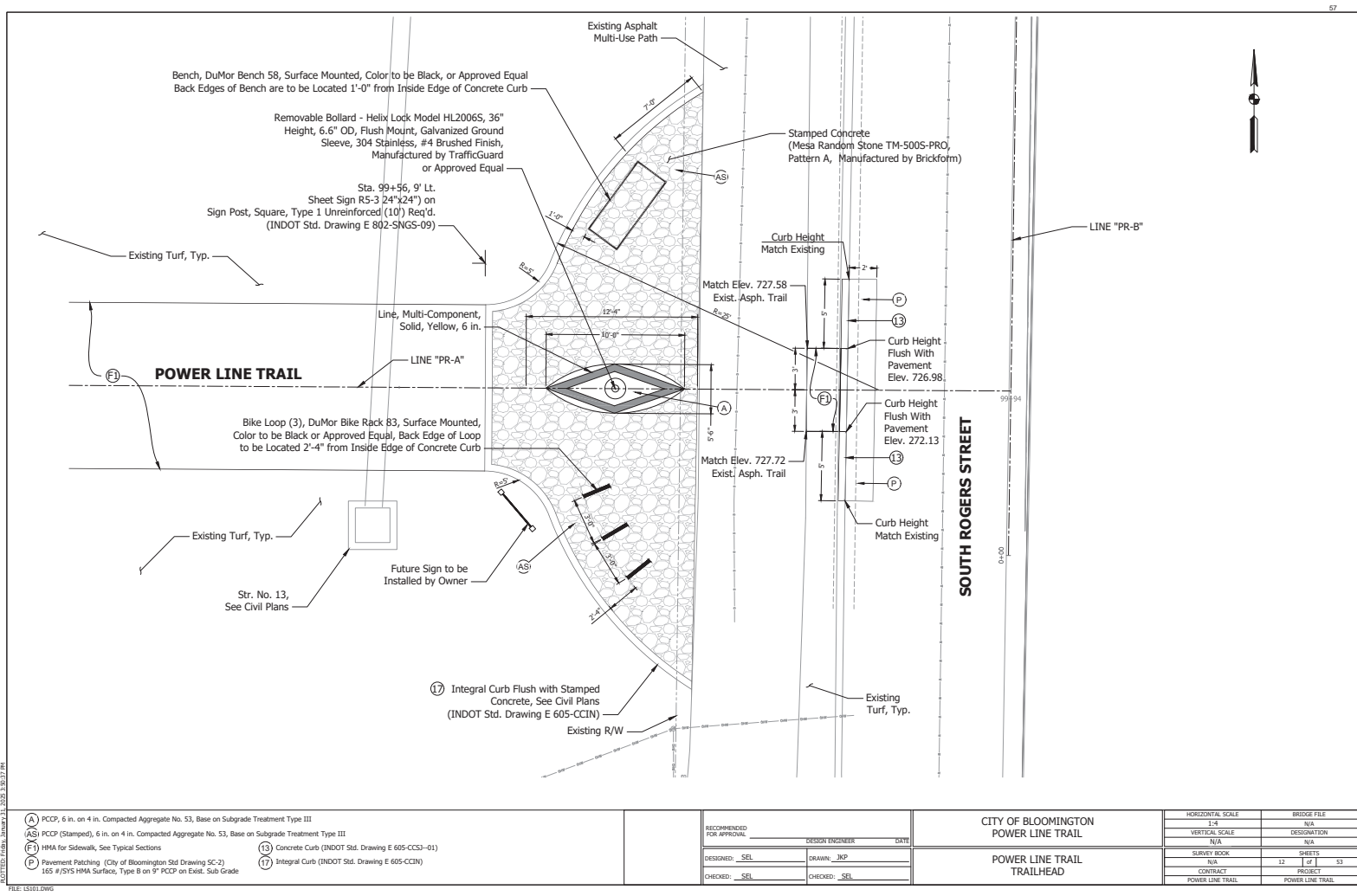
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FILE: RD_SUPERELEVATION_S1.DWG

RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: MR	DRAWN: MR	
CHECKED: BSF	CHECKED: BSF	

CITY OF BLOOMINGTON
POWER LINE TRAIL
SUPERELEVATION TRANSITION DIAGRAM
LINE "PR-A"

HORIZONTAL SCALE	BRIDGE FILE
1" = 100'	N/A
VERTICAL SCALE	DESIGNATION
1" = 0.25'	N/A
SURVEY BOOK	SHEETS
N/A	11 OF 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



ALSTEDT & ASSOCIATES, INC. 2/1/2023 3:30:17 PM

- (A) PCPP, 6 in. on 4 in. Compacted Aggregate No. 53, Base on Subgrade Treatment Type III
- (AS) PCPP (Stamped), 6 in. on 4 in. Compacted Aggregate No. 53, Base on Subgrade Treatment Type III
- (F) HMA for Sidewalk, See Typical Sections
- (P) Pavement Patching (City of Bloomington Std Drawing SC-2) 165 #/SYS HMA Surface, Type B on 9" PCPP on Exist. Sub Grade
- (13) Concrete Curb (INDOT Std. Drawing E 605-CCS-01)
- (17) Integral Curb (INDOT Std. Drawing E 605-CCIN)

RECOMMENDED FOR APPROVAL	
DESIGNED: SEL	DRAWN: JKP
CHECKED: SEL	CHECKED: SEL

CITY OF BLOOMINGTON	
POWER LINE TRAIL	
TRAILHEAD	

HORIZONTAL SCALE	BRIDGE FILE
1"=4'	N/A
VERTICAL SCALE	DESIGNATION
N/A	N/A
SURVEY BOOK	SHEETS
N/A	12 OF 13
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL

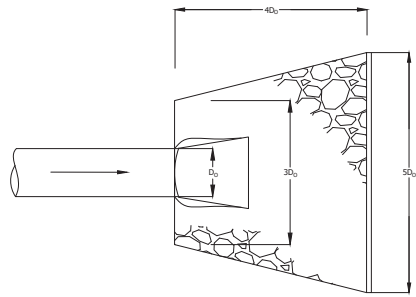


- NOTES:**
1. All required detectable warnings shall comply with the City of Bloomington's Approved Material List.
 2. Pavement markings and signs shall be installed before opening any lane to traffic that is occupied by a speed cushion or speed hump. Temporary markings that approximate the permanent markings may be used for up to two weeks in lieu of permanent pavement markings. No additional payment will be made for temporary marking use.
 3. For Location and details for the Speed Hump Signs see Sheet 18
 4. The Curb Turnout will not be paid for separately but curb will be included in the costs of Variable Depth Plain PCP (9 in. Min.) and Integral Curb.

FILE:
INMUN2010_RD_RAISED_CROSSWALK_DETAIL_01.DWG

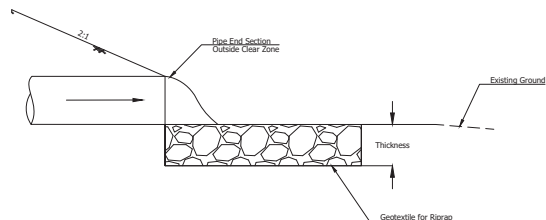
[illegible]RAISED CROSSWALK DETAIL

HORIZONTAL SCALE	BRIDGE FILE	
N.T.S.	N/A	
VERTICAL SCALE	DESIGNATION	
	N/A	
SURVEY BOOK	SHEETS	
N/A	13	of 53
CONTRACT	PROJECT	
POWER LINE TRAIL	POWER LINE TRAIL	



D₀ = Outside Diameter of Structure

Plan View
Scale: N.T.S.



Riprap Class	Thickness (in.)
Revetment	24
Class 1	30
Class 2	36

Riprap Apron
Scale: N.T.S.

Notes:

1. Riprap gradation is per INDOT standard specifications 2024 for classification shown in plans.
2. Geotextile fabric & riprap placement is per INDOT standard specifications 2024.

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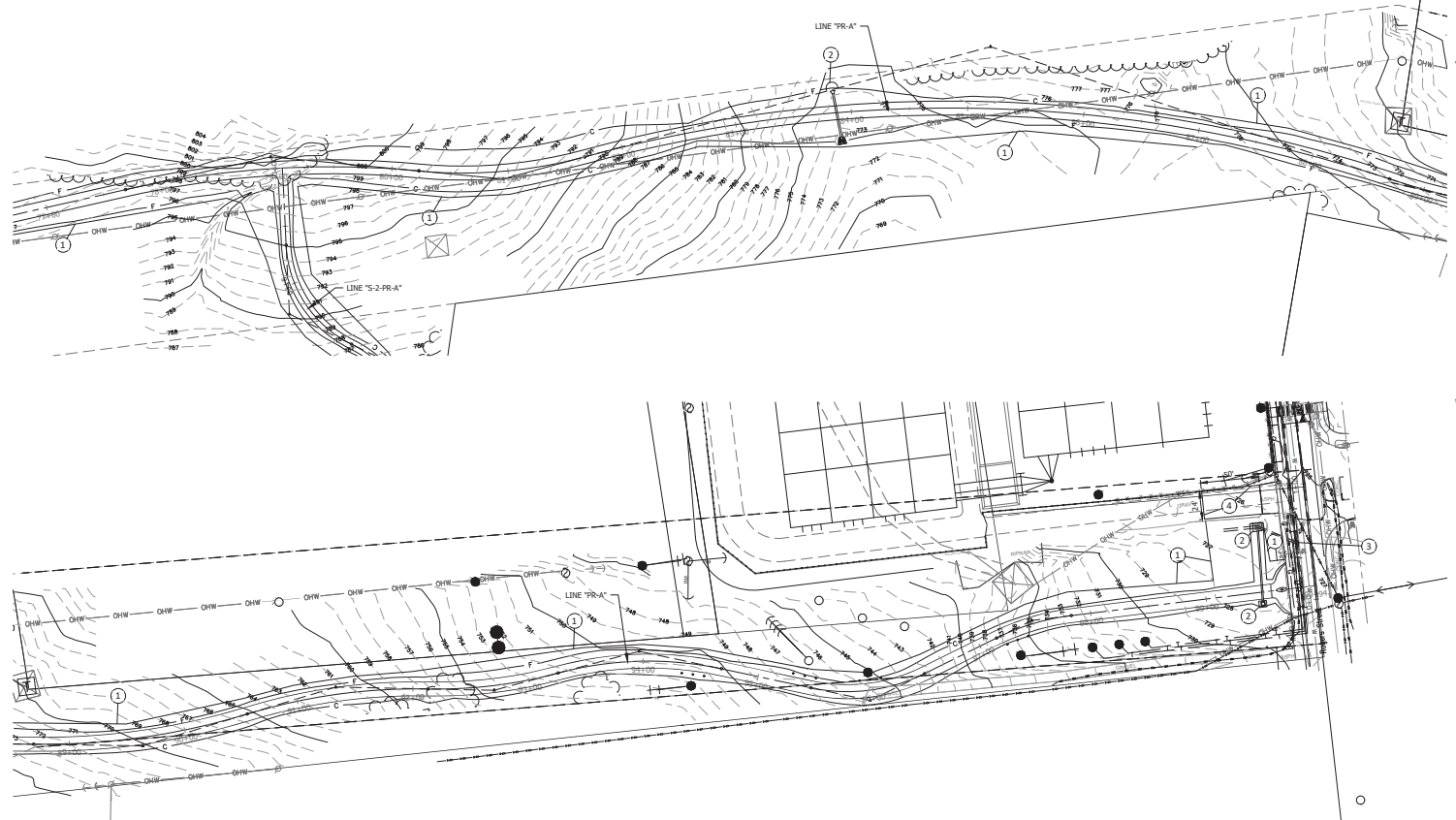
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RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: CR	DRAWN: JER	
CHECKED: BRF	CHECKED: BRF	

CITY OF BLOOMINGTON
POWER LINE TRAIL

DRAINAGE DETAIL
RIPRAP APRON

HORIZONTAL SCALE	BRIDGE FILE
AS SHOWN	N/A
VERTICAL SCALE	DESIGNATION
	N/A
SURVEY BOOK	SHEETS
N/A	14 OF 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL

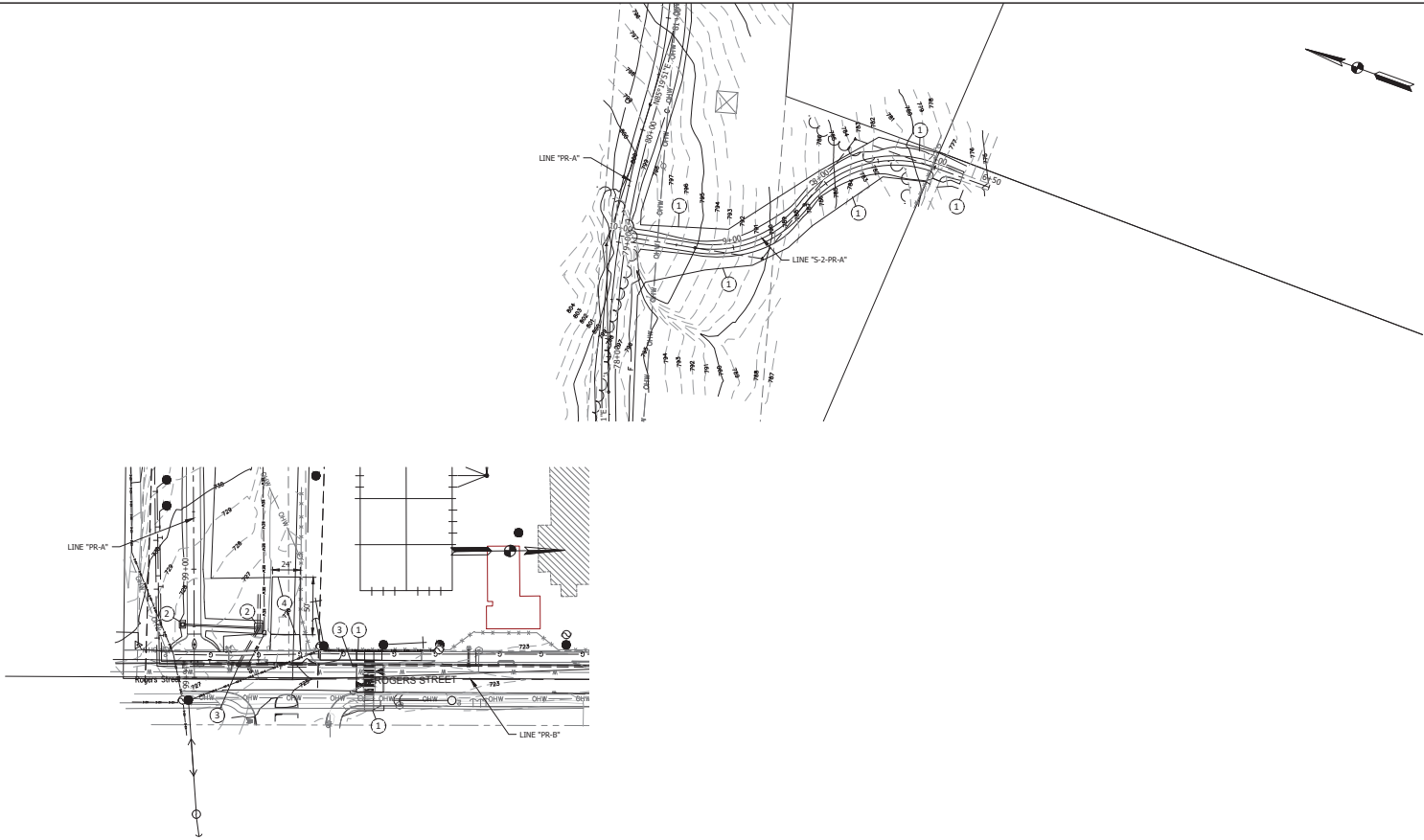


- Duke Utility Poles
- Duke Transmission Towers
- Temporary Perimeter Protection, Silt Fence (E 205-TECD-11)
- Temporary Inlet Protection, Filter Sock (E 205-TECD-02)
- Temporary Curb Inlet Protection, Filter Sock (E 205-TECD-05)
- Temporary Construction Entrance, No. 2 Stone (E 205-TECD-12)





RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: PRD	DRAWN: PRD	
CHECKED: BSF	CHECKED: LAB	

CITY OF BLOOMINGTON
POWER LINE TRAIL
EROSION CONTROL PLAN
STA. 77+00 TO STA. 89+00 "PR-A"
STA. 89+00 TO STA. 100+00 "PR-A"

HORIZONTAL SCALE	BRIDGE FILE
1" = 40'	N/A
VERTICAL SCALE	DESIGNATION
N/A	N/A
SURVEY BOOK	SHEETS
N/A	18 OF 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



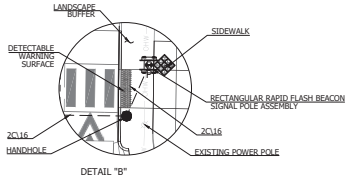
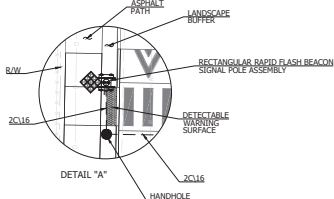
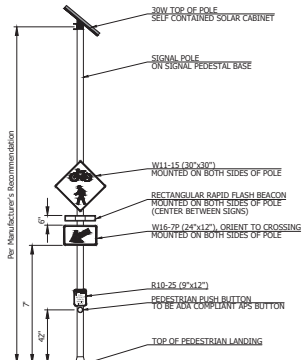
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- | | | | |
|---|--------------------------|---|--|
|  | Duke Utility Poles |  | Temporary Perimeter Protection, Silt Fence (E 205-TECD-11) |
|  | Duke Transmission Towers |  | Temporary Inlet Protection, Filter Sock (E 205-TECD-02) |
| | |  | Temporary Curb Inlet Protection, Filter Sock (E 205-TECD-05) |
| | |  | Temporary Construction Entrance, No. 2 Stone (E 205-TECD-12) |

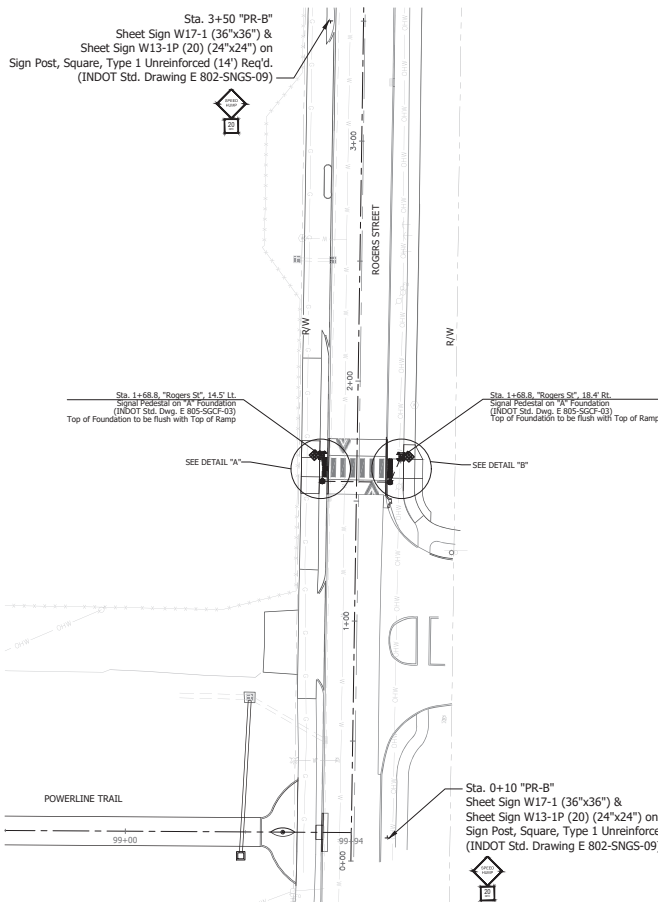
RECOMMENDED FOR APPROVAL		DESIGN ENGINEER	DATE
DESIGNED: PRD		DRAWN: PRD	
CHECKED: BSF		CHECKED: LAB	

CITY OF BLOOMINGTON
POWER LINE TRAIL
EROSION CONTROL PLAN
STA. 6+50 TO STA. 10+00 "S-2-PR-A"
STA. 5+00 TO STA. 9+00 "PR-B"

HORIZONTAL SCALE	BRIDGE FILE
1" = 40'	N/A
VERTICAL SCALE	DESIGNATION
N/A	N/A
SURVEY BOOK	SHEETS
N/A	17 OF 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



Sta. 3+50 "PR-B"
Sheet Sign W17-1 (36"x36") &
Sheet Sign W13-1P (20) (24"x24") on
Sign Post, Square, Type 1 Unreinforced (14') Req'd.
(INDOT Std. Drawing E 802-SNGS-09)



- Sta. 0+10 "PR-B"
Sheet Sign W17-1 (36"x36") &
Sheet Sign W13-1P (20) (24"x24") on
Sign Post, Square, Type 1 Unreinforced (14") Req'd.
(INDOT Std. Drawing E 802-SNGS-09)

Legend

-  Signal Pedestal on "A" Foundation
-  Accessible Pedestrian Push Button & Sign
-  Rectangular Rapid Flash Beacon
-  Solar Panel, Pole Mounted
-  Signal Handhole
-  2" Conduit



W11-15



W16-7
24" x 12"



R10-25
9"x12"



W17-1
36" x 36"



W13-1P(20)
24" x 24"

NOTES:

1. Contractor shall be responsible for locations, protection and coordination of existing utilities.
2. Contractor shall provide and install Cammann R920-MK Rectangular Rapid Flashing Beacon Assembly (2):
 - Signal pole with signal pedestal on Type A Foundation
 - 1' x 1' x 1' of solid painted steel contained MK 200 (30 Watty) solar panel and cabinet (1)
 - Rectangular Rapid Flashing Beacon (1)
 - Red/White Push Button, APS/Audible Information Device (1)
 - W11-15 (30"x37") sign (2)
 - W16-79 (24"x11") sign (2)
 - R10-25 (9"x11") sign (1)
3. All Beacons to communicate with each other upon activation by push button.
4. Push button, per manufacturer's specifications, to be ADA compliant with visual LED confirmation and audible voice message.

RECOMMENDED FOR APPROVAL _____	DESIGN ENGINEER _____	DATE _____	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE _____	BRIDGE FILE _____
				VERTICAL SCALE _____	DESIGNATION _____
DESIGNED: _____	DRAWN: _____	RECTANGULAR RAPID FLASHING BEACON PEDESTRIAN/TRAIL CROSSING		SURVEY BOOK _____	SHEETS _____
CHECKED: _____	CHECKED: _____			CONTRACT _____	PROJECT _____
				POWER LINE TRAIL	POWER LINE TRAIL

FILE: EC_TBL.DWG

RECOMMENDED FOR APPROVAL _____ DESIGN ENGINEER _____ DATE _____		CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE _____ BRIDGE FILE _____ N/A _____ N/A _____	
DESIGNED: _____ BSF _____ CHECKED: _____ HWP _____		EROSION CONTROL QUANTITIES		SURVEY BOOK _____ SHEETS _____ N/A _____ 19 _____ OF _____ CONTRACT _____ PROJECT _____ POWER LINE TRAIL _____ POWER LINE TRAIL _____	

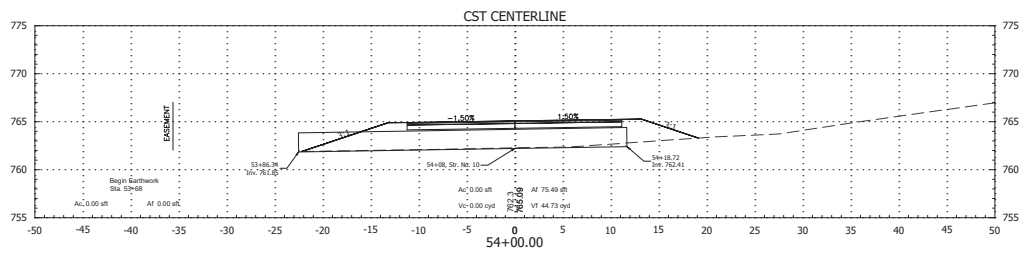
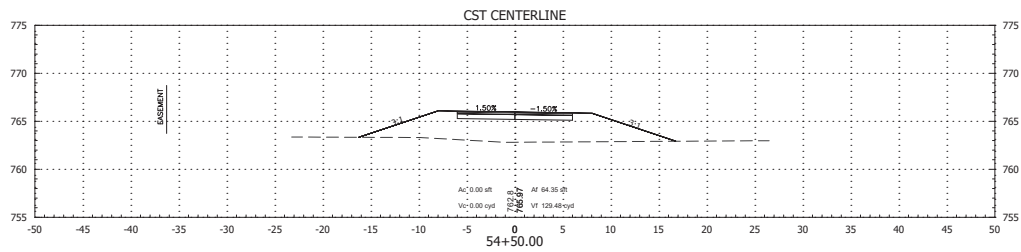
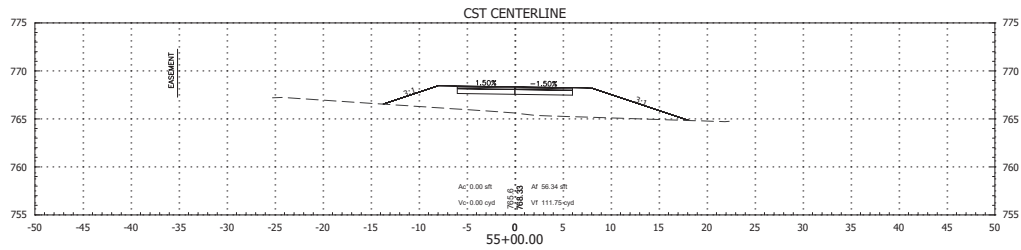
[illegible][illegible][illegible]

PAVEMENT MARKINGS SUMMARY OF QUANTITIES				
LOCATION	LINE, MARKING-COMPONENT	PAVEMENT MARKING MULTI-CHOICE LINE		PAVEMENT MARKING MULTI-COMPONENT
	SOLID YELLOW ft	SOLID WHITE 24 in ft	EACH	
Line "PR-B"				
99+60.00 to 99+70.50, R, & L		21		
Line "PR-B"				
1+53.00, R				1
1+55.00 to 1+67.00			48	
1+75.00, L				1
PAVEMENT MARKING SUMMARY		21	48	2

SHEET SIGN & POST SUMMARY							
SIGN					POST		
PLAN SHEET NO. / LINE	SIGN LOCATION (STA.)	SIGN CODE	SIGN SIZE (W x H)	GROUND - RIGULATED SIGN AREA (FT ²)	SQUARE		
					2 1/4" x 2 1/4" - 12 GA. (TYPE 1)		
					UNREINFORCED ANCHOR		
					POST LENGTH (FT.)		
					1	2	TOTAL
Line "PB-A"							
9	SR+55 LE	RS-1	34 x 24	4.00		10.0	10.0
Line "PB-B"							
18	0+15, Rt.	W17-1 W13-1P (20)	36 x 36 24 x 24	9.00 4.00		14.0	14.0
18	3+50, Lk.	W17-1 W13-1P (20)	36 x 36 24 x 24	9.00 4.00		14.0	14.0
Subtotal				13.00	28.00	5.00	46.00

Note: Signs associated with this PRTM System not shown as they are included in the cost of the Solar Powered Patching Beacon Assembly.

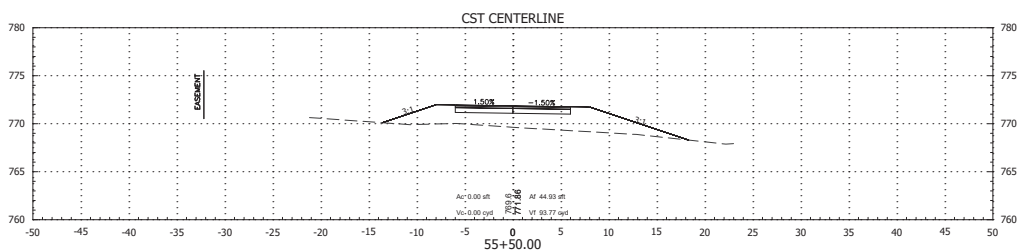
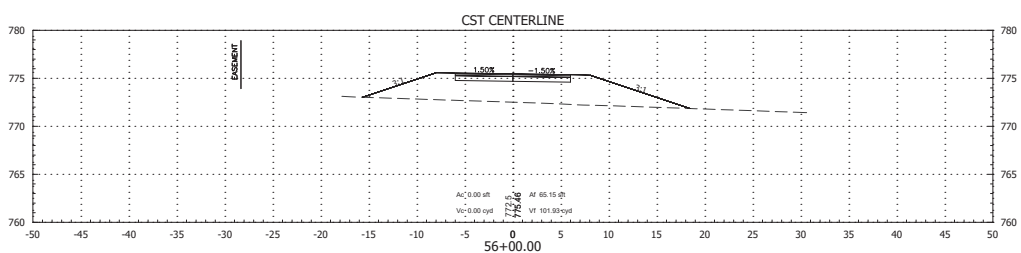
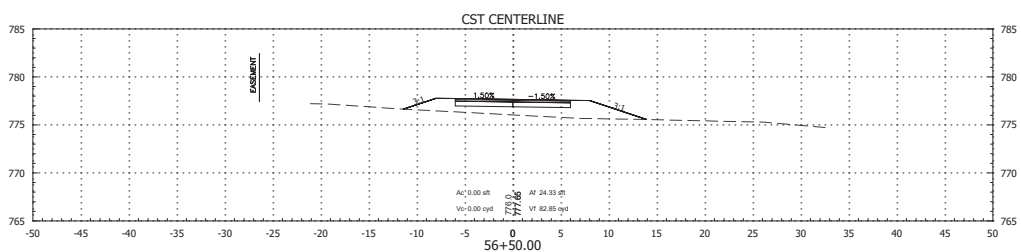
RECOMMENDED FOR APPROVAL _____	DESIGN ENGINEER _____ DATE _____	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE	BRIDGE FILE
			VERTICAL SCALE	DESIGNATION
DESIGNED: <u>RF</u>	DRAWN: <u>RF</u>	MISCELLANEOUS TABLES	SURVEY BOOK	SHEETS
CHECKED: <u>JC</u>	CHECKED: <u>JC</u>		POWER LINE TRAIL	20 OF 53
			CONTRACT	PROJECT



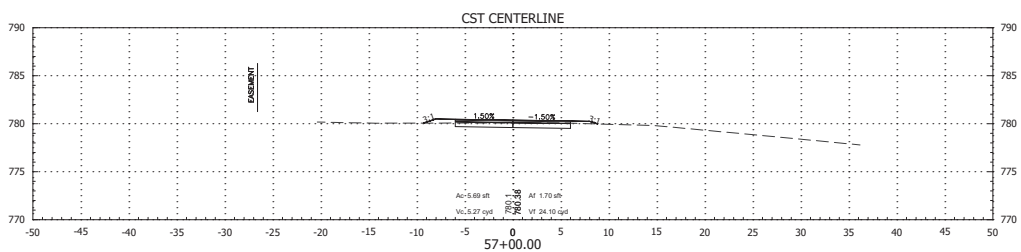
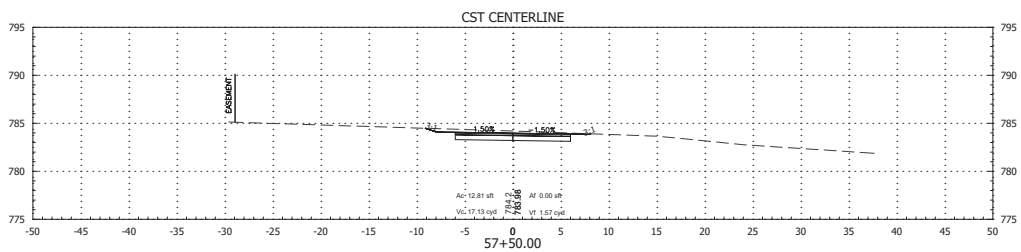
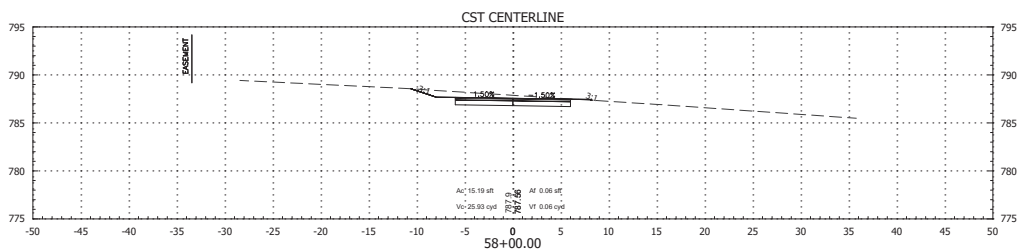
ALOTTED Thursday, February 27, 2025 10:06:17 AM

FILE: BPLUN2016_RD_CORRIDOR.DWG

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DESIGNED: <u>HVP</u>		DRAWN: <u>HVP</u>				CROSS SECTIONS Line "PR-A"		1" = 5'		N/A	
CHECKED: <u>BSF</u>		CHECKED: <u>BSF</u>						SURVEY BOOK		SHEETS	
								N/A		23 OF 53	
								CONTRACT		PROJECT	
								POWER LINE TRAIL		POWER LINE TRAIL	



RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE	CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE	BRIDGE FILE
					1" = 5'	N/A
					VERTICAL SCALE	DESIGNATION
					1" = 5'	N/A
DESIGNED: HVP	DRAWN: HVP		CROSS SECTIONS Line "PR-A"		SURVEY BOOK	SHEETS
CHANGED: BSF	CHECKED: BSF				N/A	22 of 53
					CONTRACT	PROJECT
					POWER LINE TRAIL	POWER LINE TRAIL

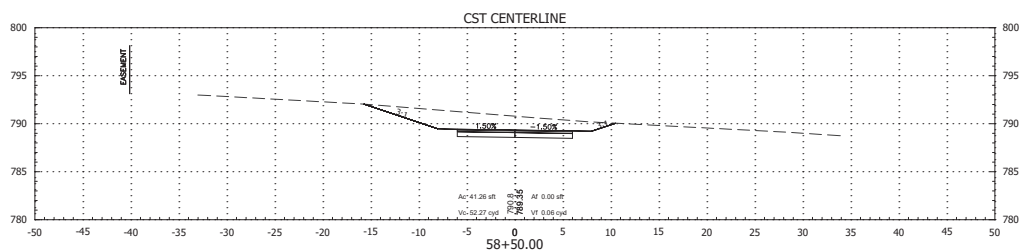
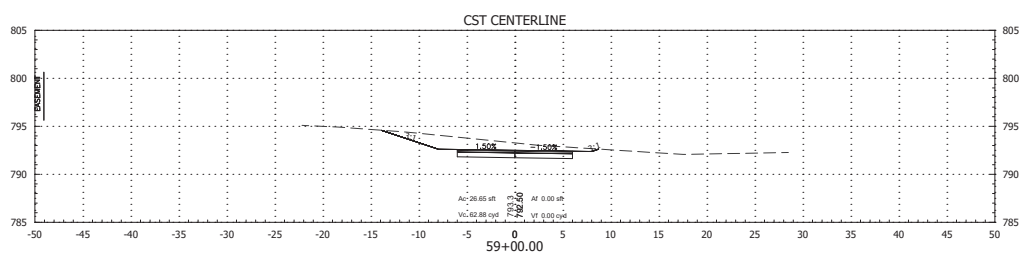
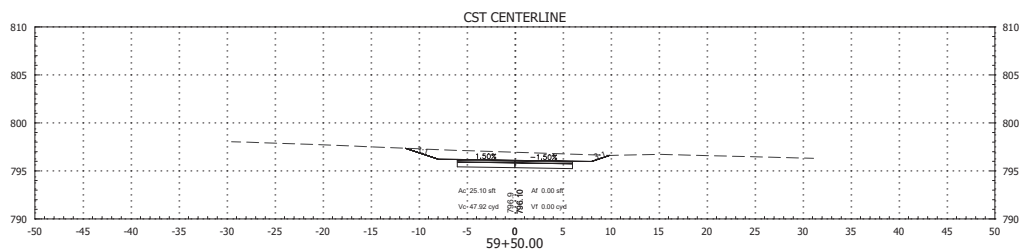


RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: HVP	DRAWN: HVP	
CHECKED: BSF	CHECKED: BSF	

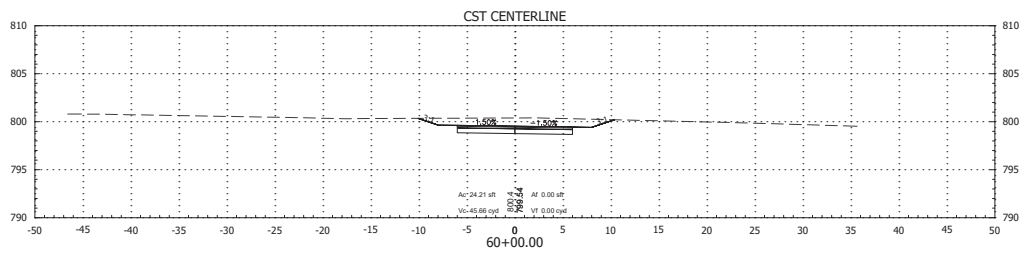
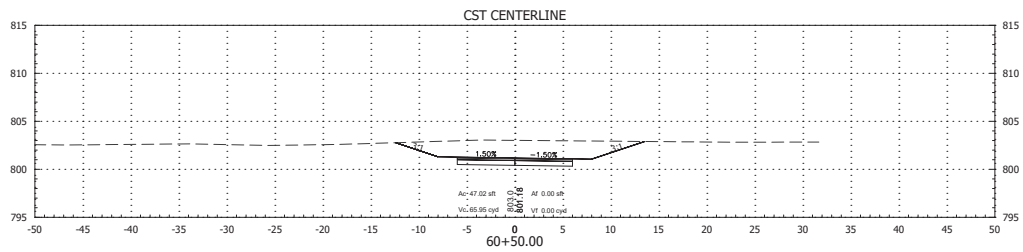
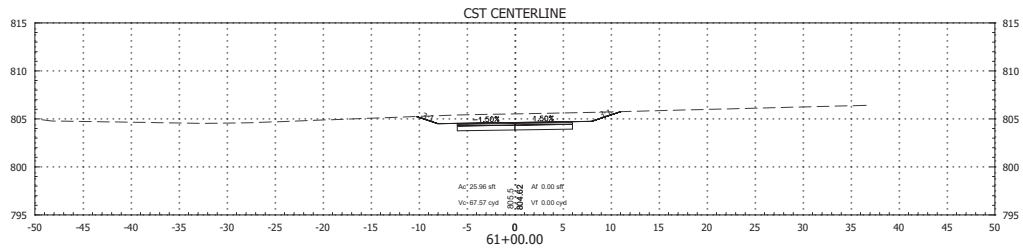
CITY OF BLOOMINGTON
POWER LINE TRAIL

CROSS SECTIONS
Line "PR-A"

HORIZONTAL SCALE	BRIDGE FILE
1" = 5'	N/A
VERTICAL SCALE	DESIGNATION
1" = 5'	N/A
SURVEY BOOK	SHEETS
N/A	23 OF 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



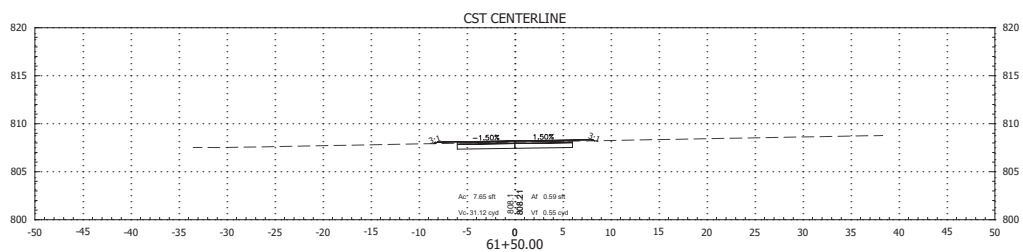
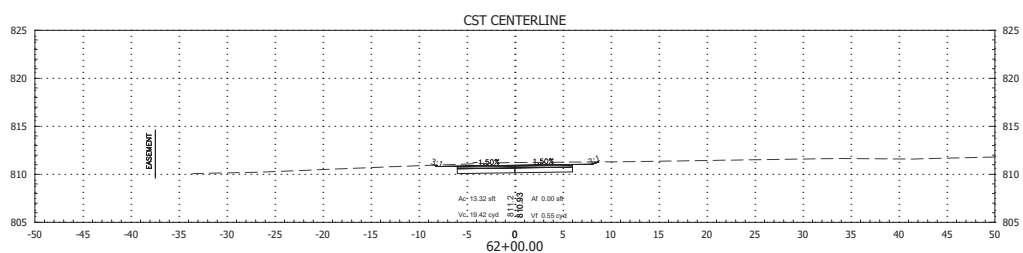
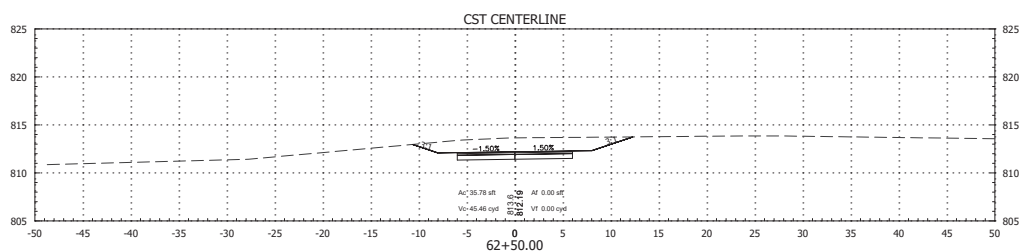
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			VERTICAL SCALE 1" = 5'	DESIGNATION N/A
	DESIGN ENGINEER _____ DATE _____		SURVEY BOOK N/A	SHEETS 24 OF 53
	DRAWN: HVP	CROSS SECTIONS LINE "PR-A"	CONTRACT POWER LINE TRAIL	PROJECT POWER LINE TRAIL
	CHECKED: BVSF			



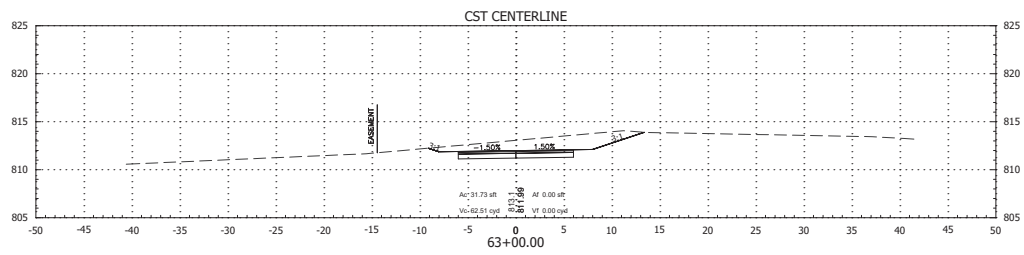
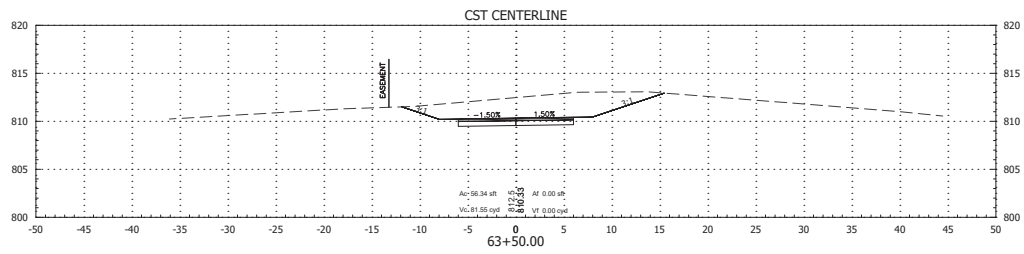
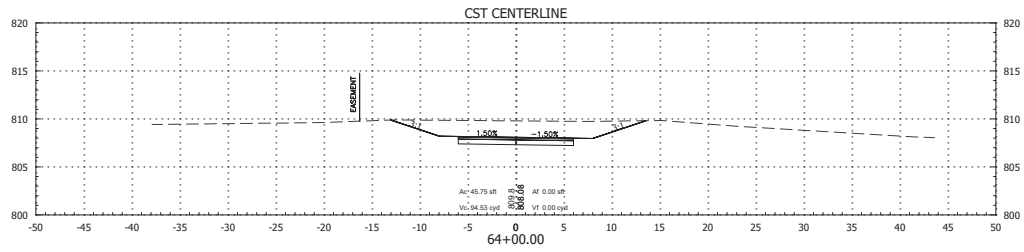
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FILE: BHMUN2010_R0_CORRIDOR.DWG

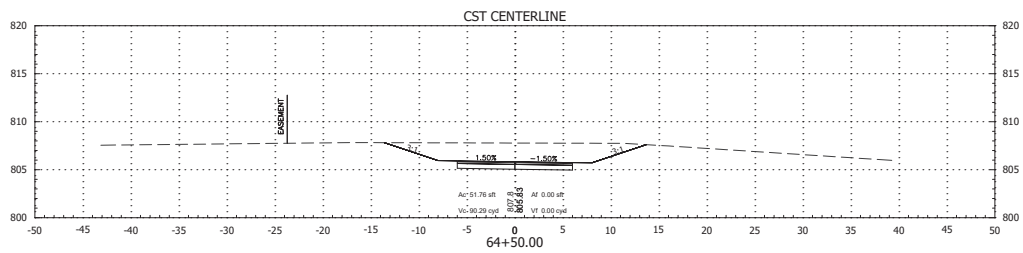
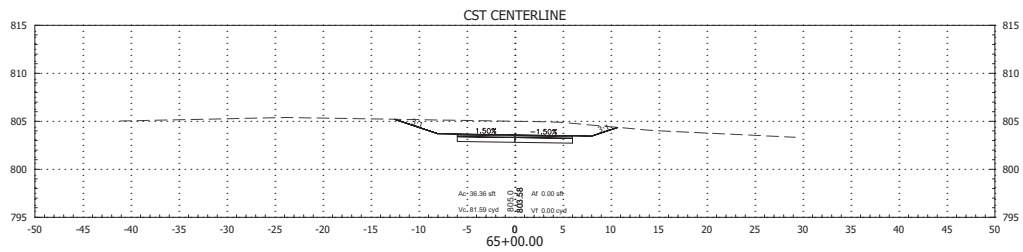
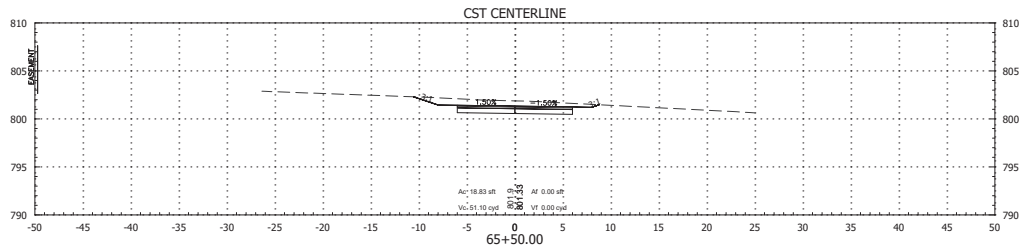
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					1" = 5'	N/A
					VERTICAL SCALE	DESIGNATION
					1" = 5'	N/A
DESIGNED: HVP	DRAWN: HVP		CROSS SECTIONS Line "PR-A"		SURVEY BOOK	SHEETS
CHECKED: BSF	CHECKED: BSF				N/A	25 27 53
					CONTRACT	PROJECT
					POWER LINE TRAIL	POWER LINE TRAIL



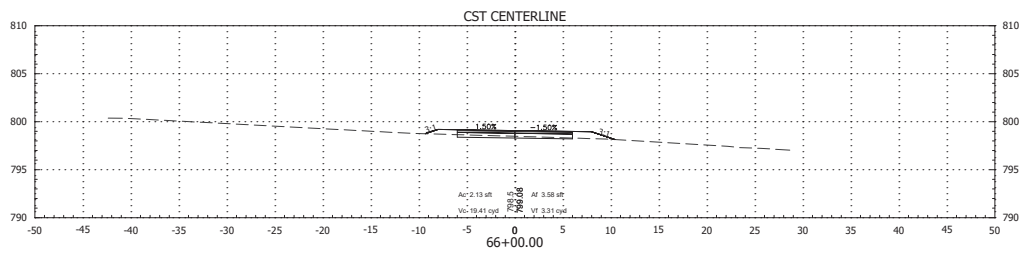
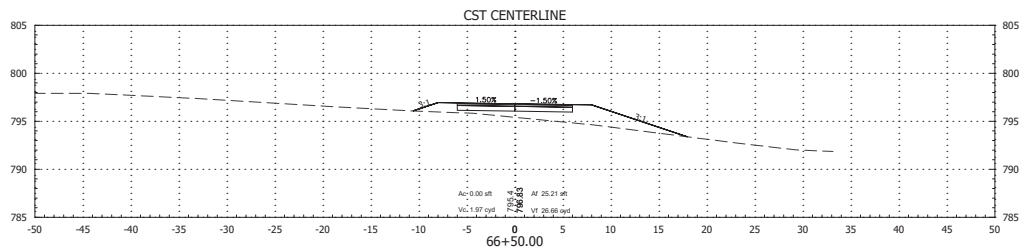
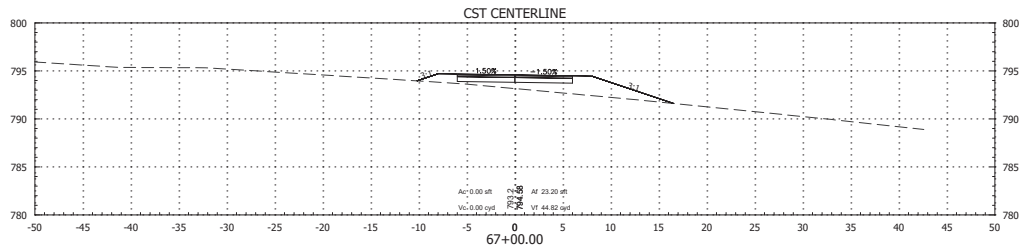
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				1" = 5'	N/A
				VERTICAL SCALE	DESIGNATION
				1" = 5'	N/A
DESIGNED: HVP	DRAWN: HVP		CROSS SECTIONS Line "PR-A"	SURVEY BOOK	SHEETS
CHECKED: BSF	CHECKED: BSF			N/A	26 OF 53
				CONTRACT	PROJECT
			POWER LINE TRAIL	POWER LINE TRAIL	



RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE	CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE	BRIDGE FILE
					1" = 5'	N/A
					VERTICAL SCALE	DESIGNATION
					1" = 5'	N/A
DESIGNED: HVP	DRAWN: HVP		CROSS SECTIONS Line "PR-A"		SURVEY BOOK	SHEETS
CHECKED: BSF	CHECKED: BSF				N/A	27 53
					CONTRACT	PROJECT
					POWER LINE TRAIL	POWER LINE TRAIL



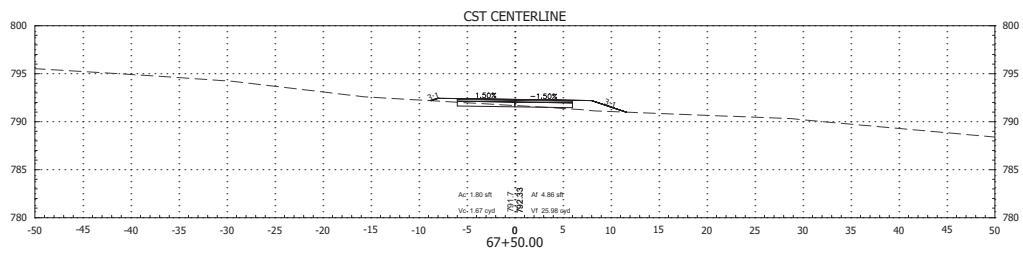
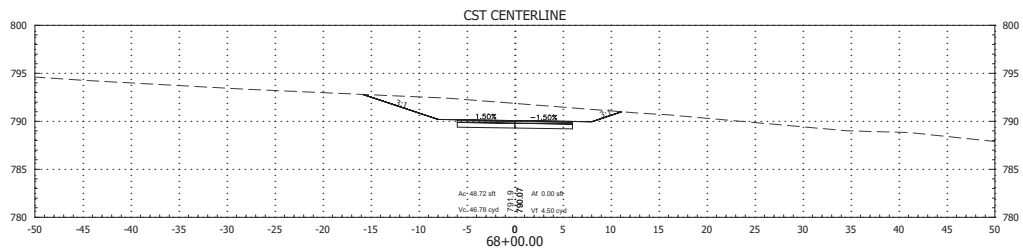
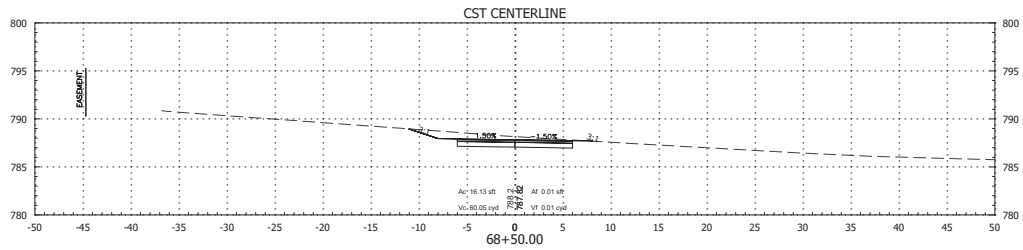
RECOMMENDED FOR APPROVAL	DESIGN ENGINEER		DATE	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE		BRIDGE FILE		
					1" = 5'		DESIGNATION		
					VERTICAL SCALE				
					1" = 5'		N/A		
DESIGNED: HVP	DRAWING: HVP				SURVEY BOOK		SHEETS		
					N/A		28 of 53		
CHECKED: BSF	CHECKED: BSF				CROSS SECTIONS LINE "PR-A"		CONTRACT		
					POWER LINE TRAIL		POWER LINE TRAIL		



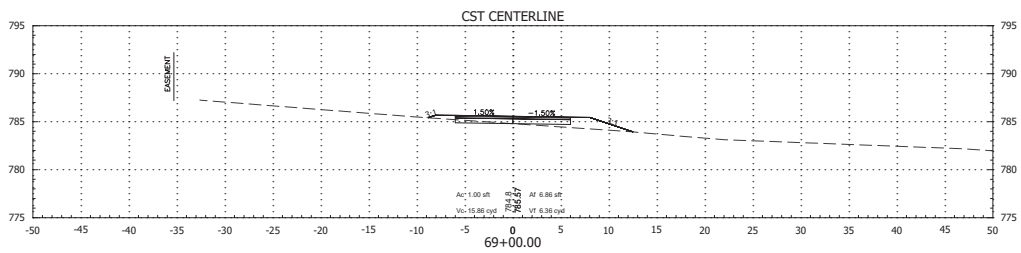
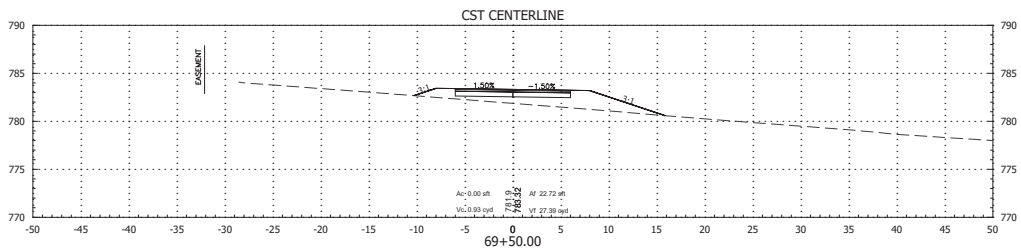
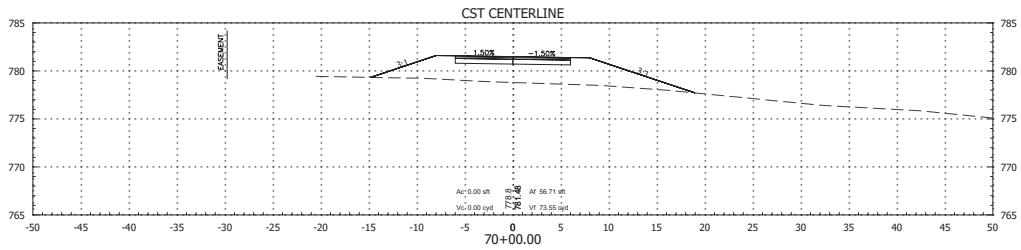
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FILE: BHMUN2010_R0_CORRIDOR.DWG

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							1" = 5'		N/A	
							VERTICAL SCALE		DESIGNATION	
							1" = 5'		N/A	
DESIGNED: HVP		DRAWN: HVP			CROSS SECTIONS Line "PR-A"		SURVEY BOOK		SHEETS	
							N/A		29 OF 53	
CHECKED: BSF		CHECKED: BSF					CONTRACT		PROJECT	
							POWER LINE TRAIL		POWER LINE TRAIL	



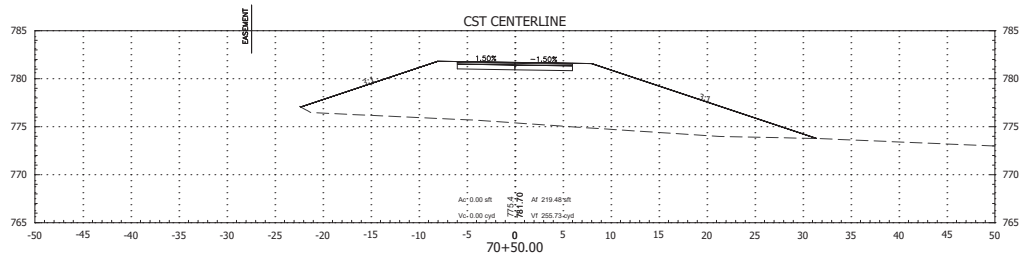
RECOMMENDED FOR APPROVAL	DESIGN ENGINEER		DATE	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE	BRIDGE FILE
					1" = 5'	N/A
					VERTICAL SCALE	DESIGNATION
					1" = 5'	N/A
DESIGNED: HVP	DRAWING: HVP			CROSS SECTIONS Line "PR-A"	SURVEY BOOK	SHEETS
					N/A	30 of 53
CHECKED: BSF	CHECKED: BSF				CONTRACT	PROJECT
					POWER LINE TRAIL	POWER LINE TRAIL



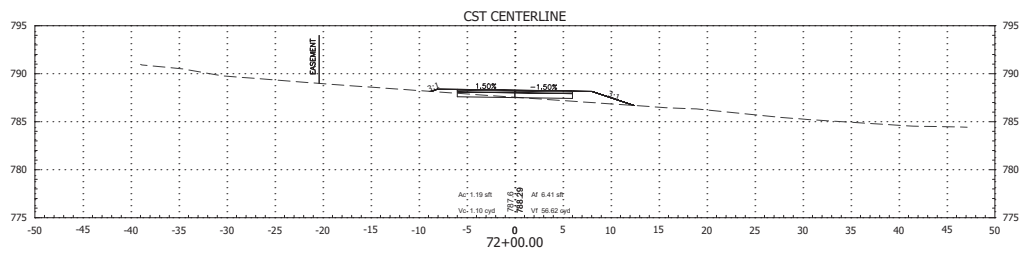
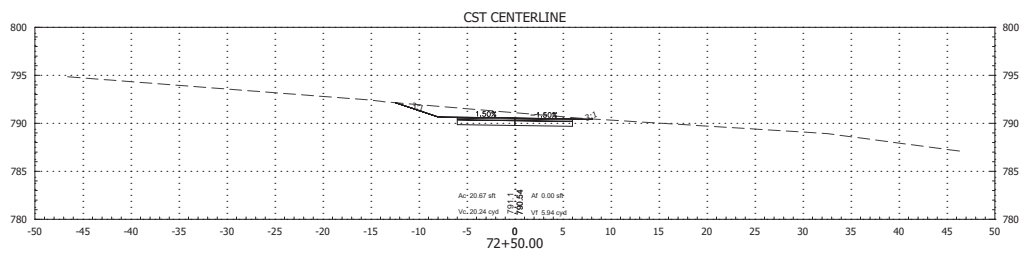
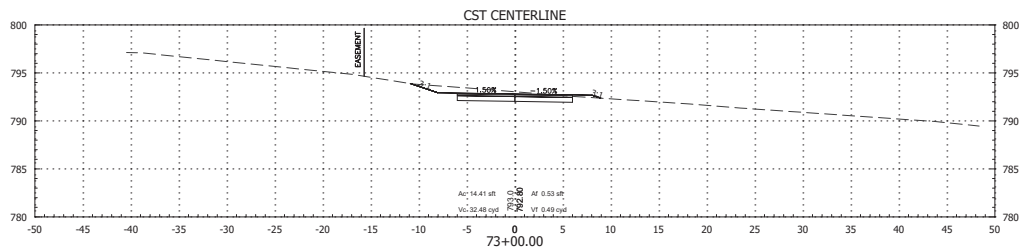
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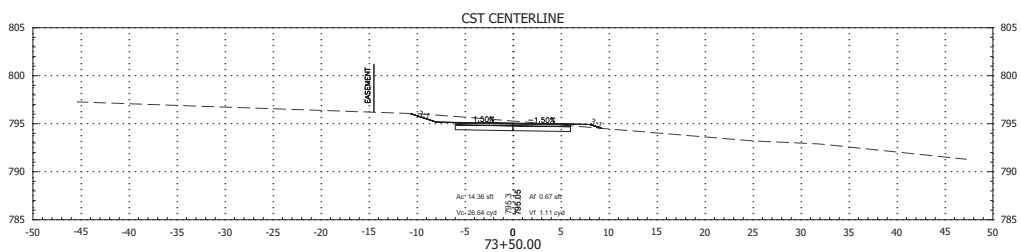
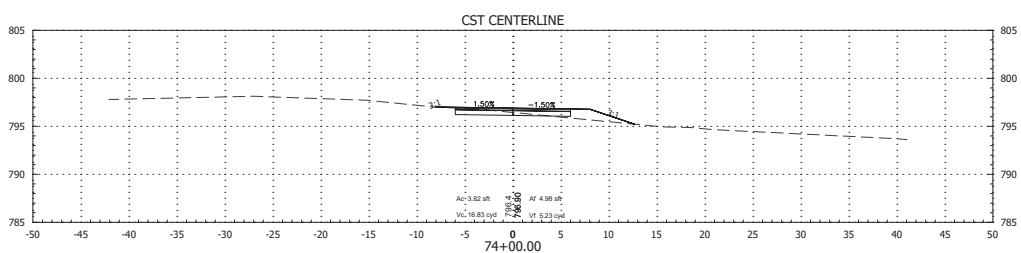
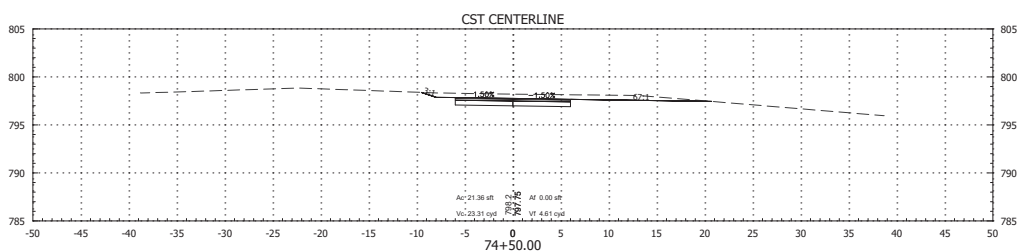
RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE	CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE	BRIDGE FILE
					1" = 5'	N/A
					VERTICAL SCALE	DESIGNATION
					1" = 5'	N/A
DESIGNED: HVP	DRAWN: HVP		CROSS SECTIONS Line "PR-A"		SURVEY BOOK	SHEETS
CHECKED: BSF	CHECKED: BSF				N/A	33 OF 53
					CONTRACT	PROJECT
					POWER LINE TRAIL	POWER LINE TRAIL



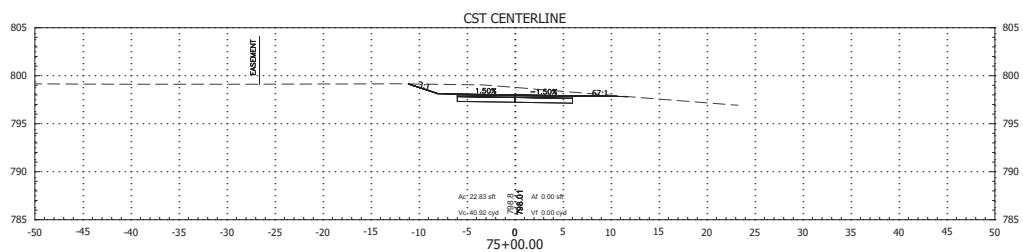
RECOMMENDED FOR APPROVAL _____ DESIGN ENGINEER DATE		CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE 1" = 5'		BRIDGE FILE N/A	
DESIGNED: HVP		CROSS SECTIONS Line "PR-A"		VERTICAL SCALE 1" = 5'		DESIGNATION N/A	
CHECKED: BSF				SURVEY BOOK N/A		SHEETS 32 of 53	
CHECKED: BSF				CONTRACT POWER LINE TRAIL		PROJECT POWER LINE TRAIL	



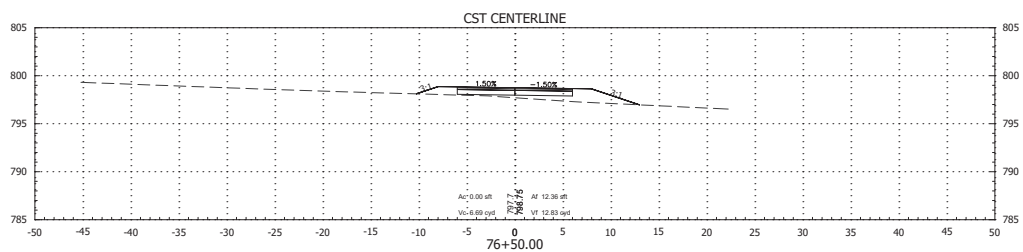
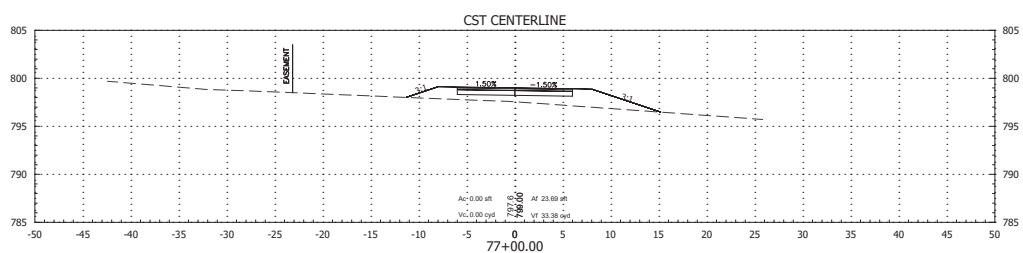
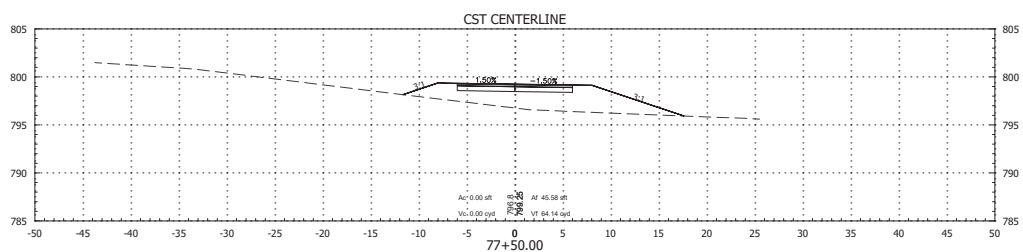
RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE	BRIDGE FILE
				1" = 5'	N/A
				VERTICAL SCALE	DESIGNATION
				1" = 5'	N/A
DESIGNED: HVP	DRAWN: HVP		CROSS SECTIONS Line "PR-A"	SURVEY BOOK	SHEETS
CHECKED: BSF	CHECKED: BSF			N/A	33 OF 53
				CONTRACT	PROJECT
				POWER LINE TRAIL	POWER LINE TRAIL



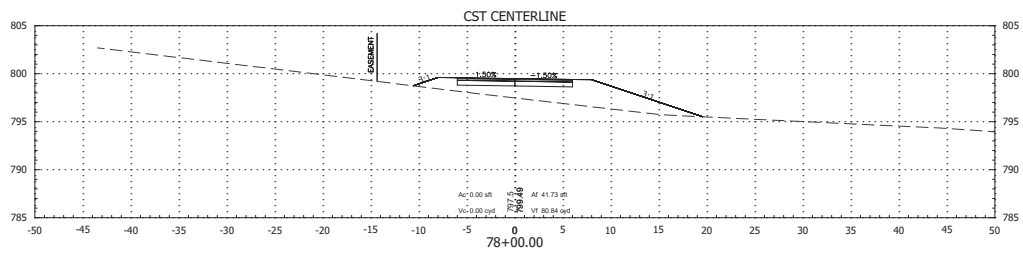
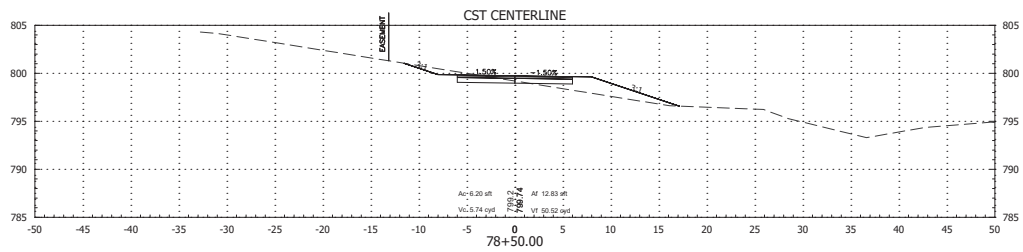
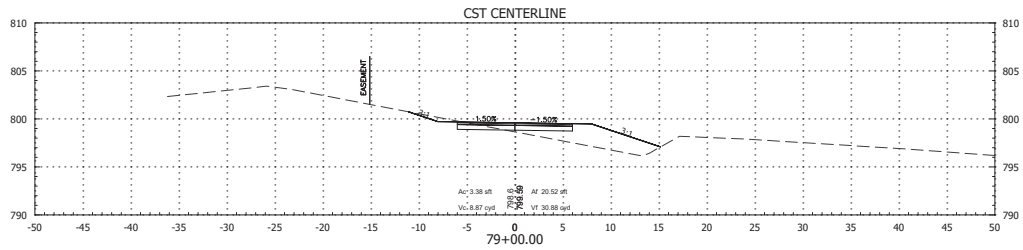
RECOMMENDED FOR APPROVAL _____ DESIGN ENGINEER _____ DATE _____		CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE 1" = 5'		BRIDGE FILE N/A	
				VERTICAL SCALE 1" = 5'		DECONTAMINATION N/A	
DESIGNED: HVP CHECKED: BSF		DRAWN: HVP CHECKED: BSF		SURVEY BOOK N/A		SHEETS 34 47 53	
CROSS SECTIONS Line "PR-A"				CONTRACT POWER LINE TRAIL		PROJECT POWER LINE TRAIL	



RECOMMENDED FOR APPROVAL _____		CITY OF BLOOMINGTON POWER LINE TRAIL		HORIZONTAL SCALE 1" = 5'		BRIDGE FILE N/A	
DESIGN ENGINEER _____		DATE _____		VERTICAL SCALE 1" = 5'		DESIGNATION _____	
DESIGNED: BSP		DRAWN: HVP		CROSS SECTIONS Line "PR-A"			
CHECKED: HVP		CHECKED: BSP		SURVEY BOOK N/A		SHEETS 35 OF 53	
				CONTRACT POWER LINE TRAIL		PROJECT POWER LINE TRAIL	



RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE	CITY OF BLOOMINGTON POWER LINE TRAIL	HORIZONTAL SCALE	BRIDGE FILE
				1" = 5'	N/A
				VERTICAL SCALE	DESIGNATION
				1" = 5'	N/A
DESIGNED: HSP	DRAWN: HSP	CROSS SECTIONS LINE "PR-A"		SURVEY BOOK	SHEETS
CHECKED: BSF	CHECKED: BSF			N/A	36 of 53
				CONTRACT	PROJECT
				POWER LINE TRAIL	POWER LINE TRAIL

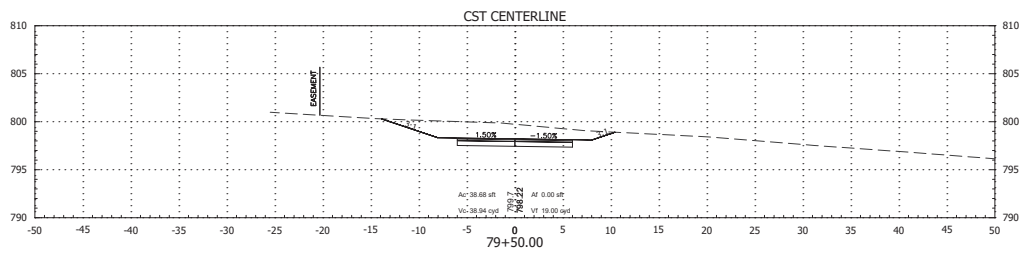
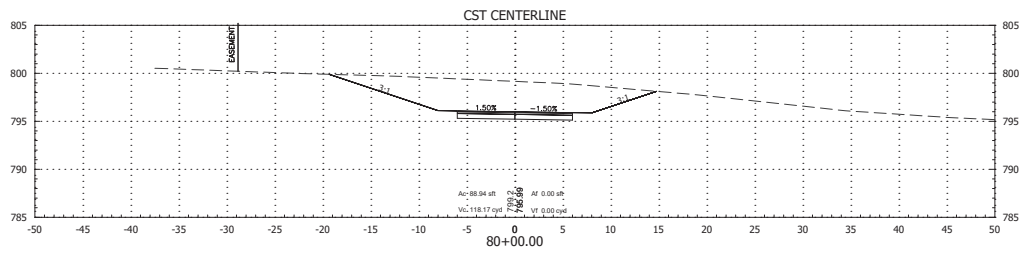
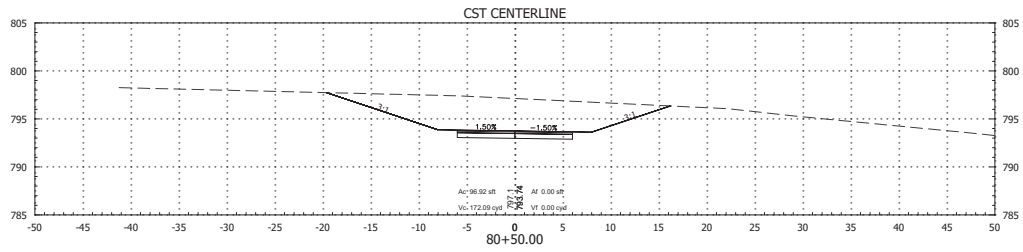


RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: HVP	DRAWN: HVP	
CHECKED: BSF	CHECKED: BSF	

CITY OF BLOOMINGTON
POWER LINE TRAIL

CROSS SECTIONS
Line "PR-A"

HORIZONTAL SCALE	BRIDGE FILE
1" = 5'	N/A
VERTICAL SCALE	DESIGNATION
1" = 5'	N/A
SURVEY BOOK	SHEETS
N/A	37 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



ALOTTED Thursday, February 27, 2025 10:38:54 AM

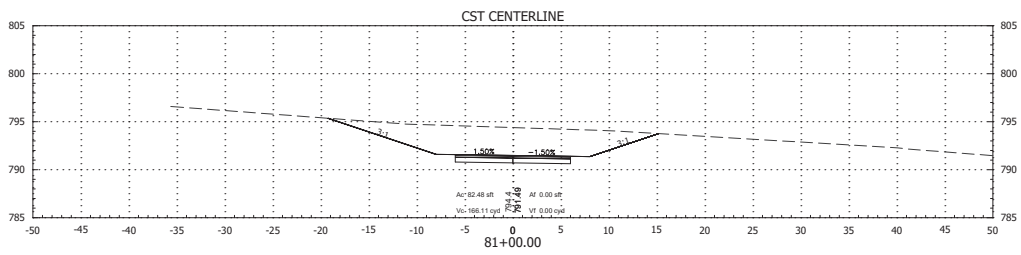
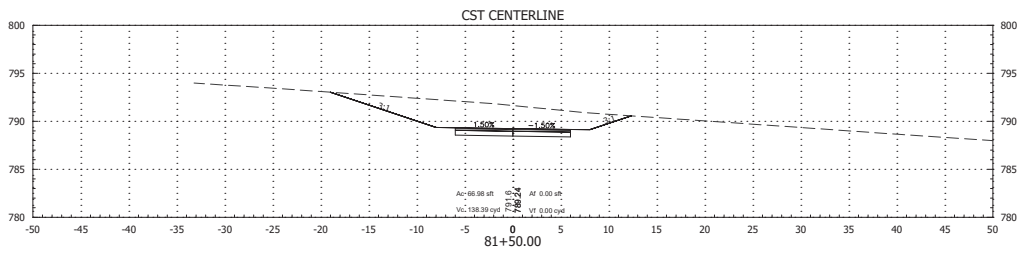
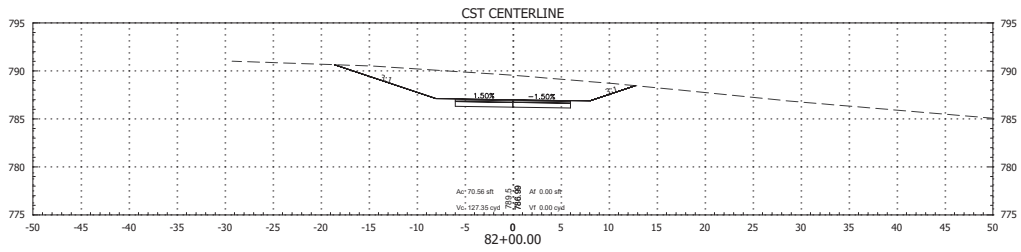
FILE: BPRUN2010_R0_CORRIDOR.DWG

RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: HVP	DRAWN: HVP	
CHECKED: BSF	CHECKED: BSF	

CITY OF BLOOMINGTON
POWER LINE TRAIL

CROSS SECTIONS
Line "PR-A"

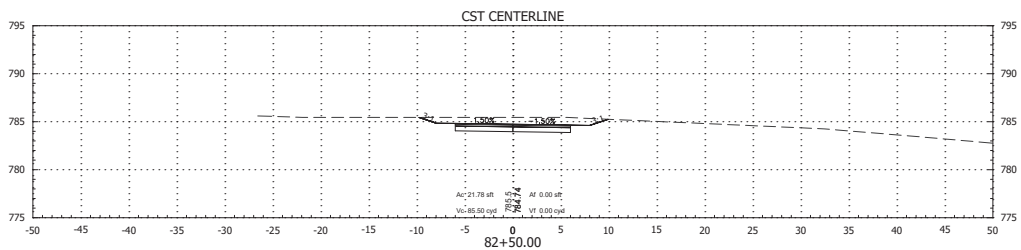
HORIZONTAL SCALE	BRIDGE FILE
1" = 5'	N/A
VERTICAL SCALE	DESIGNATION
1" = 5'	N/A
SURVEY BOOK	SHEETS
N/A	38 OF 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



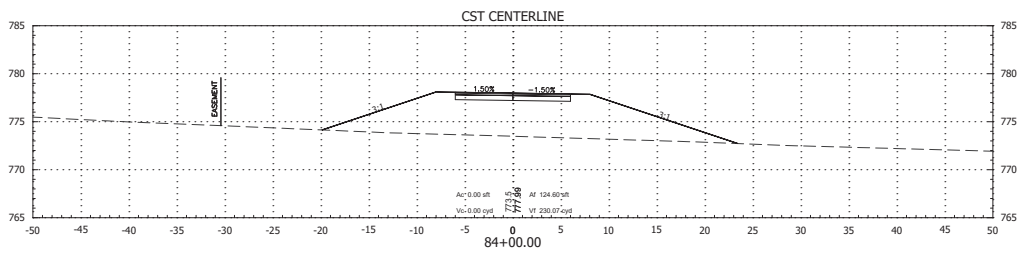
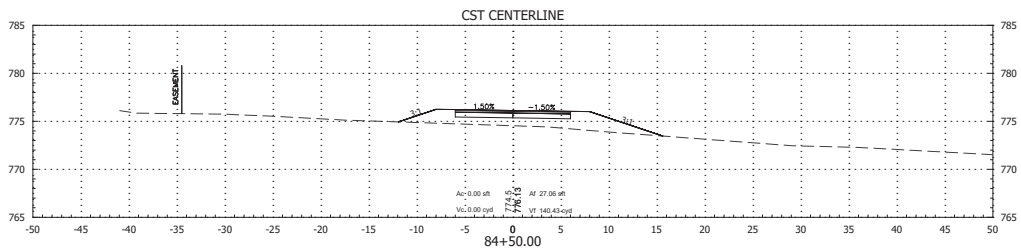
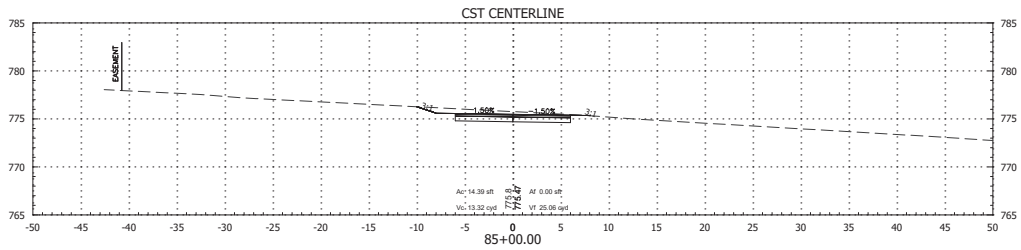
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					CONTRACT	PROJECT
					POWER LINE TRAIL	POWER LINE TRAIL



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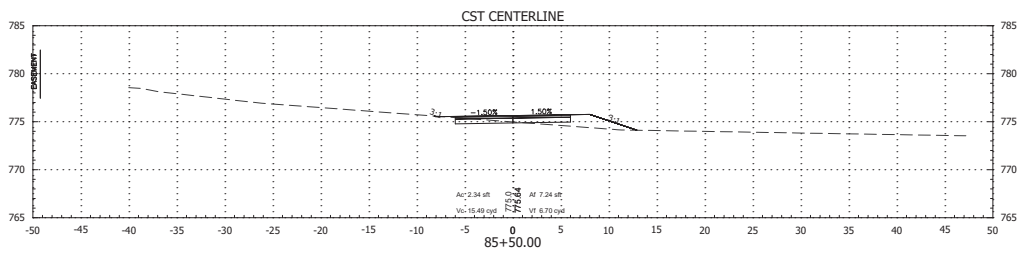
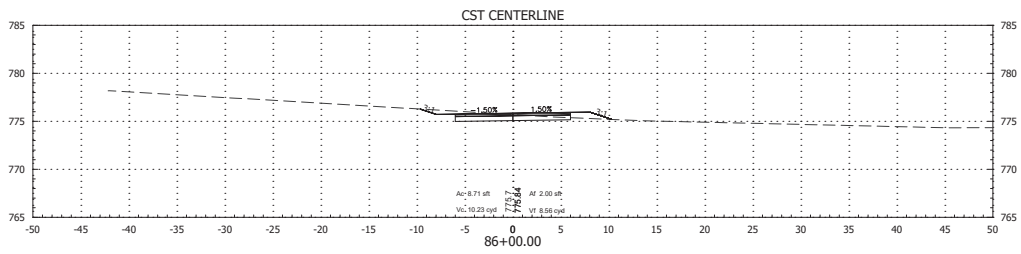
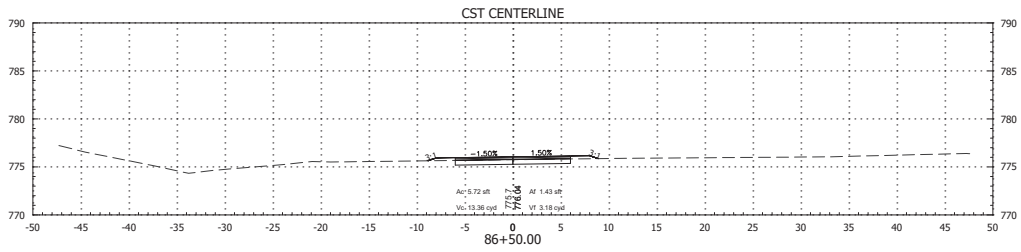


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CITY OF BLOOMINGTON
POWER LINE TRAIL

CROSS SECTIONS
Line "PR-A"

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CONTRACT	PROJECT
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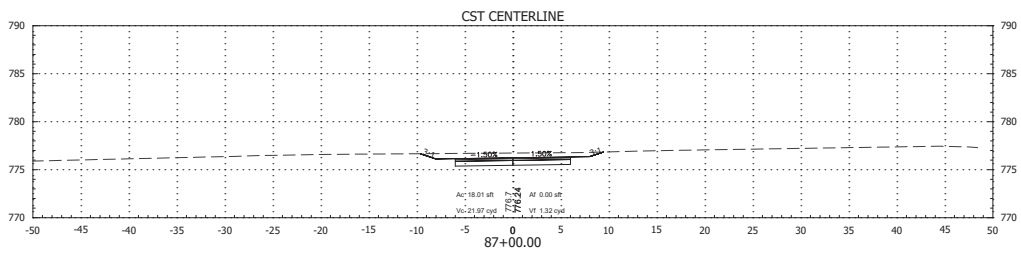
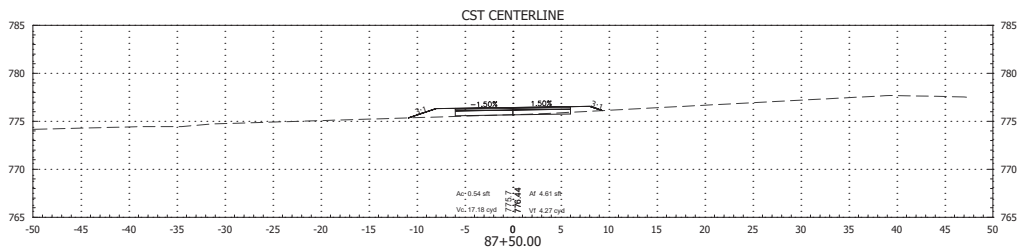
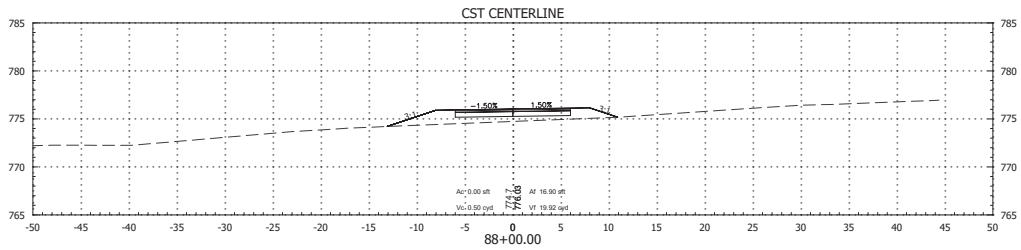
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CITY OF BLOOMINGTON
POWER LINE TRAIL

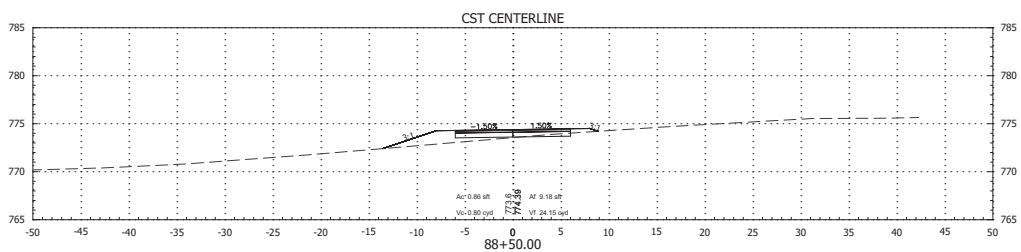
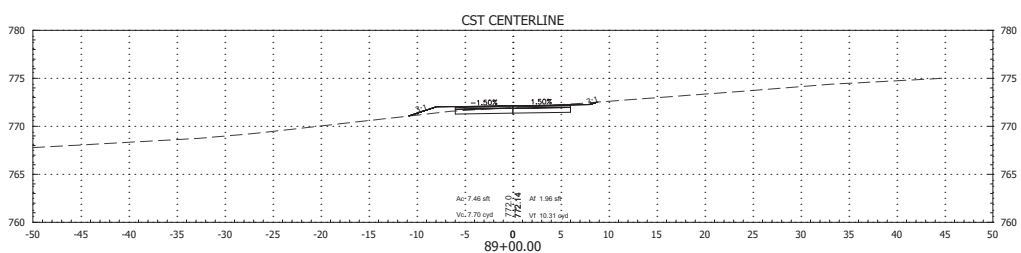
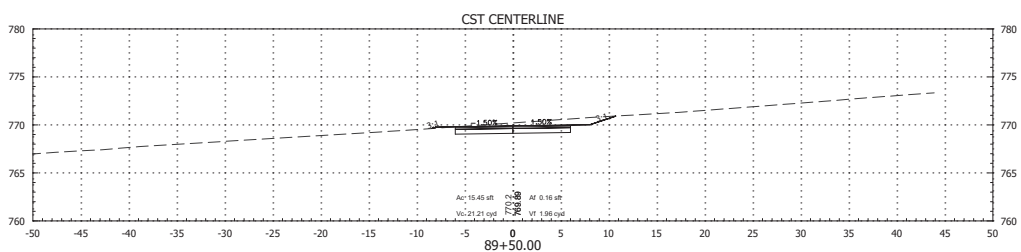
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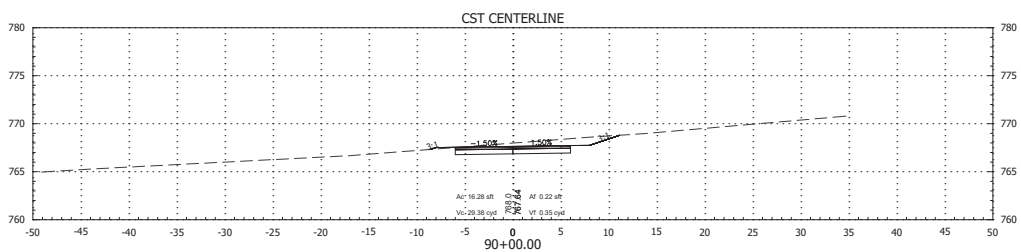


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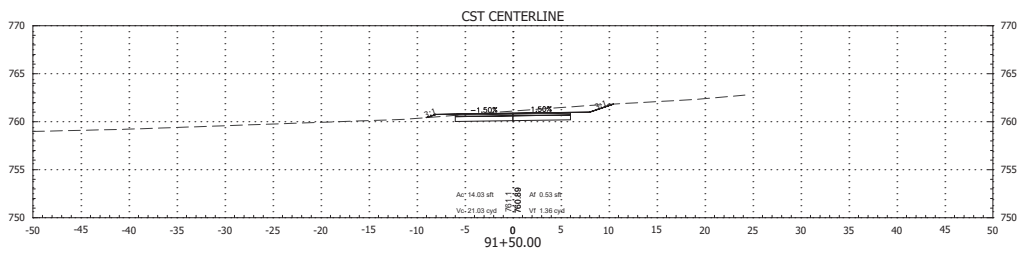
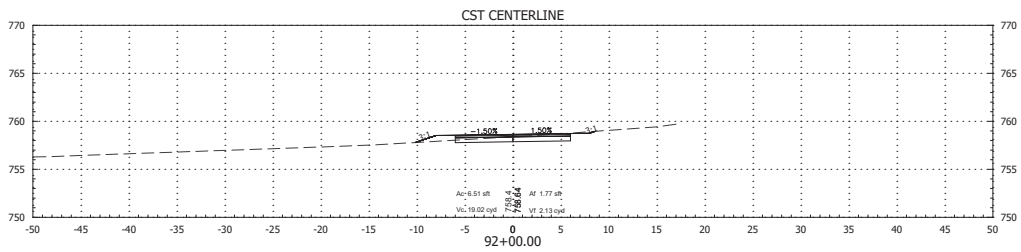
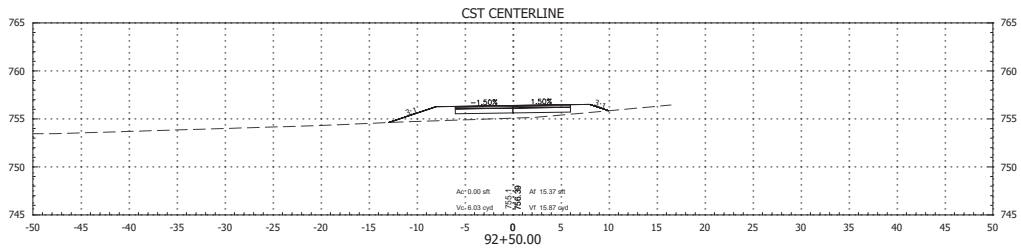
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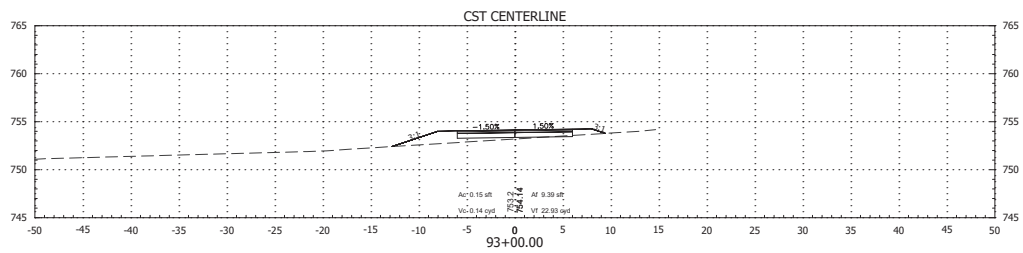
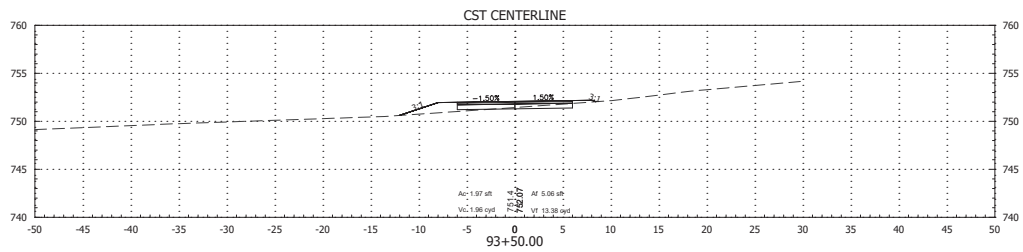
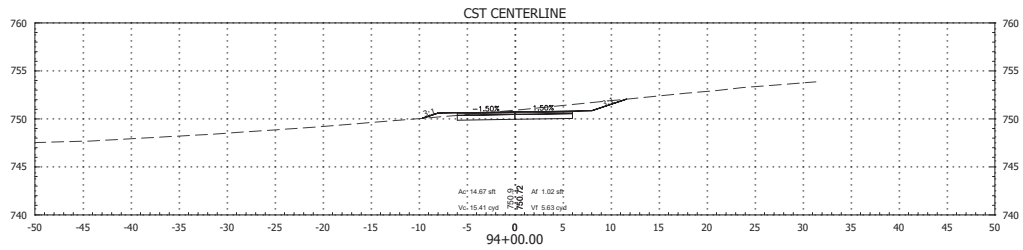
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CONTRACT POWER LINE TRAIL	PROJECT POWER LINE TRAIL				



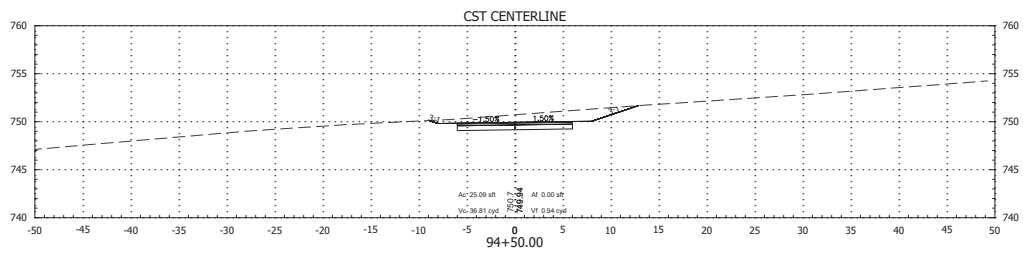
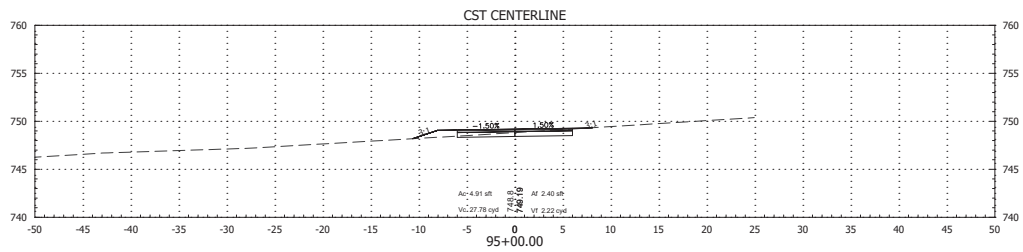
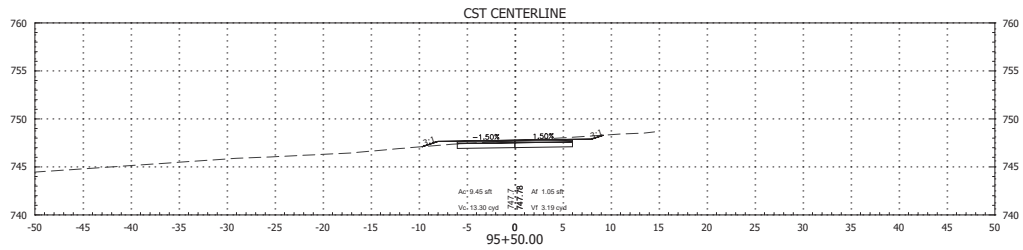
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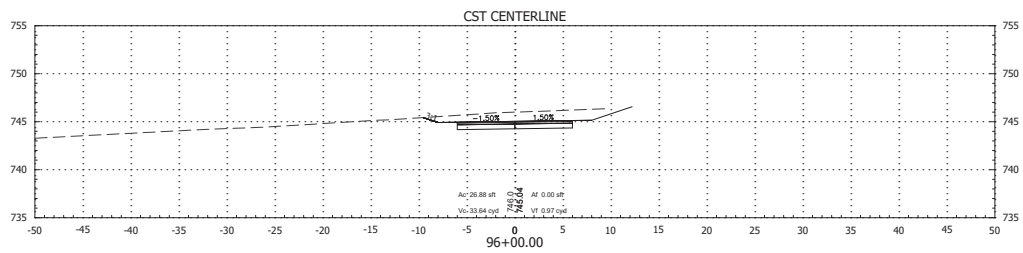
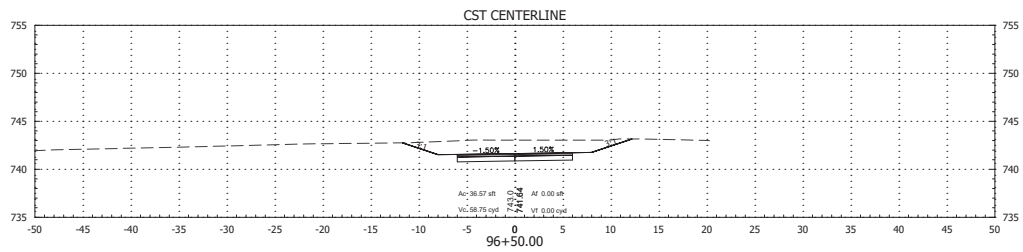
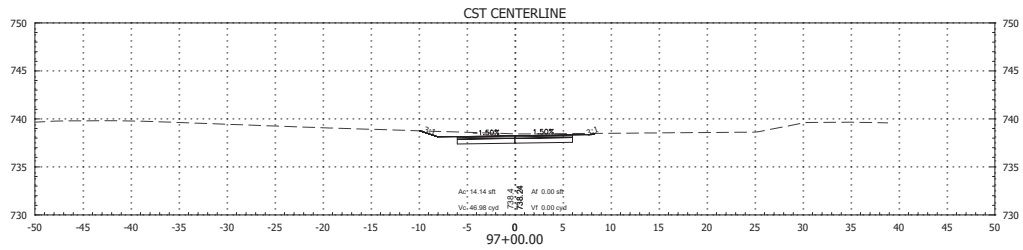


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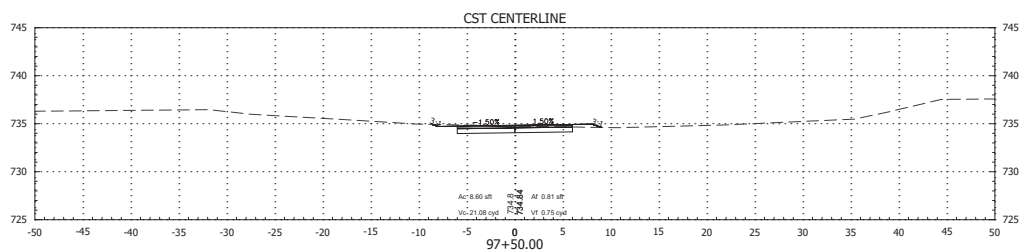
CITY OF BLOOMINGTON
POWER LINE TRAIL

CROSS SECTIONS
Line "PR-A"

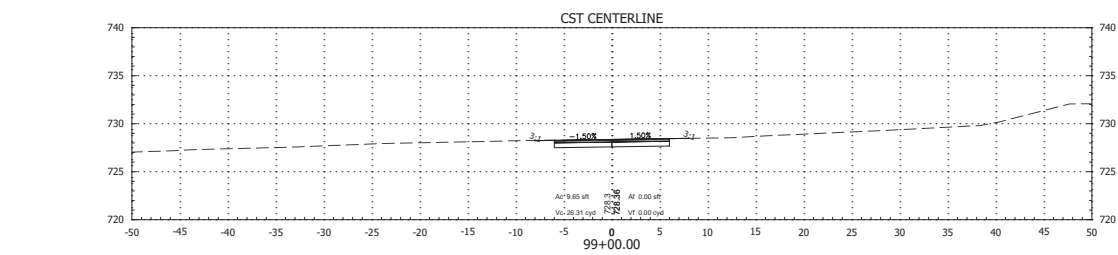
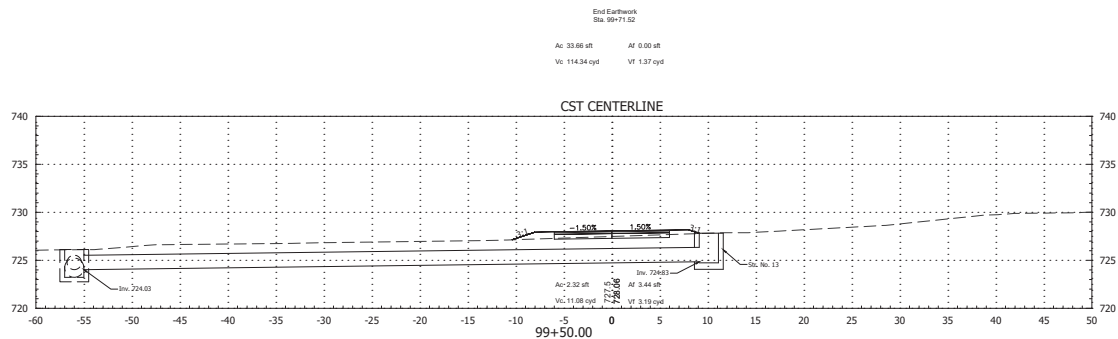
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N/A	48 49 53
CONTRACT	PROJECT
POWER LINE TRAIL	POWER LINE TRAIL



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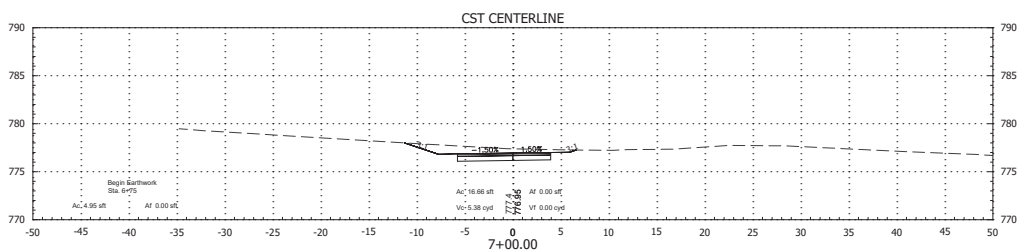
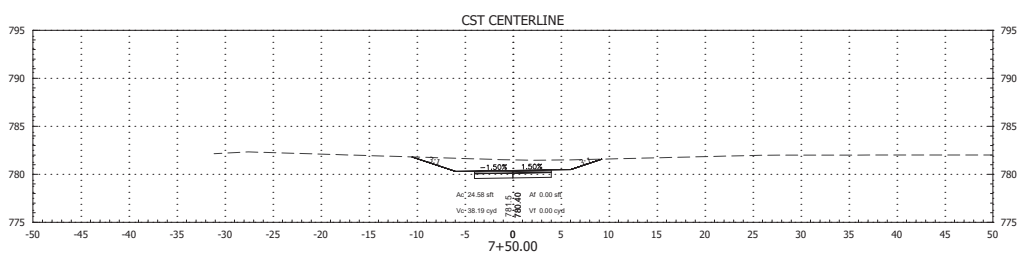
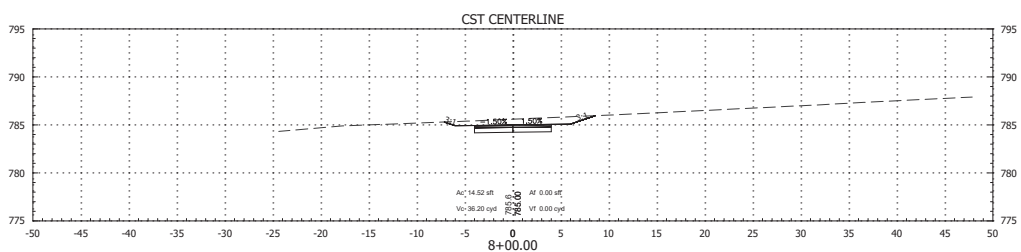
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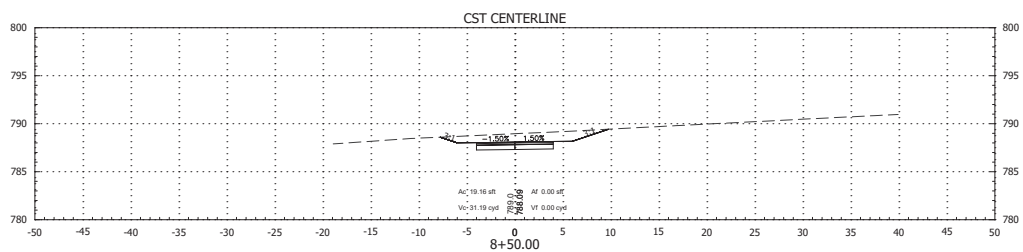
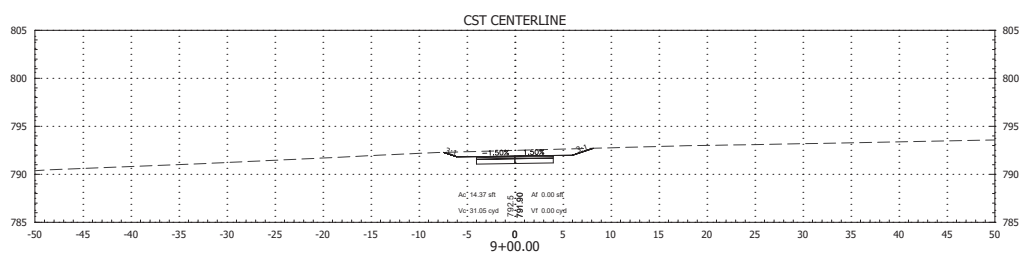
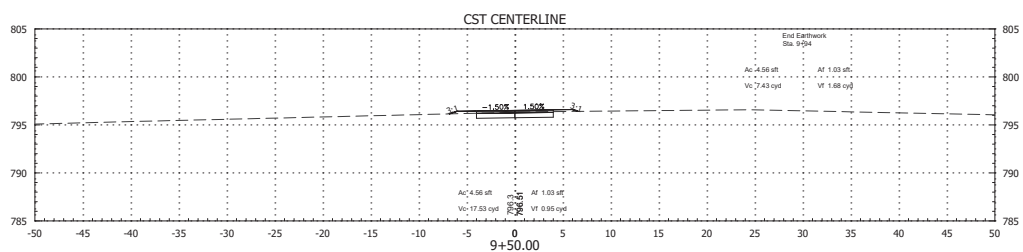
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CHANGED: HVP	CHANGED: BSF				CONTRACT	53 OF 53
					POWER LINE TRAIL	PROJECT POWER LINE TRAIL

BLOOMINGTON BOARD OF ZONING APPEALS CASE #: V-21-25 / ZR2025-05-0074
STAFF REPORT
Location: 503 North Rogers Street

PETITIONER: Greystar Development Central, LLC
 465 Meeting Street, Suite 500
 Charleston, SC

OWNER: Fell Iron & Metal Inc.
 8656 Emerald Lane
 Indianapolis, IN

CONSULTANTS: IceMiller
 One American Square, Suite 2900
 Indianapolis, IN

REQUEST: Variances from use-specific standards for multifamily dwellings regarding ground-floor dwelling units, maximum front building setback, upper floor facade stepback standards, and building design standards for windows and doors on primary facades to allow construction of a “dwelling, multifamily” use in the Mixed-Use Downtown zoning district within the Showers Technology downtown character overlay (MD-ST)

REPORT: The property contains 5.4 acres located on the west side of Rogers Street between 8th Street and 10th Street, immediately south of the B-Line trail’s intersection with Rogers Street. The B-Line trail runs along the northern/northeastern boundary of the property between Rogers Street and Fairview Street. The property also has frontage on Fairview Street between 9th Street and the B-Line Trail, as well as a frontage on 9th Street between Jackson Street and Fairview Street. The property is located in the Mixed-Use Downtown zoning district within the Showers Technology downtown character overlay (MD-ST) and currently contains a scrap metal yard operating as Bloomington Iron and Metal (BIM). Adjacent properties to the north across the B-Line trail and to the south are also located in the MD-ST zoning district. The properties to the north across the B-Line trail include a multifamily dwelling use known as B-Line Heights and a mixed-use nonresidential center located in a former lumber yard. The adjacent properties to the south within the MD-ST district each contain one building that is a mixed-use nonresidential center. Adjacent properties to the east across Rogers Street are also located in the Mixed-Use Downtown zoning district but within the Downtown Core downtown character overlay (MD-DC) and contain uses including the Trades District public parking garage. Adjacent properties to the south across 9th Street are located in the Residential Small Lot (R3) zoning district and contain detached single-family dwellings. The adjacent property to the southwest across Fairview Street is located in the Parks and Open Space (PO) zoning district and contains Revered Ernest D. Butler Park, a city park. The adjacent properties to the northwest across Fairview Street are located in the Mixed-Use Medium Scale (MM) zoning district and contain detached single-family dwellings and a mixed-use nonresidential center.

The petitioner proposes to redevelop the site as a mixed-use, multifamily development. The unit count and program is still in progress but the petitioner is anticipating 370 multifamily units within the proposed buildings. The development also includes 3,000 square feet of commercial and retail space in the building closest to Rogers Street, as well as a fourth building containing a parking garage for the development. The proposed development is subject to major site plan review by the Plan Commission, but the proposal must receive several variances before the site plan can be approved.

The Board heard a variance petition, V-32-23 / VAR2023-09-0013, for a similar proposal from Buckingham Properties in November 2023. The Buckingham petition comprised five variances, including variances from the same four standards that this petition from Greystar is requesting relief from. The Board granted all of the variances in the Buckingham petition, but the current Greystar proposal is not able to utilize the granted variances due to the condition on the previous approval that limited the variances “only for the proposed buildings as shown on the submitted conceptual site plan.” Although the previous Buckingham proposal and the current Greystar proposal share many similarities, they are not same development proposal.

Two aspects of the proposed development are worth highlighting, even though they are not directly the subject of this variance request. The current Greystar proposal shares both aspects with the previous Buckingham proposal. First, the development must qualify as sustainable and must provide on-site affordable housing units or make a payment-in-lieu to support affordable housing. The City of Bloomington Unified Development Ordinance (UDO) establishes building floor plate maximums for buildings that contain multifamily dwelling uses. The general building floor plate maximum is 10,000 square feet, but this maximum goes up to 30,000 square feet for buildings in projects that achieve both the affordable housing and sustainable development incentives in the UDO. Because the development’s building floor plates are all close to 30,000 square feet, the project must achieve both incentives. Achieving the affordable housing incentive requires either that at least 15 percent of the total dwelling units on the site be permanently income-restricted to households earning below 120 percent of the area median income (e.g. if the total number of units is 370, then at least 56 must be permanently income-restricted), or that the petitioner provide an equivalent payment-in-lieu to the City’s Housing Development Fund based on a calculation set forth in the Administrative Manual. The second aspect worth highlighting is that the proposed site plan includes a new multiuse trail open to the public approximately along the south edge of the site, providing a direct pedestrian and bicycle connection from Rogers Street at the B-Line trail to Reverend Butler Park. This variance petition, including the petitioner’s statement as well as the submitted site plan, expresses a commitment to achieve both the affordable housing and sustainable development incentives and to provide a public multiuse trail connection through the site. General compliance with the UDO and with these commitments will be verified by the Plan Commission during site plan review.

Due to unique constraints of the site, the petitioner is requesting four variances from standards within the UDO in order to allow the proposed development. The variances are numbered below for convenience, following the numbering in the petitioner’s statement.

1. UDO section 20.03.030(b)(5)(D) Use-specific standards for multifamily dwelling – Ground-Floor Units

Required: *i. Ground floor dwelling units shall be prohibited in the MD-ST (Showers Technology) and MD-CS (Courthouse Square) Downtown Character Overlays...*

ii. In the MD zoning district, each dwelling unit located on the ground floor shall be located at least 20 feet behind each building facade facing a public street.

Proposed: Ground-floor dwelling units in three buildings, including ground floor dwelling units within the first 20 feet behind the building facade of Building A along Fairview Street and the building facade of Building C along 9th Street.

The UDO prohibits ground-floor dwelling units in the ST character area in order to implement the area's purpose "to promote mixed-used development focused on light industrial, manufacturing, and office uses" that are essential to the mission of the Certified Technology Park that covers this area. The UDO does allow upper-floor dwelling units in the ST character area, in recognition that a secondary purpose of the area is to target "live/work, young professional, single-family, empty nester and retiree housing markets".

For locations in other character areas within the MD zoning district, such as the Downtown Edges character area (MD-DE), ground-floor dwelling units are allowed but cannot directly front on public streets and must be set back at least 20' from the front of the building. In comparison to the use consideration that leads to the UDO to prohibit all ground-floor dwelling units in the ST character area, this provision for the bulk of MD acknowledges that dwelling units can be an appropriate ground-floor use, but is intended to promote active ground-floor uses that interact with the public streets, including retail, restaurants, and the like, while also providing privacy for residents, in keeping with the lively and pedestrian-focus of downtown.

For some zoning districts outside downtown where multifamily dwelling uses are allowed, including Residential High-Density Multifamily (RH) and Mixed-Use Medium Scale (MM), ground-floor dwelling units are allowed without restrictions.

2. UDO section 20.02.020(g)(9)(B) Table 02-20 and UDO 20.04.020(c)(3) Table 04-4 Front building setback maximum in the MD-ST district

Required: *Maximum 15 feet*

Proposed: The commercial/retail portion of Building C set back approximately 90.5 feet from the proposed edge of right-of-way of Rogers Street.

The east front property line along Rogers Street is approximately 50 feet in width, of which 24 feet is proposed for an entrance drive and 8 feet is proposed for a multiuse trail. The front setback is measured from the proposed right-of-way as indicated in the City of Bloomington Transportation Plan. The existing right-of-way width for this segment of Rogers Street is approximately 50 feet, but the proposed width per the Transportation Plan is 84 feet, meaning that the front setback is measured starting at 42 feet (half of 84) from the centerline of Rogers Street. The maximum front setback from Rogers Street is therefore $15' + 42' = 57$ feet from centerline. Building B is approximately 132.5 feet from the street centerline. This proposed setback can be equivalently expressed as 107.5 feet from the existing front property line, or 90.5 feet from the proposed edge of right-of-way according to the Transportation Plan, or 75.5 feet farther back than the maximum front setback. The other proposed buildings are compliant with the maximum front setback from the other adjacent streets.

3. UDO section 20.02.050(a)(5) Upper Floor Facade Step Backs

Required: *(A) The first two stories in the ST character area shall comply with the build-to range in Section 20.02.010 (Dimension Standards).*

(B) All portions of the building facade facing the street above two stories in the ST character area shall step back from the lower story vertical facade/wall plane a minimum of 15 feet.

Proposed: Upper story step backs above the fourth story.

For Building A, the west facade facing Fairview Street consists of three facade modules. Two of the facade modules have a lower story front building wall that complies with the maximum front building setback. The middle facade module is recessed, as required by the facade articulation standards in the UDO. All three facade modules feature a step back above the fourth story with a depth of one unit. This step-back depth is approximately 18 feet for the forward modules and approximately 11 feet for the recessed module. Building A requires a variance because the step-back height is above the fourth story instead of above the second story and because the step-back depth for the recessed facade module is less than 15 feet.

For Building B, the portion of the first story closest to Rogers Street is set back approximately 90.5 feet from the proposed edge of right-of-way of street, as requested in the variance listed above. If the previous variance is granted, then the first story will comply with the applicable front building setback as established by the variance. The facade features a step back greater than 15 feet above the first story. Although this step back depth complies with the UDO standard, the height of the step back does not because it is below the second story instead of above the second story. The facade also features a further step back greater than 15 feet above the fourth story. Building B requires a variance because the step-back height is above the first story instead of above the second story.

For Building C, the south facade facing 9th Street consists of two facade modules. The longer module (on the right/east) complies with the maximum front building setback. The shorter module (on the left/west) is recessed, as required by the facade articulation standards in the UDO. The total facade height facing 9th Street contains four stories, which are designated as building levels 2-4 due to the slope of the site and the higher elevation of 9th Street. The forward facade module features a step back above the third story (level 4), with a step-back depth of one unit, approximately 24 feet. The recessed facade module does not feature an upper floor step back, but all stories are set back 15 feet compared to the lower front building wall of the forward facade module. Building C requires a variance because the step-back height is above the third story instead of above the second story and because recessed facade module does not have any upper floor step back.

For the parking garage, the west facade facing Fairview Street consists of two facade modules. The shorter module (on the left/north) could be described architecturally as a corner tower feature. The longer module (on the right/south) is recessed compared to the corner tower module, as required by the facade articulation standards in the UDO. Both modules comply with the maximum front building setback. The longer module has a facade height of two stories and therefore does not require an upper story step back. The corner tower module has a facade height of three stories and does not feature an upper floor step back. The parking garage requires a variance because the corner tower module does not have an upper floor step back above the second story.

Within the UDO's limitations on building floor plate and height, full compliance with the upper floor step back standard would significantly reduce the number of dwelling units possible with this site plan.

4. UDO section 20.02.050(a)(6) Table 02-25 Windows and Doors on Primary Facades
 Required: *Transparent glass or framed facade open areas consisting of display windows, entries and doors shall comprise at least the following percentages of the total wall/facade area*
First Floor (Building Base) Facade Facing a Street in the ST character area: 40 percent
First Floor (Building Base) Facing the B-Line Trail: 60 percent
 Proposed: Building One west facade (facing Fairview Street), Building One north facade (facing the B-Line), and Building Four south facade (facing 9th Street): 20 percent

Because the petitioner propose ground-floor dwelling units, the proposed facade designs show fenestration appropriate for residential use with windows and doors comprising at least 20 percent of the ground-floor facade area. However, these primary facades are not compliant with the applicable UDO standard for windows and doors.

The commercial/retail portion of Building B provide glazing appropriate for nonresidential ground-floor uses with windows and doors comprising at least 60 percent of the ground-floor facade area, in compliance with this UDO standard.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E)(i)(1) Standards for Granting Variances from Development Standards:
 Pursuant to Indiana Code 36-7-4-918.5, the Board of Zoning Appeals or Hearing Officer may grant a variance from the development standards of this UDO if, after a public hearing, it makes findings of fact in writing, that:

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

PROPOSED FINDING: Approval of the requested variances will not be injurious to the public health, safety, morals, and general welfare of the community. For each of the UDO standards that the petition is requesting relief from, the proposed project achieves or addresses the goals and purpose of the UDO standard by other means, ensuring that the intent of the UDO to protect public health, safety, morals, and general welfare is upheld.

For variance 1 (ground-floor dwelling units), there is currently ample developable area within the Certified Technology Park and the ST character area to developed the light industrial, manufacturing, and office uses related to innovation and technology that the character area seeks to promote. Dedicating some of the land within the ST character area to primarily residential use will not interfere with the current stage of development of the area as a technology park. In contrast, there is currently a pressing need for more housing, including affordable housing, throughout Bloomington and the surrounding area. The proposed development can help toward meeting the current pressing need for housing. Approval of the requested variance to allow ground-floor dwelling units at this time will

not foreclose or significantly restrict the future development of the Trades District or the rest of the Certified Technology Park as a hub for innovation and technology. The proposed development complements the surrounding land uses and transitions density appropriately. Ground floor residential units, when combined with strategic commercial activation of key edges, help create a livable, walkable, and context-sensitive urban form. The proposed layout maintains strong public connectivity from the B-Line Trail to Revered Butler Park and provides clear sightlines, wayfinding, and passive surveillance that promote safety and visibility. The integration of residential uses at ground level enhances the vibrancy and diversity of the neighborhood, without presenting any public hazards or detracting from the ST character area's broader planning goals.

For variance 2 (front building setback maximum), Building B is designed to be visible and inviting from the street and to contribute to the active streetscape of Rogers Street. Of the available 50 feet of property frontage along Rogers Street, 8 feet is proposed for a new public multiuse trail that will increase mobility and access to the benefit of the general welfare of the community. Increasing the building's front setback along this constrained frontage improves vehicle and pedestrian sightlines, particularly at the driveway entrance, which is critical for safe ingress and egress to the site. Furthermore, the flexibility to pull the building back supports better landscaping, sidewalk design, and potential stormwater infrastructure, all of which benefit the surrounding public realm.

For variance 3 (upper floor facade step back), the site is bounded by open space, parkland, and trail frontage rather than dense urban development. The absence of flanking tall structures and the project's low- to mid-rise character and some buildings set below grade ensure continued access to air, light, and views. Removing the step-back requirement enables a more context-sensitive design that preserves connectivity and supports housing goals without compromising public interests. The proposed top floor step backs, along with the contrasting materials and design of the upper building floor, offer visual contrast creating interest by adding additional character to the project that enhances the public view of the buildings.

For variance 4 (ground-floor windows and doors), the proposed facade designs provide visual interest and architectural detail while also providing appropriate privacy for ground-floor dwelling units as requested in variance 1. The request to align residential uses with appropriate openings is practical and necessary and maintains contextual compatibility with the surrounding area) to the cohesive design of the site. The proposed 20 percent transparency strikes a reasonable balance by allowing natural light into units and creating some level of street interaction, while protecting residents' rights to privacy, security, and peaceful enjoyment of their homes.

- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and*

PROPOSED FINDING: Approval of the requested variance will not result in substantial adverse impacts to the use and value of surrounding properties. None of the requested variances will limit the current use or future redevelopment of any surrounding properties.

For variance 1 (ground-floor dwelling units), the proposed ground floor residential units will not adversely affect the use or value of adjacent properties. The project will replace an

industrial site with a high-quality, mixed-use development that supports the goals of the city's Certified Technology Park. Residential uses at ground level are compatible with adjacent properties and will not adversely affect the adjacent property use or neighborhood property values.

For variance 2 (front building setback maximum), the greater front setback allows for a site design that enhances street-level appearance and complements existing development patterns. A modestly deeper setback to allow for site access, a public pedestrian pathway, proposed fire access, and landscape elements at this location and will not adversely affect the adjacent property use or neighborhood property values.

For variance 3 (upper floor facade step back), the proposed upper floor step backs deliver an engaging design that is well integrated into the site's topography, including buildings that are below grade along 9th Street and a parking garage that is partially below grade at Fairview Street, further reducing impact to adjacent properties. Rather than presenting any adverse effect, the proposed design improves the current use

For variances 4 (ground-floor windows and doors), the nearest residential properties are separated from the subject site either by zoning transitions, public streets, or existing commercial uses. Additionally, the units with reduced transparency will be well-buffered from the public realm through landscaping, setbacks, and elevation changes, ensuring that the reduced transparency does not create an inactive or blank edge. From a market perspective, there is no evidence that reduced window area on a residential building lower surrounding property value, especially when the project is otherwise.

- (3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in questions; that the development standards variance will relieve the practical difficulties.*

PROPOSED FINDING: The overall shape of the existing parcel, presence of three street frontages and the B-Line trail, layout and configuration of the property as well as its past and current industrial use result in practical difficulties in the use of the property. The unique property configuration includes the relatively narrow frontage on Rogers Street, which is the property's only frontage on an arterial street designed to handle significant traffic. The relatively narrow frontage on Rogers Street, compared to the depth and total area of the property, and the limited opportunities for access from 9th Street and Fairview Street result in limited access and visibility of the site. Strict application of the UDO results in practical difficulties in the use of the property, including practical difficulties for the specific use and site design that the petitioner has proposed, as well as site design in general because of the shape and multiple frontages. The requested variances provide the minimum relief necessary to overcome these practical difficulties.

For variance 1 (ground-floor dwelling units), practical difficulty is found in the unique site configuration, limited access, and limited visibility of the site from adjacent primary vehicular streets, which result in difficulty developing allowed uses, especially nonresidential uses. These factors make full compliance with non-residential activation requirements infeasible across the entire ground level. Commercial/retail use is proposed closest to Rogers Street, where the site provides main street frontage. This relief is essential

to advancing a development that is aligned with the city's housing and redevelopment goals, while accommodating the physical constraints of the property.

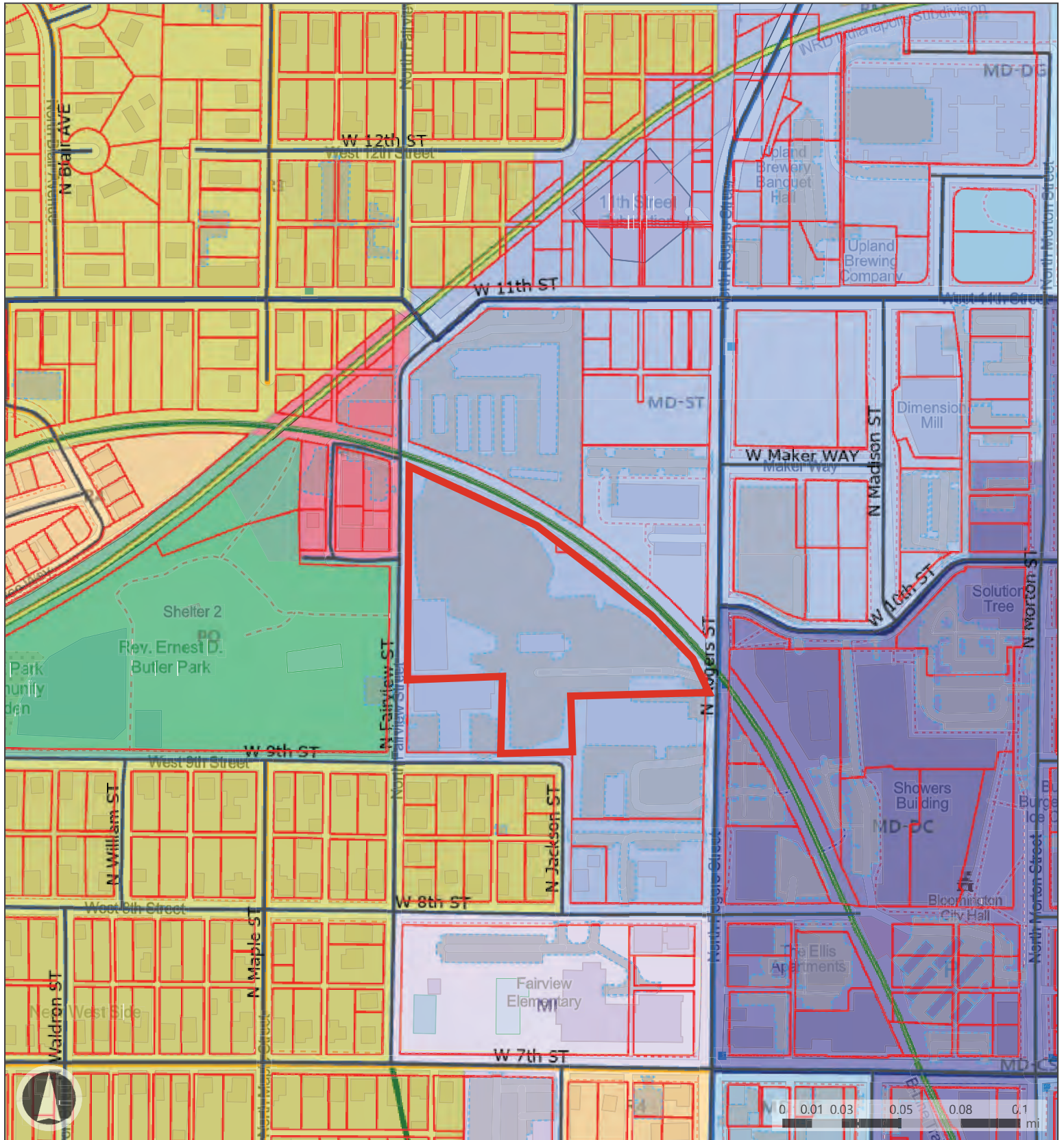
For variance 2 (front building setback maximum), practical difficulty is found in the relatively narrow width of the street frontage along Rogers Street compared to the depth and total area of the property. Strict application of the UDO's maximum front building setback standard, in combination with other building design standards, would result in a building taking up most of the available 50 feet of property frontage, thereby preventing or significantly limiting vehicle access from Rogers Street, including posing a practical difficulty in providing the desired multiuse path connection. Adhering to the 15-foot maximum would either force the building into an awkward, nonfunctional layout or reduce access and circulation capacity in a way that undermines safety. Granting the requested variance allows for rational building siting and preserves the project's functional and visual integrity while remaining aligned with the intent of the ST character overlay.

For variance 3 (upper floor facade step back), practical difficulty is found in the unique property configuration which limit the viability of developing the site with allowed uses. The combination of narrow and irregular lot geometry, elevation changes, and required public connections across the site creates physical constraints that are unique to this property. These unique site constraints eliminate the ability to achieve the depth and continuity needed to implement upper floor step backs beyond the top floor. Even with the benefit of Affordable Housing and Sustainable Development incentives allowing up to 30,000 square foot floorplates, each proposed building falls short of that maximum due to the site's limiting conditions. Strict application of the upper floor facade step back standard would significantly reduce the number of dwelling units possible with this site plan. The inefficiencies of applying this standard render the project impractical with the loss of buildable floor area at the loss of the UDO's incentivized goals.

For variance 4 (ground-floor windows and doors), practical difficulty is found in the unique site configuration, limited access, and limited visibility of the site from adjacent primary vehicular streets, which result in difficulty developing nonresidential uses, as found above for variance 1. Strict application of the UDO standards for 40 percent or 60 percent ground-floor windows and doors would result in practical difficulties providing appropriate privacy and fenestration for dwelling units. The current transparency standard is primarily designed to support retail activation and commercial visibility, ensuring that pedestrians can see into storefronts, cafes, or lobbies, thereby encouraging engagement and safety. However, in this project, the ground floor is mainly programmed for residential, as opposed to commercial. A rigid application of the transparency standard, without consideration of these contextual realities, would inhibit developing a building that is authentic to its setting and appropriate for its users. In combination with the practical difficulty in developing nonresidential uses on the site, strict application of this standard would make it difficult to develop the ground floors of the proposed buildings with any allowed use.

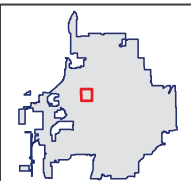
RECOMMENDATION: Based upon the report and written findings of fact above, the Department recommends that the Board of Zoning Appeals adopt the proposed findings for V-21-25 / ZR2025-05-0074 and approve the requested variances with the following conditions:

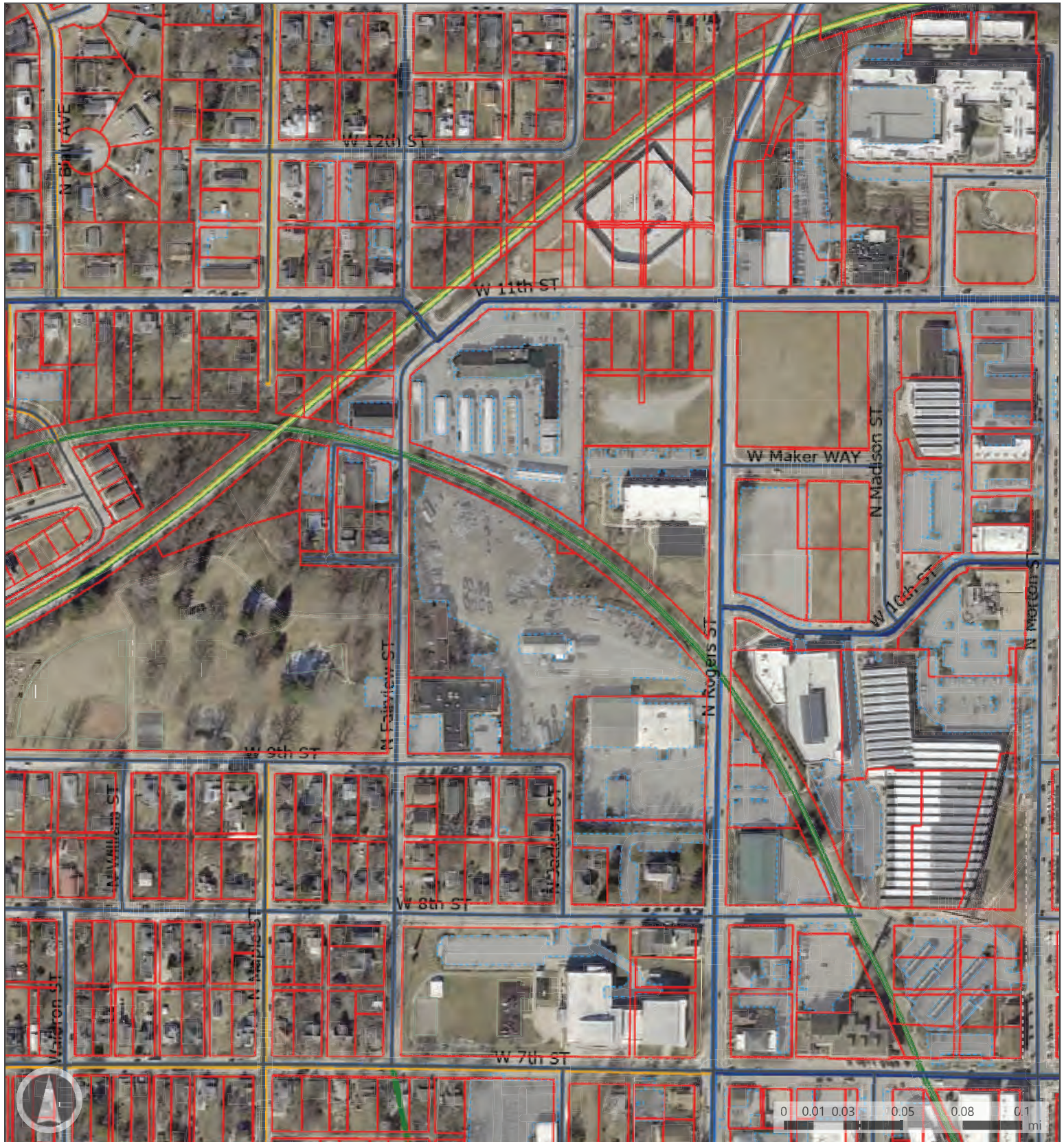
1. The project shall earn the affordable housing incentives and the sustainable development incentives established in UDO section 20.04.110(c), as demonstrated in an approved site plan.
2. The site shall provide a new multiuse trail with access easement that is open to the public providing a direct pedestrian and bicycle connection from Rogers Street at the B-Line trail to Reverend Butler Park as shown on the submitted conceptual site plan and as demonstrated in an approved site plan.
3. The variances are approved only for the proposed buildings as shown on the submitted conceptual site plan. Any future additions or new structures on the property shall comply with all applicable standards in the UDO.
4. All building facades shall conform to the facade designs shown on the submitted conceptual site plan, including materials, facade layout, and detailing. Minor changes that are consistent with the intent of the submitted designs shall be considered compliant with this condition. The determination whether a proposed change to facade design is compliant with this condition shall be made by the Planning and Transportation Department.



Map Legend

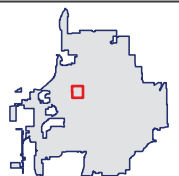
- | | | |
|-------------------|-------------------------|--------------------------|
| Parcels | Current | Neighborhood Connector |
| Paved Parking Lot | City Maintained Streets | Neighborhood Residential |
| Railroad | General Urban | Secondary Arterial |





Map Legend

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|-------------------|-------------------------|--------------------------|---------------------|
| Parcels | Current | Neighborhood Connector | Primary Collector |
| Paved Parking Lot | City Maintained Streets | Neighborhood Residential | Secondary Collector |
| Railroad | General Urban | Secondary Arterial | |



June 12, 2025

City of Bloomington Board of Zoning Appeals
401 North Morton Street
Bloomington, IN 47403

RE: Request for Variances for 503 North Rogers Street Parcel
Redevelopment of Bloomington Iron & Metal Site

BZA Members:

Greystar Development Central, LLC ("Greystar") proposes to redevelop the 5.18-acre Bloomington Iron & Metal, Inc. property located 503 North Rogers Street ("Site") in the Showers Technology Downtown Character Overlay (MD-ST) ("Overlay"). The project is strategically planned to promote mixed-used housing that connects the Site to the local community with commercial tenants, connecting the B-Line Trail to the nearby park, and incorporating innovative and sustainable design features throughout. The proposed development is designed to meet the City's Sustainable Development and Affordable Housing standards.

Project Description:

The proposed redevelopment reflects a deliberate repositioning of the site toward a more community oriented mixed-use multifamily housing offering, thoughtfully integrated into the technology park, surrounding neighborhood, and Downtown Bloomington. The plan includes the revitalization of the existing facility and surrounding land, transforming a formerly industrial property into a modern and pedestrian, mixed-use multifamily development that delivers much-needed housing to the City of Bloomington.

The proposed Greystar mixed use multifamily development will integrate this 5.4-acre site into the fabric of the city through thoughtful site design and high-quality architecture. The key site design elements include an access drive that brings residents and visitors into the site from Rogers Street, connecting them to the three residential buildings and the parking facility. This private street will be publicly accessible and will connect to Fairview Street. A multi-use bicycle and pedestrian connection will connect all city residents from the B-Line trail to Butler Park on the west side of the site.

The buildings will be three, four and five stories in height with upper floor step backs along the public streets, providing visual diversity to the project and continuity to existing Downtown buildings. The area topography will give the south building a height of three stories along 9th Street. From Rogers Street, the east building will step up from a one-story retail extension to four stories and then five stories. From Fairview Street a two to three-level parking garage will be partially below street grade and the west building will have an upper floor step back along Fairview Street.

The experience of B-Line Trail users will be enhanced using extensive landscaping and tree planting along the perimeter of the site. The buildings will step along this curved property line, giving the

appearance of a series of smaller buildings along the trail. The straightforward architectural design refers to the restrained design of many of the masonry industrial buildings of the immediate vicinity while providing detailing that will make the project unique. Brick, glass, and fiber cement will be the primary materials used on the project.

The project will introduce approximately 3,000 square feet of commercial and retail space at the ground level, creating opportunities for one to three tenants. This active frontage will help welcome the public into the site, establishing a new connection point within the city's urban fabric and encouraging pedestrian activity. By integrating a mix of uses and promoting accessibility, the project will serve as a vibrant, inclusive destination for both residents and the surrounding community.

The Greystar team proposes a design plan that aligns with the intent and framework of the Unified Development Ordinance ("UDO"). The site at 503 N Rogers Street presents a distinct set of physical constraints that necessitate the request for four variances. This 5.4-acre parcel has unique geometry to the north with a curved northern boundary that hinders typical building depths and disrupts the application of rectangular building footprints. To the east, the site offers limited frontage along N Rogers Street, reducing visibility and access, which are key requirements for the types of uses envisioned in the MD-ST overlay. The site's southern edge is flanked by older warehouse uses and is constrained by minimal frontage along 9th Street. There is limited site depth to incorporate connectivity from the B-Line to Butler Park along the southern edge of the site. The western boundary along N. Fairview Street, adjacent to Rev. Ernest D. Butler Park, is almost fifteen feet higher in elevation than the Rogers Street side of the property, creating a unique topography on which to build. The site is also bisected by a primary public storm sewer that provides essential drainage for the surrounding area and will require relocation within the site. Collectively, these constraints make traditional development approaches and compliance with certain development standards of the UDO exceedingly difficult and reinforce the need for a context-sensitive, flexible design approach that can only be achieved through the requested variances.

Variance Requests:

1. UDO section 20.03.030(b)(5)(D) Use-specific standards for multifamily dwelling – Ground-Floor Units.
 - a. Description: The unique physical and contextual characteristics of the 5.4-acre site at 503 N Rogers Street, including its irregular lot configuration, elevation changes, stormwater infrastructure, and constrained access points along N Rogers Street and W 9th Street, limit its functional viability for higher intensity industrial or office uses as envisioned in the MD-ST Overlay. The site is directly adjacent to Rev. Ernest D. Butler Park, the B-Line trail existing commercial/industrial buildings, making it an ideal transitional zone for residential use. Greystar has thoughtfully designed the project to activate key frontages including Rogers Street and the B-Line Trail with retail, amenities, and active public-facing uses, while proposing ground floor residential units that make this enhancement viable. Greystar respectfully requests that ground floor dwelling units be permitted.
 - b. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

PROPOSED FINDINGS: Granting this variance supports the health, safety, and welfare of the community by enabling a development that complements the surrounding land uses and transitions density appropriately. Ground floor residential units, when combined with strategic commercial activation of key edges, help create a livable, walkable, and context-sensitive urban form. The proposed layout maintains strong public connectivity from the B-Line Trail to Butler Park and provides clear sightlines, wayfinding, and passive surveillance that promote safety and visibility. The integration of residential uses at ground level enhances the vibrancy and diversity of the neighborhood, without presenting any public hazards or detracting from the Overlay's broader planning goals and will not be injurious to the public health, safety, morals, and general welfare of the community.

c. The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner.

PROPOSED FINDINGS: The proposed ground floor residential units will not adversely affect the use or value of adjacent properties. The project will replace an industrial site with a high-quality, mixed-use development that supports the goals of the city's Certified Technology Park. Residential uses at ground level are compatible with adjacent properties and will not adversely affect the adjacent property use or neighborhood property values.

d. The strict application of the terms of this UDO will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the development standards variance will relieve the practical difficulties.

PROPOSED FINDINGS: Strict enforcement of the prohibition against ground floor residential use presents practical difficulties unique to this site, including limited street frontage, irregular parcel geometry, and significant topographic variation. These factors make full compliance with non-residential activation requirements infeasible across the entire ground level. Commercial/ Retail use is proposed closest to N Rogers St, where the site provides main street frontage. This relief is essential to advancing a development that is aligned with the City's housing and redevelopment goals, while accommodating the physical constraints of the property.

2. UDO section 20.02.020(g)(9)(B) Table 02-20 and UDO section 20.04.020(c)(3) Table 04-4 Front building setback maximum in the MD-ST overlay, to allow a front setback greater than 15 feet from Rogers Street.

a. Description: Due to the site's constrained geometry with limited street frontage on N Rogers Street, strict adherence to the maximum 15-foot front setback requirement is not feasible for the proposed configuration of the East building. The site provides very limited frontage along N Rogers Street, and that segment must also accommodate a curb cut for site access, a public pedestrian pathway, proposed fire access, and landscape elements to buffer adjacent uses. These functional demands make the prescribed maximum setback physically and operationally restrictive. Greystar respectfully requests a variance to eliminate the maximum 15-foot front setback requirement along the N Rogers Street frontage, to allow the East building to be appropriately sited while designing it to be as close to N Rogers as functionally possible.

b. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

PROPOSED FINDINGS: Granting this variance promotes public health and safety by enhancing the main access point and supporting a safer interface with the public right-of-way. Increasing the building's front setback along this constrained frontage improves vehicle and pedestrian sightlines, particularly at the driveway entrance, which is critical for safe ingress and egress to the site.

Furthermore, the flexibility to pull the building back supports better landscaping, sidewalk design, and potential stormwater infrastructure, all of which benefit the surrounding public realm and will not be injurious to the public health, safety, morals, and general welfare of the community.

c. The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner.

PROPOSED FINDINGS: The variance will not negatively affect the use or value of nearby properties. This allows for a site design that enhances street-level appearance and complements existing development patterns. A modestly deeper setback to allow for site access, a public pedestrian pathway, proposed fire access, and landscape elements at this location and will not adversely affect the adjacent property use or neighborhood property values.

d. The strict application of the terms of this UDO will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the development standards variance will relieve the practical difficulties.

PROPOSED FINDINGS: Enforcing the maximum 15-foot setback in this context imposes practical difficulties that are unique to this site. The combination of narrow Rogers Street frontage, the need for an accessible driveway, and the requirement to provide a public path connecting the B-Line Trail to Butler Park severely limits placement flexibility for Building Three. Adhering to the 15-foot maximum would either force the building into an awkward, nonfunctional layout or reduce access and circulation capacity in a way that undermines safety. Granting the requested variance allows for rational building siting and preserves the project's functional and visual integrity while remaining aligned with the intent of the MD-ST Overlay.

3. UDO section 20.02.050(a)(5) Upper Floor Facade Stepbacks of top floor

a. Description: The Greystar proposal introduces a targeted stepback on the top floor of each building along public street frontages, set back by up to one unit depth. The site's challenging geometry with a curved northern boundary prevents deep buildings into the site, very narrow street frontage at Rogers, limited width at 9th Street and depth from incorporating connectivity from the B-Line to Butler Park at the overall southern edge of the site, results in constrained and irregular building envelopes. These physical limitations cause limited space to design deep, continuous floorplates that can accommodate stepbacks without severely impacting the interior layout. The irregular lot shape forces building orientations that are not linear from Fairview Street. The steep topography is being taken advantage of where possible. Along 9th street the first floor of the building is 1 story below street grade, giving the appearance of 3 stories above grade, and has an

upper floor stepback. The overall design plans for Affordable Housing and Sustainable Development incentives allowing for larger floorplates up to 30,000 square feet, and additional building height. Even with this increase in building footprint size the unique site constraints have restricted all our proposed buildings by thousands of square feet below the maximum due to a combination of unique site constraints. Due to the site's constraints, each building is undersized by several thousand square feet relative to what is otherwise permitted. Requiring stepbacks on lower floors would offset the Affordable Housing and Sustainable Development incentives, further decrease usable space already limited the site geometry, resulting in reduce economic viability, and jeopardize project financing. The proposed top floor stepbacks provide architectural variation, along with the contrasting materials and design of the upper building floor, offers visual contrast creating interest by adding additional character to the project that enhances the public view of the buildings and does not interfere with adjacent properties.

b. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

PROPOSED FINDINGS: Granting this variance will not be injurious to the public health, safety, morals, or general welfare of the community. The site is bounded by open space, parkland, and trail frontage rather than dense urban development. The absence of flanking tall structures and the project's low- to mid-rise character and some buildings set below grade ensure continued access to air, light, and views. Removing the stepback requirement enables a more context-sensitive design that preserves connectivity and supports housing goals without compromising public interests.

c. The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner.

PROPOSED FINDINGS: The requested variance will not negatively impact on the use or value of surrounding properties. The proposed upper floor stepbacks deliver an engaging design that is well integrated into the site's topography, including buildings that are below grade along 9th Street and a parking garage that is partially below grade at Fairview Street, further reducing impact to adjacent properties. Rather than presenting any adverse effect, the proposed design improves the current use and will not adversely affect the adjacent property use or neighborhood property values.

d. The strict application of the terms of this UDO will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the development standards variance will relive the practical difficulties.

PROPOSED FINDINGS: The combination of narrow and irregular lot geometry, elevation changes, and required public connections across the site creates physical constraints that are unique to this property. These unique site constraints eliminate the ability to achieve the depth and continuity needed to implement upper floor stepbacks beyond the top floor. Even with the benefit of Affordable Housing and Sustainable Development incentives allowing up to 30,000 square foot floorplates, each proposed building falls short of that maximum due to the site's limiting conditions.

The irregular lot shape, limited frontage, and topographic complexity all combine to make compliance with the setback requirement impractical. Granting this variance is necessary to deliver a code-aligned, efficient, and high-quality development that reflects the intent of the UDO while responding to the site's unique physical limitations.

4. UDO 20.02.050(a)(6) Windows and Doors on Primary Facades: First Floor (Building Base) Façade Facing a Street & B-Line Trail; 40% and 60%, respectively.

a. Description: In correlation with Variance #1 (if granted), the Greystar team requests the practical application of the Windows and Doors on Primary Facades at ground level for facades facing a street or the Trail to be congruent with the proposed residential use of the ground floor space where approved/allowed. Greystar respectfully requests for portions of structures containing approved/allowed ground floor dwelling units facing a street or the B-Line Trail to utilize the UDO requirement of 20% minimum of transparent glass or façade openings as defined in UDO Table 02-25: Upper Floors (Building Middle) Facing a Street.

b. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

PROPOSED FINDINGS: Granting the variance will not be injurious to the public health, safety, morals, and general welfare of the community. The request to align residential uses with appropriate openings is practical and necessary (safety/security, privacy of residents, overall residential experience, and maintains contextual compatibility with the surrounding area) to the cohesive design of the Site. The proposed change of aligning the percentage of Windows and Doors on Primary Facades does not present safety hazards or concerns or otherwise endanger public health or general welfare, now or at any time in the future. The proposed 20% transparency strikes a reasonable balance by allowing natural light into units and creating some level of street interaction, while protecting residents' rights to privacy, security, and peaceful enjoyment of their homes.

c. The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner.

PROPOSED FINDINGS: There are no adverse impacts to the use and value of surrounding properties that would result from the variance aligning ground floor residential units to their respective UDO design standards related to façade treatment. Allowing this variance presents no external adverse impacts that negatively affect or minimizes the use and value of surrounding properties. The nearest residential properties are separated from the subject site either by zoning transitions, public streets, or existing commercial uses. Additionally, the units facing N Rogers Street with reduced transparency will be well-buffered from the public realm through landscaping, setbacks, and elevation changes, ensuring that the reduced transparency does not create an inactive or blank edge. From a market perspective, there is no evidence that reduced window area on a residential building lower surrounding property value, especially when the project is otherwise

designed to a high architectural standard and includes landscaping, lighting, and public realm improvements.

d. The strict application of the terms of this UDO will result in practical difficulties in the use and residency of the property; that the practical difficulties are peculiar to the property in question; that the development standards variance will relieve the practical difficulties.

PROPOSED FINDINGS: The strict application of the UDO's transparency standard—requiring 40%–60% transparent glazing on the primary street-facing ground floor facade—would place an unreasonable burden on the development at 503 N Rogers Street, rendering portions of the site less practical for their intended residential use and compromising both design integrity and marketability. The current transparency standard is primarily designed to support retail activation and commercial visibility, ensuring that pedestrians can see into storefronts, cafes, or lobbies, thereby encouraging engagement and safety. However, in this project, the ground floor is mainly programmed for residential, as opposed to commercial. A rigid application of the transparency standard, without consideration of these contextual realities, would inhibit developing a building that is authentic to its setting and appropriate for its users.

Conclusion:

Greystar is pleased to present this redevelopment plan for 503 N Rogers Street. The project will incorporate the City of Bloomington's priorities around sustainable, affordable, and well-integrated mixed-use development. This proposal responds to comments received from city staff, and to the physical complexities and constraints of the site. Challenges have previously hindered viable development at this site. The proposed development will advance the city's vision for the MD-ST overlay and broader downtown area while requesting minimal variances due to practical necessity. These requested variances allow the project to provide high quality urban design for the city while mitigating the challenges posed by the site.

The findings demonstrate that granting these variances will not negatively impact public health, safety, or neighboring properties. Rather, they enable a higher-quality project that respects the site's context, strengthens connections to surrounding assets like Butler Park to the B-Line Trail, and supports Bloomington's broader goals for infill housing, economic revitalization, and community livability. Greystar respectfully requests the Board of Zoning Appeals approve these variances, allowing this transformative project to move forward and deliver long-term benefits for both the neighborhood and the city.

Greystar is committed to delivering a mixed-use, multifamily housing development that complies with the City of Bloomington's Unified Development Ordinance (UDO), as well as all applicable federal, state, and local laws. To ensure long-term compliance, we can confirm the project design and proposed operation will NOT meet the definition of Student Housing or Dormitory per 20.07.010 Defined Words defined in the UDO:

Student Housing or Dormitory

A multiple-family dwelling designed primarily as housing for, or likely to be occupied by, unmarried undergraduate or post-graduate students, including but not limited to:

- 1) Multiple-family dwellings that contain any living units with four or more bedrooms; or*
- 2) Multiple-family dwellings with more than 10 dwelling units where more than 33 percent of the living units contain three bedrooms; or*
- 3) Residential buildings that do not meet the definition of a "Residential Rooming House" or "Hotel or Motel," in which any of the bedrooms require the use of a common hallway shared by more than three bedrooms, to access the nearest bathroom facilities or to access a cooking area containing a built-in sink, refrigerator, and stove or oven.*

For purposes of determining whether a multiple-family dwelling meets this definition, the City may consider the degree to which the facility is occupied by undergraduate or post-graduate students and the degree to which occupancy is marketed to undergraduate or post-graduate students. This use does not include a "Fraternity or Sorority."

As such, Greystar is requesting to define a "Plan of Operation" in coordination with the City of Bloomington, which would be recorded against the property to ensure that the project remains within the definition of multifamily housing.

Proposed Plan for Operation:

- Mixed-use Multifamily Leases are by the unit:
 - No four-bedroom units will be offered.
 - Fewer than 33% of all units will have three bedrooms.
 - No bedroom will require a shared hallway (used by more than three bedrooms) to access a kitchen or bathroom.
- Marketing & Occupancy is inclusive to all members of the Bloomington community:
 - All leases will be first-come, first-served, in full compliance with Fair Housing laws and applicable federal, state, and local laws.
- UDO and Building Code Compliance:
 - All units will meet building code requirements for multifamily housing.

- Lease Policies:
 - All Leases will include community rules aligned with Bloomington's ordinances.
- Professional On-Site Management & Maintenance
 - The development will be professionally managed with onsite maintenance and leasing staff. Grounds, amenities, and trash collection will be serviced regularly to ensure long-term community upkeep.
- Deed restricted retail that prohibits cannabis sales and alcohol sales greater than 50% of all sales

Supporting Exhibits:

Conceptual Site Plan, Architectural Elevations and Renderings

Board of Zoning Appeals Submission
June 12, 2025

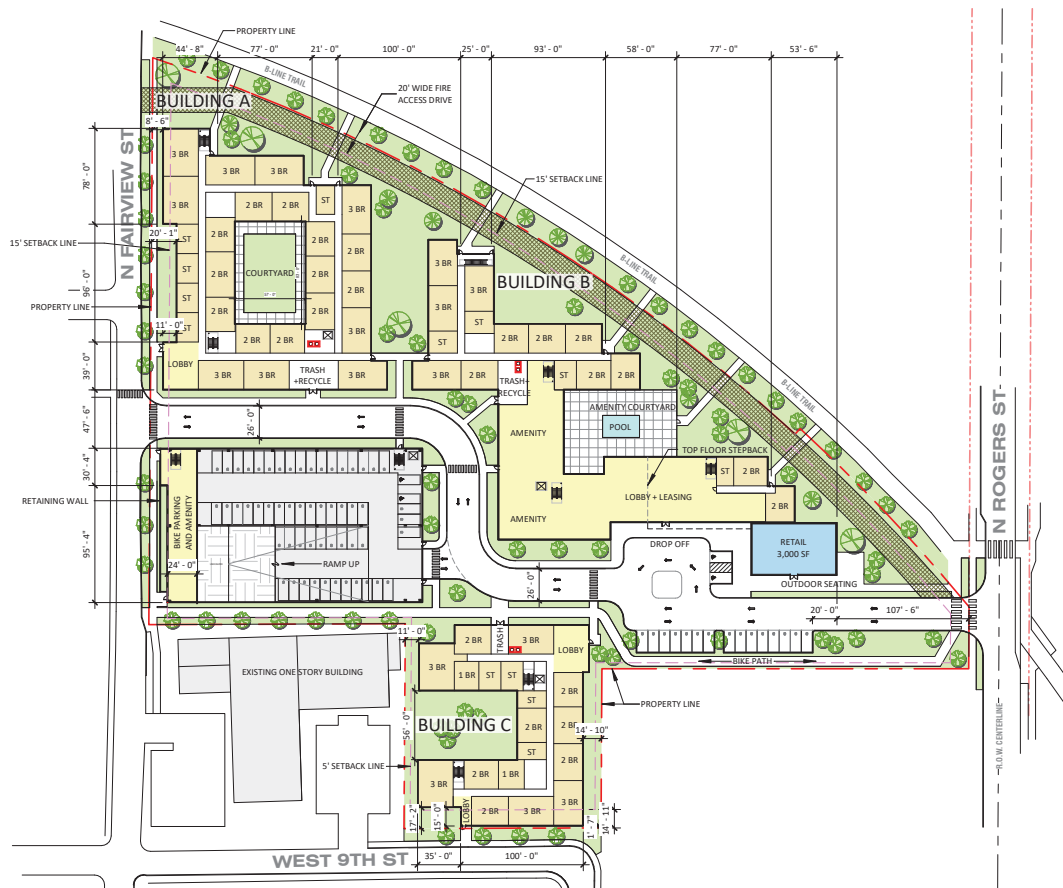
119

503 NORTH ROGERS STREET
Bloomington, IN



GREYSTAR™

esg



SCALE: 1" = 80'-0"

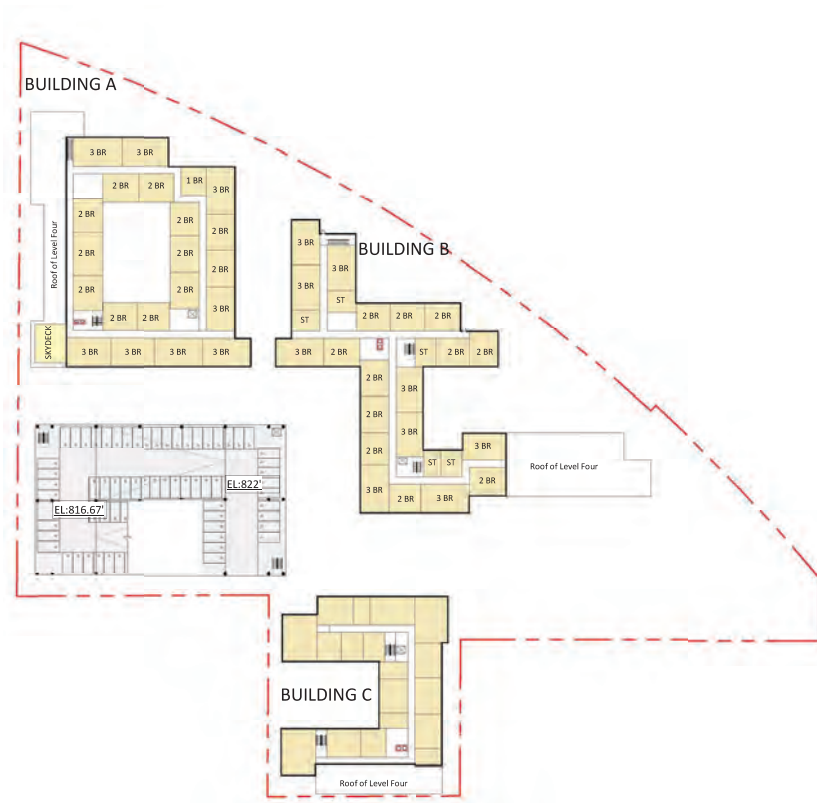


SCALE: 1" = 50'-0"

GREYSTAR™ esc

503 NORTH ROGERS
BLOOMINGTON, IN

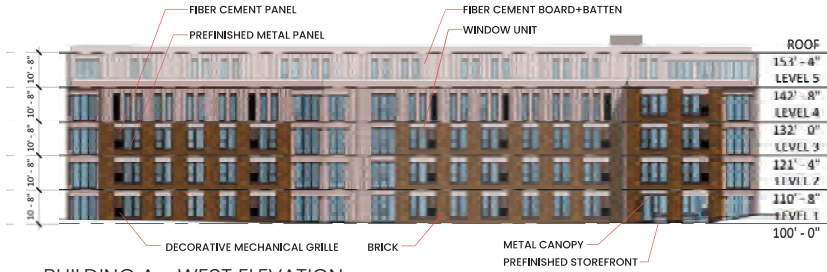
Typical Floor Plan



SCALE: 1" = 50'-0"



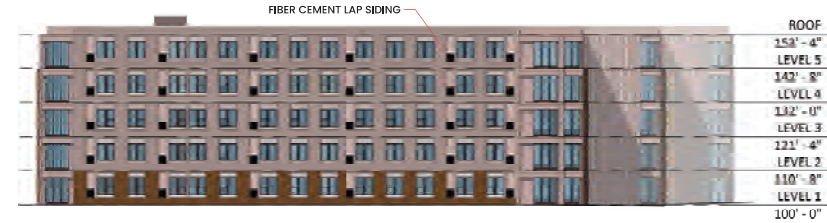
BUILDING A - NORTH ELEVATION



BUILDING A - WEST ELEVATION



BUILDING A - SOUTH ELEVATION

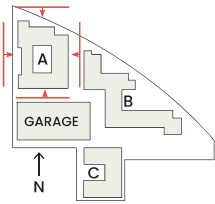


BUILDING A - EAST ELEVATION

MATERIAL BREAKDOWN
BUILDING A

BRICK	21%
FIBER CEMENT	51%
FC PANEL	23%
FC BOARD AND BATTEN	56%
FC LAP SIDING	21%
OPENINGS	28%
TOTAL	100%

SCALE: 1" = 30'-0"



JUNE 12, 2025



BUILDING A - COURTYARD NORTH ELEVATION



BUILDING A - COURTYARD EAST ELEVATION

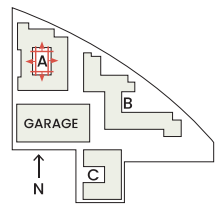


BUILDING A - COURTYARD SOUTH ELEVATION



BUILDING A - COURTYARD WEST ELEVATION

SCALE: 1" = 30'-0"





BUILDING B - NORTH ELEVATION

125

**MATERIAL BREAKDOWN
BUILDING B**

BRICK	22%
FIBER CEMENT	46%
FC PANEL	32%
FC BOARD AND BATTEN	29%
FC LAP SIDING	39%
OPENINGS	32%
TOTAL	100%

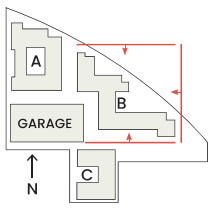


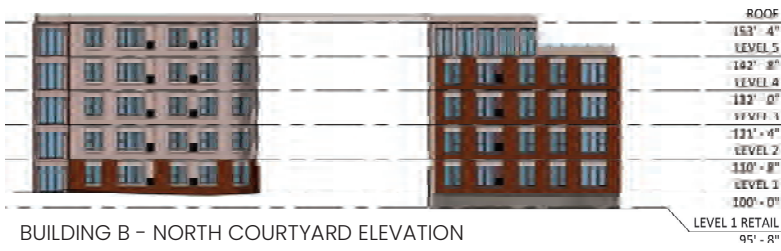
BUILDING B - SOUTH ELEVATION



BUILDING B - EAST ELEVATION

SCALE: 1" = 30'-0"



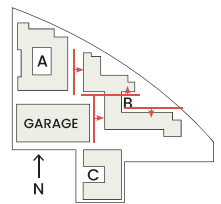


SCALE: 1" = 30'-0"

GREYSTAR™ esc

503 NORTH ROGERS
BLOOMINGTON, IN

Elevations - Building B



JUNE 12, 2025



BUILDING C - NORTH ELEVATION



BUILDING C - SOUTH ELEVATION

127
MATERIAL BREAKDOWN
BUILDING C

BRICK	24%
FIBER CEMENT	46%
FC PANEL	23%
FC BOARD AND BATTEN	58%
FC LAP SIDING	19%
OPENINGS	30%
TOTAL	100%



BUILDING C - EAST ELEVATION



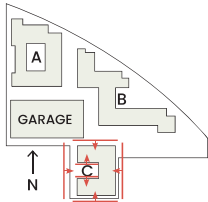
BUILDING C - WEST ELEVATION



BUILDING C - COURTYARD NORTH ELEVATION



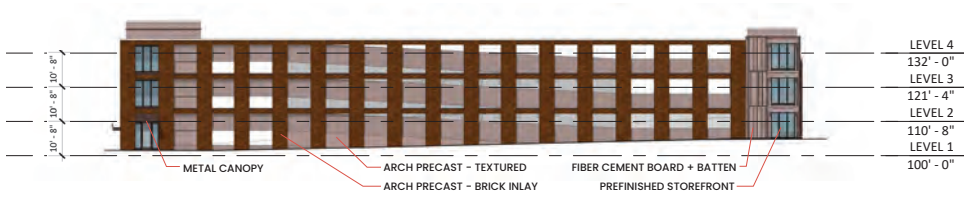
BUILDING C - COURTYARD SOUTH ELEVATION



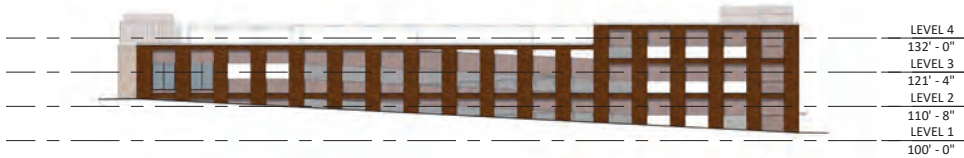
SCALE: 1" = 30'-0"

MATERIAL BREAKDOWN
GARAGE

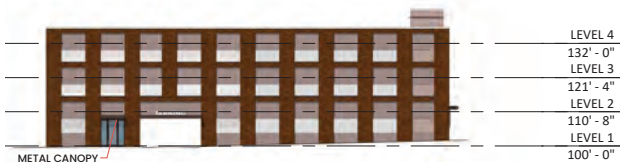
ARCH PRECAST - BRICK INLAY	51%
ARCH PRECAST - TEXTURED	24%
FIBER CEMENT - BOARD+BATTEN	7%
OPENINGS	18%
TOTAL	100%



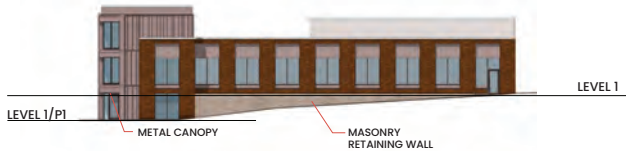
GARAGE - NORTH ELEVATION



GARAGE - SOUTH ELEVATION



GARAGE - EAST ELEVATION



GARAGE - WEST ELEVATION

SCALE: 1" = 30'-0"











BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
LOCATION: 717 S. Henderson Street

CASE#: CU-24-25
ZR2025-06-0076
DATE: June 26, 2025

PETITIONER: North College Partners, LLC
 3243 Quailwood Run Lane
 Trafalgar, IN 46181

REQUEST: The petitioner is requesting Conditional Use approval to allow a “Dwelling, duplex” use in the Residential Small Lot (R3) zoning district.

REPORT: The property is located at the northeast corner of S. Henderson Street and E. 1st Street. This site and all surrounding properties are zoned Residential Small Lot (R3) and have been developed with single family residences. The property currently contains a single family residence and is within the Bryan Park Neighborhood Association area. There is a separately platted lot to the south that lies completely within a Conservation Easement and is owned by the petitioner, but is not part of this petition. There is a 12’ wide platted alley that runs along the north side of the property.

The petitioner is proposing to remove the existing residence and develop the site with a new “Dwelling, duplex”. The residence has been designed with both units facing Henderson Street to the west. The proposed duplex would be an American Four Square design with two-stories and each unit having three bedrooms. A driveway is shown along the north side of the residence from the alley to access a 20’x20’ parking area. Water and sewer connections are proposed from Henderson Street. Since Henderson Street is classified with a Neighborhood Connector typology, an 8’ wide tree plot and 7’ wide sidewalk are required along the Henderson Street frontage. A 5’ wide tree plot has been shown and must be widened to 8’, a condition of approval has been included to that effect.

This petition was presented to the Bryan Park and Elm Heights Neighborhood Associations. At that meeting neighbors had questions regarding the overall layout of the building, possibility of salvaging material from the existing residence, use of the adjacent lot to the south by the residents of this proposal, and adequacy of the proposed parking. In general, the members of the neighborhood were supportive of the overall design and architecture of the building.

The petitioner is requesting conditional use approval to allow the establishment of a “Duplex, dwelling” use on the property.

CRITERIA AND FINDINGS FOR CONDITIONAL USE PERMIT

20.06.040(d)(6)(B) General Compliance Criteria: All petitions shall be subject to review and pursuant to the following criteria and shall only be approved if they comply with these criteria.

- i. *Compliance with this UDO*
- ii. *Compliance with Other Applicable Regulations*
- iii. *Compliance with Utility, Service, and Improvement Standards*
- iv. *Compliance with Prior Approvals*

PROPOSED FINDING: There are use-specific standards that apply to the use “dwelling, duplex” within the R3 zoning district and this petition meets those standards. The UDO requires certain design elements to be similar in general shape, size and design of the majority of existing single-family or duplex structures on the same block face. In accordance with those standards, each unit has its own separate exterior entrance as required and the design of the building incorporates many elements similar to surrounding residences on this block face including- roof pitch design, front porch width and depth, front building setback, and vehicle parking access. There is a 6’ wide covered porch shown along the front of the building that is similar in depth and width to other structures on this block face. The building has been shown at the required build-to-line. Each dwelling unit has three bedrooms and meets the maximum 6 bedroom limitation. The petitioner did attend the Bryan Park and Elm Heights Neighborhood Association meeting and presented this petition as required. The property owner does not have any notices of violation on file. There are no other known applicable regulations for this petition. There are water and sewer connections available in Henderson Street and no conflicts with connecting to those services have been identified. There are no known prior approvals for this site.

20.06.040(d)(6)(C) ADDITIONAL CRITERIA APPLICABLE TO CONDITIONAL USES

i. *Consistency with Comprehensive Plan and Other Applicable Plans*

The proposed use and development shall be consistent with and shall not interfere with the achievement of the goals and objectives of the Comprehensive Plan and any other applicable adopted plans and policies.

PROPOSED FINDING: This proposal is in line with the goals of the Comprehensive Plan. The Comprehensive Plan identifies this area as the “Mixed Urban Residential” land use category. The Comprehensive Plan states that the Mixed Urban Residential land use category is largely in older neighborhoods and that redevelopment should be compatible with surroundings. Policy 5.3.1 encourages opportunities for infill and redevelopment across Bloomington with consideration for increased residential densities, complementary design, and underutilized housing types such as accessory dwelling units and duplexes. This location is also well served by existing services and utilities. The proposal also accomplishes many of the design goals of the Comprehensive Plan in relation to compatibility with adjacent structures and has a clear relationship with the adjacent public street through the sidewalk connection from the residence to the sidewalk on the street. The proposal is in line with the Comprehensive Plan.

ii. *Provides Adequate Public Services and Facilities*

Adequate public service and facility capacity shall exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, streets, potable water, sewer, stormwater management structures, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.

PROPOSED FINDING: The site has existing utility connection and no issues have been

identified with the proposed connections. Installation of a sidewalk along the property frontage is required by code and has been shown with the notation previously mentioned regarding widening the width of the tree plot.

iii. *Minimizes or Mitigates Adverse Impacts*

1. *The proposed use and development will not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.*
2. *The proposed development shall not cause significant adverse impacts on surrounding properties nor create a nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights.*
3. *The hours of operation, outside lighting, and trash and waste collection must not pose a hazard, hardship, or nuisance to the neighborhood.*
4. *The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.*

PROPOSED FINDING: There are no regulated natural or scenic features that will be impacted. The property is not located within a historic district. No significant adverse impacts are expected from the creation of the proposed duplex. No changes to trash and waste collection service are expected. As mentioned previously, at the neighborhood meeting there were questions raised regarding the use of the adjacent lot and protection of existing vegetation, which is restricted by an existing conservation easement. Neighbors also expressed a desire for my parking on the property, however the UDO limits the width and depth of a parking pad from an alley to 20'x20', which has been shown and therefore is UDO compliant. It is not possible to install additional parking on the property and meet UDO requirements.

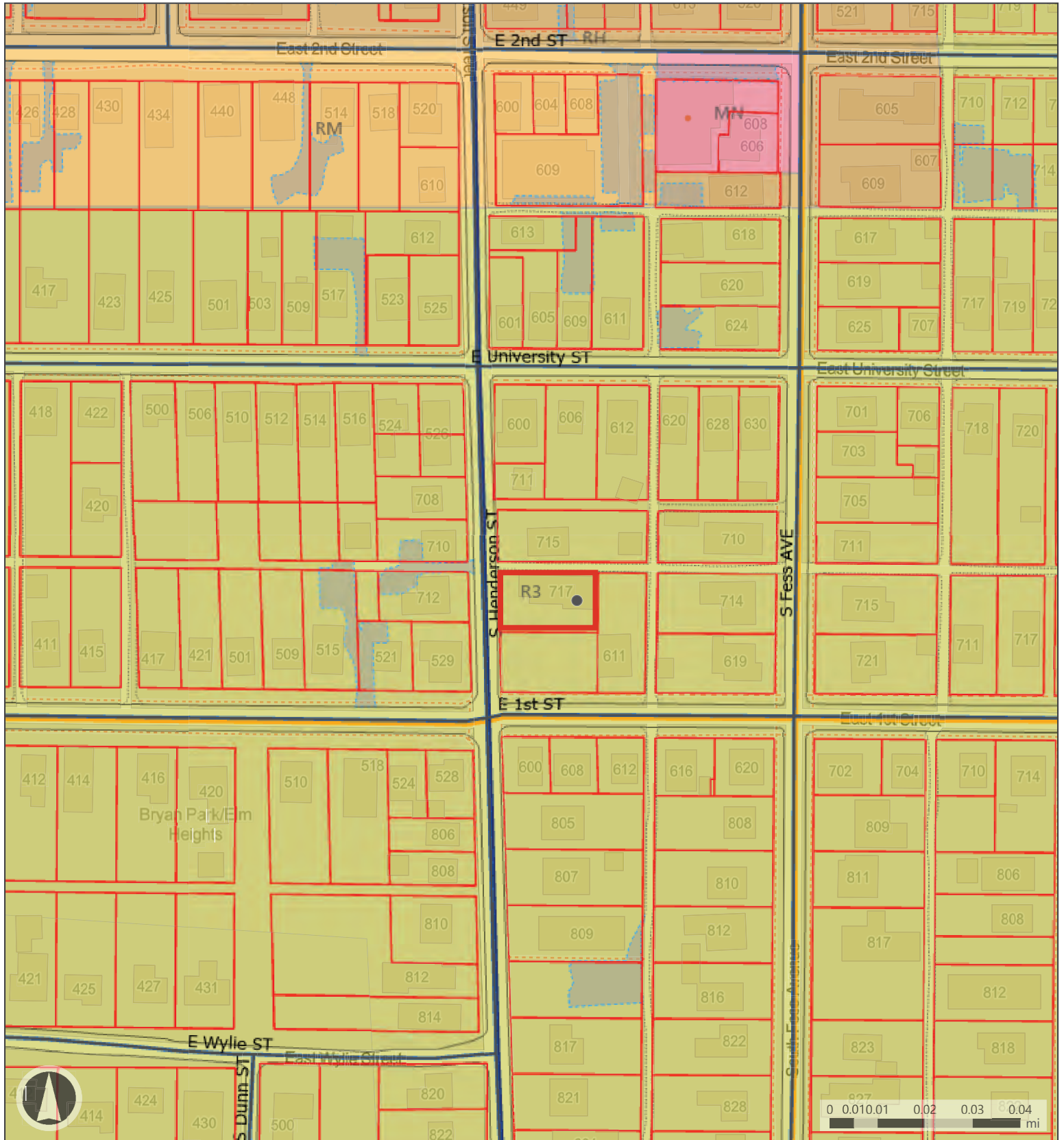
iv. *Rational Phasing Plan*

If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements.

PROPOSED FINDING: No phasing is proposed with this plan.

RECOMMENDATION: The Department recommends that the Board of Zoning Appeals adopt the proposed findings and approve of CU-24-25/ZR2025-06-0076 with the following conditions:

1. This conditional use approval is limited to the design shown and discussed in the packet.
2. Street trees not more than 30' from center are required along the property frontage. A sidewalk and tree plot consistent with the Transportation Plan are required along the frontage.
3. Any portions of the sidewalk not located in public right-of-way must be placed in a pedestrian easement.

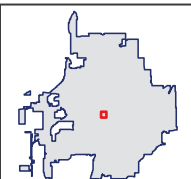


Map Legend

- Parcels
- Pavement
- Alley
- Paved Parking Lot
- Current
- City Maintained Streets

- Neighborhood Connector
- Neighborhood Residential
- Secondary Arterial

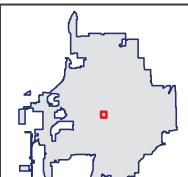
- Primary Collector
- Bloomington





Map Legend

- | | | | |
|----------|-------------------------|--------------------------|-----------------------|
| Parcels | Paved Parking Lot | Neighborhood Connector | Primary Collector |
| Pavement | Current | Neighborhood Residential | Bloomington Municipal |
| Alley | City Maintained Streets | Secondary Arterial | |



North College Partners, LLC

3243 Quailwood Run Lane, Indiana

Petitioner's Statement

717 S Henderson St Residence

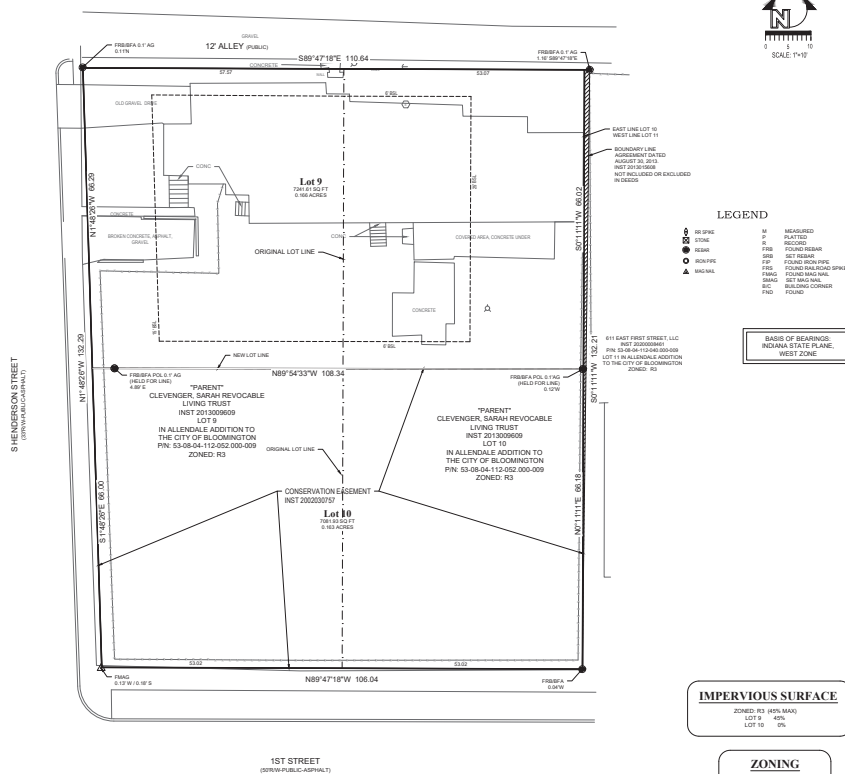
Petitioner: North College Partners, LLC

Property Description

717 S Henderson St is near the intersection of First Street and South Henderson Street in the Bryan Park Neighborhood. The property is zoned R3 (Residential Small Lot) and is surrounded by a mix of single family residential and multifamily. The lot directly to the south has a conservation easement and is unable to be developed. The adjacent zoning on all sides is R3.

Conditional Use Request

North College Partners, LLC, is requesting a Conditional Use permit per the UDO for the construction of a duplex in R3 Zoning. The proposal meets the design requirements and development standards outlined in the UDO. It includes a new 2-story structure with two 3-bedroom, 3-bath dwelling units. Each unit will have a separate exterior entrance Henderson St. The plan features a traditional four square design, matching the roof styles and porches found in the neighborhood. The exterior will primarily include engineered wood siding and dimensional asphalt shingles. The building setback will sit behind the proposed transportation right of way and sit 52' from the middle of Henderson St. Vehicular access will be from the east-west alley to the property's north and 4 parking spots will be behind the residence. New water and sewer services, separate for each unit, have been coordinated with City of Bloomington Utilities and Engineering, and new electrical service, separate for each unit, will be coordinated with Duke Energy. Upon approval, construction is expected to begin in October 2025, with completion anticipated in the Summer of 2026.



VICINITY MAP
★ PROJECT LOCATION

LEGEND

- | | | | |
|---|-----------|------|----------------------|
| | RR SPIKE | M | MEASURED |
| | STONE | P | PLATTED |
| | REBAR | R | RECORD |
|  | IRON PIPE | FRB | FOUND REBAR |
|  | MAG NAIL | SRB | SET REBAR |
| | | FP | FOUND IRON PIPE |
| | | FRS | FOUND RAILROAD SPIKE |
| | | FMBG | FOUND MAG NAIL |
| | | SMAG | SET MAG NAIL |
| | | B/C | BUILDING CORNER |
| | | FND | FOUND |

NOTES

1. BASED UPON A SCALED INTERPRETATION OF THE FLOOD INVENTORY MAP NO 150200-42 FOR MONROE COUNTY, INDIANA, DATED DECEMBER 17, 2016, THE SUBJECT PROPERTY IS LOCATED WITHIN (UNSHOWN) ZONE X.
2. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE LABELED.
3. THE REAL ESTATE DESCRIBED ON THIS MAP SHALL BE BOUND BY ANY AND ALL EASEMENTS OR RESTRICTIONS OF RECORD.
4. REFERENCE IS MADE TO THE FOLLOWING SURVEYS OR PLATS:
BOUNDARY SURVEY BY CHARLES C. GRIMMAY DATED MAY 19, 2024, PLAT #2024-047 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.
5. PLAT OF ALLELUJAH MOORE PLAT BOOK 2, PAGE 12, NOW PLAT CABBIN 6, ENVELOPE 26 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.
6. NO EXPANSION OR IMPROVEMENTS ARE PERMITTED WITHOUT SITE PLAN APPROVAL. ANY SITE MODIFICATIONS WILL REQUIRE FULL COMPLIANCE MEETING THE CITY OF BLOOMINGTON LAND REQUIREMENTS AND SITE PLAN APPROVAL.

LEGAL DESCRIPTION - LOT 9

THE NORTH HALF OF LOTS NUMBERED NINE (9) AND TEN (10) IN ALLENDALE ADDITION TO THE CITY OF BLOOMINGTON, INDIANA, PER THE RECORDED PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 72, IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA, CONTAINING 7.238 SQUARE FEET, MORE OR LESS

LEGAL DESCRIPTION - LOT 1

THE SOUTH HALF OF LOTS NUMBERED NINE (9) AND TEN (10) IN ALLENDALE ADDITION TO THE CITY OF BLOOMINGTON, INDIANA, PER THE RECORDED PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 72, IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA, CONTAINING 7.086 SQUARE FEET, MORE OR LESS

LEGAL DESCRIPTION - TRANSFER AREA 1

THE NORTH HALF OF LOT NUMBERED TEN (10) IN ALLENDALE ADDITION TO THE CITY OF BLOOMINGTON, INDIANA, PER THE RECORDED PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 72, IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA, CONTAINING 3.508 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION - TRANSFER AREA 2

THE SOUTH HALF OF LOTS NUMBERED NINE (9) IN ALLENDALE ADDITION TO THE CITY OF BLOOMINGTON, INDIANA, PER THE RECORDED PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 72, IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA, CONTAINING 3.580 SQUARE FEET, MORE OR LESS.

IMPERVIOUS SURFACE

ZONED: R3 (45% MAX)
LOT 9 45%
LOT 10 0%

ZONING

ZONED: R3
FRONT - 15 FEET
SIDE - 6 FEET
REAR - 25 FEET
MAX IMPERVIOUS SURFACE - 4

SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYORS KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 805 IAC 1.12 FOR THE STATE OF INDIANA.

DATED MARCH 03, 2025



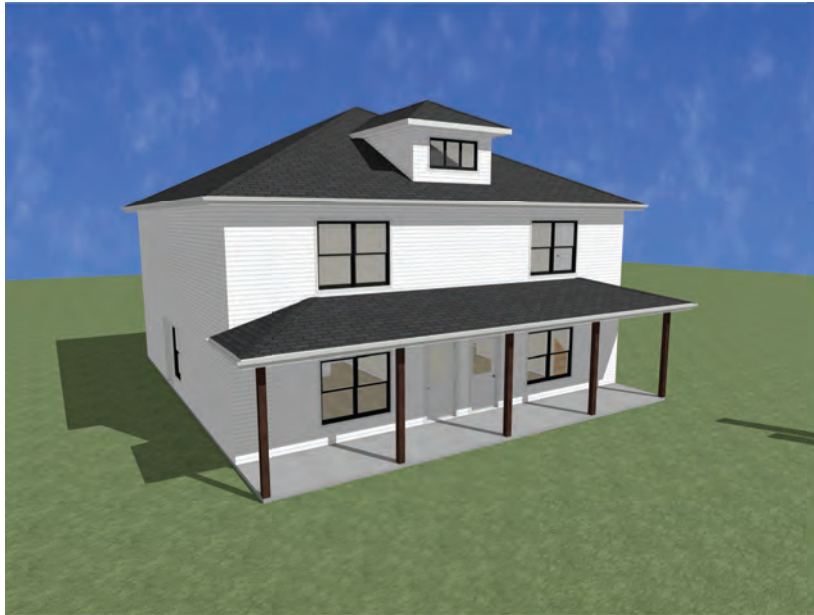
SCOTT P. PARQUE
REGISTERED LAND SURVEYOR NO. 22300018

I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. (SCOTT PARDUE)

ALLENDALE ADDITION LOT LINE
ADJUSTMENT FOR LOTS 9 AND 10

SMITH DESIGN GROUP, INC., 1467 W ARLINGTON ROAD, BLOOMINGTON, INDIANA 47404
T: 812.336.6536 W: www.smithdgc.com Job: 7115 Page: 1/1 Date: March 03, 2025





3-D RENDERING

THIS DOCUMENT IS A PRELIMINARY DESIGN AND NOT A FINAL CONTRACT. IT IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT AGREES TO HOLD THE DRAFTER HARMLESS FROM ALL LIABILITY, INCLUDING ATTORNEY'S FEES, FOR ANY AND ALL DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE DRAFTER OR ANY SUBSIDIARY, AGENT, OR EMPLOYEE OF THE DRAFTER, IN CONNECTION WITH THE PREPARATION, REVIEW, OR USE OF THIS DOCUMENT. THE CLIENT'S OBLIGATION TO HOLD THE DRAFTER HARMLESS SHALL SURVIVE THE TERMINATION OR CANCELLATION OF THIS AGREEMENT. THIS AGREEMENT IS MADE THIS 6/3/2025 BY AND BETWEEN THE DRAFTER AND THE CLIENT.

DRAWN BY=
JESSE WAGLER

DUPLEX T17 HENDERSON

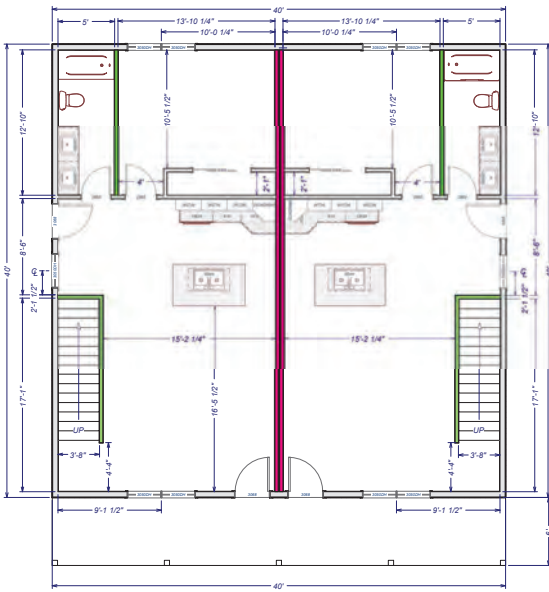
NEW HOME PLAN FOR
SACKSTEDER PROPERTIES

DRAWINGS PROVIDED BY:
WAGLER DRAFTING
(812) 767-0882

DATE:
6/3/2025

SCALE:
1/4"=1' FOOT

SHEET:
P-1

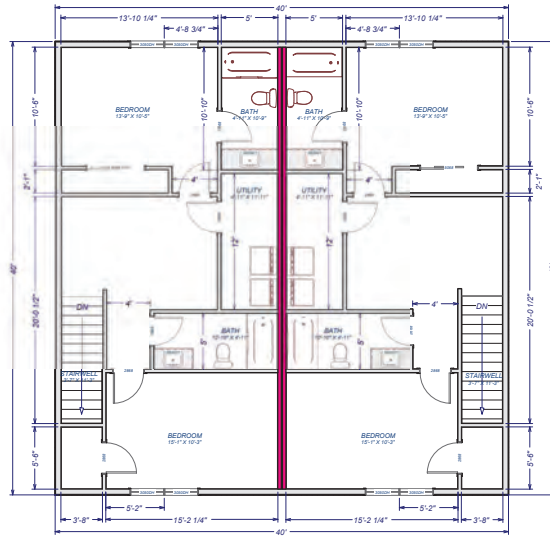


LIVING AREA
1600 SQ FT

NOTE:
 *ALL EXTERIOR WALLS ARE 6 INCHES UNLESS NOTED OTHERWISE
 *ALL INTERIOR WALLS ARE 5 1/2 INCHES UNLESS NOTED OTHERWISE
 *16 INCH OVERHANG ON GABLES
 *18 INCH OVERHANG ON EAVES
 *FIRST STORY WALLS ARE SHOWN AS 9 FEET
 *SECOND STORY WALLS ARE SHOWN AS 5 FEET
 *ALL DIMENSIONS ARE TO THE FACE OF GSB

- load bearing wall (thicker slab below) (headers required)
- 1 1/2 inches between walls framing to accommodate for fire wall (load bearing wall)

1ST FLOOR
1/4 IN = 1 FT



LIVING AREA
1506 SQ FT

2ND FLOOR
1/4 IN = 1 FT

CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND PROPOSED WALLS, DOORS, WINDOWS, AND OTHER FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DRAWN BY:
JESSE WAGLER

DUPLEX 717 HENDERSON

NEW HOME PLAN FOR
SACKSTEDER PROPERTIES

DRAWINGS PROVIDED BY:
WAGLER DRAFTING
(812) 767-0882

DATE:
6/3/2025

SCALE:
1/4" = 1' 00"

SHEET:
P-2

2" FOAM INSULATION

4" CONCRETE SLAB

WOOD SILL PLATE TO BE FASTENED TO FOUNDATION
PULL IT TO INTERIOR OF WALL

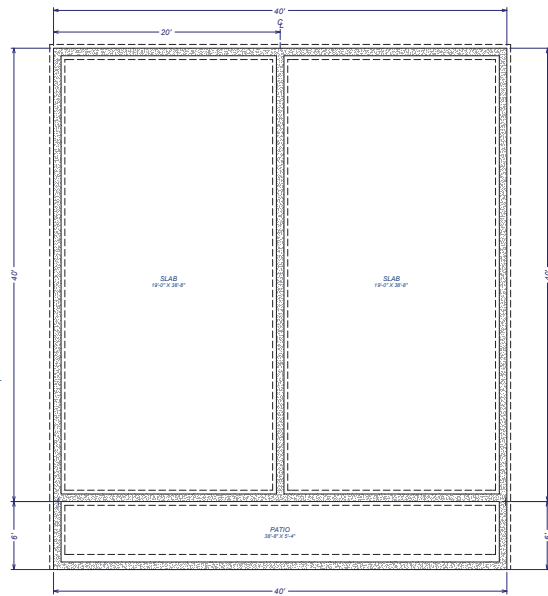
GRAVEL FILL (3" MIN.)

4" MINIMUM CLEARANCE BETWEEN
GRADE AND TOP OF CONCRETE WALL

CONCRETE FOOTING (18" BY 24" TO BEAR ON UNDISTURBED
SOIL) #2 #4 REBAR CONTINUOUS

4" DIAMETER WEEPING TILE (1/2" CRUSHED STONE COVER)

(DIAGRAM IS NOT TO SCALE)



○ FOUNDATION
1/4 IN = 1 FT

GREAT CARE AND EFFORT HAVE GONE INTO CREATION & THE DESIGN OF THESE PLANS. HOWEVER BECAUSE OF THE IMPOSSIBILITY OF PROVIDING DAY TO DAY (ON THE SITE) CONSULTATION, SUPPORT AND CONTROL OVER THE ACTUAL CONSTRUCTION, WE WARE WAIVERING OUR RESPONSIBILITY FOR ANY DAMAGE, INCLUDING STRUCTURAL FAILURES, DUE TO DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN OF THESE PLANS. USERS OF THESE PLANS SHALL REVIEW THE PLANS AND CHECK ALL DIMENSIONS, QUANTITIES, SPACING AND STRUCTURAL MEMBERS PRIOR TO BUILDING AND ORDERING MATERIALS. THE DESIGNER SHALL NOT BE HELD LIABLE FOR ERRORS.

P-3



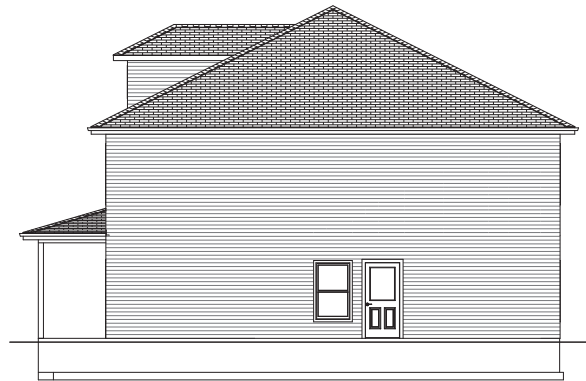
FRONT ELEVATION



LEFT ELEVATION



BACK ELEVATION



RIGHT ELEVATION

DESIGNER'S RESPONSIBILITY: THESE PLANS, SPECIFICATIONS AND NOTES ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THESE PLANS, SPECIFICATIONS OR NOTES SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PLANS, SPECIFICATIONS AND NOTES. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES.

DRAWN BY:
JESSE WAGLER

DUPLEX T117 HENDERSON

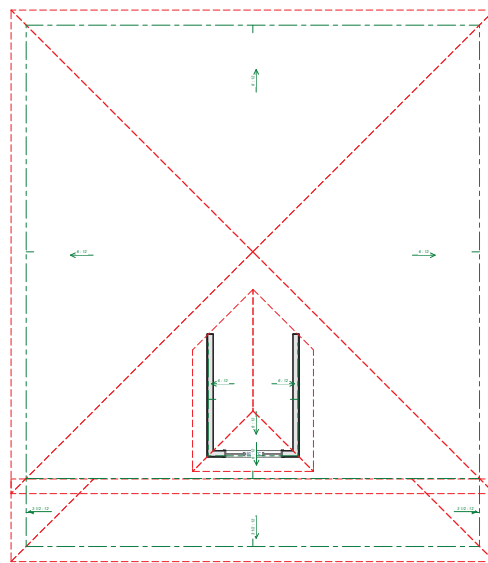
NEW HOME PLAN FOR
SACKSTEDER PROPERTIES

DRAWINGS PROVIDED BY:
WAGLER DRAFTING
(812) 767-0882

DATE:
6/3/2025

SCALE:
1/8"=1' FOOT

SHEET:
P-4



GREAT CARE & EFFORT HAVE GONE INTO CREATION & THE DESIGN OF THESE PLANS. HOWEVER BECAUSE OF THE IMPOSSIBILITY OF PROVIDING (DAY TO DAY) ON THE SITE CONSULTATION SUPERVISION AND CONTROL OVER THE ACTUAL CONSTRUCTION, WE WISH TO MAKE IT CLEAR THAT WE ASSUME NO RESPONSIBILITY FOR ANY AND ALL SUCH INCLUDING STRUCTURAL FAILURES, DUE TO DEFICIENCIES, (OMISSIONS OR ERRORS) IN THE DESIGN OF THESE PLANS. USERS OF THESE PLANS SHALL REVIEW THE PLANS AND CHECK ALL DIMENSIONS, QUANTITIES, SPACING AND STRUCTURAL MEMBERS PRIOR TO BUILDING AND ORDERING MATERIALS. THE DESIGNER SHALL NOT BE HELD LIABLE FOR ERRORS.

DRAWN BY=
JESSE WAGLER

DUPLEX 717 HENDERSON

NEW HOME PLAN FOR
SACKSTEDER PROPERTIES

DRAWINGS PROVIDED BY:
WAGLER DRAFTING
(812) 787-0882

DATE: 6/3/2025

SCALE:
1/4"=1 FOOT

SHEET:
P-5

**BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT**

**CASE #: V-26-25/ ZR2025-06-0078
DATE: June 26, 2025**

Location: 2401/2501 N Walnut St

APPLICANT: Sam Heale
405 N Rogers St Bloomington

OWNER: American Storage LLC
PO Box 40 Bloomington

CONSULTANT: Don Kocarek, Smith Design Group
2755 E Canada Dr Suite 101 Bloomington

REQUEST: Development standards variance for a determinate sidewalk variance for a portion of required pedestrian facilities in the Mixed-Use Corridor (MC) zoning district.

REPORT: This property is located at 2401 (2501) N Walnut St and consists of two parcels totaling 4.46 acres. The property is zoned Mixed-Use Corridor (MC). Surrounding zoning districts are Mixed-Use Corridor (MC) to the north, Residential Medium Lot (R2) to the east, and Parks and Open Space (PO) to the south and west. Surrounding land uses include commercial to the north, detached single-family residential use to the east, commercial to the south, and park to the west. The future land use designation for this property is Urban Corridor.

The petitioner received a building setback variance at the Board of Zoning Appeals hearing in July 2024, as well as a variance to not install the required pedestrian facilities along the N Old State Road 37 frontage. The petitioner received a denial for a determinate sidewalk variance for 140 feet of the required facilities along the N Walnut Street frontage.

The petitioner is proposing to construct a new 6,050 square foot storage and office building and parking lot along the front property line on N Walnut St. The new structure and parking lot would replace the existing 3,000 square foot front office building and a surface parking lot along N Walnut. The Unified Development Ordinance (UDO) requires that a site be brought into full compliance with any petition for the demolition of existing and construction of new buildings.

Full compliance requires the installation of pedestrian facilities, including all trails and connector paths, as indicated in the Transportation Plan, on all street frontages. This property has street frontage along N Walnut Street, so pedestrian facilities are required along that frontage. The Transportation Plan calls for a multi-use path along N Walnut Street. The path is planned for the west side of N Walnut Street.

UDO Section 20.04.050(d)(4)(A) states:

All developments shall integrate an interior and exterior pedestrian network comprised of concrete sidewalks or asphalt paths for pedestrian transportation and recreation. This network shall include

pedestrian facilities along street frontages, multiuse trails where indicated on the Transportation Plan, and pedestrian connector paths between developments and public destinations (e.g., schools, parks, hospitals), nearby trails, other developments, and vacant land.

The UDO contains guiding language for the Board of Zoning Appeals for Determinate Sidewalk Variance requests.

Determinate Sidewalk Variance Approval Criteria:

20.06.080(b)(3)(E)(i)(3): While not to be included as separate findings of fact, items to consider when determining the practical difficulties or peculiar conditions associated with a determinate sidewalk variance include, but are not limited to:

- a) That the topography of the lot or tract together with the topography of the adjacent lots or tract and the nature of the street right-of-way make it impractical for construction of a sidewalk; or*
- b) That the pedestrian traffic reasonably to be anticipated over and along the street adjoining such lot or tract upon which new construction is to be erected is not and will not be such as to require sidewalks to be provided for the safety of pedestrians; or*
- c) The adjacent lot or tracts are at present developed without sidewalks and there is no reasonable expectation of additional sidewalk connections on the block in the near future; or*
- d) The location of the lot or tract is such that a complete pedestrian network is present on the other of the street on the same block; or*
- e) Uniformity of development of the area would best be served by deferring sidewalk construction on the lot or tract until some future date.*

The petitioner is requesting a variance from installing the multi-use path within the southern 108' feet of street frontage along N Walnut, as seen in the petitioner exhibit.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E) Standards for Granting Variances from Development Standards:

A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

PROPOSED FINDING: The granting of this variance will not be injurious to the public health, safety, morals, or general welfare of the community. While it would be beneficial to community welfare to have a multi-use path along the entire length of this property's frontage, the construction of the southern portion could be forestalled until the connection to the south is planned and built by the City.

- 2) The use and value of the area adjacent to the property included in the Development*

Standards Variance will not be affected in a substantially adverse manner.

PROPOSED FINDING: The use and value of the area adjacent to the property will not be affected in a substantially adverse manner by the approval of this variance. There is no pedestrian facility currently provided in front of private property to the south. While it would be beneficial to community welfare to have a multi-use path along the entire length of this property's frontage, the construction of the southern portion could be forestalled until the connection to the south is planned and built by the City.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

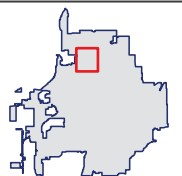
PROPOSED FINDING: The Department does not find that the strict application of the terms of the UDO will result in practical difficulties in the use of the property. The petitioner is requesting a determinate sidewalk variance for 108 feet of the southernmost portion of the required multi-use path. While there is steep topography at the location called for in the Transportation Plan, a review of the proposed plans by Engineering Department and Planning & Transportation Department staff led to discussion of moving the path further east, allowing 7 feet between the edge of pavement and the path, alleviating the need for a variance. Staff sent that proposal to the petitioner for review on April 25, 2025.

RECOMMENDATION: The Department recommends that the Board of Zoning Appeals adopt the proposed findings and deny case **V-26-25/ ZR2025-06-0078**.



Map Legend

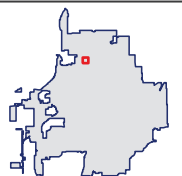
- Parcels
- Bloomington Municipal Boundary





Map Legend

-  Parcels
-  Bloomington Municipal Boundary





Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder

To: Jackie Scanlan, Development Services Manager and City of Bloomington Board of Zoning Appeals

RE: Determinant sidewalk variance request

Dear Jackie and BZA Members,

We are requesting a determinant sidewalk variance for All American self-storage facility located at 2401 N. Walnut Street. The property consists of two parcels totaling 4.46 acres and is used as self-storage facility and office. The project includes the removal of one of the 11 existing buildings, replacing the one building with a new modern 3-story self-storage and office building.

Approximately 45% of the property is already developed with self-storage buildings and pavement for access to those buildings. The remainder of the property has forested steep slopes, sloping down to Cascades Park to the west. To the south is right of way owned by the city which extends from the east side of Walnut Street down to Cascades Park. This is the area where the sidewalk variance is being requested. To the north is a Hotel/bar. To the east across Walnut Street is single family residences.

The transportation plan suggests a 12' wide path and an 8' tree plot along Walnut Street Road. On the south side of the property, there are steep slopes and rocky terrain on the west side of Walnut Street. This is the area where the variance is being requested. The total path length required by planning is 581' and we are requesting the variance for only 108' of this length. There is an area behind the guardrail where the slopes become steep and rocky making the path impractical to build in this area shown in the exhibits

We appreciate the opportunity

Sincerely,

Don Kocarek
Smith Design Group, Inc.
dkocarek@smithdginc.com



Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder



Exhibit 1: Looking north along the guardrail. The proposed path would be on the back of the guardrail. Big Red Liquors is at the top of the photo for reference



Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder

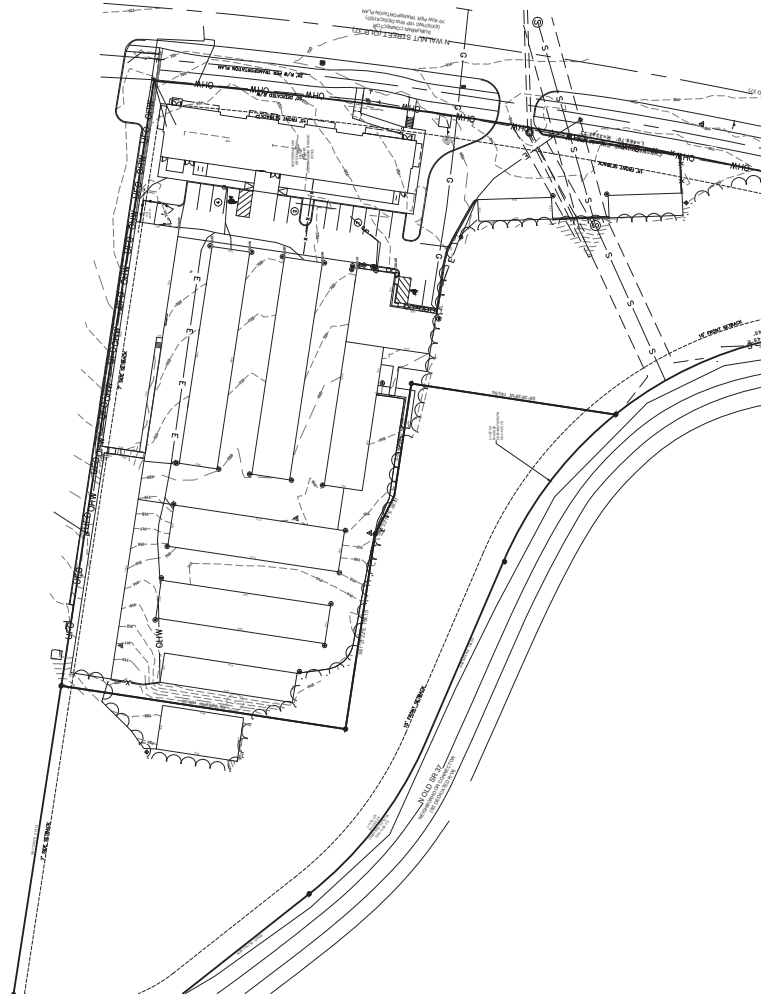


Exhibit 2: Looking east from Old SR 37 Cascades Park area. The telephone pole in the picture is at the start of where the path area we are seeking a variance for.

Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder



Exhibit 3: Looking east at the slope and rock outcroppings. Note the telephone pole next to where the path variance is requested.



SMITH
DESIGN
GROUP

JOB NUMBER: 6617



DEMOLITION KEY

- REMOVE EXISTING ASPHALT
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING GRAVEL
- REMOVE EXISTING STRUCTURE FOOTINGS AND FOUNDATIONS

GENERAL NOTES

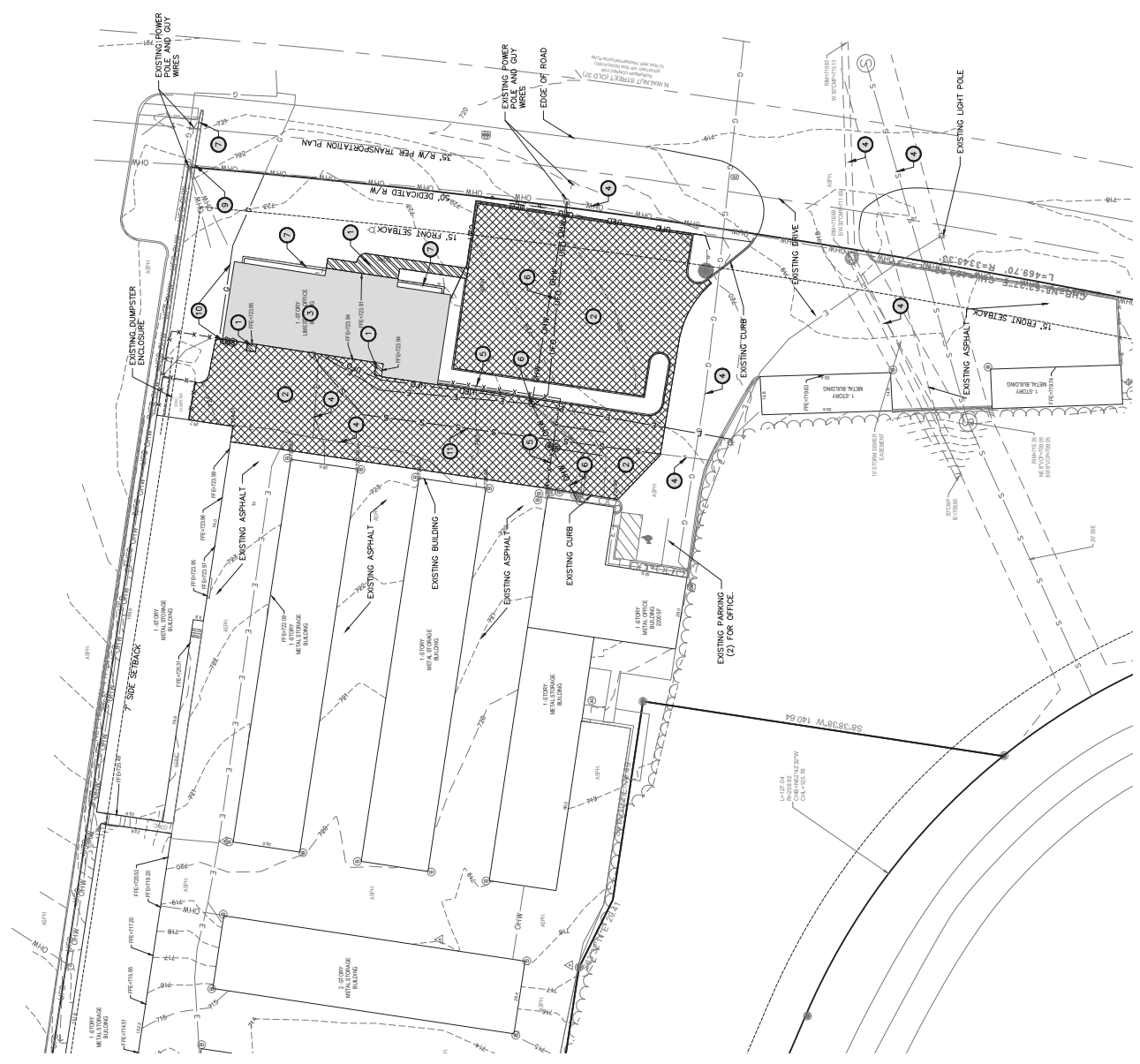
1. EXISTING UTILITIES DATA OBTAINED FROM SMITH DESIGN GROUP, INC. SURVEY DATED 08/10/21.
2. LOCATION OF EXISTING UTILITIES ARE TO BE SHOWN IN THE FIELD BY THE FIELD ENGINEER.
3. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE DEMOLISHED AND REPAVED WITH ASPHALT.
4. POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE EXISTING DRIVEWAYS AND PARKING AREAS FROM EXISTING DRIVEWAYS AND PARKING AREAS.
5. SET SMITH DESIGN GROUP, INC. STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
 - INLETS, OTHER ELEVATION

DEMOLITION KEY NOTES

1. REMOVE EXISTING CONCRETE SIDEWALK
2. REMOVE EXISTING ASPHALT PAVEMENT
3. REMOVE EXISTING ASPHALT DRIVEWAY
4. EXISTING UTILITIES SHALL REMAIN. PROTECT DURING CONSTRUCTION.
5. EXISTING UTILITIES SHALL REMAIN. PROTECT DURING CONSTRUCTION.
6. REMOVE EXISTING OVERHEAD UTILITY LINES AND SUPPORTS.
7. REMOVE EXISTING RETAINING WALL AND FOUNDATIONS
8. EXISTING LIGHT POLE SHALL REMAIN
9. APPROXIMATE LOCATION OF EXISTING WATER MAIN AND RECONSTRUCT SERVICE LINE TO EXISTING WATER MAIN.
10. EXISTING GAS LINE AND SERVICES COORDINATE WITH CITY OF BLOOMINGTON.
11. REPAIRMENT OF GAS SERVICE AND METER.
12. RECONSTRUCTION OF UTILITY PLANT.

DEMOLITION NOTES

1. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITY, CITY PLANNING TO REVIEW SCOPE OF WORK.
2. DEMOLITION OF EXISTING BUILDING SHALL BE DISCONNECTED OF PRIVATE UTILITIES WITH RESPECTIVE UTILITY SERVICE PROVIDERS.
3. REMOVAL TO BE SET UPON COMPLETION OF CONSTRUCTION.
4. DEMOLITION OF EXISTING BUILDING SHALL BE REMOVED COMPLETELY AND THE RESULTING ELEVATION BACKFILLED WITH COMPACTED GRANULAR MATERIAL IF LOCATED WITHIN THE CITY OF BLOOMINGTON.
5. DEMOLITION OF EXISTING BUILDING SHALL BE REMOVED COMPLETELY AND THE RESULTING ELEVATION BACKFILLED WITH COMPACTED GRANULAR MATERIAL IF LOCATED WITHIN THE CITY OF BLOOMINGTON.
6. BURNING OF DEMOLITION MATERIALS ON SITE IS NOT PERMITTED.
7. CLEAR EXISTING TREES AND UNDERBRUSH ON SITE.
8. PROTECT ALL UTILITIES NOT CALLED OUT TO BE REMOVED.
9. PROTECT ALL UTILITIES NOT CALLED OUT TO BE REMOVED.
10. THOSE SHOWN ON THE TOPOGRAPHIC SURVEY MAY BE UNCOVERED DURING CONSTRUCTION. ANY SUCH UTILITIES FOUND WORK WITH OWNER.
11. THE WORK SHALL BE REMOVED AND NECESSARY TO BE REMOVED TO COMPLETE.
12. IMPROVEMENTS OR DEMOLITION ON ADJACENT TO THE SITE MAY BE REQUIRED TO AVOID ADJACENT TO THE SITE. IMPROVEMENTS OR DEMOLITION ON ADJACENT TO THE SITE MAY BE REQUIRED TO AVOID ADJACENT TO THE SITE.

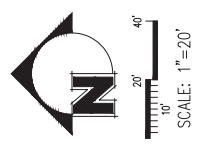


ALL AMERICAN STORAGE
2401 N. WALNUT STREET
BLOOMINGTON, IN

REVISIONS	BY	DATE

REVISIONS	BY	DATE

6617	SHEET
C101	SHEET
06/10/21	DATE
EXISTING AND DEMO PLAN	DESCRIPTION



GRADING NOTES

1. SEE SURVEY DESIGN GROUP FOR STANDARD SPECIFICATIONS FOR CONSTRUCTION
2. CONTRACTOR SHALL COORDINATE WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND PUBLIC WORKS DEPARTMENTS FOR ALL NECESSARY PERMITS AND APPROVALS
3. CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AS MUCH AS POSSIBLE TO NOT DISTURB OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR DRILLS MARK SHALL BE USED TO LOCATE UTILITIES. ANY CUTS OF THE UTILITIES SHALL BE NOTED ON THE LOCATION
4. TOP OF CURB ELEVATION SHALL BE SHOWN ON THE FOLLOWING LOCATIONS:
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - EDGE OF PAVEMENT ELEVATION
 - TOP OF CURB ELEVATION
 - LOW POINT
 - FINISH FLOOR ELEVATION
 - TOP OF RETAINING WALL
 - BOTTOM OF RETAINING WALL
 - TOP OF RAMP
 - BOTTOM OF RAMP
 - MATCH EXISTING GRADE
 - PROPOSED DIRECTION OF FLOW
5. EXISTING MAJOR CONTOUR
6. EXISTING MINOR CONTOUR
7. PROPOSED MAJOR CONTOUR
8. PROPOSED MINOR CONTOUR
9. EXISTING ELEVATION
10. PROPOSED ELEVATION
11. EDGE OF PAVEMENT ELEVATION
12. TOP OF CURB ELEVATION
13. LOW POINT
14. FINISH FLOOR ELEVATION
15. TOP OF RETAINING WALL
16. BOTTOM OF RETAINING WALL
17. TOP OF RAMP
18. BOTTOM OF RAMP
19. MATCH EXISTING GRADE
20. PROPOSED DIRECTION OF FLOW

GENERAL NOTES

1. SEE SURVEY DESIGN GROUP FOR STANDARD SPECIFICATIONS FOR CONSTRUCTION
2. CONTRACTOR SHALL COORDINATE WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND PUBLIC WORKS DEPARTMENTS FOR ALL NECESSARY PERMITS AND APPROVALS
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6. EXISTING MINOR CONTOUR
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8. PROPOSED MINOR CONTOUR
9. EXISTING ELEVATION
10. PROPOSED ELEVATION
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12. TOP OF CURB ELEVATION
13. LOW POINT
14. FINISH FLOOR ELEVATION
15. TOP OF RETAINING WALL
16. BOTTOM OF RETAINING WALL
17. TOP OF RAMP
18. BOTTOM OF RAMP
19. MATCH EXISTING GRADE
20. PROPOSED DIRECTION OF FLOW

GRADING LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
PROPOSED MINOR CONTOUR	---
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	PP XXX.XX
EDGE OF PAVEMENT ELEVATION	EP XXX.XX
TOP OF CURB ELEVATION	TC XXX.XX
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF XXX.XX
TOP OF RETAINING WALL	TW XXX.XX
BOTTOM OF RETAINING WALL	BTW XXX.XX
TOP OF RAMP	TR XXX.XX
BOTTOM OF RAMP	BR XXX.XX
MATCH EXISTING GRADE	ME
PROPOSED DIRECTION OF FLOW	---



SMITH GROUP
1812 N. Walnut Street, Bloomington, IN 47404
317.338.8338 • smithgroup.com

NOT FOR
CONSTRUCTION

XX/XX/20XX

ALL AMERICAN STORAGE
2401 N. WALNUT STREET
BLOOMINGTON, IN

REVISIONS	BY	DATE

REVISIONS	BY	DATE

6617	SHEET
C301	OF 3
06/10/20	DATE
GRADING PLAN	PROJECT



TEST SPECIES *	RATE/ACRE	PLANTING DEPTH	OPTIMUM DATES
WHEAT OR RYE	150 LBS	1 TO 1.5 IN.	9/5 TO 10/20
SPRING GRASS	100 LBS	1 IN.	3/7 TO 4/5
ANNUAL TREFOUR	40 LBS	1/4 IN.	5/7 TO 5/9 8/1 TO 9/1
GERMAN WHEAT	40 LBS	1 TO 2 IN.	5/1 TO 6/7

* FERTILIZER, PESTICIDES AND SOILS SHOULD BE USED AS A NECESSARY FACTOR, ESPECIALLY IF THE AREA TO BE SOWN IS NOT IDEALLY SUITED TO THE SPECIES CHOSEN.

** SPRING GRASS AND TREFOUR ARE NOT SUITABLE FOR SOILS WHICH ARE HEAVILY ACIDIC.

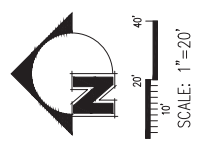
*** SPRING GRASS AND TREFOUR ARE NOT SUITABLE FOR SOILS WHICH ARE HEAVILY ALKALINE.

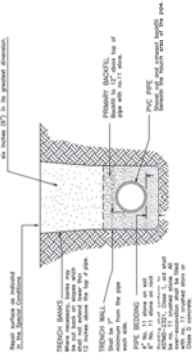
UTILITY NOTES

1. SEE SAHJ DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIRMENTS
2. MAINTAIN CLOSE CONTACT WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND CITY OF BLOOMINGTON UTILITIES FOR PRE CONSTRUCTION MEETING TO COORDINATE CONSTRUCTION SCHEDULES AND MAINTENANCE OF TRAFFIC
3. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFICATION IF FIELD ADJUSTMENTS ARE NECESSARY
4. TOP OF EXISTING MANHOLE TO BE SHOWN IN THE FOLLOWING LOCATIONS:
MANHOLE 101E/101W

WATER LINE NOTES (W)

- [illegible]





FRENCH SAFETY SYSTEMS
All French work shall be in compliance with the Code du Travail, Part 28 of the Code of Labour, and the Code de Commerce, and all other applicable laws and regulations.

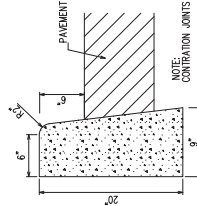
Revised 2/11/2011 G.N.
Revised 2/13/2008 T.A.

BEDDING AND BACKFILL DETAIL
FOR
PVC AND HDPE PIPE

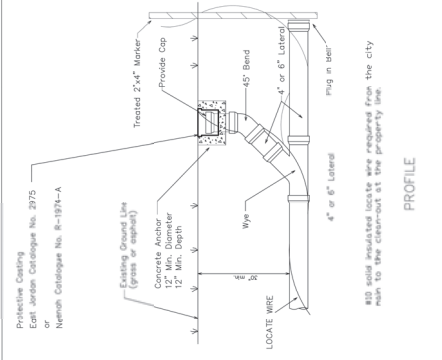
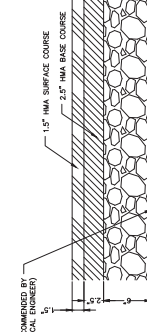
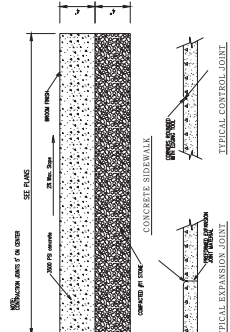
Flamingo (Various Engineering Departments)

1/11/2011

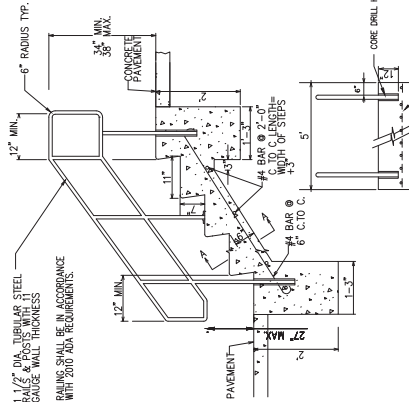
STANDARD
DETAIL
11



CONCRETE CURB DETAIL
NO SCALE

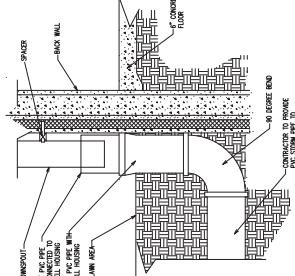


City of Birmingham Utilities Engineering Department
 400 SOLA Drive, The
 35203
 (205) 325-2500 is a subsidiary of Birmingham Waterworks Corporation
 STANDARD DETAIL NUMBER 19

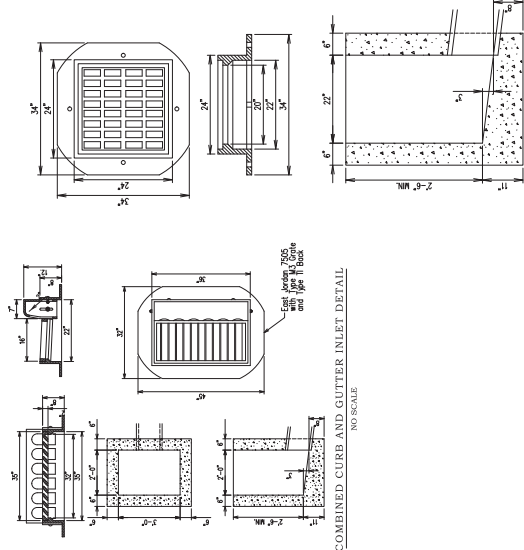


CONCRETE STAIR DETAIL

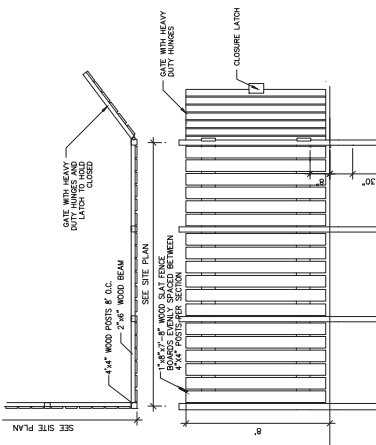
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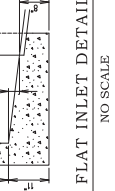
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NO SCALE



DUMPSTER SCREEN FENCE
NO SCALE



NO SCALE