

# CITY OF BLOOMINGTON



## PLAT COMMITTEE

November 10, 2025, 4:00 P.M.  
Kelly Conference Room #155  
Hybrid Zoom Link:

<https://bloomington.zoom.us/j/86714253039?pwd=SXJ2bmNwRFhLeVZSRW44TVl0T3hZUT09>

Meeting ID: 867 1425 3039

Passcode: 064896

CITY OF BLOOMINGTON  
PLAT COMMITTEE  
November 10, 2025 at 4:00 p.m.

401 N. Morton Street, City Hall  
Kelly Conference Room #155

**HYBRID MEETING:**

<https://bloomington.zoom.us/j/86714253039?pwd=SXJ2bmNwRFhLeVZSRW44TVI0T3hZUT09>

Meeting ID: 867 1425 3039

Password: 064896

PETITION MAP: <https://bton.in/G6BiA>

**ROLL CALL**

**MINUTES TO BE APPROVED:** October 6, 2025

**REPORTS, RESOLUTIONS, AND COMMUNICATIONS:**

Amendment to staff report for Case #DP-29=25/SUB2025-08-0049

**PETITIONS CONTINUED:**

**DP-12-25/ SUB2025-04-0044**

**Robert V. Shaw**

3515, 3518, 3522, and 3526 N Hackberry Street  
Parcel(s): 53-05-20-200-013.042-005, 53-05-20-200-013.043-005, 53-05-20-200-013.025-005, 53-05-20-200-013.026-005, 53-05-20-200-013.024-005, 53-05-20-200-013.023-005

Request: Secondary plat amendment of the Ridgfield Subdivision Section V Phase I. Case Manager: Jackie Scanlan

**PETITIONS:**

**DP-45-24-PLAT2024-11-0041**

**Winger Construction**

Parcel: 53-08-10-111-002.200-009

1534 S. Piazza Drive

Request: Secondary plat approval for a three-lot subdivision of 0.12 acres of Lot #201 in Renwick Phase 3 in a Planned Unit Development (PUD) zoning district.

Case Manager: Eric Greulich

\*\*Next Meeting Date: December 8, 2025

Updated: 11/7/2025

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact the **Melissa Hirtzel** at [hirtzelm@bloomington.in.gov](mailto:hirtzelm@bloomington.in.gov) and provide your name, contact information, and a link to or description of the document or web page you are having problems with

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**DP-36-25/SUB2025-10-0050**

**Darlene Meyer**

4415 E Moores Pike

Parcel: 53-08-01-300-002.000-009

Request: Secondary plat approval for a 19-lot subdivision of 5.034 acres in the Residential Medium Lot (R2) zoning district. Case Manager: Eric Greulich

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**Plat Committee Members**

- Kendall Knoke (Appointed by City Engineer) – Current term: 01/01/2025 – 01/01/2026
- Bryan Blake (Appointed by Utilities Department) – Current term: 01/01/2025-01/01/2026
- Jillian Kinzie (Appointed by Plan Commission) – Current term: 01/01/2025 – 01/01/2026

\*\*Next Meeting Date: December 8, 2025

Updated: 11/7/2025

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**BLOOMINGTON PLAT COMMITTEE**  
**STAFF REPORT (Amended November 10, 2025)**  
**Location: 1030 W. Acuff Road**

**CASE #: DP-29-25 / SUB2025-08-0049**  
**DATE: October 6, 2025**

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**PETITIONER:** Beacon Builders, LLC  
 PO Box 78483, Indianapolis, IN

**CONSULTANTS:** Bynum Fanyo & Associates, Inc.  
 528 N. Walnut Street, Bloomington, IN

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**REQUEST:** The petitioner is requesting secondary plat approval for a 31-lot subdivision of 15.80 acres for 3 common area lots and 28 residential lots in the Residential Medium Lot (R2) zoning district.

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**BACKGROUND:**

<b>Area:</b>	15.8 acre
<b>Current Zoning:</b>	Residential Medium Lot (R2)
<b>Comp Plan Designation:</b>	Neighborhood Residential
<b>Existing Land Use:</b>	Under construction
<b>Proposed Land Use:</b>	Dwelling, Single Family (detached)
<b>Surrounding Uses:</b>	North – Single family residence
	West – Interstate 69/Monroe County Jurisdiction
	East – Single family residences
	South – Office/Single family residences

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**REPORT:** The property is located on the north side of W. Acuff Road and is zoned Residential Medium Lot (R2). Surrounding land uses include agriculture/single family residence to the north, single family residences to the east and west, and office (CFC) and single family residences to the south. The site contains scattered areas of closed tree canopy coverage, as well as several sinkholes in the southwest corner of the site. There is a Duke Transmission line that runs north/south through the western portion of the property.

The Plan Commission approved the primary plat for this development under case #DP-16-25/SUB2025-04-0046. A site development permit has also been issued to allow for the installation of necessary infrastructure. The property currently is being developed for the installation of infrastructure related to this petition.

The petitioner received primary plat approval to subdivide the property to create 122 single family detached residences and 9 common area lots. This petition requests secondary plat approval for Phase 1 of the development to plat 28 residential lots and 3 common area lots.

The overall proposed subdivision would be accessed with two public street connections to Acuff Road to the south and one public street connection to Kinser Pike to the east. This phase would plat the right-of-way for Prow Road through the site as required, as well as an internal road and alleys. This proposed secondary plat is consistent with the approved phasing plan. The Transportation Plan shows an extension of Prow Road through this site and has been shown on the proposed site plan. The extension of Prow Road has been shown with a connection to the existing intersection of Prow and Acuff on the southwest end of the site and extending through the center of the site with a stub shown to the north property line. There are a total of three proposed public



street stubs provided to the north, including the extension of Prow Road, for future connectivity. All internal streets within this subdivision would be public with approximately 59% of the lots proposed to be alley accessed. There are nine common area lots shown to meet open space, tree preservation, karst preservation, and storm water detention requirements. The Plan Commission approved a phasing plan for the project to develop this site in three phases and this plat is consistent with what was approved with phase 1 of that phasing plan.

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**20.06.060(c)(3)(D) SECONDARY PLAT REVIEW:** The Plan Commission or Plat Committee shall review the secondary subdivision petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria):

**20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** All of the proposed lots meet the minimum lot area and lot width standards of the UDO. The layout of lots and roads within this phase is consistent with the phasing plan approved with the primary plat. Approval from the City of Bloomington Utilities Department is required prior to the issuance of any building permits and a Stormwater Management Permit has been issued from City of Bloomington Utilities. There are no other known prior approvals for this property.

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**PLAT REVIEW:** The proposed subdivision is following the Traditional Subdivision (TD) design standards.

**Subdivision Standards:**

**Parent tract size (minimum):** 3 acre. The overall petition size is 48.83 acres and was approved per the Traditional Subdivision design.

**Open space required:** 5% (2.4 acres required; 12.68 acres provided) This phase would set aside 8.31 acres on 3 common area lots.

**Block length:** 800 feet maximum; 987 and 1,600 feet proposed. There are two sections of road that exceed the 800' maximum block length and a waiver was granted from the Plan Commission to allow those segments. All other proposed roads meet the 800 foot allowance.

**Cul-de-sac length:** Not permitted and none proposed.

**Lots served by alleys:** The UDO requires 67% of the lots in a Traditional Subdivision to be served by an alley and the Plan Commission approved a waiver to allow 59% (72 lots) to be served by an alley.

**Transportation facilities:**

**Acuff Road:** Secondary Collector road classification with a Neighborhood Connector typology, which requires a total of 61' of right-of-way. A 7' wide concrete sidewalk and minimum 8' wide tree plot are required and were shown on the approved site development permit. The required 7' wide sidewalk and tree plot have been shown, however there is an existing 12" public water line along the north

side of Acuff Road that creates a conflict with meeting the required separation requirement for street trees from utility infrastructure and placing street trees within the right-of-way. The petitioner has shown the required street trees on the north side of the sidewalk to avoid conflict with the adjacent utilities.

**Prow Road:** Secondary Collector road classification with a Neighborhood Connector typology, which requires a total of 61' of right-of-way. The extension of Prow Road through this site will require 7' wide sidewalks with a 7' wide tree plot with street trees. The required sidewalk and tree plot have been shown.

**Internal Roads:** The proposed internal roads will be designed with a Neighborhood Residential typology and 61' of right-of-way. The Neighborhood Residential typology requires a 6' sidewalk and 5' tree plot which have been shown.

**On-street parking:** There will be on-street parking along both sides of the internal roads and along one side of the Prow Road extension. The internal streets are shown with 28' from face-of-curb to face-of-curb which follows the Transportation Plan standards for this typology and expected traffic volume. The Prow Road extension is required to be 29.5' from face-of-curb to face-of-curb and allows for on-street parking on one side.

#### **Lot Establishment Standards:**

**Lot area and lot width:** The minimum lot width in the R2 district is 60' and the minimum lot area is 7,200 square feet (0.165 acres). All of the proposed lots meet these standards.

**Lot shape:** All lots meet the UDO requirement for regular lot size and a depth-to-width ratio not to exceed four to one.

**Lot access:** All proposed lots have direct frontage on a public street as required. ~~No drive cuts on Acuff Road for the new lots are proposed or allowed.~~ **Lots #21-25 will not have drive cuts on Acuff Road. Lots #26-29 are allowed drivecuts on Acuff Road since they do not have alley access.** As mentioned previously, there will be several alleys within the development to provide access to a majority of the lots. The Plan Commission approved a waiver from the requirement that 67% of lots are accessed from an alley to only require 59% of the lots served by an alley.

#### **Open Space:**

##### **Common Area:**

**Tree Preservation:** The petitioner has shown approximately 10.2 acres of existing tree canopy coverage of the 48.83 acre property, which equals approximately 20% coverage. Based on the coverage shown, the UDO requires 80% of the 10.2 acres of existing tree canopy to be preserved, which equals 8.17 acres of required preservation. The proposed plat shows 8.26 acres of preservation and meets the UDO requirements.

**Karst Features:** There are several karst features that have been identified on the southwest portion of the property. Many of the features are located in a common area lot and have all been shown with the required karst conservancy easement. No disturbance is allowed within 25' of the last closed contour and all grading has been shown to not encroach into the required preservation areas.

**Storm Water:** A stormwater management plan has been submitted to the City of Bloomington Utilities Department for their review and was approved. Final acceptance and approval from CBU was given with a Stormwater Management permit.

**Flood Damage Mitigation:** There are no portions of this site that lie within the regulated 100-year floodplain.

### **Streets and Right-of-Way Standards:**

**Private/Public Streets:** There are no private streets shown and all streets within this development will be public.

**ROW width:** All of the new internal streets will be public streets with a Neighborhood Residential typology (except Prow Road which has a Neighborhood Connector typology) which requires 61' of dedicated right-of-way, which have been shown. Acuff road should have 61' of right of way (30.5' from centerline) and the petition meets this requirement with 37' of dedicated right-of-way shown from centerline. Kinser Pike should have 62' of right-of-way and has been shown.

**Street Design:** The internal streets will have on-street parking on both sides and based on the expected traffic volume, the Transportation Plans calls for a Neighborhood Residential with less than 500 ADT to have a width of 28' from face-of-curb to face-of-curb. This has been shown on the proposed cross section. The extension of Prow Road through the site is intended to have on-street parking on one side, and the Neighborhood Connector typology in the Transportation Plan calls for a 29.5' width from face-of-curb to face-of-curb. This cross section was shown and approved with the Primary Plat.

**Alleys:** There are several alleys that are shown within the development and these have been shown within the required 20' of right-of-way and will be built to UDO and Engineering Department standards.

**Arterial Frontages:** Although the overall property does have frontage on Kinser Pike, which is classified as a Secondary Arterial road, there are no lots along that frontage and therefore the Arterial Frontage standards do not apply.

**Street Names:** Street names and addresses have been shown on the proposed plat.

**Street Lighting:** A lighting plan was reviewed with the Site Development Permit.

**Utilities:** A utilities plan has been submitted to the City of Bloomington Utilities and was approved with the Stormwater Management permit.

**Universal Design:** The UDO requires that subdivision that contain more than 25 lots designed to accommodate single family detached or single family attached dwellings, at least 20% of the dwelling units shall incorporate at least one entrance at grade level and not requiring any steps up or down or a ramp for entry. Many of the lots are shown with finished elevations with minimal slope to the adjacent sidewalk elevations and compliance with this requirement is expected to be able to be met with final building plans.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plat Committee adopt the proposed findings and approve the secondary plat with the following conditions of approval:

1. Approved per terms and conditions of Plan Commission case #DP-29-25/SUB2025-08-0049.

**BLOOMINGTON PLAT COMMITTEE**  
**STAFF REPORT – Second hearing**  
**Location: 1534 S. Piazza Drive**

**CASE #: DP-45-24 / PLAT2024-11-0041**  
**DATE: November 10, 2025**

**PETITIONER:** Wininger Construction, Inc.  
 4801 S. Abington Avenue, Bloomington, IN

**CONSULTANTS:** Smith Design Group, Inc.  
 1467 W. Arlington Road, Bloomington, IN

**REQUEST:** An amendment to the plat of Renwick Phase 3, Section 1 to adjust the location of lot lines for Lots #201 and #200 and a three-lot subdivision of Lot #201 in a Planned Unit Development (PUD) zoning district.

**BACKGROUND:**

<b>Area:</b>	0.12 acre
<b>Current Zoning:</b>	Planned Unit Development
<b>Comp Plan Designation:</b>	Neighborhood Residential
<b>Existing Land Use:</b>	Undeveloped
<b>Proposed Land Use:</b>	Live/Work units
<b>Surrounding Uses:</b>	North – Multi family residences West – Multi family residences (Townhomes) East – Mixed Use South – Multi-family (Apartments and Townhomes)

**REPORT:** The petition site is located in the Renwick Planned Unit Development approved in 2004 (PUD-53-03). The preliminary plat for this area was approved under PUD-22-05 and a final plat for this area was approved as Phase 3, Section 2 under PUD-27-08. Final plan approval for Phase 3 of the PUD was given under PUD-38-07. The petition site of Lot 201 is 0.12 acre, but also involves an adjustment of Lot #200. This site is part of the larger 80 acre Renwick Planned Unit Development located in the southeast part of town and this location is part of the area designated as the Village Center within Phase 3 of the PUD.

The petitioner proposes to subdivide Lot #201 into three lots to accommodate live/work units that were outlined in the Planned Unit Development final plan. The petitioner received a subdivision approval (DP-05-19) for a similar request, however that plat was not recorded and has expired. This current petition is similar to the previously approved petition, however this petition only incorporates one lot rather than the two lots previously approved. The proposed lots will be zero lot line developments for one building with (3) live/work units. Live/work units are approved uses within the original PUD. The lower level of the structures will have approximately 350 square feet of life/work space, half bath to accommodate clients, and two parking spaces. The upper levels will be a 1,630 square foot, two bedroom living space. The proposed design is for garages to be located underneath the units and accessed from the rear through a private drive. No drivecuts are proposed or approved on Piazza Drive. Lot #201 does not have frontage on any public streets and no right-of-way dedication is required.

The petition also involves rotating the lot line between Lot #201 and #200 approximately 7' to the north to center it in the drainage and pedestrian easement. There is an 8' drainage and pedestrian easement that runs between the two lots that would not be altered.

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**20.06.040(d)(6)(B) General Compliance Criteria**

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- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** There were no minimum lot size requirements within the PUD for the live/work units and these buildings were identified within the PUD for this use. The layout of lots within this phase is consistent with the approved final plan approved with the Planned Unit Development. Approval from the City of Bloomington Utilities Department is required prior to the issuance of any building permits. The approval is consistent with the approved PUD final plan and the final plat approved for this phase.

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**PLAT REVIEW:** The proposed subdivision is following the design standards of the approved final plan and preliminary plat for the Renwick Planned Unit Development. There were no standards outlined in the PUD for the creation of the individual live/work units and is similar to other zero lot line units that have been created within the PUD. Common open space was established within the PUD as a whole and is not required with this subdivision. The proposed lots are accessed from a private internal street that is already platted with an access easement.

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**CONCLUSION:** This development meets requirements established by the UDO and Renwick Planned Unit Development.

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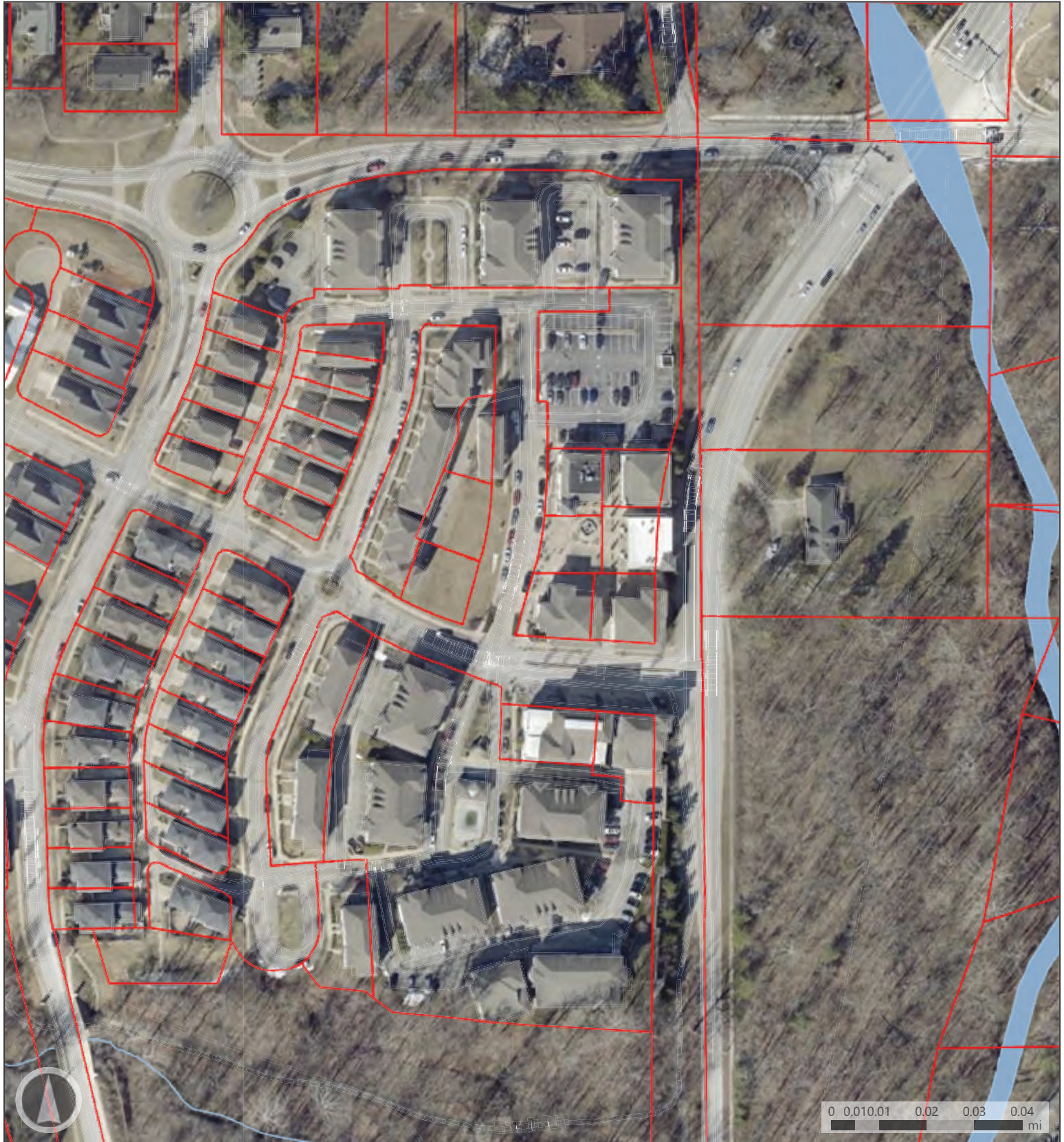
**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plat Committee adopt the proposed findings and approve the secondary plat with the following condition of approval:

1. Approved per terms and conditions of the Renwick final plan approval issued under PUD-38-07, preliminary plat approval issued under PUD-22-05, and final plat approved under PUD-27-08.



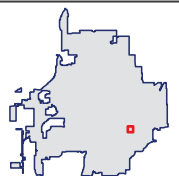






Map Legend

-  Parcels
-  Waterbodies
-  Waterlines
-  Bloomington Municipal Boundary







Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

August 15, 2025

Eric Greulich  
City of Bloomington Planning Department  
401 N. Morton Street  
Bloomington, IN. 47404

Re: Renwick Secondary Plat Phase VI

Dear Eric,

On behalf of our client, Winger Construction, Inc, we respectfully request to be placed on the October 2025 Plat Committee agenda for consideration of Secondary Plat approval for Renwick Phase VI Lot 201.

The subject property is located at the NW corner of E Cathcart Street and S Piazza Drive within the Renwick neighborhood adjacent to the Village Center.

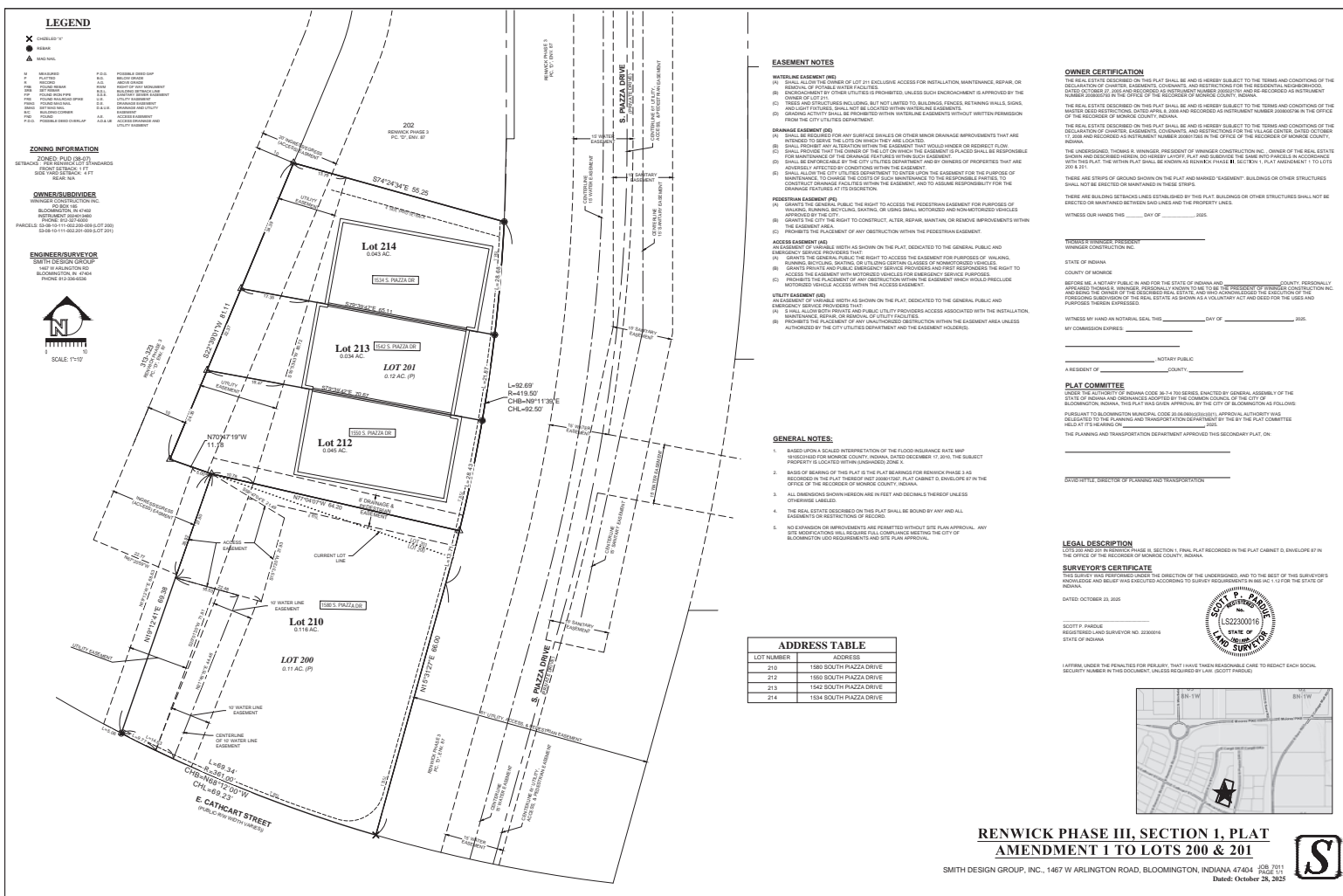
The purpose of this secondary plat is to further subdivide Lots 201 to create a total of 3 zero lot line live/work units. The new lots would consist of Lot 212-214. No substantial deviations have been made from the Phase III Final Plan and Preliminary plat approved in Fall of 2007.

Included with the submission are documents necessary for review of this petition. Should you have any questions concerning our application, please contact me.

Sincerely,

Katherine E. Stein, PE  
Vice President  
Smith Design Group, Inc.  
kstein@smithdginc.com





LUXURY TOWNHOMES FOR WININGER STOLBERG AT

# RENWICK VILLAGE

(NORTH BUILDING)

SOUTH PIAZZA DRIVE AND CATHCART STREET  
BLOOMINGTON, INDIANA 47401

## DRAWING INDEX

### GENERAL

GC001 GENERAL PLAN INFORMATION

### STRUCTURAL

SB101 FOUNDATION PLAN - 3 UNIT  
SB501 STRUCTURAL DETAILS  
SF111 SECOND FLOOR FRAMING PLAN - 3 UNIT  
SF112 THIRD FLOOR FRAMING PLAN - 3 UNIT

### ARCHITECTURAL

AE001 ARCHITECTURAL SYMBOLS & ABBREVIATIONS  
AE002 LOWER LEVEL FLOOR PLAN - 3 UNIT  
AE003 MAIN LEVEL FLOOR PLAN - 3 UNIT  
AE004 UPPER LEVEL FLOOR PLAN - 3 UNIT  
AE005 ROOF PLAN - 3 UNIT  
AE006 NORTH ELEVATION - 3 UNIT  
AE007 SOUTH ELEVATION - 3 UNIT  
AE008 EAST AND WEST ELEVATIONS  
AE009 BUILDING SECTION  
AE010 BUILDING SECTIONS AND DETAILS  
AE011 BUILDING DETAILS  
AE012 ENLARGED FLOOR PLANS  
AE013 ENLARGED FLOOR PLANS  
AE014 EIFS DETAILS  
AE015 EIFS DETAILS  
AE016 ASPHALT SHINGLE DETAILS

### CODE SUMMARY :

- BUILDING REQUIREMENTS**
- Building Use Type: Townhouses
  - Construction Type: III-B
  - Floor Construction Including Beams: C Rating
  - Interpenetrated Slope Alarm System provided within each townhouse
  - Unit Separations: (2) - The rated walls between each unit
  - Structurally independent framing provided
  - Occupant Load (200 Sq. Ft. per person)
  - Fire-Resisting (R-20) Ceilings
  - 2-1/2" Thick Concrete
  - Unit A: 11
  - Unit B: 11
  - Unit C: 11
  - Unit D: 11
  - 3-UNIT Building Total Occupancy: 33
  - 3-UNIT Building Total Area: 7,722 SF

### 2005 INDIANA RESIDENTIAL CODE (IRC) (2003 & 2006 EDITION)

Unit A: First Floor	850 SF
Unit A: Second Floor	850 SF
Unit A: Third Floor	850 SF
Total Unit	2,550 SF
Unit B: First Floor	850 SF
Unit B: Second Floor	850 SF
Unit B: Third Floor	850 SF
Total Unit	2,550 SF
Unit C: First Floor	850 SF
Unit C: Second Floor	850 SF
Unit C: Third Floor	850 SF
Total Unit	2,550 SF
Total Building Occupancy	33
Total Building Area	7,722 SF

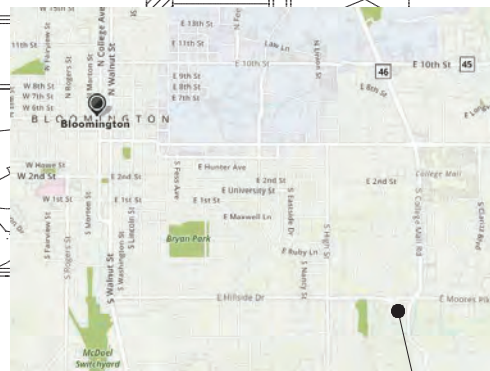
Total Building Height: 3 Story

(3) Story Townhouses

**PROJECT SUMMARY:**  
THESE UNITS ARE CONSTRUCTED AS TOWNHOMES PER PART 12 OF THE RESIDENTIAL CODE (IRC).  
THIS PROJECT CONSISTS OF THREE NEW 3 STORY TOWNHOMES CONSTRUCTED AS A CLASS A STRUCTURE UNDER THE RESIDENTIAL CODE.

(Construction Completion: Not required)

APRIL 2019  
CONSTRUCTION DOCUMENTS



PROJECT LOCATION

RENEWICK VILLAGE

ARCHITECT:  
LABOR  
BRUCE  
ARCHITECTURE & DESIGN INC.  
1000 N. ALABAMA STREET, SUITE 100  
BLOOMINGTON, IN 47403-1000  
TEL: 317.326.0000 FAX: 317.326.0001  
WWW.LABORBRUCE.COM

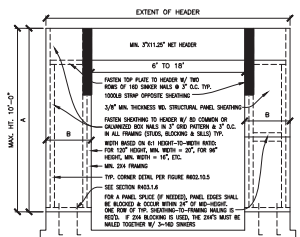
 <p><b>TABOR BRUCE</b> ARCHITECTURE &amp; DESIGN INC. 10015 VALLEY STREET • BLOOMINGTON, IN 47401 TEL: (317) 346-1234 FAX: (317) 346-1235 WEB: WWW.TABORBRUCE.COM</p>		 <p>REVISIONS</p>	
<p>LUXURY HOMES FOR:</p> <p><b>WININGER STOLBERG</b></p> <p><b>at RENWICK VILLAGE</b></p> <p>(NORTH BUILDING)</p> <p>SOUTH PLAZA DR. AND CATHCART ST. BLOOMINGTON, INDIANA 47404</p>		<p>PROJECT NO. 0010</p> <p>DATE: MAY, JUL, 2010</p> <p>DRAWN BY: <input checked="" type="checkbox"/> DBRUC</p> <p>CHECKED BY:</p> <p>SHEET NAME</p> <p>GENERAL PLAN INFORMATION</p> <p>SHEET NO.</p>	
<p><b>GC001</b></p>			



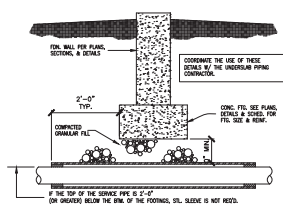
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PROJECT NO.	1510
DATE	XXX, XX, 2010
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	
FOUNDATION FLOOR PLAN 3-UNIT	

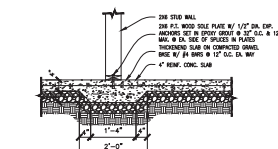
SB101



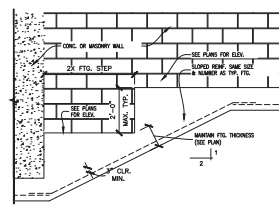
**R TYP. GARAGE DOOR PANEL BRACING**  
NOT TO SCALE



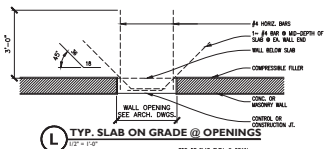
**Q TYP. PIPE UNDER CONC. WALL FTG.**  
NOT TO SCALE



**P TYPICAL THICKENED CONC. SLAB**  
NOT TO SCALE



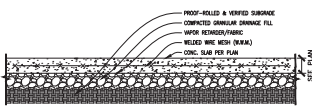
**M TYP. STEPPED CONC. WALL FTG.**  
NOT TO SCALE



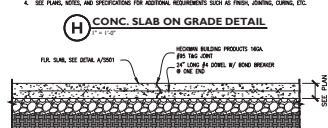
**L TYP. SLAB ON GRADE @ OPENINGS**  
NOT TO SCALE



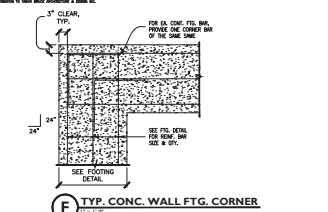
**K TYP. FLOOR DRAIN**  
NOT TO SCALE



**H CONC. SLAB ON GRADE DETAIL**  
NOT TO SCALE



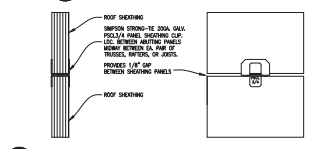
**G CONC. SLAB TO SLAB CONTROL/CONTRACTION JOINT**  
NOT TO SCALE



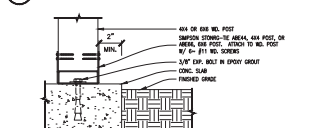
**F TYP. CONC. WALL FTG. CORNER**  
NOT TO SCALE



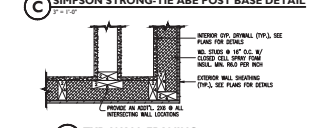
**E TYP. CONC. WALL FTG. CONTROL JT.**  
NOT TO SCALE



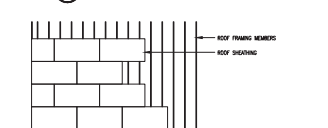
**D SIMPSON STRONG-TIE PSCL SHEATHING CLIP**  
NOT TO SCALE



**C SIMPSON STRONG-TIE ABE POST BASE DETAIL**  
NOT TO SCALE



**B TYP. WALL FRAMING**  
NOT TO SCALE



**A ROOF SHEATHING LAYOUT**  
NOT TO SCALE

**TABOR BRUCE**  
ARCHITECTURE & DESIGN INC.  
1000 N. ALBANY ST. SUITE 100  
BLOOMINGTON, IN 47404  
TEL: 317.326.1234 FAX: 317.326.1235 WWW.TABORBRUCE.COM

**WININGER STOLBERG**  
at RENWICK VILLAGE  
[NORTH BUILDING]  
SOUTH PLAZA DE AND CATHART ST.  
BLOOMINGTON, INDIANA 47404

**SB501**

PROJECT NO. 1018  
DATE: 08/01/2010  
DRAWN BY: J. TALAMAN  
CHECKED BY: J. BRUCE  
SHEET NO. 1  
SHEET TOTAL: 1



SHEET NO.

SF111



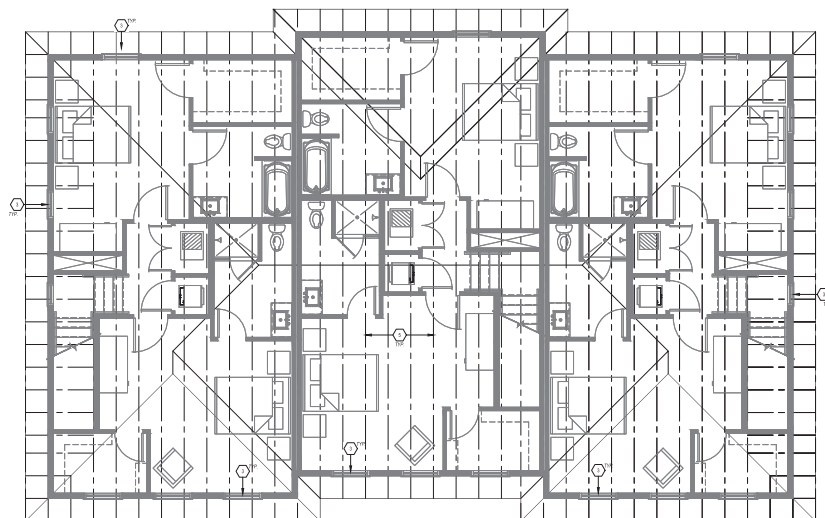


SHEET NO.

SF112



ROOF LOADING NOTES:	
ROOF TRUSS LOADING	40 psf TOTAL LOADS
TOP CHORD LIVE LOAD	= 20 psf.
TOP CHORD DEAD LOAD	= 10 psf.
BOTTOM CHORD DEAD LOAD	= 10 psf.
PROVIDE LATERAL BRACING AS REQ'D BY TRUSS MFG.	



**1 ROOF FRAMING PLAN**  
1/4" = 1'-0"

[illegible][illegible]

- 1 PRE-ENGINEERED OPEN WOOD FLOOR TRUSSES BY LOCAL TRUSS MANUFACTURER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE OPENINGS FOR DUCTS & UTIL. VENTIL. CHANGES PER PLANS.
- 2 60 PSI. WGL PORCH COC. PROVIDE SIMPSON STRONGTIE AKRMS POST BASE @ EA. LOG.
- 3 PROVIDE 3 1/2" X 9 1/2" KINKALIN/BEAMER @ ALL WORK LOG.
- 4 CL. P.C. W/2.5% BEAM. METAL PORCH COC. @ ROOF TO SECURE FIRST BEAM.
- 5 PRE-ENGINEERED ROOF TRUSSES BY TRUSS SUPPLIER.
- 6 PROVIDE SOLID WOOD BLOOMING AT CENTER SPAN OF FLOOR JOIST RAILING

ROOF TRUSS LOADING	40 psf TOTAL LOADS
TOP CHORD LIVE LOAD	= 28 psf
TOP CHORD DEAD LOAD	= 12 psf
BOTTOM CHORD DEAD LOAD	= 18 psf

1. 240X75 ASPHALT/FIBERGLASS SHINGLES, FASTENED W/ ONLY ROOFING NAILS AS PER SHINGLE SPEC. NO STAPLES
2. 15# ROOFING FELT LAPPED AS PER MFG. SPEC'S.
3. APPLY WATER & ICE SHIELD MEMBRANE ALONG PERIMETER OF ALL ROOF EDGES.
4. 5/8" OSB OR CDX PLYWOOD ROOF DECKING W/ JOISTS @ ALL SPANNING BUTT JOINTS @ HIGHPOINTS BETWEEN ROOF FRAMING SUPPORTS.



REVISIONS

LUXURY TOWNHOMES FOR:  
**WININGER STOLBERG**  
**at RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHART ST.  
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX, XX, 2018
DRAWN BY	D. TALSMAN
CHECKED BY	D. BRUCE

ROOF  
FRAMING PLAN

SHEET NO.

SF113

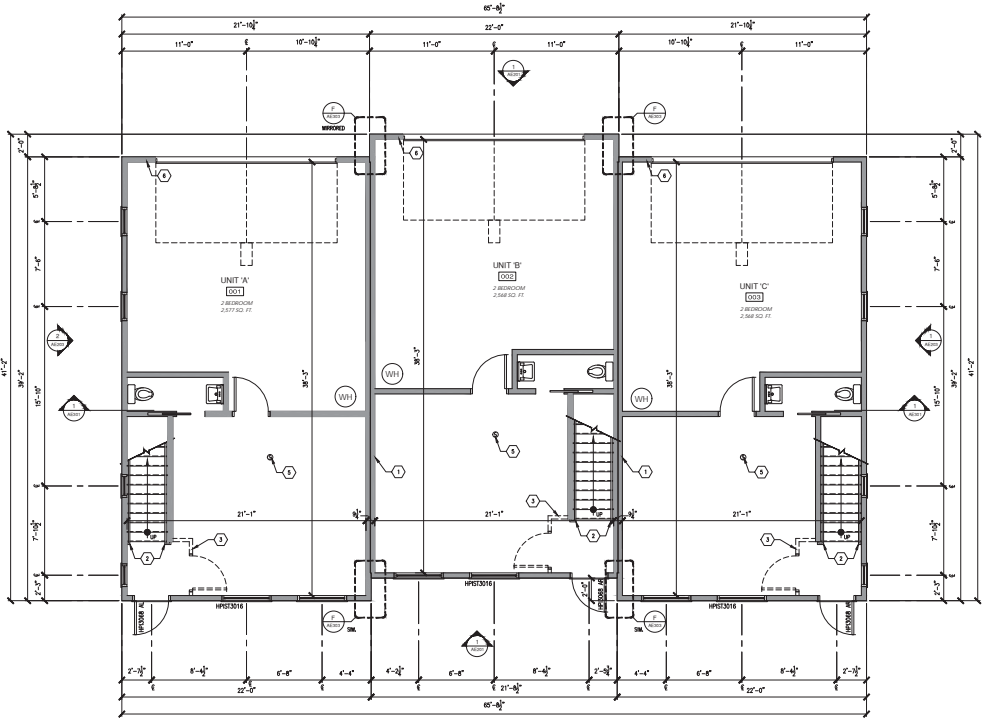


ARCHITECTURAL ASSOCIATIONS					
A-1	BE	FLR	FLOOR	FRM	FRONTIER
A-2	BE	FLR	FLOOR	FRM	FRONTIER
A-3	BE	FLR	FLOOR	FRM	FRONTIER
A-4	BE	FLR	FLOOR	FRM	FRONTIER
A-5	BE	FLR	FLOOR	FRM	FRONTIER
A-6	BE	FLR	FLOOR	FRM	FRONTIER
A-7	BE	FLR	FLOOR	FRM	FRONTIER
A-8	BE	FLR	FLOOR	FRM	FRONTIER
A-9	BE	FLR	FLOOR	FRM	FRONTIER
A-10	BE	FLR	FLOOR	FRM	FRONTIER
A-11	BE	FLR	FLOOR	FRM	FRONTIER
A-12	BE	FLR	FLOOR	FRM	FRONTIER
A-13	BE	FLR	FLOOR	FRM	FRONTIER
A-14	BE	FLR	FLOOR	FRM	FRONTIER
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A-99	BE	FLR	FLOOR	FRM	FRONTIER
A-100	BE	FLR	FLOOR	FRM	FRONTIER

<p>SECTION INDICATOR REFERENCE SECTION LOCUS THROUGH DRAWING AREA FOR SECTION INFORMATION.</p>			<p>RENAME INDICATOR REFERENCE SECTION RENOTE LOCUS FOR ADDITIONAL INFORMATION.</p>		
<p>SECTION INDICATOR REFERENCE DETAIL LOCATION FOR ADDITIONAL INFORMATION.</p>			<p>DRAWING BLOCK TYPE INDICATOR REFERENCE DRAWING BLOCK LOCUS FOR ADDITIONAL INFORMATION.</p>		
<p>ELEVATION INDICATOR REFERENCE ELEVATION LOCATION FOR ADDITIONAL INFORMATION.</p>			<p>SPACE INDICATOR</p>		
<p>WALL TYPE INDICATOR REFERENCE SHEET BLOCK LOCATION FOR ADDITIONAL INFORMATION.</p>			<p>REVISION INDICATOR REFERENCE TITLE BLOCK LOCATION FOR ADDITIONAL INFORMATION.</p>		
<p>DOOR INDICATOR REFERENCE BUILDING PLANS FOR ADDITIONAL INFORMATION.</p>			<p>DOOR INDICATOR REFERENCE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.</p>		
<p>WALL TYPE INDICATOR REFERENCE RATED ASSEMBLES SHEET FOR ADDITIONAL INFORMATION.</p>			<p>WINDOR INDICATOR REFERENCE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.</p>		
<p>FINISH INDICATOR REFERENCE FINISH PLANS FOR ADDITIONAL INFORMATION.</p>			<p>FINISH INDICATOR REFERENCE FINISH PLANS FOR ADDITIONAL INFORMATION.</p>		

[illegible]

THIS PLAN AND SPECIFICATIONS ARE SUBJECT TO CHANGES WITHOUT NOTICE. ANY CHANGES SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.



1 FIRST FLOOR PLAN  
1/8" = 1'-0"

**FLOOR PLAN KEYNOTES:**

- UNIT SEPARATION WALL TO BE 2x12 - 1 HOUR RATED FIRE WALL - STRUCTURALLY INTERDEPENDENT CONSTRUCTION CONTIGUOUS FROM CEILING LEVEL TO FLOOR SLAB.
- PROVIDE A MINIMUM 1 1/2" RADIUS ROUNDOFF TO ONE SIDE OF STAIRS MINIMUM 36" MINIMUM RADIUS ROUNDOFF (TYPICAL IN ALL CORNERS).
- ALTERNATE OPTION OF ENTRY DOOR IN WOOD STAIR WALL CONSTRUCTION FROM FLOOR TO CEILING SLAB. LEAVE TOP OF FLOOR SLAB 2'-0" x 4'-0" WOOD JOIST IN PLACE. INDEPENDENT TO WHICH REST OF UNIT.
- WATER ELEVATION CORING BETWEEN GARAGE AND OFFICE. PROVIDE STAIRS WITH A MINIMUM RADIUS ROUNDOFF OF 7'-0" AND MINIMUM HEAD CLEARANCE OF 10'-0" WITH 1" RADIUS.
- PROVIDE AND INSTALL INTERLOCKED INTERCONNECTED SMOKE DETECTOR, ONE PER FLOOR, AND ONE PER GARAGE, AND ONE PER OFFICE.
- SEE DETAIL 5/12/20 FOR STRUCTURAL SUPPORT REQUIRED AT GARAGE DOOR OPENING.
- DROP DOWN ALLEY BALCONY. PROVIDE RUBBER PLAYING AS NEEDED AROUND PARKING AND BALCONY CONNECTION.

**GENERAL FLOOR PLAN NOTES:**

- DO NOT SCALE DIMENSIONS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE ROOM. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS OR REPORTS ANY AND ALL CONFLICTING NOTICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERIOR DIMENSIONS ARE GIVEN UNLESS NOTED TO STUD & DO NOT INCLUDE WALL FINISHES.
- ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CONCRETE FABRICATION.
- ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING FINISH & TYPE.
- CHECK ALL JOINTS BETWEEN DIFFERENT MATERIALS TO OFFER AN ROUNDED & BOUNDED.
- ALL INTERIOR WALLS 8" OF 8" DOOR REQUIREMENTS OF WALL PANELS & WOODS. MINIMUM JOINT IS LESS THAN 1/8" ABOVE FLOOR OR WOODS SURFACE SHALL HAVE TYPICAL JOINTS.
- ANY OPTIONAL NOTES, R/1 SHALL LESS THAN 1/8" ANY. FIN. FIN. SHALL BE EQUIPPED R/1 A OPENING CONTROL DEVICE PER 1013.6.1.
- IF NO WINDOW OVERLOOKS OR VIEWING, CONTRACTOR/OWNER SHALL PROVIDE A WALL OF 1" CODE COMPLIANT GLASS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR WINDING MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.

**REVISIONS**

NO.	DESCRIPTION	DATE

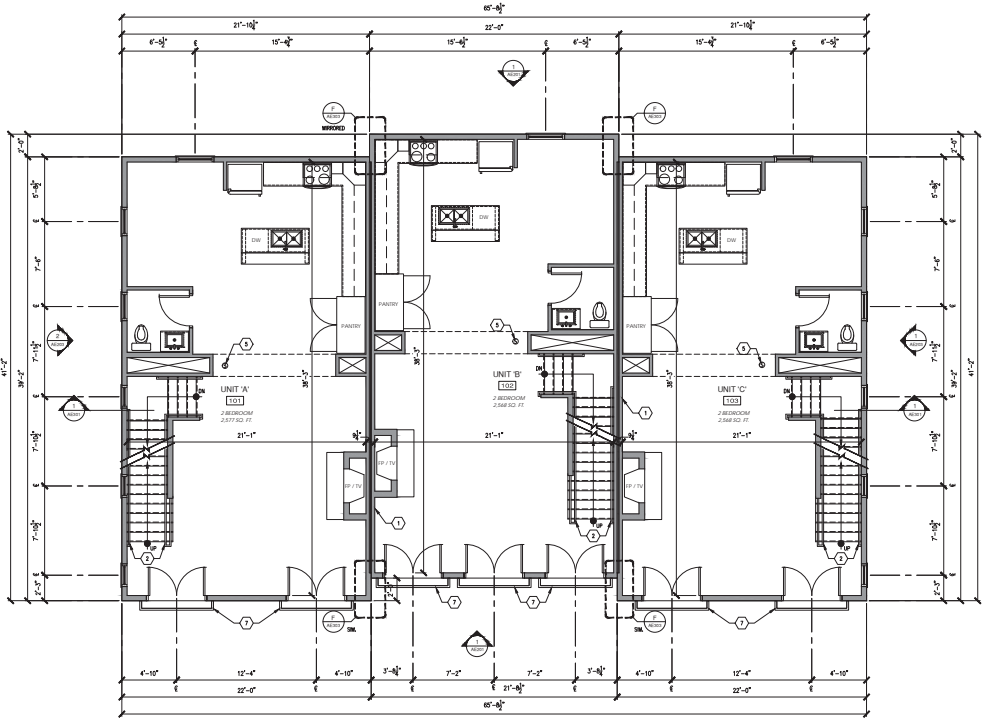
**PROJECT INFO**

PROJECT NO.	1010
DATE	09/10/2018
DRAWN BY	A. LARSEN
CHECKED BY	D. BUCK
SHEET NAME	FIRST FLOOR PLAN
SHEET NO.	AE101

**TABOR TRUCE ARCHITECTURE & DESIGN INC.**  
1010 SOUTH MAIN STREET, SUITE 100  
BLOOMINGTON, INDIANA 47404  
TEL: 317.333.3333 FAX: 317.333.3334  
WWW.TABORTRUCE.COM

**WININGER STOLBERG at RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHACART ST.  
BLOOMINGTON, INDIANA 47404

THIS PLAN AND SPECIFICATIONS ARE SUBJECT TO DIFFERENT PRECEDENCE OR "SENIORITY" ORDERING. THE ORDER OF PRECEDENCE SHALL BE: 1. SPECIFICATIONS, 2. NOTES, 3. SCHEDULES, 4. DIMENSIONS, 5. FINISHES, 6. MATERIALS, 7. EQUIPMENT, 8. MECHANICAL, 9. ELECTRICAL, 10. PLUMBING, 11. STRUCTURAL, 12. ARCHITECTURAL. THE ORDER OF PRECEDENCE SHALL BE: 1. SPECIFICATIONS, 2. NOTES, 3. SCHEDULES, 4. DIMENSIONS, 5. FINISHES, 6. MATERIALS, 7. EQUIPMENT, 8. MECHANICAL, 9. ELECTRICAL, 10. PLUMBING, 11. STRUCTURAL, 12. ARCHITECTURAL.



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

- FLOOR PLAN KEYNOTES:**
- 1 UNIT SEPARATION WALL TO BE 2x12 - 8 HOUR RATED FIRE WALL - STRUCTURALLY INTERDEPENDENT CONSTRUCTION CONTIGUOUS FROM GROUND LEVEL TO ROOF DECK.
  - 2 PROVIDE A MINIMUM 1 1/2" RATED FIRE WALL CONSTRUCTION FROM FLOOR TO CEILING. MINIMUM 1 1/2" RATED FIRE WALL CONSTRUCTION FROM FLOOR TO CEILING. MINIMUM 1 1/2" RATED FIRE WALL CONSTRUCTION FROM FLOOR TO CEILING. MINIMUM 1 1/2" RATED FIRE WALL CONSTRUCTION FROM FLOOR TO CEILING.
  - 3 ALTERNATE OPTION OF ENTRY DOOR IN WOOD STILE WALL CONSTRUCTION FROM FLOOR TO CEILING. MINIMUM 1 1/2" RATED FIRE WALL CONSTRUCTION FROM FLOOR TO CEILING. MINIMUM 1 1/2" RATED FIRE WALL CONSTRUCTION FROM FLOOR TO CEILING.
  - 4 MINIMUM ELEVATION CHANGING BETWEEN GARAGE AND OFFICE. PROVIDE STAIRS WITH A MINIMUM RISE OF 7.5" AND MINIMUM TREAD DEPTH OF 10" WITH 1" RISE.
  - 5 PROVIDE AND INSTALL INTERCONNECTED SMOKE DETECTOR, ONE PER FLOOR, AND ONE PER SINGLE UNIT.
  - 6 SEE DETAIL 5/12/20 FOR STRUCTURAL SUPPORT REQUIRED AT GARAGE DOOR OPENING.
  - 7 DROP DOWN ALLEY BALCONY. PROVIDE RUBBER PLATING AS NEEDED AROUND PAVING AND BALCONY CONNECTION.

- GENERAL FLOOR PLAN NOTES:**
- 1. DO NOT SCALE DIMENSIONS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONSTRUCTION FAILS TO VERIFY DIMENSIONS OR REPORTS ANY AND ALL CONSTRUCTION NOTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - 2. ALL MEASURE DIMENSIONS ARE GIVEN TO THE CENTER OF THE WALL UNLESS NOTED OTHERWISE.
  - 3. FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CONCRETE FABRICATION.
  - 4. ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING FINISH & COLOR.
  - 5. CHECK ALL JOINTS BETWEEN DIFFERENT MATERIALS TO OUPDOWN BOARD & BRACING.
  - 6. ALL MEASURE DIMENSIONS SHALL BE GIVEN TO THE CENTER OF THE WALL UNLESS NOTED OTHERWISE.
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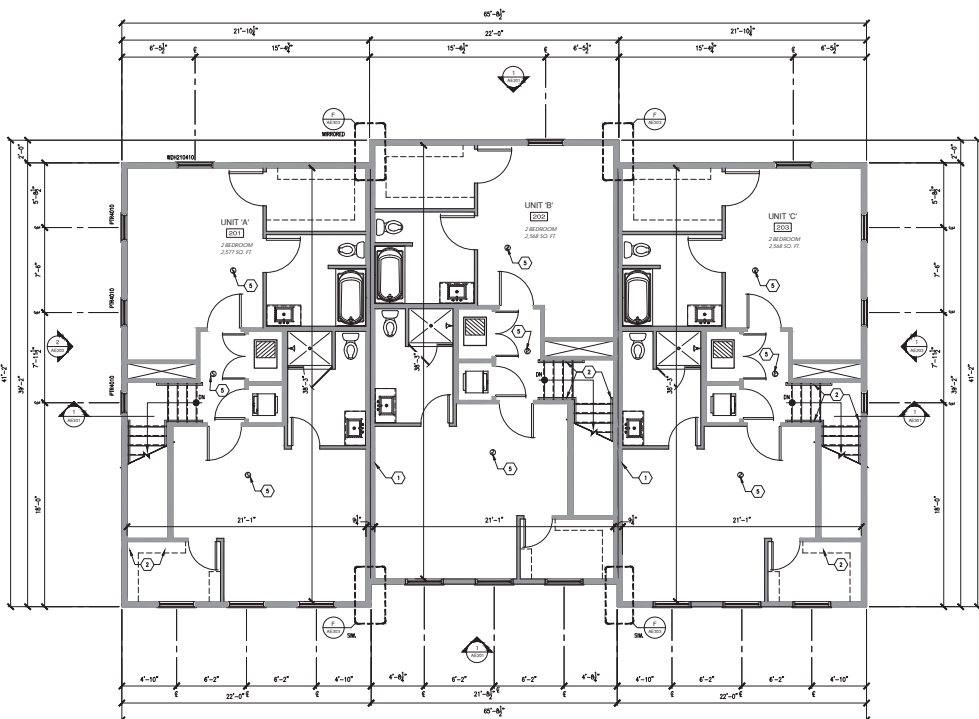
REVISIONS

**WININGER STOLBERG**  
**at RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHART ST.  
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1010  
DATE: 09.01.2018  
DRAWN BY: A. LARSEN  
CHECKED BY: D. BUCK  
SHEET NAME:

SECOND FLOOR PLAN  
PROJECT NO. AE102

THIS PLAN AND SPECIFICATIONS ARE SUBJECT TO DIFFERENT PROVISIONS AS TO TECHNICAL, DESIGN, CONSTRUCTION, AND OTHER AS TO THE CONTRACTOR'S USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND OTHER AS TO THE CONTRACTOR'S USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND OTHER AS TO THE CONTRACTOR'S USE.



1 THIRD FLOOR PLAN  
1/8" = 1'-0"

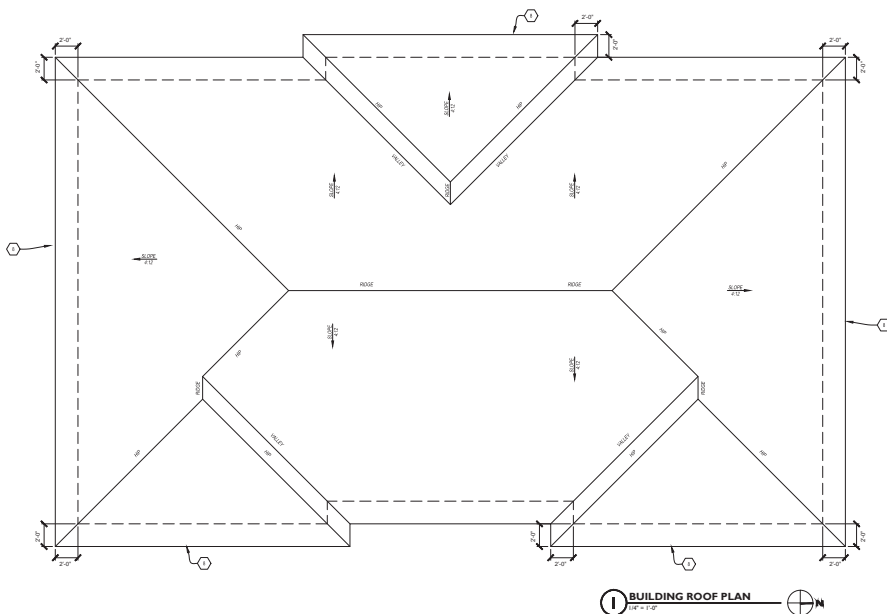
- FLOOR PLAN KEYNOTES:
- 1 UNIT SEPARATION WALL TO BE 2x12 - 1 HOUR RATED FIRE WALL - STRUCTURALLY INTERDEPENDENT CONSTRUCTION CONTIGUOUS FROM GROUND LEVEL TO ROOF DECK.
  - 2 PROVIDE A MINIMUM 1 1/2" R/W ROOF DRAINAGE TO ONE SIDE OF STAIRS MINIMUM 30" MINIMUM DRAINAGE (TYPICAL IN ALL UNITS).
  - 3 ALTERNATE OPTION OF ENTRY DOOR IN WOOD STAIR WALL CONSTRUCTION FROM FLOOR TO CEILING MINIMUM 1 1/2" R/W 2x12 - 1 HOUR RATED FIRE WALL CONTIGUOUS FROM FLOOR TO CEILING MINIMUM 30" MINIMUM DRAINAGE (TYPICAL IN ALL UNITS).
  - 4 MINIMUM ELEVATION CHANGING BETWEEN GARAGE AND OFFICE. PROVIDE STAIRS WITH A MINIMUM RISE OF 7.5" AND MINIMUM TREAD DEPTH OF 10" WITH 1" R/W.
  - 5 PROVIDE AND INSTALL INTERCONNECTED SMOKE DETECTOR, ONE PER FLOOR, AND ONE PER GARAGE, AND ONE PER OFFICE.
  - 6 SEE DETAIL 5/16/20 FOR STRUCTURAL SUPPORT REQUIRED AT GARAGE DOOR OPENING.
  - 7 DROP DOWN JACKET BALCONY. PROVIDE RUBBER FLOORING AS NEEDED AROUND JACKETING AND BALCONY CONNECTION.

- GENERAL FLOOR PLAN NOTES:
- 1 DO NOT SCALE DIMENSIONS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE ROOM. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS OR REPORTS ANY AND ALL CONSTRUCTION NOTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - 2 ALL WINDOW DIMENSIONS ARE SHOWN TO STUD & DO NOT INCLUDE WALL FINISHES.
  - 3 ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
  - 4 FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CONCRETE FABRICATION.
  - 5 ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING FINISH & TYPE.
  - 6 CHECK ALL JOINTS BETWEEN DIFFERENT MATERIALS TO OCCUR ON BOARD & WINDOW.
  - 7 ALL WINDOW OPENING 24" OF ROOF DOOR REQUIREMENTS OF WALL PANELS IN HOUSE BATHROOM SHALL BE LESS THAN 18" ABOVE FLOOR OR BALCONY SURFACE SHALL HAVE TYPICAL SILLING.
  - 8 ANY OPTIONAL WINDOW, W/ OR SILL LESS THAN 24" ANY FIN. FLOOR SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.6.1.
  - 9 IF NO WINDOW OVERHEAD OR FINISHES, CONTRACTOR/OWNER SHALL PROVIDE A WALL OF 1" CODE COMPLIANT GLASS WINDOW IN EVERY SLEEPING ROOM.
  - 10 SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.

REVISIONS


WININGER STOLBERG  
at RENWICK VILLAGE  
(NORTH BUILDING)  
SOUTH PLAZA DE AND CATHART ST.  
BLOOMINGTON, INDIANA 47404










PROJECT NO. 1010  
DATE: 09.01.2018  
DRAWN BY: A. LARSEN  
CHECKED BY: D. BULL  
SHEET NAME: THIRD FLOOR PLAN  
SHEET NO. AE103



GENERAL ROOF PLAN NOTES

- [illegible]

## ROOF PLAN KEYNOTES

- |   |  |
|---|--|
|  | <p>2" MIN ASPHALT/FLUTE ROOF SYSTEM OVER THE LAYER OF 3" ASPHALT/FLUTE 2" MIN OVER MIN REINFORCEMENT (E.G. ALL UNITS, VALLES, AVALANCHES, STAIRS) &amp; COLOR SHALL BE SELECTED FROM FINISHING COLOR palette BY OWNER.</p> |
|  | <p>1" TYPICAL FISHING-BARRIER 300MM-ALL OUTGUTS @ ALL ROOF EDGES AND STAIRS, 1" MIN OUTGUTS, 1" MIN OUTGUTS @ ALL ROOF CORNERS PROPERLY SUPPORTED IN SPLASH-POOLS OR DIRECTLY TO THE BOTTOM GRADE STORM DRAIN SYSTEM.</p>  |
|  | <p>2" MIN W/FL FISHING-BARRIER.</p>  |
|  | <p>PROVIDE CONT. 2" MIN 2" ROOF EDGES.</p>   |
|  | <p>PROVIDE FISHING-BARRIER ALL ROOF EDGES @ ENTIRE ROOF PERIMETER.</p>   |
|  | <p>PROVIDE MFL, FLASHING @ ALL ROOF VALLES.</p>  |
|  | <p>PROVIDE ROOF AND WALL FLASHING ALL REQUIRED.</p>  |
|  | <p>1" TYPICAL FISHING-BARRIER 300MM-ALL OUTGUTS @ ALL ROOF EDGES AND STAIRS, 1" MIN OUTGUTS, 1" MIN OUTGUTS @ ALL ROOF CORNERS PROPERLY SUPPORTED IN SPLASH-POOLS OR DIRECTLY TO THE BOTTOM GRADE STORM DRAIN SYSTEM.</p>  |
|  | <p>1" TYPICAL FISHING-BARRIER 300MM-ALL OUTGUTS @ ALL ROOF EDGES AND STAIRS, 1" MIN OUTGUTS, 1" MIN OUTGUTS @ ALL ROOF CORNERS PROPERLY SUPPORTED IN SPLASH-POOLS OR DIRECTLY TO THE BOTTOM GRADE STORM DRAIN SYSTEM.</p>  |

## TYPICAL ROOF ASSEMBLY

1. 200# TAR ASPHALT FIBERGLASS SHINGLES, EXTENDED W/ ONLY ACROING NAILS AS PER SHINGLE SPEC. NO STRIPS
2. 30# ROOFING FELT LAPPED AS PER MFGS. SPECS.
3. WATER & ICE SHIELD MEMBRANE.
4. 5/8" OSB OR CDX PLYWOOD ROOF DECKING W/ NAILS @ ALL SPANNING BUT JOINTS @ JOINTS BETWEEN ROOF FRAMING SUPPORTS.



DATE

AE201



**TABOR  
BRUCE**  
ARCHITECTURE & DESIGN INC.  
11015 WALNUT STREET • BLOOMINGTON, IN 47401  
TELEPHONE (812) 332-6258 WEB: [WWW.TABORBRUCE.COM](http://WWW.TABORBRUCE.COM)

REVIEWS

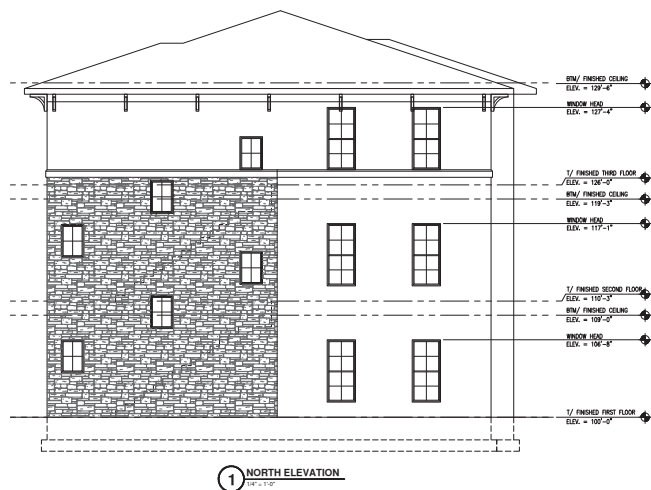
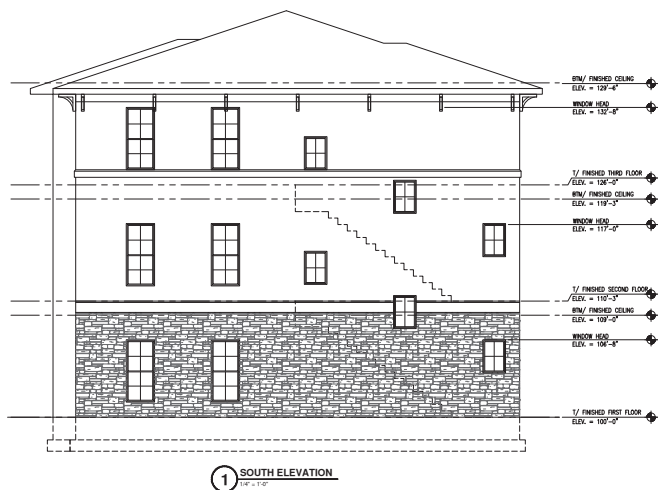
LUXURY TOWNHOMES FOR:  
**WININGER STOLBERG**  
**at RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHCART ST.  
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX XX, 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. ROUCE

WEST  
ELEVATION

SHEET NO.

AE202



REVISIONS

LUXURY TOWNHOMES FOR:  
**WININGER STOLBERG**  
**at RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHCART ST.  
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1514
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DATE	XXXX, XX, 2018
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DATE	11/11/2011
CHECKED BY	A. LAMBERT

DEET NAME

BUILDING  
ELEVATIONS

## ELEVATIONS

Sheet No.

15000

AF-2013

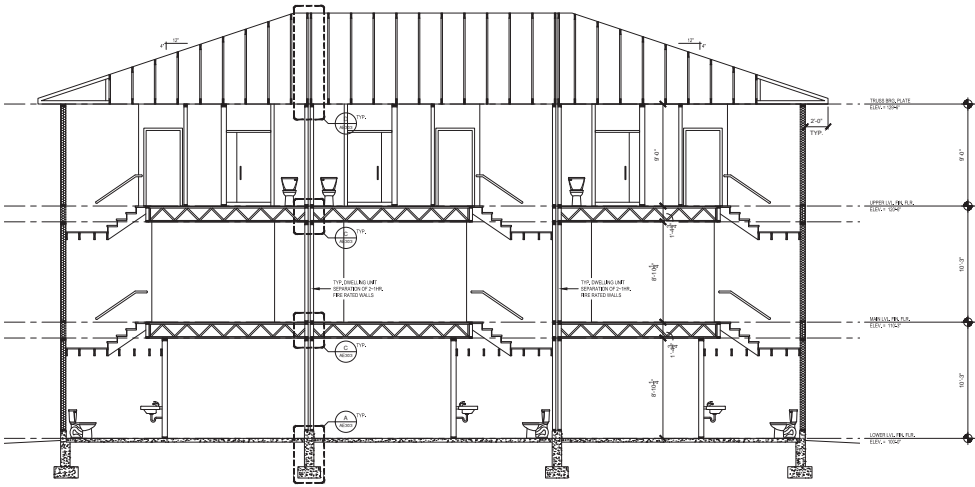
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THE PLANS AND SPECIFICATIONS ARE HEREBY TO BE CONSIDERED AS "PROVISIONAL," MEANING THAT, NOT AT THE CONTRACTOR'S RISK, BUT AS A GENERAL GUIDE, THEY ARE SUBJECT TO CHANGE WITHOUT NOTICE. ANY CHANGES TO THE PLANS SHALL BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL, STATE AND FEDERAL AGENCIES.



**1 BUILDING SECTION**  
1/8" = 1'-0"

**TABOR  
BRUCE**  
ARCHITECTURE & DESIGN INC.  
1000 N. ALABAMA AVE. SUITE 100  
BLOOMINGTON, IN 47404  
TEL: 317.326.1000 FAX: 317.326.1001  
WWW.TABORBRUCE.COM

REVISIONS


LUXURY TOWNHOMES FOR:  
**WININGER STOLBERG**  
**at RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHACART ST.  
BLOOMINGTON, INDIANA 47404

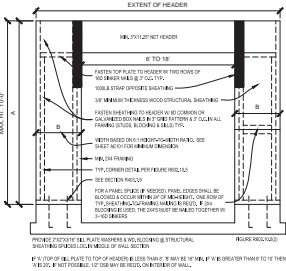
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DATE	08/14/2018
DESIGN BY	A. LAMBERT
CHECKED BY	D. BRUCE

**BUILDING SECTION  
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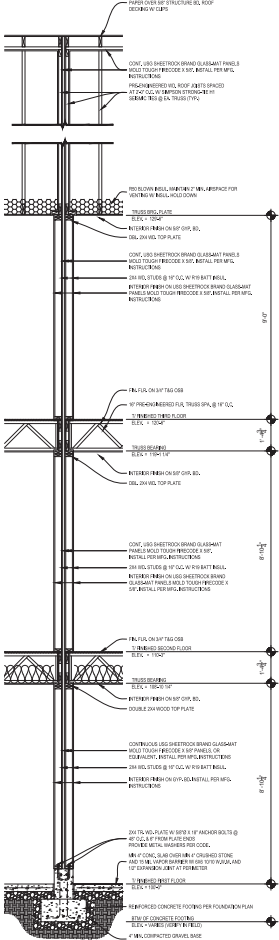
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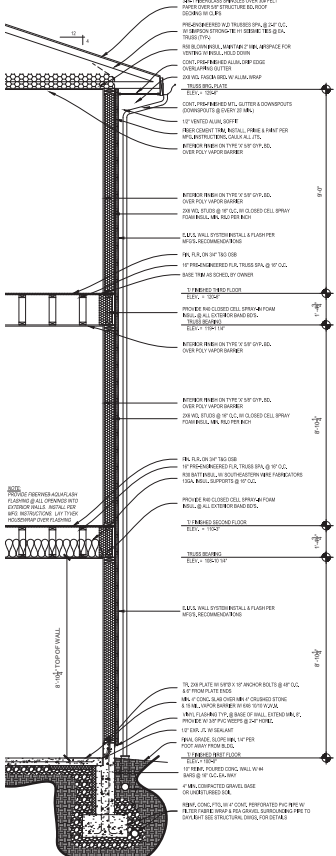
THESE PLANS ARE PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF TLABOR BRUCE ARCHITECTURE & DESIGN INC. IS PROHIBITED. THE CLIENT AGREES TO HOLD TLABOR BRUCE ARCHITECTURE & DESIGN INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY TLABOR BRUCE ARCHITECTURE & DESIGN INC. OR ITS EMPLOYEES, AGENTS OR SUBCONTRACTORS IN CONNECTION WITH THESE PLANS.



3 GARAGE DOOR BRACING DETAIL  
1/2\"/>



2 WALL SECTION  
1/2\"/>



1 TYPICAL WALL SECTION  
1/2\"/>



REVISIONS

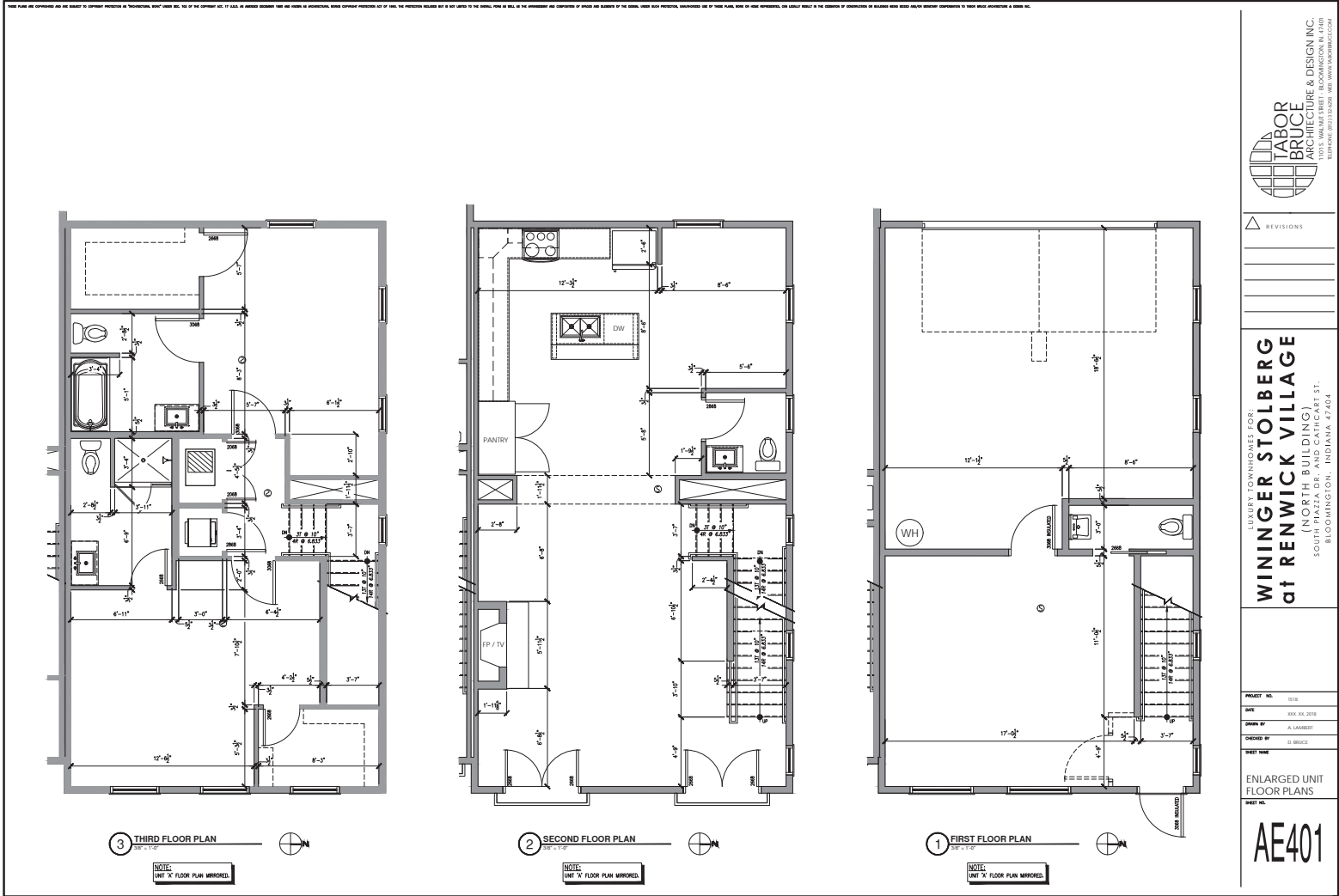
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LUXURY TOWNHOMES FOR  
**WININGER STOLBERG**  
at **RENWICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DRIVE AND CATHART ST.  
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1016
DATE	09/14/2016
DESIGN BY	A. LAMBERT
CHECKED BY	D. BRUCE
DRAWN BY	
SCALE	

**AE302**









49



STOP

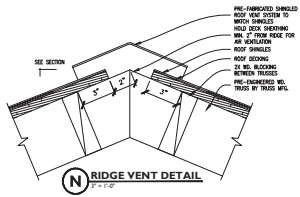


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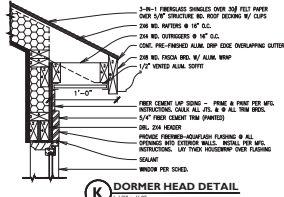


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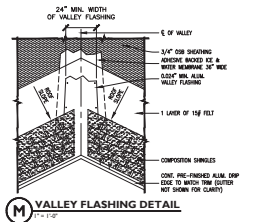




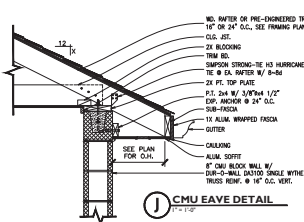
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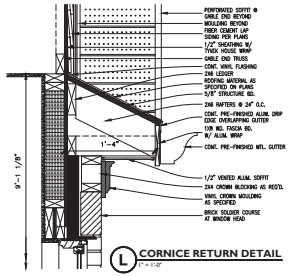
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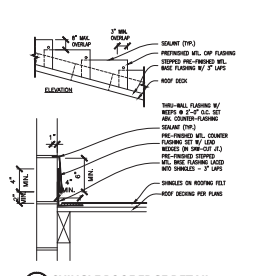
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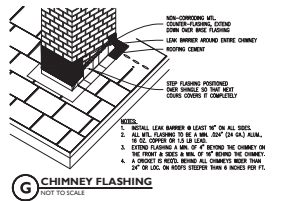
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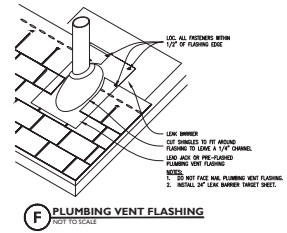
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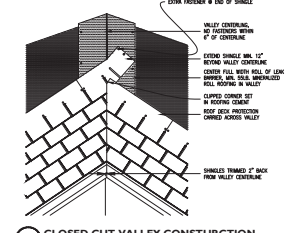
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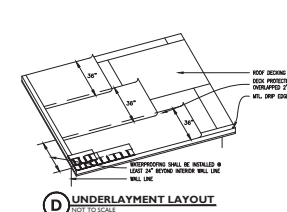
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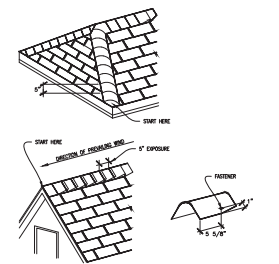
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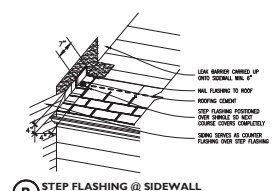
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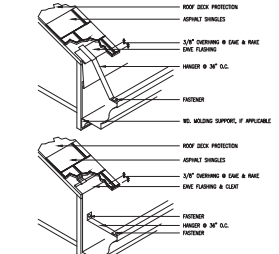
**D UNDERLAYMENT LAYOUT**  
NOT TO SCALE



**C HIP AND RIDGE SHINGLES**  
NOT TO SCALE



**B STEP FLASHING @ SIDEWALL**  
NOT TO SCALE



**A HANGING GUTTER INSTALLATION**  
NOT TO SCALE

**TABOR BRUCE**  
ARCHITECTURE & DESIGN INC.  
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TEL: 317.346.1234 FAX: 317.346.1235  
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REVISIONS

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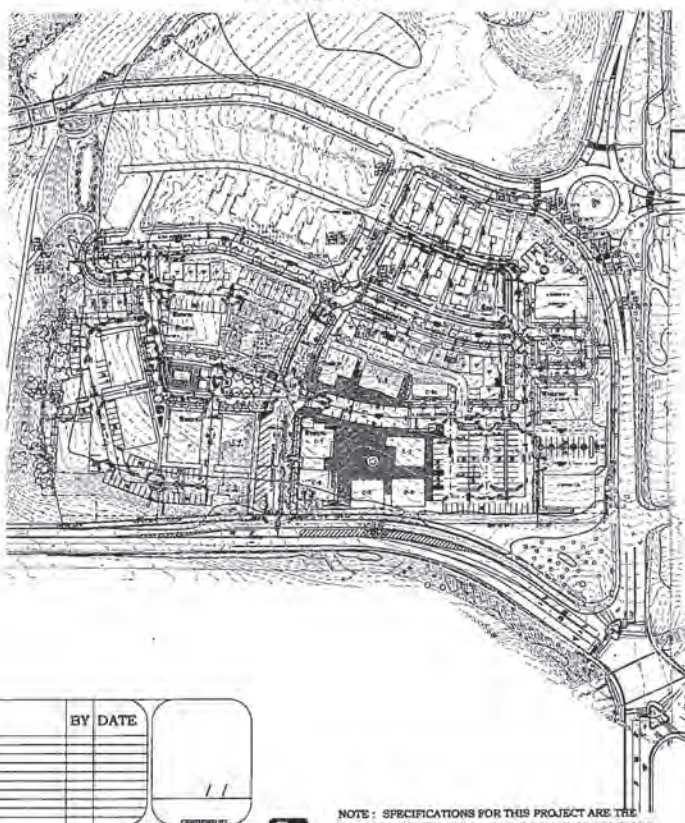
LUXURY TOWNHOMES FOR  
**WININGER STOLBERG**  
at **RENNICK VILLAGE**  
(NORTH BUILDING)  
SOUTH PLAZA DR. AND CATHART ST.  
BLOOMINGTON, INDIANA 47404

PROJECT NO. 17116  
DATE: 09/11/2010  
DRAWN BY: A. LARSEN  
CHECKED BY: D. BRUCE  
SHEET NO. 35  
TYPICAL ASPHALT  
ROOF SHINGLE  
DETAILS  
**AE503**



# RENWICK

## PHASE III



PROJECT  
LOCATION



LOCATION MAP  
N.T.S.



SITE MAP  
N.T.S.

### SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SITE PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN
6-8	ROAD PROFILES
9-11	SANITARY PROFILES
12	STRUCTURE DATA SHEET
13	MISCELLANEOUS DETAILS

SHEET NO.	REVISIONS	BY	DATE

PREPARED BY:  
SMITH NEUBECKER & ASSOCIATES INC. BLOOMINGTON, INDIANA

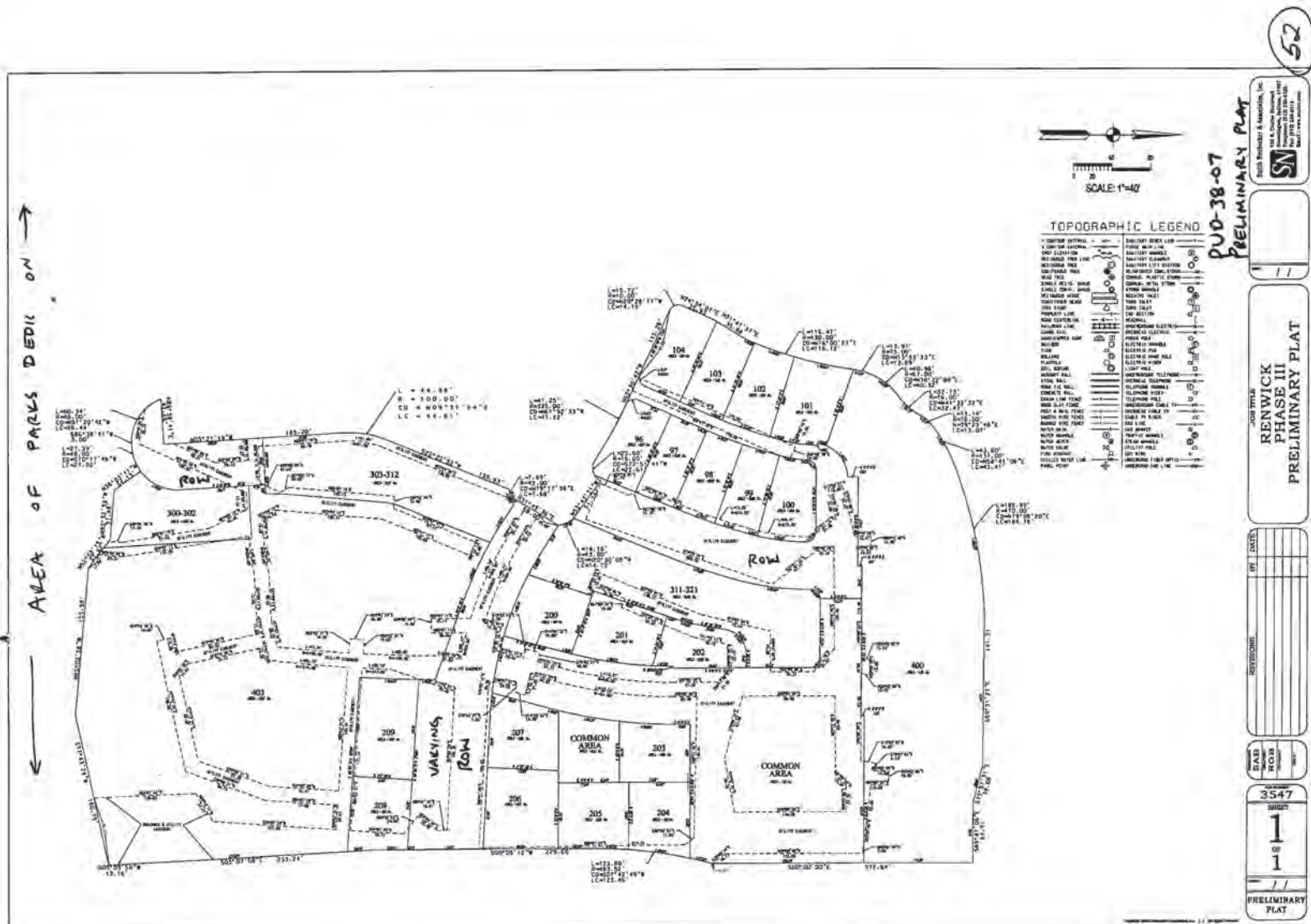


NOTE: SPECIFICATIONS FOR THIS PROJECT ARE THE  
1996 SMITH NEUBECKER & ASSOCIATES STANDARD  
SPECIFICATIONS.

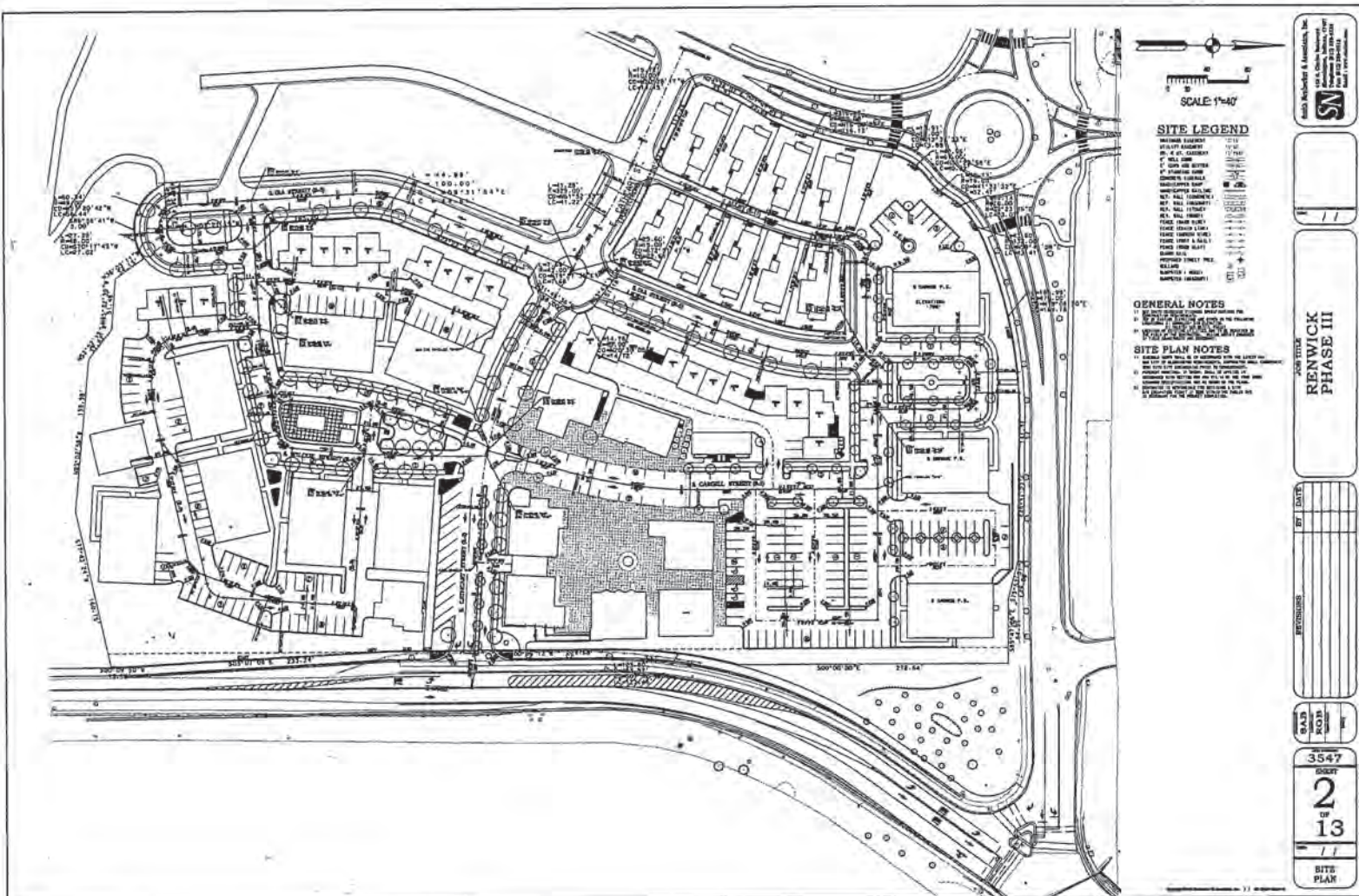
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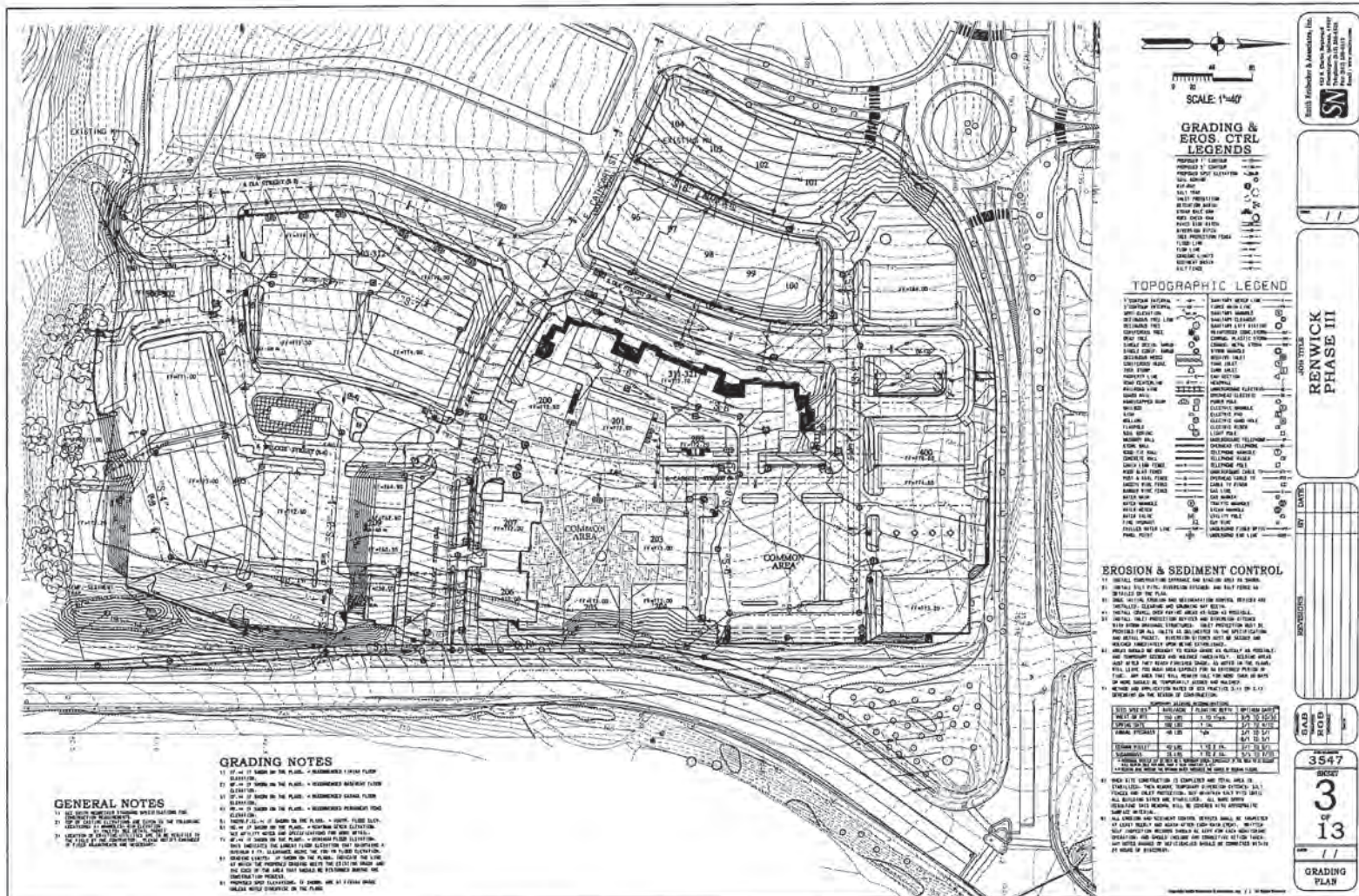




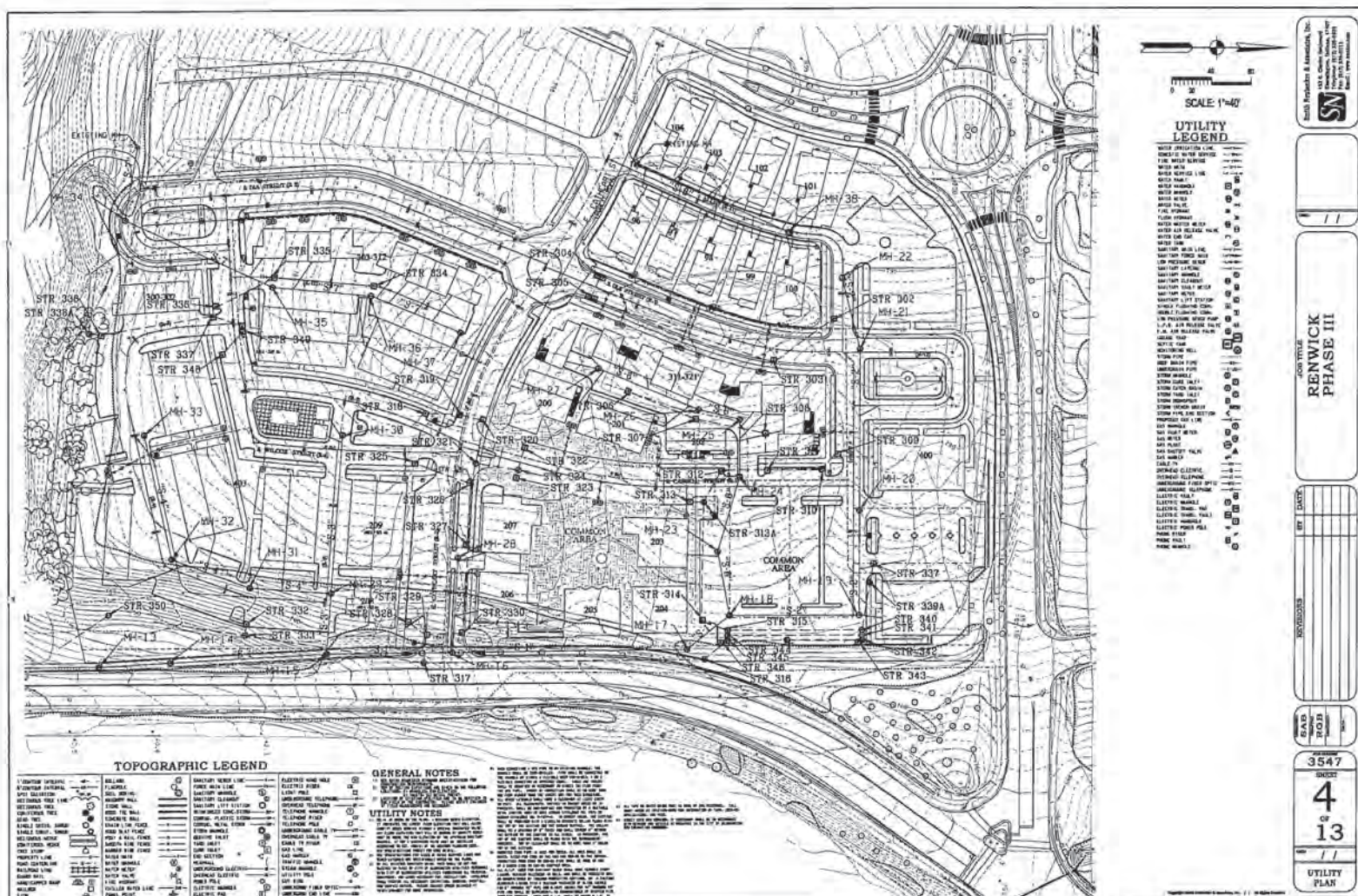














INSTRUMENT NO. 2008010886 SP. \$30.00  
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PLAT CABINET D ENVELOPE 83

## NOTES:

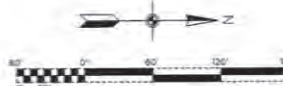
1. All corners are to be marked with 1/4" x 2" capped nails.
2. Original survey titled Land Title Survey for Ramsey by Smith Neubecker & Associates, Inc. dated June 3rd, 2003.
3. Building Setbacks Per Lot Showcards for Renwick.

I affirm, under the penalties for perjury, that I have taken reasonable care to reduce each Social Security Number in this document unless required by law.

James D. Smith

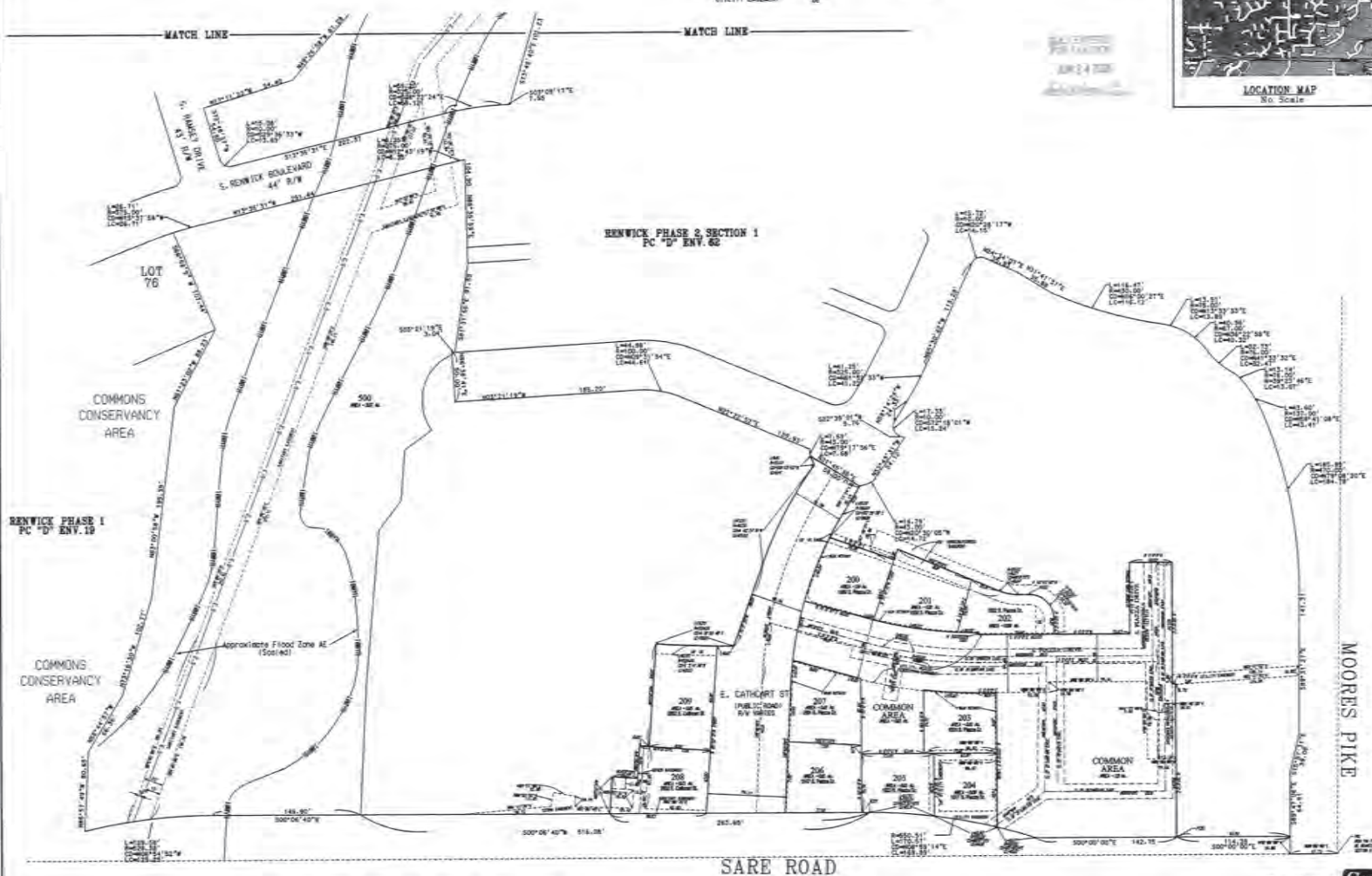
## LEGEND

CENTER LINE  
SETBACK LINE  
EASEMENT LINE  
LOT LINE  
BOUNDARY LINE  
1/4" NEAR FOUND  
1/4" NEAR 24" LONG SET  
DRAINAGE EASEMENT  
UTILITY EASEMENT

LOCATION MAP  
No Scale

MATCH LINE

MATCH LINE



RENWICK PHASE III, SECTION 1

PREPARED BY: SMITH NEUBECKER &amp; ASSOCIATES, INC., 4625 CLARITZ BLVD., BLOOMINGTON, INDIANA 47407-5355

JOB NO. 3547.COM

PAGE 1 OF 3



INSTRUMENT NO.

2008010888 SPL \$38.80  
06/24/2008 12:03:44P 3 PGS  
Harrison County Recorder IN  
Recorded as Presented

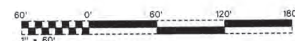
PLAT CABINET D ENVELOPE 83

## NOTES:

1. All corners are to be marked with  $\frac{3}{4}$ " x 2" capped rebar.
2. Original survey titled Land Title Survey for Ramsey by Smith Neubecker And Assoc., Inc. dated June 3rd, 2003.
3. Building Setbacks: Per Lot Standards for Renwick.

I affirm, under the penalties for perjury, that I have taken reasonable care to reduce each Social Security Number in this document unless required by law.

James D. Smaile



## LEGEND

CENTER LINE  
SETBACK LINE  
EASEMENT LINE  
LOT LINE  
BOUNDARY LINE

$\frac{3}{4}$ " REBAR FOUND  
 $\frac{3}{4}$ " REBAR 24" LONG SET  
DRAINAGE EASEMENT  
UTILITY EASEMENT

## MONUMENT LEGEND

STONE MONUMENT  
STONE WITH X  
CONCRETE MONUMENT  
 $\frac{3}{4}$ " REBAR W/PLASTIC CAP SET  
REBAR FOUND  
IRON PIPE FOUND  
FENCE POST FOUND  
RAILROAD SPIKE FOUND  
P.N. NAIL  
C.P.S. MONUMENT  
HIGHWAY BOX

RENWICK PHASE I  
PC "D" ENV. 19

MATCH LINE

MATCH LINE

RENWICK PHASE III, SECTION 1

PREPARED BY: SMITH NEUBECKER & ASSOCIATES, INC. 4625 CLARIZZ BLVD., BLOOMINGTON, INDIANA 47407-5355

JOB NO. 3547.COM  
PAGE 2 OF 3

INSTRUMENT NO. 2008010608 374, 330 88

06/24/2008 12:03:48P 3 PGS  
Renwick County Recorder IN  
Recorded as PresentedRENWICK  
JOB NO. 3547

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Declaration of Charter, Easements, Covenants, and Restrictions for the Residential Neighborhood, dated 10/27/2006 and recorded as Instrument Number 200605733 in the Office of the Recorder of Monroe County, Indiana.

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Master Deed Restrictions dated 04/06/2008 and recorded as Instrument Number 200605736 in the Office of the Recorder of Monroe County, Indiana.

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Declaration of Charter, Easements, Covenants, and Restrictions for the Village Center, dated 11/11/2008 and recorded as Instrument Number 2008010608 in the Office of the Recorder of Monroe County, Indiana.

----- In the Office of the Recorder of Monroe County, Indiana.

The undersigned, Timothy A. Hanson, Vice President, being the owner of the above-described real estate, does hereby layoff, plot, and subdivide the same into lots and streets in accordance with this plat. The within plat shall be known and designated as Renwick Phase III, Section 1.

IN WITNESS WHEREOF, Renwick Land Development, Inc., an Indiana Corporation, by Timothy A. Hanson, Vice President, has hereunto executed this 27th day of May, 2008.

Timothy A. Hanson, Vice President  
Renwick Land Development, Inc.

STATE OF INDIANA  
COUNTY OF MONROE

Before me, a Notary Public in and for the State of Indiana and Monroe County, personally appeared Timothy A. Hanson personally known to me to be Vice President of Renwick Land Development, Inc., and being the owner of the described real estate, and who acknowledged the execution of the foregoing plat for the real estate known as Renwick Phase III as his voluntary act and deed for the uses and purposes therein expressed.

WITNESS my hand and Notarial Seal this 27th day of May, 2008.

My Commission Expires: 07-11-08.

David R. Brown, Notary Public

David R. Brown, Notary Public  
A resident of Monroe County.



# PLAN COMMISSION AND BOARD OF PUBLIC WORKS

Under the authority provided by Chapter 174, Acts of 1947, enacted by the General Assembly of the State of Indiana and ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington as follows:

Approved by the Board of Public Works at a meeting held:

Beth Hollingsworth, President

Charlotte Zlatos, Mayor

Frank H. Hunsaker, Jr., Mayor

Approved by the City Plan Commission at a meeting held:

Tom M. Mendenhall, President

W.E. Stude, Mayor

M. E. Stude, President of Plan Commission

Renwick Phase III - Section 1

Legal Description:

A part of the East half of the Northeast Quarter of Section 10, Township 3 North, Range 1 East, Monroe County, Indiana, being more particularly described as follows:

COMMENCING at an iron pin in a highway box found at the Northwest Quarter of said Section 10 and running South 60 degrees 00 minutes 00 seconds East 47.73 feet along the East line of said quarter; thence bearing said East line, North 90 degrees 00 minutes 00 seconds West 18.00 feet to the intersection of the South right-of-way of Monroe Pike and the West right-of-way of Sars Road; thence South 00 degrees 00 minutes 00 seconds East 114.29 feet to the POINT OF BEGINNING of this description; thence continuing along West right-of-way of Sars Road the following 2 courses:

1. Along a curve, to the left 170.41 feet with radius of 850.51 feet whose chord bears South 04 degrees 58 minutes 15 seconds West 268.43 feet; thence South 06 degrees 06 minutes 40 seconds West 383.43 feet; thence right-of-way, North 85 degrees 32 minutes 31 seconds West 31.57 feet; thence North 04 degrees 07 minutes 23 seconds East 25.00 feet; thence North 16 degrees 52 minutes 21 seconds West 22.81 feet; thence North 04 degrees 07 minutes 23 seconds East 10.00 feet; thence North 05 degrees 02 minutes 31 seconds West 104.14 feet; thence along a curve to the left 78.10 feet with a radius of 1524.06 feet whose chord bears North 01 degree 55' 46.06 feet; thence along a curve to the right 113.58 feet with a radius of 410.50 feet whose chord bears North 52 degrees 24 minutes 19 seconds West 117.20 feet; thence along said right-of-way, North 11 degrees 45 minutes 38 seconds East 58.00 feet; thence bearing said right-of-way and plat, South 58 degrees 14 minutes 24 seconds East 30.93 feet; thence along a curve to the left 29.09 feet with a radius of 351.00 feet whose chord bears South 60 degrees 28 minutes 08 seconds East 28.08 feet; thence North 19 degrees 12 minutes 41 seconds East 69.38 feet; thence North 10 degrees 47 minutes 19 seconds along a curve to the left 19.17 feet with a radius of 50.00 feet whose chord bears North 11 degrees 19 minutes 30 seconds East 19.64 feet; thence North 00 degrees 00 minutes 00 seconds West 10.77 feet; thence along a curve to the right 30.27 feet with a radius of 25.00 feet whose chord bears North 45 degrees 00 minutes 00 seconds East 26.36 feet; thence North 30 degrees 00 minutes 00 seconds East 01.07 feet; thence North 00 degrees West 12.34 feet; thence North 50 degrees 00 minutes 00 seconds West 43.40 feet; thence North 80 degrees 00 minutes 00 seconds East 123.34 feet; thence North 00 degrees 00 minutes 00 seconds West 155.00 feet to the POINT OF BEGINNING of this description, containing 3.00 acres, more or less.

I hereby certify that this survey was performed on the ground shown herein and performed after by an owner or direct supervision and control and that all information shown on this plat is correct in the best of my knowledge and belief.

Certified this day of May, 2008.

James D. Bernal

James D. Bernal

Notary Public for the State of Indiana  
Notary Public for the State of Indiana



RENWICK PHASE III, SECTION 1

PREPARED BY: SMITH NEUBECKER & ASSOCIATES, INC., 453 S. CLARIZZ BLVD., BLOOMINGTON, INDIANA 47407-5355

JOB NO. 3547.COM  
PAGE 3 OF 3






---

**Fwd: Renwick Phase 6 Replat**


---

**From** Utilities Planreview <utilitiesplanreview@bloomington.in.gov>

**Date** Mon 8/25/2025 10:49 AM

**To** Todd Borgman <tborgman@smithdginc.com>

Todd, CBU has reviewed the plat and have no comments for utilities.

Thanks

Jay Ramey

Senior Project Coordinator

**CBU Plan Review Team**

City of Bloomington Utilities

Email: [UtilitiesPlanReview@bloomington.in.gov](mailto:UtilitiesPlanReview@bloomington.in.gov)

----- Forwarded message -----

**From:** Bryan Blake <[bryan.blake@bloomington.in.gov](mailto:bryan.blake@bloomington.in.gov)>

**Date:** Mon, Aug 25, 2025 at 10:42 AM

**Subject:** Re: Renwick Phase 6 Replat

**To:** Utilities Planreview <[utilitiesplanreview@bloomington.in.gov](mailto:utilitiesplanreview@bloomington.in.gov)>

I looked at this with Tonia to make sure that there are no changes for new services. We have no comment. This is fine with both of us.

Thanks

On Fri, Aug 22, 2025 at 8:04 AM Utilities Planreview <[utilitiesplanreview@bloomington.in.gov](mailto:utilitiesplanreview@bloomington.in.gov)> wrote:

Bryan, We received this plat. You may want to review it at some point. It seems we had a project there a couple of years ago.

Thank you,

**CBU Plan Review Team**

City of Bloomington Utilities

Email: [UtilitiesPlanReview@bloomington.in.gov](mailto:UtilitiesPlanReview@bloomington.in.gov)

----- Forwarded message -----

**From:** Todd Borgman <[tborgman@smithdginc.com](mailto:tborgman@smithdginc.com)>

**Date:** Thu, Aug 21, 2025 at 12:45 PM

**Subject:** Renwick Phase 6 Replat

**To:** [utilitiesplanreview@bloomington.in.gov](mailto:utilitiesplanreview@bloomington.in.gov) <[utilitiesplanreview@bloomington.in.gov](mailto:utilitiesplanreview@bloomington.in.gov)>

Hello,

Attached is a plat for your review. Let me know if you have questions.

Thanks,

**Todd Borgman, PS**

**Smith Design Group, Inc.**

1467 W Arlington Road

Bloomington, IN 47404

p. 812.336.6536 x:1

drinkmoretap

**Bryan Blake**  
Project Coordinator  
Utilities Department  
City of Bloomington Utilities  
[bryan.blake@bloomington.in.gov](mailto:bryan.blake@bloomington.in.gov)  
812-349-3628

**BLOOMINGTON PLAT COMMITTEE**  
**STAFF REPORT**  
**Location: 4415 E. Moores Pike**

**CASE #: DP-38-25 / SUB2025-10-0050**  
**DATE: November 10, 2025**

---

**PETITIONER:** Darlene Meyer  
 4415 E. Moores Pike, Bloomington

**CONSULTANTS:** Bynum Fanyo & Associates, Inc.  
 528 N. Walnut Street, Bloomington

---

**REQUEST:** The petitioner is requesting secondary plat approval for a 19-lot subdivision of 5.034 acres in the Residential Medium Lot (R2) zoning district.

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**BACKGROUND:**

<b>Area:</b>	5.034
<b>Current Zoning:</b>	Residential Medium Lot (R2)
<b>Comp Plan Designation:</b>	Neighborhood Residential
<b>Existing Land Use:</b>	Dwelling, Single Family (detached)
<b>Proposed Land Use:</b>	Dwelling, Single Family (detached)
<b>Surrounding Uses:</b>	North – Single family residences (Gentry Estates)
	West – Single family residence
	East – Single family, attached (Hearthstone Village)
	South – County Jurisdiction

---

**REPORT:** The property is located on the north side of E. Moores Pike and is zoned Residential Medium Lot (R2). Surrounding land uses include single family residences to the north and west, attached single family residences to the east, and agriculture/single family residence to the south (County Jurisdiction). There are no known regulated environmental features on this property. The property currently contains one single family dwelling unit.

The petitioner is proposing to subdivide the property to create 17 single family residences and two common area lots. The Plan Commission approved the primary plat for this subdivision under case #DP-12-24. The proposed subdivision would be accessed by one drive cut on Moores Pike and include an extension of Bridgestone Drive from the east that would stub to the property to the west. There is existing platted right-of-way to the west of this property, but no improvements were constructed within that right-of-way and the stub to the west aligns with the location of that right-of-way. Due to the lack of road stubs to connect to on adjacent properties to the north, the petitioner is proposing to construct a road stub to the north with an alley stubbed to the west property line. A turnaround area has been shown on the north side of Lot #10 to provide sufficient area for vehicle turnarounds. The petition will also extend Bridgestone Drive through the site with a road stub to the west. There are two common area lots proposed on the south side of the site that would collect and detain stormwater drainage from the site. All internal roads would be public with 61' of right-of-way, 6' sidewalks, 6' tree plots, and on-street parking on both sides. The street width will be 28' from face of curb to face of curb.

Since this property is over 3 acres in size, this subdivision must utilize the Traditional Subdivision type. With the primary plat approval the Plan Commission approved a waiver from the requirement to have a minimum of 67% of the lots to be served by alleys to not require any of the lots to be

accessed by an alley.

---

**20.06.060(c)(3)(D) SECONDARY PLAT REVIEW:** The Plan Commission or Plat Committee shall review the secondary subdivision petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria):

**20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** The proposed secondary plat is consistent with the approved primary plat. A waiver was approved from the requirement to have a minimum of 67% of the lots served by an alley. All of the proposed lots meet the minimum lot area and lot width standards of the UDO. There are no other known applicable regulations that would apply to this property or subdivision. A grading permit (C24-347/GRADE2024-07-0055) has been issued to allow site work to being.

---

**PLAT REVIEW:** The proposed subdivision is following the Traditional Subdivision (TD) design standards.

**Subdivision Standards:**

**Parent tract size (minimum):** 3 acre

**Open space required:** 5% (10,965 square feet required/14,928 square feet provided)

**Lots served by alleys:** A waiver was approved to not require any lots within this subdivision to be served by an alley.

**Block length:** 800 feet maximum; 632 feet proposed.

**Cul-de-sac length:** Not permitted.

**Transportation facilities:** The proposed internal road and extension of Bridgestone Drive are classified as a Neighborhood Residential typology. The Neighborhood Residential typology requires a 6' sidewalk and 5' tree plot which have been shown. Moores Pike is classified as a Neighborhood Connector and requires a 7' sidewalk and 8' tree plot which have also been shown.

**On-street parking:** There will be on-street parking along both sides of the internal road (Baxter Drive) and Bridgestone Drive. The streets are shown with 28' from face-of-curb to face-of-curb which follows the Transportation Plan standards.

**Tree plot width:** The minimum tree plot width required for the Neighborhood Residential typology is 5' and a 6' tree plot has been provided. The required 8' tree plot is shown along Moores Pike, however due to the location of existing underground utilities, the required street trees will be placed behind the sidewalk. One additional street tree will be required along the west side of the property on the Moores Pike frontage to ensure street trees are not more than 30' apart.

**Lot Establishment Standards:**

**Lot area and lot width:** The minimum lot width in the R2 district is 60' and the minimum lot area is 7,200 square feet. All of the proposed lots meet these standards.

**Lot shape:** All lots meet the UDO requirement for regular lot size and a depth-to-width ratio not to exceed four to one.

**Lot access:** All proposed lots have direct frontage on a public street. No drive cuts on Moores Pike are proposed or allowed.

**Stormwater Standards:** Approval from City of Bloomington Utilities has been issued with the grading permit.

**Right-of-Way Standards:**

**ROW width:** Both the new internal street and extension of Bridgestone Drive will be public streets with a Neighborhood Residential typology which requires 61' of dedicated right-of-way, which has been shown. Moores Pike is classified as a Neighborhood Connector and requires 74' of total right-of-way (37' from centerline) and the petitioner has shown the required 37' from centerline dedication.

**Environmental Considerations:** There are no known steep slopes, karst features, or wetlands on the site.

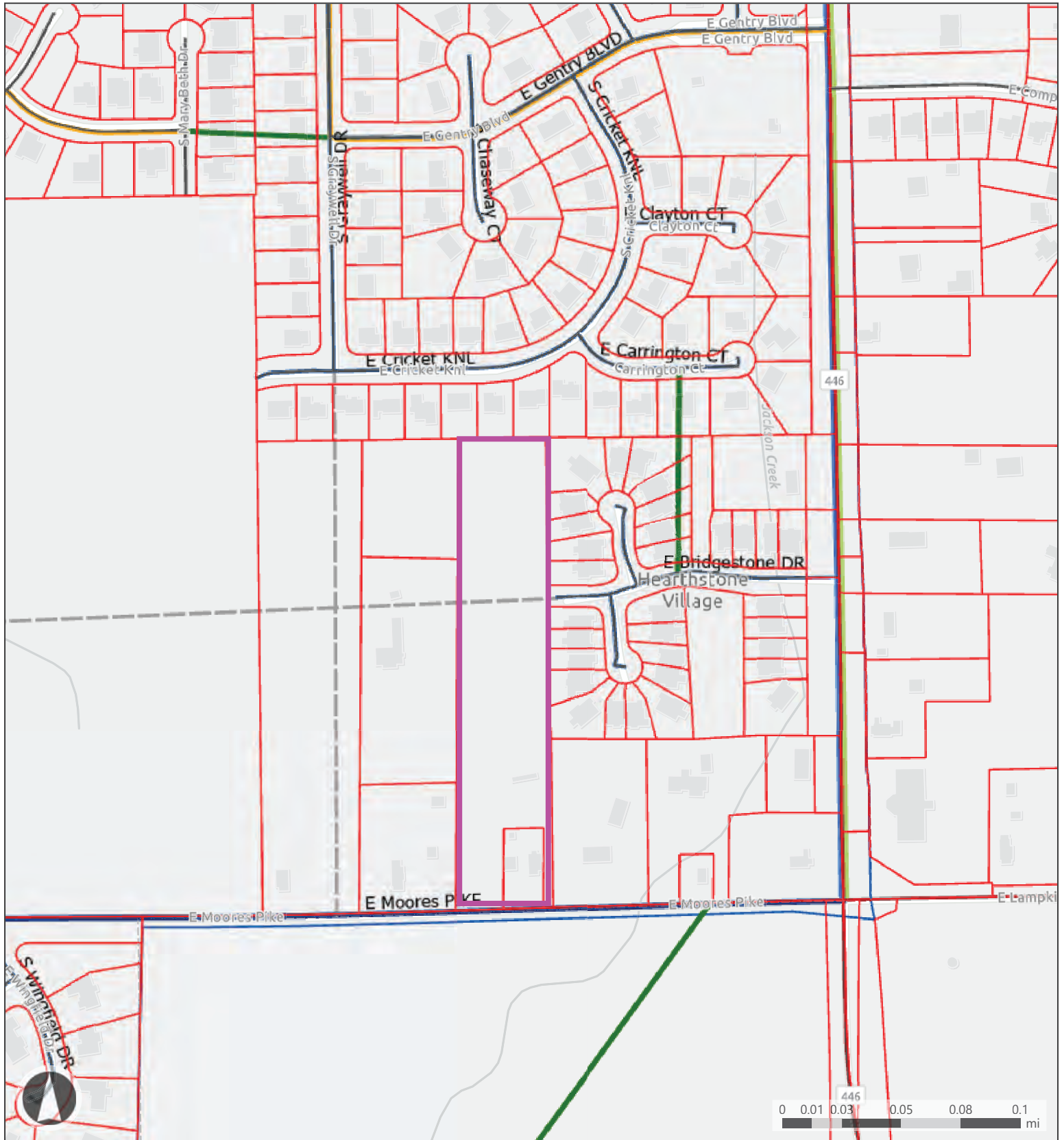
**Utilities:** Utility service and facilities are located within Bridgestone Drive to the east and this development is proposing to extend and connect to those facilities.

---

**CONCLUSION:** This development would provide 17 new single family lots that have the potential to be owner occupied and would fulfill many goals of the Comprehensive Plan and Housing Study that identifies the need for owner occupied housing and creation of new dwelling units. This petition will also extend an existing public street through the site as well as provide pedestrian improvements along the Moores Pike frontage.

---

**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plat Committee adopt the proposed findings and approve the secondary plat.



**Map Legend**

- Parcels
- Current
- City Maintained Streets

**Street Typology**

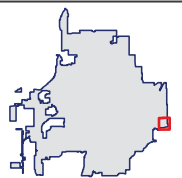
- Neighborhood Connector
- Neighborhood Residential

**Functional Classification**

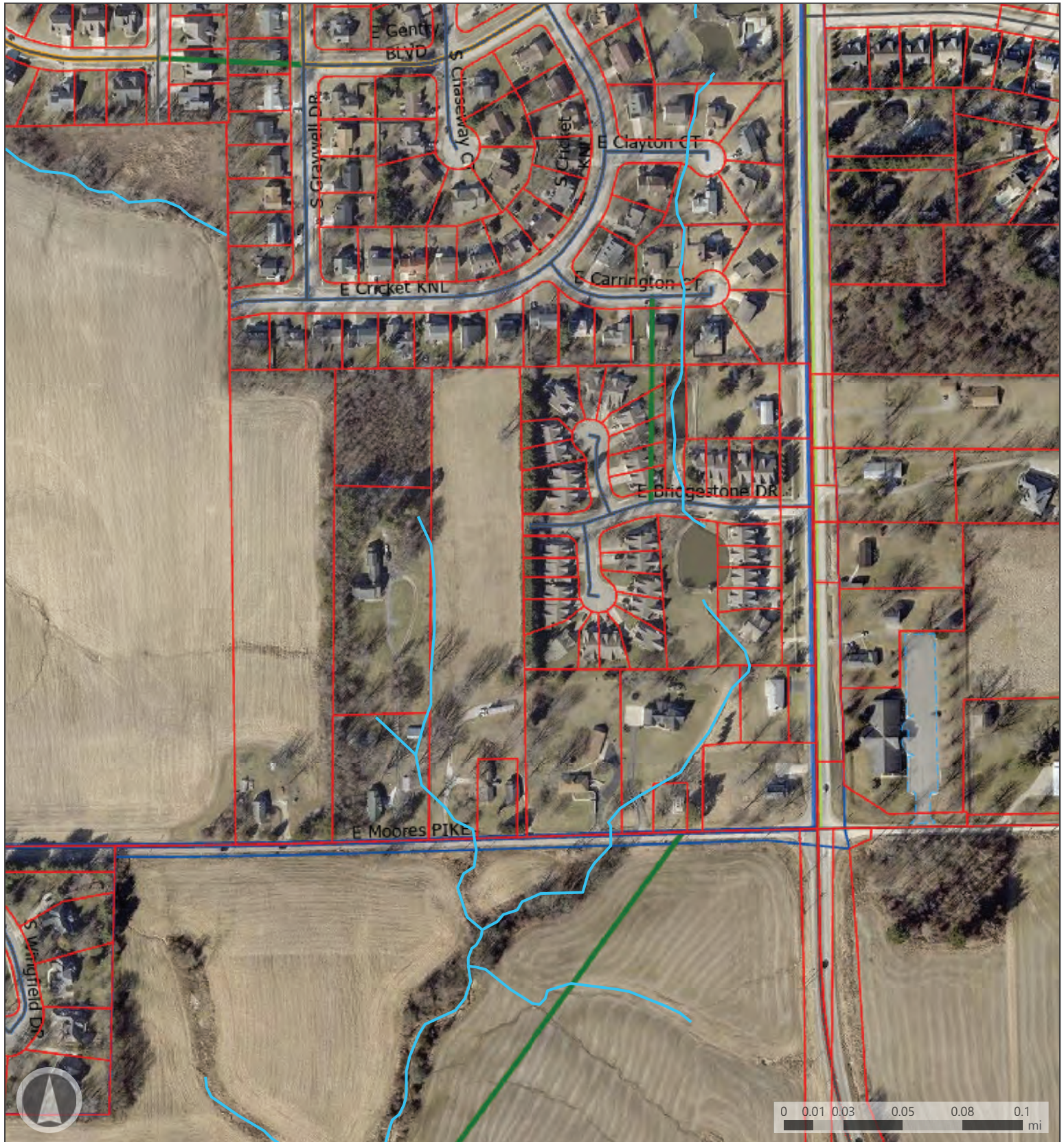
- Suburban Connector
- Primary Arterial

**Secondary Arterial**

- Secondary Collector
- Bloomington Municipal







#### Map Legend

- Stream/River
- Parcels

#### Parking Lot Type

- Paved Parking Lot
- Current

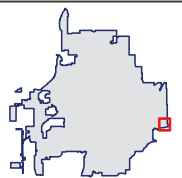
— City Maintained Streets

#### Street Typology

— Neighborhood Connector

— Neighborhood Residential

— Suburban Connector







ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

September 25<sup>th</sup>, 2025

Eric Greulich  
City of Bloomington Planning Department  
401 N. Morton Street  
Bloomington, Indiana 47404

RE: Baxter Village Subdivision  
Final Plat Approval Petitioner's Statement

Eric Greulich or To Whom It May Concern:

Our client, Darlene Meyer, respectfully requests final plat approval for the referenced project and to be placed on the next Plat Committee agenda for the plan to be approved by the Plat Committee members.

**Project Narrative:**

The proposed development at 4415 East Moores Pike, Bloomington, IN 47401 consists of constructing a new road, Baxter Lane, as well as an extension of the existing Bridgestone Drive to the western property boundary to support the construction of 17 residential lots. Associated utilities, landscaping, and one stormwater detention facility will also be constructed as part of this development.

The overall property acreage is 5.02 acres, containing 1.76 acres of dedicated right-of-way.

After you have had a chance to review our petition please feel free to contact us at any time with questions regarding our submission.

Sincerely,  
Bynum Fanyo & Associates, Inc.

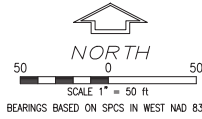
Drew Schrand, Project Engineer

Copy: BFA File #402361



# BAXTER VILLAGE SECONDARY PLAT

RECORDER  
53  
STAMP



SOURCE OF TITLE: Instrument 2023011382 & 2024011764

More particularly described below based on a survey by C.D. Graham, PS 9500014, dated June 21, 2023, as job number 402310 for Bynum Fanyo & Associates, Inc., recorded at instrument 2023004247

## DESCRIPTION:

A part of the Southeast quarter of the Southwest quarter of Section 1, Township 8 North, Range 1 West, Monroe County, Indiana, more particularly described as follows:

Commencing at the Southeast corner of the said quarter quarter; thence along the south line of said quarter quarter South 88 degrees 12 minutes 55 seconds West (basis of bearing SPC Indiana West) 641.50 to the Southeast corner of a 5 acre tract of land described in Instrument 2013011516, thence continuing along said south line South 88 degrees 12 minutes 55 seconds West 213.83 feet to the southwest corner of said 5 acre tract; thence along the west line of said 5 acre tract North 01 degrees 15 minutes 04 seconds West 1023.52 feet to the northwest corner of said 5 acre tract; thence along the north line of said 5 acre tract North 88 degrees 12 minutes 55 seconds East 213.83 feet to the northeast corner of said 5 acre tract; thence along the east line of said 5 acre tract South 01 degrees 15 minutes 04 seconds East 328.45 feet to the northwest corner of a 0.01 acre tract of land described in instrument 2023011382, thence along the north line of said 0.01 acre tract North 88 degrees 19 minutes 33 seconds East 7.02 feet to the northeast corner of said 0.01 acre tract; thence along the east line of said 0.01 acre tract South 01 degrees 18 minutes 02 seconds East 60.00 feet to the southeast corner of said 0.01 acre tract; thence along the south line of said 0.01 acre tract South 88 degrees 19 minutes 33 seconds West 7.07 feet to the southwest corner of said 0.01 acre tract at the east line of said 5.00 acre tract; thence along said east line South 01 degrees 15 minutes 04 seconds East 635.07 feet to the point of beginning. Containing 5.034 acres, more or less.

## EASEMENT NOTES:

### DRAINAGE EASEMENT

1. Shall be required for any surface swales or other minor drainage improvements that are intended to serve the lots on which they are located.
2. Shall prohibit any alteration within the easement that would hinder or redirect flow.
3. Shall provide that the owner of the lot on which the easement is placed shall be responsible for maintenance of the drainage features within such easement.
4. Shall be enforceable by the City of Bloomington Utilities Department and by owners of properties that are adversely affected by conditions within the easement.
5. Shall allow the City of Bloomington Utilities Department to enter upon the easement for the purpose of maintenance, to charge the costs of such maintenance to the responsible parties, to construct drainage facilities within the easement, and to assume responsibility for the drainage features at its discretion.

### ACCESS EASEMENT

1. Grants the general public the right to access the access easement for the use of pedestrians, bicyclists and vehicular traffic for the purpose of a turn-around at the end of Baxter Lane.
2. Grants the City of Bloomington the right to construct, alter, repair, maintain, or remove improvements within the easement area.
3. Prohibits the placement of any obstruction within the access easement.

## LEGEND

BOUNDARY LINE	=====
LOT LINE	=====
EASEMENT LINE	-----
SET BACK LINE	-----
ROAD CENTERLINE	-----
REBAR SET "BFA 9500014"	○
PLSS CORNER	△

## OWNER CERTIFICATION:

THE UNDERSIGNED, BAXTER VILLAGE, LLC., BEING THE OWNER OF THE ABOVE DESCRIBED REAL ESTATE, DOES HEREBY LAYOFF, PLAT AND SUBDIVIDE THE SAME INTO LOTS AND STREETS IN ACCORDANCE WITH THIS PLAT. THIS WITHIN PLAT SHALL BE KNOWN AND DESIGNATED AS BAXTER VILLAGE.

ALL ADDITIONAL ROAD RIGHT-OF-WAYS SHOWN AND NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC.

IN WITNESS WHEREOF, BAXTER VILLAGE, LLC., HAS HEREUNTO

EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_  
(REPRESENTATIVE OF BAXTER VILLAGE, LLC.)

## NOTARY CERTIFICATION:

BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF INDIANA AND MONROE COUNTY, PERSONALLY APPEARED JOSEPH A. ROSS, AGENT OF 701 CLUB, INC., BEING THE OWNER OF THE DESCRIBED REAL ESTATE AND WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING PLAT FOR THE REAL ESTATE KNOWN AS ARLINGTON CIRCLE SUBDIVISION, AS HIS VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_, NOTARY PUBLIC

COUNTY OF RESIDENCE: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

## OWNER/SUBDIVIDER/DEVELOPER

NAME: BAXTER VILLAGE, LLC.  
ADDRESS: 7405 E. RUSH RIDGE ROAD  
BLOOMINGTON, IN 47401  
TELEPHONE: 812-325-8524

## DESIGN PROFESSIONALS

NAME: BYNUM FANYO & ASSOCIATES, INC.  
ADDRESS: 528 NORTH WALNUT STREET  
BLOOMINGTON, INDIANA 47404  
TELEPHONE: 812-332-8030

## SETBACK TABLE

R2 (RESIDENTIAL MEDIUM LOT)

FRONT YARD SETBACK	SIDE YARD SETBACK	REAR YARD SETBACK
15' FROM R-O-W	8'	25'
25' FROM R-O-W (FRONT LOADING GARAGE OR CARPORT)	10' FOR EACH STORY ABOVE GROUND FLOOR	

## CERTIFICATE OF APPROVAL OF PLAN COMMISSION

UNDER THE AUTHORITY OF INDIANA CODE 36-7-4 700 SERIES, ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE CITY OF BLOOMINGTON AS FOLLOWS:

APPROVED BY THE CITY PLAT COMMITTEE AT A MEETING HELD:

DIRECTOR OF PLANNING AND TRANSPORTATION

SURVEYOR'S CERTIFICATE:

THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 865 IAC 1-12 FOR THE STATE OF INDIANA.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PREPARED BY:

C. D. GRAHAM  
REGISTERED LAND SURVEYOR 29500014  
STATE OF INDIANA



I, C. D. GRAHAM, AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

FLOOD NOTE: According to FEMA Flood Insurance Rate Map (FIRM) this real estate is part of Community-Panel Number: 18105C 0141D, Effective Date: December 17, 2010. This property is located in Zone X, an area of minimal flood hazard.

## BAXTER VILLAGE

Part of SW 1/4, Section 1, Township 8 North, Range 1 West  
OWNER: BAXTER VILLAGE, LLC.



BYNUM FANYO & ASSOCIATES, INC.  
528 North Walnut Street  
Bloomington, Indiana 47404  
Phone (812)332-8030 Fax (812)339-2990

# **Post-Construction Stormwater Quality BMP Operations and Maintenance Manual**

**For:**

## **Baxter Village Subdivision**

**4415 E. Moore's Pike  
Bloomington, Indiana 47401**

**BFA Project No.: 402361**

**Prepared For:  
Darlene Meyer  
517 N. Grandview Dr.  
Bloomington, IN 47408**

**Prepared By: Drew Schrand, Project Engineer.  
Checked By: Daniel J. Butler, P.E.**

**Date:  
August 29<sup>th</sup>, 2024**

## TABLE OF CONTENTS

1. Project Narrative
2. Definitions
- 3-4. Inspection & Maintenance Activities
5. Owner Acknowledgement
6. Notary Acknowledgement
7. Checklists and Maintenance Activities
- 8-13. Relevant Plan Sheets

## **Project Narrative**

The project consists of an extension of Bridgestone Drive, and one new residential drive (Baxter Lane) to accommodate the development of 19 lots (2 common lots) to the standards of the R2 zoning parameters outlined in the City of Bloomington's UDO. This development also includes proposed landscaping, one stormwater quality/detention pond, and accompanying drainage ways. The development site is located north of E Moores Pike and west of SR 446.

The above-mentioned stormwater quality/detention pond is the site's post-construction BMP along with proposed landscaping and vegetative areas in and out of the pond/bio-retention facilities. Said pond is in the southwest region of the site. For actual location see plan sheets at the end of this manual. Potential areas for harmful discharges to stormwater quality/detention ponds include pollutants from proposed roadways. This O/M will be for the maintenance of this BMP.

### **BMP Owner Contact Information:**

**Darlene Meyer**  
**517 N. Grandview Dr.**  
**Bloomington, IN 47408**  
**Phone: 812-325-8524**

## **Definitions**

### **Best Management Practice (BMP):**

Best Management Practices, refer to structural or non-structural measures designed to improve stormwater quality and reduce stormwater runoff rates flowing downstream from this site.

Rural subdivision stormwater runoff contains many types and forms of pollutants. When compared to stormwater run-off from pre-developed conditions, high concentrations and some contaminants that are not naturally present in surface runoff from undeveloped lands are found. Runoff from undeveloped watersheds contain metals, nutrients, sediment particles, oxygen-demanding compounds, and other constituents. Once developed, constituent loads increase because surface runoff volumes increase and the sources of many of these pollutants also increase. Supplemental applications of compounds, such as fertilizers, tend to increase the availability of some pollutants to stormwater runoff. BMPs are implemented into project design to offset the effects of these pollutants.

### **BMP Owner:**

The owner of the BMP, typically the property owner or developer. The BMP owner may also be the owner of the property in the case of long-term residential owned properties or an agreed upon HOA that maintains long-term BMPs on the property.

### **Stormwater Quality/Detention Pond:**

Stormwater quality/detention ponds are areas where excess stormwater is stored or temporarily held while slowly draining to the site outfall. Stormwater quality/detention basins allow said pollutants to settle out before reaching the site outfall.

## **Inspections**

Routine inspections and maintenance are the responsibility of the BMP owner. The BMP owner shall be financially responsible for any maintenance or repairs required by the City or its representatives during City inspections. The approval maintenance plan and inspection forms provided with this manual should be used as guidance for performing maintenance activities. Completed inspection forms must be maintained by the BMP owner and produced upon request by the City. The City must be notified of any changes in BMP ownership, major repairs or BMP failure in writing within 30 days. The letter should be addressed to:

City of Bloomington Utilities Department  
Stormwater Inspector  
600 East Miller Drive  
Bloomington, IN 47401  
Ph: (812) 339-1444

## **Inspection & Maintenance Activities**

Refer to the checklist provided with this manual for operation, maintenance, repair and inspection of the BMP. The checklist is for the use of the BMP owner in performing routine inspections. The City may perform annual inspections of BMP's using a similar checklist. The BMP owner must maintain and update the BMP operations and maintenance plan.

BMP owners must routinely inspect BMPs to verify that all BMP components are functioning as designed and are not in danger of failing. All BMPs need maintenance to function as water quality and quantity facilities. Maintenance can range from dredging sediment out of the treatment area to cleaning out the underdrain piping.

The BMP owner agrees to the maintenance and inspection programs attached with this manual. Inspections must be documented on the inspection forms included in this Operation and Maintenance Manual.

Here are the guidelines for maintenance required within the pond areas:

The owner is required to inspect the sand filter strips, underdrains, plantings, and earthen dams once a month for the first 3 years, then semi-annually after the third year. If any damage that has caused functionality to cease to these features then repairs or replacement shall be immediate. The underdrains and sand filter strips/filter fabric shall be replaced as detailed in this O/M Manual if functionality has ceased even after cleaning them out. Functionality has ceased if the pooled water in the facilities does not drain within 24 hours of no additional rain events.

Sediment levels within the basin area shall also be monitored to not be allowed to accumulate to a depth above the 8" mark located on the permanent 2" diameter aluminum sediment stake. When sediment accumulates to the 8" mark then said sediment shall be removed and properly disposed to restore the pond or bio-swale to its design capacity.

Also, landscaping within the site's pond areas shall remain in healthy growing conditions with the following landscaping maintenance notes:

### **Landscaping:**

Once the site has been established all landscape maintenance will be provided by the Owner. The use of fertilizers and pesticides shall be used sparingly on the site. Pesticides may only be used for the removal of invasive species, and preferred be completed by OISC-certified pesticide applicators.

The following is a listing of routine landscaping tasks and their maintenance frequency.

<u>Task</u>	<u>Frequency</u>
Mowing & Trimming (outside of pond areas)	Bi-Weekly
Mowing & Trimming (within pond areas)	Once in Spring ONLY (Plantings within bio-swale area require to be a natural growth without being mowed except once in spring)
Tree Pruning	Yearly
Turf & Vegetative Bio-Filter reseeding without bare spots	As needed to maintain mature turf
Water Quality Pond Seeding –	

<u>Species</u>	<u>Application Rate</u>
Carex Pensylvanica (Common Oak Sedge)	4 ounces/acre
Elymus Villosus (Silky Wild Rye)	16 ounces/acre
Elymus Cirginicus (Virginia Wild Rye)	32 ounces/acre
Panicum Virgatum (Switchgrass)	4 ounces/acre
Schizachyrium Scoparium (Little Bluestem)	32 ounces/acre
Sorghastrum Nutans (Indian Grass)	8 ounces/acre
Aster Novae-Angliae (New England Aster)	1 ounce/acre

### **Spill Kit:**

The BMP owner/HOA shall have a spill kit stored and ready for use at all times.

## **BMP Owner Acknowledgment**

This Operation and Maintenance Manual is in possession of the City of Bloomington Utilities

Department Stormwater Inspector (CBU) and serves to ensure the longevity and adequate functioning of said BMP owned by Darlene Meyer or owner of property in perpetuity. By submitting this Operation and Maintenance Manual to CBU with plans to maintain said BMP, the BMP owner agrees to follow and abide by the inspection schedule and maintenance activities listed in this manual. The BMP owner is responsible for any additional maintenance and/or repair activities to maintain the function and longevity of the BMP(s). Any modifications to permanent BMP(s) in this manual, up to and including removal of any infrastructure, requires approval by the City of Bloomington MS4 Coordinator. All responsibilities for inspection and maintenance of the BMP as well as any other responsibilities and obligations which shall be borne by the owner, Darlene Meyer, shall also be borne by any successors in interest to the property including any HOA organization that represents the owner in responsibility to maintain the property and drainage facilities.

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BMP Owner Signature:

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Date

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Printed



## INDIANA NOTARY ACKNOWLEDGEMENT

State of Indiana  
County of \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public, hereby certify that \_\_\_\_\_ (Name of Signer), whose name is signed to the foregoing instrument or conveyance, and who is known to me, acknowledged before me on this day that, being informed of the contents of the conveyance, he/she/they executed the same voluntarily on the day the same bears date.

Given under my hand this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Signature of Notary Public

(Seal, if any)

\_\_\_\_\_  
Title and Rank

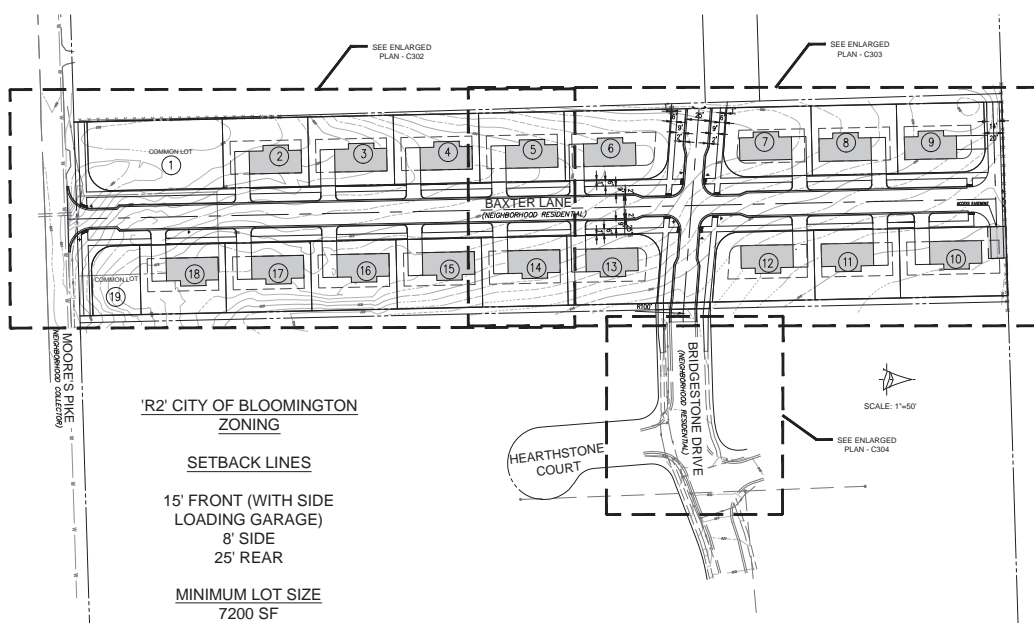
My Commission Expires: \_\_\_\_\_

**Baxter Village Subdivision**  
**Sediment Basin Operation, Maintenance and Management Inspection Checklist**

Location: \_\_\_\_\_  
 Date: \_\_\_\_\_ Time: \_\_\_\_\_  
 Inspector: \_\_\_\_\_ Title: \_\_\_\_\_  
 Signature: \_\_\_\_\_

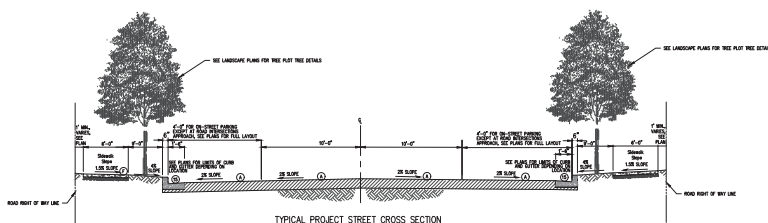
Refer to Exhibits 1 and 2  
 S = Satisfactory  
 U = Unsatisfactory

Maintenance Item	S or U	Comments	Recommended Maintenance Procedure
<b>1. Pooling Area &amp; Embankement</b>			
Signs of soil erosion			For stubborn areas use erosion control matting and reseed.
Animal burrows			Contact the Animal Control specialist for animal removal procedures.
Embankement cracking, bulging or settling			Some is expected during droughts. Repair with soil, erosion control mat and reseed.
Embankement free of woody vegetation			Remove any trees or shrubs growing within the pond basin area.
Embankement leaking			Contact the BMP owner. Owner to contact the engineer.
Depth of sediment at sediment outlet control riser			Remove sediment after 8" accumulation to maintain original detail depth - see details of ponds and location map
<b>2. Emergency Spillway</b>			
Rock rip-rap condition			Redistribute rip rap to evenly cover the overflow area from the spillway along flowline.
Emergency spillway clear of obstructions			Remove trash, debris and small woody plants between pond spillway and along flowline.
<b>3. Perforated Pipe Riser</b>			
Pipe riser condition			Excessive fading of the riser around the top may indicate a weakening of the pipe. Replace pipe riser.
Pipe riser blockage			Remove trash and debris from the top of and within the riser.
InDOT crushed stone surround			The stone acts as a filter. If the stone is caked with soil then it will not filter. Replace the stone.



EXISTING LEGEND	
---	EXISTING FENCE
---	EXISTING WATER LINE
---	EXISTING OVERHEAD ELECTRIC LINES
---	EXISTING UNDERGROUND ELECTRIC LINES
---	EXISTING OVERHEAD TELEPHONE LINES
---	EXISTING UNDERGROUND TELEPHONE LINES
---	EXISTING GAS LINE
---	EXISTING CONTOUR & ELEVATION
---	BOUNDARY
---	EXISTING SANITARY SEWER AND MANHOLE
---	EXISTING STORM SEWER AND INLET

OVERALL SITE AREA: 5.02 ACRES  
IMPERVIOUS LOT AREA: 1.80 ACRES  
PERCENT IMPERVIOUS: 35.80%



#### NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION TO PREVENT DAMAGE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE  
TOTAL ENGINEERING  
CONSULTANTS ASSOCIATES, INC.  
Bloomington, Indiana  
(423) 330-2800 (FAX)  
423 330-2800

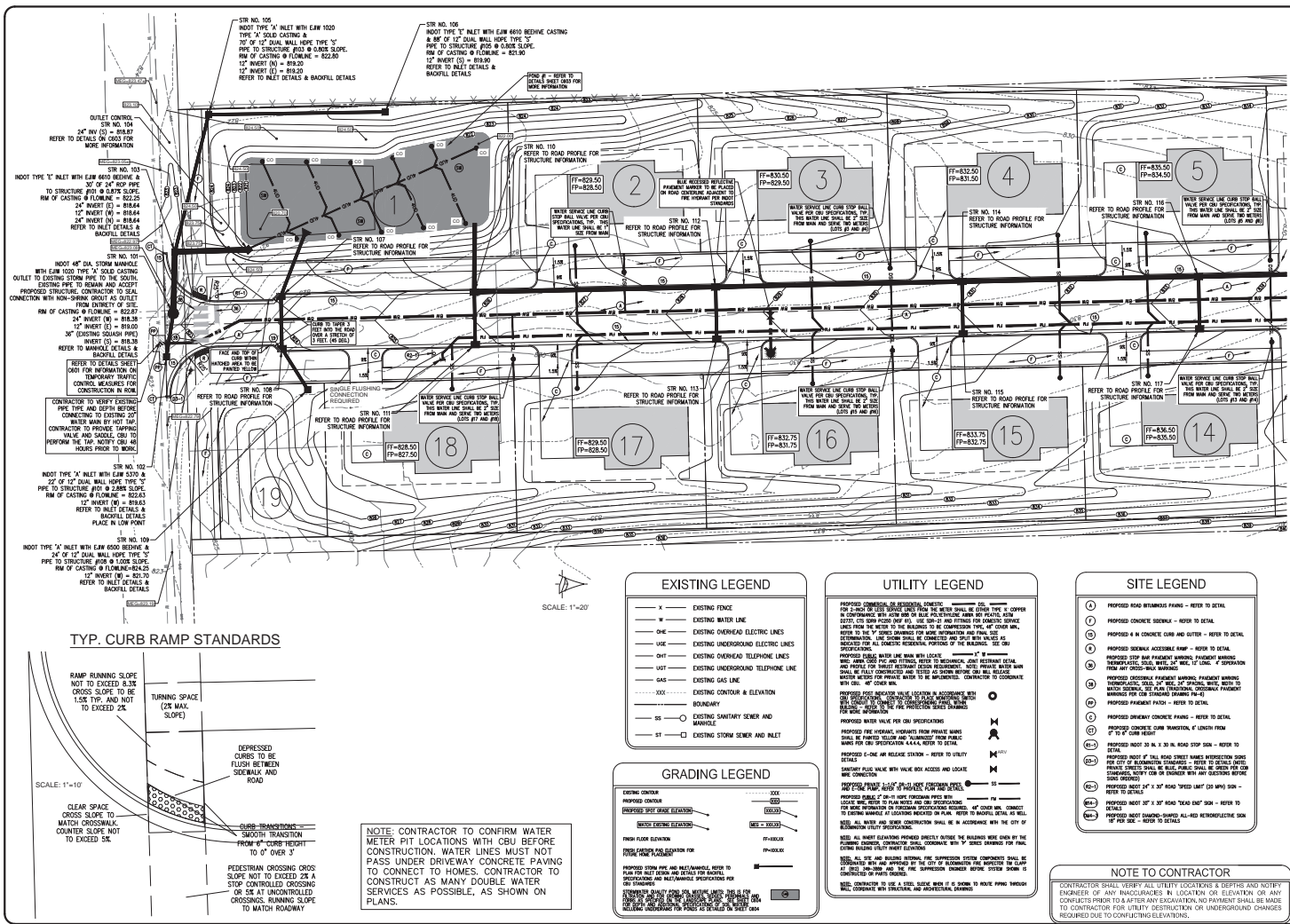
PROPOSED  
BAXTER LANE SUBDIVISION  
4415 E. MOORE'S PIKE  
BLOOMINGTON, IN 47401

designed by: DAS  
drawn by: DAS  
checked by: DUB  
sheet no: C-301  
project no.: 402310

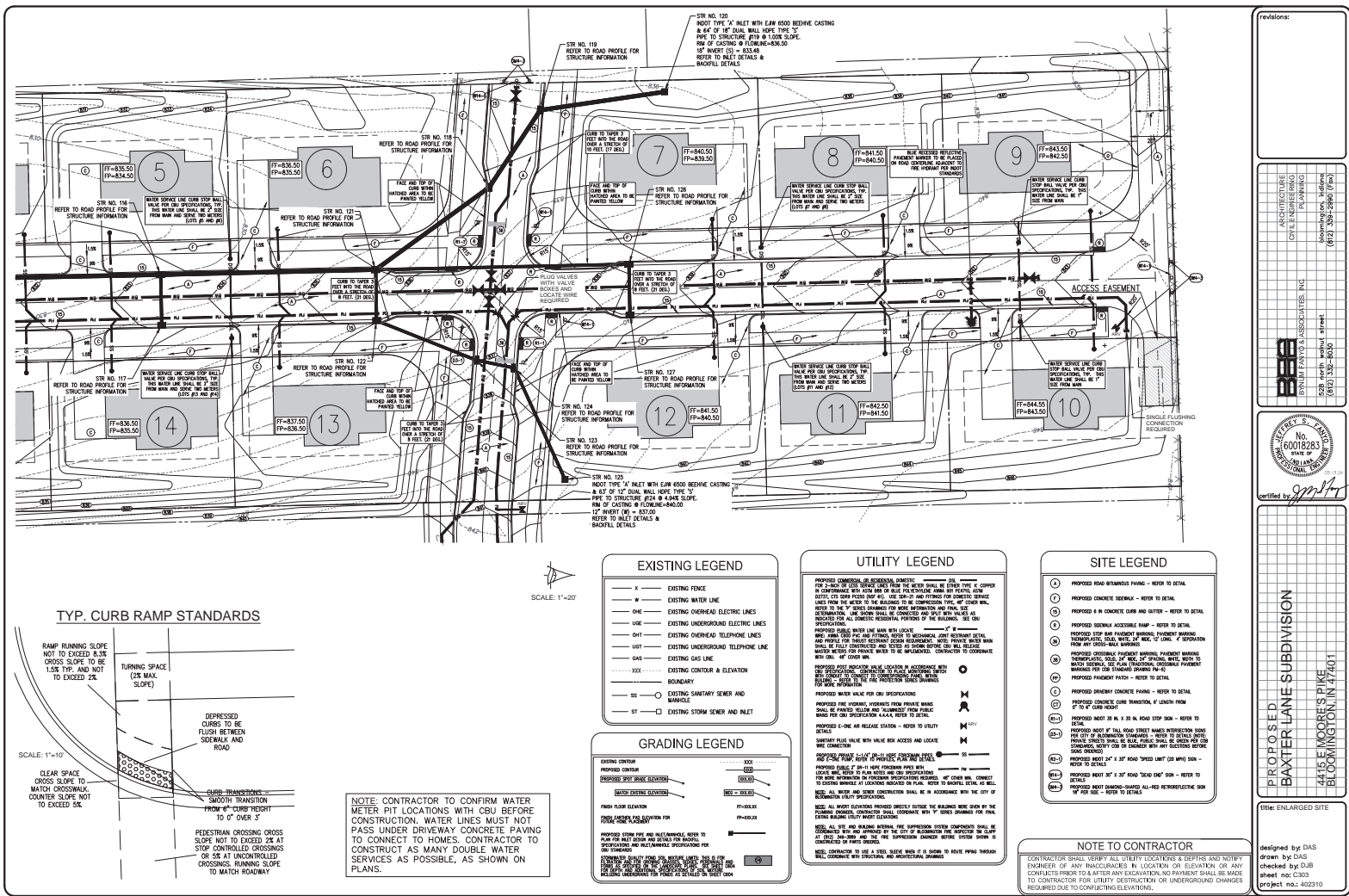
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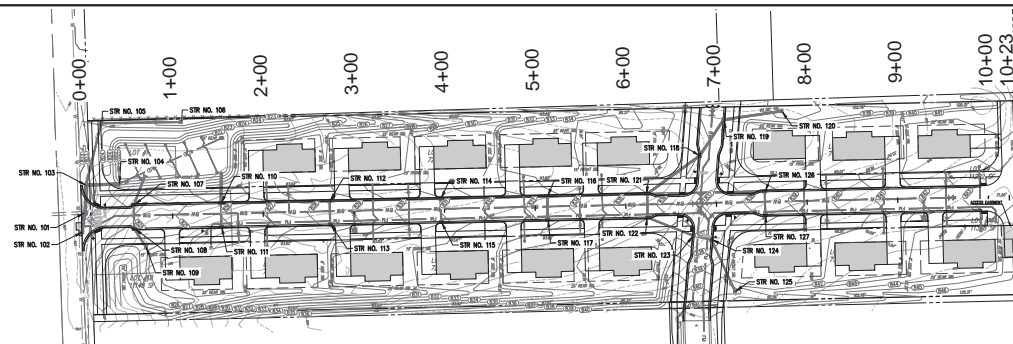
Site: SITE PLAN

designed by: DAS  
drawn by: DAS  
checked by: DUB  
sheet no: C-301  
project no.: 402310

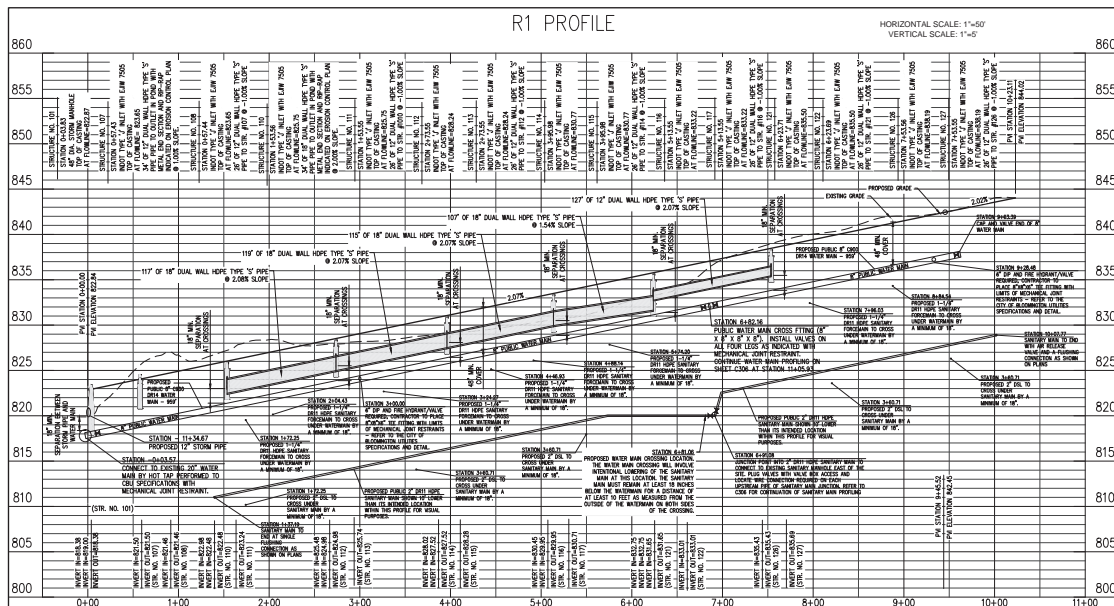








SCALE: 1"=50'



## PROFILE NOTE

THIS NEW WATER MAIN REQUIRES MECHANICAL JOINT RESTRAINTS, USAGES, MEASURES OR APPROVED EQUIVAL - REFER TO THE CITY OF BLOOMINGTON FILTERED INFORMATION AND MECHANICAL JOINT RESTRAINT DETAIL ON SHEET 603 FOR MORE INFORMATION AND DESIGN CRITERIA/REQUIRED USAGES LIMITS

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revisions:

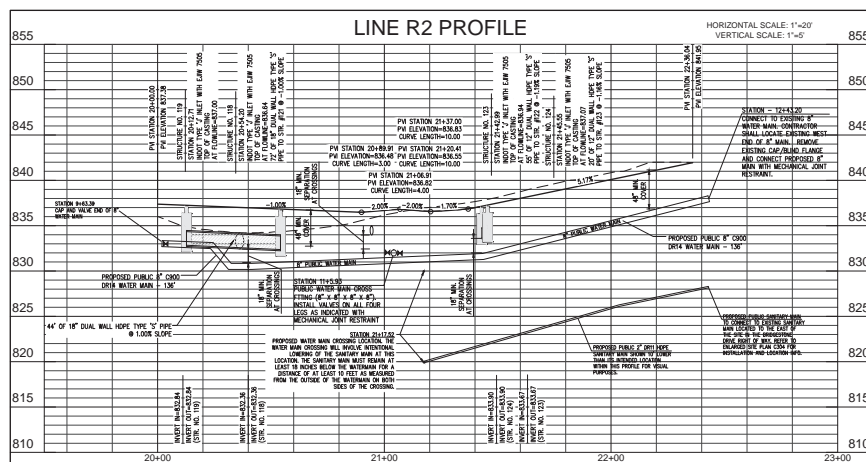
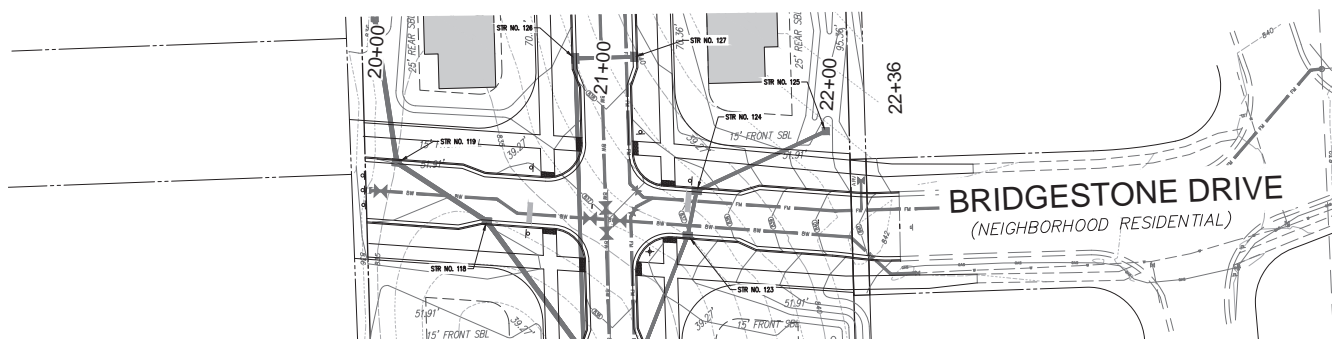
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OTIS ENGINEERING  
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Bloomington, Indiana  
(812) 332-2800 (FAX)



PROPOSED  
BAXTER LANE SUBDIVISION  
4415 MOORE'S PIKE  
BLOOMINGTON, IN 47401

DATE: RT PLAN AND  
PROFILE

designed by: DAS  
drawn by: DAS  
checked by: DUB  
sheet no: C305  
project no: 402310



#### PROFILE NOTE

THIS NEW WATER MAIN REQUIRES MECHANICAL JOINT RESTRAINTS (USAG, MEDALLO OR APPROVED EQUAL) - REFER TO THE CITY OF BLOOMINGTON UTILITIES SPECIFICATIONS AND MECHANICAL JOINT RESTRAINT DETAIL ON SHEET C-01 FOR MORE INFORMATION AND DESIGN CRITERIA/REQUIRED USAGE LIMITS.



SCALE: 1"=20'

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revisions:

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designed by: DAS  
drawn by: DAS  
checked by: DUB  
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project no: 402910





