

CITY OF BLOOMINGTON



PLAT COMMITTEE

December 8, 2025, 4:00 P.M.
Kelly Conference Room #155
Hybrid Zoom Link:

<https://bloomington.zoom.us/j/86714253039?pwd=SXJ2bmNwRFhLeVZSRW44TVl0T3hZUT09>

Meeting ID: 867 1425 3039

Passcode: 064896

CITY OF BLOOMINGTON
PLAT COMMITTEE
December 8, 2025 at 4:00 p.m.

401 N. Morton Street, City Hall
Kelly Conference Room #155

HYBRID MEETING:

<https://bloomington.zoom.us/j/86714253039?pwd=SXJ2bmNwRFhLeVZSRW44TVI0T3hZUT09>

Meeting ID: 867 1425 3039

Password: 064896

PETITION MAP: <https://bton.in/G6BiA>

ROLL CALL

MINUTES TO BE APPROVED: October 6, 2025

REPORTS, RESOLUTIONS, AND COMMUNICATIONS:

PETITIONS CONTINUED:

DP-12-25/ SUB2025-04-0044

Robert V. Shaw

3515, 3518, 3522, and 3526 N Hackberry Street
Parcel(s): 53-05-20-200-013.042-005, 53-05-20-200-013.043-005, 53-05-20-200-013.025-005, 53-05-20-200-013.026-005, 53-05-20-200-013.024-005, 53-05-20-200-013.023-005

Request: Secondary plat amendment of the Ridgefield Subdivision Section V Phase I. Case Manager: Jackie Scanlan

PETITIONS:

DP-45-24-PLAT2024-11-0041

Wininger Construction

Parcel: 53-08-10-111-002.200-009

1534 S. Piazza Drive

Request: Secondary plat approval for a three-lot subdivision of 0.12 acres of Lot #201 in Renwick Phase 3 in a Planned Unit Development (PUD) zoning district.

Case Manager: Eric Greulich

**Next Meeting Date: December 8, 2025

Updated: 12/5/2025

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact the **Melissa Hirtzel** at hirtzelm@bloomington.in.gov and provide your name, contact information, and a link to or description of the document or web page you are having problems with

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or e-mail human.rights@bloomington.in.gov.

Plat Committee Members

- Kendall Knoke (Appointed by City Engineer) – Current term: 01/01/2025 – 01/01/2026
- Bryan Blake (Appointed by Utilities Department) – Current term: 01/01/2025-01/01/2026
- Jillian Kinzie (Appointed by Plan Commission) – Current term: 01/01/2025 – 01/01/2026

****Next Meeting Date: December 8, 2025**

Updated: 12/5/2025

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BLOOMINGTON PLAT COMMITTEE
STAFF REPORT – Third hearing
Location: 1534 S. Piazza Drive

CASE #: DP-45-24 / PLAT2024-11-0041
DATE: December 8, 2025

PETITIONER: Wininger Construction, Inc.
4801 S. Abington Avenue, Bloomington, IN

CONSULTANTS: Smith Design Group, Inc.
1467 W. Arlington Road, Bloomington, IN

REQUEST: An amendment to the plat of Renwick Phase 3, Section 1 to adjust the location of lot lines for Lots #201 and #200 and a three-lot subdivision of Lot #201 in a Planned Unit Development (PUD) zoning district.

BACKGROUND:

Area:	0.12 acre
Current Zoning:	Planned Unit Development
Comp Plan Designation:	Neighborhood Residential
Existing Land Use:	Undeveloped
Proposed Land Use:	Live/Work units
Surrounding Uses:	North – Multi family residences West – Multi family residences (Townhomes) East – Mixed Use South – Multi-family (Apartments and Townhomes)

REPORT UPDATE: At the second hearing the petition was continued to give an opportunity to analyze road infrastructure questions within adjacent sections of the Renwick PUD. After reviewing with the Legal Department, it was determined that any deficiencies with existing infrastructure that was associated with previous phases of the Renwick PUD should be handled independently of this proposed petition. Therefore there have not been any changes with this current petition and it is being presented again with the same information and overall proposal.

REPORT: The petition site is located in the Renwick Planned Unit Development approved in 2004 (PUD-53-03). The preliminary plat for this area was approved under PUD-22-05 and a final plat for this area was approved as Phase 3, Section 2 under PUD-27-08. Final plan approval for Phase 3 of the PUD was given under PUD-38-07. The petition site of Lot 201 is 0.12 acre, but also involves an adjustment of Lot #200. This site is part of the larger 80 acre Renwick Planned Unit Development located in the southeast part of town and this location is part of the area designated as the Village Center within Phase 3 of the PUD.

The petitioner proposes to subdivide Lot #201 into three lots to accommodate live/work units that were outlined in the Planned Unit Development final plan. The petitioner received a subdivision approval (DP-05-19) for a similar request, however that plat was not recorded and has expired. This current petition is similar to the previously approved petition, however this petition only incorporates one lot rather than the two lots previously approved. The proposed lots will be zero lot line developments for one building with (3) live/work units. Live/work units are approved uses within the original PUD. The lower level of the structures will have approximately 350 square feet of life/work space, half bath to accommodate clients, and two parking spaces. The upper levels will be a 1,630 square foot, two bedroom living space. The proposed design is for garages to be

located underneath the units and accessed from the rear through a private drive. No drivecuts are proposed or approved on Piazza Drive. Lot #201 does not have frontage on any public streets and no right-of-way dedication is required.

The petition also involves rotating the lot line between Lot #201 and #200 approximately 7' to the north to center it in the drainage and pedestrian easement. There is an 8' drainage and pedestrian easement that runs between the two lots that would not be altered.

20.06.060(c)(3)(D) SECONDARY PLAT REVIEW: The Plan Commission or Plat Committee shall review the secondary subdivision petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria):

20.06.040(d)(6)(B) General Compliance Criteria

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

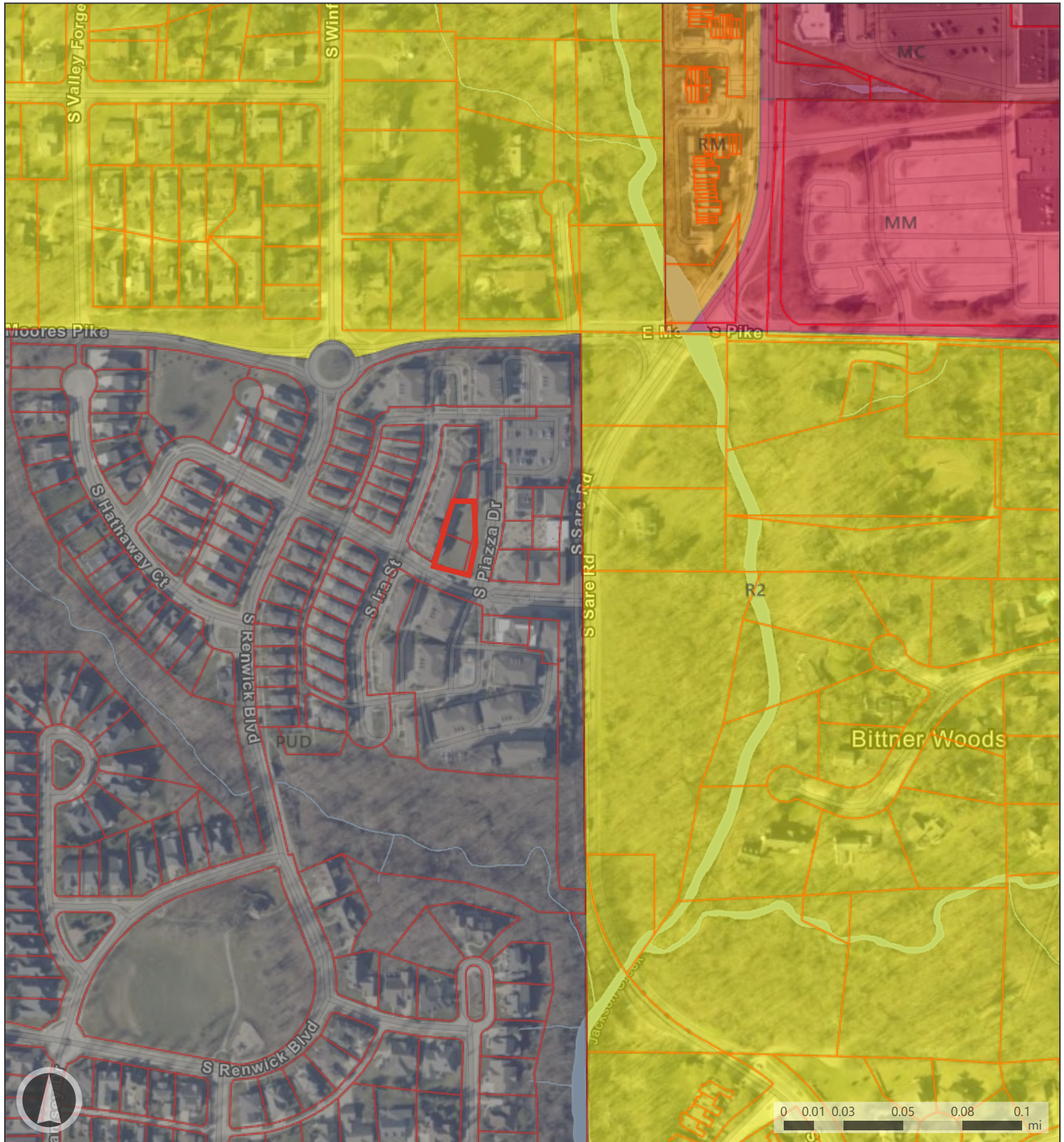
PROPOSED FINDING: There were no minimum lot size requirements within the PUD for the live/work units and these buildings were identified within the PUD for this use. The layout of lots within this phase is consistent with the approved final plan approved with the Planned Unit Development. Approval from the City of Bloomington Utilities Department is required prior to the issuance of any building permits. The approval is consistent with the approved PUD final plan and the final plat approved for this phase.

PLAT REVIEW: The proposed subdivision is following the design standards of the approved final plan and preliminary plat for the Renwick Planned Unit Development. There were no standards outlined in the PUD for the creation of the individual live/work units and is similar to other zero lot line units that have been created within the PUD. Common open space was established within the PUD as a whole and is not required with this subdivision. The proposed lots are accessed from a private internal street that is already platted with an access easement.

CONCLUSION: This development meets requirements established by the UDO and Renwick Planned Unit Development.

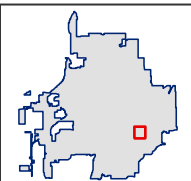
RECOMMENDATION: The Planning and Transportation Department recommends that the Plat Committee adopt the proposed findings and approve the secondary plat with the following condition of approval:

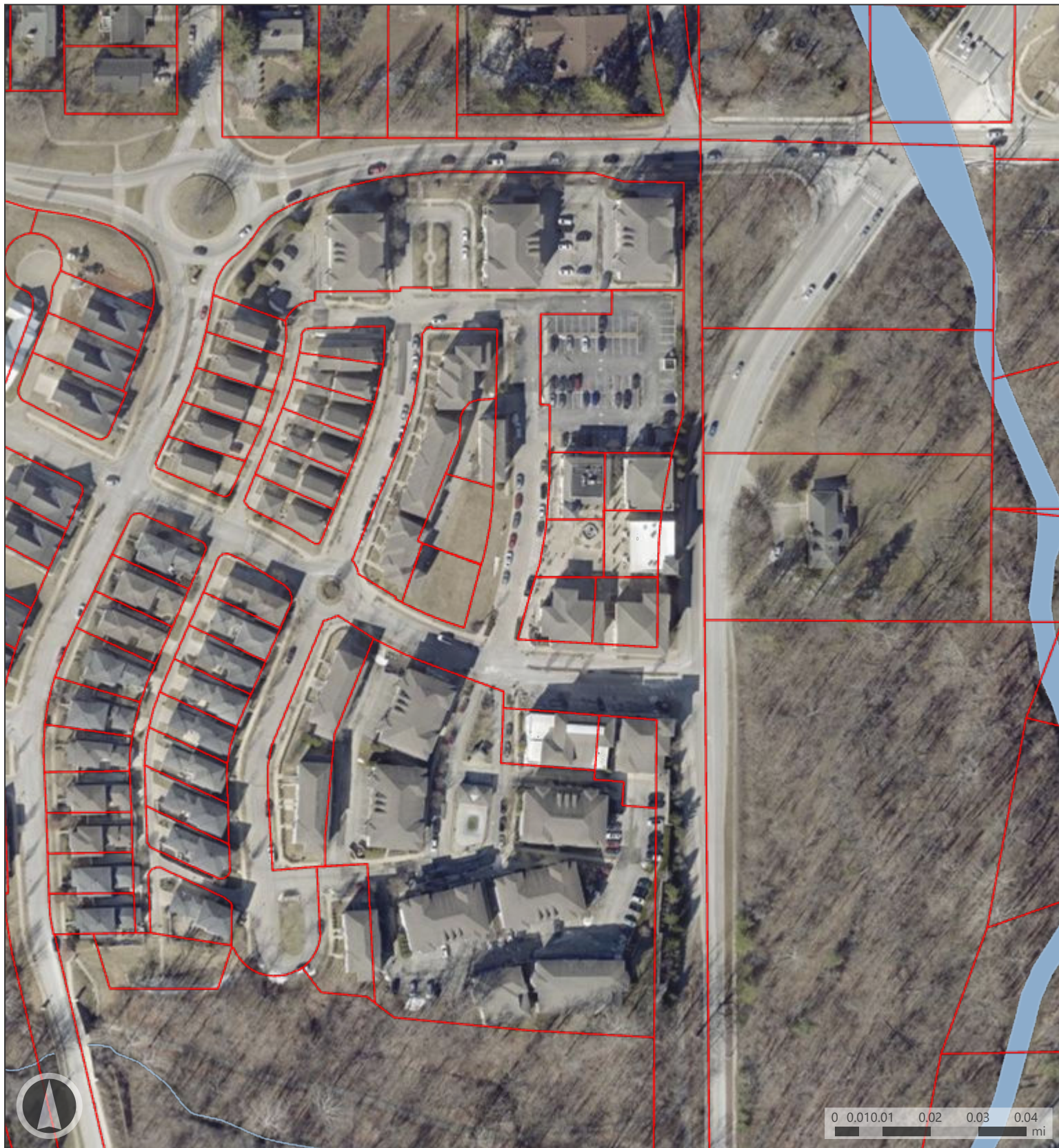
1. Approved per terms and conditions of the Renwick final plan approval issued under PUD-38-07, preliminary plat approval issued under PUD-22-05, and final plat approved under PUD-27-08.



Map Legend

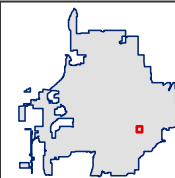
- | | | |
|--------------------------|-------------------------|--------------------------------|
| Mixed-Use Corridor | Residential Medium Lot | Waterlines |
| Mixed-Use Medium-Scale | Residential Multifamily | Waterbodies |
| Planned Unit Development | Parcels | Bloomington Municipal Boundary |





Map Legend

-  Parcels
-  Waterbodies
-  Waterlines
-  Bloomington Municipal Boundary





Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder

August 15, 2025

Eric Greulich
City of Bloomington Planning Department
401 N. Morton Street
Bloomington, IN. 47404

Re: Renwick Secondary Plat Phase VI

Dear Eric,

On behalf of our client, Winger Construction, Inc, we respectfully request to be placed on the October 2025 Plat Committee agenda for consideration of Secondary Plat approval for Renwick Phase VI Lot 201.

The subject property is located at the NW corner of E Cathcart Street and S Piazza Drive within the Renwick neighborhood adjacent to the Village Center.

The purpose of this secondary plat is to further subdivide Lots 201 to create a total of 3 zero lot line live/work units. The new lots would consist of Lot 212-214. No substantial deviations have been made from the Phase III Final Plan and Preliminary plat approved in Fall of 2007.

Included with the submission are documents necessary for review of this petition. Should you have any questions concerning our application, please contact me.

Sincerely,

Katherine E. Stein, PE
Vice President
Smith Design Group, Inc.
kstein@smithdginc.com

LEGEND

- CHIZELED "X"
REBAR
MAG NAIL

M	MEASURED	P.D.G.	POSSIBLE DEED GAP
P	PLATTED	B.G.	BELOW GRADE
R	RECORD	A.G.	ABOVE GRADE
FRB	FOUND REBAR	R.V.M.	RIGHT OF WAY MONUMENT
FRB	SET REBAR	B.S.L.	BUILDING SETBACK LINE
FRB	FOUND IRON PIPE	S.S.E.	SANITARY SEWER EASEMENT
FRB	FOUND RAILROAD SPIKE	U.E.	UTILITY EASEMENT
FMAG	FOUND MAG NAIL	D.E.	DRAINAGE EASEMENT
SMAG	SET MAG NAIL	D & U.E.	DRAINAGE AND UTILITY EASEMENT
B.C.	BUILDING CORNER	A.E.	ACCESS EASEMENT
FND	FOUND	A.G. & U.E.	ACCESS DRAINAGE AND UTILITY EASEMENT
P.D.O.	POSSIBLE DEED OVERLAP		

ZONING INFORMATION

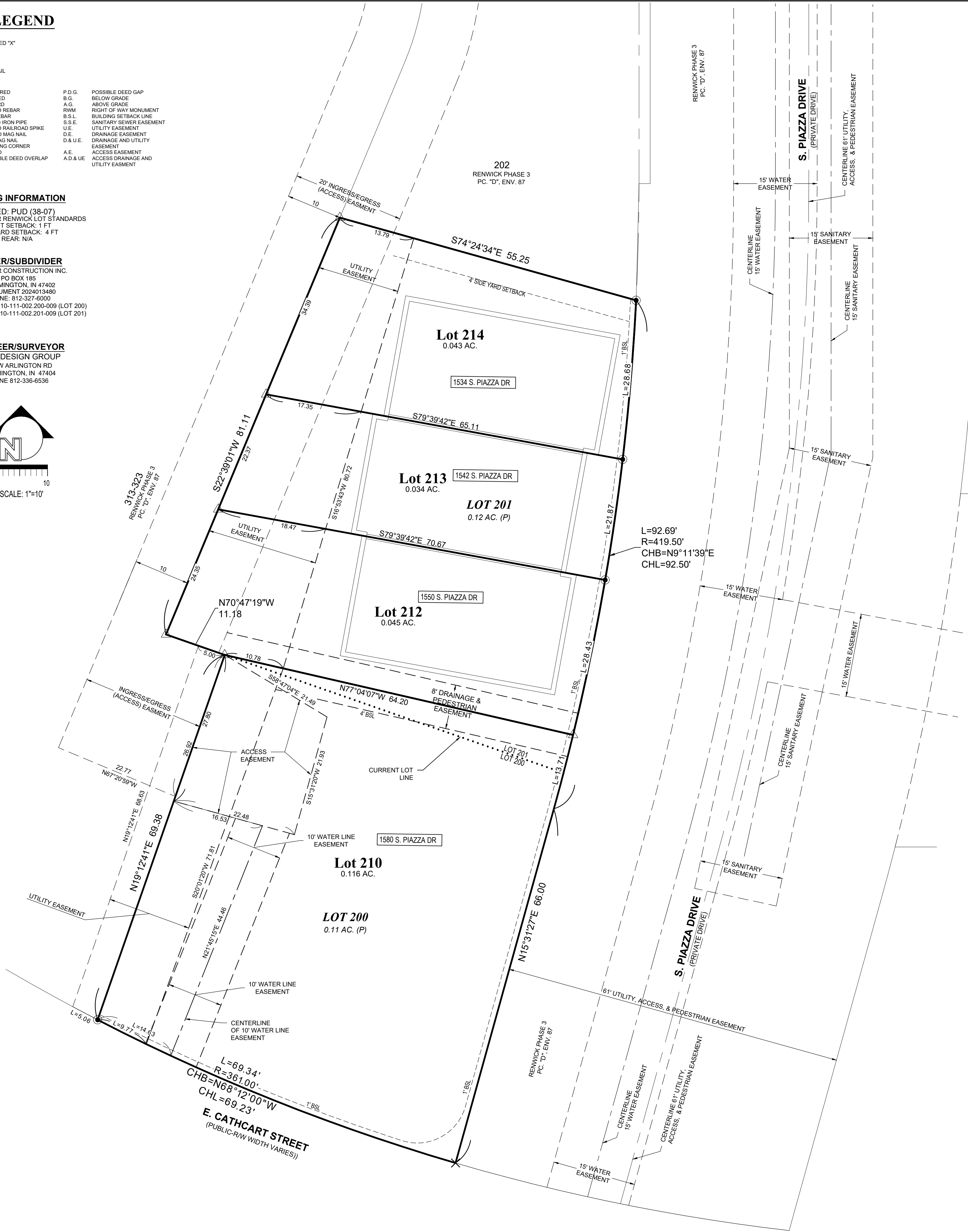
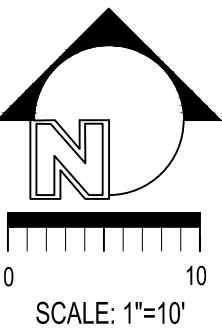
ZONED: PUD (38-07)
SETBACKS: PER RENWICK LOT STANDARDS
FRONT SETBACK: 1 FT
SIDE YARD SETBACK: 4 FT
REAR: N/A

OWNER/SUBDIVIDER

WININGER CONSTRUCTION INC.
PO BOX 185
BLOOMINGTON, IN 47402
INSTRUMENT 2024013480
PHONE: 812-327-6000
PARCELS: 53-08-10-111-002-200-009 (LOT 200)
53-08-10-111-002-201-009 (LOT 201)

ENGINEER/SURVEYOR

SMITH DESIGN GROUP
1467 W ARLINGTON RD
BLOOMINGTON, IN 47404
PHONE 812-336-6536



EASEMENT NOTES

WATERLINE EASEMENT (WE)

- (A) SHALL ALLOW THE OWNER OF LOT 211 EXCLUSIVE ACCESS FOR INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF POTABLE WATER FACILITIES.
(B) ENCROACHMENT BY OTHER UTILITIES IS PROHIBITED, UNLESS SUCH ENCROACHMENT IS APPROVED BY THE OWNER OF LOT 211.
(C) TREES AND STRUCTURES INCLUDING, BUT NOT LIMITED TO, BUILDINGS, FENCES, RETAINING WALLS, SIGNS, AND LIGHT FIXTURES, SHALL NOT BE LOCATED WITHIN WATERLINE EASEMENTS.
(D) GRADING ACTIVITY SHALL BE PROHIBITED WITHIN WATERLINE EASEMENTS WITHOUT WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT.

DRAINAGE EASEMENT (DE)

- (A) SHALL BE REQUIRED FOR ANY SURFACE SWALES OR OTHER MINOR DRAINAGE IMPROVEMENTS THAT ARE INTENDED TO SERVE THE LOTS ON WHICH THEY ARE LOCATED.
(B) SHALL PROHIBIT ANY ALTERATION WITHIN THE EASEMENT THAT WOULD HINDER OR REDIRECT FLOW.
(C) SHALL PROVIDE THAT THE OWNER OF THE LOT ON WHICH THE EASEMENT IS PLACED SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FEATURES WITHIN SUCH EASEMENT.
(D) SHALL BE ENFORCEABLE BY THE CITY UTILITIES DEPARTMENT AND BY OWNERS OF PROPERTIES THAT ARE ADVERSELY AFFECTED BY CONDITIONS WITHIN THE EASEMENT.
(E) SHALL ALLOW THE CITY UTILITIES DEPARTMENT TO ENTER UPON THE EASEMENT FOR THE PURPOSE OF MAINTENANCE, TO CHARGE THE COSTS OF SUCH MAINTENANCE TO THE RESPONSIBLE PARTIES, TO CONSTRUCT DRAINAGE FACILITIES WITHIN THE EASEMENT, AND TO ASSUME RESPONSIBILITY FOR THE DRAINAGE FEATURES AT ITS DISCRETION.

PEDESTRIAN EASEMENT (PE)

- (A) GRANTS THE GENERAL PUBLIC THE RIGHT TO ACCESS THE PEDESTRIAN EASEMENT FOR PURPOSES OF WALKING, RUNNING, BICYCLING, SKATING, OR USING SMALL MOTORIZED AND NON-MOTORIZED VEHICLES APPROVED BY THE CITY.
(B) GRANTS THE CITY THE RIGHT TO CONSTRUCT, ALTER, REPAIR, MAINTAIN, OR REMOVE IMPROVEMENTS WITHIN THE EASEMENT AREA.
(C) PROHIBITS THE PLACEMENT OF ANY OBSTRUCTION WITHIN THE PEDESTRIAN EASEMENT.

ACCESS EASEMENT (AE)

AN EASEMENT OF VARIABLE WIDTH AS SHOWN ON THE PLAT, DEDICATED TO THE GENERAL PUBLIC AND EMERGENCY SERVICE PROVIDERS THAT:

- (A) GRANTS THE GENERAL PUBLIC THE RIGHT TO ACCESS THE EASEMENT FOR PURPOSES OF WALKING, RUNNING, BICYCLING, SKATING, OR UTILIZING CERTAIN CLASSES OF NONMOTORIZED VEHICLES.
(B) GRANTS PRIVATE AND PUBLIC EMERGENCY SERVICE PROVIDERS AND FIRST RESPONDERS THE RIGHT TO ACCESS THE EASEMENT WITH MOTORIZED VEHICLES FOR EMERGENCY SERVICE PURPOSES.
(C) PROHIBITS THE PLACEMENT OF ANY OBSTRUCTION WITHIN THE EASEMENT WHICH WOULD PRECLUDE MOTORIZED VEHICLE ACCESS WITHIN THE ACCESS EASEMENT.

UTILITY EASEMENT (UE)

AN EASEMENT OF VARIABLE WIDTH AS SHOWN ON THE PLAT, DEDICATED TO THE GENERAL PUBLIC AND EMERGENCY SERVICE PROVIDERS THAT:

- (A) SHALL ALLOW BOTH PRIVATE AND PUBLIC UTILITY PROVIDERS ACCESS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF UTILITY FACILITIES.
(B) PROHIBITS THE PLACEMENT OF ANY UNAUTHORIZED OBSTRUCTION WITHIN THE EASEMENT AREA UNLESS AUTHORIZED BY THE CITY UTILITIES DEPARTMENT AND THE EASEMENT HOLDER(S).

GENERAL NOTES:

1. BASED UPON A SCALED INTERPRETATION OF THE FLOOD INSURANCE RATE MAP 18105CU163D FOR MONROE COUNTY, INDIANA, DATED DECEMBER 17, 2010, THE SUBJECT PROPERTY IS LOCATED WITHIN (UNSHADED) ZONE X.
2. BASIS OF BEARING OF THIS PLAT IS THE PLAT BEARINGS FOR RENWICK PHASE 3 AS RECORDED IN THE PLAT THEREOF N17°00'01"W 2008017267, PLAT CABINET D, ENVELOPE 87 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.
3. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE LABELED.
4. THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE BOUND BY ANY AND ALL EASEMENTS OR RESTRICTIONS OF RECORD.
5. NO EXPANSION OR IMPROVEMENTS ARE PERMITTED WITHOUT SITE PLAN APPROVAL. ANY SITE MODIFICATIONS WILL REQUIRE FULL COMPLIANCE MEETING THE CITY OF BLOOMINGTON UDO REQUIREMENTS AND SITE PLAN APPROVAL.

ADDRESS TABLE

LOT NUMBER	ADDRESS
210	1580 SOUTH PIAZZA DRIVE
212	1550 SOUTH PIAZZA DRIVE
213	1542 SOUTH PIAZZA DRIVE
214	1534 SOUTH PIAZZA DRIVE

OWNER CERTIFICATION

THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF CHARTER, EASEMENTS, COVENANTS, AND RESTRICTIONS FOR THE RESIDENTIAL NEIGHBORHOOD, DATED OCTOBER 27, 2005 AND RECORDED AS INSTRUMENT NUMBER 2005021761 AND RE-RECORDED AS INSTRUMENT NUMBER 2008005793 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE MASTER DEED RESTRICTIONS, DATED APRIL 8, 2008 AND RECORDED AS INSTRUMENT NUMBER 2008005796 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF CHARTER, EASEMENTS, COVENANTS, AND RESTRICTIONS FOR THE VILLAGE CENTER, DATED OCTOBER 17, 2008 AND RECORDED AS INSTRUMENT NUMBER 2008017265 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

THE UNDERSIGNED, THOMAS R. WININGER, PRESIDENT OF WININGER CONSTRUCTION INC., OWNER OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY LAYOFF, PLAT AND SUBDIVIDE THE SAME INTO PARCELS IN ACCORDANCE WITH THIS PLAT. THE WITHIN PLAT SHALL BE KNOWN AS RENWICK PHASE III, SECTION 1, PLAT AMENDMENT 1 TO LOTS 200 & 201.

THERE ARE STRIPS OF GROUND SHOWN ON THE PLAT AND MARKED "EASEMENT". BUILDINGS OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR MAINTAINED IN THESE STRIPS.

THERE ARE BUILDING SETBACKS LINES ESTABLISHED BY THIS PLAT. BUILDINGS OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR MAINTAINED BETWEEN SAID LINES AND THE PROPERTY LINES.

WITNESS OUR HANDS THIS _____ DAY OF _____, 2025.

THOMAS R WININGER, PRESIDENT
WININGER CONSTRUCTION INC.

STATE OF INDIANA

COUNTY OF MONROE

BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF INDIANA AND _____ COUNTY, PERSONALLY APPEARED THOMAS R. WININGER, PERSONALLY KNOWN TO ME TO BE THE PRESIDENT OF WININGER CONSTRUCTION INC. AND BEING THE OWNER OF THE DESCRIBED REAL ESTATE, AND WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING SUBDIVISION OF THE REAL ESTATE AS SHOWN AS A VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AN NOTARIAL SEAL THIS _____ DAY OF _____, 2025.

MY COMMISSION EXPIRES: _____

_____, NOTARY PUBLIC

A RESIDENT OF _____ COUNTY, _____

PLAT COMMITTEE

UNDER THE AUTHORITY OF INDIANA CODE 36-7-4 700 SERIES, ENACTED BY GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCES ADOPTED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE CITY OF BLOOMINGTON AS FOLLOWS:

PURSUANT TO BLOOMINGTON MUNICIPAL CODE 20.06.060(c)(3)(c)(i)(1), APPROVAL AUTHORITY WAS DELEGATED TO THE PLANNING AND TRANSPORTATION DEPARTMENT BY THE BY THE PLAT COMMITTEE HELD AT ITS HEARING ON _____, 2025.

THE PLANNING AND TRANSPORTATION DEPARTMENT APPROVED THIS SECONDARY PLAT, ON:

DAVID HITTLE, DIRECTOR OF PLANNING AND TRANSPORTATION

LEGAL DESCRIPTION

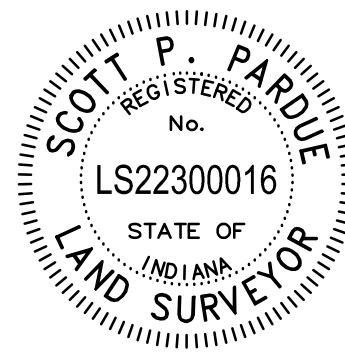
LOTS 200 AND 201 IN RENWICK PHASE III, SECTION 1, FINAL PLAT RECORDED IN THE PLAT CABINET D, ENVELOPE 87 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

SURVEYOR'S CERTIFICATE

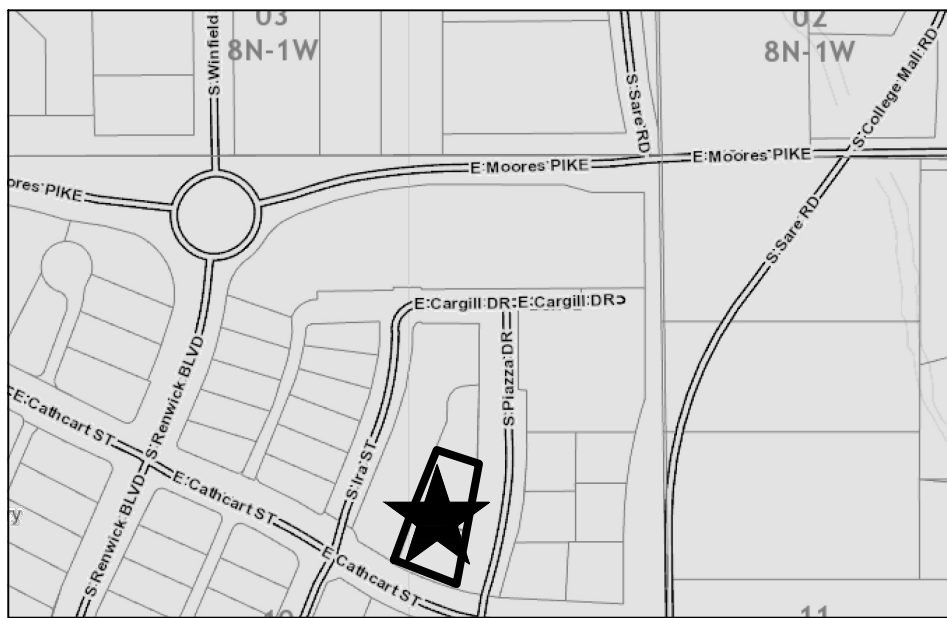
THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 865 IAC 1.12 FOR THE STATE OF INDIANA.

DATED: OCTOBER 23, 2025

SCOTT P. PARDUE
REGISTERED LAND SURVEYOR NO. 22300016
STATE OF INDIANA

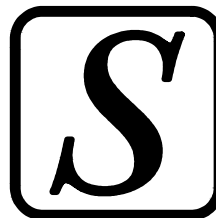


I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. (SCOTT PARDUE)



RENWICK PHASE III, SECTION 1, PLAT
AMENDMENT 1 TO LOTS 200 & 201

SMITH DESIGN GROUP, INC., 1467 W ARLINGTON ROAD, BLOOMINGTON, INDIANA 47404 JOB 7011
PAGE 1/1
Date: October 28, 2025



RENWICK VILLAGE

(NORTH BUILDING)

DRAWING INDEX

GC001 GENERAL PLAN INFORMATION

SB101	FOUNDATION PLAN - 3-UNIT
SB501	STRUCTURAL DETAILS
SF111	SECOND FLOOR FRAMING PLAN - 3-UNIT
SF112	THIRD FLOOR FRAMING PLAN - 3-UNIT
SF113	ROOF FRAMING PLAN - 3-UNIT

AE001	ARCHITECTURAL SYMBOLS & ABBREVIATIONS
AE101	LOWER LEVEL FLOOR PLAN - 3-UNIT
AE102	MAIN LEVEL FLOOR PLAN - 3-UNIT
AE103	UPPER LEVEL FLOOR PLAN - 3-UNIT
AE121	ROOF PLAN - 3-UNIT
AE201	NORTH ELEVATION - 3-UNIT
AE202	SOUTH ELEVATION - 3-UNIT
AE203	EAST AND WEST ELEVATIONS
AE301	BUILDING SECTION
AE302	BUILDING SECTIONS AND DETAILS
AE303	BUILDING DETAILS
AE401	ENLARGED FLOOR PLANS
AE402	ENLARGED FLOOR PLANS
AE501	EIFS DETAILS
AE502	EIFS DETAILS
AE503	ASPHALT SHINGLE DETAILS

BUILDING REQUIREMENTS

- Building Use Type: Townhouse
- Construction Type: VB
- Floor Construction Including Beams: 0 Rating
- Interconnected Smoke Alarm System provided within each townhouse
- Unit Separations: (2) - 1hr rated walls between each unit
- Structurally independent framing provided
- Occupant Load (200 Sq. Ft. per person)
 - Each Dwelling @ 200 Gross

3-UNIT Building

Unit A: 11
Unit B: 11
Unit C: 11

3-UNIT Building Total Occupants = 33
3-UNIT Building Total Area: 7,722 SF

3-UNIT BUILDING DATA	
Unit 'A' First Floor:	859 SF
Unit 'A' Second Floor:	859 SF
Unit 'A' Third Floor:	859 SF
Total Unit:	2,106 SF
Unit 'B' First Floor:	856 SF
Unit 'B' Second Floor:	856 SF
Unit 'B' Third Floor:	856 SF
Total Unit:	2,568 SF
Unit 'C' First Floor:	859 SF
Unit 'C' Second Floor:	859 SF
Unit 'C' Third Floor:	859 SF
Total Unit:	2,106 SF
Total Building Squarefeet:	7,722 SF

PROJECT SUMMARY:
THESE UNITS ARE CONSTRUCTED AS TOWNHOMES PER RULE 4.2 OF THE
RESIDENTIAL CODE R101.
THIS PROJECT CONSISTS OF THREE NEW 3 STORY TOWNHOMES
CONSTRUCTED AS A CLASS II STRUCTURE UNDER THE RESIDENTIAL CODE.

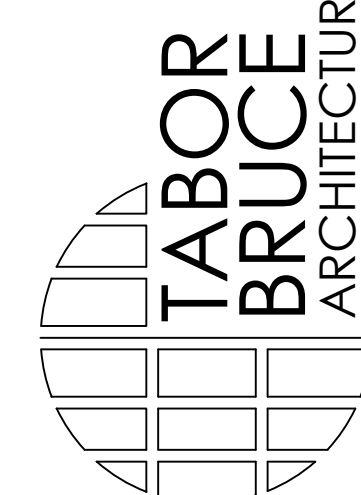
APRIL 2019

CONSTRUCTION DOCUMENTS



SEAL

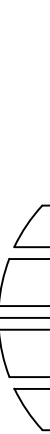
ARCHITECT:




DRUCK
ARCHITECTURE & DESIGN INC.
101 S. WALNUT STREET - BLOOMINGTON, IN. 47401
TELEPHONE: (812) 332-6258 WEB: WWW.TABORBRUCE.COM

LUXURY TOWNHOMES FOR WININGER STOLBERG AT

RENWICK VILLAGE



**TABOR
BRUCE**
ARCHITECTURE & DESIGN INC.
1101 S. WALNUT STREET - BLOOMINGTON, IN. 47401
TELEPHONE: (812) 332-6258 WEB: WWW.TABORBRUCE.COM



REVISIONS

LUXURY TOWNHOMES FOR:

WININGER STOLBERG at RENWICK VILLAGE

(NORTH BUILDING)
SOUTH PLAZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX, 2018
DRAWN BY	
CHECKED BY	D. BRUCE
SHEET NAME	

GENERAL PLAN INFORMATION

SHEET NO.	GC001
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LUXURY TOWNHOMES FOR:

SHEET NO.

SB101

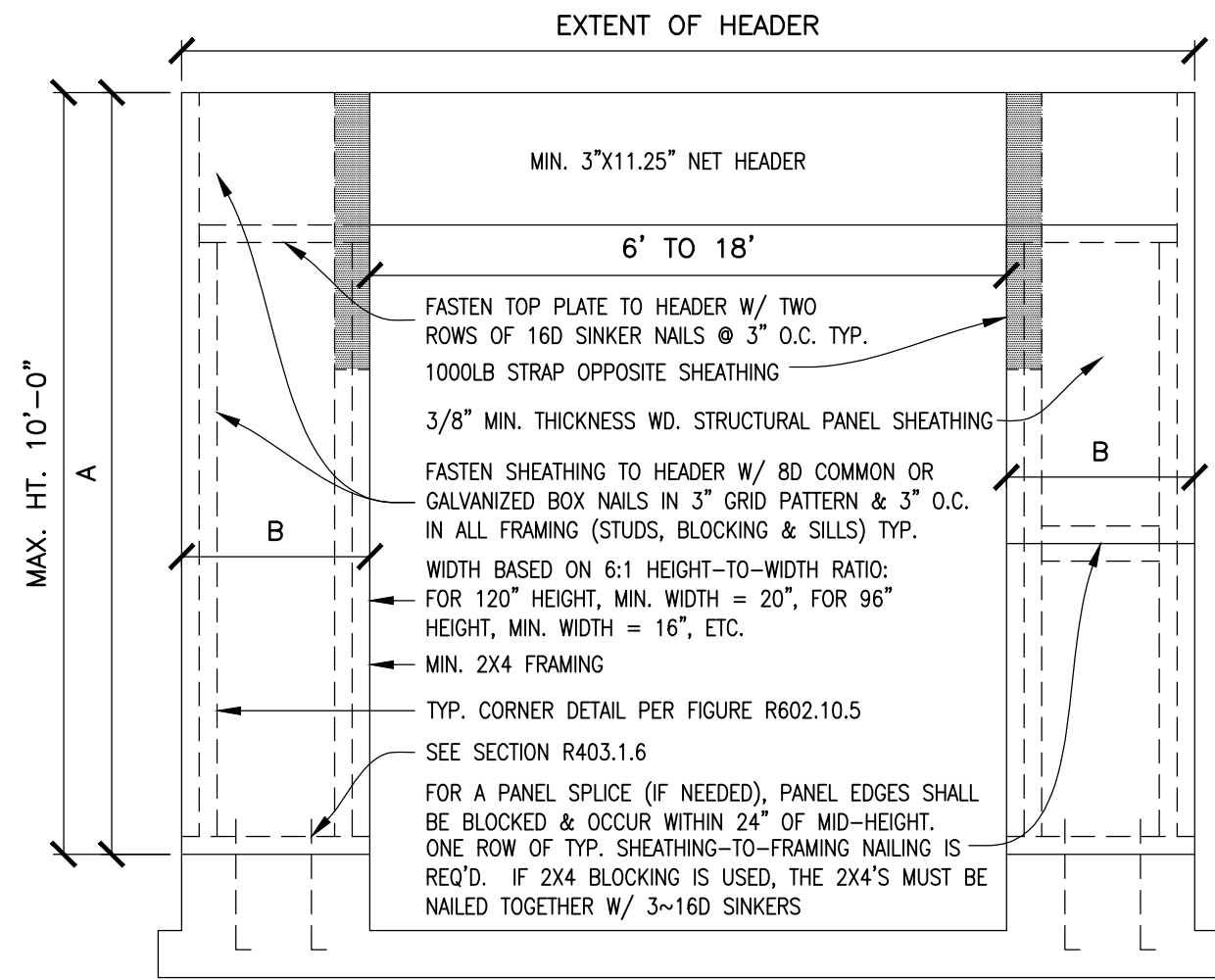
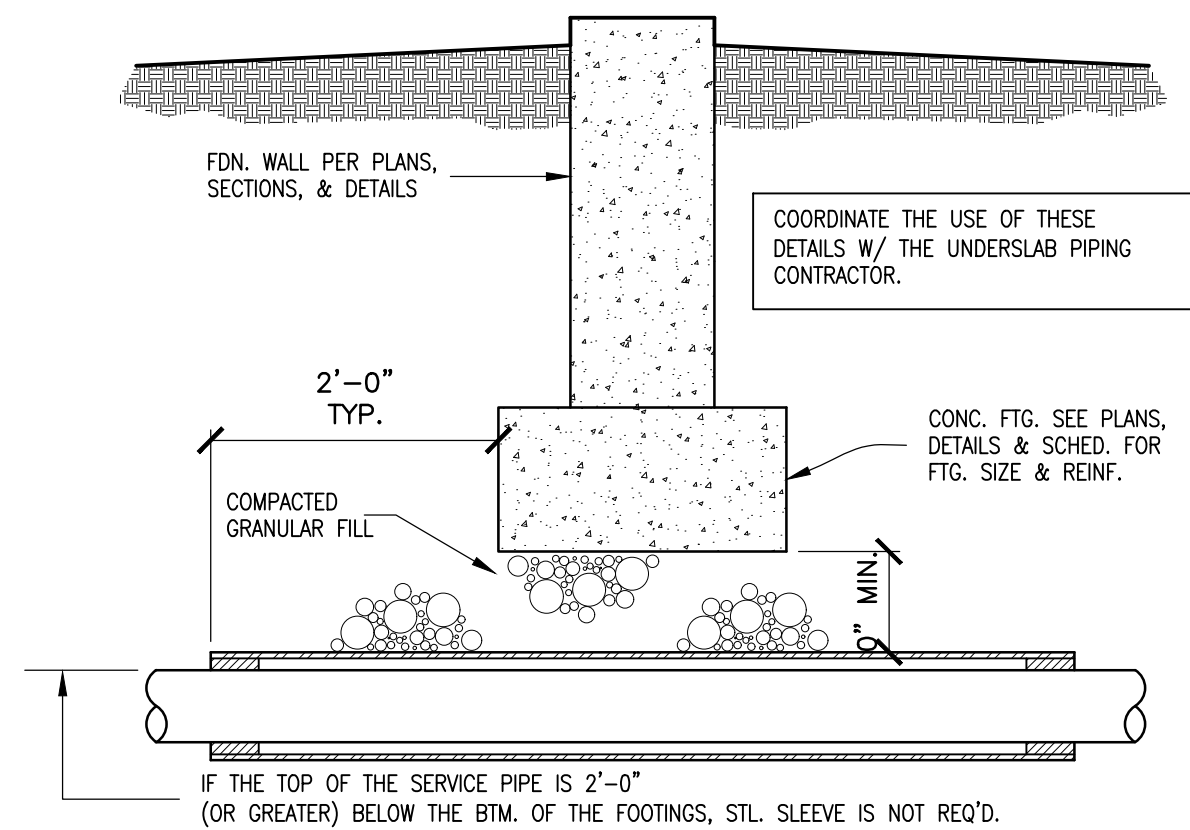


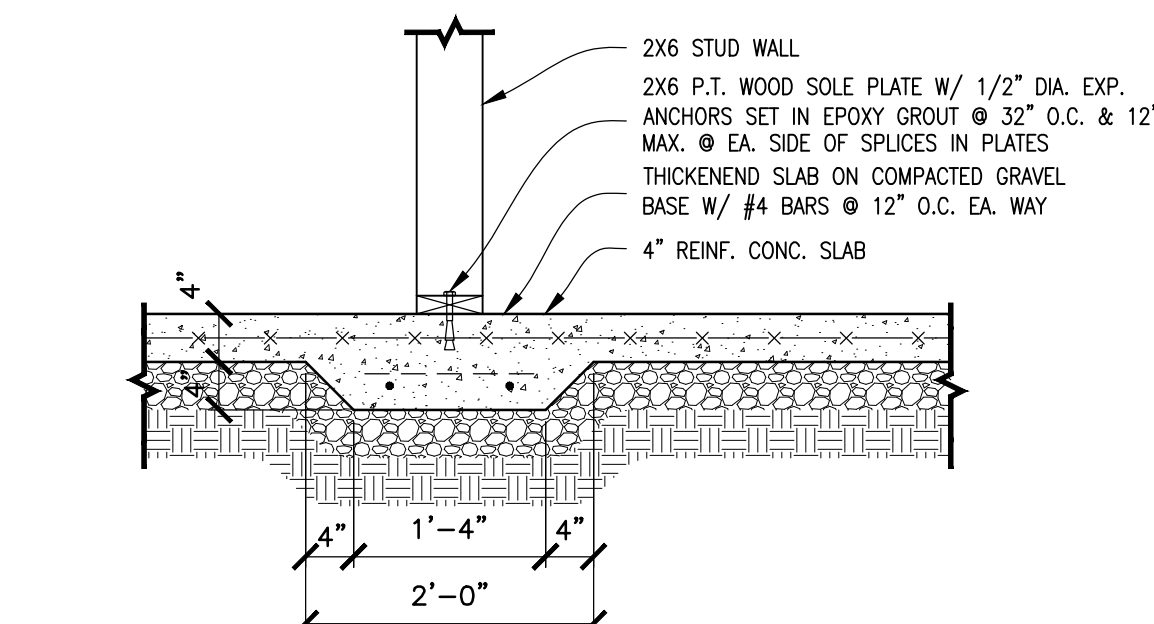
FIGURE R602.10.5(2)

PROVIDE 2\"/>

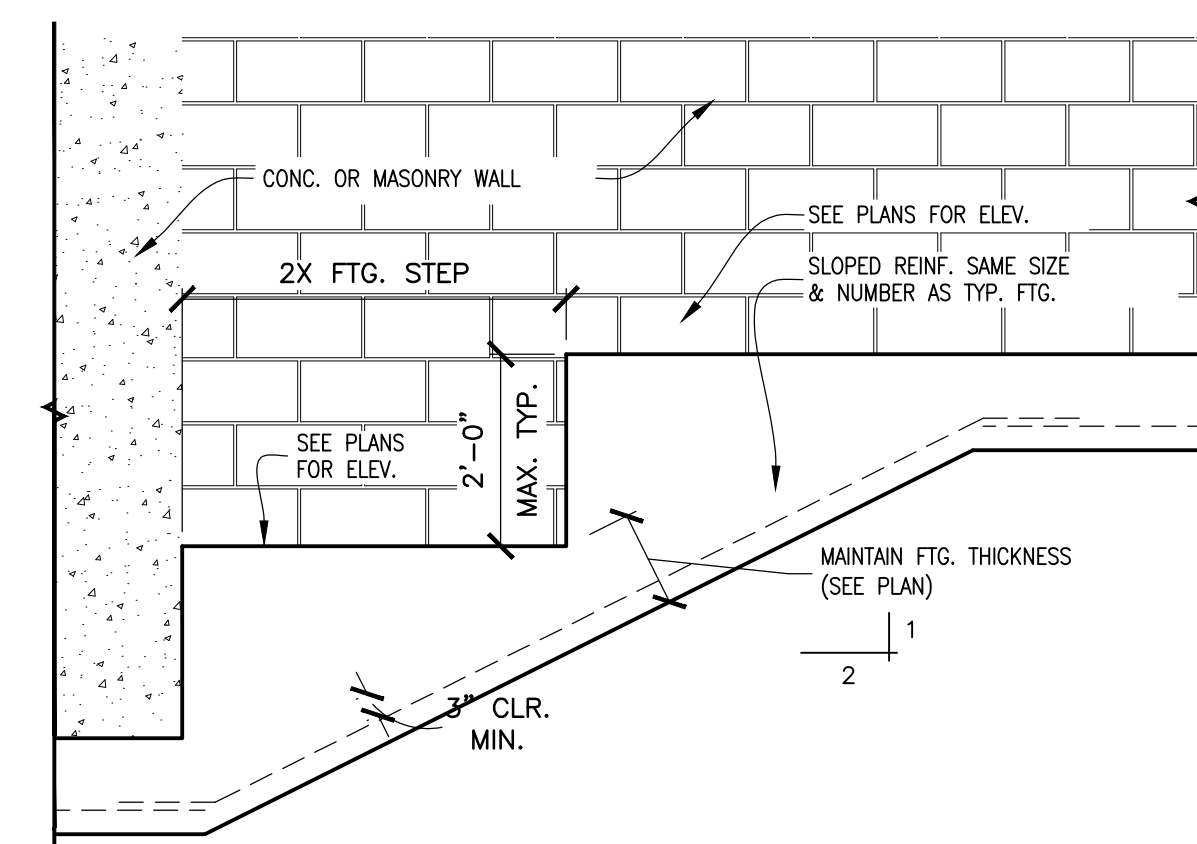
R TYP. GARAGE DOOR PANEL BRACING
NOT TO SCALE



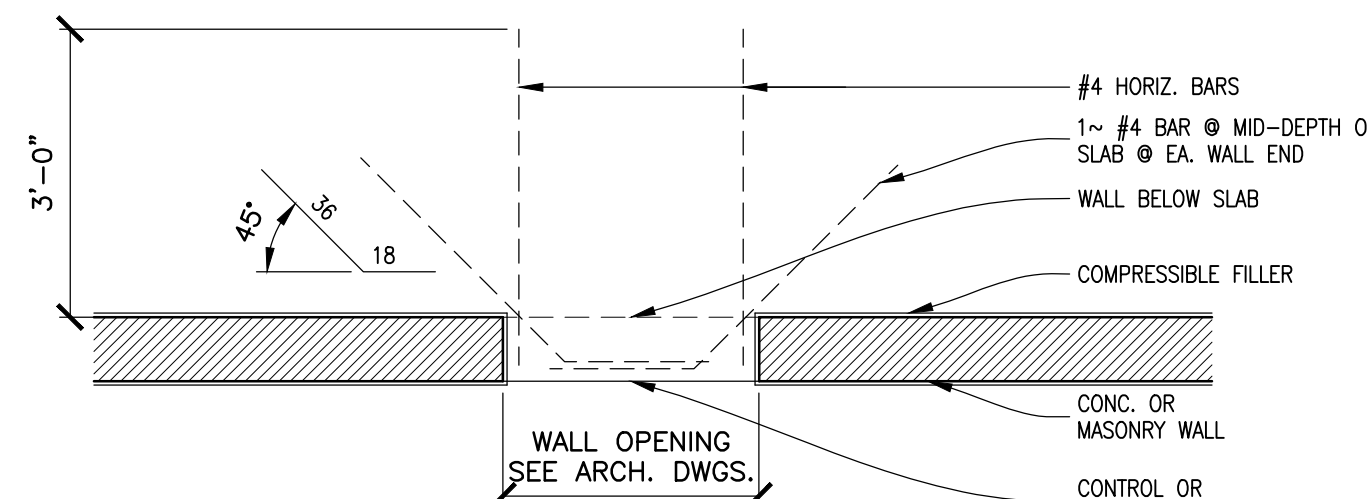
Q TYP. PIPE UNDER CONC. WALL FTG.
3/4\"/>



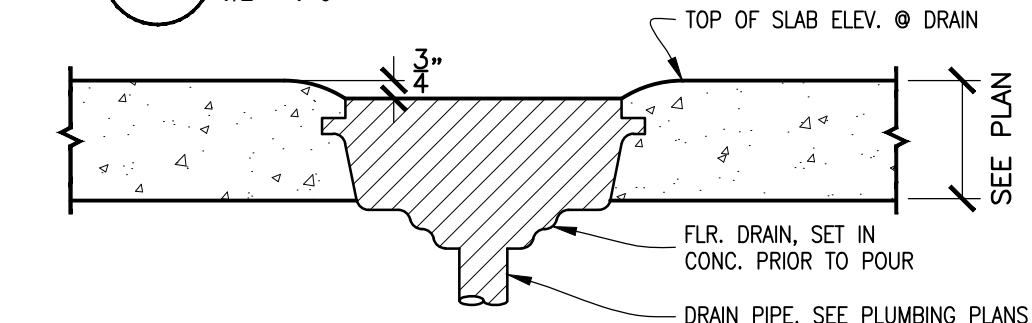
P TYPICAL THICKENED CONC. SLAB
3/4\"/>



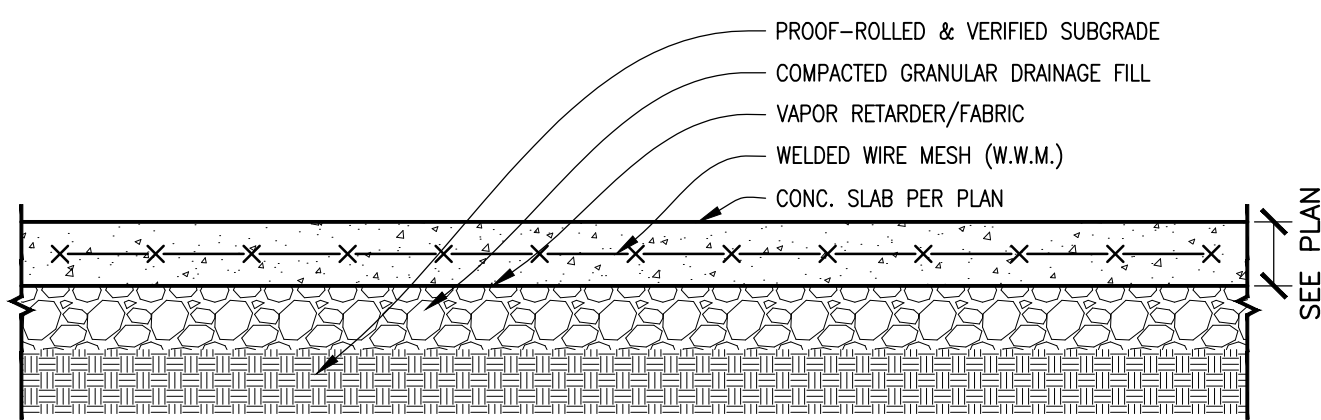
M TYP. STEPPED CONC. WALL FTG.
1/2\"/>



L TYP. SLAB ON GRADE @ OPENINGS
1/2\"/>

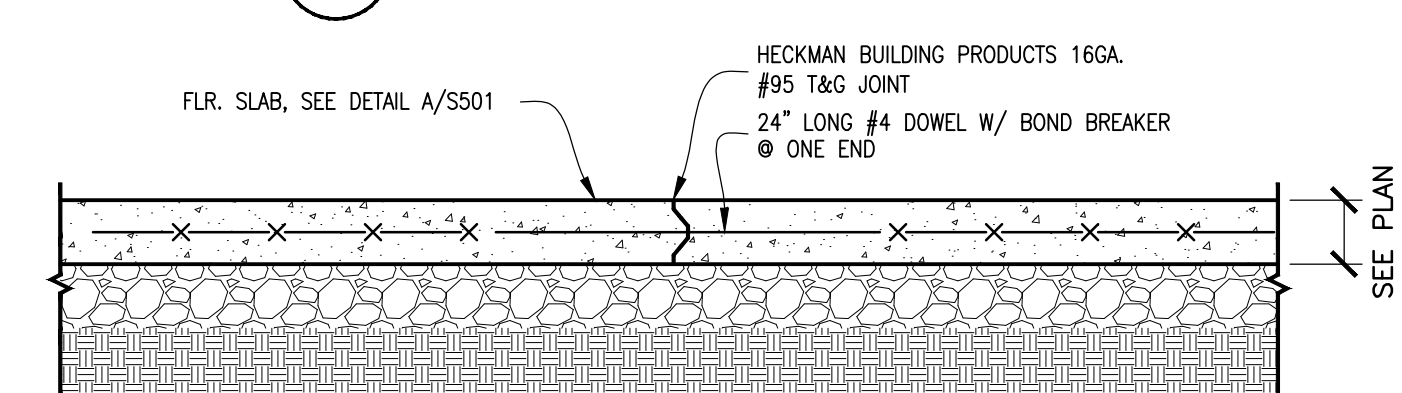


K TYP. FLOOR DRAIN
1 1/2\"/>

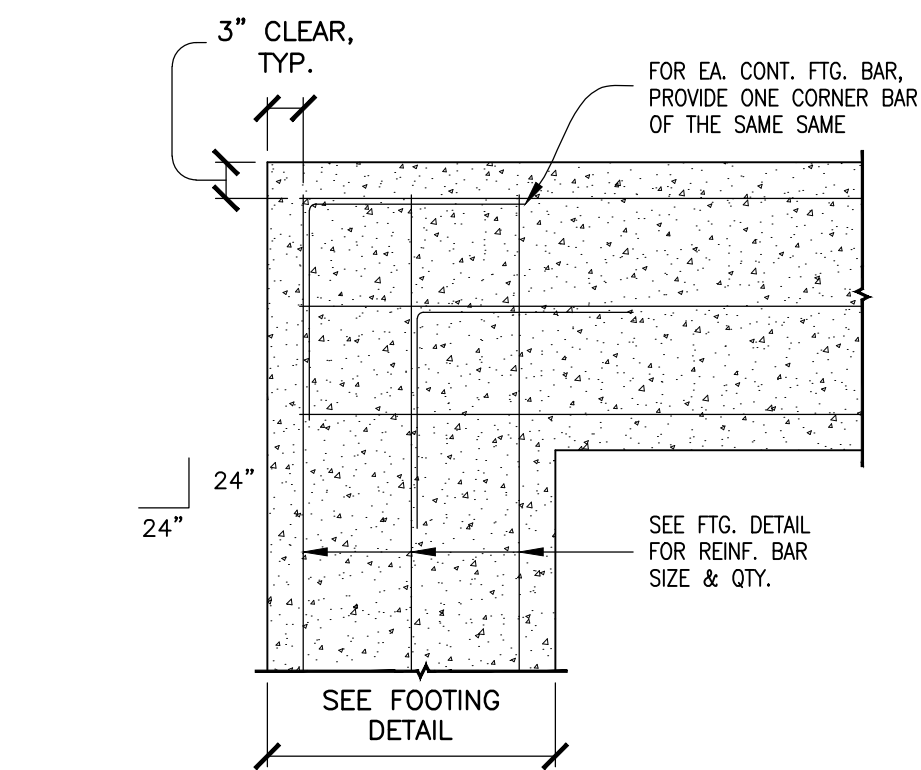


- NOTES:
1. LOC. WELDED WIRE MESH (W.W.M.) IN UPPER THIRD OF SLAB. SUPPORT ON BOLSTERS, CHAIRS, OR CONC. BLOCKS.
 2. LAP WELDED WIRE FABRIC A MIN. OF ONE FULL MESH SPACING.
 3. THE USE OF NYLON OR POLYPROPYLENE FIBER IN LIEU OF WELDED WIRE FABRIC AS A SECONDARY REINF. IS PERMISSIBLE, U.N.O. FIBER MAY NOT BE SUBSTITUTED FOR W.W.F. IN SUPPORTED SLABS.
 4. SEE PLANS, NOTES, AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS SUCH AS FINISH, JOINTING, CURING, ETC.

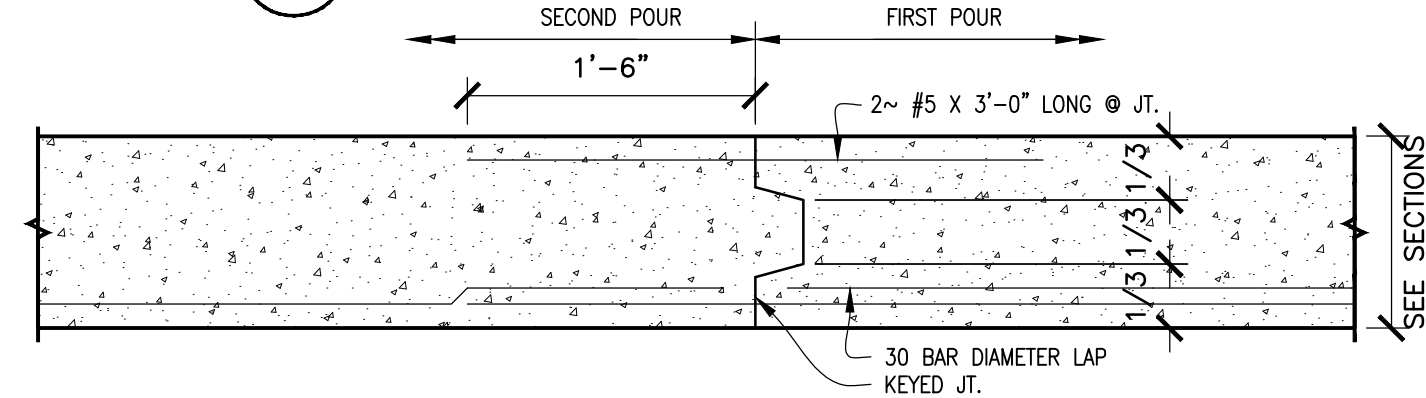
H CONC. SLAB ON GRADE DETAIL
1\"/>



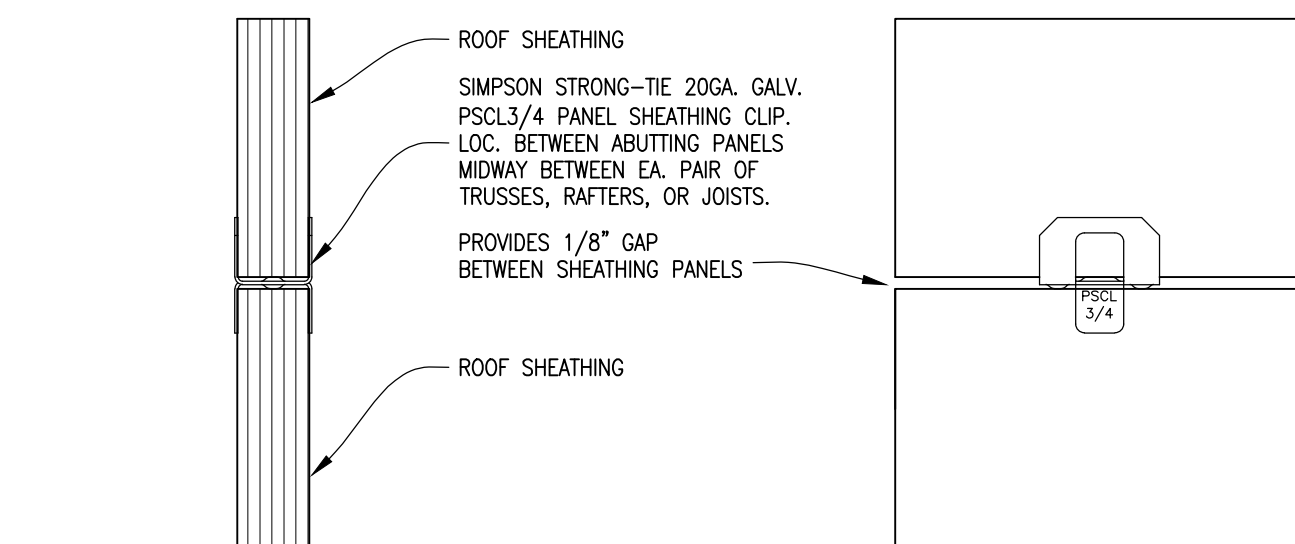
G CONC. SLAB TO SLAB CONTROL/CONTRACTION JOINT
1\"/>



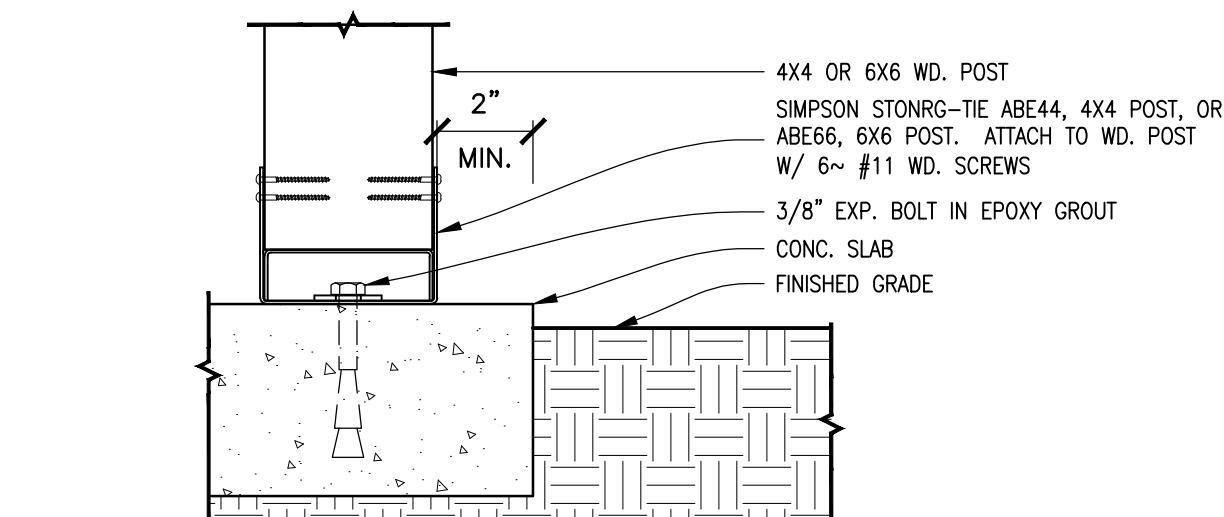
F TYP. CONC. WALL FTG. CORNER
1\"/>



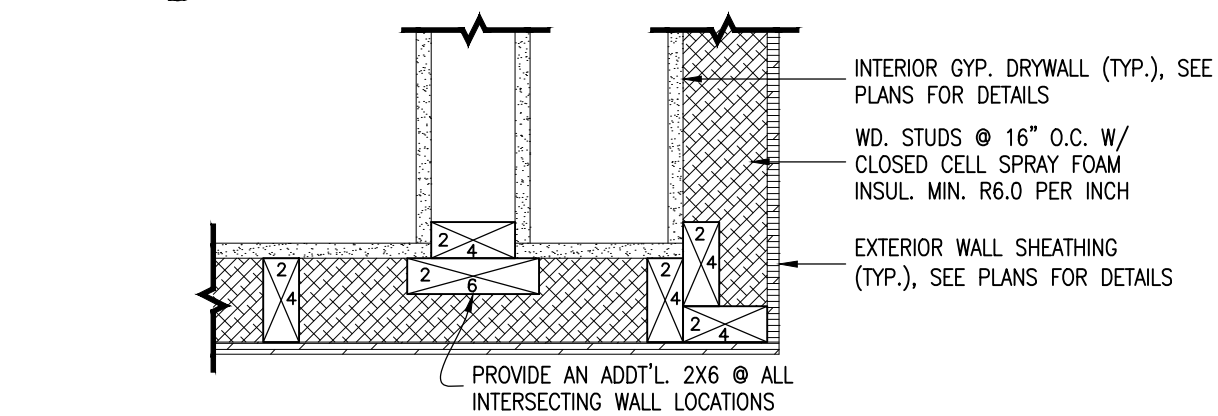
E TYP. CONC. WALL FTG. CONTROL JT.
1\"/>



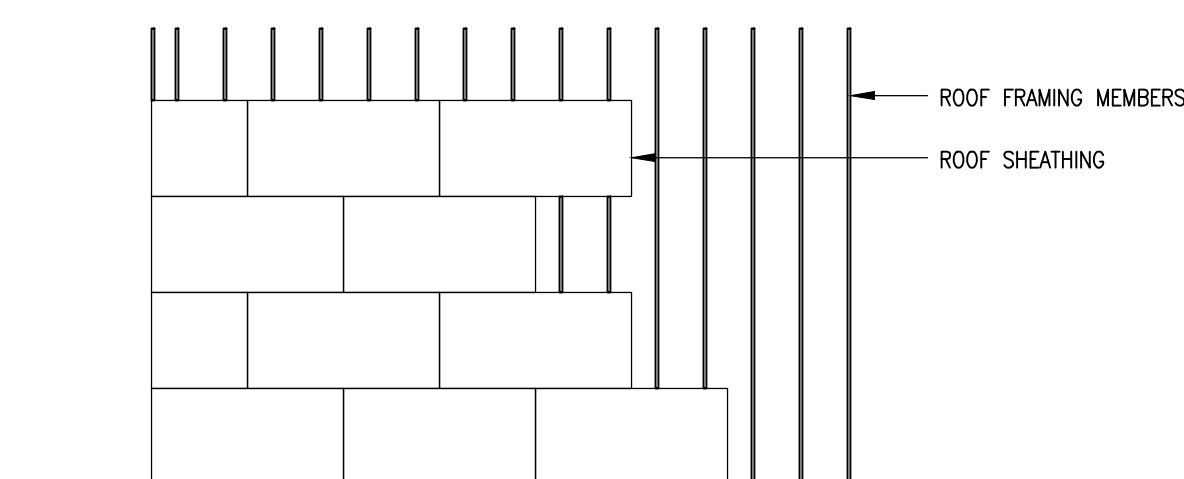
D SIMPSON STRONG-TIE PSCL SHEATHING CLIP
NOT TO SCALE



C SIMPSON STRONG-TIE ABE POST BASE DETAIL
3\"/>



B TYP. WALL FRAMING
1 1/2\"/>



- NOTES:
- PROVIDE PANEL "H" CLIPS @ ALL ROOF SHEATHING UNSUPPORTED EDGES, ONE CLIP PER SPAN.
 - APA PANELS SHALL BE MINIMUM OF TWO SPAN CONT.
 - FASTEN ROOF SHEATHING TO SUPPORTING MEMBER, (JOIST, RAFTER, ETC.) W/ 10d COMMON NAILS W/ 1 1/2\"/>
 - PENETRATION INTO SUPPORTING MEMBER @ 6\"/>
 - ENDS OF ALL PANELS SHALL BEAR A MIN. 1/2\"/>
 - PROVIDE A 1/8\"/>

A ROOF SHEATHING LAYOUT
1/8\"/>



REVISIONS

LUXURY TOWNHOMES FOR:
**WININGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518

DATE XXX. XX. 2018

DRAWN BY D. TALISMA

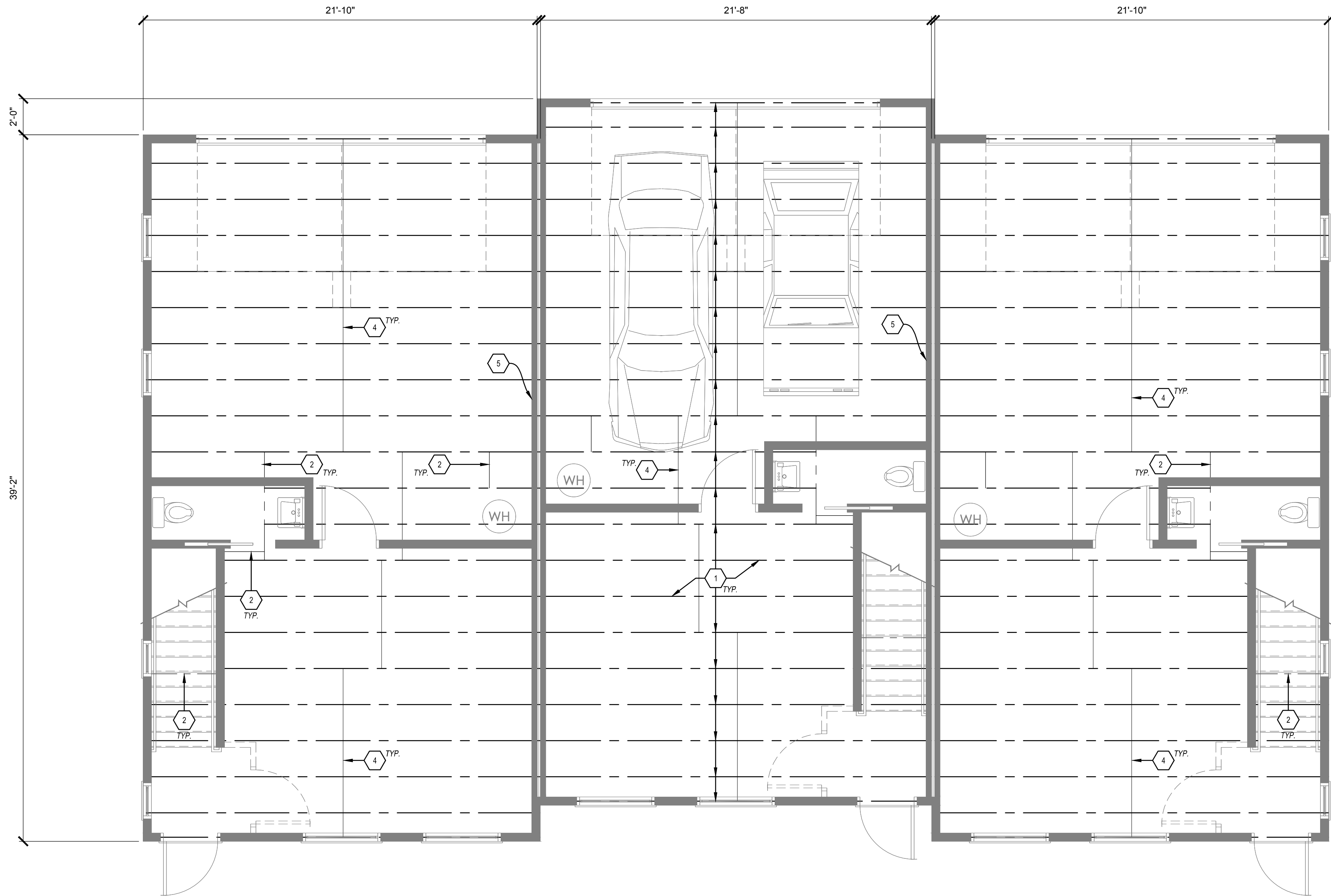
CHECKED BY D. BRUCE

SHEET NAME

STRUCTURAL
DETAILS

SHEET NO.

SB501



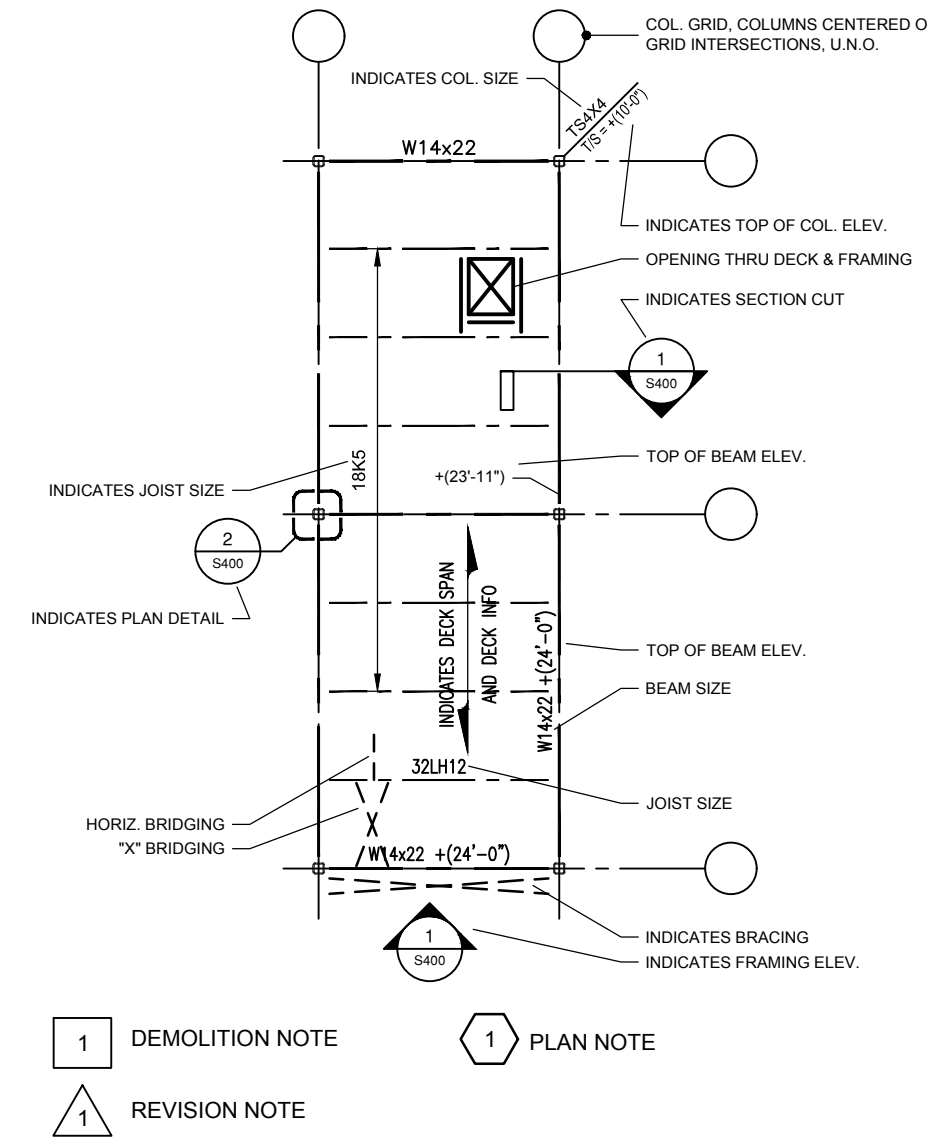
GENERAL NOTES:

- ALL WORK IS TO BE DONE IN ACCORDANCE W/ ALL GOVERNING CODES & REGULATING AGENCIES. THIS PROJECT IS DESIGNED & DOCUMENTED PER THE ARCHITECT'S INTERPRETATION OF THE CODE REQUIREMENTS. VARIOUS GOVERNING AGENCIES SOMETIME INTERPRET THE CODES, LAWS, & ORDINANCES DIFFERENTLY. THESE AGENCIES HAVE JURISDICTION TO REQ'D. CHANGES IN DESIGN & CONSTRUCTION INCLUDING THOSE AGENCIES INVOLVED W/ THE "AMERICANS WITH DISABILITIES ACT".
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- DO NOT SCALE DWG'S. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY & ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
- ALL DOOR OPENINGS SHALL BE LOC. 4" FROM ADJOINING WALL U.N.O.
- FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
- ALL NEW WALLS SHALL BE FINISHED TO MATCH EXIST. SURFACES INCLUDING PRIMER & PAINT.

FRAMING PLAN KEYNOTES:

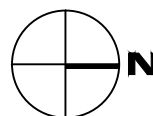
- PRE-ENGINEERED OPEN WEB WOOD FLOOR TRUSSES BY LOCAL TRUSS MANUFACTURER. INSTALL PER MANUFACTURERS INSTRUCTIONS. PROVIDE OPENINGS FOR STAIRS & UTILITY CHASES PER PLANS.
- 3-PLY 5 1/4" X 11 7/8" LVL 950FP 2.0E BEAM. PROVIDE MIN. 3" BRG. @ SIDE WALLS & 6" MIN. BRG. @ STAIR LOCATION. VERIFY LOADING AND SIZE WITH MANUFACTURER.
- 5 1/4"X18" LVL 2560b 2.0E. 16FT MAX. SPAN. PROVIDE 3" MIN. BRG. & PLYWOOD BRACING SHEATHING PER I-2 FAMILY INDIANA RESIDENTIAL CODE R602.10.5.
- PROVIDE SOLID WOOD BLOCKING AT CENTER SPAN OF FLOOR JOIST FRAMING
- (2)- 1 HOUR WALL FRAMING TYPICAL EACH UNIT

SYMBOLS LEGEND



1 SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"



REVISIONS

LUXURY TOWNHOMES FOR:
WININGER STOLBERG
at RENWICK VILLAGE
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518

DATE XXX. XX, 2018

DRAWN BY D. TALISMA

CHECKED BY D. BRUCE

SHEET NAME

SECOND FLOOR
FRAMING PLAN

SHEET NO.

SF111



- ALL WORK IS TO BE DONE IN ACCORDANCE W/ ALL GOVERNING CODES & REGULATING AGENCIES. THIS PROJECT IS DESIGNED & DOCUMENTED PER THE ARCHITECT'S INTERPRETATION OF THE CODE REQUIREMENTS. VARIOUS GOVERNING AGENCIES SOMETIME INTERPRET THE CODES, LAWS, & ORDINANCES DIFFERENTLY. THESE AGENCIES HAVE JURISDICTION TO REQ'D. CHANGES IN DESIGN & CONSTRUCTION INCLUDING THOSE AGENCIES INVOLVED W/ THE "AMERICANS WITH DISABILITIES ACT".
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1	PRE-ENGINEERED OPEN WEB WOOD FLOOR TRUSSES BY LOCAL TRUSS MANUFACTURER. INSTALL PER MANUFACTURERS INSTRUCTIONS. PROVIDE OPENINGS FOR STAIRS & UTILITY CHASSES PER PLANS.
2	3-PLY 5 1/4" X 11 7/8" LVL #505F 2.0E BEAM. PROVIDE MIN. 3" BARGE AND WALLS & 6" MIN. BARGE @ STAIR LOCATION. VERIFY LOADING AND SIZE WITH MANUFACTURER.
3	5 1/4"X18" LVL #250b 2.0E, 16FT MAX. SPAN. PROVIDE 3" MIN. BARGE & PLYWOOD BRACING SHEATHING PER 1-2 FAMILY INDIANA RESIDENTIAL CODE REQ2.10.5.
4	PROVIDE SOLID WOOD FLOORING AT CENTER SPAN OF FLOOR JOIST FRAMING
5	(2) 1 HOUR WALL FRAMING TYPICAL EACH UNIT

[illegible]

 REVISIONS

LUXURY TOWNHOMES FOR:

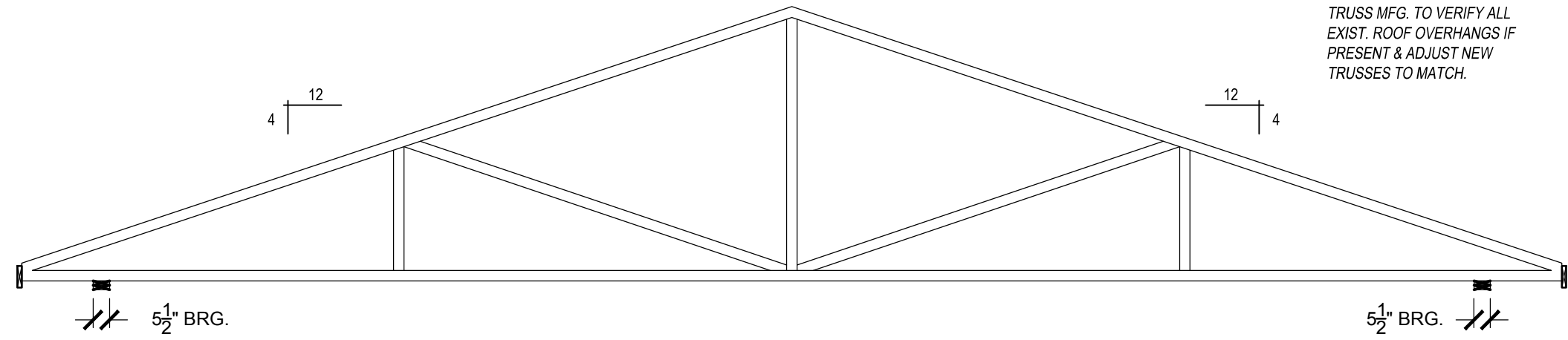
WININGER STOLBERG
at RENWICK VILLAGE

(NORTH BUILDING)

SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX. 2018
DRAWN BY	D. TALSMÄ
CHECKED BY	D. BRUCE
SHEET NAME	
THIRD FLOOR FRAMING PLAN	
SHEET NO.	

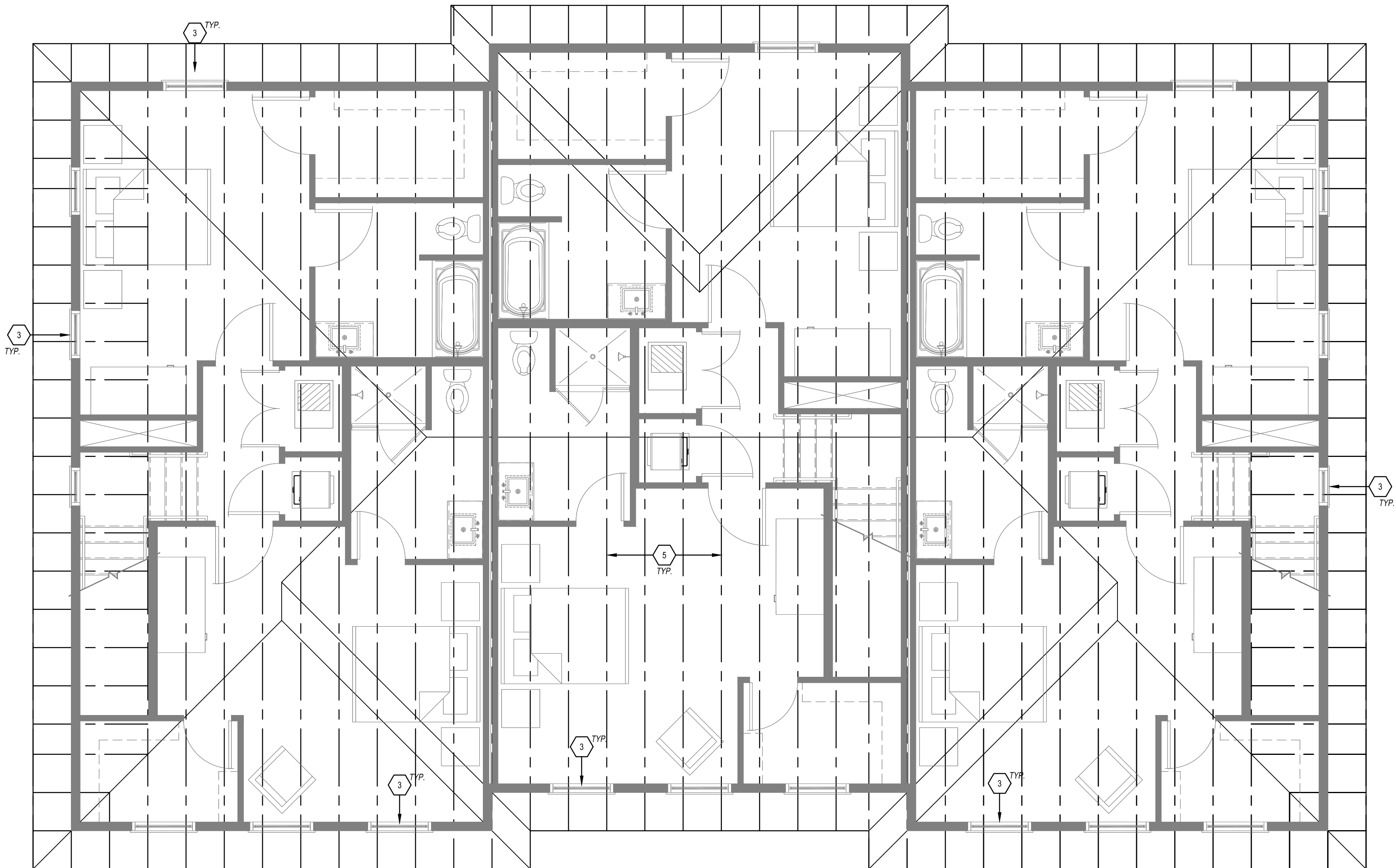
SF112



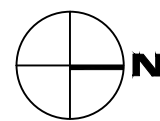
A TYPICAL TRUSS
1/4" = 1'-0"

ROOF LOADING NOTES:

ROOF TRUSS LOADING	40 psf TOTAL LOADS
TOP CHORD LIVE LOAD	= 20 psf.
TOP CHORD DEAD LOAD	= 10 psf.
BOTTOM CHORD DEAD LOAD	= 10 psf.
PROVIDE LATERAL BRACING AS REQ'D. BY TRUSS MFG.	



1 ROOF FRAMING PLAN
1/4" = 1'-0"



GENERAL NOTES:

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ROOF FRAMING PLAN NOTES:

- CONTACT ARCHITECT FOR REVIEW OF ON-SITE LAYOUT OF WALLS PRIOR TO CONSTRUCTION.
- ROOF & FLR. FRAMING JTS. & "LVL" WOOD BEAMS ARE TO BE VERIFIED W/ MFG. SPECIFIED. ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT.
- INSTALLATION OF ALL FRAMING MEMBERS IS TO BE WITHIN STRICT COMPLIANCE OF ALL LOCAL APPLICABLE BUILDING CODES & JST. MFG'S. SPECS.
- REFER TO FLR. PLANS FOR BALANCE OF DIMENSIONS & INFORMATION.
- ALL STL. FASTENERS USED FOR TR. WD. DECK CONSTRUCTION ARE TO BE GALV. U.N.O., & SHALL BE RATED FOR USE W/ NEW TR. WD.
- ALL FLR. JTS. & TRUSSES TO BEAR ON LOAD BRG. WALLS OR BEAMS & CARRIED THROUGH ALL LEVELS TO TERMINATE @ BASEMENT OR CRAWL SPACE FTGS. & OR THICKENED SLABS.
- PROVIDE SIMPSON STRONG-TIE H1 SEISMIC TIE @ EA. ROOF TRUSS.
- PROVIDE SIMPSON STRONG-TIE 20 GA. GALV. PSCL 3/4" SHEATHING CLIPS BETWEEN ABUTTING PANELS, & MIDWAY BETWEEN EA. PAIR OF TRUSSES, RAFTERS, OR JTS.
- ALL ROOF TRUSSES ARE TO BE SPA. @ 24" O.C. U.N.O.
- PROVIDE RIDGE VENTING &/OR UNIT VENTS @ MONO TRUSSES U.N.O.
- PROVIDE DRAFTSTOP BARRIER FULL HT. OF FLR./CLG. ASSEMBLY @ LENGTHS SHOWN- PROVIDE 1/2" GYP. BD. BARRIER CONT. - ANCHOR TO FLR. TRUSS LONGITUDINALLY & TO WD. STUD FRAMING IN BETWEEN TRUSSES TO PROVIDE CONT. BARRIER - COORDINATE W/ UTILITIES, OPENINGS IN DRAFTSTOP SHALL HAVE HINGES & BE SELF-CLOSING.

FRAMING PLAN KEYNOTES:

- PRE-ENGINEERED OPEN WEB WOOD FLOOR TRUSSES BY LOCAL TRUSS MANUFACTURER. INSTALL PER MANUFACTURERS INSTRUCTIONS. PROVIDE OPENINGS FOR STAIRS & UTILITY CHASES PER PLANS.
- 6X6 PT. WD. PORCH COL. PROVIDE SIMPSON STRONG-TIE ABUS6 POST BASE @ EA. LOC.
- PROVIDE 3 1/2" X 9 1/2" PARALLAM HEADER @ ALL WDOW. LOC.
- DLB. PT. WD. 2X8 BEAM. NOTCH PORCH COL. @ ROOF TO RECEIVE FIRST BEAM.
- PRE-ENGINEERED ROOF TRUSSES BY TRUSS SUPPLIER.
- PROVIDE SOLID WOOD BLOCKING AT CENTER SPAN OF FLOOR JOIST FRAMING

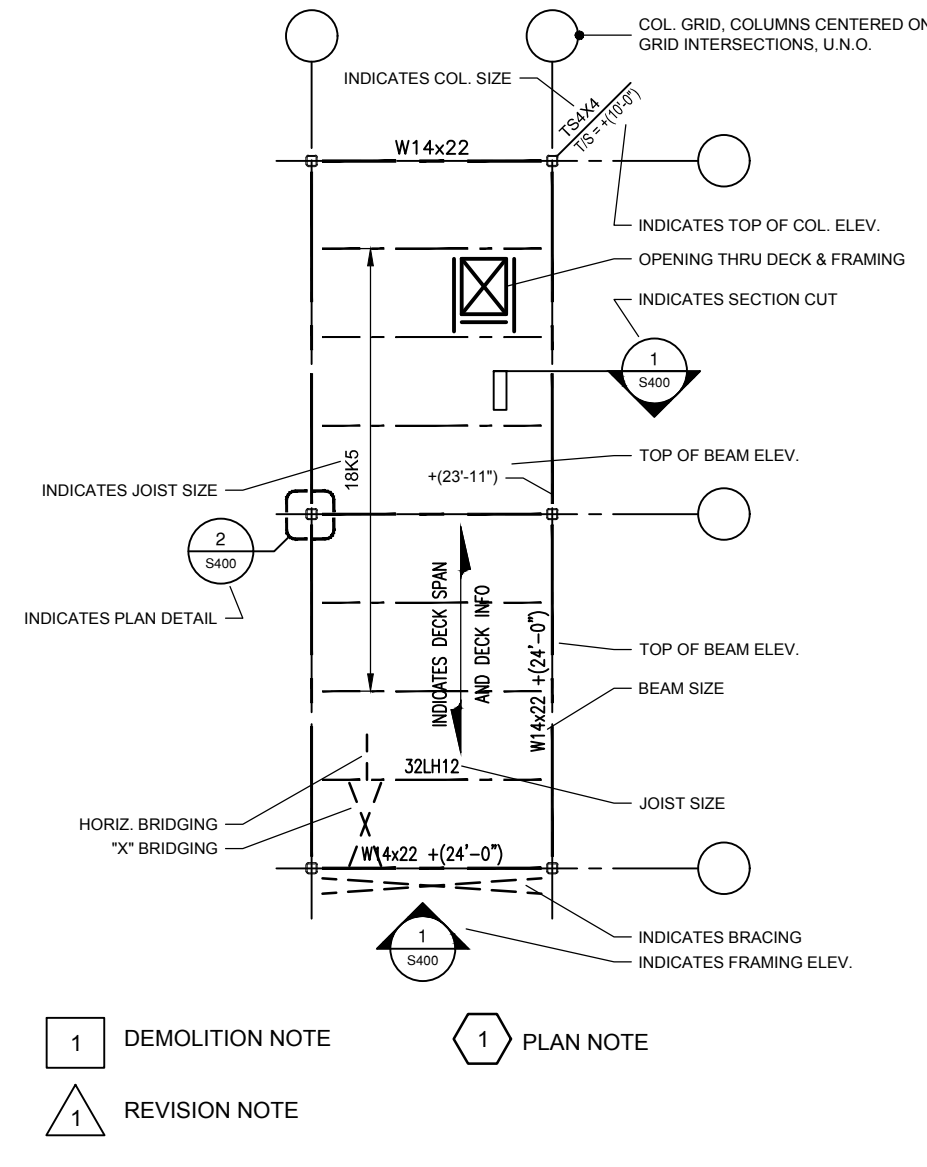
ROOF LOADING NOTES:

ROOF TRUSS LOADING	40 psf TOTAL LOADS
TOP CHORD LIVE LOAD	= 20 psf.
TOP CHORD DEAD LOAD	= 10 psf.
BOTTOM CHORD DEAD LOAD	= 10 psf.
PROVIDE LATERAL BRACING AS REQ'D. BY TRUSS MFG.	

TYPICAL ROOF ASSEMBLY:

- 240#3-TAB ASPHALT/FIBERGLASS SHINGLES, FASTENED W/ ONLY ROOFING NAILS AS PER SHINGLE SPEC. NO STAPLES!
- 15# ROOFING FELT LAPPED AS PER MFG'S. SPECS.
- APPLY WATER & ICE SHIELD MEMBRANE ALONG PERIMETER OF ALL ROOF EAVES.
- 5/8" OSB. OR CDX PLYWOOD ROOF DECKING W/ H-CLIPS @ ALL SPANNING BUTT JOINTS @ MIDPOINTS BETWEEN ROOF FRAMING SUPPORTS.

SYMBOLS LEGEND



REVISIONS

LUXURY TOWNHOMES FOR:
**WININGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404



PROJECT NO.	1518
DATE	XXX. XX, 2018
DRAWN BY	D. TALISMA
CHECKED BY	D. BRUCE
SHEET NAME	ROOF FRAMING PLAN
SHEET NO.	SF113

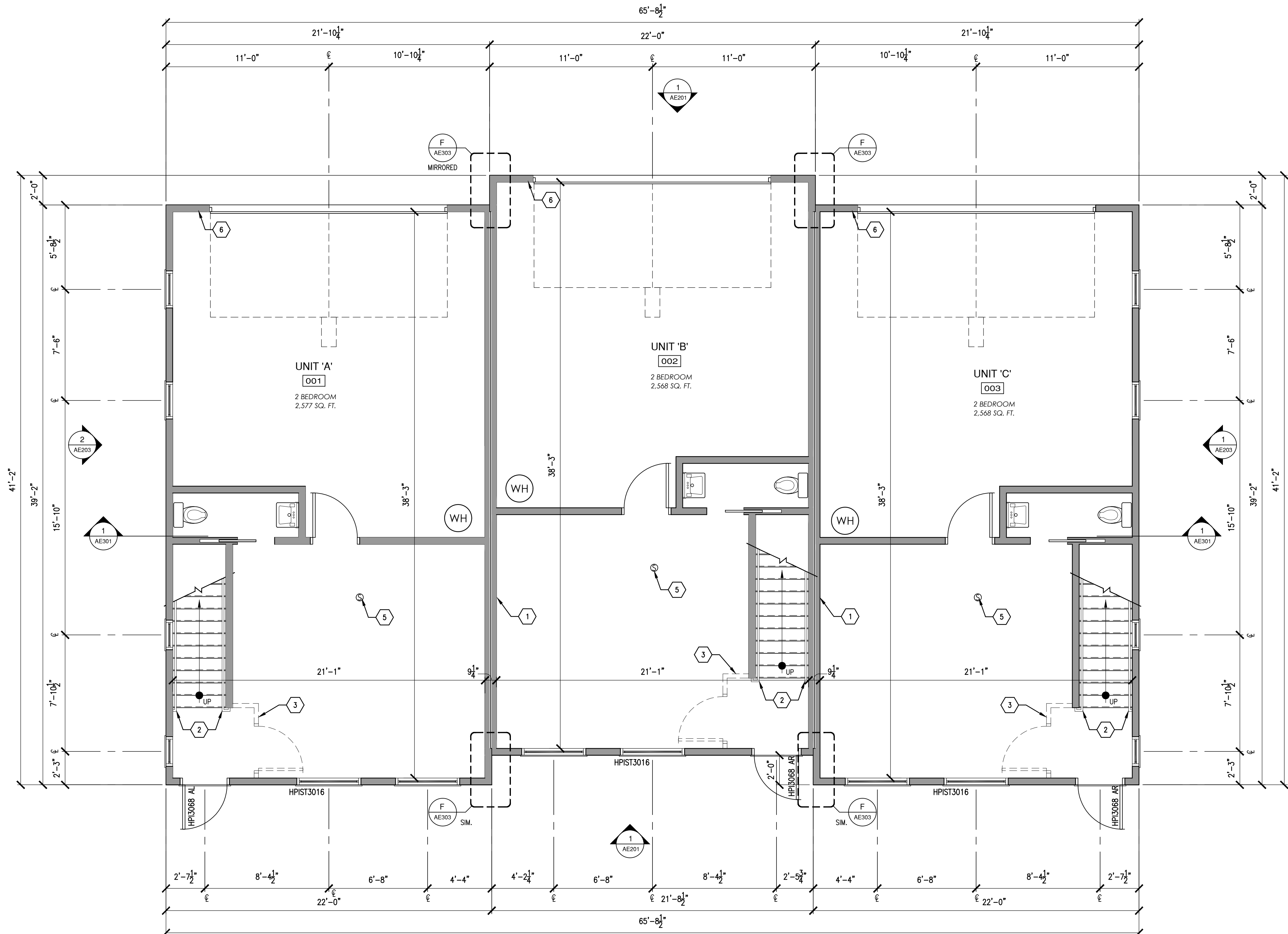
SF113

ARCHITECTURAL ABBREVIATIONS					
AB	ANCHOR BOLT	FLR	FLOOR	PERM	PERIMETER
ABS	AIR BARRIER SYSTEM	FLR	FLOORING	PIP	POURED IN PLACE
AD	ADHESIVE	FDN	FOUNDATION	PLM	PLASTIC LAMINATE
A/C	AIR CONDITIONING	FO	FACE OF	PLS	PLASTER
ACP	ACOUSTICAL CEILING PANEL	FOC	FACE OF CONCRETE	PLYWD	PLYWOOD
ACT	ACOUSTICAL CEILING TILE	FOM	FACE OF MASONRY	PLWD	PLASTIC LAMINATE WOOD
ACW	ALUMINUM GLAZED WINDOW	FR	FIRE RATED	POLY	POLYETHYLENE
ACWP	ALUMINUM COMPOSITE WALL PANEL	FRB	FIRE RATED ASSEMBLY	PP	PORCELAIN PAPER
ADJ	ADJUSTABLE	FRM	FRAME	PPS	POWER PROJECTION SCREEN
AFF	ABOVE FINISHED FLOOR	FRP	FIBERGLASS REINFORCED PLASTIC	PPT	PRESSURE PRESERVATIVE TREATED
AHU	AIR HANDLING UNIT	FRT	FIRE RETARDANT TREATED	PAIR	PAIR
ALT	ALTERNATE	FT	FOOT	PREFAB	PREFABRICATED
ALUM	ALUMINUM	FTG	FOOTING	PREFIN	PREFINISHED
A-PT	APARTMENT	FURN	FURNITURE	PREP	PREPARE/PREPARATION
AP	ACCESS PANEL	FVC	FIRE VALVE CABINET	PS	PROJECTOR SCREEN
APC	ARCHITECTURAL PRECAST CONCRETE	FWC	FLOOR WALL COVERING	PSB	PENCIL SHARPENER BLOCK
AS	ALUMINUM STOREFRONT	GA	GAUGE	PSF	POUNDS PER SQUARE FOOT
ATTN	ATTENTION	GAL	GALLON	PSI	POUNDS PER SQUARE INCH
AUTO	AUTOMATIC	GALV	GALVANIZED	PT	PINT
AVC	AVERAGE	GB	GYP SUM DOOR	PTN	PARTITION
AW	ALUMINUM WINDOW	GFRG	GLASS REINFORCED GYPSUM	PTS	PNEUMATIC TUBE SYSTEM
AWC	ACOUSTICAL WALL COVERINGS	GL	GLASS REINFORCED CONCRETE	PVC	POLYVINYL CHLORIDE
AWP	ACOUSTICAL WALL PANEL	GL-BLK	GLASS BLOCK	PVMT	PAVEMENT
BD	BOARD	GPL	GYPSUM PLASTER	PWMC	PERFORATED VINYL WALL COVERING
BF	BARRIER FREE	GPM	GALLONS PER MINUTE	QT	QUARTY TILE
BKG	BUILDING	GRN	GRANITE	QTY	QUANTITY
BLK	BLOCK	GSU	GLAZED STRUCTURAL UNIT	R	R
BLKG	BLOCKING	GT	GLASS TILE	RA	RETURN AIR
BM	BENCH MARK	GTP	GLAZED WALL TILE	RAD	RADIUS
BRO	BROW	GWT	GYPSUM	RB	RUBBER BASE
BSMT	BASEMENT	H	HIGH	RCP	REFLECTED CEILING PLAN
BUR	BUILT-UP ROOF	HB	HOB BISE	REC	RECEPTACLE
C	CARPET	HBD	HARD BOARD	REF	REFRIGERATOR
CAB	CABINET	HDR	HEADER	REIN	REINFORCING
CB	CHALKBOARD	HDNR	HARDENER	RENF	RECESSED ENTRY MAT
CCTV	CLOSED CIRCUIT TELEVISION	HWDD	HARDWOOD	RES	RESINIOUS FLOORING
CFMF	COLD FORMED METAL FRAMING	HWDR	HARDWARE	RFG	ROOFING
CG	CORNER GUARD	HWR	HOLLOW METAL	RFT	RUBBER FLOOR TILE
CPC	CAST IN PLACE CONCRETE	HORIZ	HORIZONTAL	RH	RIGHT HAND
CJ	CONTROL JOINT	HP	HORSEPOWER	RL	RAIN LEADER
CLG	CEILING	HPFP	HIGH PERFORMANCE FLOOR PAINT	ROOM	ROOM
CLR	CLEAR	HR	HOOR	RO	ROUGH OPENING
CM	CENTIMETER	HT	HEIGHT	RFT	RUBBER FLOOR TILE
CMBD	CEMENT BOARD	HTG	HEATING	RSR	RESILIENT STAIR RISER
CONST	CONCRETE MASONRY UNIT	HTR	HEATER	RST	RESILIENT STAIR TREAD
COL	CLEAN OUT	HYAC	HEATING, VENTILATION, AIR CONDITIONING	RT	RIGHT
COL	COLUMN	ID	INSIDE DIAMETER	RTU	ROOFTOP UNIT
CONC	CONCRETE	IN	INCH	R/W	RIGHT OF WAY
CONC	CONSTRUCTION	INCL	INCLUDE	SAB	SOUND ATTENUATION BLANKET
CONT	CONTINUOUS	INFO	INFORMATION	SCH	SCHEDULE
CONTR	CONTRACTOR	INST	INSTALLATION	SF	SQUARE FOOT
CORR	CORRIDOR	INSUL	INSULATION	SGB	SECURITY GYPSUM BOARD
CRT	CLASSROOM	INT	INTERIOR	SHM	SECURITY HOLLOW METAL
CRS	COURSE	IRMC	IMPACT RESISTANT WALL COVERING	SHTG	SEAMING
CSMU	CAST STONE MASONRY UNIT	IWB	INTERACTIVE WHITE BOARD	SIM	SIMILAR
C-TILE	CARPET TILE	JAN	JANITOR	SFRM	SPRAYED FIRE RESISTANT MATERIAL
C-TSK	CERAMIC TILE	JC	JANITOR CLOSET	SPEC	SPECIFICATION
CS	COUNTERSINK	JT	JUNCTION	SPF	SPRAYED POLYURETHANE FOAM
CUFF	CUBIC FOOT	JT	JOINT	SPR	SPRINKLER
CUTD	CUBIC YARD	KO	KNOCKOUT	SQ	SQUARE
CW	CURTAIN WALL	KL	LENGTH/LONG	SR	SECONDARY ROOF DRAIN
CWFD	CEMENTITIOUS WOOD FIBER DECK	L	LABORATORY	SS	STAINLESS STEEL
D	DEPTH, DEEP	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION	ST	STREET
DBL	DOUBLE	LAM	LAMINATE	STC	SOUND TRANSMISSION COEFFICIENT
DEMO	DEMOLITION	LAV	LAVATORY	STD	STANDARD
DEPT	DEPARTMENT	LBS	POUNDS	STL	STEEL
DF	DRINKING FOUNTAIN	LGWF	LEFT GAUGE METAL FRAMING	STRUC	STRUCTURAL
DIA	DIAMETER	LH	LEFT HAND	SUSP	SUSPENDED
DIA	DIAGONAL	LIN	LINE	SV	SHEET VINYL
DIA	DIMENSION	LKR	LOCKER	SWM	SECURITY WOVEN MESH
DIM	DIMENSION	LLH	LONG LEG HORIZONTAL	SY	SQUARE YARD
DIV	DIVISION	LLV	LONG LEG VERTICAL	SYM	SYMMETRICAL
DL	DOOR LOUVER	LMC	LINEAR METAL CEILING	T	TREAD
DN	DOWN	LPS	LAMINATE PANEL SYSTEM	TB	TACK BOARD
DP	DAMP PROOFING	LT	LIGHT	TEL	TELEPHONE
DR	DISPLAY RAIL	LVR	LOUVER	T&G	TONGUE & GROOVE
DS	DOWNSPOUT	M	METER	THRD	THRESHOLD
DTL	DETAIL	MACH	MACHINE	THK	THICK
DWG	DRAWING	MATL	MATERIAL	TOF	TOP OF
DWR	DRAWER	MAS	MASONRY	TOS	TOP OF STEEL
E	EACH	MAX	MAXIMUM	TOW	TOP OF WALL
EF	EXHAUST FAN	MB	MARKER BOARD	TR	TREATED
EFS	EXTERIOR FINISH SYSTEM	MBL	MARBLE	TS	TACK STRIP
EFS	EXTERIOR INSULATION FINISH SYSTEM	MC	METAL CEILING PANEL	TV	TELEVISION
EFJ	EXPANSION JOINT	MECH	MECHANICAL	TYP	TYPICAL
EL	ELEVATION	MEB	MEDIUM	UC	UNDERCUT
ELAS	ELASTOMERIC	MEMB	MEMBRANE	UC	UNDERGROUND
ELEC	ELECTRICAL	MFR	MANUFACTURER	UNIT	UNIT HEATER
ELEV	ELEVATION	MIF	MULTICOLOR INTERIOR FINISHING	UNO	UNLESS NOTED OTHERWISE
EMER	EMERGENCY	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
EMR	EMERGENCY POLYSTYRENE	MIR	MIRROR	VSD	VISUAL DISPLAY BOARD
EPX	EPOXY	MISC	MISCELLANEOUS	VERT	VERTICAL
EPX PT	EPOXY PAINT	MLDG	MOULDING	VEST	VESTIBULE
EQ	EQUAL	MM	MILLIMETER	VR	VAPOR RETARDER
EQVP	EQUIPMENT	MM	MASONRY OPENING	VRB	VINYL/RUBBER BASE
EST	ESTIMATE	MPS	MAXIMUM PROJECTION SCREEN	VNYL	VINYL TILE
EXT	EXISTING TO REPAIR	MR	MAP RAIL	VTR	VENT THROUGH ROOF
EW	ELECTRIC WATER COOLER	MT	MOUNT	VWC	VINYL WALL COVERING
EXH	EXHAUST	MTD	MOUNTED	W	WIDE
EX	EXISTING	MTG	MOUNTING	W/	WITH
EXP	EXPANSION	MTL	METAL	WB	WOOD BASE
EXT	EXTERIOR	MTLB	METAL BASE	WC	WOOD CEILING
FAAF	FLUID APPLIED ATHLETIC FLOORING	MWP	MEMBRANE WATERPROOFING	WD	WOOD CEILING PANEL
FB	FACE BRICK	N	NOT APPLICABLE	WD	WOOD
FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	WD-PNL	WOOD PANELING
FE	FIRE	NOM	NOMINAL	WDW	WINDOW
FEC	FIRE EXTINGUISHER	NRC	NOISE REDUCTION COEFFICIENT	WH	WATER HEATER
FEC	FIRE EXTINGUISHER CABINET	NTS	NOT TO SCALE	W/O	WITHOUT
FE	FINISHED FLOOR	OC	ON CENTER	WP	WATERPROOFING
FE	FINISHED FLOOR ELEVATION	OD	OUTSIDE DIAMETER	WPT	WORKING POINT
FGL	FIBERGLASS	OHVD	OVERHEAD	WR	WATER RESISTANT
FGRC	FIBERGLASS REINFORCED CONCRETE	OPN	OPENING	WSC	WANSOCT
FH	FIRE HYDRANT	OPP	OPPOSITE	WSF	WOOD SPORTS FLOORING
FH	FIRE HOSE CABINET	OPP HD	OPPOSITE HAND	WT	WEIGHT
FHC	FIRE HOSE VALVE CABINET	PRE	PRECAST	WWF	WELDED WIRE FABRIC
FIN	FINISHED	PC	PORTLAND CEMENT PLASTER	WNM	WELDED WIRE MESH
		PERF	PERFORATED	YD	YARD

<p>SECTION INDICATOR: REFERENCE SECTION LOCATION THROUGH AN AREA FOR ADDITIONAL INFORMATION.</p>		<p>KEYNOTE INDICATORS: REFERENCE SHEET KEYNOTE LOCATION FOR ADDITIONAL INFORMATION.</p>	
<p>SECTION INDICATOR: REFERENCE DETAIL LOCATION FOR ADDITIONAL INFORMATION.</p>		<p>DRAWING BLOCK TITLE INDICATOR: REFERENCE DRAWING MODULE LOCATION FOR ADDITIONAL INFORMATION.</p>	
<p>ELEVATION INDICATOR: REFERENCE ELEVATION LOCATION FOR ADDITIONAL INFORMATION.</p> <p>EXTERIOR ELEVATION INDICATOR INTERIOR ELEVATION INDICATOR PHOTOGRAPH INDICATOR</p>		<p>SPACE INDICATOR:</p> <p>NEW SPACE EXISTING SPACE</p>	
<p>MATCH LINE INDICATOR: REFERENCE SHEET LOCATION FOR ADDITIONAL INFORMATION.</p>		<p>REVISION INDICATOR: REFERENCE TITLE BLOCK LOCATION FOR ADDITIONAL INFORMATION.</p>	
<p>DATUM INDICATORS: REFERENCE BUILDING PLANS FOR ADDITIONAL INFORMATION.</p> <p>ELEVATION DATUM SPOT ELEVATION DATUM CEILING HEIGHT DATUM</p>		<p>DOOR INDICATOR: REFERENCE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.</p> <p>NEW DOOR IDENTIFIER EXIST. DOOR TO BE REMOVED</p>	
<p>WALL TYPE INDICATORS: REFERENCE RATED ASSEMBLIES SHEET FOR ADDITIONAL INFORMATION.</p>		<p>WINDOW INDICATOR: REFERENCE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.</p> <p>NEW WINDOW IDENTIFIER NEW STOREFRONT IDENTIFIER</p>	
<p>FINISH INDICATORS: REFERENCE FINISH PLANS FOR ADDITIONAL INFORMATION.</p> <p>NEW FURNISHING IDENTIFIER NEW EQUIPMENT IDENTIFIER</p>		<p>WINDOW INDICATOR: REFERENCE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.</p>	

<p>GENERAL ARCHITECTURAL NOTES:</p> <ul style="list-style-type: none">• ALL WORK IS TO BE DONE IN ACCORDANCE W/ ALL GOVERNING CODES & REGULATING AGENCIES. THIS PROJECT IS DESIGNED & DOCUMENTED PER THE ARCHITECT'S INTERPRETATION OF THE CODE REQUIREMENTS. VARIOUS GOVERNING AGENCIES SOMETIME INTERPRET THE CODES, LAWS, & ORDINANCES DIFFERENTLY. THESE AGENCIES HAVE JURISDICTION TO REQUIRE CHANGES IN DESIGN & CONSTRUCTION INCLUDING THOSE AGENCIES INVOLVED W/ THE "AMERICANS W/ DISABILITIES ACT".• THE ARCHITECTURAL PLANS SHOWN HEREIN MAY NOT CORRESPOND TO PLANS FINALLY APPROVED BY THE ARCHITECT, OWNER, OR NECESSARY AGENCIES. IT IS THE RESPONSIBILITY OF THE PARTY OR PARTIES RELYING ON THESE PLANS TO VERIFY & CONFIRM SAID ARCHITECTURAL, PRIOR TO CONSTRUCTION.• DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.• ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.• ALL DOOR OPENINGS SHALL BE LOC. 4" FROM ADJOINING WALL U.N.O.• FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.• ALL NEW WALLS SHALL BE FINISHED TO MATCH EXIST. SURFACES INCLUDING PRIMER & PAINT.• CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS I.E. GYP. BD. & MASONRY.• WHERE METAL STUDS EXTEND TO DECK, PROVIDE SLP CONNECTIONS FOR FLR. & CLG. DEFLECTION.• ALL STEEL STUDS TO BE BRACED PER MFG'S. LIMIT HEIGHT (L/240)
<p>FLOOR PLAN NOTES:</p> <ol style="list-style-type: none">1. ALL INTERIOR WALLS TO BE 3 1/2" WD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. ON BOTH SIDES U.N.O.2. CONTACT ARCHITECT FOR REVIEW OF ON-SITE LAYOUT OF WALLS PRIOR TO CONSTRUCTION.3. FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.4. PROVIDE WD. BLOCKING FOR ALL WALL CABINETS, ALL WALL ACCESSORIES & EQUIP., & ALL OWNER SUPPLIED EQUIP. AS SHOWN OR IMPLIED ON DRAWINGS.5. ALL DIMENSIONAL LUMBER IS TO BE STRUCTURAL GRADE #1 SOUTHERN YELLOW PINE OR APPROVED EQ.6. ALL FRAMING WORK IS TO BE DIRECTLY SUPERVISED BY A QUALIFIED, EXPERIENCED CARPENTER. MIN. INDUSTRY STANDARD FOR PLUMB & LEVEL WALLS WILL BE EXPECTED FOR ALL WORK.7. REFER TO FLOOR PLANS FOR BALANCE OF DIMENSIONS & INFO.8. ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.9. INSTALL ROOFING MATERIALS ACCORDING TO MFG'S RECOMMENDATIONS FOR THE AREA & CLIMATE. INCLUDING BUT NOT LIMITED TO SHINGLES, TILES, FELTS, FLASHING, & FASTENING DEVICES.10. CONTRACTOR TO COORDINATE THE LOC. OF LIGHTING, CABLE & PHONE OUTLETS W/ OWNER DURING ROUGH-IN WALK-THRU.11. ANY RATED WALLS IF SHOWN, SHALL HAVE RATED OPENINGS WHERE THEY PENETRATE RATED WALL.

<div><div><p>TABOR BRUCE ARCHITECTURE & DESIGN INC.</p><p>1101 S. WALNUT STREET - BLOOMINGTON, IN. 47401 TELEPHONE: (812) 339-6258 WEB: WWW.TABORBRUCE.COM</p></div><div><div><div>REVISIONS</div></div><div></div><div></div><div></div><div></div><div></div></div></div>	
<div><div>LUXURY TOWNHOMES FOR:</div><div><div><div>WININGER STOLBERG</div><div>at RENWICK VILLAGE</div><div>(NORTH BUILDING)</div><div>SOUTH PIAZZA DR. AND CATHCART ST.</div><div>BLOOMINGTON, INDIANA 47404</div></div></div></div>	
PROJECT NO.	1518
DATE	XXX, XX, 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	
ARCHITECTURAL SYMBOLS & ABBREVIATIONS	
SHEET NO.	
AE001	



1 FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 UNIT SEPARATION WALL TO BE (2) - 1 HOUR RATED FIRE WALLS - STRUCTURALLY INDEPENDENT CONSTRUCTION CONTINUOUS FROM LOWER LEVEL TO ROOF DECK.
- 2 PROVIDE & INSTALL 1 1/2"Ø WOOD HANDRAIL TO ONE SIDE OF STAIRS MINIMUM 36" ABOVE WALKING SURFACE (TYPICAL @ ALL STAIRS)
- 3 FUTURE OPTION OF ENTRY DOOR IN WOOD STUD WALL CONSTRUCTION FROM FLOOR TO CEILING ABOVE. DOOR TO BE FULLY GLAZED 3'-0"x6'-8" WOOD DOOR IN FRAME. HARDWARE TO MATCH REST OF UNIT.
- 4 VERIFY ELEVATION CHANGE BETWEEN GARAGE AND OFFICE. PROVIDE STAIRS WITH A MAXIMUM RISER HEIGHT OF 7.5" AND MINIMUM TREAD DEPTH OF 10" WITH 1" NOSING.
- 5 PROVIDE AND INSTALL HARDWIRED INTERCONNECTED SMOKE DETECTOR, ONE PER FLOOR, AND ONE PER DWELLING UNIT.
- 6 SEE DETAIL 5/AE302 FOR STRUCTURAL SUPPORT REQUIRED AT GARAGE DOOR OPENING.
- 7 DROP DOWN JULIET BALCONY. PROVIDE RUBBER FLASHING AS NEEDED AROUND OPENING AND BALCONY CONNECTION.

GENERAL FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS, DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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- ANY OPERABLE WDW'S. W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.8.1.
- IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.

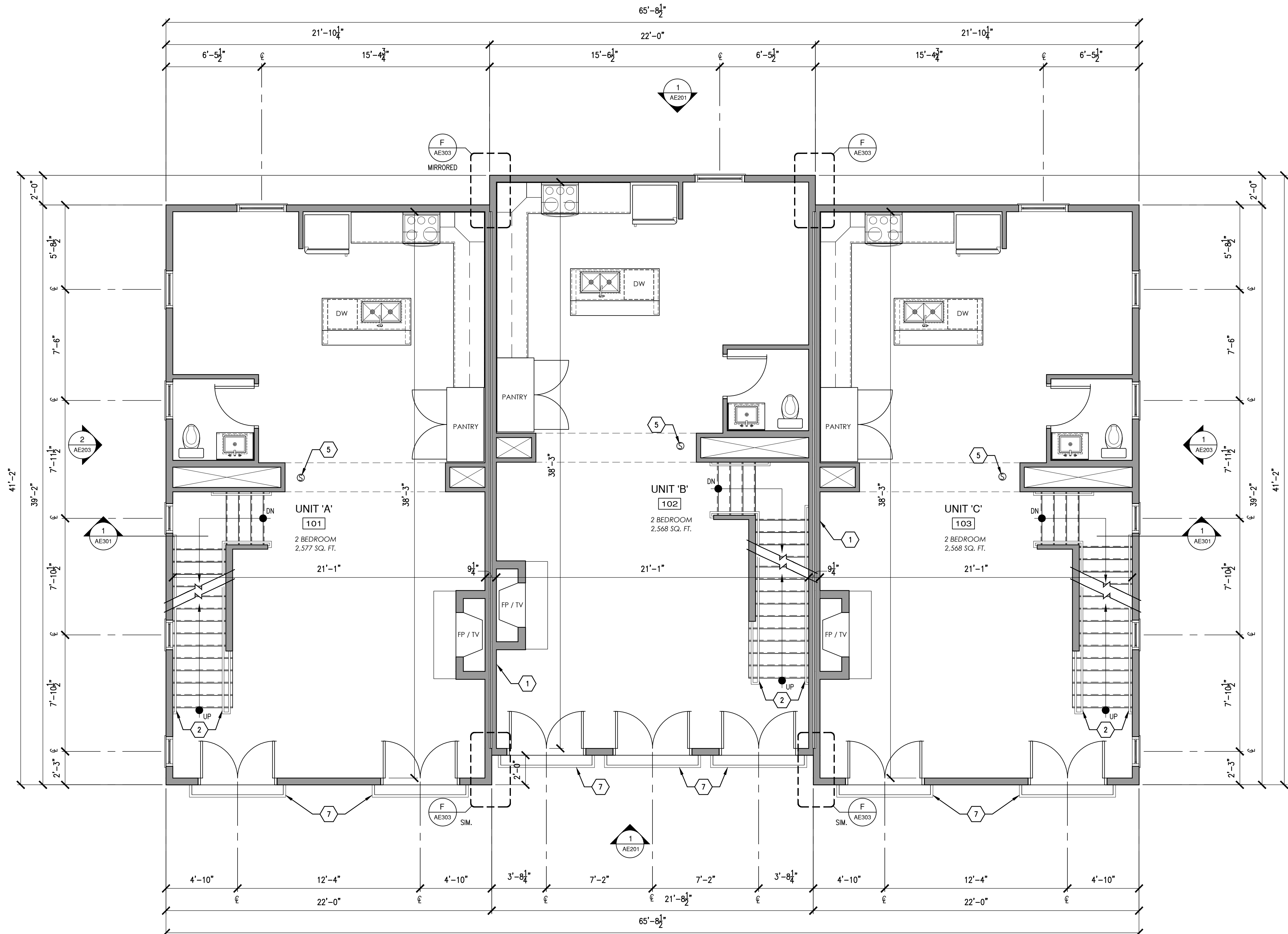


REVISIONS

LUXURY TOWNHOMES FOR:
WININGER STOLBERG
at RENWICK VILLAGE
(NORTH BUILDING)
SOUTH PLAZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX.XX.2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	FIRST FLOOR PLAN
SHEET NO.	AE101

AE101



1 SECOND FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 UNIT SEPARATION WALL TO BE (2) - 1 HOUR RATED FIRE WALLS - STRUCTURALLY INDEPENDENT CONSTRUCTION CONTINUOUS FROM LOWER LEVEL TO ROOF DECK.
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- 7 DROP DOWN JULIET BALCONY. PROVIDE RUBBER FLASHING AS NEEDED AROUND OPENING AND BALCONY CONNECTION.



REVISIONS

LUXURY TOWNHOMES FOR:
**WININGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518

DATE XXX. XX. 2018

DRAWN BY A. LAMBERT

CHECKED BY D. BRUCE

SHEET NAME

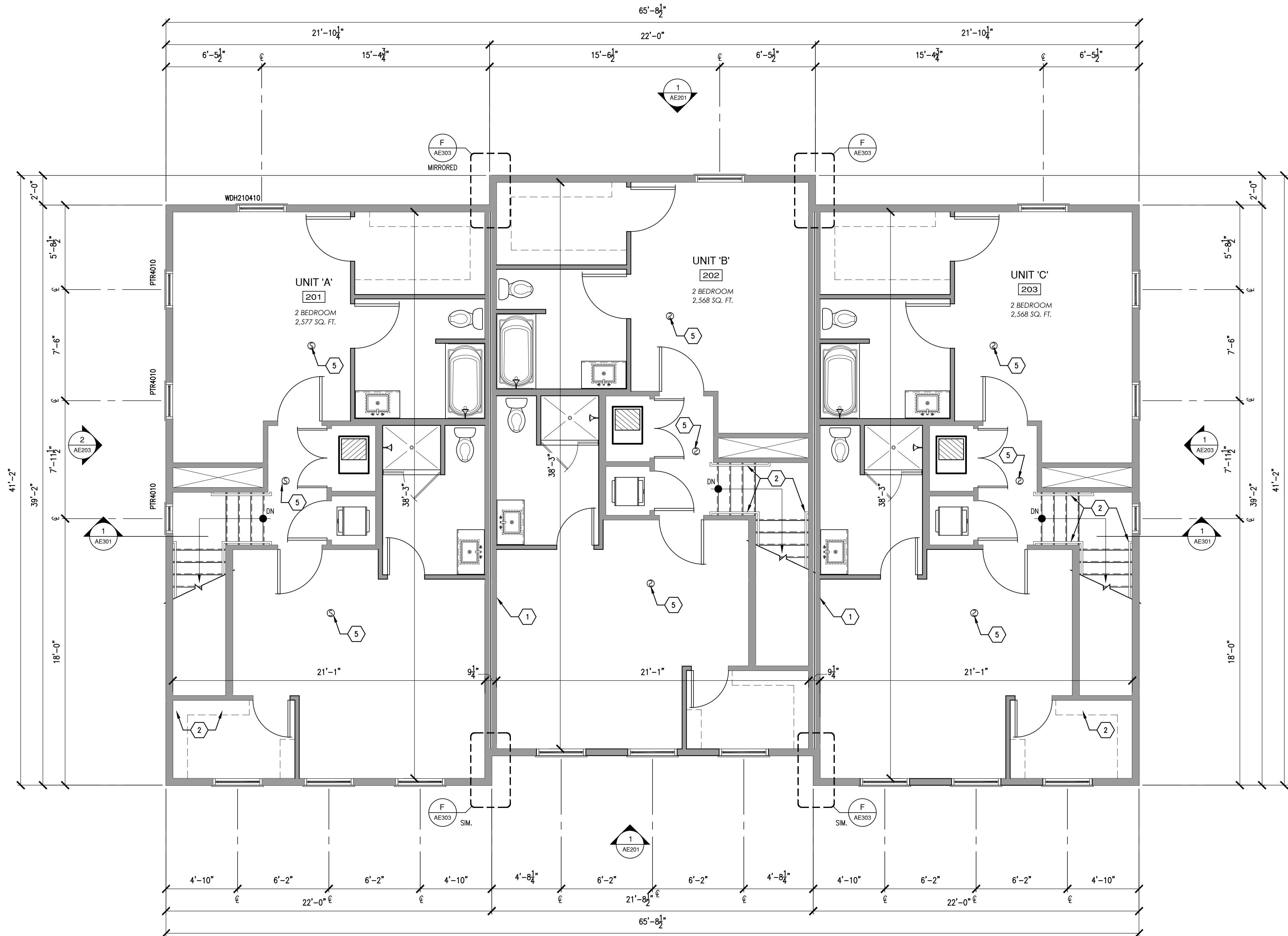
SECOND
FLOOR PLAN

SHEET NO.

AE102

GENERAL FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS, DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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- ANY OPERABLE WDW'S. W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.8.1.
- IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.



1 THIRD FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

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GENERAL FLOOR PLAN NOTES:

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- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.



REVISIONS

LUXURY TOWNHOMES FOR:
**WINGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518

DATE XXX. XX. 2018

DRAWN BY A. LAMBERT

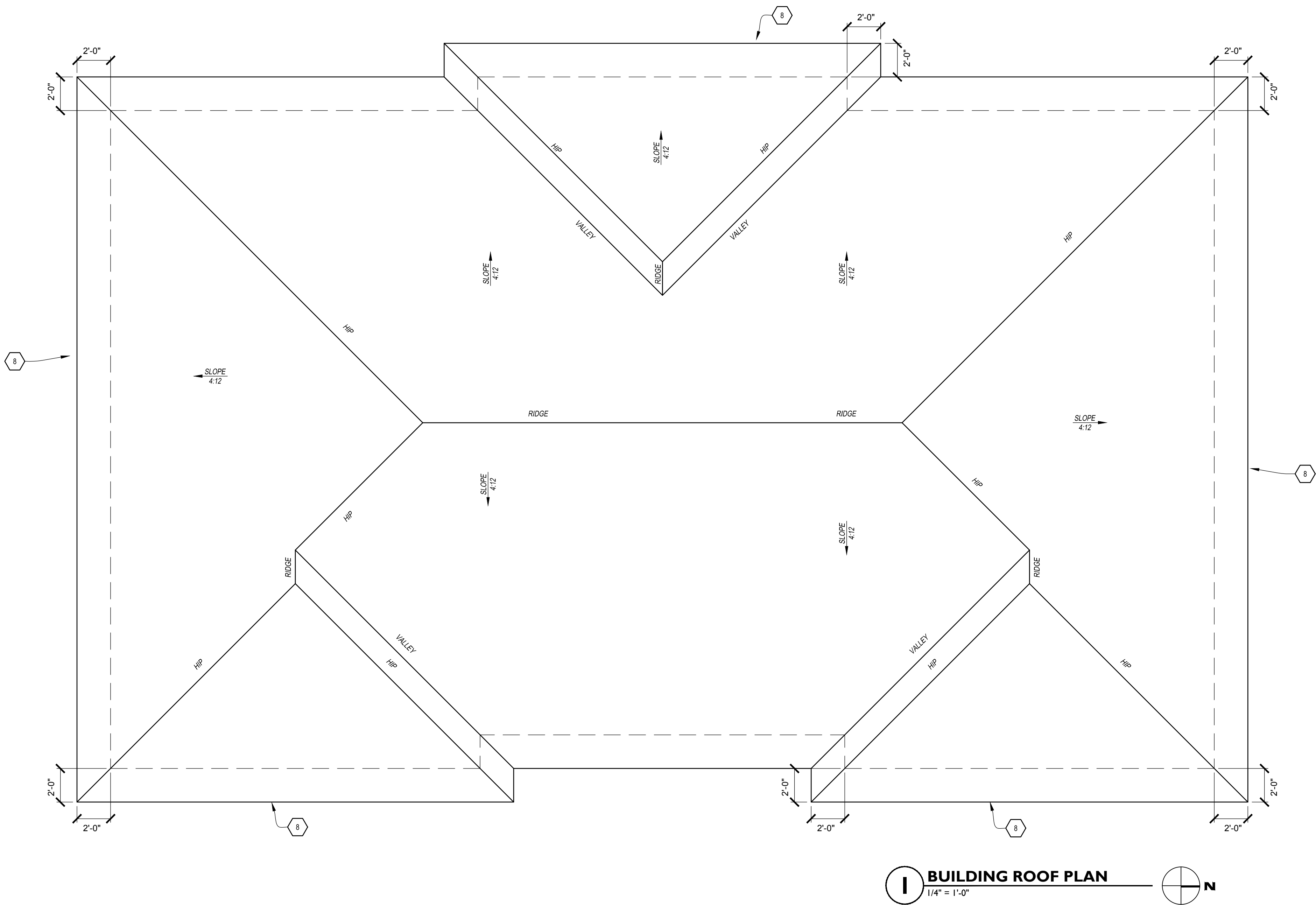
CHECKED BY D. BRUCE

SHEET NAME

THIRD
FLOOR PLAN

SHEET NO.

AE103



GENERAL ROOF PLAN NOTES:

- ALL WORK SHALL BE IN ACCORDANCE W/ THE BEST QUALITY STANDARDS OF THE TRADE & SHALL CONFORM W/ THE LATEST EDITION OF ALL FEDERAL, STATE, & LOCAL CODES & STANDARDS. THE SAME ARE MADE A PART OF THESE CONTRACT DOCUMENTS, AS REPEATED HEREIN.
- CONTRACT DOCUMENTS CONSIST OF BOTH THE PROJECT MANUAL & DRAWINGS, & BOTH ARE INTENDED TO BE COMPLEMENTARY. ANYTHING APPEARING ON EITHER MUST BE EXECUTED THE SAME AS IF SHOWN ON BOTH.
- CONSTRUCTION DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE, HOWEVER SYSTEMS HAVE BEEN SHOWN DIAGRAMMATICALLY & IN SOME CASES, ENLARGED FOR CLARITY. PROVIDE ADD'L ITEMS AS REQ'D. TO PROVIDE A COMPLETE & COORDINATED SYSTEM.
- CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM THE BLDG. & ROOF DAILY.
- STORE VOLATILE OR FLAMMABLE LIQUIDS IN UL LISTED FIRE CABINETS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF ALL STORED MATERIALS & EQUIP. INSIDE OR OUTSIDE THE BLDG.
- CONTRACTOR SHALL FURNISH NECESSARY TEMPORARY PROTECTION FROM WEATHER TO PROTECT INTERIOR OF BLDG. FROM ELEMENTS OF WEATHER AT ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC PROTECTION DURING CONSTRUCTION. AREAS OF WORK & TRAFFIC BY VARIOUS TRADES SHALL BE PROTECTED BY TEMPORARY WALKING PADS.
- PROVIDE TREATED WOOD BLOCKING EQUAL IN THICKNESS TO INSULATION SYSTEM AT ROOF PERIMETER AND AROUND ALL ROOF PENETRATIONS. ANCHOR PER SECTION 1-49 OF THE FM GLOBAL LOSS PREVENTION GUIDE.
- EXTEND ALL PLUMBING VENTS TO PROVIDE A MINIMUM OF 12" OF HEIGHT FROM TOP OF INSULATION. ALL FITTINGS TO BE AIR AND WATER TIGHT. SEE PLUMBING PLANS.
- ROOF INSULATION SADDLES & CRICKETS ARE DIAGRAMMATIC. ROOF INSULATION MANUFACTURERS SHALL DESIGN & SIZE THESE PER ROOF MEMBRANE MANUFACTURER RECOMMENDATIONS. CRICKETS & SADDLES TO BE A MIN. WIDTH OF 10" THE SADDLE LENGTH.
- PROVIDE SADDLES/CRICKETS AROUND ALL NEW ROOF TOP EQUIPMENT.
- PROVIDE TAPERED INSUL. WHERE REQ'D. TO TRANSITION FROM ONE INSUL. HT. TO ANOTHER.
- NOTCH ALL INSUL. AS REQ'D. TO ACCOMMODATE SURFACE MTD. CONDUIT, FASTENERS, OFFSETS & OTHER PROJECTIONS EXTENDING ABOVE THE SURFACE OF THE DECK.
- PERIMETER EDGE MTL. TO COMPLY WITH ANSISPR1 ES-1 FM GLOBAL 1-49.
- SEE MECHANICAL, ELECTRICAL & PLUMBING (MEP) SHEETS FOR ROOF TOP EQUIP.
- SEE SHEET AE512 FOR TYPICAL SHINGLE ROOFING DETAILS.

ROOF PLAN KEYNOTES:

- 25 YEAR ASPHALT SHINGLE ROOF SYSTEM OVER ONE LAYER OF 30# ASPHALT FELT & ICE DAM PER MFG. RECOMMENDATIONS @ ALL EAVES, VALLEYS & RIDGES. STYLE & COLOR SHALL BE SELECTED FROM STANDARD COLOR PALLETTE BY OWNER.
- 6" K-STYLE PRE-FINISHED SEAMLESS ALUM. .032GA GUTTERS @ ALL ROOF EDGES ALONG BTM. OF ROOF SLOPE. EA. GUTTER SHALL HAVE 3"x4" ALUM. DOWNSPOUTS PROPERLY SUPPORTED W/ SPLASH-BLOCKS OR DIRECTLY TIE INTO BELOW GRADE STORM DRAIN SYSTEM.
- LINE OF WALL FRAMING BELOW.
- PROVIDE CONT. RIDGE VENT @ ROOF RIDGES.
- PROVIDE PRE-FINISHED ALUM. DRIP EDGE @ ENTIRE ROOF PERIMETER.
- PROVIDE MTL. FLASHING @ ALL ROOF VALLEYS.
- PROVIDE ROOF AND WALL FLASHING AS REQUIRED.
- 6" K-STYLE PRE-FINISHED SEAMLESS ALUM. .032GA GUTTERS @ ALL ROOF EDGES ALONG BTM. OF ROOF SLOPE. EA. GUTTER SHALL HAVE 3"x4" ALUM. DOWNSPOUTS PROPERLY SUPPORTED W/ SPLASH-BLOCKS OR DIRECTLY TIE INTO BELOW GRADE STORM DRAIN SYSTEM.
- 4" K-STYLE PRE-FINISHED SEAMLESS ALUM. .032GA GUTTERS @ ALL ROOF EDGES ALONG BTM. OF ROOF SLOPE. EA. GUTTER SHALL HAVE 2"x3" ALUM. DOWNSPOUTS PROPERLY SUPPORTED W/ SPLASH-BLOCKS OR DIRECTLY TIE INTO BELOW GRADE STORM DRAIN SYSTEM.

TYPICAL ROOF ASSEMBLY:

- 240K3-TAB ASPHALT/FIBERGLASS SHINGLES, FASTENED W/ ONLY ROOFING NAILS AS PER SHINGLE SPEC. NO STAPLES!
- 30# ROOFING FELT LAPPED AS PER MFG'S. SPEC'S.
- WATER & ICE SHIELD MEMBRANE.
- 5/8" OSB, OR CDX PLYWOOD ROOF DECKING W/ H-CLIPS @ ALL SPANNING BUTT JOINTS @ MIDPOINTS BETWEEN ROOF FRAMING SUPPORTS.



REVISIONS

LUXURY TOWNHOMES FOR:
**WINGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX, 2018
DRAWN BY	D. TALISMA
CHECKED BY	D. BRUCE
SHEET NAME	ROOF PLAN
SHEET NO.	AE121



1 EAST BUILDING ELEVATION
1/4" = 1'-0"



REVISIONS

LUXURY TOWNHOMES FOR:
WINGER STOLBERG
at RENWICK VILLAGE
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX, 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	EAST ELEVATION

SHEET NO.
AE201



1 WEST BUILDING ELEVATION
1/4" = 1'-0"

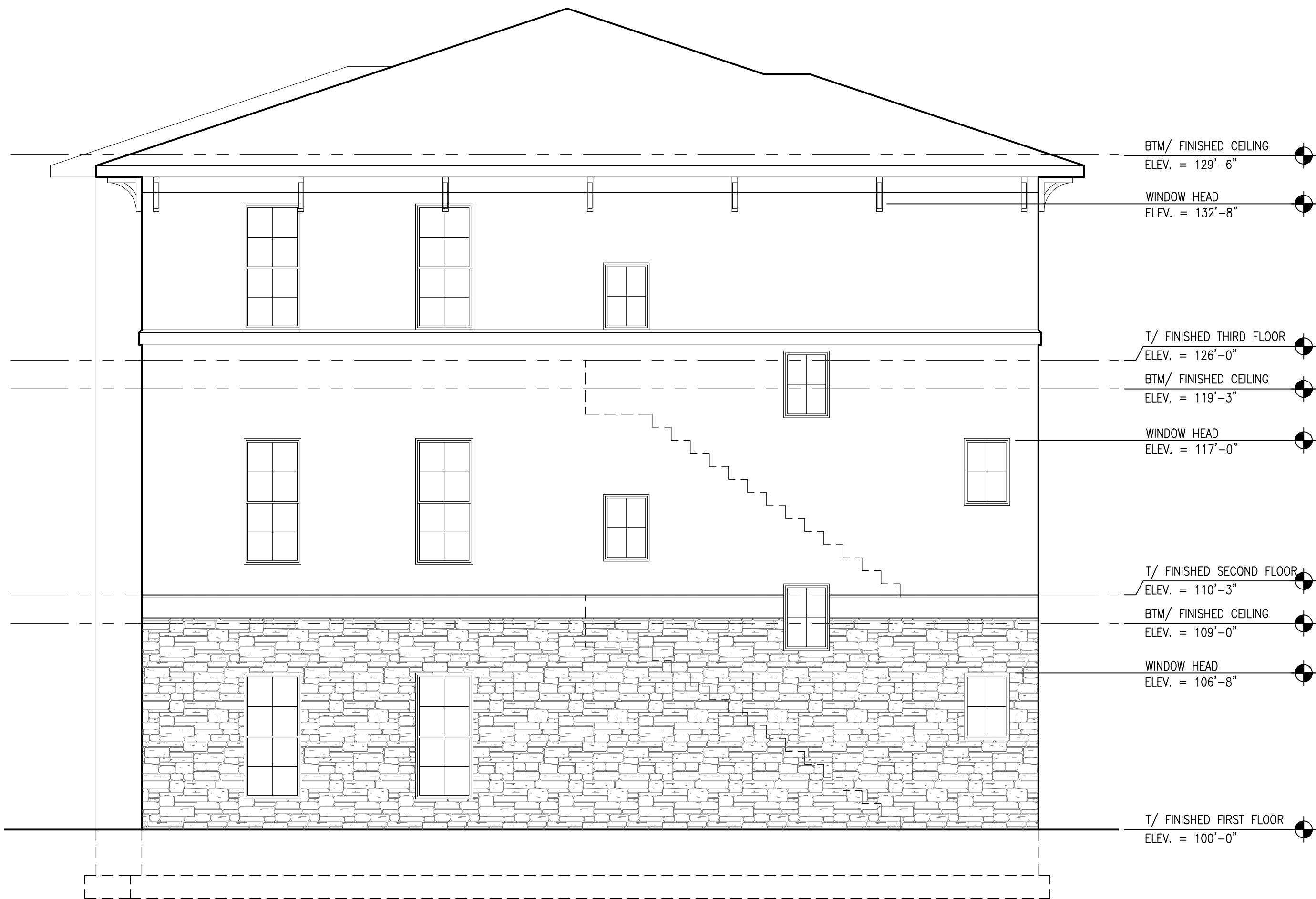


△ REVISIONS

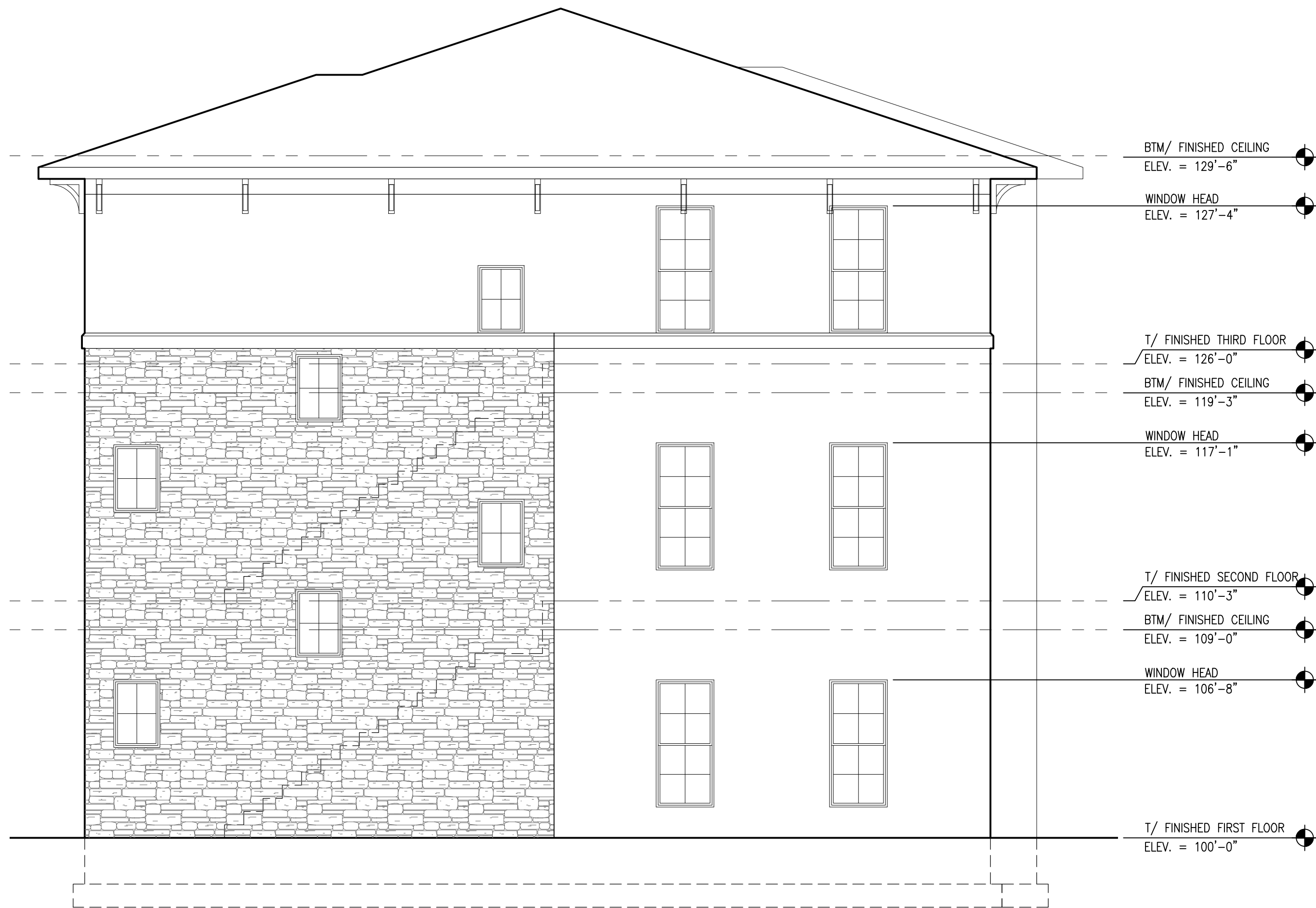
LUXURY TOWNHOMES FOR:
**WINGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PLAZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518
DATE XXX. XX, 2018
DRAWN BY A. LAMBERT
CHECKED BY D. BRUCE
SHEET NAME
**WEST
ELEVATION**

SHEET NO.
AE202



1 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

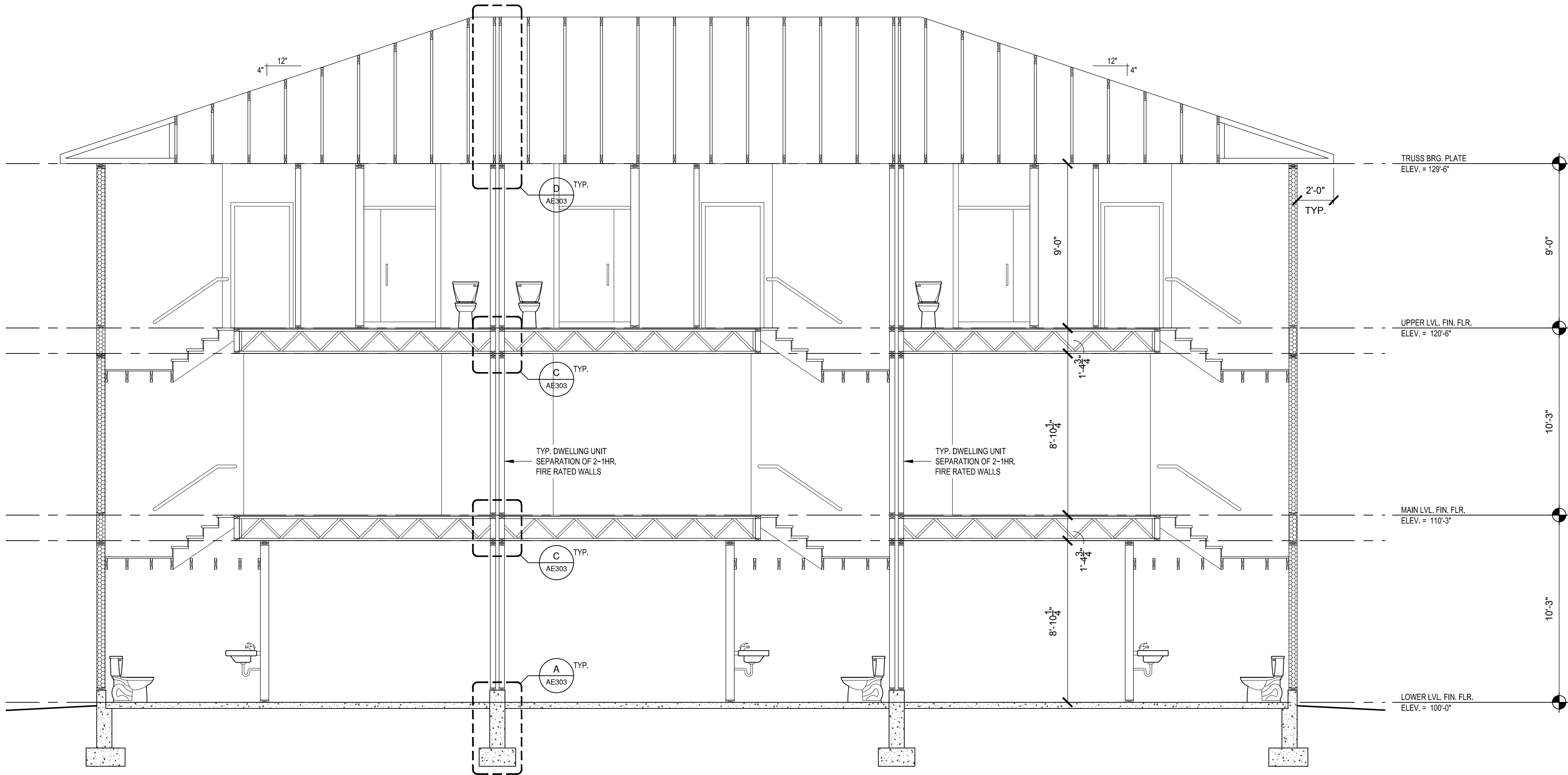


REVISIONS

LUXURY TOWNHOMES FOR:
**WININGER STOLBERG
at RENWICK VILLAGE**
(NORTH BUILDING)
SOUTH PLAZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518
DATE XXX. XX, 2018
DRAWN BY A. LAMBERT
CHECKED BY D. BRUCE
SHEET NAME
**BUILDING
ELEVATIONS**

SHEET NO.
AE203



I BUILDING SECTION
1/4" = 1'-0"

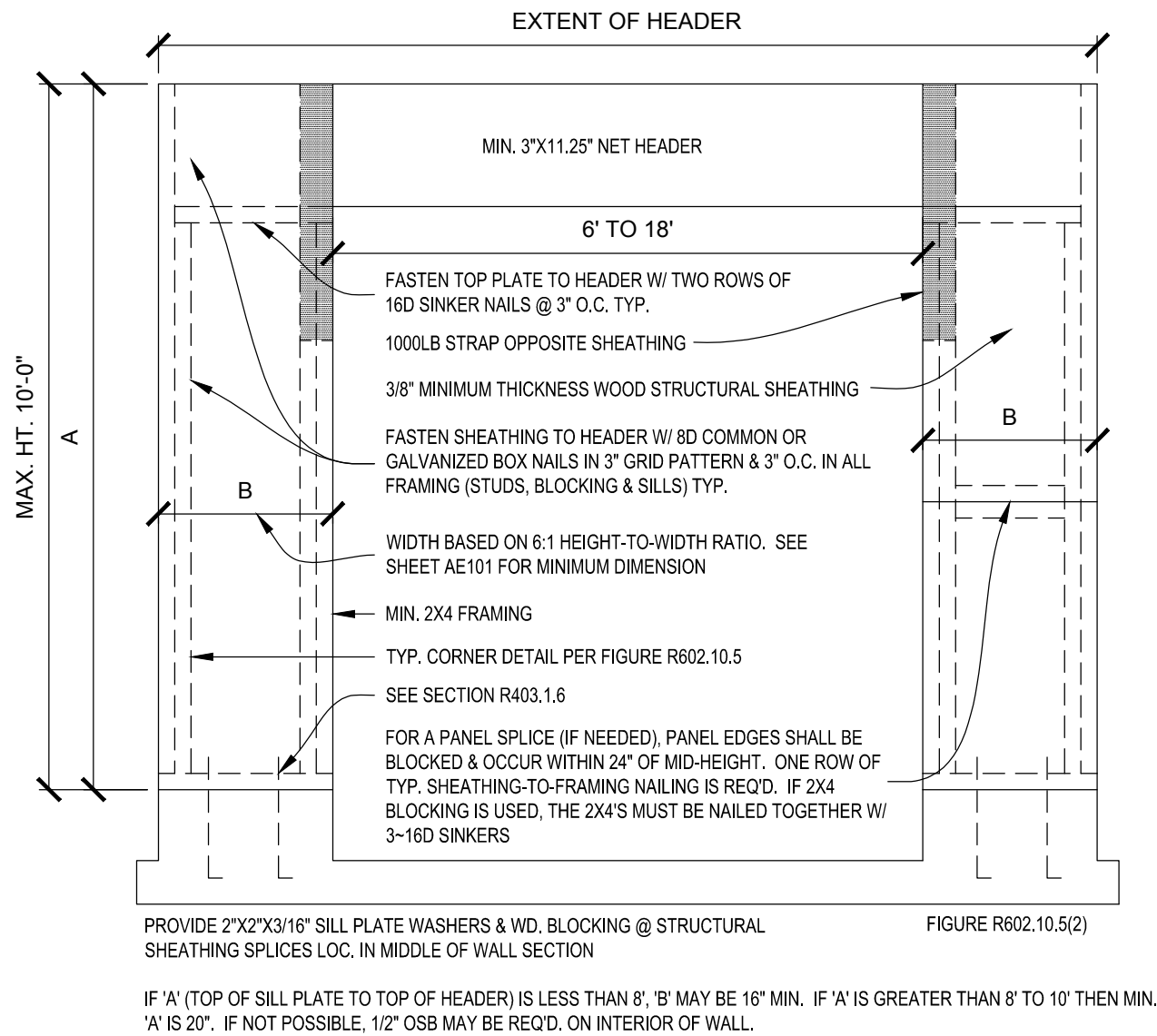


REVISIONS

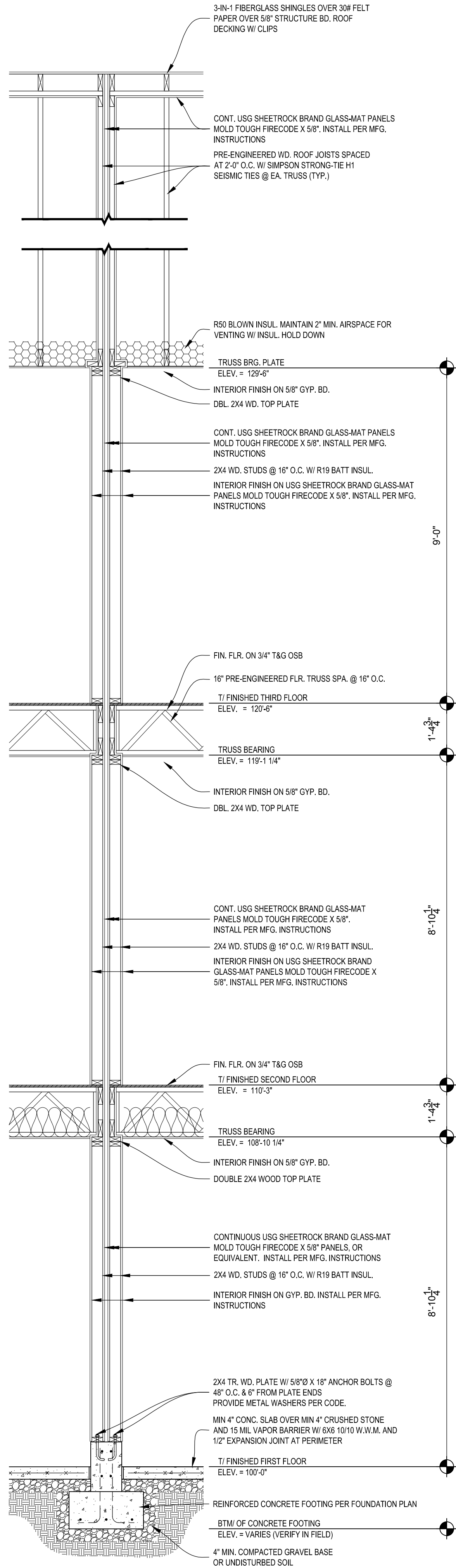
LUXURY TOWNHOMES FOR:
WININGER STOLBERG
at RENWICK VILLAGE
(NORTH BUILDING)
SOUTH PLAZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX, 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	BUILDING SECTION AND DETAILS

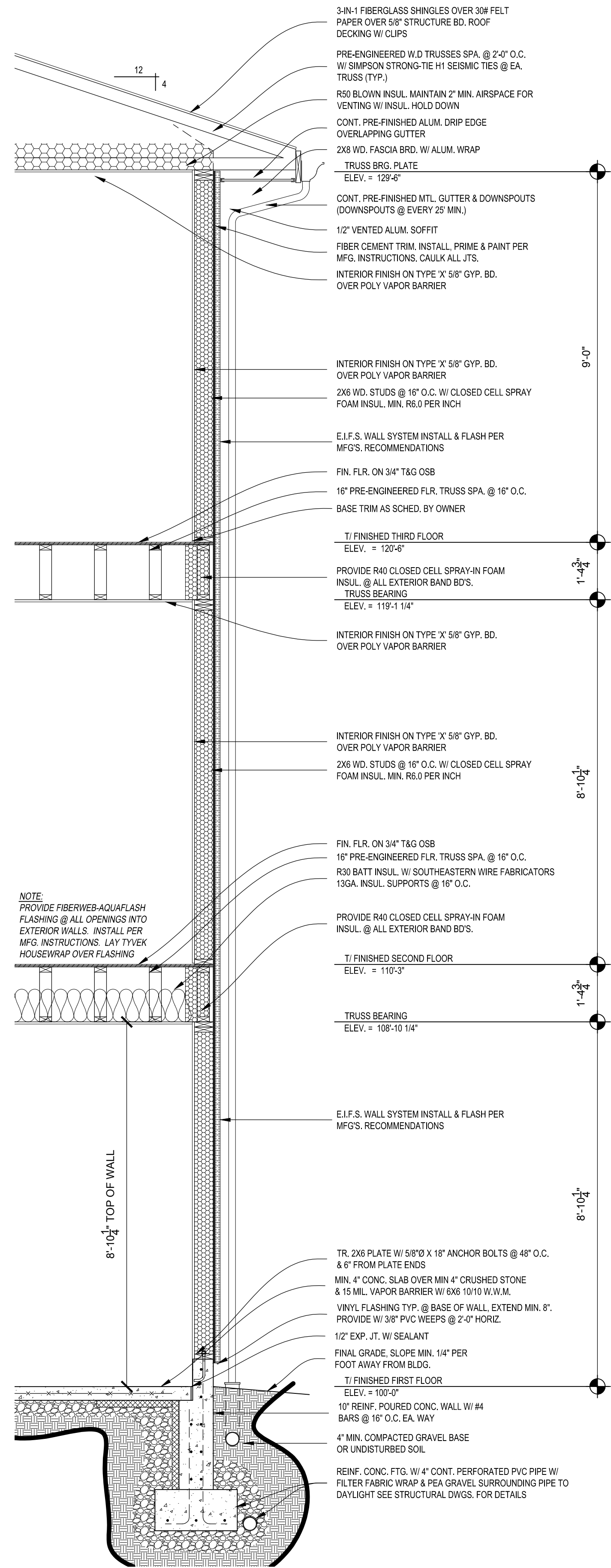
SHEET NO.
AE301



3 GARAGE DOOR BRACING DETAIL
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



1 TYPICAL WALL SECTION
1/2" = 1'-0"



REVISIONS

LUXURY TOWNHOMES FOR:

WININGER STOLBERG at RENWICK VILLAGE

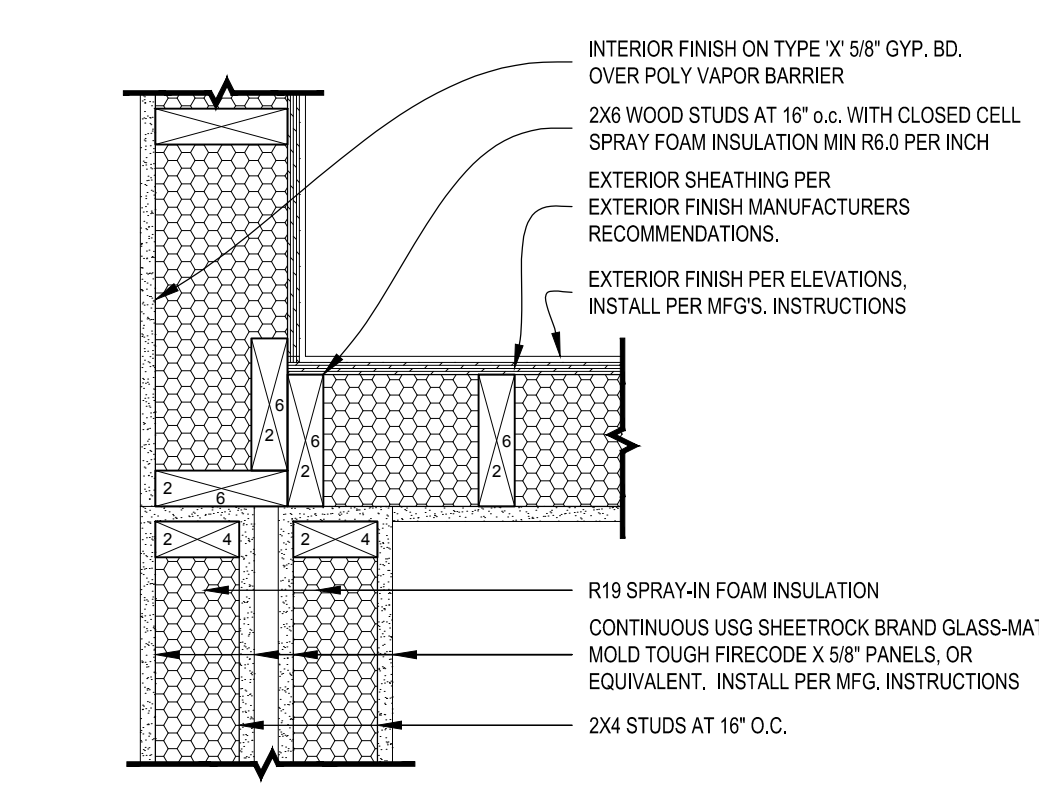
(NORTH BUILDING)
SOUTH PLAZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX. 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE

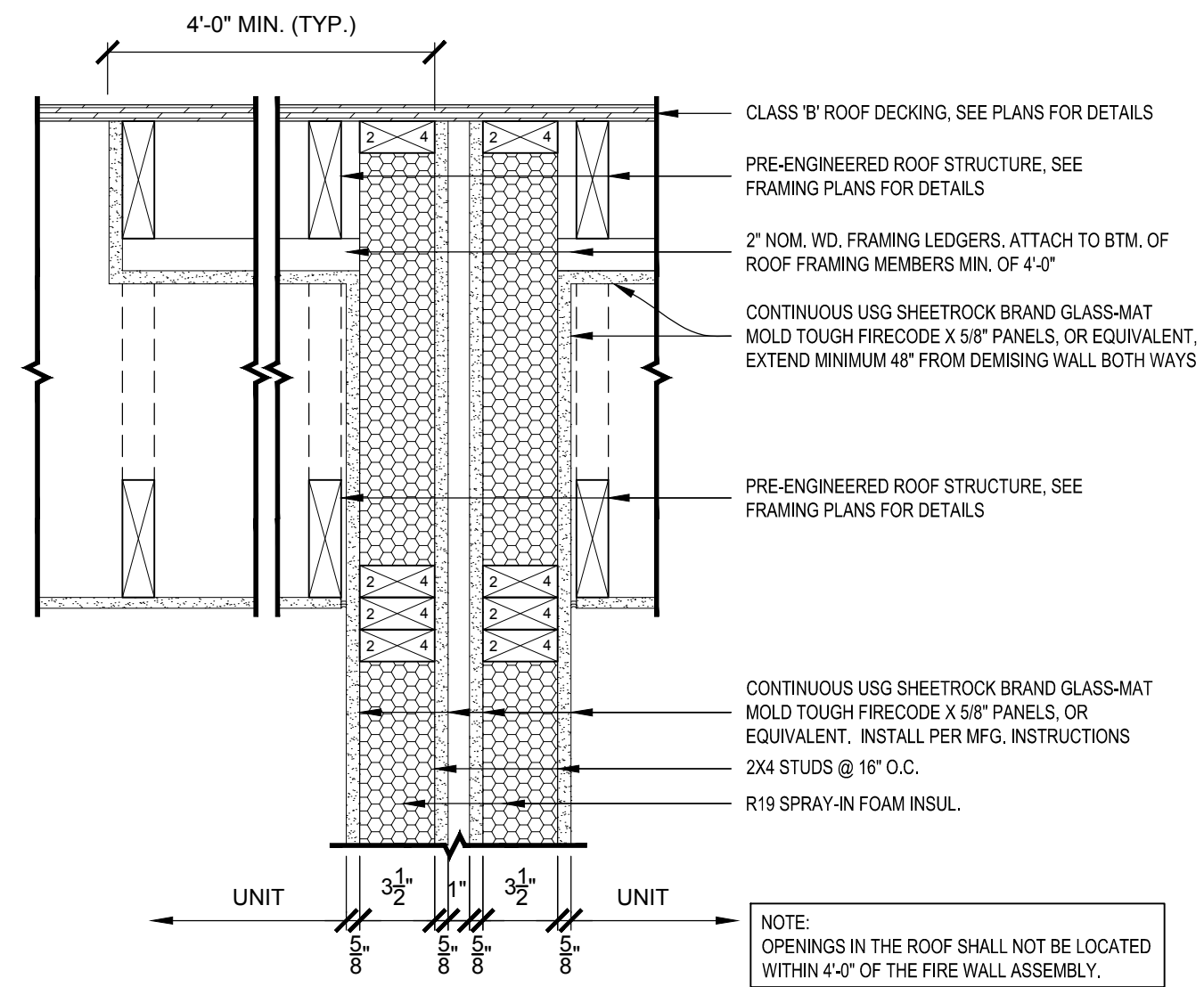
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BUILDING SECTIONS

SHEET NO.

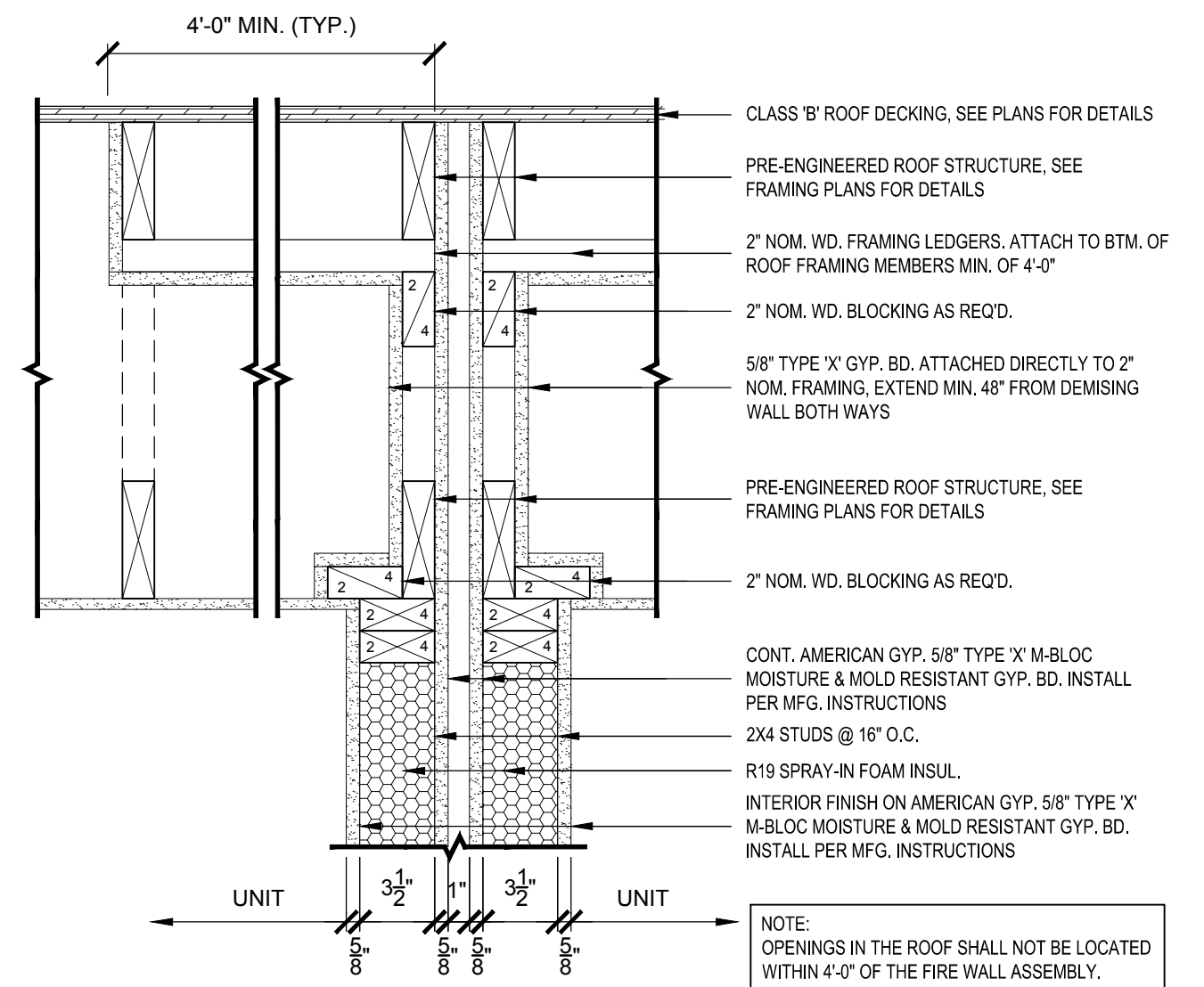
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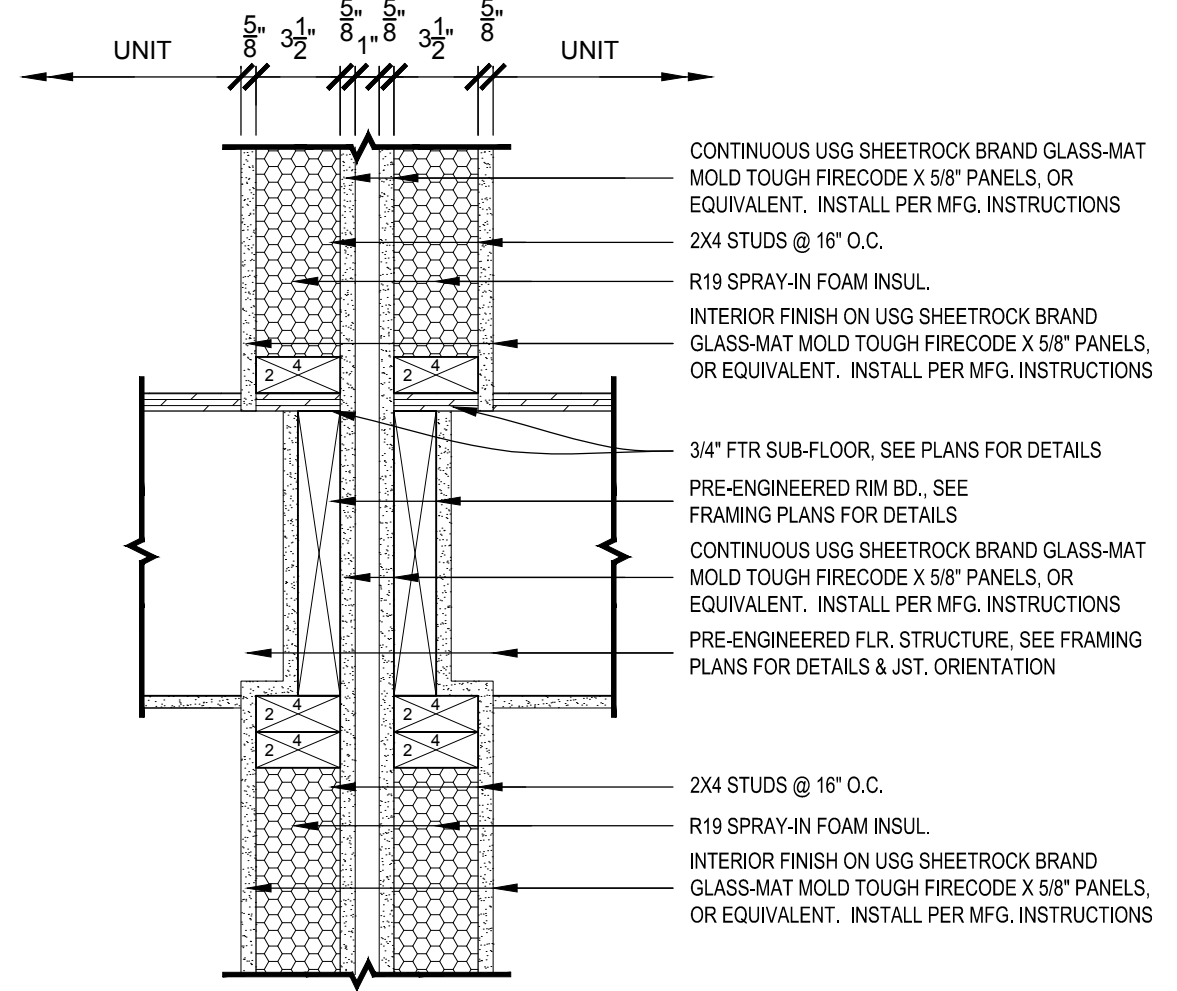
(2) STRUCTURALLY INDEPENDENT IHR. RATED END WALL DETAIL
1 1/2" = 1'-0"



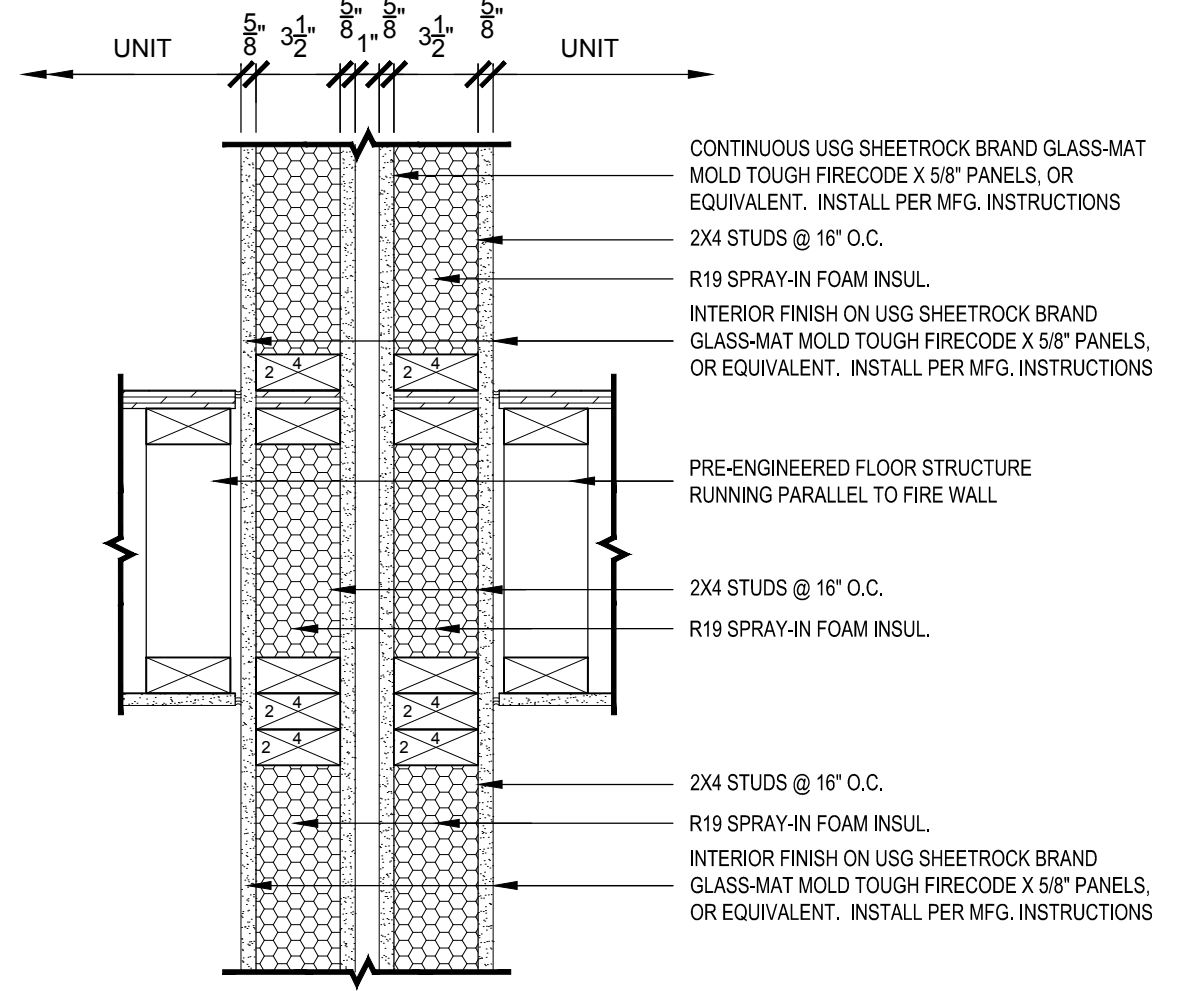
OPTIONAL FRAMING DETAIL FOR (2) STRUCTURALLY INDEPENDENT IHR. RATED ROOF FRAMING DETAIL
1 1/2" = 1'-0"



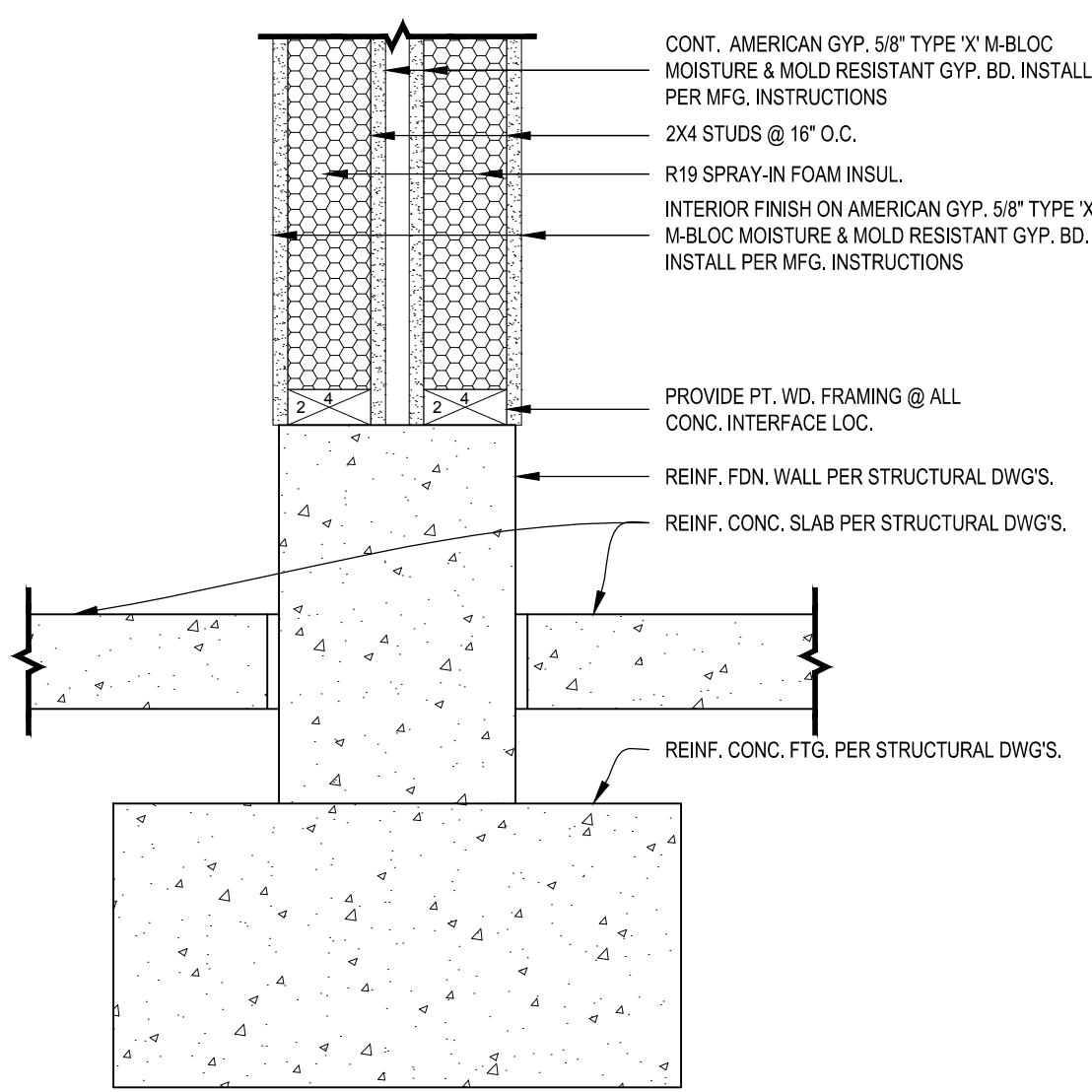
(2) STRUCTURALLY INDEPENDENT IHR. RATED ROOF FRAMING DETAIL
1 1/2" = 1'-0"



FIRE WALL PARALLEL TO FLOOR JOISTS (2) STRUCTURALLY INDEPENDENT IHR. RATED DEMISING WALL PARTITION DETAIL
1 1/2" = 1'-0"



BEARING ON FIRE WALL (2) STRUCTURALLY INDEPENDENT IHR. RATED DEMISING WALL PARTITION DETAIL
1 1/2" = 1'-0"



(2) STRUCTURALLY INDEPENDENT IHR. RATED DEMISING WALL PARTITION DETAIL
1 1/2" = 1'-0"



REVISIONS

LUXURY TOWNHOMES FOR:

WININGER STOLBERG

at RENWICK VILLAGE

(NORTH BUILDING)

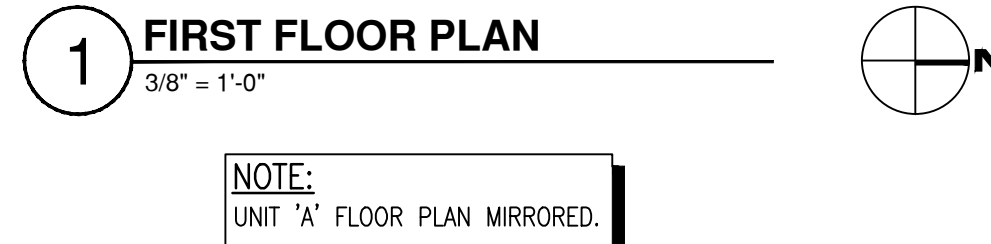
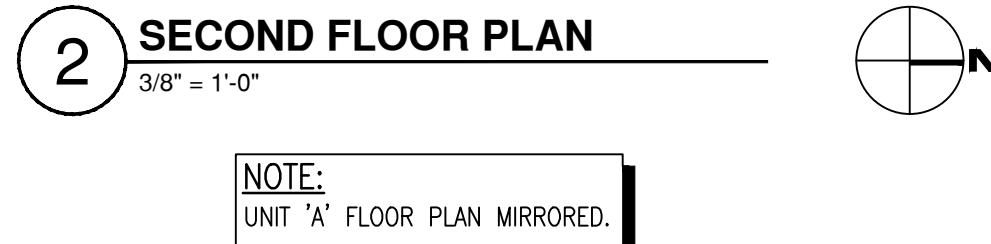
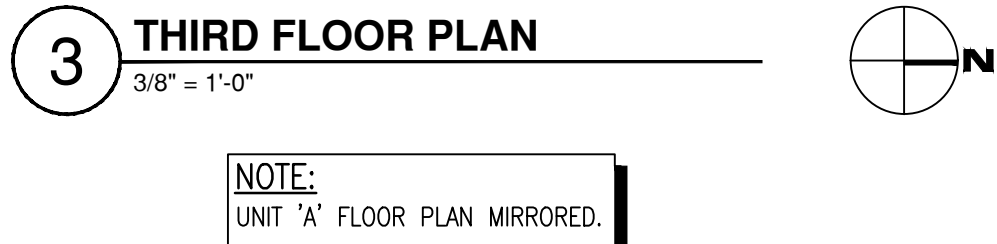
SOUTH PIAZZA DR. AND CATHCART ST.


BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX. XX. 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	DETAILS

SHEET NO.

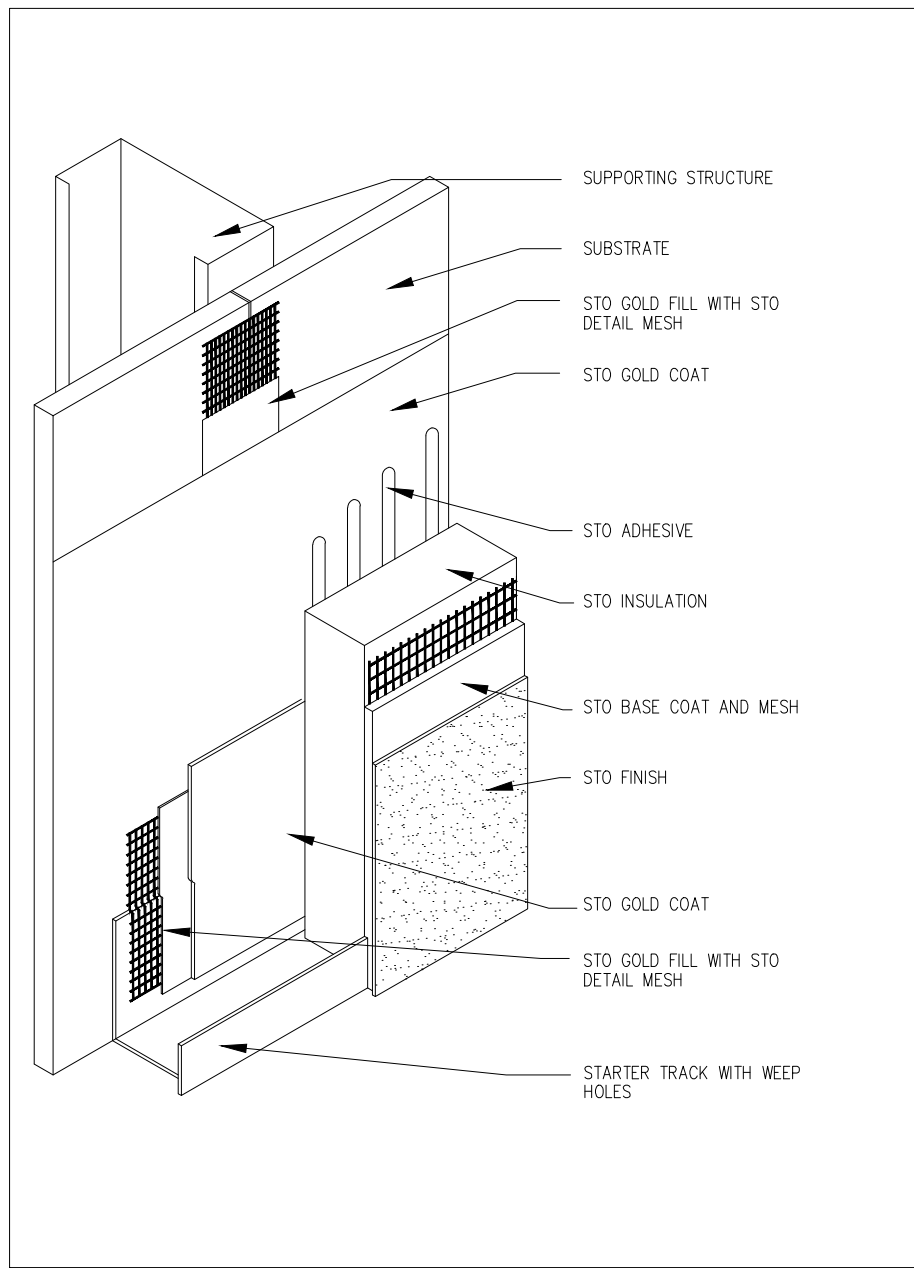
AE303



 REVISIONS

PROJECT NO.	1518
DATE	XXX. XX, 2018
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE
SHEET NAME	
ENLARGED UNIT FLOOR PLANS	
SHEET NO.	

AE401



Notes:

Detail shows the components of a Sto Exterior Insulation and Finish System (EIFS) with Gold Guard Moisture Protection

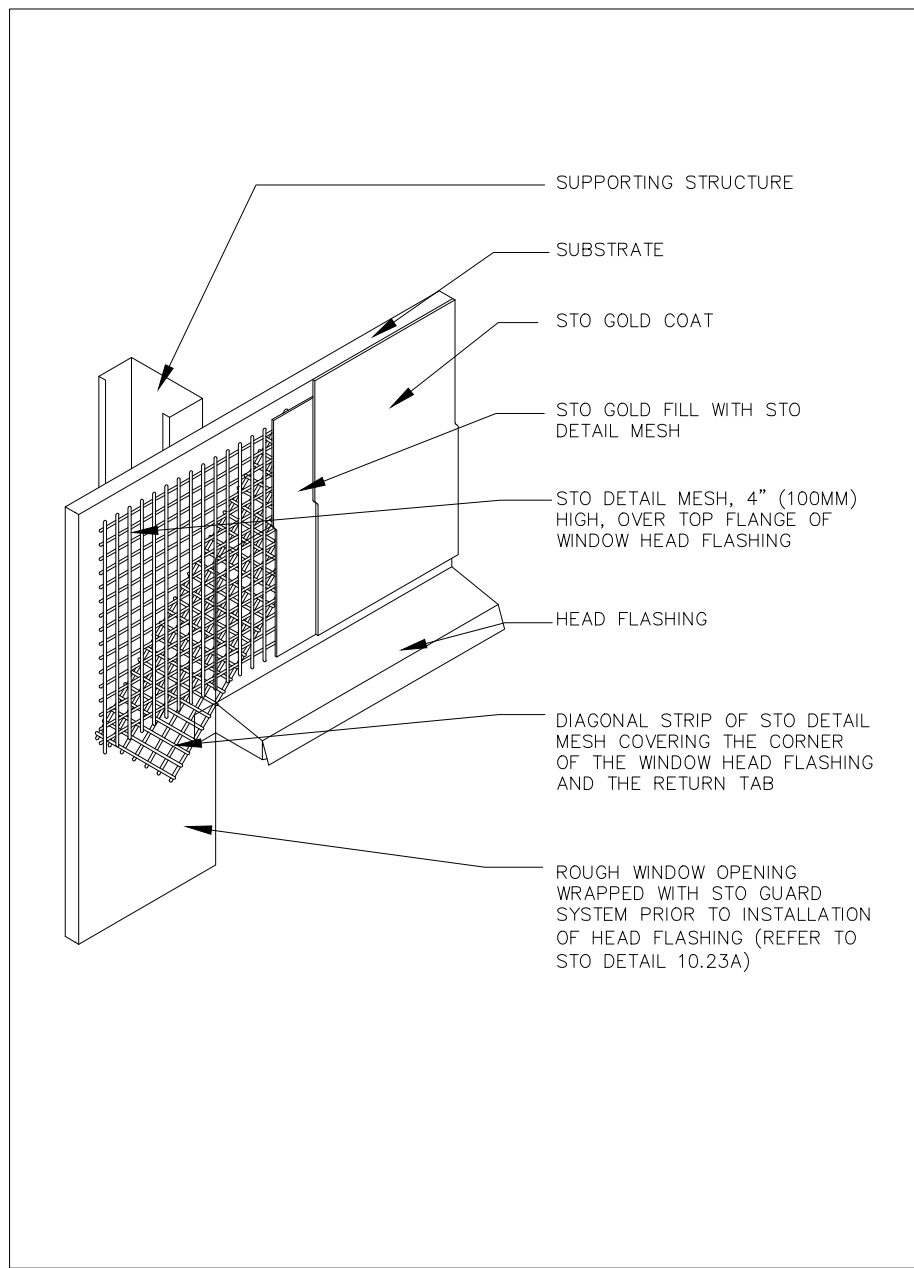
- Sto Gold Guard
- 1) Sto Gold Fill™ with Sto Detail Mesh
 - 2) Sto Gold Coat™

Sto EIFS:

- 1) Sto adhesive
- 2) Sto insulation
- 3) Sto base coat
- 4) Sto mesh
- 5) Sto finish

™ Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

A SYSTEM COMPONENTS
NOT TO SCALE STO DETAIL #10.00

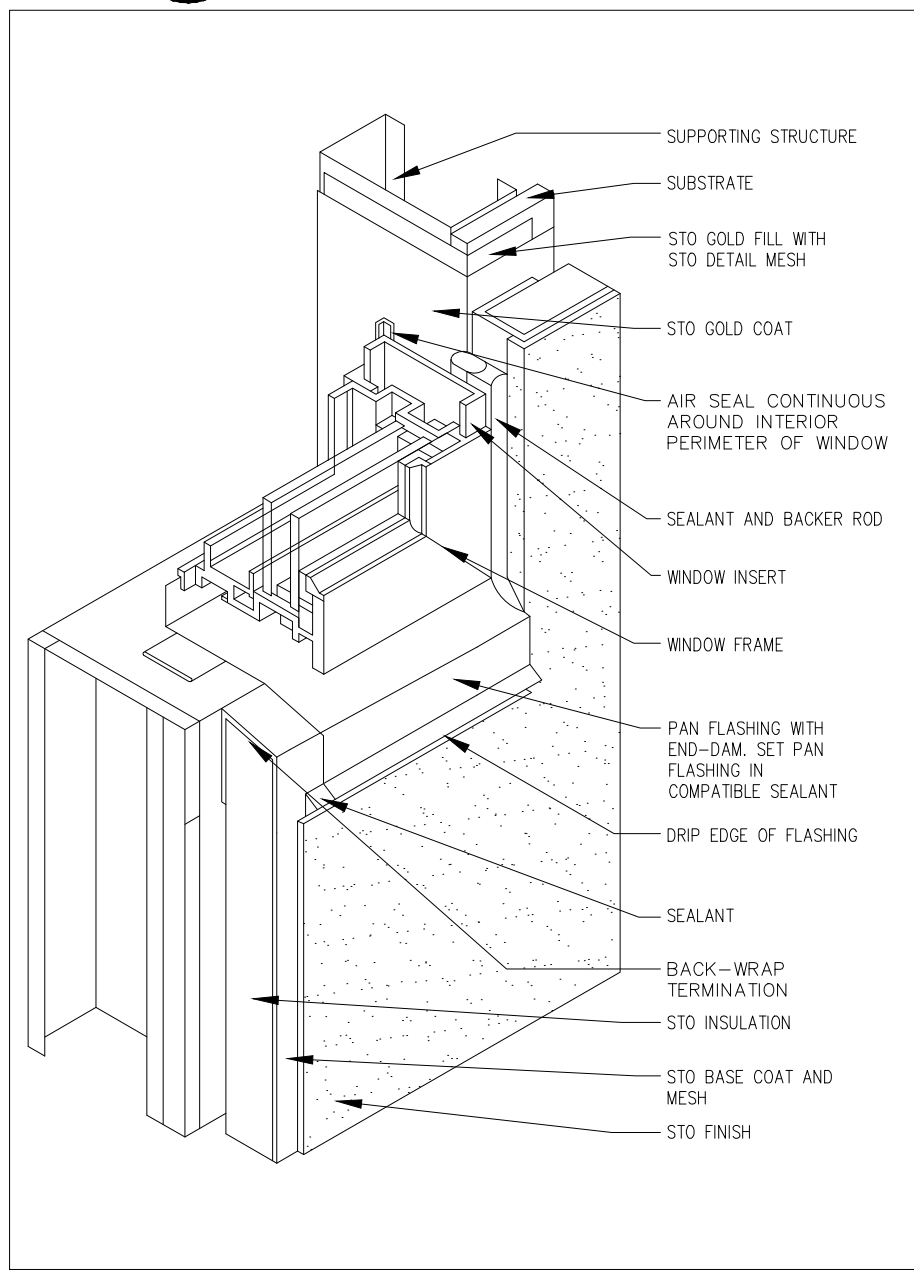


Notes:

- 1) Provide head flashing as required by local building codes and window manufacturer.
- 2) Coordinate Sto Guard installation sequence with window installer and other related trades.

™ Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

E INSTALLATION OF HEAD FLASHING
NOT TO SCALE STO DETAIL #10.23B

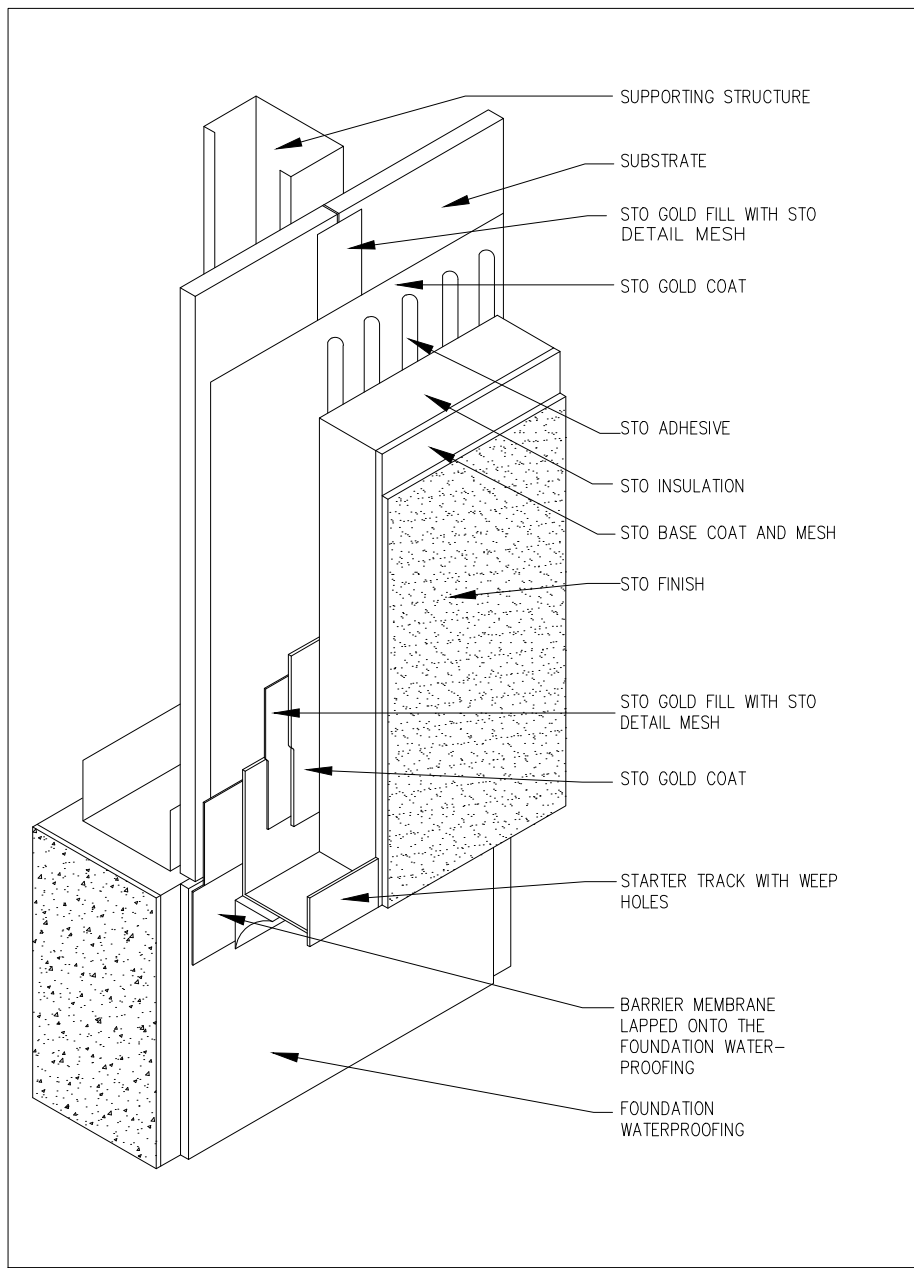


Notes:

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.23a and 10.24a).
- 3) Provide continuous air barrier connection around the perimeter of the window to reduce: leaking, condensation related to air movement, and sound and insect intrusion.
- 4) Provide leak-proof all pan flashing with end and back dams to catch any water penetration and direct it to the exterior of the wall assembly.
- 5) Provide window insert to optimize sealant configuration.

™ Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

J COMMERCIAL WINDOW SILL
NOT TO SCALE STO DETAIL #10.26A

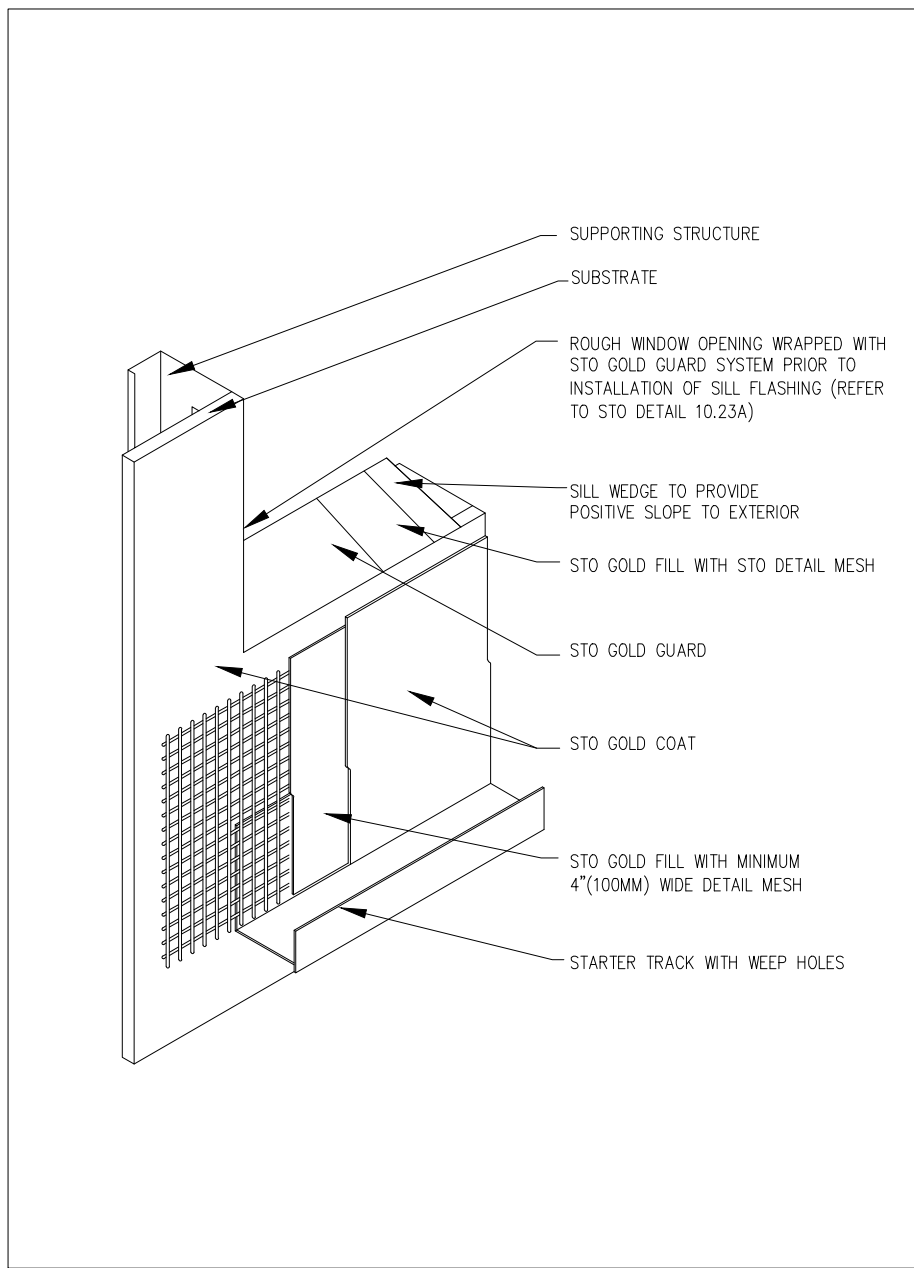


Notes:

- 1) Protect wall assembly from rising damp.
- 2) Terminate system a minimum of 8" (200mm) above grade or as required by code.
- 3) Direct sprinklers away from the wall.
- 4) Protect the wall from dirt accumulation by covering exposed earth where back splash may occur.
- 5) Provide ultra-high impact resistance (Sto Detail 1.00b) to a minimum height of 6'-0" (1.8m) above finished grade at areas accessible to pedestrian traffic and other areas exposed to abnormal stress or impact.

™ Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

B TERMINATION AT GRADE: SHEATHING FLUSH WITH FOUNDATION
NOT TO SCALE STO DETAIL #10.10A

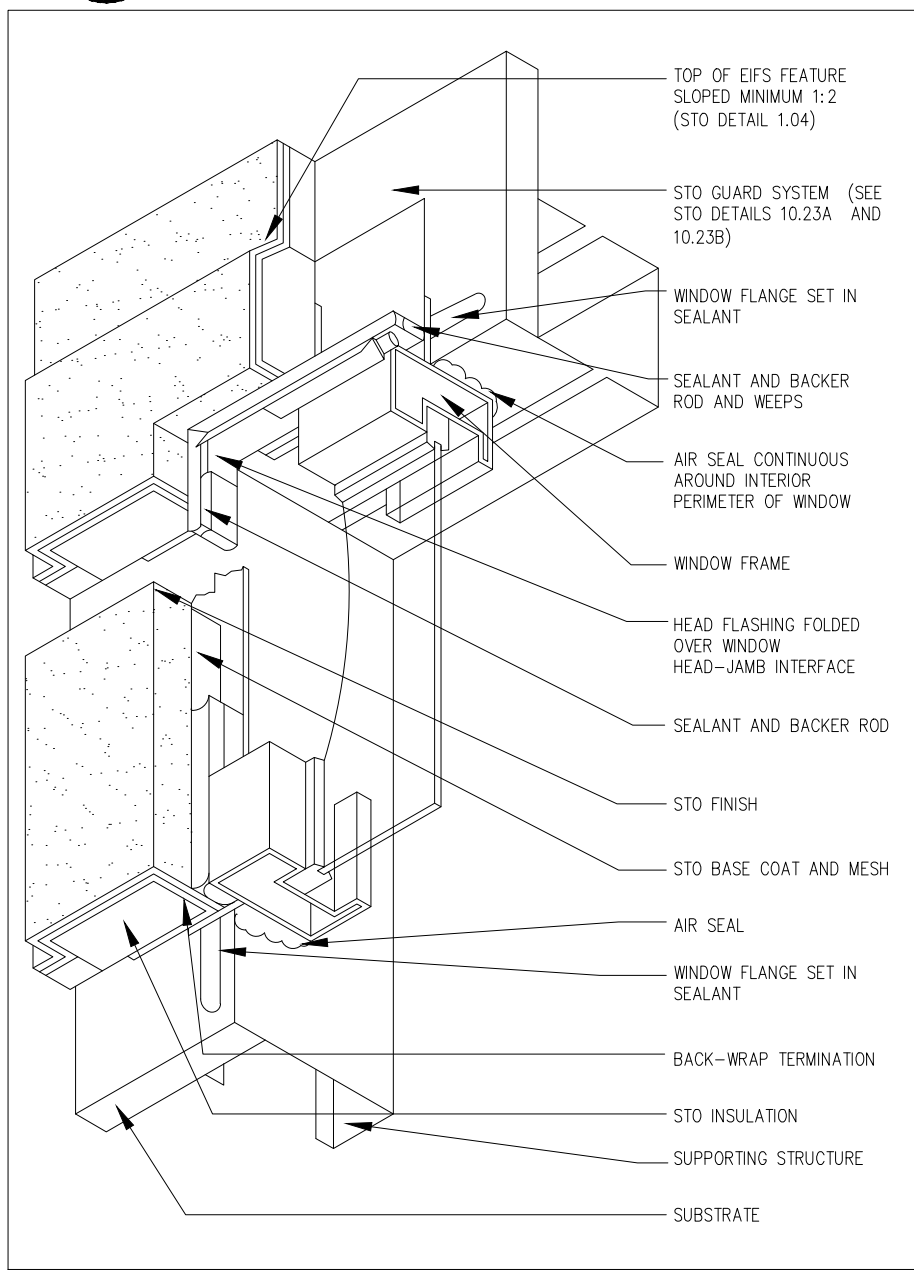


Notes:

- 1) Provide starter track as part of the sub-sill drainage assembly used in lieu of flashing. (Refer to Sto detail 10.28 and 10.29).
- 2) Coordinate Sto Guard installation sequence with window installer and other related trades.

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F INSTALLATION OF SILL FLASHING BENEATH SILL FEATURE
NOT TO SCALE STO DETAIL #10.23C

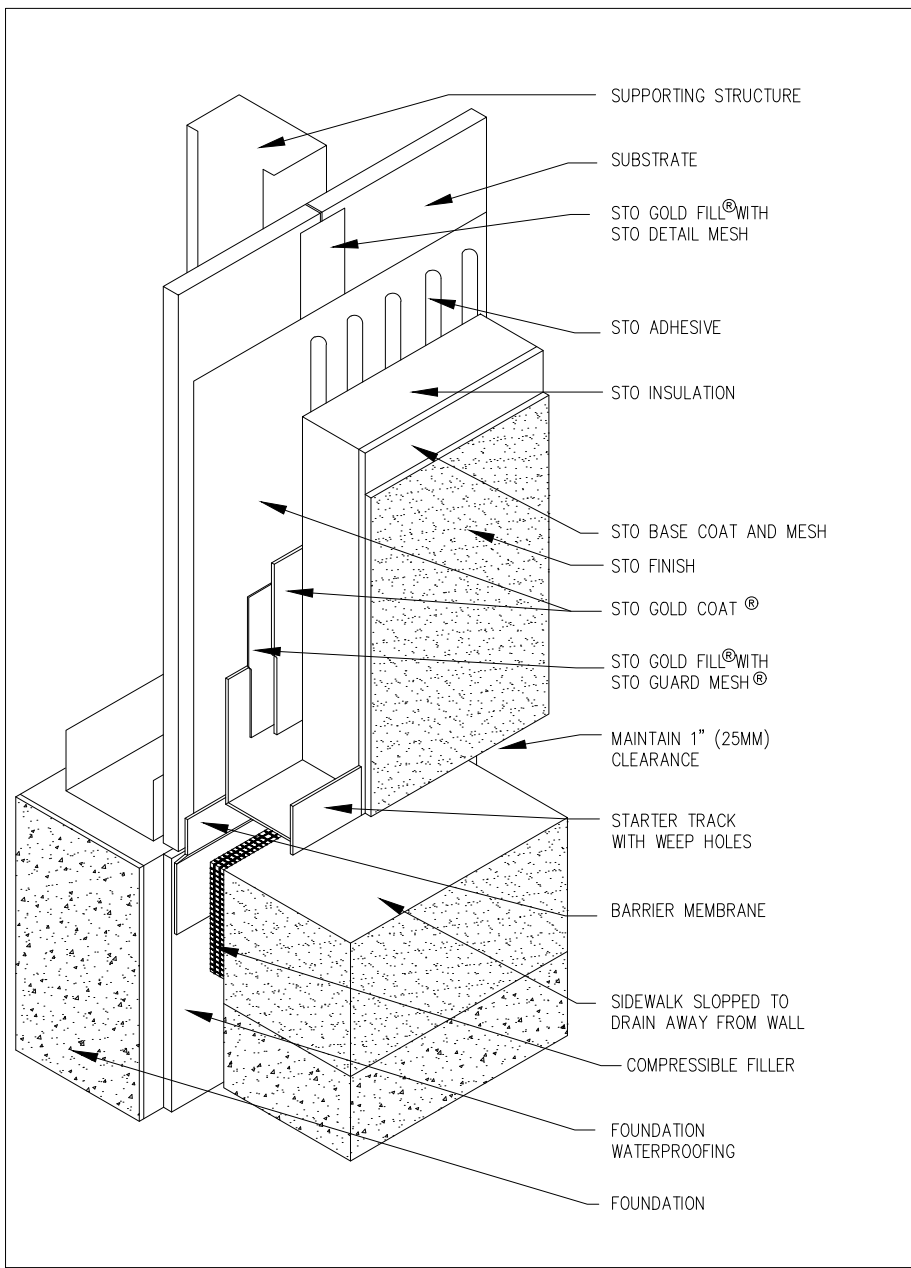


Notes:

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Provide flashing installed over the window to direct water away from the window. Verify requirements for head flashing with local codes and window manufacturer. If not required, seal between window head and EIFS.
- 3) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.28 and 10.29).
- 4) Provide continuous air barrier connection around the perimeter of the window to reduce: leaking, condensation related to air movement, and sound and insect intrusion.
- 5) Coordinate Sto Guard installation with window installer.

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K FLANGED WINDOW HEAD
NOT TO SCALE STO DETAIL #10.27

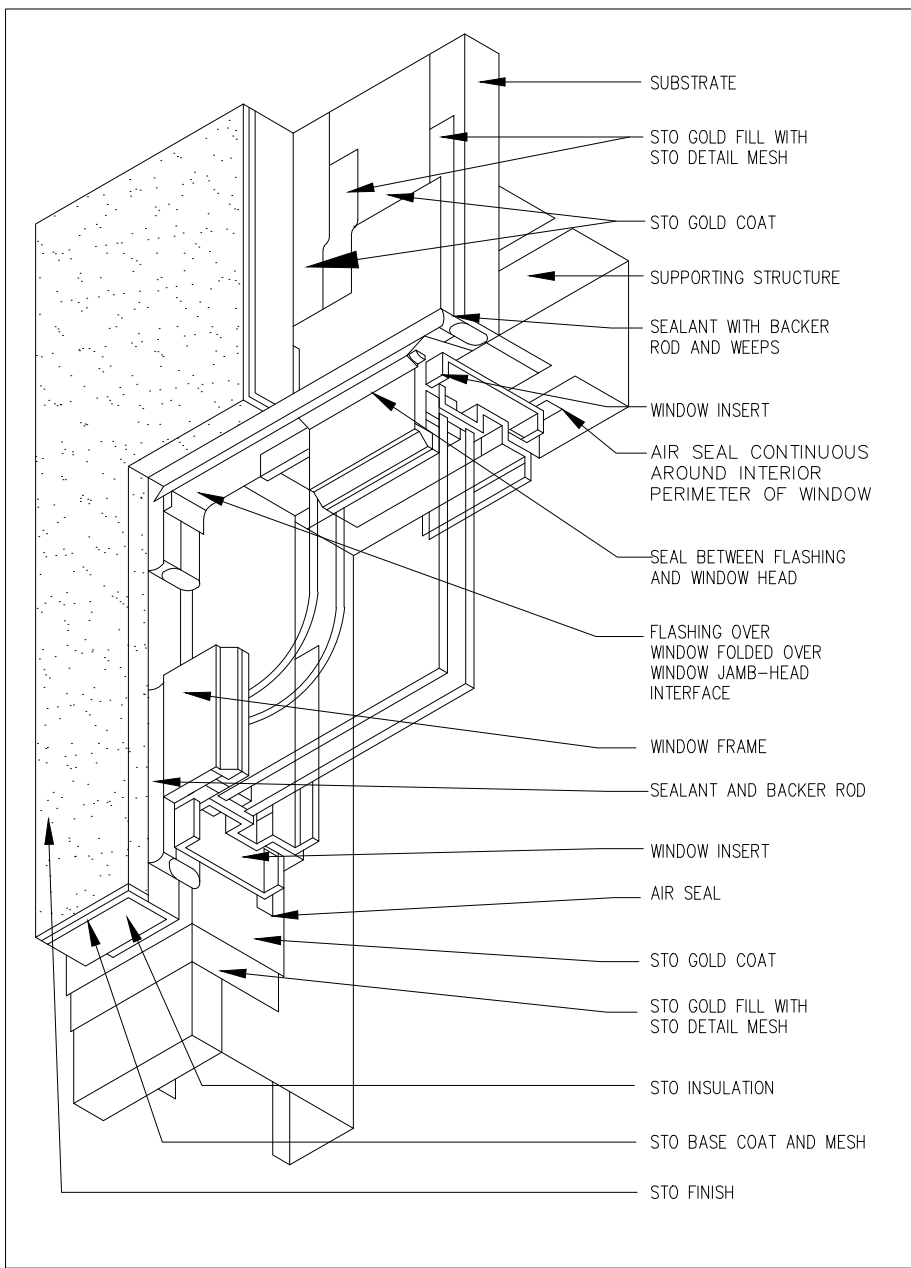


Notes:

- 1) Restrict the use of this detail to weather-protected walls.
- 2) Provide a positive slope of sidewalk away from the wall.
- 3) Protect wall assembly from rising damp.
- 4) Provide ultra-high impact resistance (Sto Detail 1.00b) to a minimum height of 6'-0" (1.8m) above finished grade at areas accessible to pedestrian traffic and other areas exposed to abnormal stress or impact.

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C TERMINATION AT PROTECTED SIDEWALK
NOT TO SCALE STO DETAIL #10.11

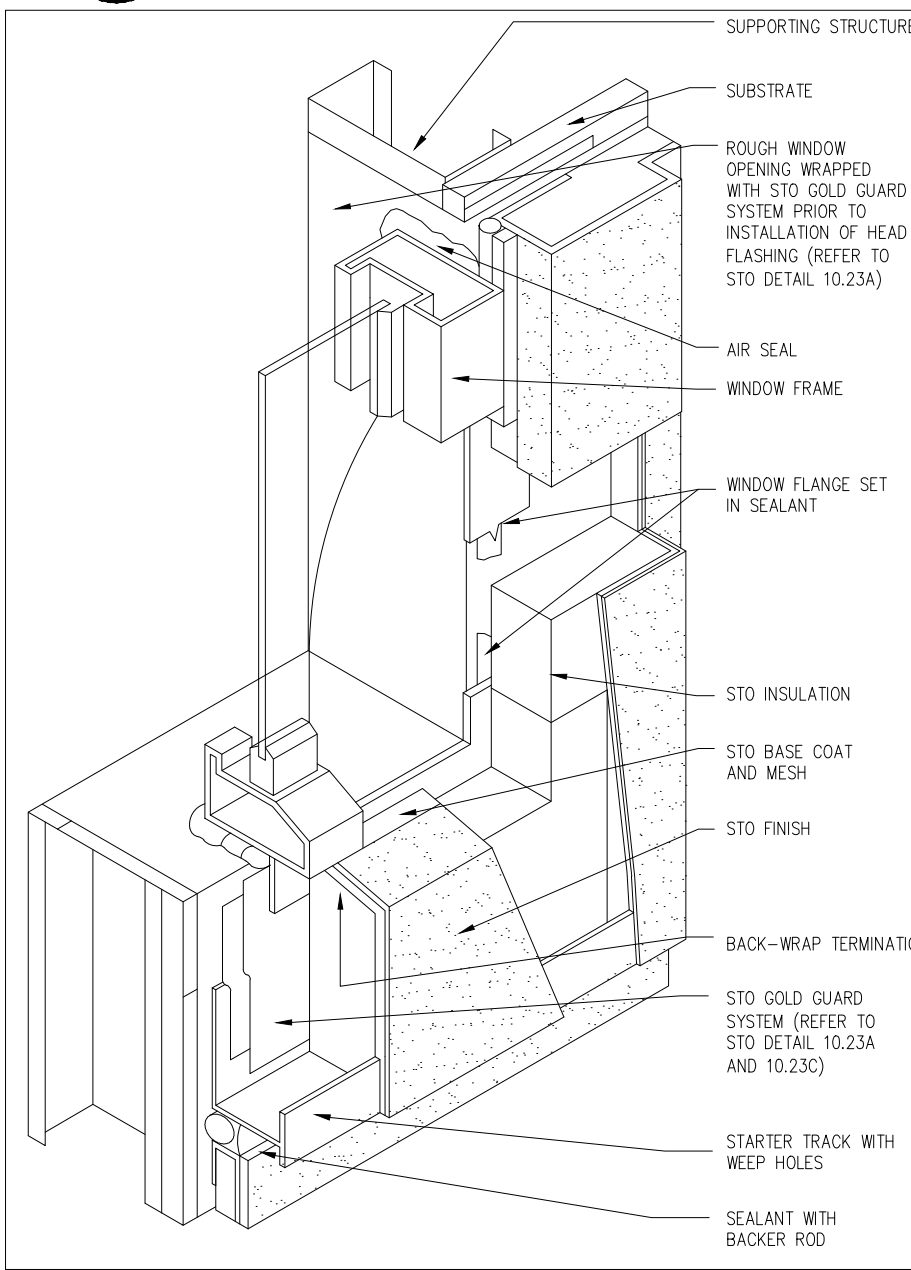


Notes:

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Provide flashing installed over the window to direct water away from the window. Verify requirements for head flashing with local codes and window manufacturer. If flashing is not required, seal between window head and EIFS.
- 3) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.25a and 10.26a).
- 4) Provide continuous air barrier connection around the perimeter of the window to reduce: leaking, condensation related to air movement, and sound and insect intrusion.
- 5) Provide window insert to optimize sealant configuration.

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G COMMERCIAL WINDOW HEAD
NOT TO SCALE STO DETAIL #10.24A

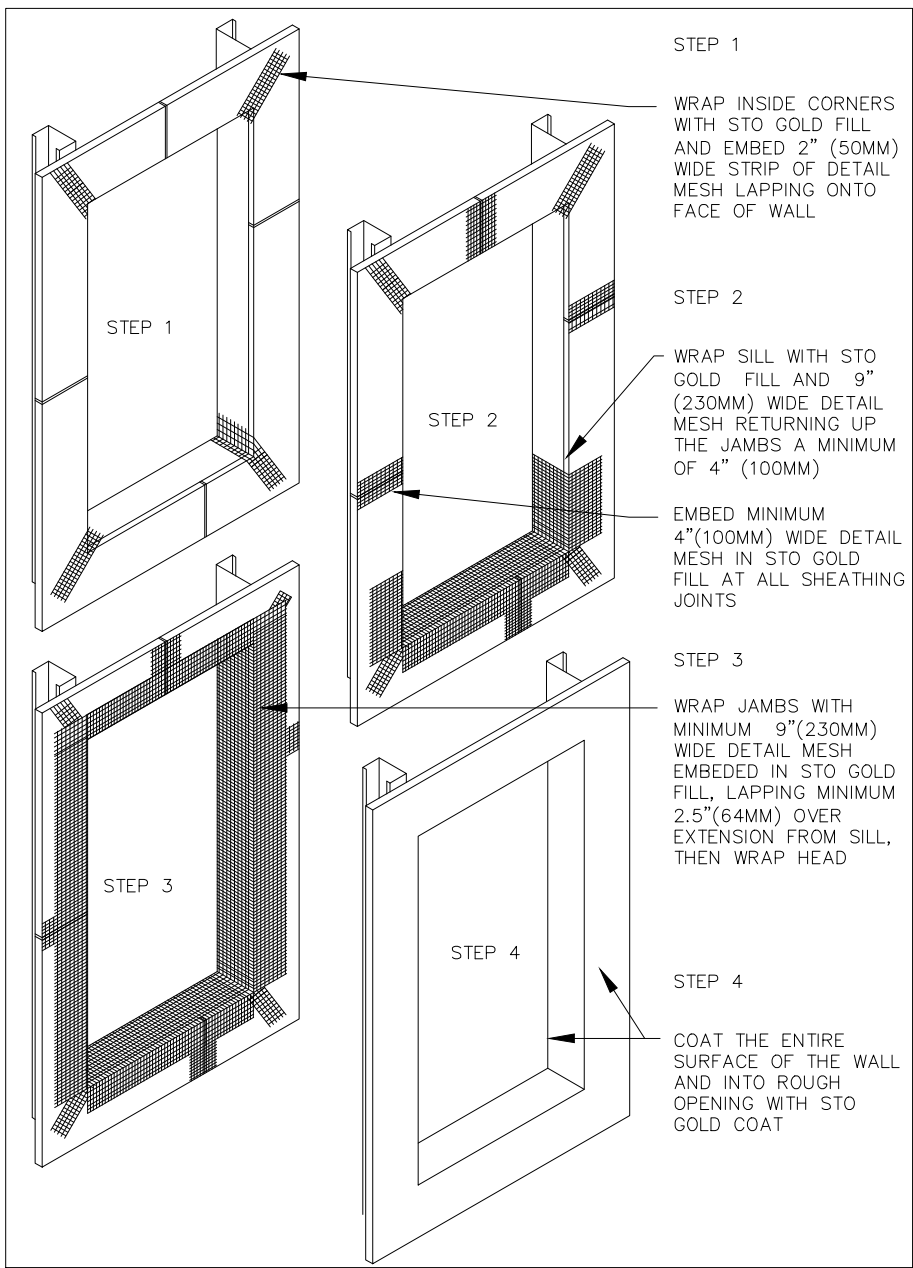


Notes:

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.27 and 10.28).
- 3) Provide continuous air barrier connection around the perimeter of the window to reduce: leaking, condensation related to air movement, and sound and insect intrusion.
- 4) Coordinate Sto Guard installation sequence with window installer and other related trades.

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L FLANGED WINDOW JAMB
NOT TO SCALE STO DETAIL #10.28

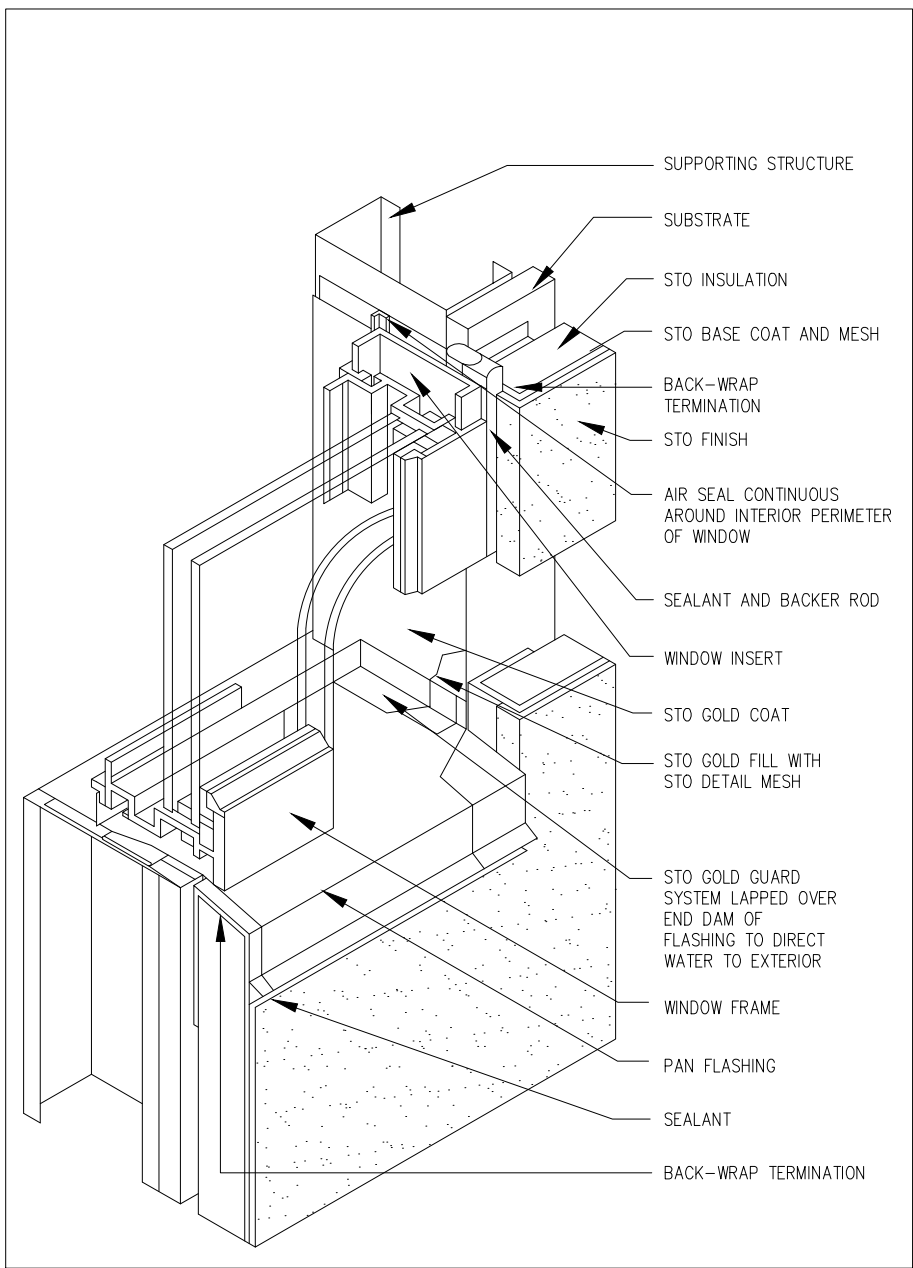


Notes:

- 1) Prepare opening prior to the installation of the window or mechanical equipment. Create a slope to the exterior at the sill with a sill wedge.
- 2) Incorporate flashing as illustrated in 10.23a and 10.23c or as per other details where flashing is shown (e.g. 10.25).
- 3) The complete installation of window or mechanical equipment should include an air seal between the object and the Sto Gold Guard protection inboard of the outer sealant joint.

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D PREPARATION OF ROUGH OPENING
NOT TO SCALE STO DETAIL #10.23A

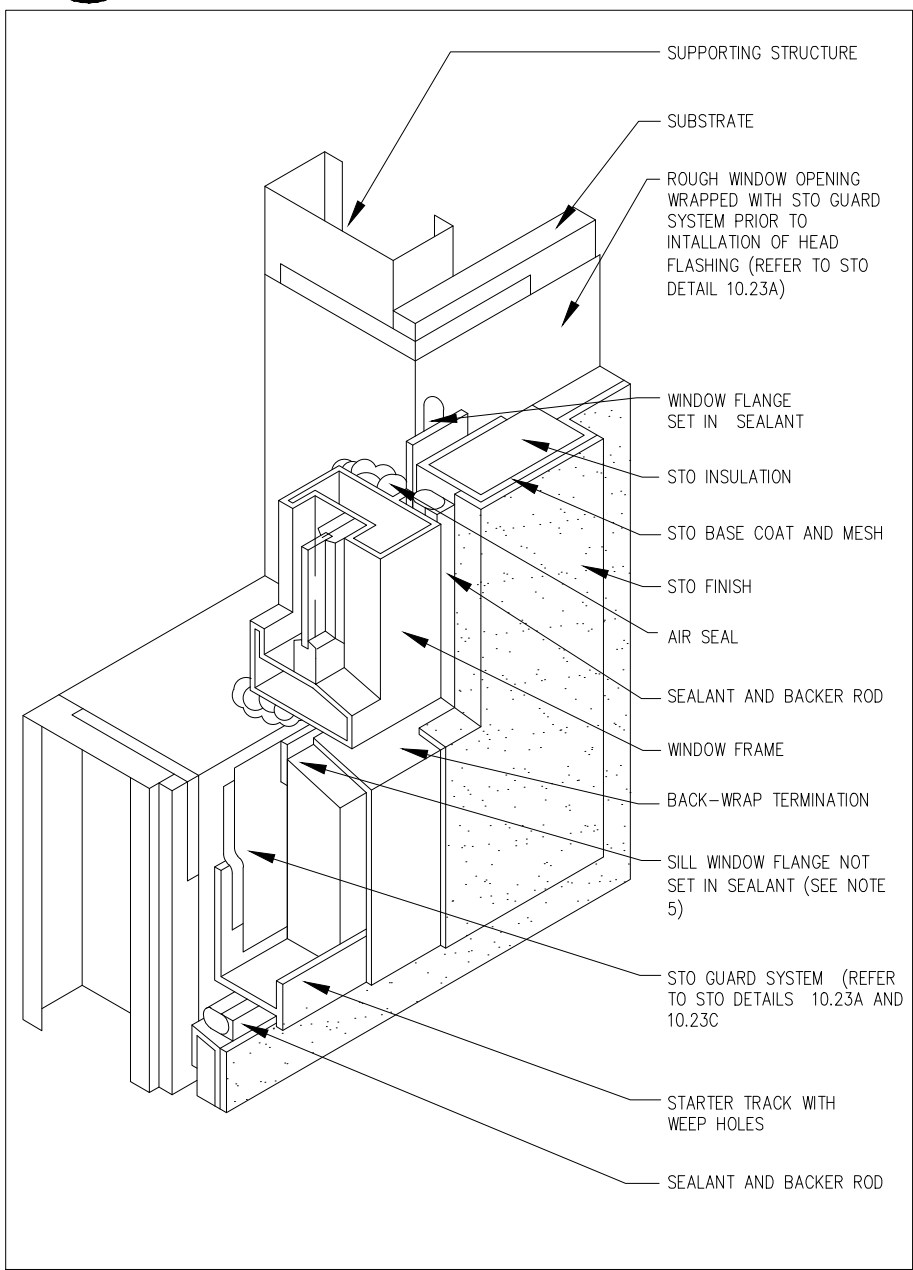


Notes:

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. (See Sto detail 10.23a). Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.24a and 10.26a).
- 3) Provide continuous air barrier connection around the perimeter of the window to reduce: leaking, condensation related to air movement, and sound and insect intrusion.
- 4) Provide window insert to optimize sealant configuration.

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H COMMERCIAL WINDOW JAMB
NOT TO SCALE STO DETAIL #10.25A



Notes:

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.27 and 10.28).
- 3) Provide continuous air barrier connection around the perimeter of the window to reduce: leaking, condensation related to air movement, and sound and insect intrusion.
- 4) Coordinate Sto Guard installation sequence with window installer and other related trades.
- 5) Do not set window sill flange in sealant unless approved by window manufacturer.

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M FLANGED WINDOW SILL
NOT TO SCALE STO DETAIL #10.29



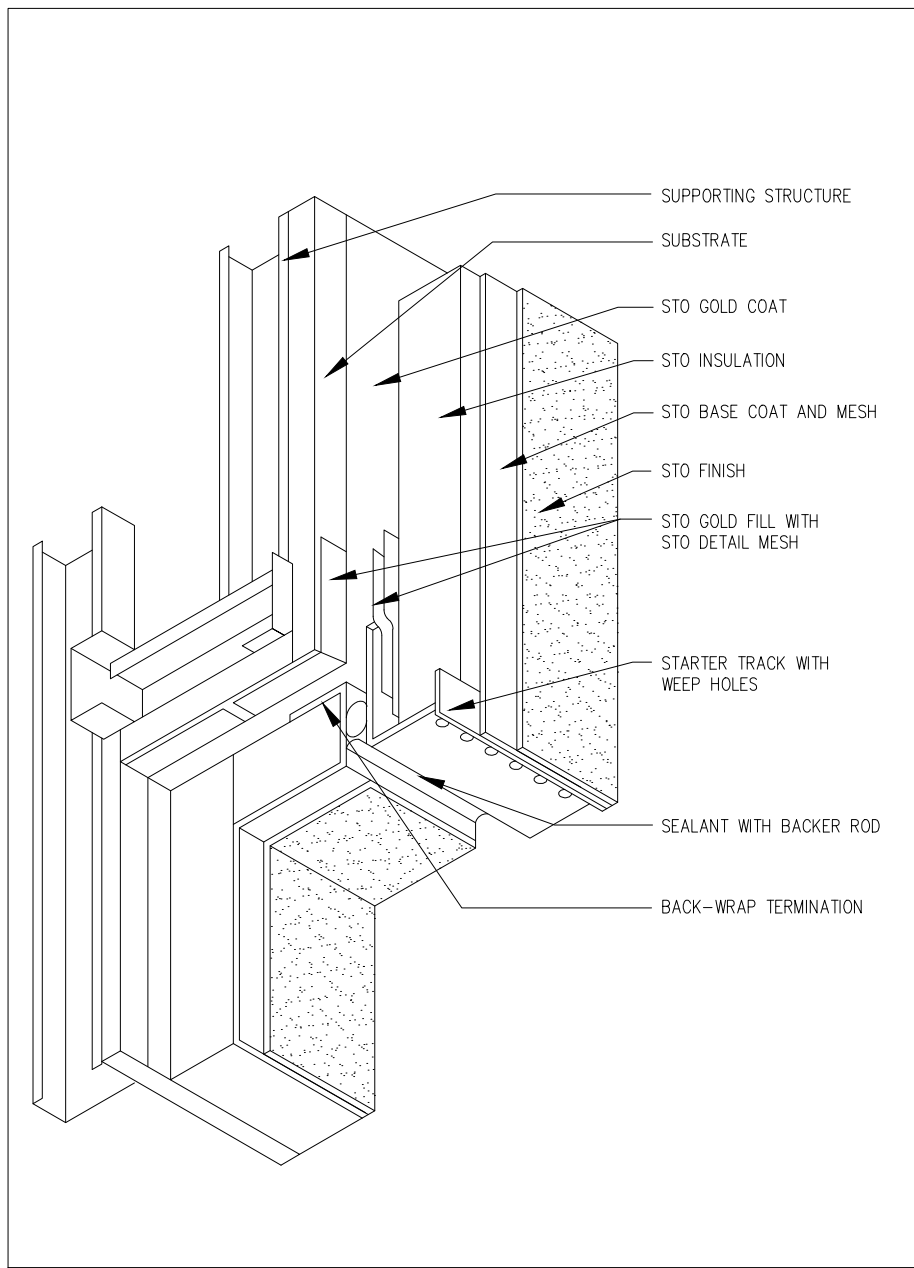
REVISIONS

NO.	DESCRIPTION	DATE

LUXURY TOWNHOMES FOR:
WININGER STOLBERG
at RENWICK VILLAGE
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404

PROJECT NO.	1518
DATE	XXX.XX.2018
DRAWN BY	
CHECKED BY	D. BRUCE
SHEET NAME	
STO NEXT EIFS DETAILS	
SHEET NO.	

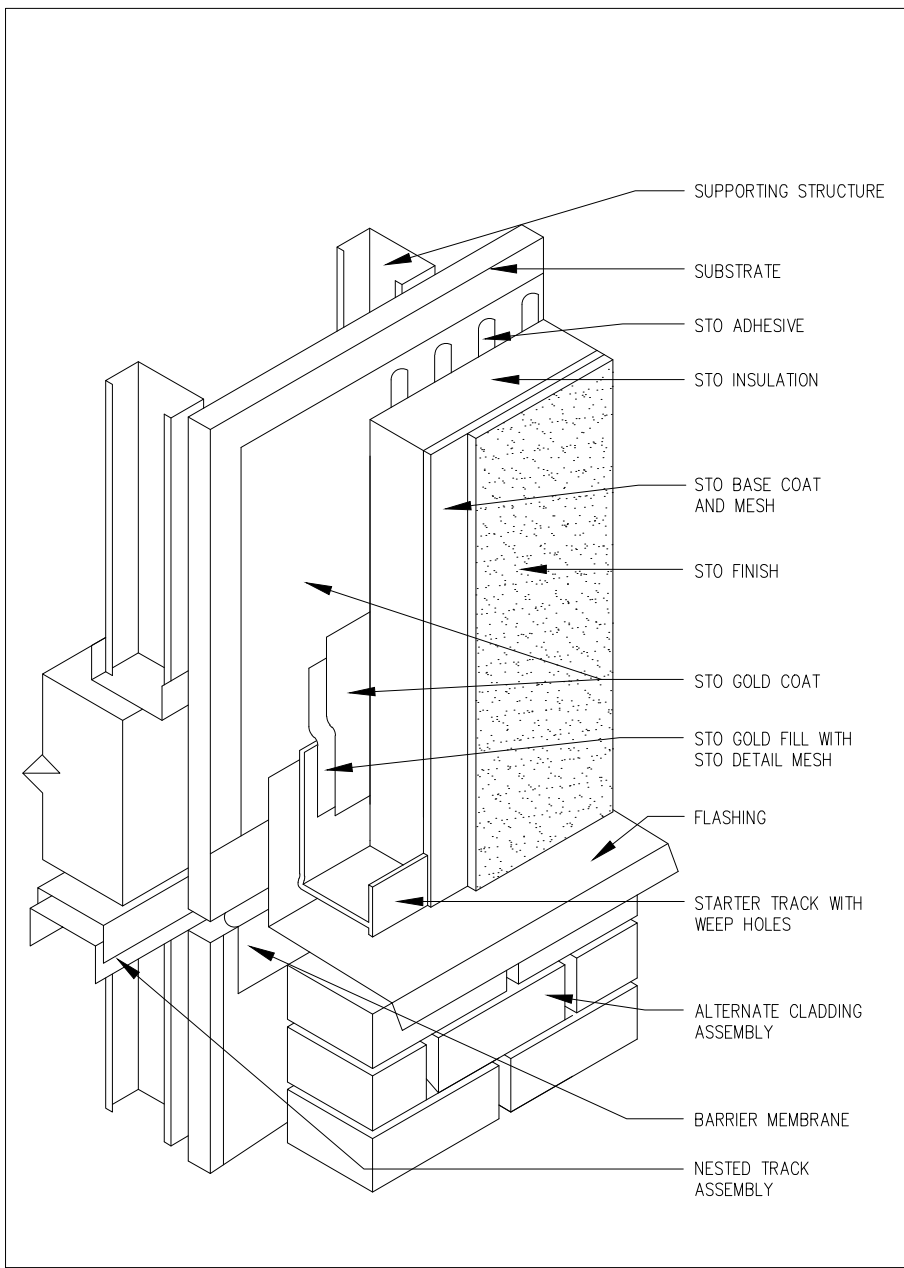
AE501



Notes:

- Where wall/soffit are subject to differential movement provide a joint at the inside corner.

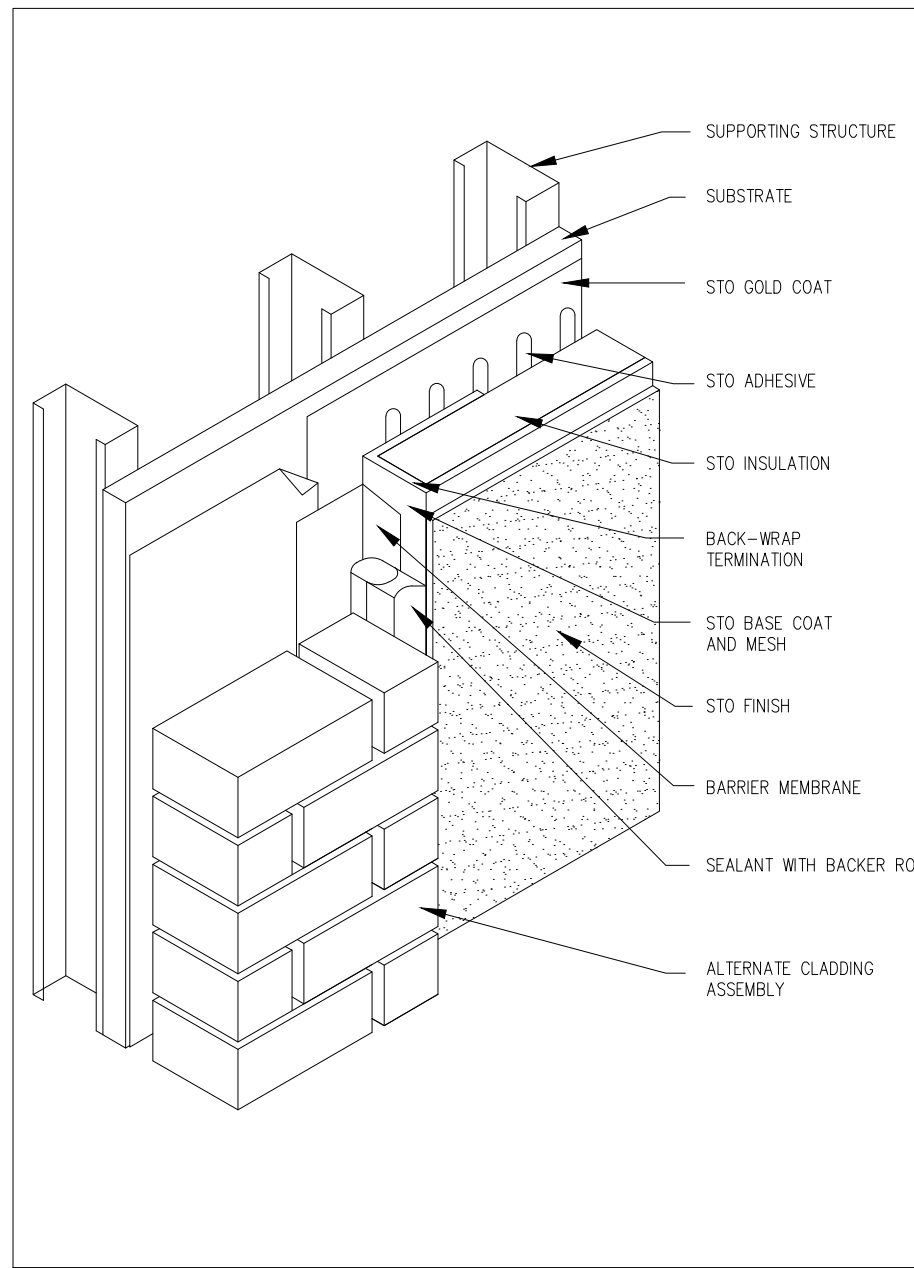
TM Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.



Notes:

- Do not attach upper sheathing to nested track. Only attach lower sheathing to nested track.
- The maximum allowable sheathing span of the floor line is 8" (200mm) or as recommended by the sheathing manufacturer.
- Provide flashing minimum 4" (100mm) behind the Sto EPS and project beyond the face of the alternate cladding below.
- Consider the amount of movement in the alternate cladding material, especially if a different structural support system exists for that cladding. Position flashing to accommodate movement and ensure drainage to the exterior.
- Determine installation sequence in advance of construction.

TM Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.



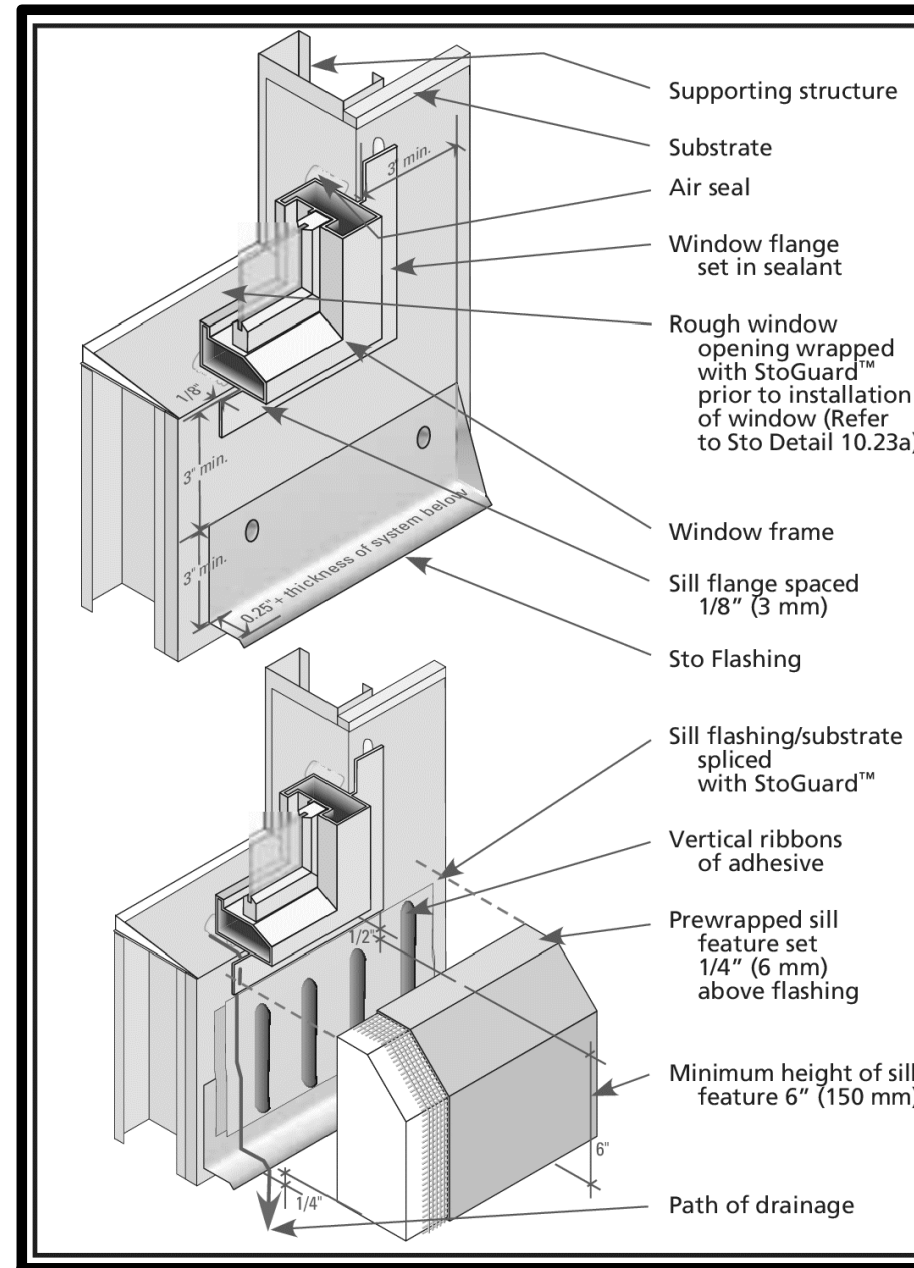
Notes:

- Determine installation sequence in advance of construction. Coordinate substrates to ensure the proper installation of materials.
- Barrier membrane isolates the potentially wet environment behind the alternate cladding from the EPS.
- Provide minimum 3/4" (20mm) joint between the EPS and the alternate cladding. Provide drainage for the joint assembly.

TM Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

B UNVENTED INSULATED SOFFIT

NOT TO SCALE STO DETAIL #10.30

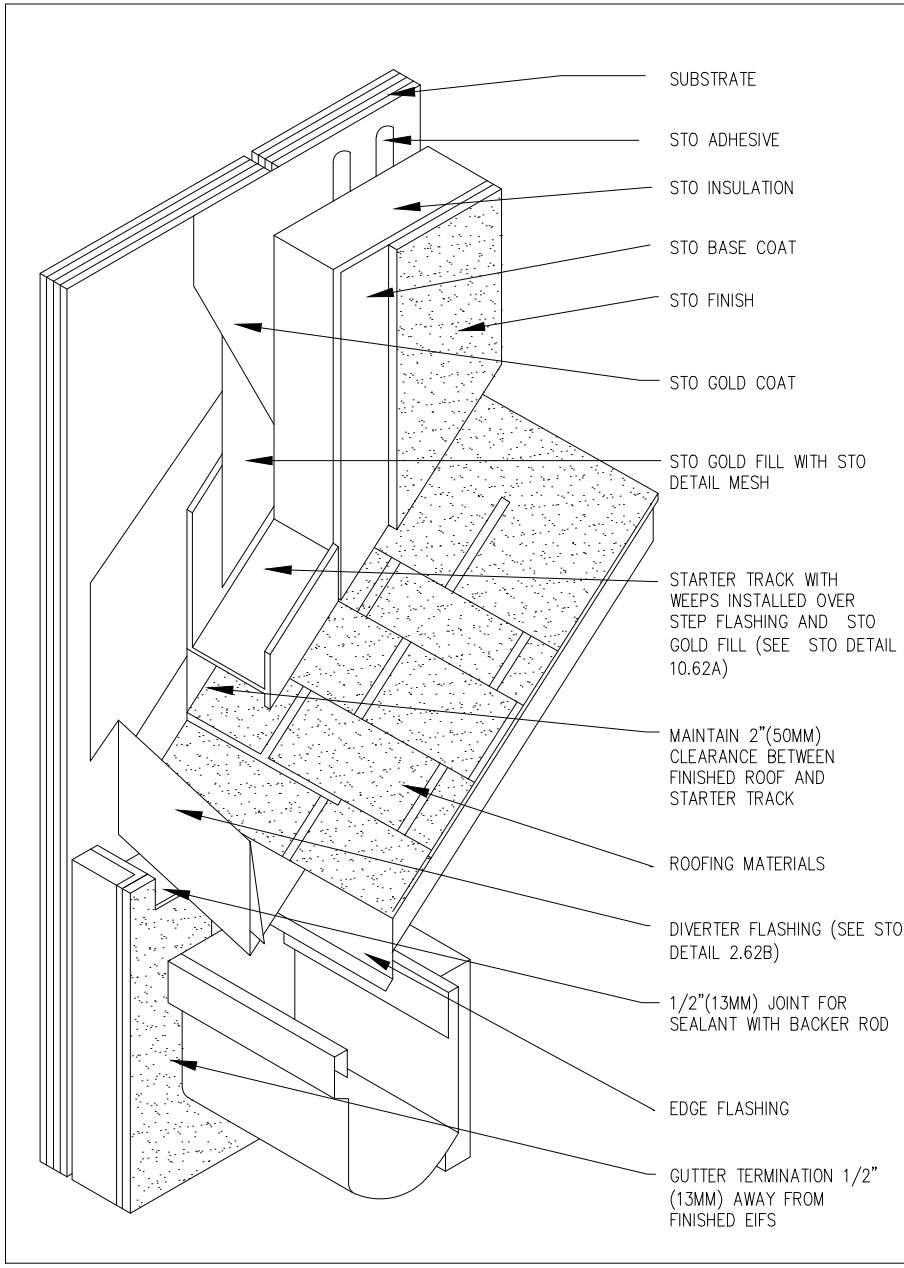


Notes:

- Coordinate StoGuard installation sequence with window installer and other related trades.
- Mark 3" (75 mm) from the window frame jams and sill.
- Install the flashing below the window to allow for minimum 4" (100 mm) splice of StoGuard centered over the flashing/substrate. Allow an additional 1/2" (13 mm) for the perimeter seal beneath the window sill and an additional 1/4" (6 mm) gap between the sill feature and flashing below.
- The flashing should extend out from the wall a minimum of 1/4" (6 mm) beyond the StoTherm NEXT cladding below.
- Prewrap the sill feature with StoTherm NEXT base coat and reinforcing mesh and install with vertical ribbons of adhesive. Provide a kerf in the back of the sill feature to accommodate flashing end dams.
- Install balance of StoTherm NEXT lapping base coat and mesh onto sill feature minimum 2.5" (65 mm).

C HORIZONTAL JOINT AT DISSIMILAR MATERIAL

NOT TO SCALE STO DETAIL #10.42



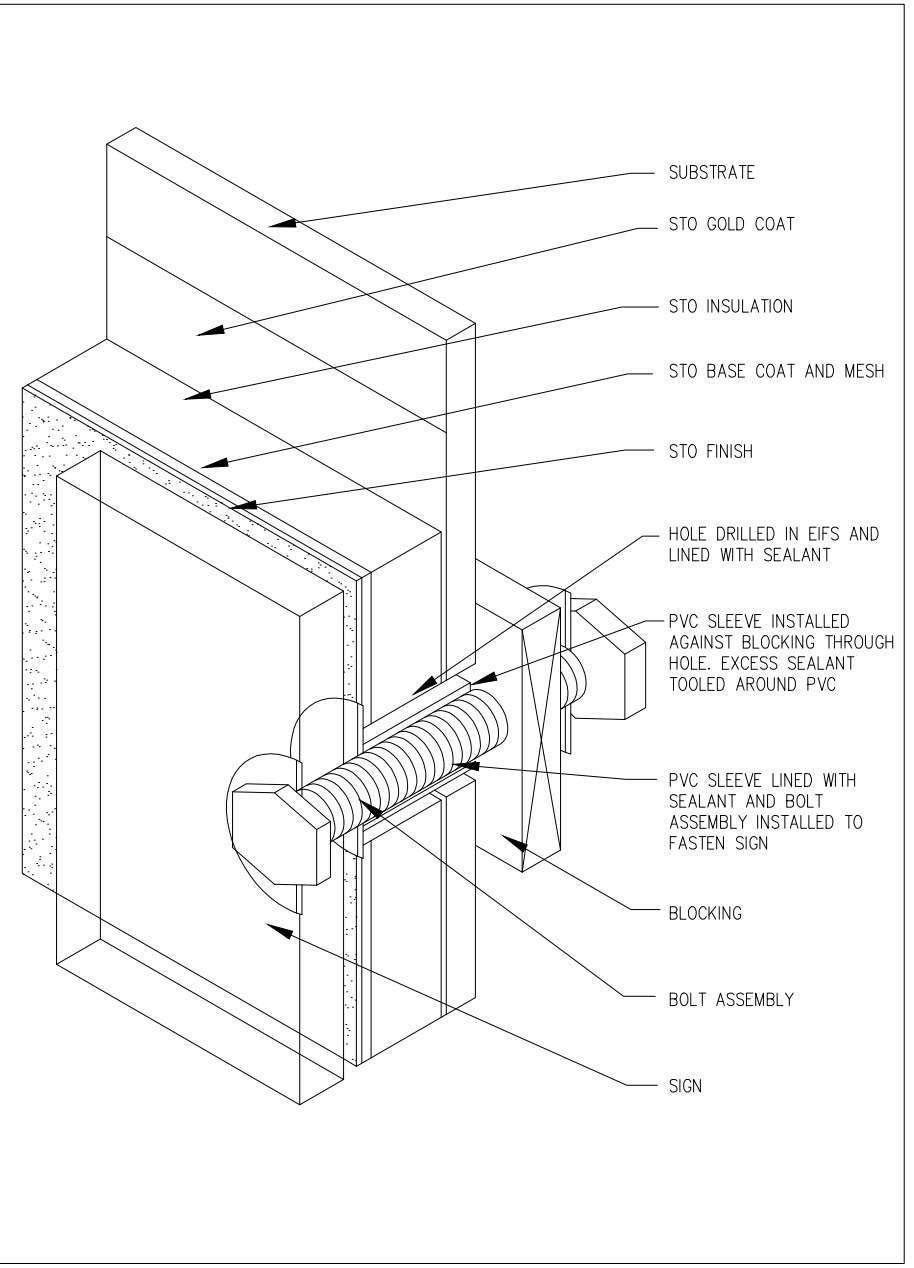
Notes:

- Coordinate installation of Gold Guard system and EPS with the roof installation. Typically, the step and diverter flashings are installed as part of the roof assembly.
- Refer to Sto detail 10.62a for integration of Gold Guard system with the step and diverter flashings.
- Install the starter track 2" (50mm) above the finished roof and butting against the diverter flashing so water draining down the starter track will not flow over into the wall.
- Install Sto Gold Fill over the upper edge of the starter track and coat with Sto Gold Coat.

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D VERTICAL JOINT AT DISSIMILAR MATERIAL

NOT TO SCALE STO DETAIL #10.50



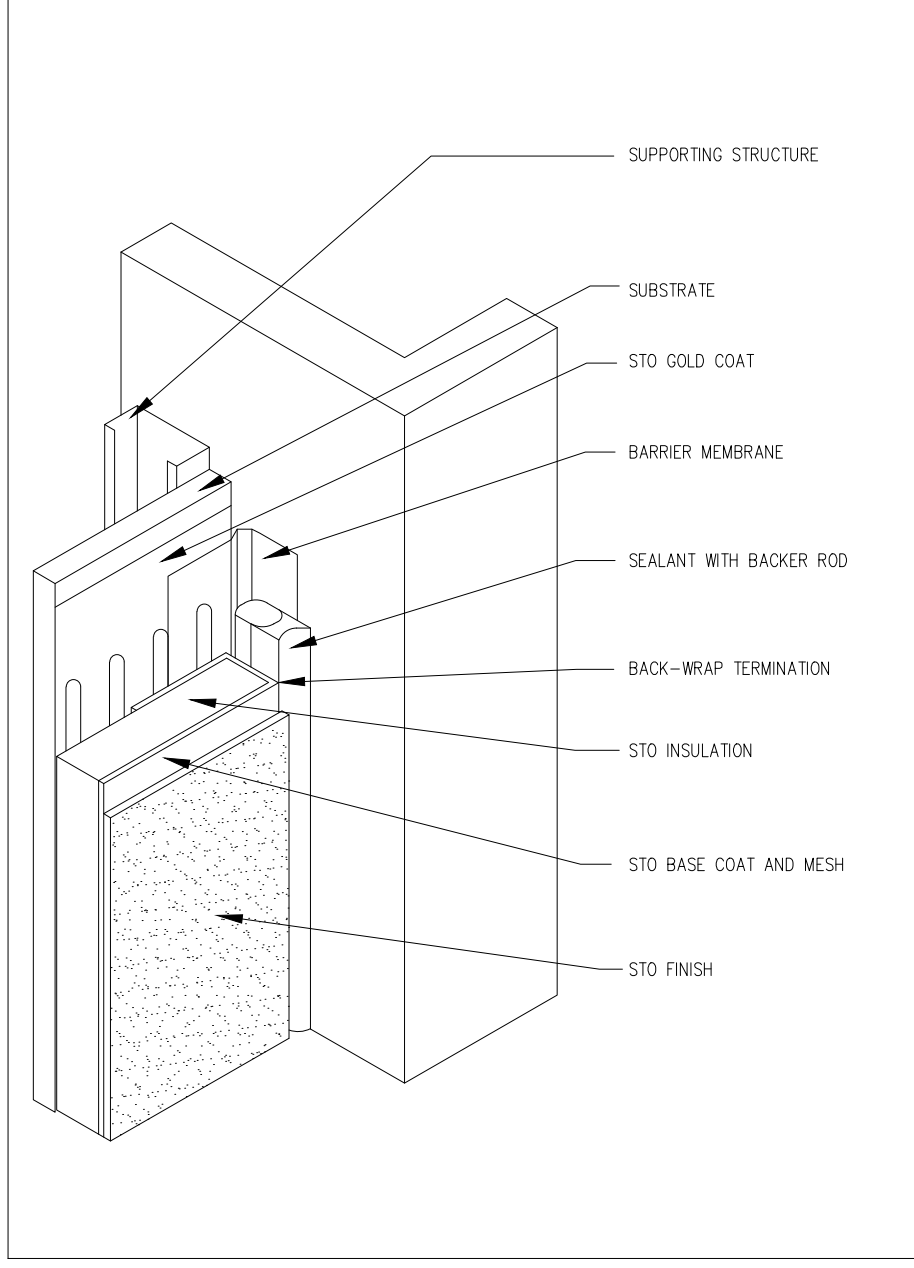
Notes:

- The sign, or other attachment, is normally installed after the EPS installation is complete.
- Blocking or other structural support required for non-structural substrates and heavy objects.

TM Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

F SYSTEM COMPONENTS

NOT TO SCALE STO DETAIL #10.29A



Notes:

Detail shows the components of a Sto Exterior Insulation and Finish System (EIFS) with Sto Guard® Waterproofing/Air Barrier on wood frame construction.

Sto Guard :
1) Sto Gold Fill® with Sto Guard® Mesh
2) Sto Gold Coat®

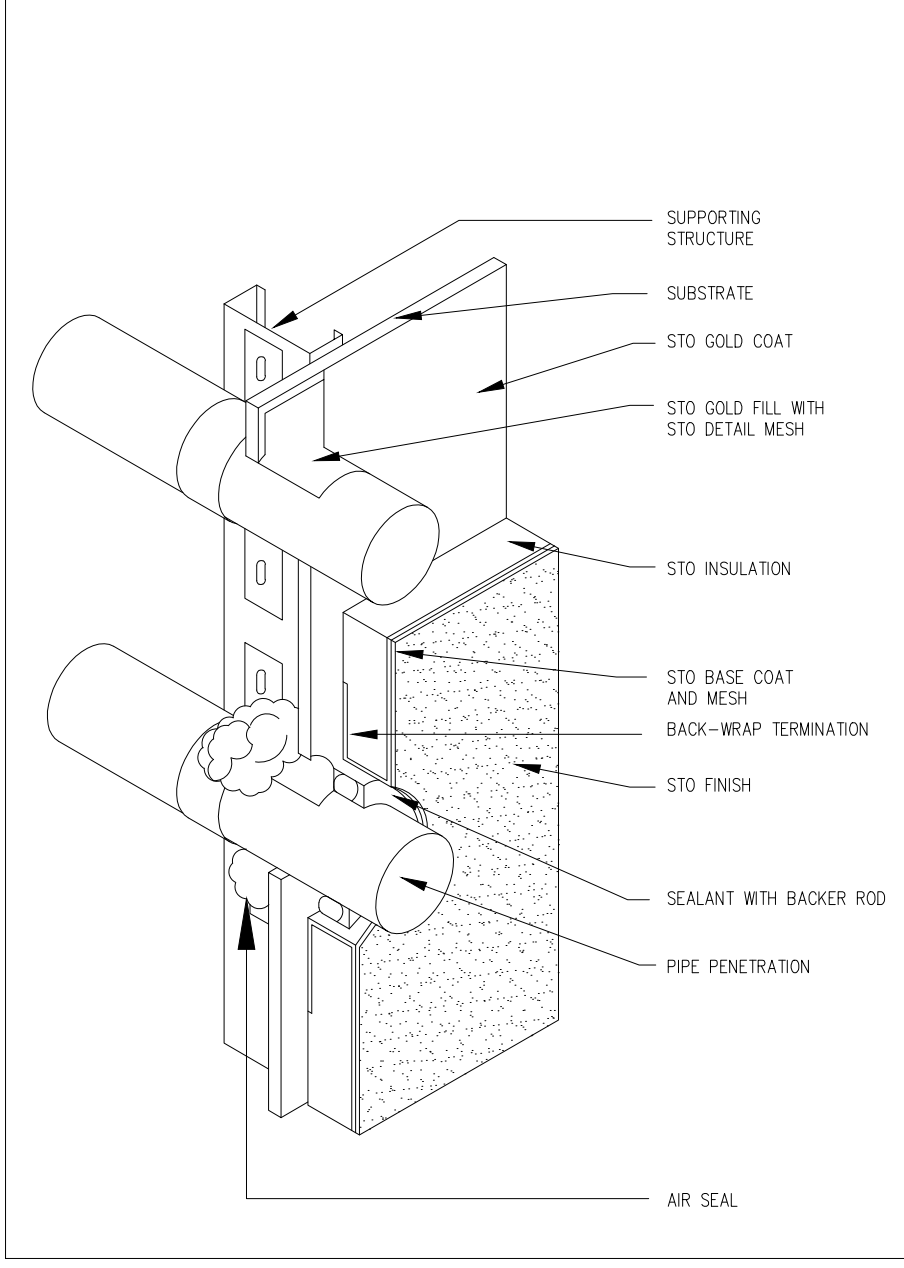
Sto EPS:
1) Sto adhesive
2) Sto insulation
3) Sto base coat
4) Sto mesh
5) Sto finish

K VERTICAL JOINT AT INSIDE CORNER

NOT TO SCALE STO DETAIL #10.51

L SYSTEM PREPARED FOR PENETRATION

NOT TO SCALE STO DETAIL #10.70



Notes:

- Detail assumes pipe is installed prior to the EPS or that its location has been identified.
- Prepare an opening in the EPS with a joint of 1/2" (13mm) around the penetration and provide sealant with a closed cell backer rod. Provide air seal around the interior side of the penetration to provide air seal and to reduce the pressure difference across the outside sealant.
- Provide barrier membrane in lieu of Sto Gold Fill at penetration where joint between sheathing and penetrating element exceeds 1/2" (13mm). Lap barrier membrane over Sto Gold Coat.

TM Sto Gold Coat and Sto Gold Fill are registered trademarks of Sto Corp.

M SYSTEM COMPONENTS OVER WOOD FRAME

NOT TO SCALE STO DETAIL #2.00



REVISIONS

LUXURY TOWNHOMES FOR:
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BLOOMINGTON, INDIANA 47404

PROJECT NO. 1518

DATE XXX. XX. 2018

DRAWN BY

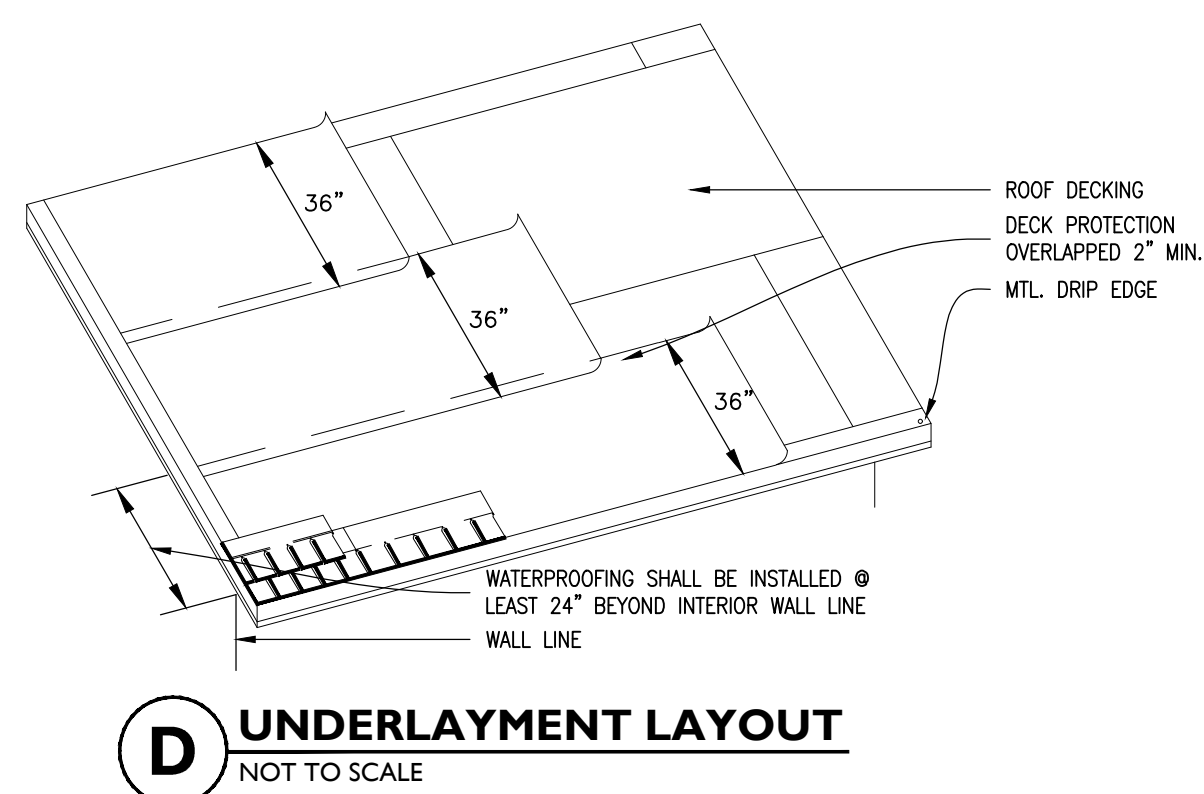
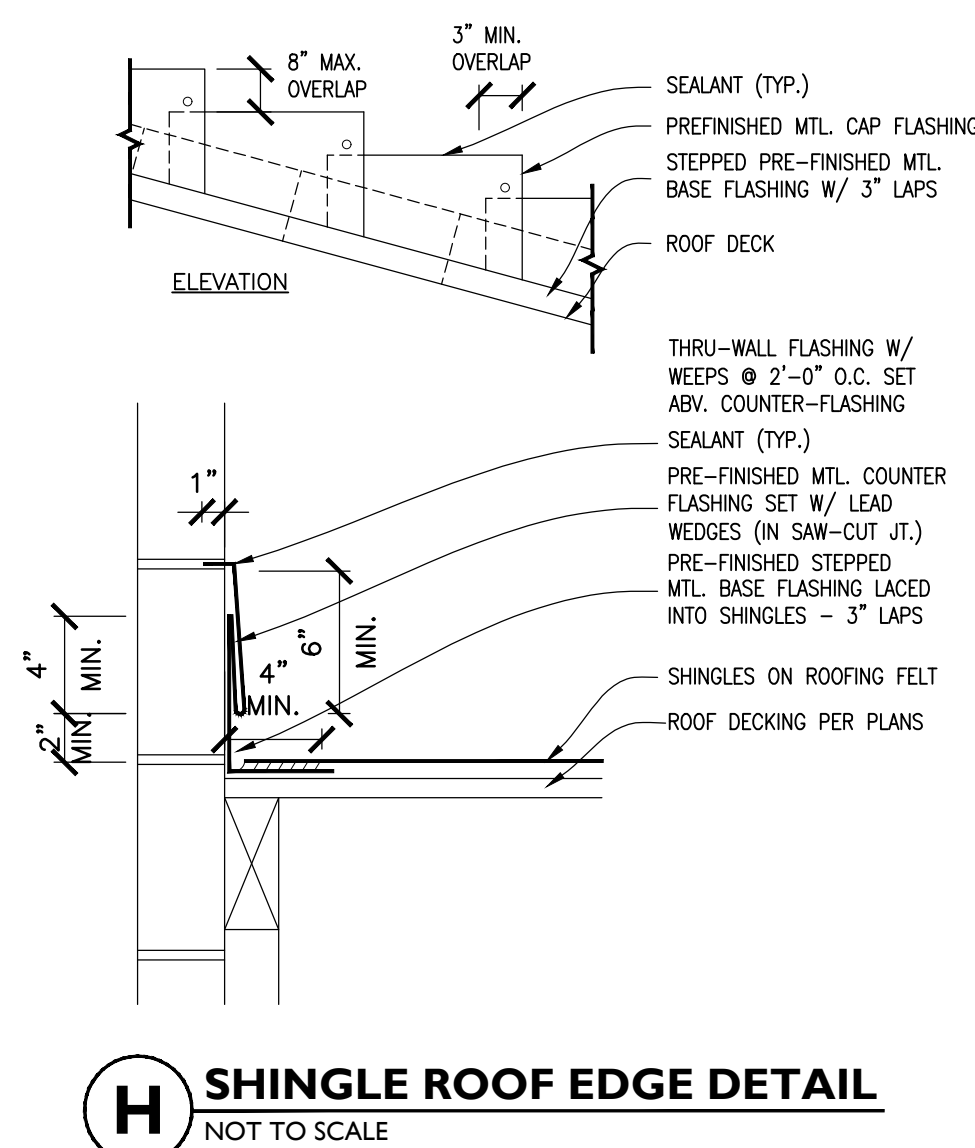
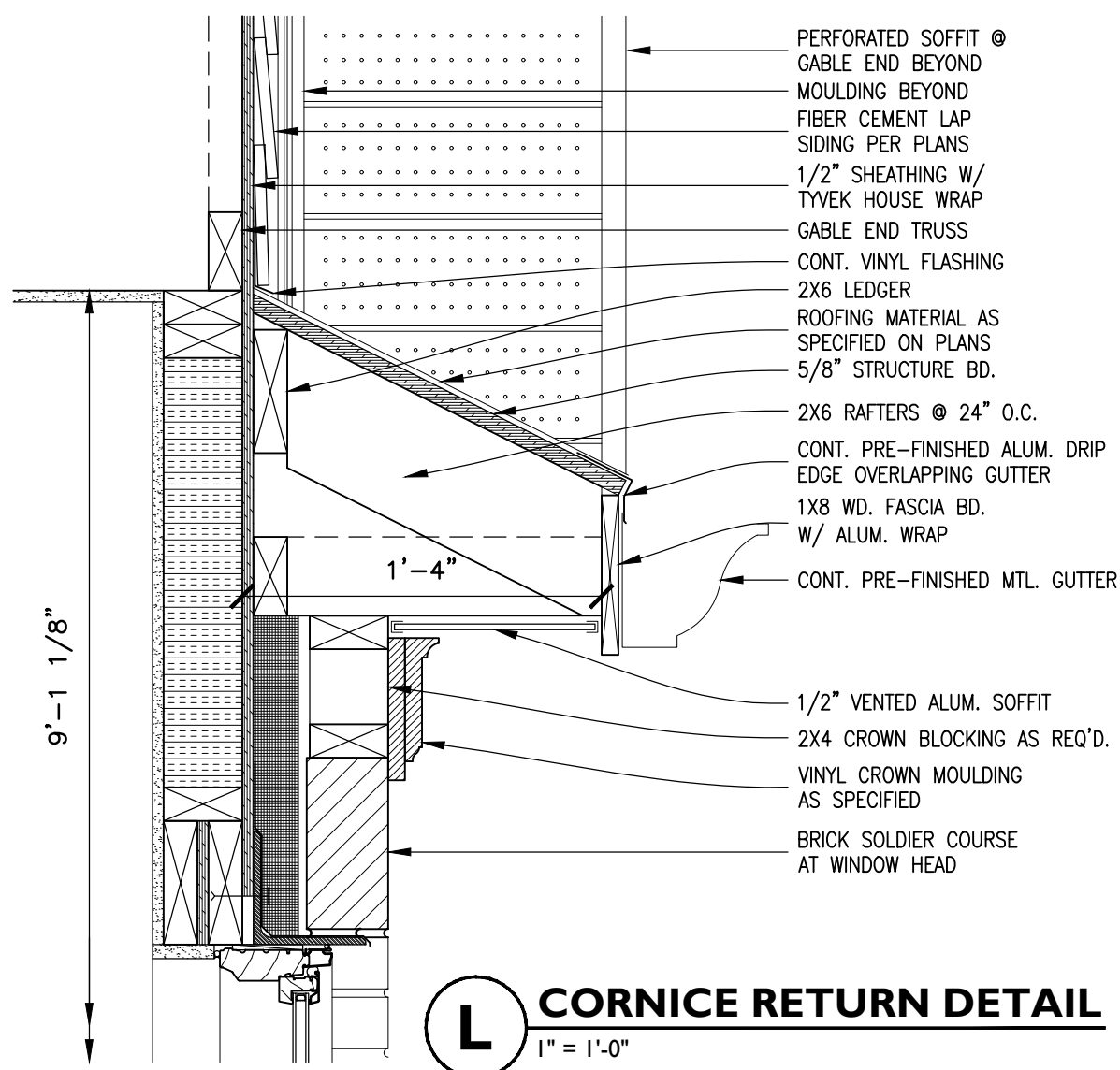
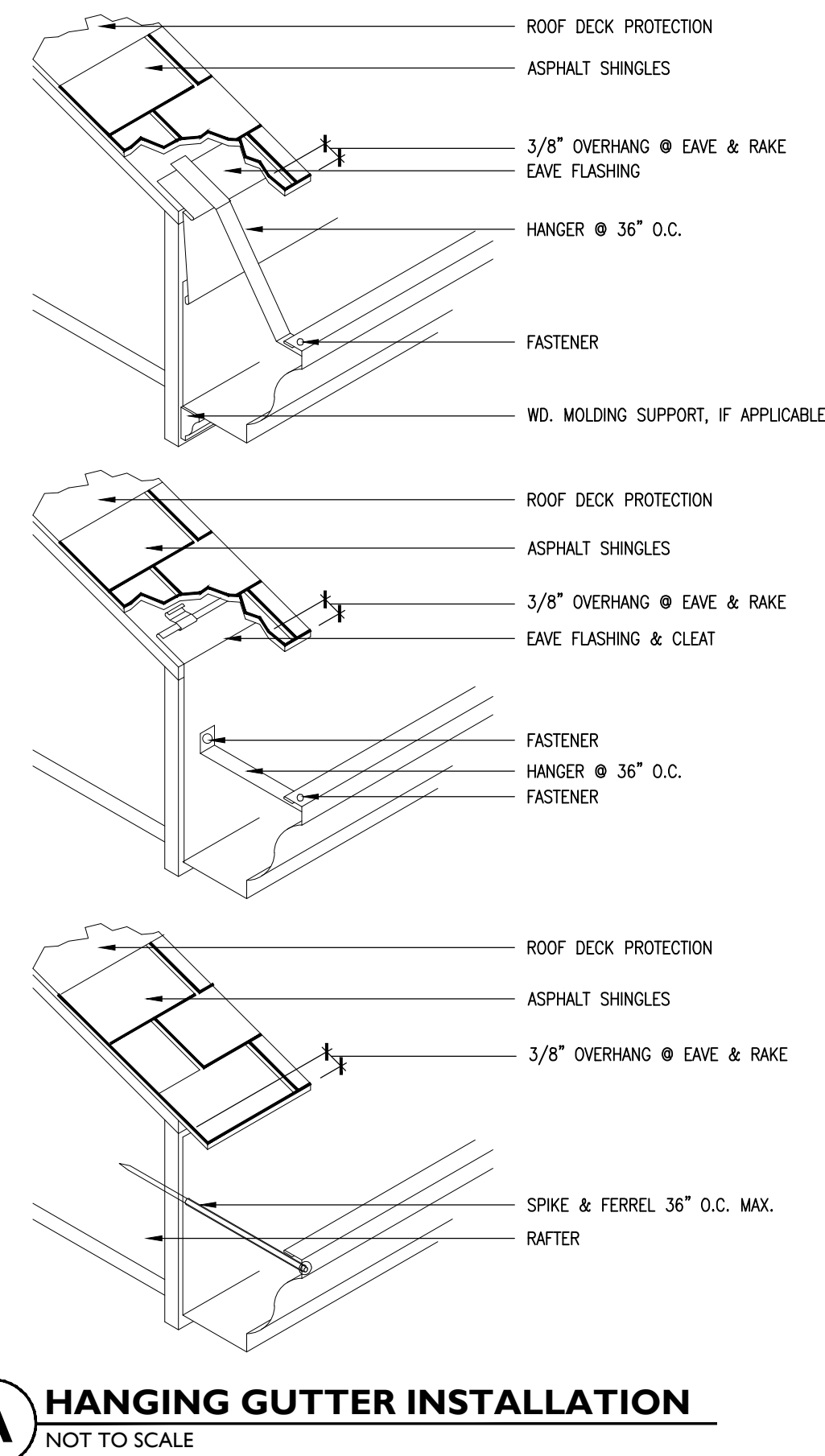
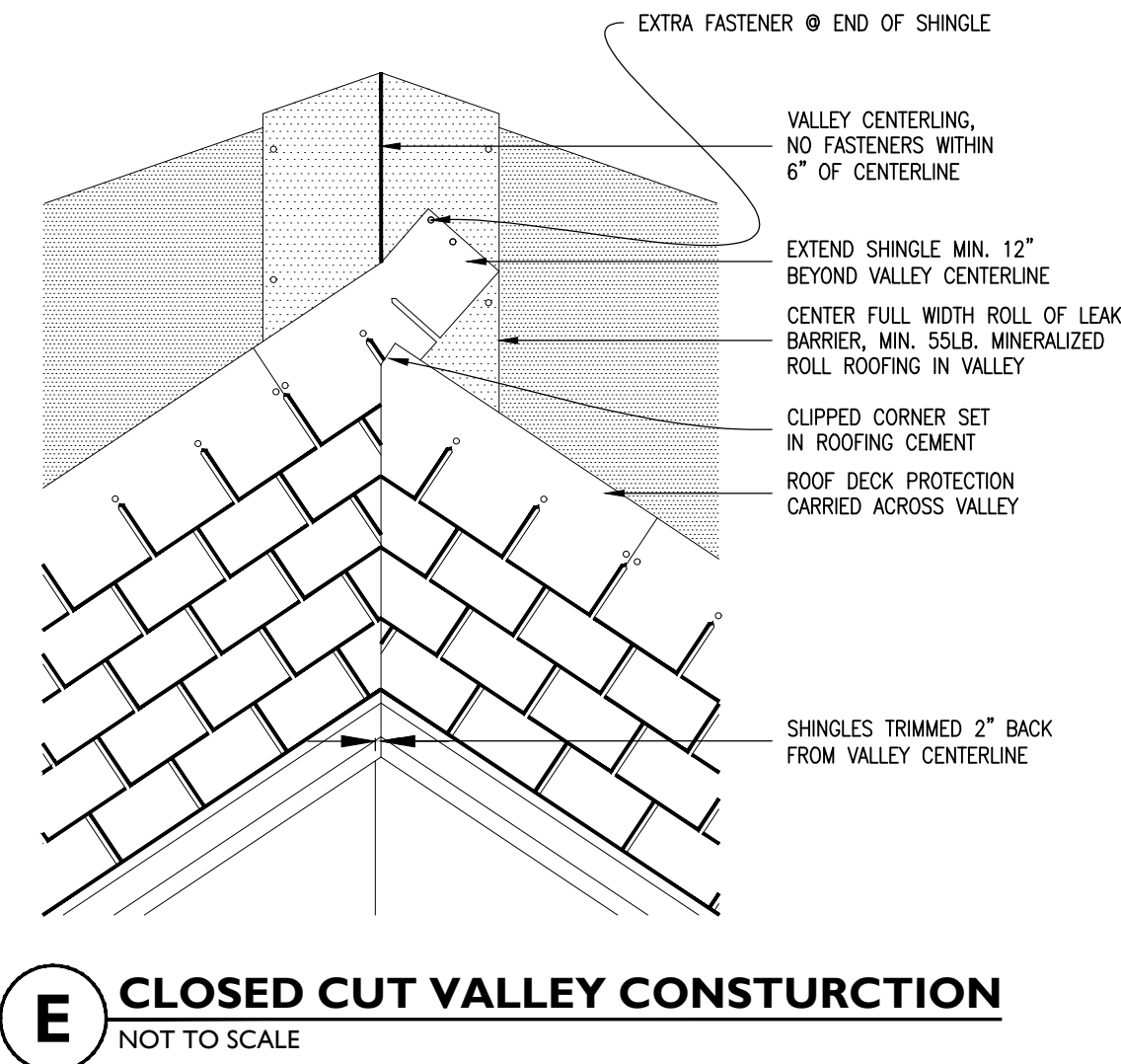
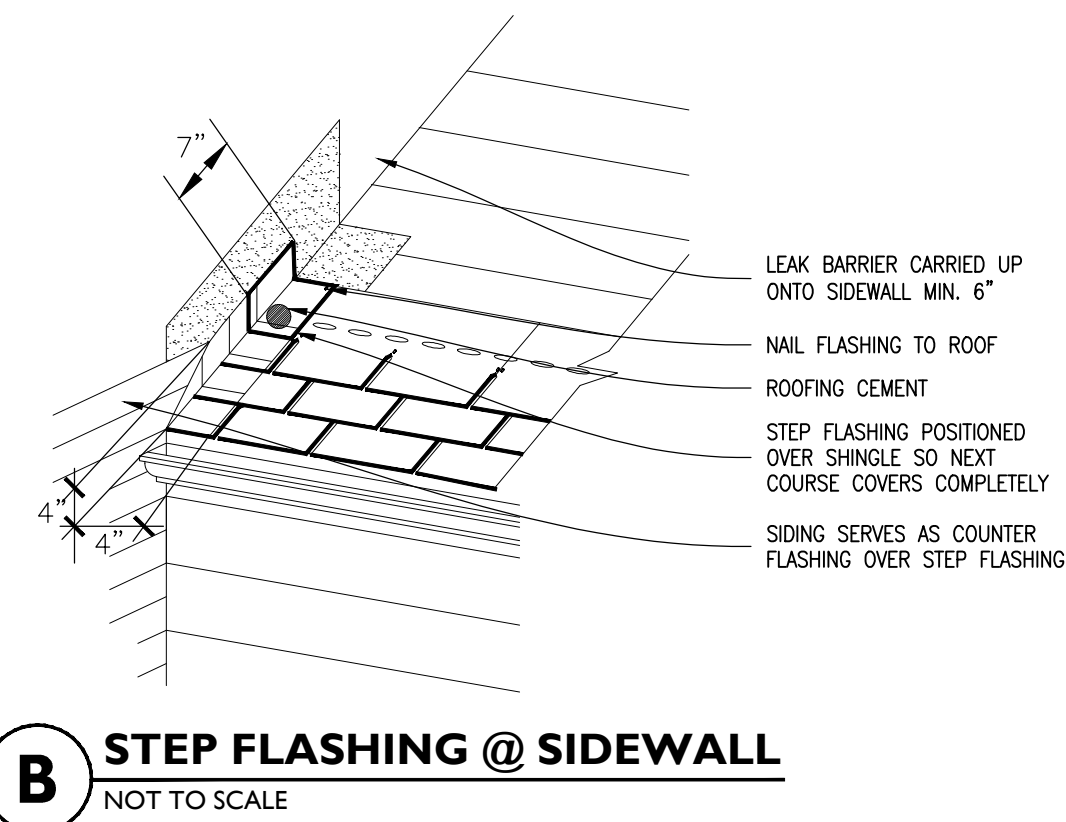
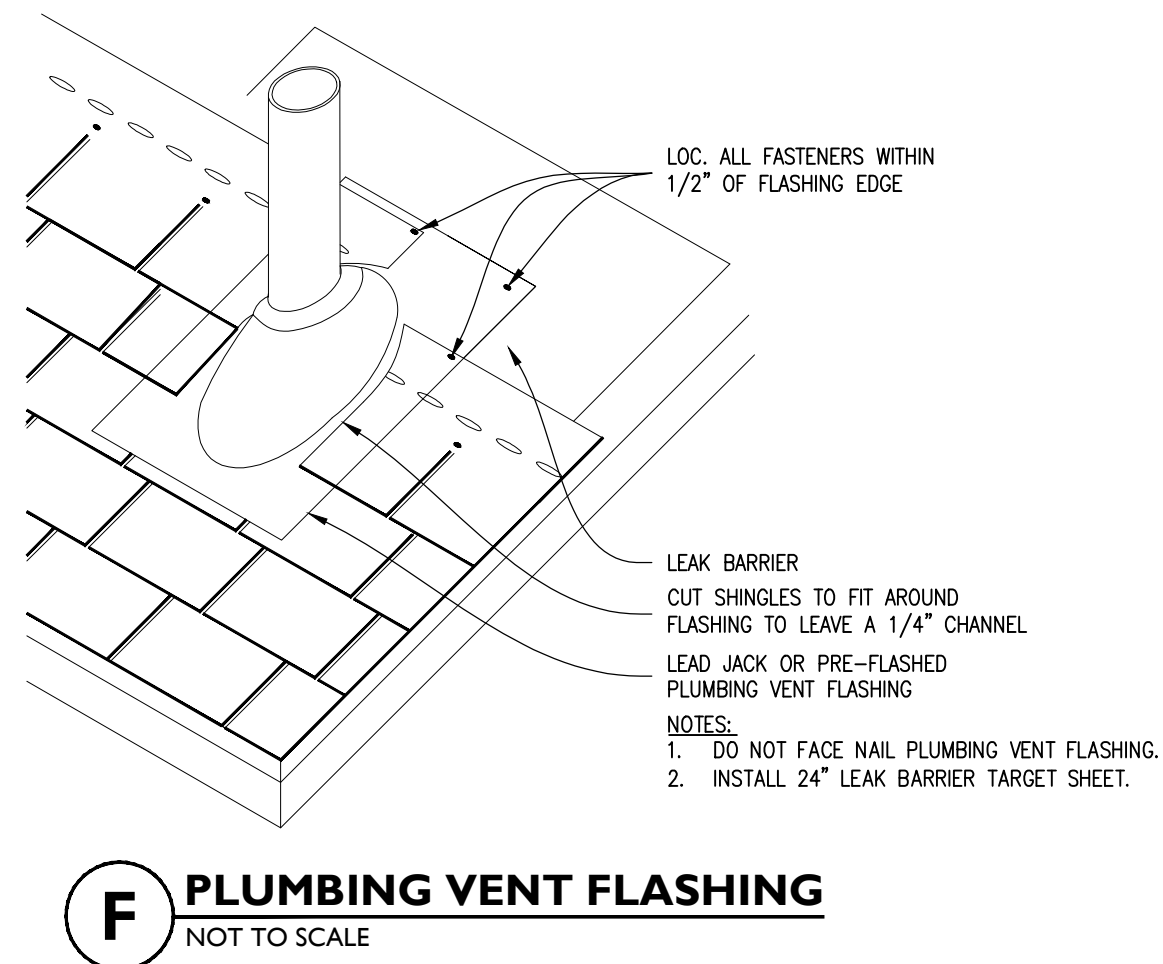
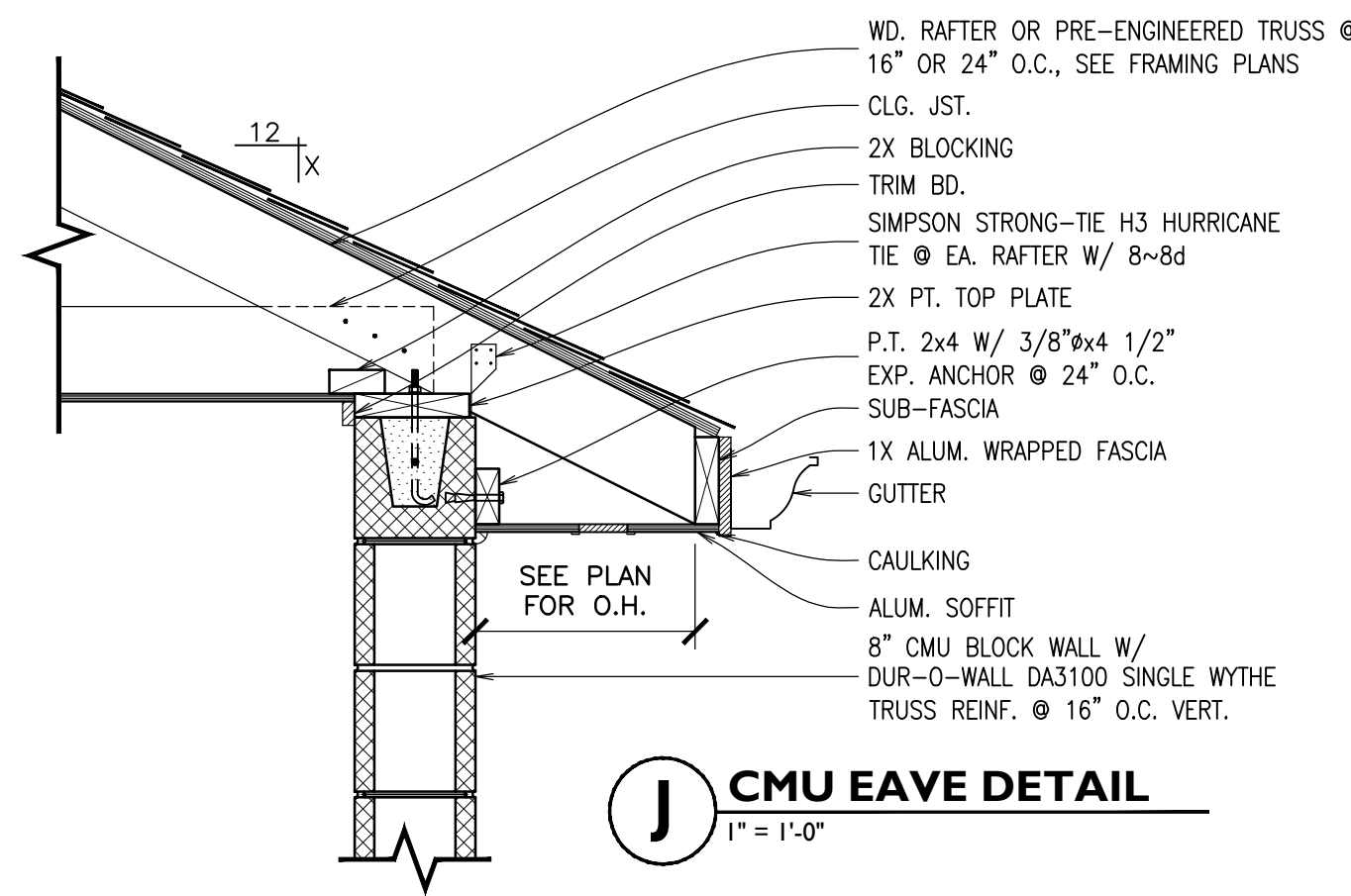
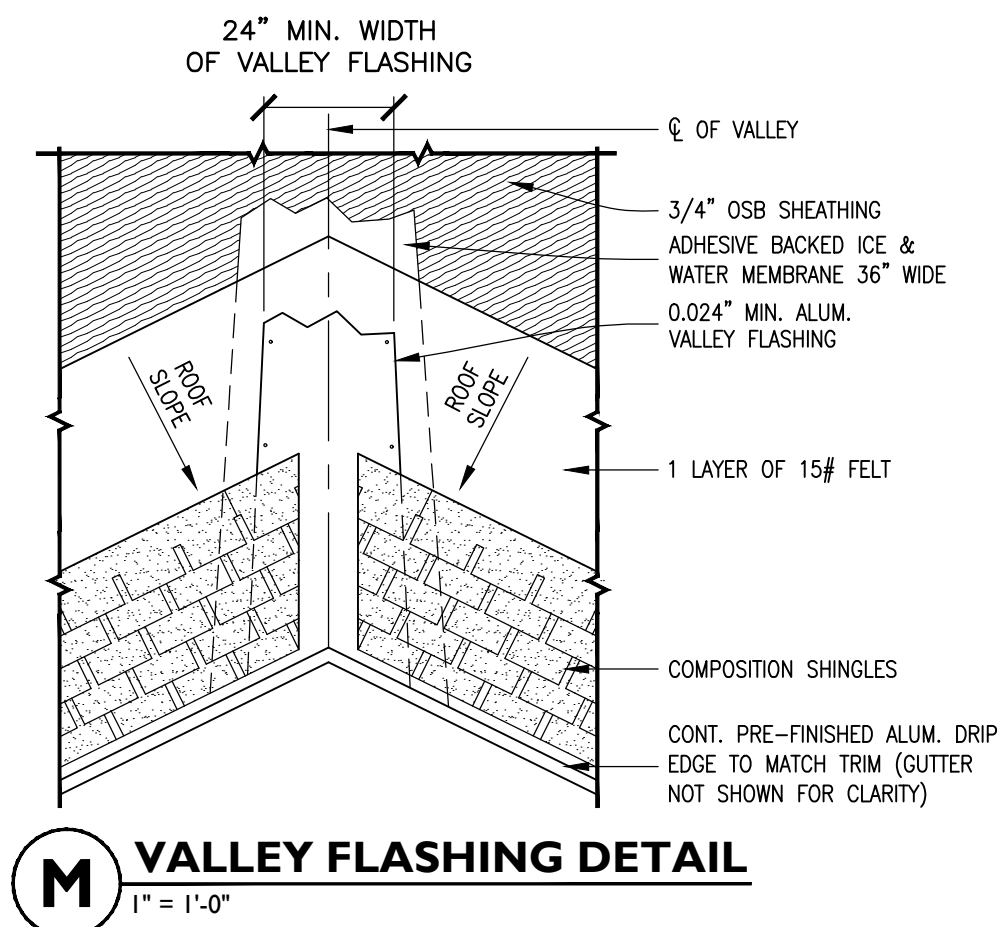
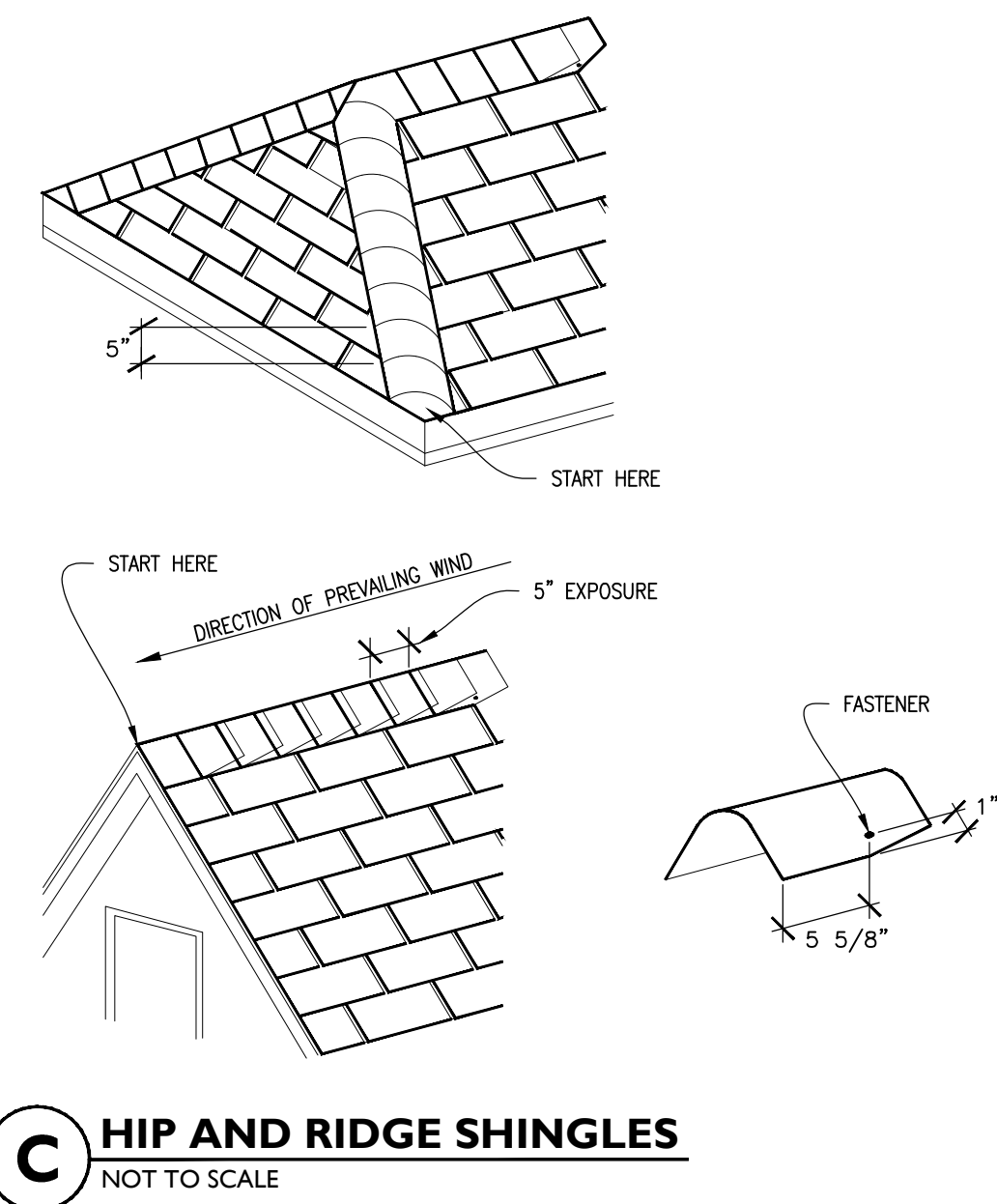
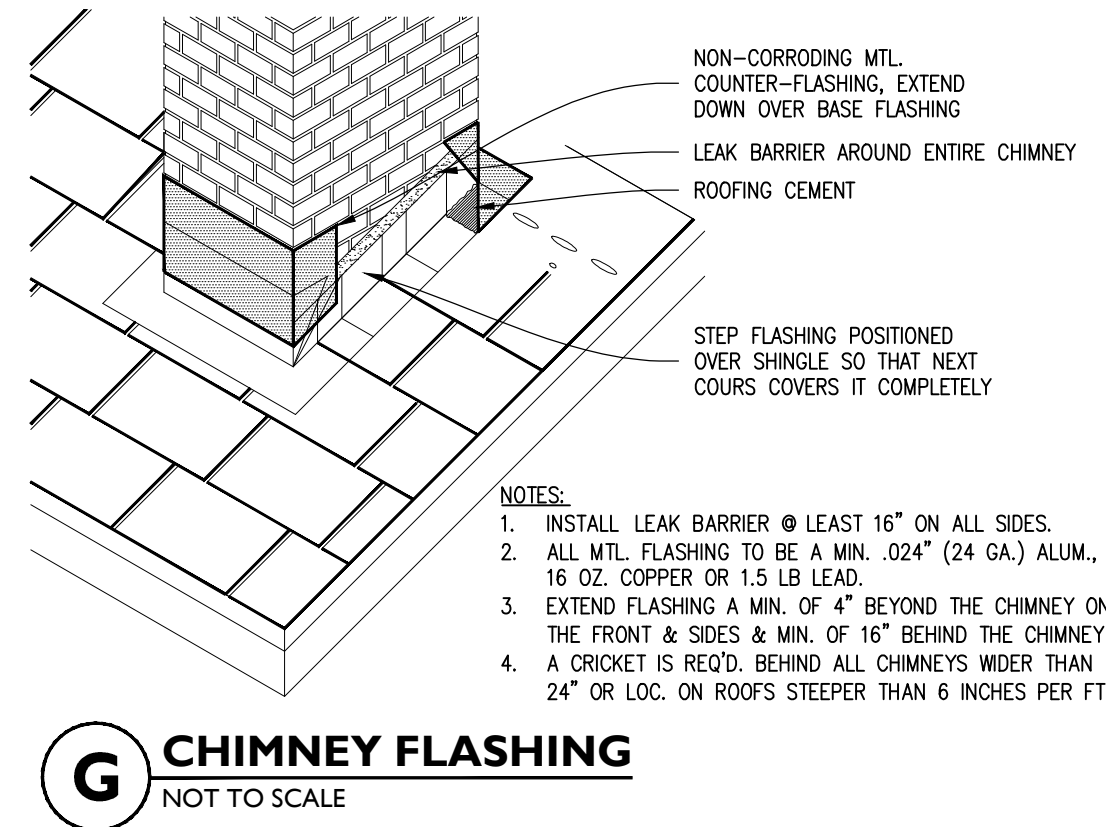
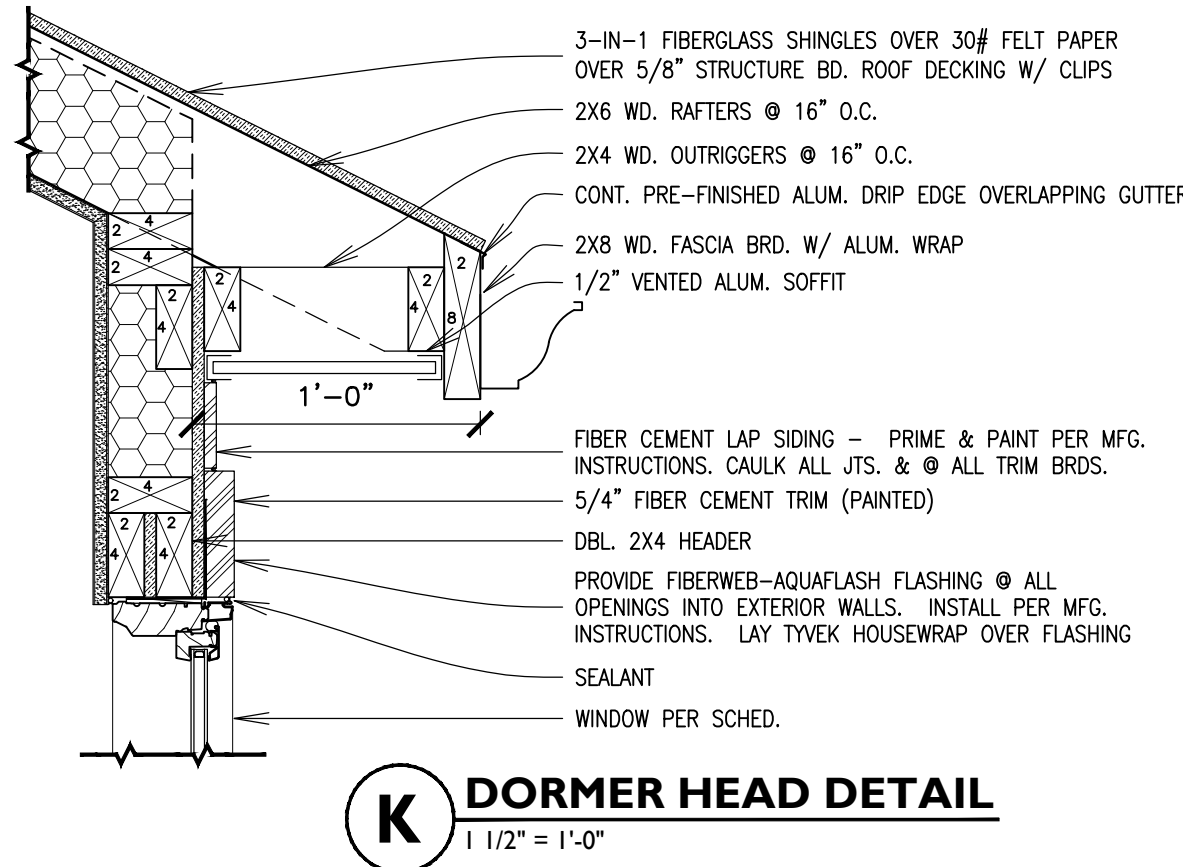
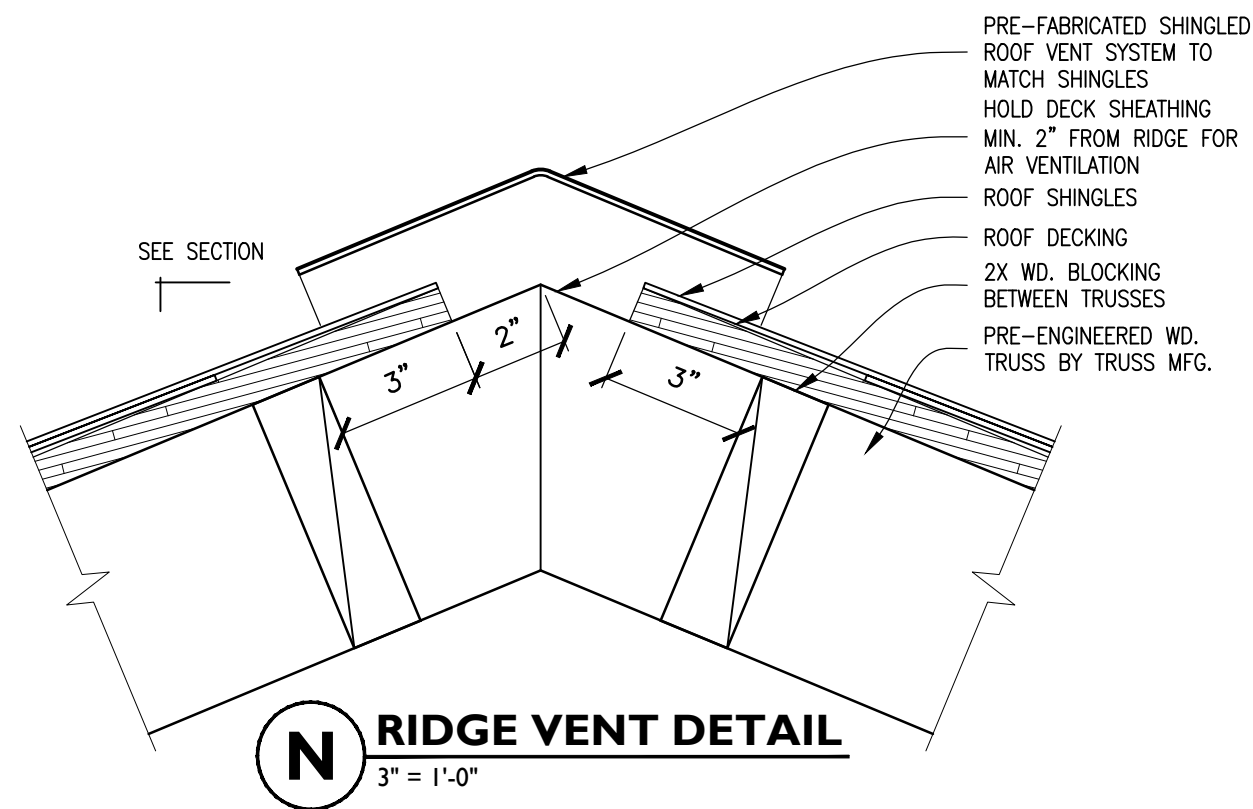
D. BRUCE

SHEET NAME

STO NEXT
EIFS DETAILS

SHEET NO.

AE502



REVISIONS

LUXURY TOWNHOMES FOR:
WININGER STOLBERG
at RENWICK VILLAGE
(NORTH BUILDING)
SOUTH PIAZZA DR. AND CATHCART ST.
BLOOMINGTON, INDIANA 47404


PROJECT NO. 1518
DATE XXXX.XX.2018
DRAWN BY A. LAMBERT
CHECKED BY D. BRUCE
SHEET NAME
TYPICAL ASPHALT ROOF SHINGLE DETAILS
SHEET NO.

AE503

BY DATE

11

NOTE: SPECIFICATIONS FOR THIS PROJECT ARE THE

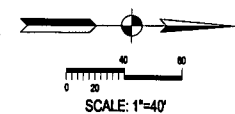
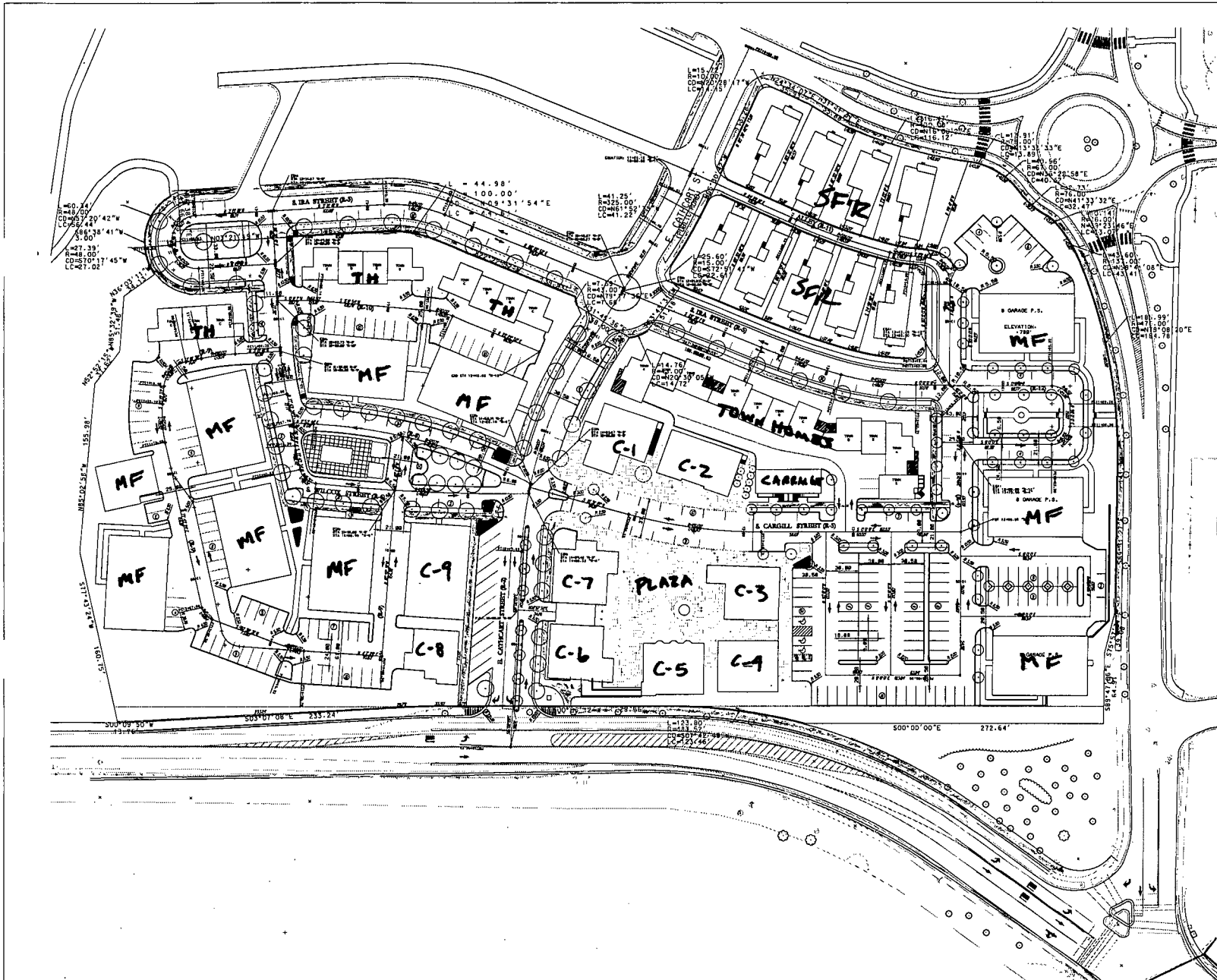


SITE MAP
N.T.S.

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SITE PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN
6-8	ROAD PROFILES
9-11	SANITARY PROFILES
12	STRUCTURE DATA SHEET
13	MISCELLANEOUS DETAILS

[illegible]

JOB NUMBER: 3547



SITE LEGEND

UTILITY EASEMENT	---
5' UTILITY EASEMENT	---
2' ROLL CURB	---
2' CURB AND GUTTER	---
4' STANDING CURB	---
CONCRETE SIDEWALK	---
HANDICAPPED RAMP	---
HANDICAPPED RAILING	---
RET. WALL (CONCRETE)	---
RET. WALL (MASSWALL)	---
RET. WALL (STONE)	---
RET. WALL (WOOD)	---
FENCE (CHAIN LINK)	---
FENCE (BRAND WIRE)	---
FENCE (WOOD SLAT)	---
GUARD RAIL	---
PROPOSED STREET TREE	---
ROLL-AND	---
DAMPSTER (WOOD)	---
DAMPSTER (MASSWALL)	---

GENERAL NOTES

1. SEE CITY ENGINEER SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
2. TOP OF CURB ELEVATIONS ARE SHOWN IN THE FOLLOWING LOCATIONS IF APPLICABLE TO THE SITE.
3. LOCATIONS OF UTILITY EASEMENTS ARE SHOWN IN THE SITE PLAN.

SITE PLAN NOTES

1. ELEVATION SHOWN SHALL BE IN ACCORDANCE WITH THE LATEST ADA AND CITY OF ALABAMA REQUIREMENTS. CONTRACTOR SHALL CONSULT WITH CITY ENGINEER PRIOR TO CONSTRUCTION.
2. PARKING SPACES, IF ANY, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 804 AND 804.1 OF THE 1995 INDIAN STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLAN.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY AND STATE LICENSE TO CONDUCT THE PUBLIC WORKS NECESSARY FOR THE PROJECT COMPLETION.

PUD-38-07
SITE PLAN

South Westland & Associates, Inc.
401 E. Chas. B. Bunker
Tomball, TX 77375-1434
Telephone: (281) 244-4334
Fax: (281) 244-4333
www.swa-inc.com

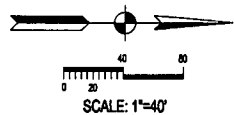
JOB TITLE
**RENWICK
PHASE III**


REVISIONS	BY	DATE

SAB
RGB

3547
SHEET
2
OF
13
DATE
/ /
SITE PLAN

↓

[illegible]

Smith Renbecker & Associates, Inc.

 453 S. Clinton Boulevard
 Bloomington, Indiana 47407
 Telephonic (812) 336-4534
 Fax: (812) 336-0515
 Email: www.sra-inc.com

[illegible]

JOB NUMBER
3547
 SHEET

11

PRELIMINARY PLAT

NOTES:

1. All corners are to be marked with 5/8" x 2" capped rebar.
2. Original survey titled Land Title Survey for Ramsey by Smith Neubecker And Assoc., Inc. dated June 3rd, 2003.
3. Building Setbacks: Per Lot Standrads for Renwick.

Monroe County Recorder IN
Recorded as Presented

I affirm, under the penalties for perjury, that I have taken
reasonable care to redact each Social Security Number
in this document unless required by law.

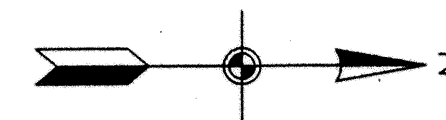
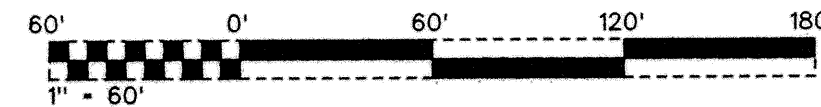
James D. Smale

LEGEND

CENTER LINE
SETBACK LINE
EASEMENT LINE
LOT LINE
BOUNDARY LINE

5/8" REBAR FOUND
5/8" REBAR 24" LONG SET
DRAINAGE EASEMENT
UTILITY EASEMENT

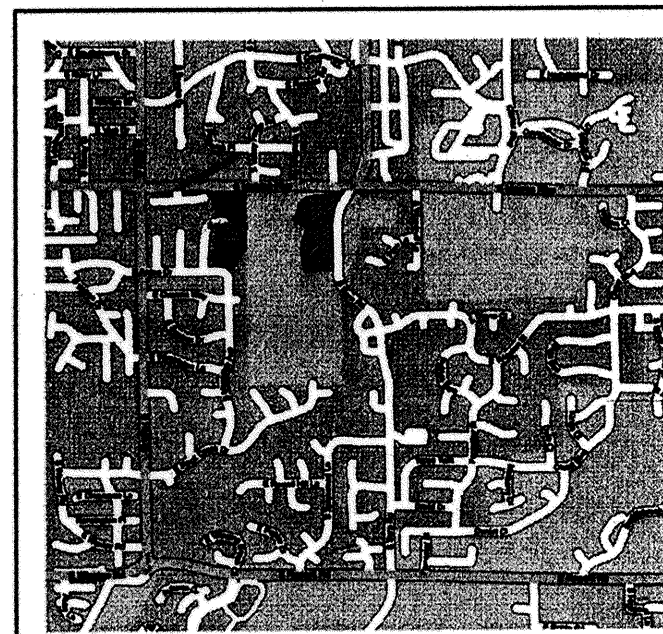
DE
UE



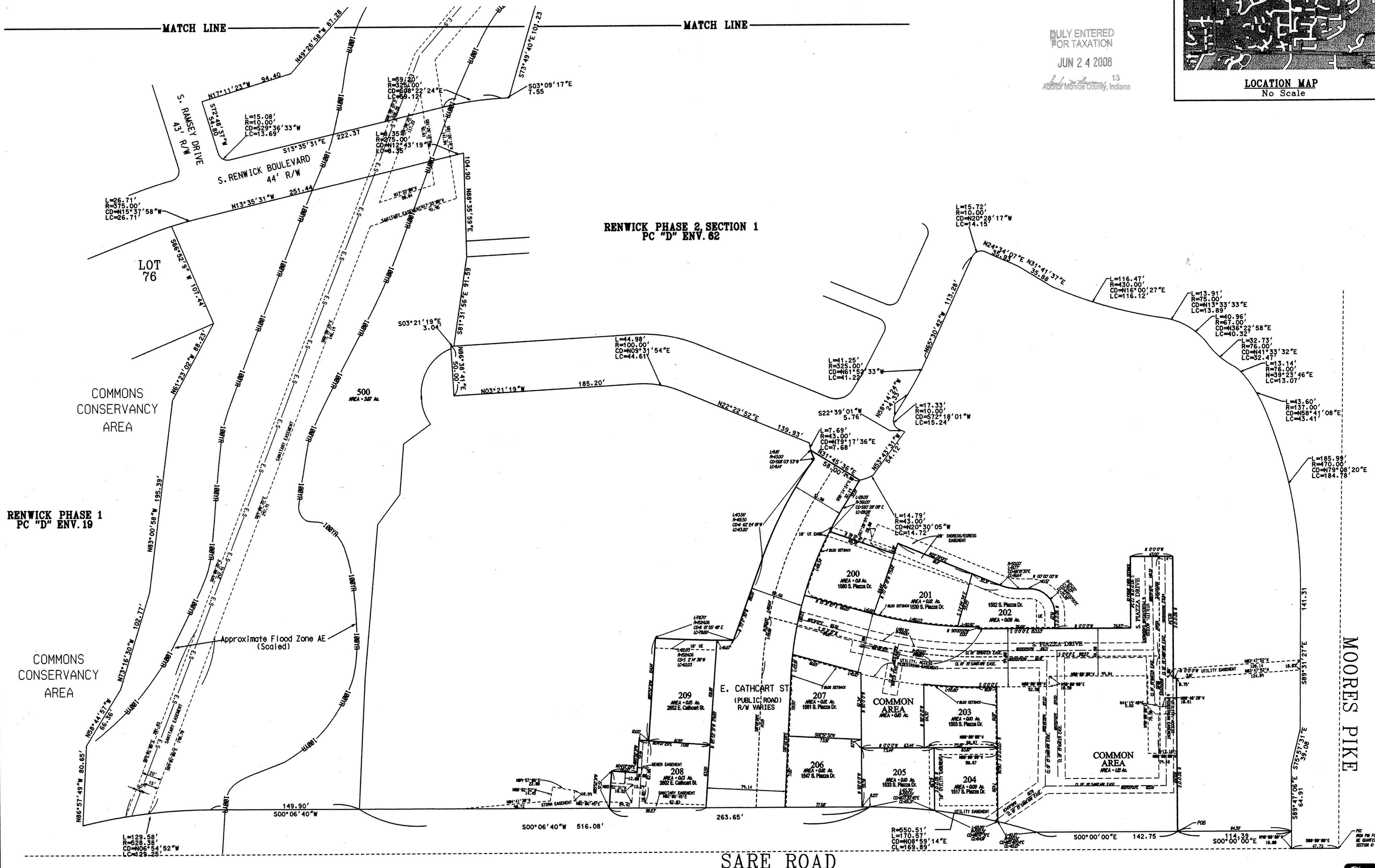
DULY ENTERED
FOR TAXATION

JUN 24 2008

13
Auditor Monroe County, Indiana



LOCATION MAP
No Scale



RENWICK PHASE III, SECTION 1

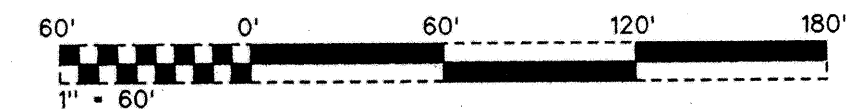
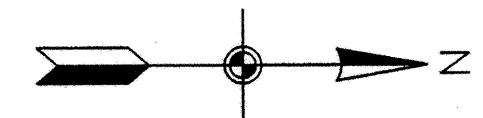


NOTES:

- All corners are to be marked with $\frac{5}{8}$ " x 2" capped rebar.
- Original survey titled Land Title Survey for Ramsey by Smith Neubecker And Assoc., Inc. dated June 3rd, 2003.
- Building Setbacks: Per Lot Standrads for Renwick.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document unless required by law.

James D. Smale



LEGEND

CENTER LINE	---
SETBACK LINE	----
EASEMENT LINE	- - - -
LOT LINE	=====
BOUNDARY LINE	=====

$\frac{5}{8}$ " REBAR FOUND
 $\frac{5}{8}$ " REBAR 24" LONG SET
DRAINAGE EASEMENT
UTILITY EASEMENT

MONUMENT LEGEND

STONE MONUMENT	□
STONE WITH X	⊠
CONCRETE MONUMENT	△
$\frac{5}{8}$ " REBAR W/PLASTIC CAP SET	○
REBAR FOUND	⊗
IRON PIPE FOUND	⊙
FENCE POST FOUND	⊕
RAILROAD SPIKE FOUND	⊖
PK NAIL	●
GPS MONUMENT	▲
HIGHWAY BOX	□

RENWICK PHASE 1
PC "D" ENV. 19

MATCH LINE

MATCH LINE

RENWICK
JOB NO. 3547

Monroe County Recorder IN
Recorded as Presented

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Declaration of Charter, Easements, Covenants, and Restrictions for the Residential Neighborhood, Dated 10/27/2005 and recorded as Instrument Number 2008005793 in the Office of the Recorder of Monroe County, Indiana.

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Master Deed Restrictions dated 04/08/2008 and recorded as Instrument Number 2008005796 in the Office of the Recorder of Monroe County, Indiana.

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Declaration of Charter, Easements, Covenants, and Restrictions for the Village Center, Dated _____, 2008 and recorded as Instrument Number _____

----- In the Office of the Recorder of Monroe County, Indiana.

The undersigned, Timothy A. Hanson, Vice President, being the owner of the above-described real estate, does hereby layoff, plat, and subdivide the same into lots and streets in accordance with this plat. The within plat shall be known and designated as Renwick Phase 3, Section 1.

IN WITNESS WHEREOF, Ramsey Land Development, Inc. an Indiana Corporation, by Timothy A. Hanson, Vice President, has hereunto executed this 27th day of May, 2008.

Timothy A. Hanson, Vice President
Ramsey Land Development Inc.

STATE OF INDIANA)

) SS

COUNTY OF MONROE)

Before me, a Notary Public in and for the State of Indiana and Monroe County, personally appeared Timothy A. Hanson personally known to me to be Vice President of Ramsey Land Development Inc., and being the owner of the described real estate, and who acknowledged the execution of the foregoing plat for the Real Estate known as Renwick Phase I as his voluntary act and deed for the uses and purposes therein expressed.

WITNESS my hand and Notarial Seal this 27th day of May, 2008.

My Commission Expires: 07-11-08.

Ronda R. Brown

Ronda R. Brown, NOTARY PUBLIC
A resident of Monroe County



PLAN COMMISSION AND BOARD OF PUBLIC WORKS

Under the authority provided by Chapter 174, Acts of 1947, enacted by the General Assembly of the State of Indiana and ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington as follows:

Approved by the Board of Public Works at a meeting held:

Beth Hollingsworth, President

Charlotte Zietlow
Charlotte Zietlow, Member

Frank N. Hrisomaios
Frank N. Hrisomaios, Member

Approved by the City Plan Commission at a meeting held:

W.E. Stuebe
W.E. Stuebe, President of Plan Commission

W. E. Stuebe, President of Plan Commission

Renwick Phase III - Section 1
Legal Description

A part of the East half of the Northeast Quarter of Section 10, Township 9 North, Range 1 West, Monroe County, Indiana, being more particularly described as follows:

COMMENCING at an iron pin in a highway box found at the Northeast Quarter of said Section 10 and running South 00 degrees 00 minutes 00 seconds East 47.73 feet along the East line of said Quarter; thence leaving said East line, North 90 degrees 00 minutes 00 seconds West 18.00 feet to the intersection of the South right-of-way of Moores Pike and the West right-of-way of Sare Road; thence South 00 degrees 00 minutes 00 seconds East 114.39 feet to the POINT OF BEGINNING of this description; thence continuing along said line, South 00 degrees 00 minutes 00 seconds East 141.75 feet; thence following said West right-of-way of Sare Road the following 2 courses:
1). Along a curve to the left 170.57 feet with radius of 550.51 feet whose chord bears South 08 degrees 59 minutes 14 seconds West 468.89 feet; thence
2). South 00 degrees 05 minutes 40 seconds West 263.63 feet; thence

leaving said West degrees 07 minutes 29 seconds East 26.00 feet; thence North 85 degrees 52 minutes 31 seconds West 32.81 feet; thence North 04 degrees 07 minutes 29 seconds East 10.00 feet; thence North 85 degrees 52 minutes 31 seconds West 104.14 feet; thence along a curve to the left 78.70 feet with a radius of 1524.06 feet whose chord bears North 01 degrees 55 minutes 48 seconds East 78.69 feet; thence North 70 degrees 17 minutes 30 seconds West 88.06 feet; thence along a curve to the right 113.56 feet with a radius of 412.50 feet whose chord bears North 62 degrees 24 minutes 19 seconds West 113.20 feet; thence along a curve to the right 9.16 feet with a radius of 43.00 feet whose chord bears South 68 degrees 03 minutes 53 seconds West 9.14 feet to the West right-of-way of South Ira Street as recorded on the plat for Renwick Phase II, Section 1 (PC "D", Env. 62); thence along said right-of-way, North 31 degrees 45 minutes 36 seconds East 58.00 feet; thence leaving said right-of-way and plat, South 58 degrees 14 minutes 24 seconds East 32.19 feet; thence along a curve to the left 28.09 feet with a radius of 361.00 feet whose chord bears South 60 degrees 28 minutes 08 seconds East 28.08 feet; thence North 19 degrees 12 minutes 41 seconds East 69.38 feet; thence North 70 degrees 47 minutes 19 seconds West 11.18 feet; thence North 22 degrees 39 minutes 01 seconds East 111.42 feet; thence along a curve to the left 19.77 feet with a radius of 50.00 feet whose chord bears North 11 degrees 19 minutes 30 seconds East 19.77 feet; thence North 00 degrees 00 minutes 00 seconds West 10.57 feet; thence along a curve to the right 39.27 feet with a radius of 25.00 feet whose chord bears North 45 degrees 00 minutes 00 seconds East 35.36 feet; thence North 90 degrees 00 minutes 00 seconds East 15.21 feet; thence North 00 degrees 00 minutes 00 seconds West 76.83 feet; thence South 90 degrees 00 minutes 00 seconds West 72.34 feet; thence North 00 degrees 00 minutes 00 seconds West 43.00 feet; thence North 90 degrees 00 minutes 00 seconds East 123.34 feet; thence North 00 degrees 00 minutes 00 seconds West 3.16 feet; thence North 90 degrees 00 minutes 00 seconds East 155.00 feet to the POINT OF BEGINNING of this description, containing 3.00 acres, more or less.

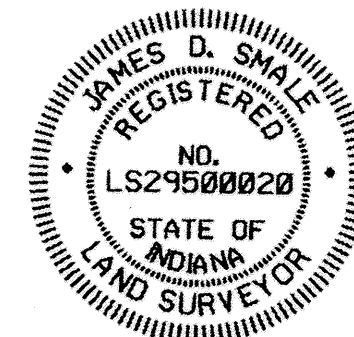
I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that all information shown is true and correct to the best of my knowledge and belief.

Certified 27th day of May, 2008

James D. Smale
James D. Smale
Registered Land Surveyor LS29500020
State of Indiana

I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number on this document unless required by law.

James D. Smale



Fwd: Renwick Phase 6 Replat

From Utilities Planreview <utilitiesplanreview@bloomington.in.gov>

Date Mon 8/25/2025 10:49 AM

To Todd Borgman <tborgman@smithdginc.com>

Todd, CBU has reviewed the plat and have no comments for utilities.

Thanks

Jay Ramey

Senior Project Coordinator

CBU Plan Review Team

City of Bloomington Utilities

Email: UtilitiesPlanReview@bloomington.in.gov

----- Forwarded message -----

From: Bryan Blake <bryan.blake@bloomington.in.gov>

Date: Mon, Aug 25, 2025 at 10:42 AM

Subject: Re: Renwick Phase 6 Replat

To: Utilities Planreview <utilitiesplanreview@bloomington.in.gov>

I looked at this with Tonia to make sure that there are no changes for new services. We have no comment. This is fine with both of us.

Thanks

On Fri, Aug 22, 2025 at 8:04 AM Utilities Planreview <utilitiesplanreview@bloomington.in.gov> wrote:

Bryan, We received this plat. You may want to review it at some point. It seems we had a project there a couple of years ago.

Thank you,

CBU Plan Review Team

City of Bloomington Utilities

Email: UtilitiesPlanReview@bloomington.in.gov

----- Forwarded message -----

From: Todd Borgman <tborgman@smithdginc.com>

Date: Thu, Aug 21, 2025 at 12:45 PM

Subject: Renwick Phase 6 Replat

To: utilitiesplanreview@bloomington.in.gov <utilitiesplanreview@bloomington.in.gov>

Hello,

Attached is a plat for your review. Let me know if you have questions.

Thanks,

Todd Borgman, PS


Smith Design Group, Inc.

1467 W Arlington Road

Bloomington, IN 47404

p. 812.336.6536 x:1

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<p>drinkmoretap</p> 	<p>Bryan Blake Project Coordinator Utilities Department City of Bloomington Utilities bryan.blake@bloomington.in.gov 812-349-3628</p>
---	--