

# **Bloomington Common Council Regular Session Packet Addendum #1**

Wednesday, September 16, 2026, at 6:30 p.m.

Council Chambers, City Hall, 401 North Morton Street, Bloomington, IN  
47404

The meeting may also be accessed [remotely via Zoom](#)<sup>1</sup>.

1. Proposed Amendment 1 for Ordinance 2026-20 – Amending Title 20 of the Bloomington Municipal Code to Improve Sustainability and Housing Affordability pursuant to Council Resolution 2026-05
2. Proposed Amendment 2 for Ordinance 2026-20
3. Proposed Amendment 3 for Ordinance 2026-20
4. Proposed Amendment 4 for Ordinance 2026-20

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Bloomington City Council meetings can be watched on the following websites:

- [Community Access Television Services \(CATS\)](#)<sup>2</sup>
- [City's YouTube Channel](#)<sup>3</sup>

[Materials for this meeting](#)<sup>4</sup> are available on Council's website.

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<sup>1</sup><https://bloomington.zoom.us/j/88232457224?pwd=8sV9kGj6bO5Kp4MboMuKlj7jnoavt7.1>

Meeting ID: 882 3245 7224 Passcode: 602627

<sup>2</sup> <https://catstv.net/>

<sup>3</sup> <https://www.youtube.com/@citybloomington>

<sup>4</sup> <https://bloomington.in.gov/council/meetings/2026>

Posted: September 15, 2026

## Proposed Amendment

**Ordinance #:** Ordinance 2026-20

**Amendment #:** 01

**Submitted By:** CM Stosberg

**Date:** September 16, 2026

### Proposed Amendment:

The attachment to the ordinance shall be amended as follows:

#### 1. Attachment "A"

Attachment "A" shall be amended to reinsert the language that is currently in the Bloomington Municipal Code as sections 20.04.060(l) and (m):

(l) Minimum Bicycle Parking Required.

(1) Applicability. The following standards shall apply to all uses except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses.

(2) Required Bicycle Parking Spaces.

(A) Generally.

i. Each development subject to this Section 20.04.060(l) (Minimum Bicycle Parking Required) shall provide a minimum of six bicycle parking spaces or the number of bicycle parking spaces required in Table 04-13 (Minimum Bicycle Parking Requirements), whichever is more.

ii. The minimum number of bicycle parking spaces required in Table 04-13 (Minimum Bicycle Parking Requirements) shall be based on the total number of vehicle parking spaces provided on site or in a permitted off site location to serve the principal uses.

**Table 04-12. Minimum Bicycle Parking Requirements**

| (Percentage of vehicle parking spaces provided on-site or in a permitted off-site location to serve the principal uses) |                                                     |                                                     |
|-------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|-----------------------------------------------------|
| Use                                                                                                                     | All Other Zoning Districts                          | MD Zoning District                                  |
| Residential uses                                                                                                        | 10%, or one space per 5 bedrooms, whichever is more | 20%, or one space per 5 bedrooms, whichever is more |

|                                       |    |     |
|---------------------------------------|----|-----|
| Public, institutional, and civic uses | 5% | 15% |
| Commercial uses                       | 5% | 10% |
| Employment uses                       | 2% | 5%  |

- (B) **Mixed-Use Developments.** Developments with both nonresidential and residential uses shall provide the cumulative required number of bicycle parking spaces as calculated for the respective nonresidential and residential requirements in Table 04-12 13 (Minimum Bicycle Parking Requirements).
- (C) **Cottage Development.** A minimum of one class II bicycle parking space is required per dwelling unit. Secure garages may count toward this requirement, but a minimum of four class II bicycle parking spaces shall be provided.
- (D) **Building Expansions or Changes in Use.** Building expansions or changes in use that require additional vehicle parking spaces pursuant to Section 20.04.060(b) (Applicability) shall also require additional bicycle parking spaces based on the percentages in Table 04-12 (Minimum Bicycle Parking Requirements), as applied to the building expansion area or the additional parking required by the change in use.
- (E) **When No On-Site Vehicle Spaces are Provided.** Where no vehicle parking spaces are provided on site, one bicycle parking space shall be required for every five thousand square feet of gross floor area in each primary building, or a minimum of six bicycle parking spaces, whichever is greater.
- (F) **Existing Public Bicycle Parking Spaces.** Permanent bicycle parking spaces available for public use, such as City-installed bicycle racks or bike corrals that exist at the time of development, expansion, or change in use, and are located within fifty feet of the primary entrance to the primary building may be used to satisfy up to six required bicycle parking spaces.
- (G) **Bicycle Parking Reduction.** Subject to the approval of the Planning and Transportation Department, the number of bicycle parking spaces may be reduced if:
  - i. Unique or unusual characteristics exist on a development site that would preclude safe travel of bicycles to and from the site; or
  - ii. Existing bicycle parking facilities are located within the public right-of-way and within fifty feet of the building's main entrance, provided that no more

than six bicycle parking spaces in the right-of-way can be counted toward the development requirements.

(m) Bicycle Parking Location and Design.

(1) Location.

- (A) Rights-of-Way. Bicycle parking spaces shall not be located fully or partially within a public right-of-way without prior approval of the City.
- (B) Access and Pedestrian Obstruction. All required bicycle parking spaces shall be located so that a minimum three-foot clear pedestrian passage space is provided to all sides of a standard six-foot bicycle parked in each required space, and so that there is at least fifty-four inches of clearance remaining for ADA compliance on pedestrian pathways.
- (C) Design and Proximity. Required bicycle parking spaces shall be designed to allow bicycles to be secured with a lock to a fixed object and shall be located within fifty feet of the main entrance of each primary building on site.
- (D) Collocation. Bicycle parking facilities may be located in a non-required vehicular automobile parking space so long as it is not a parking space required to comply with the Americans with Disabilities Act and the location meets the other provisions of this section.
- (E) Distribution. Buildings with twelve bedrooms or more shall provide a minimum of two exterior class II bicycle parking spaces per residential building. These spaces shall count toward fulfilling the total site requirement for bicycle parking.

(2) Design.

(A) Generally.

- i. Bicycle parking location and design shall comply with City of Bloomington standards in the administrative manual.
- ii. Bicycle parking shall accommodate two points of contact that are separated horizontally.
- iii. Bicycle parking shall be accessible from the pedestrian/bicycle way without the need to lift the bicycle over a curb.
- iv. Bicycle parking shall be located no farther than the closest motor vehicle parking space, excluding accessible vehicle parking spaces.

(B) Type.

- i. All bicycle parking requirements shall be met using either long-term class I or short-term class II bicycle security facilities.
  - ii. For multifamily residential uses, developments with twenty-five or more dwelling units shall provide:
    - 1. A minimum of one-half of the total required bicycle parking spaces as covered, short-term class II bicycle parking facilities; and
    - 2. A minimum of one-quarter of the total required bicycle parking spaces as long-term class I facilities.
  - iii. For nonresidential and mixed-use developments with more than twenty thousand square feet of gross floor area, all required bicycle parking facilities shall be class II covered spaces.
- (C) Surface. Bicycle parking areas shall be placed on a paved surface composed of concrete, asphalt, brick pavers, or the like. Bark mulch, crushed stone, stone, rock, dirt, sand or grass shall not be permitted as a surface for bicycle parking areas.

**\*\*Amendment Form\*\***

**Ordinance #:** 2026-20  
**Amendment #:** 02  
**Submitted by:** Cm. Piedmont-Smith  
**Date:** September 14, 2026

**Proposed Amendment:**

This amendment deletes language in Attachment A to Ordinance 2026-20 regarding BMC 20.04.030 (h)(2) as shown below (language added in Attachment A in red, with same language crossed-out due to deletion):

**20.04.030 Environment.**

(h) Tree and Forest Preservation.

- (1) Applicability. This section shall apply to all land-disturbing activities on properties containing closed-canopy wooded areas.
- (2) Retention of Existing Canopy. The following table shall be used to determine the minimum amount of existing vegetation canopy that must be retained during land-disturbance activity, ~~except existing lots of record in R3 and R4 zoning districts that are less than 5,000 square feet.~~

**Table 04-8. Minimum Required Vegetation Canopy**

| Baseline Canopy Cover                                                                                                                                                             | Retained Canopy Cover        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| 80—100%                                                                                                                                                                           | 0.50 × Baseline canopy cover |
| 60—79%                                                                                                                                                                            | 0.60 × Baseline canopy cover |
| 40—59%                                                                                                                                                                            | 0.70 × Baseline canopy cover |
| 20—39%                                                                                                                                                                            | 0.80 × Baseline canopy cover |
| 0—19%                                                                                                                                                                             | 0.90 × Baseline canopy cover |
| Example: For a property of 20 acres with 50 percent canopy cover (i.e., 10 acres), a development would be required to maintain at least 7 acres (10 acres × 0.70) of canopy cover |                              |

- (3) Preference to Stands of Vegetation. The retention standards outlined above shall be applied to retain high-quality stands of native trees, undisturbed woodlands, and corridors of contiguous vegetation in priority over individual specimen trees, or younger stands of vegetation. No more than ten percent of the canopy retention standard shall be met by preserving individual trees not included within preferred wooded areas as defined in this subsection (h). Where individual specimen trees are to be preserved, preference shall be given to protecting heritage trees that are of particular value due to their type, size or age.
- (4) Smaller Parcels. For parcels of land less than two acres, the preservation standards in Table 04-8 (Minimum Required Vegetation Canopy) may be altered by the City Planning and Transportation

Director to allow preservation of individual specimen trees or tree lines along property borders in lieu of the minimum required vegetation canopy.

**Synopsis:**

This amendment, sponsored by Councilmember Piedmont-Smith, rejects the deletion of a phrase added to BMC 20.04.030(h)(2) in order to uphold the retention of existing tree canopies on all parcels. With increased density of development in the city, it is especially important to retain minimal tree cover to counteract the heat island effect and all trees to provide natural ecosystem services like shade and CO<sub>2</sub> absorption. Note that 20.04.030(h)(4) already provides exceptions for smaller parcels.

**9/16/2026 Regular Session Action: Pending**

**\*\*Amendment Form\*\***

**Ordinance #:** 2026-20  
**Amendment #:** 03  
**Submitted by:** Cm. Piedmont-Smith  
**Date:** September 14, 2026

**Proposed Amendment:**

This amendment deletes BMC 20.04.060 in Attachment A and replaces it with the Am. 02-Attachment A.

**Synopsis:**

This amendment, sponsored by Councilmember Piedmont-Smith, rejects the deletion all parking minimum requirements in the UDO and instead proposes to delete only the minimums for the following uses:

- Dwelling, live-work
- Dwelling, cottage development
- Dwelling, mobile home park
- Non-commercial urban agriculture
- Student housing or dormitory

The rationale for this amendment is that, in some blocks within and adjacent to residential zoning districts R1 through R4, there is insufficient space on the street to accommodate parking for all residents.

**9/16/2026 Regular Session Action: Pending**

## Attachment A

### **20.04.060 Parking, loading, and storage.**

- (a) Purpose. This section is intended to regulate the amount and design of off-street parking and loading for different land uses and to help protect the public health, safety, and general welfare by:
  - (1) Avoiding and mitigating traffic congestion;
  - (2) Providing necessary access for service and emergency vehicles;
  - (3) Providing for safe and convenient interaction between motor vehicles, bicycles, and pedestrians;
  - (4) Encouraging multi-modal transportation options and enhanced pedestrian safety;
  - (5) Providing flexibility to respond to the transportation, access, and loading impacts of various land uses in different areas of the City;
  - (6) Reducing stormwater runoff, reducing heat island effect from large expanses of pavement, improving water quality, and minimizing dust pollution; and
  - (7) Avoiding and mitigating the adverse visual impact of large concentrations of exposed parking.
- (b) Applicability. Compliance with this Section 20.04.060 (Parking and Loading) shall be required pursuant to Section 20.04.010 (Applicability) and the specific applicability criteria established in Sections 20.04.060(d) (Minimum Vehicle Parking Requirement) through 20.04.060(1) (Minimum Bicycle Parking Required).
- (c) Parking Calculations.
  - (1) Generally.
    - (A) All parking and loading requirements that are based on square footage shall be calculated on the basis of gross floor area of the subject use, unless otherwise specified.
    - (B) Parking spaces designed or designated exclusively for recreational vehicles, motorcycles, scooters, and other two-wheeled vehicles shall not be included in the calculation of minimum or maximum vehicle parking requirements.
    - (C) Parking spaces intended for storage of business vehicles, such as fleet vehicles, delivery vehicles, or vehicles on display associated with sales or rental shall not be included in the calculation of minimum or maximum vehicle parking requirements unless otherwise stated. Businesses with parking areas designed exclusively for vehicle display shall provide a minimum of one van accessible ADA parking space.
    - (D) When measurements of the maximum number of required parking spaces for vehicles or bicycles result in a fractional number, any fraction of one-half or larger shall be rounded down to the next lowest whole number.
    - (E) Lots containing more than one use shall provide parking and loading based on the shared parking calculations in Section 20.04.060(g)(1) (Shared Parking Facilities).
  - (2) Unlisted Uses. For uses not listed in Table 04-9 (Minimum Vehicle Parking Requirements) or Table 04-10 (Maximum Vehicle Parking Allowance), the City Planning and Transportation Department is authorized to do any of the following:
    - (A) Apply the minimum or maximum off-street parking space requirement specified in Table 04-9 (Minimum Vehicle Parking Requirements) or Table 04-10 (Maximum Vehicle Parking Allowance), for the listed use that is deemed most similar to the proposed use as determined by the City Planning and Transportation Department (based on operating characteristics, the most similar related occupancy classification, or other factors related to potential parking demand determined by the department).

- (B) Establish the minimum or maximum off-street parking space and loading requirements based on a parking study prepared by the petitioner according to Sections 20.04.060(g) (Adjustments to Minimum Parking Requirements) or 20.04.060(h) (Adjustments to Maximum Parking Allowance).
- (d) Minimum Vehicle Parking Requirement.
- (1) Applicability.
- (A) Generally. Each development or land use subject to this section pursuant to Section 20.04.060 (Parking and Loading) shall provide at least the minimum number of vehicle parking spaces required for each land use listed in Table 04-9 (Minimum Vehicle Parking Requirements).
- (B) MD District. Minimum parking requirements do not apply to development in the Courthouse Square Character Area or the Downtown Core Character Area south of 4th Street.

**Table 04-9. Minimum Vehicle Parking Requirements**

|                                    | All Other Zoning Districts                                                                                            | MD Zoning District |
|------------------------------------|-----------------------------------------------------------------------------------------------------------------------|--------------------|
| Dwelling, single-family (detached) | No requirement                                                                                                        |                    |
| Dwelling, single-family (attached) |                                                                                                                       |                    |
| Dwelling, duplex [3]               | 0.5 spaces per DU [1]                                                                                                 | No requirement     |
| Dwelling, triplex [3]              |                                                                                                                       |                    |
| Dwelling, fourplex [3]             |                                                                                                                       |                    |
| Dwelling, multifamily [2]          | Studio: 0.5 space per DU<br>1 bedroom: 1 space per DU<br>2 bedrooms: 1.5 spaces per DU<br>3 bedrooms: 2 spaces per DU |                    |
| Dwelling, live/work                | No requirement                                                                                                        |                    |
| Dwelling, cottage development      | <del>1 space per DU</del> No requirement                                                                              |                    |
| Dwelling, mobile home              | <del>1 space per DU</del> No requirement                                                                              |                    |
| Manufactured home park             |                                                                                                                       |                    |
| Noncommercial urban agriculture    | <del>2 spaces per lot</del> No requirement                                                                            |                    |
| Student housing or dormitory       | <del>0—10 bedrooms: no requirement</del><br><del>11 or more bedrooms: 0.5 spaces per bedroom</del><br>No requirement  |                    |
| DU = dwelling unit                 |                                                                                                                       |                    |

Notes:

- [1] See Section 20.04.110 (Incentives) for alternative standards.
- [2] Minimums shall only apply to multifamily development within or adjacent to the R3 zoning district and all multifamily development in the MD zoning district.
- [3] Minimum parking for duplexes, triplexes, and fourplexes only applies in the R1, R2, R3, and R4 districts.
- (e) Maximum Vehicle Parking Allowance. In no case shall any land use or development subject to this Section 20.04.060 (Parking and Loading) provide more than the maximum number of vehicle parking spaces allowed for each land use listed in Table 04-10 (Maximum Vehicle Parking Allowance).

**Table 04-10. Maximum Vehicle Parking Allowance**

| Use                     | Maximum Vehicle Parking Allowance |
|-------------------------|-----------------------------------|
| <b>Residential Uses</b> |                                   |
| Household Living        |                                   |

|                                       |                                                                                                                                                                                                                                  |
|---------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Dwelling, single-family (detached)    | No limit                                                                                                                                                                                                                         |
| Dwelling, single-family (attached)    |                                                                                                                                                                                                                                  |
| Dwelling, duplex                      | 2 spaces per DU                                                                                                                                                                                                                  |
| Dwelling, triplex                     |                                                                                                                                                                                                                                  |
| Dwelling, fourplex                    |                                                                                                                                                                                                                                  |
| Dwelling, multifamily                 | 125 percent of the potential minimum, or 1.25 spaces per bedroom, whichever is less. When there is no required minimum number of spaces, the number of spaces listed per DU in Table 04-9 shall be used in the 125% calculation. |
| Dwelling, live/work                   | 1 space per DU                                                                                                                                                                                                                   |
| Dwelling, cottage development         | 2 spaces per DU                                                                                                                                                                                                                  |
| Dwelling, mobile home                 | 2 spaces per DU                                                                                                                                                                                                                  |
| Manufactured home park                | 2 spaces per DU, plus 1 visitor space per 2 DUs                                                                                                                                                                                  |
| Group Living                          |                                                                                                                                                                                                                                  |
| Assisted living facility              | 1 space per 6 infirmary or nursing home beds;<br>plus 1 space per 3 rooming units;<br>plus 1 space per 3 DUs                                                                                                                     |
| Continuing care retirement facility   |                                                                                                                                                                                                                                  |
| Fraternity or sorority house          | 0.8 spaces per bed                                                                                                                                                                                                               |
| Group care home, FHAA small           | 2.5 spaces per 1,000 square feet GFA                                                                                                                                                                                             |
| Group care facility, FHAA large       |                                                                                                                                                                                                                                  |
| Nursing or convalescent home          | 1 space per 6 infirmary or nursing home beds; plus 1 space per 3 rooming units                                                                                                                                                   |
| Opioid rehabilitation home, small     | 2.5 spaces per 1,000 square feet GFA                                                                                                                                                                                             |
| Opioid rehabilitation home, large     |                                                                                                                                                                                                                                  |
| Single room occupancy                 | 2 spaces;<br>plus 1 space per bedroom                                                                                                                                                                                            |
| Student housing or dormitory          | 0.75 spaces per bedroom                                                                                                                                                                                                          |
| Supportive housing, small             | 2.5 spaces per 1,000 square feet GFA                                                                                                                                                                                             |
| Supportive housing, large             |                                                                                                                                                                                                                                  |
| Public, Institutional, and Civic Uses |                                                                                                                                                                                                                                  |
| Community and Cultural Facilities     |                                                                                                                                                                                                                                  |
| Art gallery, museum, or library       | 2 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                   |
| Cemetery or mausoleum                 | 1 space per 4 seats in chapel or assembly area                                                                                                                                                                                   |
| Club or lodge                         | 1 space per 4 seats in main assembly area, or 5 spaces per 1,000 sq. ft. GFA, whichever is greater                                                                                                                               |
| Community center                      | 3.3 spaces per 1,000 square feet GFA                                                                                                                                                                                             |
| Conference or convention center       | 2 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                   |
| Crematory                             | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                 |
| Day-care center, adult or child       | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                 |
| Government service facility           | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                 |
| Jail or detention facility            | 2 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                   |
| Meeting, banquet, or event facility   | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                   |
| Mortuary                              | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                                                 |
| Park                                  | 5 spaces per 1 acre plus 2.5 spaces per 1,000 sq. ft. of site used for recreational equipment area                                                                                                                               |
| Place of worship                      | 1 space per 4 seats in main assembly area, or 5 spaces per 1,000 sq. ft. GFA, whichever is greater                                                                                                                               |
| Police, fire, or rescue station       | 4 spaces per 1,000 sq. ft. GFA plus 1 space per each vehicle used for police, fire, and rescue                                                                                                                                   |

|                                                    |                                                                                                                                                                                                       |
|----------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Urban agriculture, noncommercial                   | 1.25 spaces per 1 acre                                                                                                                                                                                |
| <b>Educational Facilities</b>                      |                                                                                                                                                                                                       |
| School, college or university                      | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| School, public or private                          | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| School, trade or business                          | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| <b>Healthcare Facilities</b>                       |                                                                                                                                                                                                       |
| Hospital                                           | 1 space per patient bed design capacity                                                                                                                                                               |
| Medical clinic                                     | 5 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Methadone treatment facility                       | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| Opioid rehabilitation facility                     | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| <b>Commercial Uses</b>                             |                                                                                                                                                                                                       |
| <b>Agricultural and Animal Uses</b>                |                                                                                                                                                                                                       |
| Kennel                                             | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| Orchard or tree farm, commercial                   | 1.25 spaces per 1 acre                                                                                                                                                                                |
| Pet grooming                                       | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| Plant nursery or greenhouse, commercial            | 3.3 spaces per 1,000 sq. ft. of GFA retail sales                                                                                                                                                      |
| Veterinarian clinic                                | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| <b>Entertainment and Recreation</b>                |                                                                                                                                                                                                       |
| Amenity center                                     | 2.5 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| Country club                                       | 2 spaces per golf hole plus 2.5 spaces per 1,000 sq. ft. GFA                                                                                                                                          |
| Recreation, indoor                                 | Bowling alley: 3 spaces per lane<br>Theater: 1 space per 4 seats in assembly areas<br>All other: 4 spaces per 1,000 sq. ft. GFA                                                                       |
| Recreation, outdoor                                | Golf course: 2 spaces per golf hole<br>Mini golf course: 1 space per golf hole<br>Golf driving range: 1 space per tee box<br>All other: 2.5 spaces per 1,000 sq. ft. of site area used for recreation |
| Sexually oriented business                         | 5 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Stadium                                            | 1 space per 8 seats                                                                                                                                                                                   |
| <b>Food, Beverage, and Lodging</b>                 |                                                                                                                                                                                                       |
| Bar or Dance club                                  | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Bed and breakfast                                  | 1 space per guest bedroom                                                                                                                                                                             |
| Brewpub, distillery, or winery                     | Indoor tasting/seating area: 10 spaces per 1,000 sq. ft. GFA<br>Outdoor tasting/seating area: 5 spaces per 1,000 sq. ft. of outdoor seating area                                                      |
| Hotel or motel                                     | 1 space per guest room                                                                                                                                                                                |
| Restaurant                                         | Indoor seating area: 10 spaces per 1,000 sq. ft. GFA<br>Outdoor seating area: 5 spaces per 1,000 sq. ft. of outdoor seating area                                                                      |
| <b>Office, Business, and Professional Services</b> |                                                                                                                                                                                                       |
| Artist studio or workshop                          | 1 space per 1,000 sq. ft. GFA                                                                                                                                                                         |
| Check cashing                                      | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Financial institution                              | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Fitness center, small                              | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Fitness center, large                              | 4 spaces per 1,000 sq. ft. GFA                                                                                                                                                                        |
| Office                                             | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |
| Personal service, small                            | 3.3 spaces per 1,000 sq. ft. GFA                                                                                                                                                                      |

|                                                |                                                                                                               |
|------------------------------------------------|---------------------------------------------------------------------------------------------------------------|
| Personal service, large                        | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| <b>Retail Sales</b>                            |                                                                                                               |
| Building supply store                          | 2 spaces per 1,000 sq. ft. GFA                                                                                |
| Grocery or supermarket                         | 5 spaces per 1,000 sq. ft. GFA                                                                                |
| Liquor or tobacco sales                        | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Pawn shop                                      | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Retail sales, small                            | 4 spaces per 1,000 sq. ft. GFA                                                                                |
| Retail sales, medium                           | 4 spaces per 1,000 sq. ft. GFA                                                                                |
| Retail sales, large                            | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Retail sales, big box                          | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| <b>Vehicles and Equipment</b>                  |                                                                                                               |
| Equipment sales or rental                      | 2.85 spaces per 1,000 sq. ft. GFA of indoor sales/leasing/office area;<br>plus 1 space per service bay        |
| Transportation terminal                        | 1.25 spaces per 0.5 acres                                                                                     |
| Vehicle fleet operations, small                | 1.25 spaces per 0.5 acres plus 3.3 spaces per 1,000 sq. ft. GFA                                               |
| Vehicle fleet operations, large                | 1.25 spaces per 0.5 acres plus 3.3 spaces per 1,000 sq. ft. GFA                                               |
| Vehicle fuel station                           | 5 spaces per 1,000 sq. ft. GFA                                                                                |
| Vehicle impound storage                        | 1.25 spaces per 0.5 acres                                                                                     |
| Vehicle repair, major                          | 2.85 spaces per 1,000 sq. ft. of indoor sales/leasing/office area;<br>plus 1 space per service bay            |
| Vehicle repair, minor                          |                                                                                                               |
| Vehicle sales or rental                        |                                                                                                               |
| Vehicle wash                                   | 2.5 spaces per 1,000 sq. ft. of indoor sales/office area plus 1 space per service bay                         |
| <b>Employment Uses</b>                         |                                                                                                               |
| <b>Manufacturing and Processing</b>            |                                                                                                               |
| Commercial laundry                             | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Food production or processing                  | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Manufacturing, artisan                         | 2.5 spaces per 1,000 sq. ft. GFA                                                                              |
| Manufacturing, light                           | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Manufacturing, heavy                           | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Salvage or scrap yard                          | 1.25 spaces per 0.5 acres plus 2.5 spaces per 1,000 sq. ft. GFA                                               |
| <b>Storage, Distribution, or Warehousing</b>   |                                                                                                               |
| Bottled gas storage or distribution            | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Contractor's yard                              | 3.3 spaces per 1,000 sq. ft. GFA plus 1 space per each company vehicle up to a maximum of 30 company vehicles |
| Distribution, warehouse, or wholesale facility | 3.3 spaces per 1,000 sq. ft. GFA                                                                              |
| Storage, outdoor                               | 1.25 spaces per 1 acre                                                                                        |
| Storage, self-service                          | 2.85 spaces per 1,000 sq. ft. GFA of indoor sales/leasing/office space                                        |
| <b>Resource and Extraction</b>                 |                                                                                                               |
| Gravel, cement, or sand production             | 1.25 spaces per 1 acre                                                                                        |
| Quarry                                         | 1.25 spaces per 1 acre                                                                                        |
| Stone processing                               | 1.25 spaces per 1 acre                                                                                        |
| <b>Utilities and Communication</b>             |                                                                                                               |
| Communication facility                         | 1.25 spaces per 1 acre                                                                                        |

|                                              |                        |
|----------------------------------------------|------------------------|
| Solar collector, ground- or building-mounted | 1.25 spaces per 1 acre |
| Utility substation and transmission facility | 1.25 spaces per 1 acre |
| Wind energy system, large                    | 1.25 spaces per 1 acre |
| Wind energy system, small                    | 1.25 spaces per 1 acre |
| <b>Accessory Uses</b>                        |                        |
| Chicken flock                                | No additional parking  |
| Crops and pasturage                          | No additional parking  |
| Detached garage                              | No additional parking  |
| Drive-through                                | No additional parking  |
| Dwelling, accessory unit                     | No additional parking  |
| Electric vehicle charging facility           | No additional parking  |
| Greenhouse, noncommercial                    | No additional parking  |
| Home occupation                              | No additional parking  |
| Outdoor retail and display                   | No additional parking  |
| Outdoor trash and recyclables receptacles    | No additional parking  |
| Recycling drop-off, self-serve               | No additional parking  |
| Swimming pool                                | No additional parking  |
| <b>Temporary Uses</b>                        |                        |
| Book buyback                                 | No additional parking  |
| Construction support activities              | No additional parking  |
| Farm produce sales                           | No additional parking  |
| Real estate sales or model home              | No additional parking  |
| Seasonal sales                               | No additional parking  |
| Special event                                | No additional parking  |
| DU = dwelling unit<br>sq. ft. = square feet  |                        |

(f) Accessible Parking.

- (1) Accessible spaces shall be provided and designed as required to meet the requirements of the Americans with Disabilities Act (ADA) and the Indiana Building Code (IBC).
- (2) Each accessible space shall be located adjacent to an access aisle and as close as reasonably practicable to the building entrance most accessible for persons with disabilities.
- (3) All accessible spaces shall be striped and have vertical signs identifying them as accessible spaces per the Indiana Manual on Uniform Traffic Control Devices.
- (4) Required accessible spaces shall count towards the number of maximum parking spaces permitted, unless the maximum allowed number of parking spaces is twenty-five spaces or less.

(g) Adjustments to Minimum Parking Requirements. The amount of vehicle parking required pursuant to Table 04-9 (Minimum Vehicle Parking Requirements), may be adjusted by the factors listed in this Section 20.04.060(g) (Adjustments to Minimum Parking Requirements). These adjustments may be applied as part of the calculation of parking requirements and do not require discretionary approval by the City.

(1) Shared Parking Facilities.

(A) Generally.

- i. When reviewing a shared parking proposal, the City Planning and Transportation Department shall consider any additional reductions in minimum parking requirements that might otherwise apply pursuant to subsections (2) through (5) below, but such additional reductions shall not

- apply to further reduce the shared parking requirements approved by the City Planning and Transportation Department.
- ii. Where a minimum number of parking spaces are required by Table 04-9 (Minimum Vehicle Parking Requirements), the owners of two or more properties may join together to provide the required parking spaces for their respective uses. Upon request by the owners and after review of the request, the City Planning and Transportation Department may authorize the shared use of parking facilities subject to the following:
  - iii. In a shared parking arrangement, each property shall provide a minimum of sixty percent of the individual parking requirements provided in Table 04-9 (Minimum Vehicle Parking Requirements). In no case shall the total combined parking spaces be less than one hundred twenty percent of the greater individual parking requirement.
  - iv. Any property using shared parking facilities shall be located within six hundred feet of such parking facility, using established sidewalks and crosswalks where available.
- (B) Shared Parking Agreement. The property owner seeking leased spaces shall provide a recordable zoning commitment to the Planning and Transportation Department stating that in the case where leased spaces are no longer available, that an adequate parking alternative will be provided.
- (2) Proximity to Transit. Except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, the minimum parking required for development within one-quarter mile, measured radially in a straight line, of a fixed transit station or transit route stop shall be reduced from those shown in Table 04-9 (Minimum Vehicle Parking Requirements) by fifteen percent.
- (3) Affordable and Senior Housing. The minimum number of required vehicle parking spaces for multifamily residential structures shall be reduced by thirty-five percent if:
- (A) The multifamily residential structure qualifies for the affordable housing incentives pursuant to Section 20.04.110 (Incentives); or
  - (B) A minimum of seventy-five percent of the dwelling units are restricted for lease or sale by persons sixty-five years of age or older.
- (4) On-Street Parking. Any on-street parking space in which more than one-half of the area of the parking space abuts the subject property, may be counted toward the minimum number of required vehicle parking spaces on a one-to-one basis, subject to the following:
- (A) On-street parking may not be used to meet the minimum off-street parking requirements for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses.
  - (B) On-street parking that is subject to residential parking permit restrictions or other time restrictions shall not be used to meet any minimum vehicle parking requirements for any use.
  - (C) Each on-street parking space may only be counted once toward the parking requirements of the abutting lot, regardless of the number of individual buildings or tenants on the lot.
  - (D) On-street parking spaces shall be available for general public use at all times. No signage or actions limiting general public use of on-street spaces shall be permitted.
  - (E) No development or use approved with an on-street parking credit shall be considered nonconforming if the on-street parking is later removed by City action and the remaining off-street vehicle parking does not meet the minimum off-street parking requirements of this chapter.
- (5) Modification of Minimum Parking Requirement Based on Parking Study. If a petitioner submits a parking demand study demonstrating that anticipated off-street vehicle parking demand for the proposed development, use, or combination of uses will be less than that calculated from Table 04-9

(Minimum Vehicle Parking Requirements), and the City Planning and Transportation Department determines that the information and assumptions used in the study are reasonable and that the study accurately reflects anticipated off-street vehicle parking demand for the proposed development, use, or combination of uses, the City Planning and Transportation Department may authorize a reduction in required off-street parking spaces based on that study.

(h) Adjustments to Maximum Parking Allowance. No use shall provide vehicle parking spaces in an amount exceeding the maximum established in Table 04-10 (Maximum Vehicle Parking Allowance), unless approved by the City Planning and Transportation Department based on the following:

- (1) The proposed development has unique or unusual characteristics that typically do not apply to comparable developments, uses, or combinations of uses, such as high sales volume per floor area or low parking turnover, that create a parking demand that exceeds the maximum ratio;
- (2) The petitioner submits a parking demand study demonstrating that anticipated off-street vehicle parking demand for the proposed development, use, or combination of uses will be more than that calculated from Table 04-10 (Maximum Vehicle Parking Allowance), and the City Planning and Transportation Department determines that the information and assumptions used in the study are reasonable and that the study accurately reflects maximum reasonably anticipated off-street vehicle parking demand for the proposed development, use, or combination of uses; and
- (3) Any parking provided above the maximum required in Table 04-10 (Maximum Vehicle Parking Allowance), is constructed in a parking structure or with approved pervious surfaces.

(i) Vehicle Parking Location and Design.

(1) Applicability. The standards in Section 20.04.060(i) (Vehicle Parking Location and Design) shall apply to all surface and aboveground vehicle parking and maneuvering areas.

(2) Location.

(A) Generally.

- i. All parking spaces required to serve buildings or uses erected or established after the effective date of this ordinance shall be located on the same lot as the building or use served, unless otherwise allowed pursuant to 20.04.060(g)(1).
- ii. Parking areas shall be designed to ensure safe and easy ingress, egress, and movement through the interior of the lot.
- iii. No park strip shall be used for parking unless otherwise approved by the City Planning and Transportation Department based on considerations of pedestrian and traffic safety, visual appearance, and buffering.
- iv. All parking shall comply with parking landscape standards in Section 20.04.080 (Landscaping, Buffering, and Fences).
- v. For single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, Parking shall be prohibited within the setback between the street and the building except on a driveway that meets the provisions of this Section 20.04.060.
- vi. No commercial vehicles or trailers shall be parked overnight at a residence unless that home is occupied by the business owner or employee.

(B) In the R1, R2, R3, R4, RM, RH, MS, and MD Districts.

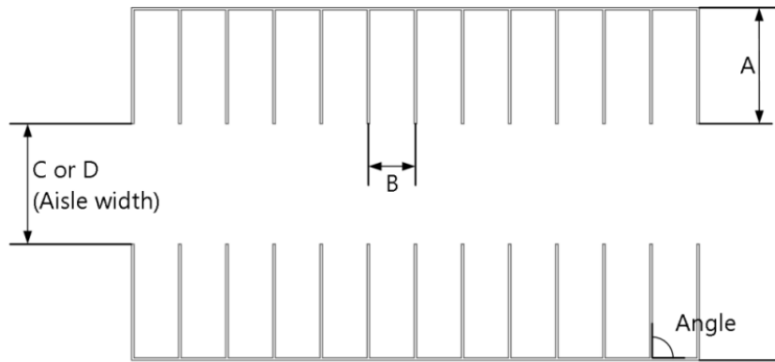
- i. Parking for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses shall be prohibited within the required front building setback between the street and the building except on a single drive not exceeding eighteen feet in width.
- ii. In cases where the side or rear setback area is accessible via an improved alley, no front yard drive or parking shall be permitted. In the R1, R2, R3, and R4 districts, the required parking area

shall directly access the alley and be limited to twenty feet in depth and twenty feet in width. Depth of required parking areas may exceed twenty feet if leading to a vehicular entrance of a detached garage or carport. In the MD, MS, RM, and RH districts, the required parking area shall directly access the alley. Determinations of whether an alley allows for safe access shall be made by the City Planning and Transportation Department.

- iii. For lots at the corner of a street and the alley, the driveway on the alley shall be setback fifteen feet from the intersection of the street and the alley.

(3) Dimensions of Parking Spaces and Drive Aisles. All on-site parking and maneuvering areas shall be constructed according to the following minimum dimensional standards and per Table 04-11:

- (A) All parking aisles shall terminate with a bump-out for turnaround maneuverability.



**Figure 52: Illustrative Scale and Character**

**Table 04-11. Parking Dimensions (in feet) [2]**

| Angle         | Parking Space |          | One-Way Aisle | Two-Way Aisle |
|---------------|---------------|----------|---------------|---------------|
|               | A             | B        | C             | D             |
| 0° (parallel) | 8.0           | 22.5 [1] | 12.0          | 20.0          |
| 30°           | 15.0          | 8.5      | 12.0          | 20.0          |
| 45°           | 17.0          | 8.5      | 12.0          | 20.0          |
| 60°           | 17.5          | 8.5      | 16.0          | 20.0          |
| 90°           | 16.0          | 8.5      | 20.0          | 20.0          |

Notes:

[1] End spaces may be a minimum of twenty feet in length where no obstruction exists.

[2] Parking spaces for motorcycles may be provided and must be a minimum of three feet in width and six feet in length.

- (B) If the petitioner can provide different acceptable standards based on a professionally recognized source of parking lot design, the City Planning and Transportation Department may approve alternative standards pursuant to the minor modification process outlined in Section 20.06.080(a) (Minor Modification).

(4) Stacked Parking. Stacked parking arrangements are permitted.

(5) Back-Out Parking.

- (A) Generally. All on site vehicle parking areas shall be designed to avoid the need for vehicles to back onto public streets when exiting the parking space, unless otherwise stated in this UDO.
- (B) Exceptions. Single-family, duplex, triplex, and fourplex uses in any zoning district shall be permitted to back-out directly onto an alley or a public street, other than an arterial street.
- (C) Back-Out Parking Waiver. Back-out parking within the required side or rear setback may be allowed onto adjacent alleys subject to the following standards:
  - i. The lot in question does not exceed twenty thousand feet in area;
  - ii. A maximum of eight back-out parking spaces are permitted per site;
  - iii. Parking shall directly access an improved alley; and
  - iv. Parking spaces shall be designed to be no less than forty-five degrees to the alley.

(6) Stormwater Drainage.

- (A) Water draining from a parking lot shall not flow across a sidewalk.
- (B) All parking lots, excluding drives that do not afford direct access to abutting parking spaces, shall have a slope of five percent or less.

(7) Surface Material.

- (A) Except for dwelling, single-family (detached), dwelling, single-family (attached), dwelling, duplex, dwelling, triplex, and dwelling, fourplex residences or as stated in subsection (6) above, or an exception is provided elsewhere in this UDO, all areas used for parking shall be hard surface of concrete, asphalt, brick pavers, or other approved material. Where crushed stone parking surfaces are approved, they shall be contained within a raised, permanent border.
  - (B) All new driveway aprons onto a street shall be surfaced with concrete. Enlargement or modification of an existing driveway shall require the driveway apron to be surfaced with concrete, except that the driveway apron for a single-family, duplex, triplex, or fourplex use on a local street may use asphalt or concrete.
  - (C) Areas using permeable parking pavers shall not count towards impervious surface calculations.
  - (D) Except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, and display areas for vehicle sales and rental uses, all off-street parking spaces shall be striped or otherwise designated to clearly mark each space.
  - (E) All driving lanes and parking aisles in parking lots shall be curbed, unless an alternative design allowing for adequate stormwater management is approved.
- (8) Electric Vehicle Charging. Parking areas with fifty or more parking spaces shall provide a minimum of one parking space dedicated to electric vehicles for every twenty-five parking spaces provided on site. If more than six EV charging stations are required, at least one shall be an ADA van accessible parking space. The provision of three or fewer electric vehicle parking spaces shall not count toward the maximum allowed number of parking spaces. The provision of four or more electric vehicle parking spaces shall count toward the maximum allowed number of parking spaces. The electric vehicle parking space shall be:
- (A) Located on the same lot as the principal use;
  - (B) Signed in a clear and conspicuous manner, such as special pavement marking or signage, indicating exclusive availability to electric vehicles; and
  - (C) Outfitted with a standard electric vehicle charging station.

- (9) Parking Area Landscaping. All development shall comply with Section 20.04.080(h) (Parking Lot Landscaping).
- (10) Parking Area Lighting. All development shall comply with Section 20.04.090 (Outdoor Lighting).
- (11) Pedestrian and Bicycle Circulation. All development shall comply with Section 20.04.050 (Access and Connectivity).
- (j) Loading Area Location and Design.
  - (1) Applicability. This Section 20.04.060(j) (Loading Area Location and Design) shall apply to all loading areas.
  - (2) Location. Loading berths shall be located at the rear of a structure.
  - (3) Design.
    - (A) Loading berths shall be paved with asphalt or concrete.
    - (B) Loading berths shall be effectively screened from view from adjacent public streets and residential uses by solid building walls, constructed of similar building materials as the primary structure and not less than six feet in height.
    - (C) The design of loading berth areas shall prevent any portion of any vehicle using the loading facility from projecting into a public right-of-way.
- (k) Drive-Through Facilities and Vehicle Stacking Areas.
  - (1) Applicability. The following standards apply for all uses with vehicle stacking and/or drive-through facilities.
  - (2) Minimum Number of Vehicle Stacking Spaces. All uses with drive-through facilities shall provide the minimum number of on-site stacking spaces indicated in Table 04-12 (Minimum Vehicle Stacking Space Requirements), and shall comply with the standards in this Section 20.04.060(k) (Drive-Through Facilities and Vehicle Stacking Areas).

**Table 04-12. Minimum Vehicle Stacking Space Requirements**

| Use                    | Required Stacking Spaces  |
|------------------------|---------------------------|
| Car wash               | 4 spaces per bay or lane  |
| Food and beverage uses | 3 spaces per service lane |
| Other uses             | 3 spaces per service lane |
| Financial institutions | 2 spaces per service lane |

- (l) Minimum Bicycle Parking Required.
  - (1) Applicability. The following standards shall apply to all uses except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses.
  - (2) Required Bicycle Parking Spaces.
    - (A) Generally.
      - i. Each development subject to this Section 20.04.060(l) (Minimum Bicycle Parking Required) shall provide a minimum of six bicycle parking spaces or the number of bicycle parking spaces required in Table 04-13 (Minimum Bicycle Parking Requirements), whichever is more.
      - ii. The minimum number of bicycle parking spaces required in Table 04-13 (Minimum Bicycle Parking Requirements) shall be based on the total number of vehicle parking spaces provided on site or in a permitted off site location to serve the principal uses.

**Table 04-13. Minimum Bicycle Parking Requirements**

| (Percentage of vehicle parking spaces provided on-site or in a permitted off-site location to serve the principal uses) |                                                     |                                                     |
|-------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|-----------------------------------------------------|
| Use                                                                                                                     | All Other Zoning Districts                          | MD Zoning District                                  |
| Residential uses                                                                                                        | 10%, or one space per 5 bedrooms, whichever is more | 20%, or one space per 5 bedrooms, whichever is more |
| Public, institutional, and civic uses                                                                                   | 5%                                                  | 15%                                                 |
| Commercial uses                                                                                                         | 5%                                                  | 10%                                                 |
| Employment uses                                                                                                         | 2%                                                  | 5%                                                  |

- (B) Mixed-Use Developments. Developments with both nonresidential and residential uses shall provide the cumulative required number of bicycle parking spaces as calculated for the respective nonresidential and residential requirements in Table 04-13 (Minimum Bicycle Parking Requirements).
- (C) Cottage Development. A minimum of one class II bicycle parking space is required per dwelling unit. Secure garages may count toward this requirement, but a minimum of four class II bicycle parking spaces shall be provided.
- (D) Building Expansions or Changes in Use. Building expansions or changes in use that require additional vehicle parking spaces pursuant to Section 20.04.060(b) (Applicability) shall also require additional bicycle parking spaces based on the percentages in Table 04-13 (Minimum Bicycle Parking Requirements), as applied to the building expansion area or the additional parking required by the change in use.
- (E) When No On-Site Vehicle Spaces are Provided. Where no vehicle parking spaces are provided on site, one bicycle parking space shall be required for every five thousand square feet of gross floor area in each primary building, or a minimum of six bicycle parking spaces, whichever is greater.
- (F) Existing Public Bicycle Parking Spaces. Permanent bicycle parking spaces available for public use, such as City-installed bicycle racks or bike corrals that exist at the time of development, expansion, or change in use, and are located within fifty feet of the primary entrance to the primary building may be used to satisfy up to six required bicycle parking spaces.
- (G) Bicycle Parking Reduction. Subject to the approval of the Planning and Transportation Department, the number of bicycle parking spaces may be reduced if:
  - i. Unique or unusual characteristics exist on a development site that would preclude safe travel of bicycles to and from the site; or
  - ii. Existing bicycle parking facilities are located within the public right-of-way and within fifty feet of the building's main entrance, provided that no more than six bicycle parking spaces in the right-of-way can be counted toward the development requirements.
- (m) Bicycle Parking Location and Design.
  - (1) Location.
    - (A) Rights-of-Way. Bicycle parking spaces shall not be located fully or partially within a public right-of-way without prior approval of the City.
    - (B) Access and Pedestrian Obstruction. All required bicycle parking spaces shall be located so that a minimum three-foot clear pedestrian passage space is provided to all sides of a standard six-foot

bicycle parked in each required space, and so that there is at least fifty-four inches of clearance remaining for ADA compliance on pedestrian pathways.

- (C) Design and Proximity. Required bicycle parking spaces shall be designed to allow bicycles to be secured with a lock to a fixed object and shall be located within fifty feet of the main entrance of each primary building on site.
- (D) Collocation. Bicycle parking facilities may be located in a non-required vehicular automobile parking space so long as it is not a parking space required to comply with the Americans with Disabilities Act and the location meets the other provisions of this section.
- (E) Distribution. Buildings with twelve bedrooms or more shall provide a minimum of two exterior class II bicycle parking spaces per residential building. These spaces shall count toward fulfilling the total site requirement for bicycle parking.

(2) Design.

(A) Generally.

- i. Bicycle parking location and design shall comply with City of Bloomington standards in the administrative manual.
- ii. Bicycle parking shall accommodate two points of contact that are separated horizontally.
- iii. Bicycle parking shall be accessible from the pedestrian/bicycle way without the need to lift the bicycle over a curb.
- iv. Bicycle parking shall be located no farther than the closest motor vehicle parking space, excluding accessible vehicle parking spaces.

(B) Type.

- i. All bicycle parking requirements shall be met using either long-term class I or short-term class II bicycle security facilities.
- ii. For multifamily residential uses, developments with twenty-five or more dwelling units shall provide:
  - 1. A minimum of one-half of the total required bicycle parking spaces as covered, short-term class II bicycle parking facilities; and
  - 2. A minimum of one-quarter of the total required bicycle parking spaces as long-term class I facilities.
- iii. For nonresidential and mixed-use developments with more than twenty thousand square feet of gross floor area, all required bicycle parking facilities shall be class II covered spaces.

- (C) Surface. Bicycle parking areas shall be placed on a paved surface composed of concrete, asphalt, brick pavers, or the like. Bark mulch, crushed stone, stone, rock, dirt, sand or grass shall not be permitted as a surface for bicycle parking areas.

(n) Use of Parking Areas.

(1) Exclusive Use.

- (A) Unless a shared parking agreement has been established in accordance with Section 20.04.060(g)(1) (Shared Parking Facilities), required vehicle and bicycle parking spaces shall be designed, maintained and used exclusively for the tenants, occupants, and customers of the buildings or uses on the site.
- (B) Excess or unused vehicle or bicycle parking spaces or loading spaces may not be rented or leased to the general public or to those who are not tenants, occupants and customers of the buildings or uses where the parking is located unless:

- i. Otherwise allowed pursuant to Section 20.04.060(g)(1) (Shared Parking Facilities); or
  - ii. A vehicle parking garage is listed as a permitted or Conditional Use in the zoning district where the parking lot or parking garage is located pursuant to Table 03-1 (Allowed Use Table).
- (2) Storage of Vehicles or Equipment. Vehicle parking spaces, including both required and excess parking spaces, shall not be used for storing vehicles that are not used in conjunction with the primary use of the lot. In addition, all outdoor parking of vehicles in all zoning districts shall comply with the following standards:
  - (A) Vehicles and trailers shall not be stored or parked on an unimproved surface.
  - (B) Stored or parked vehicles shall not block, impede, or otherwise encroach upon a sidewalk.
  - (C) Stored or parked vehicles shall not be used for other purposes, including, but not limited to, living quarters, or storage of materials.
- (3) Motor Vehicle Repair.
  - (A) Motor vehicle repair work in parking areas shall be permitted in residential districts, provided that the vehicle under repair is owned by the occupant of the residential property; the frequency, duration, and scope of such use is reasonable and customary as accessory to the residential use; and no business is being conducted in conjunction with such repair use.
  - (B) Motor vehicle repair work in parking areas, including both required and excess parking spaces, shall be prohibited in all other zoning districts.
  - (C) A maximum of three wrecked or inoperable vehicles awaiting repair may be stored on site at one time. No such vehicle shall be stored on site in excess of thirty days.
- (4) Vehicles and Trailers. Except for uses where auto repair is authorized, the parking of vehicles or trailers of any type without current license plates or in an inoperable condition shall be prohibited for periods in excess of thirty days, unless such vehicle or trailer is completely enclosed within a building or within an approved salvage or scrap yard.
- (5) Storage, Occupancy, or Similar Uses. Vehicles, campers or tractor/trailers of any type shall not be used for the purpose of storage, occupancy, or similar use.
- (o) On-street Parking Standards for Private Streets. The following standards related to on-street parking apply to all developments where the City has approved the use of private streets that have not been dedicated to the City.
  - (1) No Parking Signs. Any side of a street where parking is not permitted shall be clearly delineated with yellow curbs or no parking signs noting such restrictions.
  - (2) Bump-outs.
    - (A) Bump-outs may be required at street intersections where on-street parking is used. Where required, bump-outs shall use a six-inch standing curb, unless the City determines that a curb and gutter is required based on considerations of public safety, utility design, or site constraints.
    - (B) Bump-outs shall be designed to extend a minimum of eight feet from the curb line and may not reduce the travel lane widths below the standards of the Transportation Plan. The City may allow alternative bump-out widths based on considerations of public safety, utility design, or site constraints.
    - (C) Bump-outs shall be installed at angles greater than ninety degrees away from the street curb to facilitate street maintenance and shall use designs approved by the Transportation and Traffic Engineer based on considerations of pedestrian and traffic safety and efficient maintenance.
- (p) Outdoor Storage. In all zoning districts, except for the M1 zoning district, outdoor storage of equipment, materials, waste or scrap materials, and pallets is prohibited. Shipping containers, cargo containers, and

portable on-demand storage units may not be used for long-term storage, and may only be located on a lot or parcel, unless otherwise approved by the Municipal Code:

- (1) To provide storage for construction projects during the period of an approved construction project on the same lot or parcel; or
- (2) During the process of being loaded or unloaded, the duration of which may not exceed seventy-two consecutive hours.

## Proposed Amendment

**Ordinance #:** Ordinance 2026-20

**Amendment #:** 04

**Submitted By:** CM Flaherty

**Date:** September 16, 2026

### Proposed Amendment:

Portions of Attachment “A” to the ordinance shall be amended as depicted in the attached redline Exhibit 1 and as follows:

#### 1. Minimum Lot Size

Tables 02-4 and 02-5 in Section 20.02.020 Residential Zoning Districts of Attachment “A” shall be amended to reduce the minimum lot size for R3 and R4 from 2,500 sq. ft. to 2,000 sq. ft.

#### 2. Minimum Lot Width

Tables 02-4 and 02-5 in Section 20.02.020 Residential Zoning Districts of Attachment “A” shall be amended to reduce the minimum lot size for R3 and R4 from 30 ft. to 25 ft.

#### 3. Minimum Lot Size and Width

Tables 02-10 and 02-11 in Section 20.02.020 Residential Zoning Districts of Attachment “A” shall be amended to eliminate the minimum lot size and width for MN and MM to match the RM and RH districts.

#### 4. PUDs

Proposed Section 20.02.050(b)(8) Planned Unit Development (PUD) district of Attachment “A” shall be amended to exempt PUDs with 100% affordable housing from compliance with Sustainability Incentives found in B.M.C. Section 20.04.110(d)(2).

#### 5. Electrification

Attachment “A” shall be amended to amend the proposed Electrification Sustainability Incentive proposed for Section 20.04.110(d)(2)(A)(v) to provide more guidance on exceptions to compliance.

Electrification- Developments shall only include buildings designed to use either electricity or on-site renewable energy sources for all significant energy needs, including for space heating, water heating, and non-commercial cooking. ~~The Plan Commission may consider proposed exceptions for specific uses based on best practices in all electric building codes.~~ The petitioner may request relief from the electrification standards in accordance with the development standards variance procedure pursuant to Section 20.06.080(b) (Variance) for the following exceptions:

1. Installation and design of commercial kitchens;
2. Technical infeasibility due to physical or electrical grid constraints;  
and
3. Required backup power for critical services such as healthcare, first responder, and emergency services.

**Synopsis:**

This amendment, sponsored by Councilmember Flaherty, amends the proposed changes to the UDO recommended by the Plan Commission to better align it with smaller lot sizes, further sustainable development, electrification, and the intent of Resolution 2026-05

**9/16/2026 Regular Session Action:** Pending

## **Title 20**

# **UNIFIED DEVELOPMENT ORDINANCE<sup>1</sup>**

### **Chapters:**

## **Chapter 20.01 ORDINANCE FOUNDATION**

### **20.01.010 Title, purpose, and effective date.**

- (a) Title. The ordinance codified in this UDO shall be known, cited, and referred to as the "Bloomington Unified Development Ordinance" and may also be cited or referred to as the "Unified Development Ordinance," the "UDO," the "zoning ordinance," or the "subdivision control ordinance."
- (b) Purpose. This UDO is adopted to:
  - (1) Promote the orderly, responsible, and sustainable development and redevelopment of the areas within the City in accordance with the Comprehensive Plan and its components, including but not limited to the Transportation Plan, and subarea plans, which include among others the Downtown Vision and Infill Strategy Plan, along with such additions and revisions as may be made to such plans after the effective date, and with all other City land use policy;
  - (2) Reduce greenhouse gas emissions and prepare for the impacts of climate change on our community;
  - (3) Promote the public health, safety, morals, ecosystem services, comfort, convenience, and general welfare;
  - (4) Protect the character and stability of residential, institutional, business, employment, and natural areas;
  - (5) Provide a safe, efficient, accessible, and connected system of transportation that emphasizes public transit, walking, and biking to enhance options to reduce overall dependence on the automobile;
  - (6) Secure adequate light, air, convenience of access, and safety from fire, natural disasters, and other danger, which may include providing adequate open spaces for light, air, and outdoor uses;
  - (7) Preserve and enhance the scenic beauty, aesthetics, and environmental integrity of the City;

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<sup>1</sup>Editor's note(s)—An amendment of Jan. 14, 2020, amended in entirety Tit. 20, Ch. 20.01, §§ 20.01.010—20.01.050; Ch. 20.02, §§ 20.02.010—20.02.060; Ch. 20.03, §§ 20.03.010—20.03.030; Ch. 20.04, §§ 20.04.010—20.04.120; Ch. 20.05, §§ 20.05.010—20.05.050; Ch. 20.06, §§ 20.06.010—20.06.100; and Ch. 20.07, § 20.07.010; and enacted a new Tit. 20 as set out herein. The former Tit. 20 pertained to similar subject matter and derived from Ord. 06-24, adopted 2006; Ord. No. 09-12, adopted Sept. 16, 2009; Ord. No. 10-20, adopted Dec. 15, 2010; Ord. No. 13-02, adopted Jan. 16, 2013; Ord. No. 14-05, adopted June 11, 2014; Ord. No. 14-12, adopted July 9, 2014; Ord. No. 14-17, adopted Sept. 17, 2014; Ord. No. 15-06, adopted April 1, 2015; Ord. No. 15-26, adopted Dec. 16, 2015; Ord. No. 16-01, adopted May 18, 2016; Ord. No. 16-04, adopted May 4, 2016; Ord. No. 16-44, adopted Dec. 14, 2016; Ord. No. 17-28, adopted June 28, 2017; Ord. No. 17-29, adopted Sept. 6, 2017; Ord. No. 17-35, adopted Nov. 1, 2017; Ord. No. 17-45, adopted Dec. 20, 2017; Ord. No. 18-01, adopted March 7, 2018; Ord. No. 18-04, adopted April 18, 2018; and Ord. No. 19-24, adopted Dec. 18, 2019.

**Pages 2 through 11 intentionally omitted.**

## 20.02.020 Residential zoning districts.

- (a) Reserved.
- (b) R1: Residential Large Lot.
  - (1) Purpose. The R1 district is intended to accommodate single family residential development on relatively large lots plus a limited number of related civic uses while ensuring compatibility with surrounding patterns of development. This district may also serve as a transition between estate development and medium-lot development.



Figure 1.3: Illustrative Scale and Character

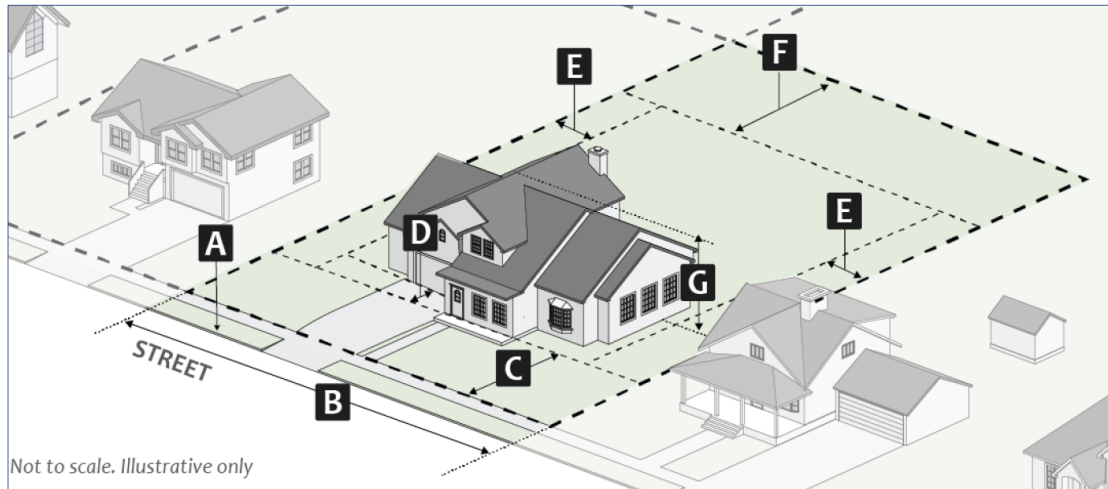
- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

Table 02-2.3. R1 District Dimensional Standards

| Lot Dimensions (minimum, only for lots created after the effective date) |                                          |                                                                           |
|--------------------------------------------------------------------------|------------------------------------------|---------------------------------------------------------------------------|
| A                                                                        | Lot area                                 | 7,200 20,000 square feet (0.459 acres) [1]                                |
| B                                                                        | Lot width                                | 50 100 feet [1]                                                           |
| Building Setbacks (minimum)                                              |                                          |                                                                           |
| C                                                                        | Front                                    | 15 feet                                                                   |
| D                                                                        | Attached front-loading garage or carport | 25 feet [2]                                                               |
| E                                                                        | Side                                     | First floor: 8 feet [1]<br>Each story above the ground floor: 10 feet [1] |
| F                                                                        | Rear                                     | 25 feet [1]                                                               |
| Other Standards                                                          |                                          |                                                                           |
|                                                                          | Impervious surface coverage (maximum)    | 30%                                                                       |
| G                                                                        | Primary structure height (maximum)       | 40 feet                                                                   |
|                                                                          | Accessory structure height (maximum)     | 20 feet                                                                   |

Notes:

- [1] See Section 20.04.110 (Incentives) for alternative standards.
- [2] Or equal to the setback of the primary structure, whichever is greater.



**Figure 2.4: R1 District Dimensional Standards**

(c) R2: Residential Medium Lot.

- (1) Purpose. The R2 district is intended to accommodate residential development on medium-sized lots in single-family neighborhoods, plus a limited number of related civic uses, while ensuring compatibility with surrounding patterns of development. This district may be used as a transition between large-lot residential development and small-lot residential development.



**Figure 3.5: Illustrative Scale and Character**

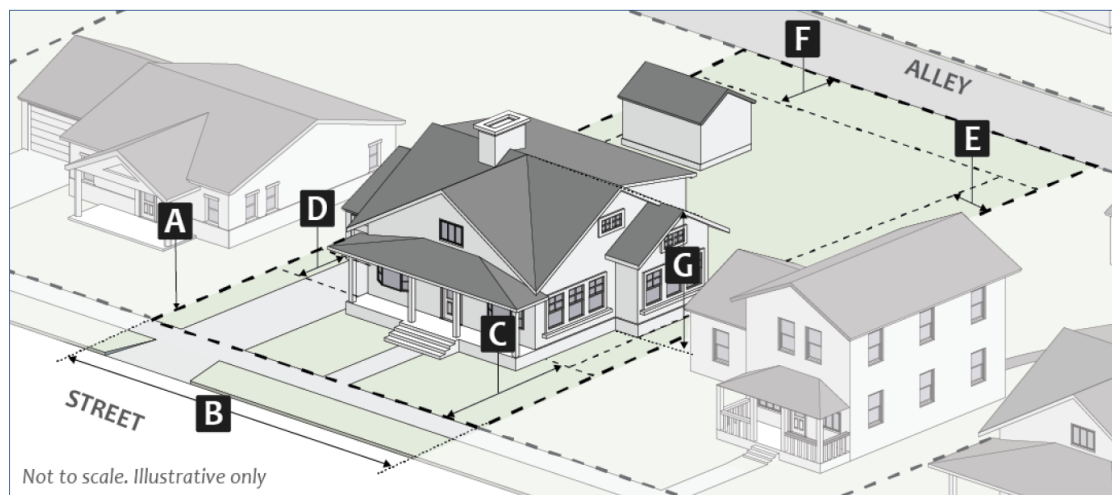
- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-3.4. R2 District Dimensional Standards**

| Lot Dimensions (minimum, only for lots created after the effective date) |                                          |                                                                                               |
|--------------------------------------------------------------------------|------------------------------------------|-----------------------------------------------------------------------------------------------|
| A                                                                        | Lot area                                 | <u>5,000</u> <del>7,200</del> square feet <del>(0.165 acres)</del> [1]                        |
| B                                                                        | Lot width                                | <u>40</u> <del>60</del> feet [1]                                                              |
| Building Setbacks (minimum)                                              |                                          |                                                                                               |
| C                                                                        | Front                                    | 15 feet or the median front setback of abutting residential structures, whichever is less     |
| D                                                                        | Attached front-loading garage or carport | 25 feet [2]                                                                                   |
| E                                                                        | Side                                     | <u>First floor: 8-6</u> feet [3]<br><u>Each story above the ground floor: 10 feet [1] [3]</u> |
| F                                                                        | Rear                                     | <u>15</u> <del>25</del> feet [1]                                                              |
| Other Standards                                                          |                                          |                                                                                               |
|                                                                          | Impervious surface coverage (maximum)    | <u>60</u> <del>40</del> %                                                                     |
| G                                                                        | Primary structure height (maximum)       | 40 feet                                                                                       |
|                                                                          | Accessory structure height (maximum)     | 20 feet                                                                                       |

Notes:

- [1] See Section 20.04.110 (Incentives) for alternative standards.
- [2] Or equal to the setback of the primary structure, whichever is greater.
- [3] Legally established lots of record that are less than the minimum lot width may reduce the required setback by ~~up to~~ two feet.



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(Supp. No. 50, Update 1)

**Figure 4.6: R2 District Dimensional Standards**

(d) R3: Residential Small Lot.

- (1) Purpose. The R3 district is intended to protect and enhance established residential neighborhoods by increasing the viability of owner-occupied and affordable dwelling units through small-lot subdivisions, accessory dwelling units, and property improvements compatible with surrounding development patterns. The conversion of existing housing stock to more intense land uses is discouraged. This district may be used as a transition between medium-lot residential development and neighborhood-scale residential, commercial, and institutional development.



**Figure 5.7: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-4.5. R3 District Dimensional Standards**

| Lot Dimensions (minimum, only for lots created after the effective date) |                                                          |                                                                                                                |
|--------------------------------------------------------------------------|----------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|
| A                                                                        | Lot area                                                 | 2,000 2,500 5,000 square feet <del>(0.115 acres)</del> [1]                                                     |
| B                                                                        | Lot width                                                | <del>25</del> 30 50 feet [1]                                                                                   |
| Building Setbacks (minimum)                                              |                                                          |                                                                                                                |
| C                                                                        | Front build-to <u>range line</u>                         | <del>5-15 feet</del> <u>or the median front setback of abutting residential structures, whichever is less</u>  |
|                                                                          | <u>Front building facade at build-to-range (minimum)</u> | <u>50%</u>                                                                                                     |
|                                                                          | Attached front-loading garage or carport                 | 10 feet behind the primary structure's front building wall                                                     |
| D                                                                        | Side                                                     | <del>First floor: 6-4 feet [2] [3]</del><br><del>Each story above the ground floor: ten feet [1] [2] [3]</del> |
| E                                                                        | Rear                                                     | <u>15 25</u> feet [1]                                                                                          |
| Other Standards                                                          |                                                          |                                                                                                                |
|                                                                          | Impervious surface coverage (maximum)                    | <u>70 45%</u>                                                                                                  |

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(Supp. No. 50, Update 1)

|   |                                      |         |
|---|--------------------------------------|---------|
| F | Primary structure height (maximum)   | 35 feet |
|   | Accessory structure height (maximum) | 20 feet |

Notes:

- [1] See Section 20.04.110 (Incentives) for alternative standards.
- [2] Legally established lots of record that are less than the minimum lot width may reduce the required setback ~~up to~~ [by](#) two feet.
- [3] Side primary building setbacks shall be reduced by two feet if adjacent to a platted alley. Rear primary building setbacks shall be reduced by ten feet if adjacent to a platted alley.

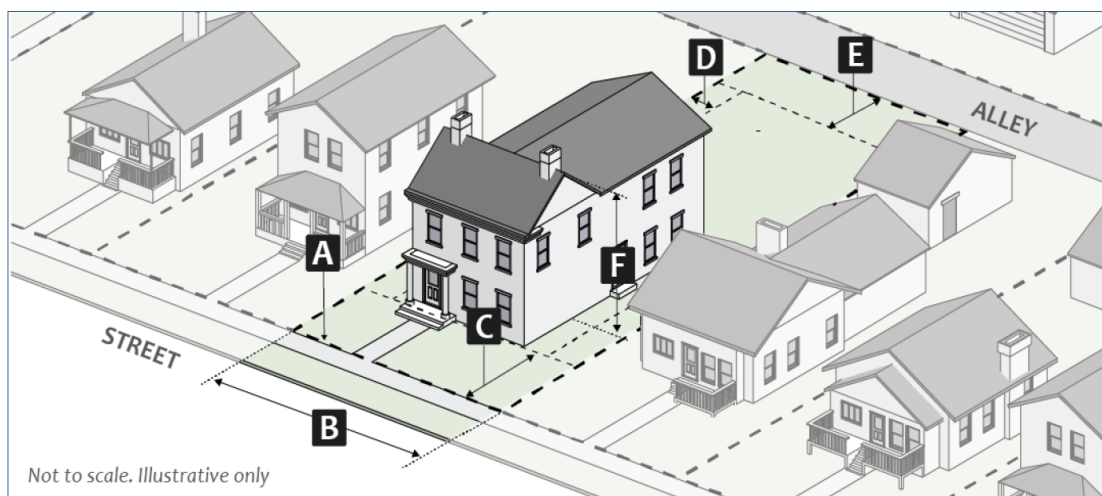


Figure 6.8: R3 Dimensional Standards

(e) R4: Residential Urban.

- (1) Purpose. The R4 district is intended to accommodate residential uses on small urban scale lots that offer a diverse mix of housing opportunities consistent with the Comprehensive Plan and other adopted plans. Properties in the R4 district typically have access to many public services that are accessible to pedestrians, cyclists, and vehicles. This district may be used as a transition between small-lot residential development and urban-scale residential, commercial, and institutional development.



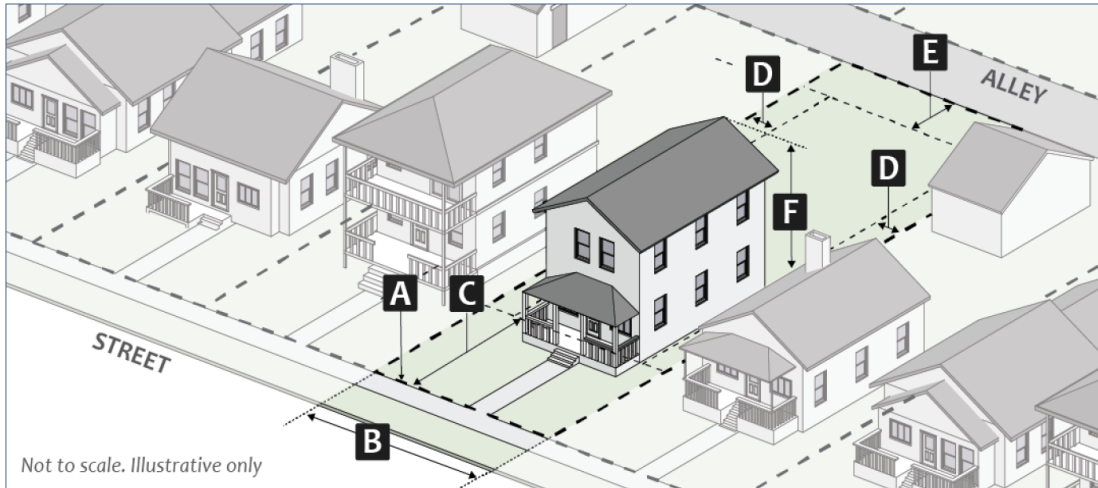
**Figure 7.9: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-5.6. R4 District Dimensional Standards**

| Lot Dimensions (minimum, only for lots created after the effective date) |                                          |                                                                                                                   |
|--------------------------------------------------------------------------|------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| A                                                                        | Lot area                                 | <del>2,000</del> <del>2,500</del> <del>4,000</del> square feet <del>(0.092 acres)</del>                           |
| B                                                                        | Lot width                                | <del>25</del> <del>30</del> <del>35</del> feet                                                                    |
| Building Setbacks (minimum)                                              |                                          |                                                                                                                   |
| C                                                                        | Front <u>build-to-range</u>              | <del>5-15 feet</del> <del>or the median front setback of abutting residential structures, whichever is less</del> |
|                                                                          | Attached front-loading garage or carport | 10 feet behind the primary structure's front building wall                                                        |
| D                                                                        | Side                                     | <del>5-0</del> feet <del>[4]</del>                                                                                |
| E                                                                        | Rear                                     | <del>15</del> <del>25</del> feet [1]                                                                              |
| Other Standards                                                          |                                          |                                                                                                                   |
|                                                                          | Impervious surface coverage (maximum)    | <del>80</del> <del>50</del> %                                                                                     |
| F                                                                        | Primary structure height (maximum)       | 40 feet                                                                                                           |
|                                                                          | Accessory structure height (maximum)     | 20 feet                                                                                                           |

- [1] Side primary building setbacks shall be reduced by two feet if adjacent to a platted alley. Rear primary building setbacks shall be reduced by ten feet if adjacent to a platted alley.



**Figure 8 10: R4 Dimensional Standards**

(f) RM: Residential Multifamily.

- (1) Purpose. The RM district is intended to accommodate medium scale residential development, plus related civic and residential-supportive uses, at a scale that is larger than neighborhood-scale but smaller than urban-scale to ensure an adequate mix of housing types throughout the community. This district may be used as a transition between urban neighborhoods and more intense residential, commercial, and institutional development.



**Figure 9 11: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

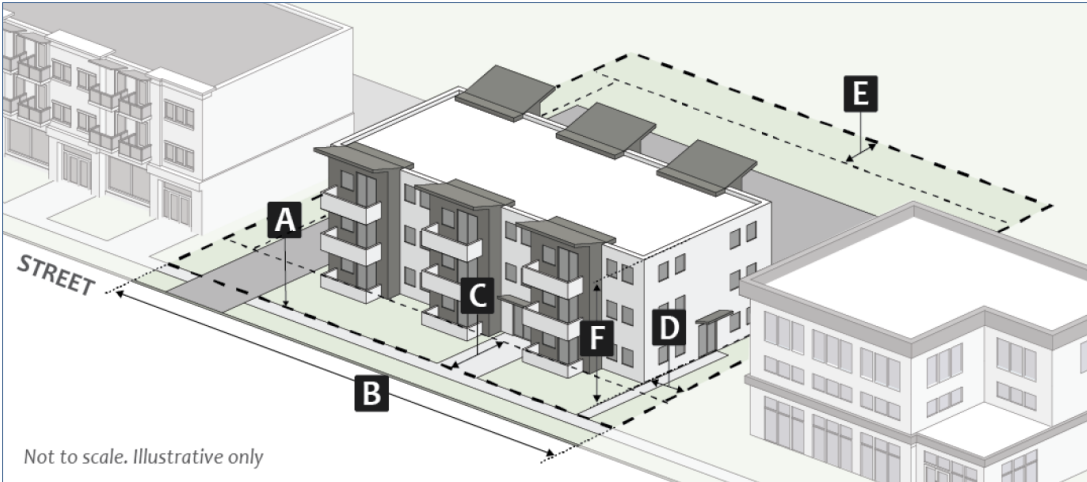
**Table 02-6 7. RM District Dimensional Standards**

|  | Multifamily Dwelling | Single-Family, Duplex, Triplex, or Fourplex Dwelling [4] |
|--|----------------------|----------------------------------------------------------|
|--|----------------------|----------------------------------------------------------|

| Lot Dimensions (minimum, only for lots created after the effective date) |                                                          |                                                            |                                    |
|--------------------------------------------------------------------------|----------------------------------------------------------|------------------------------------------------------------|------------------------------------|
| A                                                                        | Lot area                                                 | <del>None</del> <u>5,000 square feet (0.115 acres)</u>     | R4 district standards apply        |
| B                                                                        | Lot width                                                | <del>None</del> <u>50 feet</u>                             |                                    |
| Building Setbacks (minimum)                                              |                                                          |                                                            |                                    |
| <u>C</u>                                                                 | <u>Front build-to-range</u>                              | <u>5-15 feet</u>                                           | <u>R4 district standards apply</u> |
|                                                                          | <u>Front building facade at build-to-range (minimum)</u> | <u>50%</u>                                                 |                                    |
| <u>C</u>                                                                 | <u>Front</u>                                             | <u>5-15 feet</u>                                           | <u>R4 district standards apply</u> |
|                                                                          | Attached front-loading garage or carport                 | 25 feet [1]                                                |                                    |
| D                                                                        | Side                                                     | 10 feet [2]                                                |                                    |
| E                                                                        | Rear                                                     | 15 feet [2]                                                |                                    |
| Other Standards                                                          |                                                          |                                                            |                                    |
|                                                                          | Front parking setback (minimum)                          | 20 feet behind the primary structure's front building wall | R4 district standards apply        |
|                                                                          | Impervious surface coverage (maximum)                    | <u>80</u> <del>60</del> %                                  |                                    |
|                                                                          | Landscape area (minimum)                                 | <u>20</u> <del>40</del> %                                  |                                    |
| F                                                                        | Primary structure height (maximum)                       | 3 stories, not to exceed 40 feet [2] [3]                   |                                    |
|                                                                          | Accessory structure height (maximum)                     | 20 feet                                                    |                                    |

Notes:

- [1] Or equal to the setback of the primary structure, whichever is greater.
- [2] Buildings abutting a property in the R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] The front building setback shall be determined by the standards of the base zoning district.



**Figure 10.42: RM Dimensional Standards**

(g) RH: Residential High-Density Multifamily.

- (1) Purpose. The RH district is intended to accommodate high-intensity multifamily residential development, plus related civic and residential-supportive uses, to provide an adequate mix of housing types throughout the community. This district can also serve as a transition between other lower-density districts and the downtown or university areas.



**Figure 11.43: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-7.8. RH District Dimensional Standards**

|                                                                          | Multifamily Dwelling | Single-Family, Duplex, Triplex, or Fourplex Dwelling [4] |
|--------------------------------------------------------------------------|----------------------|----------------------------------------------------------|
| Lot Dimensions (minimum, only for lots created after the effective date) |                      |                                                          |

|                             |                                          |                                                            |                             |
|-----------------------------|------------------------------------------|------------------------------------------------------------|-----------------------------|
| A                           | Lot area                                 | <del>None 5,000 square feet (0.115 acres)</del>            | R4 district standards apply |
| B                           | Lot width                                | <del>None 50 feet</del>                                    |                             |
| Building Setbacks (minimum) |                                          |                                                            |                             |
| C                           | Front                                    | 15 feet                                                    | R4 district standards apply |
|                             | Attached front-loading garage or carport | 25 feet [1]                                                |                             |
| D                           | Side                                     | 10 feet [2]                                                |                             |
| E                           | Rear                                     | 15 feet [2]                                                |                             |
| Other Standards             |                                          |                                                            |                             |
|                             | Front parking setback (minimum)          | 20 feet behind the primary structure's front building wall | R4 district standards apply |
|                             | Impervious surface coverage (maximum)    | <del>75%</del> 65%                                         |                             |
|                             | Landscape area (minimum)                 | <del>25%</del> 35%                                         |                             |
| F                           | Primary structure height (maximum)       | 5 stories, not to exceed 63 feet [2] [3]                   |                             |
|                             | Accessory structure height (maximum)     | 20 feet                                                    |                             |

Notes:

- [1] Or equal to the setback of the primary structure, whichever is greater.
- [2] Buildings abutting a property in the R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] The front building setback shall be determined by the standards of the base zoning district.

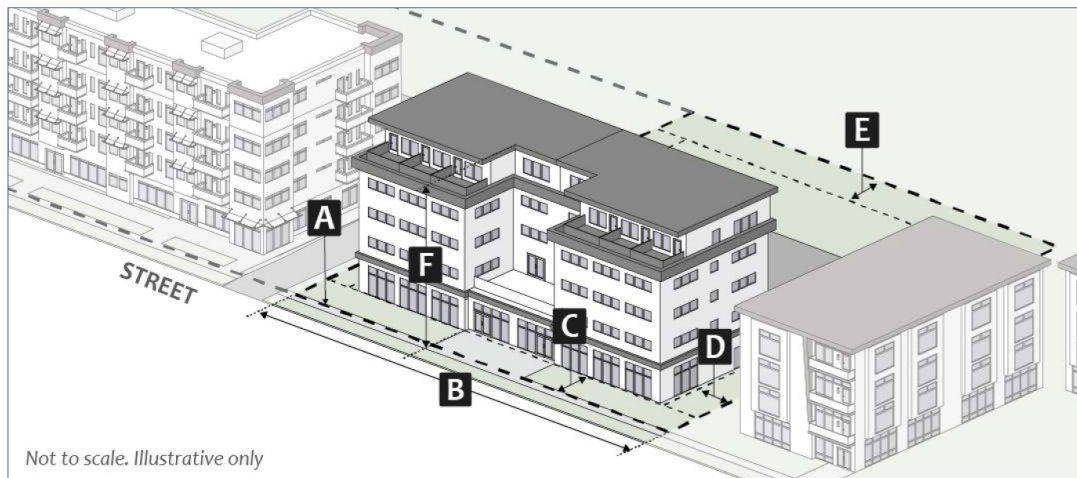


Figure 12.44: RH Dimensional Standards

(h) RMH: Manufactured/Mobile Home Park.

- (1) Purpose. The RMH district is intended to accommodate for manufactured housing developments with shared amenities in order to promote and preserve housing opportunities.



**Figure 13-45: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-8 9. RMH District Dimensional Standards**

|                                                                          |                                       | Entire Development             |  | Dwelling Site                                            |         |
|--------------------------------------------------------------------------|---------------------------------------|--------------------------------|--|----------------------------------------------------------|---------|
| Lot Dimensions (minimum, only for lots created after the effective date) |                                       |                                |  |                                                          |         |
| A                                                                        | Lot area                              | 43,560 square feet (1.0 acres) |  | 3,000 square feet                                        |         |
| B                                                                        | Lot width                             | 200 feet                       |  | C                                                        | 40 feet |
| Setbacks for Development as a Whole (minimum)                            |                                       |                                |  |                                                          |         |
| D                                                                        | Front                                 | 25 feet                        |  | E                                                        | 10 feet |
| F                                                                        | Side                                  | 20 feet                        |  | Primary Structure: 7 feet<br>Accessory Structure: 2 feet |         |
| G                                                                        | Rear                                  | 20 feet                        |  |                                                          |         |
| Other Standards                                                          |                                       |                                |  |                                                          |         |
|                                                                          | Impervious surface coverage (maximum) | None                           |  | 65%                                                      |         |
|                                                                          | Primary structure height (maximum)    | None                           |  | H                                                        | 20 feet |
|                                                                          | Accessory structure height (maximum)  | None                           |  | 20 feet                                                  |         |

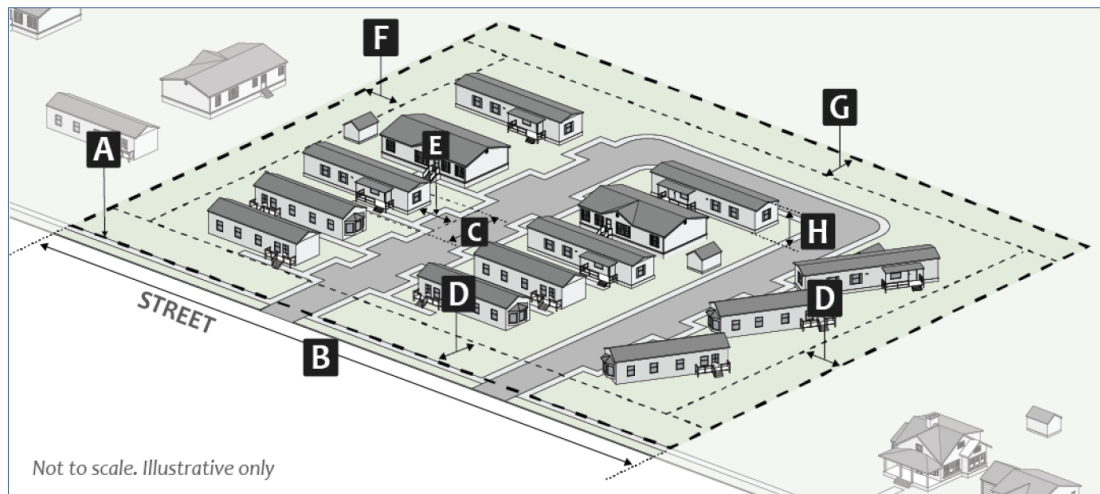


Figure 14 16: RMH Dimensional Standards

(Amd. of 1-14-2020; Ord. No. 21-15, § II (Att. A), 4-21-2021; Ord. No. 21-22, § II (Att. A), 4-21-2021; Ord. No. 22-08, § 2(Att. A), 5-18-2022; Ord. No. 2024-03, § II(Att. A), 4-10-2024; Ord. No. 2024-05, § II(Att. A), 4-10-2024; Ord. No. 2025-12, § II(Att. A), 5-21-2025)

## 20.02.030 Mixed-use zoning districts.

(a) MS: Mixed-Use Student Housing.

- (1) Purpose. The MS district is intended to accommodate an adequate supply and mix of housing opportunities for students in areas adjacent or within easy walking distance to campus and along nearby commercial corridors and with easy access to campus-serving public transit and to university-provided parking, such as the area located directly west, southwest, and northwest of Memorial Stadium. The district is intended to have a high percentage of student-oriented housing units, including larger developments that might not be permitted in other districts, but not totally exclusive of other types of residential housing units. This district should not be located in close proximity to the MD district but may also provide MS related commercial and retail-supportive uses.



**Figure 15-47: Illustrative Scale and Character**

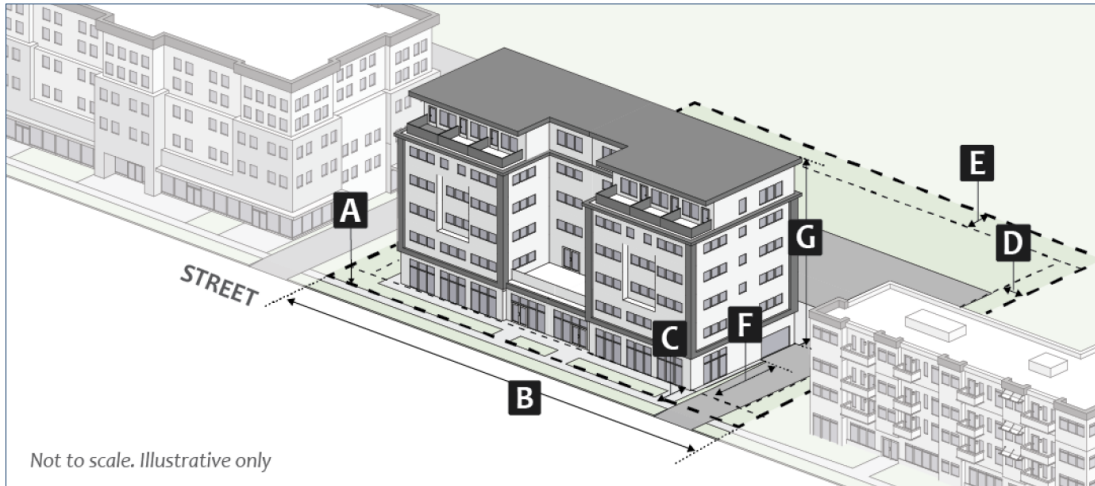
- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-9 10. MS District Dimensional Standards**

| Lot Dimensions (minimum, only for lots created after the effective date) |                                        |                                                            | Single-Family Duplex, Triplex, or Fourplex Dwelling [3] |
|--------------------------------------------------------------------------|----------------------------------------|------------------------------------------------------------|---------------------------------------------------------|
| A                                                                        | Lot area                               | 5,000 square feet (0.115 acres)                            | R4 district standards apply                             |
| B                                                                        | Lot width                              | 50 feet                                                    |                                                         |
| Building Setbacks (minimum)                                              |                                        |                                                            |                                                         |
| C                                                                        | Front                                  | 15 feet                                                    | R4 district standards apply                             |
| D                                                                        | Side                                   | 15 feet [1]                                                |                                                         |
| E                                                                        | Rear                                   | 15 feet [1]                                                |                                                         |
| Other Standards                                                          |                                        |                                                            |                                                         |
| F                                                                        | Front parking setback (minimum)        | 20 feet behind the primary structure's front building wall | R4 district standards apply                             |
|                                                                          | Impervious surface coverage (maximum)  | 70%                                                        |                                                         |
|                                                                          | Landscape area (minimum)               | 30%                                                        |                                                         |
| G                                                                        | Primary structure height (maximum) [2] | 6 stories, not to exceed 75 feet [1] [2]                   |                                                         |
|                                                                          | Accessory structure height (maximum)   | 20 feet                                                    |                                                         |

**Notes:**

- [1] Buildings abutting a property in the R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be twelve feet.
- [3] The front building setback shall be determined by the standards of the base zoning district.



**Figure 16 48: MS Dimensional Standards**

(b) MN: Mixed-Use Neighborhood Scale.

- (1) Purpose. The MN district is intended to promote a mix of neighborhood-scale residential, commercial, and institutional uses with pedestrian-oriented design and multi-modal transportation availability, in order to promote context sensitive neighborhood-serving development at nodes and corridors near low- and medium-density residential neighborhoods.



**Figure 17 49: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-10 44. MN District Dimensional Standards**

| Lot Dimensions (minimum, only for lots created after the effective date) |           |                                                 |
|--------------------------------------------------------------------------|-----------|-------------------------------------------------|
| A                                                                        | Lot area  | <del>None</del> 5,000-square feet (0.115 acres) |
| B                                                                        | Lot width | <del>None</del> 50-feet                         |

| Building Setbacks (minimum) |                                                    |                                                            |
|-----------------------------|----------------------------------------------------|------------------------------------------------------------|
| C                           | Front build-to range                               | 15 to 25 feet                                              |
|                             | Front building facade at build-to range (minimum)  | 70%                                                        |
| D                           | Side                                               | 7 feet [1]                                                 |
| E                           | Rear                                               | 10 feet [1]                                                |
| Other Standards             |                                                    |                                                            |
|                             | Front parking setback (minimum)                    | 20 feet behind the primary structure's front building wall |
|                             | Impervious surface coverage (maximum)              | <del>70 %</del> 60%                                        |
|                             | Landscape area (minimum)                           | <del>30%</del> 40%                                         |
|                             | Area of any individual commercial tenant (maximum) | 5,000 square feet gross floor area                         |
| F                           | Primary structure height (maximum)                 | 3 stories, not to exceed 40 feet [1] [2] [3]               |
|                             | Accessory structure height (maximum)               | 20 feet                                                    |

Notes:

- [1] Buildings abutting a property in the R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be twelve feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.

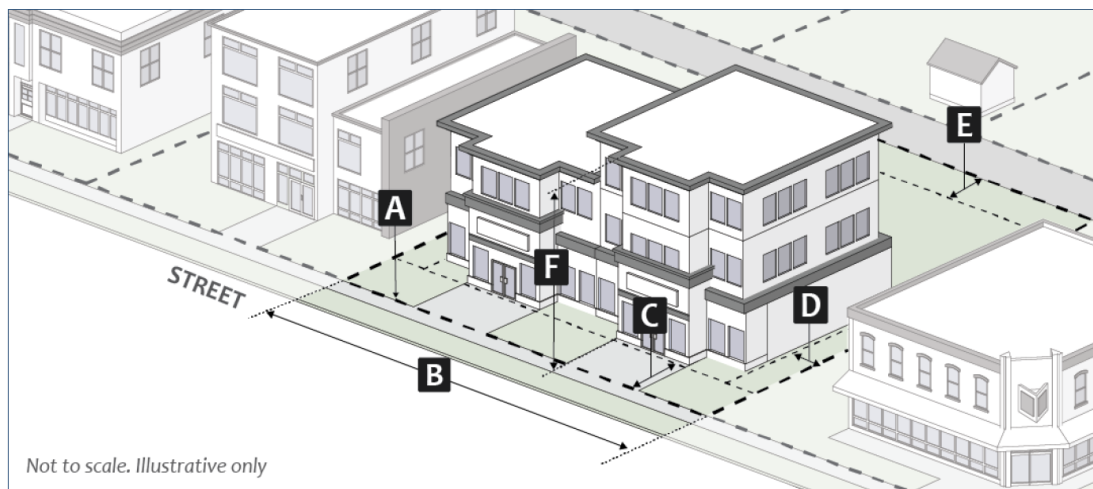


Figure 18 20: MN Dimensional Standards

(c) MM: Mixed-Use Medium Scale.

- (1) Purpose. The MM district is intended to accommodate medium-scaled projects with a mix of housing and storefront retail, professional office, civic and/or residential uses at a scale that is larger than neighborhood-scale but smaller than destination commercial uses or high-density residential development.



**Figure 19 21: Illustrative Scale and Character**

- (2) Dimensional Standards. The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.020 (Dimensional Standards) also apply.

**Table 02-11 12. MM District Dimensional Standards**

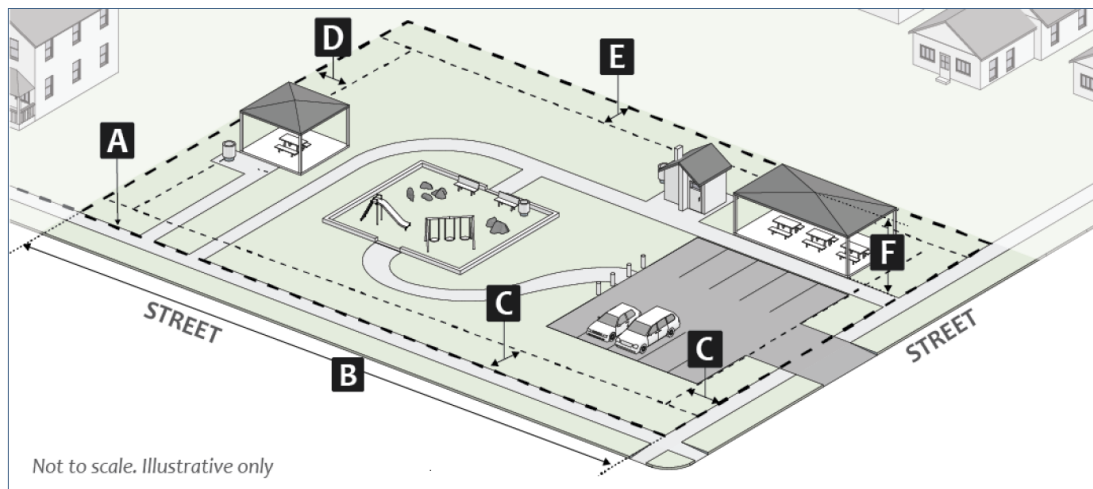
| Lot Dimensions (minimum, only for lots created after the effective date) |                                                   |                                                            |
|--------------------------------------------------------------------------|---------------------------------------------------|------------------------------------------------------------|
| A                                                                        | Lot area                                          | <del>None</del> 5,000 square feet (0.115 acres)            |
| B                                                                        | Lot width                                         | <del>None</del> 50 feet                                    |
| Building Setbacks (minimum)                                              |                                                   |                                                            |
| C                                                                        | Front build-to range                              | 15 to 25 feet                                              |
|                                                                          | Front building facade at build-to range (minimum) | 70%                                                        |
| D                                                                        | Side                                              | 7 feet [1]                                                 |
| E                                                                        | Rear                                              | 7 feet [1]                                                 |
| Other Standards                                                          |                                                   |                                                            |
| F                                                                        | Front parking setback (minimum)                   | 20 feet behind the primary structure's front building wall |
|                                                                          | Impervious surface coverage (maximum)             | <del>70%</del> 60%                                         |
|                                                                          | Landscape area (minimum)                          | <del>30%</del> 40%                                         |
| G                                                                        | Primary structure height (maximum)                | 4 stories, not to exceed 50 feet [1] [2] [3]               |
|                                                                          | Accessory structure height (maximum)              | 30 feet                                                    |

**Notes:**

- [1] Buildings abutting a property in the R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be twelve feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.

**Pages 28 through 46 intentionally omitted.**

|                 |                                       |         |
|-----------------|---------------------------------------|---------|
| C               | Front setback                         | 15 feet |
| D               | Side setback                          | 5 feet  |
| E               | Rear setback                          | 5 feet  |
| Other Standards |                                       |         |
|                 | Front parking setback (minimum)       | 15 feet |
|                 | Impervious surface coverage (maximum) | None    |
| F               | Primary structure height (maximum)    | 20 feet |
|                 | Accessory structure height (maximum)  | 20 feet |



**Figure 44 46: PO Dimensional Standards**

(3) Additional PO District Standards.

- (A) All land uses, structures, and development in the PO district shall comply with all other provisions of this UDO unless specifically exempted in this UDO or through subsection (B) below.
- (B) In the event of a conflict between the provisions of this UDO and the provisions of an adopted City management plan, rule, or regulation applicable to that park or open space land or facility, the provisions of this UDO shall apply.

(Amd. of 1-14-2020; Ord. No. 21-22, § II (Att. A), 4-21-2021; Ord. No. 2024-03, § II(Att. A), 4-10-2024)

**20.02.050 Planned Unit Development (PUD) district.**

- (a) Purpose. The purpose of the Planned Unit Development (PUD) district is to encourage new and imaginative concepts in urban design and land development to promote and improve the health, safety, and general welfare of the residents of the City and to create distinct developments with unique urban design, mixed uses, enhanced ecosystems services, and substantial additional benefit to the City that would not otherwise be required by this UDO. The PUD district is also intended to accommodate innovative development layouts that preserve the natural, environmental and scenic features of the site or address challenges presented by specific site conditions.

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- (b) Qualifying Standards. A petition for rezoning into a Planned Unit Development (PUD) district shall only be considered if the petition meets the following criteria, as determined by the Planning and Transportation Director:
- (1) The proposed PUD zoning district includes a minimum of five acres of land;
  - (2) The land included in the proposed PUD zoning district is not within the Mixed-Use Downtown (MD) zoning district;
  - (3) Where residential dwelling units are proposed, the total dwelling units proposed must include, at a minimum, the percentage of permanently income-limited units required in 20.04.110(c)(2)(A) Tier 1, at the AMI percentages listed in that section and the development will be subject to the applicable standards established in Section 20.04.110(c) (Affordable Housing), unless the City otherwise adjusts or releases this requirement;
  - (4) The proposed PUD could not be developed using conventional zoning districts or standards established in this UDO;
  - (5) The land included in the proposed PUD is under single ownership or control. Single control of property under multiple ownership may be considered when the petition includes enforceable agreements, covenants, or commitments that run to the benefit of the City and that the City may require to be recorded if the PUD is approved; and
  - (6) The proposed PUD zoning district embraces the following highly-valued design features:
    - (A) Protection of specific natural, environmental, or scenic resources or green spaces; and/or
    - (B) Retaining natural landforms throughout the development; and/or
    - (C) Low impact development design features throughout the development; and/or
    - (D) Solar orientation of building forms and other passive energy-efficient design strategies throughout the development.
  - (7) The proposed PUD zoning district embraces several highly-valued design features, as determined by the Planning and Transportation Director, including but not limited to:
    - (A) No block perimeter greater than one thousand four hundred feet in the development;
    - (B) Centralized gathering and recreation spaces of an appropriate size for the entire development, or designed to serve an area larger than the entire development;
    - (C) Internally and externally connected park, trail, and open space system;
    - (D) Community-level renewable energy production.
  - (8) Except for developments that contain 100% affordable housing, the development is required to meet the Sustainable Development Incentives outlined in Section 20.04.110(d).
- (c) Permitted Uses.
- (1) The permitted uses in a PUD district ordinance are subject to the approval of the Plan Commission and Common Council.
  - (2) The permitted uses shall be determined based on consistency with the Comprehensive Plan, the existing zoning district designation of the area being rezoned to a PUD district, the land uses contiguous to the area being rezoned to a PUD district, and the development standards and design standards of the UDO.
  - (3) If the terms of the PUD approved by Common Council do not clearly address the availability of specific uses in all or part of the development, then the uses and Use-Specific Standards that would otherwise

**Pages 49 through 207 intentionally omitted.**

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- (G) Display of temporary signs shall be permitted for up to a maximum of three periods of up to thirty days per period, per calendar year. These permitted periods may be combined into one or two periods per year provided that the total display period does not exceed ninety days.
- (7) Sandwich Board Signs. Properties immediately adjacent to a public sidewalk shall be permitted to place sandwich board signs in the public sidewalk provided the following criteria are met.
- (A) Number. Each property shall be permitted one sandwich board sign. If a property contains more than one tenant, additional sandwich board signs shall be permitted, provided the number of sandwich boards in front of a single property shall be limited to ensure that no sandwich board sign shall be placed within eight linear feet of another sandwich board sign, measured from the base of each sign.
- (B) Design.
- i. Sign face area shall not exceed five square feet per sign per face.
  - ii. Sign face width shall not exceed two feet, nine inches measured at the widest point of the sign face.
  - iii. Sign height shall not exceed four and one-half feet measured from the ground to the top of the sign.
  - iv. Signs shall be truly portable and shall not be permanently affixed to any structure or sidewalk.
- (C) Placement. Sandwich board signs shall meet the following placement criteria.
- i. Signs shall be placed only on sidewalks with a minimum width of seven feet.
  - ii. Signs shall be removed from the public sidewalk at the end of each business day.
  - iii. Signs shall be located a maximum of two feet from the building; or in the tree plot outside of the sidewalk.
  - iv. Signs shall be placed a minimum of forty-eight inches from all obstructions within the sidewalk including newspaper boxes, outdoor tables and seating, trees and tree grates, bicycle racks, trash receptacles and any other item impeding pedestrian or wheelchair movement.
  - v. Signs shall be placed a minimum of eight feet from a building corner or pedestrian crosswalk.
  - vi. Sign placement shall meet all requirements of the ADA.
  - vii. Signs shall not be placed within the right-of-way of the B-Line Trail. Sandwich board signs for properties with frontage along the trail shall be placed within the setback between the building and the trail right-of-way.

(Amd. of 1-14-2020; Ord. No. 20-07, § I(Att. B), 4-15-2020; Ord. No. 21-18, § II(Att. A), 4-21-2021; Ord. No. 21-22, § II(Att. A), 4-21-2021; Ord. No. 22-10, § II(Att. A, B), 5-18-2022; Ord. No. 23-04, § 2(Att. A), 4-19-2023; Ord. No. 23-06, § 2(Att. A), 4-19-2023; Ord. No. 2024-03, § II(Att. A), 4-10-2024; Ord. No. 2024-04, § II(Att. A), 4-10-2024; Ord. No. 2025-12, § II(Att. A), 5-21-2025)

#### **20.04.110 Incentives.**

- (a) Applicability. These affordable housing and sustainable development incentives are available to all development, except for student housing or dormitory projects located in the MD zoning district.

- 
- (b) General Standards. The following standards apply to all projects seeking the affordable housing or sustainable development incentives in this Section 20.04.110 (Incentives).
- (1) Neighborhood Transition Standards.
- (A) All projects abutting a property in the R1, R2, R3, or R4 zoning district shall comply with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- (B) Where a primary structure's maximum height incentive is in conflict with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards), the neighborhood transition standards shall govern. The petitioner may request relief from the neighborhood transition standards in accordance with the development standards variance procedure pursuant to Section 20.06.080(b) (Variance).
- (2) Waiver of Fees.
- (A) When a petition qualifies for one or more of the incentives in this Section 20.04.110 (Incentives), filing fees for the Plan Commission and/or Board of Zoning Appeals shall be waived.
- (B) When a petition that qualifies for one or more of the incentives in this Section 20.04.110 (Incentives) has been approved by the decision-making body:
- i. Sewer hook-on fees for the project may be waived or reduced by the Utilities Service Board.
- (3) Administration.
- (A) A petition for these development incentives shall be included with a petition for development approval.
- (B) Projects that qualify for the affordable housing incentive and/or the sustainable development incentive established in Section 20.04.110 (Incentives), shall have the site plan portion of the petition processed as a minor (rather than major) site plan, except when the project is adjacent to a lot in the R1, R2, R3, or R4 zoning districts or contains more than fifty dwelling units.
- (C) Staff shall determine if the project is eligible to receive incentives and if it satisfies the criteria established in this Section 20.04.110 (Incentives).
- (D) Where the final approval authority determines that the project satisfies the criteria of this Section 20.04.110 (Incentives), the final approval authority may authorize the modifications to development standards otherwise applicable to the project to allow the use of the approved incentives, but may not modify the neighborhood transition standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- (E) The City may withhold issuance of a certificate of zoning compliance or recommendation for a certificate of occupancy until verification that the project satisfies the affordable housing and/or sustainable development standards approved as part of the development petition.
- (c) Affordable Housing.
- (1) Purpose. The purpose of these standards is to encourage the provision of affordable housing for very low-, low-, and moderate-income households. Affordable housing is necessary to help maintain a diverse housing stock and to allow all residents to have better access to jobs and to improve their economic status.
- (2) Eligibility. Projects that satisfy one of the following criteria shall be eligible for the incentives established in subsection (5) below:

- 
- (A) Tier 1.
- i. At least sixty percent of the total gross floor area of the building (including additional area awarded with an incentive) is dedicated to residential dwellings; and
  - ii. A minimum of fifteen percent of the total dwelling units (including those on floors awarded with an incentive) are income-restricted permanently, unless otherwise adjusted or forfeited by the City, to households earning less than ninety percent of the HUD AMI for Monroe County, Indiana; or
- (B) Tier 2.
- i. At least sixty percent of the total gross floor area of the building (including additional area awarded with an incentive) is dedicated to residential dwellings; and
  - ii. A minimum of seven percent of the total dwelling units (including those on floors awarded with an incentive) are income-restricted permanently, unless otherwise adjusted or forfeited by the City, to households earning below ninety percent of the HUD AMI for Monroe County, Indiana; and
  - iii. A minimum of eight percent of the total dwelling units (including those on floors awarded with an incentive) are income-restricted permanently, unless otherwise adjusted or forfeited by the City, to households earning below seventy percent of the HUD AMI for Monroe County, Indiana.
- (3) Nonresidential Projects. Nonresidential projects that satisfy the following criteria shall qualify for the incentives established in subsection (5) below:
- (A) A linkage study has been approved by the City demonstrating that the proposed project results in an increased demand for affordable dwelling units in Bloomington; and
- (B) The petitioner takes one of the following actions in response to the findings of the linkage study:
- i. The petitioner constructs at least the number of affordable dwelling units required to offset the increased demand for affordable housing calculated based on the linkage study, and each of those affordable dwelling units (a) is located off site, and (b) is deed-restricted to meet the tier 1 or tier 2 criteria for affordability levels and length of income restriction in Section 20.04.110(c) (Affordable Housing), and (c) complies with the standards in Section 20.04.110(c)(6) (Other Standards); or
  - ii. The petitioner purchases at least the number of existing market-rate dwelling units required to offset the increased demand for affordable housing calculated based on the linkage study, and each purchased market-rate unit is converted to an affordable dwelling unit that (a) is deed-restricted to meet the tier 1 or tier 2 criteria for affordability levels and length of income restriction in Section 20.04.110(c) (Affordable Housing), and (b) complies with the standards in Section 20.04.110(c)(6) (Other Standards); or
  - iii. The petitioner submits a payment-in-lieu of the construction or purchase of affordable dwelling units described in subsection (i) and (ii) above, pursuant to Section 20.04.110(c)(7) (Payment-in-Lieu), calculated on a per bedroom rate, in an amount sufficient to at least offset the increased demand for affordable housing calculated based on the linkage study.
- (4) Student Housing or Dormitory Projects. Student housing or dormitory projects located in the Mixed-Use Downtown (MD) zoning district shall not be eligible for the incentives established in subsection (5) below. Student housing or dormitory projects located in other zoning districts shall be eligible for the incentives established in subsection (5) below if they meet the eligibility criteria outlined in subsection (2) above.

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- (5) Affordable Housing Incentives.
- (A) Reduced Bulk Requirements. The following dimensional standards shall apply to single-family (detached) and duplex residential lots in the R1, R2, R3, and R4 zoning districts that are also intended for owner-occupancy that meet either of the two criteria in subsection (2) above:
- i. The minimum lot area for subdivision may be reduced up to fifty percent.
  - ii. The minimum lot width for subdivision may be reduced up to forty percent.
  - iii. The side building setbacks may be reduced to five feet regardless of the number of stories.
  - iv. The rear building setback may be reduced to fifteen feet.
  - v. The maximum impervious surface coverage may be increased to eighty percent.
  - vi. Where these standards conflict with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards), the neighborhood transition standards shall govern.
- (B) Primary Structure Height.
- i. Eligibility. In addition to the eligibility criteria in Section 20.04.110(c)(2) (Eligibility), affordable housing projects seeking increased maximum primary structure height shall comply with the following criteria:
    1. The building shall contain six or more dwelling units; and
    2. Unit size and bedroom mix for deed-restricted units shall be comparable to those for market-rate units.
  - ii. Tier 1 Projects. Projects that meet the tier 1 affordability standards may increase the primary structure height by one floor of building height, not to exceed twelve feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).
  - iii. Tier 2 Projects. Projects that meet the Tier 2 affordability standards may increase the primary structure height by two floors of building height, not to exceed twenty-four feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards). Projects that meet the Tier 2 affordability standards may increase the maximum impervious surface coverage allowance by ten percent, and may decrease the landscape area by ten percent.
  - iv. Sustainable Development Bonus.
    1. Tier 1 Projects. Projects that are eligible for increased primary structure height for affordable housing and sustainable development shall be eligible for one additional floor of building height, not to exceed twelve feet.
    2. Tier 2 Projects. Projects that are eligible for increased primary structure height for affordable housing and sustainable development shall be eligible for one additional floor of building height not to exceed twelve feet. The additional floor of building height granted under this subsection (iv)(2) shall be limited to fifty percent of the building footprint area of the primary structure, and that additional floor shall be set back at least ten feet further than the lower floors of the building.
- (6) Other Standards. The following standards shall apply to all affordable housing projects seeking incentives under this Section 20.04.110(c) (Affordable Housing).

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- (A) Agreement Required. Petitioners shall enter into an affordable housing program or agreement administered by the federal, state, or local governments, or an organization approved by those governments to ensure that no person shall sell, rent, purchase, or lease an affordable housing unit created pursuant to this Section 20.04.110(c) (Affordable Housing) except to income-eligible households and in compliance with the provisions of this section.
- (B) Advertising Requirement. Proof that the income eligible will be marketed and leased similar to the market-rate units is required before occupancy can be issued.
- (C) Location.
- i. All affordable units constructed or rehabilitated under this Section 20.04.110(c) (Affordable Housing) shall be located either on site or within one thousand three hundred twenty feet of the project site. Required affordable dwelling units shall not be located in less desirable locations than market-rate units and shall not, on average, be less accessible to public amenities, such as open space, than the market rate units.
- ii. Affordable housing shall be indistinguishable from market-rate units, integrated with the rest of the development, and shall be compatible with the market rate units in design, appearance, construction and quality of materials.
- iii. If provided off site, the petition for construction of required affordable dwelling units shall be processed simultaneously with the project for which the incentive was approved. No petition for development shall be approved if a related petition for required affordable housing units is denied or the number of required affordable dwelling units is reduced.
- (7) Payment-in-Lieu.
- (A) The dollar amount provided as a payment-in-lieu of providing housing must be based on the minimum percentage of eligible units as described in the Administrative Manual. A payment-in-lieu option is only available in petitions for projects that contain more than thirty dwelling units, may be authorized by an agreement with the City, and all payments will be deposited into the Housing Development Fund.
- (B) The provisions of this Section 20.04.110(c)(7) (Payment-in-Lieu) shall become effective no later than the effective date of the UDO, by which time administrative procedures for calculating, collecting, accounting for, and spending payments-in-lieu in compliance with all applicable law shall be adopted and publicly available in the administrative manual within the Planning and Transportation Department. The procedures used for calculating, collecting, accounting for, and spending shall be reviewed frequently and updated as local housing market conditions change. The calculations may use or be based upon one or more of the following methods:
- i. Housing and urban development (HUD) annual rents based on area median income;
- ii. Area median income (per person, income bracket, etc.);
- iii. Rental rates per unit or per bedroom;
- iv. Utility rates allowances per unit;
- v. Tiered rental rates based on percentages above and/or below AMI; and
- vi. Payment contribution rates.
- (d) Sustainable Development.
- (1) Purpose. The Comprehensive Plan recognizes sustainability as a key component of nurturing Bloomington's environmental integrity. The following incentives are intended to encourage the use of

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sustainable development, rehabilitation, and retrofit practices in Bloomington beyond the baseline standards required by this UDO.

- (2) Eligibility. Projects seeking the sustainable development incentives established in Section 20.04.110(d)(3) (Sustainable Development Incentives) shall meet the qualifying criteria established in Section 20.04.110(a) (Applicability), shall be located on a previously developed lot(s) served by water and sewer utilities for at least five years prior to construction of petitioner's project, and shall satisfy one of the following two options below:
- (A) Option 1. Projects seeking the sustainable development incentives established in Section 20.04.110(d)(3) (Sustainable Development Incentives) shall demonstrate compliance with the following qualifying criteria:
- i. Storm Water. The development site shall provide low impact development stormwater management by installing permanent infiltration or collection features (e.g., swale, culvert outfall, rainwater cistern) that can retain one hundred percent of the runoff from at minimum, the ninety-fifth percentile (eightieth percentile for development in the MD zoning district) of regional rainfall events, based on the daily rainfall data and the methodology in the U.S. Environmental Protection Agency (EPA) Technical Guidance on Implementing the Stormwater Runoff Requirements for Federal Projects under Section 438 of the Energy Independence and Security Act or a successor or replacement document issued by the EPA.
  - ii. Light Colored Hardscaping. At least eighty percent of horizontal hardscaping materials shall be installed with a solar reflectance index (SRI) of eighty-six or greater. The SRI shall be calculated in accordance with ASTM E1980.
  - iii. Covered Parking.
    - 1. A minimum of ninety percent of parking spaces shall be provided under cover. Any roof used to shade, or cover parking shall:
      - a. Have a three-year aged SRI of at least seventy-eight; or
      - b. Be seventy-five percent covered by energy generation systems, such as solar thermal collectors or photovoltaics.
    - 2. Parking calculations shall include all existing and new off-street parking spaces that are leased or owned by the project, including parking that is outside the project boundary but is used by the project. On-street parking in public rights-of-way is excluded from these calculations.
    - 3. Parking spaces within a parking structure shall count toward meeting this standard.
  - iv. Solar Energy, Cool or Vegetated Roof. Provide a roof meeting the standards in subsections (1), (2), (3) or (4) below. Roofs containing vegetation must follow landscaping standards pursuant to Sections 20.04.080(c) (General Landscaping), 20.04.080(d) (Permitted Plant Species), and 20.04.080(e) (Prohibited Plant Species).
    - 1. Solar Energy. Install an on-site solar photovoltaic system covering an area anywhere on the building or lot equal to or greater than thirty-five percent of the total roof area of all primary buildings, or an area equal to or greater than an amount required to provide forty percent of estimated annual average electricity used in all primary buildings. Other renewable energy devices may be used in place of on-site solar panels so long as evidence of equivalent electricity generation capacity is provided.

2. Cool Roof. Install a cool roof on at least seventy percent of the total roof surface using roofing materials that have an aged SRI equal to or greater than the values in Table 04-~~20~~ 21. If aged SRI is not available, the roofing material shall have an initial SRI equal to or greater than the values in Table 04-~~20~~ 21.

**Table 04-~~20~~ 21. Minimum Solar Reflectance Index (SRI)**

|                   | Slope  | Initial SRI | Aged SRI |
|-------------------|--------|-------------|----------|
| Low-sloped roof   | ≤ 2:12 | 82          | 64       |
| Steep-sloped roof | > 2:12 | 39          | 32       |

3. Vegetated Roof. Install a vegetated roof on at least seventy percent of the total roof surface using native or adapted plant species. Vegetated roofing shall comply with ASTM E2400-06: Standard Guide for Selection, Installation, and Maintenance of Plants for Green Roof Systems.
4. Combination Roof. Install a combination solar energy, cool roof and vegetated roof, with each portion meeting the applicable standards in subsections 1., 2. and 3. above, and together covering at least seventy percent of the roof surface.

- v. Electrification- Developments shall only include buildings designed to use either electricity or on-site renewable energy sources for all significant energy needs, including for space heating, water heating, and non-commercial cooking. The Plan Commission may consider proposed exceptions for specific uses based on best practices in all electric building codes. The petitioner may request relief from the electrification standards in accordance with the development standards variance procedure pursuant to Section 20.06.080(b) (Variance) for the following exceptions:

1. Installation and design of commercial kitchens;
2. Technical infeasibility due to physical or electrical grid constraints; and
3. Required backup power for critical services such as healthcare, first responder, and emergency services.

- vi. Building Efficiency. Design the project to achieve improved building energy performance beyond the minimum required building code standards by:

1. Demonstrating that the project qualifies for a minimum of seventeen points from the LEED v4.1 BD+C Optimize Energy Performance Credit; or
2. Demonstrating that the project qualifies for a minimum of one hundred points from the Assessing Energy Performance Standards, as provided in Section 3.3.1.1 of the Green Globes for New Construction v1.5 Technical Reference Manual.

- (B) Option 2. Projects seeking the sustainable development incentives established in Section 20.04.110(d)(3) (Sustainable Development Standards) shall be subject to Section 20.04.110(d)(2)(A)(v) Electrification and submit proof that the project is being reviewed and expects to receive certification by the following verified third-party sustainability programs:

- i. Silver Certification by the U.S. Green Building Council (USGBC) Leadership in Energy and Environmental Design (LEED) rating system;

**Pages 215 through 382 (end of document) intentionally omitted.**