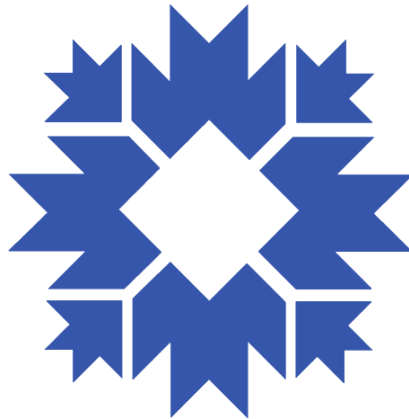


# **BHPC MEETING PACKET**



**Thursday September 9, 2021**

**5:00 p.m.**

Prepared by HAND Staff

# TABLE OF CONTENTS

Agenda - September 9, 2021 Meeting	3
Minutes - August 23 2021 Meeting	6
COA Staff Recommendations	
COA 21-41 101 W Kirkwood Ave.	7
COA 21-42 414 W Dodds St.	13
COA 21-43 347 S Maple St.	21
COA 21-44 412 E 4th St.	39
COA 21-45 516 W 3rd St.	63
COA 21-46 340 S Euclid Ave.	74

**Bloomington Historic Preservation Commission, Teleconference  
Meeting, Thursday September 9, 2021, 5:00 P.M.**

**AGENDA**

**I. CALL TO ORDER**

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

- A. August 26, 2021 Minutes

**IV. CERTIFICATES OF APPROPRIATENESS**

**Commission Review**

**A. COA 21-41**

101 W Kirkwood Ave. (Courthouse Square Historic District)

Petitioner: Leighla Taylor, FASTSIGNS

*Signage*

**B. COA 21-42**

414 W Dodd St. (McDoel Historic District)

Petitioner: Bob Shaw

*Lifting Structure*

**C. COA 21-43**

347 S Maple St. (Greater Prospect Hill Local Historic District)

Petitioner: Paula Worley

*Replace crumbling red tile block with split face grey cement block*

**COA 21-44**

412 E 4th St. (Restaurant Row Local Historic District)

Petitioner: Shawn Eurton

*New Construction*

**D. COA 21-45**

516 W 3rd St. (Prospect Hill Historic District)

Petitioner: Pat Glushko and John McDowell

*Installation of solar panels on the roof*

**E. COA 21-46**

340 S Euclid Ave. (Greater Prospect Hill Local Historic District)

Petitioner: Michael Dalton

*Replace siding, windows, and two front doors*

**V. DEMOLITION DELAY**

**VI. NEW BUSINESS**

**VII. OLD BUSINESS**

**A. Thomas Smith House Designation**

Common Council

September 1, 2021

Ordinance 21-32

**VIII. COMMISSIONER COMMENTS**

**IX. PUBLIC COMMENTS**

**X. ANNOUNCEMENTS**

**XII. ADJOURNMENT**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

Next meeting date is September 23, 2021 at 5:00 P.M. and will be a teleconference via Zoom.

**Posted: 9/2/2021**

**Bloomington Historic Preservation Commission, Teleconference  
Meeting, Thursday August 26, 2021, 5:00 P.M.**

**AGENDA**

**I. CALL TO ORDER**

Meeting was called to order by **Jeff Goldin @ 5:03 P.M.**

**II. ROLL CALL**

**Commissioners Present**

Lee Sandweiss  
Doug Bruce  
Christ Sturbaum (Entered Meeting @ 5:09 P.M.)  
Sam DeSollar  
Matthew Seddon  
John Saunders  
Elizabeth Mitchell (Entered Meeting @ 5:08 P.M.)  
Jeff Goldin  
Reynard Cross

**Advisory Members Present:**

Jenny Southern

**Staff Present:**

Gloria Colom, HAND  
John Zody, HAND  
Daniel Dixon, City Legal Department

**Guests Present:**

Ken Campanella  
Paul Pruitt  
CATS

**III. APPROVAL OF MINUTES**

**A. August 12, 2021 Minutes**

**John Saunders** moved to approve the **August 12, 2021 Minutes**.

**Sam DeSollar** Seconded

**Motion Carries: 4 Yes (Sandweiss, DeSollar, Saunders, Goldin, 2 Abstain (Seddon, Cross), 0 No**

**IV. CERTIFICATES OF APPROPRIATENESS**

**Commission Review**

**A. COA 21-39**

314 S Madison St. (Greater Prospect Hill Historic District)

Petitioner: Keystone Construction

*Rebuild Lean-to, fixing concrete patio and walk. See packet for more details.*

**Gloria Colom** gave presentation. See packet for details.

**Ken Campanella** from **Keystone Construction** mentioned green metal corner post will be replaced with more architecturally appropriate. **Sam DeSollar** asked what the column was going to be made of. **Ken Campanella** responded that it would be made either of fiberglass or

fiber cement. **Chris Sturbaum** asked about aluminum siding and whether it would be sturdy. **Ken Campanella** responded that the owner were considering the siding in the future. **Chris Sturbaum** commented that 4-inch siding was more prominent in the neighborhood and made the suggestion and made a number of further comments about how it can mesh with the neighborhood. **John Saunders** asked about what kind of windows they would be using. **Ken Campanella** is open to suggestions. **Jenny Southern** ask about the year of the house. **Gloria Colom** responded 1927. **Jenny Southern** also asked about the windows and what trim might be used. **Ken Campanella** said they planned to put trim around the windows.

**Chris Sturbaum** asked about the porch and how the look might be. **Sam DeSollar** was supportive and encouraged **Ken Campanella** to talk to homeowner about some of **Chris Sturbaum**'s suggestions. **Matthew Seddon** support the project. **John Saunders** supports it but would prefer if they retained the same style of window. **Elizabeth Mitchell** supports it. **Jeff Goldin** stated that this is Greater Prospect Hill, not visible from the public right of way, supports it. **Reynard Cross** supports it. **Jenny Southern** supports it.

**John Saunders** made the motion to approve the **COA 21-39**.

**Elizabeth Mitchell** seconded.

**Motion Carries: 8 Yes (Sandweiss, Sturbaum, DeSollar, Seddon, Saunders, Mitchell, Goldin, Cross), 0 Abstain, 0 No**

#### **COA 21-40**

520 W. Kirkwood Ave. (Near West Side Conservation District)

Petitioner: Paul Pruitt

*New lap siding, windows, and doors*

**Gloria Colom** gave presentation. See packet for details.

**Jeff Goldin** made it clear that this is a conservation district. **Chris Sturbaum** asked if a Commissioner and staff could go by when siding starts to come off. Then changed it into comment form. **Paul Pruitt** said that would be fine. **Sam DeSollar** is supportive. **Matthew Seddon** doesn't think anything compromises the historical integrity of the neighborhood. **Reynard Cross** is supportive. **John Saunders** is supportive. **Elizabeth Mitchell** is supportive and thanked **Chris Sturbaum** for asking his questions.

**Matthew Seddon** made the motion to approve the **COA 21-40**.

**John Saunders** seconded.

**Motion Carries: 8 Yes (Sandweiss, Sturbaum, DeSollar, Seddon, Saunders, Mitchell, Goldin, Cross), 0 Abstain, 0 No**

#### **V. DEMOLITION DELAY**

#### **VI. NEW BUSINESS**

**Gloria Colom** asked about the department's CLG and continuing education items; plans to email HPC on 8/28 with ideas.

#### **VII. OLD BUSINESS**

**Sam DeSollar** commented about follow-up on projects and the need to talk about procedure on following through after action by the **HPC**. **Sam DeSollar** asked that the **HPC** be involved in that process if and when possible. Mention two properties on Fess and Ballantine where original structural elements were removed despite HPC action, or in violation of rules in the first place. **Daniel Dixon** gave update about property on **605 S**

**Fess St.** (tile roof replacement).

**Gloria Colom** asked the **HPC** what type of roof would count as “in-kind”.

Discussion ensued about the roof on Fess and how it could be replaced. Discussion also ensued about Ballantine property with respect to siding at that property.

**Chris Sturbaum** asked about the **B.G. Pollard Lodge** and what the **HPC** can do to help elevate its status from Non-Contributing. How can it be re-rated? **Daniel Dixon** offered advice about how it could be designated and what to do. **Chris Sturbaum** commented and asked how it could be re-rated because it’s in a conservation district. **Daniel Dixon** said he would investigate it. **Elizabeth Mitchell** commented more about **B.G. Pollard Lodge**; mentioned that the **Mason building** across the street should be included as well.

More discussion ensued about the **B.G. Pollard Lodge area, Second Baptist Church, Bethel AME** and the **Banneker Building**, some of which are designated, along with their significance to the African American community. **Chris Sturbaum** asked if a non-contiguous district be put in place to connect up some of the structures.

Research should be done on that. **Daniel Dixon** offered further commentary and discussion continued about possibility of designating a number of properties for possible designation as a group:

1. **Pollard Lodge**
2. **Banneker**
3. **2<sup>nd</sup> Baptist**
4. **Bethel AME**
5. **Mason Building**

**Elizabeth Mitchell** talked about other properties in town. **Jeff Goldin** asked **Elizabeth Mitchell** to put a list of properties in town that are important to African American culture. **Elizabeth Mitchell** said she would do that; Commissioners talked about forming a committee to examine this.

**Sam DeSollar** asked about designation inside or outside of a district. **Daniel Dixon** will continue to examine. **John Saunders** asked about “demolition by neglect” and asked about any follow-ups on the **B.G. Pollard Lounge**.

## VIII. COMMISSIONER COMMENTS

**John Saunders** commented that **309 S. Davisson St.** was supposed to be a full demo and is being renovated.

## IX. PUBLIC COMMENTS

## X. ANNOUNCEMENTS

## XII. ADJOURNMENT

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

Next meeting date is September 9, 2021 at 5:00 P.M. and will be a teleconference via Zoom.

**Posted:** 8/19/2021

**COA: 21-41**  
**STAFF RECOMMENDATIONS**

Address: “Kahn Building” 101 W Kirkwood Ave.

Petitioner: Leighla Taylor, FASTSIGNS

**Rating: NOTABLE**

Parcel #: 53-05-33-310-237.000-005

Survey: 1898 Queen Ann



**Background: Courthouse Square Historic District**

**Request: Place commercial sign on front**

**Guidelines: Courthouse Square Historic District Guidelines (Pg. 22)**

**A. Signage, General**

1. Care should be taken with the attachment of signage to historic buildings.
2. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.
3. Use of materials such as wood, stone, iron, steel, glass, and aluminum is encouraged as historically appropriate to the building.
4. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without additional drilling into stone, brick, or even mortar. If signage or signage parts must be attached directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick. It is encouraged that signage be placed where signage has historically been located.
5. Signage which is out of scale, boxy or detracts from the historic facade is discouraged.
6. Care should be taken to conceal the mechanics of any kind from the public right of way.

**B. Wall Signs**

1. Building-mounted signage should be of a scale and design so as not to compete with the building's historic character.
2. Wall signs should be located above storefront windows and below second story windows.
3. Signs in other locations

**Staff recommends conditional approval of COA 21-41:**

- The scale and location of the sign are compatible with the guideline requirements. Previous signs have been placed in the same location.
- Consider the use of a more context appropriate material for the sign such as wood, stone, iron, steel, glass, or aluminum.



## 4. GUIDELINES FOR SIGNAGE AND AWNINGS

As a general rule, new signs should preserve, complement, and enhance, rather than compete with, the character of historic buildings and the surrounding district. Careful consideration should be given to historic context, building forms, and site layout when selecting, designing, and reviewing new signage. Not all allowed signage types, by the UDO, are appropriate for the district.

### *A. Signage, General*

1. Care should be taken with the attachment of signage to historic buildings.
2. The scale of signage should be in proportion to the façade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings.
3. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.
4. Use of materials such as wood, stone, iron, steel, glass, and aluminum is encouraged as historically appropriate to the building.

5. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without additional drilling into stone, brick, or even mortar. If signage or signage parts must be attached directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick. It is encouraged that signage be placed where signage has historically been located.
6. Signage which is out of scale, boxy or detracts from the historic façade is discouraged.
7. Care should be taken to conceal the mechanics of any kind from the public right of way.

### *B. Wall Signs*

1. Building-mounted signage should be of a scale and design so as not to compete with the building's historic character.
2. Wall signs should be located above storefront windows and below second story windows.
3. Signs in other locations will be reviewed on a case-by-case basis.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** COA 21-41

**Date Filed:** 8/18/2021

**Scheduled for Hearing:** 9/9/2021

\*\*\*\*\*

**Address of Historic Property:** \_\_\_\_\_

**Petitioner's Name:** \_\_\_\_\_

**Petitioner's Address:** \_\_\_\_\_

**Phone Number/e-mail:** \_\_\_\_\_

**Owner's Name:** \_\_\_\_\_

**Owner's Address:** \_\_\_\_\_

**Phone Number/e-mail:** \_\_\_\_\_

812.339.1584 ext. 12-2420

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. \_\_\_\_\_

2. A description of the nature of the proposed modifications or new construction:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. A description of the materials used.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

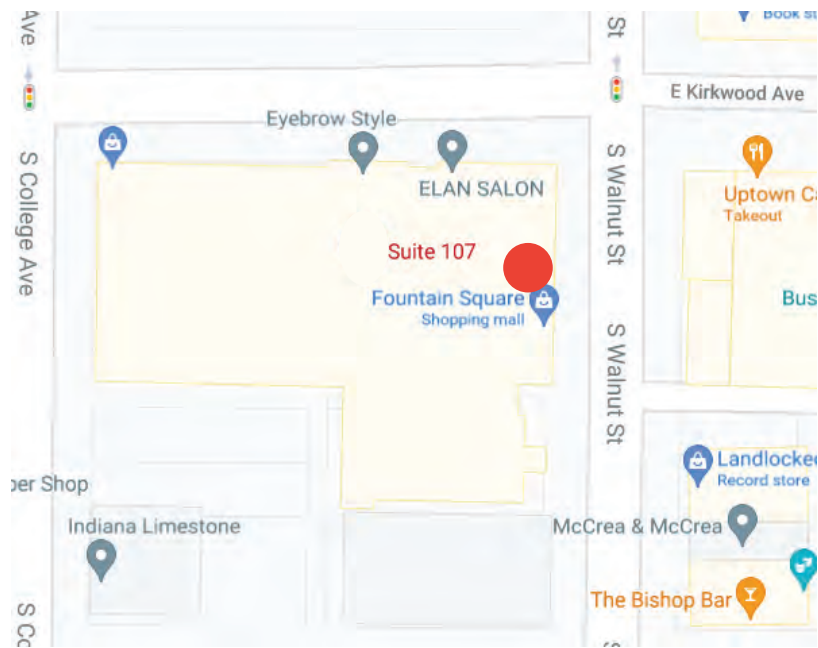
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

# skulznbunnies

101 W Kirkwood, Suite 107  
Bloomington, IN 47404



## Proposed Signage:



Frosted vinyl logo/text applied to window - no background

- 144" x 14" Dimensional Letters & Logo  
1/2" thick White Acrylic  
Stud Mounted

Approximately 13ft of linear storefront.

**COA: 21-42**

**STAFF RECOMMENDATIONS**

Address: 414 W Dodds St.

Petitioner: Robert Shaw

Parcel #: 53-08-05-100-143.000-009

**Rating: NON-CONTRIBUTING**

Survey: Foursquare, severely altered (main structure); proposed alterations to gambrel roof kit house



**Background: McDoel Historic District**

**Request:** Lift the structure two feet using three courses of blocks in order to create a crawl space for repairs.

**Guidelines: McDoel Historic District Guidelines (Pg. 8-9)**

“If a structure is non-contributing, but is a part of the neighborhood’s residential context, a certificate of appropriateness may be given if moving the structure contributes to the public good of the neighborhood.”

**Staff recommends approval of COA 21-42:**

- The proposed lifting of the structure by two feet does not affect the overall scale of the neighborhood.
- The building is staying in place.
- The ability to perform repairs on the structure is beneficial all around.

**Acceptable**

Replacement doors should be the same style and size as the originals. When retrofitting for accessibility, entries may be enlarged.

**PORCHES:**

The look of open front porches is perhaps the most significant feature of the neighborhood both architecturally and culturally. Although enclosures can be an affordable way to add space, the impact on the neighborhood can be profound and degrading. For this reason porch enclosures should be reviewed by the full commission and damage to the original design and structure assessed.

**Preferable**

Add living space at the rear of side of the building where it is less visible.

**Acceptable**

Enclose the porch with a permanent structure that maintains the house design and and maximizes window area.

### **III. Demolition of Existing Principal Structures**

*This section is reviewed by the Commission*

***Guiding principles***

In general, all houses within the neighborhood should be kept and maintained.

If the structure is contributing\*, that is, it is fifty years old or older and not significantly altered from the original form, and is in good or repairable condition (that is if restoration would cost less than replacement), then a certificate of appropriateness for demolition of the structure will not generally be given. Exceptions may be made if demolition of this structure contributes to the public good of the neighborhood.

If a structure is non-contributing, but is a part of the neighborhood's residential context, a certificate of appropriateness may be given if demolition contributes to the public good of the neighborhood.

\*Link to help determine if a structure is contributing:

<http://bloomington.in.gov/media/media/application/pdf/17969.pdf>

### **IV. Moving of Existing Principal Structures**

*This section is reviewed by the Commission*

***Guiding principles***

In general all houses within the neighborhood should be kept in place.

### ***Factors to consider***

A factor to consider when deciding the fate of a neighborhood house is age. If the structure is contributing\*, that is, it is fifty years old or older and not significantly altered from its original form, and is in good or repairable condition (that is, if restoration would cost less than replacement), then a certificate of appropriateness for moving the structure will not generally be given. Exceptions may be made if moving the structure contributes to the public good of the neighborhood.

If a structure is non-contributing, but is a part of the neighborhood's residential context, a certificate of appropriateness may be given if moving the structure contributes to the public good of the neighborhood.

\*Link to help determine if a structure is contributing:

<http://bloomington.in.gov/media/media/application/pdf/17969.pdf>

## **V. New Construction**

*This section is reviewed by the Commission*

### **PRINCIPAL RESIDENTIAL STRUCTURES:**

#### ***Guiding principles***

New construction of residential structures should be visually compatible with contributing house types found in the neighborhood.

#### ***Definition of principal residential structures***

A principal residential structure is the residential structure on the lot.

#### ***Placement on the lot***

The contributing houses in McDoel are generally (although not exclusively) placed in the center of the lot in the side-to-side dimension, and somewhat forward of center in the front-to-back dimension, creating two approximately equal side yards, and a front yard smaller than the back yard. Where feasible this pattern is encouraged in placing new residential structures on their lots. New residential structures should be set back from the street a distance consistent with the set-back depths of contributing houses (that is, within the minimum and maximum set-back ranges; see illustration).

#### ***Structure design (size, height, roof line, porch)***

Design of new residential structures is encouraged to follow the basic design patterns of the contributing houses found in the neighborhood. These include size (ca. 800-1500 square feet on ground level, typically one to three bedrooms); height (one to two stories); and main roof configuration (gabled roofs, including single gable, two perpendicular gables, and pyramid styles). Roof pitch for new residential structures should be within the range found on houses on that block (see illustration). In cases where a new residential structure is built to replace a house formerly located on the lot, the new structure should follow the same footprint (placement and outline on the lot) as the former house. Exceptions may be made if the original house was placed off center (side to side) or its set-back was not in the range of contributing houses. If the original

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: COA21-42

Date Filed: 8/20/2021

Scheduled for Hearing: 9/9/2021

\*\*\*\*\*

Address of Historic Property: 414 W. Dodds St.

Petitioner's Name: Robert Shaw

Petitioner's Address: 2005 S. Rogers St.

Phone Number/e-mail: 812-340-0617 bobshaw@bluemarble.net

Owner's Name: Shaw Family llc

Owner's Address: 2005 S. Rogers St. 47403

Phone Number/e-mail: Same

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.



Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 015-16410-00 SEMINARY PT (40' X 150') LOT 38

2. A description of the nature of the proposed modifications or new construction:  
Craw space is too tight/short to work in or do repairs. Intend to raise the structure two feet by adding three courses of blocks.

---

---

---

---

---

---

---

---

3. A description of the materials used.  
three courses of concrete blocks. Add three steps to the porch in treated lumber.

---

---

---

---

---

---

---

---

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.







**COA: 21-43**  
**STAFF RECOMMENDATIONS**

Address: 347 S Maple St.

Petitioner: Paula Worley

Parcel #: 53-08-05-107-006.000-009

**Rating: CONTRIBUTING**

Survey: c. 1905, L-plan Cottage



**Background: Greater Prospect Hill Historic District**

**Request:** Replace crumbling exterior foundation composed (mostly) of red tile block with split face cement block.

**Guidelines: Greater Prospect Hill Historic District guidelines (Pg. 25-26)**

Definition: The public way façade refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

Definition: In general, original material refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house.

(Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way facade such as brackets, cornices, dormer windows, and gable end shingles.
2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.

**Staff recommends conditional approval of COA 21-43:**

- The proposed material change for the exterior foundation impacts the public way facade along with private facing facades.
- The current foundation materials consist of red tile plastered in stucco that is currently spalling.
- Recommends finding matching “in-kind” red brick and reusing as much of the existing material as possible.

## B. CHANGES TO THE PUBLIC WAY FAÇADE

*The following Public Way Façade guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.*

Changes to the public way façade shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

**Definition:** The **public way façade** refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
2. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
3. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

Prioritize the retention of the roof's original shape as viewed from the public way façade. Chimneys may be removed unless they are an outstanding characteristic of the property.

## C. REMOVAL OF ORIGINAL MATERIALS

*The following Removal of Original Materials guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.*

Removal of original materials shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: In general, **original material** refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles.
2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.
3. Regarding removal of original siding, we encourage flexibility. If the homeowner wishes to use another material, then it should be consistent with the appearance of the original material.
  - Horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
  - Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
  - Vinyl or aluminum may be used as the primary exterior siding, although if underlying original materials remain (e.g., door and window trim, clapboard), care should be taken during installation of newer materials to protect them from cuts and removal (to preserve for possible future restoration). Vinyl and aluminum siding are also acceptable if used as a continuation of what is currently on the structure.



**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-43

Date Filed: 8/20/2021

Scheduled for Hearing: Sept. 9, 2021

\*\*\*\*\*

Address of Historic Property: \_\_\_\_\_

Petitioner's Name: \_\_\_\_\_

Petitioner's Address: \_\_\_\_\_

Phone Number/e-mail: \_\_\_\_\_

Owner's Name: \_\_\_\_\_

Owner's Address: \_\_\_\_\_

Phone Number/e-mail: \_\_\_\_\_

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. \_\_\_\_\_

2. A description of the nature of the proposed modifications or new construction:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. A description of the materials used.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

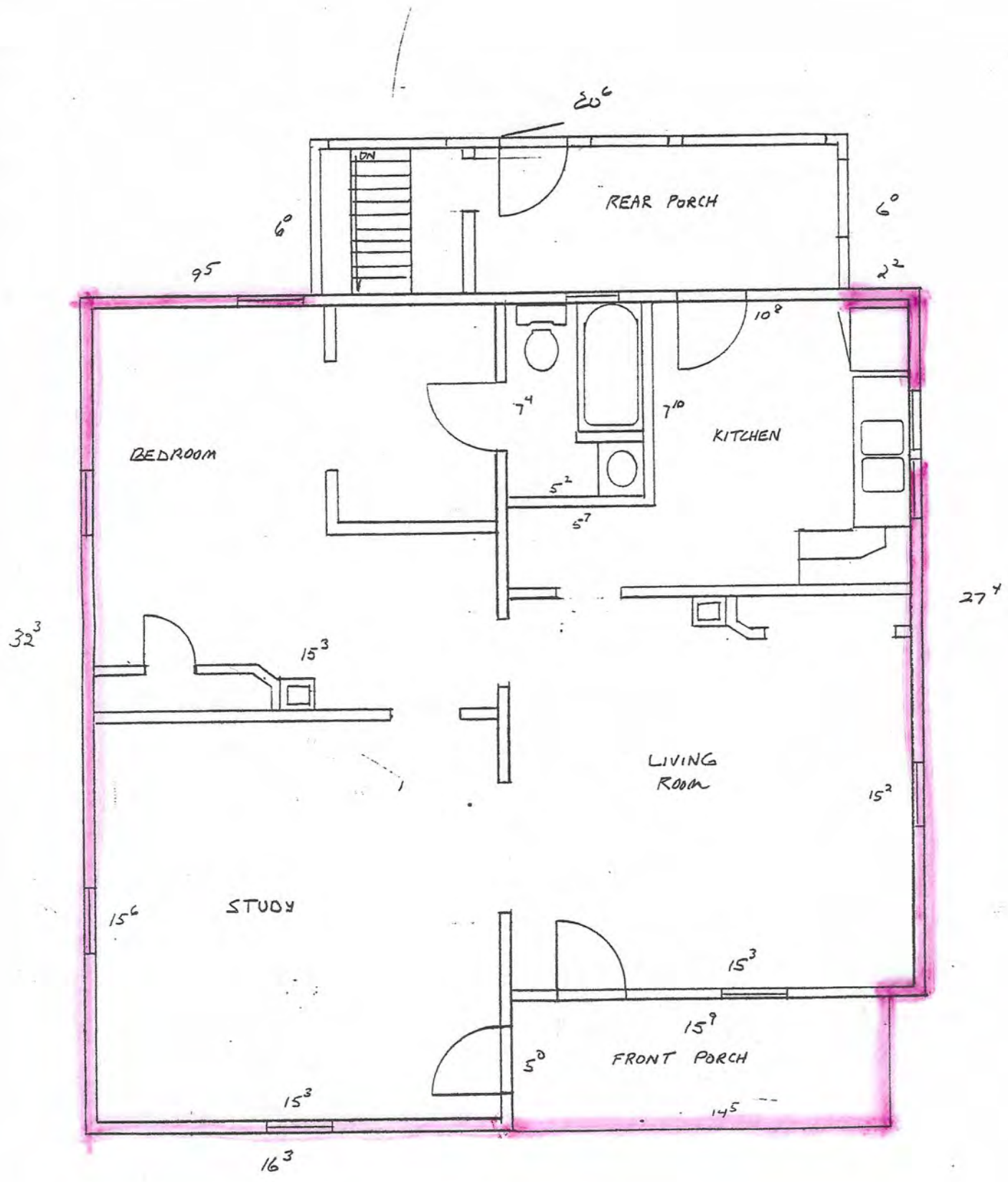
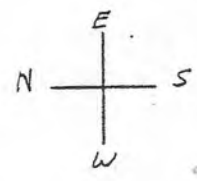
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

347 S. MAPLE ST  
5-18-90



























**COA: 21- 44**

**STAFF RECOMMENDATIONS**

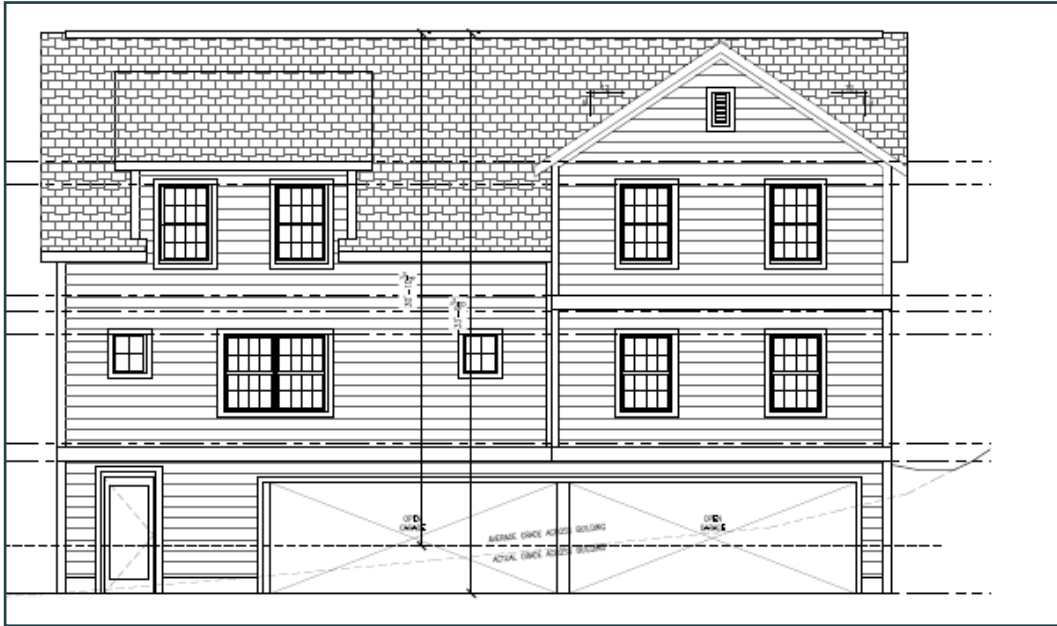
Address: 412 E 4th St

Petitioner: Shawn Eurton

Parcel #: 53-05-33-310-325.000-005

**Rating: CONTRIBUTING**

Survey: C. 1890, Queen Ann, T-plan cottage(?)



**Background:** Located on the current parking lot of a contributing property within the Restaurant Row Historic District

**Request:** New construction of two four bedroom apartments classified as student housing.

**Guidelines:** Restaurant Row Historic District (Pg. 26)

**3.2 Building Orientation and Entry**

All buildings in Restaurant Row face the street with primary entrances on the street-facing façade. New buildings will incorporate front-facing primary facades and primary entry doors. The entrance shall incorporate a front porch, canopy, or awning. A minimum of one pedestrian entrance shall be provided for any primary facade which contains at least sixty-six feet of front-age facing a public street. No primary pedestrian entrance shall be located on a building facade adjacent to an alley.

**Staff does not recommend approval of COA 21-44:**

- No primary pedestrian entrance shall be located on a building facade adjacent to an alley.
- Massing, materials, and fenestrations are compatible with the existing structure.

# 3. NEW CONSTRUCTION

---

3.1 New Construction

3.2 Building Orientation and Entry

3.3 Setback

3.4 Massing

3.5 Roof Shape

3.6 Height

3.7 Fenestration

3.8 Materials





## 3.1 NEW CONSTRUCTION

**N**ew construction should be appropriately scaled to be compatible with the existing fabric of the district. New construction may incorporate traditional materials and features found on historic homes but it should clearly be of its own time. New construction should be easily identified as being from its own period of construction, but it should not be so different from the other buildings in the district that it detracts from them or visually competes with them. Compatibility is more important than differentiation.

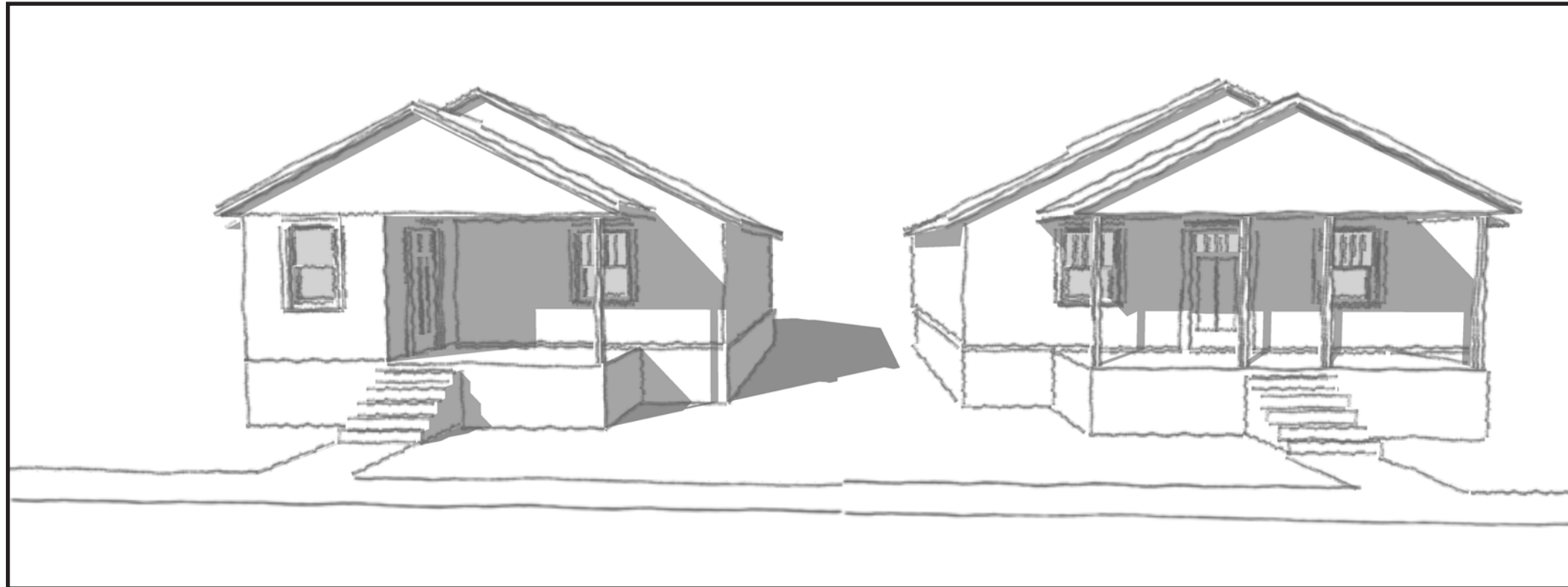
These guidelines are not meant to restrict creativity, but to set up a framework within which sympathetic design will occur. It should be noted that within an appropriate framework there can be many different design solutions that may be appropriate.

Design review of New Construction in this district will focus on the following criteria to ensure compatibility:

- Building Orientation & Entry
- Setback
- Massing
- Roof shape
- Materials
- Height
- Fenestration

## 3.2 BUILDING ORIENTATION AND ENTRY

All buildings in Restaurant Row face the street with primary entrances on the street-facing façade. New buildings will incorporate front-facing primary facades and primary entry doors. The entrance shall incorporate a front porch, canopy, or awning. A minimum of one pedestrian entrance shall be provided for any primary facade which contains at least sixty-six feet of frontage facing a public street. No primary pedestrian entrance shall be located on a building facade adjacent to an alley.

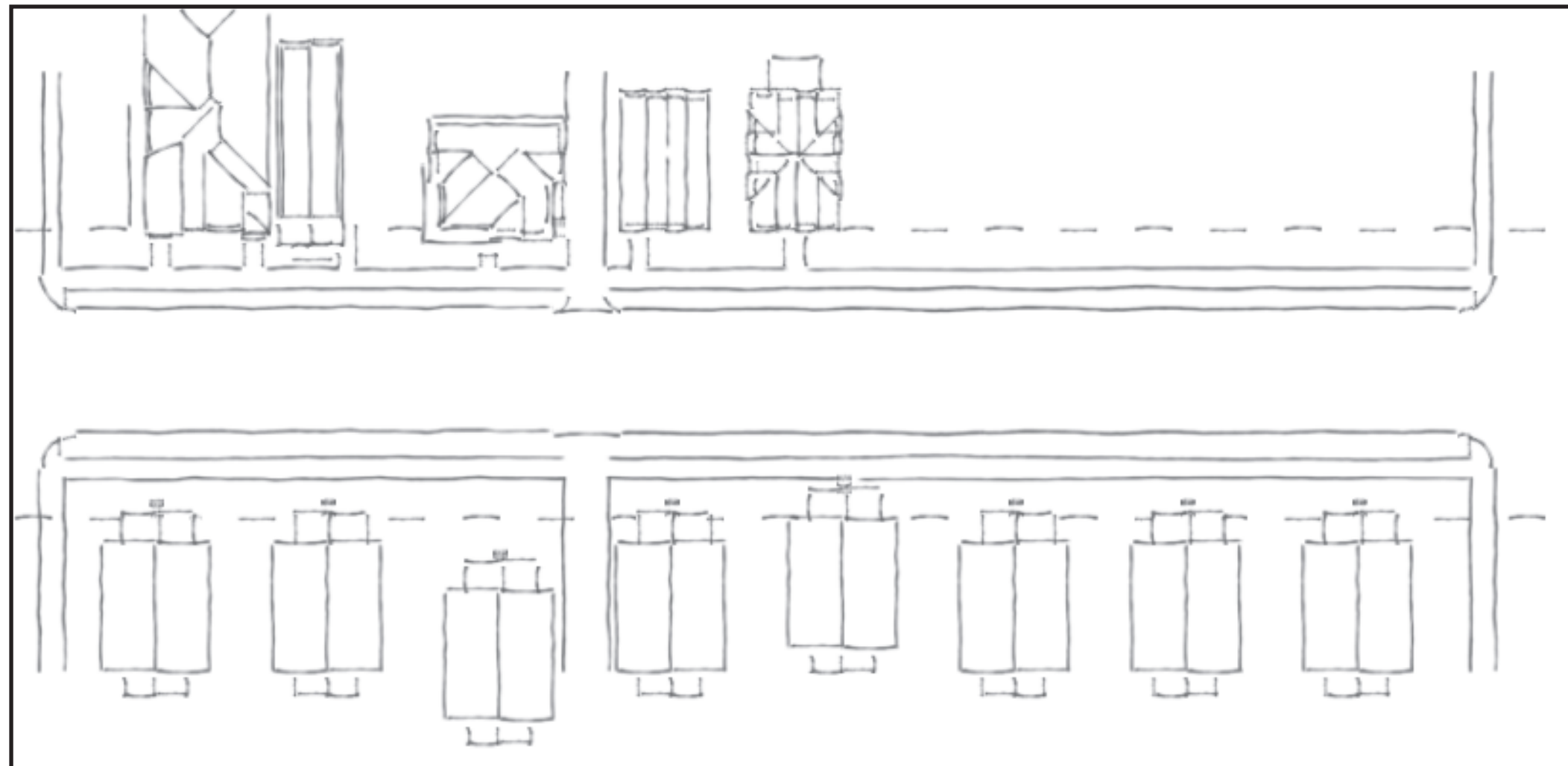


Incompatible: Although the house is oriented to the street, the primary door is not.

Compatible: Both the house and the primary entrance are oriented to face the street

### 3.3 SETBACK

New buildings located immediately adjacent to the side of an outstanding, notable or contributing structure as identified in the Bloomington Historic Sites and Structures Survey shall align its respective facade to match the front setback established by a surveyed structure.



**X**  
Building setback  
is too far

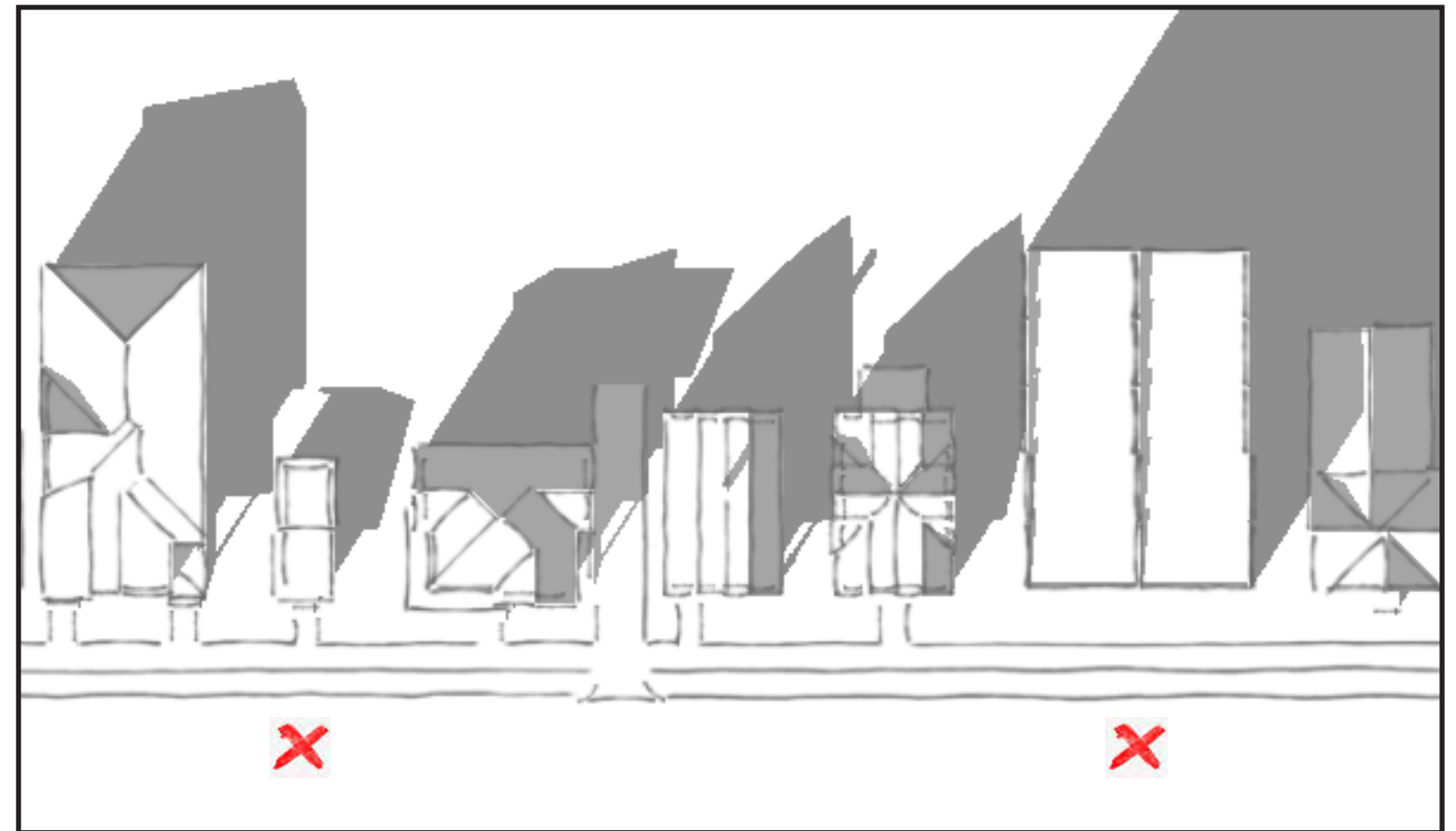
**X**  
Not enough setback  
from the street

## 3.4 MASSING

The total mass of a new building should be compatible with surrounding buildings. A larger than typical mass might be appropriate if it is broken into elements that are visually compatible with the mass of the surrounding buildings.



The inappropriate examples of mass for new construction break the rhythm of the street and look out of place with their historic counterparts.



The overhead view further demonstrates how the massing of the new construction are out of scale with the historic buildings on the street.

## 3.5 ROOF SHAPE

Buildings shall incorporate sloped or pitched gable, hip, gambrel, or complex roof shapes. All sloped primary roofs shall incorporate a minimum eight-twelve pitch. Roof ridges greater than forty feet in width parallel to a street shall incorporate a minimum of one dormer into this section of sloping roof.



Hipped



Complex (Queen Anne)



Gambrel



Gable

## 3.6 HEIGHT

Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed. New buildings shall not exceed 35 feet in height.



## 3.7 FENESTRATION

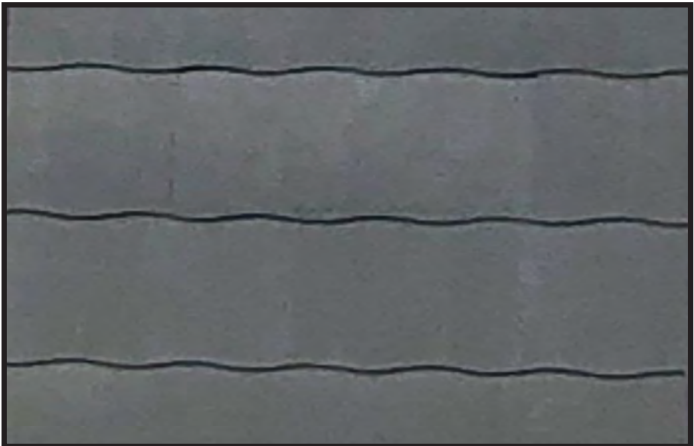
The arrangement of windows and doors on the exterior of new construction should be compatible with the other buildings in the district.



The fenestration on this building is incompatible. The horizontality of the first story windows and the placement of windows on this building also disrupts the rhythm of fenestration that is established by the other buildings along the block face.

# 3.8 MATERIALS: SIDING

Wood and cementitious siding are acceptable siding materials. Exaggerated or rough grain are not acceptable. EIFS, vinyl, smooth or split-faced cement block, natural stone or masonry, and precast concrete are not acceptable siding materials.



☒ Asbestos Siding



☒ Cement Block



☒ Split Face Limestone



☒ Vinyl



☒ Brick



☒ Faux Grain



## 3.9 MATERIALS: ROOF & FOUNDATION

What is acceptable?

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-44

Date Filed: August 26, 2021

Scheduled for Hearing: **September 9, 2021**

\*\*\*\*\*

Address of Historic Property: 412 E. 4th St.

Petitioner's Name: Shawn Eurton

Petitioner's Address: 3415 E. Olcott Blvd, Bloomington, IN

Phone Number/e-mail: seurton3@gmail.com

Owner's Name: 4th Street Properties LLC (Shawn Eurton)

Owner's Address: 3415 E. Olcott Blvd, Bloomington, IN 47401

Phone Number/e-mail: 812-322-7303

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 013-02030-00 ORIG PLAT PT (W 50') LOTS 3 & 4

2. A description of the nature of the proposed modifications or new construction:  
The new structure will provide (2) - four bedroom apartments that the new UDO calssifies as student housing. We are also following the University Village guidelines and use specific standards, with gable roofs, cement board exterior siding materail, and an architectural style that compliments the adjoining Resturant Row designs.

3. A description of the materials used.  
Cement board lap siding and trim, vinyl clad double hung and fixed windows, fiberglass shingled roof

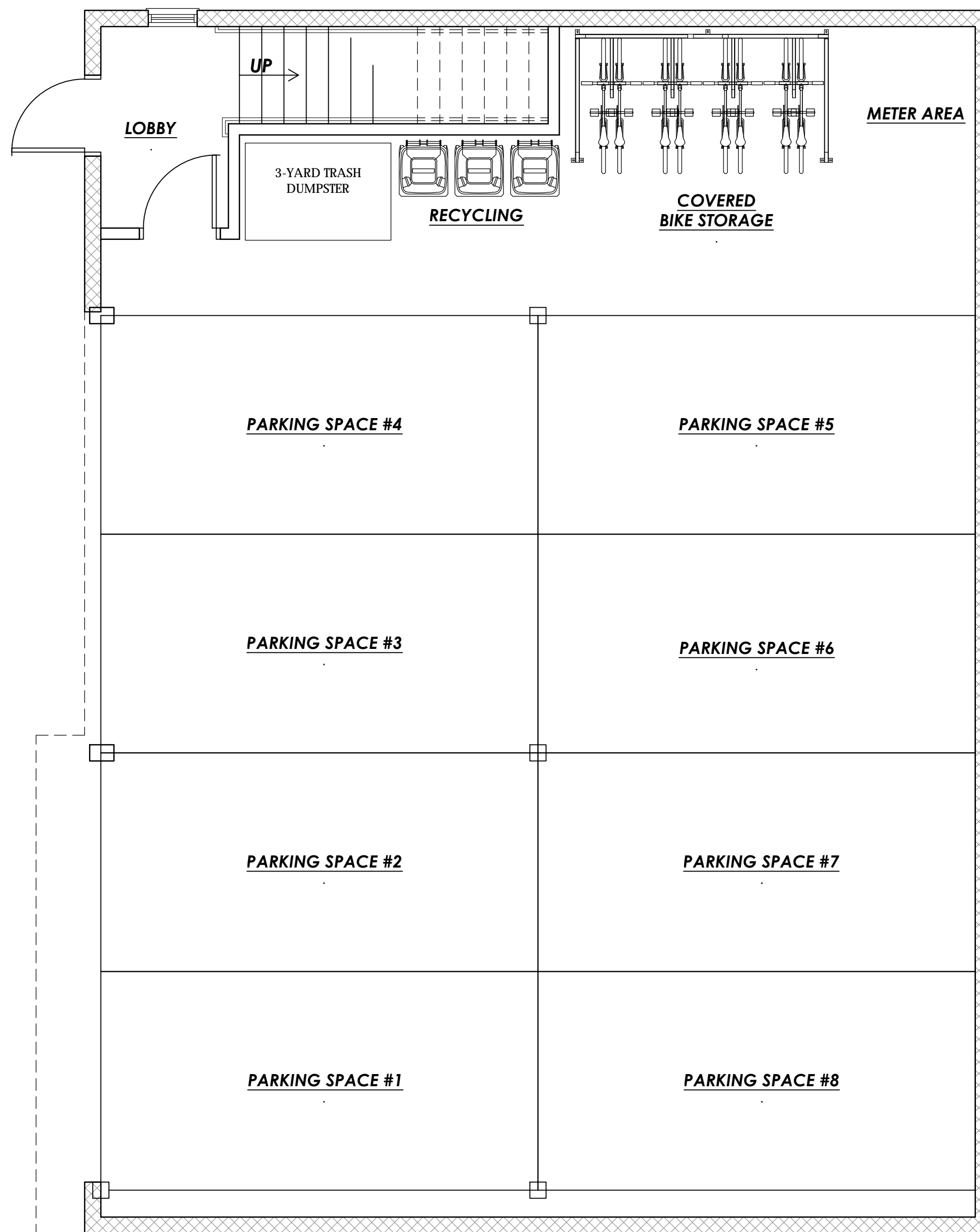
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



**1 MAIN LEVEL FLOOR PLAN**  
1/4" = 1'-0"

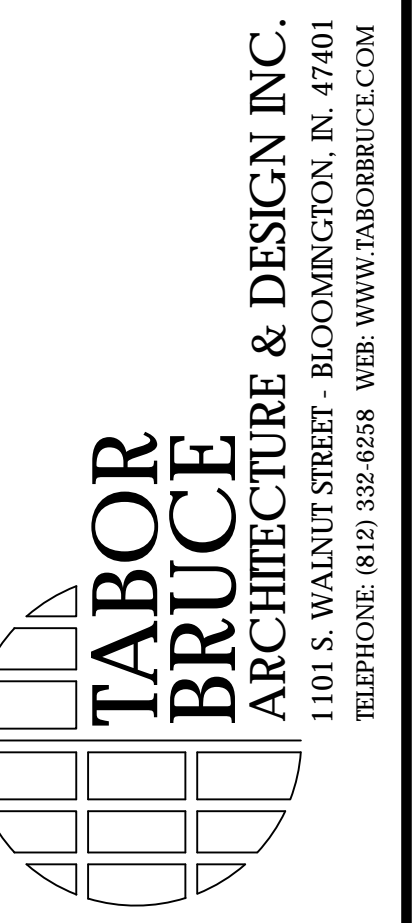
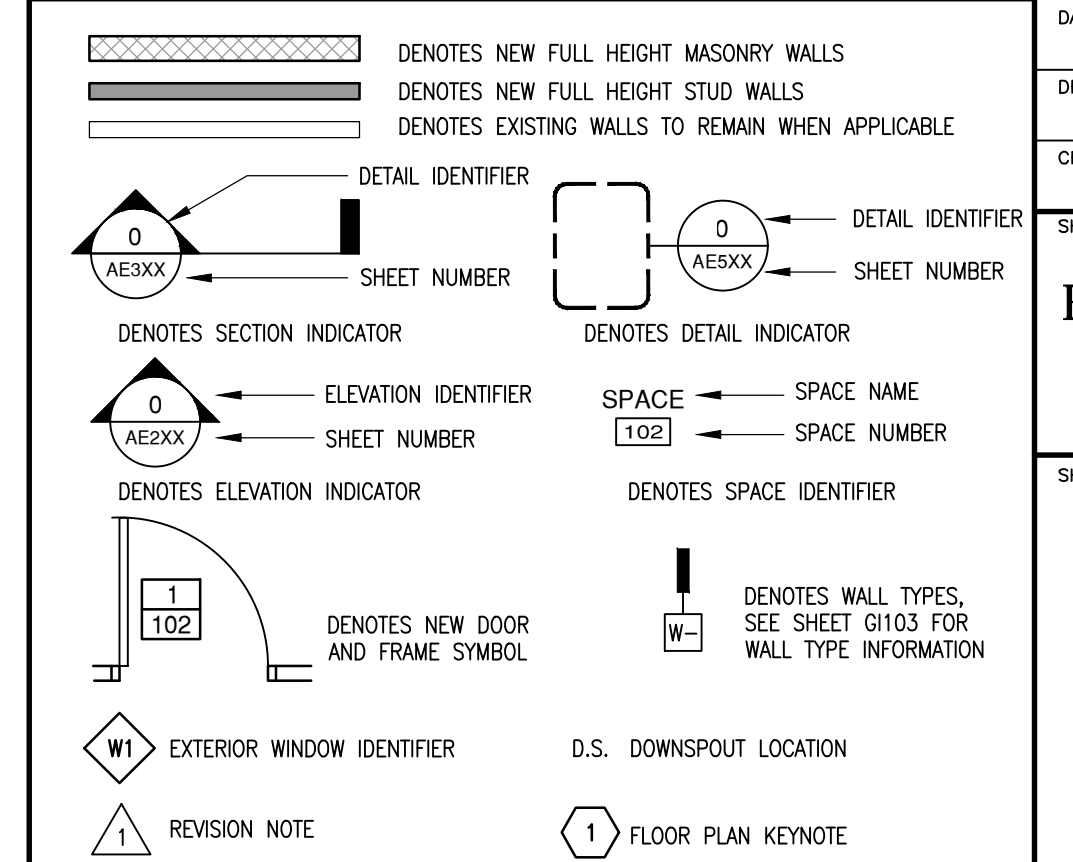
**FLOOR PLAN KEYNOTES:**

- 1 NEW 1 1/2" WD. STUD WALL FURRING & 5/8" GYP. BD. ALIGN WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 2 NEW 2X WD. STUD WALL @ 16" O.C. AS INDICATED PER WALL TYPES. ALIGN W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 3 NEW WD. PARTIAL HT. STUD WALL @ 16" O.C. W/ STAINED WD. CAP. INSTALL 5/8" GYP. BD. ON BOTH SIDES & FINISH PER INTERIOR DWG'S.
- 4 INFILL EXIST. WD. STUD WALL @ 16" O.C. AS INDICATED. INSTALL 5/8" GYP. BD. ON BOTH SIDES & ALIGN W/ EXIST. WALL, ALIGN W/ EXIST. WALL & MATCH FINISH.
- 5 NEW EXTERIOR INSUL. WDW., SEE SCHED. FOR SIZING.
- 6 NEW INTERIOR WDW., SEE SCHED. FOR SIZING.
- 7 NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED FIXED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER IBC CODE.
- 8 PROVIDE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
- 9 NEW EXTERIOR MTL. INSUL. DOOR, FRAME & HARDWARE. SEE SCHED.
- 10 NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
- 11 NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED ALUM. STOREFRONT SYSTEM W/ TEMPERED GLAZING PER IBC CODE.
- 12 NEW KAWNEER TRIFAB 190 SERIES FULL GLAZED ANODIZED ALUM. STOREFRONT DOORS W/ TEMPERED GLAZING PER IBC CODE.
- 13 NEW INTERIOR CASED OPENING.
- 14 SOLID SURFACE COUNTERTOP & BASE CABINET (WHERE APPLICABLE). SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR DETAILS.
- 15 NEW ADA COMPLIANT FLR. MTD. WATER CLOSET PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 16 NEW ADA COMPLIANT WALL MTD. LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 17 NEW ADA COMPLIANT DROP-IN LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 18 NEW ADA COMPLIANT WALL MTD. URINAL PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 19 NEW ADA COMPLIANT WALL MTD. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
- 20 NEW WALL MTD. DRINKING FOUNTAIN PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 21 NEW FLR. MTD. MOP SINK PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 22 PROVIDE MIN. 2X8 BLOCKING FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. (TYP. @ ADAPTABLE TOILETS & SHOWER STALLS). SHOWER STALL BLOCKING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
- 23 NEW BOBRICK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & BTM. BRACED TOILET PARTITIONS & URINAL SCREENS.
- 24 NEW AMCO ELVORON CPL LIFT. CONFIRM W/ MFG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
- 25 NEW 1 1/2" SQ. MTL. GUARDRAIL (PAINTED), TOP OF RAIL +42" ABOVE FIN. SURFACE. FINAL DESIGN DETERMINED BY OWNER.
- 26 NEW 1 1/2" MTL. HANDRAIL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND HANDRAILS +12" PAST FINAL RISER @ ALL LANDINGS.
- 27 NEW STAIRS.
- 28 NEW REINF. CONC. EXTERIOR STAIR, RAMP SYSTEM, OR WALK. SEE CIVIL DWG'S. FOR DETAILS & CONSTRUCTION LIMITS.
- 29 NEW STRUCTURAL COL., SEE STRUCTURAL DWG'S. WRAP W/ 1 1/2" WD. STUDS, 5/8" GYP. BD. & FINISH PER INTERIOR DWG'S.
- 30 PROVIDE ALUMINUM DRYER VENT BOX AS IMPERIAL MODEL No. VT0027. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.

**GENERAL FLOOR PLAN NOTES:**

- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
- ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
- ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
- CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS IE: GYPSUM BOARD & MASONRY.
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- ANY OPERABLE WDW'S. W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.6.1.
- IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.
- ALL INTERIOR WALLS SHALL BE 2 X 4 STUDS @ 16" O.C. W/ 5/8" GYP. BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE.

**SYMBOLS LEGEND:**

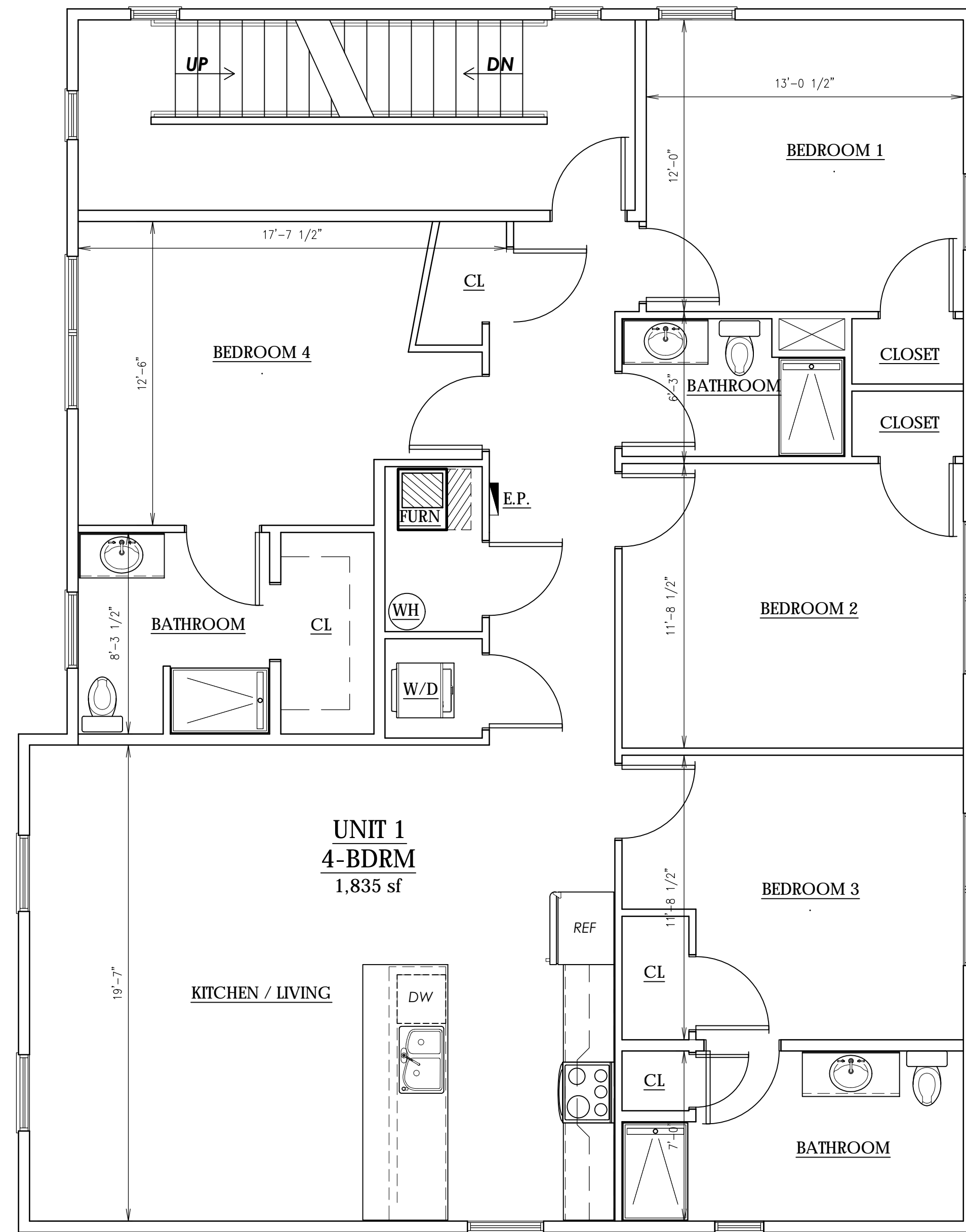


REVISIONS


A NEW BUILDING AT:  
**412 E 4TH ST.**  
BLOOMINGTON, INDIANA 47408

PROJECT NO.	3419
DATE	JANUARY 24, 2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	FLOOR PLANS

SHEET NO.  
**AE101**



**1 SECOND LEVEL FLOOR PLAN**  
1/4" = 1'-0"

**FLOOR PLAN KEYNOTES:**

- 1 NEW 1 1/2" WD. STUD WALL FURRING & 5/8" GYP. BD. ALIGN WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 2 NEW 2X WD. STUD WALL @ 16" O.C. AS INDICATED PER WALL TYPES. ALIGN W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 3 NEW WD. PARTIAL HT. STUD WALL @ 16" O.C. W/ STAINED WD. CAP. INSTALL 5/8" GYP. BD. ON BOTH SIDES & FINISH PER INTERIOR DWG'S.
- 4 INFILL EXIST. WD. STUD WALL @ 16" O.C. AS INDICATED. INSTALL 5/8" GYP. BD. ON BOTH SIDES & ALIGN W/ EXIST. WALL, ALIGN W/ EXIST. WALL & MATCH FINISH.
- 5 NEW EXTERIOR INSUL. WDW., SEE SCHED. FOR SIZING.
- 6 NEW INTERIOR WDW., SEE SCHED. FOR SIZING.
- 7 NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED FIXED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER IBC CODE.
- 8 PROVIDE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
- 9 NEW EXTERIOR MTL. INSUL. DOOR, FRAME & HARDWARE. SEE SCHED.
- 10 NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
- 11 NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED ALUM. STOREFRONT SYSTEM W/ TEMPERED GLAZING PER IBC CODE.
- 12 NEW KAWNEER TRIFAB 190 SERIES FULL GLAZED ANODIZED ALUM. STOREFRONT DOORS W/ TEMPERED GLAZING PER IBC CODE.
- 13 NEW INTERIOR CASED OPENING.
- 14 SOLID SURFACE COUNTERTOP & BASE CABINET (WHERE APPLICABLE). SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR DETAILS.
- 15 NEW ADA COMPLIANT FLR. MTD. WATER CLOSET PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 16 NEW ADA COMPLIANT WALL MTD. LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 17 NEW ADA COMPLIANT DROP-IN LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 18 NEW ADA COMPLIANT WALL MTD. URINAL PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 19 NEW ADA COMPLIANT WALL MTD. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
- 20 NEW WALL MTD. DRINKING FOUNTAIN PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 21 NEW FLR. MTD. MOP SINK PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 22 PROVIDE MIN. 2X8 BLOCKING FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. (TYP. @ ADAPTABLE TOILETS & SHOWER STALLS). SHOWER STALL BLOCKING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
- 23 NEW BOBRICK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & BTM. BRACED TOILET PARTITIONS & URINAL SCREENS.
- 24 NEW AMCO ELVORON CPL. LIFT. CONFIRM W/ MFG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
- 25 NEW 1 1/2" SQ. MTL. GUARDRAIL (PAINTED), TOP OF RAIL +42" ABOVE FIN. SURFACE. FINAL DESIGN DETERMINED BY OWNER.
- 26 NEW 1 1/2" MTL. HANDRAIL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND HANDRAILS +12" PAST FINAL RISER @ ALL LANDINGS.
- 27 NEW STAIRS.
- 28 NEW REINF. CONC. EXTERIOR STAIR, RAMP SYSTEM, OR WALK. SEE CIVIL DWG'S. FOR DETAILS & CONSTRUCTION LIMITS.
- 29 NEW STRUCTURAL COL., SEE STRUCTURAL DWG'S. WRAP W/ 1 1/2" WD. STUDS, 5/8" GYP. BD. & FINISH PER INTERIOR DWG'S.
- 30 PROVIDE ALUMINUM DRYER VENT BOX AS IMPERIAL MODEL No. VT0027 INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.

**GENERAL FLOOR PLAN NOTES:**

- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
- ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
- ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
- CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS IE: GYPSUM BOARD & MASONRY.
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- ANY OPERABLE WDW'S. W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.6.1.
- IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.
- ALL INTERIOR WALLS SHALL BE 2 X 4 STUDS @ 16" O.C. W/ 5/8" GYP. BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE.

**SYMBOLS LEGEND:**

	DENOTES NEW FULL HEIGHT MASONRY WALLS		DENOTES NEW FULL HEIGHT STUD WALLS
	DENOTES EXISTING WALLS TO REMAIN WHEN APPLICABLE		DENOTES DETAIL IDENTIFIER
	DENOTES SHEET NUMBER		DENOTES SECTION INDICATOR
	DENOTES ELEVATION IDENTIFIER		DENOTES SPACE NAME
	DENOTES NEW DOOR AND FRAME SYMBOL		DENOTES SPACE IDENTIFIER
	DENOTES EXTERIOR WINDOW IDENTIFIER		DENOTES DOWNSPOUT LOCATION
	DENOTES REVISION NOTE		DENOTES FLOOR PLAN KEYNOTE

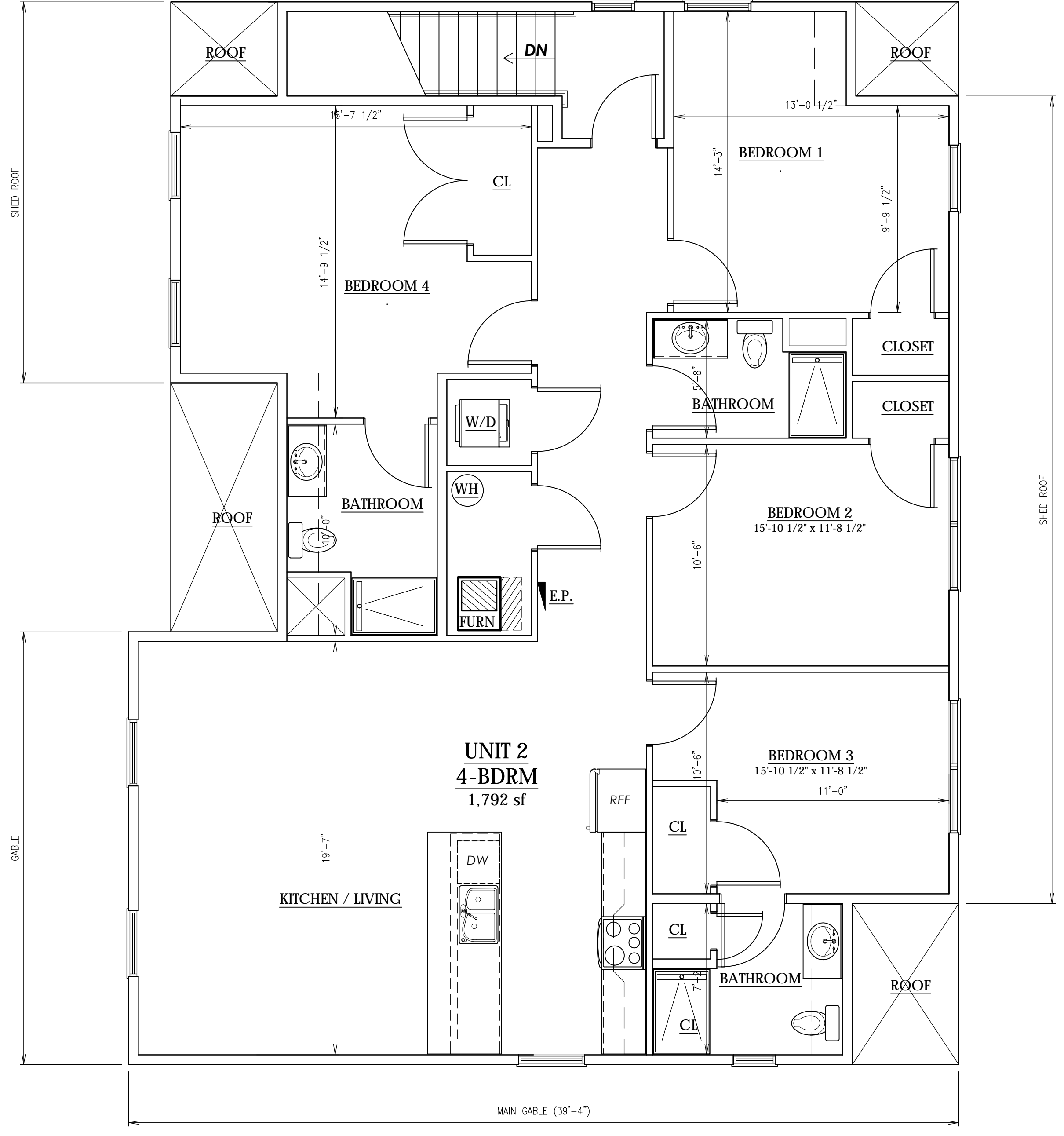
**TABOR BRUCE ARCHITECTURE & DESIGN INC.**  
1101 S. WALNUT STREET - BLOOMINGTON, IN. 47401  
TELEPHONE: (812) 332-6258 WEB: WWW.TABORBRUCE.COM

REVISIONS


A NEW BUILDING AT:  
**412 E 4TH ST.**  
BLOOMINGTON, INDIANA 47408

PROJECT NO.	3419
DATE	JANUARY 24, 2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	FLOOR PLANS

SHEET NO.  
**AE102**



**1 THIRD LEVEL FLOOR PLAN**  
1/4" = 1'-0"

- FLOOR PLAN KEYNOTES:**
- 1 NEW 1 1/2" WD. STUD WALL FURRING & 5/8" GYP. BD. ALIGN WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
  - 2 NEW 2X WD. STUD WALL @ 16" O.C. AS INDICATED PER WALL TYPES. ALIGN W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
  - 3 NEW WD. PARTIAL HT. STUD WALL @ 16" O.C. W/ STAINED WD. CAP. INSTALL 5/8" GYP. BD. ON BOTH SIDES & FINISH PER INTERIOR DWG'S.
  - 4 INFILL EXIST. WD. STUD WALL @ 16" O.C. AS INDICATED. INSTALL 5/8" GYP. BD. ON BOTH SIDES & ALIGN W/ EXIST. WALL, ALIGN W/ EXIST. WALL & MATCH FINISH.
  - 5 NEW EXTERIOR INSUL. WDW., SEE SCHED. FOR SIZING.
  - 6 NEW INTERIOR WDW., SEE SCHED. FOR SIZING.
  - 7 NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED FIXED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER IBC CODE.
  - 8 PROVIDE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
  - 9 NEW EXTERIOR MTL. INSUL. DOOR, FRAME & HARDWARE. SEE SCHED.
  - 10 NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
  - 11 NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED ALUM. STOREFRONT SYSTEM W/ TEMPERED GLAZING PER IBC CODE.
  - 12 NEW KAWNEER TRIFAB 190 SERIES FULL GLAZED ANODIZED ALUM. STOREFRONT DOORS W/ TEMPERED GLAZING PER IBC CODE.
  - 13 NEW INTERIOR CASED OPENING.
  - 14 SOLID SURFACE COUNTERTOP & BASE CABINET (WHERE APPLICABLE). SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR DETAILS.
  - 15 NEW ADA COMPLIANT FLR. MTD. WATER CLOSET PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
  - 16 NEW ADA COMPLIANT WALL MTD. LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
  - 17 NEW ADA COMPLIANT DROP-IN LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
  - 18 NEW ADA COMPLIANT WALL MTD. URINAL PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
  - 19 NEW ADA COMPLIANT WALL MTD. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
  - 20 NEW WALL MTD. DRINKING FOUNTAIN PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
  - 21 NEW FLR. MTD. MOP SINK PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
  - 22 PROVIDE MIN. 2X8 BLOCKING FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. (TYP. @ ADAPTABLE TOILETS & SHOWER STALLS). SHOWER STALL BLOCKING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
  - 23 NEW BOBRICK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & BTM. BRACED TOILET PARTITIONS & URINAL SCREENS.
  - 24 NEW AMCO ELVORON CPL. LIFT. CONFIRM W/ MFG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
  - 25 NEW 1 1/2" SQ. MTL. GUARDRAIL (PAINTED), TOP OF RAIL +42" ABOVE FIN. SURFACE. FINAL DESIGN DETERMINED BY OWNER.
  - 26 NEW 1 1/2" MTL. HANDRAIL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND HANDRAILS +12" PAST FINAL RISER @ ALL LANDINGS.
  - 27 NEW STAIRS.
  - 28 NEW REINF. CONC. EXTERIOR STAIR, RAMP SYSTEM, OR WALK. SEE CIVIL DWG'S. FOR DETAILS & CONSTRUCTION LIMITS.
  - 29 NEW STRUCTURAL COL., SEE STRUCTURAL DWG'S. WRAP W/ 1 1/2" WD. STUDS, 5/8" GYP. BD. & FINISH PER INTERIOR DWG'S.
  - 30 PROVIDE ALUMINUM DRYER VENT BOX AS IMPERIAL MODEL No. VT0027 INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.

- GENERAL FLOOR PLAN NOTES:**
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
  - ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
  - FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
  - ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
  - CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS IE: GYPSUM BOARD & MASONRY.
  - ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
  - ANY OPERABLE WDW'S. W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.6.1.
  - IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
  - SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.
  - ALL INTERIOR WALLS SHALL BE 2 X 4 STUDS @ 16" O.C. W/ 5/8" GYP. BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE.

**SYMBOLS LEGEND:**

	DENOTES NEW FULL HEIGHT MASONRY WALLS		DENOTES NEW FULL HEIGHT STUD WALLS
	DENOTES EXISTING WALLS TO REMAIN WHEN APPLICABLE		DENOTES DETAIL IDENTIFIER
	DENOTES SHEET NUMBER		DENOTES SECTION INDICATOR
	DENOTES ELEVATION IDENTIFIER		DENOTES SPACE NAME
	DENOTES ELEVATION INDICATOR		DENOTES SPACE NUMBER
	DENOTES NEW DOOR AND FRAME SYMBOL		DENOTES SPACE IDENTIFIER
	DENOTES EXTERIOR WINDOW IDENTIFIER		DENOTES DOWNSPOUT LOCATION
	DENOTES REVISION NOTE		DENOTES FLOOR PLAN KEYNOTE

**TABOR BRUCE ARCHITECTURE & DESIGN INC.**  
1101 S. WALNUT STREET - BLOOMINGTON, IN. 47401  
TELEPHONE: (812) 332-6258 WEB: WWW.TABORBRUCE.COM

REVISIONS

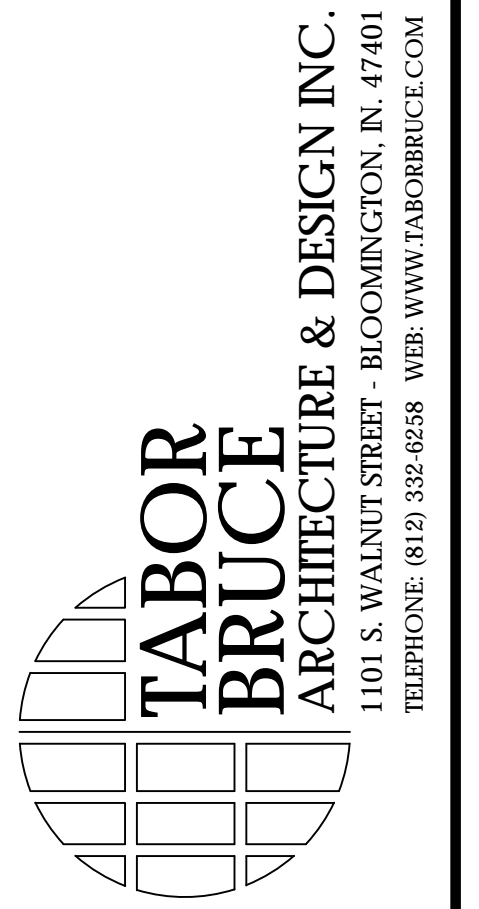

A NEW BUILDING AT:  
**412 E 4TH ST.**  
BLOOMINGTON, INDIANA 47408

PROJECT NO.	3419
DATE	JANUARY 24, 2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	FLOOR PLANS

SHEET NO.  
**AE103**

**ROOF PLAN KEYNOTES:**

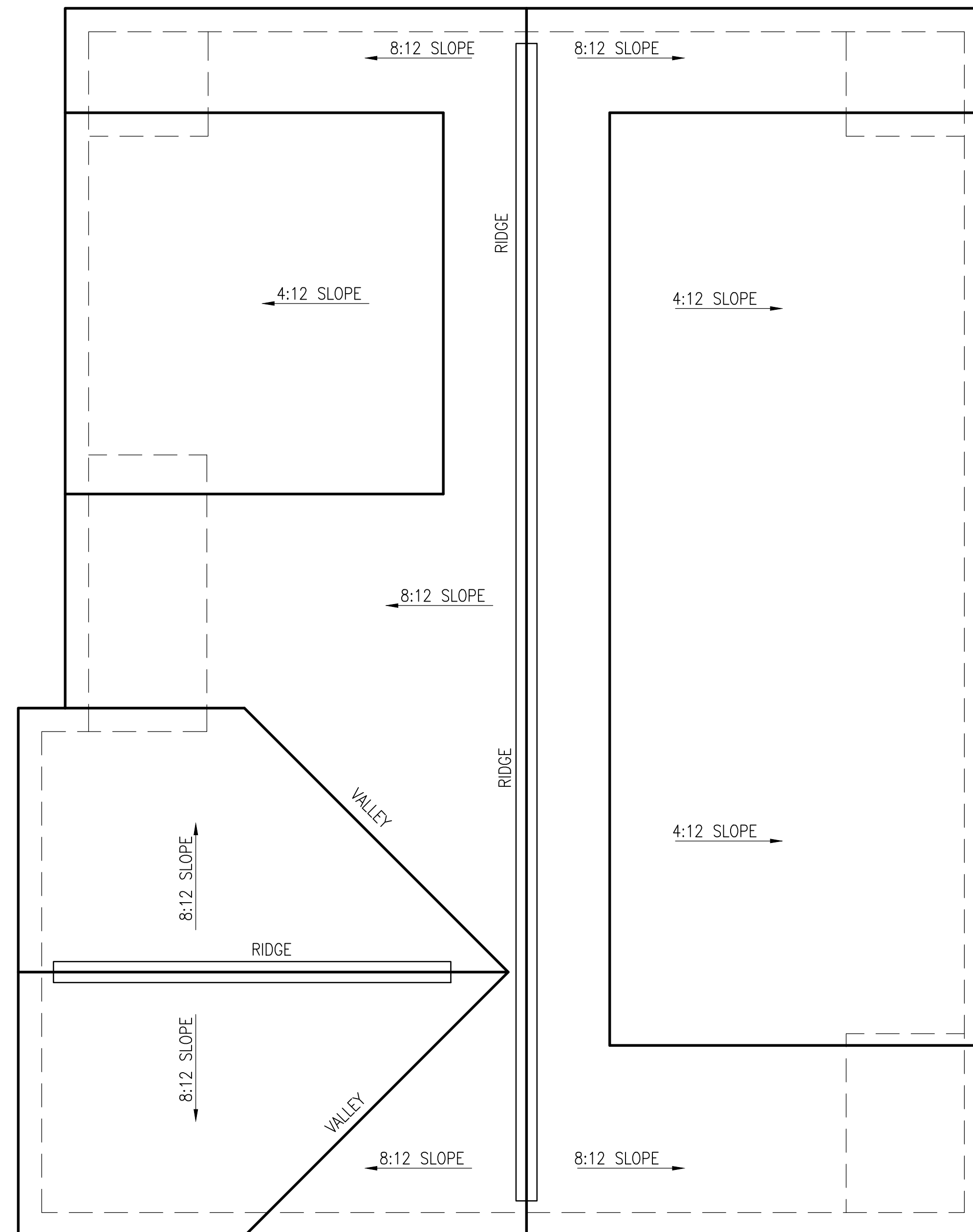
- 1 25 YEAR ASPHALT SHINGLE ROOF SYSTEM OVER ONE LAYER OF 30# ASPHALT FELT & ICE DAM PER MFG. RECOMMENDATIONS @ ALL EAVES, VALLEYS, & RIDGES. STYLE & COLOR SHALL BE SELECTED FROM STANDARD COLOR PALLETTE BY OWNER.
- 2 6" K-STYLE PRE-FINISHED SEAMLESS ALUM. .032GA GUTTERS @ ALL ROOF EDGES ALONG BTM. OF ROOF SLOPE. EA GUTTER SHALL HAVE 3/4" ALUM. DOWNSPOUTS PROPERLY SUPPORTED W/ SPLASH-BLOCKS OR DIRECTLY TIE INTO BELOW GRADE STORM DRAIN SYSTEM.
- 3 LINE OF WALL FRAMING BELOW.
- 4 PROVIDE CONT. RIDGE VENT @ ROOF RIDGES.
- 5 PROVIDE PRE-FINISHED ALUM. DRIP EDGE @ ENTIRE ROOF PERIMETER.
- 6 PROVIDE MTL. FLASHING @ ALL ROOF VALLEYS.



REVISIONS

NO.	DATE	DESCRIPTION

A NEW BUILDING AT:  
**412 E 4TH ST.**  
BLOOMINGTON, INDIANA 47408



**1 ROOF PLAN**  
1/4" = 1'-0"



**TYPICAL ROOF ASSEMBLY:**

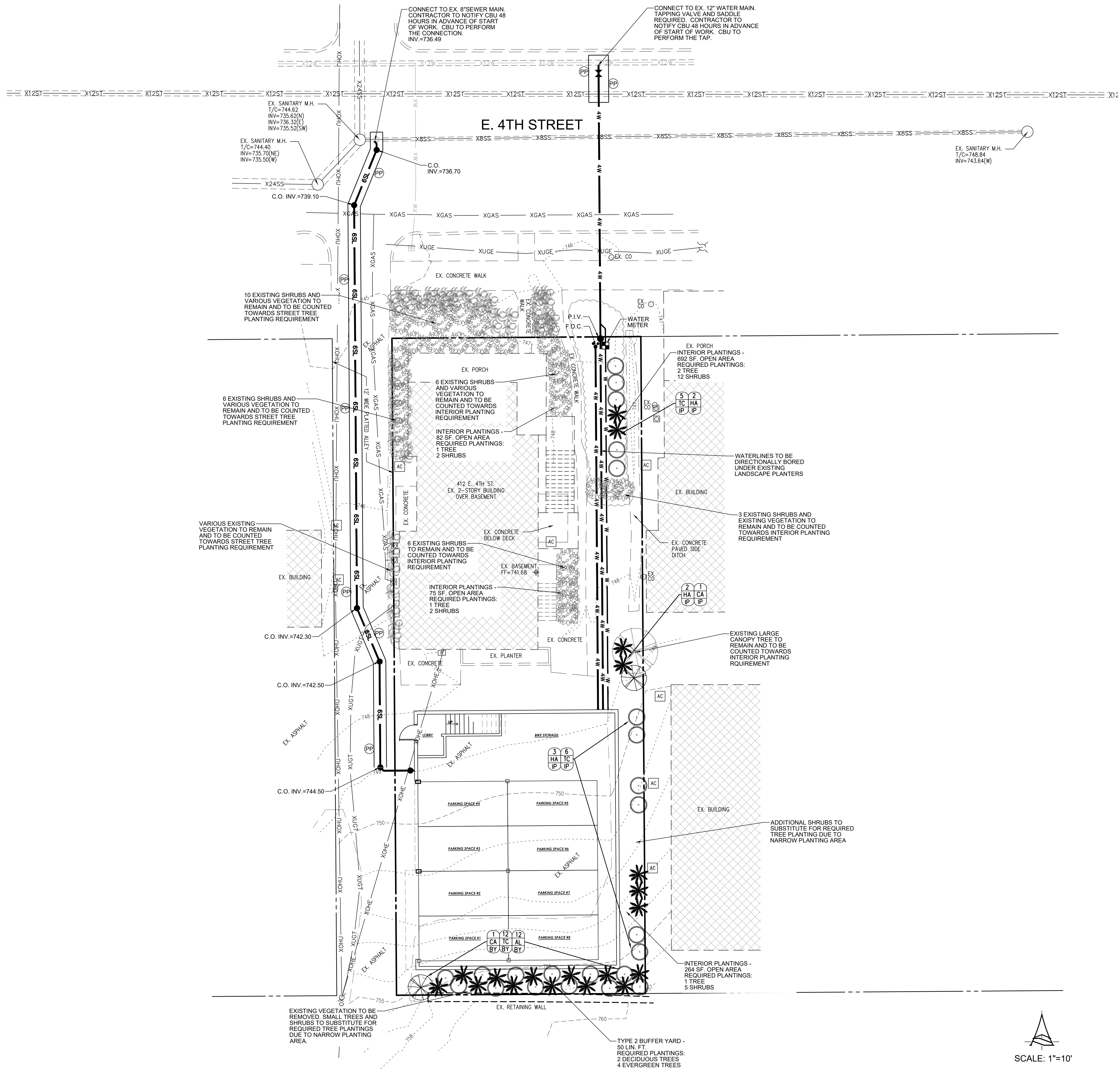
1. 240#3-TAB ASPHALT/FIBERGLASS SHINGLES, FASTENED W/ ONLY ROOFING NAILS AS PER SHINGLE SPEC. NO STAPLES!
2. 15# ROOFING FELT LAPPED AS PER MFG'S. SPEC'S.
3. WATER & ICE SHIELD MEMBRANE.
4. 5/8" OSB OR CDX PLYWOOD ROOF DECKING W/ H-CLIPS @ ALL SPANNING BUTT JOINTS @ MIDPOINTS BETWEEN ROOF FRAMING SUPPORTS.

**GENERAL ROOF PLAN NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE W/ THE BEST QUALITY STANDARDS OF THE TRADE & SHALL CONFORM W/ THE LATEST EDITION OF ALL FEDERAL, STATE, & LOCAL CODES & STANDARDS. THE SAME ARE MADE A PART OF THESE CONTRACT DOCUMENTS, AS REPEATED HEREIN.
- CONTRACT DOCUMENTS CONSIST OF BOTH THE PROJECT MANUAL & DRAWINGS, & BOTH ARE INTENDED TO BE COMPLEMENTARY. ANYTHING APPEARING ON EITHER MUST BE EXECUTED THE SAME AS IF SHOWN ON BOTH.
- CONSTRUCTION DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE, HOWEVER SYSTEMS HAVE BE SHOWN DIAGRAMMATICALLY & IN SOME CASES, ENLARGED FOR CLARITY. PROVIDE ADOT'L. ITEMS AS REQ'D. TO PROVIDE A COMPLETE & COORDINATED SYSTEM.
- CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM THE BLDG. & ROOF DAILY.
- STORE VOLATILE OR FLAMMABLE LIQUIDS IN UL LISTED FIRE CABINETS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF ALL STORED MATERIALS & EQUIP. INSIDE OR OUTSIDE THE BLDG.
- CONTRACTOR SHALL FURNISH NECESSARY TEMPORARY PROTECTION FROM WEATHER TO PROTECT INTERIOR OF BLDG. FROM ELEMENTS OF WEATHER @ ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC PROTECTION DURING CONSTRUCTION. AREAS OF WORK & TRAFFIC BY VARIOUS TRADES SHALL BE PROTECTED BY TEMPORARY WALKING PADS.
- PROVIDE TR. WD. BLOCKING EQ. IN THICKNESS TO INSUL. SYSTEM @ ROOF PERIMETER & AROUND ALL ROOF PENETRATIONS. ANCHOR PER SECTION 1-49 OF THE FM GLOBAL LOSS PREVENTION GUIDE.
- EXTEND ALL PLUMBING VENTS TO PROVIDE A MIN. OF 12" OF HT. FROM TOP OF INSUL. ALL FITTINGS TO BE AIR & WATER TIGHT. SEE PLUMBING PLANS.
- ROOF INSUL. SHEDDLES & CRICKETS ARE DIAGRAMATIC. ROOF INSUL. MFG'S. SHALL DESIGN & SIZE THESE PER ROOF MEMBRANE MFG'S RECOMMENDATIONS. CRICKETS & SADDLES TO BE A MIN. WIDTH OF 1/2 THE SADDLE LENGTH.
- PROVIDE SADDLES/CRICKETS AROUND ALL NEW ROOF TOP EQUIPMENT.
- PROVIDE TAPERED INSUL. WHERE REQ'D. TO TRANSITION FROM ONE INSUL. HT. TO ANOTHER.
- NOTCH ALL INSUL. AS REQ'D. TO ACCOMMODATE SURFACE MTD. CONDUIT, FASTENERS, OFFSETS & OTHER PROJECTIONS EXTENDING ABOVE THE SURFACE OF THE DECK.
- PERMETER EDGE MTL. TO COMPLY WITH ANSI/SPRI ES-1 FM GLOBAL 1-49.
- SEE MECHANICAL, ELECTRICAL & PLUMBING (MEP) SHEETS FOR ROOF TOP EQUIP.

PROJECT NO.	3419
DATE	JANUARY 24, 2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	ROOF PLAN
SHEET NO.	AE121

**AE121**



### GENERAL LEGEND

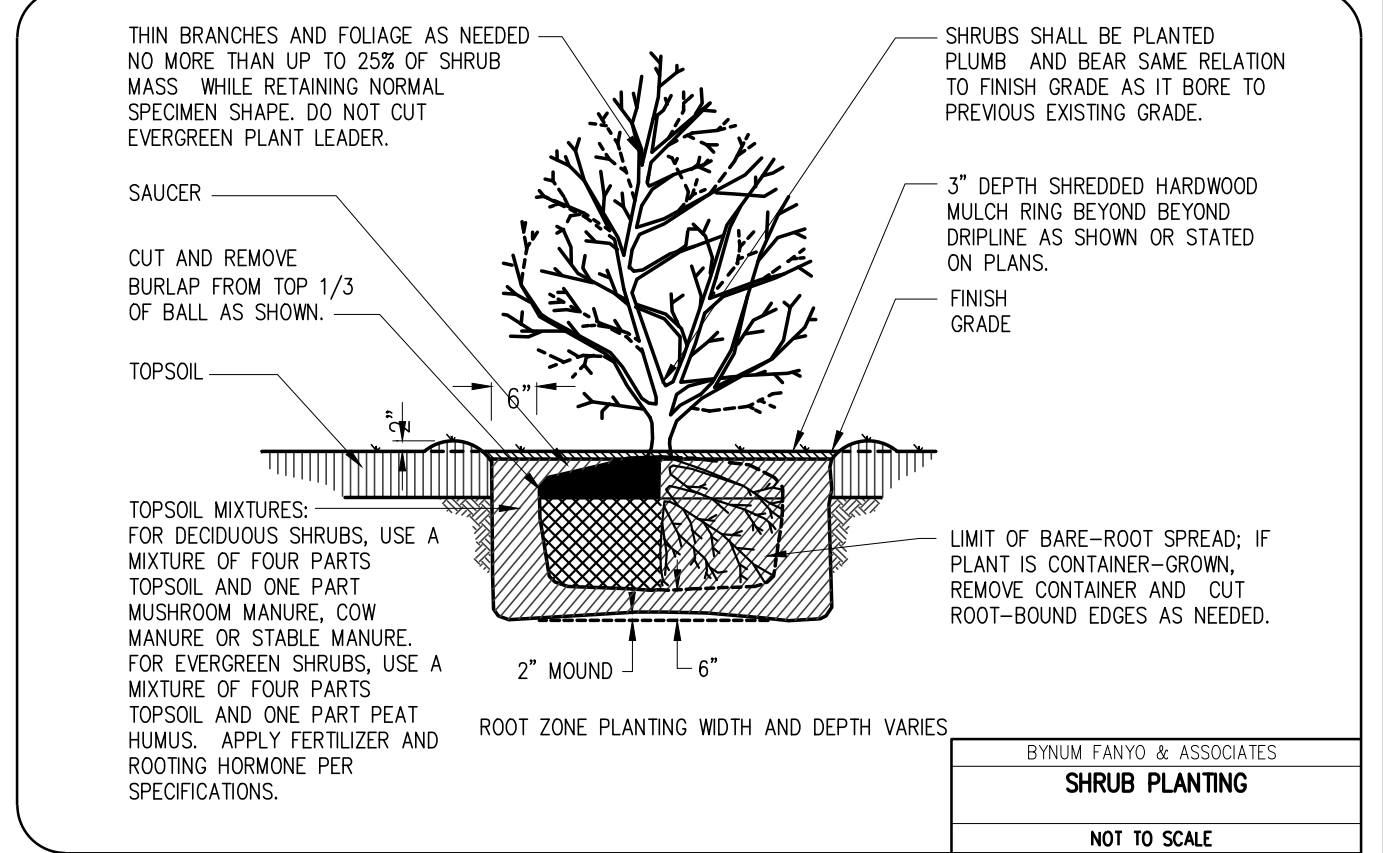
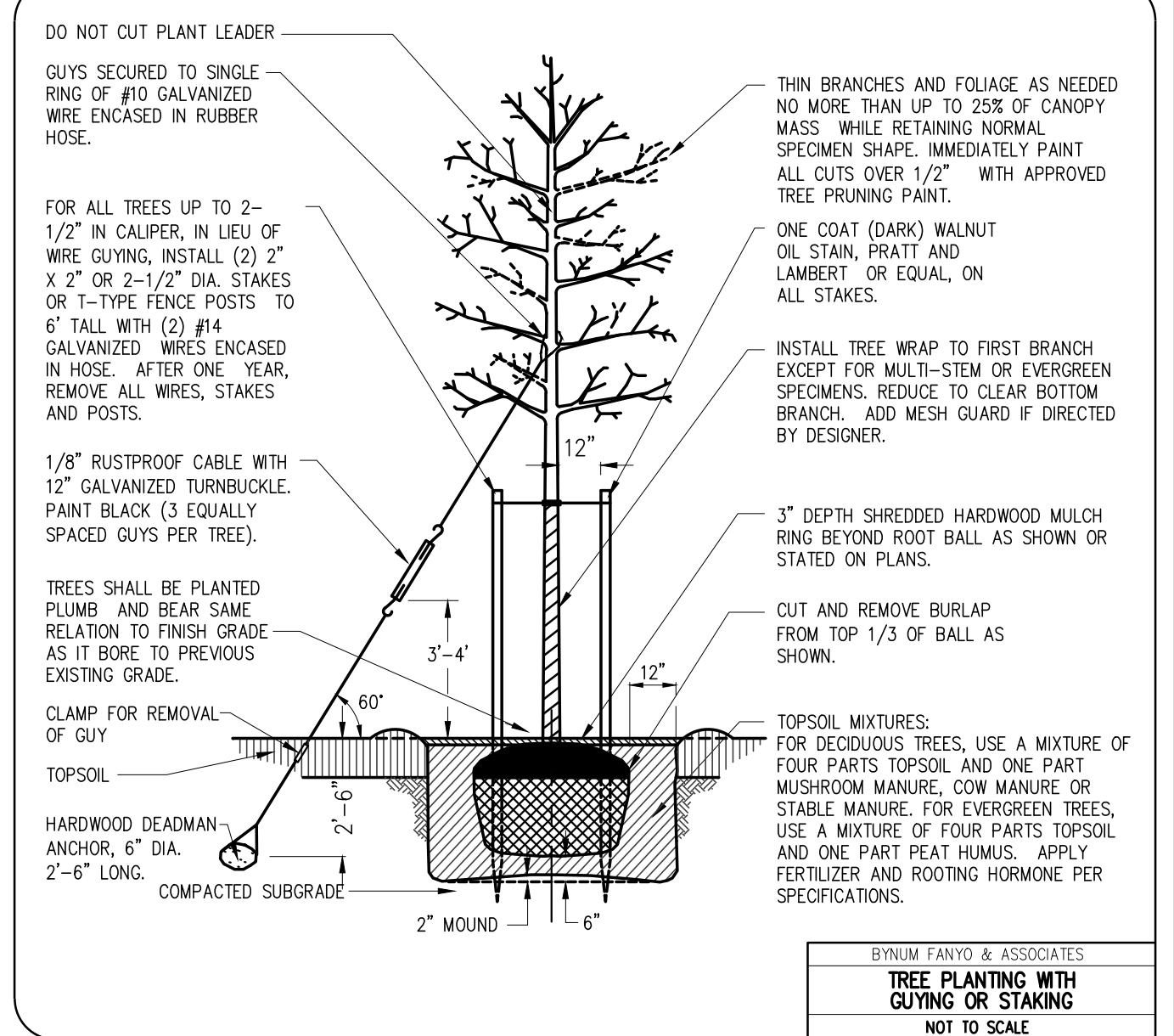
- PROPERTY LINE
- PROPERTY LINE
- XXX/XXX DEED BOOK AND PAGE
- T.B.R. TO BE REMOVED
- T.R.U. TO REMAIN UNDISTURBED
- X' SBL SETBACK LINE
- PROPOSED ACCESSIBLE PARKING SPACE
- S.S.E. SANITARY SEWER EASEMENT
- G.E. GAS EASEMENT
- W.L.E. WATER LINE EASEMENT
- E.E. ELECTRIC EASEMENT
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT

### PLANT LIST & LEGEND

SMALL / MEDIUM DECIDUOUS TREES					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
	CA	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	2	2" CAL., B & B
DECIDUOUS SHRUBS					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
	HA	HYDRANGIA ARBORESCENS	WILD HYDRANGIA	7	1 GALLON CONTAINER
	AL	ASTER LAEVIS	SMOOTH ASTER	12	1 GALLON CONTAINER
EVERGREEN SHRUBS					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
	TC	TAXUS CANADENSIS	CANADIAN YEW	23	18" HEIGHT*

[XX] PLANT QUANTITY (SPACED EVENLY)  
 [X] PLANT KEY (TYPE)  
 [X] REQUIREMENT DESIGNATION (AS SEEN BELOW)  
 P=INTERIOR PLANTINGS  
 S=STREET TREES  
 PB=PARADE LOT PLANTINGS (NO REQUIRED BUFFERYARD PLANTINGS)

\*CONTAINER OR BALL AND BURLAP CONDITION ACCEPTABLE  
 EXISTING SHRUBS  
 EXISTING VEGETATION  
 PROPOSED LIGHTING LOCATION - REFER TO THE SITE LIGHTING PLAN FOR MORE INFORMATION AND SPECIFICATIONS  
 INTERIOR PLANTING REQUIREMENTS- 500 SQUARE FEET OF OPEN SPACE = 1 CANOPY TREE AND 8 SHRUBS (50% EVERGREEN)



revisions:

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

BYNUM FANYO & ASSOCIATES, INC.  
528 north walnut street  
(812) 332-8030

certified by:

PROPOSED  
412 E. 4TH STREET  
BLOOMINGTON, INDIANA 47408

title: SITE PLAN

designed by: XXX  
drawn by: XXX  
checked by: XXX  
sheet no: C301  
project no.: 402114





## BLOOMINGTON BOARD OF ZONING APPEALS

### Petitioner's Statement

Concerning the petition of 4<sup>th</sup> Street Properties for the purpose of consideration of their Petition for the property located at 412 East 4th Street, Bloomington, Indiana.

#### **Location**

The project site currently has a recently renovated two story existing structure within the University Village overlay zone. It is located on East 4th Street in the restaurant row site, within two blocks of the Indiana University campus.

#### **Background**

We are proposing to build a new 3 story mixed structure behind the primary structure with two, four bedroom apartments, over a first floor of parking, recycling area and parking area. The lot currently has a paved parking lot where the structure will be placed. The site is withing walking distance to Indiana University and is surrounded by other similar structures either built behind their primary buildings along 4<sup>th</sup> Street, or have structures with main level retail or restaurant use and apartments located above them.

#### **Design**

The new structure will provide two, four bedroom apartments that the new UDO classifies as student housing. Our Maximum allowable impervious surface is 85% and this will be met. We are also following the University Village guidelines and use specific standards, with gable roofs, cement board exterior siding material, and an architectural style that compliments the adjoining Restaurant Row designs of large houses that have been remodeled into retail and housing units. This location is walking distance to great shopping and retail centers downtown as well as the university. The Unified Development Ordinance has listed as an objective in the University Village Overlay description:

**“Promote infill and redevelopment of sites using moderate residential densities for the University Village area and high residential densities along the Kirkwood Corridor”**

We believe this proposal is ideally positioned to meet this objective as part of the Restaurant Row corridor. This infill development allows for residential uses within our city's core where development is best served by not only existing infrastructure but by public transportation.

## **Green Building Initiatives**

The proposed project will have a shared on-site recycling area for all tenants as well as high efficiency HVAC units, a secure and very visible bicycle storage area, and utilize materials that qualify as green building materials as is feasibly possible.

## **Density (Student Housing)**

Our solution to reducing trips by car, and traffic, to make a more walkable downtown, to put students near campus where the New UDO seeks to develop housing for students is to place units on the rear of an existing site, where we already have a impervious paved parking lot. These units provide density downtown-where we want to locate density and will provide a unique vitality to a stretch of Dunn Street that needs pedestrians and residents.

Why we need greater density near campus and downtown.

“Density,” to urban planners means areas where people congregate – where they work, live, eat, drink, shop, hang out, walk their dogs, stroll and run. It’s all part of that urban energy that creates and invites more projects – apartments, hotels, stores, office buildings and, especially, mixed-use projects – to get developed.

You need a “critical mass” of uses established. This means making certain that visitors can find enough to do for 4 to 6 hours, that residents daily needs can be comfortably met; and that rents and sales prices continue to justify new construction or renovation.

Ultimately, reaching critical mass means that the redevelopment process is unstoppable and cannot be reversed. At that point, an upward spiral begins to create a “buzz,” that increases the number of people on the streets, raises land and property values, and makes the community feel safer. This contrasts starkly with suburban development, where more is worse. The lure of the suburbs is lawns, open space, and the freedom to travel by car. But adding more activity brings a geometric increase in automobile trips, more congestion, pollution, inconvenience, and the destruction of the very features that enticed residents and businesses to the suburbs in the first place. Our downtown needs to always be the place that is vibrant, full of people with jobs and choices in those places to live.

## **Changing mindsets towards density**

A report from the Urban Land Institute (ULI) called Density: Drivers, Dividends and Debates. States that the populations of the world’s cities will only keep rising, well planned and properly managed densification is something which can provide a workable way of dealing with an increasingly pressing challenge.

*“In most cases, density is the best way to accommodate economic change and population growth, providing the optimal returns for society and the environment while also creating value that can be captured and shared, and making our cities more flexible,” says ULI Europe CEO Lisette van Doorn. “But the world does not yet know how important densification is or how it can best be achieved.”*

*“Good density will mark out the next generation of winning cities,” says Rosemary Feenan, Director of Global Research for JLL and Chair of the ULI Europe Policy and Practice Committee. “Norms and ingrained behaviors are slowly changing, moving away from car-centric sprawling planning towards more environmentally-focused, high-density developments.”*

The hardest challenge though is shifting negative public attitudes and showing there's more to modern densification than the dreary concrete jungles of yesteryear. We need to allow for different types of units, different design styles, to achieve these densities in our downtown instead of creating even more urban sprawl.

Thank you for the opportunity to submit the proposed development for review. We look forward to working together on this Development. We kindly ask for your approval of our request.

Sincerely,

Doug Bruce  
Architect  
Tabor/Bruce Architecture & Design







**FOR LEASE**  
Remodeled Retail / Office  
1,000 sq. ft.  
568  
www.568.com

12/04/2020 12:29

**COA: 21-45**  
**STAFF RECOMMENDATIONS**

Address: “Zenos and Emma Uland House”  
516 W 3rd St

Petitioner: Pat Glushko and John McDowell

**Rating:**

Parcel #: 53-05-32-413-003.000-005

Survey: C. 1936, T-plan cottage



**Background:** House is located on 3rd Street within the Prospect Hill Historic District.

**Request:** Installation of solar panels and supporting equipment on roof.

**Guidelines: Prospect Hill Historic District (Pg. 7)**

**Service and Mechanical Equipment**

Appropriate

Locate service, mechanical, electrical, or technical equipment such as solar collectors, satellite dishes, central air conditioning equipment, or heat exchangers so that they are not visible from the street; screen them so they do not disrupt the integrity of the site or architecture.

Inappropriate

Avoid placement of service, mechanical, electrical, or technical equipment in obtrusive positions on roofs.

**Guidelines: The Secretary of the Interior’s Standards for Rehabilitation (Solar Technology)**

Installing solar roof panels horizontally—flat or parallel to the roof—to reduce visibility.

Staff recommends approval of COA 21-45:

- The proposed solar panels are obtrusive and visible from the street. However, the front of the building is south facing which is considered preferable for solar panels.
- The preservation of both historic and ecological resources need to be balanced.



## ENVIRONMENT

### PARKING

#### Appropriate

*Construct parking lots in rear or side yard areas: they should be paved and screened so as to maintain building, site, and neighborhood relationships.*

#### *Inappropriate*

---

*Parking lots constructed in visually conspicuous areas are inappropriate.*

### LIGHTING

#### Appropriate

Appropriate exterior lighting is low intensity in nature and is directed to specific areas to minimize bleeding into surrounding space.

#### *Inappropriate*

*Conspicuous, high-intensity overhead lights are inappropriate.*

## SERVICE AND MECHANICAL EQUIPMENT

#### Appropriate

Locate service, mechanical, electrical, or technical equipment such as solar collectors, satellite dishes, central air conditioning equipment, or heat exchangers so that they are not visible from the street; screen them so they do not disrupt the integrity of the site or architecture.

#### *Inappropriate*

*Avoid placement of service, mechanical, electrical, or technical equipment in obtrusive positions on roofs.*

# Technical Preservation Services



[Home](#) > [The Standards](#) > [Rehabilitation Standards & Guidelines](#) > [Sustainability](#) > Solar Technology



**Not Recommended** Although installing solar panels behind a rear parking lot might be a suitable location in many cases, here the panels negatively impact the historic property on which they are located.



**Recommended** Solar panels were installed appropriately on the rear portion of the roof on this historic row house that are not visible from the primary elevation.



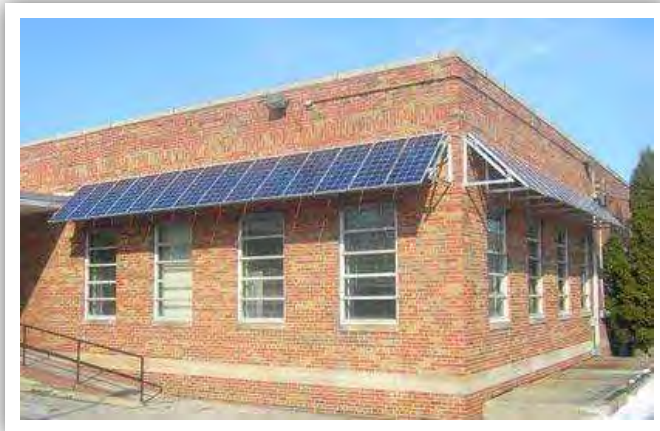
**Recommended** Solar panels were installed appropriately on the rear portion of the roof on this historic row house that are not visible from the primary elevation.



**Recommended** Free-standing solar panels have been installed here that are visible but appropriately located at the rear of the property and compatible with the character of this industrial site.



**Not Recommended** Solar roof panels have been installed at the rear, but because the house is situated on a corner, they are highly visible and negatively impact the character of the historic property.



**Recommended** Solar panels, which also serve as awnings, were installed in secondary locations on the side and rear of this historic post office and cannot be seen from the front of the building.

**Recommended** Solar panels, which also serve as awnings, were installed in secondary locations on the side and rear of this historic post office and cannot be seen from the front of the building.



**Recommended** Solar panels placed horizontally on the roof of this historic building are not visible from below.



**Not Recommended** Although installing solar panels behind a rear parking lot might be a suitable location in many cases, here the panels negatively impact the historic property on which they are located.



**Recommended** Solar panels were installed appropriately on the rear portion of the roof on this historic row house that are not visible from the primary elevation.



**Recommended** Solar panels were installed appropriately on the rear portion of the roof on this historic row house that are not visible from the primary elevation.

## Solar Technology

---

### Recommended

Considering on-site, solar technology only after implementing all appropriate treatments to improve energy efficiency of the building, which often have greater life-cycle cost benefit than on-site renewable energy.

Analyzing whether solar technology can be used successfully and will benefit a historic building without compromising its character or the character of the site or the surrounding historic district.

Installing a solar device in a compatible location on the site or on a non-historic building or addition where it will have minimal impact on the historic building and its site.

Installing a solar device on the historic building only after other locations have been investigated and determined infeasible.

Installing a low-profile solar device on the historic building so that it is not visible or only minimally visible from the public right of way: for example, on a flat roof and set back to take advantage of a parapet or other roof feature to screen solar panels from view; or on a secondary slope of a roof, out of view from the public right of way.

Installing a solar device on the historic building in a manner that does not damage historic roofing material or negatively impact the building's historic character and is reversible.

Installing solar roof panels horizontally—flat or parallel to the roof—to reduce visibility.

Investigating off-site, renewable energy options when installing on-site solar devices would negatively impact the historic character of the building or site.

### Not Recommended

Installing on-site, solar technology without first implementing all appropriate treatments to the building to improve its energy efficiency.

Installing a solar device without first analyzing its potential benefit or whether it will negatively impact the character of the historic building or site or the surrounding historic district.

Placing a solar device in a highly-visible location where it will negatively impact the historic building and its site.

Installing a solar device on the historic building without first considering other locations.

Installing a solar device in a prominent location on the building where it will negatively impact its historic character.

Installing a solar device on the historic building in a manner that damages historic roofing material or replaces it with an incompatible material and is not reversible.

Removing historic roof features to install solar panels.

Altering a historic, character-defining roof slope to install solar panels.

Installing solar devices that are not reversible.

Placing solar roof panels vertically where they are highly visible and will negatively impact the historic character of the building.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-45  
Date Filed: 8/26/2021  
Scheduled for Hearing: 9/9/2021

\*\*\*\*\*

Address of Historic Property: 516 W 3rd St Bloomington, In 47404  
Petitioner's Name: John Mcdowell & Pat Glushko  
Petitioner's Address: 516 W 3rd St Bloomington, In 47404  
Phone Number/e-mail: 812-219-5744 / mango\_roo@yahoo.com  
Owner's Name: Mcdowell, John H. & Glushko , Patricia  
Owner's Address: 516 W 3rd St Bloomington, In 47404  
Phone Number/e-mail: 812-219-5744 / mango\_roo@yahoo.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A “Complete Application” consists of the following:

1. A legal description of the lot. 013-07190-00 ORIG PLAT E1/2 LOTS 72 & 71
2. A description of the nature of the proposed modifications or new construction:  
Installation of a photovoltaic system on the south facing planes of the main roof (over the main portion of the house)  
System components visible on the outside of the house consist of 13 solar modules (panels), the module racking system and  
possibly, electrical conduit. Conduit may be routed through the attic or over the roof edge, depending on requirements.

---

See attached graphics in appendix

3. A description of the materials used.  
Materials visible from outside the house are:  
\* 13 Panasonic 360 watt solar modules (panels) (EVPV360)  
\* SnapNrack racking system with flashings, rails, clamps, L-feet, and stainless steel hardware for flush mounting  
Other materials/equipment installed in the house:  
\* SolarEdge central inverters and power optimizers  
\* Online panel level system production & consumption monitoring  
\* Conduit, wiring, combiner boxes, disconnects, production meter, etc. required for proper operation

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

4. Graphics of the proposed modifications provided by Robert Nix of Whole Sun Designs, Inc.



The color coded Irradiance Image gives you a visual sense of which locations on the site have the highest solar potential and is therefore very useful to guide the design. Brighter colors (e.g. yellow) denote greater irradiance & solar access compared to darker orange colors.

5. image is a screenshot taken from the Elevate GIS system for Monroe County, IN. The property in question is outlined in the pink lined rectangle at the NE corner of the intersection of S Jackson St. and W 3rd St



6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification.



Looking northwest





Looking north



Looking east

**COA: 21-46**

**STAFF RECOMMENDATIONS**

Address: 340 S Euclid Ave.

Petitioner: Michael Dalton

Parcel #: 53-08-05-108-013.000-009

**Rating: CONTRIBUTING**

Survey: c. 1900 Gabled ell



**Background: The house is located in the Greater Prospect Hill Historic District**

**Request:** Replace siding, windows, doors, soffits, fascia, gutters, and downspouts

**Guidelines: Greater Prospect Hill Historic District Guidelines (pg. 25-26)**

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way facade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
2. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material’s character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.

3. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

Prioritize the retention of the roof's original shape as viewed from the public way façade. Chimneys may be removed unless they are an outstanding characteristic of the property.

### C. REMOVAL OF ORIGINAL MATERIALS

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles.

2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.

3. Regarding removal of original siding, we encourage flexibility. If the homeowner wishes to use another material, then it should be consistent with the appearance of the original material.

4. Horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.

5. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.

6. Vinyl or aluminum may be used as the primary exterior siding, although if underlying original materials remain (e.g., door and window trim, clapboard), care should be taken during installation of newer materials to protect them from cuts and removal (to preserve for possible future restoration). Vinyl and aluminum siding are also acceptable if used as a continuation of what is currently on the structure.

#### **Staff recommends conditional approval of COA 21-46:**

- The siding, windows, and doors to be replaced are not original.
- The replacements windows and doors keep with the scale and designs of existing fenestrations.
- The Hardieplank smooth lap siding maintains the scale of the current siding.
- Although there are accent shingle sidings on other historic structures, the proposed staggered edge shingle siding does not represent continuation with the building's existing sidings and therefore staff is not recommending its use.

## B. CHANGES TO THE PUBLIC WAY FAÇADE

*The following Public Way Façade guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.*

Changes to the public way façade shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

**Definition:** The **public way façade** refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
2. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
3. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

Prioritize the retention of the roof's original shape as viewed from the public way façade. Chimneys may be removed unless they are an outstanding characteristic of the property.

## C. REMOVAL OF ORIGINAL MATERIALS

*The following Removal of Original Materials guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.*

Removal of original materials shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: In general, **original material** refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles.
2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.
3. Regarding removal of original siding, we encourage flexibility. If the homeowner wishes to use another material, then it should be consistent with the appearance of the original material.
  - Horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
  - Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
  - Vinyl or aluminum may be used as the primary exterior siding, although if underlying original materials remain (e.g., door and window trim, clapboard), care should be taken during installation of newer materials to protect them from cuts and removal (to preserve for possible future restoration). Vinyl and aluminum siding are also acceptable if used as a continuation of what is currently on the structure.

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 21-46

Date Filed: 8/24/2021

Scheduled for Hearing: 9/9/21

RECEIVED  
AUG 24 2021  
BY: .....

\*\*\*\*\*

Address of Historic Property: 340 S Euclid Ave, Bloomington IN 47403

Petitioner's Name: Michael Dalton

Petitioner's Address: 340 S Euclid Ave, Bloomington IN 47403

Phone Number/e-mail: 812-219-7511 md1605@gmail.com

Owner's Name: same

Owner's Address: \_\_\_\_\_

Phone Number/e-mail: \_\_\_\_\_

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 015-23690-00 Prospect Park 2nd Lot 14
  
2. A description of the nature of the proposed modifications or new construction:  
Replace siding (currently aluminum siding, over asphalt, over wood) with Hardieplank lap siding.  
Replace windows (currently double-hung vinyl replacement windows installed mid-1980s) with new  
replacement windows (also double-hung vinyl) of identical dimensions.  
Replace both front doors (currently wood with single-pane glass) with wood doors with more  
energy-efficient glass.  
Replace soffits, fascia, gutters, and downspouts.  
No changes to the footprint of the existing structure. Work to be done by Sure Seal Contractors, Bloomington
  
3. A description of the materials used.  
Siding: Hardieplank lap siding, smooth, 7" lap, khaki brown (attached)  
Accent siding (gables): Hardieshingle siding, staggered edge, deep ocean (attached)  
Trim: Hardietrim boards, smooth, 6" at windows and corners, 10" at gable line, arctic white (attached)  
Windows: Viwintech series 2000 vinyl replacement windows  
Doors: Krosswood Douglas Fir 2 panel 6 lite Craftsman (attached)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
  
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.
  
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
  
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

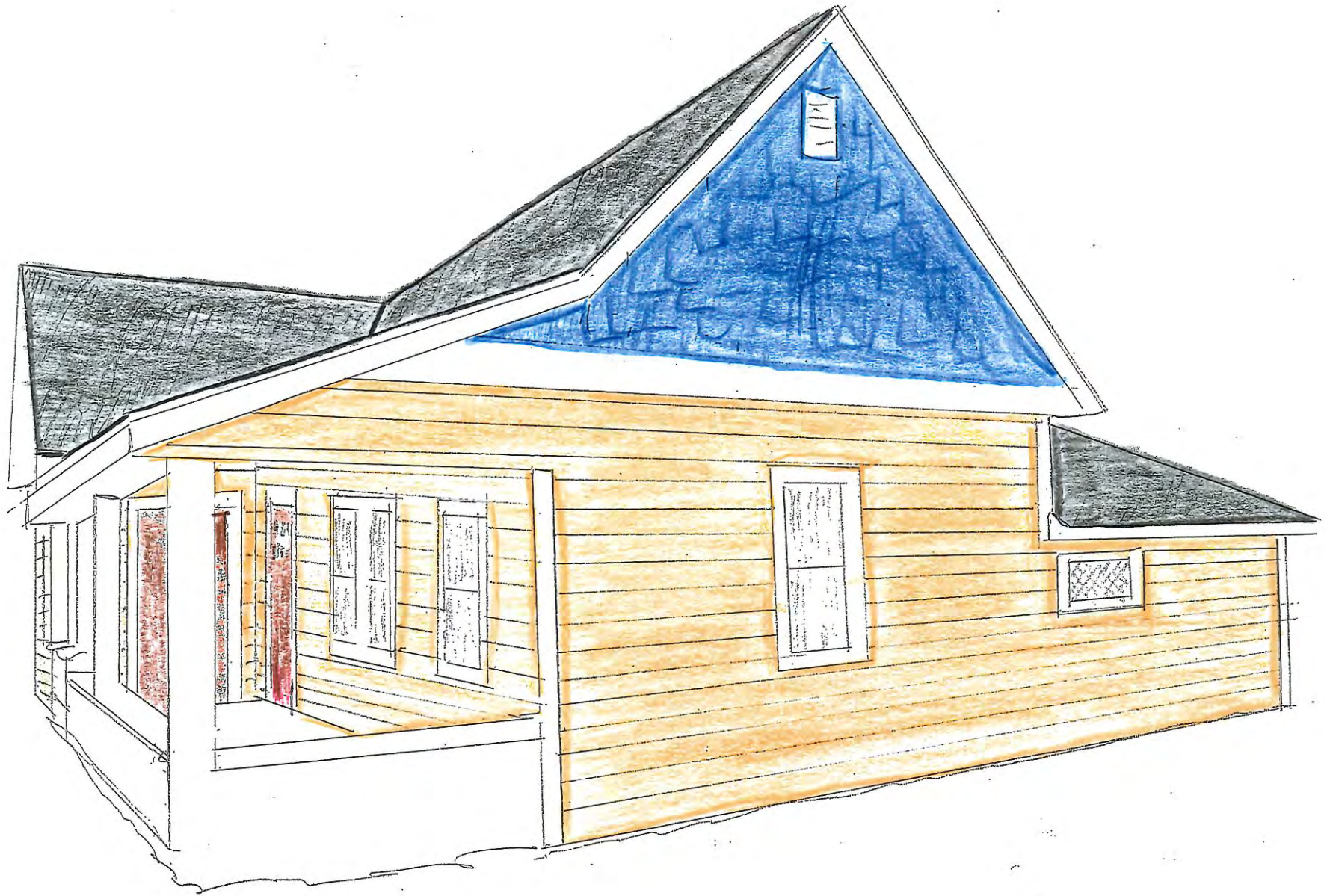
\*\*\*\*\*

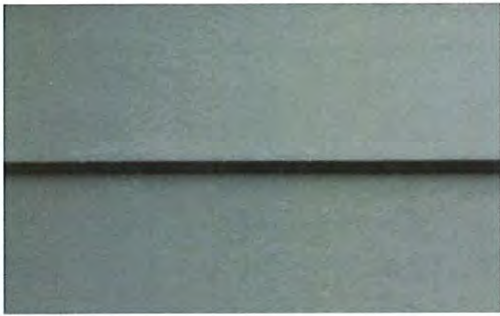
If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.











**HARDIEPLANK® LAP SIDING**

**SMOOTH**

You can't go wrong with this sleek, modern siding. Find the perfect color in our Statement Collection products or Dream Collection products. Or get it primed for paint.



**THE STATEMENT COLLECTION™**

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



**SIDING COLORS**

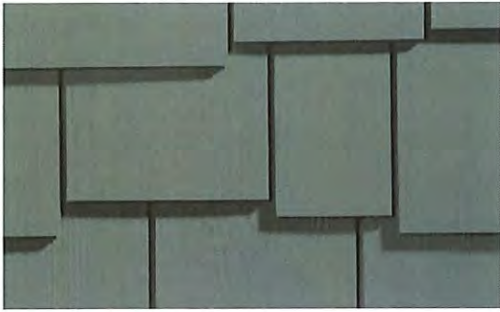
Khaki Brown



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.



HARDIESHINGLE® SIDING

## STAGGERED EDGE PANEL

This look is inviting and laid-back. It's versatile too: Choose it for a cottage, ranch home, or any home in between.



## THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



### SIDING COLORS

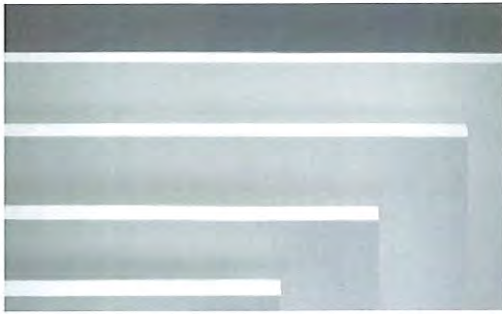
Deep Ocean



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.



#### HARDIETRIM® BOARDS

### 4/4 SMOOTH

This trim's simplicity never goes out of style. In a color from our Statement Collection products or Dream Collection products, it has even more staying power. Also available primed for paint.



## THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



#### TRIM COLORS

Arctic White



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

Questions? Call Us 520-514-2046

**EXTERIOR DOORS**

**INTERIOR DOORS**

**EXTERIOR DOUBLE**

**INTERIOR DOUBLE**

Account



★ REVIEWS

# Douglas Fir 2 Panel 6 Lite Craftsman Front Door

DF.550.30.68.134

Shipping calculated at checkout.





## 2000

- The 2000 window is our intermediate replacement window option. It is not available in single hung, but it is available in all other window styles.
- The 2000 features a 3 ¼" overall frame size and lead-free designer composite cam locks and keepers. The locks are certified lead-free and have a child safety lock option.
- The 2000 window includes fiberglass mesh screens and the Intercept® Warm Edge Glass Spacer System. This creates a good seal between the two glass panes, adding strength and durability to the glass. It also prevents moisture build up that can lead to condensation.

AVAILABLE STYLES:

COLOR OPTIONS:

EXTERIOR COLORS:

GRID OPTIONS:

GLASS OPTIONS:

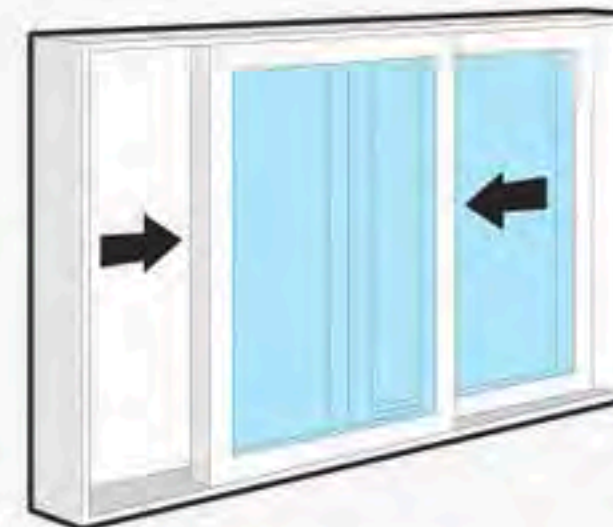
### AVAILABLE STYLES:



DOUBLE HUNG



PICTURE



DOUBLE GLIDER



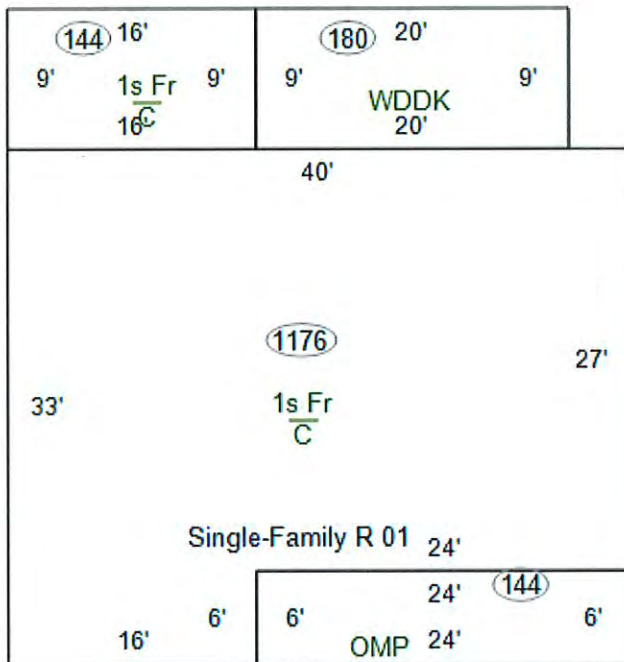






03/27/2017

ed Garage R 01





All siding on  
the main structure  
to be replaced

All windows  
replaced



All siding, windows, and doors to be replaced



All siding, windows, and  
doors to be replaced