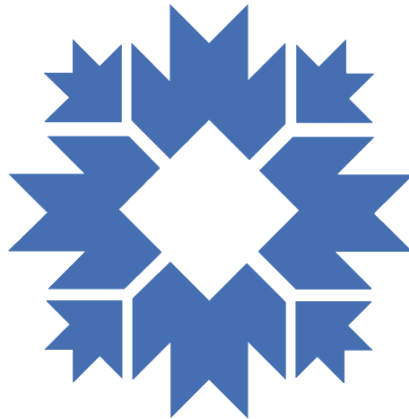


BHPC MEETING PACKET

Amended 9/22/2021



Thursday September 23, 2021

5:00 p.m.

Prepared by HAND Staff

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**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday September 23, 2021, 5:00 P.M.**

AGENDA

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. September 9, 2021 Minutes

IV. CERTIFICATES OF APPROPRIATENESS

Staff Approvals

A. COA 21-48

320 W 8th St, Showers Building (Showers Brothers Furniture Complex Local Historic District)

Petitioner: CFC Properties

Installation of Pedestal Mailbox

B. COA 21-49

922 W 8th St. (Near West Side Conservation District)

Petitioner: Rashid Maidi and Dawood Maidi

New deck, back of building

Commission Review

C. COA 21-42

414 W Dodds St. (McDoel Historic District)

Petitioner: Bob Shaw

Lifting a structure in place

D. COA 21-44

412 E 4th St. (Restaurant Row Local Historic District)

Petitioner: Shawn Eurton

New Construction

E. COA 21-47

1302 E 2nd St. (Elm Heights Historic District)

Petitioner: John Wiebke

Build stand alone storage shed in back yard

F. COA 21-51

1319 E 1st St. (Elm Heights Historic District)

Petitioner: Darrin C. Ricketts

Tuck pointing, remove air conditioning unit, restore limestone wall, replace concrete sidewalk with limestone

G. COA 21-52

601 W 4th St. (Greater Prospect Hills Historic District)

Petitioner: Lindsey Muller

Replacement of back deck

H. COA 21-53

601 W 4th St. (Greater Prospect Hills Historic District)

Petitioner: Lindsey Muller

Window Replacement

- I. COA 21-54**
601 W 4th St. (Greater Prospect Hills Historic District)
Petitioner: Lindsey Muller
Moving the main entryway
- J. COA 21-55**
601 W 4th St. (Greater Prospect Hills Historic District)
Petitioner: Marc Cornett
Barn demolition and garage construction
- K. COA 21-56**
344 S Rogers St. (Prospect Hill Historic District)
Petitioner: Sonja Johnson and Keith Stolberg
Gutter Replacement
- L. COA 21-57**
1114 W Kirkwood Ave. (Near West Side Conservation District)
Petitioner: Reina Wong
New Shed
- M. COA 21-58**
“Paris Dunning House” 608 W 3rd St. (Prospect Hill Historic District)
Petitioner: Nicholas Bauer
Roof Shingle Replacement
- N. COA 21-59**
“Henderson House” 748 S Morton St. (McDoel Historic District)
Petitioner: James Rosenbarger
Addition
- O. COA 21-60**
619 E 1st St. (Elm Heights Historic District)
Petitioner: Charles Brandt and Theresa Bent
Garage demolition, new construction
- P. COA 21-61**
208 E 16th St. (Garden Hill Historic District)
Petitioner: Lisa Freeman
Renovate front porch and entryway, add retaining wall and 6 diagonal parking spaces, replace windows, siding, eliminate existing sidewalk in yard
- V. DEMOLITION DELAY**
- VI. NEW BUSINESS**
 - A.** 816 and 812 W Kirkwood Ave. (Near West Side Historic District)
Mike Boisvenue
Consultation on potential demolition request
- VII. OLD BUSINESS**
 - A.** Discussion of 2001 East Hillside Drive, House 8 (The Faris House) for Local Designation
 - B.** Johnson Creamery Update
- VIII. COMMISSIONER COMMENTS**
- IX. PUBLIC COMMENTS**
- X. ANNOUNCEMENTS**

XII. ADJOURNMENT

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Next meeting date is October 14, 2021 at 5:00 P.M. and will be a teleconference via Zoom.

Posted: 9/16/2021

**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday September 9, 2021, 5:00 P.M.**

AGENDA

I. CALL TO ORDER

Meeting was called to order by Chair, **Jeff Goldin @ 5:03 p.m.**

II. ROLL CALL

Commissioners Present:

Jeff Goldin
Elizabeth Mitchell
Chris Sturbaum
Sam DeSollar
Reynard Cross
John Saunders
Lee Sandwiess (Entered Meeting @ 5:15 p.m.)

Advisory Members Present:

None Present

Staff Present:

Gloria Colom, HAND
John Zody, HAND
Brent Pierce, HAND
Dee Wills, HAND
Daniel Dixon, City Legal Department

Guests Present:

CATS
Robert Nix
Paula Worley
John McDowell
Pat Glushko
Leighla Taylor
Michael Dalton
Terry Bradburry

III. APPROVAL OF MINUTES

A. August 26, 2021 Minutes

John Saunders made a motion to approve **August 26, 2021 Minutes**.

Chris Sturbaum seconded.

Motion Carries: 6 Yes (Sturbaum, Saunders, DeSollar, Mitchell, Cross, Goldin), 0 No, 0 Abstain

IV. CERTIFICATES OF APPROPRIATENESS

Commission Review

A. COA 21-41

101 W Kirkwood Ave. (Courthouse Square Historic District)

Petitioner: Leighla Taylor, FASTSIGNS

Signage

Gloria Colom gave presentation. See packet for details.

Leighla Taylor gave details about the materials and dimensions used for the signage. **Chris Sturbaum** asked what was used for the back of the signage, and if the lettering projected. **Leighla Taylor** replied that it was a wooden back painted black, and the letters project one half inch thick. **Sam DeSollar** asked about an acrylic sticker on the window that was mentioned in a photograph. **Leighla Taylor** clarified.

Chris Sturbaum commented that the signage was compatible. Sam DeSollar commented that he would support the petition. **John Saunders, Elizabeth Mitchell, Reynard Cross, and Jeff Goldin** also agreed to support.

John Saunders made a motion to approve **COA 21-41**.

Elizabeth Mitchell seconded.

Motion Carries: 6 Yes (Sturbaum, Saunders, DeSollar, Mitchell, Cross, Goldin), 0 No, 0 Abstain.

B. COA 21-42

414 W Dodd St. (McDoel Historic District)

Petitioner: Bob Shaw

Lifting Structure

Gloria Colom gave presentation. See packet for details.

Petitioner Bob Shaw was not present.

John Saunders made a motion to **Table COA 21-42**.

Sam DeSollar seconded.

Motion Carries: 6 Yes (Sandwiess, Sturbaum, Saunders, DeSollar, Cross, Goldin)

C. COA 21-43

347 S Maple St. (Greater Prospect Hill Local Historic District)

Petitioner: Paula Worley

Replace crumbling red tile block with split face grey cement block

Gloria Colom gave presentation. See packet for details.

Paula Worley stated that she was surprised by the recommendation of the red tile replacement, since split faced cement or cement block was discussed.

Paula Worley stated that the major exterior wall that needs replaced is on the south side and maybe a few tiles on the other sides. **Chris Sturbaum** stated that they had modified the scope and gave more details of the property and the work to be done. See packet for details.

Sam DeSollar asked about the color of the cement or limestone, and if anyone in the neighborhood had commented about the project. **Gloria Colom** explained that she has not gotten back any feedback because of having contact issues. **Sam DeSollar** asked for clarification about replacing the entire south wall and leaving the other walls in place under the scope of this COA. **Chris Sturbaum** stated that the masons could run into something that they did not anticipate. More discussion ensued. See packet for details.

Sam DeSollar commented that he would support this COA. **John Saunders, Elizabeth Mitchell, Jeff Goldin, and Reynard Cross** all support this project.

Sam DeSollar made a motion to approve COA 21-43.

John Saunders seconded.

Motion Carries: 6 Yes (Sandwiess, Saunders, DeSollar, Mitchell, Cross, Goldin) 0 No, 1 Abstain (Sturbaum)

COA 21-44

412 E 4th St. (Restaurant Row Local Historic District)

Petitioner: Shawn Eurton

New Construction

Gloria Colom gave presentation. See packet for details.

Petitioner Shawn Eurton was not present.

Sam DeSollar made a motion to Table COA 21-44.

John Saunders seconded.

Motion Carries: 6 Yes (Sandwiess, Sturbaum, Saunders, DeSollar, Cross, Goldin) 0 No, 0 Abstain.

D. COA 21-45

516 W 3rd St. (Prospect Hill Historic District)

Petitioner: Pat Glushko and John McDowell

Installation of solar panels on the roof

Gloria Colom gave presentation. See packet for details.

Chris Sturbaum asked for clarification on the placement of the panels.

Rober Nix explained that the picture illustration was color coded to show where the placement of the panels would be the most optimal. More discussion ensued about placement. See packet for details. **Elizabeth Mitchell** asked if there were other solar panels in the neighborhood.

Chris Sturbaum commented that he has always tried to balance preservation and ecology like this, and that he is seeing these more as removable objects, and that in twenty years there may be a different way of collecting energy. **Sam DeSollar** commented that as long as they are not destroying original roof material he has no issues. **John Saunders, Elizabeth Mitchell, Reynard Cross** and **Jeff Goldin** all concurred.

Sam DeSollar made a motion to approve COA 21-45.

Lee Sandwiess seconded.

Motion Carries: 7 Yes (Sandwiess, Sturbaum, Saunders, DeSollar, Mitchell, Cross, Goldin), 0 No, 0 Abstain.

E. COA 21-46

340 S Euclid Ave. (Greater Prospect Hill Local Historic District)

Petitioner: Michael Dalton

Replace siding, windows, and two front doors

Gloria Colom gave presentation. See packet for details.

Chris Sturbaum stated that the scale of the siding is inappropriate being 8 inches and that 4 inch cement siding would reflect the age of the structure and the context of the neighborhood. **Chris Sturbaum** stated that the windows had been shortened and questioned if the **Petitioner** would be interested in making them tall again. **Chris Sturbaum** asked if the **Petitioner** would consider the 4 inch cement siding. **Michael Dalton** stated that he would be happy to do the 4 inch cement siding, but he planned on replacing the windows with the same size. More discussion ensued. See packet for details.

Chris Sturbaum asked more questions about the materials used for the gables. **Sam DeSollar** commented that he was glad the **Petitioner** was willing to use 4 inch cement siding which is more historically correct. **Jeff Goldin** commented that with the exception of using 4 inch lap, he is good with the proposal as is.

Sam DeSollar made a motion to approve **COA 21-46** with 4 inch lap siding.

Lee Sandwiess seconded.

Motion Carries: 5 Yes (Sandwiess, Saunders, DeSollar, Cross, Goldin), 1 No (Sturbaum), 0 Abstain.

V. DEMOLITION DELAY

VI. NEW BUSINESS

Gloria Colom stated that owners of the **Faris House** want to do some alterations to the exterior auxiliary structures, not touching the original structures. **Gloria Colom** stated that the owners have decided to nominate the structure for historic district and that it will be presented at the next meeting. More discussion ensued. See packet for details.

VII. OLD BUSINESS

A. Thomas Smith House Designation

Common Council

September 1, 2021

Ordinance 21-32

Gloria Colom announced that the **Thomas Smith House** was now part of the **Historic Registry**.

Terry Bradburry presented a new preliminary plan drawing for the previously heard **Petition COA 21-38, 805/807 S Rogers Street (McDoel Historic District)**

Discussion ensued. See packet for details.

VIII. COMMISSIONER COMMENTS

Chris Sturbaum made some comments about architects working for clients. **Sam DeSollar** asked about following through with violations. **Daniel Dixon** stated that they are working on this with **Gloria Colom**.

IX. PUBLIC COMMENTS

X. ANNOUNCEMENTS

XII. ADJOURNMENT

Meeting was adjourned by **Jeff Goldin @ 7:52 p.m.**

END OF MINUTES

Video record of meeting available upon request.

COA: 21-48
STAFF APPROVAL

Address: 320 W 8th St., Showers Building

Petitioner: CFC Properties

Parcel #: 53-05-33-309-003.000-005

Rating: NOTABLE

Survey: c. 1909/1920, 20th Century Industrial



Background: Showers Brothers Furniture Complex Local Historic District

Request: Installation of Pedestal Mailbox

Guidelines: Showers Brothers Furniture Complex Historic District Guidelines (pp. 16-17)

- In general, new construction should reflect the period in which it was built and should not necessarily be imitative of an earlier style, period, or method of construction. However, new construction shall strive to relate to the urban context and the particular streetscape of which it is a part in building height, massing, setback, rhythm, scale, proportions, and materials.
- The guidelines do not specifically address mailboxes. However, they do reference signage, which is encouraged to be free standing when possible so as to reduce the impact on the historic masonry.

Staff APPROVES COA 21-48:

- The proposed mail box would be placed on the ground rather than on the historic masonry. It would not cover or detract from historic features.

6. Guidelines for Additions to Existing Structures

Goal: The intent of these guidelines is to allow for the creation of additional space that is compatible with the massing, materials, texture, and scale of historic material; to guide the form and design of all new additions to the buildings; and, to ensure that new construction is compatible with the historic physical character of the building, allowing for contemporary expression.

A. Additions to Existing Structures

1. These guidelines apply only to facades that are open to view from any existing or proposed street or way that is open to public travel.
2. According to Standard 9 of the Secretary of the Interior Standards for Rehabilitation, additions should be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the building.
3. In general, new construction should reflect the period in which it was built and should not necessarily be imitative of an earlier style, period, or method of construction. However, new construction shall strive to relate to the urban context and the particular streetscape of which it is a part in building height, massing, setback, rhythm, scale, proportions, and materials.
4. New construction has the potential for reinforcing and enhancing the unique character of the historic buildings. Proposals for new construction will be reviewed for compatibility with the existing architecture including review of such critical factors as building materials, existing buildings, visual association and urban context.
5. New construction that is affixed to any portion of an existing building shall be designed so that the character defining features of the existing building are not substantially changed, obscured, damaged, or destroyed so that if the new construction were to be removed in the future, the essential form, detail, and overall integrity of the historic building would be unimpaired.
6. The Commission encourages design features associated with new construction that are guided by sustainable building design principles provided such features are compatible with the character of the buildings that are thematically linked.

B. Rooftop Additions (Including New Construction and Roofdecks)

1. Rooftop additions may be considered if the underlying roof is not a character-defining feature (as in the saw tooth roofs of the Planing

Mill or Plant #1, for example).

2. Where permitted, care should be taken to make the rooftop addition minimally visible from existing or proposed streets and ways open to public travel. “Minimally visible” is defined as any rooftop addition which, when viewed from public ways, due to its placement and size does not call attention to itself nor detract from any significant architectural features.
3. All rooftop additions, including rooftop equipment and utilities, will be carefully reviewed on a case-by-case basis for their appropriateness of location and visibility. Additionally, the massing, materials, and details will be reviewed for their appropriateness and impact to the character-defining features of the thematic Showers buildings.
4. Rooftop additions that contribute to the sustainability, energy conservation and efficiency, or alternative energy generation of the building and/or of the Certified Technology Park will receive favorable consideration during the review of items in Criterion #2 above.

C. Utilities

1. The location of mechanical and/or electrical equipment, stair or elevator head houses, satellite dishes, antennas and other communication devices should be integrated into the design of the new addition so as to minimize the visibility of the utilities. When located on the roof, such equipment should be set back as to minimize visibility from an existing or proposed street or way that is open to public travel (see above Rooftop Additions section)



There are several examples of existing additions that are either non-contributing or may require redesign for more practical use.

7. Guidelines for Signage

Goal: Due to the industrial nature of the Showers Furniture Factory, Plant #1, the Kiln, and Planing Mill, the buildings were not designed with public signage in mind, as was the case for historic retail buildings on the Courthouse Square. As a result, a particularly difficult challenge in adapting the buildings for reuse is the creation of sensitive signage plans. Fortunately, the signage plans developed by CFC Properties, the City of Bloomington, and Indiana University for Plant #1 were very skillfully done. These signage guidelines seek to continue and build upon that success.

As a general rule, new signs should preserve, complement, and enhance, rather than compete with, the character of historic buildings and the surrounding district. Careful consideration should be given to historic context, building forms, and site layout when selecting, designing, and reviewing new signage. While some signage may be allowed under zoning ordinances, they may not be appropriate for the buildings.

This section contains guidelines for all signs as follows:

- General
- Freestanding signs
- On building signs
- Awning and canopy signs
- Window signs

General

1. The development of a master signage plan for each building or group of buildings re-developed together is encouraged. Such plans should be created at the time of restoration planning so as to guide individual sign design and location decisions, present a coordinated and harmonious appearance, and minimize damage to historic fabric. This exercise is particularly important when a building will contain multiple businesses, in which case signage should be grouped in directory signs whenever possible.
2. Preference should be given to ground signs and attachment of signage to building additions rather than directly to historic fabric.
3. The scale of signage should be in proportion to the façade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings.
4. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.

5. Use of natural materials such as painted wood, stone (ground signs), iron, steel, and aluminum is encouraged.
6. If signage must be illuminated, the use of indirect or bare-bulb sources that do not produce glare is the preferred method of illuminating signs. Internal illumination is discouraged.
7. Original Showers Company signage areas should be preserved and remain visible (i.e., Administration Building).

Freestanding signs

1. Freestanding signs are the most appropriate signage for the buildings. Such signs are best suited for contexts in which building forms are set back from the street, where buildings were not designed with signage in mind, or where historic Showers signage occupies logical sign locations.
2. Since the historic buildings and not the grounds are designated as historic, it is not necessary to get a Certificate of Appropriateness for new ground signs, or to change existing ground signs.

On building signs

1. Attaching signage to building additions rather than historic fabric is encouraged.
2. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without drilling into stone, brick, or even mortar. By way of example, preference should be given to signage affixed to a semi-permanent sign backer board, sign frame, or other re-usable attachment point(s) over signage that is directly affixed to the building. If signage or signage parts must be attached directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick.
3. Building-mounted signage should be modest in scale and design so as not to compete with the building's historic character.
4. Wall signs should be located above storefront windows and below second story windows.

Awnings and Canopies

1. Attachment of awnings and canopies to existing buildings is generally discouraged, but may be considered on a case-by-case basis.
2. Awnings or canopies should be mounted in a manner which does not damage historic building elements.
3. Awning and canopy materials should be canvas or metal, in a shape that reflects the door or window openings they cover, and any signage lettering

Exhibit B

Legal Description

Lot Three (3) of the Showers Office and Research Center, as shown on the plat thereof, recorded in Plat Cabinet C, Envelope 129, in the Office of the recorder of Monroe County, Indiana.








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8/31/2021

COA: 21- 49
STAFF APPROVAL

Address: 922 W 8th St.

Petitioner: Rashid Maldi and Dawood Maldi

Parcel #: 53-05-32-403-050.000-005

Rating: NON-CONTRIBUTING

Survey: 2012



Background: Near West Side Conservation District

Request: Deck construction

Guidelines: Near West Side Conservation District Guidelines

- Due to the location, the proposed first and second floor decks are not visible from the public way. It does not affect the scale of the building or community patterning.

Staff APPROVES COA 21-49

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 21-49

Date Filed: SEPT. 1, 2021

Scheduled for Hearing: SEPT. 23, 2021

Address of Historic Property: 922 W. 8th St Bloomington IN, 47404

Petitioner's Name: Dawood Maida / Rachid Maida

Petitioner's Address: 1311 S. Walnut St. Bloomington IN, 47401

Phone Number/e-mail: 812-606-0555 / dawoodmaidi@gmail.com

Owner's Name: Dawood Maida

Owner's Address: 1311 S. Walnut St. Bloomington IN, 47401

Phone Number/e-mail: " "

Instructions to Petitioners

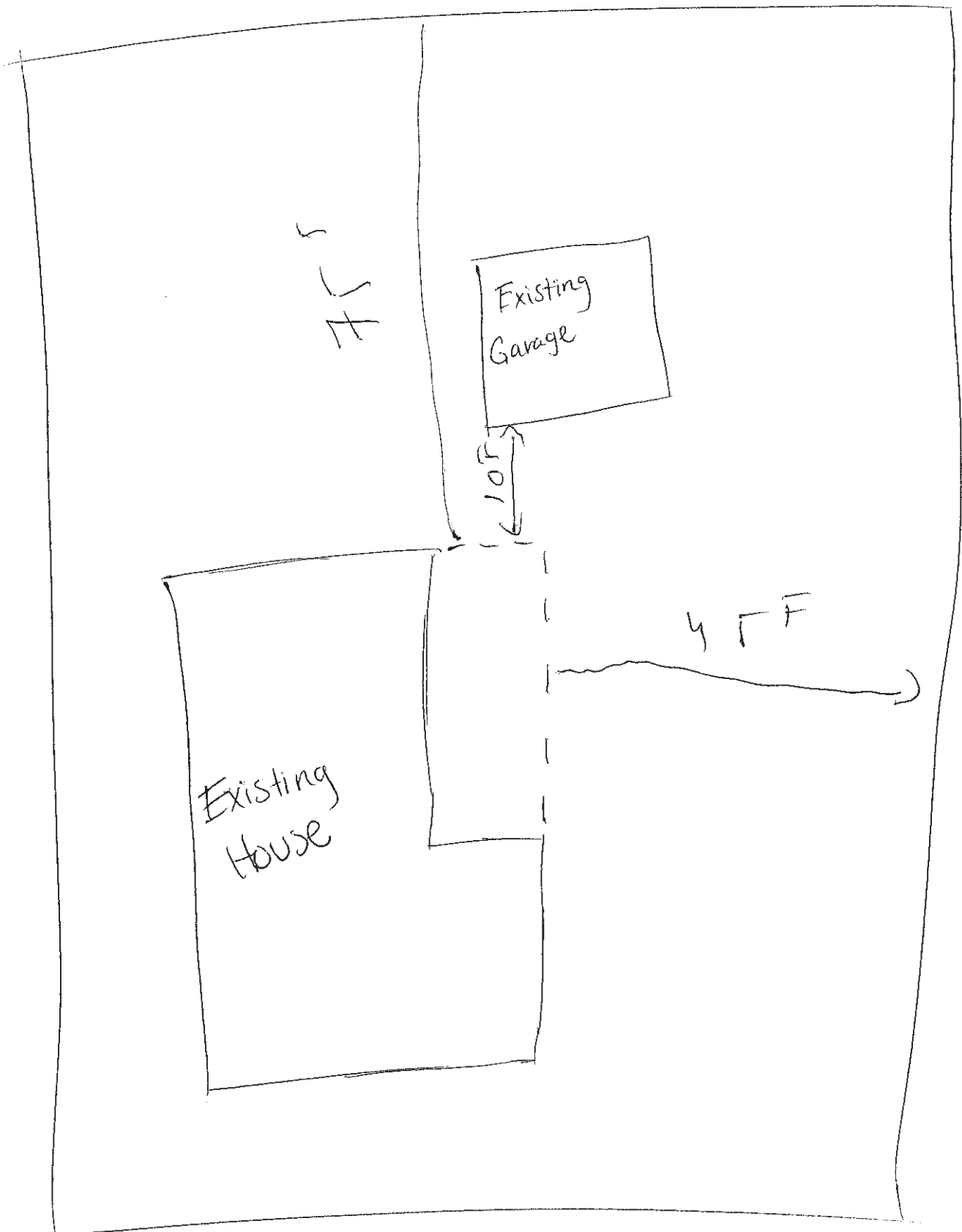
The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

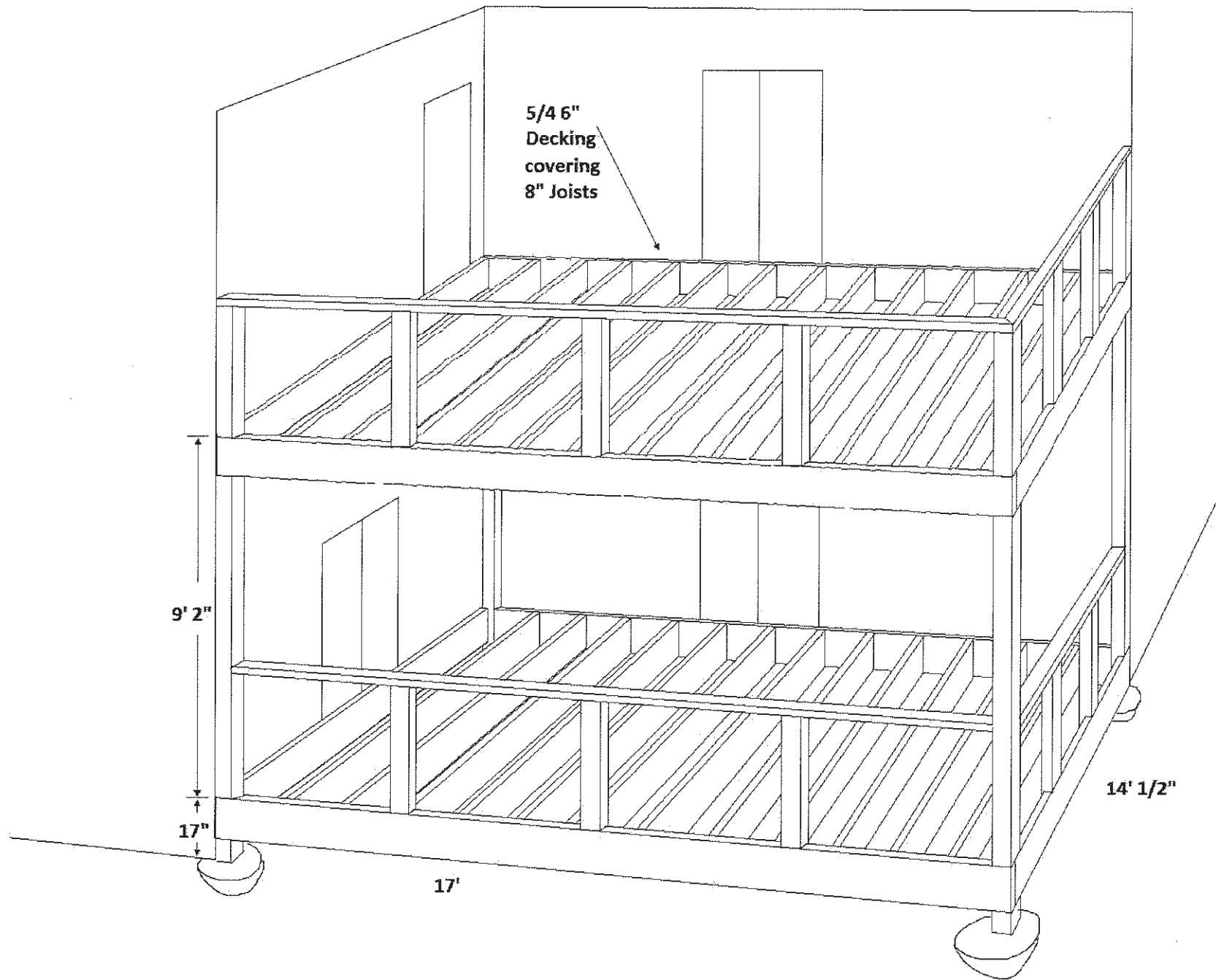
Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

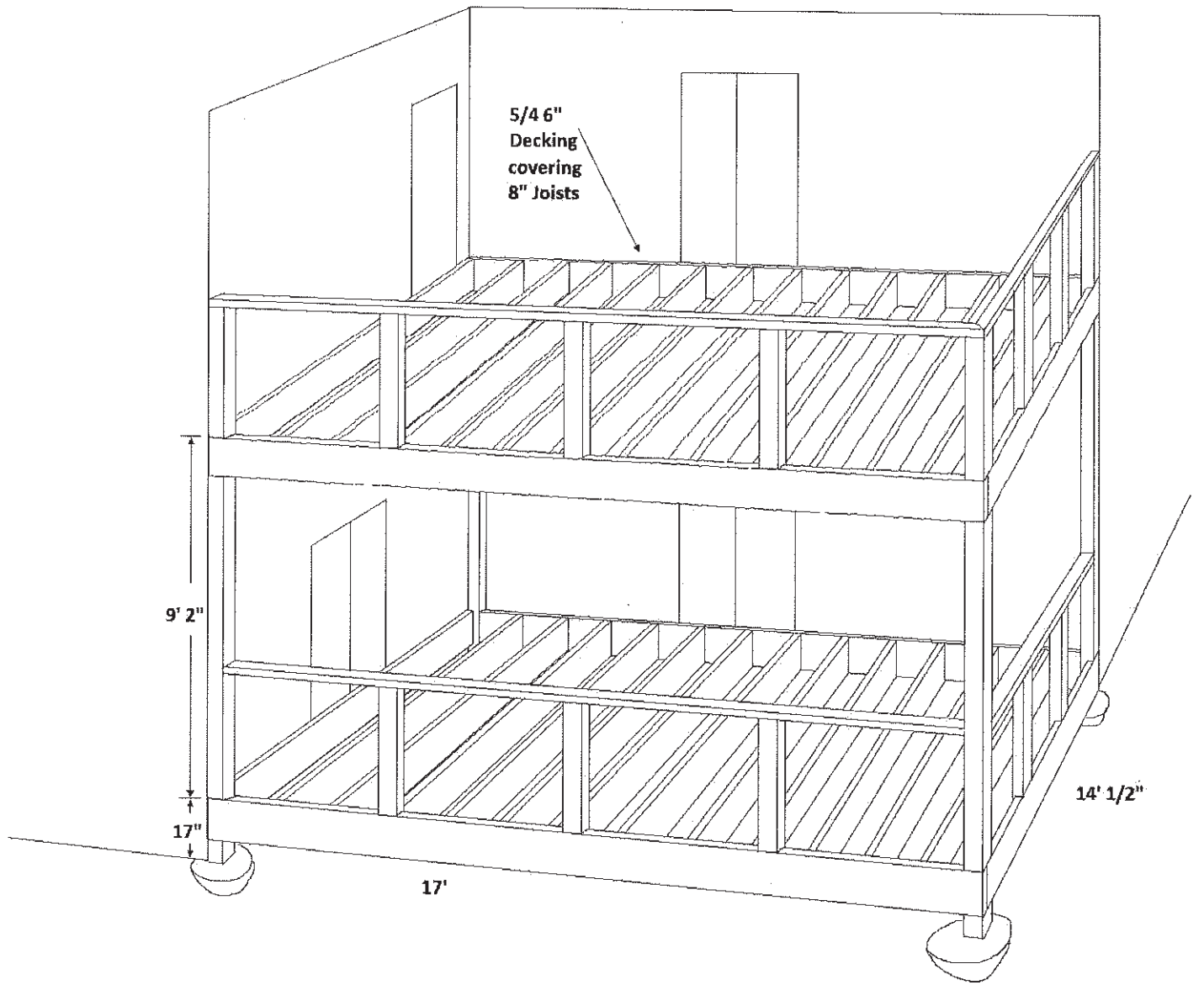
A "Complete Application" consists of the following:

1. A legal description of the lot. Single family unit
2. A description of the nature of the proposed modifications or new construction:
Old deck that was in bad condition ^{was} removed. Want to put a deck and balcony on the house. The permit plans have already been submitted. The house is not a historic property, it is roughly 10 yrs old, though the neighborhood is.
3. A description of the materials used.
Will use treated lumber.
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.











COA: 21-42

STAFF RECOMMENDATIONS

Address: 414 W Dodds St.

Petitioner: Robert Shaw

Parcel #: 53-08-05-100-143.000-009

Rating: NON-CONTRIBUTING

Survey: Foursquare, severely altered (main structure); proposed alterations to gambrel roof kit house



Background: McDoel Historic District

Request: Lift the structure two feet using three courses of blocks in order to create a crawl space for repairs.

Guidelines: McDoel Historic District Guidelines

“If a structure is non-contributing, but is a part of the neighborhood’s residential context, a certificate of appropriateness may be given if moving the structure contributes to the public good of the neighborhood.”

Staff recommends approval of COA 21-42:

- The proposed lifting of the structure by two feet does not affect the overall scale of the neighborhood.
- The building is staying in place.
- The ability to perform repairs on the structure is beneficial all around.

Acceptable

Replacement doors should be the same style and size as the originals. When retrofitting for accessibility, entries may be enlarged.

PORCHES:

The look of open front porches is perhaps the most significant feature of the neighborhood both architecturally and culturally. Although enclosures can be an affordable way to add space, the impact on the neighborhood can be profound and degrading. For this reason porch enclosures should be reviewed by the full commission and damage to the original design and structure assessed.

Preferable

Add living space at the rear of side of the building where it is less visible.

Acceptable

Enclose the porch with a permanent structure that maintains the house design and and maximizes window area.

III. Demolition of Existing Principal Structures

This section is reviewed by the Commission

Guiding principles

In general, all houses within the neighborhood should be kept and maintained.

If the structure is contributing*, that is, it is fifty years old or older and not significantly altered from the original form, and is in good or repairable condition (that is if restoration would cost less than replacement), then a certificate of appropriateness for demolition of the structure will not generally be given. Exceptions may be made if demolition of this structure contributes to the public good of the neighborhood.

If a structure is non-contributing, but is a part of the neighborhood's residential context, a certificate of appropriateness may be given if demolition contributes to the public good of the neighborhood.

*Link to help determine if a structure is contributing:

<http://bloomington.in.gov/media/media/application/pdf/17969.pdf>

IV. Moving of Existing Principal Structures

This section is reviewed by the Commission

Guiding principles

In general all houses within the neighborhood should be kept in place.

Factors to consider

A factor to consider when deciding the fate of a neighborhood house is age. If the structure is contributing*, that is, it is fifty years old or older and not significantly altered from its original form, and is in good or repairable condition (that is, if restoration would cost less than replacement), then a certificate of appropriateness for moving the structure will not generally be given. Exceptions may be made if moving the structure contributes to the public good of the neighborhood.

If a structure is non-contributing, but is a part of the neighborhood's residential context, a certificate of appropriateness may be given if moving the structure contributes to the public good of the neighborhood.

*Link to help determine if a structure is contributing:

<http://bloomington.in.gov/media/media/application/pdf/17969.pdf>

V. New Construction

This section is reviewed by the Commission

PRINCIPAL RESIDENTIAL STRUCTURES:

Guiding principles

New construction of residential structures should be visually compatible with contributing house types found in the neighborhood.

Definition of principal residential structures

A principal residential structure is the residential structure on the lot.

Placement on the lot

The contributing houses in McDoel are generally (although not exclusively) placed in the center of the lot in the side-to-side dimension, and somewhat forward of center in the front-to-back dimension, creating two approximately equal side yards, and a front yard smaller than the back yard. Where feasible this pattern is encouraged in placing new residential structures on their lots. New residential structures should be set back from the street a distance consistent with the set-back depths of contributing houses (that is, within the minimum and maximum set-back ranges; see illustration).

Structure design (size, height, roof line, porch)

Design of new residential structures is encouraged to follow the basic design patterns of the contributing houses found in the neighborhood. These include size (ca. 800-1500 square feet on ground level, typically one to three bedrooms); height (one to two stories); and main roof configuration (gabled roofs, including single gable, two perpendicular gables, and pyramid styles). Roof pitch for new residential structures should be within the range found on houses on that block (see illustration). In cases where a new residential structure is built to replace a house formerly located on the lot, the new structure should follow the same footprint (placement and outline on the lot) as the former house. Exceptions may be made if the original house was placed off center (side to side) or its set-back was not in the range of contributing houses. If the original

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: COA21-42

Date Filed: 8/20/2021

Scheduled for Hearing: 9/9/2021

Address of Historic Property: 414 W. Dodds St.

Petitioner's Name: Robert Shaw

Petitioner's Address: 2005 S. Rogers St.

Phone Number/e-mail: 812-340-0617 bobshaw@bluemarble.net

Owner's Name: Shaw Family llc

Owner's Address: 2005 S. Rogers St. 47403

Phone Number/e-mail: Same

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 015-16410-00 SEMINARY PT (40' X 150') LOT 38

2. A description of the nature of the proposed modifications or new construction:
Craw space is too tight/short to work in or do repairs. Intend to raise the structure two feet by adding three courses of blocks.

3. A description of the materials used.
three courses of concrete blocks. Add three steps to the porch in treated lumber.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.







COA: 21- 44

Address: 412 E 4th St.

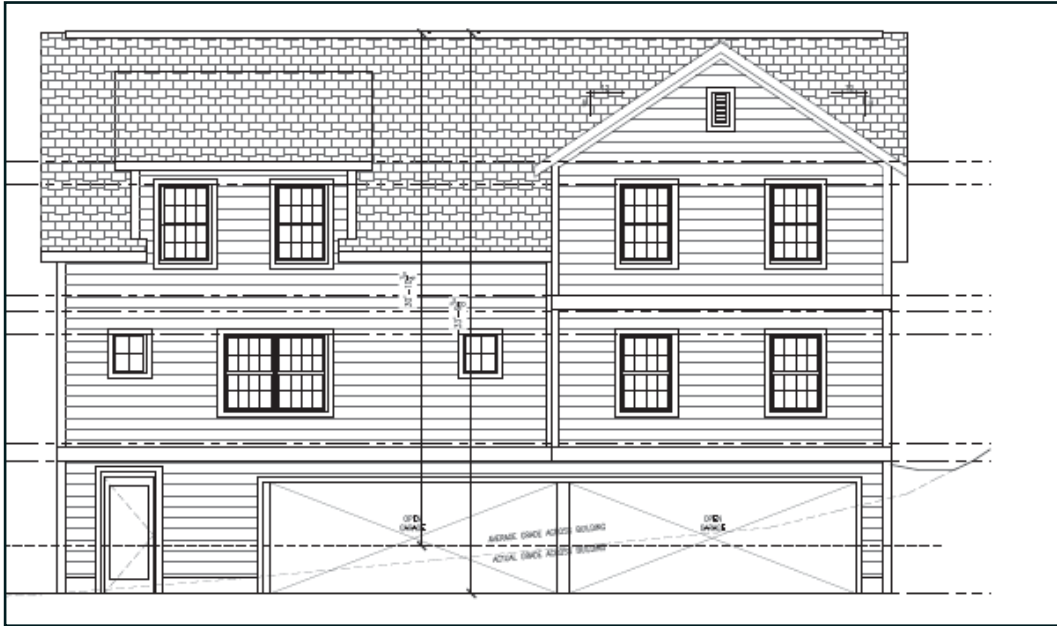
STAFF RECOMMENDATIONS

Petitioner: Shawn Eurton

Parcel #: 53-05-33-310-325.000-005

Rating: **CONTRIBUTING**

Survey: C. 1890, Queen Ann, T-plan cottage(?)



Background: Located on the current parking lot of a contributing property within the Restaurant Row Historic District

Request: New construction of two four bedroom apartments classified as student housing.

Guidelines: Restaurant Row Historic District (Pg 26)

3.2 Building Orientation and Entry

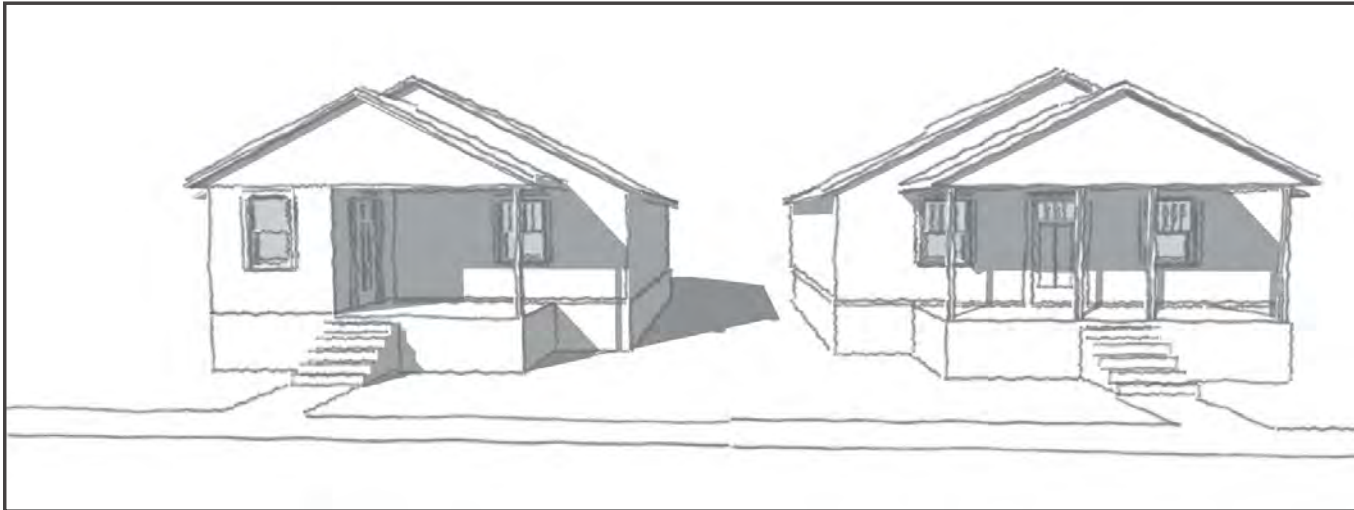
All buildings in Restaurant Row face the street with primary entrances on the street-facing façade. New buildings will incorporate front-facing primary facades and primary entry doors. The entrance shall incorporate a front porch, canopy, or awning. A minimum of one pedestrian entrance shall be provided for any primary facade which contains at least sixty-six feet of front-age facing a public street. No primary pedestrian entrance shall be located on a building facade adjacent to an alley.

Staff does not recommend approval of COA 21-44:

- No primary pedestrian entrance shall be located on a building facade adjacent to an alley.
- Massing, materials, and fenestrations are compatible with the existing structure.
- Similar structure, neighboring on east adjoining property was built before the historic district was implemented according to historic Google aerial imagery from 2015.

3.2 BUILDING ORIENTATION AND ENTRY

All buildings in Restaurant Row face the street with primary entrances on the street-facing façade. New buildings will incorporate front-facing primary facades and primary entry doors. The entrance shall incorporate a front porch, canopy, or awning. A minimum of one pedestrian entrance shall be provided for any primary facade which contains at least sixty-six feet of frontage facing a public street. No primary pedestrian entrance shall be located on a building facade adjacent to an alley.



Incompatible: Although the house is oriented to the street, the primary door is not.

Compatible: Both the house and the primary entrance are oriented to face the street

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-44

Date Filed: August 26, 2021

Scheduled for Hearing: September 9, 2021

Address of Historic Property: 412 E. 4th St.

Petitioner's Name: Shawn Eurton

Petitioner's Address: 3415 E. Olcott Blvd, Bloomington, IN

Phone Number/e-mail: seurton3@gmail.com

Owner's Name: 4th Street Properties LLC (Shawn Eurton)

Owner's Address: 3415 E. Olcott Blvd, Bloomington, IN 47401

Phone Number/e-mail: 812-322-7303

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “**Complete Application**” consists of the following:

1. A legal description of the lot. 013-02030-00 ORIG PLAT PT (W 50') LOTS 3 & 4

2. A description of the nature of the proposed modifications or new construction:
The new structure will provide (2) - four bedroom apartments that the new UDO calssifies as student housing. We are also following the University Village guidelines and use specific standards, with gable roofs, cement board exterior siding materail, and an architectural style that compliments the adjoining Resturant Row designs.

3. A description of the materials used.
Cement board lap siding and trim, vinyl clad double hung and fixed windows, fiberglass shingled roof

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



BLOOMINGTON BOARD OF ZONING APPEALS

Petitioner's Statement

Concerning the petition of 4th Street Properties for the purpose of consideration of their Petition for the property located at 412 East 4th Street, Bloomington, Indiana.

Location

The project site currently has a recently renovated two story existing structure within the University Village overlay zone. It is located on East 4th Street in the restaurant row site, within two blocks of the Indiana University campus.

Background

We are proposing to build a new 3 story mixed structure behind the primary structure with two, four bedroom apartments, over a first floor of parking, recycling area and parking area. The lot currently has a paved parking lot where the structure will be placed. The site is withing walking distance to Indiana University and is surrounded by other similar structures either built behind their primary buildings along 4th Street, or have structures with main level retail or restaurant use and apartments located above them.

Design

The new structure will provide two, four bedroom apartments that the new UDO classifies as student housing. Our Maximum allowable impervious surface is 85% and this will be met. We are also following the University Village guidelines and use specific standards, with gable roofs, cement board exterior siding material, and an architectural style that compliments the adjoining Restaurant Row designs of large houses that have been remodeled into retail and housing units. This location is walking distance to great shopping and retail centers downtown as well as the university. The Unified Development Ordinance has listed as an objective in the University Village Overlay description:

“Promote infill and redevelopment of sites using moderate residential densities for the University Village area and high residential densities along the Kirkwood Corridor”

We believe this proposal is ideally positioned to meet this objective as part of the Restaurant Row corridor. This infill development allows for residential uses within our city's core where development is best served by not only existing infrastructure but by public transportation.

Green Building Initiatives

The proposed project will have a shared on-site recycling area for all tenants as well as high efficiency HVAC units, a secure and very visible bicycle storage area, and utilize materials that qualify as green building materials as is feasibly possible.

Density (Student Housing)

Our solution to reducing trips by car, and traffic, to make a more walkable downtown, to put students near campus where the New UDO seeks to develop housing for students is to place units on the rear of an existing site, where we already have a impervious paved parking lot. These units provide density downtown-where we want to locate density and will provide a unique vitality to a stretch of Dunn Street that needs pedestrians and residents.

Why we need greater density near campus and downtown.

“Density,” to urban planners means areas where people congregate – where they work, live, eat, drink, shop, hang out, walk their dogs, stroll and run. It’s all part of that urban energy that creates and invites more projects – apartments, hotels, stores, office buildings and, especially, mixed-use projects – to get developed.

You need a “critical mass” of uses established. This means making certain that visitors can find enough to do for 4 to 6 hours, that residents daily needs can be comfortably met; and that rents and sales prices continue to justify new construction or renovation.

Ultimately, reaching critical mass means that the redevelopment process is unstoppable and cannot be reversed. At that point, an upward spiral begins to create a “buzz,” that increases the number of people on the streets, raises land and property values, and makes the community feel safer. This contrasts starkly with suburban development, where more is worse. The lure of the suburbs is lawns, open space, and the freedom to travel by car. But adding more activity brings a geometric increase in automobile trips, more congestion, pollution, inconvenience, and the destruction of the very features that enticed residents and businesses to the suburbs in the first place. Our downtown needs to always be the place that is vibrant, full of people with jobs and choices in those places to live.

Changing mindsets towards density

A report from the Urban Land Institute (ULI) called Density: Drivers, Dividends and Debates. States that the populations of the world’s cities will only keep rising, well planned and properly managed densification is something which can provide a workable way of dealing with an increasingly pressing challenge.

“In most cases, density is the best way to accommodate economic change and population growth, providing the optimal returns for society and the environment while also creating value that can be captured and shared, and making our cities more flexible,” says ULI Europe CEO Lisette van Doorn. “But the world does not yet know how important densification is or how it can best be achieved.”

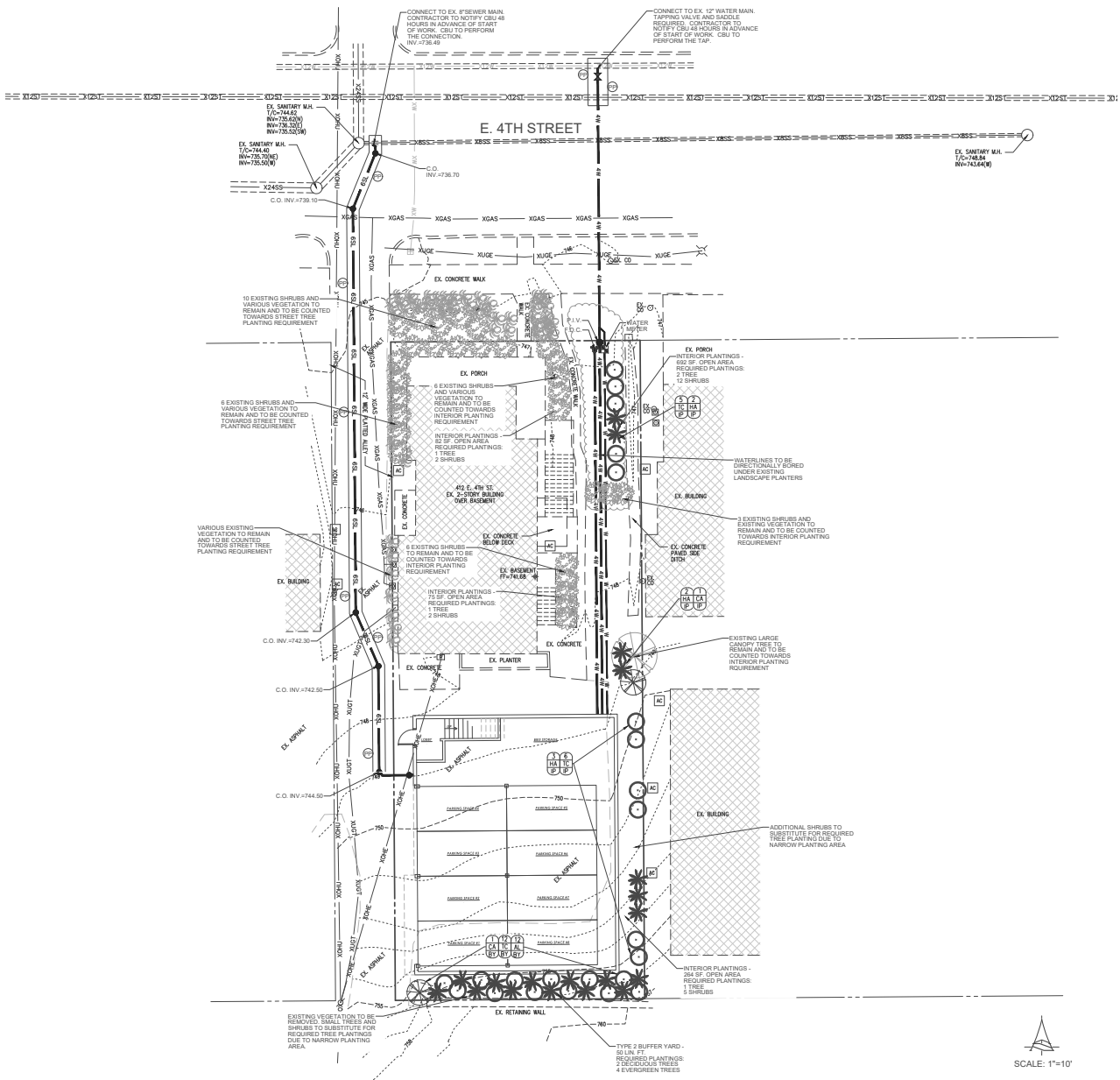
“Good density will mark out the next generation of winning cities,” says Rosemary Feenan, Director of Global Research for JLL and Chair of the ULI Europe Policy and Practice Committee. “Norms and ingrained behaviors are slowly changing, moving away from car-centric sprawling planning towards more environmentally-focused, high-density developments.”

The hardest challenge though is shifting negative public attitudes and showing there's more to modern densification than the dreary concrete jungles of yesteryear. We need to allow for different types of units, different design styles, to achieve these densities in our downtown instead of creating even more urban sprawl.

Thank you for the opportunity to submit the proposed development for review. We look forward to working together on this Development. We kindly ask for your approval of our request.

Sincerely,

Doug Bruce
Architect
Tabor/Bruce Architecture & Design



GENERAL LEGEND

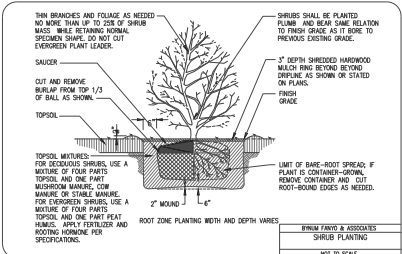
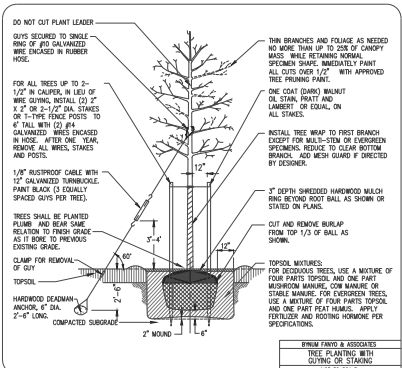
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XXX/XXX	DEED BOOK AND PAGE
T.B.U.	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
X' SBL	SETBACK LINE
♿	PROPOSED ACCESSIBLE PARKING SPACE
S.S.E.	SANITARY SEWER EASEMENT
G.E.	GAS EASEMENT
W.L.E.	WATER LINE EASEMENT
E.E.	ELECTRIC EASEMENT
D.E.	DRAINAGE EASEMENT
U.E.	UTILITY EASEMENT

PLANT LIST & LEGEND

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
SMALL / MEDIUM DECIDUOUS TREES	CA	CORNUS FLORIDA	FRAGRANT DOGWOOD	2	2" CAL. # 8 B
	HA	HYDRANGA ARBORESCENS	WILD HYDRANGA	1	1 GALLON CONTAINER
DECIDUOUS SHRUBS	HA	HYDRANGA ARBORESCENS	WILD HYDRANGA	7	1 GALLON CONTAINER
	HA	ASTER LAEVIS	SMOOTH ASTER	12	1 GALLON CONTAINER
EVERGREEN SHRUBS	TC	TAXUS CANADENSIS	CANADIAN YEW	23	18" #6041*
	CA	CORNUS FLORIDA	FRAGRANT DOGWOOD	2	2" CAL. # 8 B

*PLANT QUANTITY (SPACED EVENLY)
 **PLANT KEY (TYPE)
 ***REQUIREMENT INFORMATION (AS SEEN BELOW)
 1- PLANTING LOT NUMBER PLANTING
 2- INTERIOR PLANTING
 3- EXTERIOR TREE
 4- PLANTING LOT SHRUBS
 5- NO OTHER PLANTING

CONTAINER OR BALL AND BURLAP CONDITION ACCEPTABLE
 EXISTING SHRUBS
 EXISTING VEGETATION
 PROPOSED LIGHTING LOCATION - REFER TO THE SITE LIGHTING PLAN FOR MORE INFORMATION AND SPECIFICATIONS
 INTERIOR PLANTING REQUIREMENTS- 500 SQUARE FEET OF OPEN SPACE = 1 CANOPY TREE AND 4 SHRUBS (SEE EXHIBIT)



revisions:

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BLOOMINGTON, INDIANA
 (812) 339-2940 (Fax)

BRIM FAYO & ASSOCIATES, INC.
 528 North Walnut Street
 BLOOMINGTON, INDIANA 47408
 (812) 332-8650

certified by:

PROPOSED
 412 E. 4TH STREET
 412 E. 4TH STREET
 BLOOMINGTON, INDIANA 47408

TITLE: SITE PLAN

designed by: XXX
 drawn by: XXX
 checked by: XXX
 sheet no: C301
 project no: 402114

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REVISIONS

A NEW BUILDING AT:
412 E 4TH ST.
 BLOOMINGTON, INDIANA 47408

PROJECT NO. 3419

DATE: JANUARY 24, 2020

DRAWN BY: W. WHITMAN

CHECKED BY: D. BRUCE

SHEET NAME:

FLOOR PLANS

SHEET NO.:

AE101

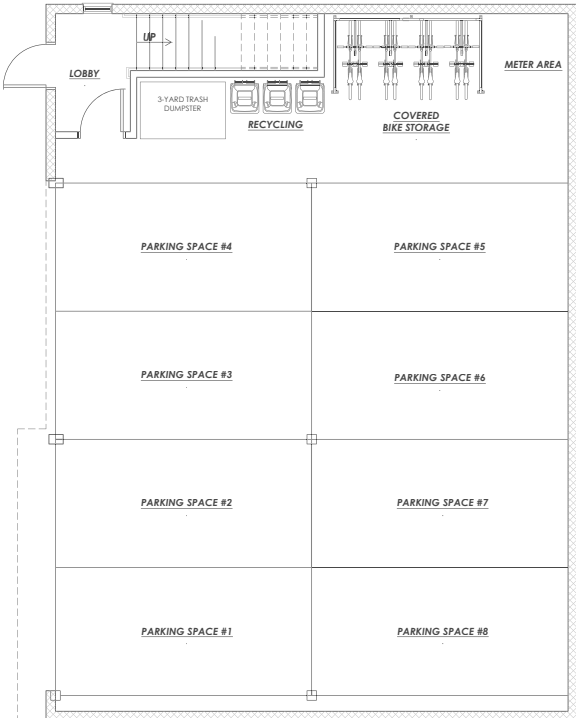
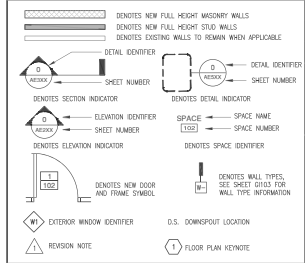
FLOOR PLAN KEYNOTES:

- 1 NEW 1 1/2" WD. STUD WALL FURRING @ 5/8" O.P. BD. ALON WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 2 NEW OR BD. STUD WALL @ 14" O.C. AS INDICATED PER WALL TYPES. ALON W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 3 NEW WD. PARTIAL HT. STUD WALL @ 14" O.C. W/ STAINED WD. CAP. INSTALL 5/8" O.P. BD. ON BOTH SIDES & FINISH PER INTERIOR DIM'S.
- 4 UNFL. EXIST. WD. STUD WALL @ 14" O.C. AS INDICATED. INSTALL 5/8" O.P. BD. ON BOTH SIDES & ALON W/ EXIST. WALL ALON W/ EXIST. WALL & MATCH FINISH.
- 5 NEW EXTERIOR INSUL. MEM. SEE SCHED. FOR SIZING.
- 6 NEW INTERIOR MDW. SEE SCHED. FOR SIZING.
- 7 NEW KAMMEER TRIFAB 450 SERIES DEL. GLAZED ANODIZED FIXED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER IBC CODE.
- 8 PROMISE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
- 9 NEW EXTERIOR WTL. INSUL. DOOR, FRAME & HARDWARE. SEE SCHED.
- 10 NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
- 11 NEW KAMMEER TRIFAB 450 SERIES DEL. GLAZED ANODIZED ALUM. STOREFRONT SYSTEM W/ TEMPERED GLAZING PER IBC CODE.
- 12 NEW KAMMEER TRIFAB 190 SERIES FULL GLAZED ANODIZED ALUM. STOREFRONT DOORS W/ TEMPERED GLAZING PER IBC CODE.
- 13 NEW INTERIOR CASER OPENING.
- 14 SOLID SURFACE COUNTERTOP & BASE CABINET (WHERE APPLICABLE). SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR DETAILS.
- 15 NEW ADA COMPLIANT FLR. W/O. WATER CLOSET PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 16 NEW ADA COMPLIANT WALL W/O. LAVATORY PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 17 NEW ADA COMPLIANT DROP-IN LAVATORY PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 18 NEW ADA COMPLIANT WALL W/O. URINAL PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 19 NEW ADA COMPLIANT WALL W/O. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
- 20 NEW WALL W/O. DRINKING FOUNTAIN PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 21 NEW FLR. W/O. WOP SINK PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 22 PROMISE WTL. 2ND BLDG FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. TOP @ ADJUSTABLE TRIMETS & SHOWER STALLS. SHOWER STALL FLOORING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
- 23 NEW BOBBICK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & B/W BRACED TRILEE PARTITIONS & URINAL SCREENS.
- 24 NEW MDO ELEVATOR CBL LIFT. CONFIRM W/ MFG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
- 25 NEW 1 1/2" SQ. WTL. QUADRANT (PAINTED), TOP OF RAIL +42" ABOVE FIN. SURFACE. FINISH DESIGN DETERMINED BY OWNER.
- 26 NEW 1 1/2" WTL. MINORAL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND VERTICALS +12" POST FINISH. RISE @ ALL LANDINGS.
- 27 NEW STAIRS.
- 28 NEW BENCH CONC. EXTERIOR STAIR, RAMP SYSTEM OR WALK. SEE CIVIL DIM'S. FOR DETAILS & CONSTRUCTION LIMITS.
- 29 NEW STRUCTURAL COLL. SEE STRUCTURAL DIM'S. W/SP W/ 1 1/2" W/O. STUDS, 5/8" O.P. BD. & FINISH PER INTERIOR DIM'S.
- 30 PROMISE ALUMINUM DRYER VENT BOX AS IMPERIAL MODEL No. VFD027. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.

GENERAL FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
- ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
- ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
- CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS (IE: GYPSUM BOARD & MASONRY).
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LOWER THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- ANY OPERABLE W/O'S W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPERING CONTROL DEVICE PER I.B.C.11.10.1.1.
- IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A W/O. OF 1 CODE COMPLIANT (EGRESS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.
- ALL INTERIOR WALLS SHALL BE 2 X 4 STUDS @ 14" O.C. W/ 5/8" O.P. BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE.

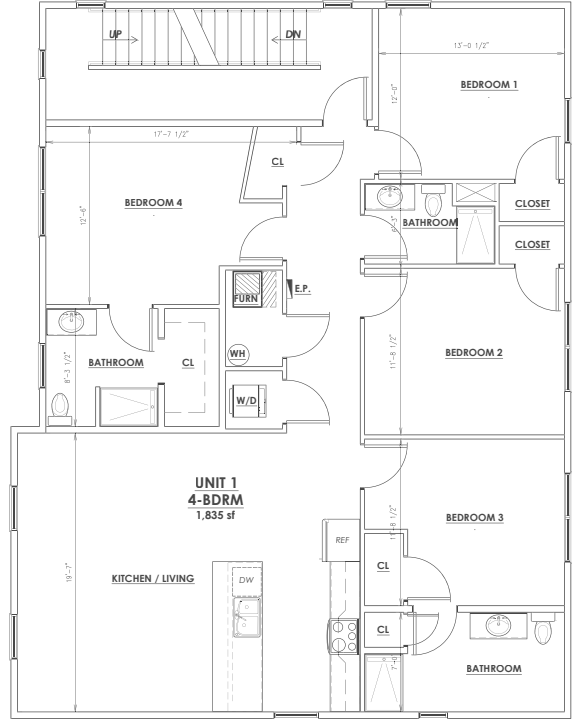
SYMBOLS LEGEND:



1 MAIN LEVEL FLOOR PLAN
 1/4" = 1'-0"

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1 SECOND LEVEL FLOOR PLAN
1/4" = 1'-0"

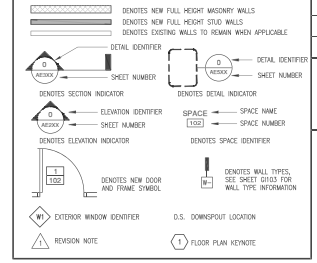
FLOOR PLAN KEYNOTES:

- 1 NEW 1 1/2" WD. STUD WALL FURRING @ 5/8" O.P. BD. ALIGN WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 2 NEW OR BD. STUD WALL @ 14" O.C. AS INDICATED PER WALL TYPES. ALIGN W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
- 3 NEW WD. PARTIAL HT. STUD WALL @ 14" O.C. W/ STAINED WD. CAP. INSTALL 5/8" O.P. BD. ON BOTH SIDES & FINISH PER INTERIOR DIMS.
- 4 INT'L EXIST. WD. STUD WALL @ 14" O.C. AS INDICATED. INSTALL 5/8" O.P. BD. ON BOTH SIDES & ALIGN W/ EXIST. WALL ALIGN W/ EXIST. WALL & MATCH FINISH.
- 5 NEW EXTERIOR INSUL. NOW. SEE SCHED. FOR SIZING.
- 6 NEW INTERIOR NOW. SEE SCHED. FOR SIZING.
- 7 NEW KAMMEER TRIFAB 450 SERIES DEL. GLAZED ANODIZED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER BIC CODE.
- 8 PROMISE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
- 9 NEW EXTERIOR INT'L. INSUL. DOOR, FRAME & HARDWARE. SEE SCHED.
- 10 NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
- 11 NEW KAMMEER TRIFAB 450 SERIES DEL. GLAZED ANODIZED ALUM. STOREFRONT SYSTEM W/ TEMPERED GLAZING PER BIC CODE.
- 12 NEW KAMMEER TRIFAB 190 SERIES FULL GLAZED ANODIZED ALUM. STOREFRONT DOORS W/ TEMPERED GLAZING PER BIC CODE.
- 13 NEW INTERIOR CASER OPENING.
- 14 SOLID SURFACE COUNTERTOP & BASE CABINET (WHERE APPLICABLE). SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR DETAILS.
- 15 NEW ADA COMPLIANT FLR. MTD. WATER CLOSET PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 16 NEW ADA COMPLIANT WALL MTD. LAVATORY PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 17 NEW ADA COMPLIANT DROP-IN LAVATORY PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
- 18 NEW ADA COMPLIANT WALL MTD. URINAL PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 19 NEW ADA COMPLIANT WALL MTD. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
- 20 NEW WALL MTD. DRINKING FOUNTAIN PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 21 NEW FLR. MTD. WOP SINK PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
- 22 PROMISE WPL 293 BLOOMING FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. TOP @ ADJUSTABLE HEIGHT & SHOWER CHAIRS. SHOWER CHAIR FLOORING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
- 23 NEW BOBBICK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & B/W BRACED TILES PARTITIONS & URINAL SCREENS.
- 24 NEW MDO ELEVATOR CBL LIFT. CONTRM W/ WIG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL, & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
- 25 NEW 1 1/2" SQ. MTL. QUARDRAL (PAINTED), TOP OF RAIL +42" ABOVE FIN. SURFACE.
- 26 NEW 1 1/2" MTL. MINORAL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND DOWNWARD 1'-2" POST FIN. RISER @ ALL LANDINGS.
- 27 NEW STAIRS.
- 28 NEW BENT' CONC. EXTERIOR STAIR, RAMP SYSTEM, OR WALK. SEE CIVIL DIM'S. FOR DETAILS & CONSTRUCTION LIMITS.
- 29 NEW STRUCTURAL COLL. SEE STRUCTURAL DIM'S. W/SP W/ 1 1/2" WD. STUDS, 5/8" O.P. BD. & FINISH PER INTERIOR DIM'S.
- 30 PROMISE ALUMINUM DRYER VENT BOX AS IMPERIAL MODEL No. V10027. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.

GENERAL FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
- ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
- FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
- ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
- CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS (IE: GYPSUM BOARD & MASONRY).
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & INSIDE BOTTOM EDGE @ LEAST 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A WALL OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
- SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.
- ALL INTERIOR WALLS SHALL BE 2 X 4 STUDS @ 14" O.C. W/ 5/8" O.P. BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE.

SYMBOLS LEGEND:



REVISIONS

A NEW BUILDING AT:
412 E 4TH ST.
BLOOMINGTON, INDIANA 47408

PROJECT NO. 3419
DATE: JANUARY 24, 2020
DRAWN BY: W. WHITMAN
CHECKED BY: D. BRUCE
SHEET NAME: FLOOR PLANS

SHEET NO:
AE102
45

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1 THIRD LEVEL FLOOR PLAN
1/4" = 1'-0"

- FLOOR PLAN KEYNOTES:**
- 1 NEW 1 1/2" WD. STUD WALL FURRING & 5/8" O.P. BD. ALUM WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
 - 2 NEW OR BD. STUD WALL @ 16" O.C. AS INDICATED PER WALL TYPES. ALUM W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
 - 3 NEW WD. PARTIAL HT. STUD WALL @ 16" O.C. W/ STAINED WD. CAP. INSTALL 5/8" O.P. BD. ON BOTH SIDES & FINISH PER INTERIOR DIM'S.
 - 4 INT'L EXIST. WD. STUD WALL @ 16" O.C. AS INDICATED. INSTALL 5/8" O.P. BD. ON BOTH SIDES & ALUM W/ EXIST. WALL ALUM W/ EXIST. WALL & MATCH FINISH.
 - 5 NEW EXTERIOR INSUL. NOW. SEE SCHED. FOR SIZING.
 - 6 NEW INTERIOR NOW. SEE SCHED. FOR SIZING.
 - 7 NEW KAMINEER TRIFAB 450 SERIES DEL. GLAZED ANODIZED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER BIC CODE.
 - 8 PROMISE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
 - 9 NEW EXTERIOR INT'L. DOOR, FRAME & HARDWARE. SEE SCHED.
 - 10 NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
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 - 18 NEW ADA COMPLIANT WALL MTD. URINAL PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
 - 19 NEW ADA COMPLIANT WALL MTD. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
 - 20 NEW WALL W/D. DRINKING FOUNTAIN PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
 - 21 NEW FLR. MTD. WOP SINK PER SCHED. TE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
 - 22 PROMISE W/120 BLOOMING FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. TOP @ ADJUSTABLE HEIGHT & SHOWER STALLS. SHOWER STALL FLOORING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
 - 23 NEW BOBROCK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & B/W BRACED TRUSS PARTITIONS & URINAL SCREWS.
 - 24 NEW MTD. ELEVATOR C/L. LIFT. CONFIRM W/ MFG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
 - 25 NEW 1 1/2" SQ. MTL. QUARDRA (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. FINAL DESIGN DETERMINED BY OWNER.
 - 26 NEW 1 1/2" MTL. MINORAL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND VERTICALS +12" PAST FINAL RISER @ ALL LANDINGS.
 - 27 NEW STAIRS.
 - 28 NEW BENCH CONC. EXTERIOR STAIR, RAMP SYSTEM OR WALK. SEE CIVIL DIM'S. FOR DETAILS & CONSTRUCTION LIMITS.
 - 29 NEW STRUCTURAL COLL. SEE STRUCTURAL DIM'S. W/SP W/ 1 1/2" WD. STUDS, 5/8" O.P. BD. & FINISH PER INTERIOR DIM'S.
 - 30 PROMISE ALUMINUM DRYER VENT BOX AS IMPERIAL MODEL No. VFD027 INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.

- GENERAL FLOOR PLAN NOTES:**
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
 - ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
 - FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
 - ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
 - CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS (IE: GYPSUM BOARD & MASONRY).
 - ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
 - IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A W/1 OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
 - SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.
 - ALL INTERIOR WALLS SHALL BE 2 X 4 STUDS @ 16" O.C. W/ 5/8" O.P. BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE.

SYMBOLS LEGEND:

	DENOTES NEW FULL HEIGHT MASONRY WALLS
	DENOTES NEW FULL HEIGHT STUD WALLS
	DENOTES EXISTING WALLS TO REMAIN WHEN APPLICABLE
	DENOTES DETAIL IDENTIFIER
	DENOTES SHEET NUMBER
	DENOTES SECTION INDICATOR
	DENOTES ELEVATION IDENTIFIER
	DENOTES SHEET NUMBER
	DENOTES ELEVATION INDICATOR
	DENOTES EXTERIOR WINDOW IDENTIFIER
	DENOTES REASON NOTE
	DENOTES DETAIL IDENTIFIER
	DENOTES SHEET NUMBER
	DENOTES SPACE NAME
	DENOTES SPACE NAME
	DENOTES SPACE NUMBER
	DENOTES SPACE NUMBER
	DENOTES FLOOR PLAN KEYNOTE
	DENOTES WALL TYPES. SEE SHEET 0103 FOR WALL TYPE INFORMATION
	DENOTES DOWNSPOUT LOCATION



REVISIONS

A NEW BUILDING AT:
412 E 4TH ST.
BLOOMINGTON, INDIANA 47408

PROJECT NO. 3419
DATE: JANUARY 24, 2020
DRAWN BY: W. WHITMAN
CHECKED BY: D. BRUCE

SHEET NAME: FLOOR PLANS
SHEET NO.:

AE103
46

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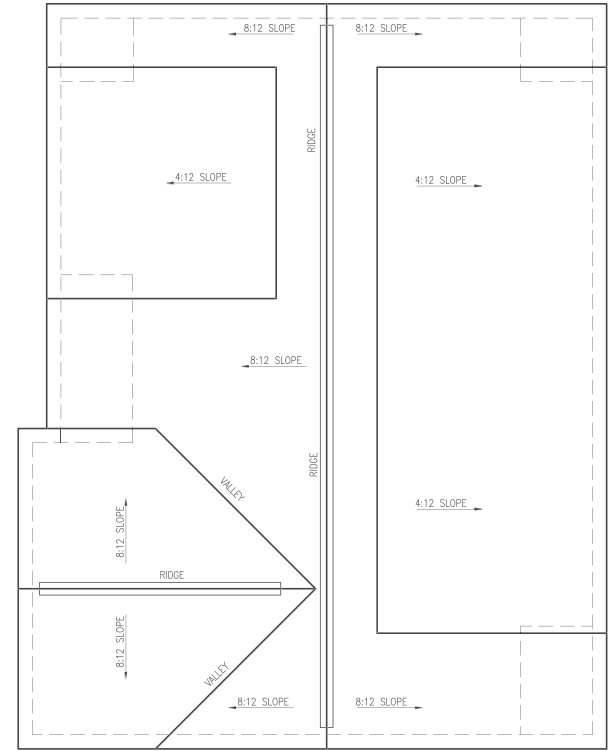
- ROOF PLAN KEYNOTES:**
- ① 25 YEAR ASPHALT SHINGLE ROOF SYSTEM OVER ONE LAYER OF 30# ASPHALT FELT & 1/2" OSB OR PER MECH RECOMMENDATIONS @ ALL VALLEYS, RIDGES, & ROSES. STYLE & COLOR SHALL BE SELECTED FROM STANDARD COLOR PALLETTE BY OWNER.
 - ② 6" K-STYLE PRE-FINISHED SEAMLESS ALUM. GUTTERS @ ALL ROOF EDGES ALONG WITH 1" OF ROOF SLOPE. EA. GUTTER SHALL HAVE 2"X4" ALUM. DOWNSPOUTS PROPERLY SUPPORTED W/ SPLASH-BLOCKS OR DIRECTLY TO INTO BELOW GRADE STORM DRAIN SYSTEM.
 - ③ LINE OF WALL FINISHING BELOW.
 - ④ PROVIDE CONT. RIDGE VENT @ ROOF RIDGES.
 - ⑤ PROVIDE PRE-FINISHED ALUM. DRIP EDGE @ ENTIRE ROOF PERIMETER.
 - ⑥ PROVIDE WTL. FLASHING @ ALL ROOF VALLEYS.



△ REVISIONS

A NEW BUILDING AT:

412 E 4TH ST.
BLOOMINGTON, INDIANA 47408



1 ROOF PLAN
1/4" = 1'-0"

TYPICAL ROOF ASSEMBLY:

1. 240#-TAB ASPHALT/FIBERGLASS SHINGLES, FASTENED W/ ONLY ROOFING NAILS AS PER SHINGLE SPEC. NO SINGLES
2. 15# ROOFING FELT LAPPED AS PER MFG'S. SPEC'S.
3. WATER & ICE SHIELD MEMBRANE.
4. 1/2" OSB OR 5/8" PLYWOOD ROOF DECKING W/ 4-CUPS @ ALL SPANNING BUTT JOINTS @ MEMBRANE BETWEEN ROOF TRUSSING SUPPORTS.

GENERAL ROOF PLAN NOTES:

- ALL WORK SHALL BE IN ACCORDANCE W/ THE BEST QUALITY STANDARDS OF THE TRADE & SHALL CONFORM W/ THE LATEST EDITION OF ALL FEDERAL, STATE, & LOCAL CODES & STANDARDS. THE SAME ARE MADE A PART OF THESE CONTRACT DOCUMENTS, AS REPEATED HEREIN.
- CONTRACT DOCUMENTS CONSIST OF BOTH THE PROJECT MANUAL & DRAWINGS, & BOTH ARE INTENDED TO BE COMPLEMENTARY. ANYTHING APPEARING ON OTHERS MUST BE CITED TO THE SAME AS IF SHOWN ON BOTH.
- CONSTRUCTION DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE. HOWEVER SYSTEMS MAY BE SHOWN DIAGRAMMATICALLY & IN SOME CASES, ENLARGED FOR CLARITY. PROVIDE DETAIL, BEING AS BEST TO PROVIDE A COMPLETE & COORDINATED SYSTEM.
- CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM THE BLDG. & ROOF DAILY.
- STORE MATERIALS OR FLAMMABLE LIQUIDS IN W/ LISTED FIRE CABINETS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF ALL STORED MATERIALS & EQUIP. INSIDE OR OUTSIDE THE BLDG.
- CONTRACTOR SHALL FURNISH NECESSARY TEMPORARY PROTECTION FROM WEATHER TO PROTECT INTERIOR OF BLDG. FROM ELEMENTS OF WEATHER @ ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC PROTECTION DURING CONSTRUCTION. AREAS OF WORK IN TRAFFIC BY VISITORS TRUCKS SHALL BE PROTECTED BY TEMPORARY BARRIERS. PROVIDE TR. HD. BLOCKING ED. IN THICKNESS TO INSL. SYSTEM @ ROOF PERIMETER @ AROUND ALL ROOF PENETRATIONS. ANCHOR PER SECTION 1-4-8 OF THE FM GLOBAL LOSS PREVENTION GUIDE.
- EXTEND ALL PLUMBING VENTS TO PROVIDE A MIN. OF 12" OF HT. FROM TOP OF INSL. ALL FITTINGS TO BE AIR & WATER TIGHT. SEE PLUMBING PLANS.
- ROOF INSL. SADDLES & CRACKETS AND MECHANICAL: ROOF INSL. MFG'S SHALL DESIGN & SIZE THESE FOR ROOF MEMBRANE MFG'S RECOMMENDATIONS. CRACKETS & SADDLES TO BE A MIN. WIDTH OF 1/2" TO SHINGLE LENGTH.
- PROVIDE SADDLES/CRACKETS AROUND ALL NEW ROOF TOP EQUIPMENT.
- PROVIDE TAPERED INSL. INSIDE REEDS TO TRANSITION FROM ONE INSL. HT. TO ANOTHER. MATCH ALL INSL. AS REEDS TO RECOMMEND SURFACE WITH CORONA, FASTENERS, OFFSETS & OTHER PROJECTIONS EXTENDING ABOVE THE SURFACE OF THE DECK.
- PERIMETER EDGE WTL. TO COMPLY WITH ANSI/SPR-12-11 IN SLOPE, 1-4-8.
- SEE MECHANICAL, ELECTRICAL & PLUMBING (MEP) SHEETS FOR ROOF TOP EQUIP.

PROJECT NO. 3619

DATE: JANUARY 24, 2020

DRAWN BY: W. WHITEMAN

CHECKED BY: D. BRUCE

SHEET NAME

ROOF PLAN

SHEET NO.

AE121

47

J:\PROJECTS\2020\02001\02001.dwg: 02/03/2020 10:00:00 AM: 1/4" = 1'-0" (1/4" = 1'-0")

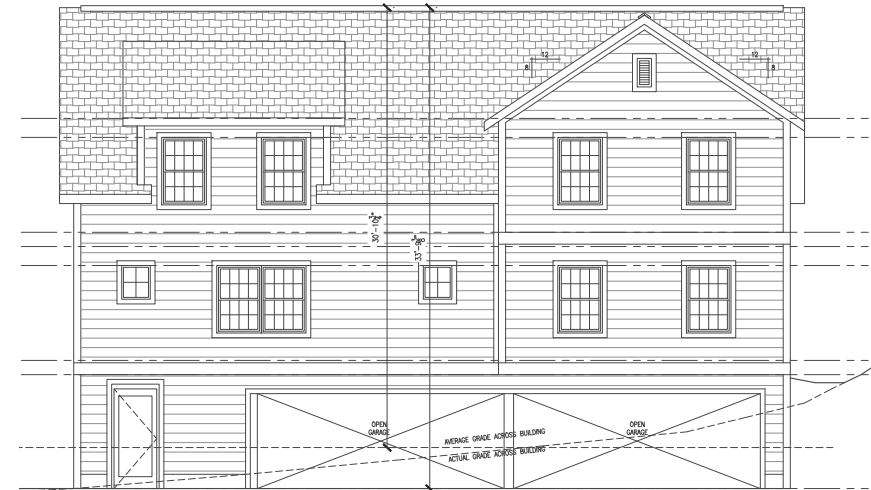
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4 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



REVISIONS

A NEW BUILDING AT:
412 E 4TH ST.
BLOOMINGTON, INDIANA 47408

PROJECT NO.	3419
DATE	JANUARY 24, 2020
DRAWN BY	W. WHELMAN
CHECKED BY	D. BRUCE
SHEET NAME	EXTERIOR ELEVATIONS

SHEET NO.
AE201

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COA: 21- 47
STAFF RECOMMENDATIONS

Address: 1302 E 2nd St.

Petitioner: John Wiebke

Parcel #: 53-08-03-208-054.000-009

Rating: CONTRIBUTING

Survey: C. 1940 Tudor Revival



Background: Elm Heights Historic District

Request: Build a stand-alone tool/storage shed

Guidelines: Elm Heights Historic District Guidelines

Changes to, or construction of, garages or service buildings.

- Avoid the choice of pre-manufactured sheds or service buildings that are uncharacteristic of the surrounding neighborhood. They may be considered if sufficiently screened from view.
- New structures should be sited with regard for the historic orientation of the house and with care for their impact on the site (pg. 31).

Staff recommends approval of COA 21-47:

- Staff finds that the pre-manufactured “Cottage Shed”, although visible from South Highland Avenue, does not negatively impact or detract from the scale, building forms, or landscape typical of the Elm Heights Historic District.

Elm Heights Historic Guidelines

5.3 Garages and Service Buildings

Most of the Elm Heights district was built with both the car and the pedestrian in mind. Most of the area is platted with alleys to give access to both attached and detached garages. The attached garage at that time was a novelty and its design was executed in various ways around the neighborhood. There are many instances of garages directly under the house, which made them extremely inconspicuous from the street. Others were quite small and set back from the front facade with 2nd floor living spaces or a terrace above. The car of this time was very narrow. As cars outgrew the attached garages, many were repurposed as living space. The most common type of garage was detached, matched the house in both building material and style, and was accessed from an alley.

Service buildings were less common than in the surrounding countryside and mostly used for storing gardening supplies or relaxing and entertaining. Occasionally these small buildings were designed with a fireplace or grill and seating.



Preservation Goals for Garages and Service Buildings

To retain and restore original garages and service buildings along with their inherent materials and features through cleaning, repair, and routine maintenance.

Guidelines for Garages and Service Buildings

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow a numbered item further assist applicants with the COA process.

- I. Removal of a historic garage or service building.**
- II. Changes to, or construction of, garages or service buildings.**
 - New construction and additions should follow Section 5.1, Additions and New Construction
 - Avoid the choice of pre-manufactured sheds or service buildings that are uncharacteristic of the surrounding neighborhood. They may be considered if sufficiently screened from view.
 - New structures should be sited with regard for the historic orientation of the house and with care for their impact on the site.
 - New garages and garage additions should be accessed by alleyways when available and appropriate and away from the primary facade whenever possible.



APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 21-47
Date Filed: RECEIVED
Scheduled for Hearing: SEPT 22, 2021

Address of Historic Property: 1302 E 2nd St
Petitioner's Name: John Wiebke
Petitioner's Address: 1302 E 2nd St
Phone Number/e-mail: 317-225-0804, johnrwiebke@gmail.com
Owner's Name: John Wiebke
Owner's Address: 1302 E 2nd St
Phone Number/e-mail: same as above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “Complete Application” consists of the following:

1. A legal description of the lot. Lot number 1 in Parkview Addition, tax id 53-08-03-208-054,000-009

2. A description of the nature of the proposed modifications or new construction:

See the attached

3. A description of the materials used.

See the Attached

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

COA for 1302 E 2nd Street

A description of the nature of the proposed modifications or new construction:

My wife and I are the new owners of 1302 E 2nd street and are seeking to improve the value and utility of the property.

Our desire is to construct a stand-alone tool/storage shed on the edge of our property line to provide storage for yard implements and outdoor furniture etc. We have spoken to our neighbor in 1304 E 2nd and he had no objection to the addition.

Structure – We believe the “Cottage Shed” designed and built by Prairie Built Barns. see attached for picture, will meet our needs. We settled on the smallest size available of 8X12 with a maximum height of approximately 8 feet. The structure will be constructed of wood with a tin roof. We wanted to paint it red with white trim.

Location- We wanted to place the shed in our backyard on a pre-existing concrete foundation, where there is nothing today. The location is captured in photos A and B. Photo A is taken from the edge of S Highland Ave looking east. The distance from Highland Ave to the nearest edge of the concrete foundation is approximately 58 feet. Picture B is taken a little closer to the area of the proposed build site looking from the south. Our property line runs north south along the east side of the existing limestone/concrete wall. This storage shed would be built on the west side of the wall and not disturb the existing wall.

Thank you for your consideration and I look forward to discussing this further.

Sincerely,

John Wiebke



PRAIRIE BUILT BARNs

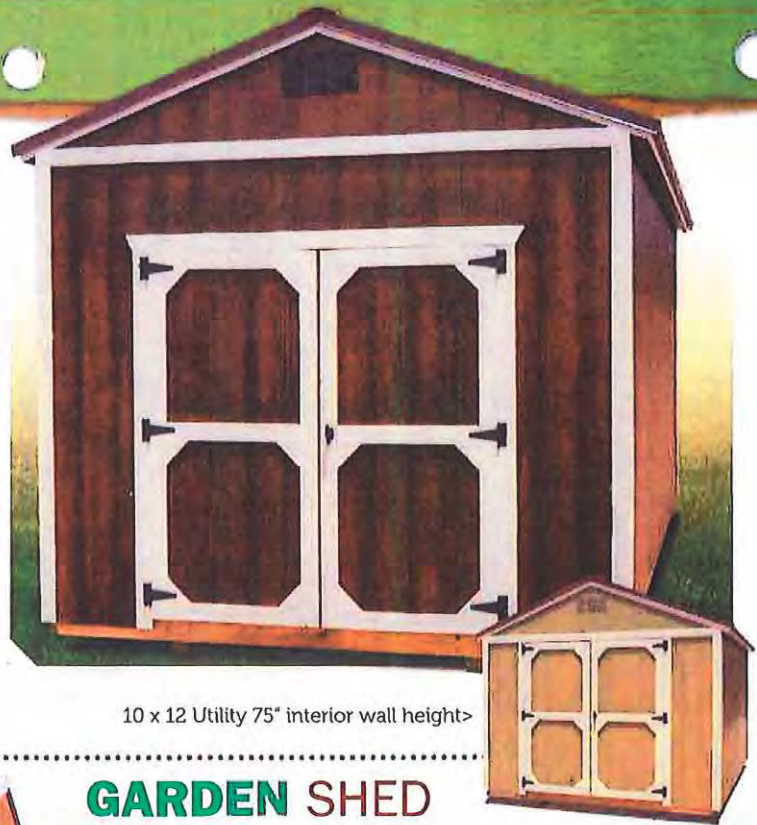
UTILITY

Gable-style roof profile.

8x12 – 10x14 come standard with 75" interior wall height;
92" interior wall height with extra height option.

10x16 – larger come standard with 92" interior wall height.

SIZE	PRICE	36 MO RTO	48 MO RTO	60 MO RTO	12x32	14x20	14x24	14x28	14x32	14x36	14x40	16x20	16x24	16x28	16x32	16x36	16x40	
08x12	\$2,695.00	\$124.77	\$112.29	\$99.81	\$7,945.00	\$367.82	\$331.04	\$294.26	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
10x10	\$3,025.00	\$140.05	\$126.04	\$112.04	\$8,075.00	\$373.84	\$336.46	\$299.07	\$267.82	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
10x12	\$3,275.00	\$151.62	\$136.46	\$121.30	\$8,975.00	\$415.51	\$373.96	\$332.41	\$299.07	\$267.82	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
10x14	\$3,495.00	\$161.81	\$145.63	\$129.44	\$9,745.00	\$451.16	\$406.04	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
10x16	\$3,975.00	\$184.03	\$165.63	\$147.22	\$10,645.00	\$492.82	\$443.54	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
10x20	\$4,695.00	\$217.36	\$195.63	\$173.89	\$11,545.00	\$534.49	\$481.04	\$427.59	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
12x12	\$3,975.00	\$184.03	\$165.63	\$147.22	\$7,945.00	\$367.82	\$331.04	\$294.26	\$267.82	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
12x14	\$4,375.00	\$202.55	\$182.29	\$162.04	\$9,025.00	\$417.82	\$376.04	\$334.26	\$299.07	\$267.82	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
12x16	\$4,825.00	\$223.38	\$201.04	\$178.70	\$9,925.00	\$459.49	\$413.54	\$367.59	\$324.11	\$299.07	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
12x20	\$5,675.00	\$262.73	\$236.46	\$210.19	\$10,945.00	\$508.71	\$456.04	\$405.37	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
12x24	\$6,495.00	\$300.69	\$270.63	\$240.56	\$11,845.00	\$548.38	\$493.54	\$438.70	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78
12x30	\$7,825.00	\$362.27	\$326.04	\$289.81	\$12,875.00	\$596.06	\$536.46	\$476.85	\$427.59	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78



10 x 12 Utility 75" interior wall height

GARDEN SHED

Gable-style roof profile.

8x12 – 10x14 come standard with 75" interior wall height;
92" interior wall height with extra height option.

10x16 – larger come standard with 92" interior wall height. Standard with two 2x3 windows.

SIZE	PRICE	36 MO RTO	48 MO RTO	60 MO RTO	12x32	14x20	14x24	14x28	14x32	14x36	14x40	16x20	16x24	16x28	16x32	16x36	16x40	
08x12	\$2,795.00	\$129.40	\$116.46	\$103.52	\$8,045.00	\$372.45	\$335.21	\$297.96	\$266.48	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$266.48
10x10	\$3,125.00	\$144.68	\$130.21	\$115.74	\$8,175.00	\$378.47	\$340.63	\$302.78	\$271.31	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$302.78
10x12	\$3,375.00	\$156.25	\$140.63	\$125.00	\$8,975.00	\$420.14	\$378.13	\$336.11	\$299.07	\$267.82	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$336.11
10x14	\$3,595.00	\$166.44	\$149.79	\$133.15	\$9,845.00	\$465.79	\$410.21	\$364.63	\$324.11	\$299.07	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$364.63
10x16	\$4,075.00	\$188.66	\$169.79	\$150.93	\$10,745.00	\$497.45	\$447.71	\$397.96	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$295.63	\$262.78	\$238.47	\$295.63	\$397.96
10x20	\$4,795.00	\$221.99	\$199.79	\$177.59	\$11,645.00	\$539.12	\$485.21	\$431.30	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$295.63	\$262.78	\$238.47	\$295.63	\$431.30
12x12	\$4,075.00	\$188.66	\$169.79	\$150.93	\$8,045.00	\$372.45	\$335.21	\$297.96	\$267.82	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$267.82
12x14	\$4,475.00	\$207.18	\$186.46	\$165.74	\$9,125.00	\$422.45	\$380.21	\$337.96	\$299.07	\$267.82	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$337.96
12x16	\$4,925.00	\$228.01	\$205.21	\$182.41	\$10,025.00	\$464.12	\$417.71	\$371.30	\$324.11	\$299.07	\$295.63	\$262.78	\$238.47	\$295.63	\$262.78	\$238.47	\$295.63	\$371.30
12x20	\$5,775.00	\$267.36	\$240.63	\$213.89	\$11,045.00	\$511.34	\$460.21	\$409.07	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$295.63	\$262.78	\$238.47	\$295.63	\$409.07
12x24	\$6,595.00	\$305.32	\$274.79	\$244.26	\$11,945.00	\$553.01	\$497.71	\$442.41	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$295.63	\$262.78	\$238.47	\$295.63	\$442.41
12x30	\$7,925.00	\$366.90	\$330.21	\$293.52	\$12,975.00	\$600.69	\$540.63	\$480.56	\$427.59	\$394.26	\$360.93	\$324.11	\$299.07	\$295.63	\$262.78	\$238.47	\$295.63	\$480.56

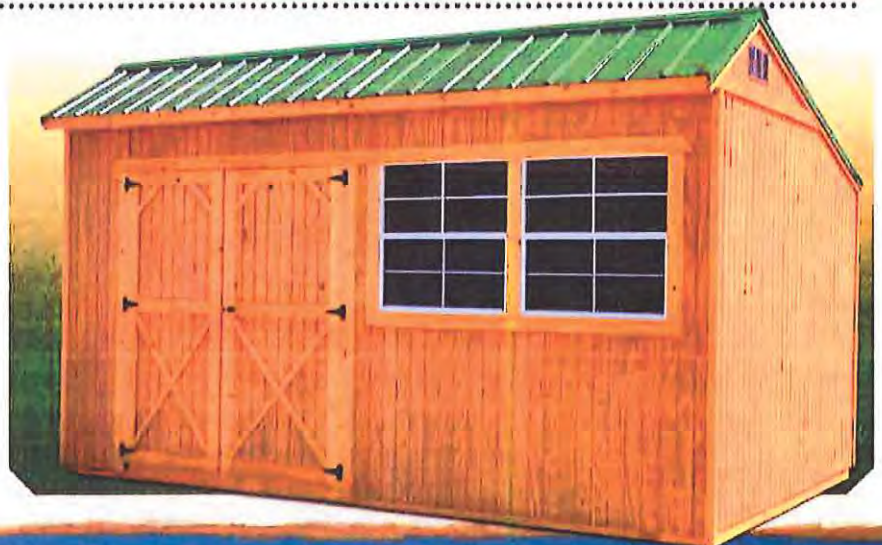


COTTAGE SHED

Standard with a salt-box style roof, and two 3x3 windows. 75" interior wall height in back, 92" interior wall height in front.

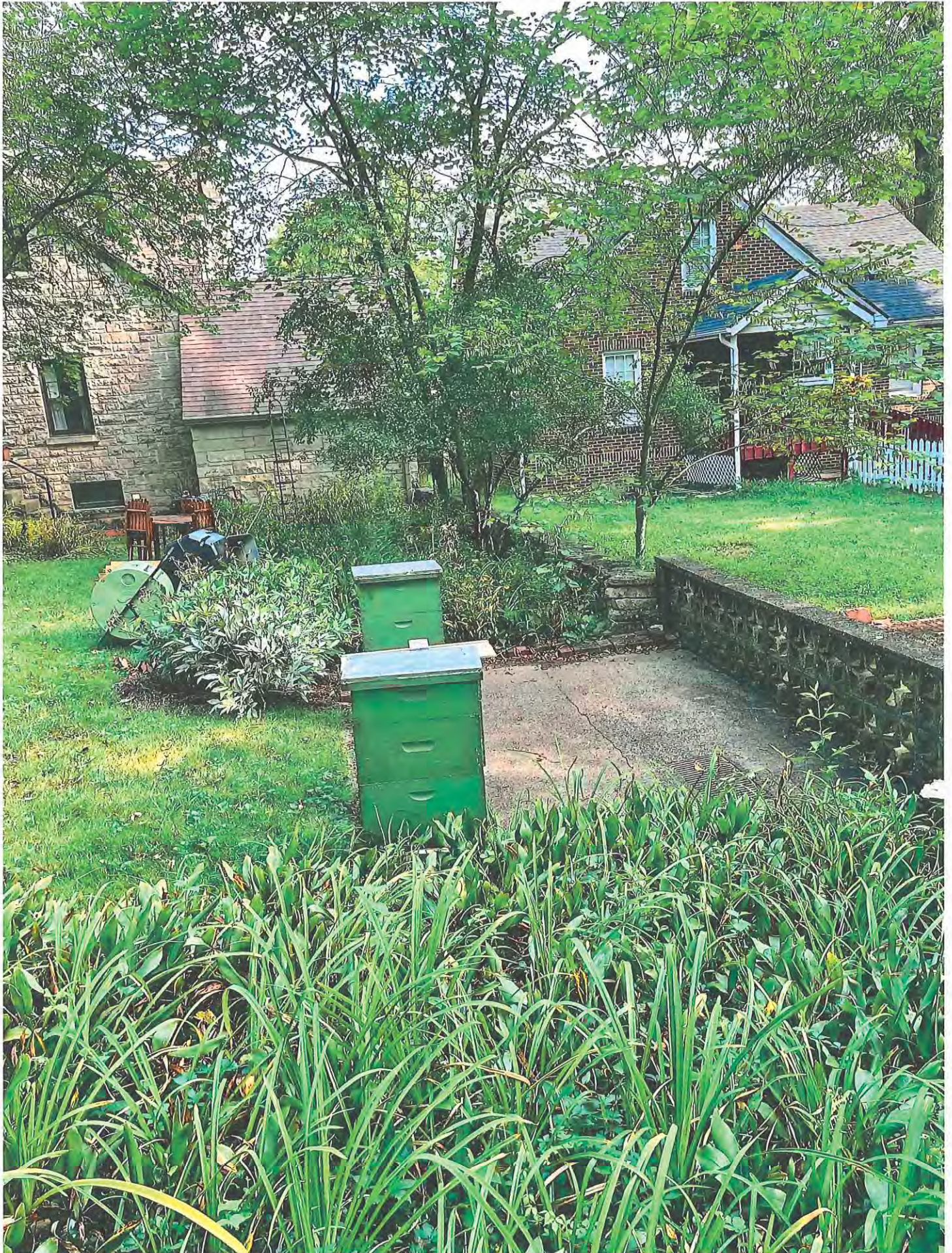


SIZE	PRICE	36 MO RTO	48 MO RTO	60 MO RTO
08x12	\$2,995.00	\$138.66	\$124.79	\$110.93
10x10	\$3,125.00	\$144.68	\$130.21	\$115.74
10x12	\$3,475.00	\$160.88	\$144.79	\$128.70
10x14	\$3,845.00	\$178.01	\$160.21	\$142.41
10x16	\$4,075.00	\$188.66	\$169.79	\$150.93
12x12	\$4,325.00	\$200.23	\$180.21	\$160.19
12x14	\$4,925.00	\$228.01	\$205.21	\$182.41
12x16	\$5,395.00	\$249.77	\$224.79	\$199.81
12x20	\$6,375.00	\$295.14	\$265.63	\$236.11
12x24	\$7,075.00	\$327.55	\$294.79	\$262.04
12x30	\$8,275.00	\$383.10	\$344.79	\$306.48





Picture A





Proposed site of shed



PLAT OF SURVEY - RETRACEMENT BOUNDARY
LOT 1 IN PARKVIEW ADDITION
BLOOMINGTON, MONROE CO., INDIANA
JOB No. 10435
 Client Name: ALISAN DONWAY
 Owners Name: SANDHYA R. GATES & LEELA
 BREITHAUP, TRUSTEES OF THE ALISAN
 DONWAY IRREVOCABLE TRUST, INST#2018005847

REPORT OF SURVEY

In accordance with Title 865, 1-12-1 through 1-12-30 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:

- (a) Reference monuments of record
- (b) Title documents of record
- (c) Evidence of active lines of occupation
- (d) Relative Positional Accuracy "RPA"

The Relative Positional Accuracy "RPA" (due to random errors in measurement) of this survey is within that allowable for a Suburban survey (0.13 feet (40 millimeters) plus 100 parts per million) as defined in IAC, Title 865 ("Relative Positional Accuracy" means the value expressed in feet or meters that represents the uncertainty due to random errors in measurements in the location of any point on a survey relative to any other point on the same survey at the 95 percent confidence level.)

In regard to "ACTIVE LINES OF OCCUPATION", point (c) above: ACTIVE refers to lines which are marked by visible, obvious, well defined and maintained, man-made or placed objects, such as, but not limited to, fences, hedges and retaining walls. The uncertainty cited for a line of occupation is general in nature and is NOT intended to be specific for every point along the line. Therefore, portions of the occupation line may vary from the surveyed line by a distance greater or less than uncertainty cited in this report.

This survey is a Retracement Survey performed at the request of Alisan Donway.

The property is currently in the name of Sandhya R. Gates and Leela Breithaupt, Trustees of the Alisan Donway Irrevocable Trust (Instrument No. 2018005847).

The field work was completed on June 4, 2020.

SURVEYS & PLATS OF RECORD:

1. Plat of Parkview Addition to the City of Bloomington by U.S. Hanna, dated May 15, 1906 and found in Plat Cabinet B, envelope 28 in the office of the Monroe County Recorder.
2. An unrecorded survey of the subject parcel by Raymond Graham, dated October 10, 1984 and found in the office of Bledsoe Riggert Cooper James, Inc, Bloomington, Indiana.
3. An unrecorded survey of Part of Seminary Lot 101 to the City of Bloomington by Bledsoe Riggert Guerrettaz, Job Number 8243 dated April 10, 2014 and found in the office of Bledsoe Riggert Cooper James, Inc, Bloomington, Indiana.

MONUMENTS FOUND:

6. A 2-inch diameter iron pipe was found flush with grade at the northeast corner of lot 6 of Parkview Addition.
8. A 1-inch diameter iron pipe was found flush with grade. This monument is shown on survey number 3.
9. A 3/8-inch diameter iron pin was found 0.3 feet above grade at the northeast corner of lot 38 of Parkview Addition.
10. A 1-inch diameter iron pipe was found 0.3 feet above grade at the southeast corner of lot 2.
11. A 3/8-inch diameter iron pin was found 0.3 feet above grade at the northeast corner of lot 37 of Parkview Addition.
12. A 1-inch diameter iron pipe was found 0.3 feet above grade. This monument is shown on survey number 3.
13. A 3/8-inch diameter iron pin was found 0.3 feet above grade at the southeast corner of lot 38 of Parkview Addition.

DEED ANALYSIS:

The subject deed and adjoiners are lots in Parkview Addition to the City of Bloomington.

ESTABLISHMENT OF LINES AND CORNERS:

The northwest corner of the subject parcel was established by intersecting a line between monument number 8 and monument number 6 with the intersection of an offset line between monument number 8 and monument number 12 at the apparent right of way width of 40 feet.

The northeast corner of the subject parcel was established between the calculated northwest corner of subject parcel and monument number 6 at the prorated distance of 58.54 feet from the calculated northwest corner of the subject parcel.

The southwest corner of the subject parcel was established from monument number 10, paralleling a line between monument 9 and monument number 11 and intersecting this line with a line drawn from the calculated northwest corner of the subject parcel parallel to a line drawn from monument number 8 and monument number 12.

The Southeast corner of the subject parcel was established on line between the calculated southwest corner of the subject parcel and monument number 10 at the prorated distance of 59.25.

As a result of the above observations, it is my opinion that the uncertainties in the location of the lines and corners established on this survey are as follows:

Due to Availability and condition of reference monuments: Up to 0.6 feet.

Due to Occupation or possession lines: Walls along the east line of the subject parcel are up to 0.3 feet west of the east line and up to 1.1 feet east of the east line. Fence along the south line is up to 4.6 feet south of the south line.

Due to Clarity or ambiguity of the record description used and of adjoiners' descriptions and the relationship of the lines of the subject tract with adjoiners' lines: No discrepancies found.

This survey was executed according to survey requirements contained in Section 1 through 19 of 865 IAC 1-12.

This certification does not take into consideration additional facts that an accurate and correct title search and/or examination might disclose.

Evidence of easements have not been located in the field and are not shown on this survey drawing.

Subject to the above reservation, I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that all information shown is true and correct to the best of my knowledge and belief.

Certified this 18th day of June, 2020

Christopher L. Porter

Christopher L. Porter
 Professional Land Surveyor No. LS21200022
 State of Indiana



COA: 21-51

STAFF RECOMMENDATIONS

Address: 1319 E 1st St.

Petitioner: Darrin C. Ricketts

Parcel #: 53-08-03-208-073.000-009

Rating: NOTABLE

Survey: c. 1928, Tudor Revival



Background: Historic name was the David G. and Florence Wylie House, located in the Elm Heights Historic District

Request: Tuck pointing, remove 1980's window-style air conditioner, restore front concrete walkway with limestone (use as much original and recovered material as possible)

Guidelines: Elm Heights Historic District Guideline

Landscaping (pg. 17)

Moving or removing historic decorative yard features and artifacts visible from a public right-of-way.

- Retain contributing limestone, wooden, or metal features; their removal requires either a COA or staff approval.
- Addition of decorative features such as sculptures and benches does not require a COA.

Masonry (pg. 20)

To retain and restore original exterior masonry surfaces, decorative embellishments, statuary, and functional features through repair, cleaning, tuck pointing, and routine maintenance.

Staff recommends approval of COA 21-51

- All of the proposed works either maintain the building's integrity or restore components to a how it previously looked.

Elm Heights Historic District Guidelines

3.6 Other Landscape Features

Goals for Other Landscape Features

Elm Heights has many features designed and installed with the development of the area that make it unique. Included in the original sale of the lots were a locally crafted limestone birdbath and bench. There were also a significant number of residents involved in the limestone industry who lived in the neighborhood and exhibited their craft and livelihood on their homes and in their yards. Limestone sculptures still dot the area and add to its visual interest and charm.

To retain distinctive and historic features that make the neighborhood unique.

To encourage unobtrusive placement or appropriate screening of modern updates or mechanical service equipment.

Guidelines for Other Landscape Features

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow each numbered item further assist applicants with the COA process.

- I. Moving or removing historic decorative yard features and artifacts visible from a public right-of-way.**
 - Retain contributing limestone, wooden, or metal features; their removal requires either a COA or staff approval.
 - Addition of decorative features such as sculptures and benches does not require a COA.
 - Shifting a decorative yard feature for its maintenance or safety does not require a COA, but the feature should not be removed from the property.
- II. Installation of service and technical equipment visible from the public right-of-way.**
 - Locate service, mechanical, electrical, or technical equipment such as satellite dishes, substations, central air conditioning equipment, or heat exchangers so it is not visible from the street. Refer to the guidelines for Sustainability and Energy Retrofits, Section 5.5, when installing energy-generating technologies.
 - Screen equipment so it does not disrupt the integrity of the site or of the building's architecture.
 - Whenever feasible historic materials should not be damaged or removed when installing equipment.
- III. Installation of swimming pools and permanently installed yard equipment visible from the public right-of-way such as playgrounds, barbecue pits, greenhouses, and pet enclosures.**
 - Locate equipment in the rear yard, and site, landscape, and/or screen it so it is not within public view.
 - In-ground pools are preferable to above-ground pools. Take into consideration the possibility of damage to surrounding historic vegetation, outbuildings, and other features when determining the location.
 - Locate historically inappropriate items to be as inconspicuous as possible.

Things to Consider as You Plan

Great caution should be used if you move limestone objects; they are very heavy but brittle and can shatter or chip easily. See Section 4.2 for care and maintenance of limestone. If you must move limestone artifacts, it is recommended that you pad them carefully and make sure their new location has a stable base that will not shift during freeze-and-thaw cycles. Limestone planters and birdbaths should be carefully emptied and covered for the winter to prevent cracking and spalling.

Use of service equipment is an inevitable part of homeownership; staff-level approvals are available for small-scale installations. Swimming pools can be very obtrusive and space-consuming and can involve new screening, impervious surface, and landscape considerations. Because of their potential impact on the historic neighborhood, they require a full review by the Commission. Creative ways of screening and buffering are encouraged.

Some yard features that do not require review are rain barrels and clotheslines. These traditional items should be placed at the rear or side of a home or be screened from public view in some way. Consider painting additions such as these in a complementary or corresponding color scheme. If adding a rain barrel, please note that changes to copper gutters or downspouts require a COA or staff approval.



4.2 Masonry

Limestone and brick are the most prominent and pervasive building materials in Elm Heights. The most historically notable examples of masonry are limestone homes and features as well as building elements, surfaces, and details executed in carved, cut, and split stone. Many limestone sculptors, cutters, and quarry owners built houses in the neighborhood during the peak of quarry production in the 20s and 30s. They proudly displayed their art and livelihood in the design and building of their homes and gardens. Even small bungalows and cottages have sturdy retaining and garden walls, foundations, steps, and benches made of this locally available resource. Although other masonry materials such as brick, sandstone, geodes, terra cotta, and stucco were used, limestone was queen.

Stately brick homes with limestone or wood embellishments are well represented in the neighborhood along with a 1926 school building. Examples of homes using sandstone, and tapestry, rusticated, or colored brick are scattered throughout the area. A few homes with striking clay and slate tile roofs, sometimes incorporating colors or patterns, also remain.

One of the key goals of the Elm Heights district is to preserve the local limestone heritage through careful stewardship of irreplaceable historic features.



Preservation Goals for Masonry

To retain and restore original exterior masonry surfaces, decorative embellishments, statuary, and functional features through repair, cleaning, tuck pointing, and routine maintenance.



Guidelines for Masonry

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow a numbered item further assist applicants with the COA process.

- I. Removal of masonry or stone features or structures that contribute to the historic character of the property.**
 - Retain masonry features and statuary that contribute to the historic character of a site. These include but are not restricted to structures, foundations, columns, arches, porches, decorative panels, patios, fenestration, balustrades, lintels, sills, key stones, spouts, brackets, flower boxes, steps, railings, copings, walks, walls, retaining walls, birdbaths, benches, urns, pots, sculptures, fountains, ponds, landscape edging, and barbeque grills.
- II. Reconstruction of, or change to, a historic masonry or stone feature, structure, or surface.**
 - Match mortar composition to historic construction and materials to prevent future damage to masonry or stone.
 - Retain and duplicate distinctive construction features and finish including bond and mortar patterns, width, profile, texture, and color.
 - Provide adequate drainage to prevent water from collecting around, behind, or under structures or features.
 - It is not appropriate to apply a waterproof coating to, or to paint, exposed masonry or stone.
- III. Addition of a permanent masonry or brick feature to a historic property.**

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

COA 21-51

Case Number: _____

Sept. 8, 2021

Date Filed: _____

9/23/2021

Scheduled for Hearing: _____

Address of Historic Property: 1319 East 1st Street

Petitioner's Name: Darrin C. Ricketts

Petitioner's Address: 1319 E. 1st Street

Phone Number/e-mail: 315-771-1134 teamricketts@yahoo.com

Owner's Name: Darrin C. Ricketts

Owner's Address: see above

Phone Number/e-mail: see above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

22 July 2021

Per: Historic Committee

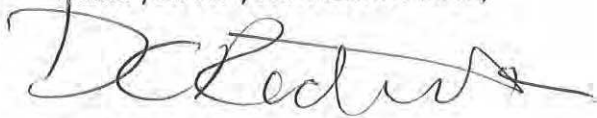
To whom it may concern,

Attached is an estimate from Paul Chambers and photos of planned restoration to the outside of our limestone home on 1st Street.

We have several areas that need tuckpointing and will remove a 1980s window-style air conditioner that previous owners installed by cutting a hole into the side of the house. We will match the original limestone to the best of our ability in this case, as well as the few areas where original limestone pieces have degraded and corroded over time. Photos are attached.

Also, our front concrete walkway has crumbled and cracked and needs to be replaced. Originally, both the walkway and stairs were limestone. We will restore the walkway and stairs to the original limestone. As you can see in one of the photos, we uncovered original limestone that was covered with grass and shrubs around the front entrance of our home in the summer of 2017. We hope that original limestone might still be under the crumbling concrete. If the original limestone under the concrete was removed, we will replace it to match the pre-existing limestone we uncovered in 2017.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read "D. Ricketts", with a long horizontal flourish extending to the right.

Darrin C. Ricketts

Restoration & Design Concepts

RESTORATION MASONRY

Paul Chambers
3293 Carowinds Court
Bloomington, IN 47401

Phone: (812) 361-0083
Email: pachambers3@gmail.com

Estimate

Attention: Darrin Ricketts

Job Information

Contractor: Restoration & Design
Job# _____
Projected Completion Date **AS AVAILABLE**

Date	Qty	Description	Amount	Total
5/28/21		Masonry/ Limestone/Steps Restoration		
	1	_____		
		Installation and Demo	\$800.	\$1600.
	2	Demo and reset 8" limestone column in back drive at the end of retaining wall		\$750.
	3	Cut and recess fireplace mantel into the plaster wall		\$1,200.
	4	Front Concrete steps demolition and excavation for new limestone steps		\$1,600.
		Top set of steps 6 pcs 6"x 16"x 60"/ 1 pcs 6"x 27"x 60" BUFF		
		Sidewalk between step sets 25' x 5' x 3" Total for both walkways BUFF		
		Bottom set of steps 5 pcs 6"x 16"x 60"/ 1 pcs 6"x 25"x 60" BUFF		\$12,400.
		Variegated	\$9,000.	
		Labor to set limestone		\$6,500.
		<i>TUCK POINT, TBD, as needed</i>		
		TOTAL		\$24,050.

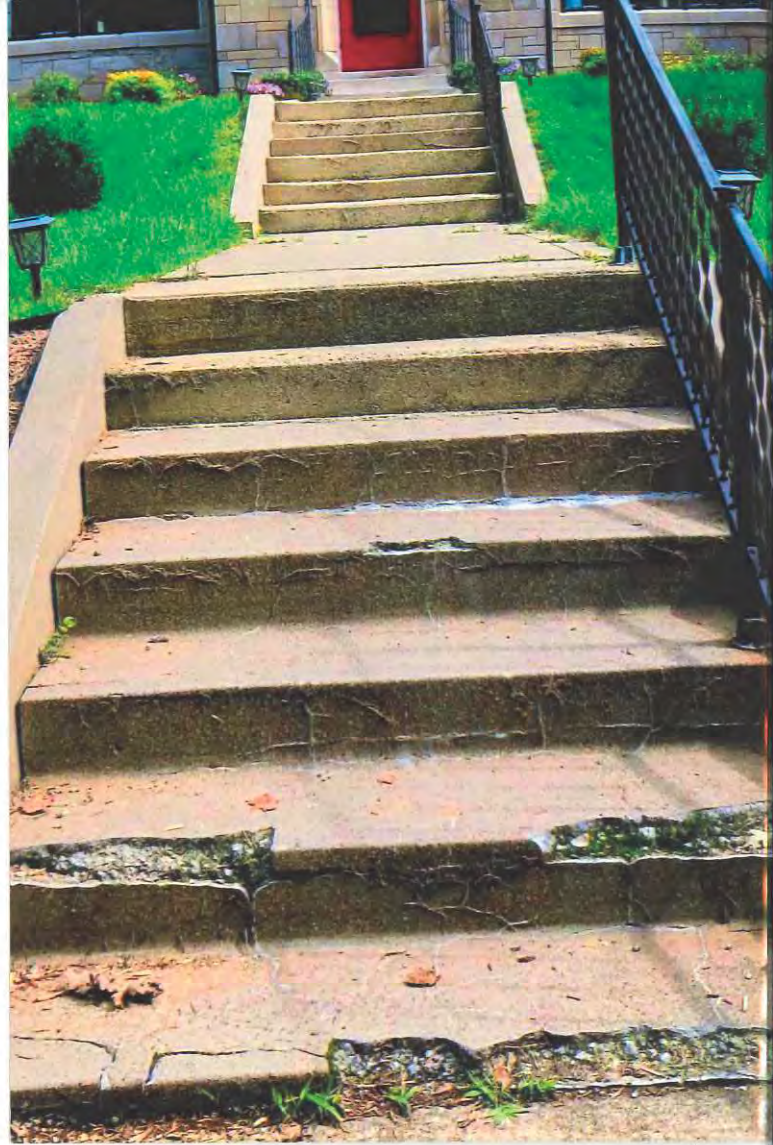
N/A interior

Note: A 50% deposit is required prior to delivery of goods and services.

The final cost may differ slightly from the estimate but will not exceed \$24,500

Please make checks payable to Paul Chambers

Thank You For Your Business









COA: 21-52
STAFF RECOMMENDATIONS

Address: 601 W 4th St.

Petitioner: Lindsey Muller

Parcel #: 53-05-32-418-001.000-005

Rating: NOTABLE

Survey: c. 1905, pyramid roof cottage



Background: Greater Prospect Hill Historic District

Request: Replace the back deck and sun room, fence replacement

Guidelines: Greater Prospect Hill Historic District

- Demolition (pg. 12)
 2. The historic or architectural significance of the structure is such that, upon further consideration by the Commission, it does not contribute to the historic character of the district.
 3. The demolition is necessary to allow development which, in the Commission’s opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
- New construction (pg. 16)
 1. Building materials, whether natural or man-made, should be visually compatible with surrounding historic buildings.
 2. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
 3. Brick, limestone, clapboard, cement board, wood, shingles, stucco

Staff recommends approval of COA 21-52:

The guidelines are centered mainly on the construction of full demolitions and new constructions. The proposed partial demolition and reconstruction will therefore be guided by the same principles.

- The existing deck and sun room are not original to the structure and are highly deteriorated. The proposed replacement faces the back of the main structure, is visible from the road, but maintains the scale and material use of the rest of the structure.
- The proposed picket fence is more in keeping with the materials commonly found in the neighborhood than the current chain link fence.

Greater Prospect Hill Historic District Guidelines

III. GUIDELINES FOR DEMOLITION

The following Demolition Guidelines were copied directly from the 2008 Prospect Hill Conservation District Guidelines that were approved by over 51% of the neighbors who voted. They have not been modified in any way.

STANDARDS FOR DEMOLITION

A Certificate of Appropriateness must be issued by the Bloomington Historic Preservation Commission before a demolition permit is issued by other agencies of the city and work is begun on the demolition of any building in the Prospect Hill Conservation District. This section explains the type of work considered in this plan to be demolition as well as the criteria to be used when reviewing applications for Certificates of Appropriateness that include demolition.

SUBJECT TO REVIEW AND APPROVAL:

- 1. Demolition of primary structures within the boundaries of the Greater Prospect Hill Historic District.**
- 2. Demolition of contributing accessory buildings within the boundaries of the Greater Prospect Hill Historic District.**

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: **Demolition** shall be defined as the complete or substantial removal of any historic structure which is located within a historic district. This specifically excludes partial demolition as defined by Title 8 “Historic Preservation and Protection”

(https://bloomington.in.gov/code/level2/TIT8HIPRPR_CH8.12DEPUSA.html).

CRITERIA FOR DEMOLITION

When considering a proposal for demolition, the BHPC shall consider the following criteria for demolition as guidelines for determining appropriate action. The HPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter only if it finds one or more of the following:

1. The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.
2. The historic or architectural significance of the structure is such that, upon further consideration by the Commission, it does not contribute to the historic character of the district.
3. The demolition is necessary to allow development which, in the Commission’s opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
4. The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition.
5. The structure is accidentally damaged by storm, fire or flood. In this case, it may be rebuilt to its former configuration and materials without regard to these guidelines if work is commenced within 6 months.

PRIMARY STRUCTURES

SUBJECT TO REVIEW AND APPROVAL:

All construction of primary buildings in the Greater Prospect Hill Historic District is subject to review and approval by the Bloomington Historic Preservation Commission (BHPC).

Definition: A **primary building** is a building or accessory structure occupying a lot. Buildings less than 80 square feet need no approval.

The following guidelines relate to the construction of any new primary building. They are enforceable by the BHPC and are subject to its “Review and Approval” by application for a certificate of appropriateness. These guidelines are less comprehensive and less restrictive than for a Historic District.

MATERIALS

Definition: The visual, structural, and performance characteristics of the materials visible on a building exterior.



RECOMMENDED

1. Building materials, whether natural or man-made, should be visually compatible with surrounding historic buildings.
2. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
3. Brick, limestone, clapboard, cement board, wood, shingles, stucco

(sun room / deck)

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

RECEIVED
SEP 07 2021

Case Number: COA 21-52

BY:

Date Filed: 9/7/2021

Scheduled for Hearing: 9/23/2021

Address of Historic Property: 601 W. 4th Street

Petitioner's Name: Lindsey Muller

Petitioner's Address: 601 W. 4th St. 47404

Phone Number/e-mail: (812) 322-4924 lindsey.kender@gmail.com

Owner's Name: Lindsey & Daniel Muller

Owner's Address: 601 W. 4th St. 47404

Phone Number/e-mail: Same as above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 613-03140-00 outlot P1 (66' x 132')

2. A description of the nature of the proposed modifications or new construction:

Will keep the same foot print of current enclosed back porch and deck. Current deck is rotted and not currently supported properly. Flooring, walls and windows were created some years ago from salvaged materials and are now rotted / not supported.
Plan is to keep the same look/size, but ~~and~~ replace with new material that is structurally supported.

3. A description of the materials used.

Wood siding, glass door, glass/vinyl windows, wood plank deck boards.

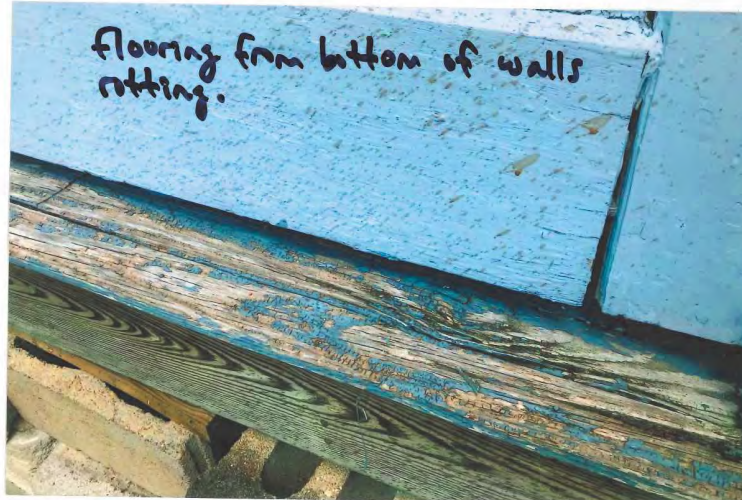
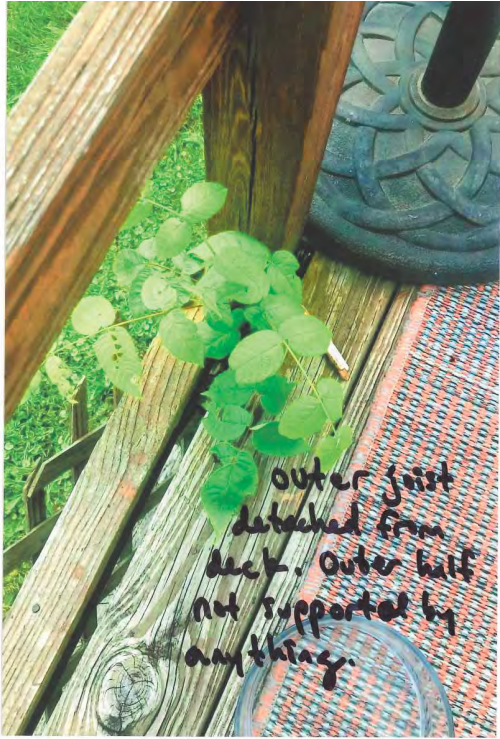
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

Damages





Proposed Deck Description

“The key details would be as follows: We would leave the roof and general footprint the same. A 5'3" interior dimension for the enclosed portion of the porch and an 8' depth for the deck. Then we would use 6 dbl. hung wood windows with exterior metal cladding (white) to recreate existing appearance. We would also install a half lite or divided 8 light style door w panels below. The deck would be framed using pressure treated lumber for joists and posts. Decking would be 5/4 x 6 deck boards or could be T& G boards, the same general dimension. The other key detail is we would use T-111 wood panels on the facade beneath the windows to match existing board and batten look. The railing would look like a more traditional railing w newel posts capped and 2x2 spindles we could even use a more ornate Victorian or Craftsman spindle to help with the retro look. Also; any foundation portions that were visible from the yard/ street could have a split face limestone block appearance to match existing. All interior elements could be faced with classic plywood bead board and floor could pressure treated tongue and groove porch flooring. 1x poplar casing on all windows and trimmed areas.”

Proposed Fencing



Letter of Support

9-15-2021

To whom this may concern:

We are heartily in favor of Danny and Lindsey Muller's preservation/reconstruction of their outbuilding/old garage project at 601 West Fourth Street. We know from personal experience that Marc Cornett will design a structure aligning with the appropriate historic and aesthetic vernacular which can be found throughout the west side neighborhood.

The Muller project is not without precedent. There are newly rebuilt outbuildings, barns and carriage houses throughout this neighborhood: the carriage house/barn @521 West Fourth Street; the outbuilding @ 333 S. Jackson; the garages @ 334 S. Rogers and 344 S. Rogers; the garage @ 346 S. Rogers; and the barn @ 316 S. Rogers to name just a few outbuildings within a three-block reach, which have been saved, stabilized or built in the vernacular.

Anita Bracalente

Jerry Sinks

COA: 21-53
STAFF RECOMMENDATIONS

Address: 601 W 4th St.

Petitioner: Lindsey Muller

Parcel #: 53-05-32-418-001.000-005

Rating: NOTABLE

Survey: c. 1905, pyramid roof cottage



Background: Greater Prospect Hill Historic District

Request: Replacement of all windows with Anderson wooden windows

Guidelines: Greater Prospect Hill Historic District Guidelines (pg. 25)

- Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.
1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house.

Staff recommends approval of COA 21-53:

The existing windows have cracked panes and many won't even open.

The proposed replacement windows match the material and scale of the existing windows.

Greater Prospect Hill Historic District Guidelines

B. CHANGES TO THE PUBLIC WAY FAÇADE

The following Public Way Façade guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.

Changes to the public way façade shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: The **public way façade** refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
2. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
3. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

Prioritize the retention of the roof's original shape as viewed from the public way façade. Chimneys may be removed unless they are an outstanding characteristic of the property.

(windows)

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 21-53
Date Filed: 9/7/2021
Scheduled for Hearing: 9/23/2021

RECEIVED
SEP 07 2021

BY:

Address of Historic Property: 601 W. 4th Street
Petitioner's Name: Lindsey Muller
Petitioner's Address: 601 W. 4th Street 47404
Phone Number/e-mail: (812) 322-4924 lindsey.kender@gmail.com
Owner's Name: Lindsey & Daniel Muller
Owner's Address: 601 W. 4th St. 47404
Phone Number/e-mail: Same as above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

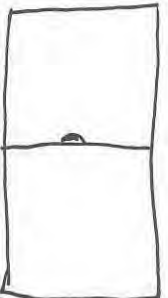
1. A legal description of the lot. 013-03140-00 Outlot P1 (66' x 132')

2. A description of the nature of the proposed modifications or new construction:

Replace all windows with energy efficient double pane
Anderson Windows (wood framing).
(purpose not only for energy efficiency but safety as
many are cracked with non tempered glass and do not
open)

3. A description of the materials used.

Double pane wooden Anderson Windows. The outside will
be painted white to match current trim. Windows will be
exact same size / shape as existing windows.



4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



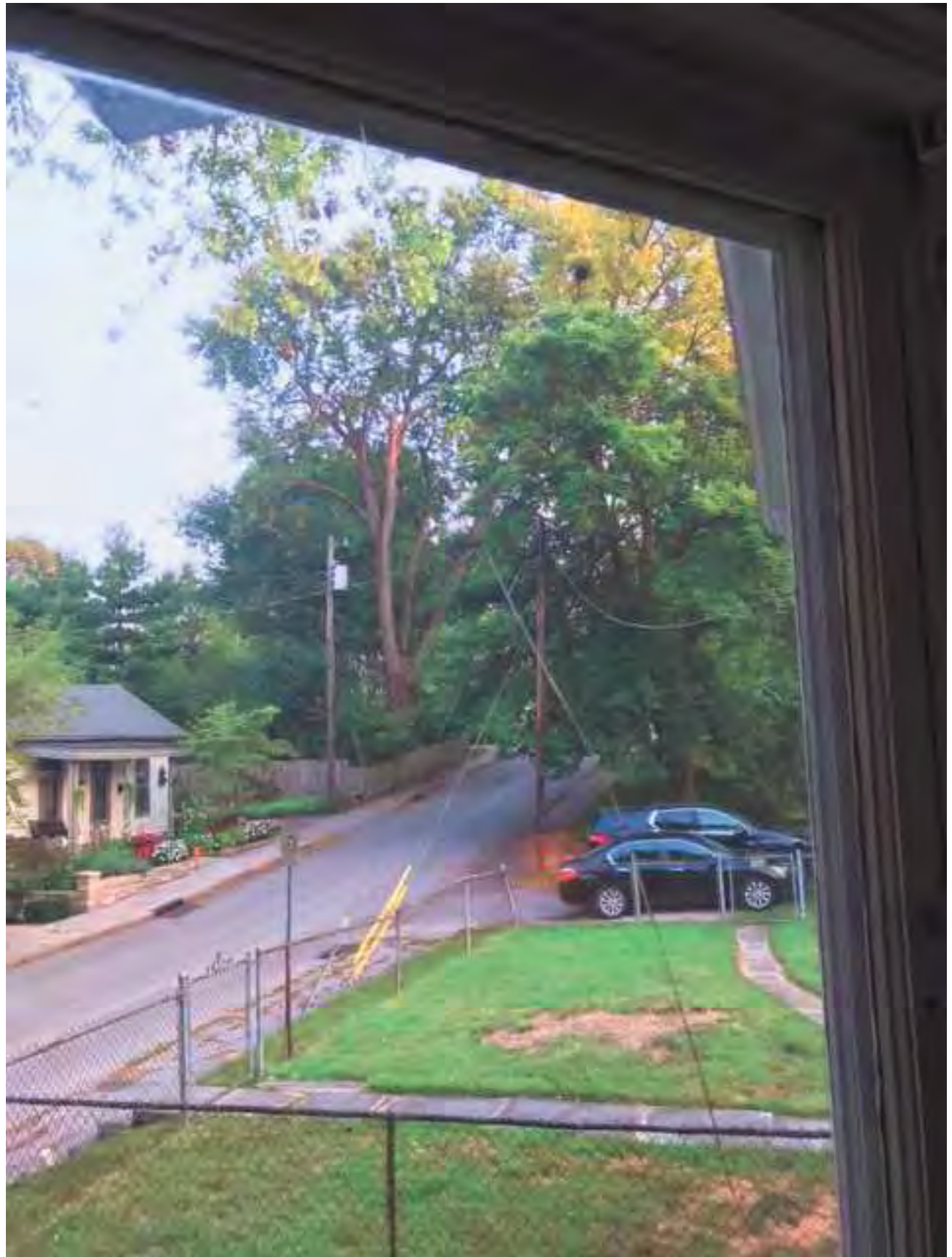
Below are pictures of the East windows that are cracked on the bay window. These windows are on the side and face Jackson Street. The crack on the middle/large bay window is about 2' long and this window doesn't open and the glass is fairly loose. The smaller window also of the bay window is more severely cracked and the lower pane is shattered. We've put a board over that one for a temporary fix and keep glass from falling in. It also doesn't open.

The ones from the front two rooms of the house (this would be front two windows facing 4th and a smaller one facing Jackson st that is on the east side of our porch) - these are not cracked, but do not open and the wood bends/crackles when trying to force them.

Lindsey Muller







COA: 21-54
STAFF RECOMMENDATIONS

Address: 601 W 4th St.

Petitioner: Lindsey Muller

Parcel #: 53-05-32-418-001.000-005

Rating: NOTABLE

Survey: c. 1905, pyramid roof cottage



Background: Greater Prospect Hill Historic District

Request: Move the main entryway

Guidelines: Greater Prospect Hill Historic District Guidelines

- The guidelines do not explicitly address pavement. However, the proposed change would reflect the entry patterns within the neighborhood with pavement and steps leading from the front facing sidewalk to the porch and main entryways. The current steps leading to the house are not original and were placed to benefit the building's function as a duplex.

Staff recommends approval of COA 21-54.

(stairs/walkway)

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 21-54
Date Filed: 9/7/2021
Scheduled for Hearing: 9/23/2021

RECEIVED
SEP 07 2021

BY:

Address of Historic Property: 601 W. 4th St. 47404
Petitioner's Name: Lindsey Muller
Petitioner's Address: 601 W. 4th St. 47404
Phone Number/e-mail: (812) 322-4924 lindseykinder@gmail.com
Owner's Name: Lindsey & Dandel Muller
Owner's Address: 601 W. 4th St. 47404
Phone Number/e-mail: Same as above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 013-03140-00 out PT (66' x 132')

2. A description of the nature of the proposed modifications or new construction:

The house has been a duplex on a corner lot and ~~is~~ doesn't have a front entry to the front of the property. The west units postal address is 603 W. 4th St. The home will change to a single family home within the next year. Therefore a paved/entry from 4th street to unit 603 will no longer be needed. Homeowners are purposing moving over the limestone walkway and stairs 15 feet east to make a front entry to unit 601 (as main entry). This will match the other 3 ~~units~~ houses on 4th

3. A description of the materials used. just west of the property.

- limestone slab and stairs (3) - already in place on property.
- Grass will be sown where stone was removed/relocated to allow rain water to absorb into ground properly.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.





Purposed
new location
to actual
front door.

old
location
of stairs
and
walkway

4th street

COA: 21-55
STAFF RECOMMENDATIONS

Address: 601 W 4th St.

Petitioner: Lindsey Muller

Parcel #: 53-05-32-418-001.000-005

Rating: NOTABLE

Survey: c. 1905, pyramid roof cottage



Background: Greater Prospect Hill Historic District

Request: Demolition and New Construction

Guidelines: Greater Prospect Hill Historic District Guidelines

Demolition of contributing accessory buildings within the boundaries of the Greater Prospect Hill Historic District (pp. 12-13)

1. The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.
3. The demolition is necessary to allow development which, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
5. The structure is accidentally damaged by storm, fire or flood. In this case, it may be rebuilt to its former configuration and materials without regard to these guidelines if work is commenced within 6 months.

Guidelines for New Construction (pg. 14)

1. DEVELOPED SITE - This is usually a site upon which there already exists a historic primary structure. New construction usually involves the construction of an accessory building such as a garage.

Accessory Structures (pg. 21)

SUBJECT TO REVIEW AND APPROVAL:

All accessory structures greater than 80 square feet within the boundaries of the Greater Prospect Hill Historic District.

Definition: Any structure secondary to the principal building on the lot and greater than 80 square feet in size is subject to the following guidelines:

Recommended

1. New structures accessory to primary buildings should be visually compatible with existing historic neighborhood patterns for accessory structures and of material consistent with the historic neighborhood pattern.
2. New structures should be placed, where possible, in a subordinate position to the primary building on the lot.

Staff recommends approval of COA 21-55:

- **The shed has gone through alterations including roof replacement.**
- **The structure is leaning on one side, doors don't fully function, and there is capillary water damage.**
- **The shed does not appear in the 1913 Sanborn map, I was not able to establish its original age.**
- **The proposed garage would roughly follow the footprint, massing, and geometry of the shed although at a scale to fit 2 cars.**

Greater Prospect Hill Historic District Guidelines

III. GUIDELINES FOR DEMOLITION

The following Demolition Guidelines were copied directly from the 2008 Prospect Hill Conservation District Guidelines that were approved by over 51% of the neighbors who voted. They have not been modified in any way.

STANDARDS FOR DEMOLITION

A Certificate of Appropriateness must be issued by the Bloomington Historic Preservation Commission before a demolition permit is issued by other agencies of the city and work is begun on the demolition of any building in the Prospect Hill Conservation District. This section explains the type of work considered in this plan to be demolition as well as the criteria to be used when reviewing applications for Certificates of Appropriateness that include demolition.

SUBJECT TO REVIEW AND APPROVAL:

- 1. Demolition of primary structures within the boundaries of the Greater Prospect Hill Historic District.**
- 2. Demolition of contributing accessory buildings within the boundaries of the Greater Prospect Hill Historic District.**

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: **Demolition** shall be defined as the complete or substantial removal of any historic structure which is located within a historic district. This specifically excludes partial demolition as defined by Title 8 “Historic Preservation and Protection”

(https://bloomington.in.gov/code/level2/TIT8HIPRPR_CH8.12DEPUSA.html).

CRITERIA FOR DEMOLITION

When considering a proposal for demolition, the BHPC shall consider the following criteria for demolition as guidelines for determining appropriate action. The HPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter only if it finds one or more of the following:

1. The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.
2. The historic or architectural significance of the structure is such that, upon further consideration by the Commission, it does not contribute to the historic character of the district.
3. The demolition is necessary to allow development which, in the Commission’s opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
4. The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition.
5. The structure is accidentally damaged by storm, fire or flood. In this case, it may be rebuilt to its former configuration and materials without regard to these guidelines if work is commenced within 6 months.

With the exception of Criterion #5, all replacement of demolished properties should follow new construction guidelines. The HPC may ask interested individuals or organizations for assistance in seeking an alternative to demolition. The process for this is described in Title 8 “Historic Preservation and Protection”.

IV. GUIDELINES FOR NEW CONSTRUCTION

The following New Construction guidelines were copied directly from the 2008 Prospect Hill Conservation District Guidelines that were approved by over 51% of the neighbors who voted. They have not been modified in any way.

STANDARDS FOR NEW CONSTRUCTION

The purpose of these guidelines is to present flexible approaches to appropriate design in the Greater Prospect Hill Historic District. The goal is to harmonize new buildings with the historic fabric that remains. The guidelines are not meant to restrict creativity, but to set-up a framework within which sympathetic design will occur. It should be noted that within an appropriate framework there can be many different design solutions which may be appropriate. While guidelines can create an acceptable framework they cannot ensure any particular result.

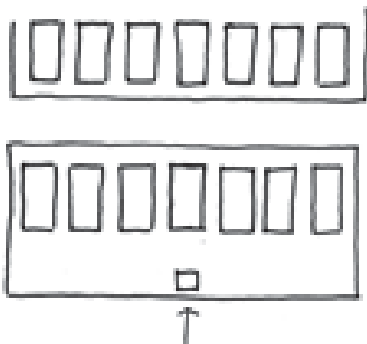
CONTEXT FOR NEW CONSTRUCTION

Standards and guidelines serve as aids in designing new construction which reacts sensitively to the existing context. Therefore, the most important first step in designing new construction in any conservation district is to determine just what the context is. “Contributing” properties are important to the density and continuity of the historic neighborhood, but are not individually outstanding or notable. You can find out more in the City of Bloomington Interim Report, on pages 34-41. Each property in the Prospect Hill Study Area is described.

Every site will possess a unique context. This will be comprised of the “contributing” buildings immediately adjacent, the nearby area (often the surrounding block), a unique sub-area within the district, and the district as a whole.

Generally, new construction will occur on sites which fall into the following categories. For each one described below, there is an indication of the context to which new construction must be primarily related.

1. DEVELOPED SITE - This is usually a site upon which there already exists a historic primary structure. New construction usually involves the construction of an accessory building such as a garage.



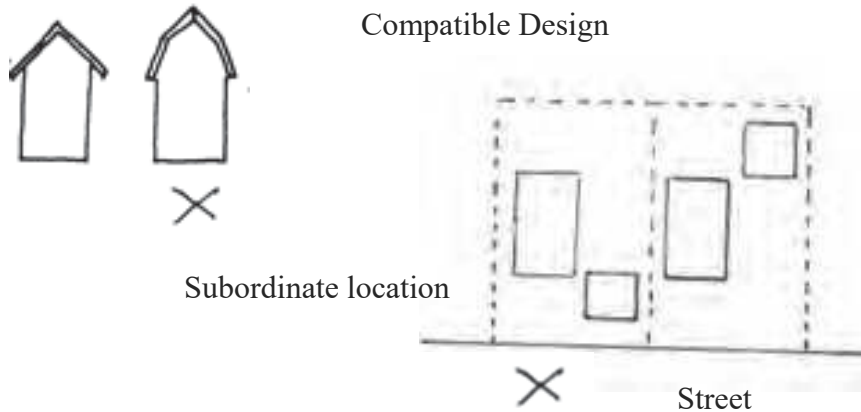
Context: New construction must use the existing historic building as its most important, perhaps only, context.

ACCESSORY STRUCTURES

SUBJECT TO REVIEW AND APPROVAL:

All accessory structures greater than 80 square feet within the boundaries of the Greater Prospect Hill Historic District.

Definition: Any structure secondary to the principal building on the lot and greater than 80 square feet in size is subject to the following guidelines:



RECOMMENDED

1. New structures accessory to primary buildings should be visually compatible with existing historic neighborhood patterns for accessory structures and of material consistent with the historic neighborhood pattern.
2. New structures should be placed, where possible, in a subordinate position to the primary building on the lot.

UTILITIES & EQUIPMENT

Definition: Any utilities that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as air-conditioning equipment).

RECOMMENDED

Mechanical equipment, such as permanent air conditioning equipment and meters should be placed in locations that have the least impact on the character of the structure and site and the neighboring buildings.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-55 _____

Date Filed: _____ 9/9/2021 _____

Scheduled for Hearing: _____ 9/23/2021 _____

Address of Historic Property: _____ 601 W Fourth St. Bloomington _____

Petitioner's Name: _____ Marc Cornett (Architect/consultant) _____

Petitioner's Address: _____ 101 E Kirkwood Ave. Bloomington _____

Phone Number/e-mail: _____ (812) 325-5964 / marccornett2016@gmail.com _____

Owner's Name: _____ Daniel and Lindsey Muller _____

Owner's Address: _____ 601 W. Fourth St. Bloomington _____

Phone Number/e-mail: _____ (201) 403-6168 / d.muller3@umiami.edu _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 013-03140-00 outlot pt.1 (66'x132')

2. A description of the nature of the proposed modifications or new construction:
See attached petitioners statement

3. A description of the materials used.
See attached petitioners statement

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

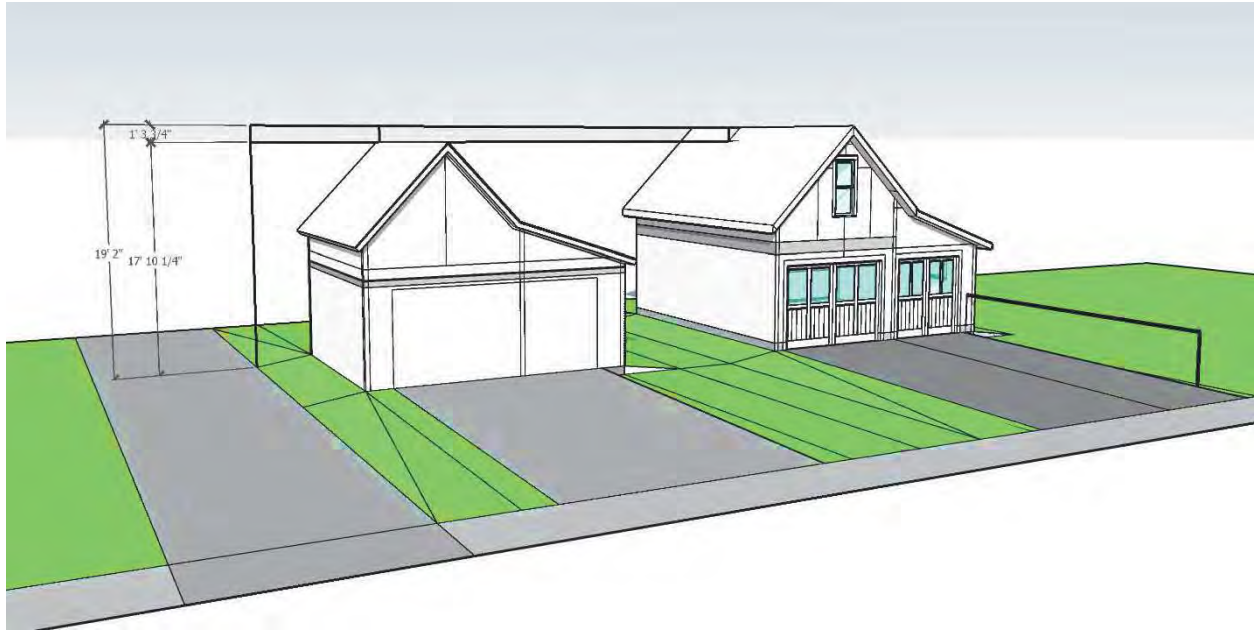
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

Design Images – Comparing the Existing Barn with the Proposed Garage

Image-1 East (Jackson Street) Elevations



Alley

Existing Barn

Proposed Garage Replacement

Image-2 Street Elevation from North East Corner



Existing Barn

Proposed Garage

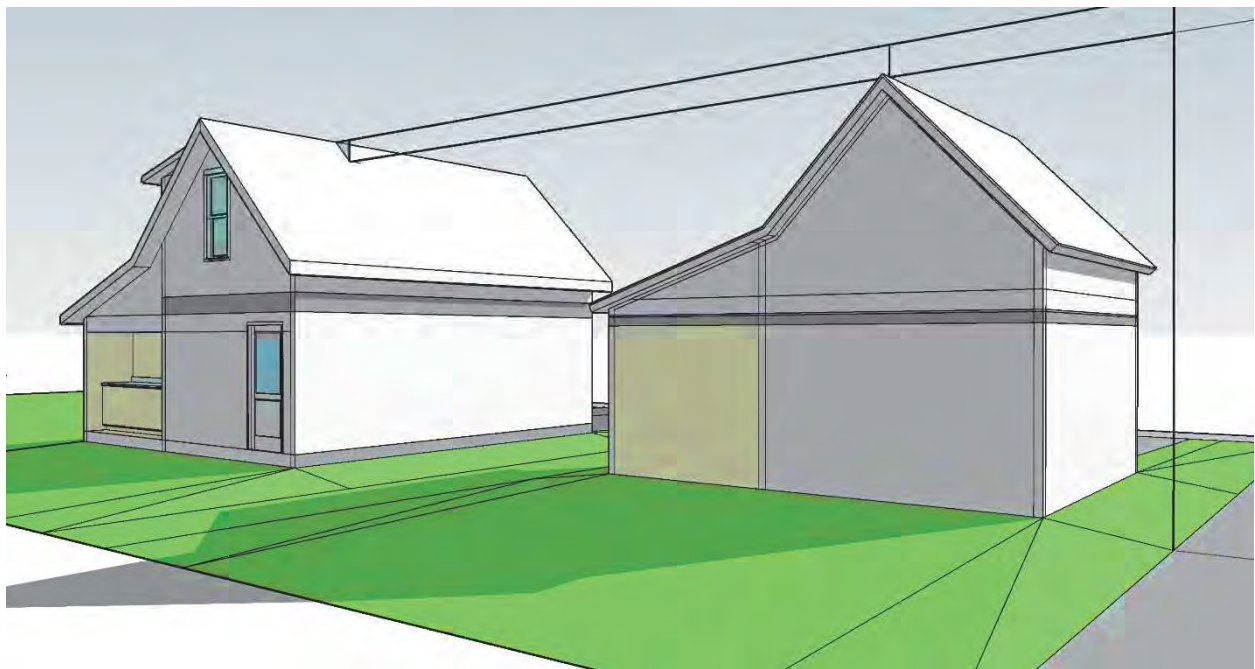
Image-3 West Elevations



Proposed Garage

Existing Barn

Image-4 West Elevations



Proposed Garage

Existing Barn

9-9-2021

HPC Certificate of Appropriateness Application:

601 W. Fourth St. (barn outbuilding on S. Jackson St. at alley)

Petitioners Statement:

Dear Commissioners,

Greetings,

I am contacting you on behalf of the owners, Daniel and Lindsey Muller, so that we can apply for a certificate of appropriateness to demolish an existing barn structure located at 601 W. Fourth St. The property is located in the Greater Prospect Hill Historic District. The home is listed as notable, (to remain) and is at the SW corner of W. Fourth and S. Jackson Sts. The barn is not listed (the proposed demolition) and is located at the south edge of the property along S. Jackson St. and is directly adjacent to the E/W alley at the South property line. The Jackson St. frontage has the restored limestone sidewalk along its' length with a defined curb cut at the existing barn for street access. The existing main house has a wraparound porch on the corner and is free classic styled. The barn is a multi-part building with a gable roofed main volume and an attached shed roof secondary volume (North side).

Part-I

Design Process:

We started with the idea of remodeling and enlarging the existing barn structure to accommodate the new Owner's goals of creating a 2 car garage with space for additional functions, including the attic. As we measured and investigated it became apparent that we needed to carefully analyze the existing conditions and the goals of the owner's. I called Gloria, HPC staff, at the City and we decided to meet at the site. We then met with Gloria and commission members Jeff and Sam at the site. We walked-thru the existing structure and site and we explained the barn re-use goals. As we talked about the condition and size limitations of the existing building it became apparent that the existing barn would be an extremely difficult conversion/update project. The barn is in an advanced state of disrepair and is realistically not feasible to repair/remodel and expand to meet the new owner's goals. We ended the meeting and re-started the design process as a demolition and in-kind replacement project.

Existing Conditions:

1. The footprint is 16' deep and 20'-6' wide.
(Inadequate depth for use as a garage)
2. The floor to ceiling height is between 7'-1 and 7'3" from the dirt floor to the bottom of the 2 x 4 ceiling joists.
(the ceiling height is too short for installation of overhead garage doors)
(the 2 x 4 ceiling joists are not structurally adequate to support attic use)
3. The rafters are 2 x 4.
(they would need to be stabilized with additional framing)
4. The rafter tails (exposed) are significantly rotted
(the roof would require disassembly and rafter tails replaced in kind)
5. The existing barn has no foundation or floor.
(the building would need to be lifted, repaired and set on new foundation/floor slab)
6. The wood wall framing is sitting directly on the existing grade and is rotted extensively at the ground line.
(would need to be replaced/sistered (bottom 2' in lower wall areas)
7. The siding on the North and West two walls is warped and gapped.
(would need to be removed, repaired/replaced)
8. The building is racked and leaning toward the South at the West end.
(would need to be straightened, squared and braced)

9. The tin metal 5V crimp (nail down) roof is rusted thru in areas and leaks in multiple, enlarged nail hole locations. (would need to be replaced)
10. The existing swinging doors on the East elevation are not fully functional. (would need to be repaired/replaced)
11. The existing man door on the North elevation is racked, rotted and non-functional. (would need to be replaced)
12. The headroom in the attic is non-functional for use as a studio/exercise room and at minimum a dormer would need to be added. This would require reframing the roof, including the ridge beam and transferring floor loads to the ceiling joists (inadequate). This would create a chain reaction, requiring additional structural parts - beams, columns, floor joists, etc.

Essentially the work required to stabilize, repair, replace and update the existing barn creates a scenario of total deconstruction, replace almost everything, and add a new dormer and supporting structure to create headroom upstairs.

Part II:

In-kind Replacement Design Strategy:

1. Design a new structure to be similar to the existing barn in scale, mass, exterior materials and design intent. The upgrades would allow for proper garage depth and width to accommodate 2 cars
2. Main Floor - Increase the footprint to accommodate 2 cars, a storage/BBQ area and a West entry with stair access to the loft/attic. The proposed new footprint would be 22' wide x 24' deep. This is only 18" wider than the existing barn footprint and allows the new volume/Jackson St. street massing to be similar.
3. Attic/Loft – add a dormer to accommodate an area for a studio/exercise space and additional storage at the end farthest from the Jackson St. ROW.
4. Massing/Elevations - design a similar massing with a two part, gable/shed roof slope that respects the existing roof shapes and volumes.
5. The exterior materials would be similar. Cement siding, painted, Metal roof, 5V crimp, galvalume, screw down installation, Garage door, traditional styled with glass upper sections.
6. The only departure from the existing barns' silhouette/massing would be the dormer at the West end of the attic (this would be placed away from the Jackson St. façade).

The Owner's are excited about updating this part of the property and welcome input and respectfully ask for the COA support of the Historic Preservation Commission.

Sincerely,

Marc C.



-Main house - SW corner of Fourth and Jackson
-Barn on left at rear of lot



-Barn elevation from street



- Rafter tail rotted and damage
- Metal roof deterioration and damage - roof leaks throughout



- North wall lean & rack
- Lower wall deterioration and rot and grade issues
- Man door rack & lean



-Lack of foundation - rubble wall stack



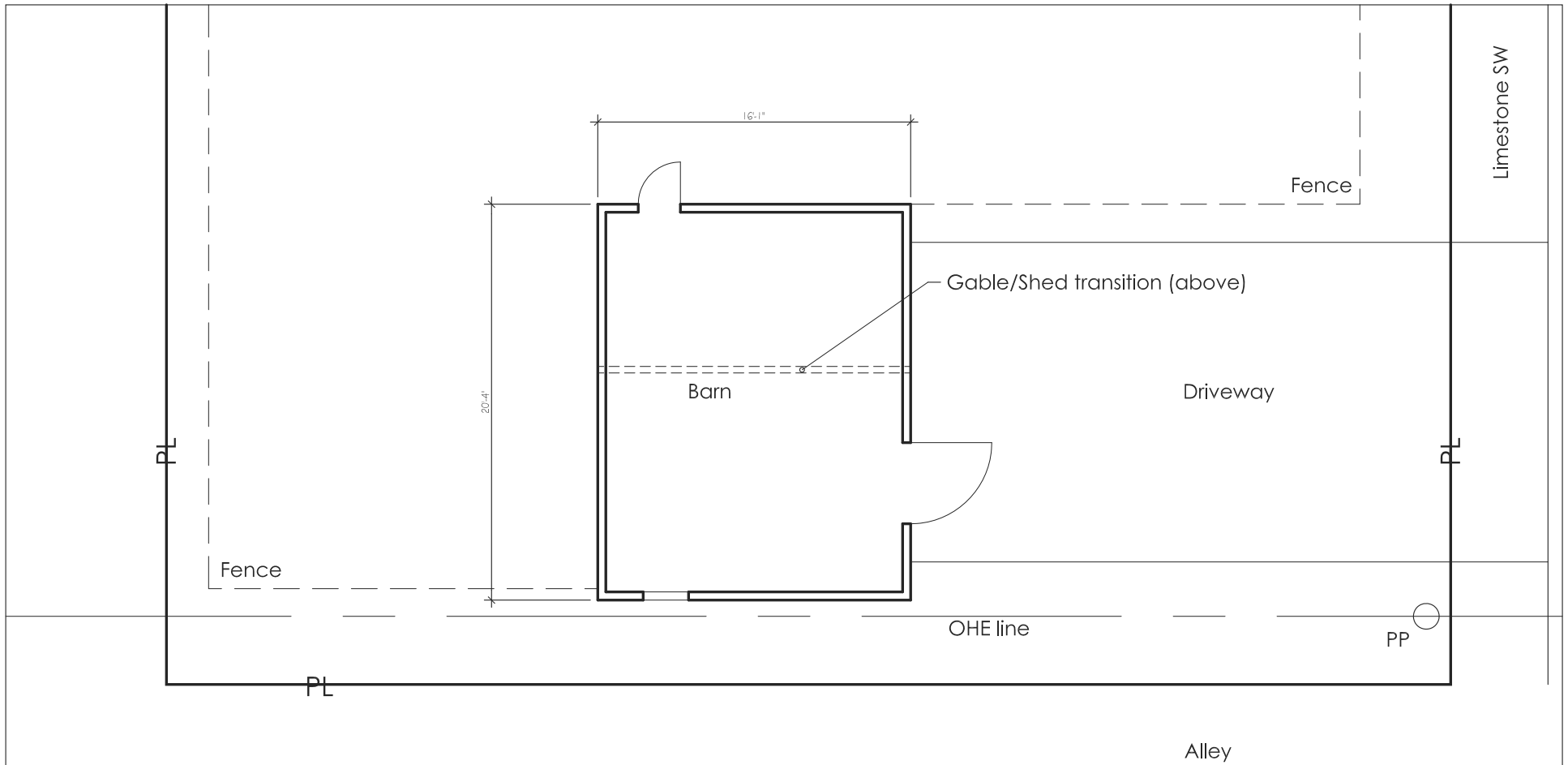
-Lack of foundation and lower wall rotted



- Mix matched ceiling joist framing and repairs
- Column in middle of garage space

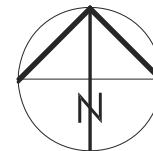


- Limestone sidewalk and curb cut



Floor Plan - Existing Conditions

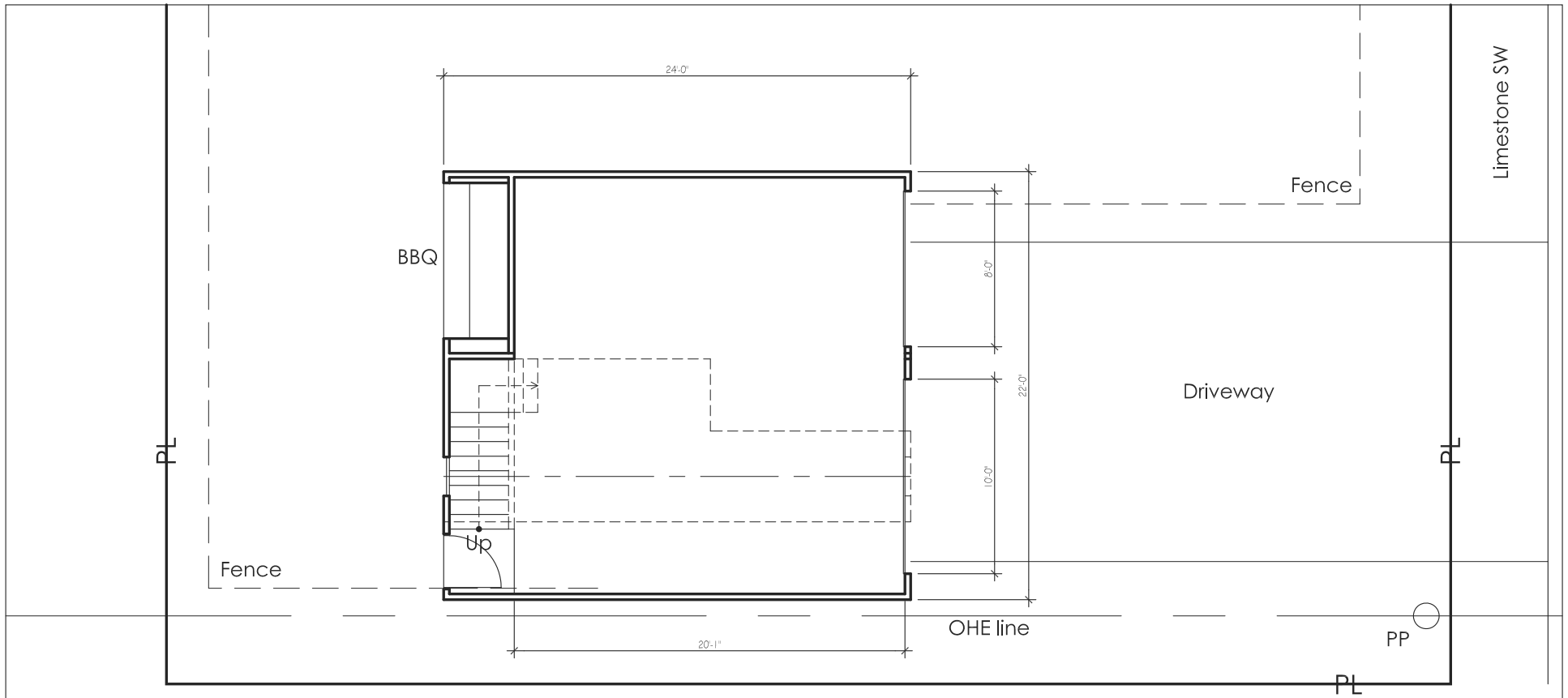
Scale: 1/8" = 1'-0"



601 W. Fourth St. Muller Residence - Barn Remodel

Date: 2021-8-1

M C A MarcCornettARCHITECTS+URBANISTS

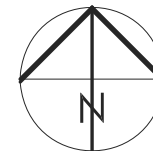


Notes:

1. New concrete slab
2. New/added perimeter base/wall treated framing (raise 8-12")
3. New garage door(s)
4. New addition w/ attic access stair, kitchenette, storage
5. New attic-exercise room w/ storage above
6. Remove existing door
7. Remove existing rear wall and install new beam/column
8. Remove existing front wall to install new garage doors, w/ new support headers

Floor Plan - Proposed Design Conditions

Scale: 1/8" = 1'-0"



601 W. Fourth St. Muller Residence - Barn Remodel

Date: 2021-8-1

M C A MarcCornettARCHITECTS+URBANISTS

W. 4th St.

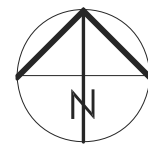


S. Jackson St.

Alley

Site Plan - Existing Conditions

Scale: 1" = 20'-0"



601 W. Fourth St. Muller Residence - Barn Remodel

Date: 2021-8-1

M C A MarcCornettArchitects

W. 4th St.



S. Jackson St.

Limestone SW

House

24'

Fence

Driveway

22'

Fence

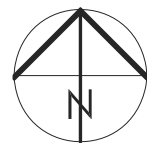
OHE line

PP

Alley

Site Plan - Proposed Design Conditions

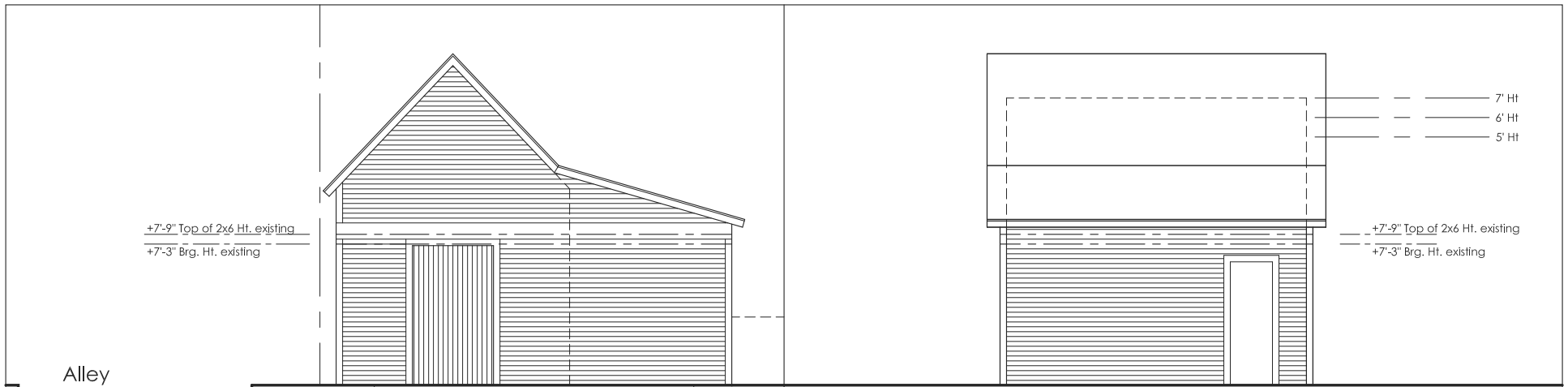
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601 W. Fourth St. Muller Residence - Barn Remodel

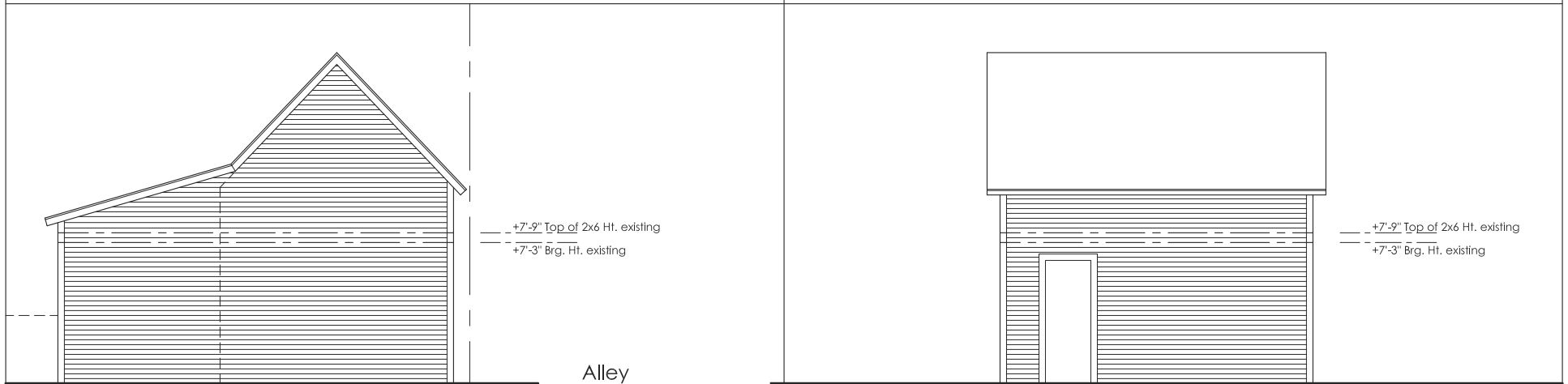
Date: 2021-8-1

M C A MarcCornettArchitects



East (S. Jackson) R.O.W. (Front View)

North (Yard View)



West (Rear View)

South (Alley) R.O.W. (Side View)

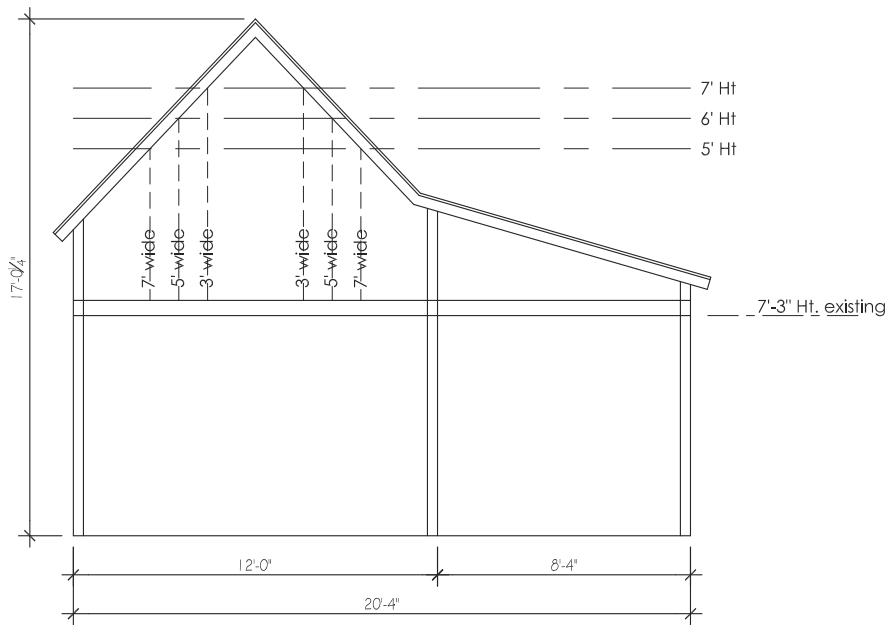
Elevations - Existing Conditions

Scale: 1/8" = 1'-0"

601 W. Fourth St. Muller Residence - Barn Remodel

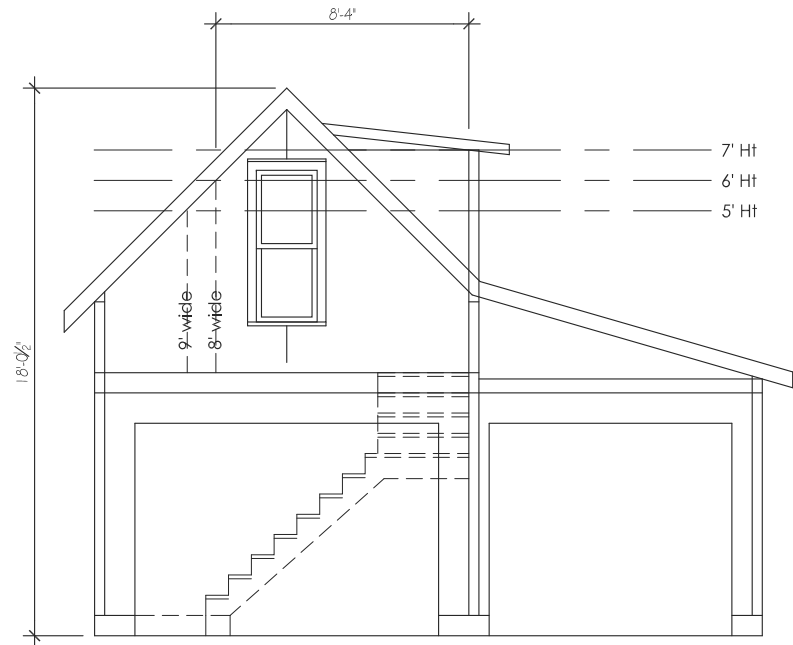
Date: 2021-8-1

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Section - Existing Conditions

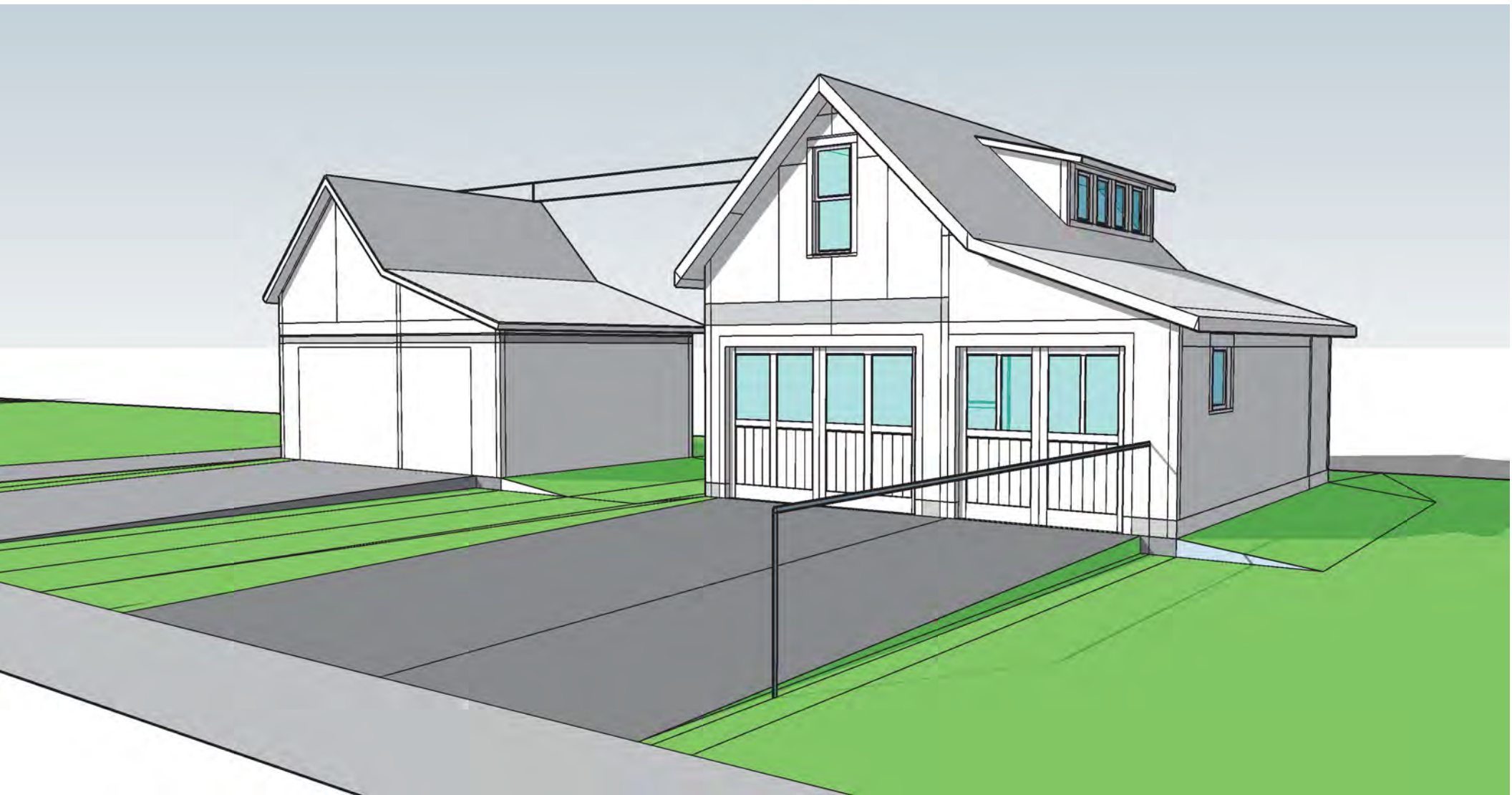
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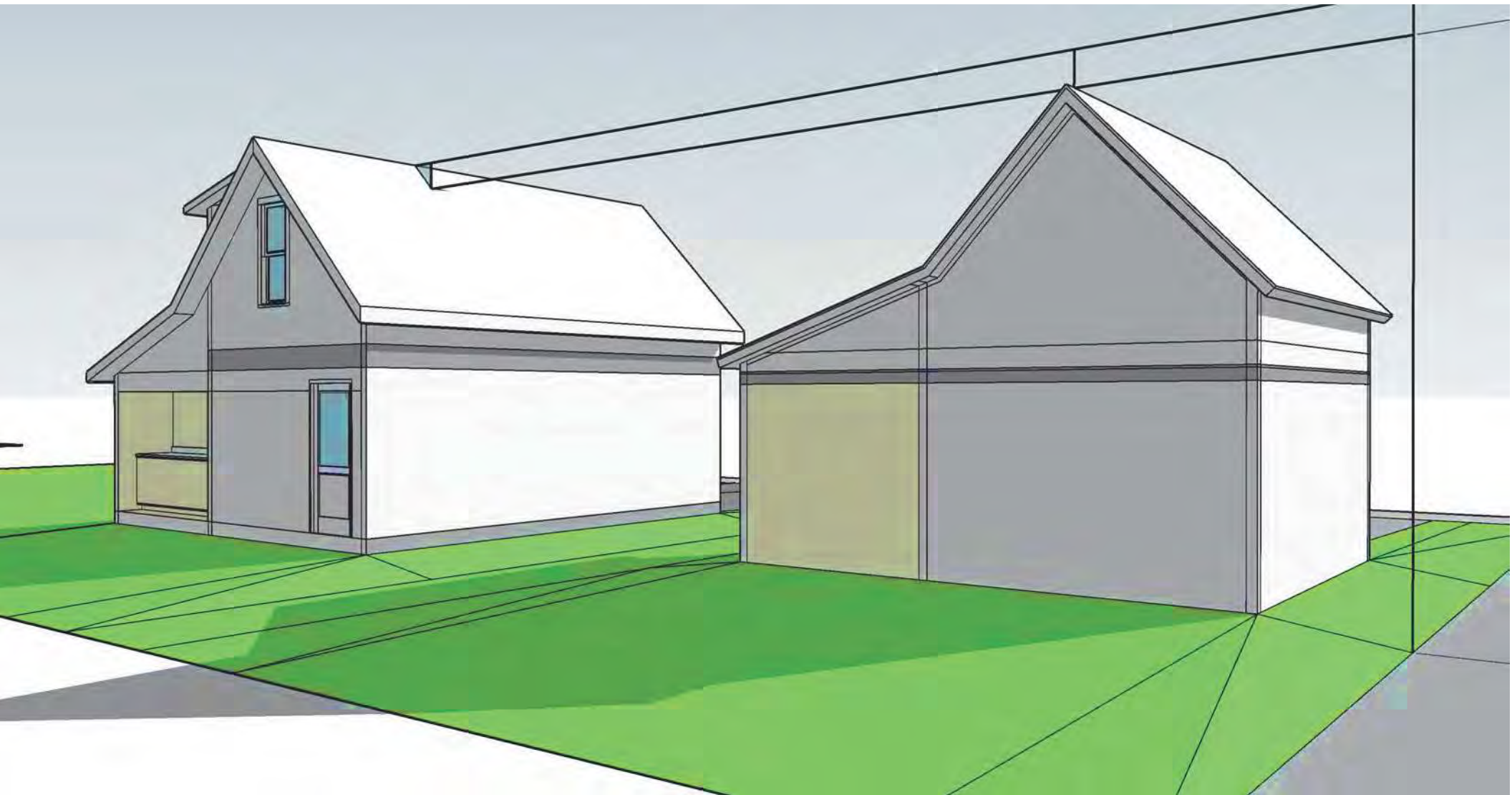
Section - Proposed Conditions

Scale: 1/4" = 1'-0"









COA: 21-56

STAFF RECOMMENDATIONS

Address: 344 S Rogers St.

Petitioner: Sonja Johnson and Keith Stolberg

Parcel #: 53-08-05-102-008.000-009

Rating: NOTABLE

Survey: c. 1906, Western Bungalow



Background: Prospect Hill Historic District

Request: Gutter replacement with K-style gutter

Guidelines: Prospect Hill Historic District (pg. 14)

Appropriate

Rain gutters and downspouts help define the character of roof lines while serving to channel water away from the building. Distinctive designs and materials of gutters should be identified, preserved, and, when severely deteriorated, replaced. Half round gutters and round downspouts are often the most appropriate replacement.

Inappropriate

Avoid placing gutters or downspouts in a manner that covers architectural detail, windows, or doors unless other solutions are impossible.

Staff recommends conditional approval of COA 21-56:

- Use of half round gutters is more in keeping with the historic era of the building.

Prospect Hill Historic District Guidelines

Existing Buildings

ROOFING MATERIALS

Appropriate

Replace deteriorated roofing materials as required with new material that matches the old in style, color, texture, size, and composition. Unique and inherently durable materials such as slate, tile, and architectural metal should be preserved through spot repair and preventive maintenance. If possible, original types of roofing materials should be reinstalled consistent with the period and style of the building. Consult the BHPC for assistance in choosing appropriate replacement roofing material.

Inappropriate

Roofing materials such as roll roofing, plastic, or tarpaper are inappropriate permanent coverings.

GUTTERS AND DOWNSPOUTS

Appropriate

Rain gutters and downspouts help define the character of roof lines while serving to channel water away from the building. Distinctive designs and materials of gutters should be identified, preserved, and, when severely deteriorated, replaced. Half round gutters and round downspouts are often the most appropriate replacement.

Inappropriate

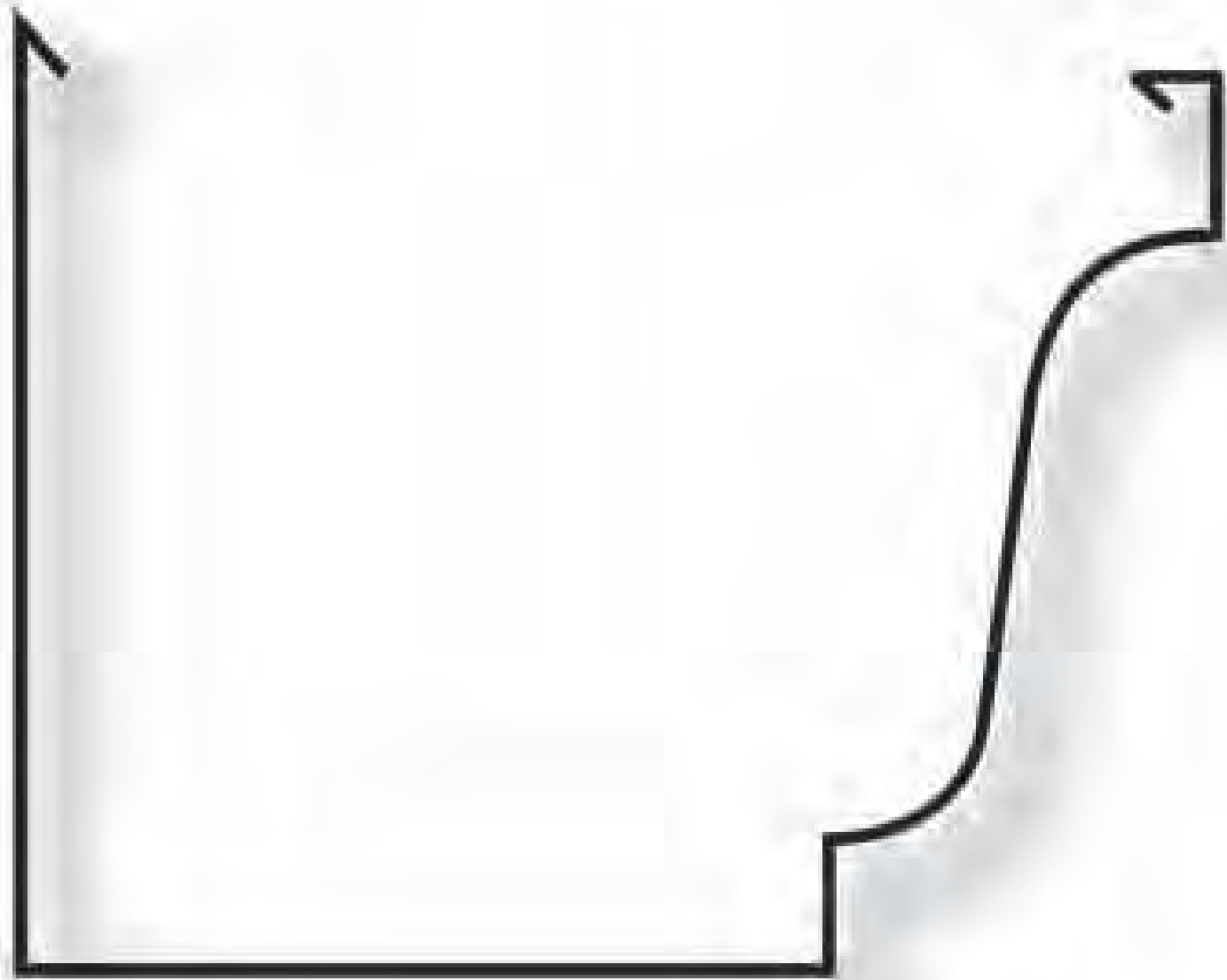
Avoid placing gutters or downspouts in a manner that covers architectural detail, windows, or doors unless other solutions are impossible.











COA: 21-57

STAFF RECOMMENDATIONS

Address: 1114 W Kirkwood Ave.

Petitioner: Reina Wong

Parcel #: 53-05-32-315-006.000-005

Rating: CONTRIBUTING

Survey: C. 1900 L-plan cottage



Background: Near West Side Conservation District

Request: Build new shed

Guidelines: Near West Side Conservation District Guidelines (pg. 35)

RECOMMENDED

1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.
2. The setback of a new accessory structure should relate to the setback pattern established by the existing accessory structures on the alley.
3. The scale, height, size, and mass of an accessory structure should be subordinate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.

Staff recommends approval of COA 21-57:

- The proposed shed would be in compliance with all of the guideline recommendations.

Near West Side Conservation District Guidelines

ACCESSORY STRUCTURE GUIDELINES

Definition: An accessory structure is any structure occupying the lot that is secondary to the principal building on the lot.

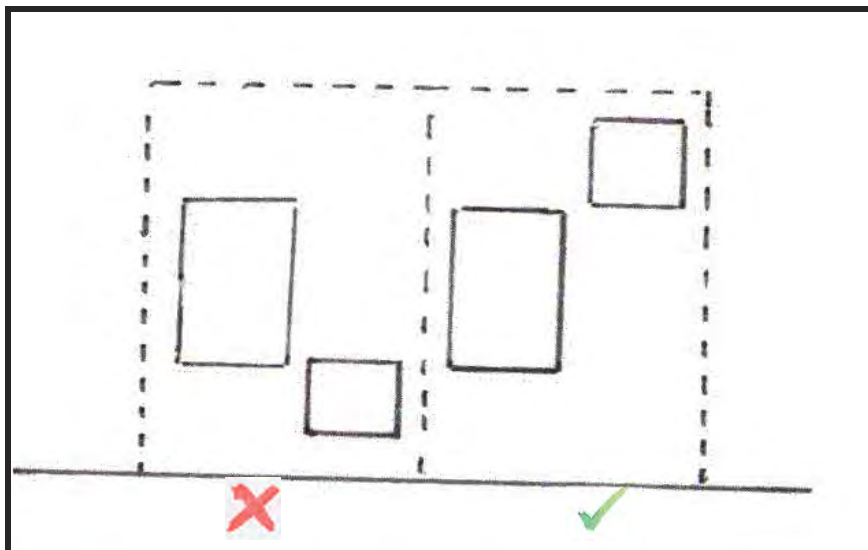
When designing a new accessory building such as a garage, accessory dwelling unit (ADU), or storage building, the context to which the designer must relate is usually defined by the principal structure on the site. For the most part, the guidelines pertaining to new construction of principal structures (see previous section) are applicable to accessory buildings as long as it is remembered that there is always a closer and more direct relationship with an existing building in this case. The following guidelines are specific to accessory buildings and are particularly important when undertaking such a project.

SUBJECT TO REVIEW AND APPROVAL:

- Construction of accessory buildings with an area **greater than 80 square feet** are subject to review and approval by the Bloomington Historic Preservation Commission (BHPC).
- Buildings less than 80 square feet and no taller than 10 feet do not need approval.

RECOMMENDED

1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.
2. The setback of a new accessory structure should relate to the setback pattern established by the existing accessory structures on the alley.
3. The scale, height, size, and mass of an accessory structure should be subordinate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.



**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-57 _____

Date Filed: _____ 9/9/2021 _____

Scheduled for Hearing: _____ 9/23/2021 _____

Address of Historic Property: 1114 W Kirkwood Ave

Petitioner's Name: Reina Wong

Petitioner's Address: 1114 W Kirkwood Ave

Phone Number/e-mail: 812-558-8626/reina.iub@gmail.com

Owner's Name: Reina Wong

Owner's Address: 1114 W Kirkwood Ave

Phone Number/e-mail: 812-558-8626/reina.iub@

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 013-10240-00 CRONS PT LOT 6

2. A description of the nature of the proposed modifications or new construction:
Storage shed to be built in backyard, 10' x 12', and no taller than 10 ft.

Five ft away from property line, and not viewable from either W. Kirkwood Ave. nor 6th Street.

Please see attached lot map - shed will be built in northwest corner of lot.

3. A description of the materials used.
Temporary wood structure. Wood post frame, with cement footers and anchors.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

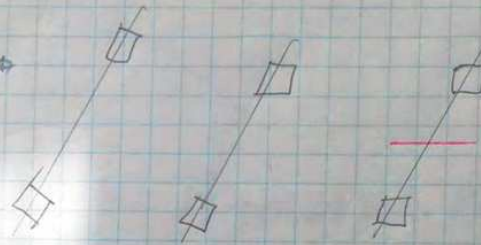
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

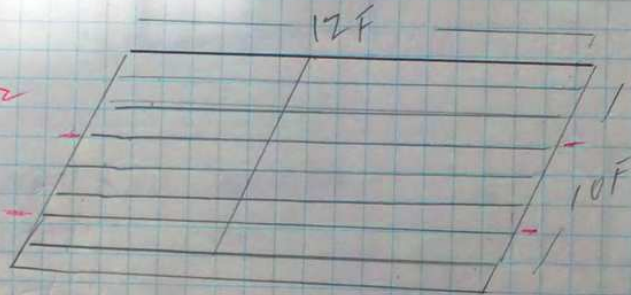
3 EA 4x4x10 1900 EA

6 EA 2x10 210 EA

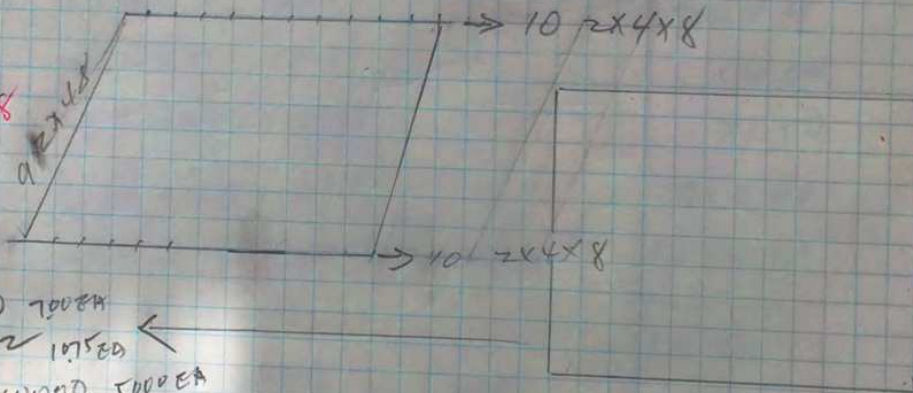
4x4x10 1900 EA



11 EA 2x8x12 1565 EA



4 EA 2x4x8 625 EA



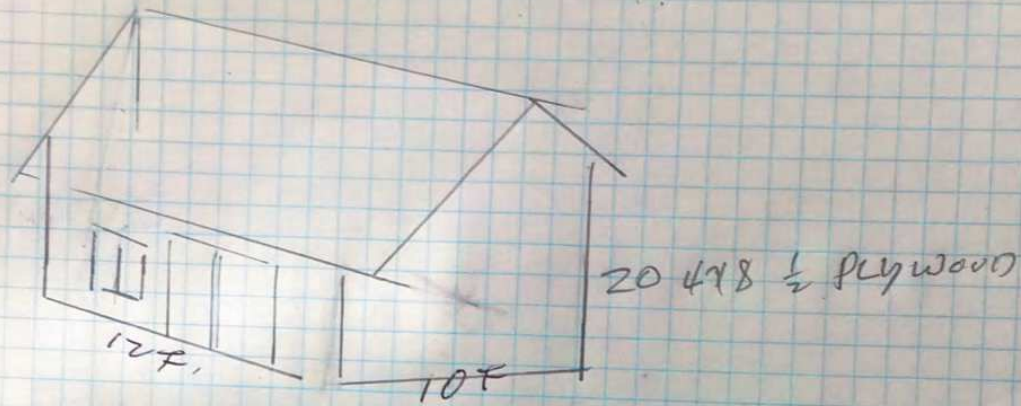
2 2x4x10 700 EA

2 2x4x12 1075 EA

4 3/8 PLYWOOD 5000 EA

1 EA 4x8





3 EA	4x4 x 10	20.00 EA	20.00
6 EA	[L]	21.00	12.60
11 EA	2x6 x 12		15.00
40 EA	2x4 x 8	6.25	250.00
2 EA	2x4 x 10	7.00	14.00
2 EA	2x4 x 12	10.75	21.50
4 EA	3/4 plywood	50.00	200.00
20 EA	4x8 1/2" plywood	50.00 EA	1,000.00
2 ROLL ROOF PAPER 50.00			1,533.31
3 PAK. GAT WATERED 300 EA			1,000.00
			1,000.00
			<hr/>
			1733.31



COA: 21-58
STAFF RECOMMENDATIONS

Address: "Paris Dunning House" 608 W 3rd St.

Petitioner: Nicholas Bauer

Parcel #: 53-05-32-420-017.000-005

Rating: OUTSTANDING

Survey: c. 1835, Greek Revival, Federal



Background: Prospect Hill Historic District

Request: Replace cedar shake roof shingles with either Malarkey Windsor or Presidential Shaker shingles

Guidelines: Prospect Hill Historic District (pg 14)

ROOFING MATERIALS

Appropriate

Replace deteriorated roofing materials as required with new material that matches the old in style, color, texture, size, and composition. Unique and inherently durable materials such as slate, tile, and architectural metal should be preserved through spot repair and preventive maintenance. If possible, original types of roofing materials should be reinstalled consistent with the period and style of the building.

Inappropriate

Roofing materials such as roll roofing, plastic, or tar paper are inappropriate permanent coverings.

Staff recommends conditional approval of COA 21-58:

- The existing roof cedar wood roof shingles are historically appropriate.
- The proposed roofing material must match the style, color, texture, size, and composition with the existing cedar wood shingles.
- The proposed new roof material would only be used on the central gable.

Existing Buildings

ROOFING MATERIALS

Appropriate

Replace deteriorated roofing materials as required with new material that matches the old in style, color, texture, size, and composition. Unique and inherently durable materials such as slate, tile, and architectural metal should be preserved through spot repair and preventive maintenance. If possible, original types of roofing materials should be reinstalled consistent with the period and style of the building. Consult the BHPC for assistance in choosing appropriate replacement roofing material.

Inappropriate

Roofing materials such as roll roofing, plastic, or tarpaper are inappropriate permanent coverings.

GUTTERS AND DOWNSPOUTS

Appropriate

Rain gutters and downspouts help define the character of roof lines while serving to channel water away from the building. Distinctive designs and materials of gutters should be identified, preserved, and, when severely deteriorated, replaced. Half round gutters and round downspouts are often the most appropriate replacement.

Inappropriate

Avoid placing gutters or downspouts in a manner that covers architectural detail, windows, or doors unless other solutions are impossible.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-58 _____

Date Filed: _____ 9/9/2021 _____

Scheduled for Hearing: _____ 9/23/2021 _____

608 W. 3rd Street (Paris Dunning House)

Address of Historic Property: _____
Nicholas Bauer

Petitioner's Name: _____
P.O. Box 1332, Bloomington, IN 47402-1332

Petitioner's Address: _____
(812) 361-5757 / nick@bauerdensford.com

Phone Number/e-mail: _____
Paris Dunning Associates

Owner's Name: _____
P.O. Box 1332, Bloomington, IN 47402-1332

Owner's Address: _____
(812) 334-0600 / jbauerlaw@bauerdensford.com

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 013-10050-00 STEELE LOT 1 & PT (S 12') LOT 2

2. A description of the nature of the proposed modifications or new construction:
The upper gable roof is in a deteriorated state that needs replaced. The proposed modification is to replace the failing wooden cedar shake roofing material on the upper gable with an asphalt shingle. This is the roof with a south slope and north slope on the second story above the central section of the house. A new roof is needed to preserve the structure. See attached letter for further details and photos.

3. A description of the materials used.
The material proposed to be used is a standard asphalt shingle.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

September 9, 2021

Bloomington Historic Preservation Commission
Suite 130
401 N. Morton Street
Bloomington, IN 47404

Re: Certificate of Appropriateness for Paris Dunning House Roof Replacement

Dear Commission,

I am writing this letter to provide additional information to accompany the Certificate of Appropriateness application form. My name is Nicholas Bauer. I am an attorney working at the law offices of Bauer & Densford and writing to the Commission on behalf of the Paris Dunning Associates, the owners of the Paris Dunning House located at 608 W. Third Street. The partners in Paris Dunning Associates are Jawn and Karen Bauer and Thomas Densford.

The Paris Dunning House needs a roof replacement on the upper gable on the center section of the house. The current roof is estimated to be at least twenty years old and is showing signs of significant wear, including some water infiltration into the structure on the second story. The owners of the building are seeking a Certificate of Appropriateness to approve the installation of a standard asphalt shingle on the upper gable to replace the current wood cedar shake.

The owners have been good stewards of the building for decades. The Paris Dunning House was collapsing in on itself in the 1970s and 1980s before Bloomington Restoration, Inc. saved it and a group of law partners moved in. In July 2010 the Paris Dunning House sustained significant damage in a large, aggressive fire that burned through the structure late one evening. They restored the building with more than \$400,000 in repairs and improvements to preserve the cornerstone of the historic district in which it sits following that fire.

The Prospect Hill Book of Guidelines says, "Because a watertight roof is essential to the preservation of the entire structure, protecting and repairing the roof as a cover are critical aspects of every rehabilitation project." This statement is in agreement with the Secretary of the Interior's Standards for the Treatment of Historic Properties that state, "A weathertight roof is essential to long-term preservation." The owners have a choice to attempt repairs on the roof or replace the roof. A full replacement of the upper roof will provide the best protection against the elements for the underlying structure. The cost of a cedar shake replacement is estimated at more than Thirty Thousand Dollars (\$30,000.00) in bids received from Steve's Roofing and Pritchett Brothers. In comparison, an asphalt shingle replacement would cost closer to Six Thousand

Dollars (\$6,000.00) based on information from Rapid Roofing and Restoration. Wood shake shingles are typically more expensive to procure and to install and that price is even higher in the pandemic and with ongoing issues sourcing cedar.

The Paris Dunning House needs a couple of other critical repairs today. The chimney on the south side of the structure needs to have flashing replaced to address a water leak into the interior of the building. Also, the west side of the center structure needs repairs where the lower roof on the back porch meets the brick wall to stop water infiltration into the structure that is damaging the interior ceiling. The difference in cost between the cedar shake roof and the asphalt shingle roof is quite significant. If the owners are able to use a more cost-effective system on the roof they will be able to allocate funds towards these two repairs and other important maintenance that routinely occurs in an older home. Deferred maintenance can lead to more damage that may compromise the integrity of the structure. The owners have worked to preserve the building and showcase it for all to enjoy for many years and will continue to do so.

We understand that the Book of Guidelines for Prospect Hill says that “if possible, original types of roofing materials should be reinstalled consistent with the period and style of the building.” The owners understand that owning a historic building comes with costs and restrictions. That said, the Book of Guidelines also says they are designed to be “flexible guidelines to represent a middle way between chaotic change and deadly rigidity.” The goal is to protect against discordant change while treating the neighborhood as a living community and not a museum. The current cedar shake on the roof is not historic in nature. The current roof was installed around twenty years ago. Removal and replacement of these cedar shingles is not the destruction of an original, historically significant piece of material. In its 180-year history, the Paris Dunning House has very likely been through five to ten roofs. A roof is a disposable item with a short life in the long history of a building. Just as those earlier roofs were removed, this new roof will eventually be removed. This is not a permanent change to an original historic feature.

The Secretary of the Interior’s Standards do not recommend making changes to roofing materials where “the character is diminished” in the historic property. The upper gable roof is not visible from the street level. This request is not for a change to the visible façade or the footprint of the building. The change in roofing material does not alter the historic nature or character of the building and will not diminish the significance or enjoyment of the building for the citizens of Bloomington and visitors to our city. In fact, this new roof will preserve the building.

The owners of the Paris Dunning House respectfully request the approval of a Certificate of Appropriateness to use an asphalt shingle on the upper gable in the center section of the roof. The following pages include photos and descriptions for your review in consideration of this request. Thank you for your time.

Best,



Nicholas G. Bauer

History of the Paris Dunning House

The Paris Dunning House was in a state of disrepair in the 1970s and 1980s. As these two photos from the Bloomington Restoration Inc. website show, the structure was missing significant parts of the building and may have even had a simple asphalt shingle on it at the time (on the left side of the first photo it appears to be shingled; other areas have no roof):



July 9, 2010, was the night of a significant fire in the Paris Dunning House that caused extensive damage. The current owners restored the entire building after the fire with more than \$400,000 in repairs and improvements. Here are some photos from the fire:





Photos of the Paris Dunning House

A Google Maps aerial view shows the office from above. The center section of roof on the two-story portion of the building is what needs replaced with asphalt shingles.



The following photos were taken recently from street level with the camera held at about six feet above the ground. The roofing material on the upper gable roof is not visible in these photos:



Photo taken at 3rd & Jackson facing the building straight on.

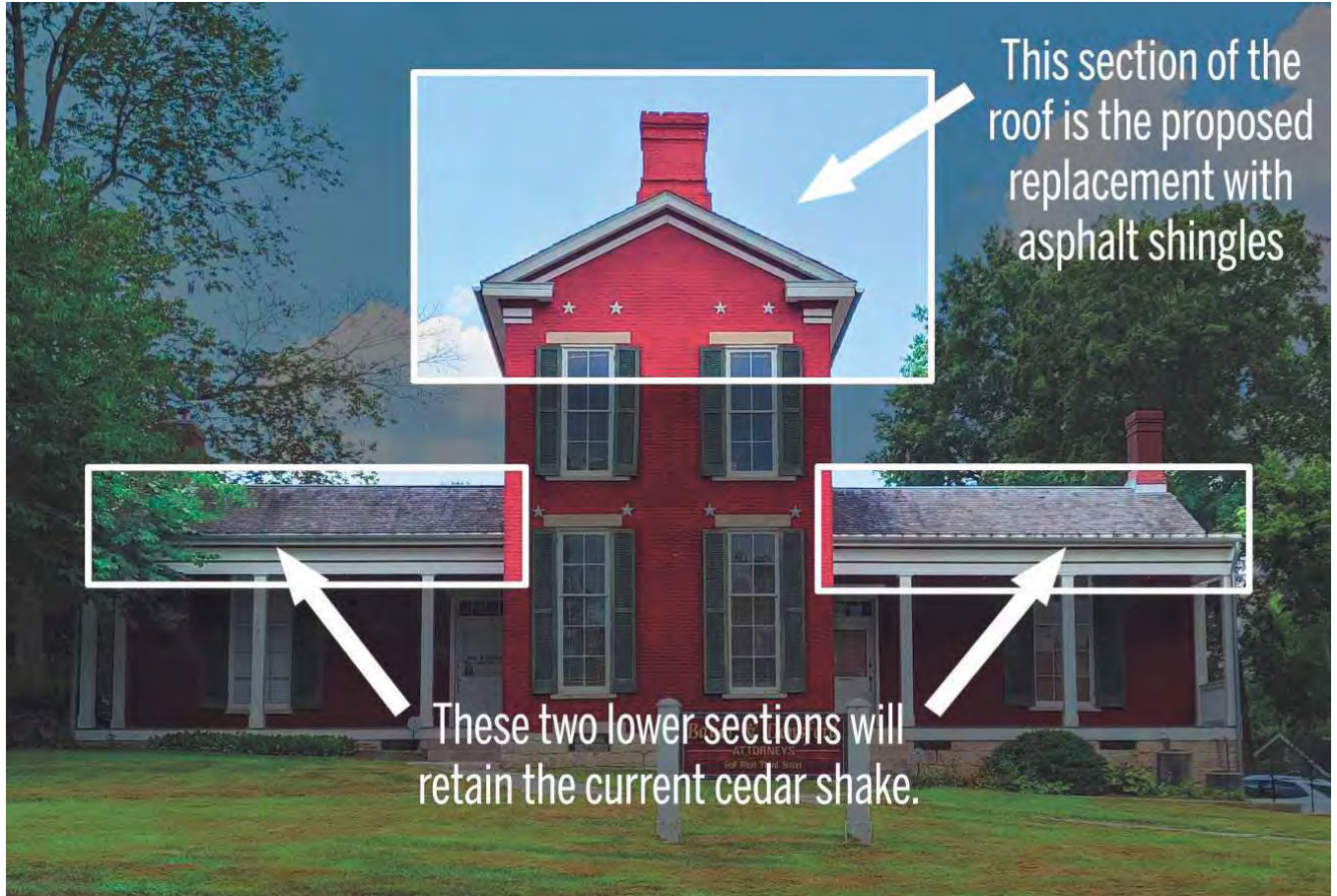


Photo taken on Jackson to the north of the building looking southwest.



Photo taken on Jackson to the south of the building looking northwest.

Annotated Image of Proposed Work



This section of the roof is the proposed replacement with asphalt shingles

These two lower sections will retain the current cedar shake.

Addendum: Updated Photos

**PARIS DUNNING HOUSE
CERTIFICATE OF APPROPRIATENESS**

The Petitioner, Nicholas Bauer, has discovered an angle looking at the Paris Dunning House from the ground that does reveal a low angle, distant view of the upper gable roof. Petitioner was previously unfamiliar with the ability to see the roofing material from the ground level. In full disclosure for the Commission, this addendum gives updated photographs.

When standing on the far east side of Jackson Street, more than one hundred (100) feet from the building, to the south of the building, there is an area on the sidewalk that allows for a ground level view of the roof surface on the south slope of the upper gable:



Cropped Close Up of Previous Image:



The view on the sidewalk on the opposite side of the street (the west side of Jackson Street), previously submitted to the Commission, puts the roof out of view to the observer:



ADDENDEUM: PROSPECT HILL HISTORIC DISTRICT ROOFING MATERIAL REVIEW

Analysis: Approving a Certificate of Appropriateness (COA) to allow the upper gable of the Paris Dunning House to be roofed with a quality asphalt shingle to replace the existing cedar would not be a “discordant change” within the “flexible guidelines” of the Prospect Hill Local Historic District Book of Guidelines. The Guidelines wish to create a “middle way between chaotic change and deadly rigidity.” Every other house in the District uses asphalt shingles. Asphalt shingles are not out of character for the neighborhood or the integrity of this house.

Summary of Roofing Materials of Other Homes: The Prospect Hill Historic District homes use a modern asphalt shingle on 100% of the other homes in the District. The Paris Dunning House is the only cedar roof in the District.

<u>Material</u>	<u>Count</u>	<u>Percent</u>
ASPHALT (3-tab shingle)	22	78.6%
ASPHALT (dimensional shingle)	5	17.9%
ASPHALT (best guess)	1	3.5%
Houses with Asphalt	28	100.0%

Roofing Material by Address: The following addresses, listed in order by the year of construction of the house, make up the Prospect Hill Historic District. The address, year built, and roofing material in use are listed for each house.

<u>ADDRESS</u>	<u>YEAR</u>	<u>ROOF MATERIAL</u>
218 SOUTH ROGERS (west side)	1840	ASPHALT (3-tab shingle)
608 WEST 3rd STREET (north side)	1850	CEDAR (Paris Dunning House)
301 SOUTH ROGERS (east side)	1890	ASPHALT (3-tab shingle)
349 SOUTH ROGERS (east side)	1890	ASPHALT (dimensional shingle)
508 WEST 3rd STREET (north side)	1895	ASPHALT (dimensional shingle)
311 SOUTH ROGERS (east side)	1895	ASPHALT (3-tab shingle)
317 SOUTH ROGERS (east side)	1895	ASPHALT (dimensional shingle)
325 SOUTH ROGERS (east side)	1895	ASPHALT (3-tab shingle)
304 SOUTH ROGERS (west side)	1897	ASPHALT (3-tab shingle)
333 SOUTH ROGERS (east side)	1899	ASPHALT (3-tab shingle)
316 SOUTH ROGERS (west side)	1900	ASPHALT (3-tab shingle)
324 SOUTH ROGERS (west side)	1900	ASPHALT (3-tab shingle)
332 SOUTH ROGERS (west side)	1900	ASPHALT (3-tab shingle)
317 SOUTH JACKSON (west side)	1900	ASPHALT (best guess)
522 WEST 3rd STREET (north side)	1905	ASPHALT (3-tab shingle)
524 WEST 3rd STREET (north side)	1905	ASPHALT (3-tab shingle)
515 WEST 3RD STREET (south side)	1906	ASPHALT (3-tab shingle)
310 SOUTH ROGERS (west side)	1906	ASPHALT (3-tab shingle)
334 SOUTH ROGERS (west side)	1906	ASPHALT (dimensional shingle)
344 SOUTH ROGERS (west side)	1906	ASPHALT (3-tab shingle)
346 SOUTH ROGERS (west side)	1906	ASPHALT (3-tab shingle)
325 SOUTH JACKSON (west side)	1910	ASPHALT (3-tab shingle)
511 WEST 3RD STREET (south side)	1914	ASPHALT (3-tab shingle)
525 WEST 3RD STREET (south side)	1915	ASPHALT (3-tab shingle)
345 SOUTH ROGERS (east side)	1915	ASPHALT (3-tab shingle)
610 WEST 3rd STREET (north side)	1920	ASPHALT (3-tab shingle)
222 SOUTH ROGERS (west side)	1920	ASPHALT (3-tab shingle)
343 SOUTH ROGERS (east side)	1920	ASPHALT (dimensional shingle)
516 WEST 3rd STREET (north side)	1936	ASPHALT (3-tab shingle)

Visibility of Upper Gable Roof: The south slope of the upper gable roof on the Paris Dunning House is visible from a small viewing area on S. Jackson Street. The viewing area is about 25 feet long from south to north on the sidewalk on the east side of Jackson Street and extends as far as 13 feet west into the road before the viewing angle closes.



Suggesting the viewing area is a true 13 feet wide at all points is generous. The viewing area is actually an oddly shaped area due to elevation changes and obstructed views that looks like this:



Recent COA Approval in Prospect Hill District: In the Commission's September 9, 2021, meeting the Commissioner's approved COA 21-45 to place what the meeting packet described as "obtrusive and visible" solar panels on the roof at 516 W. 3rd Street in Prospect Hill. Chris Sturbaum is noted in the minutes as saying he was fine with "removable objects" and Sam DeSollar is recorded as saying "as long as they are not destroying original roof material he has no issues." A new roof on the Paris Dunning House is a disposable item that will be removed in the future to make way for a new roof after its useful life. No original roofing material is being destroyed. The cedar currently on the upper gable is approximately 20 years old, far short of original for the 170-year-old house. The obtrusive and visible solar panels will be half a block from the Paris Dunning House. An asphalt shingle on the upper gable will not be obtrusive and will mostly be invisible to observers. In comparison to the panels, the asphalt shingles are far less likely to alter the historical character of the neighborhood.

Conclusion: An asphalt roof on the upper gable of the Paris Dunning House will not alter the historical nature, character, or integrity of the house. In fact, an asphalt roof will help preserve the historic building for future Bloomington residents to enjoy. A quality asphalt shingle comes with the highest impact and fire ratings available. The more affordable price point compared to cedar shake will free up funds for other preservation projects, such as allowing the owners to make repairs needing immediate attention on the south chimney and west porch flashing where water is getting into the building and causing damage. As good stewards of the Paris Dunning House, the owners hope to maximize the routine maintenance and repairs they perform to keep the house in good physical condition inside and out for everyone to enjoy for the next 170 years to come.

A count of roofs in the District shows 100% of houses in the Prospect Hill Historic District have asphalt shingles as of September 18, 2021. The upper gable roof is only visible in an area estimated to be 13x25 feet in size, or smaller, along S. Jackson Street and that view only affords an observer a view with 2.4% of the visible façade made up of the upper gable roof from 100 feet away from the house. The change from cedar to asphalt shingles is not a discordant change that is out of character with the neighborhood. A new roof will not significantly alter the look of the house and is not a permanent change to any historic artifacts or original components or elements.

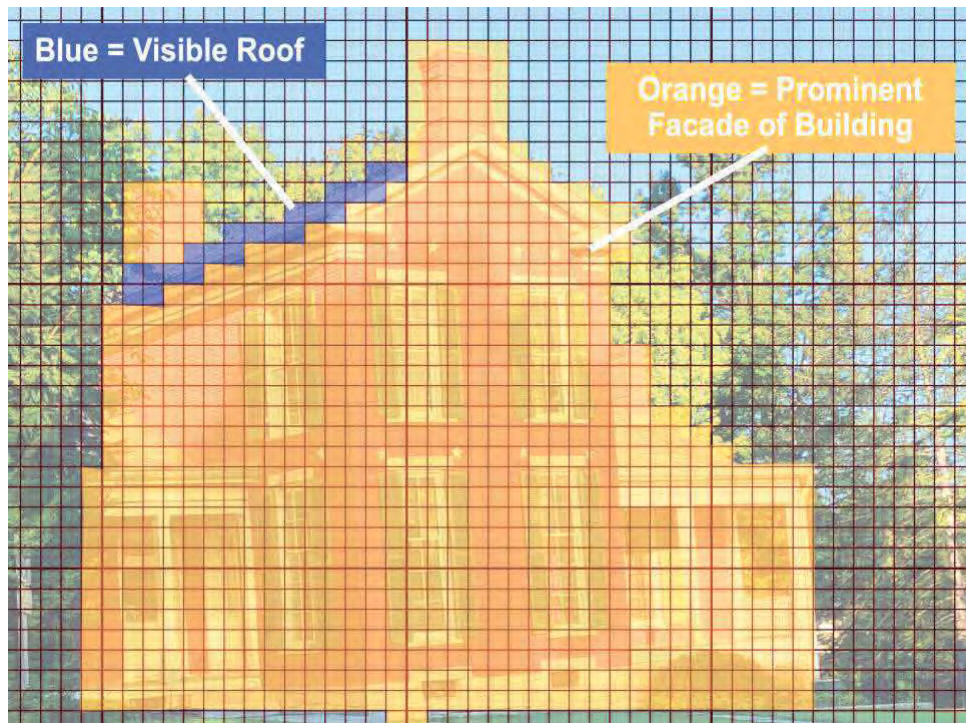
The request for a Certificate of Appropriateness to replace the roof on the Paris Dunning House is not a request made lightly. We have observed the neighborhood, studied the structure, and reviewed the impact the change could have on the house and neighborhood. A weather tight, high quality asphalt roof has benefits that will far exceed the minimal change to the visible exterior of the house.

Thank you for taking the time to read this addendum and consider the Certificate of Appropriateness for the Paris Dunning House roof project.

Along Jackson Street moving south, the views of the Paris Dunning House are obscured by trees (two photos taken progressively further south on Jackson Street):



A grid overlay shows an estimated 97.6% of the visible façade is composed of the main architectural features of the Paris Dunning House while only a minimal amount, just 2.4% of the surface area, visible is the upper gable roof. (21 blue squares, 843 orange; 864 total)





WINDSOR[®]



FLEXOR[™] POLYMER MODIFIED DESIGNER SHINGLES

Distributed from:



Shown in:
Natural Wood

DISTRIBUTED FROM:	Antique Brown	Black Oak	Heather	Midnight Black	Natural Wood	Storm Grey	Weathered Wood
<ul style="list-style-type: none"> ● PORTLAND, OR ● SOUTH GATE, CA ● OKLAHOMA CITY, OK 							
COLOR AVAILABILITY							
Windsor [®]							

WINDSOR®



FLEXOR™ POLYMER MODIFIED ASPHALT

Asphalt technology increases flexibility, granule adhesion, and impact resistance.



PROTECT FROM EXTREME WEATHER

Class 4 impact resistance offers your roof the highest rated protection available.



SCOTCHGARD™ PROTECTOR: HELP PREVENT BLACK STREAKS

Helps maintain the aesthetic appearance of your roof. Includes a 20-year warranty.



RETAIN COLOR GRANULES

Superior granule adhesion provides your roof lasting beauty and protection from damaging solar rays.



SEAL TO ROOF

Specially formulated asphalt sealant holds shingles in place during high winds.



SUPERIOR SHINGLE STRENGTH

Shingles with Flexor™ polymer modified asphalt are more resistant to tearing and nail pull-out, reducing the risk of shingle blow-off.



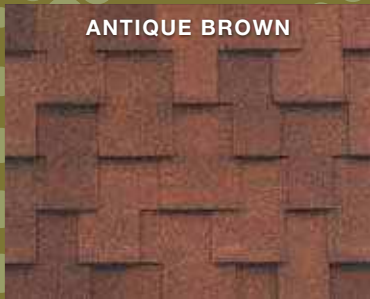
FLEXIBLE IN ALL WEATHER

Polymer modified asphalt technology provides flexibility for application in a wider range of climates and roof styles.

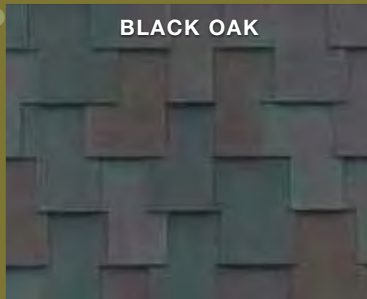


** WIND WARRANTIES

110 mph (177 kph) Limited Wind Warranty included. Eligible for a 140 mph (225 kph) Enhanced Wind Warranty when additional standards are met.



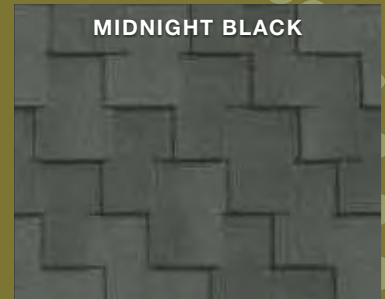
ANTIQUE BROWN



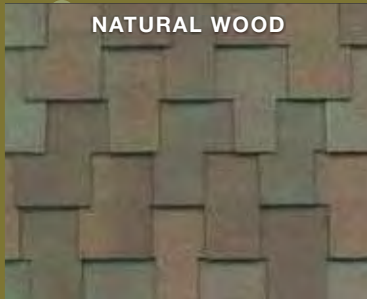
BLACK OAK



HEATHER



MIDNIGHT BLACK



NATURAL WOOD



STORM GREY



WEATHERED WOOD



FEATURING

- Limited Lifetime Shingle Warranty
- 15-year Right Start™ Warranty

TEST COMPLIANCE

- ASTM D7158 Class H
- ASTM D3161 Class F
- ASTM E108 Class A Fire Rating
- CSA A123.5
- FBC Approval – #14809
- ASTM D3462
- ASTM D3018 Type I
- UL 2218 Class 4
- ICC Approval – ESR-3150



GREENCIRCLE CERTIFIED MANUFACTURING FACILITY

DISCLAIMER: Sample pieces or photographs of shingles may not accurately represent the true color or variations of color blends that will appear on the roof. Before installation, five or six shingles should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. Shingle colors not available in all regions. Limited warranties carry terms and conditions. Please contact your local Malarkey representative for color availability and further information. See Malarkey's Shingle and Accessory Warranty for details. * For complete Limited Lifetime Warranty details, reference Malarkey's Shingle and Accessory Warranty. For Windsor® shingles, use of Windsor® Starter shingles are required for installation, and to receive Limited Lifetime Warranty protection.



Malarkey
Roofing Products®
Defining Excellence.™

P.O. BOX 17217, PORTLAND, OR 97217
503.283.1191 | 800.545.1191 | FAX: 503.289.7644

WWW.MALARKEYROOFING.COM

* Malarkey hip and ridge shingles (10", 12" RidgeFlex™ or 8", 10" EZ-Ridge™ with Scotchgard™ Protector from 3M) are recommended for all Malarkey field shingles but required with shingles having Scotchgard™ Protector to receive Malarkey's 20-year Scotchgard™ Protector Warranty. Some contractors adapt 3-tab roofing shingles to use as hip and ridge shingles; The Alaskan™ featuring Scotchgard™ can be substituted as hip and ridge shingles for both the Scotchgard™ Protector Warranty and the Algae Resistant System Warranty from Malarkey. The use of Dura-Seal™ AR as hip and ridge shingles is only allowed when Dura-Seal™ AR is the field shingle.
** Shingles come with a Limited Wind Warranty but are eligible for an Enhanced Wind Warranty when additional standards are met: Smart Start™ starter shingles are installed, shingles are 6-nailed (including starter shingles; 9 nails for Windsor® shingles), and either EZ-Ridge™ (8", 10") or RidgeFlex™ (10", 12") hip and ridge shingles are used. Some contractors adapt roofing shingles to use as hip and ridge shingles. Use of The Alaskan™ as a hip and ridge shingle will apply toward the Enhanced Wind Warranty. Dura-Seal™ (Nexgen™) shingles used for hip and ridge will qualify toward an Enhanced Wind Warranty only when Dura-Seal™ (Nexgen™) is the field shingle. Malarkey performance-driven underlayments – Arctic Seal®, Right Start™ UDL, or SecureStart™ Plus – are recommended for added system protection. This version supersedes all previous versions. Rev. 12/17



TECHNICAL DETAILS

WEIGHT/SQUARE 350 lbs. 158.8 kg	EXPOSURE 5¾" 146 mm
SHINGLES/SQUARE 65 5 bundles/square	GRANULE ADHESION 0.35 g Typical Results
WIDTH ± 1/8" 19¼" 489 mm	LENGTH ± 1/8" 38¼" 972 mm
SQUARES/PALLET 6 from OR	

ELEGANT HEAVYWEIGHT FLEXOR™ SBS POLYMER MODIFIED DESIGNER SHINGLES



TEST COMPLIANCE

ASTM D7158 Class H	ASTM D3462
ASTM D3161 Class F	ASTM D3018 Type I
ASTM E108 Class A Fire Rating	UL RATING 2218 Class 4
CSA A123.5	ICC APPROVAL ESR-3150
	
FBC APPROVAL #14809	

PRODUCT USE

The Windsor® is a Flexor™ SBS polymer modified asphalt shingle manufactured for the premium designer market. It provides increased flexibility, higher tensile strength, tear resistance, premium impact resistance, and features Scotchgard™ Shingle Protector from 3M. Windsor® has a 5¾" exposure, one of the largest in the industry.

COMPOSITION & MATERIALS

The Windsor® is a mineral-surfaced, self-sealing shingle, made with a Flexor™ SBS polymer modified asphalt coating on fiberglass reinforcement, and carries a Class 'A' fire rating.

APPLICATION

Shingles should be applied over a Malarkey underlayment or an approved, code-compliant substitute. Installation instructions are available on the shingle wrapper, at WWW.MALARKEYROOFING.COM, or by contacting your local Malarkey representative. Industry standards are found in NRCA manuals. Shingles should be attached to decking with approved fasteners, and Malarkey recommends the use of corrosion-resistant nails for this purpose. Staples are not allowed.

PRECAUTION

For best results, Malarkey recommends Windsor® shingles be protected from the weather and stored in a cool, dry, well-ventilated area until applied. Do not double-stack pallets. Do not use on roofs where the slope is less than 2:12 (2" [51 mm] per 12" [305 mm]). For slopes 2:12 up to 4:12 (4" [102 mm] per 12" [305 mm]), a double layer of underlayment is required. Windsor® shingles have a factory-applied self-sealing strip that activates in warm weather. When applied in cold weather or windy locations, hand-sealing is recommended but not required if sealant activates. On slopes 21:12 (21" [533 mm] per 12" [305 mm]) and greater, hand-sealing of tabs and nine nails are required. Contact Malarkey for further conditions and instructions.

FEATURES & BENEFITS

- Scotchgard™ protection from 3M
- Extreme weather protection
- Superior granular embedment
- Flexor™ SBS polymer modified asphalt
- All-weather flexibility
- Rain seal protection
- Easy application
- Limited Lifetime Shingle Warranty
- Limited & Enhanced Wind Warranties

WARRANTY

The Windsor® shingle carries a Limited Lifetime Warranty, a 110 mph (177 kph) Limited Wind Warranty, and can be combined with other Malarkey products for a 140 mph (225 kph) Enhanced Wind Warranty. Windsor® featuring Scotchgard™ also carries Malarkey's full 20-year Algae Resistant Shingle warranty against algae growth. Contact your roofing contractor, local distribution center, or Malarkey for full details. See below for TECHNICAL ASSISTANCE contact information.

Windsor® and other Malarkey products are available throughout North America and Pacific Rim countries.

Visit WWW.MALARKEYROOFING.COM for additional product information and availability.

Note: Malarkey Roofing Products® inventory SKU number for this product: 285 Windsor® featuring Scotchgard™ Protector from 3M

TECHNICAL ASSISTANCE:

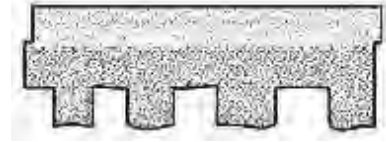
Malarkey has technical services assistance available. Contact Malarkey for details: Call weekdays 7:00 am to 5:00 pm PST, at 800.545.1191 or 503.283.1191. technicalinquiries@malarkeyroofing.com

CORPORATE OFFICE:

3131 N. Columbia Blvd. Telephone: 503.283.1191
Portland, OR 97217-7472 or 800.545.1191
P.O. Box 17217 Fax: 503.289.7644
Portland, OR 97217-0217

PRODUCT INFORMATION

Presidential® Shake® IR (Impact Resistant) is made of two laminated layers of the industry's most durable materials. And, with a super tough reinforcement added to its back surface, it has an extra level of impact resistance—so much so that it can withstand the force of a two-inch steel ball dropped from twenty feet without cracking. The shades, textures, sculpted edges and staggered design all combine to give a roof the charm and beauty of authentic wood shakes at a fraction of the cost.



Presidential Shake IR shingles are algae resistant and help protect against staining or discoloration caused by algae.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: It is recommended to apply these shingles at slopes of 4"per foot slope and greater in order to achieve optimum appearance. For low slope applications (2:12 to < 4:12) of Presidential Shake IR shingles apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment or its equivalent meeting ASTM D1970, or two layers of 36" wide felt shingle underlayment (product meeting ASTM D226, D4869 or ASTM D6757) lapped 19", over entire deck according to the application instructions provided with the product. In areas where icing along the eaves can cause the back-up of water (all slopes), apply WinterGuard, or its equivalent, according to application instructions provided with the product and on the shingle package. For Class 4 impact resistance, Presidential Shake IR (Impact Resistant) shingles must be applied according to the instructions indicated below, in a new roof or tear-off application, and *not* by "roofing-over" existing shingles.

On slopes greater than 21" per foot, use nine nails and apply spots of roofing under each shingle tab, according to application instructions provided with the product and the shingle package.

Product Composition: Presidential Shake IR shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. The laminated pieces are firmly adhered in a special tough asphaltic cement. The back surface contains a tough puncture resistant nonwoven reinforcement. These fiber glass based shingles have self-sealing adhesive applied.

Applicable Standards:

ASTM D3018 Type I

ASTM D3462

ASTM E108 Class A Fire Resistance

ASTM D3161 Class F Wind Resistance

ASTM D7158 Class H Wind Resistance

UL 790 Class A Fire Resistance

UL 2218 Class 4 Impact Resistance

ICC-ES ESR-1389 & ESR-3537

CSA Standard A123.5

Miami-Dade County Product Control Approved

Florida Product Approval # FL5444

Meets TDI Windstorm Requirements

Technical Data:

Weight/Square (approx.):

350 lb

Dimensions (overall):

14 1/4" x 40"

Shingles/Square:

90

Weather Exposure:

4"

Presidential Shake IR

INSTALLATION

Detailed installation instructions are supplied on each bundle of Presidential Shake IR shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

IMPORTANT NOTE - Presidential Starter IR must be used for the two-layered starter course.

Hips and Ridges: Use only Cedar Crest® IR or Mountain Ridge® shingles of a like color for capping the hips and ridges. (Availability of hip and ridge shingles varies based on the region.)

MAINTENANCE

Presidential Shake IR shingles require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Presidential Shake IR carries a lifetime limited transferable warranty against manufacturing defects for the original homeowner. In addition, the shingles also carry 10-years of SureStart™ Protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

TECHNICAL SUPPORT

Technical Service Department: 1-800-345-1145
e-mail: RPG.T.Services@saint-gobain.com

FOR MORE INFORMATION

Customer Experience Team: 800-233-8990
e-mail: gethelp@saint-gobain.com
Web site: www.certainteed.com

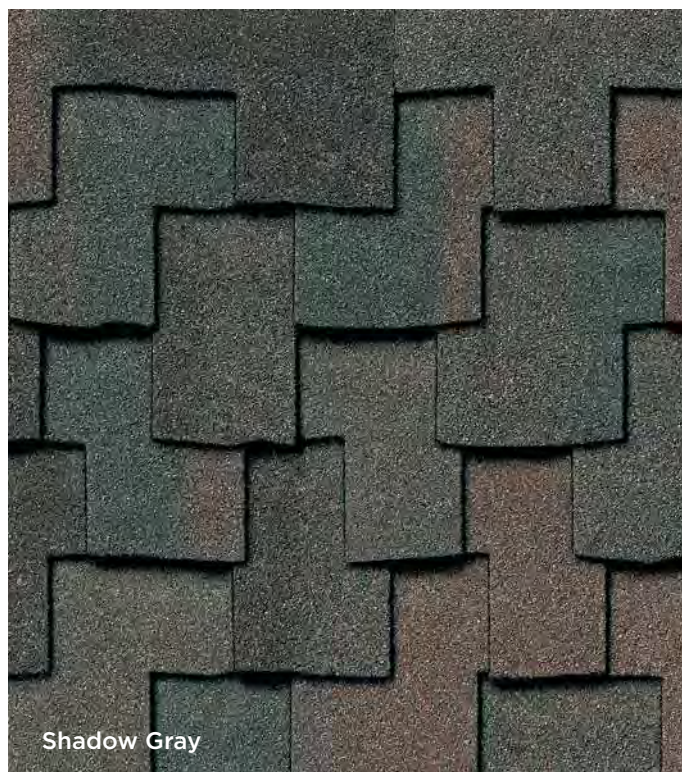
See us at our on-line specification writing tool, CertaSpec, at www.certainteed.com/certaspec

CertainTeed
20 Moores Road
Malvern, PA 19355

© 03/21CertainTeed



PRESIDENTIAL SHAKE® IR



The sculpted edges and staggered design combine to give your roof the charm and beauty of authentic wood shakes. Presidential Shake IR, made of two laminated layers of the industry's most durable materials, was the first of its kind. No other shingle replicates the look of real wood shakes quite so stunningly.

COA: 21-59

STAFF RECOMMENDATIONS

Address: “Henderson House” 748 S Morton St.

Petitioner: James Rosenbarger

Parcel #: 53-01-56-236-000.000-009

Rating: OUTSTANDING

Survey: c. 1835, Federal I House



Background: McDoel Garden Historic District

Request: Replace existing metal roof. Remodel the back lean to and expand with back porch

Guidelines: McDoel Garden Historic District Guidelines

ROOFS (pg. 7)

Most roofs in the neighborhood are shingled with asphalt or fiberglass that determines the character of a house. The street has a distinctive look based upon a repeating pattern of roofs.

Preferred

Maintain the original materials or those used by contributing properties nearby.

Acceptable

Standing seam metal roofs are acceptable but should have non-reflective surfaces to avoid reflection on adjoining properties.

New Construction (pg. 9)

Structure design (size, height, roof line, porch)

Design of new residential structures is encouraged to follow the basic design patterns of the contributing houses found in the neighborhood. These include size (ca. 800-1500 square feet on ground level, typically one to three bedrooms); height (one to two stories); and main roof configuration (gabled roofs, including single gable, two perpendicular gables, and pyramid styles). Roof pitch for new residential structures should be within the range found on houses on that block (see illustration).

ACCESSORY STRUCTURES/GARAGES (pg. 11)

Guiding principles

New structures accessory to contributing houses should be visually compatible with existing neighborhood patterns. Review of a new structure accessory to a non-contributing house is reviewed by staff

Definition of accessory structure

Accessory structures are permanent structures that are physically separate from the house and have a below- ground foundation. Examples of accessory structures are sheds (with below-ground foundations), and one and two-car garages. See examples of accessory feature NOT covered by these guidelines above, under “Guideline Application.”

Definition of public ways

“Public ways” in the McDoel Gardens Neighborhood are: South Rogers St., South Madison St., West Wylie St., West Dodds St., West Dixie St., West Allen St., West Hillside St., South Fairview St., West Driscoll St., West Wilson St. and local alleys.

Placement on lot

Existing historic accessory structures are generally found within the back yard of the lot. To be compatible with this pattern, permanent new accessory structures should be placed within the back yard where feasible. Existing historic accessory structures placed in backyards are often visible from the public way; this is acceptable with new accessory structures as well.

Structure design

Permanent new accessory structures visible to public view, that is, seen from the defined public ways by casual passers-by, are encouraged to be visually compatible with existing structures. Garages are limited to a maximum two-car size. Roof lines that match the pitch of the main structure on the lot are encouraged.

Staff recommends approval of COA 21-59:

- The the non-reflective metal roof is not ideal but is acceptable.
- The addition is neither a completely new construction or stand alone accessory structure. It does not detract from the original structure’s massing or location.
- It would be visible from Dodd’s Street at a distance. The gabled roofs imitate the patterning of the main house.

McDoel Garden Historic District Guidelines

II. Guidelines for Existing Buildings

This section is reviewed by staff

MATERIALS:

The neighborhood has seen many changes through the years and most of the houses have been sided and reroofed at least once in their lifetimes.

Preferred

If underlying original materials are in good condition, match with the same materials.

Acceptable

Use materials that will provide a similar look. This may include vinyl or aluminum or cement-board siding of comparable dimension. Match the house trim details.

ROOFS:

Most roofs in the neighborhood are shingled with asphalt or fiberglass. that determines the character of a house. The street has a distinctive look based upon a repeating pattern of roofs.

Preferred

Maintain the original materials or those used by contributing properties nearby.

Acceptable

Standing seam metal roofs are acceptable but should have non-reflective surfaces to avoid reflection on adjoining properties.

WINDOWS:

Windows are a strong character-defining detail of houses. When considering whether to rebuild or replace windows, attention should be paid to the classification of the house.(See Appendix) Replacement windows should be consistent in appearance with the original design.

Preferred

Retain and restore character-defining windows on Notable homes. Original windows should be insulated with storm sashes.

Acceptable

Replacement windows should leave the size of the opening substantially unaltered and should retain the original configuration and character of the original window.

DOORS:

Original doors on houses classified as notable should be preserved as an integral part of the design. Doors may be widened or replaced to accommodate wheelchairs.

Preferable

Keep doors that are original to the house in place and add storm doors for weatherization. Replacement doors should closely match the design of original doors.

Factors to consider

A factor to consider when deciding the fate of a neighborhood house is age. If the structure is contributing*, that is, it is fifty years old or older and not significantly altered from its original form, and is in good or repairable condition (that is, if restoration would cost less than replacement), then a certificate of appropriateness for moving the structure will not generally be given. Exceptions may be made if moving the structure contributes to the public good of the neighborhood.

If a structure is non-contributing, but is a part of the neighborhood's residential context, a certificate of appropriateness may be given if moving the structure contributes to the public good of the neighborhood.

*Link to help determine if a structure is contributing:

<http://bloomington.in.gov/media/media/application/pdf/17969.pdf>

V. New Construction

This section is reviewed by the Commission

PRINCIPAL RESIDENTIAL STRUCTURES:

Guiding principles

New construction of residential structures should be visually compatible with contributing house types found in the neighborhood.

Definition of principal residential structures

A principal residential structure is the residential structure on the lot.

Placement on the lot

The contributing houses in McDoel are generally (although not exclusively) placed in the center of the lot in the side-to-side dimension, and somewhat forward of center in the front-to-back dimension, creating two approximately equal side yards, and a front yard smaller than the back yard. Where feasible this pattern is encouraged in placing new residential structures on their lots. New residential structures should be set back from the street a distance consistent with the set-back depths of contributing houses (that is, within the minimum and maximum set-back ranges; see illustration).

Structure design (size, height, roof line, porch)

Design of new residential structures is encouraged to follow the basic design patterns of the contributing houses found in the neighborhood. These include size (ca. 800-1500 square feet on ground level, typically one to three bedrooms); height (one to two stories); and main roof configuration (gabled roofs, including single gable, two perpendicular gables, and pyramid styles). Roof pitch for new residential structures should be within the range found on houses on that block (see illustration). In cases where a new residential structure is built to replace a house formerly located on the lot, the new structure should follow the same footprint (placement and outline on the lot) as the former house. Exceptions may be made if the original house was placed off center (side to side) or its set-back was not in the range of contributing houses. If the original

Materials

There are no material restrictions for accessory structures within these guidelines.

1. GARAGES AND CARPORTS:

Preferable

An added garage should be no larger than 25% of the size of the house and should be compatible with the design and materials.

A carport should be set back 1/3 or more from the front façade of the house.

Acceptable

A garage holding no more than two cars.

2. OUTBUILDINGS:

Preferable

Outbuildings should be placed to the rear of the house where there is little visual access.

Acceptable

Storage buildings that meet zoning requirements and are smaller than 10x16' and not on a permanent foundation, are acceptable.

VI. Additions (New)

This section is reviewed by the Commission

The ability to expand on the lot is important to the changing needs of families and predicts the longevity of ownership in the neighborhood. In McDoel the modest sizes of the houses are valued, but the owners are encouraged to seek ways to adapt the property for current uses while maintaining footprints in keeping with the neighborhood.

Preferable

Additions should be scaled to the size of the existing house. The larger McDoel houses are roughly 1500 square feet on the first floor. Additions should be placed where visibility from the street is minimized. The roof slope should be compatible with the existing house and the peak should be equal in height or lower than the peak of the house gable. Windows should reflect the number, placement and pattern of windows on the house elevations. Materials should closely match those on the existing structure.

Acceptable

Additions should maintain the style and massing of contributing property in the area. Where no other expansion is possible and nearby contributing structures have second floors, a second floor addition may be considered. An addition should be scaled to the existing structure and integral to the design of the original structure.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-59 _____

Date Filed: _____ 9/9/2021 _____

Scheduled for Hearing: _____ 9/23/2021 _____

Address of Historic Property: _____ 748 S Morton St. Bloomington 47403 _____

Petitioner's Name: _____ James Rosenbarger _____

Petitioner's Address: _____ 1303 E University St. Bloomington 47401 _____

Phone Number/e-mail: _____ 812 334 8932 jrosenbarger@sbcglobal.net _____

Owner's Name: _____ Jean Lave _____

Owner's Address: _____ 748 S Morton St. Bloomington 47403 _____

Phone Number/e-mail: _____ 510 703 2190. jlave@berkeley.edu _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 015-62360-00 Still part lot3 (S 51'

2. A description of the nature of the proposed modifications or new construction:
See attachment

3. A description of the materials used.
See attachment

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

2. Nature of proposed modifications and new construction

The original historic two-story brick house is to receive a new metal roof and exterior paint.

The existing rear, one story, lean-to addition is dated from the 1940's according to old photos and records. After the architect's study of the Adam/Federal style and the practical needs of the rear addition, he has concluded that the best approach is to remodel the 1940s addition (already remodeled several times in the past). The owner strongly agrees. While the age of the "lean to" makes it eligible for historic designation, it does not in our view contribute significantly to the historic value of the original house. We hope instead that the proposed remodel and porch will enhance the architecture of the original house. Existing floor, foundation, and portions of existing walls to remain. No increase in floor area is included.

The rear screen porch has been designed to fit with the house and provide an appropriate bit of whimsy.

3. A description of the materials used.

See attached drawings for Material Notes and where used.

Original Two Story

Metal roofing: non-reflective, standing seam metal in a residential scale.

Remodeled Portion

Membrane roofing: The eave height and low slope of roof will make it essentially invisible and provide a location for solar collectors.

Windows: paned windows with fixed interior and exterior grilles.

Siding: vertical wood or Boral tongue and groove, smooth finish, painted

Exterior trim: similar to siding, square edged.

Screen Porch Addition

340 s.f. total area

The rear portion of the porch is clad with gapped wood siding with screen and roofed with metal roofing matching the new roofing for the original house.

The portion of the porch connected to the house has a roof and exterior trim to match the remodeled area.

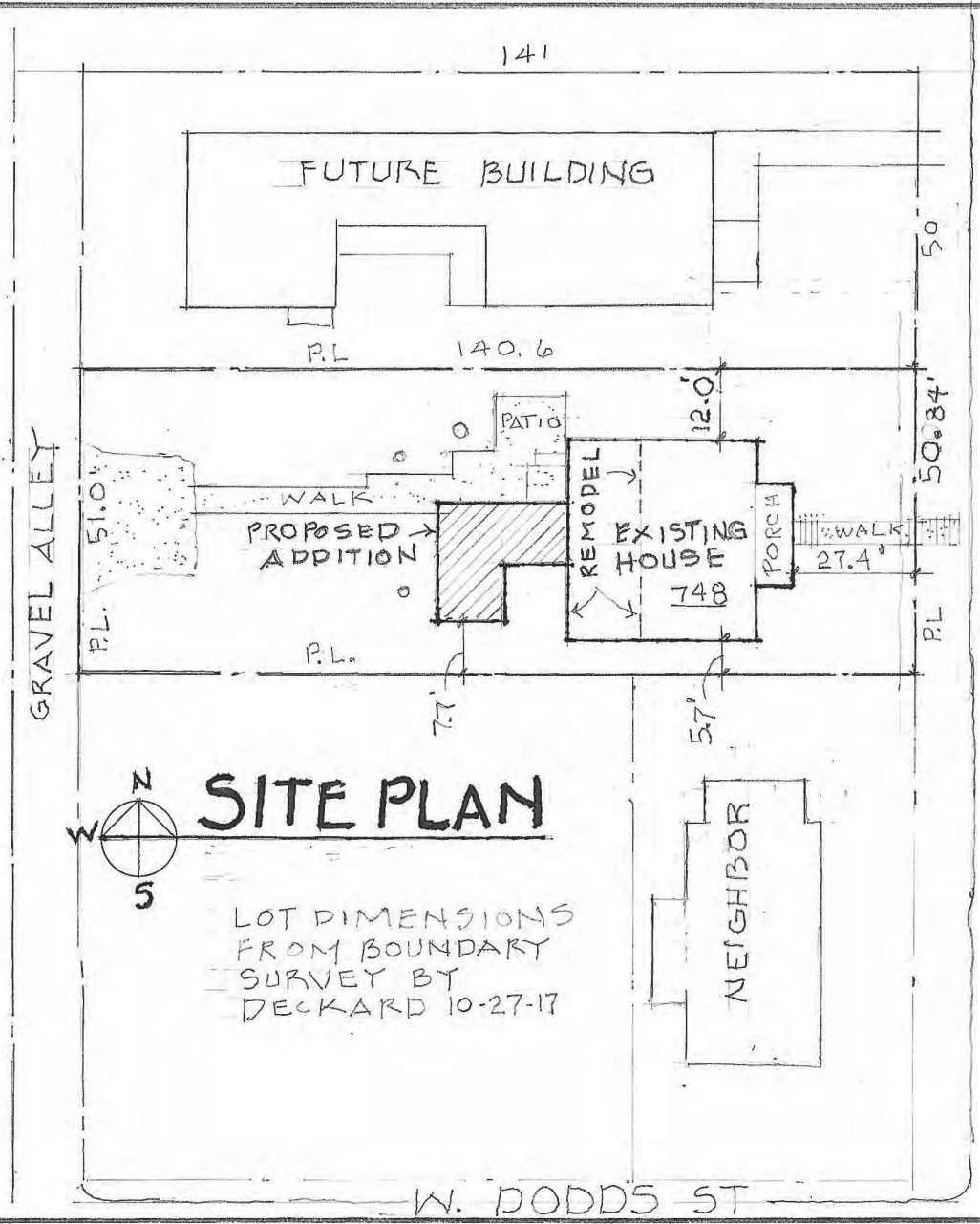








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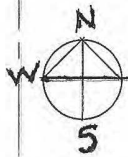
GRAVEL ALLEY

S. MORTON ST

B LINE

W. DODDS ST

SITE PLAN

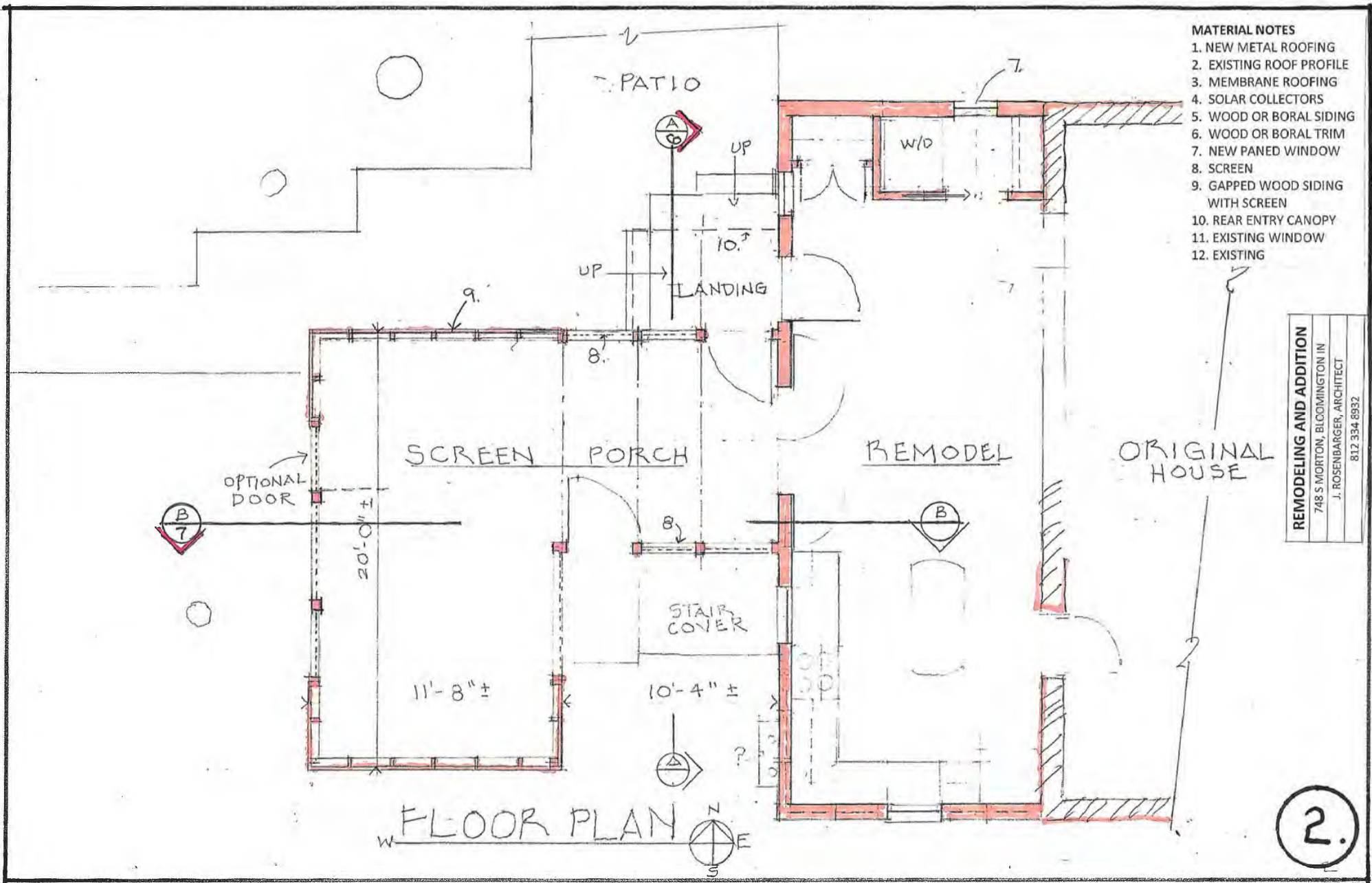


LOT DIMENSIONS
FROM BOUNDARY
SURVEY BY
DECKARD 10-27-17

- MATERIAL NOTES**
1. NEW METAL ROOFING
 2. EXISTING ROOF PROFILE
 3. MEMBRANE ROOFING
 4. SOLAR COLLECTORS
 5. WOOD OR BORAL SIDING
 6. WOOD OR BORAL TRIM
 7. NEW PANED WINDOW
 8. SCREEN
 9. GAPPED WOOD SIDING WITH SCREEN
 10. REAR ENTRY CANOPY
 11. EXISTING WINDOW
 12. EXISTING

REMODELING AND ADDITION
748 S MORTON, BLOOMINGTON IN
J. ROSENBERGER, ARCHITECT
812 334 8932



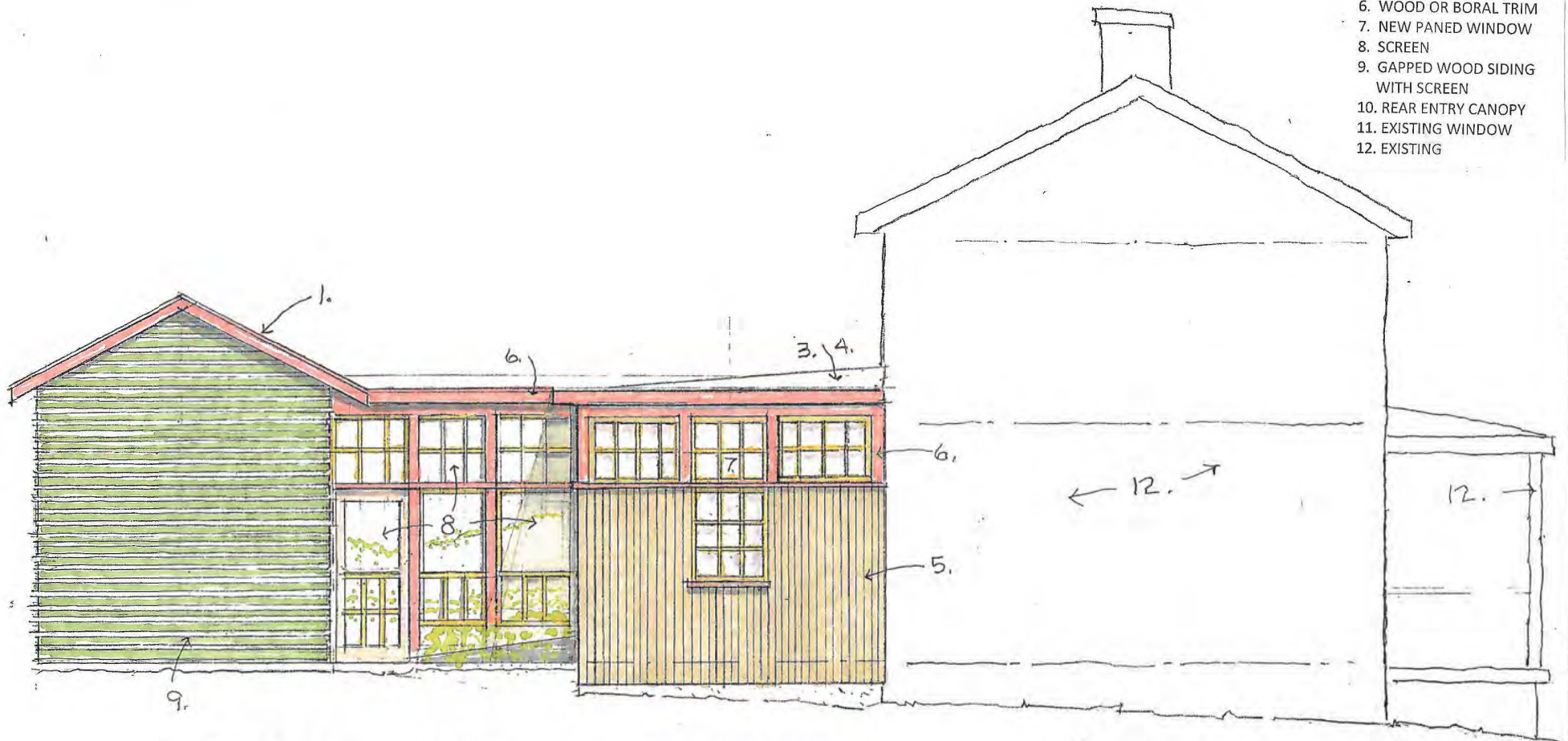


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2.

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 12. EXISTING



SCREEN PORCH

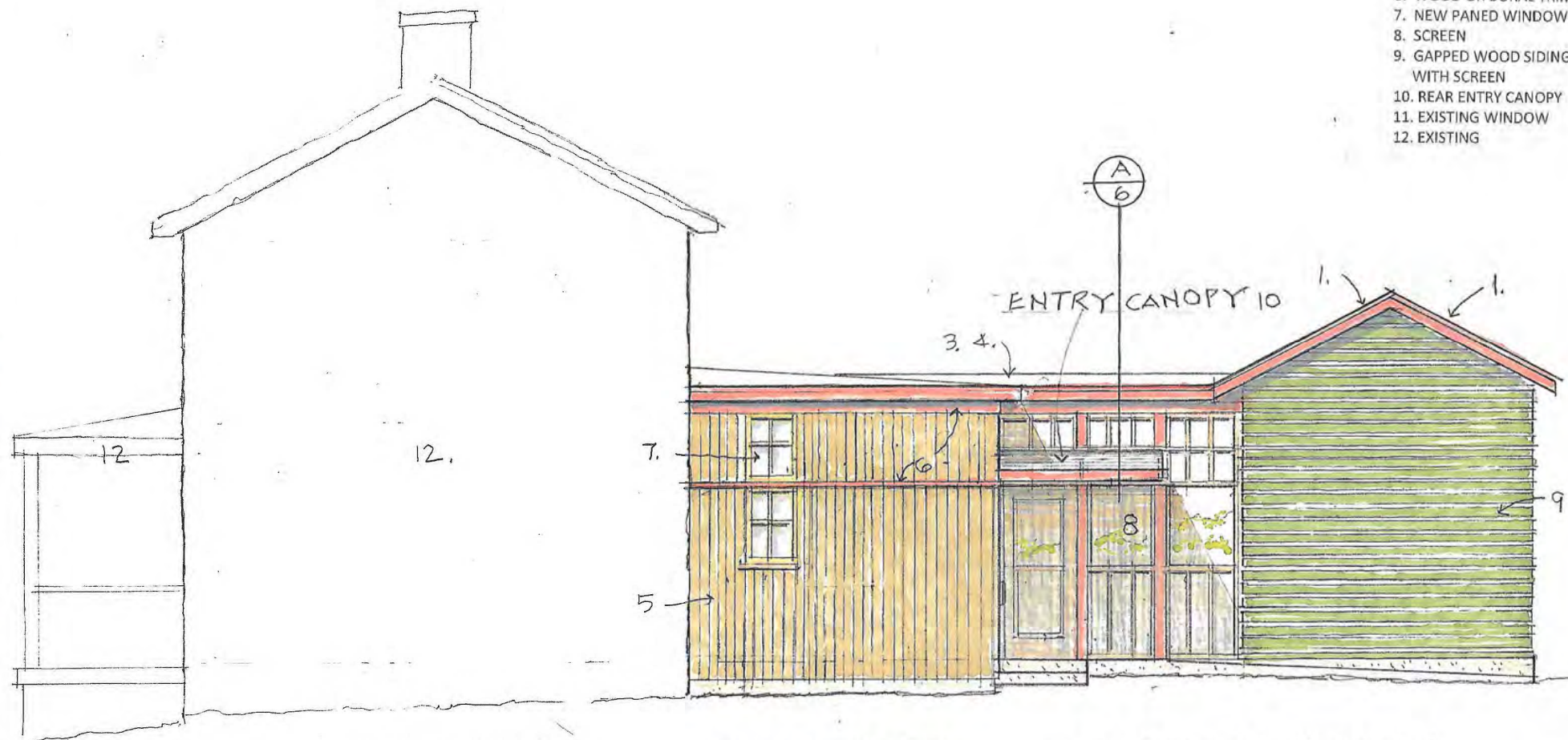
REMODEL
SOUTH

ORIGINAL

PORCH

3

- MATERIAL NOTES**
1. NEW METAL ROOFING
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 3. MEMBRANE ROOFING
 4. SOLAR COLLECTORS
 5. WOOD OR BORAL SIDING
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 8. SCREEN
 9. GAPPED WOOD SIDING WITH SCREEN
 10. REAR ENTRY CANOPY
 11. EXISTING WINDOW
 12. EXISTING



ORIGINAL REMODEL SCREEN PORCH
NORTH

4

MATERIAL NOTES

1. NEW METAL ROOFING
2. EXISTING ROOF PROFILE
3. MEMBRANE ROOFING
4. SOLAR COLLECTORS
5. WOOD OR BORAL SIDING
6. WOOD OR BORAL TRIM
7. NEW PANED WINDOW
8. SCREEN
9. GAPPED WOOD SIDING WITH SCREEN
10. REAR ENTRY CANOPY
11. EXISTING WINDOW
12. EXISTING



WEST

5

MATERIAL NOTES

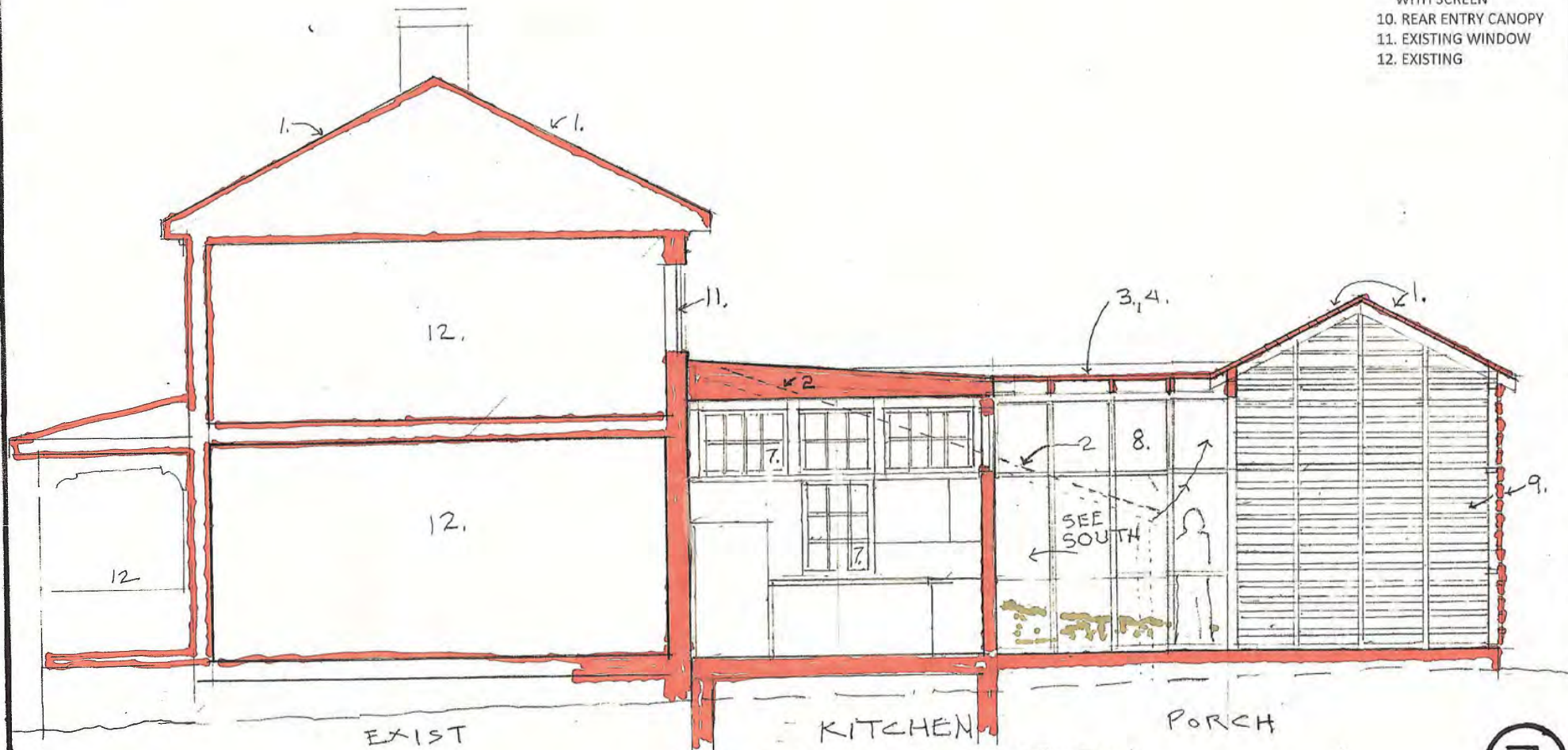
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9. GAPPED WOOD SIDING WITH SCREEN
10. REAR ENTRY CANOPY
11. EXISTING WINDOW
12. EXISTING



CROSS SECTION $\frac{\Delta}{6}$

6.

- MATERIAL NOTES**
1. NEW METAL ROOFING
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 3. MEMBRANE ROOFING
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 9. GAPPED WOOD SIDING WITH SCREEN
 10. REAR ENTRY CANOPY
 11. EXISTING WINDOW
 12. EXISTING



EXIST

KITCHEN

PORCH

CROSS SECTION

(B)
7

(7)



COA: 21-60

STAFF RECOMMENDATIONS

Address: 619 E 1st St.

Petitioner: Charles Brandt and Theresa Bent

Parcel #: 53-08-04-112-001.000-009

Rating: NOTABLE

Survey: c. 1915, Dormer Front Bungalow



Background: Elm Heights Historic District

Request: Demolish and replace garage

Guidelines: Elm Heights Historic District

Construction of new buildings and structures (pg. 29)

- Design new houses and other structures to be compatible with, but distinguishable from, surrounding historic buildings.
- New buildings should be compatible with surrounding contributing properties in massing, proportion, height, scale, placement, and spacing.
- New construction should echo setback, orientation, and spatial rhythms of surrounding properties.
- Roof shape, size of window and door openings, and building materials should be primarily compatible with any structure already on the property and secondarily with surrounding contributing properties.
- Design new buildings so that the overall character of the site is retained, including its topography, any desirable historic features, and mature trees.

Changes to, or construction of, garages or service building (pg. 31)

- New construction and additions should follow Section 5.1, Additions and New Construction
- Avoid the choice of pre-manufactured sheds or service buildings that are uncharacteristic of the surrounding neighborhood. They may be considered if sufficiently screened from view.
- New structures should be sited with regard for the historic orientation of the house and with care for their impact on the site.
- New garages and garage additions should be accessed by alleyways when available and appropriate and away from the primary facade whenever possible.

Demolition of all primary, secondary, and accessory structures, including contributing walls and fences (pg 37)

- Upon further consideration by the Commission, the historic or architectural significance of the structure is such that it does not contribute to the historic character of the district.
- The demolition is necessary to allow development that, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.

Staff recommends conditional approval of COA 21-60:

- The main portico of the existing garage faces the grass.
- Reuse as much of the limestone from the existing garage as possible.

Elm Heights Historic District Guidelines

Guidelines for Additions and New Construction

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow each numbered item further assist applicants with the COA process.

I. Construction of new buildings and structures.

- Design new houses and other structures to be compatible with, but distinguishable from, surrounding historic buildings.
- New buildings should be compatible with surrounding contributing properties in massing, proportion, height, scale, placement, and spacing.
- New construction should echo setback, orientation, and spatial rhythms of surrounding properties.
- Roof shape, size of window and door openings, and building materials should be primarily compatible with any structure already on the property and secondarily with surrounding contributing properties.
- Design new buildings so that the overall character of the site is retained, including its topography, any desirable historic features, and mature trees.

II. Construction of additions.

- Locate additions so as not to obscure the primary facade of the historic building.
- Retain significant building elements and site features, and minimize the loss of historic materials and details.
- Size and scale of additions should not visually overpower the historic building or significantly change the proportion of the original built mass to open space.
- Select exterior surface materials and architectural details for additions that are complementary to the existing building in terms of composition, module, texture, pattern, and detail.
- Additions should be self-supporting, distinguishable from the original historic building, and constructed so that they can be removed without harming the building's original structure.
- Protect historic features and large trees from immediate and delayed damage due to construction activities.
- Sensitive areas around historic features and mature trees should be roped off before demolition or construction begins.

Things to Consider as You Plan

For both additions and new construction, retaining a specific site's topography and character-defining site features assures compatibility. This is especially critical during new site development. The descriptions and guidelines included in Neighborhood Site and Setting, Section 3, will be useful for ensuring the compatibility of proposed site development within the historic district. The guidelines for various site features, including driveways, fences, lighting, garages, mature trees, and plantings, apply to both existing site features and proposed development. Consistency in setback, orientation, spacing, and distance between adjacent buildings creates compatibility within the district. The proportion of built mass to open space should remain consistent with that in surrounding areas to ensure the compatibility of both additions and new construction.

The principal visual elements that distinguish additions and new buildings are their height, form, massing, proportion, size, scale, and roof shape. Additions should be compatible with but discernible from the original historic building and should not diminish it in size and scale. Careful analysis of the adjacent historic buildings is valuable for determining how consistent and, consequently, how significant each of these criteria is in judging how compatible your new construction is with regard to its surroundings. It is especially important to consider the overall proportion of the building's front elevation because it will have the most impact on the streetscape. Similar study of materials, building features, and details typical of existing buildings along the street will provide a vocabulary to draw upon when designing a compatible building. Consideration should be given to the spacing, placement, scale, orientation, and size of window and door openings as well as the design of the doors and the windows themselves. In additions, exterior surface materials, architectural details, and window and door openings should reflect those of the original house.

Elm Heights encourages the implementation of sustainability in all new construction, including LEED principles, solar options, and low-carbon-footprint building materials and methods. Landscaping in a sustainable manner is highly desirable within the historic district, including retaining large trees and minimizing ground disturbance to protect critical root zones.

5.3 Garages and Service Buildings

Most of the Elm Heights district was built with both the car and the pedestrian in mind. Most of the area is platted with alleys to give access to both attached and detached garages. The attached garage at that time was a novelty and its design was executed in various ways around the neighborhood. There are many instances of garages directly under the house, which made them extremely inconspicuous from the street. Others were quite small and set back from the front facade with 2nd floor living spaces or a terrace above. The car of this time was very narrow. As cars outgrew the attached garages, many were repurposed as living space. The most common type of garage was detached, matched the house in both building material and style, and was accessed from an alley.

Service buildings were less common than in the surrounding countryside and mostly used for storing gardening supplies or relaxing and entertaining. Occasionally these small buildings were designed with a fireplace or grill and seating.



Preservation Goals for Garages and Service Buildings

To retain and restore original garages and service buildings along with their inherent materials and features through cleaning, repair, and routine maintenance.

Guidelines for Garages and Service Buildings

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow a numbered item further assist applicants with the COA process.

- I. Removal of a historic garage or service building.**
- II. Changes to, or construction of, garages or service buildings.**
 - New construction and additions should follow Section 5.1, Additions and New Construction
 - Avoid the choice of pre-manufactured sheds or service buildings that are uncharacteristic of the surrounding neighborhood. They may be considered if sufficiently screened from view.
 - New structures should be sited with regard for the historic orientation of the house and with care for their impact on the site.
 - New garages and garage additions should be accessed by alleyways when available and appropriate and away from the primary facade whenever possible.



6.0 Relocation and Demolition

The purpose of a local historic district is to preserve and protect the buildings, settings, and places of architectural and historical significance to a neighborhood or community. This makes it inappropriate to remove structures that have been listed as contributing to a district.

Most construction within the Elm Heights Historic District took place between 1920 and the 1940s. The houses that had already been built in the area were carefully worked into the fabric of the new community. Along with their more modern brethren, these older homes create a district rich in architectural diversity.

Preservation Goals for Relocation and Demolition

To protect the contributing homes and structures that together constitute the historic district.

To preserve the historic context and value of the district by discouraging the relocation of its contributing structures.

Things to Consider as You Plan

The replacement of demolished or relocated structures should follow the guidelines provided in Section 5.1, Additions and New Construction, except for the situation presented below in the fourth bullet of the second guideline.

Preservation in the Elm Heights Historic District extends to architectural features other than just the principal structure. Since demolition and relocation can affect all aspects of a property and the surrounding area, a COA to remove a structure or feature does not apply to the entire property. When planning your project, make sure to include mature trees and other features, like historic garages, walls, fences, sculptures, and cisterns, when presenting your plan to the BHPC. See Sections 3.1 through 3.6 in Neighborhood Site and Setting for more information.

Refer to Section 2.0, Historic Preservation and Sustainability, under Environmental Health to find more information on the topic of sustainability and demolition.

Guidelines for Relocation and Demolition

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow each numbered item give some examples the BHPC may consider valid reasons to grant a demolition or relocation. The condition of a building or structure resulting from neglect shall not be considered grounds for demolition.

I. Relocation, either within or outside the district, of primary, secondary, and accessory structures, including contributing walls and fences.

- Relocation is necessary to allow development that, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure in its original location.
- Any relocated structure should be compatible with the contributing architecture surrounding its new site relative to style, setting, scale, and era.
- Upon further consideration by the Commission, the historic or architectural significance of the structure is such that it does not contribute to the historic character of the district.

II. Demolition of all primary, secondary, and accessory structures, including contributing walls and fences.

- The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, or structural instability.
- Upon further consideration by the Commission, the historic or architectural significance of the structure is such that it does not contribute to the historic character of the district.
- The demolition is necessary to allow development that, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
- The structure is accidentally damaged by storm, tornado, fire, flood, or other natural disaster. In this case, it may be rebuilt to its former configuration and materials without regard to these guidelines if work is commenced within 6 months.
- The structure or property cannot be put to any reasonable economically beneficial use without the approval of the demolition.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-60 _____

Date Filed: _____ 9/9/2021 _____

Scheduled for Hearing: _____ 9/23/2021 _____

Address of Historic Property: _____

Petitioner's Name: _____

Petitioner's Address: _____

Phone Number/e-mail: _____

Owner's Name: _____

Owner's Address: _____

Phone Number/e-mail: _____

Instructions to Petitioners

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Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. _____

2. A description of the nature of the proposed modifications or new construction:

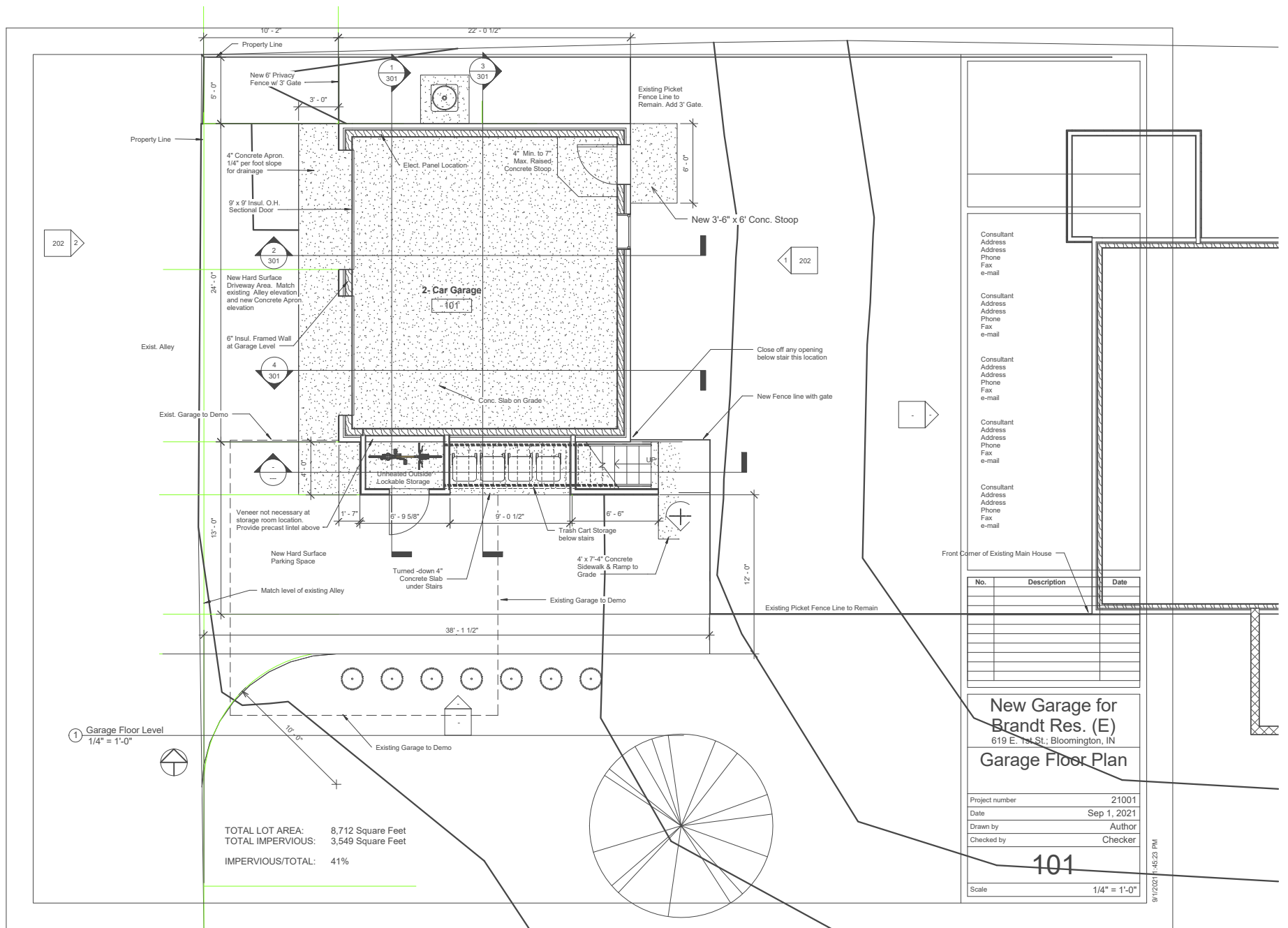
3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



① Garage Floor Level
1/4" = 1'-0"

TOTAL LOT AREA: 8,712 Square Feet
TOTAL IMPERVIOUS: 3,549 Square Feet
IMPERVIOUS/TOTAL: 41%

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No.	Description	Date

**New Garage for
Brandt Res. (E)**
619 E. 1st St.; Bloomington, IN

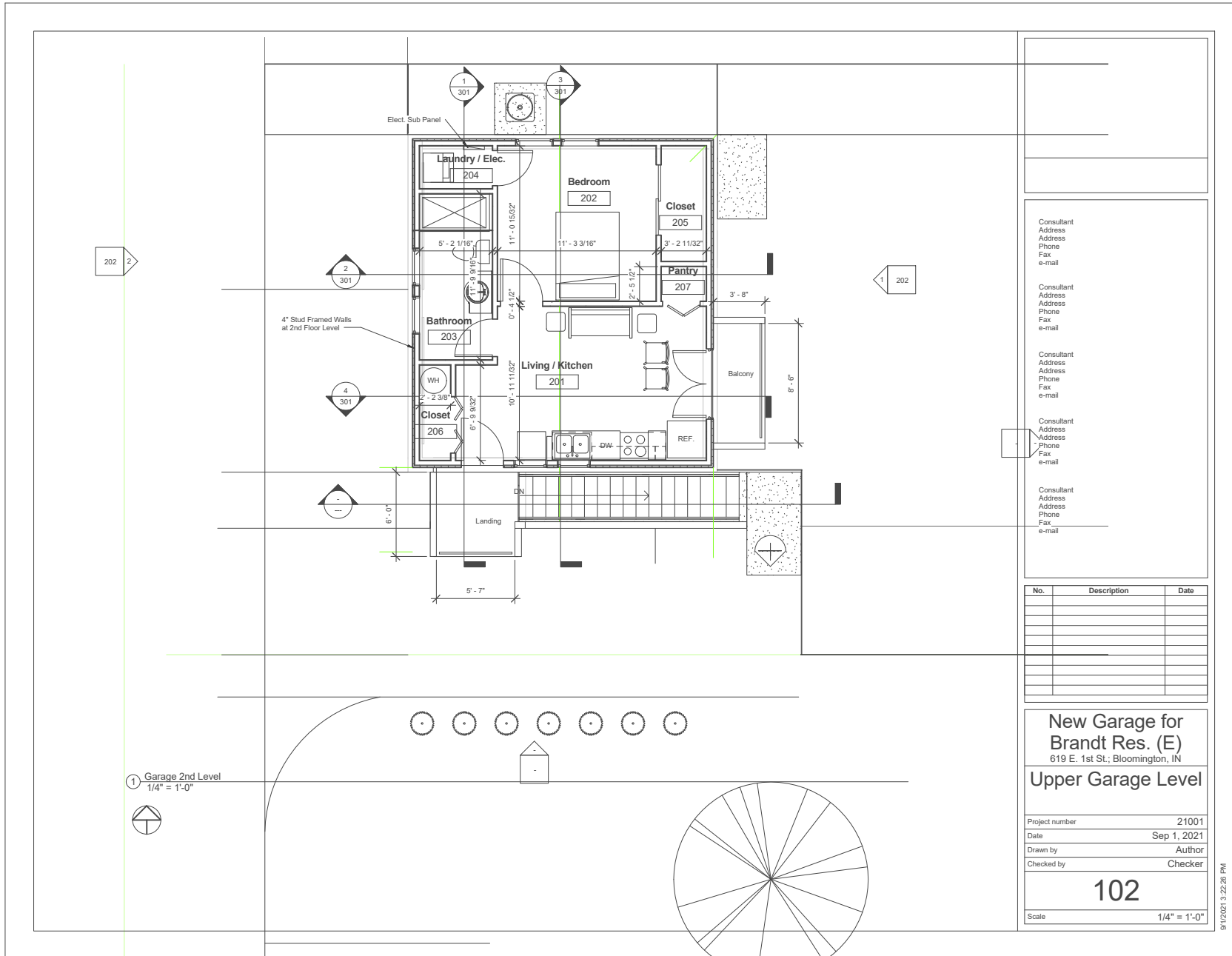
Garage Floor Plan

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

101

Scale 1/4" = 1'-0"

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New Garage for Brandt Res. (E)
619 E. 1st St.; Bloomington, IN

Upper Garage Level

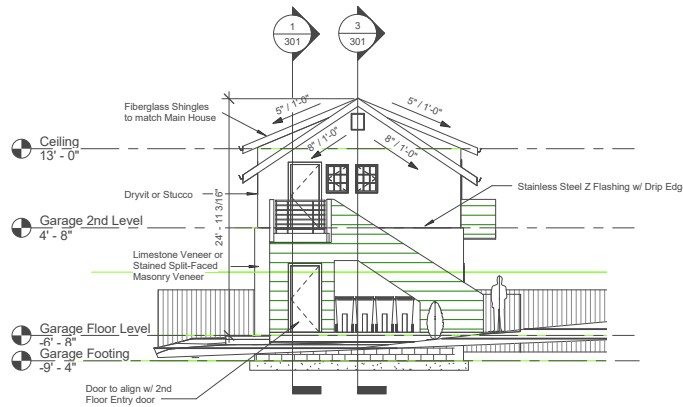
Project number	21001
Date	Sep 1, 2021
Drawn by	Author
Checked by	Checker

102
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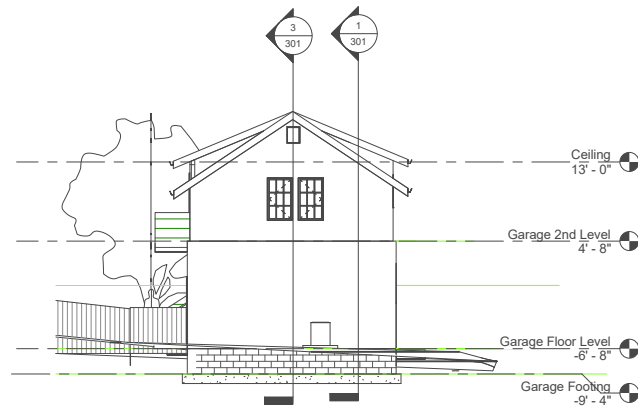
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1 Garage 2nd Level
1/4" = 1'-0"





1 South Elevation 1
1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"

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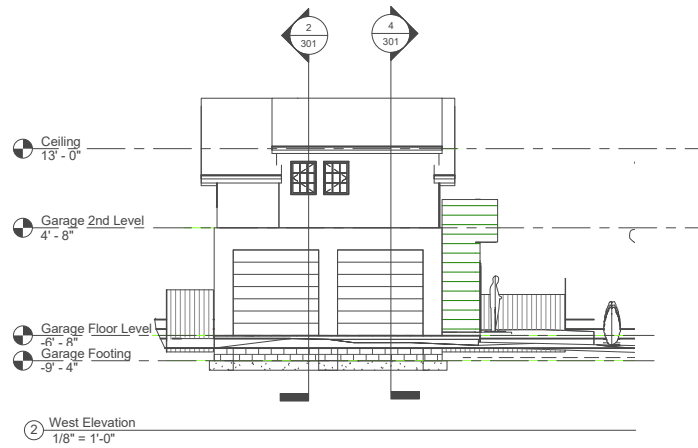
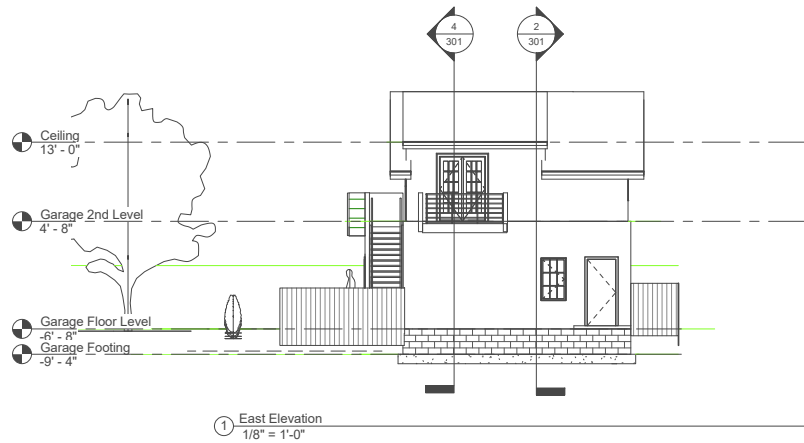
**New Garage for
Brandt Res. (E)**
619 E. 1st St.; Bloomington, IN
Building Elevations

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

201

Scale 1/8" = 1'-0"

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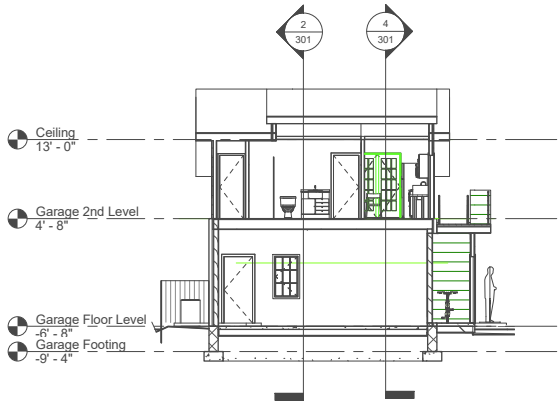
**New Garage for
Brandt Res. (E)**
619 E. 1st St.; Bloomington, IN
Building Elevations

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

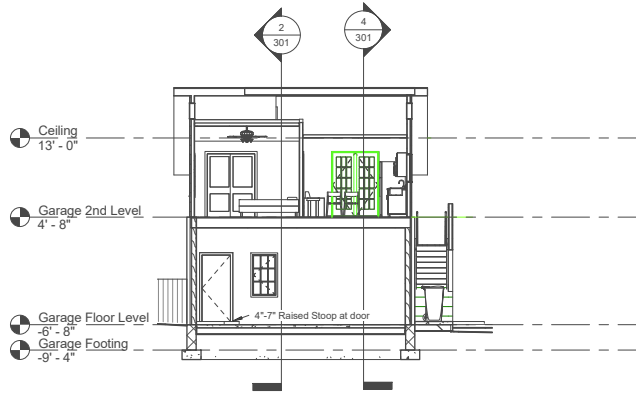
202

Scale 1/8" = 1'-0"

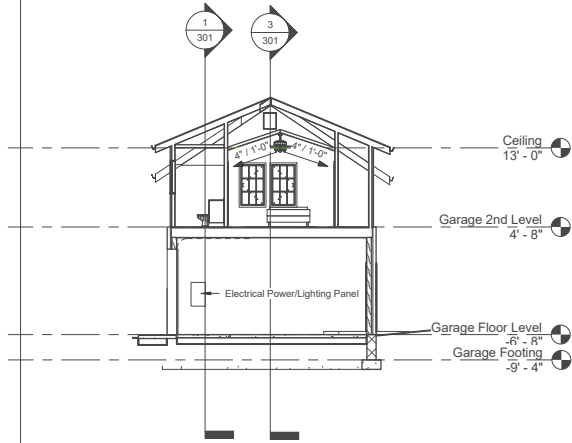
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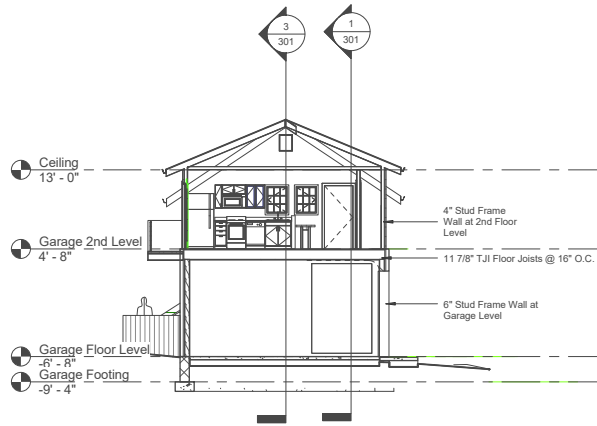
① Section 1
1/8" = 1'-0"



③ Section 3
1/8" = 1'-0"



② Section 2
1/8" = 1'-0"



④ Section 4
1/8" = 1'-0"

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No.	Description	Date

New Garage for Brandt Res. (E)
619 E. 1st St.; Bloomington, IN
Building Sections

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

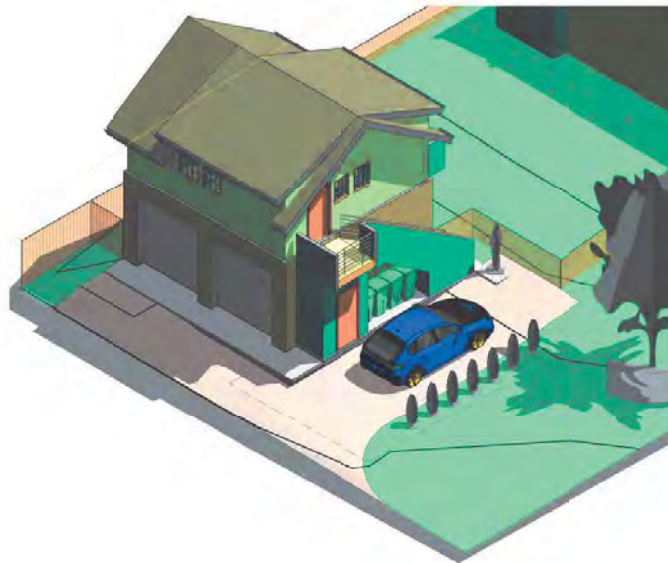
301

Scale 1/8" = 1'-0"

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① Iso looking SE



② Iso looking NE

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No.	Description	Date

**New Garage for
Brandt Res. (E)**
619 E. 1st St.; Bloomington, IN

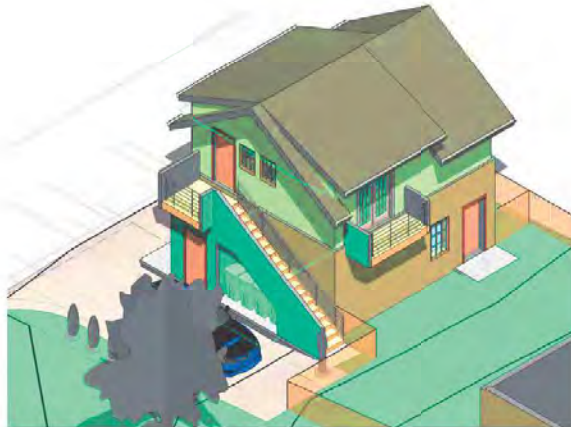
Isometrics

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

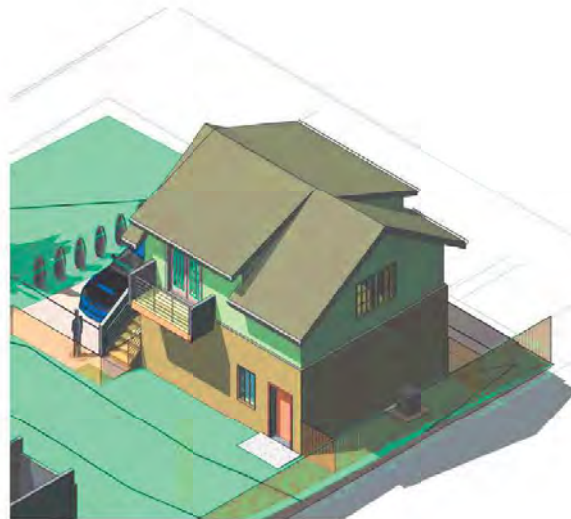
401

Scale

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① Iso looking NW



② Iso looking SW

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No.	Description	Date

New Garage for
Brandt Res. (E)
619 E. 1st St.; Bloomington, IN

Isometrics

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

402

Scale

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① Perspective looking NE



② Perspective looking SW

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No.	Description	Date

**New Garage for
Brandt Res. (E)**
619 E. 1st St.; Bloomington, IN

Perspectives

Project number 21001
Date Sep 1, 2021
Drawn by Author
Checked by Checker

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Scale

9/1/2021 1:58:44 PM







COA: 21-61
STAFF RECOMMENDATIONS

Address: 208 E 16th St.

Petitioner: Lisa Freeman

Parcel #: 53-05-33-202-041.000-005

Rating: CONTRIBUTING

Survey: 1950, Ranch Minimalist Traditional



Background: Garden Hill Historic District

Request: Renovate front porch and entryway, add retaining wall, 6 parking spaces, replace all windows and siding, remove yard sidewalk going to 16 th Street

Guidelines: Garden Hill Historic District Guidelines (pp. 19-20)

Removal of Original Material (pg. 21)

In general, original material refers to materials and architectural elements first used on the structure, but may also include materials used in subsequent up-dates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

Front Porch

Proposal: There will be a new entryway per print, stairs in same location, with sidewalk to porch entry, remove sidewalk going from porch to 16th st.

Windows

Proposal: Current windows are jalousie style and proposal is for vinyl double hung bronze or black windows.

“Existing architectural details (specifically original historic elements) for windows, porches, doors, and eaves on the public-way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.”

“Retain the proportion of the original openings. Replacement of windows and doors determined to be original must duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house.”

Siding

Proposal: CertainTeed Mainstreet vinyl siding, straight-double 4” lap, color undecided, aluminum soffit bronze color.

“Regarding removal of original siding, flexibility is encouraged. If a homeowner wishes to use another material, it should be consistent with the appearance of the original material.

Horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.

Vinyl and aluminum siding are acceptable if used as a continuation of what is currently on the structure.

In exceptional cases, vinyl or aluminum may be used as the primary exterior siding, although if underlying original materials remain (e.g., door and window trim, and/or clapboard), care should be taken during installation of newer materials to protect them from cuts and removal (to preserve for possible future restoration).”

Parking and walkway

Proposal: Six parking lots in front of the building and the elimination of walkway connecting the front door to the 16th street sidewalk

“Where possible, parking should be accessed by the existing alleys in the rear of the building.”

Roof Change:

Proposal: “Entire roof will be new dimensional asphalt shingles and slope changes to roof structure per exterior elevations on blueprint.”

Staff does not recommend approval for the COA 21-62.

The combination of changes prove substantive to the point of changing the entire historic character of the house.

- Staff has concerns regarding the parking placement in front of the house, coupled with the elimination of the connecting path to the sidewalk.
- The proposed windows and window color vary vastly from the current windows.
- The roof and front entry would change but staff needs more documentation of how this would look and affect the rest of the structure.
- The vinyl siding would be in keeping with current siding.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-61 _____

Date Filed: _____ 9/9/2021 _____

Scheduled for Hearing: _____ 9/23/2021 _____

Address of Historic Property: _____

Petitioner's Name: _____

Petitioner's Address: _____

Phone Number/e-mail: _____

Owner's Name: _____

Owner's Address: _____

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. _____

2. A description of the nature of the proposed modifications or new construction:

3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

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↑ N











MainStreet™

Vinyl Siding

General Description: MainStreet™ siding is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. MainStreet is also an ideal product for remodeling.

Styles:

Profile	Finish	Panel Projection	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket
Double 4" Clapboard	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Double 4" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	25	1/2", 5/8" or 3/4"
Double 5" Clapboard	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Double 5" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Triple 3" Clapboard	Smooth Brushed	9/16"	.042"	Post-formed	10	5/8" or 3/4"
Single 6-1/2" Beaded	Smooth Brushed	9/16"	.042"	Post-formed	8	5/8" or 3/4"
Single 8" Clapboard	Woodgrain	5/8"	.042"	Post-formed	1	3/4"

Colors: MainStreet siding profiles are available in a wide selection of colors. All colors are Spectrophotometer controlled and utilize exclusive Permacolor™ color science.

Colonial White (01)	Light Maple (55)	Sterling Gray (33)	Natural Clay (60)	Forest (47)*
Autumn Yellow (10)*	Sandstone Beige (15)	Buckskin (41)*	Oxford Blue (32)	Hearthstone (19)*
Desert Tan (07)	Savannah Wicker (59)	Castle Stone (37)*	Autumn Red (23)*	Pacific Blue (27)*
Heritage Cream (11)	Seagrass (30)*	Cypress (42)*	Charcoal Gray (46)*	Sable Brown (29)*
Herringbone (04)*	Snow (31)	Granite Gray (34)*	Flagstone (97)*	Spruce (16)*

**Not available in T3" profile*

STUDfinder™: The patented STUDfinder Installation System combines precisely engineered nail slot locations with graphics. Nail slots are positioned 16" on center to allow for alignment with studs. STUDfinder graphics centered at each slot provide a quick and easy guide to help locate studs.

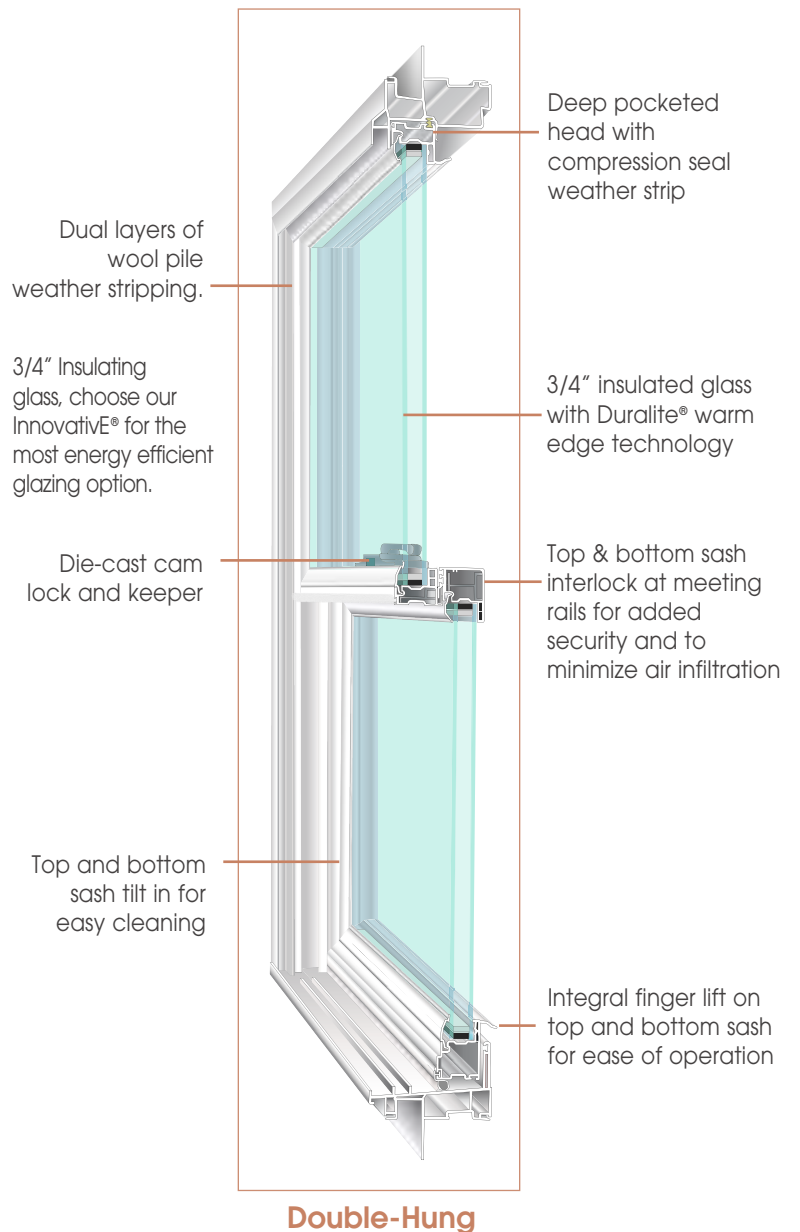
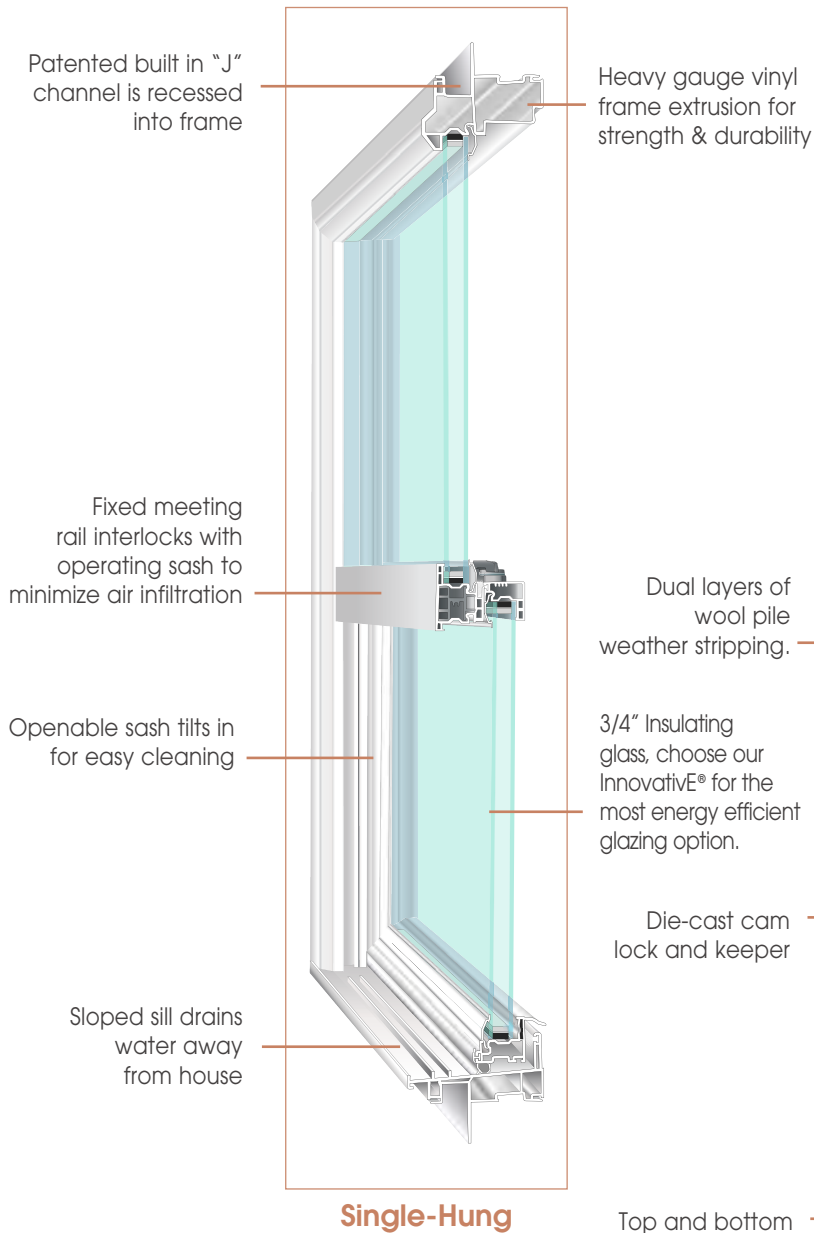
RigidForm™: MainStreet RigidForm 170 double nail hem technology stiffens siding for a straighter-on-the-wall appearance and provides wind load performance.

Lock: MainStreet's exclusive DuraLock™ is a substantially larger lock than is found on competing products, with a rigid teardrop shape and engineered angular locking leg for a positive, snap fit application and exceptional wind resistance.

Accessories: CertainTeed manufactures a wide range of siding accessories which are compatible with MainStreet siding styles and colors. Accessory products include installation components, soffit, window and door trim, corner lineals, corner systems and decorative moldings.

Composition: MainStreet siding products are produced using PVC resin.

Technical Data: Restoration Classic siding is in compliance with ASTM specification for Rigid Polyvinyl Chloride (PVC) Siding D3679, and the requirements of the 2015, 2018 and 2021 International Residential Code and International Building Code, the 2020 Florida Residential Code and Florida Building Code, and the 2019 California Residential Code and California Building Code. Restoration Classic siding meets or exceeds the properties noted in Table 1.



Look for the ENERGY STAR label on qualified products.

The Power of a National Network, the Service of a Regional Supplier, the Support of Local People!

Double-Hung (widths 20" to 48")

Rough Opening	20"	22"	24"	26"	28"	30"	32"	34"	36"	38"	40"	42"	44"	46"	48"
Unit Size	19 1/2"	21 1/2"	23 1/2"	25 1/2"	27 1/2"	29 1/2"	31 1/2"	33 1/2"	35 1/2"	37 1/2"	39 1/2"	41 1/2"	43 1/2"	45 1/2"	47 1/2"
Exposed Glass	12 1/2"	14 1/2"	16 1/2"	18 1/2"	20 1/2"	22 1/2"	24 1/2"	26 1/2"	28 1/2"	30 1/2"	32 1/2"	34 1/2"	36 1/2"	38 1/2"	40 1/2"
Clear Opening	14 5/8"	16 5/8"	18 5/8"	20 5/8"	22 5/8"	24 5/8"	26 5/8"	28 5/8"	30 5/8"	32 5/8"	34 5/8"	36 5/8"	38 5/8"	40 5/8"	42 5/8"

2036	2236	2436	2636	2836	3036	3236	3436	3636	3836	4036	4236	4436	4636	4836	36"	35 1/2"	14"	12 1/2"
2042	2242	2442	2642	2842	3042	3242	3442	3642	3842	4042	4242	4442	4642	4842	42"	41 1/2"	17"	15 1/2"
2048	2248	2448	2648	2848	3048	3248	3448	3648	3848	4048	4248	4448	4648	4848	48"	47 1/2"	20"	18 1/2"
2054	2254	2454	2654	2854	3054	3254	3454	3654	3854	4054	4254	4454	4654	4854	54"	53 1/2"	23"	21 1/2"
2057	2257	2457	2657	2857	3057	3257	3457	3657	3857	4057	4257	4457	4657	4857	57"	56 1/2"	24 1/2"	23"
2060	2260	2460	2660	2860	3060	3260	3460	3660	3860	4060	4260	4460	4660	4860	60"	59 1/2"	26"	24 1/2"
2066	2266	2466	2666	2866	3066	3266	3466	3666	3866	4066	4266	4466	4666	4866	66"	65 1/2"	29"	27 1/2"
2072	2272	2472	2672	2872	3072	3272	3472	3672	3872	4072	4272	4472	4672	4872	72"	71 1/2"	32"	30 1/2"

Windgate Windows Minimum Egress Sizes (with Egress Sill and Springs)

Double-Hung	RO	TTT	Clear Opening	Sq. Ft.
	36" x 66"	35.5" x 65.5"	51.625" Height	5.86
	38" x 62"	37.5" x 61.5"	25.625" Height	5.91
	40" x 60"	39.5" x 59.5"	24.625" Height	5.91

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Double-Hung Window

