



**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT

BHPC MEETING PACKET

Thursday July 14, 2022

5:00 p.m. EST

Prepared by HAND Staff

In Person: The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

One tap mobile

+13126266799,,95852185508# US (Chicago)

+19292056099,,95852185508# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

TABLE OF CONTENTS

Agenda - July 14, 2022 Meeting.....3

Minutes - June 30, 2022 Meeting.....5

Local Historic District Nomination

302 & 308 N Rogers St. (Bethel AME Church and Parsonage).....11

COA Staff Approvals

A. **COA 22-49** 1109 E 1St St. (Elm Heights Historic District).....72

B. **COA 22-51** 721 N Fairview St (Maple Heights Historic District).....82

COA Staff Recommendations

C. **COA 22-50** 202 N Walnut St. (Courthouse Square Historic District).....90

D. **COA 22-52** 108 W 4th St. (Courthouse Square Historic District).....96

E. **COA 22-53** 908 W Howe St. (Greater Prospect Hill Historic District).....109

F. **COA 22-54** 642 N Madison St. (Showers Brothers Historic District).....123

G. **COA 22-55** 923 E University St. (Elm Heights Historic District).....134

H. **COA 22-56** 123 S College Ave. (Courthouse Square Historic District).....147

I. **COA 22-57 and (22-43 Appeal)** 811 W Kirkwood Ave.
(Greater Prospect Hill Historic District).....152

J. **COA 22-58** 508 W 3rd St. (Prospect Hill Historic District).....163

Programmatic Agreement

A. "Programmatic Agreement among the City of Bloomington and the Indiana State Historic Preservation Officer Regarding the Administration of Certain HUD-Assisted Projects and Programs subject to 24 CFR Part 58 in the State of Indiana."174

BHPC Grant

A. 400 W 7th St. (Johnson's Creamery Historic District).....196

Bloomington Historic Preservation Commission Meeting

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 Passcode: 082945

Thursday July 14, 2022, 5:00 P.M.

AGENDA

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **APPROVAL OF MINUTES**
 - A. June 30, 2022
- IV. **HISTORIC DISTRICT NOMINATION**
 - A. **HD 22-03**
702 & 708 N Rogers St. (Bethel AME Church)
Petitioner: Bethel AME

- V. **CERTIFICATES OF APPROPRIATENESS**

Staff Approval

- A. **COA 22-49**
1109 E 1st St. (Elm Heights Historic District)
Petitioner: John McEwan
Tree Removal
- B. **COA 22-51**
721 N Fairview St (Maple Heights Historic District)
Petitioner: Jane Klausmeier
New roofing

Commission Review

- C. **COA 22-50**
202 N Walnut St. (Courthouse Square Historic District)
Petitioner: Jerry Collins, Everywhere Signs
New Signage
- D. **COA 22-52**
108 W 4th St. (Courthouse Square Historic District)
Petitioner: Lauren Clemens c/o City of Bloomington
Replacement of the front door of FHB Radio Station
- E. **COA 22-53**
908 W Howe St. (Greater Prospect Hill Historic District)
Petitioner: Mary G Girard
Addition on the back of building
- F. **COA 22-54**
642 N Madison St. (Showers Brothers Furniture Complex Local Historic District)
Petitioner: Gretchen Knapp, Dimension Mill
BUEA Funds - Repairing light fixture attachments and roof

- G. **COA 22-55**
923 E University St. (Elm Heights Historic District)
Petitioner: Sara Howell and Terry Hays
Demolition and reconstruction of garage
- H. **COA 22-56**
123 S College Ave. (Courthouse Square Historic District)
Petitioner: Nate Trueblood, Everywhere Signs
New Signage
- I. **COA 22-57 (and 22-43 Appeal)**
811 W Kirkwood Ave. (Greater Prospect Hill Historic District)
Petitioner: Roy Campbell
Changing roof materials and appealing the siding
- J. **COA 22-58**
508 W 3rd St. (Prospect Hill Historic District)
Petitioner: Richard M. Judd
New landing and staircase

VI. **NEW BUSINESS**

- A. **Provide Feedback - HPC as a consulting party**
"Programmatic Agreement among the City of Bloomington and the Indiana State Historic Preservation Officer Regarding the Administration of Certain HUD-Assisted Projects and Programs subject to 24 CFR Part 58 in the State of Indiana."

VII. **OLD BUSINESS**

- A. **BHPC Grant 22-02**
400 W 7th St. (Johnson's Creamery Historic District)
Petitioner: Mike Cordaro
BUEA Facade Grant and BHPC Consulting Grant

VIII. **COMMISSIONER COMMENTS**

IX. **PUBLIC COMMENTS ANNOUNCEMENTS**

X. **ADJOURNMENT**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.
Next meeting date is July 28, 2022 at 5:00 P.M. and will be a teleconference via Zoom.
Posted: 7/7/2022*

**Bloomington Historic Preservation Commission Meeting
SPECIAL MEETING**

Zoom:

<https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 Passcode: 082945

Thursday June 30, 2022, 5:00 P.M.

AGENDA

I. CALL TO ORDER

Meeting was called to order by Chair **John Saunders @ 5:00 p.m.**

II. ROLL CALL

Commissioners Present:

Daniel Schlegel (Present)
John Saunders (Present)
Reynard Cross (Present)
Elizabeth Mitchell (Present)
Allison Chopra (Present)

Advisory Members Present:

Duncan Campbell

Staff Present:

Gloria Colom, HAND (Present)
John Zody, HAND (Present)
Daniel Dixon, City Legal Department (Present)

Guests Present:

Bruce Norton (Electronic)
David Askins (Electronic)
Jayne Spencer (Electronic)
Tim Cover (Electronic)
Richard Lewis (Electronic)
Peter Haralovich (Present)
Susan & Kevin Kirchhoff (Present)
Chris Valliant (Present)

III. APPROVAL OF MINUTES

A. JUNE 9, 2022

Daniel Schlegel made a motion to approve **June 09, 2022 Minutes**.

Allison Chopra seconded.

Motion Carries: 5 Yes (Schlegel, Saunders, Mitchell, Chopra, Cross), 0 No, 0 Abstain

IV. CERTIFICATES OF APPROPRIATENESS

Commission Review

A. COA 22-44

701 W 4th St. (Greater Prospect Hill Historic District)

Petitioner: Peter Haralovich

Move the house and new construction

Gloria Colom gave presentation. See packet for details.

Allison Chopra asked the **Petitioner** if he lived in the house and who owned the property. **Allison Chopra** asked **Peter Haralovich** who the architect was for the new building. **Duncan Campbell** asked if this would be considered an accessory unit. More discussion ensued. See packet for details.

Daniel Schlegel thanked **Peter Haralovich** for working with the **Historic Preservation Commission** to come up with creative solutions to keep the house. **Duncan Campbell** commented that he has trouble with taking

a historic house off of the site or origin. More discussion ensued about the location of moving the house. See packet for details.

Daniel Schlegel made a motion to approve **COA 22-44**.

Reynard Cross seconded.

**Motion Carries: 5 Yes (Schlegel, Saunders, Mitchell, Chopra, Cross),
0 No, 0 Yes.**

B. COA 22-45

1210 W 6th St. (NWS Conservation District)

Petitioner: Susan and Kevin Kirchhoff

New Construction of a Detached Garage

Gloria Colom gave presentation. See packet for details.

Daniel Schlegel asked the **Petitioners** why they decided to use vinyl siding. **Susan Kirchhoff** stated that the house was a new house and that they took possession of the house one year ago, and that they are trying to match the house up with the garage.

John Saunders commented that this **Petition** meets the guidelines.

Allison Chopra made a motion to approve **COA 22-45**.

Daniel Schlegel seconded.

**Motion Carries: 5 Yes (Schlegel, Saunders, Mitchell, Chopra, Cross),
0 No, 0 Abstain.**

C. COA 22-46

108 E 6th St. (Courthouse Square Historic District)

Petitioner: Bruce Norton, Station 43 Design

Permanent Sign

Gloria Colom gave presentation. See packet for details.

Bruce Norton stated that it was the same type of sign that was there for **Function Brewing**. It is called a reverse chain letter. **Allison Chopra** asked about the color of the sign.

Allison Chopra made a motion to approve **COA 22-46**.

Reynard Cross seconded.

**Motion Carries: 5 Yes, (Schlegel, Saunders, Mitchell, Chopra, Cross),
0 No, 0 Yes.**

D. COA 22-47

916 E University St. (Elm Heights Historic District)

Petitioner: Jayne H. Spencer

Screened In Back Porch

Gloria Colom gave presentation. See packet for details.

Jayne Spencer commented that this back porch was the last thing that she intended to do to the house that I have lived in for over 40 years.

Jayne Spencer stated that she did not wish to change the space of it, she is just trying to upgrade the porch.

Reynard Cross stated that it would have been nice to have a diagram showing the dimensions. **Duncan Campbell** asked where the design for the new porch was. **Duncan Campbell** asked **Jayne Spencer** if the porch was going to look just like the pictures except without the stone pillars. **Duncan Campbell stated that he does not know what is going to be done. There are no details.** **Duncan Campbell** stated that they cannot approve a **COA** without details. That is not the way this is supposed to work. **John Saunders** stated that they could deny this Petition and ask her to come back with a design. **Jayne Spencer** stated that the sliding door was for her safety, and that she has lived here for over 40 years and never done anything that was not historically accurate. **John Saunders** stated that they are asking her to submit some plans and materials to be used. **Jayne Spencer** stated that she described the materials in her application. It is all going to be done in cedar. **Gloria Colom** stated that the **HPC** would like to see a drawn version of the **Petitioners** written description. So a scale drawing, an elevation, and a plan that shows exactly what you want. **Jayne Spencer** stated that she really did not understand this and thought that they had everything that they need. You're suggesting that I need to get an architect to draw a picture. **Gloria Colom** stated that the **Petitioner** could use graph paper and one foot equals a block. **Reynard Cross** stated that the form states to attach a drawing or provide a picture of the proposed project. **Jayne Spencer** stated that she was building on a slab that was here 98 years ago. More discussion ensued. See packet for details.

Allison Chopra made a motion to deny **COA 22-47**.

Reynard Cross seconded.

**Motion Carries: 5 Yes (Schlegel, Saunders, Mitchell, Chopra, Cross),
0 No, 0 Abstain.**

Jayne Spencer asked what was decided because she did not understand.

John Saunders stated that they decided to deny the **Petition** and we're asking

that you go back and provide us with a drawing, and type of materials that will be used. **Jayne Spencer** commented that this was really disturbing.

E. COA 22-48

521 W 4th St. (Greater Prospect Hill Historic District)

Petitioner: Jerry Sinks & Anita Bracalente

Solar Panels

No Petitioners are present.

Elizabeth Mitchell made a motion to deny **COA 22-48**.

Daniel Schlegel seconded.

**Motion Carries: 5 Yes (Schlegel, Saunders, Mitchell, Chopra, Cross),
0 No, 0 Abstain.**

V. NEW BUSINESS (CONTINUED)

A. 400 W 7th St. (Johnson's Creamery Historic District)

Petitioner: Mike Cordaro

BUEA Facade Grant and BHPC Consulting Grant

Gloria Colom gave an update for the Johnson's Creamery smokestack. See packet for details.

200 E Kirkwood Ave

Petitioner: Tim Cover

Design concept feedback

Tim Cover gave presentation of design. See packet for details.

Discussion ensued. See packet for details.

B. 723/ 725 W Kirkwood Ave. (Greater Prospect Hill Historic District)

Petitioner: Thomas G. Gallagher

Roof design consultation

Gloria Colom stated that **Thomas G. Gallagher** was not going to present at this time.

VI. OLD BUSINESS

A. Update on the Photo Contest

Gloria Colom gave an update on the Photo Contest. See packet for details.

B. Updates on continuing education and BHPC funding opportunities

Gloria Colom gave an update on the continuing education and BHPC Funding opportunities. Discussion ensued. See packet for details.

VII. COMMISSIONER COMMENTS

VIII. PUBLIC COMMENTS ANNOUNCEMENTS

IX. ADJOURNMENT

Meeting was adjourned by **John Saunders @ 7:27 p.m.**

END OF MINUTES

Video record of meeting available upon request.

The property at 302 and 308 N Rogers Street qualifies for local designation under the following highlighted criteria found in Ordinance 95-20 of the Municipal Code (1) a, c // (2) b, g

(1) Historic:

- a) Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation; or is associated with a person who played a significant role in local, state, or national history; or
- b) Is the site of an historic event; or
- c) Exemplifies the cultural, political, economic, social, or historic heritage of the community.

(2) Architectural:

- a) Embodies distinguishing characteristics of an architectural or engineering type; or
- b) Is the work of a designer whose individual work has significantly influenced the development of the community; or
- c) Is the work of a designer of such prominence that such work gains its value from the designer's reputation; or
- d) Contains elements of design, detail, materials, or craftsmanship which represent a significant innovation; or
- e) Contains any architectural style, detail, or other element in danger of being lost; or
- f) Owing to its unique location or physical characteristics, represents an established and familiar visual feature of the city; or
- g) Exemplifies the built environment in an era of history characterized by a distinctive architectural style

Case Background

The proposed district consists of two buildings on the lot legally recorded as 013-50530-00 ORIG PLATS 289 & 290. The area is zoned as Zoning MC-DC Mixed Use Downtown. The Bethel African Methodist Episcopal Church (AME) was built in 1922 as a permanent and dedicated home to the Bethel AME congregation. The architect John Nichols, known for designing many of Bloomington's notable buildings designed the church in the classical revival, Tudor style (SHAARD 2014). The parsonage consists of a bungalow style cottage and is dated to 1925.

Historic surveys rating and designations:

The two buildings are currently included in the Bloomington West Side Historic District in the National Register of Historic Places. This historic district features a combination of residential, commercial, industrial, and institutional buildings that were centered around the Showers Brothers furniture factory. Both the Bethel AME Church and the Second Baptist Church located across the street towards the north end of the block served and continue to serve Bloomington's Black community, many who lived in the West Side neighborhood and worked at the Showers Brothers Factory, Johnson's Creamery, Indiana University, and other industries. Although the Bethel AME Church is included in the West Side Historic District (at a federal level), it is not included in any of the local historic districts that currently surround it such as The Near West Side Conservation District, The Showers Brother Factory Historic District, or the Johnson's Creamery Historic District, amongst others.

The main church is listed in both the Indiana Historic Sites & Structures Inventory and the Bloomington Historic Sites and Structures List as "Outstanding." The parish house on the north of the property is listed as "Contributing". Neither of the two buildings within the property are located within a local historic or local conservation district under the jurisdiction of the Bloomington Historic Preservation Commission.

Historical Significance, 1 (a): Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation; or is associated with a person who played a significant role in local, state, or national history; or

The Bethel African Methodist Episcopal church has existed in Bloomington since September 17, 1870 when it was organized by Reverend John. W. Malone and has served as one of the main religious institutions for Bloomington's Black community since then. The church doubled as a social cultural unifier, providing a space for creativity, social cohesion, and a place where Indiana University's Black students could find community as well. Bloomington's Bethel AME. The congregation was originally housed in a former Presbyterian church located on 6th Street just west of the city square (Halsell Gilliam 1985,30). When the congregation grew to about 64 members, they purchased the current lot on the north east corner of 7th and Rogers Street, and hired John L. Nichols, one of Bloomington's early architects to design a new building. The congregation was seeking a new space as the old church suffered from "lack inside plumbing, central heat, and rowdiness in the neighborhood by derelicts (Henning Byfield)." The new building cost \$35,000, measured 42 by 97 feet and was two stories high (Halsell Gilliam 1985,30)).

Mrs. Mattie Jacobs Fuller, an accomplished singer and organ player, as well as a

founding member of the church, raised money to buy the lot by performing (Image 2). Mrs. Fuller's incessant work and contribution to the community cannot be understated. Playing her portable organ, Mrs. Fuller raised more than \$13,000 that went to the church (Herald Times 2006). Additional money was acquired from selling the old Presbyterian church to the Smallwood Brothers (World Telephone 1945, 1). Stone was donated from several of the local quarries.

The paying off of the mortgage was done through extensive community collaboration, including constant fundraisers through meals and community bonding events. When Reverend J. E. Reddick was appointed to Bethel AME Church in Bloomington in 1940, the church had a congregation of 102 people and the mortgage debt was \$7,500. Through a consistent campaign, more than half of that money was paid off by 1945. On Sunday July 29, 1945 the congregation raised \$3,515.81 which was enough to pay off the remaining \$2,700 and have money left over to make additional repairs. Paying off the mortgage was a significant event and celebrated by burning the mortgage papers on August 26, 1945 (The World Telephone 1945).

The parsonage located on 308 N Rogers Street, just north of the main church structure is made of wood and was originally built for a foreman who worked for Nurre Glass (Krause 2014, D2). The bungalow is reminiscent in scale and massing to many of the working class homes built at that time in the Near West Side Neighborhood. A huge effort with the collaboration of multiple non-profit organizations and community members was done in 2014 to restore and save the bungalow.

Historical Significance, 1 (c): Exemplifies the cultural, political, economic, social, or historic heritage of the community.

The current Bethel AMC building represents the story of a community, where many members of Bloomington's Black community met to fulfill spiritual needs, but also found community in other ways such as singing, cooking, eating, putting on plays, and hosting Indiana University's small but growing Black student population. Many of the large and small events were recorded on the "Among the Colored People" news section within the *Daily Telephone* newspaper. Members of Bethel AME worked together with the other two major Black congregations from the Second Baptist Church and Taylor Chapel ME at different times. In 1912 the social announcement for Bethel was canceled when Mrs. William Montgomery, a prominent member of Second Baptist Church died unexpectedly (Daily Telephone 1912). This is just one instance out of a myriad of examples of the close knit community that worked together across denominations within Bloomington's Black community.

Architectural Significance, 2(b): Is the work of a designer whose individual work has significantly influenced the development of the community; or

John L. Nichols, the architect who designed Bethel AME, was one of Bloomington's earliest prolific trained architects. Nichols designed many of Indiana University's prominent buildings such as Wylie Hall and the observatory as well as over two hundred

houses, and institutional buildings. Nichols experimented with the different architectural styles available at the time including neoclassical, Queen Anne, eclectic, and romanesque amongst others.

Architectural Significance, 2(g): Exemplifies the built environment in an era of history characterized by a distinctive architectural style

The main church structure exemplifies the Classical revival style, using locally sourced Indiana Limestone. With a clean and symmetrical design, the building features a large opening consisting of ten windows on the front elevation. The side elevations each have five bays with original wood windows. The windows conform to the land gradation. Storm windows were installed to protect the stained glass windows.

“The side elevations are composed of five bays. Each of these bays have stained-glass windows placed in triplets with pentagonal windows above. Below, six-over-six wood sash windows vary in size responding to the grade of the land. The rear wing has eight-over-eight wood sash windows on the upper floor and four-over-four wood sash windows on the lower, as well as a pair of replaced doors and a six-paned transom. The side elevations mirror each other, except for the presence of the doors only on the south elevation (SHAARD 2014).”

Recommendation: Approval

Staff recommends property parcel 53-05-32-413-099.000-005 (The Bethel AME Church and Parsonage) be designated as a local historic district. After careful consideration of the application and review of the Historic District Criteria as found in Ordinance 95-20 of the Municipal Code, staff finds that the property not only meets, but exceeds the minimum criteria listed in the code.

The property meets Criteria 1(a) because the church provided a safe communal space for many members of Bloomington's Black community in the early twentieth century. Prominent members such as Mrs. Mattie Jacobs Fuller raised a considerable amount of money to make sure that the congregation owned the land and the building.

The property meets Criteria 1(c) because it has served as one of the main socio-cultural hubs for Bloomington's Black community, as a social hub for congregants and Indiana University students alike.

The property meets Criteria 2(b) because this is an exemplary example of John L. Nichols, perhaps Bloomington's earliest architect of renown's work.

The property meets Criteria 2(g) because the building itself through its elegant design provides a solid example of the late Classical revival style.

Bibliography

1912. "Among Colored Folk." *Daily Telephone*. July 15, 1912.

1945. "City's Bethel A.M.E. Church Burns Mortgage in Huge Celebration Here." *The World Telephone*. September 1, 1945.

2006. "136 Years of 'Welldoing': Bethel African Methodist Episcopal Church celebrates 136th anniversary." *Herald Times*. September 2, 2006, C5.

2014. "SHAARD Survey."

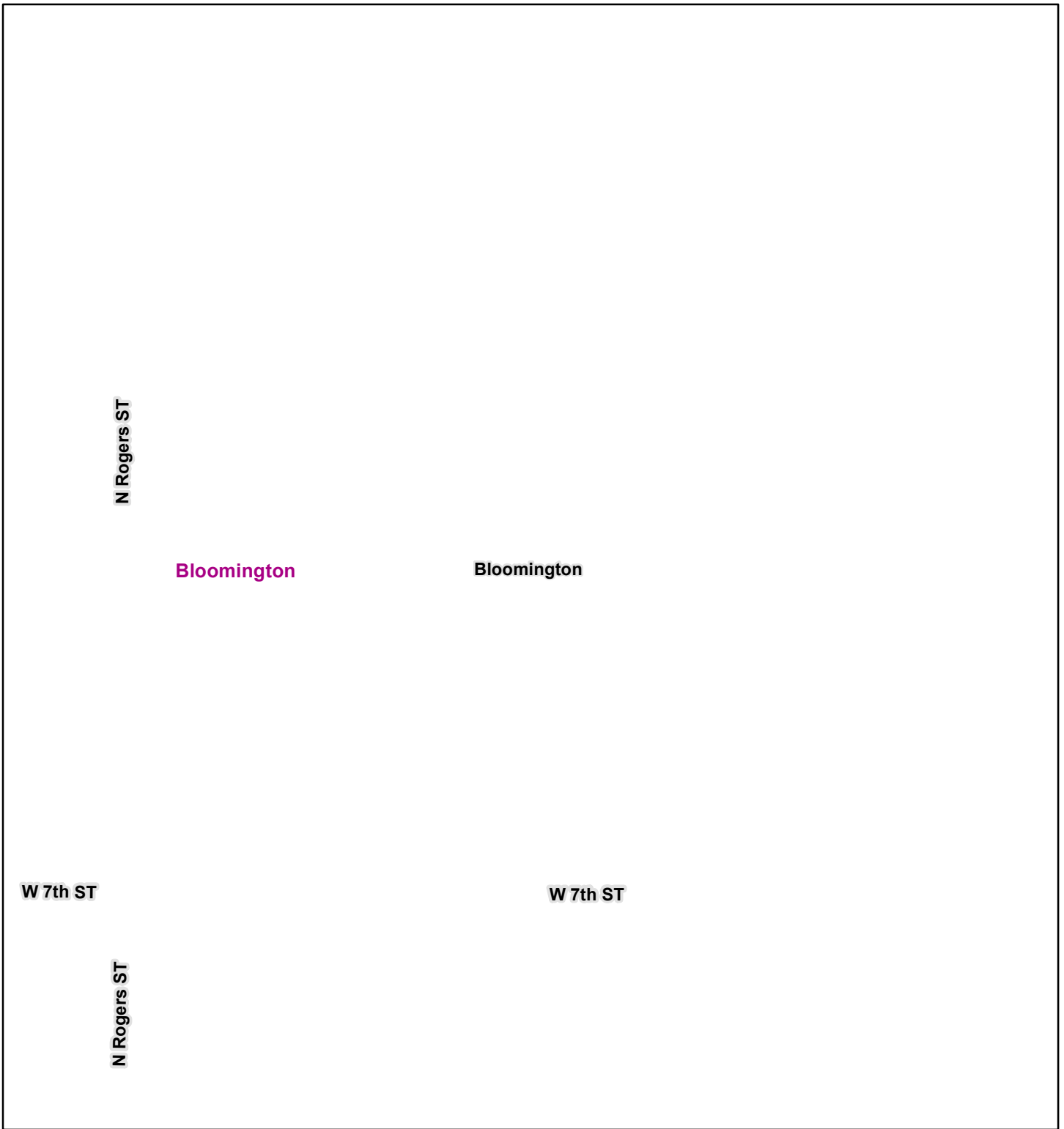
<https://secure.in.gov/apps/dnr/shaard/print.html?printType=countySurvey> (Accessed June 21, 2022).

Halsell Gilliam, Frances V. 1985. "The Black Church." *A Time to Speak: A Brief History of the Afro-Americans of Bloomington, Indiana 1865- 1965*. Bloomington: Pinus Strobus Press.

Henning Byfield, E. Anne. (Undated). "Historical Statement." Bloomington: Bethel African Methodist Episcopal Church.

Krause, Carrol. "Old Parsonage is Renewed." 2014. *Herald-Times*. November 22, 2014

302 and 308 N Rogers Street (Bethel AME Church and Parsonage)



N Rogers ST

Bloomington

Bloomington

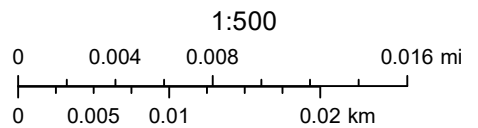
W 7th ST

W 7th ST

N Rogers ST



**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT



 **Boundary Line**

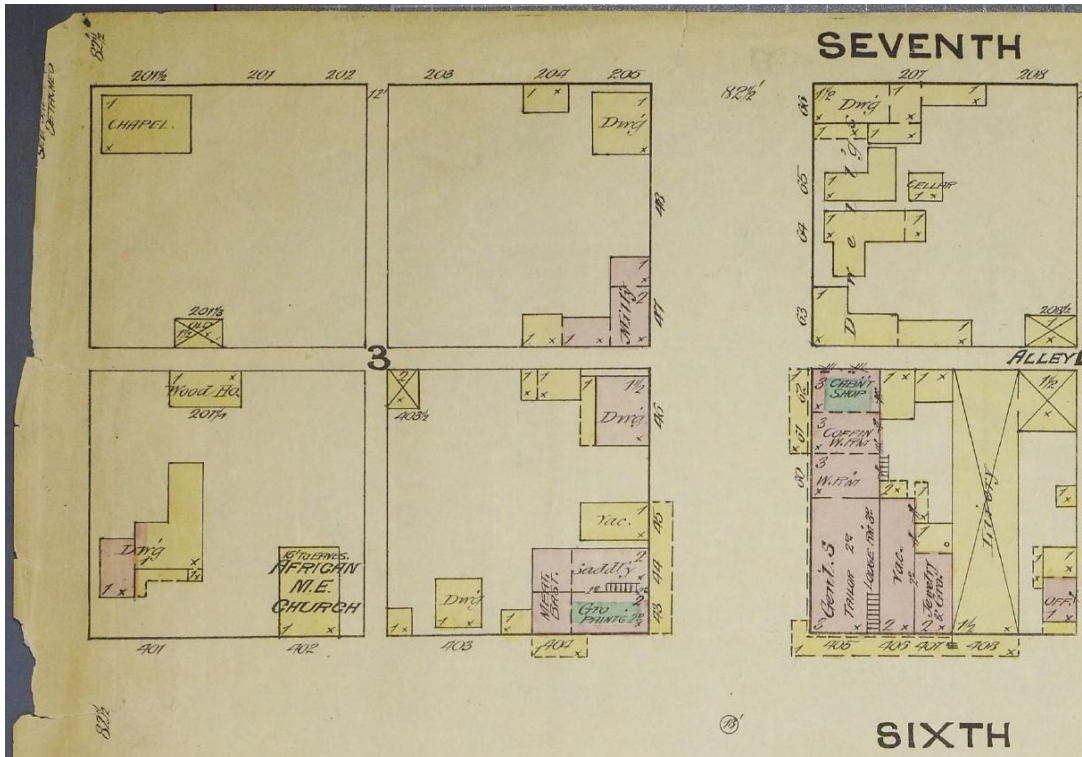


Image 1: Sanborn Map 1833 Original Location of Bethel A.M.E. on 6th Street



Image 2: The steeple of the original Bethel A.M.E. location is visible at the end of the row of buildings on the north side of the Square in this undated photo (Courtesy of the Monroe County History Center)



Figure 3: Bethel AME with congregation standing in front of the building, (1945?) (City of Bloomington)



Image 4: Mattie Jacobs Fuller, acclaimed singer and organ player and prominent member of the community helped raise money to buy the land where the current church is located with her musical performances, undated (Courtesy of the Monroe County History Center)



Image 5: "Mortgage Burning for Bethel AME, center left Rev & Mrs. Reddick, center right Rev & Mrs. Porter," Undated although most likely August 26, 1945 (Courtesy of the Monroe County History Center)



Image 6: Front of the church structure facing west, 2022 (photo by staff)



Image 7: Southern facade, showcasing six rows of windows, 2022 (photo by staff)



Image 8: Front of the church structure facing west, stone lintel with the name carved, 2022 (photo by staff)



Image 9: Original windows facing southward, 2022 (photo by staff)



Image 10: Back of the church facing eastward, 2022 (photo by staff)



Image 11: Northwest of the parsonage, bungalow, 2022 (photo by staff)



Image 12: West facade with the front entrance of the parsonage, bungalow, 2022 (photo by staff)

APPLICATION FORM
Historic Designation
Historic Preservation Commission of the City of Bloomington

Case Number: _____

Date Filed: 5/20/2022

Date of Commission Hearing: 6/9/2022

Request: Conservation or Historic District: Historic District

Address of proposed district or description of boundaries:

302 & 308 N. Rogers Street
Bloomington, IN 47404-3738

Petitioner's Name: Historic Committee - Elizabeth Mitchell *Gloria Cotton Brainerd*

Petitioner's Address: 302 & 308 N. Rogers Phone Number: 812-334-3216

Owner's Name: Bethel African Methodist Episcopal Church

Owner's Address: 302 & 308 N. Roger St Phone Number: _____

Preparer's Name: Pastor Eddie D. Howard

Preparer's Address: 4738 Falcon Grove Dr. Phone Number: 1-317-748-5475
Indpls, IN 46254

Instructions to Petitioners

The petitioner must attend a preliminary meeting with the staff of the Bloomington Historic Preservation Commission in the Housing and Neighborhood Department during which the petitioner will be advised as to the appropriateness of the designation. Petitioner, at the time of filing, must present a list of property owners and adjacent property owners to the Commission. Notice, by first class mail must be postmarked 10 days before the public hearing at which the action is taken. Upon receiving a complete application, the Commission will appoint an Ad Hoc Historic District Committee. If the petitioner is other than the Historic Commission or the district larger than one structure and it's accessory buildings, then the Committee will appoint property owners within the proposed district and the Common Council member in that jurisdiction to a special committee which will coordinate required public meetings concerning the designation. The Ad Hoc Committee will determine if secondary and primary areas will be assigned to the district and will categorize each building on the basis of merit.

A vote will be taken at the next regular meeting of the Bloomington Historic Preservation Commission after appropriate educational meetings have taken place. ~~The Commission meets every other Thursday at 5:00 P.M. in the McCloskey Room of Showers City Hall on Morton Street.~~ The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting materials. If you feel uncertain of the merits of designation, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action by the Commission must occur within ninety days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys, as requested.

1. A legal description of the proposed district.
2. Provide photographs of the structure(s) proposed for designation. If the district contains several structures, provide a representative sampling.
3. Provide a zoning map and a geographic information system map showing the proposed boundaries of the district. This material may be obtained from staff. *Gloria & Liz has this*
4. Provide copies of any listing on a state or national registry or historic survey information pertinent to the property(s). *We don't have yet*
5. If the designation is proposed on grounds other than architectural significance, supply evidence of the historic linkages described. Such evidence as deed transfers, Sanborn maps, City Directories and Atlases, written histories, when available, or oral histories may be used.

N/A

An historic district must be ruled to meet one of two following criteria by the Historic Preservation Commission:

Historic:

- a) Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, nation; or is associated with a person who played a significant role in local, state, or national history; or
- b) Is the sight of an historic event; or
- c) Exemplifies the cultural, political, economical, social, or historical heritage of the community. *All Apply*

Architecturally worthy:

- a) Embodies distinguishing characteristics of an architectural or engineering type; or
- b) Is the work of a designer whose individual work has significantly influenced the development of the community; or
- c) Is the work of a designer of such prominence that such work gains its value from the designer's reputation; or
- d) Contains elements of design. Detail, materials, or craftsmanship which represents a significant innovation; or
- e) Contains any architectural style, detail or element in danger of being lost; or

All Apply

- f) Owing to its unique location or physical characteristics, represents an established and familiar visual feature of a neighborhood of the city; or
 - g) Exemplifies the built environment in an era of history characterized by a distinctive architectural style.
- All Apply

Please describe under which category(s) the proposed district qualifies to be locally designated.

All Apply
 Bethel African Methodist Episcopal (AME) Church
 Embodies distinguishing characteristics of an architectural design

It is significantly influenced by the community
 Is made of limestone and contains elements of design, detail, materials and craftsmanship that represents an innovative style.

The church is also uniquely located and is established as a familiar and enticing visual feature to the neighborhood and city.

Finally, it has all the exemplifications of history characterized by a distinctive architectural style.

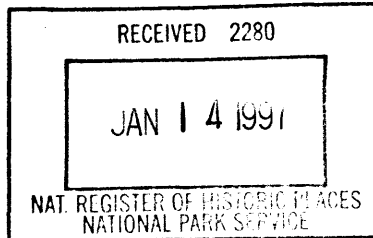
The Church Parsonage located next door @ 308 N. Rogers Street has been renewed in 2015. It's 1320 square ft. is available with living conditions for elected pastors/family to reside in

Owner Signature: Debi D. Howard D. Date: _____

Petitioner Signature: _____ Date: _____

Preparer Signature: _____ Date: _____

**United States Department of the Interior
National Park Service**



**National Register of Historic Places
Registration Form**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Bloomington West Side Historic District
other names/site number _____

2. Location

street & number See continuation sheets N/A not for publication
city or town Bloomington N/A vicinity
state Indiana code IN county Monroe code 105 zip code 47404

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Pat R. Ralch

12-19-98

Signature of certifying official/Title

Date

Indiana Department of Natural Resources

State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title

Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

- entered in the National Register. See continuation sheet.
- determined eligible for the National Register See continuation sheet.
- determined not eligible for the National Register
- removed from the National Register
- other, (explain:)

Edson H. Beall
Signature of the Keeper

Date of Action
2/14/99

Name of Property

County and State

5. Classification

Ownership of Property

(Check as many boxes as apply)

- private, public-local, public-State, public-Federal

Category of Property

(Check only one box)

- building, district, site, structure, object

Number of Resources within Property

(Do not include previously listed resources in the count)

Table with columns: Contributing, Noncontributing, buildings, sites, structures, objects, Total. Values: 394, 151, 2, 2, 398, 151.

Name of related multiple property listing

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

4

6. Function or Use

Historic Functions

(Enter categories from instructions)

Current Functions

(Enter categories from instructions)

DOMESTIC: Single Dwelling
INDUSTRY: Manufacturing Facility
COMMERCE/TRADE: Specialty Store
RELIGION: Religious Facility
TRANSPORTATION: Rail-Related
EDUCATION: School
FUNERARY: Cemetery

DOMESTIC: Single Dwelling
COMMERCE/TRADE: Specialty Store
RELIGION: Religious Facility
EDUCATION: School
FUNERARY: Cemetery
GOVERNMENT: City Hall
RECREATION/CULTURE: Sports Facility

7. Description

Architectural Classification

(Enter categories from instructions)

LATE VICTORIAN: Queen Anne
19th & 20th c. AMER.: Bungalow/Craftsman
OTHER: gabled ell

Materials

(Enter categories from instructions)

foundation: STONE: Limestone
walls: WOOD: Weatherboard, METAL: Aluminum
roof: ASPHALT
other: CONCRETE, BRICK

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance

(Enter categories from instructions)

- ARCHITECTURE _____
- INDUSTRY _____
- COMMERCE _____
- ETHNIC HERITAGE: _____ Black _____
- TRANSPORTATION _____

Period of Significance

c.1850-1946 _____

Significant Dates

Significant Person

(Complete if Criterion B is marked above)

Cultural Affiliation

Architect/Builder

Nichols, John _____

Plato, Samuel _____

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographic References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:

Indiana Historic Sites and Structures Inventory _____

10. Geographical Data

Acreage of Property 180

UTM References

(Place additional UTM references on a continuation sheet.)

1	16	540250	4435930	3	16	538840	4434950
	Zone	Easting	Northing		Zone	Easting	Northing
2	16	540250	4434890	4	16	538900	4435880

See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title Cynthia Brubaker and Nancy Hiestand

organization Preservation Development date 02/09/96

street & number 400 West 7th, Suite 110 telephone 812-336-2065

city or town Bloomington state Indiana zip code 47404

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

- A **USGS map** (7.5 or 15 minute series) indicating the property's location.
- A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white** photographs of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name _____

street & number _____ telephone _____

city or town _____ state _____ zip code _____

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 5 Page 1

List of contributing properties in the West Side Historic District by address:

	Contributing	Noncontributing
West Fourth Street		
Odd:	417 through 511	
Even:	410-420	502-506
Kirkwood (West Fifth Street)		
Odd:	403	411-503
	515-936	
Even:	314-406	410-412
	504	506
	514-608	620
	702-834	906
	914-924	926
	930-934	1004
	1008-1026	1024
	1030	1100-1112
	1114-1124	1200
	1208-1218	1222-1226
West Sixth Street		
Odd:	223	401-405
	417-823	827
	831	837
	903-1201	1203
	1211-1221	1225
Even:	300-706	712
	718-822	826
	830-1016	1020
	1026-1224	
West Seventh Street		
Odd:	311	301
	513-1125	405
	1201-1223	1127
Even:	214-904	910
	914-1026	1200-1230
West Eighth Street		
Odd:	509- 807	811
	817-825	901
	915-1001	007

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 5 Page 2

	Contributing	Noncontributing
West Eighth Street (odd) continued:		
	1101-1109	113-1119
	1131-1201	1205
Even:	520-614	620-624
	702-812	824
	900	914-1114
	1120	1208
	1210	
West Ninth Street		
Odd:	609-909	915-1003
	1009-1017	1021
West Tenth Street		
Even:	708-712	
West Eleventh Street		
Odd:		709
North College Avenue		
Odd:	415	
North Morton Street		
Odd:	303-601 and four contributing buildings to the north	223
Even:	304-424	
South Madison Street		
Even:	116	
North Madison Street		
Odd:	211	217
	210	216
South Rogers Street		
Odd:	213-105	
Even:	212-204	118
	108	

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 5 Page 3

	Contributing	Noncontributing
North Rogers Street:		
Odd:	207-405	111-115
North Rogers Street:		
Even:	106-214 302-314	501-503 220 318-502
North Jackson Street		
Odd:	419-421	117
Even:	118	116
North Fairview Street		
Odd:	117-605	
Even:		524
South Maple Street		
Odd:	111-105	
North Maple Street		
Odd:	109-321	
Even:	110-418	
South Waldron Street	102-100	
North Waldron Street		
Odd:	215	
Even:	112	
North Elm Street		
Odd:	111	217
Even:	206-210	
North Pine Street		
Odd:	215-217	
North Adams		
Even:	224-408	

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 4

I. Summary Paragraph

The Near West Side Historic District is a large, multifaceted district located on the near west side of downtown Bloomington, Indiana. The general character of the district is divided between residential and industrial/commercial resources with dozens of single family dwellings and many former industrial buildings. There are also two school buildings, several churches, a cemetery, and a former railroad depot. The east side of the district is low and flat, is bisected by railroad tracks and is separated from the Courthouse Square Historic District by downtown parking lots. This area is also characterized by the former industrial resources that are larger, less densely sited buildings. From the east side of the district the topography rises to the north, west and south. Open land and a railroad track bound the district to the north. Residential areas including the Prospect Hill Historic District bound the district to the west and south. The west side of the district is characterized by many residential resources that are smaller and more densely sited than the industrial buildings.

There are 394 contributing buildings, 151 noncontributing buildings, 2 contributing structures including an overhead tramway and a W.P.A. built limestone drainage channel, 2 contributing objects,(a limestone marker and a WPA constructed wading pool) 2 contributing sites, (White Oak Cemetery and Ninth Street Park) and an undetermined number of retaining walls built during the period of significance in the Near West Side Historic District. Limestone retaining walls, brick sidewalks and the mature trees which line the streets add much to the West Side's sense of place. In addition, four buildings, the Elias Abel House, the James Cochran House, the Second Baptist Church and the Illinois Central Depot were previously listed in the National Register.

II. General Topography

The West Side Historic District encompasses most of the Southeast Quarter of Section 32. Its north and east boundaries are roughly framed by the CSX and Indiana Railroad right-of-ways respectively. The land lies northwest of the town square and includes industrial, commercial, residential and institutional uses. The land slopes to the southeast in the general direction of the central square of the city. It can be verified that at least as early as the 1850's, the lowest areas of the Near West Side Historic District were developed for industrial uses. At that time a mill on 6th and Railroad Streets, now Morton Street, was established. The highest points in the West Side Historic District are occupied by two cemeteries, Rose Hill and White Oak, formerly the United Presbyterian Cemetery. Rose Hill, lies just south of the boundary of the district. The visual nature of the residential areas in the Near West Side Historic District is enhanced by a mature tree cover, although the small size of the lots and front yards prevents the dominance of trees in the landscape.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 5

The City of Bloomington was developed in a wide geographic valley running north and south through town, which geologists call the Mitchell Plain. Because of this feature, the Louisville, New Albany and Salem railroad was completed first in 1853, while the east-west linkage was not finished until 1905, [Warren Roberts, essay Tour of Monroe County, p.3] Construction of the Indianapolis Southern line included the notable Tulip Trestle, near Solsberry in Greene County, to accommodate the dramatic grade fluctuation of the Mitchell Plain. This steel structure is credited with being the third largest railroad trestle in the United States, reaching 2000' in length and 180' in height at its apex.

An open area which historically has defined the north boundary of the district and is now used as a park, passed through private ownership before its acquisition by the Illinois Central Railroad. In 1972, the area was formally dedicated as a city park, although it was informally used as recreational space by the neighborhood for many years. The park (photo 1) now contains a softball field, basketball and tennis courts, a playground area and a small W.P.A. wading pool. Trees border the northwest perimeter, buffering the park from the railroad tracks. A single noncontributing storage structure remains, which is still in use by the Indiana Railroad.

III. General Characteristics

Styles:

The diversity of buildings in the Near West Side Historic District, including residential, commercial and industrial uses, reflect particular styles associated with their periods of construction, technological changes, and the influence of popular taste. During the period of significance, from 1850 to 1946, residential construction exhibits Italianate, Greek Revival, Queen Anne, Federal and Arts and Crafts influences. More characteristic of the neighborhood generally is the vernacular nature of construction. High style examples of residential property, such as the Cochran House and Batman House are few and representative of earlier development. The more prevalent vernacular forms which characterize the district include the I-House, Gabled-ell, Pyramidal Roof, and Bungalow, (photo 2) which were widely available through catalogues and pattern books. Residential construction spans the entire period of significance from 1850 to 1946. In general the larger more ornate properties of the nineteenth century give way to simpler forms with spare decoration as the neighborhood evolves into a community of working class people.

Examples of contributing industrial buildings in the Near West Side Historic District reflect an era of expansion into national markets for Bloomington industry. The time of construction encompasses roughly the years 1910 through 1930. Use of steel sash ventilator windows or clerestory windows is characteristic. Brick masonry, stepped front parapets, steel sash and barrel

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 6

vaulted roofs with open bowstring truss supports are characteristics of the industrial architectural style shared by these buildings. Structures associated with historic industrial uses in Bloomington that were identified in the Indiana Historic Sites and Structures Inventory: City of Bloomington, Interim Report include: the Coca-Cola Bottling Company Building (ca. 1930; 153-055-80113; rated "notable") at 318 South Washington Street; the Bloomington Wholesale Foods Warehouse (1920; 153-055-80068; rated "contributing," in the district, photo 3) at 300 West 7th Street; the Cantol Wax Company Building (ca. 1905; 153-055-80043; rated "contributing;" listed on the National Register, April 24, 1990) at 211 North Washington Street; and the Showers Brothers Furniture Company Building [sic] (1909 - 1924; 153-055-80064; rated "outstanding," in district). The Johnson's Creamery is also in the district at 400 West 7th Street (photo 7 right). Built between 1913 and 1953 and recently rehabilitated, it now has sufficient integrity that it too would be considered among the above list.

Several contributing commercial structures in the Near West Side Historic District are linked with auto-related uses. The near downtown area redeveloped quickly in the 1920's, affected by the impact of automotive related markets on local economies. New buildings were constructed to meet the specific spatial and marketing requirements of a new industry. Building replacement was catalyzed by the need for showroom space, garages and accessory businesses such as battery, tire and radiator shops. Many of Bloomington's auto-related businesses were built on the west side of the downtown between 11th, College, 3rd and Rogers Streets--the east side of the Near West Side Historic District. Architecturally, two examples of this style: the Frosted Foods (photo 4 right) and Fell (photo 4 left) buildings are similar. Their rear elevations feature utilitarian red brick. Steel sash ventilator windows permit light and air circulation. The main facades are constructed with stepped parapets and fancier masonry--limestone for Frosted Foods and buff-colored tapestry brick for Fell, which reinforce the pedestrian orientation of the buildings.

The Bloomington Garage building at 316 West Sixth Street (photo 5) and the Curry Buick building at 214 West Seventh Street are other examples of this use within the boundaries described above. These structures are brick masonry with stepped parapets on their main facades, barrel vaulted roofs, and the former also has an open bowstring truss roof system on the interior. These stylistic elements are characteristic of the automobile-related business structures in the Near West Side Historic District. Built during the beginning of the automobile's great popularity in the 1920's and 1930's in Bloomington, these structures reflect a style that was practical, industrial and functional for the display and repair of heavy machinery--the automobile. But they also presented a more stylish front facade to the public with a higher grade of masonry and architectural detail. The structures mixed commercial and new uses which could be considered semi-industrial in nature.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 7

Materials:

The ground which underlies the city is composed of Salem limestone bedrock, part of a broad outcrop belt which extends from Parke and Fountain counties through Montgomery, Putnam, Owen, Monroe, Lawrence, Washington, Floyd and Harrison Counties. Limestone is quarried for commercial use primarily in Monroe and Lawrence Counties. The coming of the New Albany and Salem Railroad encouraged stone distribution beyond the local area for the first time. Where once mills had supplied smaller items like sills, chimneys, foundations and monuments, technological, architectural style, and transportation changes served to dramatically expand the stone market. By 1890 there were over 50 operating quarries within the stone district. At least one limestone saw mill, Central Oolitic Stone, was constructed within the West Side District, at the intersection of Ninth and Rogers, adjacent to the rail line. From 1892 until the late 1930's the property was in use as a mill: roughly following the heyday and subsequent decline of the limestone industry. It was purchased in 1947 by Fell Iron Works, a scrap yard, which remains in business today. Parts of several structures may still stand from its years as a stone mill: a limestone administration building, built c.1927 and expanded several times, and an overhead tram system.

Residential, commercial and industrial buildings show a pattern of the use of specific building materials. As a result of the availability of fine limestone and master stone cutters, community buildings on the west side constructed after 1890 were commonly made of limestone. Church and school construction reflect both the availability and local interest in the use of stone. It has been noted that segregated black school buildings were always shabbily constructed, but in Bloomington, where limestone companies donated materials for this purpose, the buildings of the black community were substantial and well designed [Wilbert Miller audio interview 5/21/93] The variety of limestone walls and embankments on the West Side also enforce the local enthusiasm and expertise in the medium.

Despite the ready availability, existing limestone civic structures within the Near West Side Historic District, are smaller and less ornate than examples of churches and schools located elsewhere in Bloomington and constructed during the same time period. Comparing the examples of the Banneker School, at 930 West Seventh (photo 6) and Bethel African Methodist Episcopal Church, at 302 North Rogers (photo 7), one finds smaller footprints and less embellishment. This is consistent with the working class environment, but it may be noted that the use of limestone as a material in such an environment can be traced to its prominence in the south central Indiana economy of the time. Unique significance remains in that three contributing limestone institutional structures are linked to the black ethnic community. Notably, two of the

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 8

most architecturally significant limestone structures in the district, the 1893 Romanesque Fairview Public School Building and the 1914 Fairview Methodist Church were demolished, the former by replacement, the latter by fire. Both institutions chose to stay within the Near West Side Historic District, but the new construction did not match the previous sites in scale or grandeur. By the decade of the twenties, during which the new buildings were built, the neighborhood had acquired its identity as a working class community.

Limestone, as a primary building material was not used in house construction after 1900, although foundations, porches and embankments continue to be composed of limestone block. Brick construction is also rare, and can usually be observed on lots developed before the twentieth century. Examples of this earlier brick construction are located at 621 West Sixth c. 1895 (photo 8 right) to , 615 West Sixth (photo 8 left), c. 1895, and 417 West Sixth, c. 1863 (photo 9 second from right). Wood frame is the preferred material for the more modest dwellings which were built in the twentieth century.

Use of locally available limestone did not extend to industrial or most commercial structures within the Near West Side Historic District. Industrial buildings which are preserved on the west side date from the early twentieth century to 1940 and are predominantly brick, with infrequent use of limestone detailing. This contrasts with the adjacent Courthouse Square Historic District, where civic buildings, auto showrooms, etc., are either limestone construction or have limestone veneer facades. As an example, the brick building used by the Showers Brothers Company as its executive offices at 601 North Morton (photo 10) is constructed of brick with pilaster detailing. The parapet wall features limestone coping, the pilasters have limestone bases and capitals. Also characteristic of these buildings is the use of steel sash ventilator windows or saw toothed roofs with clerestories. Both are design responses to the problem of lighting and ventilating large interior spaces.

IV. Commercial

Auto-Related:

With the inception of the new automobile industry, as early as 1916, commercial construction in the near downtown began to rapidly evolve, often there was serial replacement of the businesses rapidly becoming obsolete, for instance, liveries, for automotive service businesses. Several frame liveries were replaced with brick structures associated with automobile use. For example, the John Dressel Livery previously occupied the site obtained by Wm. Curry for his showroom. Bloomington Garage (316 W. Sixth) was used primarily as a car repair and servicing business and, for a short time, functioned as a Chrysler Plymouth dealership. The one story brick

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 9

commercial building was constructed on a site previously occupied by a livery. Many smaller buildings were constructed at that time for accessory automobile services. Then gradually, the original sites of dealerships moved to outlying commercial malls where vast parking areas were available. Wm. Curry remained in town at its Sixth Street location until 1971. Since that time several former automobile dealerships in the West Side Historic District have been adapted to other uses. The Curry Building at 214 West Seventh is now professional office space. The Bloomington Garage Building, 316 West Sixth, has been converted to restaurant and espresso bar use. Bloomington Frosted Foods, which carries the name it assumed in the 1940's, was built for a sheet metal and auto repair business in 1927, and is currently being rehabilitated as a predominately retail and service oriented mixed-use building.

Description: Bloomington Frosted Foods 211 South Rogers (photo 4)

This two-story, barrel vaulted-roofed, brick and concrete block industrial building, rectangular in shape, fills most of Bloomington In Lot 63. The front brick section was first constructed between 1927 and 1932 for a sheet metal and auto repair shop. Additions to the original building include: a center section added before 1946; a concrete block rear section added by 1947; and a concrete block office addition with a limestone facade added at the northwest corner in the late 1950's and removed in 1995.

The roof is composed of a metal bowstring truss system that supports wood roof rafters, wood roof decking and asphalt roofing compound on the outside, which was replaced with an insulated rubber roof in 1995. In 1946, corrugated metal sheets covered the roof. The roof line is virtually continuous along the length of the building with a break at the rear addition, where the roof level is raised about one foot.

Steel columns support the roof and brick and concrete block side walls. The front elevation has a limestone veneer facade with a stepped parapet. The northwest office addition had concrete block walls and a limestone veneer facade facing Rogers Street.

Original large window openings in the main or west facade were plate glass, until they were downsized to small single pane windows in the 1975 renovation. Windows on the south elevation of the front original section of the building form a continuous band of original multi-pane steel ventilator sash. Original window openings on the north elevation of the front original section are infilled with structural clay tile units. Windows on the south elevation of the center section are randomly placed steel ventilator sash. Many of the original steel sash windows on the north, east and south elevations of the additions were infilled with concrete block and/or reglazed with glass

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 10

block in the 1975 renovation. In a 1995 certified rehabilitation, all the infilled windows were reopened and matching steel sash was installed.

Bloomington Frosted Foods is the most recent example of the trend toward reuse of existing auto-related commercial structures. It is the first rehabilitation conceived as a mixed use project in Bloomington.

Other contributing auto-related structures:

- 415-417 North College
 - S.T. Semicon Building
 - College Avenue Motor and Sales Co. 1929
 - Hanson Motor Co., Inc. 1940
 - vacant 1996
- 223 West Sixth
 - plumbing auto repair 1907
 - drugs, pool, barber 1913
 - Janko's Little Zagrebe restaurant 1996
- 108 North Rogers
 - implements store 1927
 - Car Quest auto parts store 1996
- 201 South Rogers (photo 4 left)
 - J. Fell Bldg. Auburn dealership 1930
 - 1947 paper and rag wholesaler, gas tank storage
 - beauty supply and storage 1996
- 116 South Madison
 - Dewey Harden auto repair 1945
 - Owen Electric Co. 1996
- 210 N. Madison
 - auto repair 1947
 - Johnson's Supply 1995
 - reptile store and The Rubber Stamp Shoppe 1996
- 505-507 West Fourth (photo 11 middle)
 - garage 1947
 - Monroe County Sheriff's Garage 1996
- 509-11 West Fourth (photo 11 right)
 - City Garage 1934-1996

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 11

As an example of the adaptability of commercial architecture, an early brick Sinclair service station with a porte cochere located at 201 S. Rogers was absorbed into the plan for a larger Auburn dealership. This dealership, located at Fourth and Rogers, opened and closed abruptly in 1930 at the onset of the Great Depression. During its brief period of activity, the dealership housed Auburn and Deussenburg vehicles in the showroom. The building is now used for sale of auto parts, beauty supplies and storage of baled newsprint. Another example, an automotive battery service shop located at 308 West Sixth Street, currently houses a French restaurant but has been sided with half timbering and weatherboard, rendering it noncontributing.

Neighborhood Retail:

There were several small groceries and drygoods stores extant in the Near West Side Historic District which made the neighborhood relatively self-sufficient. Hays Market, located at 300 West Sixth, (photo 12 right) has been in business since the 1940's and is one of the few remaining independent grocers in town. Small package stores were operated from 826 West Sixth and 1010 West Seventh in the first decade of the century, but the structures associated with them are now demolished. (Blakely R.F.) The structure at 421 West Sixth (photo 9 right) has housed a neighborhood serving grocery since 1898. A conglomeration of structures and attachments, the building collected a barber, grocer and sewing machine repair under one roof. It remains with seriously diminished integrity. Early structural elements are visible on the Rogers Street facade and in the cantilevered corner entrance on Sixth Street. Another neighborhood grocery store was constructed at 914 West Kirkwood (photo 13) in 1927. At the time it was known as Herrin's and occupied a narrow frame storefront with a parapet roof and large divided window. Brackets support a small wooden awning on the front facade. Use of this structure has frequently changed through the years and now it is a storage facility for a nearby appliance dealer. The original grocery was built next to a beauty parlor owned by beautician, Mattie Jacobs Fuller on a commercial corner which served the neighborhood. This early black business began in 1909.

Other contributing neighborhood retail structures:

725-727 West Kirkwood
store (727) 1927
service station (725) 1931
Van Hook Food 1940
used furniture 1996
804 West Kirkwood
Clines grocery 1916
Ann's Flower Patch 1996

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 7 Page 12

-
- 914 West Kirkwood
store 1927
storage 1996
- 105 South Rogers
H.J. Brannock Hand Made Shoes and Shoe Repair
municipal fire station replaces 1996
- 204 South Rogers (photo 11 left)
Roy Burns Grocer 1934
vacant 1996
- 304-310 North Morton
Fiscus Furniture Sales 1947
office 1996
- 421 West Sixth (photo 9 right)
store 1898
grocery bike repair 1913
Tarkington W.D. Grocer 1916
Stogsdill and Livingston Grocer 1925
Wesner Grocery 1940
Max Fulk Wholesale 1996

V. Institutional

Two school buildings are located in the Near West Side Historic District, the Banneker School and Fairview Public School. Fairview remains in use by the Monroe County Community School Corporation, as an elementary school. The Banneker School, historically served the purpose of educating black elementary level students as a part of a segregated educational system later dissolved after the ruling on Brown vs. the Board of Education in 1953. The building was transferred to the ownership of the City of Bloomington Parks Department and houses a recreational center for the west side. Since its erection in 1915, it has served to focus Bloomington's black community.

Description: Banneker School 932 West Seventh (photo 6)

Constructed in 1915, this two story limestone structure is built on an elevated foundation and is rectangular in plan. The front facade is recessed from a two story parapet entrance. The two above grade floors are framed by dressed limestone walls. The foundation is rockfaced stone. A wide dressed belt course divides the foundation from the upper floors. Below the cornice, a drip course circles the primary building. The building facade is simply ornamented with symmetrical

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 13

recessed panels that have corner tooth ornaments of relief stone. Stone retaining walls which surround the lot and a gymnasium addition were constructed as part of a W.P.A. project in the 1930's.

Fairview Public School (627 West Eighth) also has a long community history. Originally the eastern section of the Near West Side Historic District was named Fairview because of its elevated view of the rest of the city. "Fairview Street Public School" as it is named on a 1898 Sanborn, has occupied the site at the corner of Seventh and Fairview since 1892. The original Fairview School was a monumental, castle-like, Romanesque structure with twin towers and a rock-faced limestone arched portico. Perhaps its most memorable aspect was the quotation inscribed above the entrance: "What sculpture is to a piece of marble, education is to the human soul." The entrance faced Seventh Street until the building's demolition in 1954. A brick two story, six room annex was built in 1928 adjacent on the north side of the original school and it remains standing today. Although inappropriate window replacement has severely influenced the architectural integrity of the building, the W.P.A. steps to the original school building are preserved. They now serve to link the playground entrance to Seventh Street. A new school building (photo 14) was added onto the 1928 annex building in 1953 on a site with Eighth Street frontage. With the exception of the site of the Second Baptist Church and its parsonage, the school grounds now encompass the entire block between Rogers and Fairview, Seventh and Eighth Streets. As late as 1947, several houses remained standing on the east end of the block. These have all been demolished and an expanded open play area encircled with a chain link fence established.

White Oak Cemetery (photo 15) is located south of the Indiana Railroad right-of-way at the far west side of the Near West Side Historic District. As late as 1988, this cemetery was called by its historic name: the United Presbyterian Cemetery. On this site, a log church of the same denomination once stood, dating from a time when this area was considered rural. The cemetery is sufficiently old to have appeared on an atlas in 1876 and on plat maps prior to this. Many graves predate the 1876 documentation and are a veritable census of past Bloomington area leaders: Fee, Wylie, Bryan, Gourley, Woodburn and Henderson. A single ancient oak and two plain stone posts mark the entrance of the cemetery. At the north end of a circular drive, there is a memorial to Indiana Pioneers which lists those graves and small cemeteries thought to have been lost during the expansion of Bloomington Township. The four foot tripartite monument of gray granite was dedicated by the Bloomington Township Trustees in 1989. Although several prominent settlers' families have plots in White Oak, there has been substantial damage to the older part of the cemetery, many stones are broken or moved.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 14

VI. Religious

Two churches associated with the black ethnic community established their presence on the west side prior to the location of the Banneker School. For many decades, Bethel African Methodist Episcopal church occupied a building originally built for the "New School" Presbyterians at 214 West Sixth. The site is now occupied by a parking lot. Bethel A.M.E. Church, led by John Rochester, was organized in 1870. In 1921, after almost 50 years on Sixth Street, it moved to a limestone structure designed by local architect, John Nichols, at the corner of Rogers and Seventh. Second Baptist Church was organized in 1872 and constructed its first church, a small frame building at the corner of Eighth and Rogers, adjacent to the Seward factory in 1890. In 1913, Samuel Plato, a black architect from Louisville, was commissioned to design plans for the new church. The resulting structure was the first stone church built for a black congregation in Indiana. The structure is listed on the National Register of Historic Places (9-14-95).

Description: John Nichols' Bethel African Methodist Episcopal Church 302 North Rogers (photo 7)

John Nichols, Bloomington's first local architect, designed the Bethel African Methodist Episcopal Church at 301 North Rogers. Completed in 1922, this was the first church built expressly for the Bethel congregation. The building reflects the Arts and Crafts style and shows Moorish influence in its triangular arched stained glass windows on the second floor and battered walls. This massive, plain rectangular structure is composed of coursed limestone further defined by pilasters which reach the lintels of the windows. Its central hipped roof is finished with a plain boxed cornice. An entrance portal with two double doors is overhung with a large pointed arched window. The building's exterior austerity belies the dramatic interior space created in the sanctuary.

College Avenue Methodist Episcopal Church (photo 16) also follows the tradition of rebuilding within the community. First located at Third and College, it relocated to Eighth and Fairview in 1895 and was next to what was then called the "Fairview Street Public School." In 1914 the congregation built a substantial limestone church which replaced the original frame building. When a fire destroyed this structure in 1921, the church relocated to 606 West Sixth. Now known as Fairview Methodist Church, it occupies a Gothic Revival style brick structure trimmed in limestone.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 15

VII. Industrial

A few sites on the west side, originally established for industrial uses, have remained industrial to the present day. As early as 1876, the Turner and Tomlinson Sawmill and Stave Factory was located on the west side of what was then called the Louisville, New Albany and Chicago Railroad, north of Ninth Street. In 1892 this site was occupied by the Central Oolitic Stone Mill which remained in business until it was sold to the Fell Iron and Metal Works, which is still operational today. Several structures from the stone milling era may remain on the site, one an overhead tramway and the other a limestone structure which once housed the administrative offices of the mill.

Located on the east side of the district, the Showers project is the centerpiece of the City of Bloomington's plan to revitalize the near west side downtown area. Since the inception of this project in 1989, it has provided the impetus for several other large scale west side commercial rehabilitations.

Description: Showers Brothers Furniture Factory 501 North Morton

The Showers Brothers Company Furniture Factory building is the largest remaining structure of a complex which once included two large factory buildings and more than a dozen smaller associated structures. It is the largest remaining historic industrial building in Bloomington, Indiana and is located two blocks north and one block west of the courthouse square. The nearly 200,000 square feet of the building that remains were constructed in two stages and built in a polygonal plan that conformed to railroad tracks running along the east and west sides of the building. The most unique feature of this two-story unpainted red brick factory building is its saw tooth roof with north-facing skylights. Much of the land around the building, which was once built up with industrial buildings, is now open land or surface parking lots.

The Showers building, first constructed in 1910 with major additions in 1923, was labeled Plant No. 1. The original complex filled most of the block bounded by 8th, Rogers, 11th and Morton Streets. A fire in 1966, destroyed Plant No. 2, the site of the Mill Room & Cabinet Shop, Dry Kilns and a Warehouse. The two-story Plant No. 2 was approximately 200 feet by 500 feet, with the same brick wall and wood post construction and saw tooth roof as Plant No. 1. Plant No. 2 stood to the west of, parallel to and north of Plant No. 1. Another fire in 1966 destroyed the north

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 16

end of Plant No. 1, which resulted in the loss of approximately 300 feet of the structure. The Nurre Co. factory, no longer extant, manufacturer of glass and mirror products supplied to the Showers Brothers Company, was located south of Plant No. 2 and west of Plant No. 1.

Other buildings in the Showers complex that remain include: the Planing Mill and Dry Kilns building, north of Plant No. 1; a small garage south of the Planing Mill; the former executive office building at the northwest corner of 10th and Morton Streets (identified in the Indiana Historic Sites and Structures Inventory: City of Bloomington, Interim Report, 105-055-80061, built 1916, rated "outstanding"); and the former show room and research laboratory at the southwest corner of 10th and Morton Streets. The Planing Mill is similar in appearance and construction to Plant No. 1 with the saw tooth roof design. All of the buildings are constructed of the same red brick.

Significant among this collection of industrial buildings in the Near West Side Historic District is the Johnson's Creamery Building which has been rehabilitated as professional office space. The Creamery is located on the west side of the railroad which serves the Showers Factory site. A notable landmark is the smoke stack with the "Johnson's" sign. At the Creamery, emphasis has been placed upon preservation of the industrial environment. A one hundred twenty foot smokestack and two massive compressors serve as reminders of the original use of the structure and as public art, linking the history of the west side to its changing economic utility.

Description: Johnson's Creamery Building 400 West 7th

Johnson's Creamery is a 35,000 square foot complex of added components that form a unique complex with a functional architectural style. Located to the southwest of the Showers complex, the original Johnson's Creamery building, built in late 1913 or 1914, was a two-story red brick building, rectangular in plan, at the southeast part of the current structure. The original building opens onto a loading dock at the southeast corner facing the railroad tracks and has a parapeted asphalt roof with a shallow slope towards the rear. The limestone capped parapet steps down as the roof slopes to the rear. Subsequent additions were added over the years up to 1951 that were all built of red brick masonry walls and parapeted, low-pitch asphalt roofs. No part of the Creamery was present on the August 1913 Sanborn insurance map. The 1927 Sanborn insurance map, a 1949 aerial photograph, former owners and employees and physical evidence provided guidance in dating the components.

In general, development trends on the west side follow a steady conversion of older industrial uses associated with the railroad: milling, tanning, basket making, through modern

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 17

manufacturing uses to contemporary commercial and service uses. Several prominent buildings have been recently converted to central business district uses: Bloomington Frosted Foods, Johnson Creamery, and Showers Brothers Furniture Factory. Recent successful adaptive uses include restaurants, offices, retail and personal service. One of the first rehabilitations in the area served to convert an early twentieth century warehouse into an antique mall.

Description: Bloomington Wholesale Food 311 West 7th (photo 3)

This three story brick industrial warehouse building, across the street from the Johnson's Creamery, was constructed in 1915. It faces Seventh Street and lies along the east side of the CSX lines. The building is trapezoidal to accommodate the encroachment of the railroad right-of-way on the corner of the building. The facade is seven bays wide and 8 deep. Both the north and south facing elevations have stepped parapets with limestone caps. Because of the disposition of the building, which narrows to the south, the north has three steps and the south has two. All elevations feature brick arched window openings on the second and third floors with radiating voussoir and three over three lights. The front entrance is offset and elevated from grade. Porch reconstruction on the front and west facades have shed roofs and wooden porches. Ghosts of an earlier porch removal and painted signage remain on the facade. The raised basement has recessed windows with arched lintels.

Other contributing industrial structures:

416-420 N. Morton (photo 17)

Record Hatchery 1929-35

Smallwood's Restaurant 1927-28

vacant 1996

601 North Morton (photo 10)

Showers Bro. Furniture Administration Building

Indiana University Press 1996

531 North Morton

Showers Bros. Furniture showroom 1927

Showers Bros. Cafeteria 1940

Showers Bros. furniture lab. and research facility 1947

Indiana University storage 1996

314 W. Kirkwood

feed store and hatchery 1947

Napa Auto Parts Store 1996

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 18

VIII. Residential

The platted subdivisions of the west side are characterized by relatively narrow city streets and a network of alleys running both east and west, and north and south. The main thoroughfare, Kirkwood, retains its residential character with an increasing number of businesses in converted houses. Structures associated with earlier commercial corners and local groceries are still evident, although most no longer house neighborhood serving businesses. In the larger neighborhood, residential development comes in two defined phases. Early houses built by large land owners such as James Cochran, 504 N. Rogers (6-20-79), Elias Able, 317 N. Fairview (2-19-82), and John East, 417 West Sixth (photo 9 second from right), belong to the era of the 1850's and '60's. These prominent citizens, an industrialist, a state legislator and a lawyer selected homes of the vernacular I-house style with a range of embellishments. As illustrated by the 1876 atlas, [Cunningham and Twitchell, Phila] at the time, only twelve houses were constructed on lots outside the original town plat. These were located on Sixth and Seventh Streets. Another significant circa 1875 example of the I-house form is the Hendrix house 726 West Sixth, (photo 18) which has been used as an apartment house since the early twentieth century.

Description: Cochran-Helton-Lindley House 504 North Rogers

The brick Cochran house is based upon an L-shaped plan. The simple gable roof is supported by Italianate paired brackets and features cornices with a plain return. The entrance portico is supported by limestone columns. Both the brick pattern and window treatments on the front facade contrast with those used on the sides. Flemish bond is featured on the front face of the building and window lights are four-over-four. By contrast, on the side, brick is laid in common bond and windows are six-over-six. The brick walls are eighteen inches thick. The foundation is constructed of rock faced limestone. Cochran's now restored, brick Federal style I-house, is the most elaborate of the three large homes associated with prominent pioneer families on the west side. Today it houses the corporate offices of CFC, Inc. after a difficult evolution from a rowdy boarding house called "Monon Flats" in the mid-twentieth century.

Another example of high style residential architecture, the Batman house, is distinctive in the Near West Side Historic District for its use of rock faced limestone in a residential structure.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 19

Description: Batman House 403 West Kirkwood (photo 19)

Perhaps the most significant example of the Queen Anne style on the west side is the highly eclectic Batman House, located in the 400 block of West Kirkwood. The house was constructed in 1895. It is one of two designs in the district by Bloomington's first local architect, John Nichols. Nichols also designed the Bethel A.M.E. Church at 302 N. Rogers Street. Ira Batman was a prominent attorney and First National Bank official in Bloomington. His massive Kirkwood residence features two rectangular towers with bracketed eaves and cross timbered gables. The house is asymmetric in plan with multiple gabled roofs. The walls are rock-faced limestone block. Although use of limestone in residential construction is characteristic of Bloomington generally during the 1890's through 1940, as reflected in the Vinegar Hill Historic Limestone District City of Bloomington Interim Report, Indiana Sites and Structures Inventory, the Batman residence is the sole example of its grand proportion in the West Side Historic District. Perhaps because of its size and prominence, the house, beginning with its vacancy in 1928, has been adapted to many uses over the years. It became a "labor temple" housing the offices of the local AFL/CIO affiliates in the decade of the 1940's. Since the late 1970's, it has been used as an antique store. The residence retains a great deal of exterior integrity and a surprising amount of interior detail.

Construction of only a few more two-story homes was realized within the district in the last decades of the nineteenth century. Some of these large homes were located on Kirkwood, east of Fairview. One of the few outstanding examples of this style is the Graves-Morrison House at 608 West Kirkwood. Other significant two-story examples of the Queen Anne style include 615 West Sixth Street and 514 West Kirkwood (photo 20). Even these frame examples contrast in their relative simplicity with the more elaborate residences found in other neighborhoods in Bloomington such as the North Washington Street Historic District, listed on the National Register 3-14-91.

A study of the evolution of the neighborhood provides evidence of why residential limestone construction is infrequently used: the scale of construction from 1845 until 1900 reflects a change in demographics. Although important land owners and civic leaders, such as the Batmans, Cochrans, and Abels initially settled the area, by 1900 new residential construction began to reflect smaller scale and less ambitious design of houses built for the working class. After 1900, new residents were likely to be employed as laborers in the nearby and growing industrial economy. During this later era, limestone was selectively used for chimneys, porches

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 20

and foundations not as the principal building material. The most common building form was a frame cottage with a Gabled-ell plan. These designs were frequently available by catalogue or pattern book. Smaller lots, platted at 50' x 132', also created more dense neighborhood pattern than the original settlement.

Bloomington's expanding economy and rise in population after the turn of the century, and an influx of black residents, produced a surge in residential construction in the West Side Historic District. The vernacular forms characteristic of this era often borrowed Queen Anne flourishes; spindling, fish scale shingling, scroll-work trim, but maintained simple Gabled-ell plans and Pyramidal Roof plans.

Description: Gabled-ell Plan 1119 West Sixth (photo 21)

The Monroe County survey describes the gabled-ell design as "ubiquitous" in the area. Rows of this style, widely available in patterns and catalogues, line the streets of the West Side (photo 21 and 2) An excellent example is the frame residence located at 1119 West Sixth. It is characteristically L-shaped in plan, with intersecting gables. An open porch, which fills the space between the two wings is covered by a shed roof. The roof is decorated with a flat board frieze and plain gable return. The gable end is faced with fish scale shingles and contains a diamond shaped attic vent with incised scroll design. Two doors with entablature and single pane transoms lead from the porch to either wing of the house as is typical of the Monroe County version of this plan. The double hung windows feature plain surrounds with drip caps. The windows on the front facade have pilasters beneath the lintels. Simple turned spindle work forms a frieze around the porch. The balustrade is composed of flat square members. The columns are slender and the porch roof is supported by decorative brackets. The front bay window area is defined by vertical boards. This example is in very good condition.

Another form characteristic of residential construction in the 1890's and early twentieth century is the Pyramidal Cottage. Situated in a row of these structures on Sixth Street, the form is an evolution of the Gabled-ell design which is commonly found interspersed among them.

Description: Pyramidal Cottage 802 W. West Eighth (photo 2 second from right)

The example is a square plan single story duplex with a large addition to the west.. The multiple gabled house has pedimented gables facing east and south.. On the west side there are two front doors, similar to a single family Gabled-ell plan. The east side of the duplex contains a single door. Windows are double hung with plain trim. The wrap around porch which is shared by both sides of the duplex features plain columns on circular pedestals and square balusters. The

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 21

condition of this structure is characteristic of residences in the neighborhood, modification is apparent but the general configuration remains discernible.

There are five examples of the Shotgun style house on the West Side, three are located at the far west boundary of the district on Adams Street, 400, 402 and 408 North Adams. This area is historically associated with several black families, whose settlement predates the migration of the black community from the east to west sides of Bloomington. However, the example which best reflects the form is located on Seventh.

Description: Shotgun House 904 West Seventh (photo 22)

This frame single story cottage faces Seventh Street, a unique example in its environment of Gabled-ell and Pyramidal Cottage forms.. The house is one room wide and steps down to a gabled addition to the rear. The gable end contains a single window and a door and a window located beneath a shed roofed porch. There are two windows on each side. Decking reveals that the porch roof is original, the brackets and supports are original however the balusters have been replaced with wrought iron balusters. The windows are double- hung with plain flat board trim and simple drip caps above. Wide board replacement siding is evident on the sides and front, original thin siding can be observed under the gable of the front facade.

There are several other residential forms represented in the district. The house at 523 West Seventh (photo 23) is an example of the Central Passage house. This early, circa 1880, modification of the I-House form is a single story with bay windows on either side of the central door. This particular variation has a cross gabled porch which runs the length of the facade. Decorative shingle work under the gable and elaborate turnings on the porch work show the Queen Anne influence on this early example. Bungalows are scattered throughout the district and comprise a later era of construction. An example of this form is located at 625 West Seventh (photo 24). The wide board frame house has a rock-faced limestone front porch. The facade is symmetrical with paired double hung windows on either side of the front door. The house is square in plan with hipped side gable and paired double-hung windows beneath .

Although historically the black community attended separate schools and churches, neighbors in the Near West Side Historic District were racially diverse. The area was and remains racially mixed. After the 1954 Supreme Court decision which reinstated the constitutionality of equal education, the segregated Banneker School was closed down but it remained the focus of the community when it was converted to a recreational center by the City of Bloomington Parks and Recreation Department. Since that time, integration of the center's activities has been effected.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 22

It is notable that this area of town remained family oriented and that Bloomington's vast student rental market, created by the proximity of Indiana University, did not encroach into the neighborhood. This consequently provided a buffer against demolition and detrimental modification which is often associated with the student market. Today the neighborhood is still diverse. Its family oriented environment is encouraged by growing interest in the neighborhood's self-contained nature and access to school and shopping. Individual residential structures are characterized by some modification, although the rhythm of facades retains the coherence of the neighborhood. Aluminum, vinyl or asphalt siding, porch enclosures and rear additions have modified the architectural integrity of the houses.

IX. Transportation

The first railroad lines laid through Bloomington, were located on Railroad Street just one block west of the city square in the Near West Side Historic District. The street was renamed Morton in 1892. Proximity to the rail lines influenced construction in a band adjacent to Downtown, which evolved into an industrial use area. Of all of the structures which served the rail lines in the Near West Side District, including at various times, passenger and freight stations, engine houses and turntables, only the Illinois Central Railroad Freight Depot remains standing.

Description: Illinois Central Freight Depot 301 N. Morton Street (6-23-83)

The Station is located on the corner of Morton and Seventh adjacent for many years to a mill site. This spare utilitarian clapboard building with vertical framing was constructed in 1906. The low pitch gabled roof with deep eaves was designed to provide shelter for the loading areas. Transom windows, located above the doors, maximize the natural light entering the building. As part of a 1922 remodeling, a second floor was added to the office area on the south side of the building. The old eaves were preserved, and a second roof was added which featured both gabled and hipped ends. A new masonry fire wall with a parapet was added at the gable end, defining the step down to a single story configuration. The depot was originally rectangular in shape. In 1959, 54' of freight space was demolished on north end of the building. The depot was removed from service in 1963 and converted to use as a bar. It then suffered vacancy until its listing on the National Register in 1983 and subsequent adaptation and restoration for office and retail use.

X. Objects

A readily observed characteristic of the residential streetscape in the Near West Side Historic District is the widespread use of limestone retaining walls, used to mitigate the grade change from sidewalk to yard. This repeating pattern, throughout the West Side, is thematic and brings

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 23

design cohesiveness to the district. Wall style varies from modern cut limestone to the more characteristic rockfaced block, an example of which is located at 722 West Eighth Street (photo 2). Rockfaced limestone is frequently used for foundations and porches throughout the neighborhood. Some of the more interesting examples include "found" slabs and rubble, located at 1125 West Seventh, undoubtedly available because of the proximity of mills and stone workers in the neighborhood. More recent embankments are also of limestone, as in an example located at 822 West Kirkwood. Three modern monolithic limestone slabs, which serve as monuments are located in the sideyard of the commercial property at 314 W. Kirkwood.

Other significant environmental elements include W.P.A. construction of retaining walls and steps at the Banneker Center and Fairview School. At several locations throughout the West Side, W.P.A. sidewalks remain, these show characteristic hexagonal tiles laid both with and without mortar. The most continuous use of W.P.A. walks is located on North Maple. Another feature of the south boundary of the district is a large dressed limestone drainage ditch runs along the rear of the lots facing the south side of Kirkwood between Maple and Waldron. The four foot wide culvert is approximately four feet deep. It turns north and disappears under the Kirkwood right-of-way.

Brick sidewalks, laid in a herring bone pattern remain scattered in the area. These also appear sporadically in conjunction with the W.P.A. tiles on North Maple. Though not included specifically in the resource count, these items add much to the district's historic feeling.

XI. Noncontributing Structures

Noncontributing structures in the Near West Side Historic District can be divided into three categories: The first is new infill housing which has become more prevalent in the past decade. The West Side Historic District represents one of the largest sources of affordable housing remaining in the city.

An example of infill housing is the duplex residence at 1020 West Sixth Street built in 1974. This one and a half story house is rectangular in plan. The gable end of the house is brick veneer and faces Sixth Street. The house is divided into two side by side dwellings with a central paired entrance. The entrance faces an alley. The entrance facade is faced with brick to the bottom of the window sills and board and batten style metal siding to the soffits. Both the west and north elevations are vinyl-sided. There are four bays of double-hung windows across the front facade, The front entrances are paired and accessed by a single brick porch with a wooden hand rail.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana
Section 7 Page 24

The second category of noncontributing buildings represents new commercial construction. These are concentrated in the areas ringing the central business district. Frequently, this kind of construction required the demolition of residential structures. The commercial pole building at 401-405 West Sixth was constructed in 1979. It features a simple rectangular footprint and is sided with vertical corrugated metal panels. The gabled metal roof faces Madison. Two entrances face Sixth and one faces Madison. The main facades contains 10 bays of windows across on two floors. Opaque brown panels fill the spandrels between floors. The entrances are covered by fabric awnings. The gable end facing Sixth Street shows irregular window grouping around the entrance. The building houses several professional offices and a photography company.

A third category of noncontributing buildings are altered older buildings. An example of a typical altered residential structure is located at 712 West Sixth Street (photo 25). Originally a frame Pyramidal Roof structure, a full second floor was added and covered by a mansard roof. Original second floor dormer windows are replaced and inset into the vertical planes of the roof. The house is sided with aluminum. Modification of this house is typical of rental properties which have been subdivided for multiple tenants.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 8 Page 25

Summary Paragraph

The Near West Side Historic District is eligible for the National Register under Criteria A and C for its local significance in architecture, industry, commerce, ethnic heritage, and rail transportation. The district comprises the near west side of downtown Bloomington. It evolved over the course of a century as Bloomington's center of industry, worker housing and attendant commerce, churches and schools. Residential architectural styles are largely vernacular although some are architect designed. An industrial architectural style is evident, as is a commercial style associated with auto-related businesses.

History and Context

The Near West Side Historic District can be evaluated in the context of its contribution to early industrial and commercial development in Bloomington, between 1850 and 1946. Corresponding to this development is a residential growth pattern which can be attributed to the need for local workers to staff mills, foundries and factories found nearby. Construction of the Louisville, New Albany and Salem railroad in 1853 and the subsequent concentration of industrial expansion on the west side contributed to a change in the kinds of housing built after 1890. The two story I-house pattern was supplanted by simpler one story cottage design.

Beginnings of West Side development:

With the exception of the land east of Rogers Street, all the land known as the Near West Side Historic District, is part of the SE Quarter of Section 32, a tract once owned by Robertson Graham in its entirety. Upon this 150 acre tract and an equivalent quarter section tract in Section 31, owned by David Rogers, the original town of Bloomington was platted. Surveyor James Borland platted the city in 1820. Initially it extended from Eighth Street to Third and from Jackson to Dunn. Rogers Street, bisecting the town north and south, roughly demarcates the boundary of these two original holdings. Sale of the Graham land was completed in 1819. It was conveyed to Benjamin Parks "an agent of the town of Bloomington" with the exception of "... twelve acres 3 rods and eight rods thereof laid out in the shape of a parallelogram in the northeast corner of said quarter section." [pg. 28 Deed Record "A" Dec. 1817-Dec. 1825] This exception was known as "Graham's Reserve", the open land on the north side of the West Side Historic District. Graham's Reserve and Outlots 45 and 44 were parceled in the 1827 land sale and remained largely undeveloped. Eventually this land was purchased by the Illinois Central Railroad. Aerial photographs indicate that the western part of the site was used for railroad loading and transfer activities through the 1940's. Through the years, nearby residents enjoyed it as common open space. It was used for pasture, crops and hunting. In 1972, this land was dedicated by the City of Bloomington Parks Department as Ninth Street Park [Wilbert Miller taped interview 5-21-93 by Michael Connor and D. Busick]. But the eastern area was used informally as a neighborhood park for over a century.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 8 Page 26

Industrial Development

In conformity with a common urban expansion pattern in early midwestern towns, west side development was catalyzed and influenced by construction of the Louisville, New Albany and Chicago railroad in 1853. In the early days of Bloomington, only Seward and Sons foundry, Thomas Hardesty carding mill, McCrum's grist mill and Major Hite's steam flour mill were listed as industries in a town whose population had reached 1643 in 1850 [Indiana State Gazetteer 1850]. Bloomington Milling Co., a remnant of the early economy of the city, was operated by a variety of owners through the years and did not close until 1957. Early industrial uses, tanneries, mills and foundries clustered around the railroad stations located only a block west of the town square. The earliest available Bloomington Sanborn map, dated 1883, shows a "Locomotive House" and turntable located between Fifth and Sixth Streets on the west side of Railroad Street which was later renamed Morton Street. A passenger station and a freight station formerly occupied areas south of the mill.

By 1887, the Showers Brothers Company, and Dolan Tierman Stave Factory had also located west of College in a band of industrial uses which spanned from Eleventh to Fourth Street on the west side. Bloomington's oldest foundry, the Seward Company (1847) moved its primary factory from a site northeast of the square to Eighth and Madison in 1907. The founder, Austin Seward, was a blacksmith from Kentucky whose gun and wagons became famous through out the country. Its greatest successes were associated with the power machinery and derricks required for the milling industry. At the time of its relocation to the west side, Seward's factory produced ornamental and utilitarian iron work including manhole covers, fences, urns, public furniture and drinking fountains. The last buildings in the West Side Historic District associated with this prominent industry were razed in 1991.

The Showers Brothers Factory, which relocated to the west side after a devastating fire, evolved from a small coffin business on the east side of the square into a thriving bedstead business located on Ninth and Grant. The business became so important to the economic well-being of the City that, in the wake of the fire of 1884, half of the site acquisition expenses for a new factory were assumed by the town. Undoubtedly the industry which most influenced development of the west side was the Showers Brothers Furniture Factory. By 1912, 25 years after its relocation to Ninth and Morton, it had become the largest single furniture factory in the United States. It was unique in its sphere of influence: in furniture design and innovation, in its progressive stance on minority employment, and the sheer magnitude of its impact on the community. In 1921, it contributed one quarter of the city's entire revenue and covered 12 acres on the west side of town [Bloomington Restoration Inc. 1991 Spring Tour Brochure]. During its twentieth century heyday, Showers Bros. employed the greatest number of people residing in the West Side Historic District, both black and white. In the twenties and thirties, City Directories indicate packers, cabinet makers, sanders, finishers, machinists, and "hands" living on virtually every street. Showers finally closed in 1955, a victim of the increasingly competitive American furniture market. The furniture industry had moved south, out of the Midwest where labor had become relatively

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 8 Page 27

expensive. A 1966 fire devastated the Showers complex. Five buildings remain, including the 200,000 square foot main factory at 501 North Morton, the showroom and the administration building. The factory has recently been the subject of a massive rehabilitation which is the cooperative effort of a not-for-profit holding corporation; the Bloomington Advancement Corporation, CFC, Inc.; a local developer, Indiana University and the City of Bloomington.

Auto-related

After the turn of the century, the evolution of the car industry steadily changed the face of the west side. New dealerships clustered near the square, while accessory automobile businesses spread along side streets and North Morton. Radiator and brake repair, battery, tire and car sale uses appear abruptly in the early 1900's. Nine auto-related businesses appear in 1916. By 1922 there are twenty-eight. Only three Bloomington dealerships survived the depression. Less than a handful continue to the present day. Wm. Curry constructed a building for his Buick dealership at 214-216 West Seventh in 1922 and stayed at his Downtown location until 1970 when he relocated in a suburban mall. His building was one of the first auto-related historic buildings to be rehabilitated in the Downtown area.

Another long lived dealer, Stephens Oldsmobile, occupied several sites on the west side. Their first showroom was located at 408 North Morton. An early Chevrolet dealer, College Avenue Motor and Sales, was located at 415 N. College in 1929. This building became part of a larger industrial construction in the late 1940's, but it remains vacant and unrestored.

The sum of this auto-related building activity in early twentieth century Bloomington was a definable commercial style. Characteristics of this style include brick construction, decorative stepped front parapets, steel sash and barrel vaulted roofs with open bowstring truss supports. This style, both practical, industrial and functional, was articulated by a need for the display and repair of heavy equipment. Flourishes on the front facade reflected a preference for more stylish presentation to the consumer.

Churches

In contrast with uses affected by the city's changing economic fortunes, churches have provided basic stability within the community. Three churches have extensive presence on the west side. Two, Bethel African Methodist Episcopal and Second Baptist Churches, organized since the 1870's, symbolize the substantial contribution of the black community. The current Fairview United Methodist Church has built new sanctuaries within the Near West Side Historic District three times since 1895. Their first church was located at Third and College and moved in response to the increasing number of parishioners who lived on the west side. Thereafter the church occupied a frame structure adjacent to the Fairview Public School building from 1895 through 1914.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 8 Page 28

A new limestone structure was later dedicated at this location which was subsequently destroyed by fire. The present location of the church, at Sixth and Jackson, was obtained in 1921.

Residential Development

In the 1880's and '90's, large two-story houses were still being built on Kirkwood east of Maple. The era of the 1890's ushered in only a few more two-story residences, although several significant Queen Anne style homes were constructed during this decade. These homes represent the last of the larger residences built on the west side by prominent citizens in Bloomington. After 1890, the area was steadily given over to the development of modest one story homes for the working class. A profile of the west side obtained from 1922 City Directory reveals that Showers Brother employed the greatest number of west side residents, over 100 at this time. There were scattered service jobs as well, including stenographers, janitors, plasterers, paperhangers, chauffeurs, cooks and barbers. The middle class in the neighborhood was represented by teachers, pastors, a reporter and a principal. Representative employers were Hoadley Stone Co., Field Glove, Bloomington Basket Company, Johnson's Creamery and Nurre Mirror which supplied mirrors to Showers Bros.

Demographics:

The Near West Side Historic District is significant for its contribution to the ethnic heritage of Bloomington; its greatest period of growth: from 1890 to 1925, shows direct relationship to the relocation of the Showers Factory in 1884 and the consequent migration of blacks to the west side from other areas of ethnic settlement in Bloomington.

Bloomington's black community historically resided in several small enclaves in and around Bloomington. Hensonburg, Chandlersville, Woodyard and, within the city limits, an area bounded by Seventh to Tenth, from Lincoln to Grant Streets were recognized as black communities. This east side community was close to the original Showers Bros. factory, located at Ninth and Grant. Prior to 1915, the segregated black elementary school, named Center School, was located on the east side of Washington Street on the present site of the Monroe County Historical Museum, formerly a library. Taylor Chapel Methodist Episcopal (506 N. Grant) was located across the street from the old east side Showers factory. As early as 1876 the building is identified as the "Colored Methodist Episcopal Church." At the time, Showers Bros. was the single manufacturing concern which employed blacks. Factory positions employing blacks as laborers, packers and craters provided financial stability and, for many families, the chance to obtain education sufficient to improve the future of their children and themselves. Stone mills, foundries and others businesses located in town did not employ blacks. Showers Bros. assumed the reputation of being a progressive and generous company to all its employees, developing incentives like workman's compensation, home financing, religious services and entertainment for its workers. On the several occasions that this company suffered setbacks, the City and its own workers were able to return

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 8 Page 29

the company's generosity. Several black workers advanced money to their employer after the fire of 1884. In exchange, Showers offered them lifetime employment.

Other professions traditionally open to blacks included barbering, cooking, laundering and jobs associated with housing for Indiana University students. The barbering and beauty professions were unique in that they provided the opportunity to own businesses and commercial real-estate. Halston Vashon Eagleson, who owned a shop at 109 South College [Commercial Directory 1900] sent 5 of his 6 children to Indiana University. Pleasant Evans, one of the earliest black barbers, was able to purchase his building in 1914. Located at 210 West Kirkwood, a half block off the square, it is still standing today [Gilliam, A Time to Speak p.56]. The 1916-18 Caron Directory shows 6 black owned barber shops, all located west of Walnut.

Several occurrences served to influence the move of blacks to the west side of town. Key among them was the Showers Bros. furniture factory fire in 1884 and its city supported relocation to 8th and Morton. Another devastating fire spurred the relocation of Indiana University from the south side of town to the area on the east side known as Dunn's Woods. Subsequently, property values in the largely black-owned residential areas on the east side were dramatically increased. Speculators began to encourage construction of larger residences for the affluent in the area which was now close to the university. Residents recount the involuntary nature of this move which was orchestrated by sales of real estate and foreclosures [Gilliam p.10]. A significant number of remaining blacks left between 1929 and 1938, possibly victims of the Depression. Scattered vacancies in the area of the old Grant Street neighborhood are evident in the City Directories of this era. In 1940 the anchoring east side black church, Taylor Chapel Methodist Episcopal Church closed [Gilliam, A time, p.35] By this time, only three families remained.

Gradually, the abiding landmarks of the black community moved west and symbolically vested themselves in the new west side community by building more permanent homes. The Bethel A.M.E. Church, established in 1870, previously located in the original home of the United Presbyterian Congregation at 402 West Sixth, moved to Seventh and Rogers in 1921. Second Baptist Church, organized in 1872, had occupied a small frame structure at Eighth and Rogers, but in 1913 ordered a new church to be designed by the noted Louisville black architect, Samuel Plato. Both of these edifices were handsome limestone structures. Perhaps the most significant move to the west side, was the construction of a new segregated black grade school, at the northeast corner of Eighth and Elm in 1913. It was named "The Banneker School," by T.C. Johnson, former principal of the Center School [audiotape Maurice Evans]. Banneker also was an expensive limestone structure. Some suspected that it was meant as an incentive to encourage blacks to relocate [audiotape Wilber Miller]. The Banneker building gives the impression of permanence and dignity and, in conjunction with the significant influence of local churches, assumed the role of being a focal point for black culture in Bloomington. Perhaps, for this reason, when the building was closed as a segregated school in 1954, it was reopened by the City of

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 8 Page 30

Bloomington and has been continuously used, up to the present, as a community center. Other structures associated with the black community include 1022 West Seventh Street, where Stone City Masonic Lodge #54, a group of black masons, met in the 1940's .

Early demographic trends indicate that the initial settlement of black residents was west of Waldron on Sixth, Seventh, and Eighth Streets. The 1940 City Directory [National's Bloomington Indiana Directory] shows the most growth in black residences on the numbered streets north of Kirkwood. A concentration in the area of the school is evident, while in older areas of residence on Adams and Kirkwood which were settled in 1916, the population held constant and revealed no new family names. [1916-18 Caron's]. During this span of time the black population on the east side decreased from 37 families to 3.

Many of the industrial and commercial buildings on the east side of the district are being rehabilitated for retail or professional office uses, so larger structures within the Near West Side Historic District are again filled with activity after many decades of vacancy. By contrast, residential areas of the district have enjoyed stability as an established area for family housing. The strong presence of churches, Fairview School and a vital community center have contributed to the Near West Side Historic District's continuing sense of community. Although residents are growing more diverse, with a greater representation of professionals and administrators, the neighborhood maintains its racially mixed character.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 9 Page 31

Major Bibliographical References

A New Gazetteer Map of Monroe County, Davis and Kennedy. 1856.

Atlas of City of Bloomington, Cunningham and Twitchell. 1876.

City of Bloomington Interim Report--Indiana Historic Sites and Structures Inventory. Bloomington: City of Bloomington, Indiana, February 1988.

Counties of Morgan, Monroe and Brown, Indiana: Historical and Biographical. Charles Blanchard. ed. Chicago 1884.

Gilliam, Frances V. Halsell. A Time to Speak: A Brief History of the Afro-Americans of Bloomington Indiana 1865-1965. Pinus Strobis Press. Bloomington, IN. 1985.

History of Lawrence and Counties, Indiana: Their People, Industries and Institutions. Indianapolis, Indiana: B.F. Bowen and Company. 1914.

Indiana Gazetteer or Topographical Dictionary of the State of Indiana. Chamberlain. Indianapolis, IN. 1850.

Indiana State Gazetteer and Business Directory. R.L. Polk Company. Indianapolis, IN. 1890.

Roberts, Warren. "Tour of Monroe County." Undated Essay

Sanborn Insurance Maps. Bloomington, Indiana. 1883, 1887, 1892, 1898, 1907, 1913, 1927, and 1947.

Stuckey, Clay. "Gazetteer of Limestone Mills of Owen, Monroe, and Lawrence County to 1950." June, 1989.

National's Bloomington Indiana Directory. National Directory Co. Parsons, KS. 1940.

Caron's 1916-17-18 Bloomington City Directory. Louisville, KY. 1918.

Heber Page Directory Company's Bloomington, Indiana City Directory 1925-1926. Danville ILL. 1926.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 9 Page 32

Interviews

Elizabeth Eagleson Bridgewaters. audiotape by Michael Connor and Duane Busick.
May 18, 1993 and March 23, 1994.

Hattie Chandler. "Oral History Series." Transcript Tomilea Allison and Caroline Peery. February 2, 1975.

Jeff and John Drake. audiotape by Michael Connor and Duane Busick. March 30, 1994 and March 30, 1994.

Maurice Evans. audiotape by Michael Connor and Duane Busick. April 29, 1994.

Dwight and Bessie Ghan. "Oral History Series." transcript by Tomilea Alison and Caroline Peery. May 19, 1974.

Donna Gilstrap and Wilbert Miller. audiotape by Michael Connor and Duane Busick. June 16, 1993.

Rose Fell. interview by Nancy Hiestand. Nov. 6, 1995.

Wilbert Miller. audiotape by Michael Connor and Duane Busick. May 21, 1993 and June 6, 1993.

Newspaper Articles

"Bethel A.M.E. in 1870." World Telephone (Bloomington), Sept. 1, 1945, pp. 4-5.

Gilliam, Clarence W., Sr. "Second Baptist Church Began in March 1872," Herald-Telephone (Bloomington), October 9, 1972, p. 1.

"Early Religious Life Set Solid Foundation" Herald-Telephone (Bloomington), Sept. 24, 1968, Sec. V pg. 7-9.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 10 Page 33

Verbal Boundary Description

Beginning at the intersection of the west curb line of South Madison Street and the north curb line of Kirkwood proceed southward along the west curb line of Madison Street to a point intersected by the north curb line of West Fourth Street. Proceed westward to a point intersected by the west property line of 410 West Fourth Street. Then proceed southward, crossing Fourth Street and continue along the west side of the alley to its intersection with Third Street. Proceed westward, running along the north curb line of Third Street to a point intersected the east curb line of South Rogers. Proceed northward on the east curb line to a point intersected the south property line of 212 South Rogers Street. Proceed westward along the south property line of 212 South Rogers to the east side of the alley that forms its west boundary. Proceed northward and, crossing West Fourth Street, continue to a point intersecting the south property line of 515 West Kirkwood then proceed westward and continue along the south property line(s) of 515-935 West Kirkwood to a point intersecting the east curb line of South Elm Street. Then proceed north, crossing West Kirkwood to a point intersecting the north curb line of West Kirkwood. Proceed westward along the north curb line to a point intersecting the east curb line of North Adams Street. From this point proceed north and continue to the south property line of the CSX Railroad right-of-way. From this point follow the CSX right-of-way east, north and southeast to a point intersected by the east curb line of North Rogers. Then proceed northward approximately 150 feet to a point intersected by the north side of a private drive for 600 N. Rogers. From this point continue east and north following the north side of the private drive to a point approximately 10 feet east of the building wall at 600 North Rogers Street and continue north along this line to a point intersected by the south curb line of West Eleventh Street. Proceed eastward, following the south curb line of West Eleventh, to a point intersected by the west boundary of 663 North Morton. Proceed southward and continue along the west boundary of 663-621 South Morton to a point intersecting the south property line of 621 N. Rogers. Proceed eastward to a point intersected by the west curb of North Rogers. Follow North Rogers Street southward to a point intersecting the north curb of West Ninth Street. Proceed eastward and follow the north curb line of West Ninth Street to a point intersecting the east boundary of 214 West Ninth Street. Proceed south along the west side of an alley forming the west boundary line of 427 South College Avenue. Proceed eastward and continue along the north boundary of 415 North College to a point intersecting the west curb line of North College Avenue. Then proceed southward along the west curb line of College Avenue to the north curb line of West Eighth Street. Proceed westward, following the north curb line of West Eighth Street to a point intersected by west curb line of South Morton. Then proceed southward to a point intersected by the north property line of 310 North Morton Street. Proceed eastward and follow the north and east property lines of 310 North Morton. Then continue along the eastern boundary of 214 West Seventh to its intersection with the north curb line of Seventh Street. Then proceed westward to a point intersected by the west curb line of North Morton Street. Continuing southward along the west curb line to the north property line of 223 North Morton. Continue east, south, west and north along the property line of 223 North Morton to a point intersecting the south curb line of West Sixth

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section 10 Page 34

Street. Continuing westward along West Sixth to a point intersected by the west curb line of North Madison. Proceed southward to a point intersecting the north property line of 314 West Kirkwood. Follow the property line of 314 West Kirkwood along its north, east, and south sides to the point of beginning.

Boundary Justification

The boundaries selected are descriptive of a dynamic between demographics and the growth of an industrial economy in Bloomington starting in the mid-nineteenth century through 1946. The boundaries reflect the evolution of local industry, spurred by the construction of the railroad, from small scale native foundries and mills to large mechanized facilities with national distribution. Perimeters of the residential section of the West Side Historic District denote the limits of the resettlement of black Bloomingtonians in response to changed employment patterns and civil decisions to move the segregated grade school into the west side neighborhood. Demographic research shows that Kirkwood, Ninth Street and Adams Street mark a definite edge to the ethnic community. Construction in the West Side Historic District after the turn of the century also reflects the evolution of a working class environment, distinctly tied the relocation of a major industry, the Showers Brothers Furniture Factory.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section Photograph Page 35

The following information is the same for all photographs:

District Name: Bloomington West Side Historic District
County and State: Monroe County, Indiana

Location of original negative: Preservation Development Inc.
400 West Seventh, Suite 110
Bloomington, IN 47403

1. Ninth Street Park
Photographer: Jennifer Wargo
11-29-95
camera looking north
2. 722 and 802 West Eighth Street
Photographer: Cynthia Brubaker
5-15-95
camera looking northwest
3. Bloomington Wholesale Food, 311 West Seventh Street
Photographer: Cynthia Brubaker
12-6-95
camera looking southeast
4. Fell Building, and Frosted Foods Building
Photographer: Cindy Brubaker
5-15-95
camera looking southeast
5. Bloomington Garage 316 West Sixth
Photographer: Cindy Brubaker
11-18-94
camera looking northeast
6. Banneker School
Photographer: Cynthia Brubaker
11-19-94
camera looking northeast
7. Bethel African Methodist Episcopal Church
Photographer: Cindy Brubaker
12-6-95
camera looking northeast
8. 615 and 621 West Sixth Street
Photographer: Cynthia Brubaker
12-6-95
camera looking southwest

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section Photograph Page 36

9. 421 through 223 West Sixth
Photographer: Cindy Brubaker
12-6-95
camera looking southeast
10. Showers Brothers Company, Administration Building
Photographer: Jennifer Wargo
12-8-95
camera looking southwest
11. 204 South Rogers and 511 West Fourth Street
Photographer: Cynthia Brubaker
5-15-95
camera looking southwest
12. Hays Market, 300 through 402 West Sixth Street
Photographer: Cynthia Brubaker
11-18-94
camera looking northwest
13. 914 through 924 West Kirkwood
Photographer: Cynthia Brubaker
5-15-95
camera looking northwest
14. Fairview Public School
Photographer: Cynthia Brubaker
11-19-94
camera looking east
15. White Oak Cemetery
Photographer: Cynthia Brubaker
11-19-94
camera looking east
16. Fairview United Methodist Church
Photographer: Cynthia Brubaker
11-19-94
camera looking northeast
17. 420 North Morton
Photographer: Jennifer Wargo
12-8-95
camera looking southeast
18. Hendrix House and 722 West Sixth Street
Photographer: Cynthia Brubaker
11-19-94
camera looking northeast
19. Batman House
Photographer: Cynthia Brubaker
12-6-95

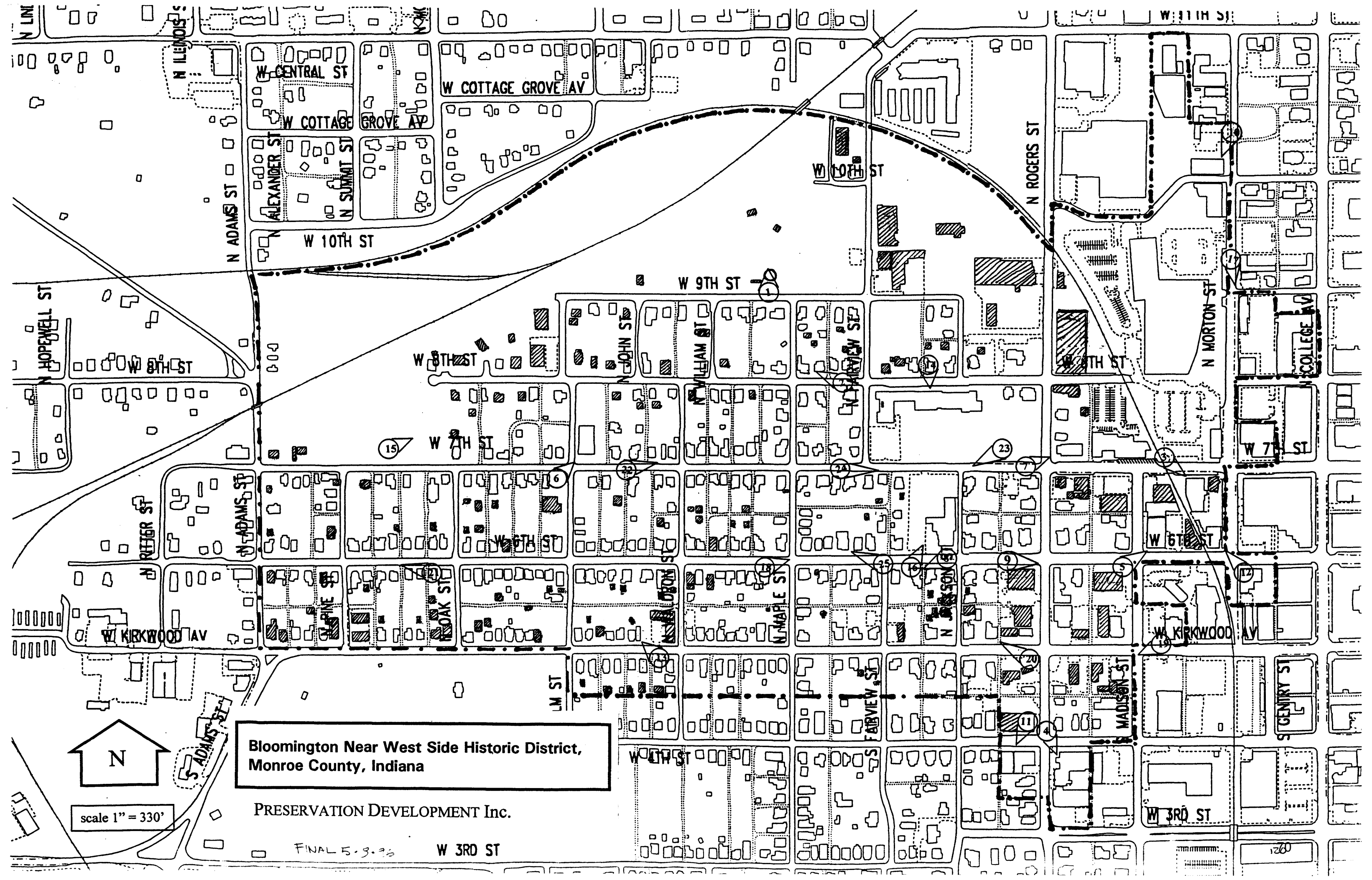
United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Bloomington Near West Side Historic District, Monroe County, Indiana

Section Photograph Page 37

- camera looking southwest
20. 514 and 520 West Kirkwood
Photographer: Cynthia Brubaker
5-15-95
- camera looking southwest
21. 1119 through 1127 West Sixth
Photographer: Cynthia Brubaker
11-19-94
- camera looking west
22. 904 through 830 West Seventh Street
Photographer: Cynthia Brubaker
11-19-94
- camera looking southeast
23. 523 West Seventh
Photographer: Jennifer Wargo
12-6-95
- camera looking southwest
24. 627 through 621 West Seventh Street
Photographer: Cynthia Brubaker
5-15-95
- camera looking southeast
25. 706 through 726 West Sixth Street
Photographer: Cynthia Brubaker
11-19-94
- camera looking northwest



Bloomington Near West Side Historic District,
Monroe County, Indiana

PRESERVATION DEVELOPMENT Inc.

scale 1" = 330'

FINAL 5-3-96

W 3RD ST

1260

STAFF APPROVAL	Address: 1109 E 1St St.
COA 22-49	Petitioner: John McEwan
	Parcel: 53-08-04-116-001.000-009
RATING: CONTRIBUTING	Survey: c. 137, Colonial Revival



Background: Elm Heights Historic District

Request: Removal of a Hawthorn tree located less than a foot from the foundation of the house. The tree has a diameter of around 5 inches at the base.

Guidelines: Elm Heights Historic District Guidelines

- Pg. 9 Some minor reviews can be done at the staff level. These activities include tree removal, installation of storm windows, and placement of new mechanicals except for certain energy retrofits.
- Pg. 12 “an ornamental tree whose trunk is four inches in diameter or fifteen feet high”

STAFF APPROVAL 22-49

- The hawthorn tree is classified as a small ornamental tree. The radius of its trunk is such that it requires a COA.
- The distance from the house wall and foundation poses a serious threat to the building’s long term structural stability.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-49

Date Filed: 6/13/2022

Scheduled for Hearing: 6/14/2022

Address of Historic Property: 1109 E. 1st Street, Bloomington, IN 47401

Petitioner's Name: John McEwan

Petitioner's Address: 1109 E. 1st Street, Bloomington, IN 47401

Phone Number/e-mail: john.a.mcewan@gmail.com

Owner's Name: Sarah Van der Laan

Owner's Address: 1109 E. 1st Street, Bloomington, IN 47401

Phone Number/e-mail: spvanderlaan@yahoo.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 1109 E. 1st Street, Bloomington Indiana, parcel number 530804116001000009

2. A description of the nature of the proposed modifications or new construction:

Removal of a hawthorn tree located at the south-west corner of the house. The base of the tree is less than a foot from the foundations of the house and thus threatens the house. The tree is a about 5 inches at the base.

3. A description of the materials used.

Tree removal

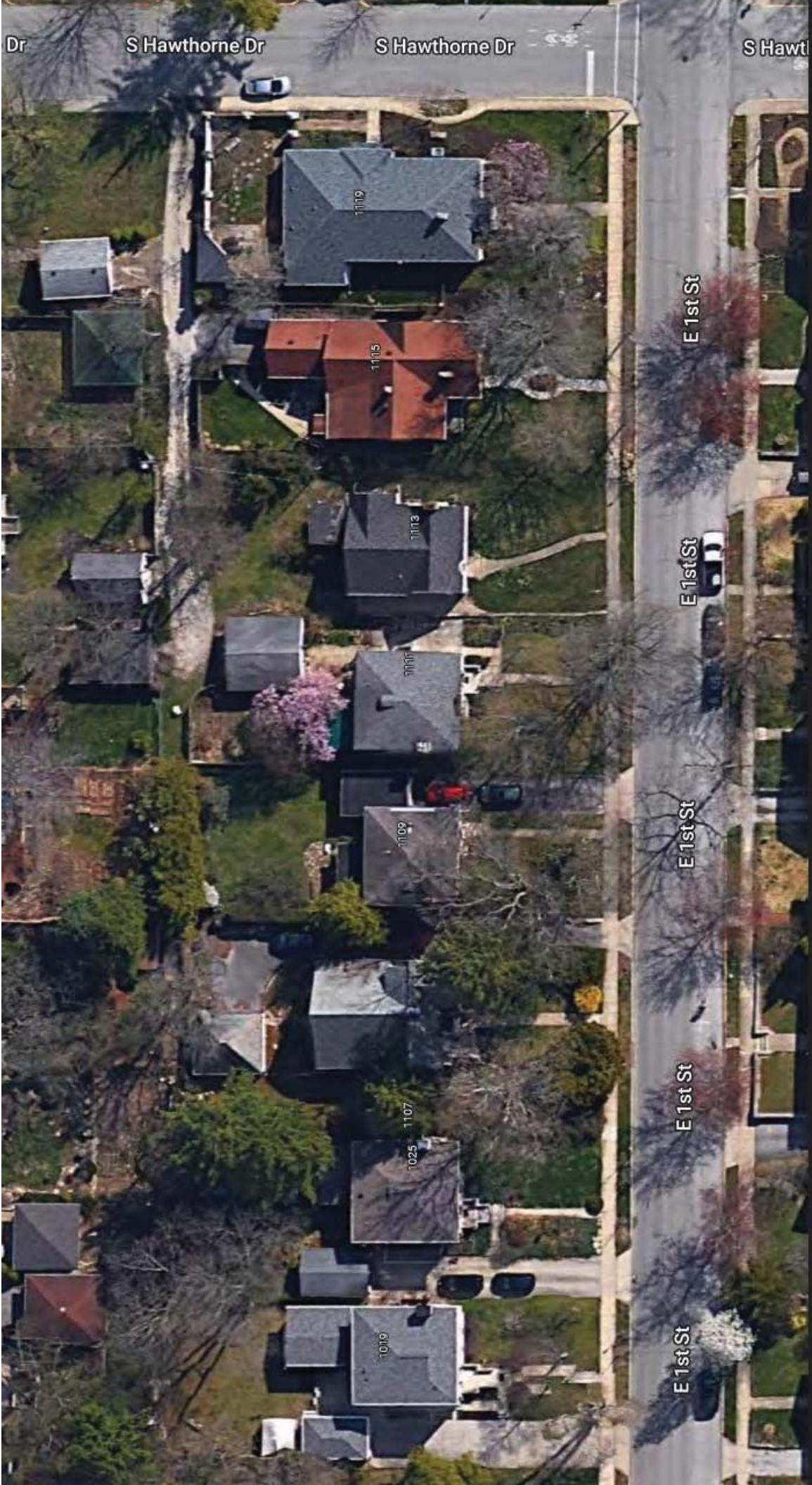
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.















STAFF RECOMMENDATIONS	Address: 721 N Fairview St.
COA 22-51	Petitioner: Jane Klausmeier
	Parcel: 53-05-32-113-012.000-005
RATING: CONTRIBUTING	Survey: c. 1930, Bungalow



Background: Maple Heights Historic District

Request: New Roofing material

Guidelines: Maple Heights Conservation District Guidelines

The Maple Heights Guidelines have yet to be updated in order to reflect the changes from a conservation to a historic district.

Title 8. 08. 020 - Certificates of Appropriateness

“A conspicuous change in the exterior appearance of any historic building or any part of or appurtenance to such a building, including walls, fences, light fixtures, steps, paving, and signs by additions, reconstruction, alteration, or maintenance involving exterior color change if cited by individual ordinance.”

STAFF APPROVAL 22-51

- The roofing material will remain asphalt. However, the owner is proposing to replace the red three tab shingles with “Owens Corning Oakridge Peppermill Gray” architectural style shingles.
- Both three tab and architectural style shingles are commonly found in the Maple Heights Historic District.

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 22-51
Date Filed: 6/16/2022
Scheduled for Hearing: 7/14/2022

Address of Historic Property: 721 N. Fairview St. Bloomington IN 47404
Petitioner's Name: Jane Klausmeier
Petitioner's Address: 822 River Road Spencer IN 47460
Phone Number/e-mail: 812-671-5855 / elfin15@hotmail.com
Owner's Name: Same
Owner's Address: /
Phone Number/e-mail: /

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 013-43190-00 Maple Heights lot N 1/2 lot 11

2. A description of the nature of the proposed modifications or new construction:

Remove existing old shingles and other underlying materials as needed to render roof structurally sound.

Replace with new shingles

Roof shape will remain the same if no alterations to design.

3. A description of the materials used.

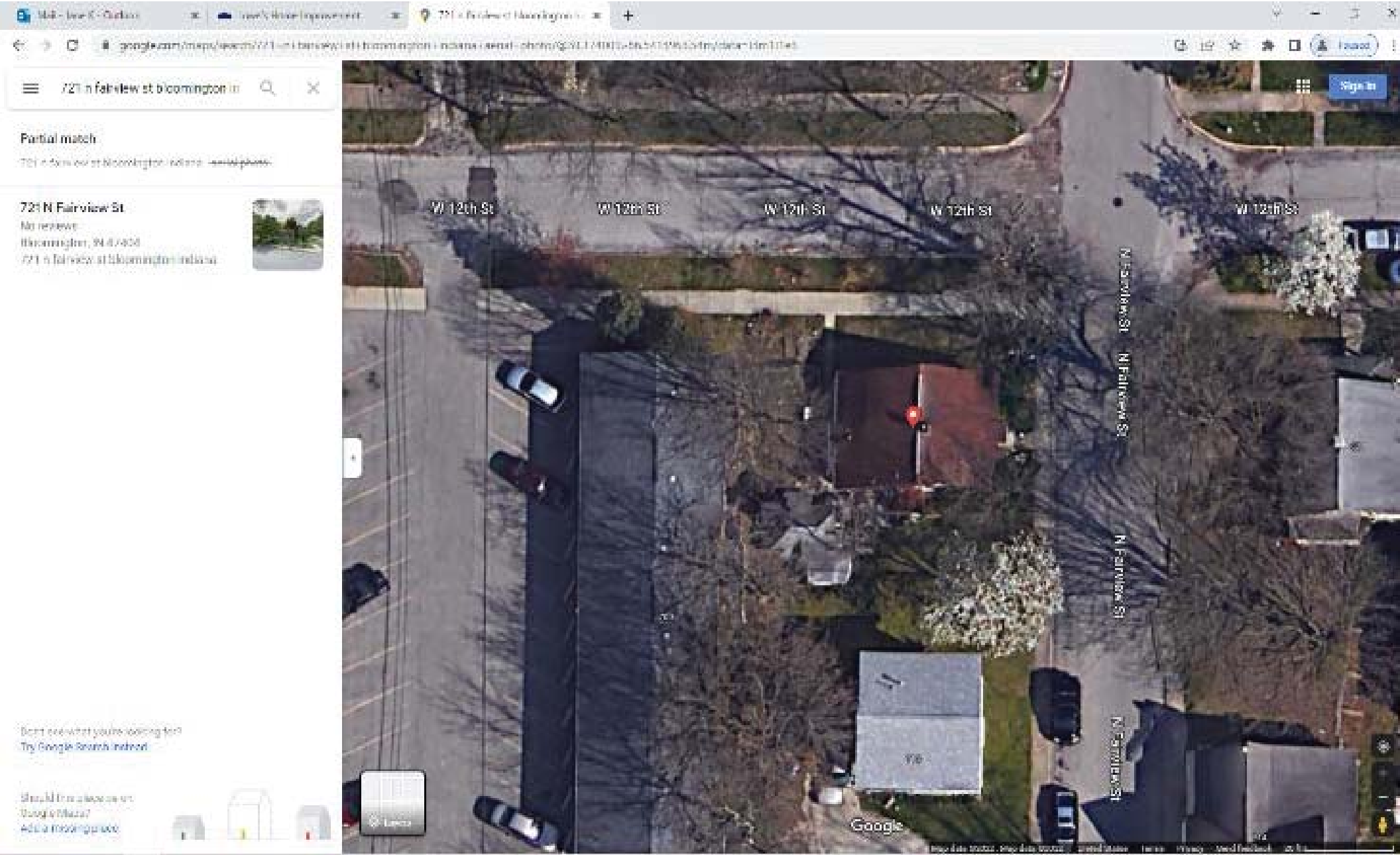
Asphalt Architectural Shingle Style. Owens Corning Oakridge.
Peppermill grey color

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



What will your new roof cost? Enter your street address to see your price. [CALCULATE PRICE](#)

Owens Corning Oakridge Peppermill Gray

[SEE MY PRICE](#)









STAFF RECOMMENDATIONS	Address: 202 N Walnut St.
COA 22-50	Petitioner: Jerry Collins, Everywhere Signs
	Parcel: 53-05-33-310-028.000-005
RATING: NOTABLE	Survey: 1892, Late Victorian



Background: Courthouse Square Historic District

Request: New Signage

Guidelines: Courthouse Square Historic District Guidelines Pg. 22

Signage, General

1. Care should be taken with the attachment of signage to historic buildings.
2. The scale of signage should be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings.
3. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.
4. Use of materials such as wood, stone, iron, steel, glass, and aluminum is encouraged as historically appropriate to the building.
5. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without additional drilling into stone, brick, or even mortar. If signage or signage parts must be attached directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick. It is encouraged that signage be placed where signage has historically been located.
6. Signage which is out of scale, boxy or detracts from the historic facade is discouraged.
7. Care should be taken to conceal the mechanics of any kind from the public right of way.

Wall Signs

1. Building-mounted signage should be of a scale and design so as not to compete with the building's historic character.
2. Wall signs should be located above storefront windows and below second story windows.
3. Signs in other locations will be reviewed on a case-by-case basis.

Staff Recommendations approval of COA 22-50

- The new sign consists of an aluminum composite material with vinyl graphics. Aluminum is a preferred material for the historic district.
- The sign location is in compliance with the historic district guidelines and does not obscure historic materials or the entrance.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-50

Date Filed: 6/15/2022

Scheduled for Hearing: 7/14/2022



Address of Historic Property: 202 N. WALNUT ST., BLOOMINGTON, IN 47404

Petitioner's Name: Jerry Collins / Everywhere Signs

Petitioner's Address: 2630 N. WALNUT ST., BLOOMINGTON, IN 47404

Phone Number/e-mail: everywheresigns@gmail.com

Owner's Name: Hat Rentals, LLC

Owner's Address: 222 S. WALNUT ST., BLOOMINGTON, IN 47404

Phone Number/e-mail: 812-369-0785

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “Complete Application” consists of the following:

1. A legal description of the lot. 013-25940-00 ORIG PLAT PT 229

2. A description of the nature of the proposed modifications or new construction:
new signage - sign panel with vinyl graphics mounted to sign band
area above entryway

3. A description of the materials used.
sign panel is aluminum composite material with vinyl graphics

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

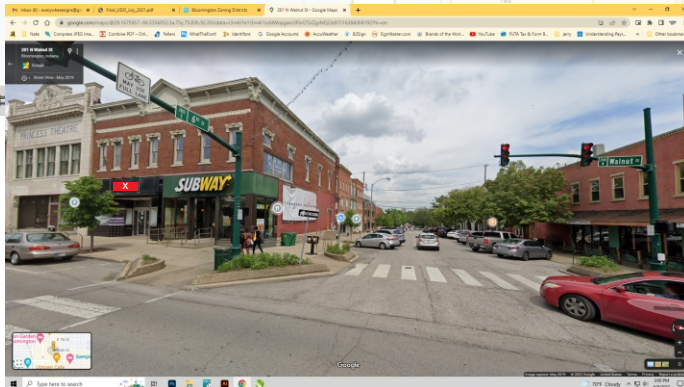
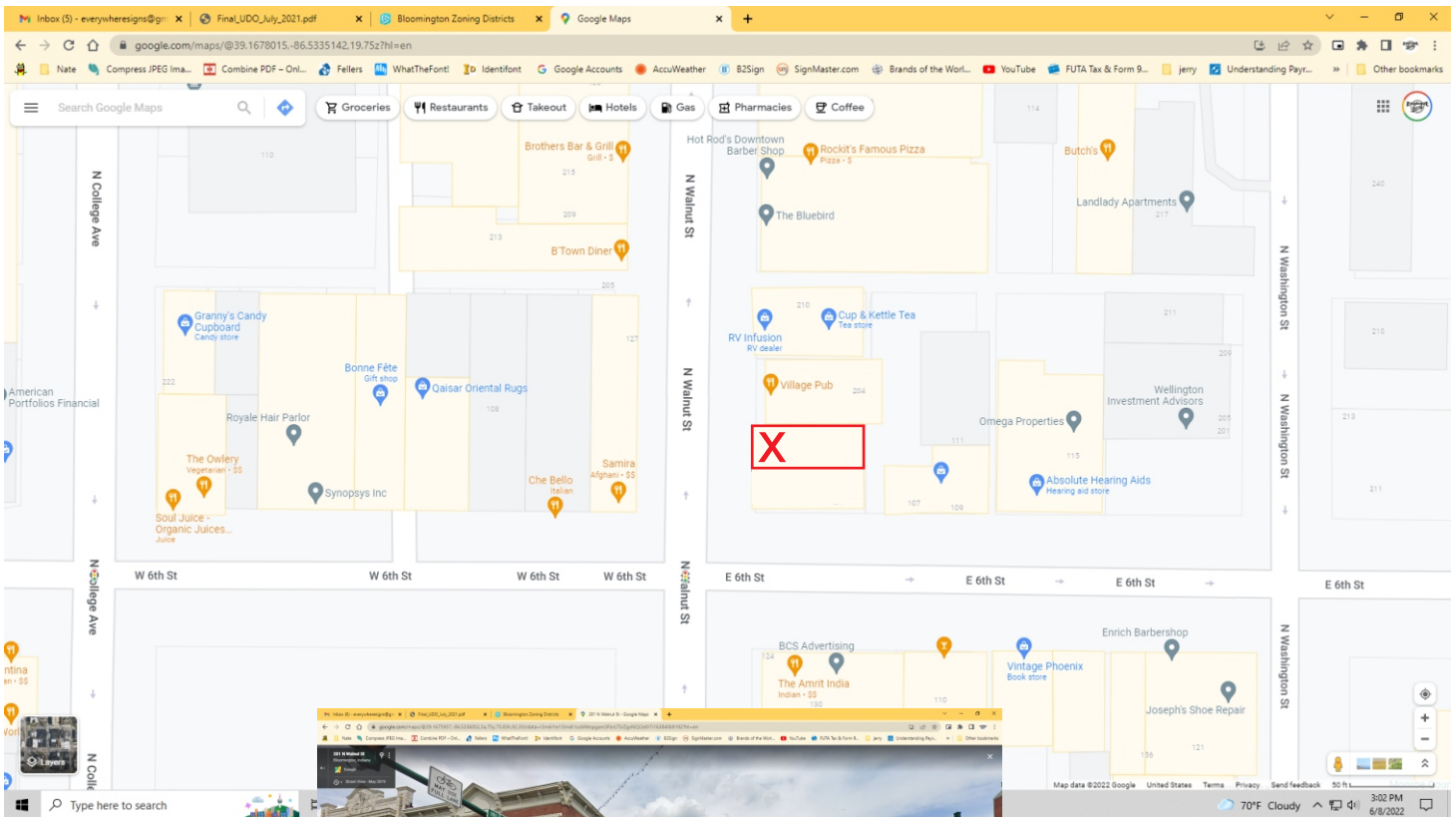
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

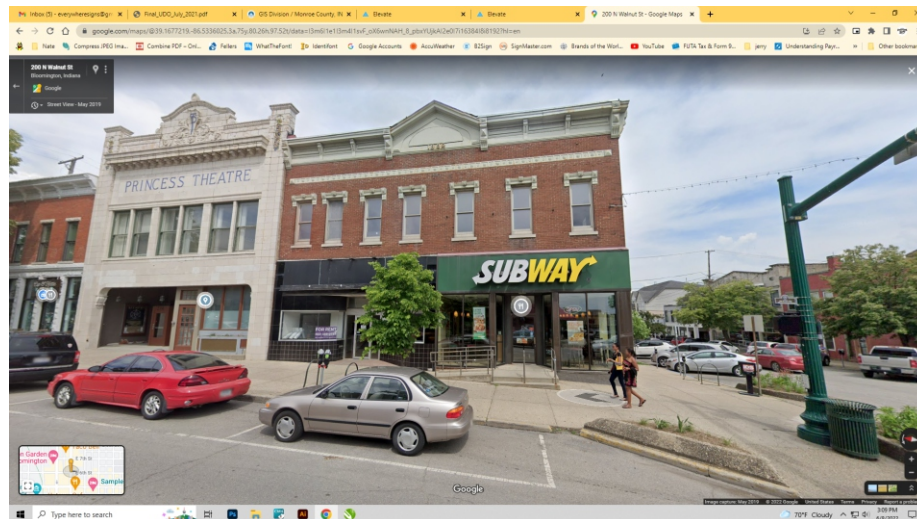
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

□□□□□□□□□□□□□□□□

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

44" x 96" flat aluminum composite panel





STAFF RECOMMENDATIONS	Address: 108 W 4th St.
COA 22-52	Petitioner: Lauren Clemens c/o City of Bloomington
	Parcel: 53-05-33-310-104.000-005
RATING: OUTSTANDING	Survey: c. 1915, Beaux Arts



Background: Courthouse Square Historic District

Request: Replacement of the front door of FHB Radio Station

Guidelines: Courthouse Square Historic District Guidelines

Page 20, Secondary Facades

2. The original entrance design and arrangement of openings should be retained. Where alterations are required, they will be reviewed on a case-by-case basis. It is anticipated that some adaptations may require more prominent entrances with compatible new design.

6. Proposals for new doors or entrances will be reviewed on a case-by-case entrance

8. Whenever feasible historic materials should not be damaged or removed when installing equipment.

Staff Recommends approving COA 22-52

- The door to be replace is located on the secondary facade of the building, in the section that was annexed in 1950.
- The current door is an aluminum and glass storefront door which would be replaced with a very similar make and model.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-52

Date Filed: June 16, 2022

Scheduled for Hearing: July 14, 2022

Address of Historic Property: 108 W 4th St

Petitioner's Name: Lauren Clemens c/o City of Bloomington

Petitioner's Address: 401 N Morton St. #150

Phone Number/e-mail: (812) 349-3837

Owner's Name: City of Bloomington

Owner's Address: 401 N Morton St. #150

Phone Number/e-mail: (812) 349-3400

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 013-63480-00 original Plat Lot 91

2. A description of the nature of the proposed modifications or new construction:
Replacement of existing front door at WFHB
Radio Station

3. A description of the materials used.
2" x 4 1/2" Aluminum store front door
- clear anodized finish
- perimeter caulking
- 1" clear insulated glass tempered
- door hardware

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

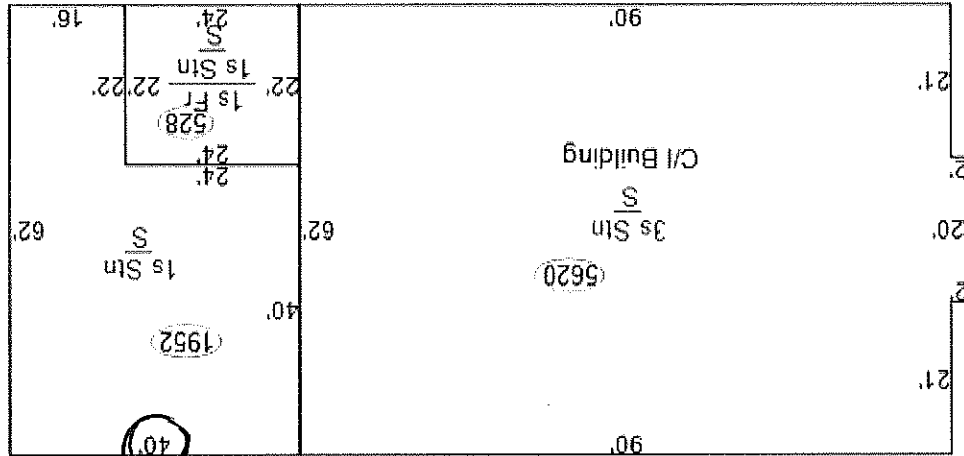
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

108 W 4th St

Courthouse Square Local Historic District

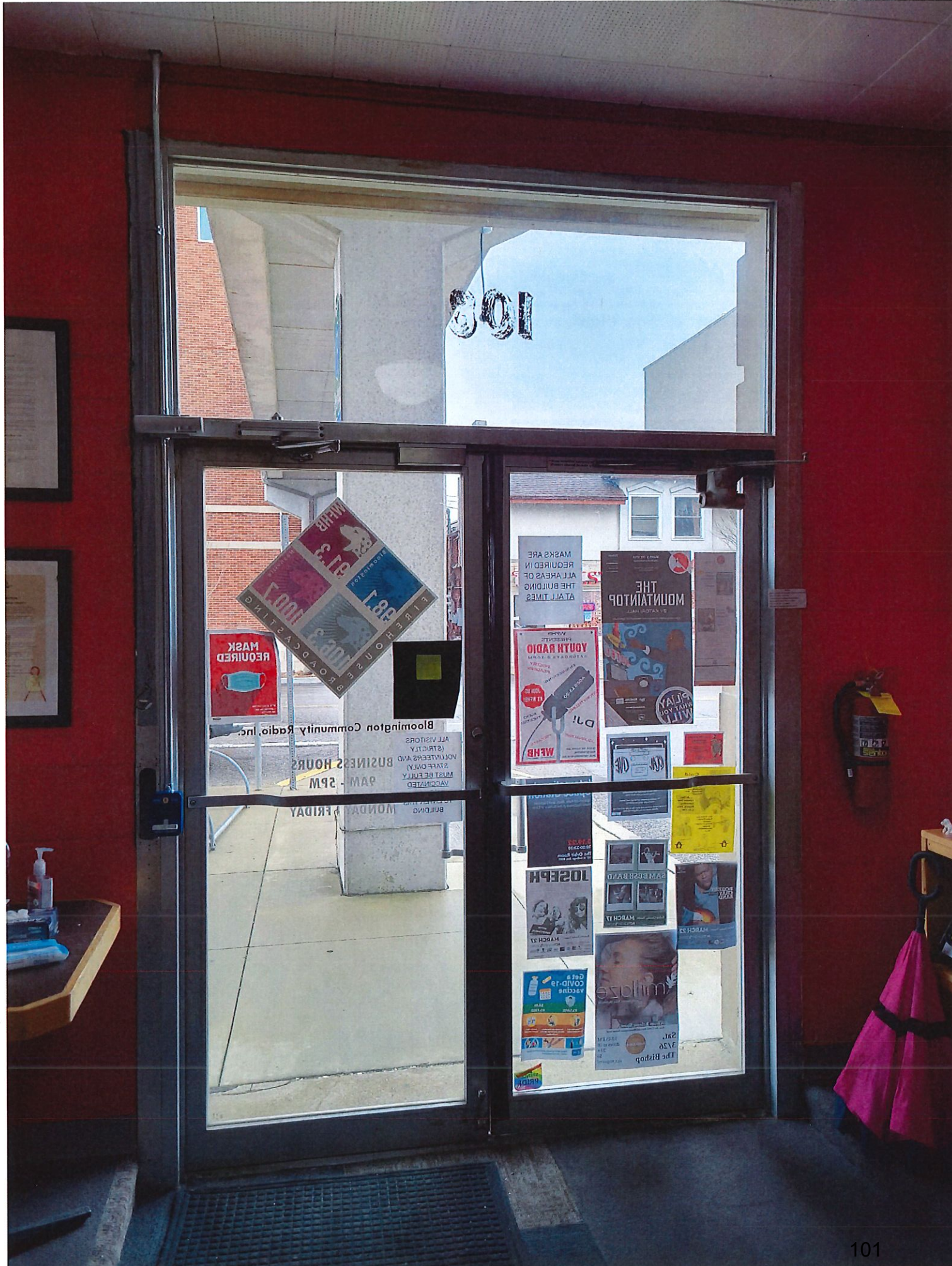


40' door

4th St.

108 W 4th St
Bloomington, Indiana
Google





101

Firehouse Broadcasting
100.7 FM
1881
Bloomington Community Radio, Inc.
ALL VISITORS
(STRICTLY
VOLUNTEERS AND
STAFF ONLY)
MUSIC FULLY
APPROPRIATE
9AM - 5PM
MONDAY - FRIDAY
BUILDING

MASKS ARE
REQUIRED IN
ALL AREAS OF
THE BUILDING
AT ALL TIMES

YOUTH RADIO
PRESENTS
LABORER & FARM
WORKERS
MUSIC
WITH
DJ
WEHR

THE MOUNTAIN TOP
BY ANTHONY WALL
PLAY WHAT YOU
FEEL

JOSEPH
MARCH 23

THE BISHOP
MARCH 23

COVID-19
VACCINES
GET A
HEAD START

City Glass of Bloomington, Inc.

**719 W. 17th Street
Bloomington, IN 47404
Phone: (812) 331-2988
Fax: (812) 335-7627**

Proposal

**Project: WFHB Radio Station
To: Jeff Morris
Date: April 20, 2022**

City Glass, Inc. hereby submits a quotation to furnish and install the following:

2" x 4 1/2" Aluminum Storefront

(1) 76" x 116' w/ 6'-0" x 7'-0" pair of doors

Includes:

- Clear anodized finish**
- Perimeter caulking of our frame**
- 1" Clear insulated glass tempered**
- Door hardware:**
 - butt hinges**
 - Push/Pulls**
 - Threshold and sweeps**
 - Ms lock**
 - Closers**

Excludes:

- Final cleaning**
- Any card readers**
- Install of mag lock system**
- Wiring**

Bid: \$4990.00 including taxes

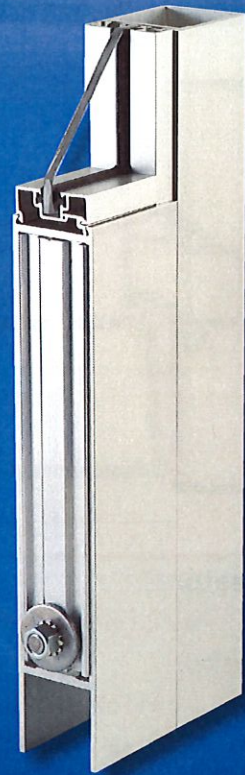
Contact Jason Zehr if you have any questions regarding this proposal

Standard Narrow Stile Entrances

Our Standard Narrow Stile Entrances are designed for light-to-moderate use in commercial applications. Standard Narrow Stile has 2-1/8" vertical stiles and top rail, and 4" bottom rail – optional up to 10" for ADA compliance. The smooth design of Tubelite's door hardware features a convenient pull handle and push bar with lock location 36" above the finished floor. Stock doors and frames are anodized with clear or dark bronze finishes, and readily available for quick delivery.

Durable Tie-Rod Construction

The strength and flexibility of steel tie-rod construction is what holds it all together and makes our doors endure. Tie-rod assembly is as durable as welded corner construction, but superior in many ways. Tubelite doors can be modified, disassembled or resized right in the field. No other door offers you this much strength and flexibility.



400 Series
Curtainwall

ALSO
USED
WITH

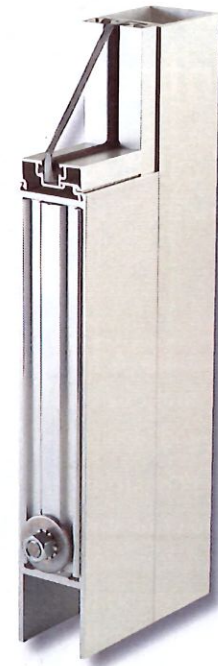
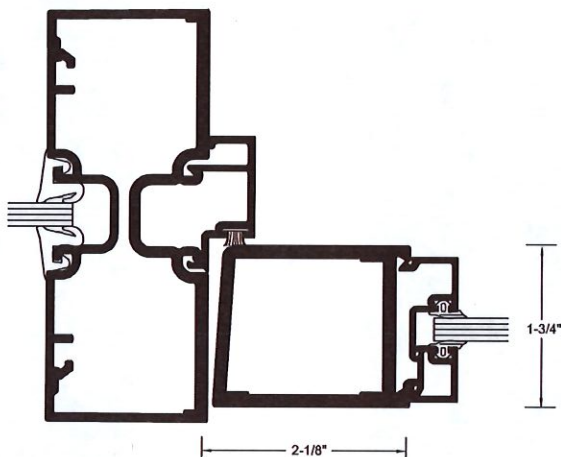
14000 Series
Storefront

TUBELITE[®]
DEPENDABLE

LEADERS IN ECO-EFFICIENT STOREFRONT,
CURTAINWALL AND ENTRANCE SYSTEMS



Standard Narrow Stile Entrances



System Features:

- Standard 2-1/8" (53.975Mm) sight line on verticals and top rail
- Deadbolt lock
- 1" dia. push bar and offset pull handle
- Standard infill options 1" (25.4mm), and 1/4" (6.35mm), other infills available
- 3'0" and 3'6" width single doors, 6'0" width pairs of doors
- 7'0" height door leaves

Optional Features:

- 4" (101.6mm) and 10" (254mm) bottom rails
- Mortised butt hinges, offset pivots, continuous hinges, center pivots
- Latch locks, cvr & rim panics, electric strikes
- Hardware by others
- 1-3/4" or 2" x 4-1/2" sight line frame member
- Intermediate horizontal or vertical mid-rails
- 7 anodized and 19 painted standard finishes
- Custom height and width doors

Note: Dimensions do not include 1/2" glass stops.

Standard Entrance Series	Narrow Stile
Traffic	Light to Moderate
Vertical Stile 1-3/4" x	2-1/8"
Top Rail 1-3/4" x	2-1/8"
Bottom Rail 1-3/4" x	4" (opt. up to 10")

Standard Narrow Series Product Specifications

Application: Offices, Shopping Plazas

Description: 2-1/8" vertical stiles and top rail, and 4" bottom rail – optional up to 10" for ADA compliance

Glass:	Air Infiltration:	Structural:	U-Factor** Single Door:	U-Factor** Double Door:
1" std (1/8" – 1")	1.0 CFM / Ft.2 @ 1.57 PSF	30 PSF – Design 45 PSF – Overload	Narrow: 0.64	Narrow: 0.59

** U-Factor per NFRC 100. Refer to the U-Value table at: www.tubeliteinc.com/products/entrances/standard-narrow/

DISCLAIMER: Tubelite takes no responsibility for product selection or application, including, but not limited to, compliance with building codes, safety codes, laws, merchantability or fitness for a particular purpose; and further disclaims all liability for the use, in whole or in part, of this Technical Guide in preparation of project specifications and/or other documents. Technical Guides are subject to change at any time, without notice, and at Tubelite's sole discretion. ©2017 Tubelite Inc.

030120

TUBELITE[®]
DEPENDABLE

LEADERS IN ECO-EFFICIENT STOREFRONT,
CURTAINWALL AND ENTRANCE SYSTEMS

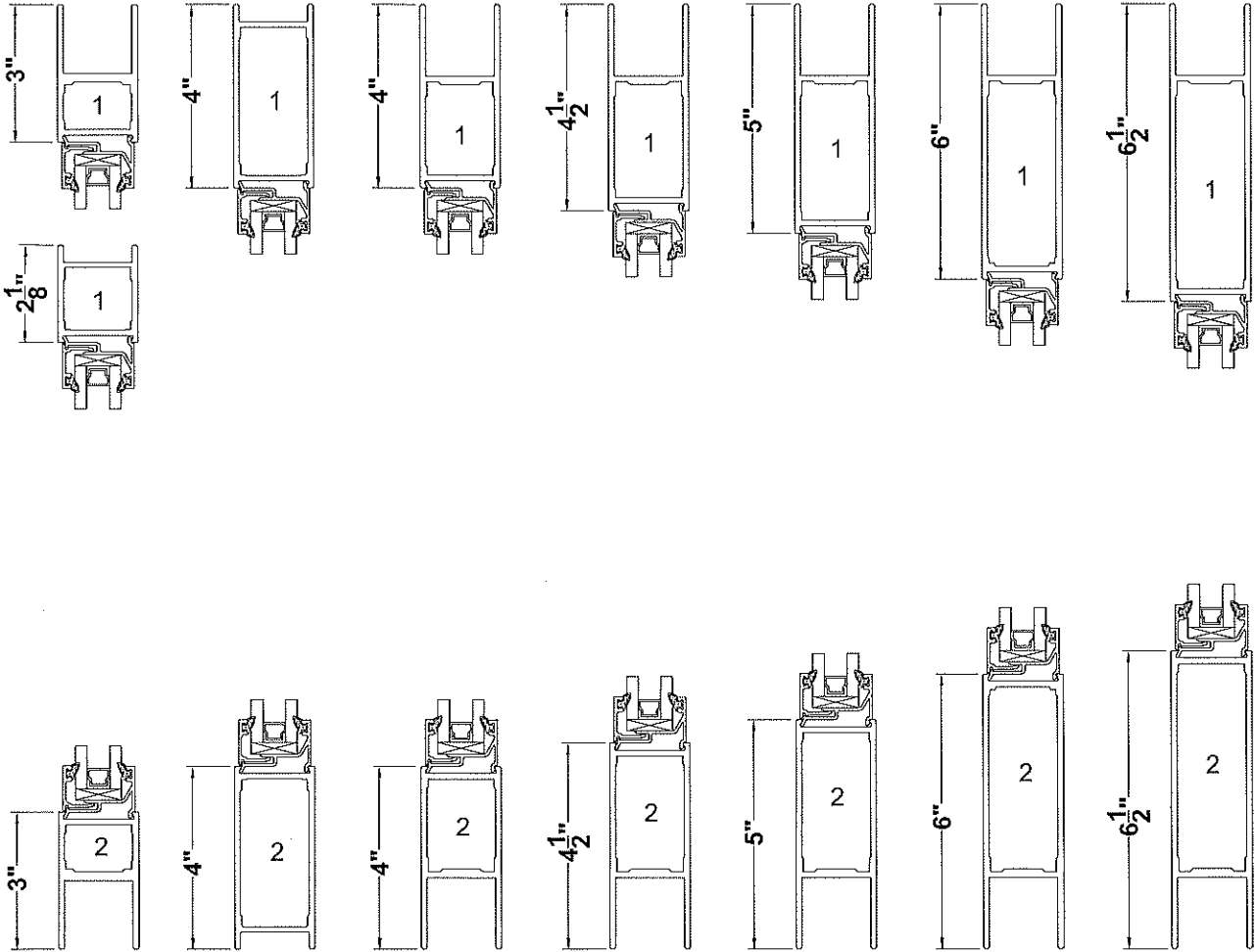
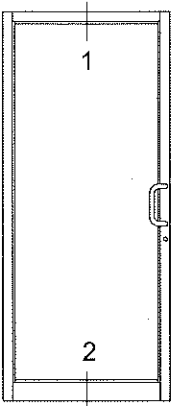
STANDARD ENTRANCES

Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Rails 1/4 scale

REFER TO GLAZING AND DOOR STOP SECTION FOR GLASS STOP OPTIONS



FEBRUARY 2020

TUBELITE®
DEPENDABLE
LEADERS IN ECO-EFFICIENT STOREFRONT,
CURTAINWALL AND ENTRANCE SYSTEMS

For specific product applications, contact your Tubelite representative.
Details on this page represent standard details found on our website.
For more options, visit our website at
www.tubeliteinc.com/narrow-stile-and-standard-stile/

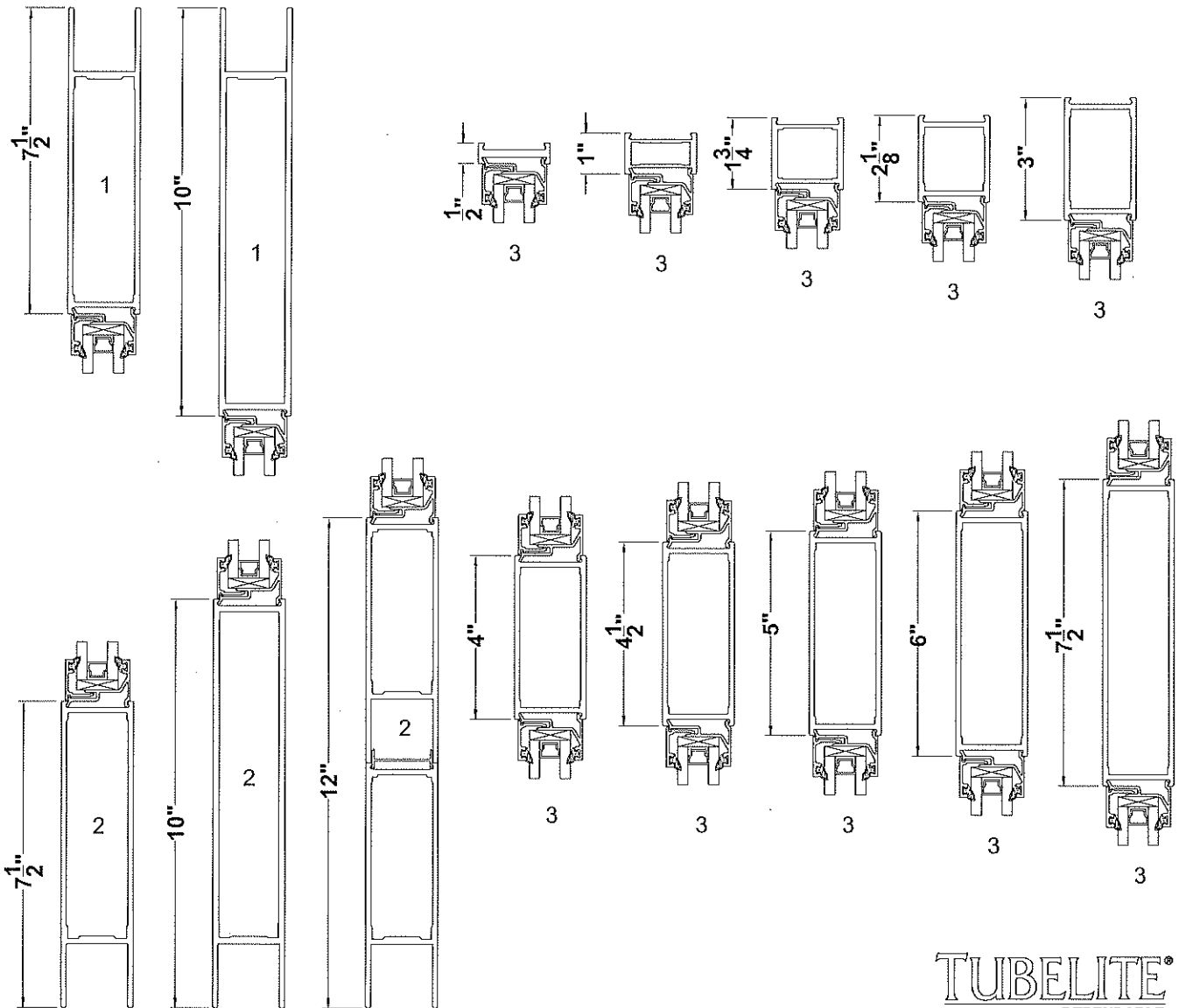
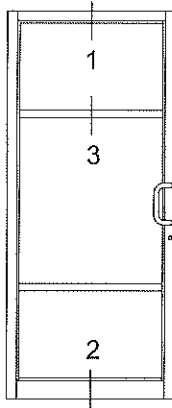
STANDARD ENTRANCES

Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Rails & Midrails 1/4 scale

REFER TO GLAZING AND DOOR STOP SECTION FOR GLASS STOP OPTIONS



FEBRUARY 2020

TUBELITE®
DEPENDABLE
LEADERS IN ECO-EFFICIENT STOREFRONT,
CURTAINWALL AND ENTRANCE SYSTEMS

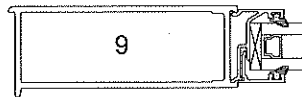
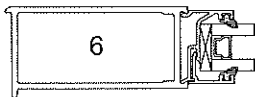
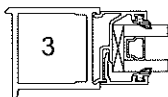
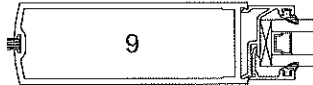
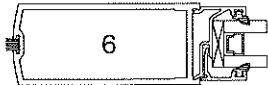
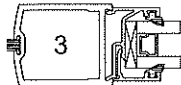
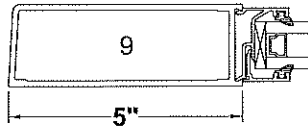
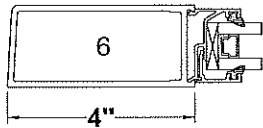
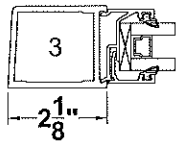
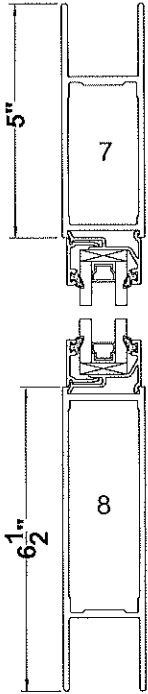
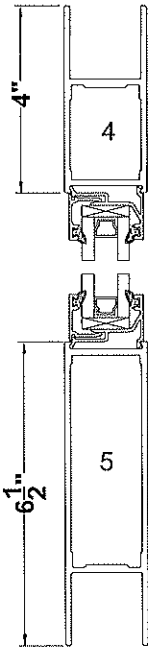
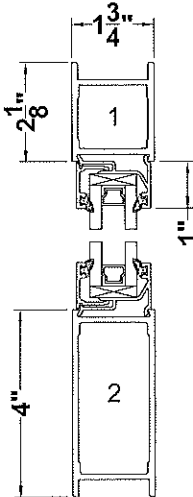
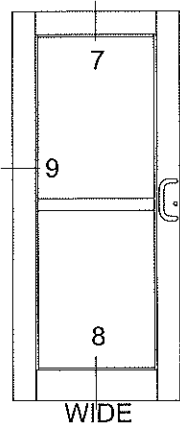
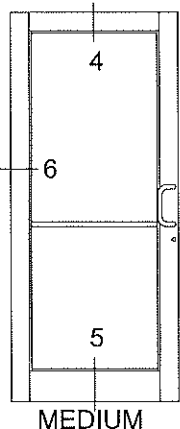
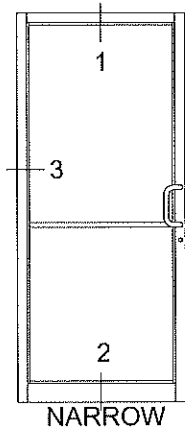
For specific product applications, contact your Tubelite representative.
Details on this page represent standard details found on our website.
For more options, visit our website at
www.tubeliteinc.com/narrow-stile-and-standard-stile/

STANDARD ENTRANCES

Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Details
1/4 scale

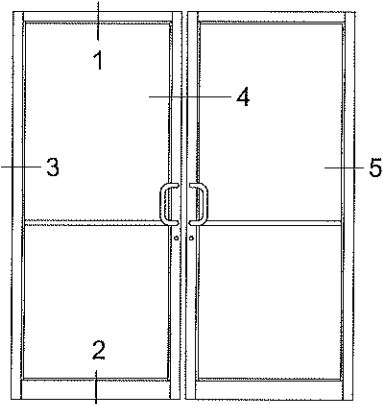


FEBRUARY 2020

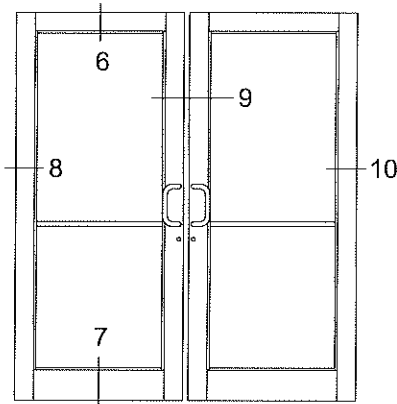
TUBELITE®
DEPENDABLE
LEADERS IN ECO-EFFICIENT STOREFRONT,
CURTAINWALL, AND ENTRANCE SYSTEMS

For specific product applications, contact your Tubelite representative.
Details on this page represent standard details found on our website.
For more options, visit our website at
www.tubeliteinc.com/narrow-stile-and-standard-stile/

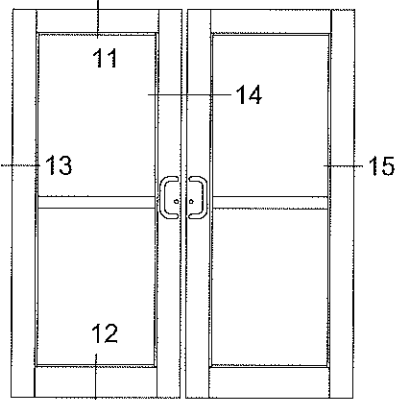
STANDARD ENTRANCES



NARROW



MEDIUM

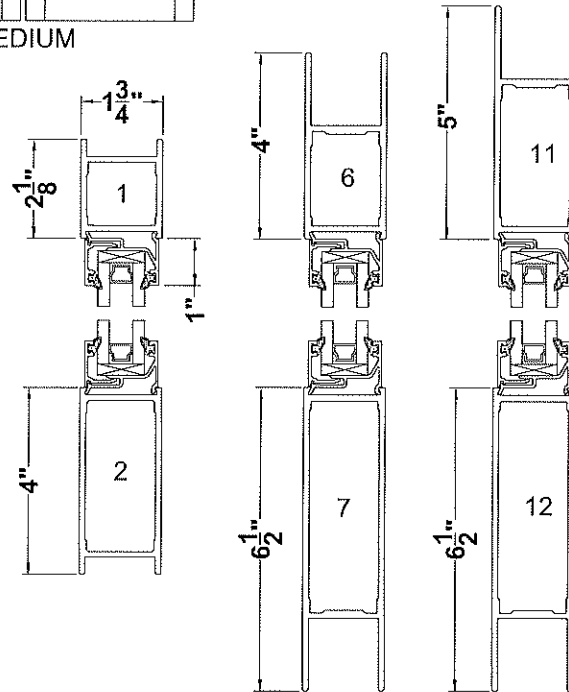


WIDE

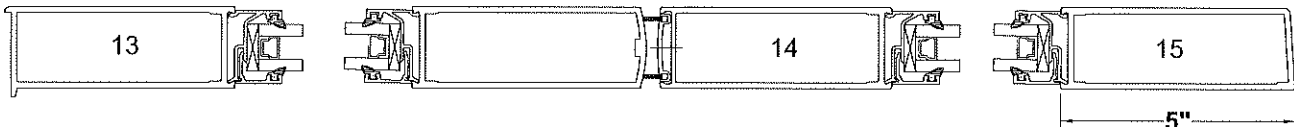
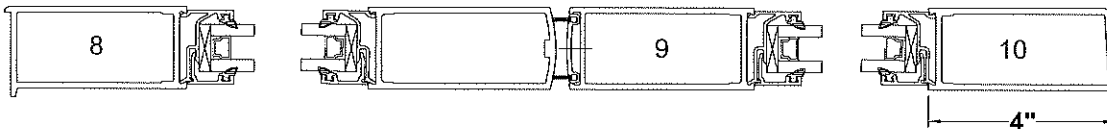
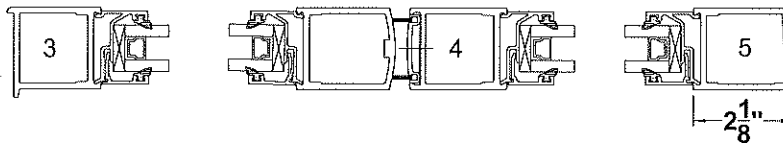
Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Details 1/4 scale



REFER TO GLAZING AND DOOR STOP SECTION FOR GLASS STOP OPTIONS



TUBELITE®
DEPENDABLE
LEADERS IN ECO-EFFICIENT STOREFRONT,
CURTAINWALL, AND ENTRANCE SYSTEMS

FEBRUARY 2020

For specific product applications, contact your Tubelite representative.

Details on this page represent standard details found on our website.

For more options, visit our website at

www.tubeliteinc.com/narrow-stile-and-standard-stile/

STAFF RECOMMENDATIONS	Address: 908 W Howe St.
COA 22-53	Petitioner: Mary G. Girard
	Parcel: 53-08-05-113-012.000-009
RATING: CONTRIBUTING	Survey: c. 1910, Pyramid Roof Cottage



Background: Greater Prospect Hill Historic District

Request: Addition to the back of building

Guidelines: Greater Prospect Hill Historic District Guidelines

Pg. 14 - Consists of a construction on a developed site, "a site upon which there already exists a historic primary structure."

pg 21 -

1. New structures accessory to primary buildings should be visually compatible with existing historic neighborhood patterns for accessory structures and of material consistent with the historic neighborhood pattern.
2. New structures should be placed, where possible, in a subordinate position to the primary building on the lot.

pg. 16

Recommended Materials for new construction (and additions to a certain extent)

1. Building materials, whether natural or man-made, should be visually compatible with surrounding historic buildings.
2. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics

found historically in the neighborhood. No products imitating the “grain” of wood should be used.

3. Brick, limestone, clapboard, cement board, wood, shingles, stucco

Exceptions for Additions

1. Materials Exception: Use of materials currently on the existing structure can be continued on the Addition.
2. Building Outline and Mass Exception: Excessive impact to the public way façade should be discouraged.
3. Fenestration* Exception: Increased design flexibility for additions on non-public way façades may be considered. *Fenestration: The arrangement, proportioning, and design of windows, doors and openings.

Staff Recommendation approval of COA 22-53, conditional on using horizontal lap siding to match the house

- The project consists of an addition to a Contributing structure and would be located behind the house, subsumed in scale and location with no direct contact with any of the right of ways.
- The geometry and fenestrations do not correspond with the historic district, however, the addition would be barely visible from the right of way and the guidelines provide increased flexibility of design regarding fenestrations and outline/mass in such cases.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-53

Date Filed: 06/27/2022

Scheduled for Hearing: 07/14/2022

Address of Historic Property: 908 West Howe Street

Petitioner's Name: Mary G Girard

Petitioner's Address: 309 Kedzie Street, Evanston, IL 60202

Phone Number/e-mail: 812-521-5310; girardmary1@gmail.com

Owner's Name: SAA

Owner's Address: SAA

Phone Number/e-mail: SAA

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. **Lot Number 2 (Two) in Longview Addition to the City of Bloomington, Indiana as recorded in Plat Book 2, page 45, not found I in Plat Cabinet B, Envelope 26 in the office of the Recorder of Monroe County, Indiana; 015-08240-00** _____

2. A description of the nature of the proposed modifications or new construction:
 _____ Addition on the back of current dwelling to add space for improved kitchen, and living area.

3. A description of the materials used.
 _____ Wood frame with materials and style complementary to current structures.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

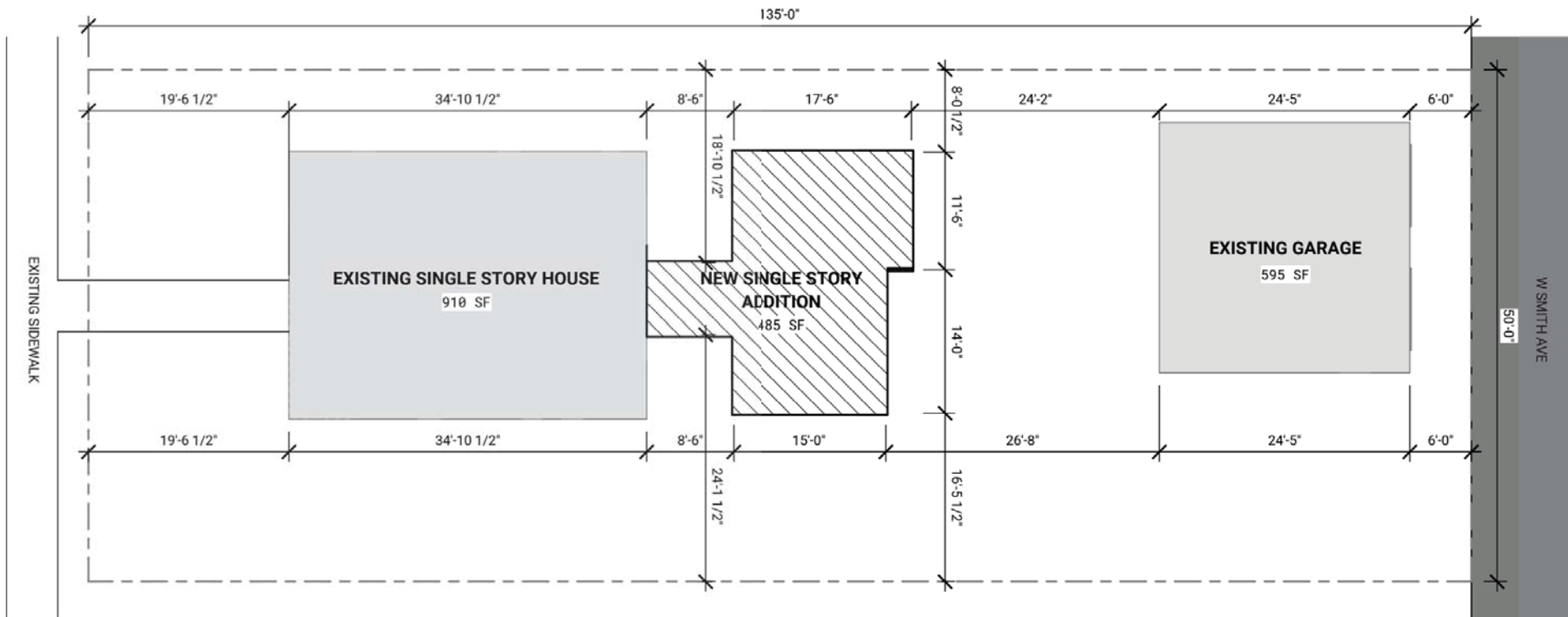
If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.













WHOWEST

955 Hosbrook

Street
Indianapolis, IN 46203 317.983.4886
info@neonarchitecture.com
www.neonarchitecture.com

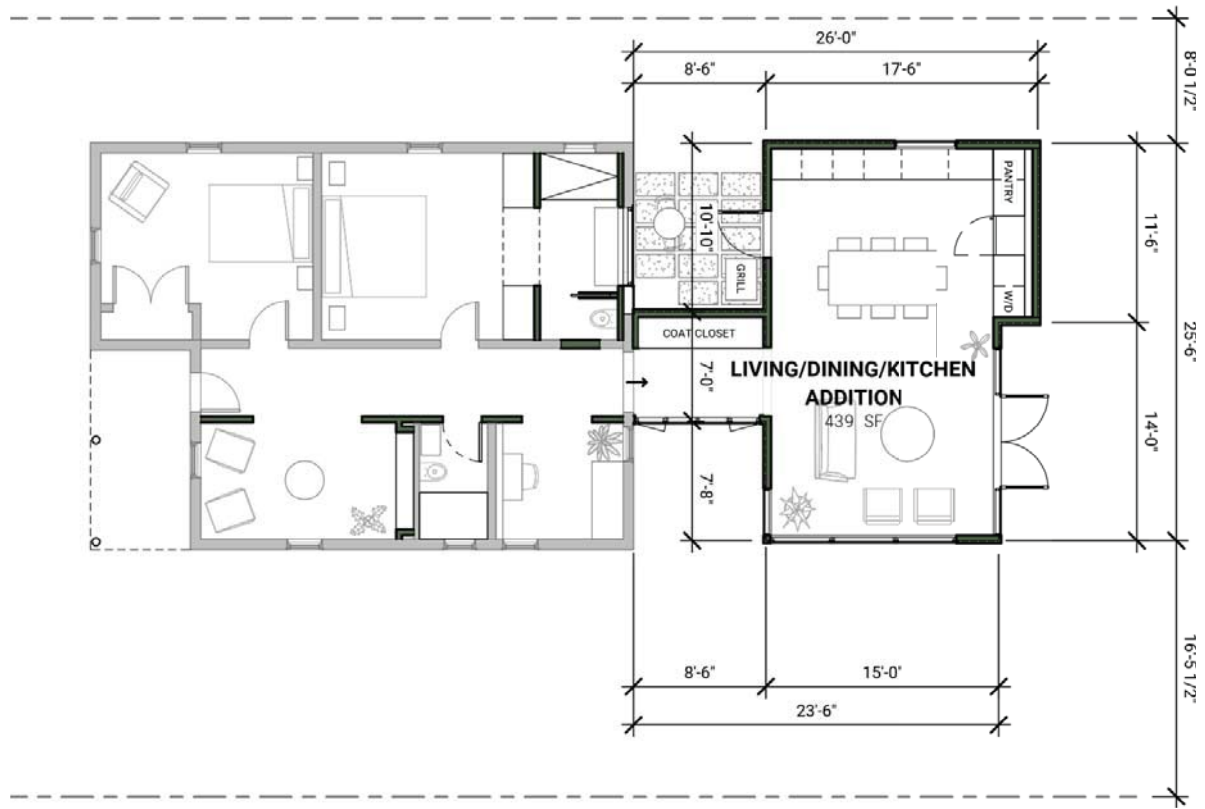
GARDEN HOUSE

908 WEST HOWE STREET BLOOMINGTON, IN 47403

SITE PLAN

Date: 06/23/2022 | Scale: 1" = 10'-0"

NEON
ARCHITECTURE



955 Hosbrook

Street
 Indianapolis, IN 46203 317.983.4886
 info@neonarchitecture.com
 www.neonarchitecture.com



GARDEN HOUSE

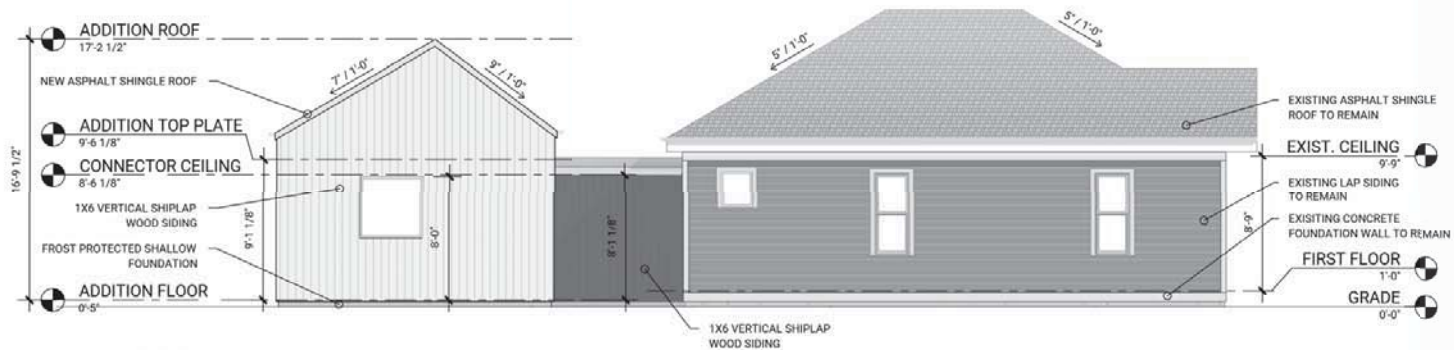
908 WEST HOWE STREET BLOOMINGTON, IN 47403

ADDITION FLOOR PLAN

Date: 06/23/2022 | Scale: 1/8" = 1'-0"



1 **EAST**
1/8" = 1'-0"



2 **WEST**
1/8" = 1'-0"

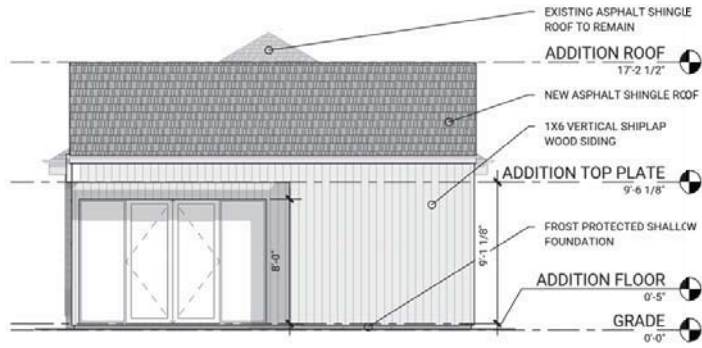
955 Hosbrook Street
Indianapolis, IN 46203
317.983.4886
info@neonarchitecture.com
www.neonarchitecture.com

GARDEN HOUSE

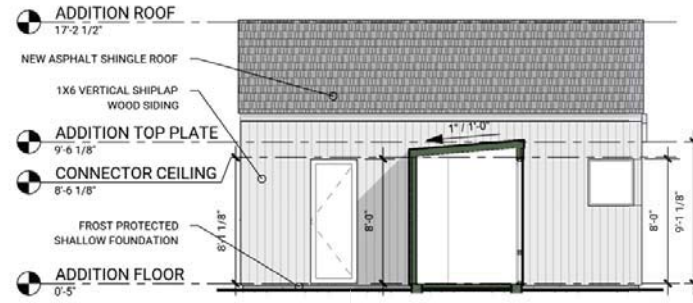
908 WEST HOWE STREET BLOOMINGTON, IN 47403

EXTERIOR ELEVATIONS

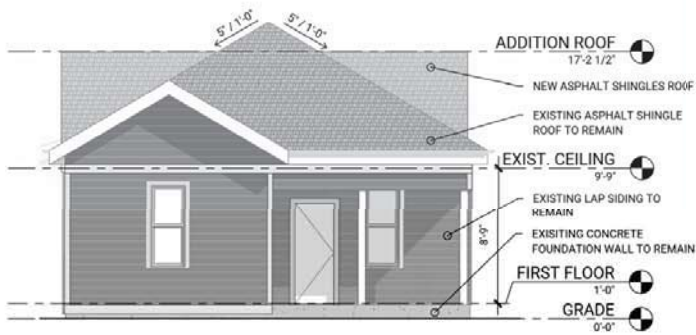
Date: 06/23/2022 | Scale: 1/8" = 1'-0"



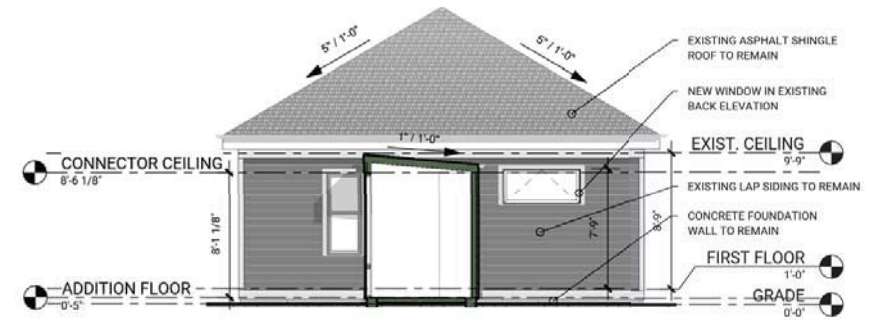
1 **NORTH**
1/8" = 1'-0"



4 **SOUTH - ADDITION**
1/8" = 1'-0"



2 **SOUTH**
1/8" = 1'-0"



3 **NORTH - EXISTING**
1/8" = 1'-0"

955 Hosbrook Street
Indianapolis, IN 46203
317.983.4886
info@neonarchitecture.com
www.neonarchitecture.com

GARDEN HOUSE

908 WEST HOWE STREET BLOOMINGTON, IN 47403

EXTERIOR ELEVATIONS

Date: 06/23/2022 | Scale: 1/8" = 1'-0"

STAFF RECOMMENDATIONS	Address: 642 N Madison St.
COA 22-54	Petitioner: Gretchen Knapp, Dimension Mill
	Parcel: 53-05-33-200-012.004-005
RATING: NOTABLE	Survey: c. 1910/c. 1940, 20th Century Industrial



Background: Showers Brothers Furniture Complex Local Historic District

Request: BUEA Funds - Repairing the light fixture attachments and the roof

Guidelines: Showers Brothers Furniture Complex Local Historic District Guidelines

A. Activities that are not subject to review by the Commission and do not require an application for a Certificate of Appropriateness:

1. Activities associated with routine maintenance or which do not result in any permanent alterations or attached fixtures, including such items as in-kind replacement of broken glass, window washing, and holiday decorations.
2. Alterations which are not visible from any existing or proposed street or way that is open to public travel.

B. Activities that may be approved by Staff (whether submitted for review via an application to the Commission or in consultation with Staff :

1. Maintenance, repair, and in-kind replacement involving no change in design, material, color and outward appearance, including such items as tuck pointing of masonry.
2. Work which is required to comply with Bloomington Municipal Code 8.12.020 Public Safety.

3. Replacement of non-original materials with a design or product previously approved, as for example, windows, lighting fixtures and canopies, when the feature has already been approved by the Commission or is the adopted design used in a successful tax credit project on a comparable Showers Building.

Masonry pg. 9

1. Miscellaneous equipment such as security cameras, door buzzers and the like that require attachment to exterior walls shall be fastened so as to avoid damage to historic fabric. When such equipment is removed, patching with appropriate material will be required.

Exterior lighting pg 13

8. Light fixtures shall be attached so as to avoid damage to historic fabric.

Staff Recommendation to approve COA 22-54 with a recommendation in favor of the BUEA Facade Grant.

- The proposed project would go towards the protection of the historic brick, which is currently being quickly deteriorated by the existing fixtures.
- The completed roof repairs (falls under maintenance that does not require a COA) contributes towards the overall health of the building.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-54

Date Filed: 6/24/2022

Scheduled for Hearing: 7/14/2022

Address of Historic Property: 642 N Madison St

Petitioner's Name: Dimension Mill

Petitioner's Address: 642 N Madison St

Phone Number/e-mail: 812-250-9714 / 812-369-1399 cell gretchen@dimensionmill.org

Owner's Name: City of Bloomington Dept of Redevelopment

Owner's Address: Po Box 100 Bloomington, In 47402

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “**Complete Application**” consists of the following:

1. A legal description of the lot. 013-74430-04 Trades District Amendment 1 Lot 4

2. A description of the nature of the proposed modifications or new construction:

The exterior lights will be unscrewed and re-attached to the brick. Visually, nothing will change. All of the work will take place
behind the lights to support them. A total of 20 lights will be checked and reattached as needed on all sides
of the building.

3. A description of the materials used.

Masonry screws and anchors

Electrical box housing for wires

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



Dimension Mill Inc.
642 N Madison Street
Bloomington, IN 47404

Exterior Light & Roofing Repair

LIGHTS

The Mill has 22 exterior lights that were installed as part of the original building renovation in 2018 (11 on the west/front wall; 5 on the north and east walls; and 3 on the south wall). The lights themselves are fine. However, the bricks to which they are attached are old and soft. In the original installation, the lights were attached to the masonry incorrectly, using the wrong screws and inadequate support behind the fixtures to house the wires. Over time, the screws slowly pull out of the soft brick, and the lights start to sag. Eventually the lights fall off the brick and dangle, held only by hazardous exposed wires (see photos). Special masonry screws, anchors, and fixture boxes are needed behind the lights to provide adequate support.

The cost to have a mason from Golden Hands Construction correctly re-affix 2 existing lights that became hazardous was \$250. There are 20 remaining lights, some of which are already sagging. Because exposed electrical wire is a safety hazard, the attachment of the remaining lights needs to be proactively addressed. It is uncertain if all of the fixtures will need reattaching. If they were, the total cost of the project to reaffix 20 lights, based on the previous cost for 2, would be \$2,500. The three lights on the south side of the building will require work on a two-story ladder and might be more difficult to repair, so the total cost could be a little higher (around \$3,000). Since it's unknown whether any of the lights were correctly installed, until the lights are removed, an exact cost can't be estimated.

ROOFING

The Mill's roof had several leaks that were repaired earlier this year. On March 22, 2022, Steve's Roofing and Sheet Metal made the following repairs:

- Second to last bay, 6 spots were re-welded
- On the flat roof part, an additional 6 spots/corners needed to be re-welded and patched
- Far end (bays 4 & 5) had a 2ft and 1ft spot that needed welded and patched
- Around 42 patches were used

The total bill was \$2,100, which The Mill has paid and requests reimbursement for.

TOTAL REQUEST

- \$250 reimbursement for repair of 2 dangling exterior lights
- \$3,000 for repair of other 20 lights
- \$2,100 reimbursement for roof patches
- **TOTAL: \$5,350**

Pat East
Executive Director
pat@dimensionmill.org
317.965.2155 (c)

Jason Whitney
Chair of the Board
jaswhitn@iu.edu
765.994.0086 (c)

DIMENSIONMILL.ORG
@ dimension_mill
dimension_mill
DimensionMill

SRS

Steve's Roofing & Sheet Metal

SRS Invoice

5108 S Commercial St - Bloomington, IN 47403-8821
Located in Robinson Industrial Park at the Southwest Corner of Victor Pike & South Hwy 37
Phone (812) 824-3006 ~ Fax (812) 824-3009

BILL TO:

**Dimension Mill
642 N Madison
Bloomington, IN 47404**

DATE	3/22/22
INVOICE #	19081
TERMS	Due Upon Rece...

NOTICE: Warranties are NOT Valid until Invoices are Paid In Full.
A Finance Charge based on 24% APR will be charged on all amounts over 10 days.
A \$25.00 Monthly Statement Fee will assessed on all accounts over 30 days.

P.O. #: contract/Patrick East
PROJECT: 3210

DESCRIPTION OF WORK COMPLETED	AMOUNT
Repaired the peak flashing on four affected "Saw Tooth". Repaired the leak at the HVAC unit on the West side. Mailed past due on 6/2/822 e-mailed invoice on 3/22/22	2,100.00
Past Due PLEASE SEND CH IMMEDIATELY	
<i>Thank You! We Appreciate Your Business!</i>	TOTAL AMOUNT DUE \$2,100.00

Tired of Hassling with Gutter Cleaning? Our No-Clog Gutter Shield is a Solid Aluminum Shield that is Custom Fabricated to fit your Existing Gutters to create a Self-Flushing Gutter System that is Guaranteed! This System eliminates seasonal gutter cleaning and protects your home from the damages of overflowing gutters and excessive ice build-up due to clogged gutter systems!
Call to Schedule Your Free Estimate Today!
Our Services also include Certified Velux Skylight & Roof Window Installation, Roof Stain Removal & Treatment, Custom Copper Roofing, and Annual Roof & Gutter Maintenance.

Please detach and return this section with your payment for proper credit. Retain this invoice for your permanent records.

Dimension Mill
642 N Madison
Bloomington, IN 47404

Payment Type: Check Visa Mastercard

Name on Card _____ 128

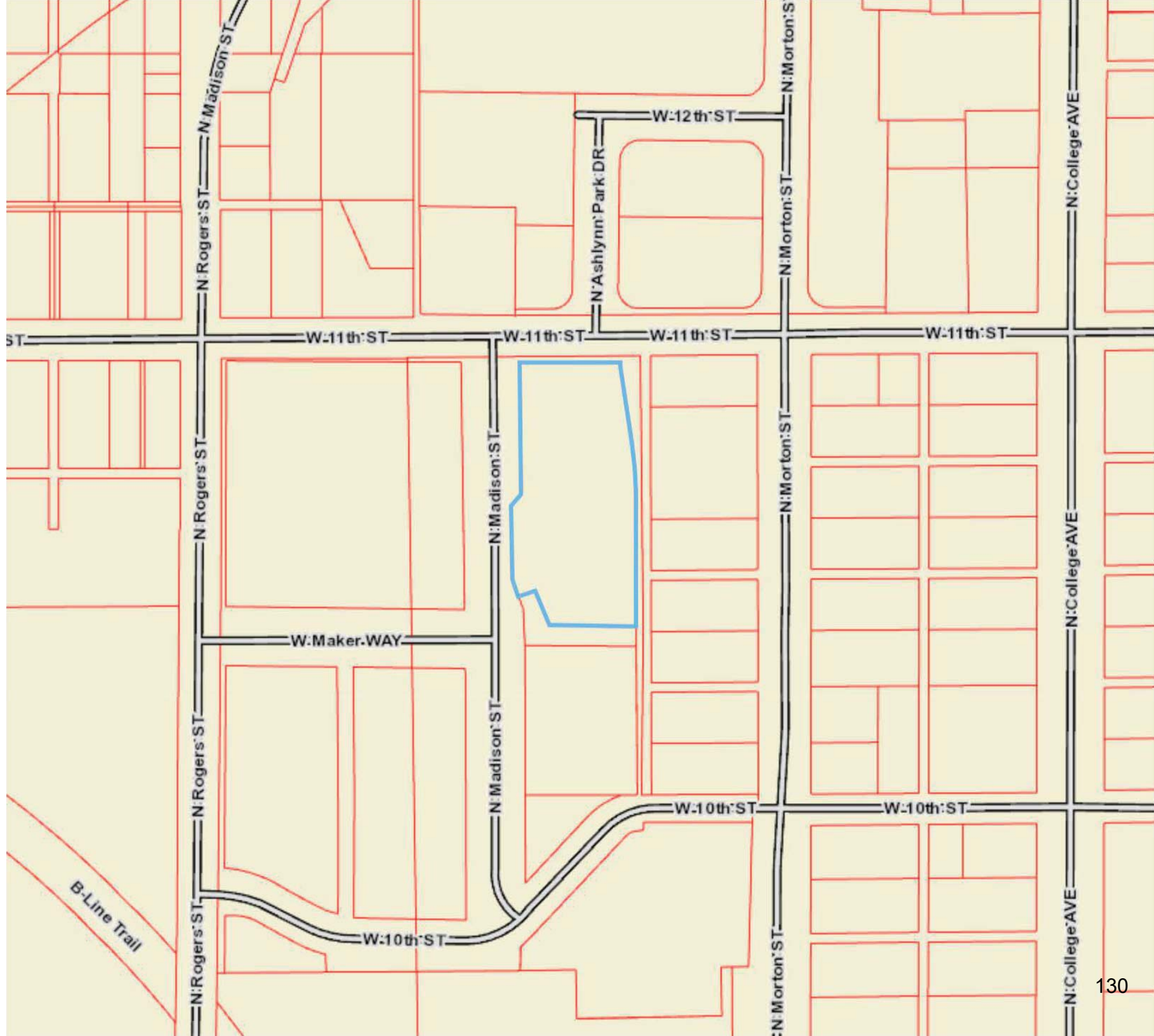
Card No. _____

Signature _____

3/22/22 Total Due

Billing Zip Code _____











STAFF RECOMMENDATIONS	Address: 923 E University St.
COA 22-55	Petitioner: Sara Howell and Terry Hays
	Parcel: 53-08-04-100-045.000-009
RATING: OUTSTANDING	Survey: c. 1920, Tudor Revival



Background: Elm Heights Historic District

Request: Full demolition and reconstruction of accessory structure

Guidelines: Elm Heights Historic District Guidelines

Demolition of all primary, secondary, and accessory structures, including contributing walls and fences:

- The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, or structural instability.
- Upon further consideration by the Commission, the historic or architectural significance of the structure is such that it does not contribute to the historic character of the district.
- The demolition is necessary to allow development that, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
- The structure is accidentally damaged by storm, tornado, fire, flood, or other natural disaster. In this case, it may be rebuilt to its former configuration and

materials without regard to these guidelines if work is commenced within 6 months.

- The structure or property cannot be put to any reasonable economically beneficial use without the approval of the demolition.

Staff Recommendation request additional information in order to recommend approval of COA 22-55

- Staff has been in contact with the owner since last year. The owner has made it known that the garage suffers from both a deteriorated condition and does not meet the needs of the family as it is too small.
- Historic preservation must balance both the integrity of the historic fabric and the useful continual use of the space for its stakeholders.
- An argument can be made for “The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, or structural instability.” However, staff requested that the owner submit additional information regarding the state of deterioration of the structure so that the commissioners could gain a clearer understanding of the current issues with the garage.
- An argument can also be made for the following: “The demolition is necessary to allow development that, in the Commission’s opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.” The garage would be rebuilt in the same form and would maintain the patterning, and retain much of its original material, while providing additional space for contemporary vehicles.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-54

Date Filed: 6/29/2022

Scheduled for Hearing: 7/14/2022

Address of Historic Property: 923 East University St

Petitioner's Name: TERRY HAYS / SARA HOWELL

Petitioner's Address: 923 EAST UNIVERSITY ST.

Phone Number/e-mail: 812-325-8515 or 513-800-3805

Owner's Name: TERRY HAYS / SARA HOWELL

Owner's Address: 923 EAST UNIVERSITY ST

Phone Number/e-mail: info@t-tpetfood.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 015-05500-00 Seminary L 0+99

2. A description of the nature of the proposed modifications or new construction:

See attached

3. A description of the materials used.

Samples of proposed materials have been provided. And the samples match closely to current materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

A description of the nature of the proposed modification or new construction:

We purchased 923 E. University Street in January 2021. We are requesting permission for new construction and rebuilding on the existing garage structure. In the current state of the garage, the brick mortar is deteriorating, the lintel above the garage door is sagging, the floor is deteriorating, and water enters the garage after rains. At the present state this structure is unusable due to both the condition of the garage and the size of the garage. As the garage continues to fall into disrepair the appearance of the garage takes away from the beauty of the well-maintained historical home.

Our proposal is to removal the existing structure and rebuild a new garage structure, attaching the garage to the home in the rear. The structures attachment to the home would not be viewable from the street. The existing garage was built at a time when cars were significantly smaller in size. The new structure would allow the garage to be more appropriately scales to the structure of the home and allow the structure to fit a modern-day vehicle.

This new construction will be undertaken with following steps to preserve the historical integrity of the home:

1. Salvage the original bricks and use the original bricks on the street facing portion of the garage. Remaining construction will be completed with a brick that closely matches the existing brick (two samples have been provided).
2. Utilizing a period specific garage door.
3. Reusing the existing fixtures
4. Utilize details from the home architecture on the rebuild of the garage.

Additional details for consideration when modifying the construction of this garage: Shortly after moving into the home, we discovered that termites have been present in the existing deck and rear room addition. The termites have been treated, but due to the length of time they inhabited the deck and room addition, there is existing structural damaged. We are proposing the removal of the existing deck, which buds up to the garage structure at the time of the garage construction. We are proposing replacement of the deck with composite material.

Currently the neighbor to the east of and west of our home have beautiful fencing that allows their flowers and shrubs to be shielded from the deer population. We are proposing the installation of a fence when we undertake the garage and deck reconstruction. This fence would attach to the existing east and west fence structures with written approval from both neighbors (approval in attached documents).

October 9, 2021

To: Terry Hays

923 E. University St.

Bloomington, IN 47401

Terry –

Katie and I have reviewed the drawings of your proposed enlargement of the garage standing northeast of your lovely house. Given the minor increase of garage's size and your plans to match the existing brick and architectural style as well as the roofing material of you house, we support your proposal for the garage.

Warm regards,



Charles C. Matson



Katherine C. Matson

919 E. University St.

Bloomington, IN 47401

(812) 606-8045

To whom it May Concern

City of Bloomington

November 9 2021

My next-door neighbors, Mr. Terry Hays and Ms. Sara Howell, intend to demolish the one-car garage that stands on the east side of their property. The current one-car garage was repaired about two years ago, but the work was poorly done (several colors of bricks were used and the color of the mortar is not consistent). It is still not in good condition.

The proposed two-car garage has been designed by an architect. The style of the original structure will be retained (style of doors, for example) and the bricks will match those used in the main house.

I believe that what Mr. Hays and Ms. Howell propose is entirely consistent with the current style of the house.

I support this plan.

Sincerely yours,



Maurice Garnier

925 E. University St.

Bloomington IN 47401

812 3699216

A GARAGE ADDITION FOR:

TERRY HAYES / SARA HOWELL

923 E. UNIVERSITY ST.
BLOOMINGTON, INDIANA 47401

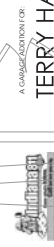
JUNE 2022

PARCEL #

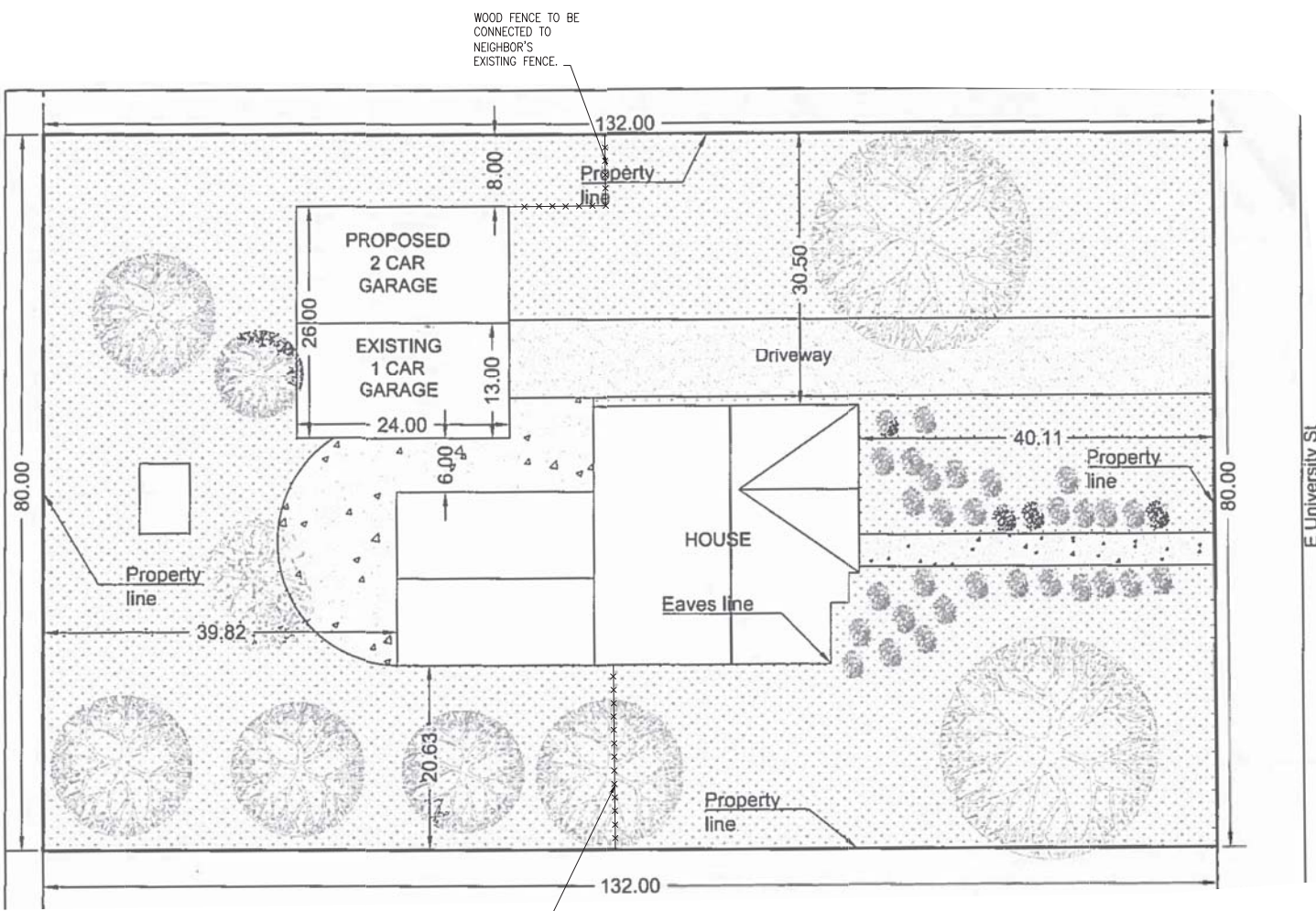
53-08-04-100-045.000-009

SEAL

ARCHITECT:



THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED SEPTEMBER 1992 AND AS PART OF ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION HOLDS BUT IS NOT LIMITED TO THE ORIGINAL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNLESS BOTH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR INFORMATION, OR LIBRARY FEEBLE IN THE COURSE OF CONSTRUCTION OR BUILDING BEING ORDERED BY THE ARCHITECTURE & DESIGN INC.



SITE PLAN DEMOLITION KEYNOTES:
 1 xxx
 2 xxx

UTILITY NOTES:

SITE LAYOUT NOTES:

- ALL DIMENSIONS SHOWN ARE MIL.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF FRAMING (UNLESS NOTED OTHERWISE).
- CONCRETE PITS NEED TO BE CONNECTED TO AN UNDERGROUND STORM WATER SYSTEM OR DRAIN TO DAYLIGHT IF ALLOWED.

GENERAL SITE NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING & VERIFYING THAT ALL PERMITS & APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, & STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOC. & INVERT ELEVATIONS OF EXIST. SEWERS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL INCLUDE IN THEIR BID PROPOSAL COSTS FOR CUTTING & PATCHING AS NECESSARY TO COMPLETELY INSTALL THE NEW WORK INDICATED.
- CONTRACTOR SHALL INCLUDE ALL TAP FEES & APPLICATION FEES IN THEIR BID PROPOSAL AS NECESSARY TO COMPLETELY INSTALL THE WORK INDICATED.
- CONTRACTOR WILL COORDINATE EXACT UTILITY LOCATIONS W/ THE OWNER & LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR IS TO MAINTAIN A COMPLETE & OPERABLE UTILITY SYSTEM. UTILIZE PERMANENT A/OR TEMPORARY ROUTINGS TO ACCOMPLISH & MAINTAIN A FUNCTIONAL SYSTEM AT ALL TIMES.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK W/ OWNER REPRESENTATIVES & ADJUST HIS SCHEDULE TO OWNER REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE REMOVAL AND/OR RELOCATION OF IRRIGATION LINES & SPRINKLER HEADS W/ OWNER IF APPLICABLE.
- COORDINATE STORAGE & STAGING AREAS W/ OWNER.
- LOCAL REGULATIONS MUST BE REVIEWED TO INSURE THAT ALL PLAN REQUIREMENTS ARE MET.
- ALL APPLICABLE STATE (I.D.T.) & LOCAL (PUBLIC WORKS DEPT.) CONSTRUCTION STANDARDS & SPECIFICATIONS SHALL BE USED AS REF'D. FOR SITE SPECIFIC ISSUES.
- ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.

1 ARCHITECTURAL SITE PLAN
 NOT TO SCALE



REVISIONS

A NEW ATTACHED GARAGE FOR:
TERRY HAYS
 923 E UNIVERSITY ST.
 BLOOMINGTON, INDIANA 47401

PROJECT NO. 0322
DATE JUNE 1, 2022
DRAWN BY T. YOUNGMAN
CHECKED BY D. BRUCE

SHEET NAME
 EXISTING AND PROPOSED SITE PLAN
SHEET NO.

AS100

I:\CURRENT\2022\Residential\AS100 - Existing Site Plan.dwg, AS100_6/7/2022_9:45:50 AM

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED (DECEMBER 1990) AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION PROVIDED BY IT IS NOT LIMITED TO THE ORIGINAL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN, UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR LINE REPRESENTATIONS, OR LIKELY RESULT IN THE CREATION OF CONSTRUCTION OR BUILDINGS BEING CONSIDERED UNLAWFUL INFRINGEMENTS TO THEIR BRUCE ARCHITECTURE & DESIGN INC.



A EXIST. CONDITIONS PHOTO
NTS



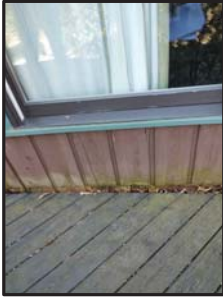
B EXIST. CONDITIONS PHOTO
NTS



C EXIST. CONDITIONS PHOTO
NTS



D EXIST. CONDITIONS PHOTO
NTS



F EXIST. CONDITIONS PHOTO
NTS



G EXIST. CONDITIONS PHOTO
NTS



H EXIST. CONDITIONS PHOTO
NTS



J EXIST. CONDITIONS PHOTO
NTS



K EXIST. CONDITIONS PHOTO
NTS



L EXIST. CONDITIONS PHOTO
NTS



M EXIST. CONDITIONS PHOTO
NTS



N EXIST. CONDITIONS PHOTO
NTS



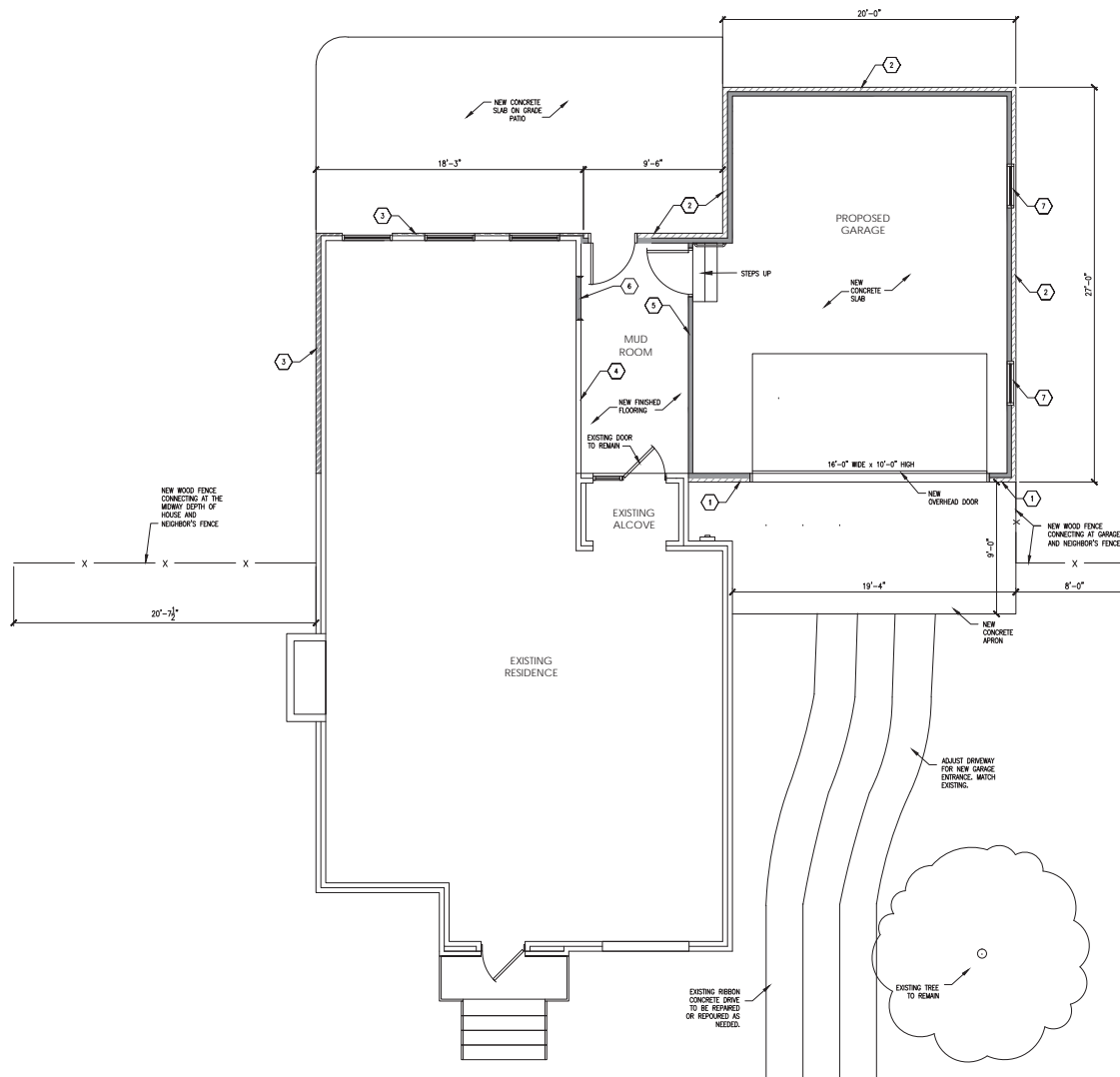
△ REVISIONS

A NEW ATTACHED GARAGE FOR:
TERRY HAYS
923 E UNIVERSITY ST., 47401
BLOOMINGTON, INDIANA 47401

PROJECT NO.	0322
DATE	JUNE 1, 2022
DRAWN BY	T. YOUNGMAN
CHECKED BY	D. BRUCE
SHEET NAME	EXISTING BUILDING PHOTOGRAPHS
SHEET NO.	AD801

AD801

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED (OCTOBER 1990) AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE ORIGINAL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN UNDER SUCH PROTECTION. UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRESENTATIONS, OR LIKELY RESULT IN THE CESSION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR FINANCIAL COMPENSATION TO THOR BRUCE ARCHITECTURE & DESIGN INC.



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

- FLOOR PLAN KEYNOTES:**
- 1 REINSTALL EXISTING BRICK SALVAGED FROM PREVIOUS GARAGE ON NEW GARAGE FACADE.
 - 2 NEW BRICK TO MATCH EXISTING BRICK.
 - 3 REMOVE EXISTING T1-11 WOOD SIDING AND PROPERLY REPLACE WITH 1/2" X 6" FIBER CEMENT SIDING.
 - 4 REMOVE EXISTING T1-11 WOOD SIDING WHERE NEEDED AND PROPERLY REPLACE WITH GYPSUM BOARD.
 - 5 INSTALL 1" GYPSUM BOARD.
 - 6 REMOVE EXTERIOR DOOR AND FRAME. INFILL OPENING.
 - 7 NEW WINDOWS TO MATCH STYLE OF EXISTING WINDOWS ON HOUSE.

REVISIONS

NO.	DESCRIPTION

- GENERAL ARCHITECTURAL NOTES:**
- ALL WORK IS TO BE DONE IN ACCORDANCE W/ ALL GOVERNING CODES & REGULATING AGENCIES. THIS PROJECT IS DESIGNED & DOCUMENTED PER THE ARCHITECT'S INTERPRETATION OF THE CODE REQUIREMENTS. VARIOUS GOVERNING AGENCIES SOMEHOW INTERPRET THE CODES, LAWS, & ORDINANCES DIFFERENTIALLY. THESE AGENCIES HAVE JURISDICTION TO REQUIRE CHANGES IN DESIGN & CONSTRUCTION INCLUDING THOSE AGENCIES INVOLVED WITH THE "AMERICANS W/ DISABILITIES ACT".
 - THE ARCHITECTURAL PLANS SHOWN HEREIN MAY NOT CORRESPOND TO PLANS FINALLY APPROVED BY THE ARCHITECT, OWNER, OR NECESSARY AGENCIES. IT IS THE RESPONSIBILITY OF THE PARTY OR PARTIES RELYING ON THESE PLANS TO VERIFY & CONFIRM SAID ARCHITECTURAL PRIOR TO CONSTRUCTION.
 - ALL STL. STUDS TO BE BRACED PER M.I.S. LIMIT HT. (L/240)

- GENERAL FLOOR PLAN NOTES:**
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
 - ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
 - FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
 - ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
 - CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS I.E. GYPSUM BOARD & MASONRY.
 - ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
 - ANY OPERABLE WINDOWS W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
 - IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
 - SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.

SYMBOLS LEGEND:

	DENOTES NEW FULL HT. WALLS		DENOTES EXISTING WALLS TO REMAIN WHEN APPLICABLE
	DENOTES DETAIL #		DENOTES DETAIL INDICATOR
	DENOTES SECTION INDICATOR		DENOTES SPACE INDICATOR
	DENOTES ELEVATION #		DENOTES SPACE NAME
	DENOTES ELEVATION INDICATOR		DENOTES SPACE AREA
	DENOTES ELEVATION INDICATOR		DENOTES SPACE IDENTIFIER
	DENOTES NEW DOOR & FRAME SYMBOL		D.S. DOWNPOUNT LOCATION
	EXTERIOR WINDOW #		F.D. FLOOR DRAIN
	REVISION NOTE		FLOOR PLAN KEYNOTE



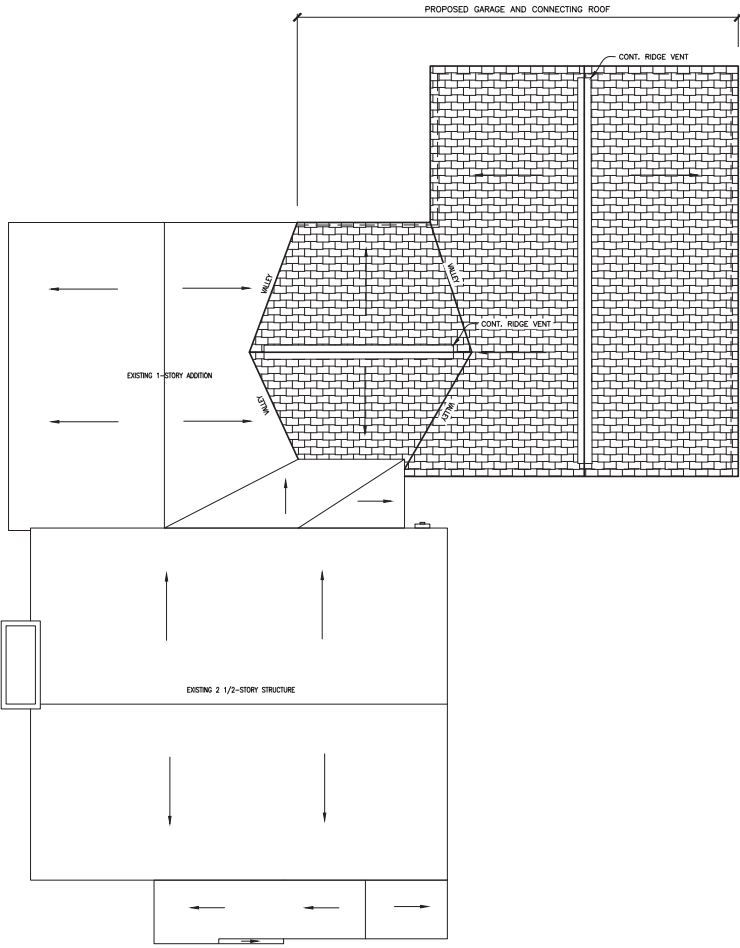
REVISIONS

A NEW ATTACHED GARAGE FOR:
TERRY HAYS
923 E UNIVERSITY ST.
BLOOMINGTON, INDIANA 47401

PROJECT NO. 0322
DATE: JUNE 1, 2022
DRAWN BY: W. WEHREMAN
CHECKED BY: D. BRUCE
SHEET NAME: PROPOSED FLOOR PLANS

SHEET NO. **AE101**

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND PARTIAL ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE ORIGINAL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN UNDER SUCH PROTECTION. UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRODUCTIONS, OR LEGALLY RESULT IN THE CREATION OF CONSTRUCTION OR BUILDING FROM THESE PLANS OR ANY REPRODUCTION THEREOF SHALL BE CONSIDERED A VIOLATION OF THE COPYRIGHT PROTECTION ACT OF 1990 AND THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

ROOF PLAN KEYNOTES:

REVISIONS

TYPICAL ROOF ABBREVIATIONS:

AC	AIR CONDENSING UNIT
CS	DOWNSPOUT
EF	EXHAUST FAN
EL	EXHAUST LOUVER
OFD	OVERFLOW ROOF DRAIN
RD	ROOF DRAIN
RS	ROOF SCUTTLE
SB	SKYSHIELD
SC	SCUPPER
TC	TRASH CHUTE WENT

TYPICAL ROOF ASSEMBLY:

- 24x36 ASPHALT/FIBERGLASS SHINGLES, FASTENED W/ ONLY ROOFING NAILS AS PER SHINGLE SPEC. NO. STEELCL.
- 15# ROOFING FELT LAPPED AS PER MFG'S. SPEC'S.
- WATER & ICE SHIELD MEMBRANE.
- 5/8" OSB OR GOK PLYWOOD ROOF DECKING W/ H-CLIPS @ ALL SPANNING BUTT JOINTS @ MIDPOINTS BETWEEN ROOF FRAMING SUPPORTS.

GENERAL ROOF PLAN NOTES:

- ALL WORK SHALL BE IN ACCORDANCE W/ THE BEST QUALITY STANDARDS OF THE TRADE & SHALL CONFORM W/ THE LATEST EDITION OF ALL FEDERAL, STATE, & LOCAL CODES & STANDARDS. THE SAME ARE MADE A PART OF THESE CONTRACT DOCUMENTS, AS REFERRED HEREIN.
- CONTRACT DOCUMENTS CONSIST OF BOTH THE PROJECT MANUAL & ADDENDUMS, & BOTH ARE INTENDED TO BE COMPLEMENTARY. ANYTHING APPEARING ON EITHER MUST BE EXECUTED THE SAME AS IF SHOWN ON BOTH.
- CONSTRUCTION DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE, HOWEVER SYSTEMS HAVE BE SHOWN ENGINEERED & IN SOME CASES ENLARGED FOR CLARITY.
- CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM THE BLOCK & ROOF DAILY. STORE VOLATILE OR FLAMMABLE LIQUIDS IN UL LISTED FIRE CABINETS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF ALL STORED MATERIALS & EQUIP. INSIDE OR OUTSIDE THE BLDG.
- CONTRACTOR SHALL FURNISH NECESSARY TEMPORARY PROTECTION FROM WEATHER TO PROTECT INTERIOR OF BLDG FROM ELEMENTS OF WEATHER @ ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC PROTECTION DURING CONSTRUCTION. AREAS OF WORK & TRAFFIC BY WALKING TRAILS SHALL BE PROTECTED BY TEMPORARY WALKING PADS.
- PROVIDE NO BLOCKING EQ. IN THICKNESS TO INSUL. SYSTEM @ ROOF PERIMETER & AROUND ALL ROOF PENETRATIONS. ANALYZE PER SECTION 1-49 OF THE FM GLOBAL LOSS PREVENTION GUIDE.
- EXTEND ALL PLUMBING VENTS TO PROVIDE A MIN. OF 12" OF HT. FROM TOP OF INSUL. ALL FITTINGS TO BE AIR & WATER TIGHT. SEE PLUMBING PLANS.
- ROOF INSUL. SADDLES & CROCKETS ARE ENGINEERED. ROOF INSUL. MPTS. SHALL DESIGN & SIZE THESE PER ROOF MEMBRANE MFG'S RECOMMENDATIONS. CROCKETS & SADDLES TO BE A MIN. WIDTH OF 1/2 THE SADDLE LENGTH.
- PROVIDE SADDLES/CROCKETS AROUND ALL NEW ROOF TOP EQUIPMENT.
- PROVIDE INTERLAP INSUL. WHERE REQD. TO TRANSITION FROM ONE INSUL. HT. TO ANOTHER. MATCH ALL INSUL. AS REQD. TO ACCOMMODATE SURFACE WELD, CORNER, EXTENDERS, OFFSETS & OTHER PROJECTIONS EXTENDING ABOVE THE SURFACE OF THE DECK.
- PERIMETER EDGE HT. TO COMPLY WITH AND/SPR. E-1 FM GLOBAL 1-49.
- SEE MECHANICAL, ELECTRICAL, & PLUMBING (MEP) SHEETS FOR ROOF TOP EQUIP.

TABOR BRUCE ARCHITECTURE & DESIGN INC.
1101 S. WALNUT STREET - BLOOMINGTON, IN 47401
TELEPHONE: 317.333.6289 WEB: WWW.TABORBRUCE.COM

REVISIONS

A NEW ATTACHED GARAGE FOR:
TERRY HAYS
923 E UNIVERSITY ST.
BLOOMINGTON, INDIANA 47401

PROJECT NO. 0322
DATE May, 2022
DRAWN BY
CHECKED BY D. BRUCE
SHEET NAME

ROOF PLAN

SHEET NO. AE121

I:\CURRENT\2022\Residential\AE121 - Terry Hays Garage\Design\Construction\AE121_Roof Plan.dwg, AE121_6/1/2022 3:00:47 PM

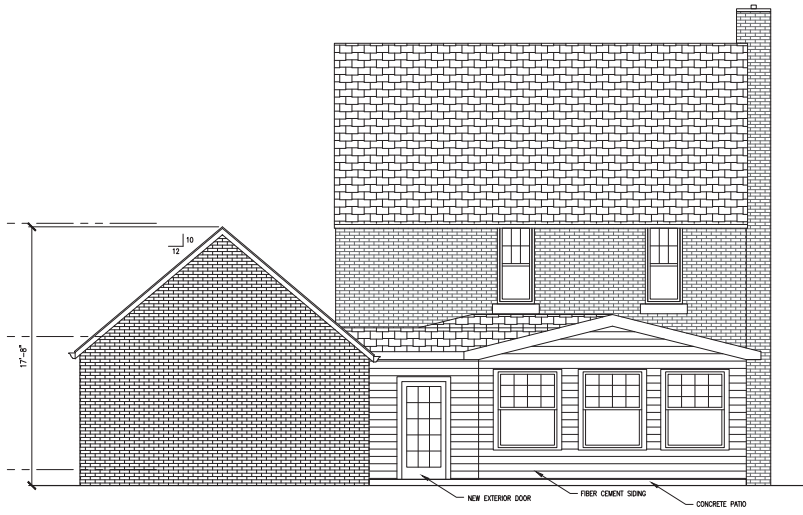
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND PARTIAL ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE ORIGINAL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRODUCTIONS, OR LIKELY RESULT IN THE CREATION OF CONSTRUCTION OR BUILDING FROM THESE PLANS OR ANY PART THEREOF, IS PROHIBITED BY LAW. ANY REPRODUCTION OR USE OF THESE PLANS, WORK OR HOME REPRODUCTIONS, OR LIKELY RESULT IN THE CREATION OF CONSTRUCTION OR BUILDING FROM THESE PLANS OR ANY PART THEREOF, IS PROHIBITED BY LAW. ANY REPRODUCTION OR USE OF THESE PLANS, WORK OR HOME REPRODUCTIONS, OR LIKELY RESULT IN THE CREATION OF CONSTRUCTION OR BUILDING FROM THESE PLANS OR ANY PART THEREOF, IS PROHIBITED BY LAW.



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



REVISIONS

A NEW ATTACHED GARAGE FOR:
TERRY HAYS
923 E UNIVERSITY ST.
BLOOMINGTON, INDIANA 47401

PROJECT NO.	0322
DATE	JUNE 1, 2022
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	EXTERIOR ELEVATIONS
SHEET NO.	

AE201

I:\CURRENT\2022\residential\vx22 - Terry Hays Garage\Design\Construction\AE201 - Elevations.dwg, AE201, 6/2/2022, 3:16:48 PM

STAFF RECOMMENDATIONS	Address: 123 S College Ave.
COA 22-56	Petitioner: Nate Trueblood, Everywhere Signs
	Parcel: 53-05-33-310-022.000-005
RATING: NON-CONTRIBUTING	Survey: c. 1985



Background: Courthouse Square Historic District

Request: New Signage (three new signs)

Guidelines: Courthouse Square Historic District Guidelines Pg. 22

Signage, General

8. Care should be taken with the attachment of signage to historic buildings.
9. The scale of signage should be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings.
10. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.
11. Use of materials such as wood, stone, iron, steel, glass, and aluminum is encouraged as historically appropriate to the building.
12. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without additional drilling into stone, brick, or even mortar. If signage or signage parts must be attached directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick. It is encouraged that signage be placed where signage has historically been located.

13. Signage which is out of scale, boxy or detracts from the historic facade is discouraged.

14. Care should be taken to conceal the mechanics of any kind from the public right of way.

Wall Signs

4. Building-mounted signage should be of a scale and design so as not to compete with the building's historic character.

5. Wall signs should be located above storefront windows and below second story windows.

6. Signs in other locations will be reviewed on a case-by-case basis.

Staff Recommends Approval of COA 22-55 with the condition that sign C be eliminated

- This is a Non-Contributing structure and “will have less restrictive review of existing exterior building changes (pg. 6)”.
- However, new signage visually impacts the cohesiveness of the entire historic district, whether the building is contributing or not.
- Signs B and D cover brick and are relatively large, although the building is not historic.
- Sign C breaks with the patterning in the historic district.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-56

Date Filed: June 29, 2022

Scheduled for Hearing: July 14, 2022

Address of Historic Property: 123 S. College Ave, Bloomington IN 47404

Petitioner's Name: NATE TRUEBLOOD EVERYWHERE Signs

Petitioner's Address: 2630 N. WALNUT ST. Bloomington IN 47404

Phone Number/e-mail: 812-323-1471 EVERYWHERE signs@gmail.com

Owner's Name: The Peoples STATE BANK

Owner's Address: PO BOX 128 Ellettsville, IN 47429

Phone Number/e-mail: 812-323-3221

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 013-05430-00 ORIGINAL PLAT LOT 89 & PART lot 89 & PART VACATED Street

2. A description of the nature of the proposed modifications or new construction:
lit Signs

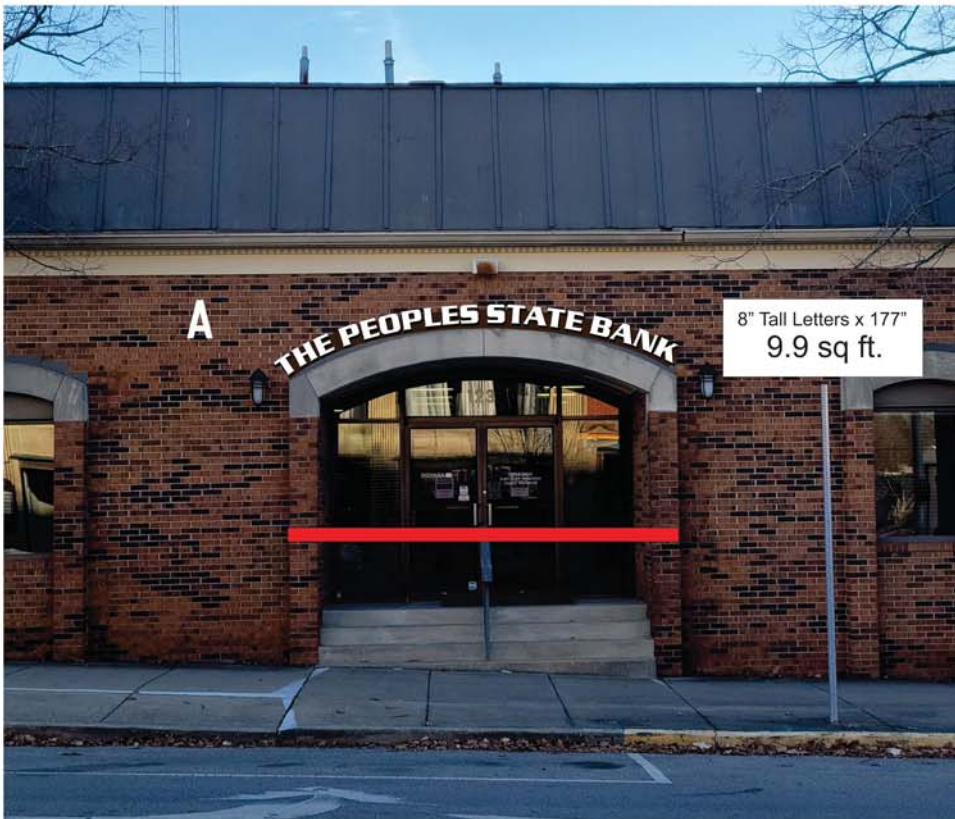
3. A description of the materials used.
ALUMINUM, ACRYLIC, LED lighting

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

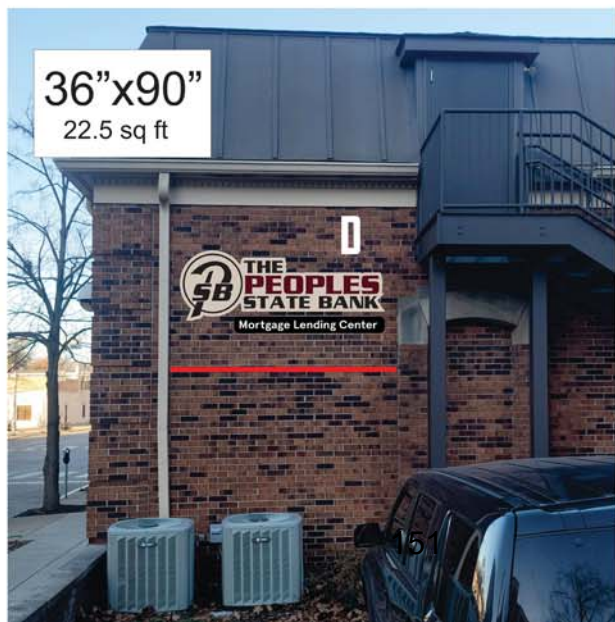
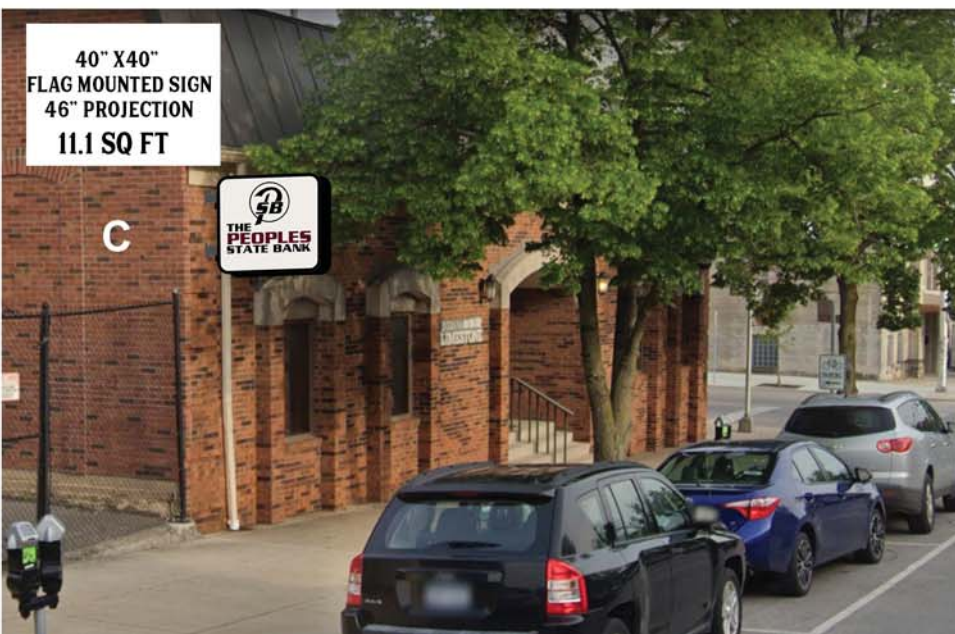
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



93.5 SQ FT



STAFF RECOMMENDATIONS	Address: 811 W Kirkwood Ave.
COA 22-56 (and 22-43 Appeal)	Petitioner: Roy Campbell
	Parcel: 53-05-32-411-018.000-005
RATING: CONTRIBUTING	Survey: c. 1890, Pyramid Roof Cottage



Background: Greater Prospect Hill Historic District

Request: Changing roof materials from asphalt shingle to metal standing seam and appealing the siding in order to allow for textured vinyl siding.

Guidelines: Greater Prospect Hill Historic District Guidelines

Pg. 25 Changes to the Public Way Facade

1. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
2. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Staff Recommendation approve of COA 22-56 and the appeal fro 22-43

- The guidelines do not reference roofing materials and the neighborhood construction subcommittee supports the alternative roof change.
- Textured siding is not recommended in this historic district, as reflected in the approved Certificate of Appropriateness. However, the petitioner has provided letters signed by five different vendors attesting to the difficulty in finding smooth vinyl siding for this project.
- The historic district construction subcommittee reviewed the documents and supports this change.

To The Historic Preservation Commission

From Roy Campbell

Re 811 West Kirkwood Ave

I request from the Commission clarification of the replacement of the roof with a metal roof.

It will likely be a mid-gray color.

To The Historic Preservation Commission

From Roy Campbell

Re 811 W Kirkwood Ave and D 4 vinyl siding.

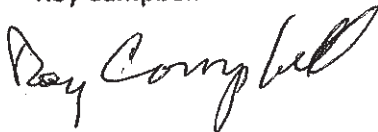
I am repairing a burnt home in the Prospect Hill Historic District with standard D 4 vinyl siding. The Historic Preservation Commission is requiring me to use SMOOTH D 4 vinyl siding.

I have talked with *Menards* and their suppliers *APTECO*, *Timbercrest*,
, . They do not carry a smooth D 4 vinyl siding. The brush or light wood grain textures are the only finishes available in stock or special order.

In the 800 and 900 blocks of West Kirkwood Ave , 9 out of the 18 homes have D 4 or D 5 vinyl siding with the brush or wood grain texture siding.

I request the Commission allow me to use the standard D 4 vinyl siding on the house at 811 W Kirkwood Ave.

Roy Campbell



Commercial Supplier



To The Historic Preservation Commission

From Roy Campbell

Re 811 W Kirkwood Ave and D 4 vinyl siding.

I am repairing a burnt home in the Prospect Hill Historic District with standard D 4 vinyl siding. The Historic Preservation Commission is requiring me to use SMOOTH D 4 vinyl siding.

I have talked with *ABC Supply* and their suppliers *Certain Teed* ,
 , . They do not carry a smooth D 4 vinyl siding. The brush or light wood grain textures are the only finishes available in stock or special order.

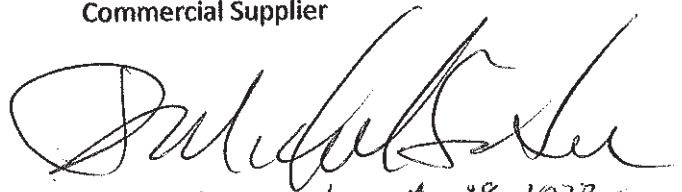
In the 800 and 900 blocks of West Kirkwood Ave , 9 out of the 18 homes have D 4 or D 5 vinyl siding with the brush or wood grain texture siding.

I request the Commission allow me to use the standard D 4 vinyl siding on the house at 811 W Kirkwood Ave.

Roy Campbell



Commercial Supplier



ABC Supply 10-28-2022

To The Historic Preservation Commission

From Roy Campbell

Re 811 W Kirkwood Ave and D 4 vinyl siding.

I am repairing a burnt home in the Prospect Hill Historic District with standard D 4 vinyl siding. The Historic Preservation Commission is requiring me to use SMOOTH D 4 vinyl siding.

I have talked with *Am Roofing Supply* and their suppliers *Certain, Teed*,
, . They do not carry a smooth D 4 vinyl siding. The brush or light wood grain textures are the only finishes available in stock or special order.

In the 800 and 900 blocks of West Kirkwood Ave , 9 out of the 18 homes have D 4 or D 5 vinyl siding with the brush or wood grain texture siding.

I request the Commission allow me to use the standard D 4 vinyl siding on the house at 811 W Kirkwood Ave.

Roy Campbell



Commercial Supplier



To The Historic Preservation Commission

From Roy Campbell

Re 811 W Kirkwood Ave and D 4 vinyl siding.

I am repairing a burnt home in the Prospect Hill Historic District with standard D 4 vinyl siding. The Historic Preservation Commission is requiring me to use SMOOTH D 4 vinyl siding.

I have talked with Reese Wholesale and their suppliers Varsityform Royal Building , . They do not carry a smooth D 4 vinyl siding. The brush or light wood grain textures are the only finishes available in stock or special order.

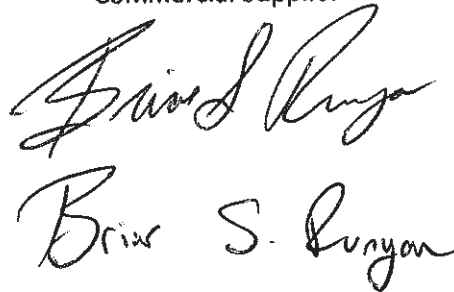
In the 800 and 900 blocks of West Kirkwood Ave , 9 out of the 18 homes have D 4 or D 5 vinyl siding with the brush or wood grain texture siding.

I request the Commission allow me to use the standard D 4 vinyl siding on the house at 811 W Kirkwood Ave.

Roy Campbell



Commercial Supplier



Brian S. Ruyon

To The Historic Preservation Commission

From Roy Campbell

Re 811 W Kirkwood Ave and D 4 vinyl siding.

I am repairing a burnt home in the Prospect Hill Historic District with standard D 4 vinyl siding. The Historic Preservation Commission is requiring me to use SMOOTH D 4 vinyl siding.

I have talked with *Lewis* and their suppliers *Georgia Pacific*,
, .They do not carry a smooth D 4 vinyl siding. The brush or light wood grain textures are the only finishes available in stock or special order.

In the 800 and 900 blocks of West Kirkwood Ave , 9 out of the 18 homes have D 4 or D 5 vinyl siding with the brush or wood grain texture siding.

I request the Commission allow me to use the standard D 4 vinyl siding on the house at 811 W Kirkwood Ave.

Roy Campbell



Commercial Supplier



MA 08

J090120201955 3911342 MainSt D4

e r S

main 08

3090120201955 3911342 MainSt D4



Al
(C



Ch
(C



He



Herit

Perm

MainStreet™



Autumn Red (Deluxe Color) **Sable Brown** (Deluxe Color) **Hearthstone** (Deluxe Color) **Spruce** (Deluxe Color) **Forest** (Deluxe Color) **Pacific Blue** (Deluxe Color) **Flagstone** (Deluxe Color)



Charcoal Gray (Deluxe Color) **Castle Stone** **Granite Gray** **Sterling Gray** **Oxford Blue** **Seagrass** **Cypress**



Herringbone **Sandstone Beige** **Desert Tan** **Natural Clay** **Savannah Wicker** **Light Maple** **Buckskin**



Heritage Cream **Autumn Yellow** **Snow** **Colonial White**

Triple 3" Brushed Clapboard available in: Colonial White, Desert Tan, Heritage Cream, Light Maple, Natural Clay, Oxford Blue, Sandstone Beige, Savannah Wicker, Snow and Sterling Gray.

Single 6-1/2" Brushed Beaded available in: Colonial White, Cypress, Desert Tan, Granite Gray, Natural Clay, Sandstone Beige, Savannah Wicker and Sterling Gray.

Single 8" Woodgrain Clapboard available in Colonial White only.

All other Profiles available in all colors.



Color performance, impact resistance and durability are assured through our exclusive PermaColor™ System and superior micro-ingredients and state-of-the-art pigment chemistry. CertainTeed guarantees Lifetime Fade Protection on our vinyl siding. See warranty for complete details.



Start exploring preset color combinations and create your own custom exterior with on-line, interactive tools, designed to help you "Visualize Your Home" Start now at certainteed.com/colortools

Colors shown throughout are as accurate as printing methods will permit. Please see product samples before making final selection.

STAFF RECOMMENDATIONS	Address: 508 W 3rd St.
COA 22-58	Petitioner: Richard M. Judd
	Parcel: 53-05-32-413-016.000-005
RATING: CONTRIBUTING	Survey: c. 1895, Gabled Ell



Background: Prospect Hill Historic District

Request: New landing and staircase

Guidelines: Prospect Hill Historic District Guidelines

Pgs. 21-22

Additions should be compatible to the original building in height, scale, mass,

NEW CONSTRUCTION

22

proportion, and materials. Roof form and style should be similar to those found in the neighborhood. Design guidelines for new construction are applicable for additions.

For Your Information

It is desirable, when constructing an addition to an historic building, to retain as much of the existing building fabric as

possible so that future removal of the addition could be achieved without significant damage to the original structure

Inappropriate

Avoid additions that add new dimensions or radically change the original scale and architectural character of a building.

BLENDING NEW AND OLD

Appropriate

Contemporary design and architectural expression in new construction which follow the

preceding guidelines are appropriate and strongly encouraged.

Inappropriate

Do not seek to reproduce historic styles with the intent of creating a false impression of the building's age.

Staff Recommends approval of COA 22-58

- The proposed landing and staircase would barely be visible from the right of ways.
- The new construction would be attached to an existing deck and would not touch the historic structure.
- The proposed landing and staircase would use the same materials as the existing deck.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 22-57 COA 22-58
Date Filed: 6/29³⁰/2022 6/30/2022
Scheduled for Hearing: 7/14/2022 7/14/2022

Address of Historic Property: 508 W. 3rd Street, Bloomington IN 47404
Petitioner's Name: Richard M. Judd
Petitioner's Address: Same "Owner"
Phone Number/e-mail: 916-704-3364, email Richard 4 Veterans @gmail.com
Owner's Name: Richard & Linda Judd
Owner's Address: Same "Owners"
Phone Number/e-mail: same as above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

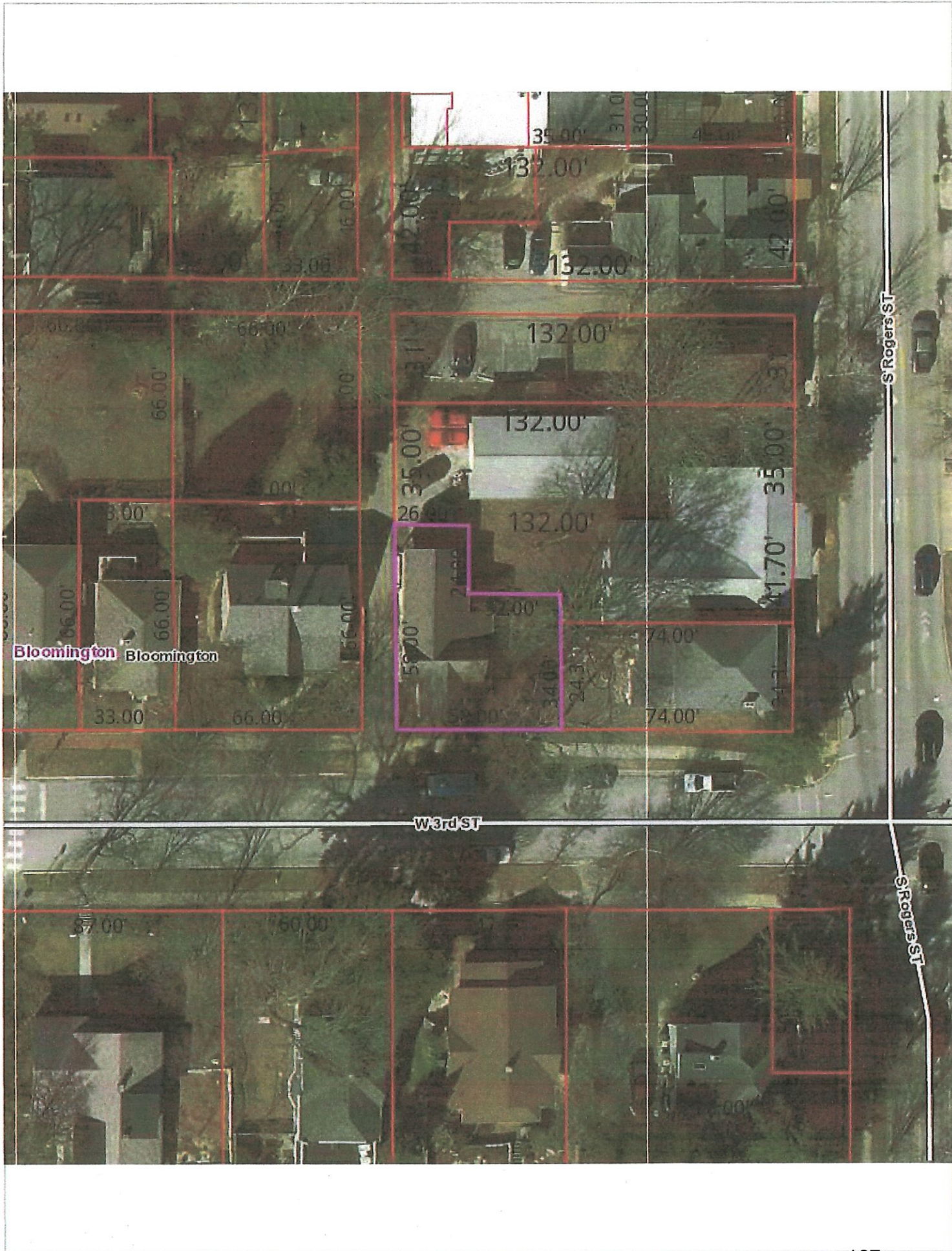
Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. Parcel# 53-05-32-413-016000-005
2. A description of the nature of the proposed modifications or new construction:
Add on Basement steps from East (Rear) Deck to Basement. For Rear Exit in case of Emergency Weather for Safety.
Note: Variances previous approved Case # V-22-13, August 27, 2015 - Plan mod. Sied from stair-down on North Side to East Side - only (See drawing with modification)
3. A description of the materials used.
Same as previously used on existing Decks & Railing to be constructed by Chris Valiant.

R. DeLuca
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



Bloomington Bloomington

Ward St

S Rogers St

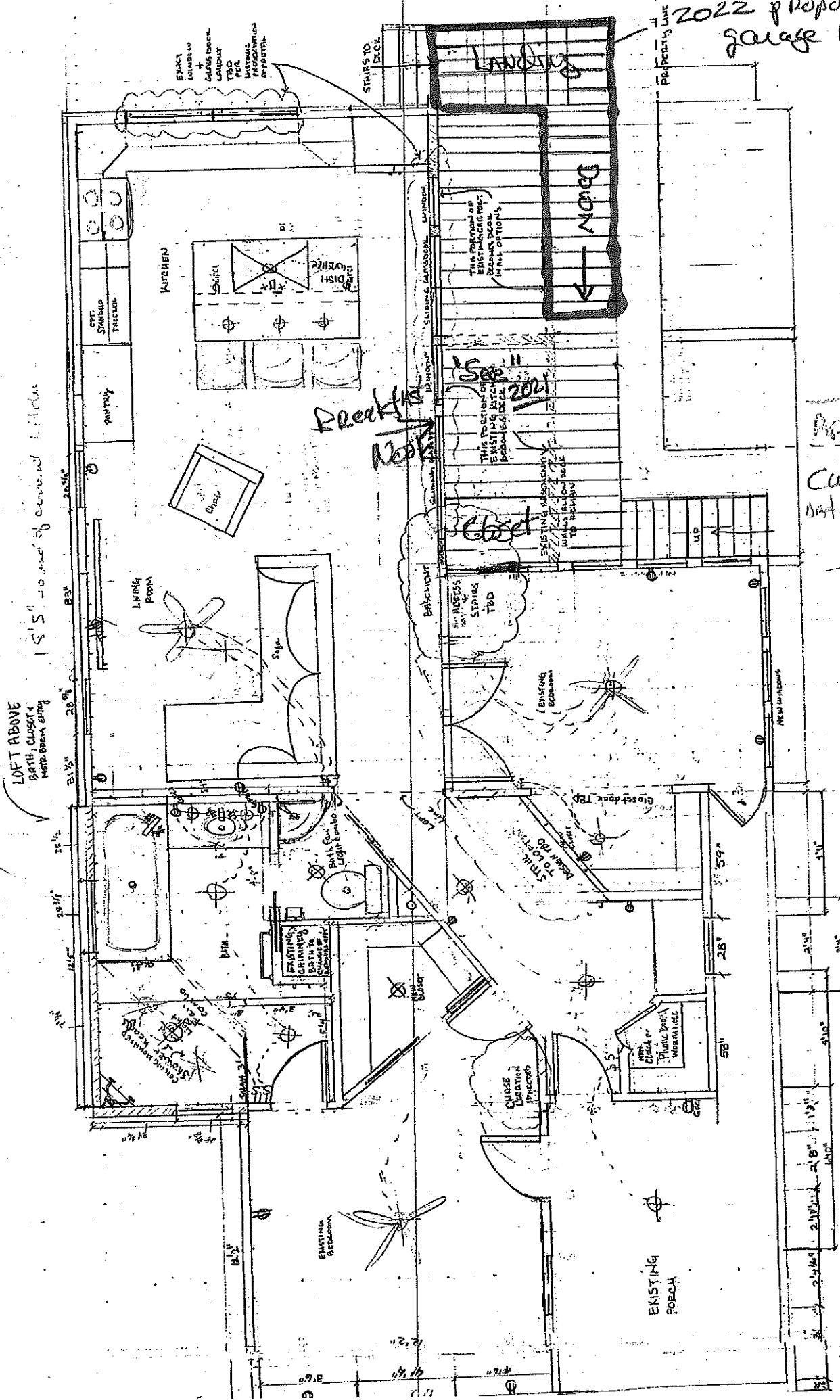
S Rogers St

2022 proposed garage Access!!
Richard M. Judd

DRAWING NOT TO SCALE.
1/8" = 1'-0"
3/16" = 1'-0"

Approval Expires 2015
Case V-22-15
Date August 27, 2013

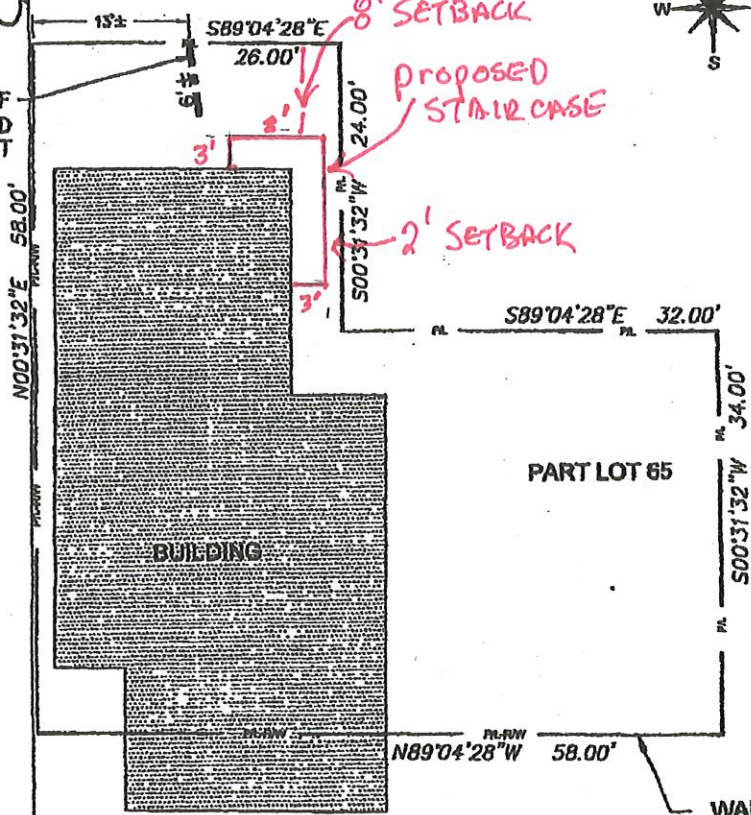
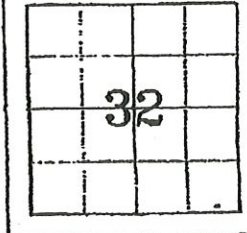
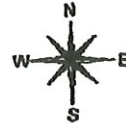
LOFT ABOVE BATH, CLOSET, HALL-BATH ENTRY



THIS IS NOT A SURVEY. LOCATIONS SHOWN ARE APPROXIMATE. THE ACTUAL CENTERLINE LOCATION OF THE UTILITY LINE IS THE CENTERLINE OF THE EASEMENT.

Duke
electricity

CENTERLINE OF
15' UNDERGROUND
EASEMENT



PART LOT 65

WARRANTY DEED
COLIN T. MCGRATH
INSTRUMENT #2014012823
TOWN OF BLOOMINGTON
PLAT BK: 1, PG: 4
RECORDED 10/06/2014
PARCEL #53-05-32-413-016.000-005
SURVEY INSTRUMENT #2014016529
RECORDED 12/29/2014

3RD. ST.

NOTE: PROPERTY LINES AS SHOWN WERE
PLOTTED FROM INSTRUMENT #2014012823
AND SITE IMPROVEMENTS FROM GIS DATA

MONROE COUNTY, INDIANA

SITE NAME: BLOOMINGTON TOWNSHIP SECTION 32 TOWNSHIP 9N RANGE 1W

<p>DUKE ENERGY</p>	DR. AM	EXHIBIT MAP OF: UNDERGROUND EASEMENT		
	CK. MT	EXHIBIT MAP FOR: COLIN T. MCGRATH		
	DATE 11/17/2015	LOCATION 508 W 3RD. ST., BLOOMINGTON, IN		EXHIBIT 'A'
		SITE #102824	LU #1679129	MAP #102824-451141

14-22











**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT

April 20, 2022

John Saunders
Chair
Bloomington Historic Preservation Commission
401 N Morton St, Suite 130
Bloomington, IN 47404

Re: Notification of intention to implement Programmatic Agreement for HUD-funded programs and invitation to participate in consultation regarding projects carried out under these programs

Dear Mr. Saunders:

Section 106 of the National Historic Preservation Act requires that the City of Bloomington identify organizations with an interest in historic preservation and invite them to participate in consultation regarding the effects of projects carried out by the City using federal funds on historic properties.

The City intends to enter into a Programmatic Agreement with the Indiana State Historic Preservation Officer (SHPO) to facilitate Section 106 compliance for programs using funding originating from the U.S. Department of Housing and Urban Development (HUD). The agreement requires that the City notify local/county historical societies/preservation organizations and invite them to participate in the development of this agreement so that they will be aware of the process that the City will follow to consider the effects of projects on historic properties.

The City welcomes your participation in consultation regarding the agreement and requests that you respond within 30 days if you would like to participate as a consulting party. Please note that even if you do not choose to become a consulting party for the development of the Programmatic Agreement, you may still choose to participate in future 106 projects that are reviewed under the Programmatic Agreement once it is executed. If you have any questions, please contact me by phone 812-349-3507 or email Gloria.colom@bloomington.in.gov. Thank you.

Sincerely,



Gloria M. Colom Braña
Historic Preservation Program Manager
Housing and Neighborhood Development
City of Bloomington

Enclosures:

Draft Programmatic Agreement for HUD-funded programs

Copy:

Chad Slider, DHPA, 402 W Washington Street, Room W274, Indianapolis, IN 46204

PROGRAMMATIC AGREEMENT
AMONG THE CITY OF BLOOMINGTON
AND THE INDIANA STATE HISTORIC PRESERVATION OFFICER
REGARDING THE ADMINISTRATION OF CERTAIN
HUD-ASSISTED PROJECTS AND PROGRAMS SUBJECT TO
24 CFR PART 58 IN THE STATE OF INDIANA

THIS PROGRAMMATIC AGREEMENT (Agreement) is between the City of Bloomington (City) and the Indiana State Historic Preservation Officer (Indiana SHPO) and is entered into effective the 1st day of January 2023.

WHEREAS, the U.S. Department of Housing and Urban Development (HUD) through various offices, including the Offices of the Assistant Secretaries for Housing – Federal Housing Commissioner, Public and Indian Housing, Lead Hazard Control and Healthy Homes, and Community Planning and Development, provides grant and/or entitlement funding to the State of Indiana and to entitlement communities in Indiana; and

WHEREAS, the City is an entitlement community in the State of Indiana; and

WHEREAS, the City, now, or may in the future, administer HUD grant and/or entitlement programs which include, but are not limited to, the following HUD Programs:

- Community Development Block Grant Program (CDBG)
- Emergency Solutions Grant Program
- HOME Investment Partnerships Program
- Housing Opportunities for People with AIDS Program
- Lead-Based Paint Hazard Control Grant Program
- Lead Hazard Reduction Demonstration Grant Program
- Neighborhood Stabilization Program
- Continuum of Care Grants
- Special Projects Appropriated Under an Appropriations Act for HUD Supportive Housing Program

WHEREAS, HUD regulations at 24 C.F.R. Part 58 implement statutory authorities that permit certain entities to assume HUD's environmental responsibilities for various HUD programs, and included among the statutory authorities under which this responsibility is assumed in compliance with Section 106 of the National Historic Preservation Act of 1966, as amended [54 U.S.C. § 300101 et seq] (Section 106); and

WHEREAS, the City has determined that implementation of the HUD Programs may include but are not limited to activities such as housing and commercial building rehabilitation, façade improvement, relocation of buildings and structures, demolition of buildings and structures, new construction, and site preparation each of which is an undertaking (Undertaking) as defined pursuant to 36 C.F.R. 800.16(y); and

WHEREAS, the City has determined that certain activities funded by the HUD Programs may have an effect on properties included in or eligible for inclusion in the National Register of Historic Places (Historic Properties) pursuant to 36 C.F.R. Section 800.14 of the regulations implementing Section 106;

WHEREAS, in accordance with 36 C.F.R. § 800.14(b)(3), the City has notified the Advisory Council on Historic Preservation (ACHP) and invited the ACHP to participate in the development of this Agreement and the Council has decided to ****participate and sign this Agreement *OR* declined to participate in consultation for this Agreement****; and

WHEREAS, the City has invited the Peoria Tribe of Indians of Oklahoma and Miami Tribe of Oklahoma to comment and/or consult in the development of this Agreement, in recognition of the unique government-to-government relationship between the Federal government and federally-recognized American Indian tribes and all those tribes who commented are invited to participate in this Agreement as invited signatory parties; and

WHEREAS, this Agreement is not applicable to undertakings located in tribal lands subject to the purview of a Tribal Historic Preservation Officer (THPO) pursuant to Section 101(d)(2)(D)(iii); and

WHEREAS, the City will continue to conduct outreach and will actively seek and request the comments and participation of Indian tribes that attach religious and cultural significance to historic properties that may be affected by Undertakings funded under the terms of this Agreement; and

WHEREAS, the City acknowledges that Indian tribes possess special expertise in assessing the National Register eligibility of properties with tribal religious and cultural significance; and

WHEREAS, the City has consulted with **the Bloomington Historic Preservation Commission, the Monroe County Historic Preservation Board of Review, Indiana Landmarks Central Regional Office, Monroe County History Center, Bloomington Restorations Inc., and Downtown Bloomington** in the development of this Agreement, and invited those parties to be concurring parties to this Agreement; and

WHEREAS, the City has invited the public to consult on the development of this Agreement in the following ways: via the Herald times and through the City of Bloomington social media platforms;

NOW, THEREFORE, the City and the Indiana SHPO agree that the HUD Programs covered by this Agreement shall be administered in accordance with the following stipulations to satisfy the Section 106 responsibilities of the City for all individual undertakings of the program.

STIPULATIONS

The City shall ensure that the following measures are carried out:

I. PERSONNEL

The City shall ensure that all historic preservation work carried out pursuant to this Agreement is performed by or under the direct supervision of a person or persons meeting at least the minimum qualifications for a professional in architecture, architectural history, or a related preservation field, as specified in the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61). The professional shall

be either an employee of the City or an outside consultant retained by the City to perform historic preservation work. The City shall advise the Indiana SHPO in writing of all professional personnel selected to perform the historic preservation work and provide personnel qualifications. In the event the professional changes, the City shall notify the Indiana SHPO in writing of the change and submit the qualifications of the personnel selected to perform the historic preservation work using the appropriate form found on the Qualified Professionals section of the Indiana SHPO's website at <https://www.in.gov/dnr/historic-preservation/help-for-owners/find-help/qualified-professionals/>. If the City does not have a qualified professional in place or does not utilize a qualified outside consultant, then the City will comply with 36 CFR Sections 800.3 through 800.7 with regard to individual undertakings covered by this Agreement.

II. IDENTIFICATION OF HISTORIC PROPERTIES

- A. The City shall define the Area of Potential Effects (APE) for each undertaking and identify historic properties within the APE that may be affected by the project. The APE means the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties, if any such properties exist. The APE is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking (see 36 C.F.R § 800. 16[d] for further guidance).
- B. In the course of conducting project reviews, the City shall note and continue to update the existing or current Indiana Historic Sites and Structures Inventory (IHSSI) for Monroe County and the IHSSI for the City of Bloomington in consultation with the Indiana SHPO and according to the Secretary of the Interior's Standards and Guidelines for Identification and Evaluation: (Standards and Guidelines for Identification and Evaluation; (48 FR 44720-26). Please note that, when available, the State Historic Architecture and Archaeological Research Database (SHAARD) should be used in place of the Interim Report book version of the IHSSI. Access to SHAARD is available through the Indiana SHPO's website. Updates to the inventory shall be provided in an annual report by the City to the Indiana SHPO as required by Stipulation X.
- C. For projects involving properties that are not identified in the inventory but are 40 years old or older, the City shall apply the National Register of Historic Places (National Register) Criteria for Evaluation (36 CFR Section 36.6) to determine those properties' eligibility for inclusion in the National Register and follow the Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation (48 FR 44716-42). If there is any question as to whether a property may meet the criteria, the City shall submit documentation to the Indiana SHPO for evaluation. If the City disagrees with the opinion of the Indiana SHPO, the City shall request a determination of eligibility from the Secretary of the Interior in accordance with applicable National Park Service regulations.
 1. To ensure application of the criteria for evaluation, properties that are not identified in the survey, but are 40 years old or older, shall be evaluated by a professional as defined in Stipulation I.

2. The City shall keep a written record of the reason why any property 40 years old or older does not appear to meet the criteria.
- D. If an undertaking may adversely affect a National Historic Landmark, the City shall request the Council and the Secretary of the Interior to participate in consultation to resolve any adverse effects, as outlined in 36 CFR 800.10.

III. TREATMENTS

- A. Properties identified in the IHSSI as being individually rated Outstanding or Notable, rated Contributing to an identified district or properties that are individually listed or contributing to a listed district, or properties determined to be eligible for inclusion in the National Register by both the City and the Indiana SHPO shall be rehabilitated in accordance with the recommended approaches in the Secretary of the Interior's Standards for the Treatment of Historic Properties; Guidelines for Rehabilitation of Historic Buildings (Standards and Guidelines for Rehabilitation; National Park Service, 1995; 36 CFR Section 67.7).
1. To ensure conformance with the Standards and Guidelines for Rehabilitation, rehabilitation plans shall be reviewed by a professional, as defined in Stipulation I, above, before construction begins.
 2. When conformance with the Standards and Guidelines for Rehabilitation is ensured, the City shall document that the project will have No Adverse Effect on historic properties within the project APE and retain documentation in individual project files.
 3. The City shall document the property, including photographs, work write-ups/journal, professional review, etc. before work begins and upon completion of the rehabilitation to evidence adherence to the Standards and Guidelines for Rehabilitation. The City shall retain documentation in individual project files.
- B. When it is determined that a project cannot adhere to the Standards and Guidelines for Rehabilitation or when demolition or relocation of, or any other adverse effect as defined in 36 CFR Part 800.5(a) on a property that meets the National Register criteria is proposed, the City shall apply the Criteria of Adverse Effect. Upon the City's conclusion of a Finding of Adverse Effect, or if there is any question as to whether a property may meet the Criteria of Adverse Effect, the City shall consult with the Indiana SHPO.
1. If the Criteria of Adverse Effect are met, the City will determine if project activities can be modified to avoid adverse effects. If adverse effects can be avoided through project modification, the City will document that the project will have No Adverse Effect on

historic properties and retain documentation in individual project files.

- a. If adverse effects cannot be avoided through project modification, the City will prepare documentation for individual submission to the Indiana SHPO that includes all project information and any mitigation proposals, requesting consultation to resolve adverse effects. Documentation required by the Indiana SHPO for consultation per the provisions of this Agreement shall meet the requirements in 36 CFR 800.11 and include, but may not be limited to, written descriptions of the project and affected historic properties (if any), reports demonstrating that properties are eligible (or not) for listing in the National Register, evaluations of effect, alternatives analysis, maps showing specific project locations and APEs, and photographs.
 - b. The Indiana SHPO will review and respond to the information submitted and may concur with the Adverse Effect determination, request additional information, or object to the finding or its basis. Upon receipt of concurrence from the Indiana SHPO, the City will also notify the ACHP as required by 36 CFR Section 800.6(a)(1).
 - c. The City will consult with the Indiana SHPO, the ACHP (if participating), and consulting parties to resolve adverse effects. Agreement among required signatories regarding the terms of mitigation proposed for the project will be memorialized in an MOA executed under 36 CFR Section 800.6.
- C. At any time during consultation, the City or the Indiana SHPO may request advice from the ACHP or ask for their involvement in consultation, in accordance with either 36 CFR Section 800.6(b)(2) or 36 CFR Section 800.7.

IV. DOCUMENTATION STANDARDS

- A. The City shall compile and retain information on each Undertaking reviewed in accordance with this Agreement in physical and/or electronic files. The City shall make these files available to the Indiana SHPO, tribes, consulting parties, and/or the public upon request with reasonable notice. Requests may be made in writing addressed to the City according to the contact information listed in Exhibit A or to the City's website at www.bloomington.in.gov/historic-bloomington.
 1. Documentation shall include all information necessary to complete the Annual Report as specified under Stipulation X, below.

2. This documentation may also include, but may not be limited to the following:
 - a. Written descriptions of the scope of work reviewed.
 - b. Maps delineating the Undertaking's specific location(s) and APE.
 - c. Photographs of the property affected by an Undertaking before the work begins, and any supplemental related information.
 - d. Evaluations of the Undertaking's direct and indirect effects.
 - e. IHSSI rating and description and/or reports demonstrating that properties are or are not eligible for listing in the National Register.
 - f. Analysis of alternatives.

V. ARCHAEOLOGY

- A. Prior to any ground-disturbing activities as part of new construction or demolition, site improvements, or other undertakings, the City shall notify the Indiana SHPO and request an opinion of the potential existence of significant archaeological resources. This stipulation shall not be applied to the rehabilitation of residential properties, when no additions are proposed.
 1. The City will provide information describing the proposed project activities and information about the project area's history and current condition to the Indiana SHPO, including maps and photographs. Indiana SHPO staff will then make a recommendation about whether an archaeological survey should be conducted.
 2. If the Indiana SHPO recommends that no survey is justified, then the City will document the outcome of this consultation within the individual project file. Projects that would otherwise be exempt from review may then conclude review and all documentation will be retained in the individual project file.
 3. For projects where the Indiana SHPO recommends that an archaeological survey is justified, an archaeological survey of the affected area shall be carried out in consultation with the Indiana SHPO. Archaeological testing, as appropriate, shall be undertaken in consultation with the Indiana SHPO to determine if properties identified in the survey meet National Register criteria. If archaeological resources are found to meet the criteria, whenever feasible, they shall be avoided or preserved in place. When this is not feasible, the Indiana SHPO shall be consulted, and a treatment plan consistent with the ACHP's handbook, Treatment of Archaeological Properties, and approved by the Indiana SHPO shall be developed and implemented. The City will consult with the Indiana SHPO, the ACHP (if participating) and any consulting parties to resolve adverse effects. Agreement among required

signatories regarding the terms of mitigation proposed for the project will be memorialized in an MOA executed under 36 CFR Section 800.6. All identification and testing efforts shall be in accordance with the Standards and Guidelines for Identification and Evaluation and appropriate internal guidance and regulation from the Indiana SHPO as well as the appropriate state statutes and rules.

- B. This stipulation shall not be interpreted to include projects where sidewalks or other minor paving or resurfacing shall occur in areas where previous sidewalks or paving already exists. It shall not be interpreted to include projects for the repair or replacement of existing water lines, sewer lines or septic systems within previously excavated trenches, or other exempt activities described in Stipulation VI below.

VI. EXEMPTED ACTIVITIES

The following proposed undertakings have limited potential to affect historic properties and may be approved by the City without further consultation with the Indiana SHPO or ACHP.

All undertakings not identified under either (A) or (B) of this Stipulation must be reviewed in accordance with 36 C.F.R. Part 800.

A. General Exemption

1. Projects on residential or non-residential buildings, structures, or facilities less than 40 years old. Projects may include rehabilitation, but not construction or demolition.
2. Acquisition of property which is limited to the legal transfer of title with no physical improvements or changes proposed.
3. Projects consisting of grants or loans to eligible families or entities to be applied solely to the purchase, refinancing, or leasing of residences or businesses.
4. Grants or loans to participants in any Economic Development program funded by CDBG which may be used for working capital, equipment, furniture, fixtures, and debt refinancing, or acquisition of non-historic building for reuse. Such activities shall require the Indiana SHPO review only if such activities should involve changes to structures which are either listed in or are considered eligible for inclusion in the National Register.
5. Purchase of equipment; including but not limited to maintenance tools, or supplies, school buses, lawn mowers, kitchen appliances, books, furniture that does not require permanent installation, etc.
6. Environmental and other studies
7. Information and financial services
8. Administrative and management activities
9. Inspections and testing of properties for hazards or defects
10. Purchase of insurance
11. Engineering and design costs

12. Assistance for temporary or permanent improvements that do not alter environmental conditions and are limited to protection, repair or restoration activities necessary only to control or arrest the effects from disasters or imminent threats to public safety including those resulting from physical deterioration.

B. Exempt Activities

The list of exempt activities applies to all projects not otherwise made exempt under Section VI(A) "General Exemption." For purposes of this Agreement, the term "in-kind replacement" is defined as installation of a new element that duplicates the material, dimensions, configuration and detailing of the original element.

1. Site Work

In the event of unanticipated archaeological discoveries for any of the activities mentioned below, the Indiana SHPO shall be contacted within two (2) business days.

- a) Streets, driveways, alleys, and parking areas. Line painting, maintenance, repair or resurfacing of existing concrete or asphalt surfaces or in-kind repair/replacement of brick, rock, or stone materials on streets, driveways, alleys, and parking areas provided that no changes are made in width, surface, vertical alignment, or drainage.
- b) Curbs, gutters, sidewalks, retaining walls. Repair of existing concrete or asphalt surfaces or in-kind repair/replacement of brick, rock, or stone materials for curbs, gutters, sidewalks, and retaining walls.
- c) Site improvements. Repair or in-kind repair/replacement of site improvements, including, but not limited to fences, landscaping, steps not attached to any building
- d) Underground Utilities. Repair or replacement of existing water, sewer, natural gas, electric or telecommunication lines and in-place repair of septic systems if it occurs in or adjacent to the existing trench and provided there is no substantial earth moving.
- e) Above Ground Utilities. Repair or replacement of existing wires, anchors, crossarms, and other miscellaneous hardware on existing overhead lines; not including pole replacement or installation outside city limits. Water tower replacement is not exempt.
- f) Park and playground equipment. Installation, repair or replacement of park and playground equipment, excluding buildings, with minimal ground disturbance.
- g) Temporary structures. Installation of temporary construction-related structures including scaffolding, barriers, screening, fences, protective walkways, signage, office trailers or restrooms.
- h) Street lighting and traffic signals. Repair and replacement of non-historic street lights, traffic signals, and traffic signs, outside of a listed or eligible historic district.
- i) Generators. Temporary installation of generators, and permanent installation of generators that are placed inside existing buildings or that occupy an area under 50 square feet behind the building they serve.

- j) Test holes and wells. Test borings, well drilling and perc tests that do not require a temporary or permanent new access road to the site.
- k) Plantings. Planting of grass, shrubs, and bushes

2. Exterior Rehabilitation

In the event of unanticipated archaeological discoveries for any of the activities mentioned below, the Indiana SHPO shall be contacted within two (2) business days.

- a) Foundations. Below-grade repair of brick or stone foundations and repairs to all other types of foundations.
- b) Windows and doors. Repair of windows and doors, including caulking and weather stripping of existing window or door frames, installation of new window jambs or jamb liners, and installation of new clear glass in existing sashes or doors, including retrofitting for double and triple glazing, and replacement of glazing putty.
- c) Storm windows and storm doors. Installation of exterior storm windows and doors, provided they conform to the shape and size of the historic windows and doors, and that the meeting rails of storm windows coincide with that of existing sash.
- d) Walls and siding. Repair of or in-kind replacement of wall or siding material, including brick, stone, or stucco materials and wood siding.
- e) Painted surfaces.
 - 1. Removal of exterior paint by non-destructive means, limited to hand scraping, low pressure water wash when used according to Preservation Briefs listed below, heat plates or heat guns, or paint-removal chemicals, provided that the removal method is consistent with the provisions of 24 C.F.R. Part 35, "Lead-Based Poisoning Prevention in Certain Residential Structures," including Section 35.140, "Prohibited methods of paint removal" and National Park Service Preservation Briefs #1: *Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*, #10: *Exterior Paint Problems on Historic Woodwork*, and #37: *Appropriate Methods for Reducing Lead-Paint Hazards in Historic Housing*.
 - 2. All lead paint abatement that does not involve removal or alteration of exterior features and/or windows.
 - 3. Application of exterior paint and caulking, other than on previously unpainted masonry.
- f) Porch elements. Repair or in-kind replacement of existing porch elements, such as columns, flooring, floor joists, ceilings, railing, balusters and balustrades, and lattice.
- g) Roofing. Repair or in-kind replacement of roof cladding and sheeting, flashing, gutters, soffits, and downspouts with no change in roof pitch or configuration. Installation of new roofing or reflective roof coatings on a flat-roofed building with a parapet, such that the roofing material is not visible from any public right-of-way.
- h) Awnings. Repair or in-kind replacement of awnings.

- i) Mechanical systems. Placement and installation of exterior HVAC mechanical units and vents not on the front and/or primary elevation, unless occurring in undisturbed areas.
- j) Accessibility ramps. Replacement or repair of existing accessibility ramps and installation of new accessibility ramps not on the front and/or primary elevation, unless occurring in undisturbed areas.
- k) Basement bulkhead doors. Replacement or repair of basement bulkhead doors and installation of basement bulkhead doors not on the front elevation.
- l) Lighting. Repair or in-kind replacement of existing light fixtures. Installation of additional decorative or security lights not on the front and/or primary elevation.
- m) Mothballing. Securing or mothballing a property by boarding over window and door openings, making temporary roof repairs, and/or ventilating the building in accordance with Preservation Brief #31: *Mothballing Historic Buildings*.
- n) Attic Vents. Repair or in-kind replacement of historic attic vents in original openings or installation of new attic vents painted to match the gable.
- o) Chimney liners. Repair or in-kind replacement of chimney liners provided that the work does not affect the exterior of the chimney.

3. Interior Rehabilitation

- a) Mechanical systems. Installation, replacement or repair of plumbing, HVAC systems and units, hot water heaters, furnaces, electrical wiring and fire protection systems, provided no structural alterations are involved. Included are restroom improvements for handicapped access, provided the work is contained within the existing restroom walls. Installation, replacement, or repair of interior Wi-Fi, internet broadband equipment, or other related equipment provided no structural alterations are involved or no significant interior architectural features are affected.
- b) Surfaces. Repair or in-kind replacement of interior surface treatment, such as floors, walls, ceilings, plaster and woodwork. If covering historic features, such as wood floors, then carpet or sheet goods (linoleum or vinyl) shall be installed in a reversible manner, either through tacking or with an underlayment so historic floors shall not be irreversibly damaged.
- c) Insulation. Installation of non-spray insulation in ceilings, basements, attics and crawl spaces.
- d) Basement floor. Installation or repair of concrete basement floor in an existing basement.
- e) Asbestos Abatement. Abatement or control of asbestos that does not involve removal or alteration of interior features.
- f) Lead-Based Paint hazard mitigation. Interior lead hazard mitigation and abatement using lead-safe work practices (see 24 C.F.R. Part 35.1330 (a) (4), and § 35.1350), when it is limited to washing, scraping and repainting, wallpapering, and chemical stripping of lead –painted surfaces, installation of new window jambs or jamb liners, installation of metal panning in window wells, and replacement of non-significant flat stock trim, provided that the work is consistent with §35.140 Prohibited methods of paint removal and National Park Service Preservation Brief #37: Appropriate Methods for Reducing Lead-Paint Hazards in Historic Housing.

- g) Bath and kitchen fixtures. Repair or replacement of non-historic bathroom and kitchen equipment and fixtures.
- h) Accessibility. Modification of a bathroom for handicapped access within the walls of the existing bathroom. Installation of wedges and removal of thresholds to facilitate access through door openings.

VII. CONSULTING PARTIES

The City shall invite the participation of consulting parties as appropriate to the scale of the undertaking and the scope of Federal involvement. Parties that may have a consultative role in the Section 106 process include, but are not limited to the following: Federally recognized Indian tribes, THPO, representatives of local governments, county and municipal historic preservation commissions including those established under the Certified Local Governments (CLG) program, the public, and individuals and organizations with a demonstrated interest due to the nature of their legal or economic relation to the undertaking, or their concern for the undertaking's effects on historic properties.

VIII. TRIBAL CONSULTATION

- A. The City shall follow HUD Notice CPD-12-006: Process for Tribal Consultation in Projects That Are Reviewed Under 24 CFR Part 58.
- B. The City has sent the letter in Exhibit C to the tribes listed in Exhibit A. These letters have been individually addressed to the tribal leaders of the listed tribes which have expressed interest in Indiana, and those identified by referencing the HUD Tribal Directory Assessment Tool (TDAT) at <https://eqis.hud.gov/tdat>.
- C. Unless a Tribe has indicated to the City that it wants to engage in government-to-government consultation with HUD, the City may initiate consultation with Tribes for individual undertakings carried out under the provisions of this Agreement. The City shall ensure that Tribes are provided information regarding proposed undertakings early in project planning and are invited to participate in consultation in accordance with the requirements of Section 101(d)(6) of the NHPA and 36 CFR Part 800. Upon receipt of a written request from any Tribe or officially designated representative of a Tribe to consult with the City, the City shall consult with that Tribe for the particular undertaking or program.
- D. If a Tribe indicates to the City that it wishes to engage in government-to-government consultation with HUD for an undertaking:
 - a. The City will forward that request to HUD
 - b. HUD may utilize the processes and exemptions in this Agreement in conducting its Section 106 review of the relevant undertaking.
 - c. Ground disturbing activities on the relevant undertaking will not proceed until HUD has concluded its government-to-government consultation with the requesting Tribe.

IX. PUBLIC NOTIFICATION AND INVOLVEMENT

Each year the City shall notify the public of its current HUD programs and make available for public inspection documentation related to these programs. This documentation shall include:

- A. Types of activities undertaken with program funds during the prior year and activities projected for the current year.
- B. Information on identified historic properties that might be affected and the location of said properties.
- C. Funding level for the current program year.
- D. The way in which interested persons can obtain additional information on programs and advise the City, HUD, the Indiana SHPO, or the ACHP of any concerns they might have relative to program effects on historic properties.

X. MONITORING AND OVERSIGHT

- A. The Indiana SHPO shall provide technical assistance, consultation, and advice as requested by the City in order to assist in carrying out the terms of this Agreement.
- B. The City's staff conducting work under this Agreement, as defined in Stipulation I, shall complete a Section 106 training course offered by the Indiana SHPO, Advisory Council on Historic Preservation, National Preservation Institute or similar provider. The City is encouraged to participate in one of these workshops or trainings every two years.
- C. Documentation of all work undertaken in the HUD programs shall be retained by the City and available to the Indiana SHPO. The City shall submit a brief, written report to the Indiana SHPO on an annual basis, by March 1 of the following year, summarizing HUD-funded activities covered by this Agreement; including information of how the City has evaluated historic resources and applied the Secretary of Interior's Standards (as necessary) to projects and updates to the IHSSI for Monroe County and the IHSSI for the City of Bloomington. The City may use the example annual reporting template as provided in Exhibit B. The Indiana SHPO may request documentation be submitted or make a site visit to review the work outside of the annual reporting with reasonable notice.
- D. This Annual Report shall include:
 - 1. a list of all projects, categorized by name and address, exempt status, a citation of the exemption(s) applied, whether or not a historic property was involved, the IHSSI site number of any historic properties involved, determination of effect

2. the name(s) of the person(s) carrying out historic preservation work pursuant to this Agreement as defined in Stipulation I
3. the views of the City regarding the effectiveness of this Agreement
4. suggestions for additional actions that could be considered for inclusion in the Exempt Activities list.

XI. DISPUTE RESOLUTION

Should any signatory or concurring party to this Agreement object at any time to any actions proposed or the manner in which the terms of this Agreement are implemented, the City shall consult with such party to resolve the objection. If the City determines that such objection cannot be resolved, the City will:

- A. Forward all documentation relevant to the dispute, including the City's proposed resolution, to the ACHP. The ACHP shall provide the City with its advice on the resolution of the objection within thirty (30) days of receiving adequate documentation. Prior to reaching a final decision on the dispute, the City shall prepare a written response that takes into account any timely advice or comments regarding the dispute from the ACHP, signatories and concurring parties, and provide them with a copy of this written response. The City will then proceed according to its final decision.
- B. If the ACHP does not provide its advice regarding the dispute within the thirty (30) day time period, the City may make a final decision on the dispute and proceed accordingly. Prior to reaching such a final decision, the City shall prepare a written response that takes into account any timely comments regarding the dispute from the signatories and concurring parties to the Agreement and provide them and the ACHP with a copy of such written response.
- C. Carry out all other actions subject to the terms of this Agreement that are not the subject of the dispute remain unchanged.

XII. EMERGENCIES

- A. When an emergency undertaking is required, the City shall allow the Indiana SHPO five (5) business days from receipt of the information to respond, if feasible. Emergencies exist when there is a need to eliminate an imminent threat to health and safety of residents as identified by local or County building inspectors, fire department officials, or other local or County officials.
 1. The City shall forward documentation to the Indiana SHPO for review immediately upon notification that an emergency exists. Documentation should include a) nature of the emergency; b) the address of the historic property involved; c) photographs showing the current condition of the building; and d) the time-frame allowed by local officials to respond to, or correct, the emergency situation.

2. The City shall consider mitigation measures recommended by the Indiana SHPO and implement them, if feasible.
- B. Undertakings limited to immediate rescue and salvage operations are exempt from this stipulation.

XIII. POST REVIEW DISCOVERIES AND UNFORESEEN EFFECTS

If, during the implementation of these programs, a previously unidentified property that may be eligible for inclusion in the National Register is encountered, or a known National Register historic property may be affected in an unanticipated manner, the City will assume its responsibilities pursuant to 36 C.F.R. Part 800.13.

- A. In the event that previously unidentified archeological sites or human remains are discovered during project construction, that portion of the project shall stop immediately within 100 feet of the discovery and the project manager shall notify the City, Indiana SHPO/THPO, and other consulting party signatories within 48 hours, and shall take appropriate steps to immediately secure the site.
- B. In addition, the project manager shall notify local and/or state law enforcement authorities including the county coroner and the Indiana SHPO.
- C. The City shall consult with the Indiana SHPO and Tribes to determine if the discovered site appears eligible for the National Register. If it does appear eligible, the City shall submit a treatment plan for the avoidance, protection, recovery of information, or destruction without data recovery to the Indiana SHPO for review and comment. The treatment plan shall be consistent with the ACHP's handbook Treatment of Archaeological Properties and subsequent amendments and Indiana SHPO guidelines. If human remains are discovered, the treatment plan shall follow the guidance in Advisory Council on Historic Preservation Policy Statement Regarding Treatment of Burial Sites, Human Remains and Funerary Objects, including appropriate consultation with descendent communities. Construction work in the area of the discovery shall not continue until the plan has been accepted by the signatory parties and implemented.
- D. All human burial sites in Indiana are protected under state statutes, and any undertaking that may affect a human burial site shall comply in accordance with any applicable Federal and State statutes and codes before the project resumes. If any archaeological artifacts or human remains are uncovered during construction, demolition, or earthmoving activities, state law (Indiana Code 14-21-1-27 and 29) requires that the discovery must be reported to the Department of Natural Resources within two (2) business days. In that event, please call (317) 232-1646. Be advised that adherence to Indiana Code 14-21-1-27 and 29 does not obviate the need to adhere to applicable federal statutes and regulations

XIV. NOTIFICATION

Notification or other communication between parties to this Agreement should be made in care of addresses provided in Exhibit A.

XV. AMENDMENT

Any party may request that this Agreement be amended, whereupon the City and the Indiana SHPO will consult with the other parties in accordance with 36 C.F.R. Part 800.14(b) to consider an amendment. Amendments will only be considered if made in writing and must be approved in writing by all parties to this Agreement to go in effect.

XVI. TERMINATION

Any party to this Agreement may terminate its participation by providing thirty (30) days written notice to all other parties. In the event of termination, the City will comply with 36 C.F.R. Part 800 with respect to individual undertakings covered by this Agreement.

XVII. TERM OF THE AGREEMENT

Following signature by the City and the Indiana SHPO, this Agreement will be binding on a party upon the date of its signature and shall be in force until December 31, 2029. At any time in the twelve-month period prior to that date, any signatory may request an amendment to extend the duration of this Agreement in accordance with stipulation XV.

EXECUTION AND IMPLEMENTATION of this Agreement evidences that the City has satisfied its responsibilities under Section 106 for undertakings as described in this Agreement and funded by the HUD Programs.

SIGNATORIES:

Mayor, City of Bloomington Date

Director, Housing and Neighborhood Development, City of Bloomington
Date

Indiana Deputy State Historic Preservation Officer
Date

EXHIBIT A

Director, Housing and Neighborhood Development

City of Bloomington
401 N Morton St, Suite 130
Bloomington, IN 47404
Phone: (812)349-3582
Email: john.zody@bloomington.in.gov

The City of Bloomington

Mayor John Hamilton
401 N Morton St., Bloomington, IN 47404
Phone: (812)349-3400
Email: mayor@bloomington.in.gov

Indiana State Historic Preservation Officer

Beth McCord
402 W Washington St., Room W256
Indianapolis, IN 46204-2739
Phone: (317)232-3492
Email: BMccord@dnr.IN.gov

Advisory Council on Historic Preservation

401 F Street NW, Suite 308
Washington, DC 20001-2637
Phone: (202) 517-0200

Miami Tribe of Oklahoma

Diane Hunter
Tribal Historic Preservation Officer
P.O. Box 1326
Miami, OK 74355
Phone: (918)541-1300
Email: dhunter@miamination.com

Chair, Bloomington Historic Preservation Commission

John Saunders
401 N Morton St, Suite 130
Bloomington, IN 47404
Phone: (812)349-3582
Email: jps@bluemarble.net

Monroe County Historic Preservation Board of Review.

Drew Myers
Senior Planner
501 N Morton St., Bloomington, IN
47404
Phone: (812)349-2560
Email: tbehrman@co.monroe.in.us

Indiana Landmarks, Central Regional Office

Mark Dollase Vice President of
Preservation Services
1201 Central Avenue
Indianapolis, IN 46202
Phone: (317)639-4534
Email: mdollase@indianalandmarks.org
central@indianalandmarks.org

Monroe County History Center

Daniel Schlegel
Director
202 E 6th St
Bloomington, IN 47408
Phone: (812)332-2517 Ext. 1
Email: director@monroehistory.org

Bloomington Restorations Inc.

Steve Wyatt
Executive Director
Bloomington Restorations Inc.
2920 E 10th St
Bloomington, IN 47408
Phone: (812)336-0909
Email: bri@bloomingtonrestorations.org

Downtown Bloomington

Talisha Coppock
Director
Downtown Bloomington
302 South College Avenue
Bloomington, IN 47403
Phone: 812-336-3681
Email:
tcoppock@downtownbloomington.com

EXHIBIT B

(Example) **Annual Report of HUD-funded activities
from the City of Bloomington
covered by the Programmatic Agreement¹
January 1, 20XX to December 31, 20XX**
(include specific dates for reporting period)

1. Provide a list of **all** projects reviewed under the Programmatic Agreement, categorized by name and address, exempt status, a citation of exemption(s) applied (if applicable), involvement of historic property (if applicable), IHSSI # (if applicable), and determination of effect. *(May refer to table on template attached to this document or add excel document as attachment).*
2. Provide the name(s) of the person(s) carrying out historic preservation work pursuant to the Programmatic Agreement as defined in Stipulation I. ²
3. Describe how the City evaluated historic resources and applied the Secretary of the Interior's Standards (as necessary) to projects. Please note if there are any updates needed to the IHSSI (newly identified sites and/or corrections to the survey):
4. Report the views of the City regarding the effectiveness of the Programmatic Agreement:
5. Provide any suggestions for additional actions that could be considered for inclusion in the Exempt Activities list (Part VI.B. of the Programmatic Agreement):
6. Include anything else the City would like to report to the Indiana SHPO.

¹ According to Stipulation X (Monitoring and Oversight) of the Programmatic Agreement among this City and the Indiana State Historic Preservation Officer Regarding the Administration of Certain HUD-Assisted Projects and Programs Subject to 24 CFR Part 58 in the State of Indiana

² If there have been any recent staffing changes to the person carrying out the historic preservation work pursuant to this Agreement, please follow the steps laid out in the PA Stipulation I (Personnel) to notify the Indiana SHPO of this change.

(Example) Annual Report of HUD-funded activities from the City of Bloomington covered by the Programmatic Agreement
(continued)

PART 1 (cont.)											
1. Provide a list of all projects reviewed under the Programmatic Agreement, categorized by name and address, exempt status, a citation of exemption(s) applied (if applicable), involvement of historic property (if applicable), IHSSI # (if applicable), and determination of effect. <i>(May substitute excel attachment for this table below).</i>											
Date	Project Name/Address Location	Exempt ? (Y/N)	Category of Exemption Applied	Funding Source	Type of Work Proposed	Historic Property Involved ?	Historic Property IHSSI # (if applicable)	Effect Finding	DHPA # (if applicable)	Reviewer Name	Notes
1/1/2023	EXAMPLE: Smith home, 1234 Any Street	Y	PA Stip. VI.B.2(d)	CDBG	wood siding repair	Y	123-456-78910	NE	N/A	John Doe	in kind siding repair on single family house
1/2/2023	EXAMPLE: Jones home, 12345 Any Road	N	N/A	CDBG	New construction – single family home	N	N/A	NE	00000	John Doe	Sent to SHPO for consultation per PA Stip. V

EXHIBIT C

April 5, 2022

The Honorable Greg Harper
Tribal Administrator
Peoria Tribe of Indians of Oklahoma
118 S Eight Tribes Trail
Miami, Oklahoma 74354

Re: Notification of intention to implement Programmatic Agreement for HUD-funded programs and invitation to participate in consultation regarding projects carried out under these programs

Dear Chief Greg Harper:

The City of Bloomington intends to enter into a Programmatic Agreement (PA) with the Indiana State Historic Preservation Office (SHPO) to facilitate Section 106 compliance for programs using funding originating from the U.S. Department of Housing and Urban Development (HUD).

Under the provisions of this PA, the City would assume the function of initiating the Section 106 process for projects utilizing HUD funding within their jurisdiction. Accordingly, under the PA, the City would be initiating Section 106 consultation with the SHPO and other consulting parties, including your tribe.

The City takes its responsibility to consult with Indian Tribes seriously and therefore wants to ensure that your tribe is comfortable proceeding under such an arrangement. Accordingly, under the terms of this PA, on receipt of a written request from any Indian Tribe or officially designated representative of an Indian Tribe, the City will consult with that Indian Tribe in completing the Section 106 review process with regard to ground-disturbing activities located in areas designated as being of concern to any Indian Tribe. Please respond to this letter stating such a preference and identifying if there are areas of concern to your tribe within the City of Bloomington.

If your tribe prefers to conduct government-to-government consultations directly with the Department of Housing and Urban Development, as opposed to the City, please use the following address for such letters:

U.S. Department of Housing and Urban Development
Attn: Secretary of HUD
451 7th Street S.W.
Washington, DC 20410

Understand that if we do not get a response from your tribe, we will assume that your tribe does not object to the City's initiation of consultation with your tribe regarding undertakings under the scope of the PA. We appreciate your attention to this matter. If you have any questions, please contact me by phone (812)349-3507 or email gloria.colom@bloomington.in.gov. Thank you.

Sincerely,

Gloria M. Colom Braña
Historic Preservation Program Manager
Housing and Neighborhood Development
City of Bloomington


Enclosures:

Draft Programmatic Agreement for HUD-funded programs

Copy:

Chad Slider, DHPA, 402 W Washington Street, Room W274, Indianapolis, IN 46204

DRAFT

STAFF RECOMMENDATIONS	Address: 400 W 7th St
BHPC 22-02	Petitioner: Peerless Development Inc.
	Parcel: 53-01-32-379-000.000-005
RATING: NOTABLE	Survey: c. 1913/23/29/49/51 Industrial
	
Background: The Johnson’s Creamery Historic District	
Request: Bloomington Historic Preservation Commission Grant	
<p>Guidelines: The Bloomington Historic Preservation Commission Consulting Grant is a reimbursement grant for up to five hundred dollars (“\$500.00”) that is available to historic property owners or tenants in order to pay for consulting work for the rehabilitation of their historic property. The grant money is to be used for consulting fees associated with the rehabilitation of the exterior of a historic building only.</p> <p>The Consultant must be on the Indiana Division of Historic Preservation and Archaeology Qualified Professional list, which is available in the HAND office of City Hall, or recommended by city staff as appropriate to the description of the job. The consultant must be allowed access to the building. A copy of the final consultation report should be given to the owner and to the Bloomington Historic Preservation Commission.</p>	
<p>Staff recommends approval of BHPC 22-02</p> <ul style="list-style-type: none"> • The Johnson’s Creamery smokestack requires stabilization in order to protect the health and safety of the rest of the historic property and public. • Staff has determined that Arsee Engineers are an appropriate firm to work with historic smokestacks and other engineering consultations related to historic structures. 	

APPLICATION

BLOOMINGTON HISTORIC PRESERVATION COMMISSION CONSULTING GRANT

GRANT BACKGROUND AND REQUIREMENTS

The Bloomington Historic Preservation Commission Consulting Grant is a reimbursement grant for up to five hundred dollars (“\$500.00”) that is available to historic property owners or tenants in order to pay for consulting work for the rehabilitation of their historic property. The grant money is to be used for consulting fees associated with the rehabilitation of the exterior of a historic building only.

The owner/tenant must be contemplating building rehabilitation within the next year and the building must be listed in areas covered by the 2018 *Bloomington Historic Sites and Structures Report*. This survey information is available on-line at the city web site www.bloomington.in.gov or by contacting Gloria M. Colom Braña, Historic Preservation Program Manager at (812) 349-3507 or gloria.colom@bloomington.in.gov.

The Consultant must be on the Indiana Division of Historic Preservation and Archaeology Qualified Professional list, which is available in the HAND office of City Hall, or recommended by city staff as appropriate to the description of the job. The consultant must be allowed access to the building. A copy of the final consultation report should be given to the owner and to the Bloomington Historic Preservation Commission.

Applicant _____

Phone Number _____

Property Address _____

Owner _____

Preferred Consultant or Firm _____

Briefly describe the work you are contemplating (including any adaptive reuse of the space) and the extent of the work proposed (i.e. facade, storefront, living space conversion).

ARSEE ENGINEERS
 CLIENT ORIENTED - BY DESIGN

**SINCE
 1968**

Frederick A. Herget, PE
 Scott A. Jones, PE,SE
 Allen R. Pulley
 John A. Seest, PE

Daniel M. Calabrese, PE
 Matthew D. Kilgour, PE
 Albert C. Kovacs, PE
 Bryan R. Wilson, PE

Andrew P. Langferman, PE,SE
 Gary D. Linard, PE
 Laura E. Metzger, PE
 Philip R. Savich, PE

INVOICE

OK to pay
 JP
 4/1/22

Joe Patrick, Director of Development
 Peerless Development, LLC
 105 S. York Street
 Suite 450
 Elmhurst, IL 60126

March 7, 2022
 Project No: 022050.00
 Invoice No: 21224
Terms: Net Due 30 Days
 FID 35-1611580

Project 022050.00 Johnson Creamery Smoke Stack Repairs

Professional Services from January 29, 2022 to February 25, 2022
 Fee

Total Fee	15,000.00		
Percent Complete	100.00	Total Earned	15,000.00
		Previous Fee Billing	0.00
		Current Fee Billing	15,000.00
		Total Fee	15,000.00
		Total this Invoice	\$15,000.00

*Pd
 4-5-2022
 CJC#
 1068*

NOTE: ARSEE reserves the right to assess a service charge of 1.25% per month (15% per annum) on any unpaid bill over 30 days beyond the date of invoice.
 9715 KINCAID DRIVE - SUITE 100 - FISHERS, INDIANA 46037-9459 - PHONE 317/594-5152 - FAX 317/594-9590 - www.arsee-engineers.co



ARSEE ENGINEERS, INC.

CLIENT ORIENTED — BY DESIGN

Johnson Creamery Smokestack

for

Joseph Patrick

Peerless Development

105 S. York Street, Suite 450

Elmhurst, IL 60126

March 1, 2022

Joseph Patrick
Director of Development
Peerless Development
105 S. York Street, Suite 450
Elmhurst, IL 60126

Re: Johnson Creamery Smokestack
Bloomington, Indiana

Mr. Patrick:

EXECUTIVE SUMMARY

We have completed our reassessment of the Johnson Creamery Smokestack in Bloomington, Indiana. This work has included a review of findings by others since our original assessment was performed in 2017. We have revisited the site and made comparisons to our earlier work to see how the deterioration is progressing. Using wall profiles determined by others in 2020, we have refined our structural analysis of the stability of the stack in design wind and seismic events as required by the current Building Code. Multiple options for repair have been considered.

Deterioration has progressed. New spalls are visible in at least 11 locations. One of the 38 steel straps observed in 2017 has either been removed or has fallen. Previous comments by ourselves in 2017 and others in 2020 regarding how much the stack leans were rough estimates based on visual observations. 3D point cloud analysis in 2022 reveals the stack is leaning 2'-3½" to the southeast.

Work by R & P in 2020 determined wall thicknesses and profiles throughout the height of the stack. This allowed us to refine our structural analysis and more accurately evaluate the stability of the stack with regard to the current Building Code. Our analysis has shown that even a new masonry stack built to the same height, configuration, wall thicknesses and profiles will fail in a design wind or seismic event. In its current configuration, the unreinforced brick masonry stack will have to be reduced in height to 60' to meet current Code requirements. Conceptually, the stack could be reduced to the height of 75' and meet the current Code by reinforcing the interior of the stack with concrete and enlarging and supplementing the existing foundation. Changes in the Building Code since the stack was constructed in 1949 simply make an unreinforced masonry stack of this height and wall construction impossible.

Our detailed observations and comments follow.

BACKGROUND OF THE STUDY

Arsee Engineers first assessed the smokestack in the fall of 2017 as part of a due diligence assessment for the City of Bloomington. Our report summarizing this work is attached as Appendix A and is hereby included into this report by reference.

The purpose of the current study has been to reassess the condition of the stack and offer recommendations on its stability and potential repair. In order to facilitate this effort, we have performed the following

- We have reviewed work performed by others since 2017.
 - Report prepared by R and P Industrial Chimney Company, Inc. (R & P) dated April 6, 2020.
 - Report prepared by Patriot Engineering dated January 7, 2021.
 - Proposals prepared by the Gerard Chimney Company for various repair options in 2021.
- We have revisited the site and performed the following:
 - Videotaped and took still photographs with a remote controlled aerial drone.
 - Created a 3D point cloud of the stack from videos taken by the drone.
 - Taken elevations of the exposed corners of the concrete foundation.
 - Developed montages of the stack for comparison with 2017 observations.
- We have updated our structural analysis of the stack using wall thicknesses and profiles reported by R & P in their 2020 report.

OBSERVATIONS

The Leaning of the Smokestack

The smokestack leans or tilts to the southeast. This is severe enough that it can be seen from ground level with the naked eye as shown in Photos 1 and 2. In 2017 we determined that the top of the stack was leaning 1 foot in every 10 and estimated that the overall tilt was in the order of several feet.

In their 2020 report, R & P estimated the chimney was leaning nearly 18 inches out of plumb. They further stated the curvature appeared to start at the 70 foot level but minor displacements were also observed below.

In the current study, we attempted to determine the lean or tilt of the stack in two ways. First we used a surveying transit to create a vertical “line” through the center of the stack in a direction approximately perpendicular to the lean. This is depicted photographically in Figure 1. This eliminates any potential parallax effect from the photograph. Comparing the proportions of the difference from the centerline to the width of the stack, we estimate the stack is 1’-9” out of plumb

from this vantage point. Figure 2 shows an image from our report in 2017 for comparison. This was created without the aide of a transit. A second method to determine the distortion used a remote controlled aerial drone to create a 3D point cloud of the stack. From this “measurements” can be made showing how far it is out of plumb. Figures 3 though 11A show pairs of aerial photographs and the 3D point cloud at various positions around the stack. The maximum distortion was found to be 2’-3½’ where the stack leans to the southeast. **The stack appears to start to curve or lean to the southeast just above the 25 foot level.** If the stack were to fall in the direction of the lean, much like a tree being cut down, it would fall as shown in Figure 12. The overall radius of 140’ from the center of the stack is also shown to get a sense of the danger zone.

Foundation of the Smokestack

The report prepared by Patriot Engineering investigated the foundation of the stack. Their report concluded that the concrete foundation is resting on bedrock and that bedrock is approximately 8.5 to 10.5 feet below grade level. They did not attempt to drill down into the rock to look for mud or clay seams.

Using a surveying level, elevations were taken at each of the eight corners of the octagonally shaped foundation. While one would not expect a foundation like this to be perfectly level there is a definite trend showing the foundation tilts to the southeast. See Figure 13. **A 1 inch tilt in the 14 foot wide foundation corresponds to a 10 inch tilt out of vertical in the 140 foot tall stack.** The apparent displacement of the concrete could be result of compression of a mud or clay seam in the bedrock in the southeast portion of the foundation causing it to “tilt” in that direction.

Visual Assessment Comparison

The drone was also utilized to create a series of vertical montages of the stack from different angles. The orientation of the montages attempted to copy a similar set of montages taken in 2017 so that the two sets could be compared. See Figures 14 through 16. In 2017 we observed 38 steel bands in the stack. The 2022 montages show band #35 down from the top is now missing. R & P reported only 37 steel bands when they performed their assessment in 2020 and noted there was evidence of one missing. Photos 3 and 4 show this location in 2017 and 2022. Rust stains and a bead of sealant are visible in the 2022 photo where the band was located.

Evidence of spalling was also compared between the 2017 and 2022 montages. **There are 11 locations in 2022 where new spalling is visible. These generally occur in the south to southwest face of the stack between 60 and 100 foot levels.** Examples are shown in Photos 5 and 6. Face shell spalling was also more evident at the foundation as shown in Photos 7 and 8.

STRUCTURAL ANALYSIS

Using information reported by R & P from their investigation of the interior of the stack we were able to refine our previous structural analysis. In 2017 we assumed wall thicknesses based on previous experience with similar stacks. R & P cut a hole in the steel plate roof and lowered a camera to observe the condition of the masonry and determine a more accurate wall profile. Using the R & P wall profile we have re-evaluated the stability of the stack under current code

requirements for wind and seismic loads. Further assumptions used in the analysis are presented in Appendix B. Our findings can be summarized as follows

- The smokestack will go into tension at the base under the current Code required wind load.
- The smokestack will go into tension at the base under the current Code required seismic load.
- The stack would have to be shortened to the 100' level to eliminate tension at the base due to the current Code required wind load.
- The stack would have to be shortened to the 60' level to eliminate tension at the base due to the current Code required seismic load.

In other words, even in its original configuration (ie: undistorted) the stack does not meet the requirements of the current Building Code for either wind or seismic loads. A design wind (120 mph gust for a period of 3 seconds) or a design seismic event would theoretically cause severe damage up to and including potential collapse of the stack.

REPAIR OPTIONS

At the onset of this study three options were to be investigated as follows:

Option 1- Removal of the stack down to the 70 foot level and repair the remaining masonry down to grade.

Option 2- Same as Option 1, but also reconstructing the stack to a height of 100 feet.

Option 3- Same as Option 1 but reconstructing the stack to a height of 140 feet.

Given the results of the latest structural analysis – none of these options will meet current Code requirements and therefore are not feasible. Given the configuration of the masonry walls of the stack any option over 60 feet in height will not meet the requirements of the Building Code for seismic loads.

In light of all this, we believe there are two viable options at this point.

Option A

- Remove the entire structure down to the 60' above grade level. Salvage face shells from sound brick for spall repair below this level. Dispose of steel plate roof/beams and straps above 60' level.
- Remove the inner brick liner and all debris in the bottom of the stack.
- Inspect the remaining steel straps and repair as necessary.
- Remove spalled and/or cracked brick and patching material from previous spall repairs. Replace the entire face shell with brick salvaged from above. Assume a total of 250 of these will be repaired.
- Epoxy inject approximately 250 LF of cracks.
- Properly cut out and tuckpoint all of the remaining mortar joints.
- Install a new concrete roof system with venting.

Option A is the tallest configuration available to have the stack meet all current Building Code requirements without having to reinforce the base for seismic loads. By removing the upper 80 feet of the stack and reducing the load on the foundation we do not believe supplemental modifications to the foundation will be necessary.

Option B

- Remove the entire structure down to the 75' above grade level. Salvage face shells from sound brick for spall repair below this level. Dispose of steel plate roof/beams and straps above the 75' level.
- Inspect the remaining steel straps and repair as necessary.
- Remove spalled and/or cracked brick and patching material from previous spall repairs. Replace the entire face shell with brick salvaged from above. Assume a total of 300 of these will be repaired.
- Epoxy inject approximately 300LF of cracks.
- Properly cut out and tuckpoint all of the remaining mortar joints.
- Install a new concrete roof system with venting.
- Remove the inner brick liner and all debris in the bottom of the stack to expose the concrete foundation.
- Install a series of 1 inch diameter vertical reinforcing bars at 12 inches on center in a circle inside the stack. These will be epoxied into holes drilled into the top of the concrete foundation. Install a series of ½ inch diameter stainless steel all thread rods into the masonry walls on the inside face of the stack (approximately 300 rods) set in epoxy.
- Fill the bottom of the stack with concrete to a depth of approximately 20 feet. This would be performed in multiple pours so that the hydrostatic pressure of the wet concrete does not blow out or distort the walls of the stack.
- Excavate around the perimeter of the foundation down to bedrock. Install reinforcing bars into the sides of the foundation and pour a reinforced concrete “doughnut” to create a larger more stable foundation.

Option B is the tallest configuration available assuming the brick from the original stack can be kept in place and (**with significant unseen modifications**) the refurbished stack can meet current Building Code requirements for wind and seismic loads.

Working with Gerard Chimney and Glenroy Construction (a local General Contractor) the following budgetary cost estimates have been developed. These are anticipated construction costs and do not include A/E fees, contingencies or other soft costs.

Option A – Remove stack down to 60' level	
Budgetary cost estimate	\$ 350,000
Option B— Remove stack to down 75' level/reinforce	
Interior and modify foundation	
Budgetary cost estimate	\$ 525,000

A key element in either option is the length of time it would take to demo the upper part of the smokestack down to the 75' or 60' so that the Farmer's Market could open in the nearby parking lot. Gerard Chimney believes this could be accomplished in approximately 4 weeks from the receipt of a Notice to Proceed.

TEMPORARY STABILIZATION

During the course of this work, the question has been raised as to whether the smokestack could be temporarily stabilized in place until more permanent repairs are undertaken.

Theoretically – the answer is yes.

We have investigated two schemes to “hold” the smokestack in place with a supplemental steel frame of some type.

1. Construction of pipe scaffolding that would completely encircle the stack. The scaffold would have to tie into the walls of the tower near mid height to use the self weight of the masonry to keep windward side of the scaffold from lifting off the ground in a lateral wind or seismic event.
2. A steel frame made of wide flange beams and columns that would encircle the stack. This frame would be bolted to new concrete foundations to hold the steel frame down in a wind or seismic event.

Huge challenges for either of these schemes involve the proximity of the two buildings to the east and southeast of the stack. The pipe scaffolding or steel frame would have to extend onto/into both of these structures. No attempt has been made to determine how this would be performed. Nothing is insurmountable – but either of these temporary stabilization schemes seems very impractical.

With the aide of Specialty Contractors for scaffolding and steel erection very rough cost estimates have been developed for these two schemes.

Pipe scaffolding (2 month rental)	\$ 350,000
Steel Framing	\$ 550,000

These do not include A/E fees, contingencies or other soft costs. The pipe scaffolding would take approximately 7 weeks to design and install assuming Scaffold King could be contracted directly and assist us in the design to expedite the overall process. The steel frame would take on the order of 10 weeks to order, fabricate and install if the work did not have to be publicly bid.

CONCLUSION

In our opinion, this re-evaluation of the smokestack has helped us develop a better understanding of 1) how it is constructed, 2) how it has deteriorated and 3) what options are truly available to stabilize and repair it.

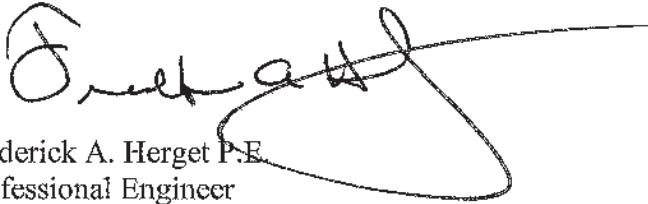
The concept of restoring it to its original height and appearance is understandable and obviously in the historical sense, desirable. The reality is the stack was constructed when the potential for

significant seismic forces was not considered in the Building Code used in Indiana. Masonry stacks typically do not fare well in seismic events and our scientific understanding of earthquakes has heightened concern enough that there are now Code provisions for them. In order for a 140 foot tall stack to meet the Building Code in this same location today it would have to be constructed from literally the ground up with different wall profiles and with a new foundation.

Lowering the stack to a level of 60 to 75 feet in height will preserve the original material to at least some degree.

This report will probably generate further questions and discussion. We are happy to try to answer them and help move this process along.

Your truly,

A handwritten signature in black ink, appearing to read 'Fred Herget', with a long horizontal line extending to the right and a large loop at the bottom.

Frederick A. Herget P.E.
Professional Engineer



Photo 1 Looking up the wall of the stack on the southeast face.



Photo 2 Looking up the wall of the stack on the opposite side as Photo 1.



Photo 3 Photo taken in 2017.

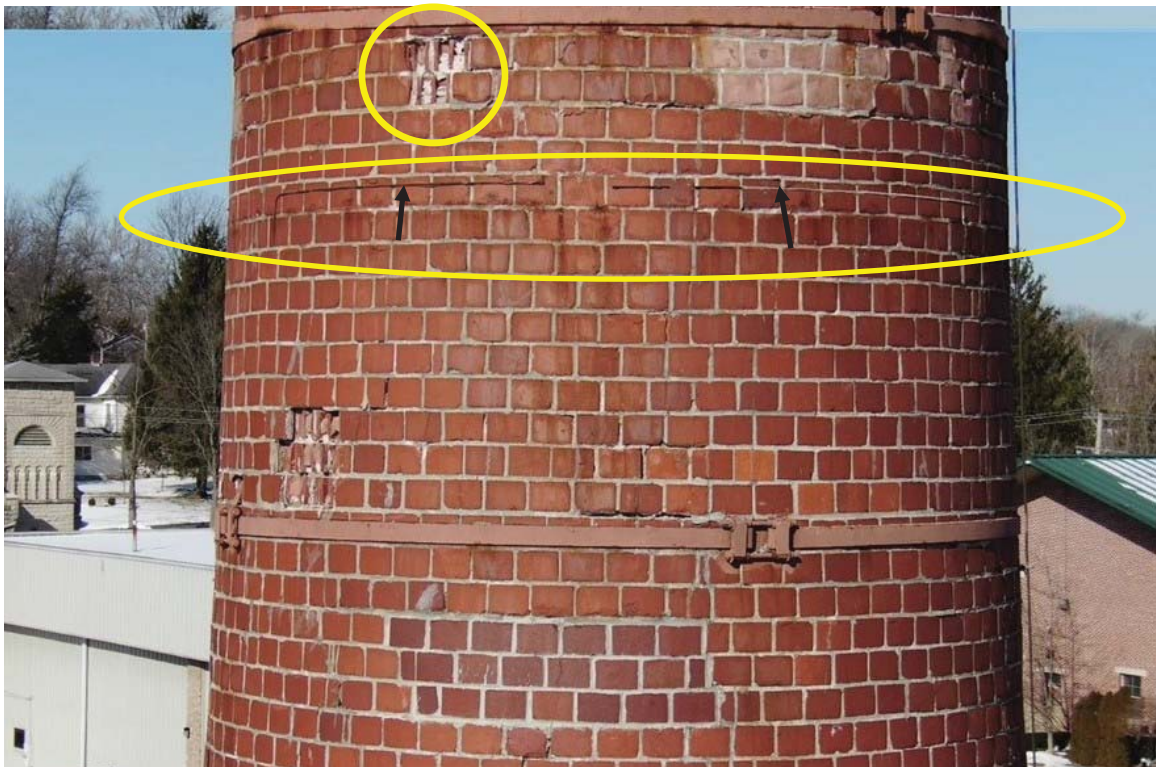


Photo 4 Photo taken in 2022. Band 35 is gone. Remnants of sealant at the top of the band are highlighted as is a new spall.



Photo 5 New spalls are highlighted in this 2022 photo.

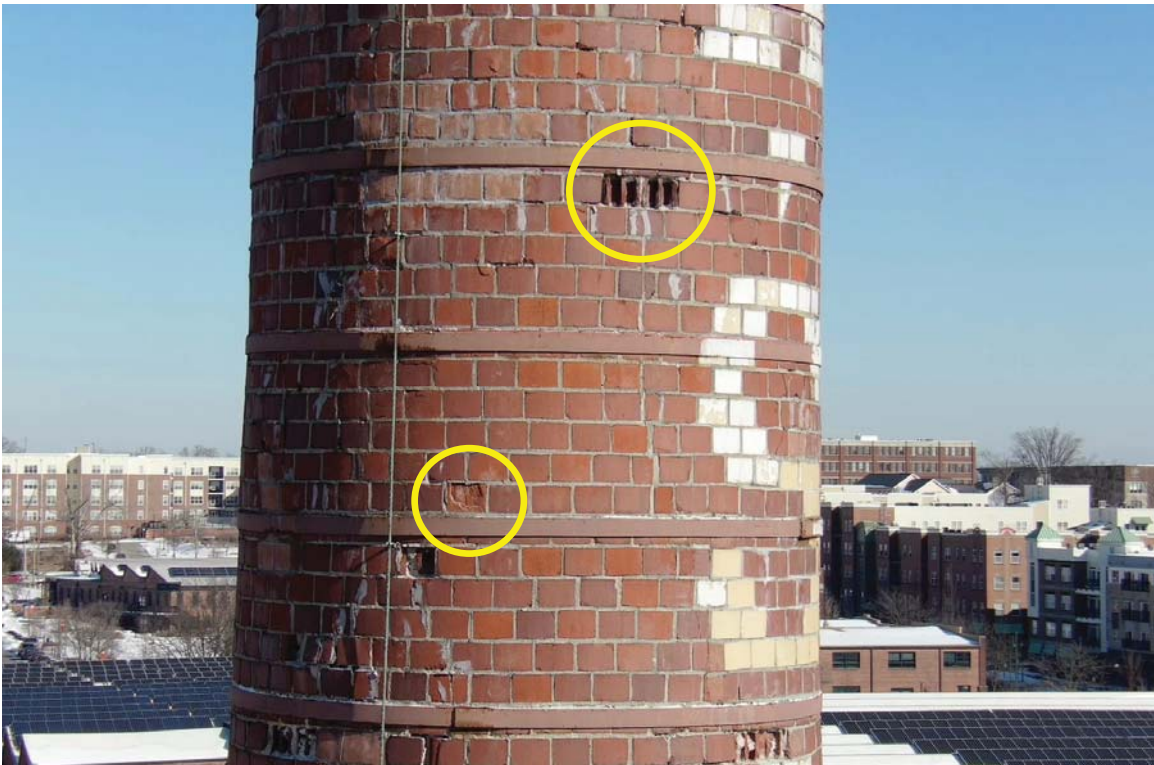


Photo 6 More new spalls are highlighted.



Photo 7
Spalling extends to the
base of the stack.

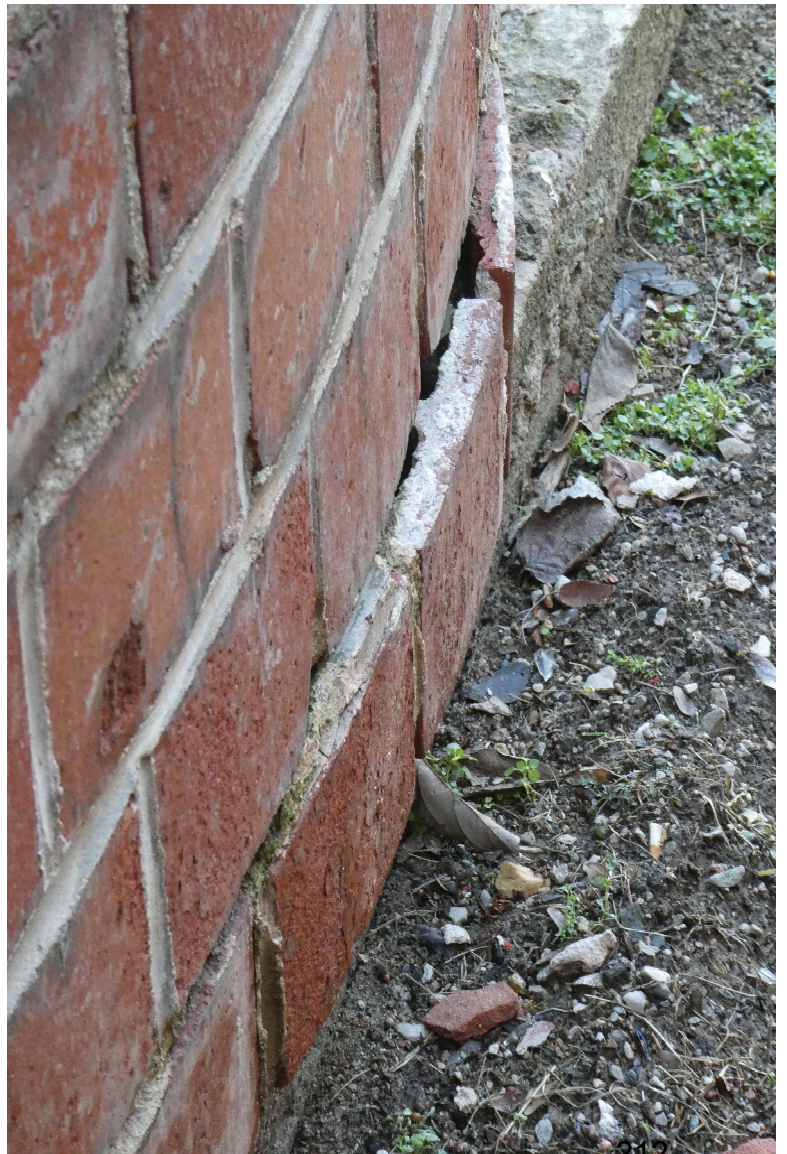


Photo 8
The face shells are splitting off from the body of
the brick.

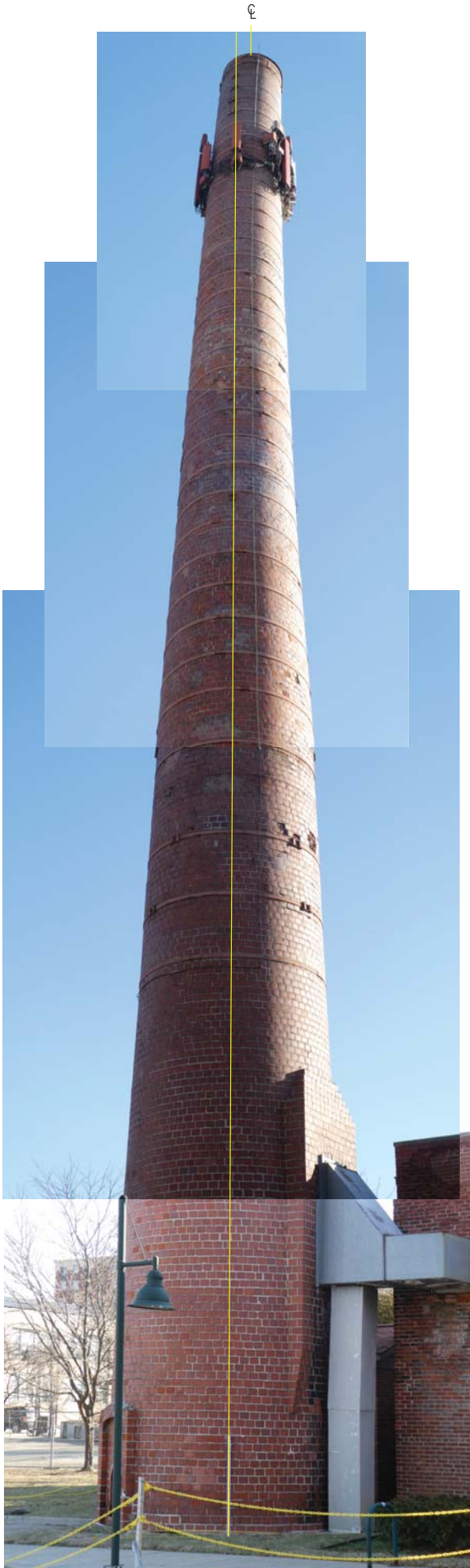


FIGURE 1



FIGURE 3

ARSEE ENGINEERS <small>CLIENT ORIENTED - BY DESIGN</small>	SINCE 1968	PLAN VIEW PHOTO		R1							
		JOHNSON'S CREAMERY SMOKE STACK	<table border="1"> <tr> <td>Project number</td> <td>Project Number</td> </tr> <tr> <td>Date</td> <td>Issue Date</td> </tr> <tr> <td>Drawn by</td> <td>Author</td> </tr> <tr> <td>Checked by</td> <td>Checker</td> </tr> </table>		Project number	Project Number	Date	Issue Date	Drawn by	Author	Checked by
Project number	Project Number										
Date	Issue Date										
Drawn by	Author										
Checked by	Checker										

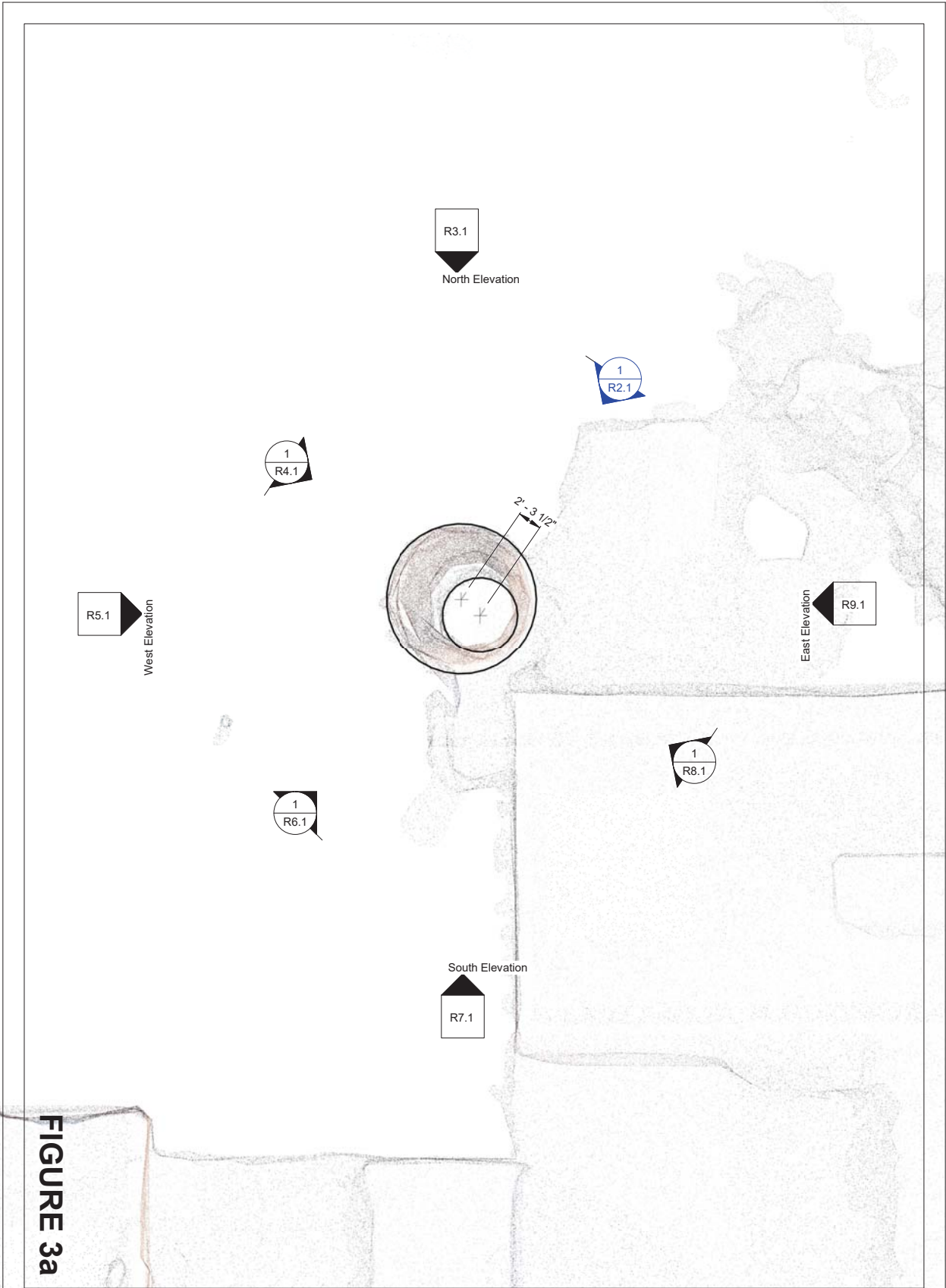


FIGURE 3a

ARSEE ENGINEERS <small>CLIENT ORIENTED - BY DESIGN</small>	SINCE 1968	PLAN VIEW	
		Project number	Project Number
		Date	Issue Date
JOHNSON'S CREAMERY SMOKE STACK		Drawn by	Author
		Checked by	Checker
		Scale	1/8" = 1'-0"

R1

2/25/2022 11:59:33 AM



FIGURE 4

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

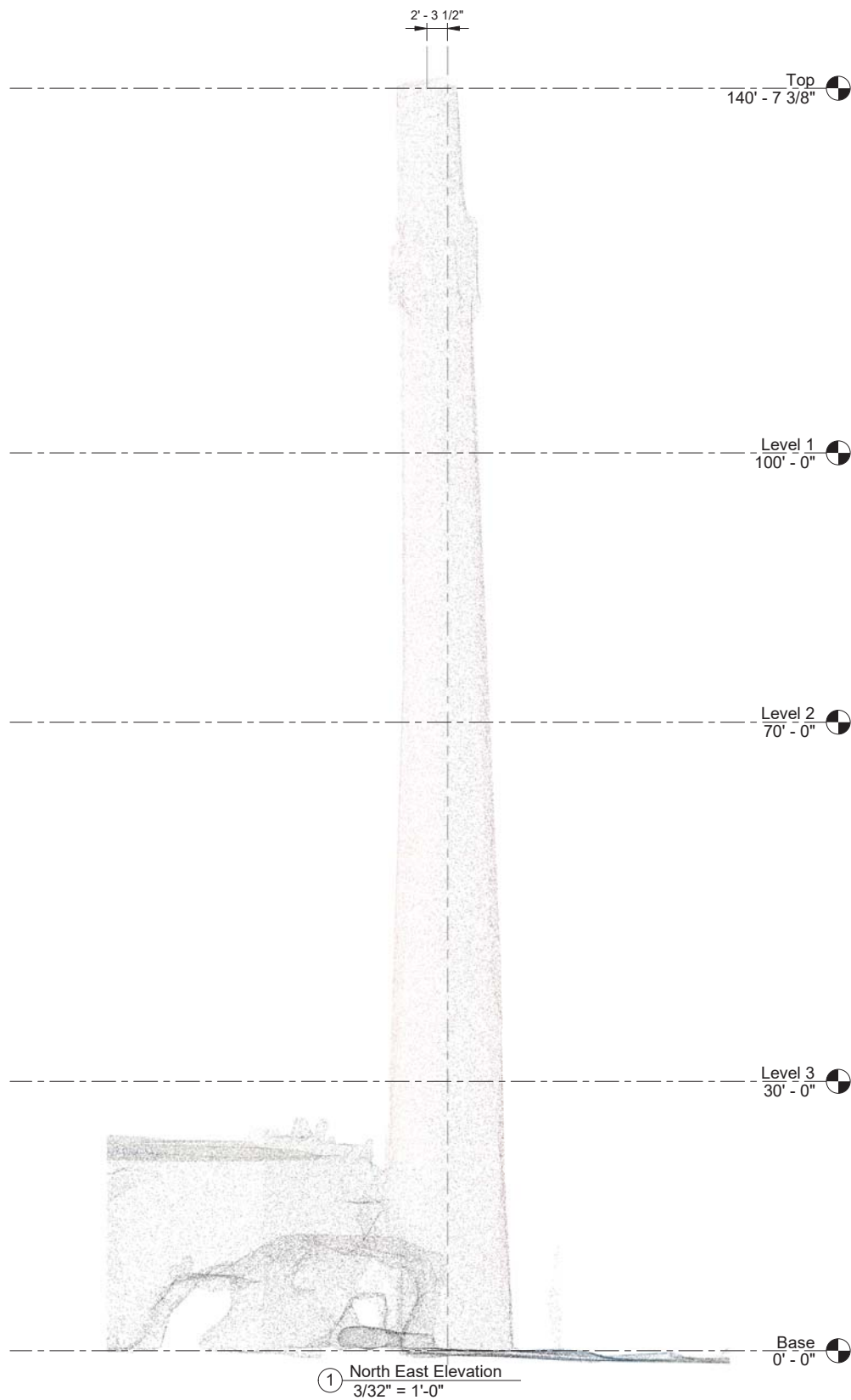
JOHNSON'S CREAMERY
 SMOKE STACK

NORTH EAST ELEVATION PHOTO

Project number	Project Number	R2
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale

2/25/2022 11:59:51 AM

FIGURE 4a



① North East Elevation
3/32" = 1'-0"

ARSEE ENGINEERS | SINCE 1968
CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
SMOKE STACK

NORTH EAST ELEVATION

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R2.1

Scale 3/32" = 1'-0"

2/25/2022 12:00:04 PM



FIGURE 5

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
 SMOKE STACK

NORTH ELEVATION PHOTO

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R3

2/25/2022 12:00:15 PM

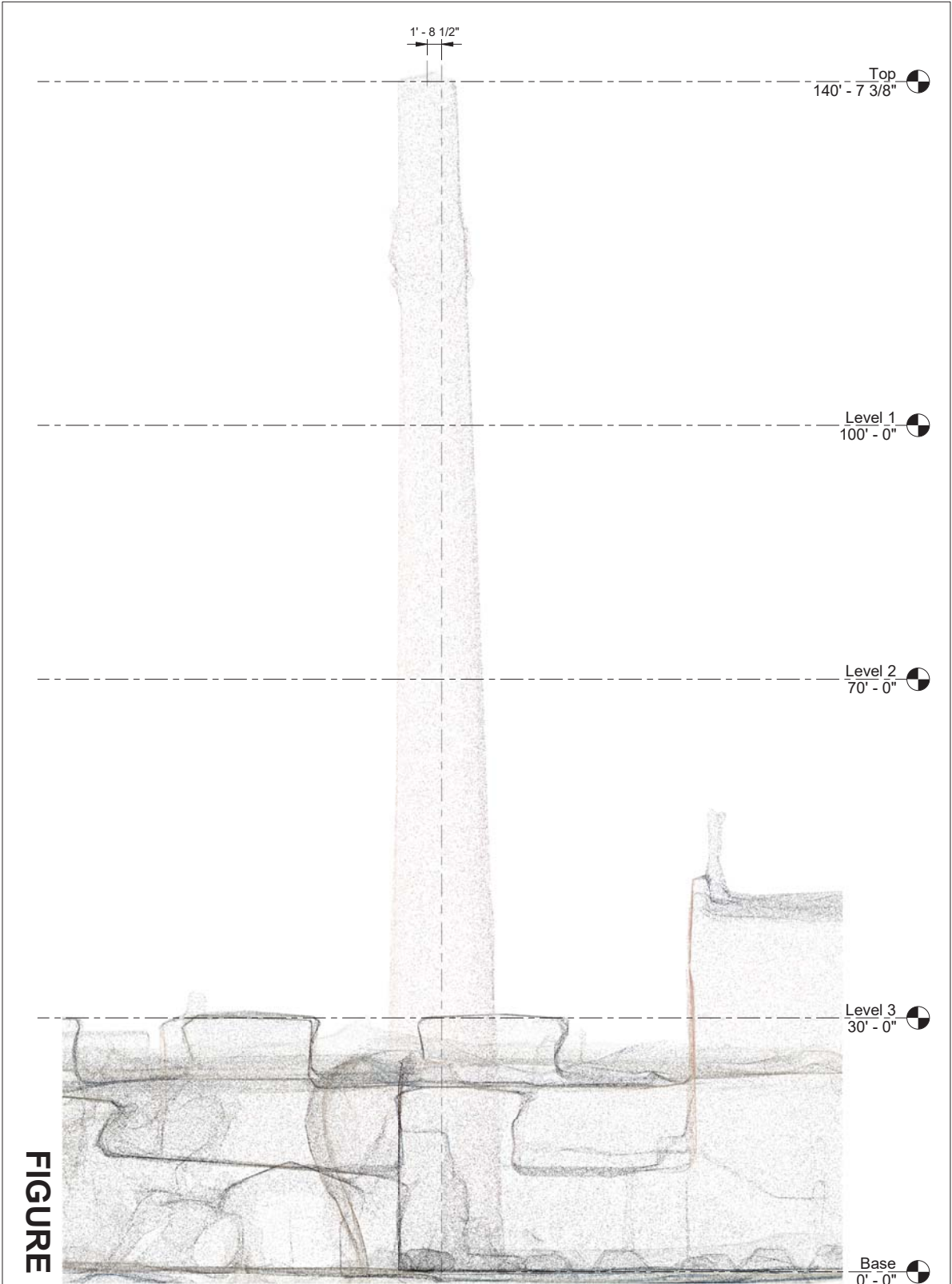


FIGURE 5a

① North Elevation
3/32" = 1'-0"

ARSEE ENGINEERS | SINCE 1968
CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
SMOKE STACK

NORTH ELEVATION

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R3.1

Scale 3/32" = 1'-0"

2/25/2022 12:00:28 PM



FIGURE 6

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

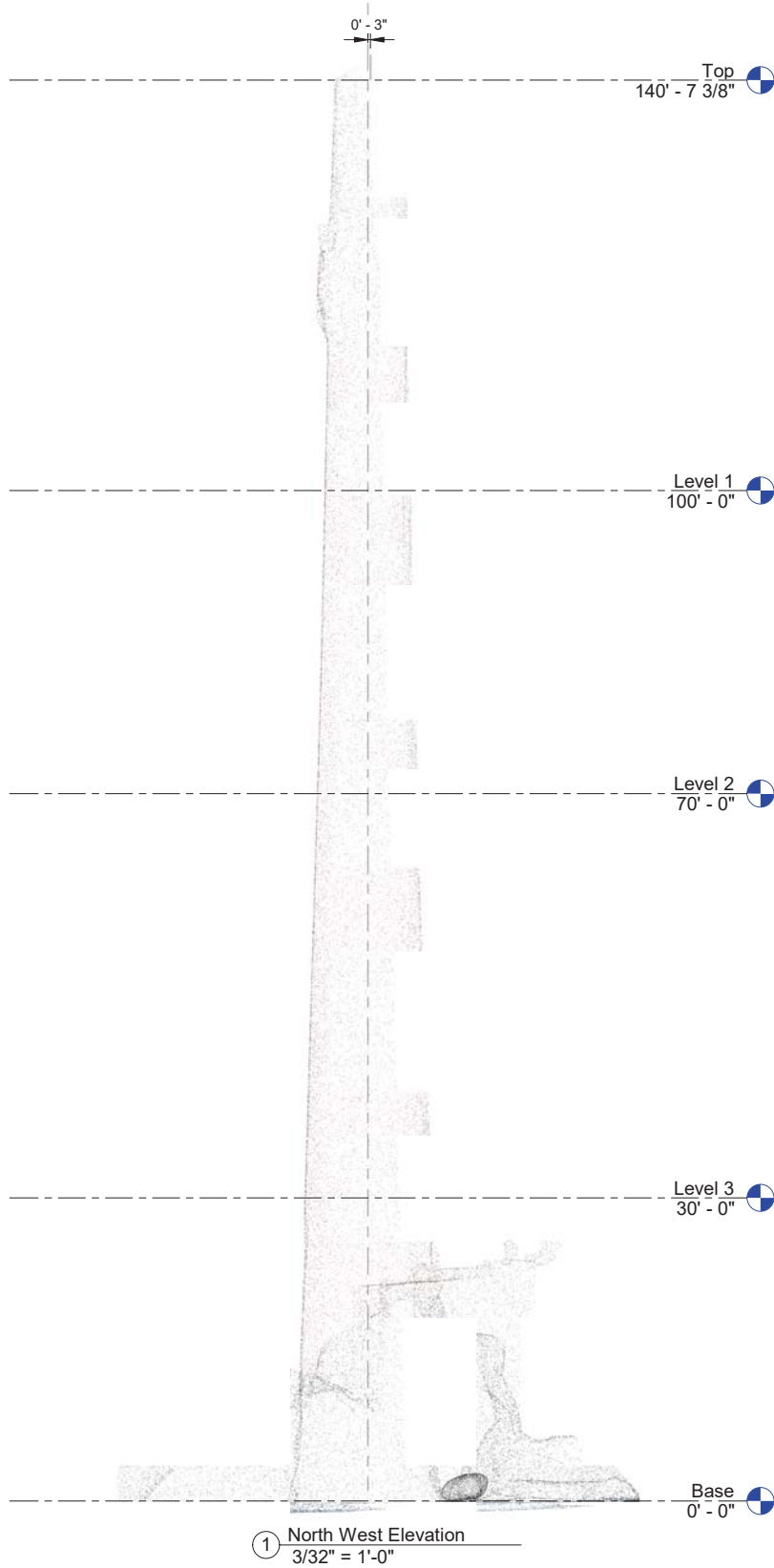
JOHNSON'S CREAMERY
 SMOKE STACK

NORTH WEST ELEVATION PHOTO

Project number	Project Number	R4
Date	Issue Date	
Drawn by	Author	Scale
Checked by	Checker	

2/25/2022 12:00:38 PM

FIGURE 6a



① North West Elevation
3/32" = 1'-0"

ARSEE ENGINEERS | SINCE 1968
CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
SMOKE STACK

NORTH WEST ELEVATION

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R4.1

Scale 3/32" = 1'-0"

2/25/2022 12:00:49 PM



FIGURE 7

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
 SMOKE STACK

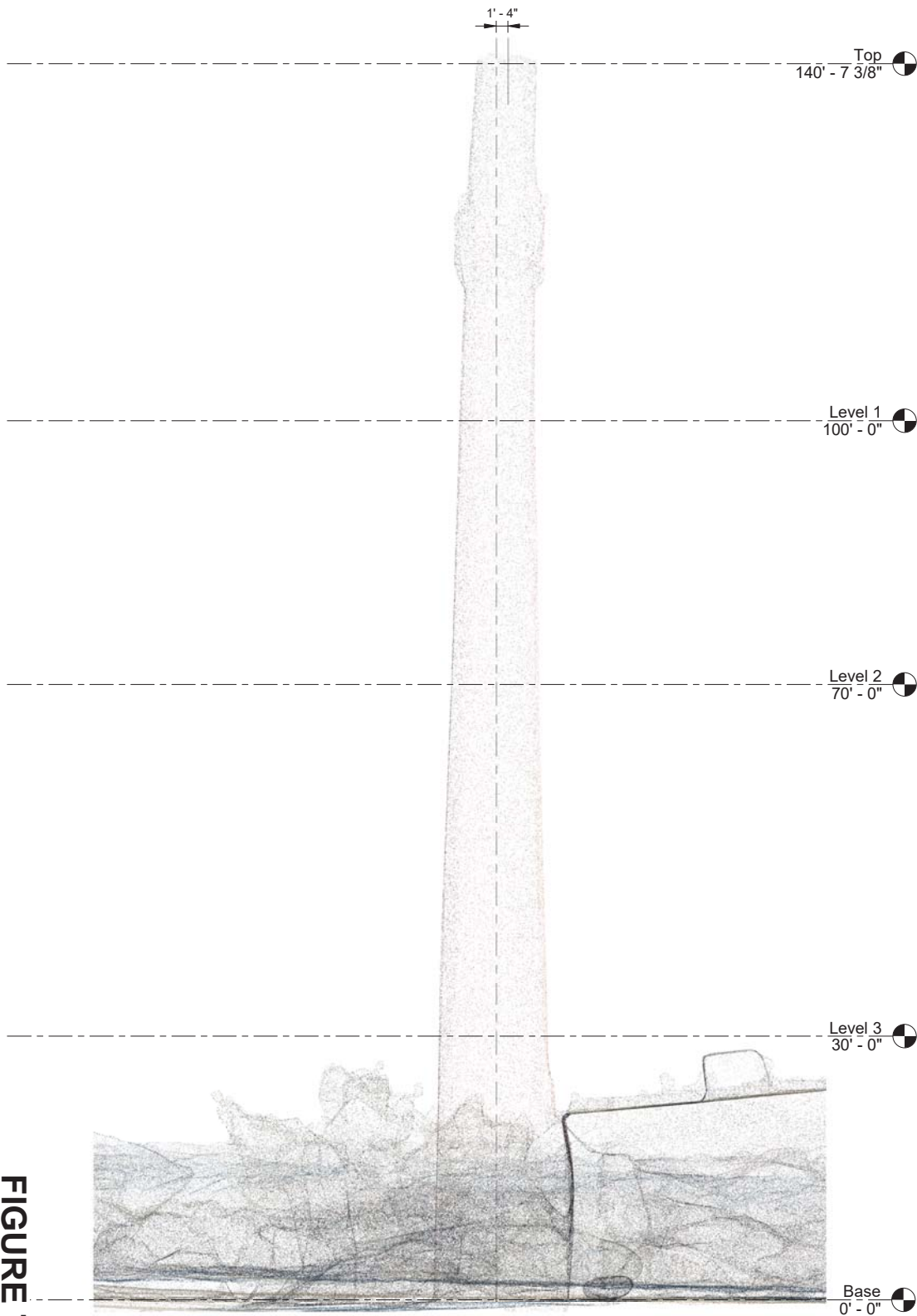
WEST ELEVATION PHOTO

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R5

2/25/2022 12:01:02 PM

FIGURE 7a



① West Elevation
3/32" = 1'-0"

ARSEE ENGINEERS | SINCE 1968
CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
SMOKE STACK

WEST ELEVATION

Project number	Project Number	R5.1
Date	Issue Date	
Drawn by	Author	Scale 3/32" = 1'-0"
Checked by	Checker	

2/25/2022 12:01:16 PM

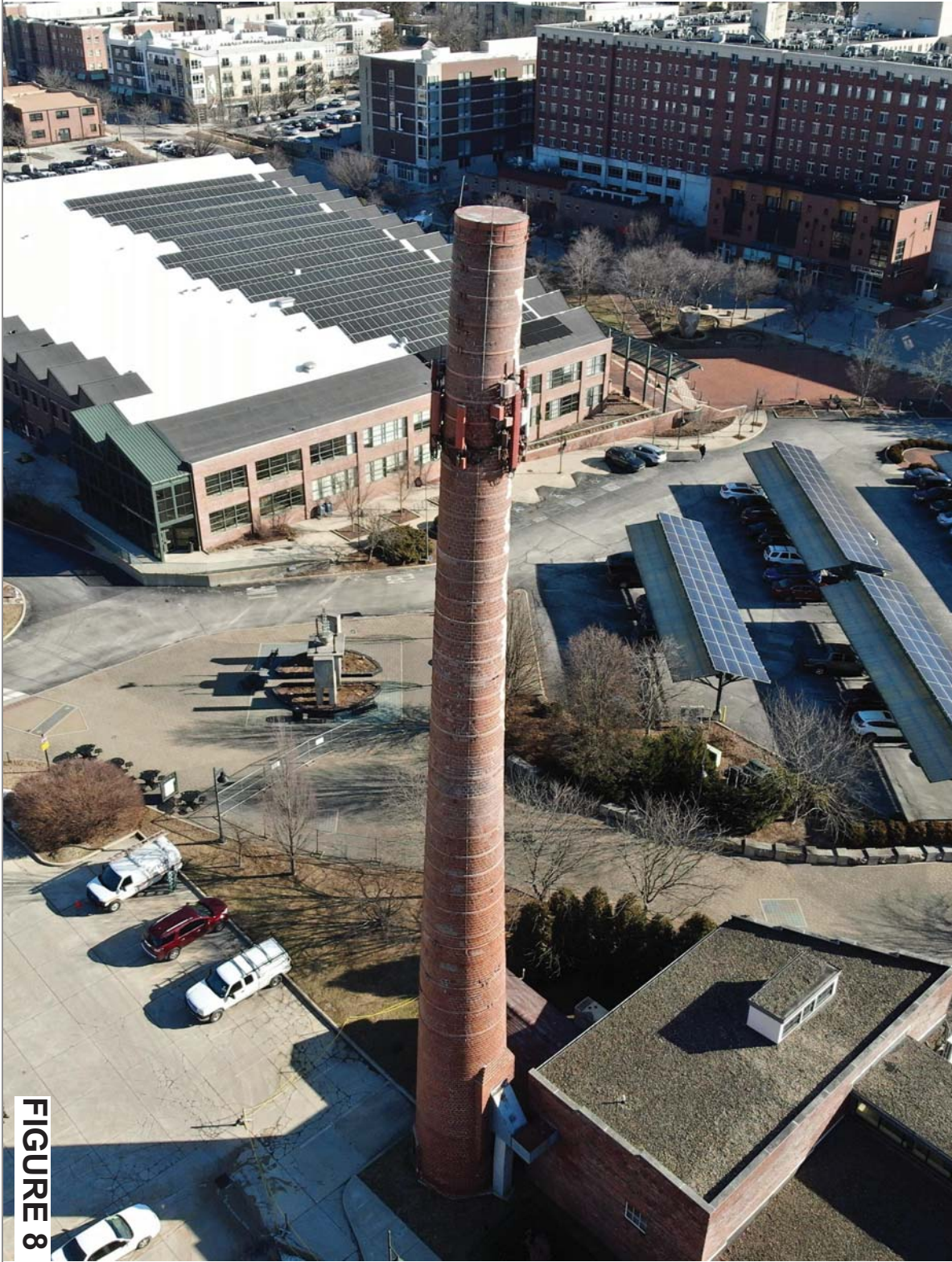


FIGURE 8

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

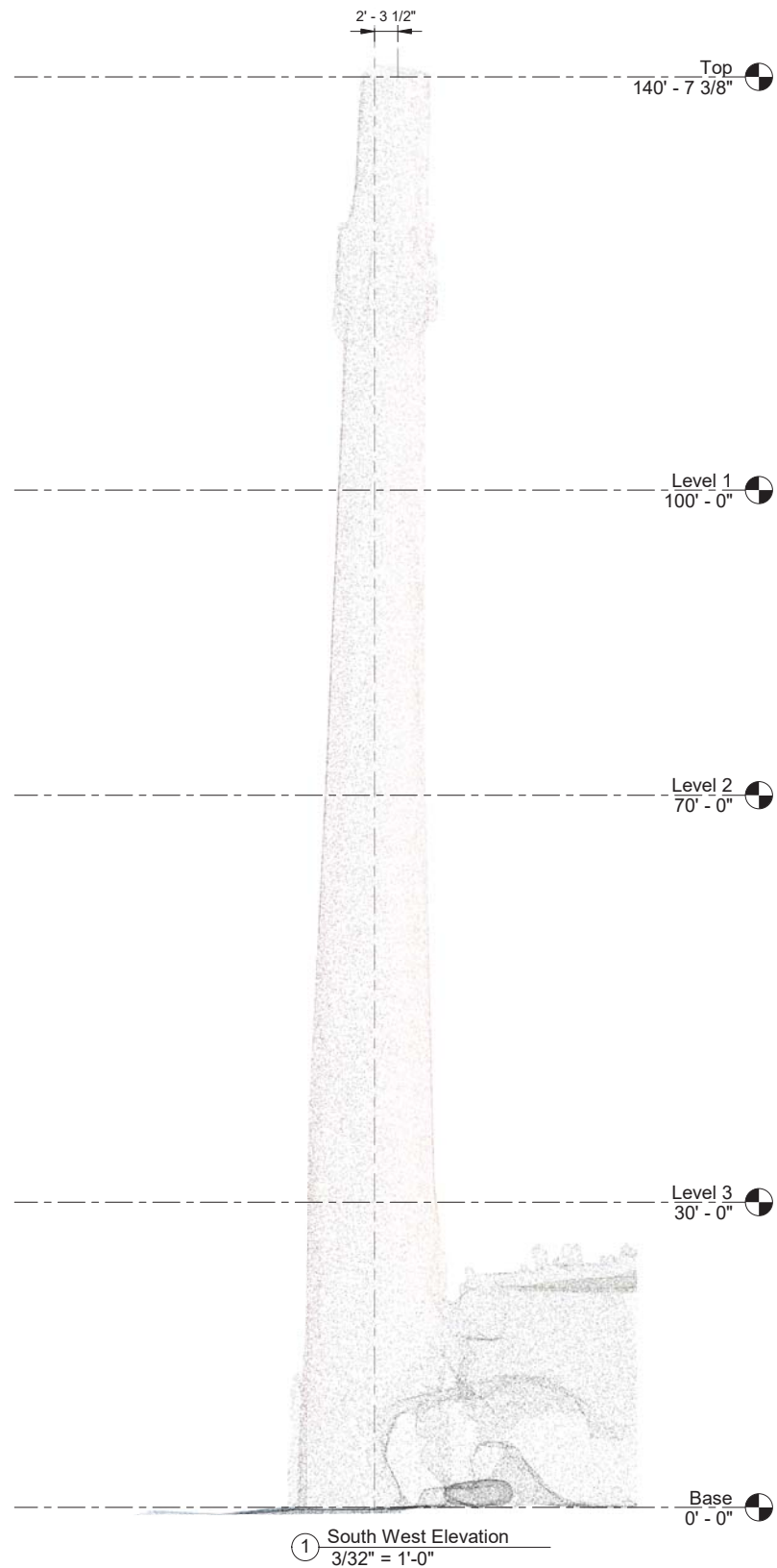
JOHNSON'S CREAMERY
 SMOKE STACK

SOUTH WEST ELEVATION PHOTO

Project number	Project Number	R6
Date	Issue Date	
Drawn by	Author	Scale
Checked by	Checker	

2/25/2022 12:01:24 PM

FIGURE 8a



ARSEE ENGINEERS | SINCE 1968
CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
SMOKE STACK

SOUTH WEST ELEVATION

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R6.1

Scale 3/32" = 1'-0"

2/25/2022 12:01:36 PM



FIGURE 9

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

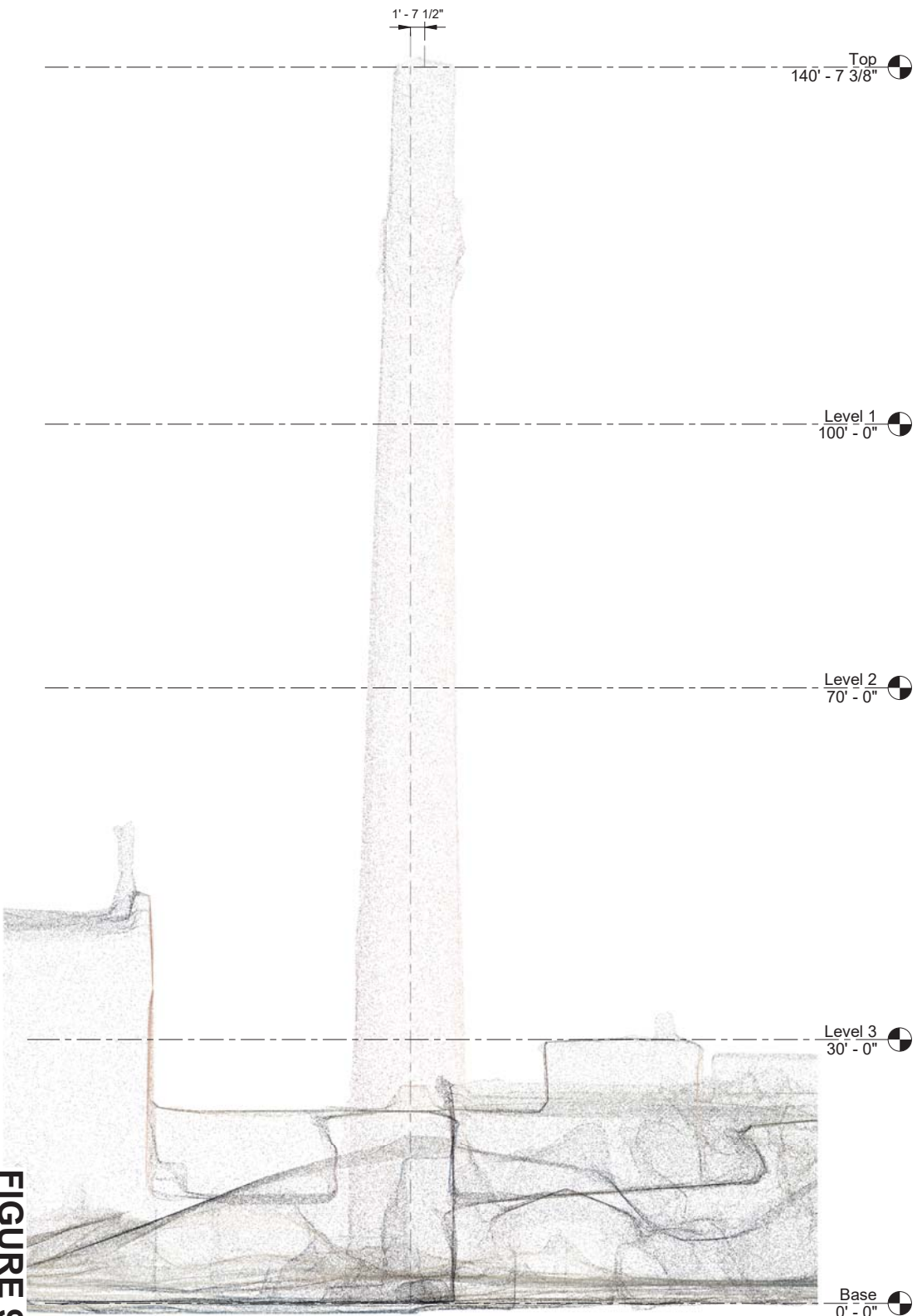
JOHNSON'S CREAMERY
 SMOKE STACK

SOUTH ELEVATION PHOTO

Project number	Project Number	R7
Date	Issue Date	
Drawn by	Author	Scale
Checked by	Checker	

2/25/2022 12:01:47 PM

FIGURE 9a



① South Elevation
3/32" = 1'-0"

ARSEE ENGINEERS <small>CLIENT ORIENTED - BY DESIGN</small>	SINCE 1968	SOUTH ELEVATION	
		Project number	Project Number
		Date	Issue Date
		Drawn by	Author
		Checked by	Checker
JOHNSON'S CREAMERY SMOKE STACK		R7.1 Scale 3/32" = 1'-0"	

2/25/2022 12:01:58 PM



FIGURE 10

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

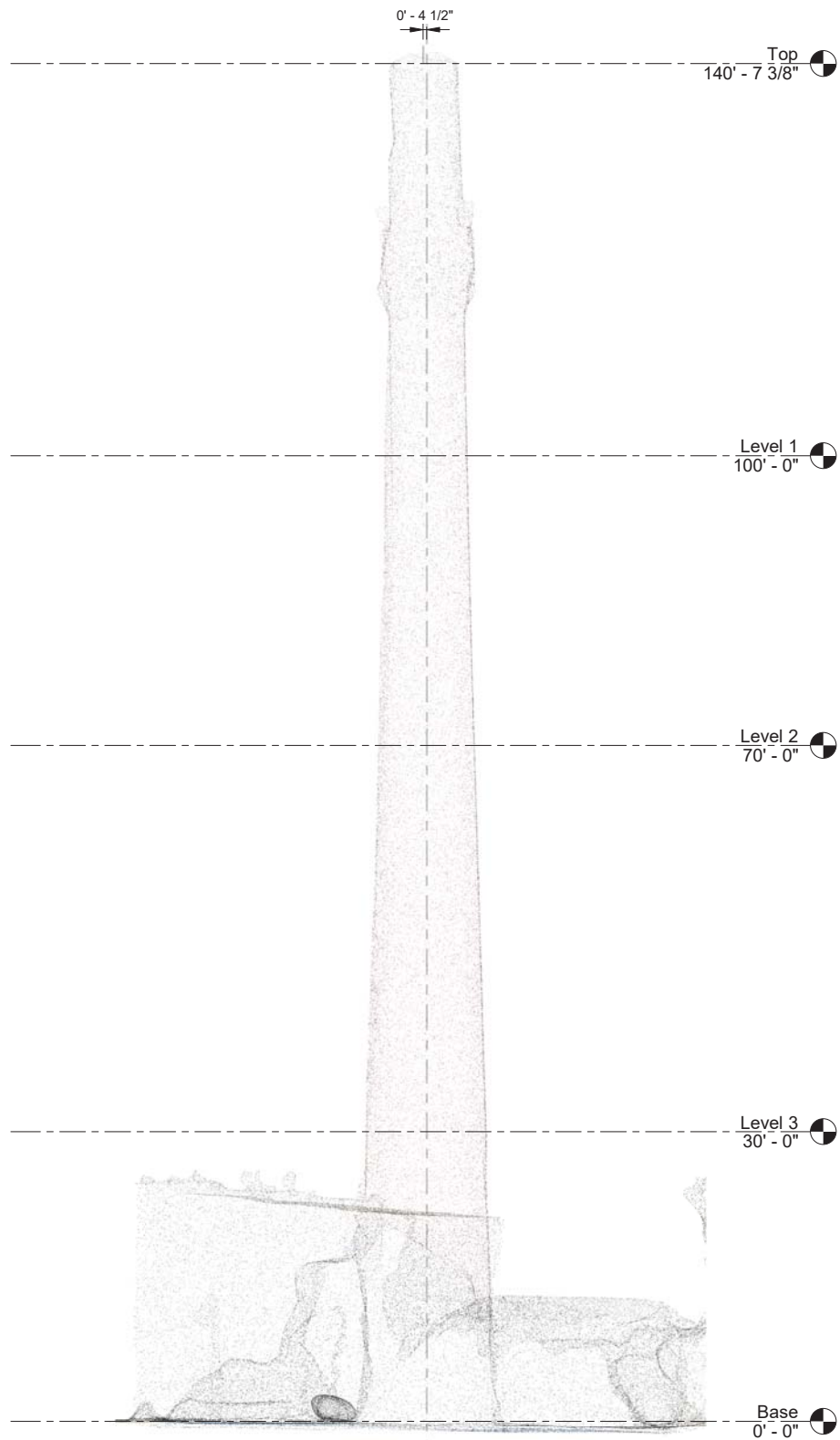
JOHNSON'S CREAMERY
 SMOKE STACK

SOUTH EAST ELEVATION PHOTO

Project number	Project Number	R8
Date	Issue Date	
Drawn by	Author	Scale
Checked by	Checker	

2/25/2022 12:02:06 PM

FIGURE 10a



① South East Elevation
3/32" = 1'-0"

ARSEE ENGINEERS | SINCE 1968
CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
SMOKE STACK

SOUTH EAST ELEVATION

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

R8.1

Scale 3/32" = 1'-0"

2/25/2022 12:02:19 PM



FIGURE 11

ARSEE ENGINEERS SINCE 1968
 CLIENT ORIENTED - BY DESIGN

JOHNSON'S CREAMERY
 SMOKE STACK

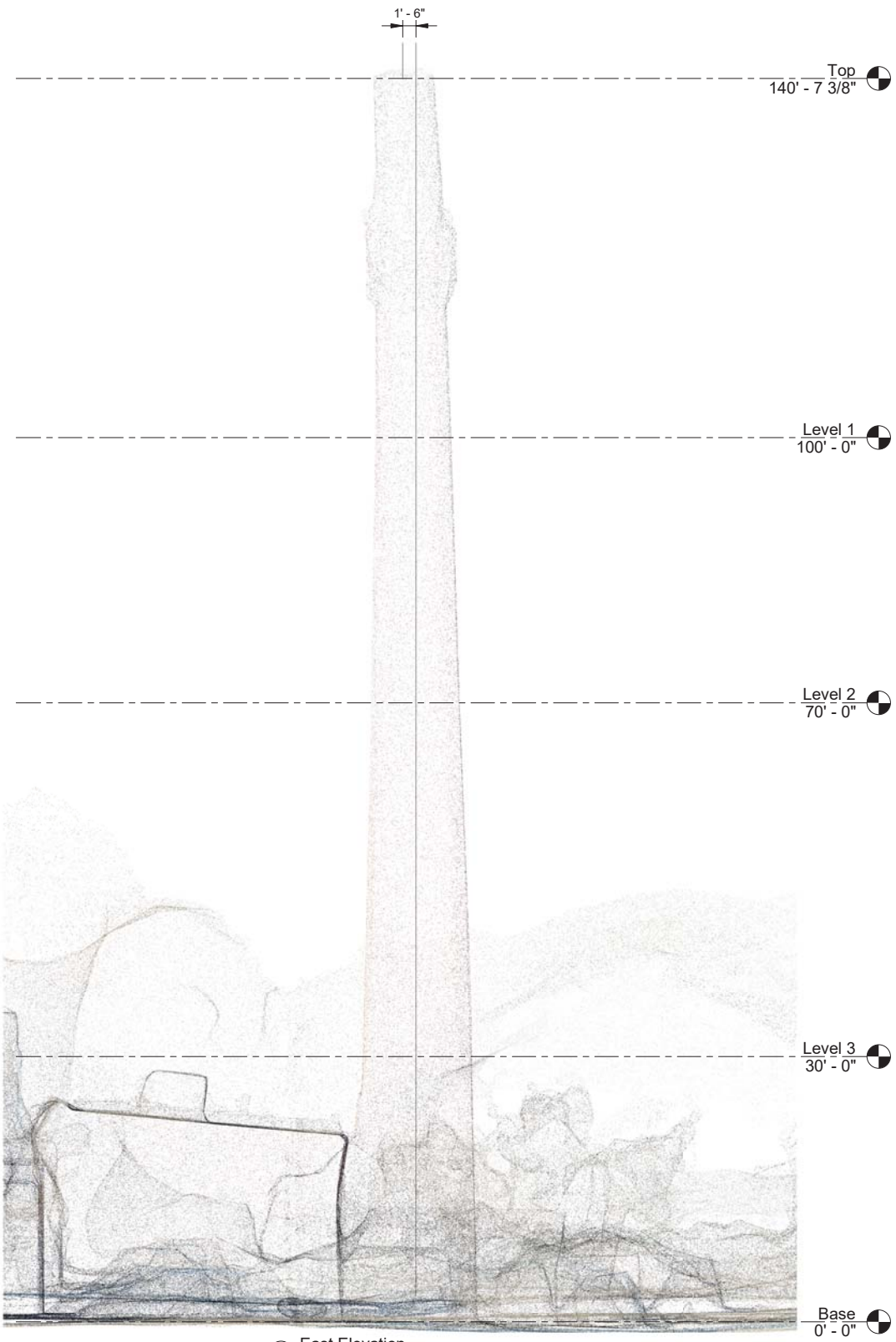
EAST ELEVATION PHOTO

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
	Scale

R9

2/25/2022 12:02:26 PM

FIGURE 11a



① East Elevation
3/32" = 1'-0"

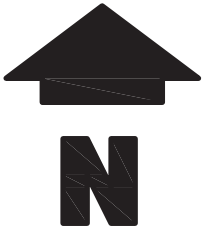
ARSEE ENGINEERS <small>CLIENT ORIENTED - BY DESIGN</small>	SINCE 1968	EAST ELEVATION		
		Project number	Project Number	R9.1
		Date	Issue Date	
		Drawn by	Author	
		Checked by	Checker	Scale 3/32" = 1'-0"

JOHNSON'S CREAMERY
SMOKE STACK

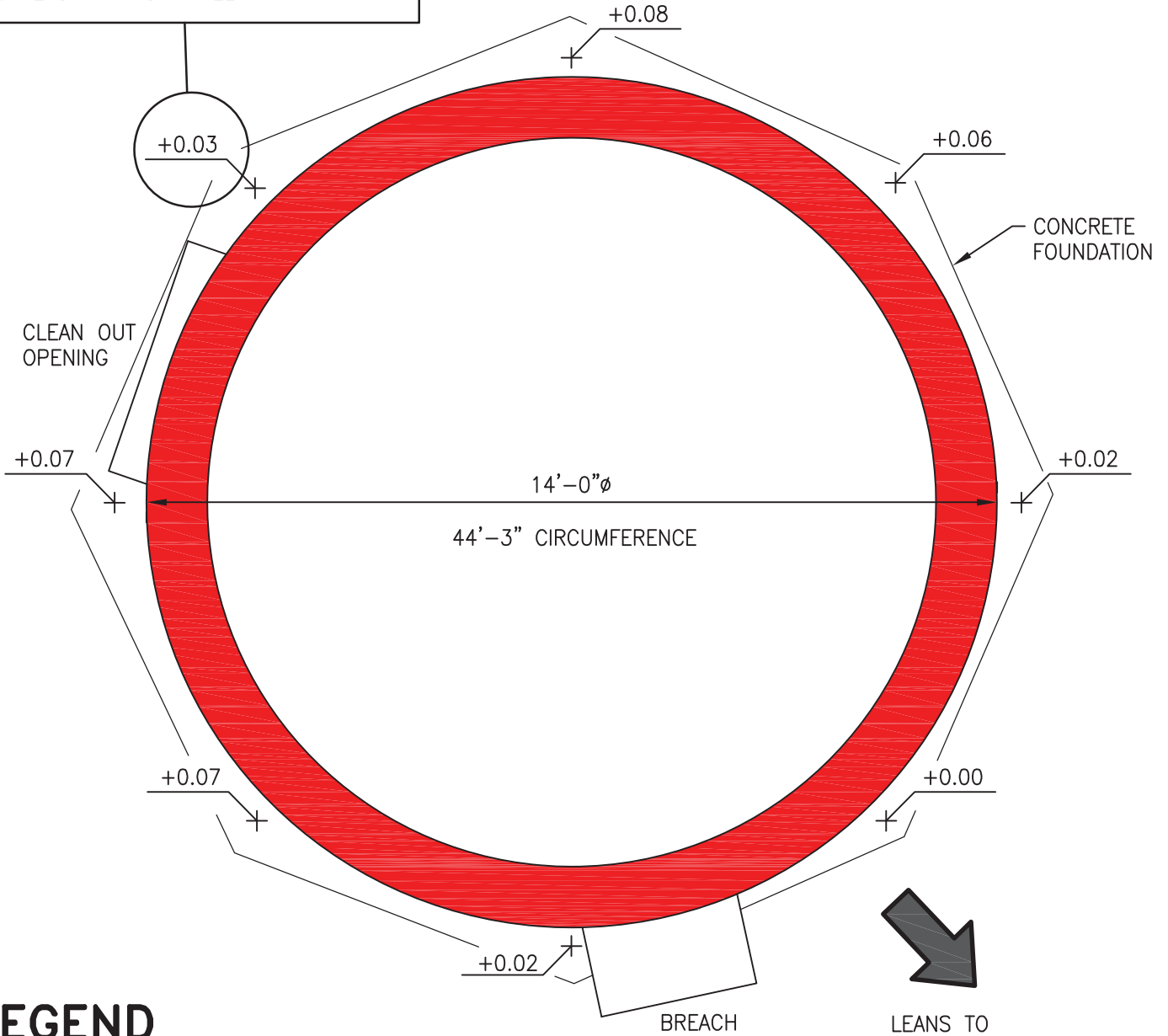
2/25/2022 12:02:39 PM



FIGURE 12



ASSUMING THIS IS AN ANOMALY, THE TOP OF THE FOUNDATION TILTS DOWN TO THE SOUTHEAST APPROXIMATELY 1".



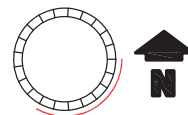
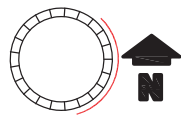
LEGEND

X.XX
+ SPOT ELEVATION
IN FEET

FIGURE 13



FIGURE 14



SHEET NO. S1	CLIENT NO.	JOHNSON CREAMERY SMOKE STACK 2017 - 2022 COMPARISON	DRAWN BY CHECKED BY DATE	SCALE DATE	PROJECT NO. DATE	CLIENT ORIENTED — BY DESIGN 9715 KINCAD DRIVE, SUITE 100 317.934-1182 PHONE FISHERS, IN 46434-4603 317.934-6590 FAX
	EAST AND SSE ELEVATIONS					

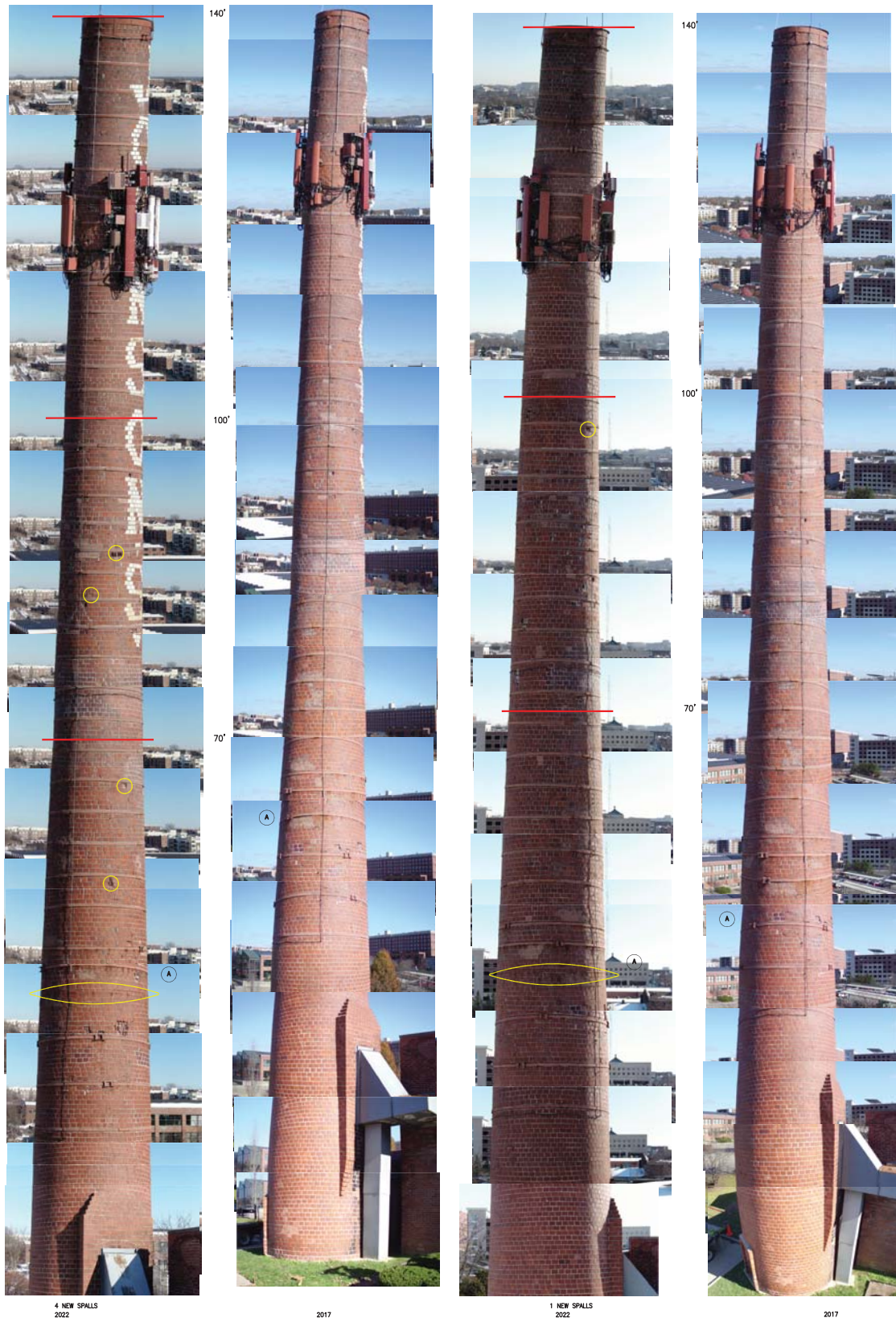


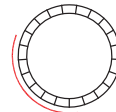
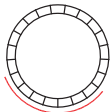
FIGURE 15

4 NEW SPALLS
2022

2017

1 NEW SPALLS
2022

2017



SHEET NO.
S2

DATE
DRAWN BY
SCALE
CHECKED BY

THE
SOUTH AND SW
ELEVATIONS

NO.	REVISION

JOHNSON CREAMERY
SMOKE STACK
2017 - 2022 COMPARISON

DATE

ARSEE ENGINEERS, INC.
CLIENT ORIENTED — BY DESIGN
9715 KINCAD DRIVE, SUITE 100 317.934.4152 PHONE
FISHERS, INDIANA 46037-4959 317.564.9590 FAX

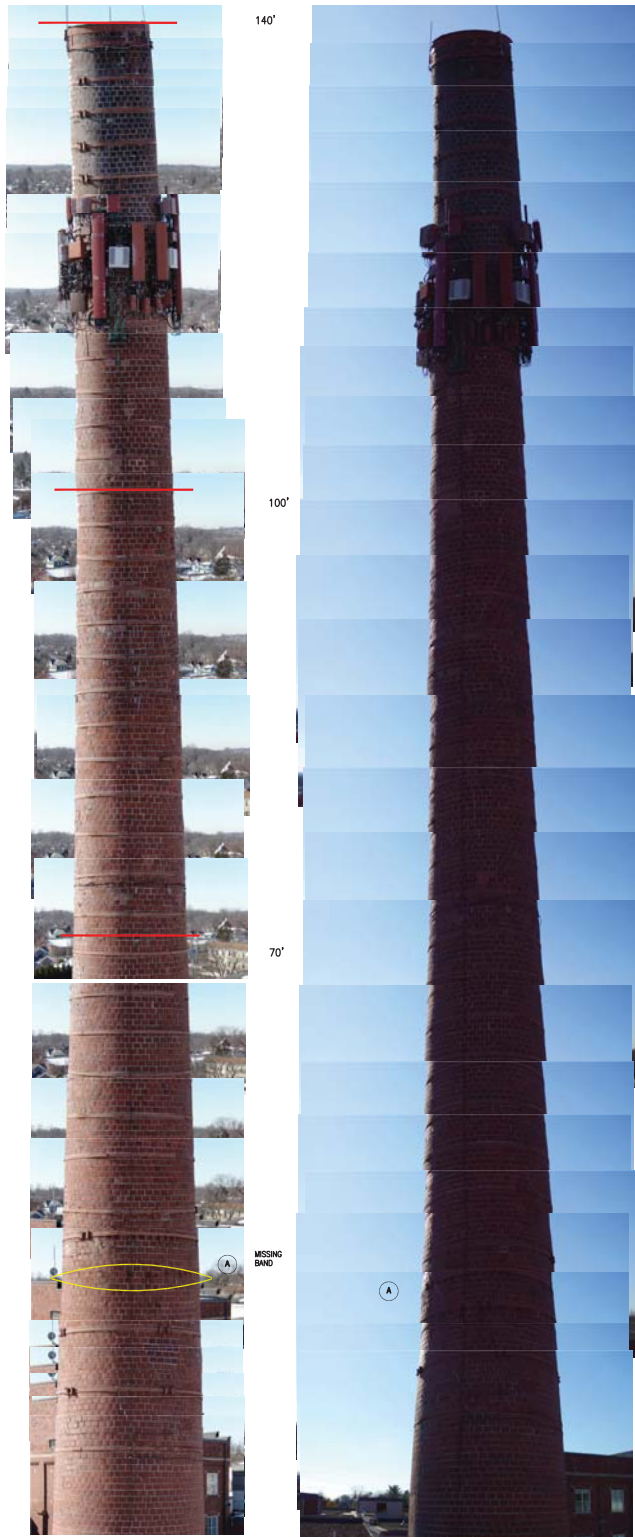
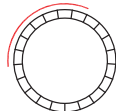


FIGURE 16

2022

2017



SHEET NO. S3	DATE	SCALE	DRAWN BY	CHECKED BY
TITLE NNW ELEVATION				

JOHNSON CREAMERY
SMOKE STACK
2017 - 2022 COMPARISON

ARSEE ENGINEERS, Inc.
 CLIENT ORIENTED — BY DESIGN
 9715 KINCARD DRIVE, SUITE 100 317.934.4152 PHONE
 FISHERS, INDIANA 46037-4959 317.934.6590 FAX



ARSEE ENGINEERS, INC.

CLIENT ORIENTED — BY DESIGN

Johnson Creamery Smokestack Assessment
for

Alex Crowley
City of Bloomington
401 N. Morton, Suite 150
P. O. Box 100
Bloomington, IN 47404

November 30, 2017

Alex Crowley
City of Bloomington
401 N. Morton, Suite 150
P. O. Box 100
Bloomington, IN 47404

Re: Johnson Creamery Smokestack

Dear Alex:

EXECUTIVE SUMMARY

We have completed our assessment of the smokestack within the Johnson's Creamery facility. This work has included up close observation/documentation using both a crane and man basket as well as drone technology.

The current stack is approximately 140 feet tall and is reported to have been constructed in 1949. The upper portion of the stack leans several feet to the south/southeast. Crude measurements show it is out of plumb one foot in every ten at the top of the stack. In our opinion, this movement has occurred after construction – it was not built this way.

Deterioration is visible throughout the height of the stack to various degrees but is more prominent in the upper half. This takes the form of spalled brick, cracking (predominantly vertical) and deteriorated mortar. There is evidence of numerous different repairs being made over the years. Most of these have been of a more cosmetic nature and the deterioration continues to progress. The top of the chimney is capped with a steel plate – this promotes deterioration on the inside face of the masonry. The extent of such deterioration is unknown.

A preliminary structural analysis of the stack shows it can go into tension under design wind or seismic loads required by current Building Codes and theoretically overturn. This analysis has not attempted to take into account the distorted shape of the stack or the cracking/spalling of the masonry. These conditions increase concerns over the stability of the stack.

Extensive repairs must be implemented if the stack is to remain. A ballpark estimate of \$350,000 has been developed with the aid of a contractor who has repaired similar stacks. Further analysis is required to finalize a repair program including assessment of the interior of the stack. Our detailed observations and comments follow.

BACKGROUND OF THE ASSESSMENT

This assessment has been limited to the masonry smokestack of the Johnson's Creamery facility in Bloomington, Indiana. The current stack is approximately 140 feet tall based upon measurements taken in the field and has a total of 38 steel bands encircling it as shown in Photo 1 and Figure 1. The "Johnson's" logo is prominently visible facing to the southeast. A review of the literature reveals the oldest portion of the Johnson's Creamery facility dates back to 1913 – 14. Photographs from the Monroe County Historical Society from the period of 1921 to 1943 show an earlier stack which has a slightly different configuration at the top and does not have the Johnson's logo. See Figures 2 through 4. A National Register nomination in 1995 reports "The current 178 foot smokestack replaced an earlier one in 1949." This nomination is included as Appendix A.

The discrepancy in the height of the current stack is interesting. The 1995 nomination citing a height of 178 feet may simply be wrong or approximately 38 feet of the stack has been removed.

The stack is constructed of multiple wythes of unreinforced brick masonry supported by a concrete foundation of unknown depth. There was no indication of abnormal or significant differential movement or settlement of the foundation. The stack is approximately 12'-6" in diameter at the base and 7'-0" at the top. Individual brick are nominally sized at 6 ¼" w x 4 ½" h x 2 ¾" t.

A visual assessment was performed on November 22nd. A 50 ton crane and man basket were used to observe and photograph the stack up close. Still and video images were recorded using a DJI Matrice 600 Pro drone. See Photos 2 through 4. Mortar samples were taken of both the original and repair mortars and are available for further analysis as the need may arise. A series of holes were drilled to a depth of two inches throughout the height of the stack to get a feel for the relative hardness of the mortar. No further testing or sampling was performed. A steel grate welded over the opening at the base of the stack prevented observation of the interior.

OBSERVATIONS

The following observations were made either while on site or during a review of the photographs and historic images. See Photos 5 through 47 and Figures 5 through 8.

- There is evidence of numerous significant repairs being made at multiple times since 1949.
- A total of 38 steel bands are in place throughout the upper 100 feet of the stack. All are tight and in good condition. These were installed to address vertical cracking which occurs throughout the majority of the stack.
- The steel bands appear to have been installed at different times. Extensive tuckpointing was performed prior to installation of most of the steel bands. See Figure 5. Many more repairs have been made after installation.

November 30, 2017

Alex Crowley

City of Bloomington

Re: Johnson Creamery Smoke Stack

Page 3

- Cell phone equipment is installed approximately 120 feet above grade level.
- The top of the stack is covered with a steel plate. This prevents rainwater from entering to the interior but also promotes freeze/thaw deterioration on the inside face of the stack. Warm, moist air rises and condenses on the colder masonry surface. Numerous brick shards were visible on the interior of the stack at grade level.
- The walls of the stack vary in thickness from 20 inches (5 wythes of brick) at the base to 7 inches (2 wythes of brick) at the top. Transition points from 5 to 2 wythes are unknown.
- Faces of the brick have spalled in numerous locations. This seems to be more prevalent on the south, west and east sides. This appears to have been an ongoing problem for many years as there is evidence of multiple different ways repairs have been attempted.
- New deterioration continues to occur in areas where previous repairs have been made - the deterioration is progressive and is continuing.
- Loose shards of brick and mortar have, and will continue to fall from the outside of the stack. This presents a real danger to the public and cars parked nearby. Shards falling from the side of the stack would be expected to “slide” down until they strike a steel band and “bounce” outward.
- Glazed brick used to create the Johnson’s logo have deteriorated in a different manner. The glaze has spalled away from the body of the piece. Multiple units have been replaced in the lower “S”. This occurred prior to installation of the steel band in this location.
- More recent repairs have been of a more cosmetic nature. Tuckpointing and brick replacement have been replaced with face caulking, cementitious patches and tuckpointing efforts where mortar is “battered” over the eroded joint. The tuckpointing mortar is harder than the original mortar. It has debonded and fallen back out in numerous locations.
- We have performed similar assessment on six other smokestacks of similar or older vintage. The mortar in this stack is as soft as or softer than that in any of the other stacks we have investigated.
- New (unrepaired) cracks were observed. These occur throughout the height of the stack.
- The stack visibly leans to the south as shown in Figure 6 and Photos 44 through 47. Multiple reports indicate this condition has been present for a long period of time. Plumb bob measurements found the top of the stack is out of plumb at a slope of 1 to 10 or approximately 6.0°.

- Montage views of the upper portion of the stack are shown in Figure 7. A montage of the logo on the southeast face is shown in Figure 8.

STRUCTURAL ANALYSIS

We have performed structural analyses of the smokestack, modeling it in a finite element software program, RISA 3D, primarily to determine the structural natural frequency. This was necessary to evaluate its ability to withstand lateral loads under current Building Codes. Our analyses assumes a perfectly plumb smokestack and does not account for cracking/spalling of the masonry.

These analyses assume the hollow core clay brick masonry is unreinforced and un-grouted and that it varies in thickness from two wythes at the top to five wythes at the base. We assumed mortar in the bed joints of the brick is placed only on the face shells of each brick.

The lateral analyses assumes a Type II construction and a 1.0 importance factor. The total horizontal seismic shear load required by Code is equal to 10% of the total weight of the stack, or 21,000 pounds located at a height of 55 feet above grade level. The lateral wind pressure on the stack varies from 34 pounds per square foot (psf) at the top to 13 psf at the base.

Under normal gravity loads, the compressive stresses in the brick face shells appear to be within an acceptable range. However, when either wind or seismic loads are placed on the smokestack, there is some concern for tension in the mortar joints. The magnitude of these tension stresses warrants a more detailed analysis, but can likely be resolved with vertical reinforcement in the walls at the stack base.

We also reviewed the Structural Analysis Report dated November 20, 2017, prepared by GPD Group, Inc. In general, it appears they have used rational engineering judgment. However, their assumptions of brick configuration and wall thicknesses exaggerate unit dead load of the masonry walls resulting in a computed stack weight that is more than double what our analysis shows. This is unconservative when evaluating lateral loads in the stack. Their report did not include a seismic analysis.

CONCLUSIONS AND RECOMMENDATIONS

In light of the above and based upon our experience with several other smokestacks of similar construction, age and geographic location, we come to the following conclusions:

- The current smokestack was constructed in 1949 and is approximately 140 feet tall. The National Register nomination listing it at 178 feet in height was either grossly in error or some 38 feet have been removed. If the top of the stack was removed within the last 25 years it would have been a monumental event which many people would remember and one that should be recorded by newspapers, etc. We have not found any such documentation.

November 30, 2017

Alex Crowley

City of Bloomington

Re: Johnson Creamery Smoke Stack

Page 5

- The upper portion of the stack leans visibly to the south/southeast. Crude measurements find the masonry above the cell phone equipment to be out one foot horizontally for every ten feet vertically. The top of the stack is visibly displaced several feet from where it would be if it were constructed normally and plumb. Reports by people that it has been this way for many years may be true but it is incomprehensible that it was constructed in this distorted shape.
- There is evidence of numerous repair efforts being made over the years to address brick spalling, cracking and mortar deterioration. The majority of these repairs have been more cosmetic than permanent solutions. Deterioration continues to progress – new cracks develop, more brick faces fall, existing cracks re-open and repair mortar debonds and falls out.
- Covering the top of the stack with a steel cap promotes deterioration on the interior. The extent of this deterioration is unknown.
- The original mortar is as soft as or softer than any other stack we have assessed. Mortar samples were taken and can be tested to determine composition and anticipated strength if necessary.
- Still photographs and videos were taken in vertical “drops” around the circumference of the stack. Detailed repair drawings could be generated from these but are beyond the scope of this assessment.
- In our opinion, there is no question extensive repairs are necessary if the stack is to remain. To get a sense of the order of magnitude of what these might cost, we solicited the help of a local masonry contractor who has worked on similar stacks and asked him to price the following:
 - Install six vertical steel straps welding them to the 38 circumferential bands to provide resistance to lateral loads and further leaning of the masonry. These would extend from the top of the stack down to and be attached to the concrete foundation.
 - Properly cut out and tuckpoint all of the mortar joints.
 - Remove and replace approximately 200 brick which have spalled or have been patched.
 - Epoxy inject 1,000 LF of cracks.
 - A ballpark estimate of the cost of these repairs is \$350,000. This does not include A/E or CM fees, contingencies or other indirect expenses. It would require the cell phone equipment be turned off while work is being performed in close proximity.

November 30, 2017

Alex Crowley

City of Bloomington

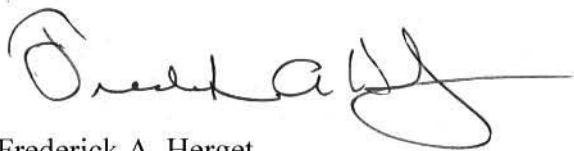
Re: Johnson Creamery Smoke Stack

Page 6

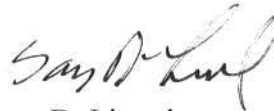
- Before such a repair program is finalized, we recommend these additional steps be undertaken:
 1. Analyze the composition of the original mortar.
 2. Remove and test prisms of brick and mortar to more accurately determine the physical characteristics of the brick and mortar assemblage.
 3. Perform some sort of assessment of the interior of the stack.
 4. Import the video taken from the drone and generate a 3-D computer model of the stack in its current condition. From this, accurate measurements of the distortion can be made and a more rigorous structural analysis can be performed.

We suspect this report will promote significant discussion regarding the condition and future of the smokestack. We will be happy to meet and discuss our observations in person if you like.

Yours truly,



Frederick A. Herget
Professional Engineer



Gary D. Linard
Professional Engineer

/kna



Photo 1

Overall view from the southeast.



Photo 2

Close up observations were made from a crane and basket.

Photo 3

Video and still images were recorded with a drone.



Photo 4

Close up of the drone.

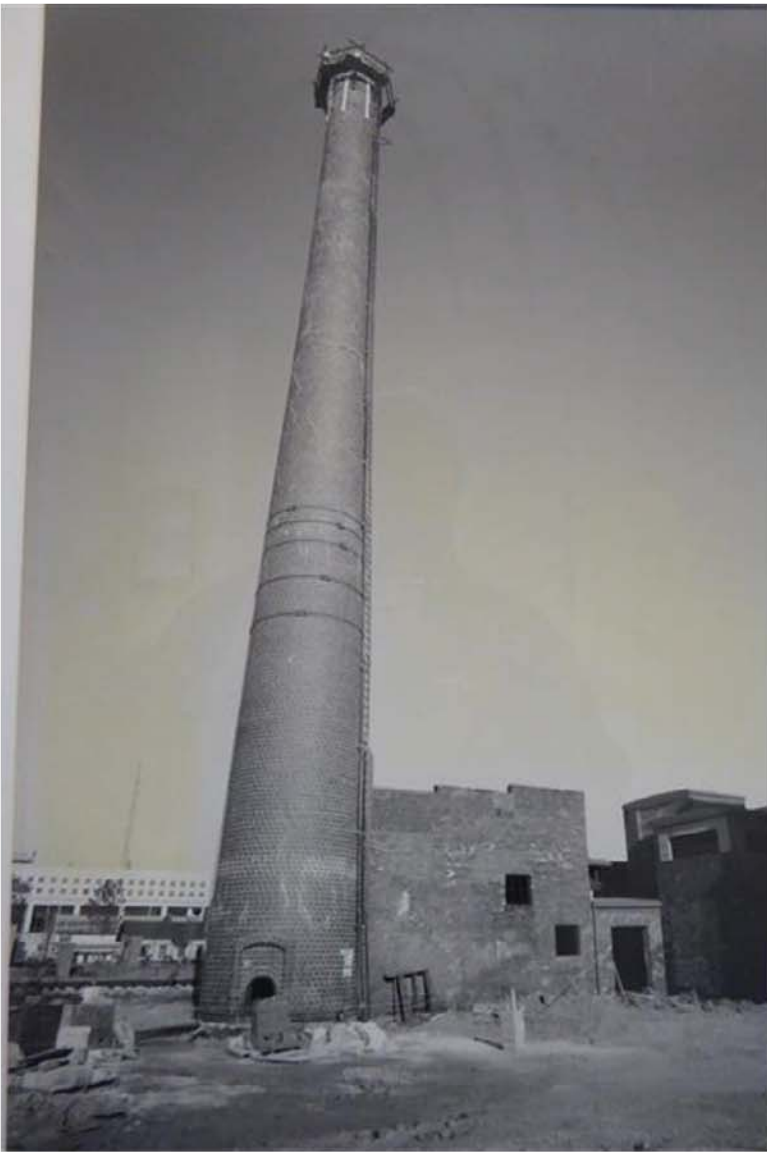


Photo 5

Historic photo (unknown year). It appears repairs are being made throughout the height of the stack. Bands 33 through 37 are visible...



Photo 6

...and several bands have been installed at the top. The “larger” white mortar joints have been tuckpointed.

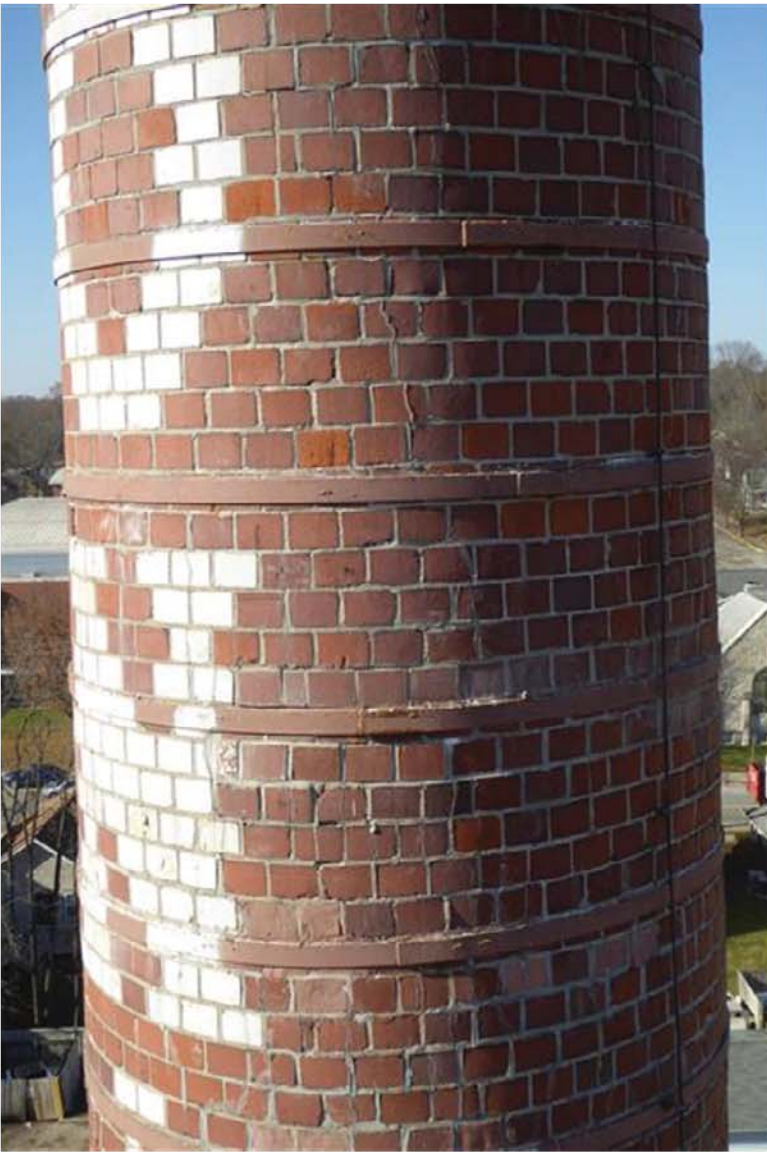


Photo 7

A total of 38 steel bands are currently in place on the stack.

Photo 8

These were installed to address vertical cracking which occurs throughout the upper 100 feet of the stack.

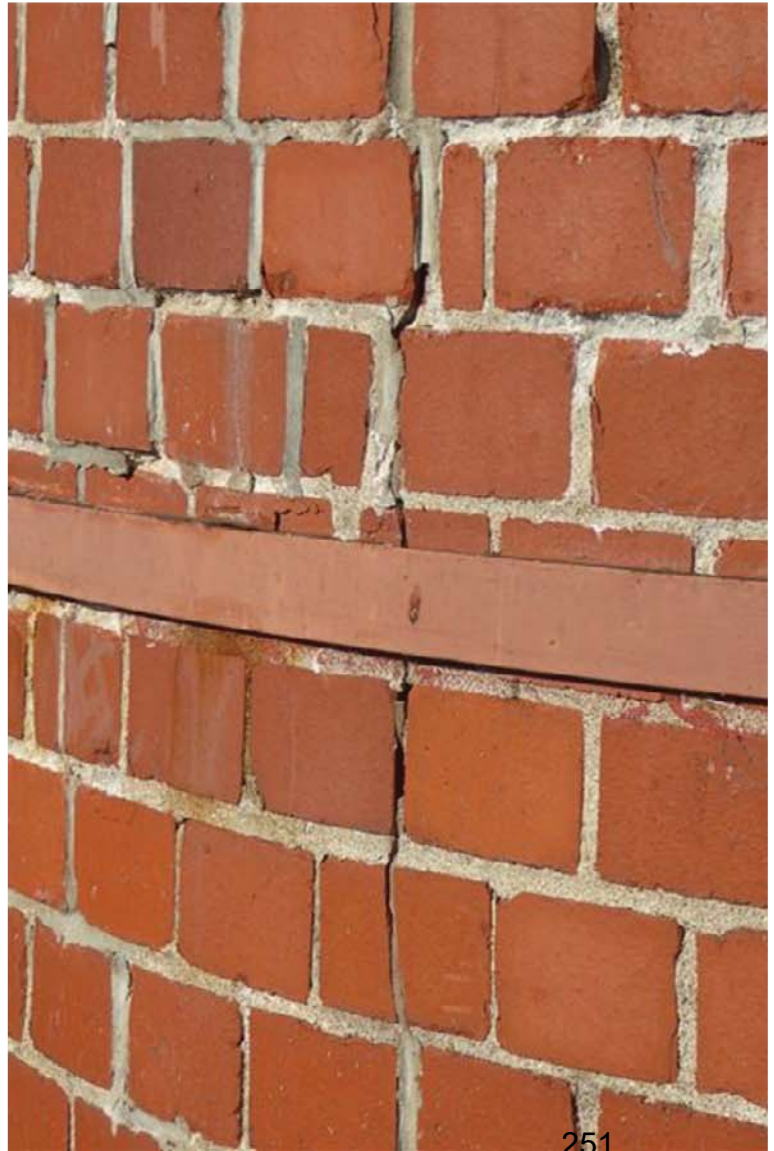


Photo 9

Closer view of bands and cell phone equipment in the upper portion of the stack.



Photo 10

The 1/4 x 4 inch steel bands are secured with two, 3/4 inch diameter bolts.



Photo 11 The top of the stack has been capped with a steel plate.



Photo 12 This prevents rain from falling inside but promotes freeze/thaw deterioration due to the “chimney effect” where warm, moist air rises and condenses on the inside face of the masonry.



Photo 13 Opening at the base of the stack.



Photo 14 Wall thickness at the opening is 13 inches or 3 wythes of brick. This flares out to 5 wythes of brick or 20 inches in thickness on the sides of the opening.



Photo 15

Faces of the brick have spalled in multiple locations.



Photo 16

Splitting cracks running parallel to the face of the brick are visible adjacent to the "hole."



Photo 17 Interior face of a shard found on the ground.



Photo 18 The outer face shell is only 3/4 inches thick.

Photo 19

Multiple forms and vintages of deterioration are present:

A=Recent spalling

B=Vertical cracking

C=Spalled areas where brick were replaced with brick

D=Spalled areas where brick were replaced with patching compound

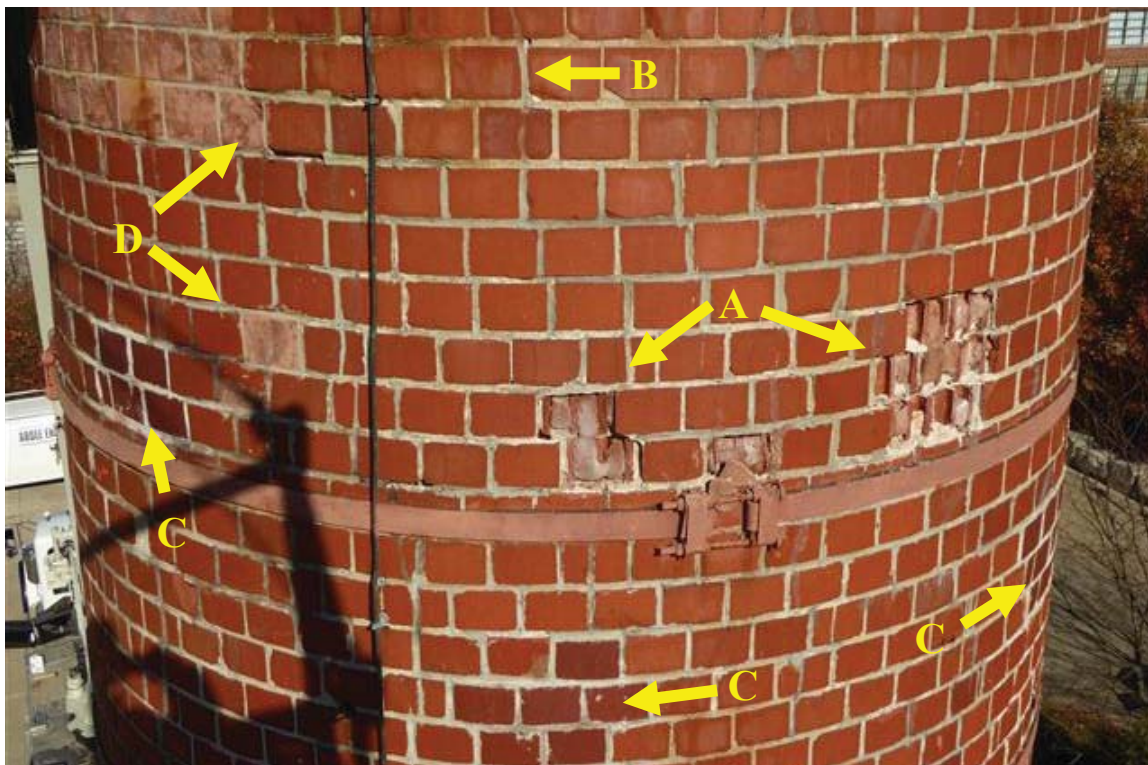
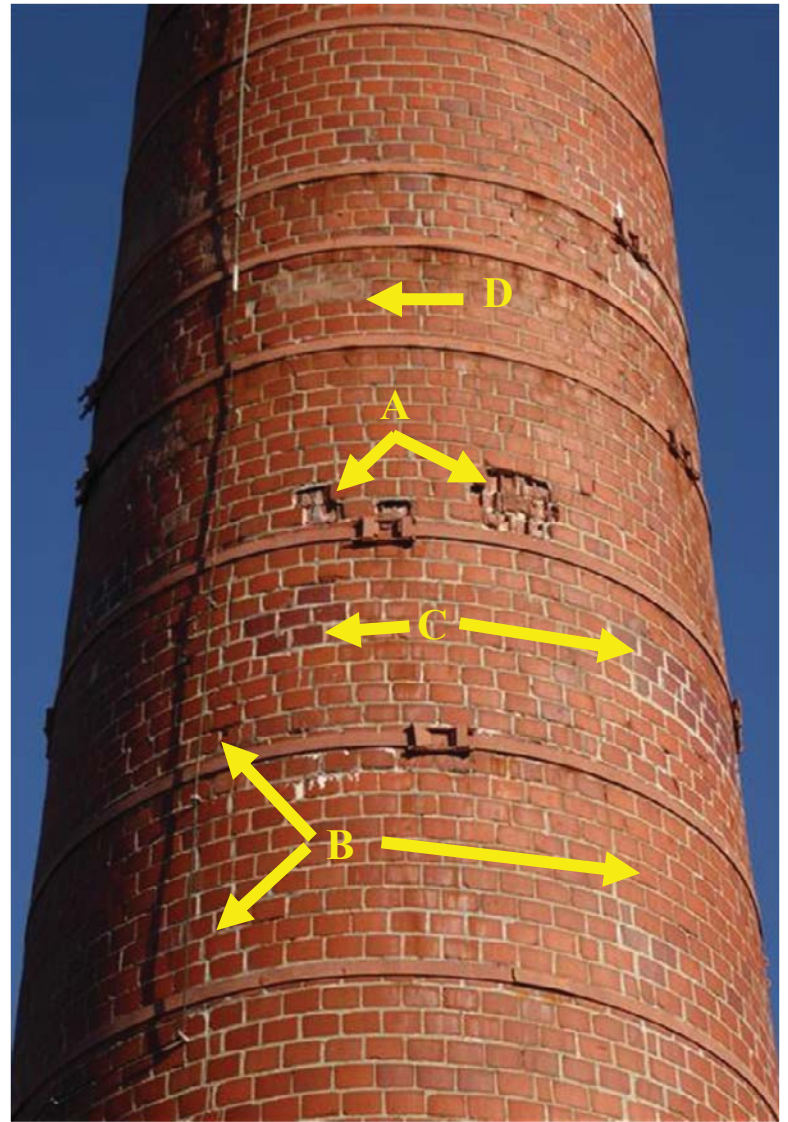


Photo 20

Closer view of these conditions.



Photo 21

Loose shards of brick up higher in the stack.



Photo 22

Such shards and spalls occur adjacent to longer vertical and/or stair step cracks.



Photo 23 Cementitious patches have been used to replace spalled brick in numerous locations.



Photo 24 The patching material cracks and falls away itself.

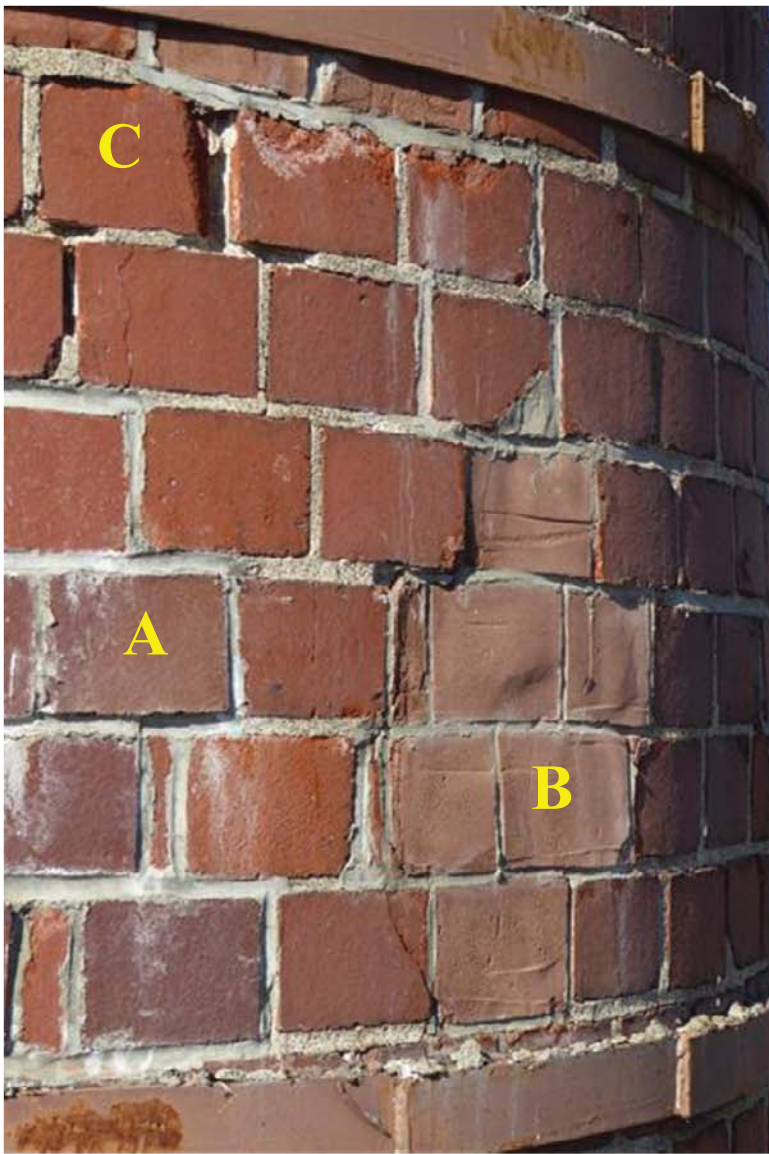


Photo 25

Area where multiple repairs have been made (probably at different times).

- A=Brick were replaced with brick
- B=Brick were patched
- C=Eroded joints were tuckpointed

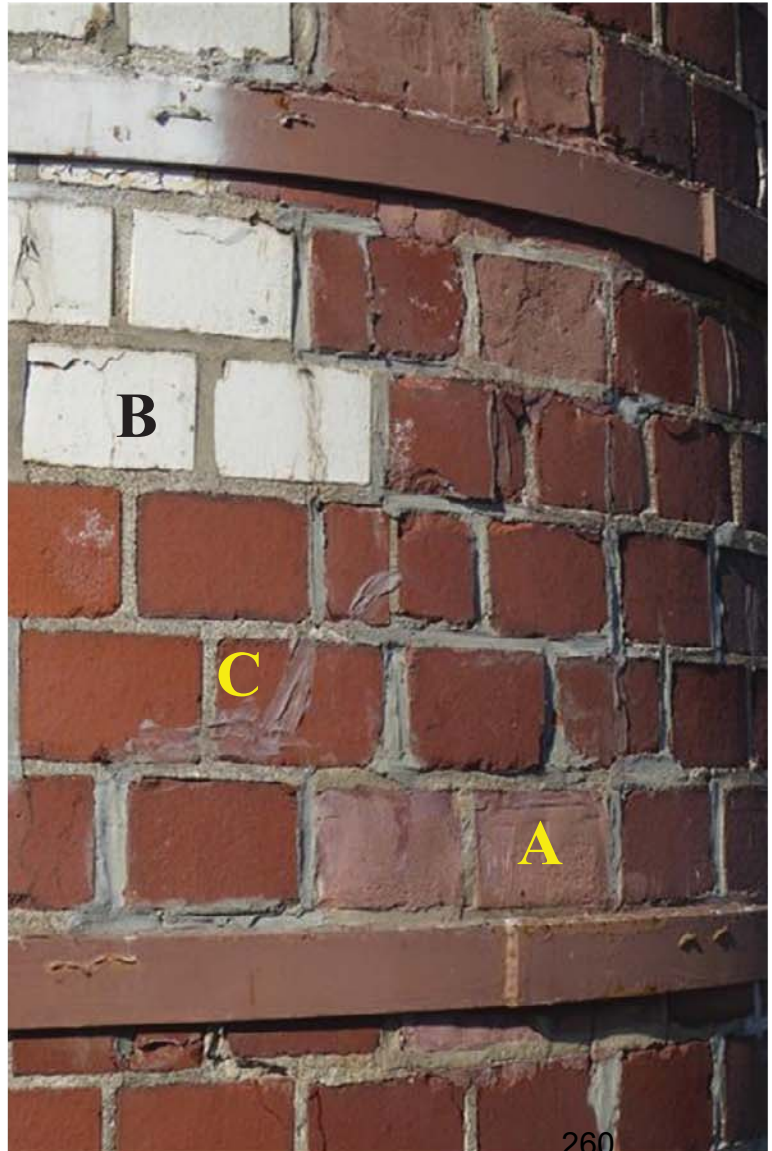


Photo 26

More multiple repair efforts.

- A=Brick were patched
- B=Tuckpointing
- C=Face caulking

Photo 27

Several of the glazed tile in the “S” were replaced.



Photo 28

This occurred prior to the steel band being placed in this location.



Photo 29 Glaze spalls continue to occur.



Photo 30 Similar condition in another location.

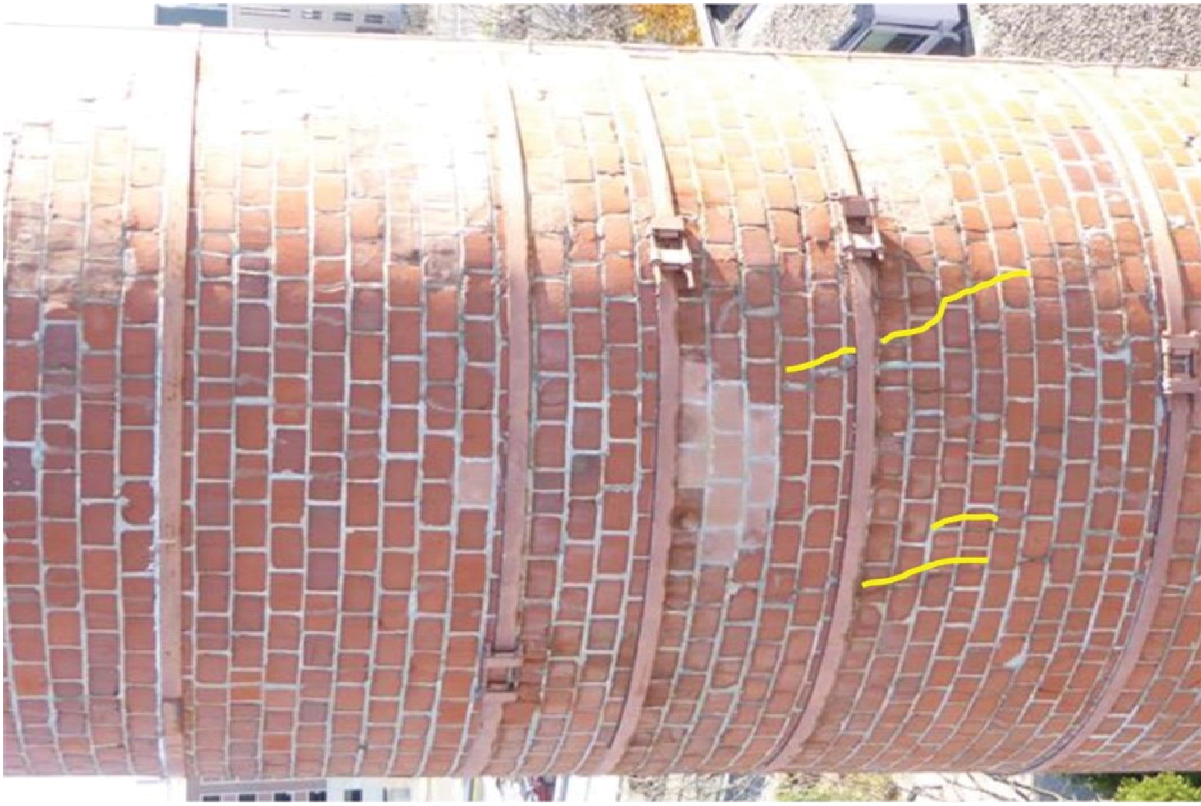


Photo 32

Tuckpointed cracks are still visible today AND many more cracks/spalls have occurred.

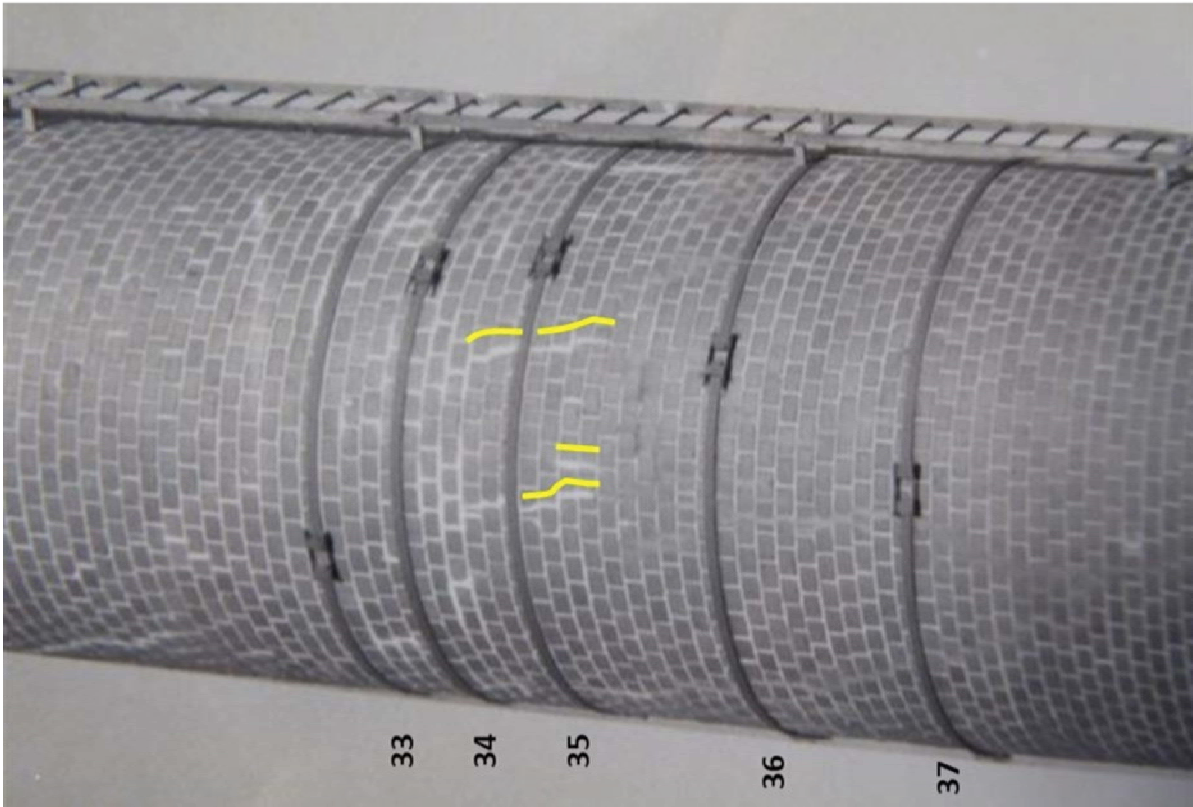


Photo 31

Historic photo showing bands 33 through 37 as seen from the southwest.

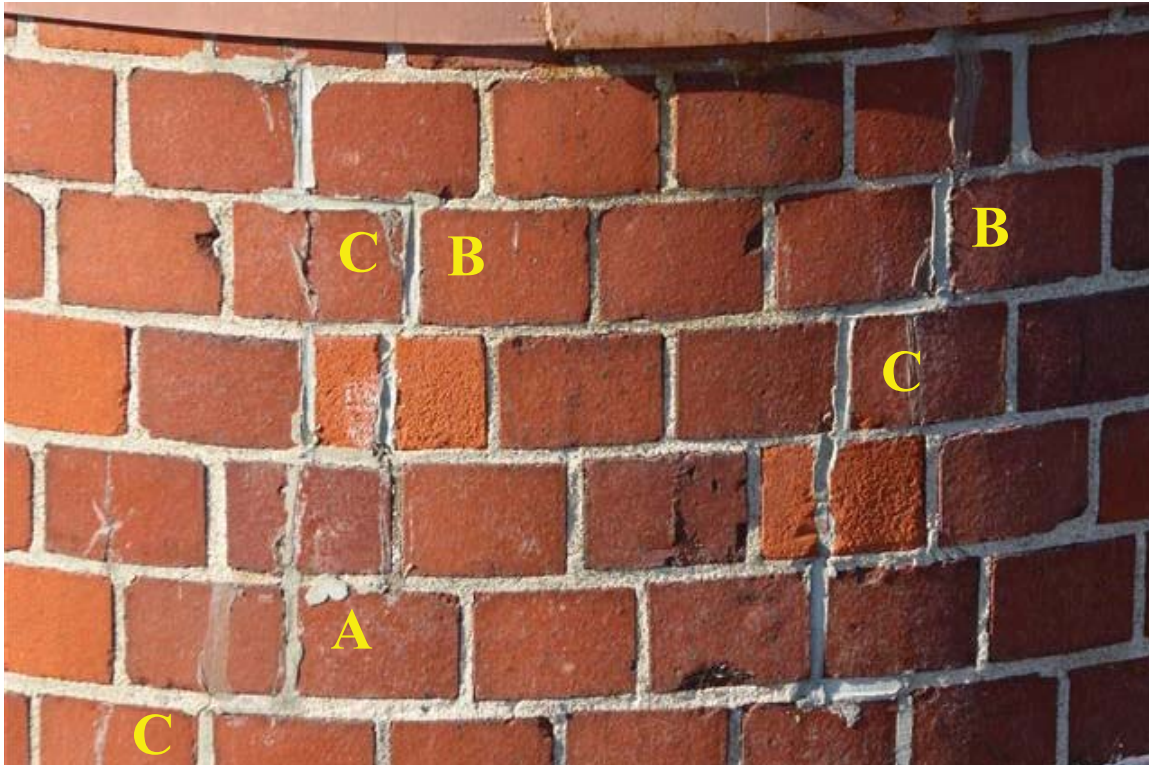


Photo 33

Three vintages of crack repair: A & B - different colors of tuckpointing mortar and C - face caulk.

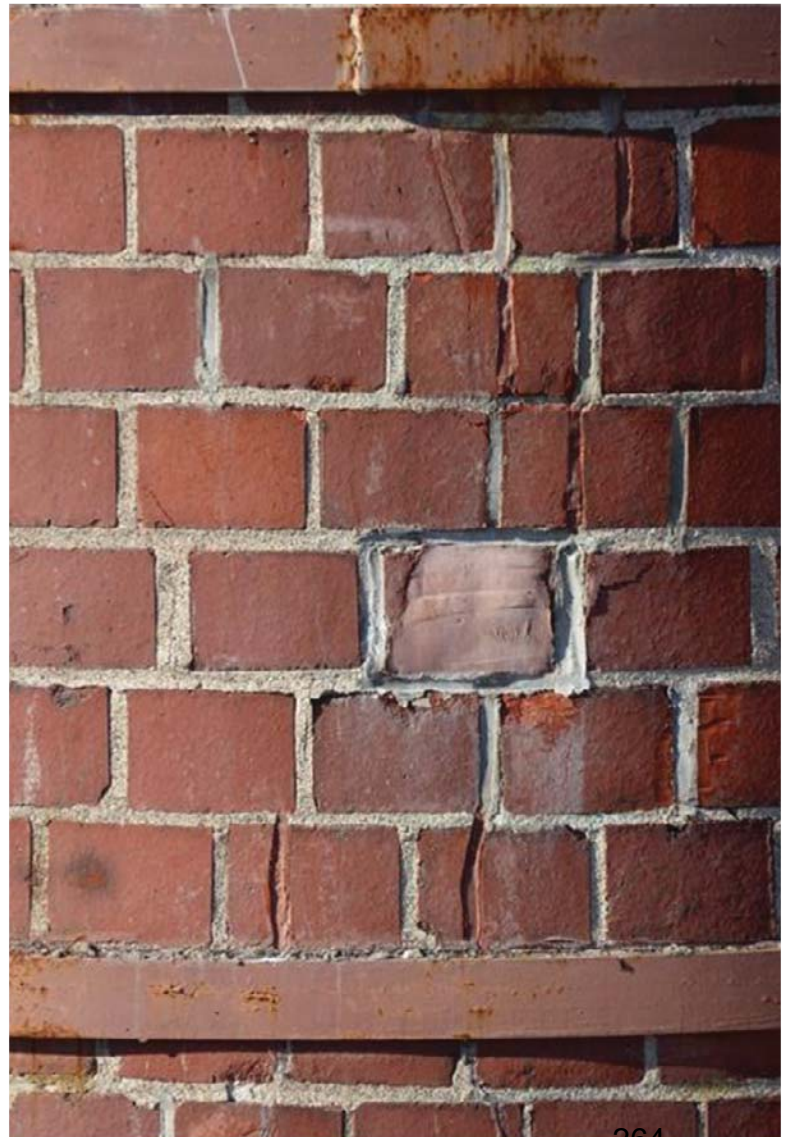


Photo 34

Yet another way of addressing cracks in the masonry.

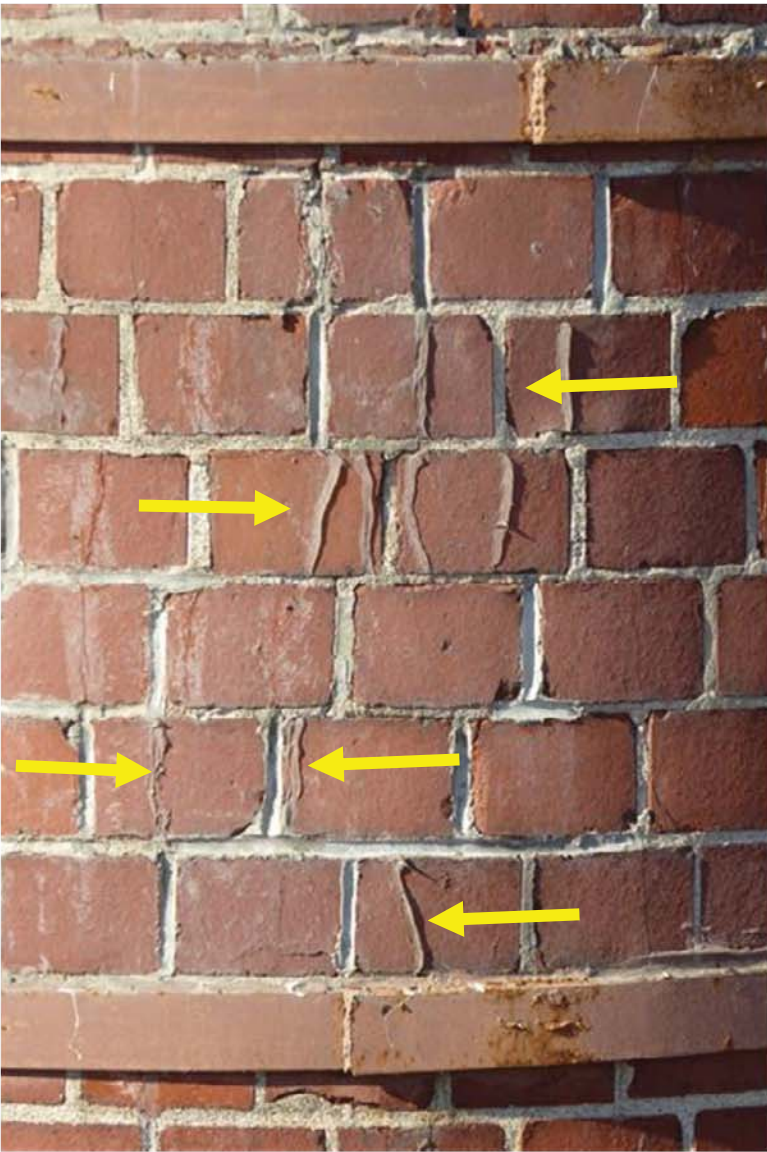


Photo 35

Face caulking over cracks.



Photo 36

Face caulk with a different color of material.

Photo 37

Unrepaired cracks lower in the stack...



Photo 38

...and near the top of the stack.

Photo 39

Tuckpointing mortar falls back out of the joints in multiple locations.

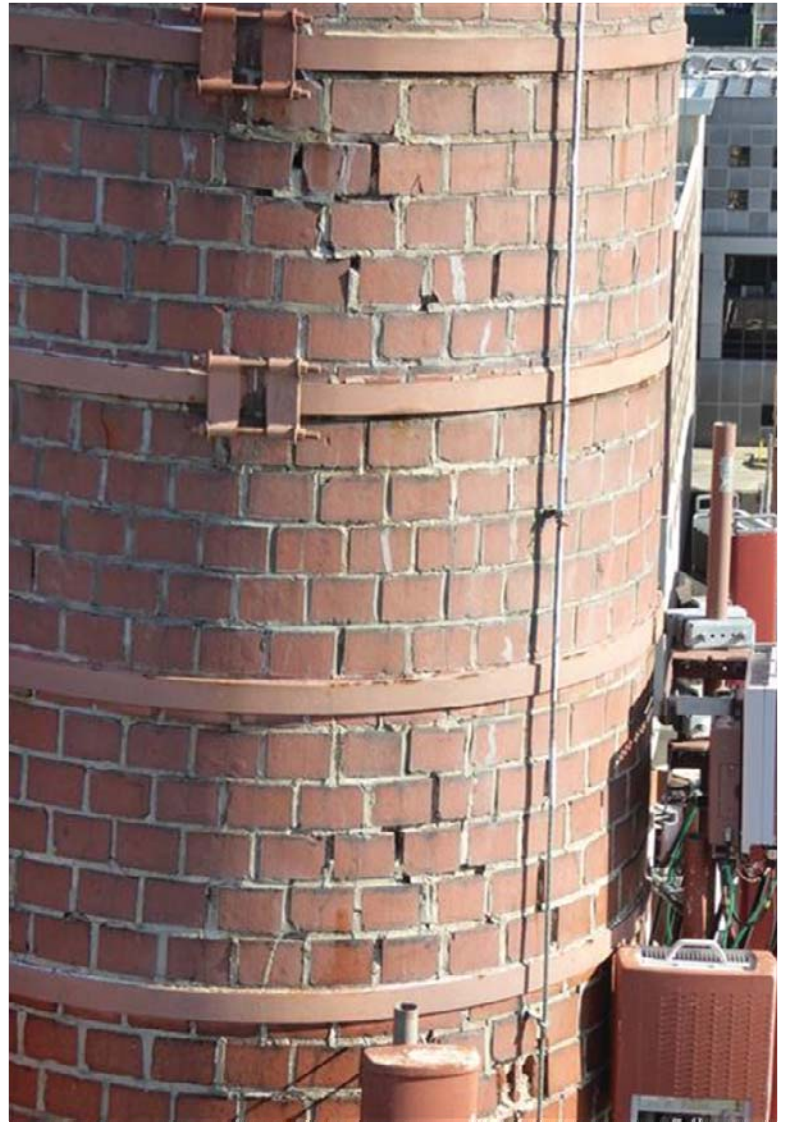


Photo 40

Closer view of one such area.



Photo 41

Similar condition in another location.



Photo 42

This repair mortar was painted over.



Photo 43A

Harder tuckpointing mortar is removed to reveal softer cracked/eroding original mortar.

Photo 43B

Similar condition in another location.



Photo 43C

The original mortar is much softer than the tuckpointing material when drilled.



Photo 44

The crane wire serves as a giant plumb bob...



Photo 45

...demonstrating how much the stack leans.



Photo 46

Measurements taken above the cell phone equipment revealed the top of the stack leans 10 inches in 90 inches.

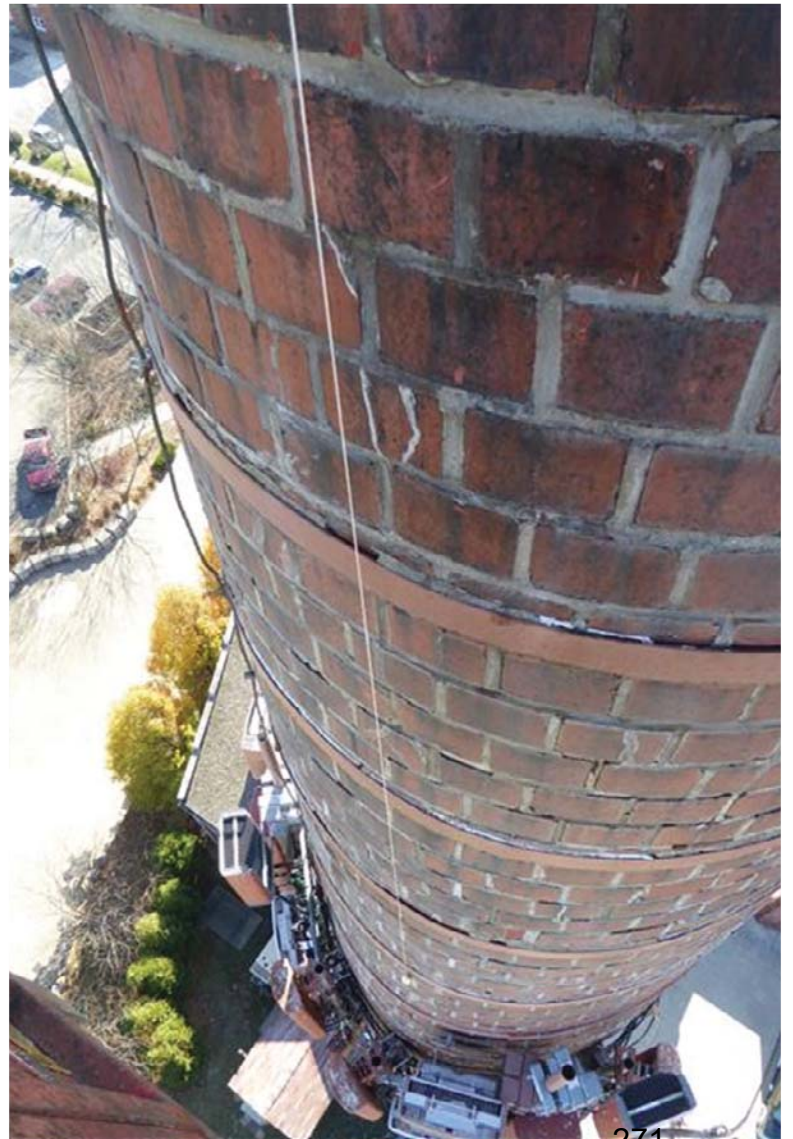


Photo 47

This was taken on the north side of the stack.

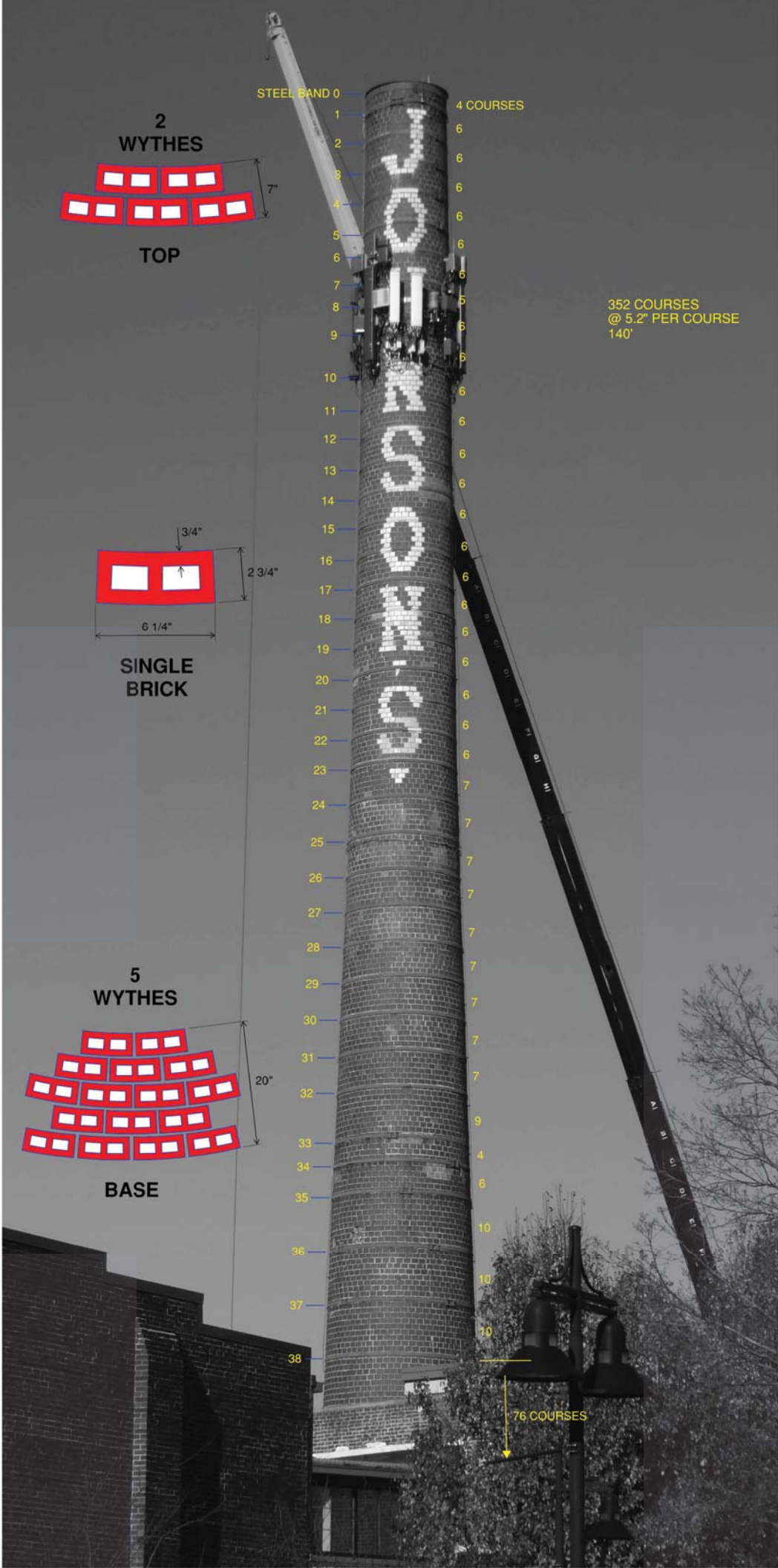


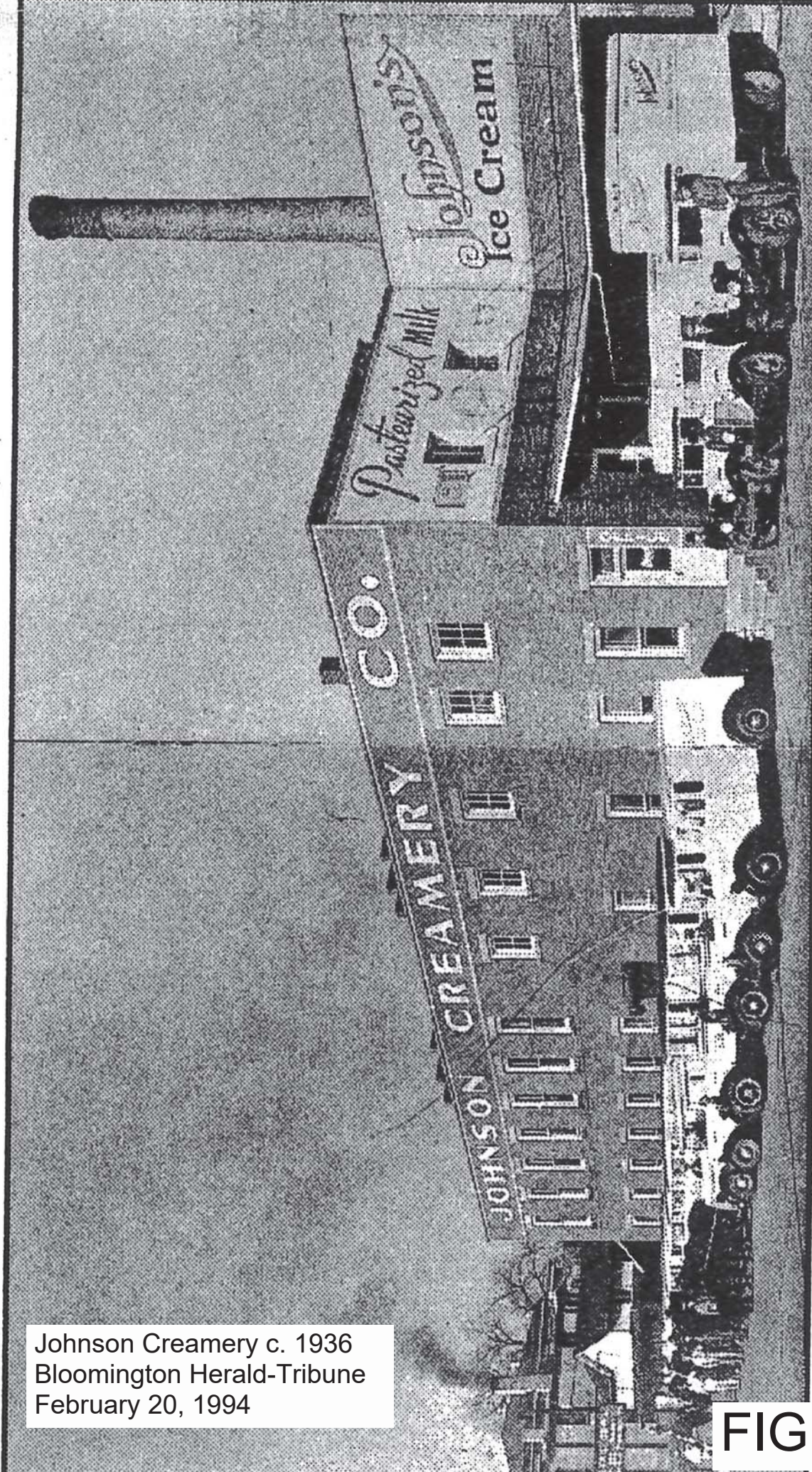
FIGURE 1
2



Monroe County Historical Society

Johnson Creamery - undated (post 1921)
Monroe County Historical Society

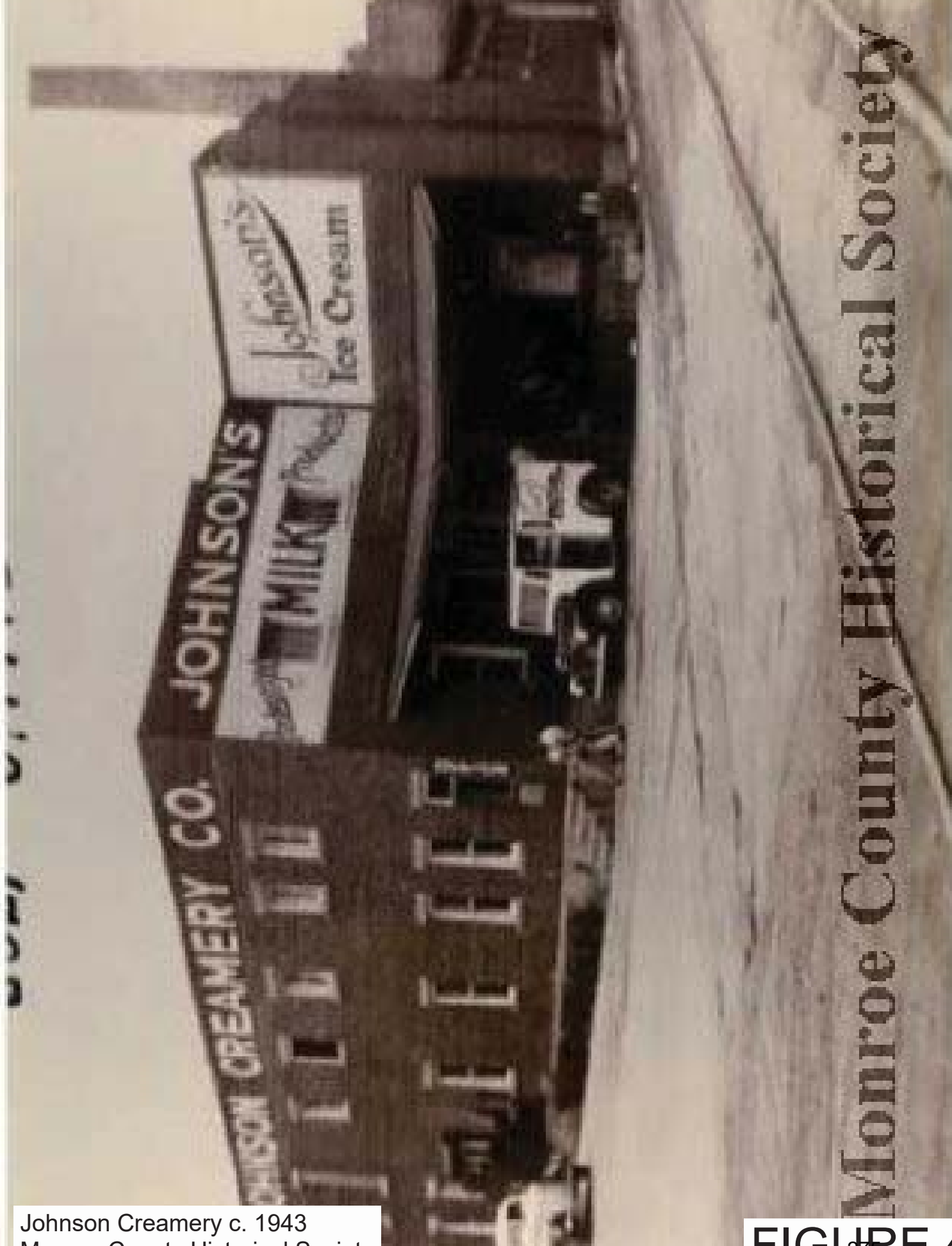
FIGURE 2



Johnson Creamery c. 1936
Bloomington Herald-Tribune
February 20, 1994

Special to the H-T

FIGURE 3



Johnson Creamery c. 1943
Monroe County Historical Society

FIGURE 4

Monroe County Historical Society

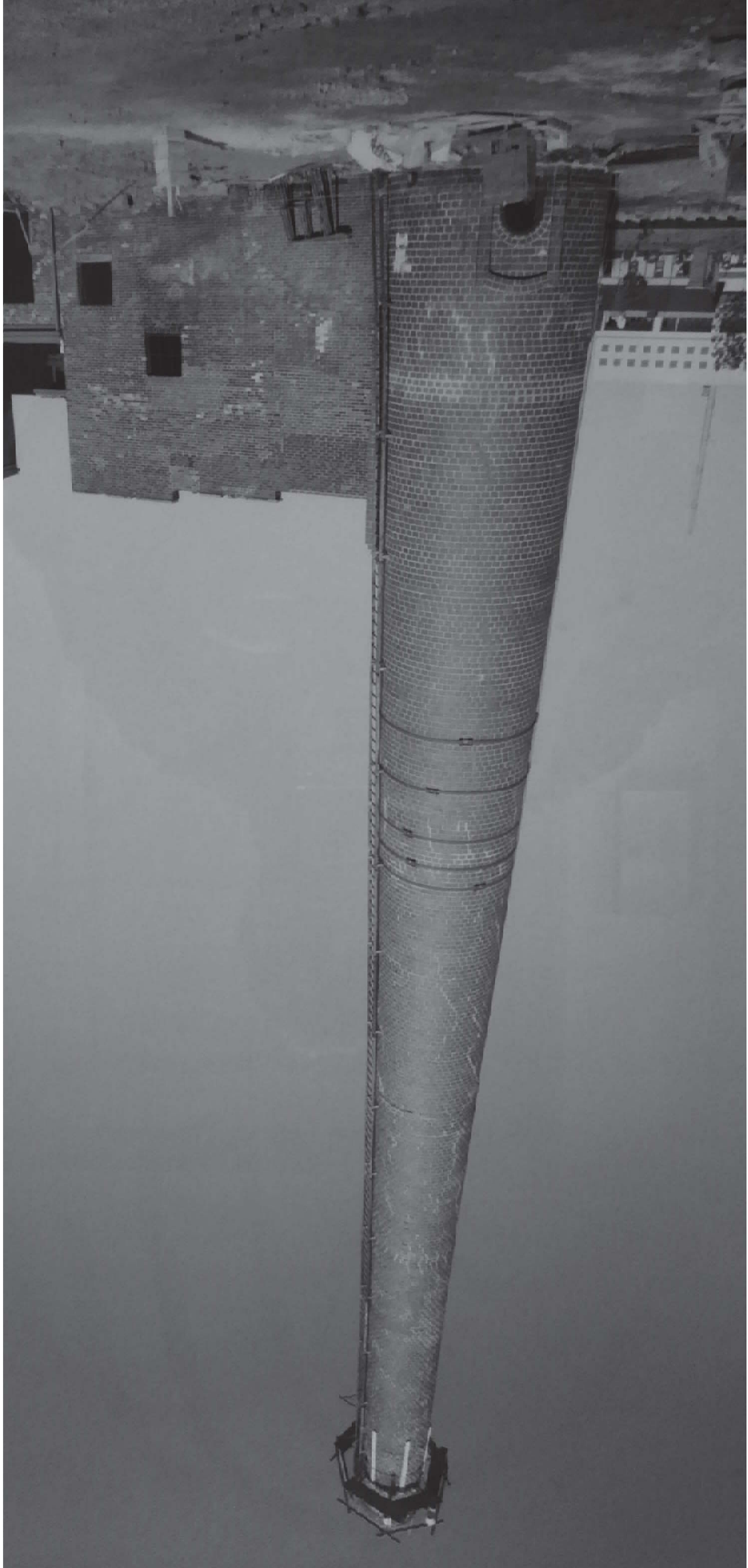


FIGURE 5

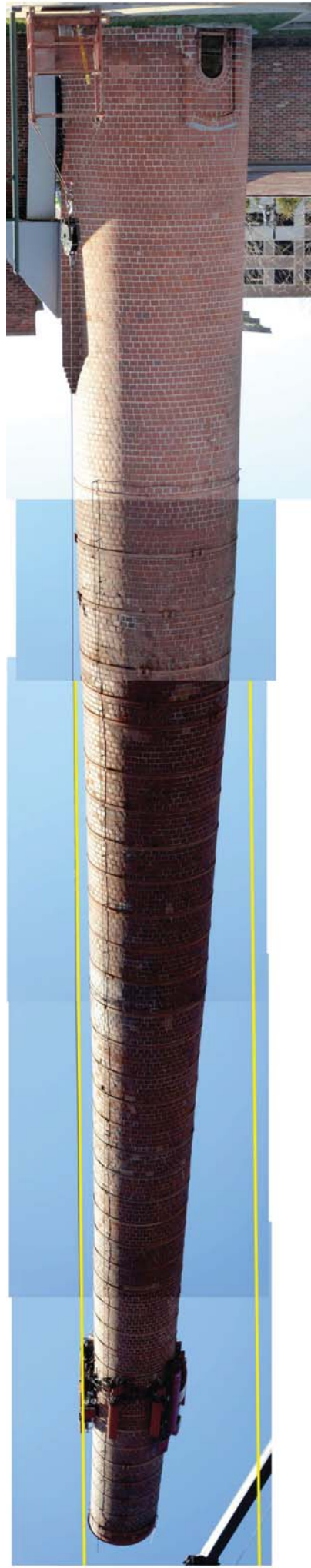
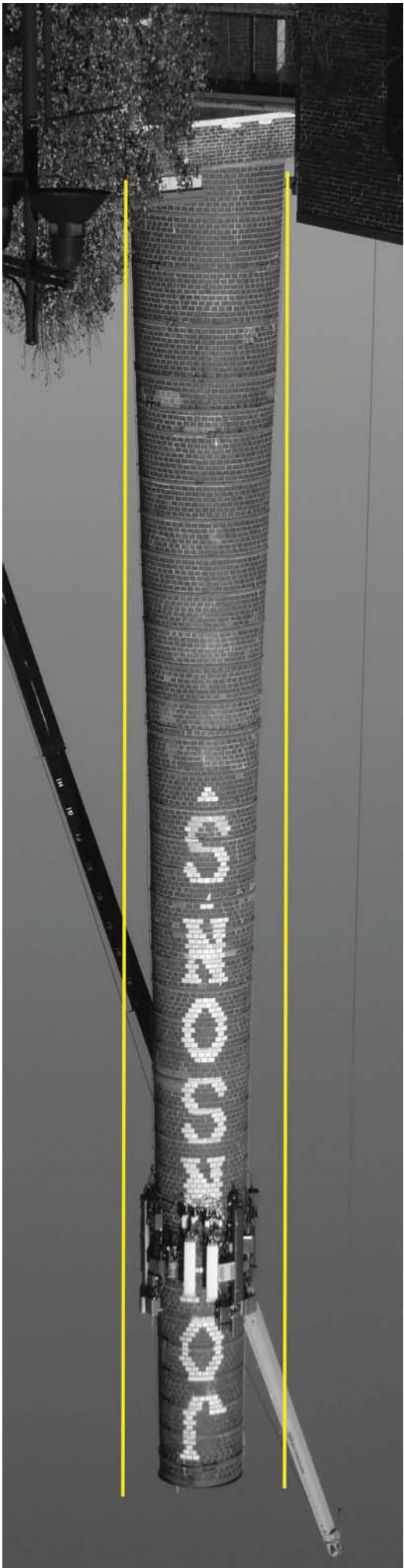


FIGURE 6



SOUTHWEST

WEST

NORTHWEST

NORTHEAST

EAST

FIGURE 7

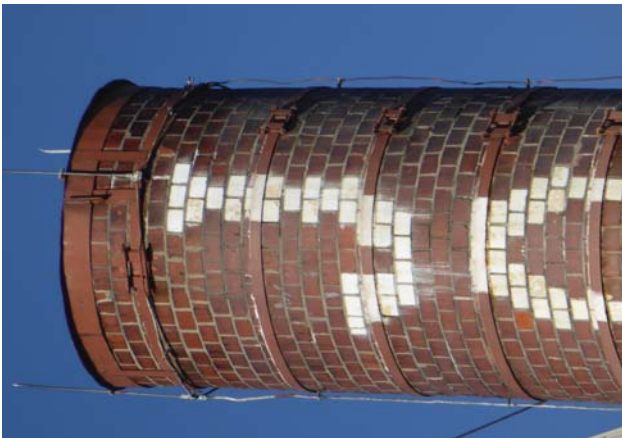
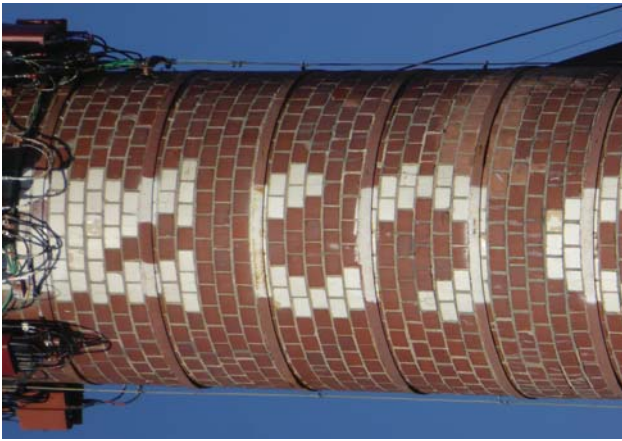


FIGURE 8

FINAL

United States Department of the Interior
National Park Service

National Register of Historic Places
Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Johnson's Creamery

other names/site number N/A

2. Location

street & number 400 West Seventh Street N/A not for publication

city or town Bloomington N/A vicinity

state Indiana code IN county Monroe code 105 zip code 47404

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Richard R. K... ..

11-10-95

Signature of certifying official/Title

Date

Indiana Department of Natural Resources
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title

Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

entered in the National Register.
 See continuation sheet.

determined eligible for the National Register
 See continuation sheet.

determined not eligible for the National Register

removed from the National Register

other, (explain:) _____

Signature of the Keeper

Date of Action

Name of Property

County and State

5. Classification

Ownership of Property
(Check as many boxes as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property
(Check only one box)

- building
- district
- site
- structure
- object
- landscape

Number of Resources within Property
(Do not include previously listed resources in the count)

Contributing	Noncontributing	
1	0	buildings
0	0	sites
0	0	structures
0	0	objects
1	0	Total

Name of related multiple property listing
(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

0

6. Function or Use

Historic Functions
(Enter categories from instructions)

Industry: Manufacturing Facility

Current Functions
(Enter categories from instructions)

Commerce/Trade: Business

7. Description

Architectural Classification
(Enter categories from instructions)

No. Style

Materials
(Enter categories from instructions)

foundation CONCRETE

walls BRICK
STONE: Limestone

roof SYNTHETICS: Vinyl

other

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

8: Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
B Property is associated with the lives of persons significant in our past.
C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- A owned by a religious institution or used for religious purposes.
B removed from its original location.
C a birthplace or grave.
D a cemetery.
E a reconstructed building, object, or structure.
F a commemorative property.
G less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographic References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

- Previous documentation on file (NPS):
preliminary determination of individual listing (36 CFR 67) has been requested
previously listed in the National Register
previously determined eligible by the National Register
designated a National Historic Landmark
recorded by Historic American Buildings Survey
recorded by Historic American Engineering Record

Areas of Significance

(Enter categories from instructions)

ARCHITECTURE
INDUSTRY

Period of Significance

1914 - 1951

Significant Dates

1914
1921
1927

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

Unknown

Primary location of additional data:

- State Historic Preservation Office
Other State agency
Federal agency
Local government
University
Other

Name of repository:

Monroe County Public Library Indiana Room

Johnson's Creamery
Name of Property

Monroe County, In
County and State

10. Geographical Data

Acreage of Property less than one acre

UTM References

(Place additional UTM references on a continuation sheet.)

1

1	6	5	3	9	9	8	0	4	3	3	5	4	0	0
Zone	Easting						Northing							

3

Zone	Easting						Northing							

4

Zone	Easting						Northing							

See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title Cynthia Brubaker

organization Preservation Development, Inc. date 06/15/95

street & number 400 West 7th Street, Suite 110 telephone (812) 336 - 2065

city or town Bloomington state Indiana zip code 47404

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white** photographs of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name 8th St. Development Corp.

street & number 400 West 7th Street, P.O. Box 221 telephone (812) 335 - 2058

city or town Bloomington state Indiana zip code 47404

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation SheetSection number 7 Page 1 Johnson's Creamery, Bloomington, Monroe Co., IN

Johnson's Creamery is a rambling conglomeration of added components that form a unique complex with a functional architectural style. The 35,000 square foot complex is surrounded by other former industrial and commercial buildings, railroad tracks, surface parking lots and a church. Its larger context is the historic industrial corridor of Bloomington's near west side, which forms the eastern section of the proposed West Side National Register Historic District.

The original Johnson's Creamery building, built in late 1913 or 1914, was a two-story red brick building, rectangular in plan, at the southeast part of the current structure. The original building opens onto a loading dock at the southeast corner facing the railroad tracks and has a parapeted asphalt roof with a shallow slope towards the rear. The limestone capped parapet steps down as the roof slopes to the rear. Subsequent additions were added over the years up to 1951 that were all built of red brick masonry walls and parapeted, low-pitch asphalt roofs. No part of the Creamery was present on the August 1913 Sanborn insurance map. The 1927 Sanborn insurance map, a 1949 aerial photograph, former owners and employees and physical evidence provided guidance in dating the components.

A small two-story component, identified by its first floor interior vaulted ceiling and angled exterior that conforms to the railroad tracks, was probably added to the original building early. A painted sign and infilled window openings on interior masonry walls on the east and north sides of the building confirm that they were once exterior walls. A boiler and coal room, probably built as a separate structure at or near the time of the original building, was later linked to the original building with the construction of a mechanical, engine and tank storage room. The boiler room is two stories high with a single interior volume to accommodate large boilers. The boiler room roof is parapeted, slopes to the rear and supports a rectangular light monitor on top. The limestone capped parapet steps down towards the rear as does the original 1914 building in front. The connecting mechanical room is one story high with a continuous north-south clerestory that divides the roof with a shallow slope to the east and west. The boilers were vented to a tall red brick masonry smokestack. The current 178 foot smokestack replaced an earlier one in 1949.

A large two-story component was added in 1921 to the west of the original 1914 building. This addition is very similar to the original 1914 building with the same parapeted roof details and forms a continuous masonry front facade. According to a photograph printed in a 1938 25th anniversary bulletin, windows across the entire front facade were wood frame, one-over-one, double-hung windows with limestone lintels and sills. Windows on the second floor of the original 1914 building were smaller six-light, wood frame sash with limestone lintels and sills. "Johnson Creamery Co." was painted across the parapet of the front covering both the original 1914 building and the 1921 addition. Other signage was painted on the second floor at the southeast corner of the original 1914 building.

Sometime after 1914, a freestanding, one-story garage was constructed on the alley west of the complex. The garage was later linked to the complex with the 1927 construction of an ice house. The ice house is three stories high and was originally a single volume inside for stacking ice. Its low-pitched gable roof slopes to the north and south with stepped parapet end gables and limestone capstones. The pilastered brick facade is symmetrically adorned with simple brickwork, small limestone blocks and limestone banding.

In 1951, a two-story addition replaced a freestanding house on the alley in front of the freestanding garage described above. The 1951 addition connected to and provided a second story over the freestanding garage. The 1951 addition also included: a one-story enclosed loading bay on the west facade of the 1921 addition,

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 2 Johnson's Creamery, Bloomington, Monroe Co., IN

with a concrete block west wall; a second story connecting passage to the 1921 addition across the front of the ice house; and a covered loading area on the ground floor in front of the ice house. The loading area sloped to below the first floor grade so that trucks could back up and load from a dock at the rear. The loading area was covered with a steel bar joist roof structure with wood decking and asphalt roofing.

Two freestanding buildings were also found on the property at the beginning of the project. These included a large concrete block garage built in 1949 and a small concrete block storage building built around the time of the 1951 addition.

The following list chronologically specifies each of the components described above for reference throughout the remainder of the application:

1. original 1914 building
2. vaulted space (between 1914 and 1927)
3. boiler room (between 1914 and 1927)
4. mechanical room (between 1914 and 1927)
5. 1921 addition
6. freestanding garage (between 1914 and 1921)
7. ice house (1927)
8. smokestack (1949)
9. concrete block garage (1949)
10. 1951 addition
11. small concrete block building (1951).

The Creamery survived continuous upgrades in plant operations, a fact well reflected in the more advanced building technologies found in its later additions. The 1914 portion was framed within its brick walls with timber posts, beams, joist work, and floors. In the 1921 addition and the ice house the interior structural components were steel columns, web and bar joists, and concrete floors, and by 1951 the new office addition was a block structure with brick veneer and aluminum windows.

Due to the changing nature of the Johnson's Creamery business, many changes were made to the complex over the years, both inside and outside. Window and door openings were added, infilled or moved. Window sash and doors were replaced. Vents, tanks and other equipment were added, especially at the rear of the building. Loading docks were added at the front of the building. Innumerable changes were made to the inside of the complex as dairying and refrigeration processes changed and developed and as Johnson's management made decisions on the operation of the business. Large rooms were divided into smaller work or refrigeration areas, floor levels were altered to accommodate new equipment and the need to drain liquids and walls were tiled to provide an easily cleaned surface. Interior partition walls were built of a variety of materials including:

- plaster and tile over brick and plaster and tile over concrete block in the 1914 and 1921 sections of the building
- cork, adhered and coated with an asbestos adhesive, over concrete block or brick in the ice house and former freestanding garage area that was converted to refrigeration areas
- concrete parged concrete block or brick in the 1951 addition and former freestanding garage area
- sheet metal and asbestos board panels over cork or concrete parged block or brick in the former freestanding garage area
- drywall and plaster over wood frame and parged or painted concrete block in the 1951 addition.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section number 7 Page 3 Johnson's Creamery, Bloomington, Monroe Co., IN

After creamery operations ceased at the complex in 1987, large areas of interior and exterior walls and the roof were broken out to remove and salvage large steel tanks that were built into their locations. A temporary pyramidal roof structure was built at the southwest corner of the 1921 addition to cover a hole created for a crane to remove the large tanks. Finally, the building was subject to vandalism and graffiti during its six year period of standing empty without maintenance. The current owner is completing a historic rehabilitation that began in January 1994. The building is now known as the Johnson's Creamery Business Center and houses professional offices.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 8 Page 4 Johnson's Creamery, Bloomington, Monroe Co., IN

Summary

The Johnson's Creamery building is significant for its association with early twentieth century industry in Bloomington as the structure, from 1914 to 1987, in which dairy products and ice were produced and sold and from which they were distributed door to door. The Creamery is one of very few intact industrial buildings in Bloomington, Indiana, located one block north and two blocks west of the courthouse square within Bloomington's near west side industrial corridor. First constructed in 1914, the red brick building grew to the large complex of various additions that stands today through a series of major building stages up to 1951. The complex took shape according to the developing nature of the creamery business and the constraints of its site: railroad tracks to the east, and the city's street grid to the south, west and north. The current rehabilitation has restored a level of integrity augmenting its significance as one of very few intact examples in Bloomington of a functional, industrial architectural style. The most unique identifying features of this two and three-story unpainted red brick factory building are the three-story ice house and the 178 foot tall brick smokestack with white glazed bricks that vertically spell "Johnson's" and serves as a long-standing Bloomington landmark.

History and Context

Johnson's Creamery can be evaluated in the historic context of business and industry in Bloomington between 1914 and 1951. The limestone industry provided the major source of income for Monroe County from the 1890's until World War II. Bloomington's economy was further diversified with several small industries, the Showers Brothers Company Furniture Factory, numerous commercial establishments and Indiana University. The Showers Brothers Company reached its zenith of operation in the 1920's when it produced 60% of the furniture built in this country, greatly expanded its facilities and employed more than 2000 people.

Other Bloomington industries, including Johnson's Creamery, experienced similar prosperity. They were: the Nurre Mirror Plate Glass Company, which furnished all the mirrors used in the Showers Brothers Company's furniture; the Bloomington Basket Company, which produced fruit and vegetable baskets; the Cantol Wax Company, which produced wax cleaning and lubricating products (building listed on the National Register of Historic Places, April 24, 1990); the Field Glove Company, which produced mittens and gloves; and the Seward and Company foundry and machine works. Johnson's Creamery, which produced milk, cream, ice cream, butter, cottage cheese, chocolate milk, buttermilk, orange drink and ice, can be evaluated within the context of Bloomington's industries. The Creamery, the Cantol Wax building and the Showers complex are the only intact structures from among this list of industries. The Creamery can also be evaluated within the context of creameries in Indiana.

History of Johnson's Creamery

Ward W. and Ellis W. Johnson founded the Johnson Creamery Company in 1913. The two brothers first operated a dairy on South Washington Street in 1912, where the company continued to maintain stables for delivery wagons and horses after moving to the West 7th Street address and until at least 1938. The new plant was completed in 1914 and was ideally located in downtown Bloomington's industrial corridor next to the Illinois Central railroad tracks and other industrial and commercial establishments.

Rapidly outgrowing its original 1914 plant, the factory appended major additions in 1921, 1927, and again in 1951. Large boilers were necessary for the production of power to operate the plant and required tall

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 8 Page 5 Johnson's Creamery, Bloomington, Monroe Co., IN

smokestacks for venting. These needs shaped the addition of mechanical spaces onto the original 1914 building. Subsequent additions and interior alterations also reflected the needs of the dairying process.

The Creamery processed dairy products from local milk suppliers and delivered its produce to the surrounding community in horse drawn wagons as late as 1939 before fully switching to motorized transport. Cutting and storing blocks of ice was a necessary sub-process to the creamery business before the advance of refrigeration technology in the late 1930's and 1940's. For this reason, the construction of the large three-story high ice house was important to the expansion of the business in the 1920's. "Today's Milk Today," the Johnson's slogan in the 1930's, told customers that the company knew the importance of moving the milk from the cow to the customer quickly. In 1938, Johnson's employed 70 people who produced and delivered properly pasteurized milk and dairy products including: coffee and whipping cream; "made-to-measure" ice cream; "Shady Brook" butter; cottage cheese; chocolate milk; "Creamo" (cultured creamed buttermilk); Johnson's Orange drink; and distilled water ice. The company also operated a retail department that sold the dairy products as well as, ice, in a small house north of the plant that was replaced with the 1951 addition. The 1951 addition retained a retail area with an ice cream counter. Most of Johnson's products were however, sold through home delivery with only 15% of its products sold to stores in the 1930's.

The number of licensed dairy plants in Indiana grew throughout the 1920's and 1930's from 234 in 1924 to over 400 throughout most of the 1940's. Most were family owned and operated with a limited geographical scope due to the constraints of refrigeration technology. As that technology advanced, the number of licensed dairy plants in Indiana declined to 224 in 1956 and has continued to decline with consolidation and competition from large supermarkets to a mere 48 in 1982. Chains such as Kroger in the Midwest and Safeway in the East, maintain their own dairies and use milk as a loss leader sales item. The increased shelf life of milk to three weeks has also contributed to the rise of large centralized dairies located closer to the milk supply, which is north of Indianapolis for the State of Indiana.

Johnson's Creamery fell victim to this trend when it vacated the building in 1987 and sold out to a larger dairy, Maplehurst, in Indianapolis a few years later. The complex remains however, as a clear example of this once important aspect of the Bloomington and Monroe County economy. The Creamery kept eighty area farmers in business from whom they bought the raw milk and employed as many as 100 people in the 1950's. It was noted as one of the larger dairies and the largest ice-manufacturer in southern Indiana. It was also known as one of the more desirable and steadfast employers in the area and as a reliable source of good quality products.

The Johnson's Creamery building is eligible for listing on the National Register under criterion A for its association with industry in Bloomington and the dairy business in Indiana. Among the historic Bloomington industries listed above, Johnson's Creamery was one of only a few, the limestone industry and Indiana University, to survive past the 1950's. A household name for 75 years, Johnson's, still holds significance for the Bloomington community in the symbol of the Creamery building and smokestack.

Architecture

Structures associated with historic industrial uses in Bloomington that were identified in the Indiana Historic Sites and Structures Inventory: City of Bloomington, Interim Report include: the Coca-Cola Bottling Company

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 8 Page 6 Johnson's Creamery, Bloomington, Monroe Co., IN

Building (ca. 1930; 153-055-80113; rated "notable") at 318 South Washington Street; the Bloomington Wholesale Foods Warehouse (1920; 153-055-80068; rated "contributing") at 300 West 7th Street; the Cantol Wax Company Building (ca. 1905; 153-055-80043; rated "contributing;" listed on the National Register, April 24, 1990) at 211 North Washington Street; and the Showers Brothers Furniture Company Building [sic] (1909 - 1924; 153-055-80064; rated "outstanding").

In addition, several structures associated with historic industrial and commercial uses in Bloomington have been identified as contributing to the proposed West Side Historic District. These include the Johnson's Creamery building itself, the I. Fell Building, at 201 South Rogers Street, the Bloomington Garage building at 316 West 6th Street, the Curry Buick building at 218 West 7th Street and the Bloomington Frosted Foods building at 213 South Rogers Street. The current rehabilitation of the Johnson's Creamery building has restored sufficient integrity that it can be considered individually eligible for the National Register as well as, contributing to the proposed West Side Historic District.

The Johnson's Creamery building is eligible for listing on the National Register under criterion C for its characteristics that reflect an industrial architectural style. Brick masonry, stepped parapets, wood windows on older buildings and aluminum and steel sash on newer buildings and additions and functional unadorned facades with minimal architectural detail are characteristics of this industrial architectural style shared by the Creamery and the other buildings listed above. Among these buildings, only the Showers building was listed as "outstanding," and is considered eligible for listing on the National Register as part of a complex of Showers related buildings. Only the Cantol Wax building is listed individually on the National Register. The Creamery, in its newly rehabilitated state, now displays a comparable level of integrity with these two buildings and persuasively portrays the industrial heritage of Bloomington.

The Creamery building is also eligible for listing on the National Register under criterion C for its characteristics that reflect the creamery business and distinguish it as such. Built during the height of industrial success in the 1920's in Bloomington, the 1921 addition and the 1927 ice house both reflect a style that was practical, industrial and functional for the processing of milk and the storage of ice. The ice house also presented a more stylish facade with decorative architectural details built into the brick and limestone masonry. Although the simple rhythm of the street facade partially disguises the building's true purpose, other features reveal it, such as the ice house that rises from the middle of the complex and the landmark smokestack that rises from behind it. These exterior features and other interior features clearly indicate factory functions. Long, open rooms for processing operations, arch-vault ceilings for ice loads, tall mechanical spaces for compressors and boilers, and a continuous rhythm of large double hung windows, roof monitors and clerestories for natural light all speak the language of technological space. Similarly, interior wall finishes of painted plaster and glazed concrete block, and quarry tile over concrete floors reflect the sanitary surroundings necessary for dairy production.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 9 Page 7 Johnson's Creamery, Bloomington, Monroe Co., IN

Bibliography

Huffman, Dick. Former owner, Johnson's Creamery. Interviews.

Johnson Creamery Company brochure, "A Quarter Century —of Progress and Service," 1938.

Martin, Bob. Former plant manager, Johnson's Creamery. Interviews.

Orelup, Margaret. Johnson Creamery, Historic Preservation Certification Application, Part 1 - Evaluation of Significance. April 1987.

Sanborn Insurance Maps: 1913, 1927, 1947.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section number 10 Page 8 Johnson's Creamery, Bloomington, Monroe Co., IN

Verbal Boundary Description

Beginning at the intersection of the east curbline of the alley between North Rogers Street and the CSX railroad and the north curbline of West 7th Street, proceed east along the north curbline of West 7th Street to the CSX railroad right-of-way. Then proceed northwest along the west boundary of the CSX railroad right-of-way to the south curbline of West 8th Street. Then proceed west along the south curbline of West 8th Street to the east curbline of the alley between North Rogers Street and the CSX railroad. Then proceed south to the point of beginning.

Boundary Justification

The described boundary includes the property historically associated with and owned by the Johnson's Creamery. The boundaries are slightly larger than the private property boundary to compensate for an encroachment of the building into the public right-of-way.



4333

4334

T. 9 N.
T. 8 N.

UNIONVILLE 7 MI.
BELMONT 9 MI.
COLUMBUS 34 MI.

JOHNSON'S CREAMERY
MONROE CO, IN
ZONE 10
E 539980
N 4335400

Basis of Loading

Wind

- Based on ASCE 7-10, “Minimum Design Loads for Buildings and Other Structures”
 - Chapter 29: Wind Loads on Other Structures and Building Appurtenances – MWFRS
 - Chapter 1: General
 - Chapter 2: Combinations of Loads
 - Chapter 26: Wind Loads: General Requirements
- Building Risk/Occupancy Category III – Buildings and other structures, the failure of which could pose a substantial risk to human life
- Exposure Category B – Urban and suburban area prevails for a distance greater than 2,600 ft or 20 times the height of the building (2,800 ft), whichever is greater.
- Basic Wind Speed for Occupancy Category III – 120 mph (3 sec gust wind speed at 33 ft)
- Structure Type for Wind Directionality – Round Chimney
- No Hills or Escarpments to increase wind due to topographic factors.
- The stack has a Round cross-section and Rough ($D'/D=0.02$) surface type.
- Structure is assumed to be a Dynamically Sensitive Structure.

Seismic

- Based on ASCE 41-13, “Seismic Evaluation and Retrofit of Existing Buildings”
 - Chapter 13: Architectural, Mechanical, and Electrical Components
 - Chapter 2: Performance Objectives and Seismic Hazards
- Site Class B: Rock with $2,500\text{ft/s} < v_s < 5,000 \text{ ft/s}$
- Unbraced Cantilever Component – Stack
- Component Importance Factor, $I_p = 1.5$ – Operational Nonstructural Performance Level
- Fundamental Period, $T_p = 3.1 \text{ sec}$

APPENDIX B