

CITY OF BLOOMINGTON



July 21, 2022 @ 5:30 p.m.
City Hall, 401 N. Morton Street
Common Council Chamber, Room #115

<https://bloomington.zoom.us/j/83400966564?pwd=ekRudGFVdU9VNlprWkprRFBENVk3UT09>

Meeting ID: 834 0096 6564 Passcode: 041100

**CITY OF BLOOMINGTON
BOARD OF ZONING APPEALS (Hybrid Meeting)**

City Hall, 401 N. Morton Street
Common Council Chambers, Room #115

July 21, 2022 at 5:30 p.m.

❖ **Virtual Link:**

<https://bloomington.zoom.us/j/83400966564?pwd=ekRudGFVdU9VNlprWkprRFBENVk3UT09>

Meeting ID: 834 0096 6564

Passcode: 041100

PETITION MAP: <https://arcg.is/1CrzXX>

ROLL CALL

APPROVAL OF MINUTES:

PETITIONS CONTINUED TO: August 25, 2022

- AA-17-22 **Joe Kemp Construction, LLC & Blackwell Construction, Inc.**
Summit Woods (Sudbury Farm Parcel O) W. Ezekiel Dr.
Request: Administrative Appeal of the Notice of Violation (NOV) issued
March 25, 2022.
Case Manager: Jackie Scanlan
- V-26-22 **Bailey 8, LLC**
200 E. Kirkwood Ave.
Request: Variance from height standards to allow for the construction of two
additional stories for a total of 4-stories and 57' in height. Also requested is a
variance from development standards to allow for the existing drive-thru on E.
Kirkwood to remain in the Mixed-Use Downtown, University Village Downtown
Character Overlay (MD-UV) zoning district.
Case Manager: Karina Pazos
- V-28-22 **Warren Witt**
3151 W. 3rd St.
Request: Variances from entrance and drive standards to allow a driveway in the
front parking setback, from maximum parking standards, and from pedestrian
sidewalk connection standards.
Case Manager: Eric Greulich
- AA-31-22 **Lamar Advertising Co.**
1800 N. Kinser Pike
Request: Administrative Appeal of Notice of Violation (NOV) for a sign.
Case Manager: Jackie Scanlan
- CU-25-22 **Doug McCoy (Grant Properties)**

****Next Meeting: August 25, 2022**

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or e-mail human.rights@bloomington.in.gov.

110 S. Roosevelt St.
 Request: Conditional Use approval for a 'dwelling, duplex' in the Residential Small Lot (R3) zoning district.
Case Manager: Karina Pazos

PETITIONS:

- AA-20-22 **Bryan Rental, Inc. (David Kamen)**
 3175 W. 3rd St.
 Request: Administrative Appeal of staff determination that sign permit #C20-677 expired on June 2, 2022.
Case Manager: Gabriel Holbrow
- AA-23-22 **Leo Pilachowski**
 The petitioner is requesting an administrative appeal from the Planning and Transportation Department's decision regarding a drivecut.
Case Manager: Eric Greulich
- AA-24-22 **John Mackey**
 221 E. Allen St.
 Request: Administrative Appeal of Notice of Violation (NOV) for failure to obtain a Certificate of Zoning Compliance (CZC).
Case Manager: Liz Carter
- V-27-22 **Cutters Kirkwood 123, LLC**
 115 E. Kirkwood Ave.
 Request: Variances from Downtown Character Overlay standards to allow less non-residential area and less large display windows; and a variance from the requirement to align with the front setback of an adjacent historic structure in the Mixed-Use Downtown zoning district with the Courthouse Square Character Overlay (MD-CS).
Case Manager: Karina Pazos
- V-29-22 **Mistie Nigh**
 2105 Liberty Dr.
 Request: Variance from signage standards to allow the installation of a digital order screen covering more than 40% of the area of a sign face for a permitted drive-through use in the Mixed-Use Medium Scale (MM) zoning district.
Case Manager: Gabriel Holbrow
- V-30-22 **Mistie Nigh**
 284 N. Jacob Dr.
 Request: Variance from signage standards to allow the installation of a digital order screen covering more than 40% of the area of a sign face for a permitted drive-through use in the Mixed-Use Corridor (MC) zoning district.
Case Manager: Gabriel Holbrow

****Next Meeting: August 25, 2022**

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BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 3175 West 3rd Street

CASE #: AA-20-22
DATE: July 21, 2022

PETITIONER: Bryan Rental Inc.
1444 South Liberty Drive, Bloomington, IN

REQUEST: The petitioner is requesting an administrative appeal of the staff determination on June 2, 2022 that sign permit #C20-677 has expired.

REPORT:

Record

Beginning in March 2018, representatives for Bryan Rental Inc. initiated steps to obtain a sign permit for a new freestanding sign adjacent to 3rd Street on the property at 3175 West 3rd Street. At that time, the property was zoned as part of a Planned Unit Development (PUD) with allowances for number, size, and height of signs specific to the PUD. On May 17, 2020, zoning map amendments took effect that rezoned the property to the Mixed-Use Corridor (MC) zoning district. On November 25, 2020, the Planning and Transportation Department received a sign permit application from Hi-Rise & Sign Services on behalf of Bryan Rental, Inc. [sic] for a freestanding sign at 3175 West 3rd Street, 30.26 feet in height and with 125 square feet of sign face area. Based on the sign standards that applied to the PUD before May 2020, the Planning and Transportation Department issued sign permit number C20-677 on February 9, 2021 for the requested sign.

More than fifteen months later, on May 20, 2022, the Planning and Transportation Department received an inquiry from Green Sign Co. asking whether sign permit C20-677 was still active. After confirming that the sign had not yet been erected, Planning and Transportation Department staff sent an email to Bryan Rental Inc. and Green Sign Co. on June 2, 2022 pointing out that sign permit C20-677 had expired. On June 3, 2022, David H. Kamen as the representative of Bryan Rental Inc. filed an administrative appeal of the staff determination that the permit had expired.

Some of the documents in the record are provided in the appellant's exhibits. Staff has verified that these submitted exhibits match the records of these documents held by the Planning and Transportation Department. Additional documents in the record not included in the appellant's exhibits are provided as staff attachments.

The documents in the record of the case, in chronological order, are as follows:

Appellant's exhibit C: Email correspondence, March 2018

Appellant's exhibit D: Email correspondence, December 2018

Staff attachment 1: Sign permit application form, November 25, 2020

Appellant's exhibit B: Sign elevation and site plan submitted with the sign permit application, November 25, 2020

Staff attachment 2: Sign Permit C20-677, February 9, 2021 (also attached as appellant's exhibit A but with lower copy fidelity)

Staff attachment 3: Email containing staff determination, June 2, 2022, with email correspondence from May 20, 2022.

Analysis

According to Unified Development Ordinance (UDO) Section 20.06.050(j)(3)(C) [Sign Permit Review Process; Post Decision Action and Limitations];

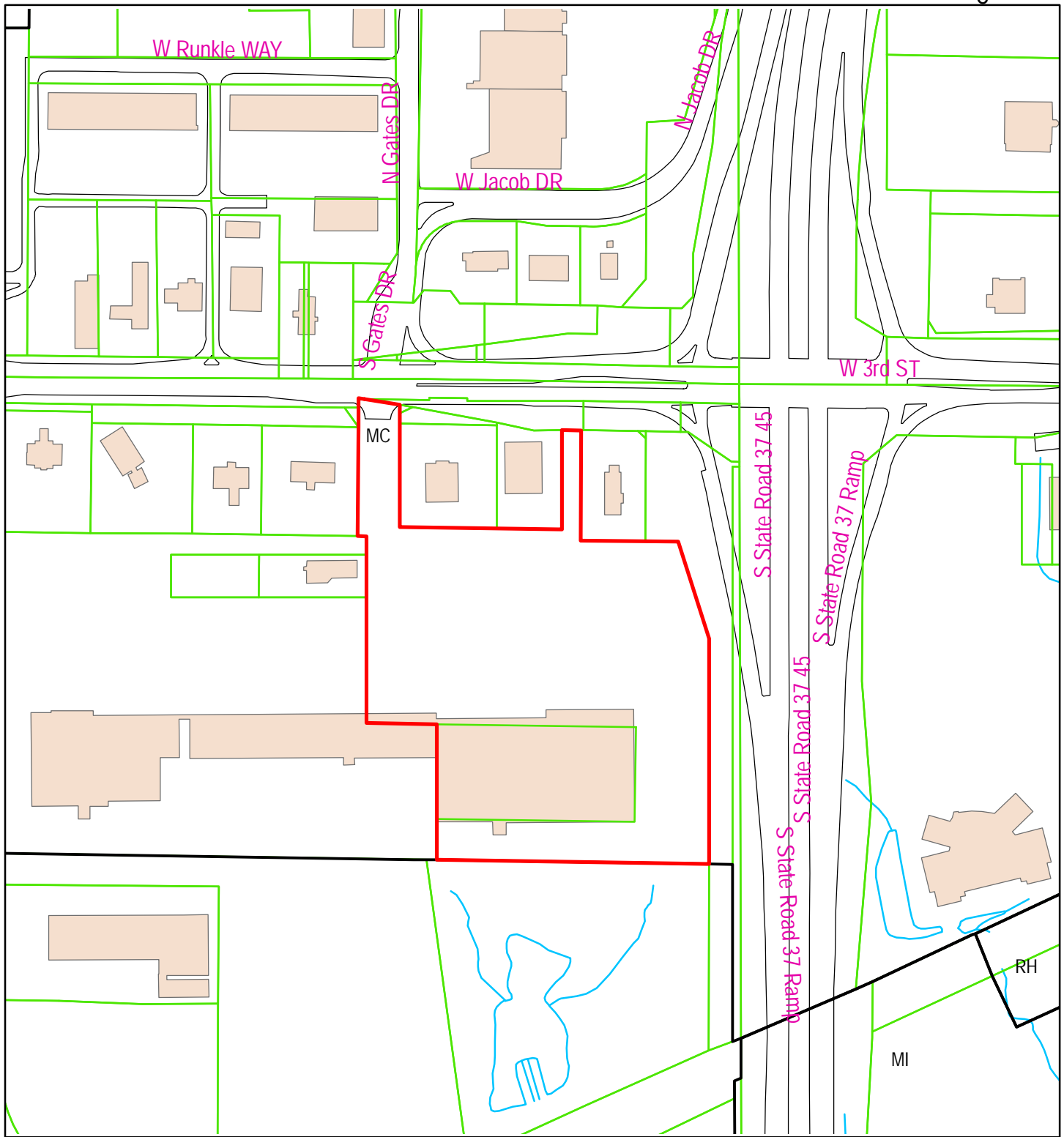
Post-decision actions and limitations in Section 20.06.040(h) shall apply with the following modifications:

- i. Duration: The sign authorized by a sign permit shall be completed and erected within six months of the date of issuance; otherwise, the sign permit shall lapse and become null and void, unless good cause for an extension of time for completion is approved by the Planning and Transportation Director.
- ii. Extension: One extension of up to six months may be authorized by the Planning and Transportation Director for reason/cause. The petitioner shall submit the request for extension in writing to the Planning and Transportation Director, and the Planning and Transportation Director shall make a written determination regarding his or her decision to extend or deny extension. Both the request and the determination shall be made part of the sign permit record.

The language in this section has been the unchanged by any amendments since April 2020, and has been substantively the same (except for section number changes) since February 2007 at least.

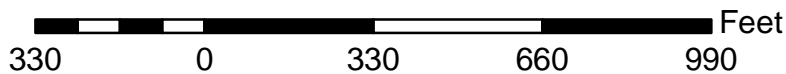
Sign permit C20-677 was issued on February 9, 2021. No extension was requested nor was an extension authorized by the Planning and Transportation Director. In accordance with UDO Section 20.06.050(j)(3)(C)i., sign permit C20-677 lapsed and became null and void on August 9, 2021, six months after the permit was issued. The UDO permits a single, six-month extension. Even if the one permissible extension had been authorized, the sign permit would still have lapsed on February 9, 2022. As of May 2022, the sign authorized by the permit had not been completed or erected.

RECOMMENDATION: In accordance with UDO Section 20.06.080(d)(3)(B)(ii), because this petition is an administrative appeal, the staff report shall not make a formal recommendation.



AA-20-22, 3175 W. 3rd St

City of Bloomington
Planning & Transportation

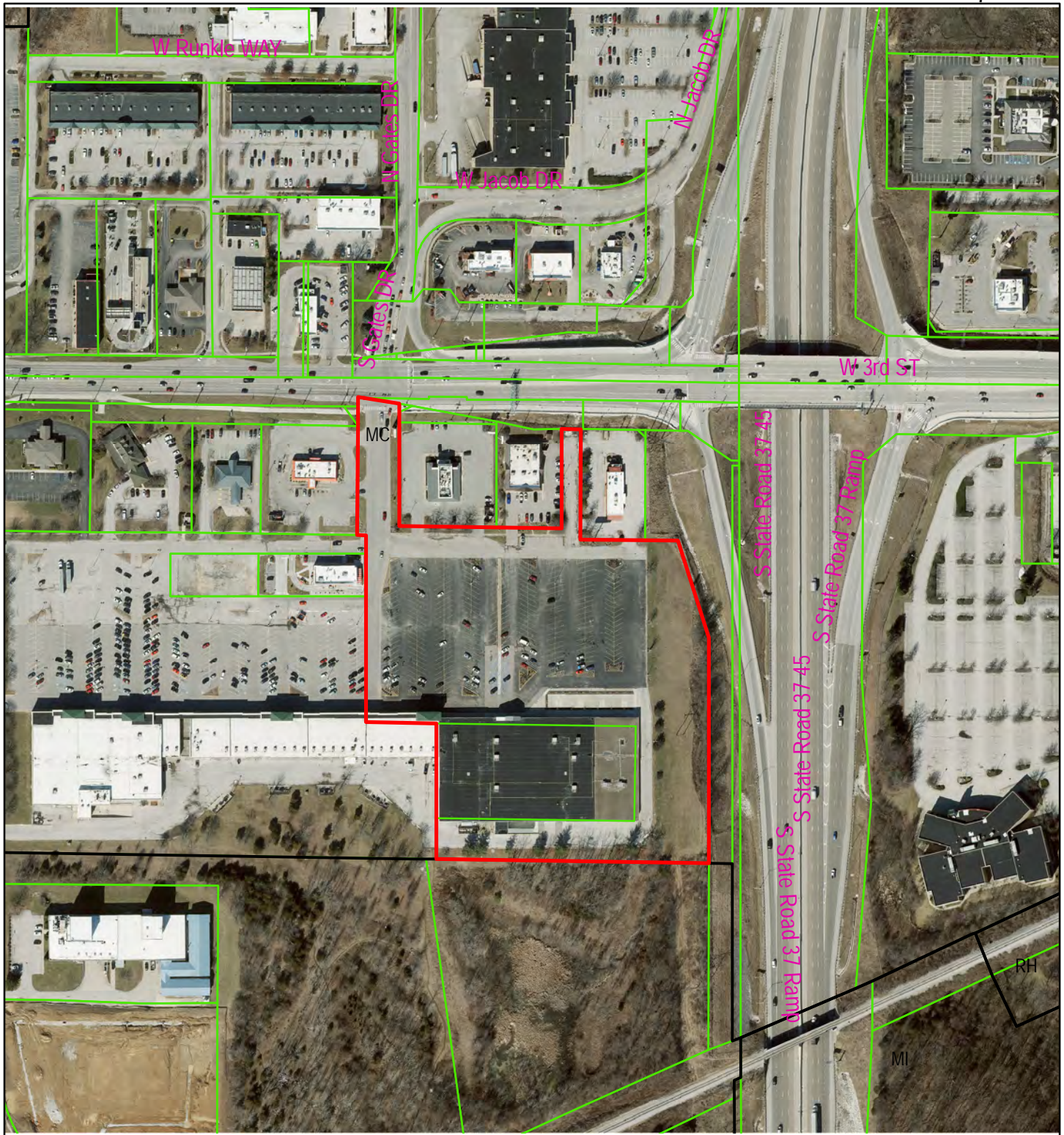


Scale: 1 " = 375 '



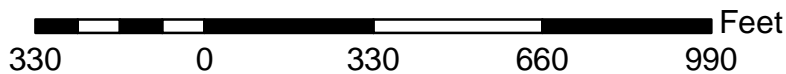
By: Gabriel Holbrow
7/15/2022

For reference only. Map information NOT warranted.



AA-20-22, 3175 W. 3rd St

City of Bloomington
 Planning & Transportation



Scale: 1 " = 375 '



By: Gabriel Holbrow
 7/15/2022

For reference only. Map information NOT warranted.



CITY OF BLOOMINGTON
Planning and Transportation Department
401 N. Morton St., Bloomington, Indiana 47404



Phone: 812-349-3423

Fax: 812-349-3520

Email: planning@bloomington.in.gov

APPLICATION FOR PERMANENT SIGN PERMIT

* MAKE CHECKS PAYABLE TO THE CITY OF BLOOMINGTON

Date Applied: 11/25/20
Name of Business: Brian Rentals, Inc.
Type of Business Use: Commercial
Address of Business: 3175 W. 3rd St.
Business Phone:
Alternative Phone/Fax:
Name of Applicant: Hi-Rise & Sign Services
Applicant Phone: 317-546-1111

(OFFICE USE ONLY)
Application #: C20-677
Permit Fee: \$125.00 per sign
Total Fee: WAIVED
Date Issued: 2/9/2021
Permit Reviewer: Keegan Gulick

A SCALED SITE PLAN IS REQUIRED WITH YOUR APPLICATION.

In order to receive a permanent sign permit, the applicant shall submit a site plan containing the following elements:

- 1. Scale and North arrow;
2. Location of building(s), driveway(s), and parking area(s);
3. Location and size (in square feet) of all existing sign(s);
4. Indicate type of existing sign(s): wall, pole, or ground signage;
5. Location and dimensions of proposed sign(s);
6. Distance between building and proposed sign location(s);
7. Name and location of adjacent street frontage(s), if applicable; and
8. Distance between curb edge and sign location.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

- 1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, and occupancy.
3. Any changes made to sign dimensions or location shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.
5. No sign installation is allowed until a permit has been issued by the Planning and Transportation Department.

Applicant's Signature

Date

If you have questions about sign ordinance requirements, please call the Bloomington Planning and Transportation Department @ 812-349-3423.



City of Bloomington
Planning and Transportation Department
Permanent Sign Permit

Application #:	C20-677	Property Address:	3175 W 3rd Street
Date Received:	11/25/2020	Date Issued:	2/9/2021
Zoning District:	PUD	Proposed Use:	Retail sales, big box

This permit approves:

125 Square Foot	Freestanding Sign
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The attached plans have been reviewed for compliance with applicable provisions of Title 20, Bloomington Unified Development Ordinance, and conformance with the terms of any approvals which have been granted under authority of the Ordinance. The Planning and Transportation Department finds the plans to be in compliance. The following terms and conditions apply:

- Signs that have intermittent blinking, flashing, or fluttering lights, including any device that has a changing light intensity, brightness of color, or gives such illusion, including but not limited to strobe lights. [BMC 20.04.100(e)(6)]
- For new freestanding signs, a landscaped area consisting of shrubs, spread no greater than 3 feet on center, and densely planted ground cover is required. The landscaped area shall be greater than or equal to the sign face area. [BMC 20.04.100(g)(1)(E)]
- Window signs shall not exceed 25 percent of the glass area of any individual window or glass door frame and shall not count towards the wall sign allowance of the use or property. [BMC 20.04.100(c)(2)(E)]
- All lighting fixtures shall be installed so that light trespass from any property line, except a property line abutting a public street, shall not exceed one footcandle at a point one meter beyond the property line. [BMC 20.040.090(c)(4)(A)]

This permit does not constitute the issuance of any additional required permits nor exempt the property from compliance with any requirements of other governmental entities.

Keegan Gulick
 Long Range and Zoning Planner
 City of Bloomington
 Planning and Transportation Department



Gabriel Holbrow <gabriel.holbrow@bloomington.in.gov>

Sign permit C20-677 for freestanding sign at 3175 West 3rd Street has expired

Gabriel Holbrow <gabriel.holbrow@bloomington.in.gov>

Thu, Jun 2, 2022 at 1:03 PM

To: david@kksales.com

Cc: tom@cowdenenterprises.com, marketing@greensignco.com, kevin@greensignco.com, Jacqueline Scanlan <scanlanj@bloomington.in.gov>, Mike Rouker <roukerm@bloomington.in.gov>

Bcc: Eric Greulich <greulice@bloomington.in.gov>, Karina Pazos <karina.pazos@bloomington.in.gov>

Dear Mr. Kamen,

After our phone conversation last week about sign permit C20-677 for a freestanding sign at 3175 West 3rd Street, I have been able to confirm that the permit has expired. If you would like to construct a new freestanding sign at this location, you would need to submit an application for a new sign permit under the [current sign standards for the Mixed-Use Corridor \(MC\) zoning district](#).

Gabriel Holbrow



----- Forwarded message -----

From: **Gabriel Holbrow** <gabriel.holbrow@bloomington.in.gov>

Date: Fri, May 20, 2022 at 10:17 AM

Subject: Re: Sign Permit - Checking Status

To: <marketing@greensignco.com>

Cc: <kevin@greensignco.com>, Darla Frost <darla.frost@bloomington.in.gov>, Eric Greulich <greulice@bloomington.in.gov>

Dear Lauren Obendorf,

Am I correct to understand that the sign has not yet been erected? Per the City's [Unified Development Ordinance \(UDO\)](#) at section [20.06.050\(j\)\(3\)\(C\)](#), signs must be completed within six months from the date the permit issued; otherwise, the permit lapses and becomes void. An additional extension of six months is possible, but we are already more than 12 months past the permit date.

If the sign has already been erected within six months of the permit, then the sign remains permitted for as long as it exists and is maintained.

Gabriel Holbrow



----- Previous message -----

From: **Lauren Obendorf** <marketing@greensignco.com>

Date: Fri, May 20, 2022 at 10:05 AM

Subject: Sign Permit - Checking Status

To: Darla Frost <darla.frost@bloomington.in.gov>

Cc: Eric Greulich <greulice@bloomington.in.gov>, gabriel.holbrow@bloomington.in.gov <gabriel.holbrow@bloomington.in.gov>, Kevin Sims <kevin@greensignco.com>

Good Morning,

We have a permit for 3175 W 3rd Street Bloomington, IN. The application number is C20-677. It was issued on 2/9/2021 for a 125 square foot Freestanding sign. Is this permit still active?

Please let me know if you need anymore information.

Thank you,

Lauren Obendorf Marketing & Permit Coordinator

O: 800.900.2100 | F: 812.663.6563 • 1045 E Freeland Rd. Greensburg, IN





RENTAL, INC.

Residential Housing, and Commercial Leasing

1440 S. LIBERTY DRIVE
BLOOMINGTON, INDIANA 47403
PHONE (812) 322.5243
EMAIL david@kksales.com

Bloomington Board of Zoning Appeals
401 N. Morton Street
Bloomington, IN 47404

6/3/22

RE: Sign Permit # C20-677- Appeal

To whom it may concern,

We are requesting an administrative appeal of our permit expiration. Regarding the property located at 3715 West 3rd Street in Bloomington, IN, approval was sought for a new multi-tenant sign in 2018 and a permit was ultimately issued as Permanent Sign Permit (C20-677) on 2/9/21 during the height of the Covid pandemic, as shown on the attached Exhibit A, which approves a 125 square foot freestanding sign. The permit issued on 2/9/2021 does **not** state an expiration date. We were prepared to construct the sign in a timely manner Pre-Covid, yet due to the many stay at home issues to coordinate sign images, labor, material, contractor bidding, electrical requirements with an electric contractor & Duke Energy, and continued pandemic difficulties, we were unable to construct the sign when the permit was finally issued. We are now prepared to construct the sign. For reference the sign and site plan are shown on the attached Exhibit B.

We ask that the Bloomington Board of Zoning Appeals upholds our permit, and allows us to construct our freestanding sign, which we project will be constructed by the end of Fall 2022.

Please feel free to contact us with any questions, and we look forward to working with the Bloomington Board of Zoning Appeals to resolve this.

Sincerely,

A handwritten signature in blue ink that reads "David H. Kamen".

David H. Kamen, President

Bryan Rental Inc.

EXHIBIT A



**City of Bloomington
Planning and Transportation Department
Permanent Sign Permit**

Application #:	C20-677	Property Address:	3175 W 3rd Street
Date Received:	11/25/2020	Date Issued:	2/9/2021
Zoning District:	PUD	Proposed Use:	Retail sales, big box

This permit approves:

125 Square Foot	Freestanding Sign
-----------------	-------------------

The attached plans have been reviewed for compliance with applicable provisions of Title 20, Bloomington Unified Development Ordinance, and conformance with the terms of any approvals which have been granted under authority of the Ordinance. The Planning and Transportation Department finds the plans to be in compliance. The following terms and conditions apply:

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- For new freestanding signs, a landscaped area consisting of shrubs, spread no greater than 3 feet on center, and densely planted ground cover is required. The landscaped area shall be greater than or equal to the sign face area. [BMC 20.04.100(g)(1)(E)]
- Window signs shall not exceed 25 percent of the glass area of any individual window or glass door frame and shall not count towards the wall sign allowance of the use or property. [BMC 20.04.100(c)(2)(E)]
- All lighting fixtures shall be installed so that light trespass from any property line, except a property line abutting a public street, shall not exceed one footcandle at a point one meter beyond the property line. [BMC 20.040.090(c)(4)(A)]

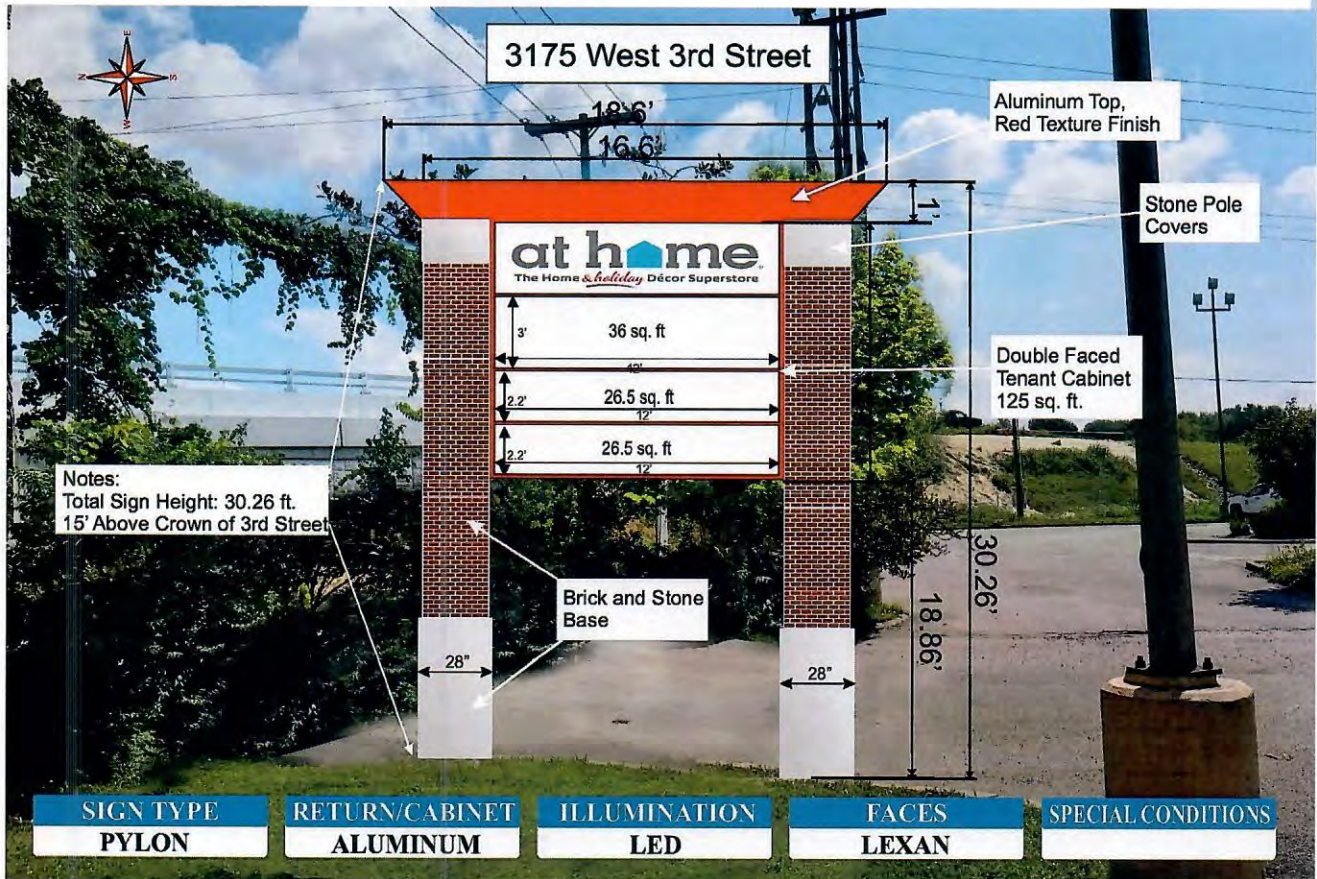
This permit does not constitute the issuance of any additional required permits nor exempt the property from compliance with any requirements of other governmental entities.

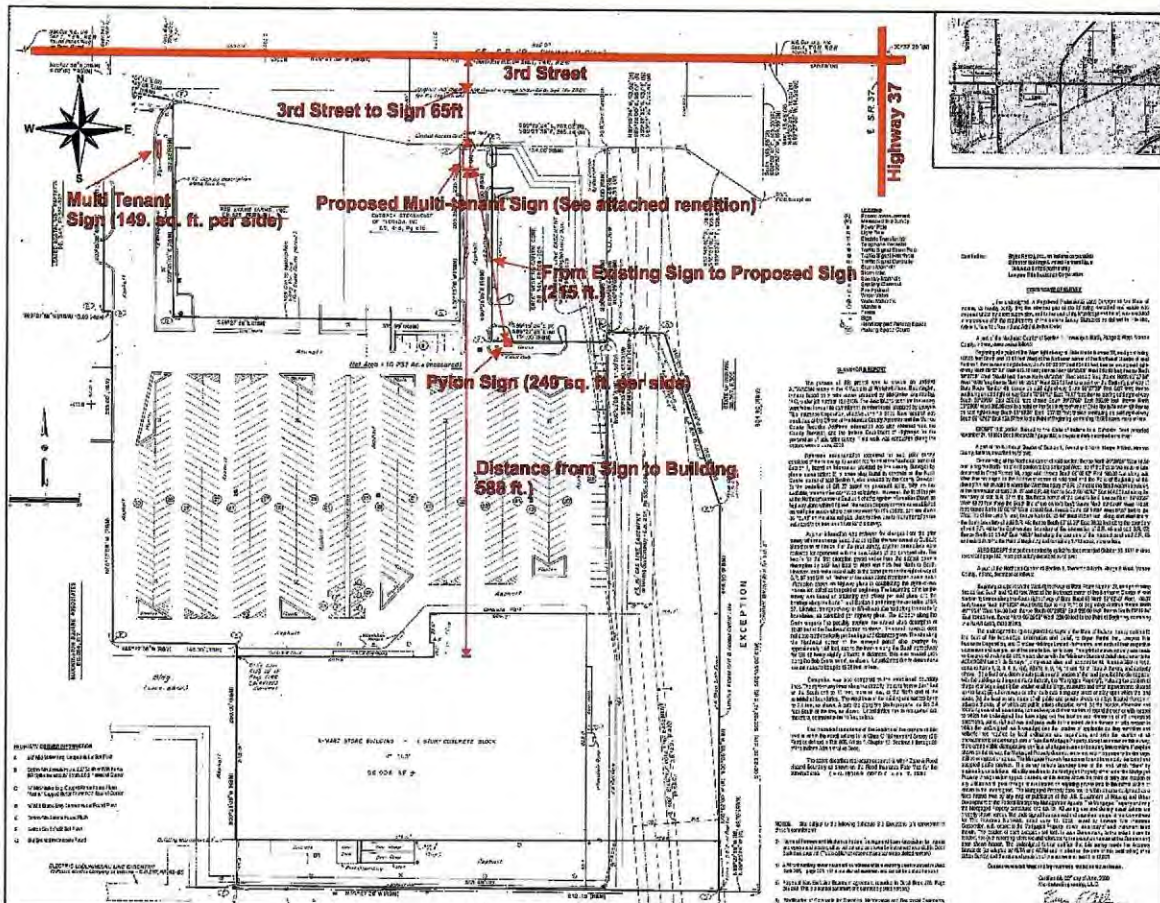
Keegan Gulick
Long Range and Zoning Planner
City of Bloomington
Planning and Transportation Department

EXHIBIT B



Phone: 812-227-3349
6524 W Ison Rd, Bloomington, IN 47403





Bryan Rental Inc.
 3175 W. Third St.
 Proposed New Sign
 In addition to Existing Signs

EXCEPTION

... (Detailed text regarding sign regulations and exceptions) ...



Mid-States

ALTA SURVEY AND TITLE SURVEY

... (Professional surveyor information and contact details) ...

<p>Mid-States</p> <p>200 E. 1st St., Suite 100 Indianapolis, IN 46202 Tel: 317.634.1100 Fax: 317.634.1101</p>	<p>ALTA SURVEY AND TITLE SURVEY</p> <p>Robert W. Whitehall, P.E. 317.634.1100 100 E. 1st St., Suite 100 Indianapolis, IN 46202</p>
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Bryan Rental Inc.
Commercial and Residential Real Estate

1440 South Liberty Drive
Bloomington, IN 47403

RE: Sign Permit Appeal number AA-20-22 (3175 West 3rd Street)
Bloomington Board of Zoning Appeals: July 21, 2022 meeting

Timeline

- *Initial signage allowance inquiries were made on or around March of 2018.
- *Exhibit C is email correspondence dated March 20, 2018 from City Planner Eric Greulich stating that any further signage must go in front of the Plan Commission for approval.
- *Exhibit D is email correspondence dated December 17, 2018 from Philippa M. Guthrie, Corporation Counsel, Legal Department City of Bloomington, IN reversing the determination previously made by City Planning but permit issuance was conditioned upon a obtaining a letter of approval from the neighbor which at that time was Whitehall Associates LP.
- *March 6, 2020 Governor Holcomb declares a public health emergency in Indiana.
- * Exhibit E is email correspondence dated December 15, 2020 indicating that the permit was still subject to the neighbor's letter of approval.
- *Exhibit F is email correspondence dated February 5, 2021 from City Planner Keegan Gulick stating that the legal department had reversed their requirement of a neighbor approval letter.
- *Exhibit G is email correspondence dated February 9, 2021 from City Planner Keegan Gulick issuing the sign permit and stating City Counsel has waived the permit fees.
- * February 23, 2021 Indiana's Death Covid 19 toll hits 12,000. Many government and private sector offices remained closed.
- *Exhibit H is a letter dated June 21, 2022 from High Rise & Sign Services Bloomington Indiana proprietor Mr. Jeff Arbuckle explaining Covid 19 related issues preventing final sign engineering, fabrication and construction when the sign permit was finally issued.

Respectfully submitted;

David H. Kamen 6-30-22

David H. Kamen, President
Bryan Rental Inc.

Exhibit C

Subject: Fwd: Whitehall sign
From: Eric Greulich <greulice@bloomington.in.gov>
Date: 3/20/2018, 3:41 PM
To: David Kamen <david@kksales.com>

----- Forwarded message -----

From: Eric Greulich <greulice@bloomington.in.gov>
Date: Tue, Mar 13, 2018 at 2:40 PM
Subject: Re: Whitehall sign
To: Corey Walters <cw717@ktc.com>

Attached are the scans from the variance file for Kmart. The original PUD has too many documents for me to attempt to scan, however in the development plan approval folder I did find a letter from one of the staff members that outlined what the approved sign package was, that is the last of the attached documents. Any additional signage on the site must go to the Plan Commission for a new approval. Please let me know if you have any questions.

On Tue, Mar 13, 2018 at 12:11 PM, Corey Walters <cw717@ktc.com> wrote:

To: Eric Greulich

RE: Whitehall sign

Eric,

Good afternoon!

Would you please make a copy for me of the same items which David Kamen is requesting (2003 permit and PUD approval)? I can either have someone pick it up or can be mailed to me.

Thank you for your assistance.

With regards,

Corey W.

R. Corey Walters

WALTERS DEVELOPMENT, L.P.

[222 Sidney Baker St., Ste. 305](#)

[Kerrville, TX 78028](#)

[830-257-6300, ext. 1](#)

Cw717@ktc.com

From: Eric Greulich [mailto:greulice@bloomington.in.gov]

Sent: Monday, March 12, 2018 3:28 PM

To: David Kamen

Cc: Corey Walters

Subject: Re: Whitehall sign

You are correct that the sign that is there now is not the original one. I did a permit in 2003 to redo that sign with the current multi-tenant sign. There was no increase in the amount of signage allowed. The location of the sign is located in the same location that was originally approved and functions as a center sign for the whole development. There was an approval given to allow the outlots and Kmart to have their own freestanding signs. Although there is a property line that separates a portion of the overall site (including Kmart) it was all approved under one PUD and is considered one zoning lot. Any tenant in the entire multi-tenant center is allowed to have signage on that multi-tenant sign. In addition, Kmart was given approval to allow their own separate pole sign. You can modify the sign box that Kmart is in to allow the space to be redistributed, but you can not add new sign face area without going to the Plan Commission for a sign package. Given the amount of signage that is on the property currently, which exceeds current code allowances, you would have to convince the Plan Commission that additional signage is necessary.

On Mon, Mar 12, 2018 at 3:08 PM, David Kamen <david@kksales.com> wrote:

Eric and Jackie;

That's the old sign that is not there now. The new sign which I now believe was installed around 2004 is brick columns with a white top.

The 1998 photo had a dark top and also shows the Bob Evans sign which is still existing which has a white top and the Outback Steakhouse sign which is still existing which also has a white top.

The old sign was torn down well after I bought the property in the year 2000. Can you look up the permit for that installation to verify?

I need resolution to avoid kicking the can down the road and simply collecting rent on an empty Kmart building for the next few years. All of the prospects that have contacted me require signage which I can't quantify yet.

Any help is appreciated.

Thank you;

Dave Kamen

1440 South Liberty Drive
Bloomington, IN 47403
[\(812\) 334-1936](tel:8123341936) Office
[\(812\) 334-2130](tel:8123342130) Fax

On 3/12/2018 2:46 PM, Eric Greulich wrote:

Dave,

Attached is the 1998 aerial photograph that shows the multi-tenant sign. I believe the sign has been there since at least the '80s.

--

Eric Greulich
Zoning Planner
City of Bloomington Planning and Transportation Department

This email has been checked for viruses by AVG antivirus software.
www.avg.com



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Eric Greulich
Zoning Planner
City of Bloomington Planning and Transportation Department

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Eric Greulich
Zoning Planner
City of Bloomington Planning and Transportation Department

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Eric Greulich
Zoning Planner
City of Bloomington Planning and Transportation Department

Attachments:

20180313131058340.pdf	1.0 MB
20180313142511055.pdf	1.0 MB
20180313143107089.pdf	86.8 KB
20180313142418089.pdf	4.2 MB

Exhibit D

Subject: FW: Sign at former K-Mart location
From: Andrew Sheff <Andrew@shefflegal.com>
Date: 12/17/2018, 5:30 PM
To: David Kamen <david@kksales.com>

See below

Andrew P. Sheff
Attorney at Law
1800 N. Meridian Street, Suite 511
Indianapolis, Indiana 46202
Tel: (317) 888-7002
Fax: (877) 518-4287
Email: andrew@shefflegal.com

From: Philippa Guthrie <guthriep@bloomington.in.gov>
Sent: Monday, December 17, 2018 4:20 PM
To: Andrew Sheff <Andrew@shefflegal.com>
Subject: Re: Sign at former K-Mart location

Hi, Andy. Here is our determination:

- The Kmart property and the property to the west were approved as one zoning lot under the

Planned Unit Development approval. The overall development is regulated by the PUD, approved variances, and the current UDO regulations for multi-tenant signage (because of how signage was addressed in the PUD).

- Staff has determined that the variance that was granted for Kmart allows for the existing pole sign to be torn down and rebuilt to the same specifications as the original pole sign at 300 sq. feet maximum on each side, and the height can be 35' as measured from the crown of the roadway. It also appears that the pole sign is on the property of "Monroe County Pizza" and would therefore need to be relocated a few feet south.
- We will want some evidence, e.g. a survey, demonstrating what the height of the crown of the roadway is.
- Under both the old UDO and the current UDO, this PUD was allowed 4 signs in total. The variance for the Farmers and Mechanics pole sign was based on this limit of 4 multi-tenant signs and the pole sign used one of those allotted signs. The variance for Kmart also used that justification for the pole sign--it is clear in the documentation. So out of the 4 allotted signs for the PUD, 3 of those have already been placed, counting the F&M and KMart pole signs, and the large sign on 3rd Street. Staff would agree to an additional free-standing sign on 3rd St that is 125 square feet per side and 15 feet tall measured from the crown of the roadway. Again, we will need evidence of the height of the crown of the roadway. Mr. Kamen's tenant is restricted to a single 36 square foot sign on that multi-tenant sign. The placement of this 4th sign would use the remaining allowance for the entire development, and we would therefore require a letter of approval from the other owner of the PUD for this 4th sign.

Thanks for your patience as we worked through this.

Philippa M. Guthrie

	Corporation Counsel, Legal Department City of Bloomington, IN guthrie@bloomington.in.gov 812.349.3547 Office 812.325.7512 Cell bloomington.in.gov
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On Mon, Dec 17, 2018 at 11:47 AM Andrew Sheff <Andrew@shefflegal.com> wrote:

Any updates? My client is at a critical juncture with the proposed tenant and does not want to misrepresent the status of the signage.

Andy

Andrew P. Sheff
Attorney at Law
1800 N. Meridian Street, Suite 511
Indianapolis, Indiana 46202
Tel: (317) 888-7002
Fax: (877) 518-4287
Email: andrew@shefflegal.com

From: Philippa Guthrie <guthriep@bloomington.in.gov>
Sent: Thursday, December 13, 2018 6:49 PM
To: Andrew Sheff <Andrew@shefflegal.com>
Subject: Re: Sign at former K-Mart location

I'm sorry for the delay. It has been a crazy week and a half. We were able to review things and meet and I will respond tomorrow.

	<p>Philippa M. Guthrie</p> <p>Corporation Counsel, Legal Department City of Bloomington, IN guthriep@bloomington.in.gov 812.349.3547 Office 812.325.7512 Cell bloomington.in.gov</p>
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On Mon, Dec 10, 2018 at 8:06 PM Andrew Sheff <Andrew@shefflegal.com> wrote:

Phillipa: With respect to the refurbishing of the existing pylon sign, my notes from our conversation last week reflect that the City agreed it can be 300 ft² but wanted to verify the approved maximum height of 35' was to be measured from the crown of the adjacent highway (3rd St). When the variance was initially granted, there was a height restriction of 35' from the crown of the adjacent roadway (according to the minutes of the meeting when the variance was approved). My reading of the current sign standards also indicates that the allowable height of a sign is to be measured "from the grade beneath the sign or from the crown of the adjacent street, whichever is higher."

It would be helpful for us moving forward if you could let us know if that definition will apply

when measuring the 35' height of the refurbished pylon sign.
Thank you.

Andy

Andrew P. Sheff
Attorney at Law
1800 N. Meridian Street, Suite 511
Indianapolis, Indiana 46202
Tel: (317) 888-7002
Fax: (877) 518-4287
Email: andrew@shefflegal.com

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****Circular 230 Disclosure**** - Any federal tax advice contained in this written communication (including any attachments) is not intended to be used, and cannot be used, for the purpose of (i) avoiding federal tax penalties imposed by the federal government or (ii) promoting, marketing or recommending to another party any tax related matters addressed herein.



Virus-free. www.avg.com

Exhibit E

Subject: FWD: 3175 W. 3rd st
From: Jeff@hirisesign.com
Date: 12/15/2020, 4:52 PM
To: "david@kksales.com" <david@kksales.com>

just got this, looks like Urbahns needs to sign off that they approve? Weird

Thanks,
Jeff Arbuckle
Hi-Rise & Sign Services
Cell: (812)-384-SIGN (7446)
Office: (812)- 82- LIGHT (54448)

----- Original Message -----

Subject: 3175 W. 3rd st
From: "Graphics" <Graphics@ssindy.com>
Date: 12/15/20 4:34 pm
To: "Jeff Arbuckle" <Jeff@hirisesign.com>

Just got this from the reviewer:

Sorry for the delay in getting back with you. As I was reviewing this permit application I was made aware there is some history with trying to get a new freestanding sign approved here. Under the current PUD zoning, this freestanding sign would use up the remaining signage allowed for this PUD. Because of this, we would want a sign-off from the other owner of the multi-tenant center before we could approve the permit. Apparently this was a discussion planning staff has in the past regarding signage at this property. Some sort of notarized letter from the other owner stating they approve of the signage is what we would need.

Please let me know if you have any questions or if the applicant would like to discuss with us directly feel free to contact me

Out of the office, I only have email access on my crappy and slow phone. Can you forward that part to the customer to see if they can help get authorization from the other owner?

Sent via the Samsung GALAXY S® 5, an AT&T 4G LTE smartphone



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Exhibit F

Subject: FWD: FW: FW: FW: Pole Sign Permit - 3175 W. 3rd St.
From: Jeff@hirisesign.com
Date: 2/5/2021, 2:49 PM
To: "david@kksales.com" <david@kksales.com>

Dave,

This came in today

Thanks,
Jeff Arbuckle
Hi-Rise & Sign Services
Cell: (812)-384-SIGN (7446)
Office: (812)- 82- LIGHT (54448)

----- Original Message -----

Subject: FW: FW: FW: Pole Sign Permit - 3175 W. 3rd St.
From: "Graphics" <Graphics@ssindy.com>
Date: 2/5/21 1:11 pm
To: "Jeff@hirisesign.com" <Jeff@hirisesign.com>

This just popped in after you'd called.

From: Keegan Gulick <keegan.gulick@bloomington.in.gov>
Sent: Friday, February 5, 2021 1:09 PM
To: Graphics <Graphics@ssindy.com>
Subject: Re: FW: FW: FW: Pole Sign Permit - 3175 W. 3rd St.

Hi Joshua,

Apologies for the delay, I really appreciate your patience with this. I finally got some advice from city legal!

Here is a summary of what legal told us:

1. Whoever applies for the signage first is entitled to the signage. If one owner violates an agreement between the other parties the City would not be liable so it is at their own discretion. When we initially said they needed approval from the other owners that was incorrect.
2. The PUD can have a maximum of 4 signs, I believe there are 3 already so this would be the last one for the multi-tenant center
3. The maximum size of the sign would be 125 square feet, and no taller than 15' from the crown of the adjacent road.

I hope this information is helpful for figuring out next steps but please let me know if you have any questions.

Regards,
Keegan Gulick


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Exhibit G


Subject: Sign Permit for 3175 W 3rd Street
From: Keegan Gulick <keegan.gulick@bloomington.in.gov>
Date: 2/9/2021, 12:21 PM
To: david@kksales.com
CC: Graphics <Graphics@ssindy.com>

Hello,

Here is the sign permit and certificate of zoning compliance for the proposed sign at 3175 W 3rd Street. I appreciate your patience with this. Feel free to contact me if you have any questions. Just as a reminder City Council has waived sign permit fees.

Regards,
Keegan Gulick



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Attachments:

CZC C20-677.pdf	143 KB
Permanent_Sign_Permit_App - Bloomington (1).pdf	91.2 KB

Exhibit H



CORP HQ - 6524 W Ison Rd * Bloomington IN 47403

Office (812) 825-4448 * * Cell (812) 384-7446

Office: (317) 546-1111 * * Fax: 812-825-7959

Web: www.ssindy.com or www.hirisesign.com

DATE: 6/21/22

To whom it may concern,

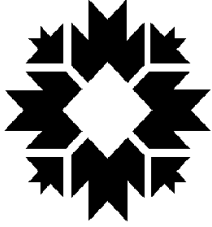
This letter is written to explain why the Whitehall Plaza Pole Sign - 3175 W 3rd St- Bloomington, project was never completed. Hi-Rise Sign & Lighting LLC worked closely with Dave Kamen to design, fabricate, and install a multi tenant pole sign on premises of above-mentioned address. After several months of planning the sign was unable to be constructed due to several issues arising from the covid pandemic. Hi-Rise Sign & Lighting LLC was unable to secure necessary materials to fabricate components for the structure due to supply chain issues. The structural engineer had key employees off due to pandemic issues which made it very difficult to obtain the necessary structural engineering required for such a large sign. In the end it was decided to put this project on hold until such time as all the necessary elements of the project could be available for completion.

Respectfully,

Jeff Arbuckle

Hi-Rise & Sign Services

812-384-7446



**CITY OF BLOOMINGTON
LEGAL DEPARTMENT
MEMORANDUM**

TO: Board of Zoning Appeals
FROM: Michael Rouker, City Attorney
RE: AA-23-22 2028 E. First Street
DATE: July 15, 2022

MEMORANDUM

Leo Pilachowski filed administrative appeal AA-23-22 requesting that the Board of Zoning Appeals review a non-compliant drivecut at 2028 E. First Street. In order to bring the property into compliance with the Unified Development Ordinance (“UDO”), staff directed that the drivecut be removed and that curbing be installed as part of the development of the adjacent lot. During an inspection last week, staff verified that the Petitioner eliminated the noncompliant drivecut and installed the required curb. Therefore there remains no allegation that the property is non-compliant with the City’s zoning ordinance for the Board to adjudicate.

Because the property has been brought into compliance, there is no longer any active dispute regarding the zoning ordinance between the City and the Petitioner. The Board is not permitted to render an advisory opinion or provide a declaratory judgment regarding a mere difference of opinion in the absence of active noncompliance. There must be an actual, factual dispute between the City and the Petitioner in order for the Board to have jurisdiction to consider an appeal.

There are no compliance issues with drivecuts at the property that would implicate the Board, and therefore the Board does not have jurisdiction to issue any decision regarding AA-23-22. If the Petitioner wishes to file a civil complaint he may do so using the standard forum for such complaints—civil court. The Board, of course, is not authorized to award or demand civil damages. The Board of Zoning Appeals’ role in administrative appeals is to adjudicate actual cases and controversies between adverse parties related to existing zoning violations. Here, there are no adverse parties, there is no allegation of an existing zoning violation, and the Board is not permitted to render any decision. There is no justiciable dispute.

BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 221 East Allen Street

CASE #: AA-24-22
DATE: July 21, 2022

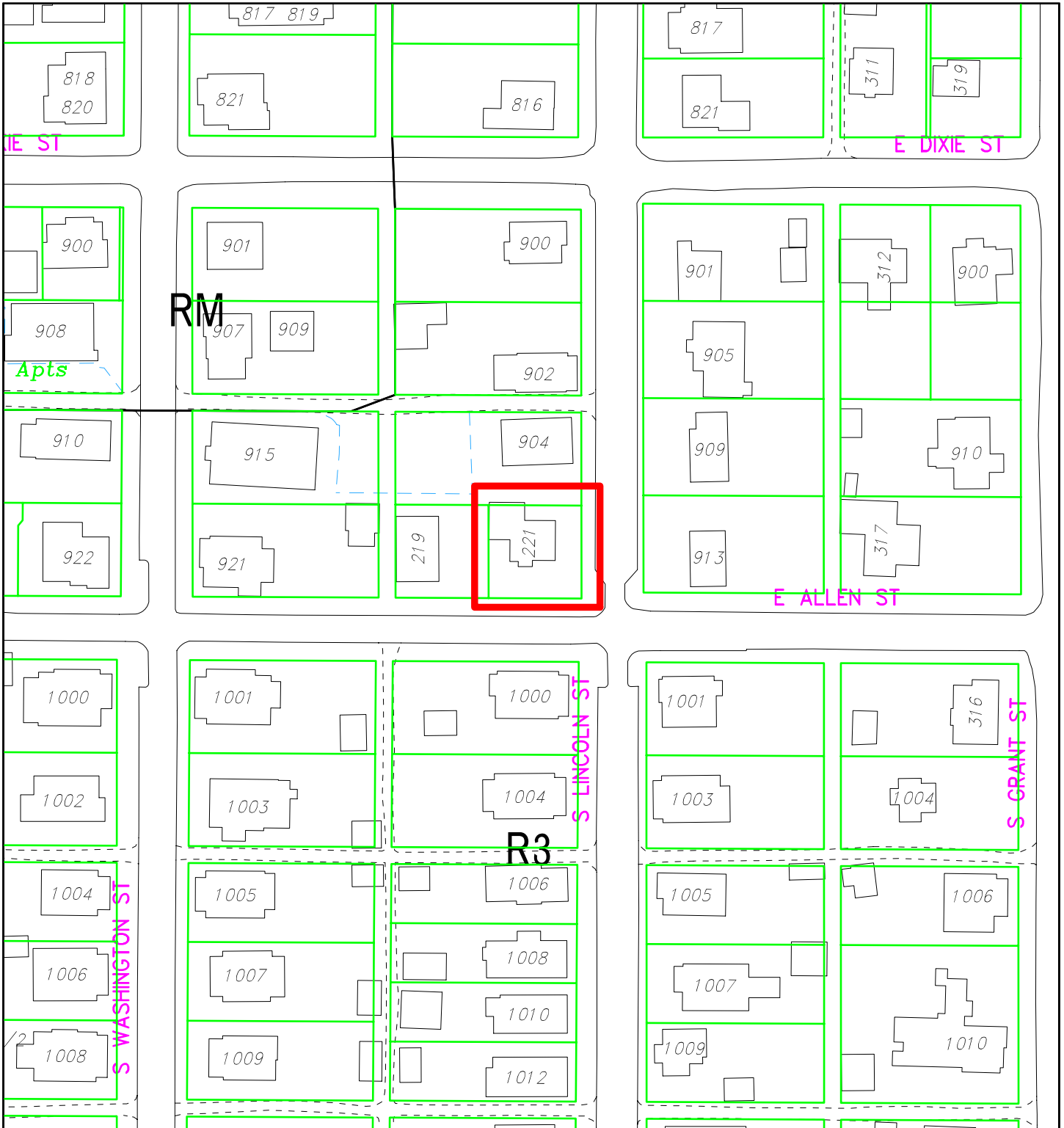
PETITIONER: John and Chris Mackey
PO Box 5446, Bloomington, IN

REQUEST: The petitioner is requesting an administrative appeal of the issuance of a Notice of Violation Fine Letter for Failure to Obtain a CZC.

REPORT: This appeal request is the result of the issuance of a Notice of Violation with Fines for construction being done on the structure at 221 East Allen Street without a permit. A Stop Work Order was posted by the Monroe County Building Department on April 8, 2022 at 3:15pm for work being done on the roof at the location without a permit. The scope of the work, adding a new section of roof and wall, required a Certificate of Zoning Compliance (CZC) from the Bloomington Planning and Transportation Department, as well as a building permit from the Monroe County Building Department. A contractor for the petitioner applied for a building permit on April 14, 2022. Planning and Transportation Department staff received a complaint that work was taking place at the site on May 2, 2022. Staff observed work taking place on May 12, 2022. The Department sent a Notice of Violation with Fine Letter on May 13, 2022 for one day's worth of fines, totaling \$500.00.

As can be seen in the attached NOV, 20.06.050(f)(20(A)(i)(1) states that a CZC is required for any activities involving the alteration, erection, construction, reconstruction, division, enlargement, demolition, partial demolition or moving of any building, structure, sign, or mobile home. No CZC was issued before work initially commenced, or before work continued after the Stop Work Order was issued. No Certificate of Zoning Compliance has been issued to date, as the materials being used on both the new roof portion and new wall portion do not meet the requirements of the Unified Development Ordinance.

RECOMMENDATION: In accordance with UDO Section 20.06.080(d)(3)(B)(ii), because this petition is an administrative appeal, the staff report shall not make a formal recommendation.

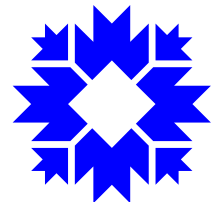


RM

Apts

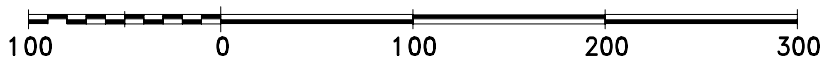
R3

City of Bloomington
Planning

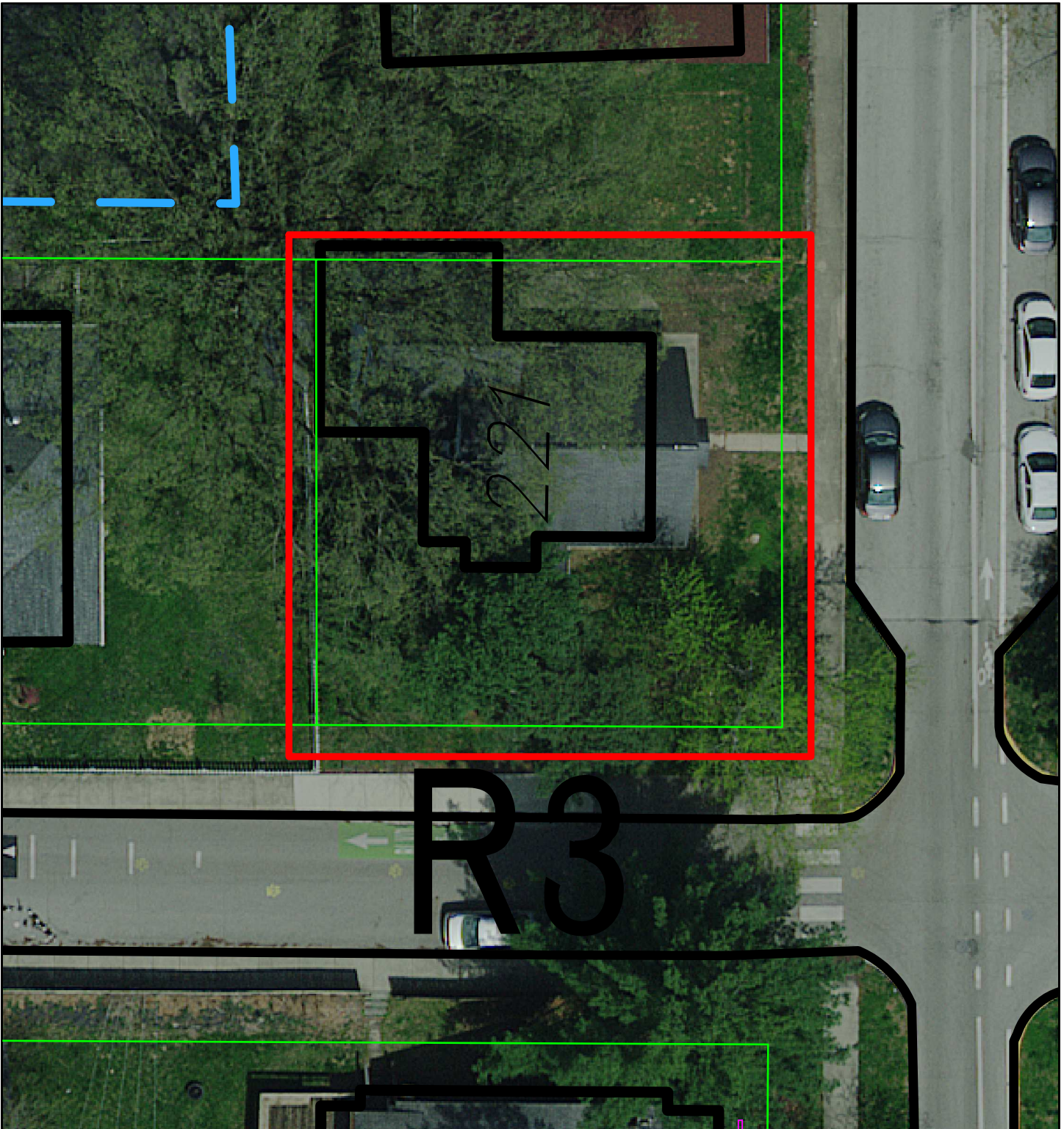


Scale: 1" = 100'

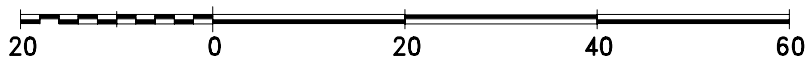
By: scanlanj
15 Jul 22



For reference only; map information NOT warranted.

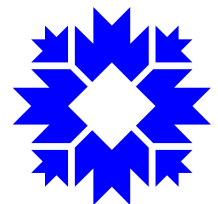


By: scanlanj
15 Jul 22



For reference only; map information NOT warranted.

City of Bloomington
Planning



Scale: 1" = 20'

John C. Mackey
3491 E Rogers Rd.
Bloomington, IN 47401

May 20, 2022

I do hereby appeal the alleged violation concerning my property at 221 East Allen St. I began a reroof and was issued a stop work order. At that point the roof was open to elements, and water was running into the house. I made the necessary provisions to protect the house, and ceased all further roofing. This was to protect the health and safety of the tenants. No further work will be done until the government issues a building permit.

Sincerely,

John C Mackey, Owner

(812-327-5180) or johnwestx@g-mail.com

\



City of Bloomington
Planning and Transportation Department

May 13, 2022

John and Chris Mackey
 PO Box 5446
 Bloomington, IN 47407

Tenant
 221 E. Allen St.
 Bloomington, IN 47401

James Johnston
 3525 E. Bluebird Lane
 Bloomington, IN 47401

Re: Notice of Violation (warning)
 Failure to Obtain a Certificate of Zoning Compliance (CZC)

Dear Sir or Madam:

This letter serves as a Notice of Violation and Fines for a violation of 20.06.050(f) [Administration & Procedures; Development Permits and procedures; Certificate of Zoning Compliance] of the Bloomington Municipal Code (“BMC”) at 221 E. Allen Street (“Property”). Records show you are the owner or responsible party of this property.

The City of Bloomington Planning and Transportation Department received a complaint of unpermitted roof work taking place at 221 E. Allen Street on 05/02/2022. On 05/12/2022, staff observed roof work taking place without a permit. While the Planning and Transportation Department had received a building permit application for the roof work on 04/14/2022, a Certificate of Zoning Compliance (CZC) has not yet been issued as of the date of this letter. The property is located in the Residential Small Lot (R3) zoning district.

According to Unified Development Ordinance (UDO) **Section 20.06.050(f) [Development Permits and Procedures; Certificate of Zoning Compliance];**

- (1) Purpose: The Certificate of Zoning Compliance procedure is intended to provide a mechanism for City staff to ensure that the establishment of and alterations to uses, sites, and structures conform to the standards of this UDO.
- (2) Applicability
 - (A) Generally
 - i. A Certificate of Zoning Compliance shall be required for any of the following activities:
 1. Alteration, erection, construction, reconstruction, division, enlargement, demolition, partial demolition or moving of any building, structure, sign, or mobile home;

As a reminder, a Stop Work Order has been issued. Any work done on the property without a permit may result in additional fines.

As a result of this violation, pursuant to BMC Section 20.06.100(d), John and Chris Mackey, are hereby assessed a fine of \$500 (five hundred dollars). Payment of the full amount of \$500.00 shall be made to City of

Bloomington Planning and Transportation, 401 N. Morton St., Suite 130, Bloomington, IN 47404, no later than 05/27/2022.

You may appeal this Notice of Violation to the City of Bloomington Board of Zoning Appeals, provided that the appeal is in writing and is filed with the Board of Zoning Appeals no later than five (5) days from the date of this NOV. Fines levied for violation of this title may be contested in the Monroe County Circuit Court.

If the assessed fine is not paid by 05/27/2022, the City of Bloomington ("City") reserves the right to initiate suit against you in the Monroe County Circuit Court in order to reduce the fines to a judgment.

Sincerely,

A handwritten signature in black ink, appearing to read "Elizabeth Carter", with a stylized flourish at the end.

Elizabeth Carter
Senior Zoning Compliance Planner, Planning and Transportation

Enclosures: (2)

CC: Scott Robinson, AICP, Director, Planning and Transportation
Jackie Scanlan, AICP, Development Services Manager, Planning and Transportation
Mike Rouker, City Attorney



Photo 1: Roof of 221 E. Allen Street on 05/12/2022.



Photo 2: Roof of 221 E. Allen Street on 05/12/2022.



Monroe County, IN

P&T Received
04/14/22
C22-188
No HP Yes Rental

04/14/2022

R-22-444

Residential Alteration Repair Permit

Status: Active**Date Created:** Apr 14, 2022**Applicant**

James Johnston
plumbbob808@outlook.com
3525 Bluebird lane
Bloomington, in 47401
8123405209

Location

221 E Allen ST
Bloomington, 47401-5833 IN

Owner:

MACKEY, JOHN C & CHRIS P
PO BOX 5446 BLOOMINGTON, IN 47407-5446

Project Info**Scope of Work**

Add new section of roof where both ridgelines overlap to eliminate the blind valley that exists now in the process of adding new metal roof to whole house.

Estimated Project Cost (Do not include the dollar symbol [\$.])

3,000

Because this property is a new residential building permit, you must apply for an 'Activity in the Right-of-way' Permit first. You can call Highway at 812-349-2555 if you have any questions.

Building Type

Single Family (1 unit)

Is this property on sewer?

Yes

Is this permit needed as a result of storm damage?

No

Primary Contractor**Contractor Name**

James Johnston

Contractor Email

plumbbob808@outlook.com

Contractor Phone #

8123405209

Certify Application

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

James Johnson

04/11/2022

Staff Dept Section - General

Staff Use - Building Front Office

Staff Use - Building Inspectors

Planning Staff Review

221





221





**BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT**

**CASE #: V-27-22
DATE: July 11, 2022**

Location: 115 E Kirkwood Ave

PETITIONER: Cutters Kirkwood 123, LLC
121 E Kirkwood Ave, Suite 302
Bloomington, IN

CONSULTANT: Ryan Strauser, Strauser Construction
453 S Clarizz Blvd
Bloomington, IN

REQUEST: A variance from **downtown character overlay standards** to allow for a smaller percentage of total ground floor area dedicated to a nonresidential use other than a parking garage use, a variance from **downtown character overlay standards** to allow for a smaller percentage of total first floor facade area dedicated to large display windows, and a variance from **development standards** to allow for the facade module abutting a historic building to be set back 1.5 feet from the setback of the historic building in the Mixed-Use Downtown with Courthouse Square Character Overlay zoning district (MD-CS).

REPORT: The property is located on the north side of Kirkwood Avenue, and is bounded by an alley on the north and west sides, and a historic building (CVS) on the east side. The property is zoned Mixed-Use Downtown with Courthouse Square Character Overlay zoning district (MD-CS). All the surrounding properties are also zoned MD-CS. The site currently contains a surface parking lot.

The petitioner is proposing to redevelop the site as a 4-story mixed-use building containing a ground floor parking garage with the entrance off of Kirkwood Avenue and 1,100 square feet of retail space facing the street. The proposal includes three upper levels containing 15 dwelling units and will implement sustainable development incentives to achieve the fourth floor with a maximum height of 52 feet. The petition is subject to major site plan review by the Plan Commission, and has been placed on the schedule for the Plan Commission's public hearing on August 15, 2022.

The petitioner is requesting three variances. The first and second variances are from the downtown character overlay standards. The first variance is to allow for a smaller percentage of total ground floor area dedicated to a nonresidential use other than a parking garage use. The Unified Development Ordinance (UDO) requires that a minimum of 50 percent of the total ground floor area of a building located along each street frontage identified by a black line in Figure 47 of the UDO shall be occupied by nonresidential primary uses listed in Table 3-1 of the UDO as Permitted or Conditional in the MD zoning district. Enclosed parking garages shall not be counted toward the required nonresidential use (20.03.010(e)(1)). Figure 47 indicates that Kirkwood Avenue, from Madison Street to Indiana Avenue, is required to meet this standard. The second variance is to allow for a smaller percentage of total first floor facade area dedicated to large display windows. The UDO requires a minimum of 70 percent of the first floor facade facing a street in the Courthouse Square overlay district to be large display windows and shall incorporate transom windows and window bases/kickplates, as well as a frieze or sign band above the display windows (20.02.050(a)(6)). One of the purposes for these standards is to encourage site design that engages directly with the public realm of the street and to promote

pedestrian accessibility, instead of the site uses being buffered from the pedestrian zone. A second purpose is to reflect the historic design and use patterns of the Courthouse Square overlay district. The proposal designates less than 50 percent of the ground floor to a nonresidential use other than parking garage, and incorporates large display windows in less than 70 percent of the façade. The proposal does not support the same goals of engaging directly with the public realm and promoting pedestrian accessibility, nor the reflection of historic patterns. As proposed, the development will provide approximately 10 percent of retail space, and approximately 40 percent of the façade as display windows. This is well below the minimum percentages required and there are no practical difficulties with the use of the property if these minimum percentages are met.

The third variance is from the development standards to allow for the facade module abutting a historic building to be set back 1.5 feet from the setback of the historic building. The UDO requires that new buildings abutting the side of an outstanding and/or notable structure as identified in either one or both of the City of Bloomington Survey of Historic Sites and Structures or the Indiana State Historic Architectural and Archaeological Research Database shall align their respective facades to match the front setback established by a surveyed structure rather than the required build-to line (20.04.070(e)(2)). One of the purposes of this standard is to encourage the new building to align with and match the design of the historic building. The CVS has a Notable rating on the Bloomington Historic Sites and Structures Survey. The UDO defines façade, in the case of attached buildings, as a portion of the exterior of a building that gives the appearance of a unitary module regardless of whether that portion coincides with the sides of individual buildings (20.07.010). The front façade of the development as proposed, has two modules with the module abutting the historic building being set back approximately 1.5 feet from the established setback of the historic building's facade, and the other module being set back further from the established setback of the historic building's facade. The historic building has modulation and setback variations where the front wall of the ground floor that wraps around the southeast corner is set back approximately eight feet from the established setback of the module abutting the proposal. Along with the UDO, the Transportation Plan calls for eight feet of frontage zone, 10 feet of pedestrian zone, and five feet of greenscape/furnishing zone along streets with a 'Shared Street' typology, such as Kirkwood Avenue in this location. The existing pedestrian facilities include a 10-foot wide sidewalk and a 5-foot wide greenscape/furnishing zone, and includes a frontage zone where the proposed western façade module is located. The proposed misalignment between the abutting façade modules is not significant, but there are no practical difficulties in the use of the property if the façade module abutting the historic building were to align with its façade module.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E)(i)(1) Standards for Granting Variances from Development Standards: Pursuant to Indiana Code 36-7-4-918.5, the Board of Zoning Appeals or Hearing Officer may grant a variance from the development standards of this UDO if, after a public hearing, it makes findings of fact in writing, that:

PROPOSED FINDINGS FOR GROUND FLOOR NONRESIDENTIAL USE OTHER THAN PARKING GARAGE USE VARIANCE

- (1) The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

PROPOSED FINDING: The granting of the variance to allow for a smaller percentage of total ground floor area dedicated to a nonresidential use other than a parking garage use will be injurious to the public health, safety, morals, or general welfare of the community. Given the configuration of the site having an alley to west, the location of the proposed parking garage entrance further disrupts the pedestrian zone and takes away dedicated space to a nonresidential use, other than parking garage, limiting the public realm-facing and pedestrian-accessibility aspects of the site design. The overlay desires robust nonresidential uses on the first floor, while providing ample percentage for garage or residential space.

- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and*

PROPOSED FINDING: The granting of the variance to allow for a smaller percentage of total ground floor area dedicated to a nonresidential use other than a parking garage use will affect the use and value of the area adjacent to the property in a substantially adverse manner. Given the configuration of the site having an alley to west, the location of the proposed parking garage entrance further disrupts the pedestrian zone and takes away dedicated space to a nonresidential use, other than parking garage, limiting the public realm-facing and pedestrian-accessibility aspects of the site design.

- (3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in questions; that the development standards variance will relieve the practical difficulties.*

PROPOSED FINDING: The denial of the variance to allow for a smaller percentage of total ground floor area dedicated to a nonresidential use other than a parking garage use will not result in practical difficulties in the use of the property. Given the configuration of the site with alley access on the north and west sides, there are other possible locations for the parking garage entrance, such that more ground floor space facing the street can be dedicated to a nonresidential use other than a parking garage use. There is nothing peculiar about the site that requires reduction in ground floor nonresidential or garage space.

PROPOSED FINDINGS FOR FIRST FLOOR FAÇADE LARGE DISPLAY WINDOW VARIANCE

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

PROPOSED FINDING: The granting of the variance to allow for a smaller percentage of total first floor facade area dedicated to large display windows will be injurious to the public health, safety, morals, or general welfare of the community. The window requirement is included to reflect the historic pattern of large picture windows in the area. The community and UDO anticipate and encourage infill development, but adherence to the design standards helps to protect the character of the pedestrian experience in the area. The addition of a parking garage entrance on Kirkwood limits the amount of space for display windows which negatively impacts the adjacent pedestrian experience.

- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and*

PROPOSED FINDING: The granting of the variance to allow for a smaller percentage of total first floor facade area dedicated to large display windows will negatively affect the use and value of the area adjacent to the property in a substantially adverse manner. The design guidelines are included to protect the use and value of adjacent properties so that infill developments can reflect historic patterns and maintain the character of the area.

- (3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in questions; that the development standards variance will relieve the practical difficulties.*

PROPOSED FINDING: The denial of the variance to allow for a smaller percentage of total first floor facade area dedicated to large display windows will not result in practical difficulties in the use of the property. Given the configuration of the façade, there is sufficient façade area to incorporate large display windows. There is nothing peculiar about this property that requires a building to not meet the large display window requirement.

PROPOSED FINDINGS FOR THE ALIGNMENT WITH SETBACKS VARIANCE

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

PROPOSED FINDING: The granting of the variance to allow for the facade module abutting a historic building to be set back 1.5 feet from the setback of the abutting historic building facade module will not be injurious to the public health, safety, morals, or general welfare of the community. Given the configuration of the abutting historic building that incorporates different setbacks, a difference of 1.5 feet may not be significant.

- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and*

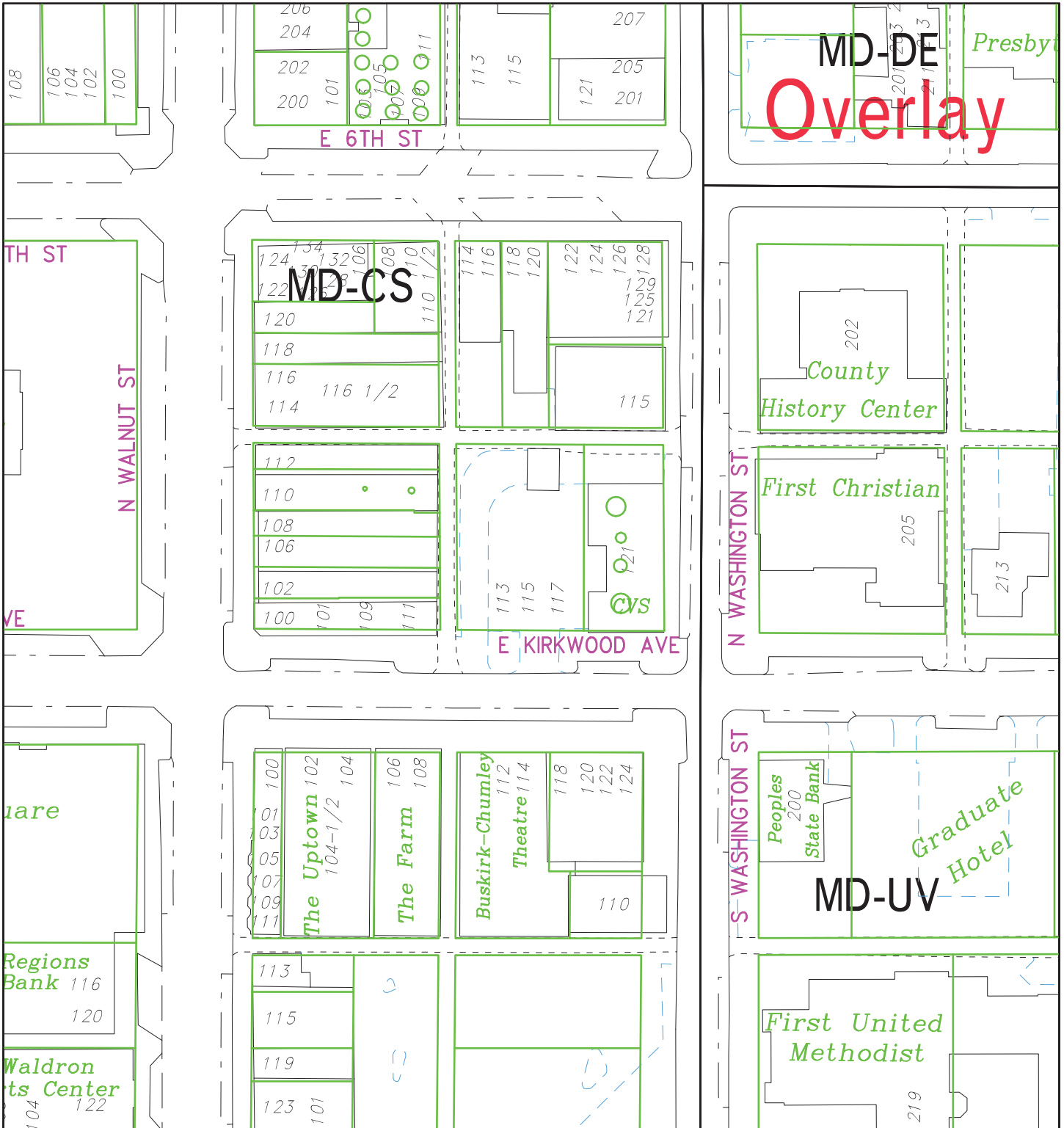
PROPOSED FINDING: The granting of the variance to allow for the facade module abutting a historic building to be set back 1.5 feet from the setback of the historic building will not affect the use and value of the area adjacent to the property in a substantially adverse manner. Given the configuration of the abutting historic building that incorporates different setbacks, a difference of 1.5 feet may not be significant.

- (3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in questions; that the development standards variance will relieve the practical difficulties.*

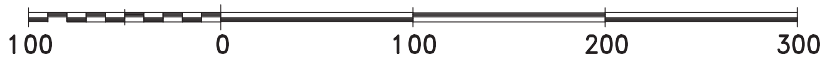
PROPOSED FINDING: The denial of the variance to allow for the facade module abutting a historic building to be set back 1.5 feet from the setback of the historic building does not result in practical difficulties in the use of the property. Given that the

Transportation Plan calls for an 8-foot frontage zone and how that frontage zone may be achieved with the setback of the other proposed façade module, there are no practical difficulties in aligning the abutting façade modules to encourage alignment with the design of the historic building. There is nothing peculiar about this site that does not allow a building to meet the alignment requirement.

RECOMMENDATION: Based upon the report and written findings of fact above, the Department recommends that the Board of Zoning Appeals adopts the proposed findings for V-25-22, denies the requested variances from downtown character overlay standards to allow for less dedicated space to a nonresidential use, other than a parking garage use, in the ground floor and less large display windows in the first floor façade facing the street, as well as denies the requested variance from development standards to allow for a 1.5-foot setback from the abutting historic building façade module.

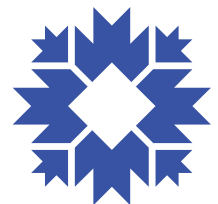


By: karina.pazos
26 May 22

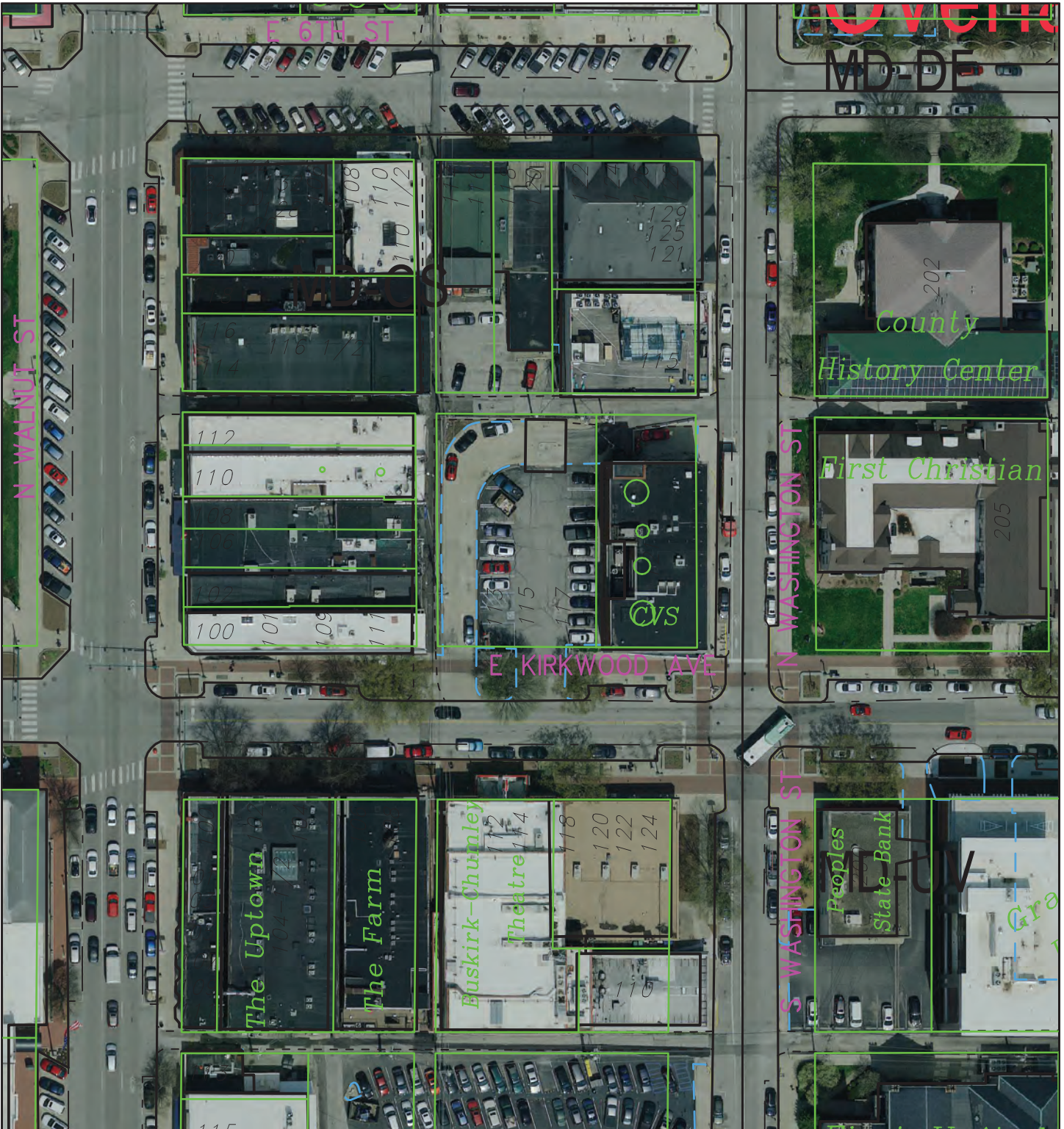


For reference only; map information NOT warranted.

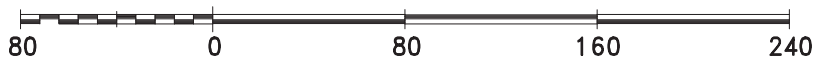
City of Bloomington
Planning



Scale: 1" = 100'

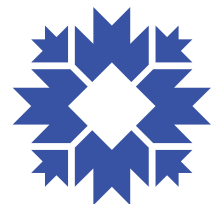


By: karina.pazos
 26 May 22



For reference only; map information NOT warranted.

City of Bloomington
 Planning



Scale: 1" = 80'



121 E KIRKWOOD AVE | SUITE 302 | BLOOMINGTON, IN 47408

PHONE: 812.287.8596

RANDY@CLEARPATH-SERVICES.COM

PETITIONER'S STATEMENT

June 23, 2022

City of Bloomington Board of Zoning Appeal
401 N. Morton Street
Bloomington, IN 47403

Re: Plan Approval at 115 E. Kirkwood Avenue

Dear Commission Members:

The purpose of our request is to construct a mixed-use project featuring 15 residential owner-occupied condominiums on a small urban infill lot located at 115 E Kirkwood Avenue. This project originally was approved by the Plan Commission in 2018 by a 9-0 vote. Our desire to offer the community condominiums rather than apartments delayed the normal time to begin construction due to the requirement to have a majority of the units presold. We were in the process of pulling our construction permit when Public Works asked if we might go ahead and connect our water and sewer for the building in Kirkwood due to a repaving project. To expedite the work and meet Public Work's timeline, Strauser installed the connections prior to any permits being released. We were prepared to move forward on construction when the COVID pandemic struck. Due to the global uncertainties of how COVID might impact the economy and life in general, we decided to delay any construction until such time as we all better understood the lasting impacts of the pandemic. During this waiting period our approval expired. During this time, we continued the market the units and have secured a number of reservations for the project which has enabled us to work with a local lender for construction financing. Clearpath is prepared to begin construction in the late summer/fall of 2022. We are back before the Plan Commission for reapproval of essentially the same project that was approved in 2018.

The lot has served as a parking lot for adjacent businesses such as Workingmen's, ONB and CVS for well over 60 years. The proposed project is a continuation of Clearpath's overall Bloomington redevelopment plans to add to the fabric of the Kirkwood corridor. An affiliate partnership purchased the former Workingmen's building and adjacent parking lot in 2015. Phase 1 of our efforts was an adaptive reuse of the building. Initial efforts brought a much-needed full-service pharmacy to the building and returned the 3rd floor to Class A office condos for four professional businesses including Meitus Gelbert Rose, Clearpath, JPF Properties, and CGR Services. Phase 2 is the redevelopment of the adjacent parking lot. Our plan is to construct a four story, 47,200 SF mixed-use building that includes approximately 9,000 SF secured parking area with 20 private parking stalls for condominium owners,

1,100 SF of Kirkwood retail and approximately 35,400 SF of owner-occupied residential condominiums consisting of 16 units (15 residential and 1 commercial).

Bloomington's Comprehensive Plan recognizes the need for density and diversity of housing. Specifically, Chapter 4 encourages outlines policy goals and objectives that support the essence of our overall mixed-use development plans—a pharmacy, professional offices and owner-occupied housing combine to create a “sense of place.” Under Goal 4.5: Promote a Sustainable Downtown, recognizes and encourages the need for such owner-occupied housing as being vital to creating and sustaining a sense of place in downtown:

“Develop strategies to stabilize and diversify the Downtown residential population by identifying and encouraging missing housing forms in the Downtown area (such as row houses, condominiums and live/work space).”

Two goals worth noting are goals 4.4 and 4.6. Goal 4.4 Diversity Housing notes that the community should encourage a range of diverse housing types in the Downtown. Policy 4.4.3 encourages developers to build and market housing to non-student residents. Goal 4.6 Optimize Parking encourages “attractive, cost effective, convenient and environmentally public and private motor vehicle and bicycle parking facilities.” ONE15 aims to meet this Goal and related policies by providing sufficient parking for the project for resident’s cars, including electric vehicles, and bicycles to support vibrant economic activity. Additionally, residents with more than one vehicle will be encouraged to use two adjacent City garages.

It is worth noting that there remains a common thread in our long-term community planning that encourages such a development as we are proposing to build. The former Growth Policy Plan and Downtown Vision and Infill Strategy Plan has longed recognized the need for diverse housing options. The GPP Vision Statement echoes the same sentiments as heard in our Comprehensive Plan and UDO:

V. A thriving city center that offers diverse residential housing, government services, specialized shopping, community-centered activities, and entertainment. More residential housing must be encouraged in the downtown area to insure continued demand for services in the city center. Attractive, quality high-rise buildings, with parking, should be considered. Parking should be consolidated, and surface parking reduced and converted to high density residential uses. Public parks that are safe, well maintained, and offer recreation, sports, and leisure activities for our families should also be encouraged.

Additionally, Policy 2 of the GPP’s Policy Essence Statement noted:

Policy 2: Increase Residential Densities in the Urbanized Area As a counterbalance to policies that limit the spatial expansion of growth, denser infill development in areas that already contain City services must be encouraged. Increasing the density of residential development within the community can provide several benefits. Concentrating densities in certain areas allows others to be preserved as greenspace, a vital urban amenity. Further, as densities increase, the efficiency and quality of urban services can be improved, and public transit becomes a much more feasible service.

Furthermore, the GPP specifically addressed the need for increased residential density/diversity in Geography of the Policies:

Land Use: A mix of office, commercial, civic, high-density residential and cultural land uses are recommended for the downtown. New residential, retail, and office growth must be redirected to the downtown if Bloomington is to slow the sprawl at the city's edge. Several land-use policies are necessary to achieve the active and engaging downtown that is so important to this community.

- *The Downtown area should be targeted for increased residential density (100 units per acre) and for intensified usage of vacant and under-utilized buildings.*

The Downtown Vision and In-fill Strategy Plan echoes the need for a mix of residential options in the downtown:

Residential Development Strategy Diverse housing options in downtown should be available in a range of product types and prices, including market rate and affordable categories. Construction of new residential units in mixed use complexes, as well as adaptive reuse of upper floors in older commercial buildings are envisioned. These product types should be promoted in the downtown area:

- *High amenity, market rate units, historic*
- *High amenity, market rate units, new*

Creating projects that combine these residential types is particularly encouraged.

The Strategy Plan recognizes the potential need for variances from some standards to achieve certain community goals:

- *Projects which may need exemptions on some design requirements that fulfill other downtown goals (e.g. affordable housing, owner-occupied housing, base employment, etc.)*

Our multi-phased mixed-use development proposes to address a long-ignored residential segment--owner occupied housing that has been encouraged by community leaders in every strategic visioning plan. Clearpath is offering an urban residential product that offers from one to three-bedroom options with amenities desired by owner-occupied residents. The project will be marketed to young professionals, retirees and downtown/university based employees. This residential demographic is a much-needed addition to our downtown core.

The proposed building's design and density is driven by the unique nature of an infill owner-occupied residential project on a smaller city lot. Our research indicates that the market desires downtown condominiums that provide a unique urban experience. As such, we are offering a design that offers 10-foot ceilings, large outdoor rooms, lobby entry off of Kirkwood, unique common area amenities and secured parking. The Kirkwood level footprint is comprised of street retail, condominium lobby entrance and secured parking. The residential units are located on floors two through four. Additionally, there are other site related expenses unique to an urban infill project that drive the need for additional density: these include land costs, infrastructure (e.g. need to bury electrical lines in both alleys) and construction staging. In order to address this density need, the design steps-back at Kirkwood to bring the scale down. Additionally, the canopy along the street level will bring the street front down to a human scale consistent with Kirkwood.

The project and design is in scale with historical structures and recently approved/constructed projects. The Buskirk, KP building on the Square, Oddfellows, CVS and Uptown buildings are examples of multistory buildings adjacent to the lot. Newer projects such as the Sullivan's building and downtown

hotel projects are representative of Bloomington's evolution towards recognizing the need for greater density for urban infill projects.

The overall design, through the use of brick, limestone, glass and metal breaks the façade up to visually integrate the building into the fabric of Kirkwood and surrounding buildings. The structure itself is to be built with a steel beam/concrete core. This, combined with the use of quality and timeless exterior materials on all four sides, will result in an attractive building that will add to the long-term character of downtown and Kirkwood. Unlike many of the new apartment structures, our project utilizes a design that owner's will be proud to call home for many years to come.

The project is being designed to meet or exceed LEED Certified equivalency. The condos, as such, will incorporate numerous environmentally friendly features including:

- Solar Panels on Roof
- Car Charging Station
- Recycling Program
- Energy Efficient HVAC Systems
- No/Low VOC Materials
- Locally/Regionally Sourced Materials
- LED Lighting
- Energy Efficient Appliances/Systems
- Water Efficient Fixtures

Please refer to the “Green Building Initiatives” exhibit for additional details.

In order to reduce the likelihood that these units may be converted to rentals, the condominium association documents will prohibit owners from offering units for short-term rental such as Airbnb. Additionally, the documents will prohibit the units from being occupied by more than two unrelated adults. These restrictions will aid in the maintenance of a strong owner-occupied environment.

Finally, the addition of nearly 1,100 SF of retail will provide new modern space for the downtown retail scene. The following is a summary of project per the previous submission including the addition of solar panels and garage entry off of Kirkwood.

Residential Density and Owner Occupancy: The proposal offers 15 residential condominiums and 1 commercial condominium. The residential units range from 3,264 SF to 1,582 SF. The commercial condominium is approximately 1,100 SF.

Height: Our proposal is for a 4-story building. The design features an average building height 50’6” feet using the average elevation. It is worth noting that the height is being driven by market demand of owner-occupied housing. Our commercial space has open ceiling heights from 14-16 feet. The owner-occupied housing has 10-foot clear ceilings.

Architecture/Materials: The architect, Ryan Strauser, has blended contemporary design with more traditional elements. Numerous punched openings with distinctive sills/lintels have been added. The renderings show a distinctive base, middle and cap. The extensive use of glass and key entries for the condominiums and commercial space along Kirkwood, including on the garage entry door, will create a pedestrian friendly streetscape with opportunities for outdoor seating and planters.

Building Height Step Down: The design contains a step-back at the front façade facing Kirkwood and adjacent to the alley. Our proposed building is separated by an alley. Our side is across the alley from the Book Corner's rear elevation. Visually, we achieve the required step-back from the Kirkwood/alley perspective.

Void-to-Solid Percentage: See architect's comments.

Solar Panels: Since our last submission, we believe it makes economic sense to add solar panels to the roof of the project. It is projected that addition of the panels will at a minimum cover the costs of electricity for all the common area including the lobby and garage. Additionally, we are seeking the sustainable incentive under the UDO (see Zoning Compliance/Sustainable Incentive section below).

Garage Entry: Our previous submission had the garage entry off of Washington utilizing the loading dock area used by CVS as the entry access. Clearpath did not and does not have a legal easement to use the loading dock for such purposes. In our original petition, we had an arrangement with the owner of the CVS space. This has subsequently expired and will not be considered moving forward. As such, access to the garage off of either of the alleys is not feasible due to grade changes and economics. Under our revised proposal, the garage entry will be on the east side of the building facing Kirkwood. We currently have two very active curb cuts that serve the surface lot. This will now be reduced to one curb cut. The activity from the garage will be significantly less than current uses as it only serves the residents of the condominiums. Additionally, the garage door will be designed to complement the design of the Kirkwood storefronts/streetscape.

Zoning/Sustainable Incentive: The site is currently zoned MD-CS (Mixed-use Downtown with Courthouse Square Downtown Character Overlay). Our previous submission was approved under slightly different regulations. Clearpath is seeking to build a structure that contains 4 floors and that is taller than 40 feet. For the additional floor, we are pursuing the sustainable incentive and will pursue any other required variances either via the BZA or Hearing Officer process. Per 20.04(d), we plan to comply with, at a minimum, four of the six noted qualifying criteria including covered parking, cool roof, solar energy, and building efficiency. In conclusion, we are offering essentially the same project that the Plan Commission unanimously supported in 2018. We look forward to our formal meeting to discuss the project and answer any remaining questions.

Variances Sought: We seek two variances from the BZA.

1. Variance from 20.03.010 (e)(1) Nonresidential Ground Floor Standards. This section requires that a minimum of 50% of the total ground floor area located along Kirkwood. Our previous approval did not have this requirement; thus it was approved with a significant portion of the ground floor with residential parking. As currently designed, One15 has one retail space (@1,100 SF), the condo entry/lobby, and the garage entry. The project as designed is critical to the success of the project. Providing at least one parking spot per condominium unit is market driven by our owner-occupied buyers. Without the parking, the project is not economically sustainable. The design balances the need for an "active" streetscape with the market need for parking. The parking is not public and only for residents. As designed, the retail space qualifies as approximately 10% of nonresidential ground floor space. With the condo entry and other miscellaneous uses (trash, EV charging area and etc), the percentage is closer to 15%. While still considerably less than the 50% requirement, it balances the project's need for parking and the economic realities of retail. We are comfortable with trying to lease an additional 1,100 SF of retail space but do note that there is widespread availability of retail space in the downtown

area. Our desire as a community to have an active retail environment must align with market realities. We believe we have struck a good balance that serves the greater need of the community—housing while providing some retail opportunity. We respectfully request a variance from this requirement.

2. Variance from section 20.02.050 (6) Windows and Doors on Primary Facades. The UDO in this overlay requires 70%. As was previously designed/approved and with the addition of the glass garage entry door, we are approximately at 58%. Architecturally, the additional brick in the modulation provides the building distinct “entry points” for the retail, condo lobby and garage. This provides opportunities for planters and needed wall space in interiors. The small brick sections flow to the upper floors providing needed balance. We would like to maintain the original design balance and respectfully request a variance from this standard.
3. Variance from 20.04.070 (e) (2) Alignment with Setbacks. This section of the UDO requires that new building abutting a notable building align with the existing setback where the façade modules meet. To meet the façade modulation requirements, the design incorporates several different setbacks along the entire Kirkwood façade. When previously approved, the “CVS” building (which we developed and continue to own part of) was not part of any historic designation. The approved design at the façade modulation that meets the existing building is set back approximately 1’6”. This was done to provide modulation relief. Additionally, the “CVS” building has a deeper setback on the ground floor of approximately 8 feet. Visually the existing building has some modulation and is not designed/constructed like some of the traditional courthouse square buildings. We think given the design and age of the existing building combined with the need for façade modulation in the UDO our existing design continues to work well with the abutting facade and request a variance from this requirement.

Respectfully submitted by: Randy Lloyd

April 20, 2022



VIEW LOOKING NORTHEAST FROM KIRKWOOD/WALNUT INTERSECTION



ONE15 KIRKWOOD
CONDOMINIUMS & RETAIL

April 22, 2022



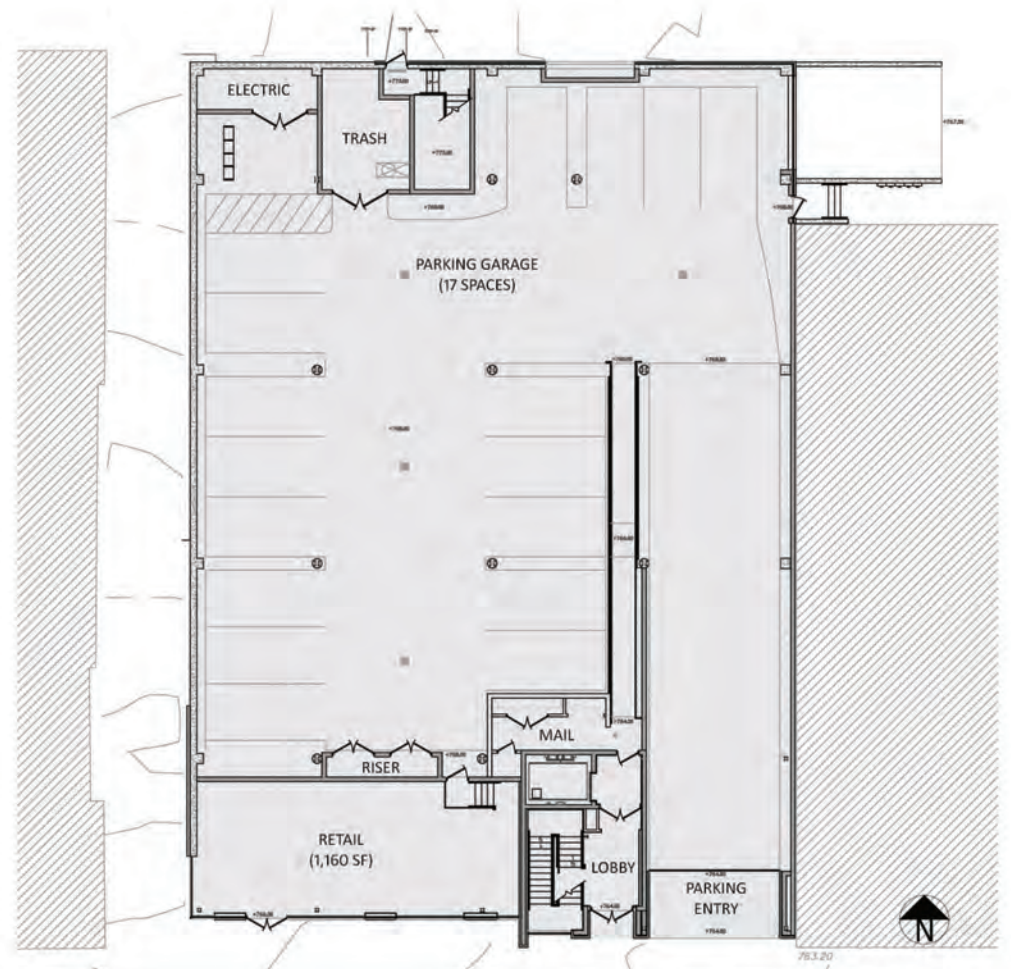
SITE & LANDSCAPING PLAN



ONE15 KIRKWOOD

CONDOMINIUMS & RETAIL

April 20, 2022



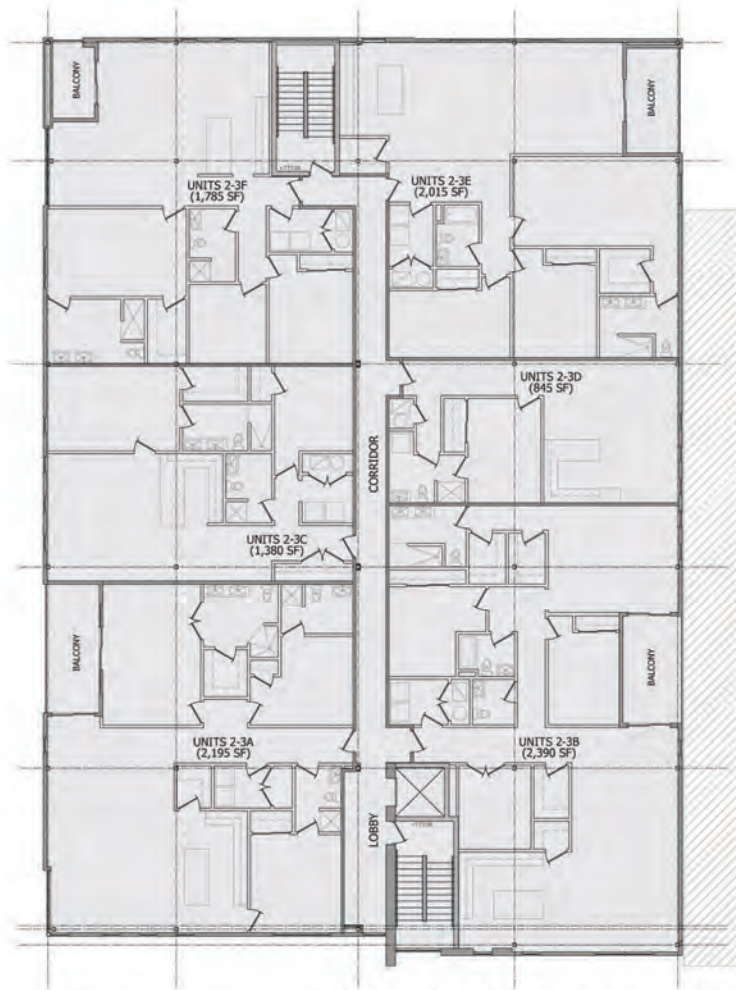
LEVEL 1 FLOOR PLAN

ONE15 KIRKWOOD

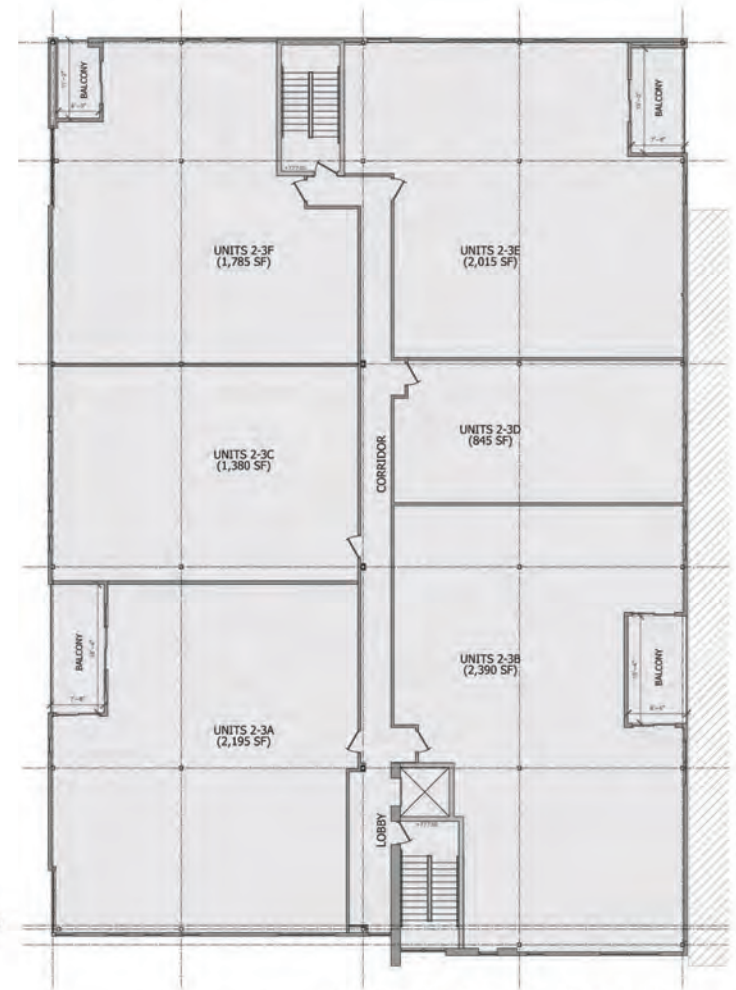
CONDOMINIUMS & RETAIL



April 20, 2022



LEVELS 2-3 FLOOR PLAN
PROPOSED BUILD-OUT

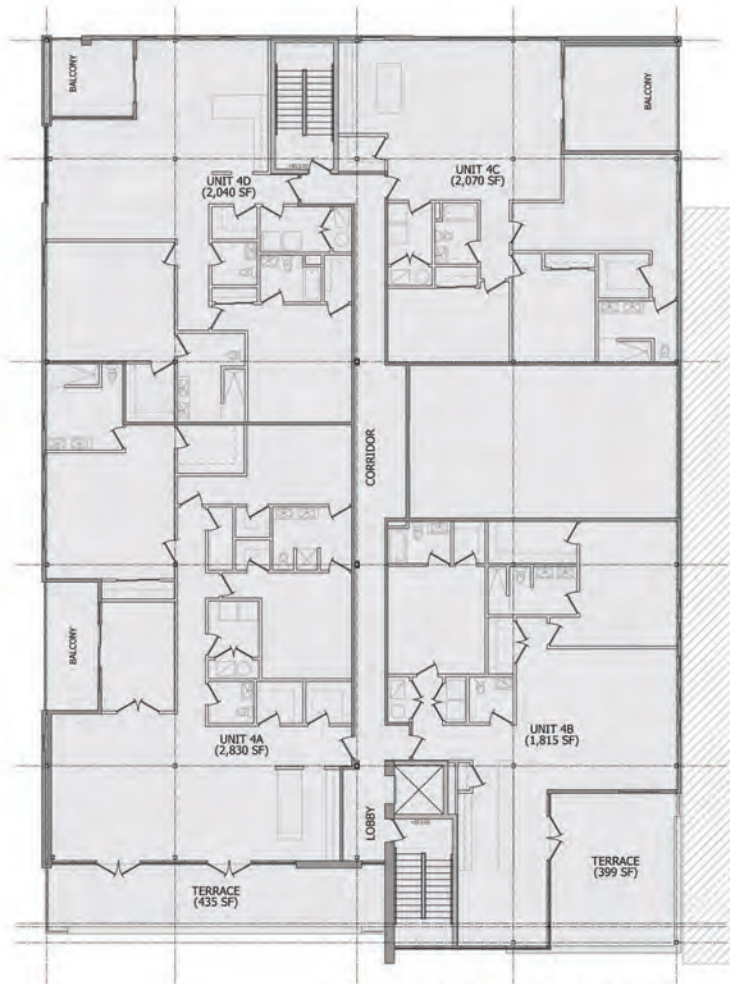


LEVELS 2-3 FLOOR PLAN

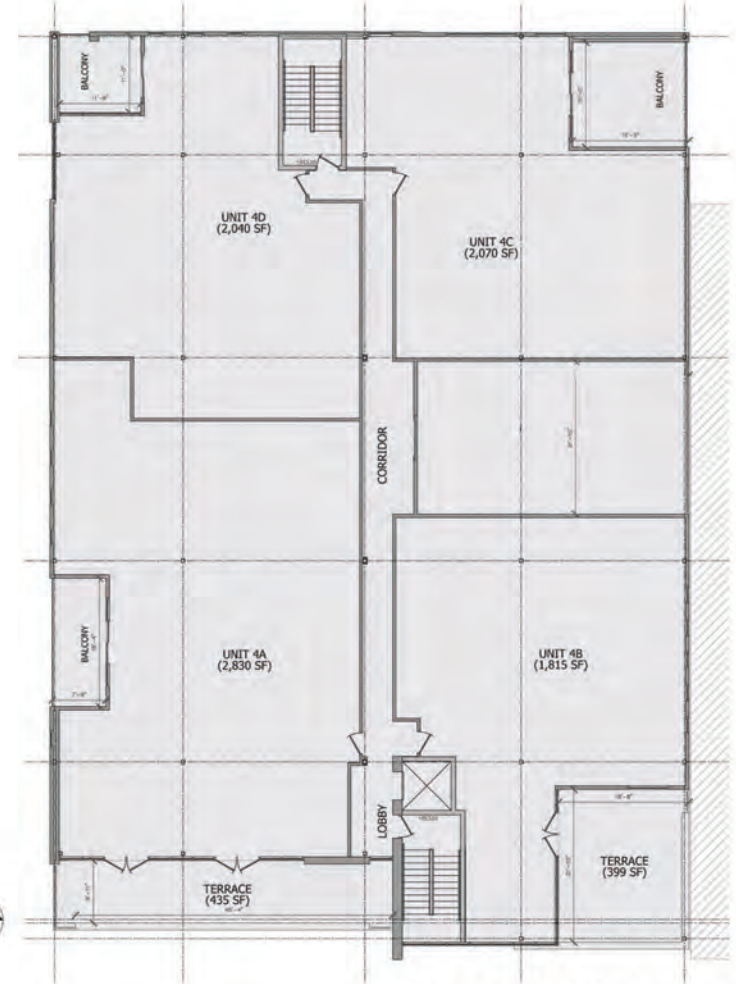


ONE15 KIRKWOOD
CONDOMINIUMS & RETAIL

April 20, 2022



LEVEL 4 FLOOR PLAN
PROPOSED BUILD-OUT



LEVEL 4 FLOOR PLAN



ONE15 KIRKWOOD
CONDOMINIUMS & RETAIL

April 20, 2022



VIEW LOOKING NORTHEAST FROM KIRKWOOD



ONE15 KIRKWOOD

CONDOMINIUMS & RETAIL

April 20, 2022



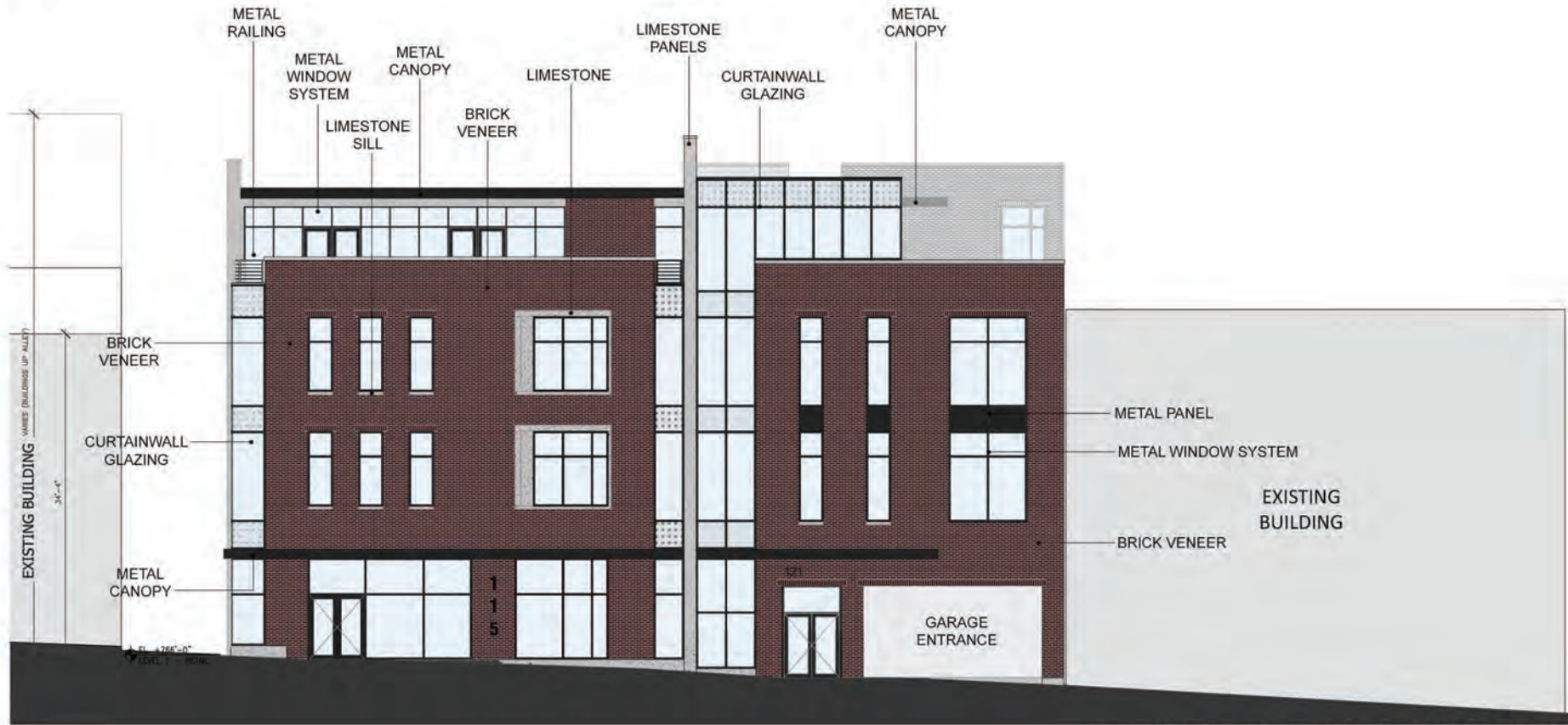
VIEW LOOKING NORTHWEST FROM KIRKWOOD/WASHINGTON INTERSECTION



ONE15 KIRKWOOD

CONDOMINIUMS & RETAIL

April 20, 2022



SOUTH ELEVATION (KIRKWOOD)



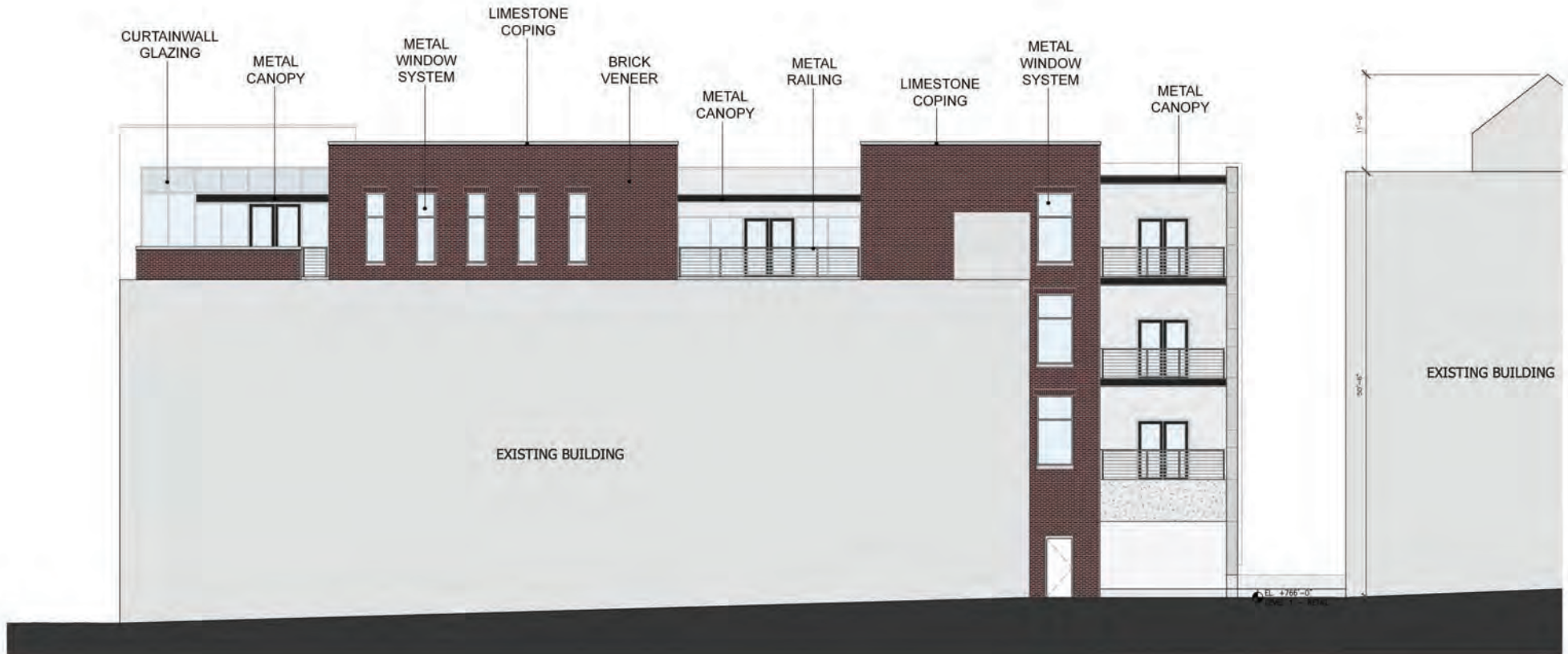
ONE15 KIRKWOOD
CONDOMINIUMS & RETAIL

April 20, 2022



WEST ELEVATION (ALLEY)

April 20, 2022

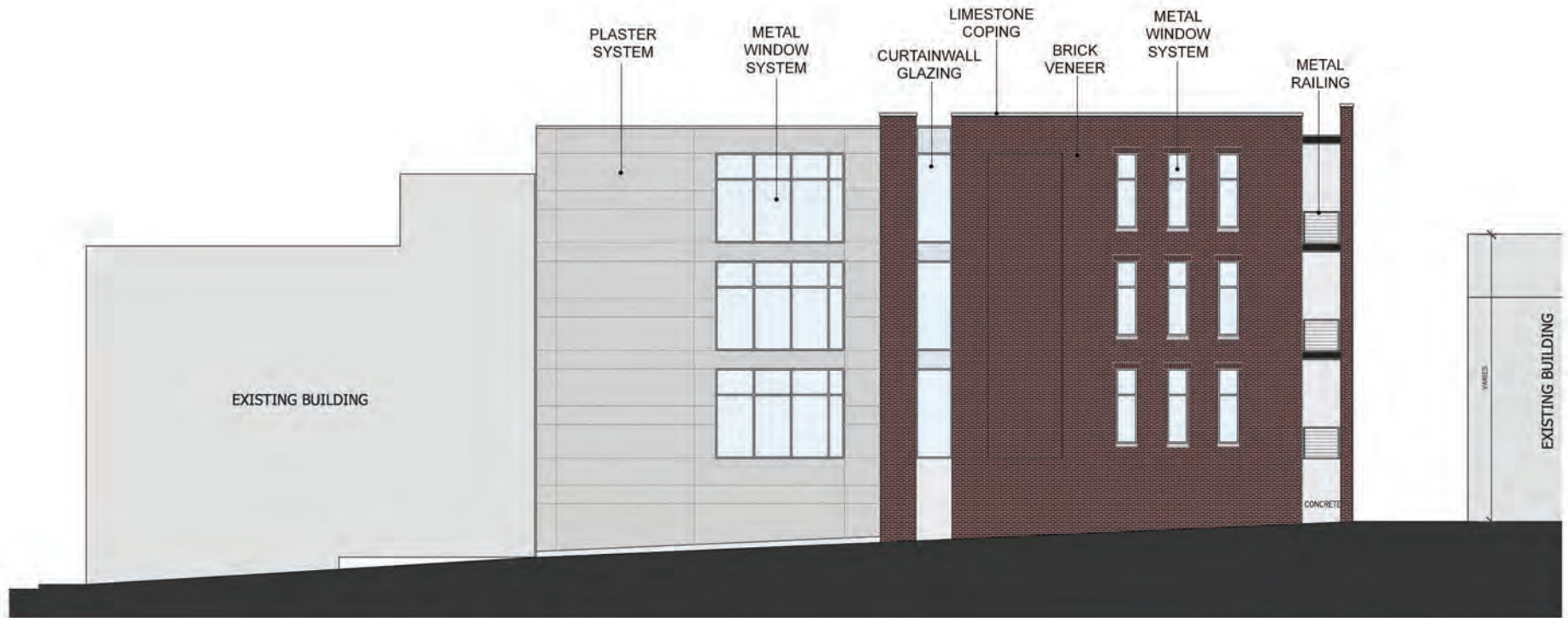


EAST ELEVATION (WASHINGTON)



ONE15 KIRKWOOD
CONDOMINIUMS & RETAIL

April 20, 2022



NORTH ELEVATION (ALLEY)

April 20, 2022



VIEW LOOKING SOUTHWEST ALONG WASHINGTON STREET



ONE15 KIRKWOOD

CONDOMINIUMS & RETAIL

April 22, 2022



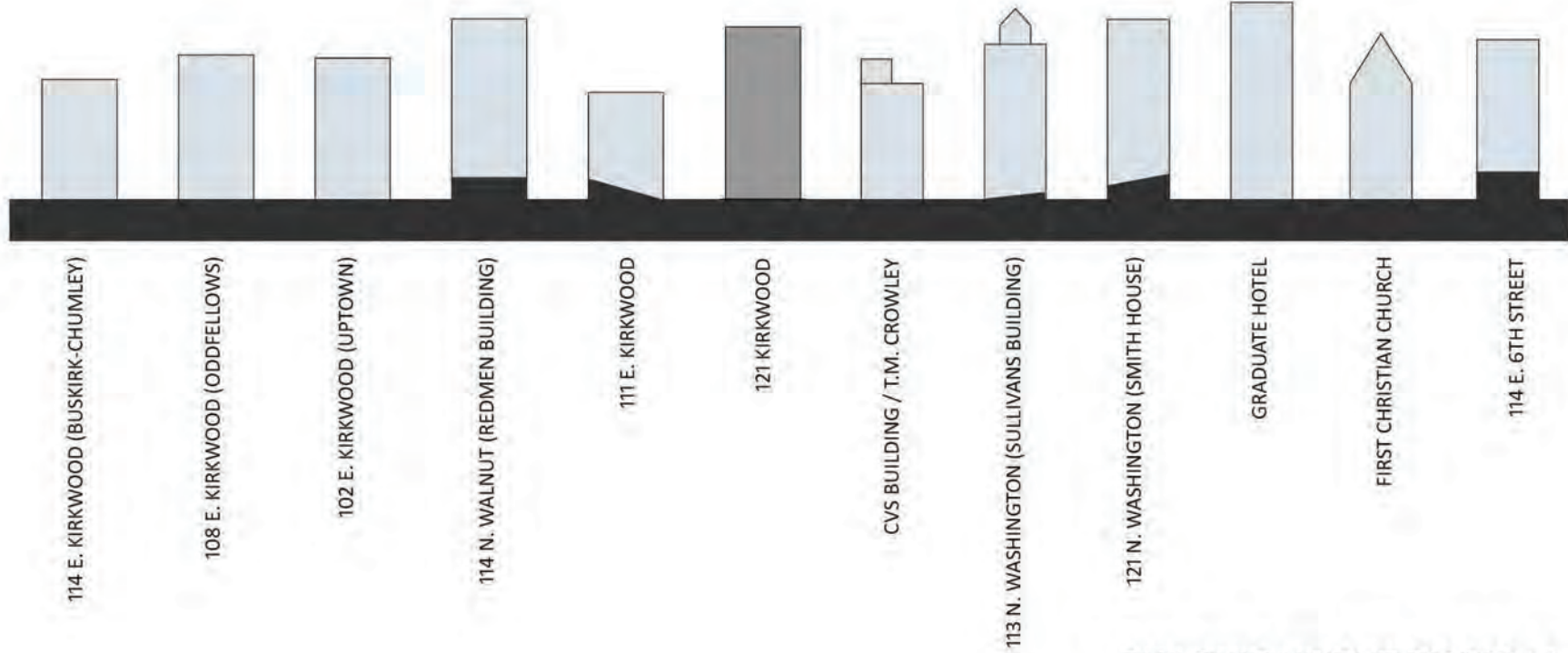
BUILDING SECTION - EAST/WEST



ONE15 KIRKWOOD

CONDOMINIUMS & RETAIL

April 22, 2022

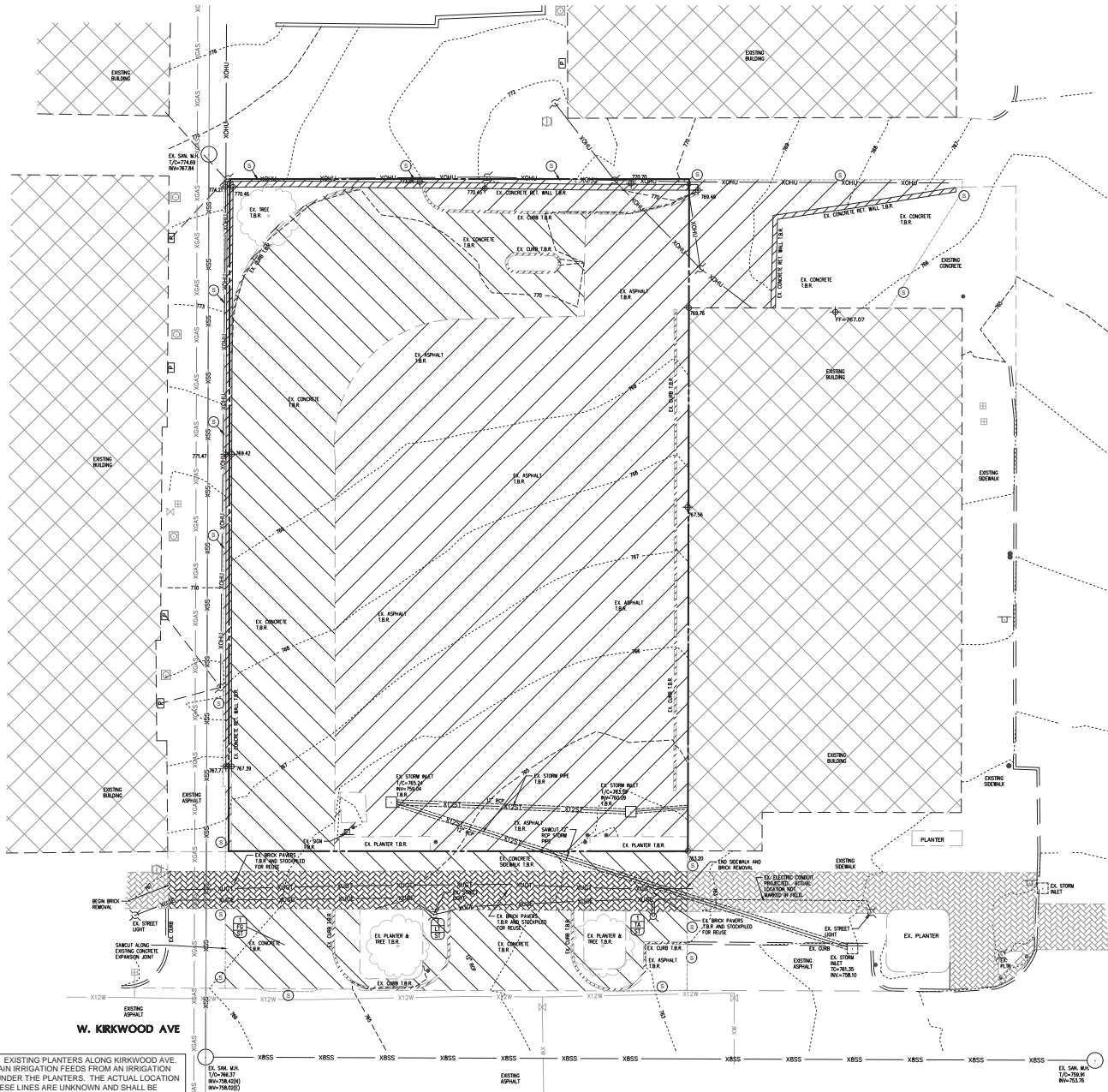


BUILDING HEIGHT DIAGRAM



ONE15 KIRKWOOD

CONDOMINIUMS & RETAIL



NOTE: EXISTING PLANTERS ALONG KIRKWOOD AVE. CONTAIN IRRIGATION FEEDS FROM AN IRRIGATION LINE UNDER THE PLANTERS. THE ACTUAL LOCATION OF THESE LINES ARE UNKNOWN AND SHALL BE LOCATED BY THE CONTRACTOR.

EXISTING LEGEND	
---	PROPERTY LINE
X	FENCE
XW	6" WATER MAIN
XXX	CONTOUR & ELEVATION
XSSS	8" SANITARY SEWER MAIN
XST	STORM SEWER PIPE
XHE	OVERHEAD ELECTRIC LINES
XUE	UNDERGROUND ELECTRIC LINES
XHT	OVERHEAD TELEPHONE LINES
XUT	UNDERGROUND TELEPHONE LINE
XGAS	GAS LINE PIPE

DEMOLITION LEGEND	
TBR	TO BE REMOVED
T.R.U.	TO REMAIN UNDISTURBED
Ⓢ	SAWCUT PAVEMENT

revisions:

SCALE: 1"=20'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BE&K
BYNUM FANTY & ASSOCIATES, INC.
Bloomington, Indiana
628 North Walnut Street
(812) 338-2800 (Fax)

certified by:

PROPOSED
ONE 15 - LOFTS ON KIRKWOOD
CONDOMINIUMS & RETAIL
1151 E. KIRKWOOD AVE.
BLOOMINGTON, INDIANA 47408

title: DEMOLITION PLAN

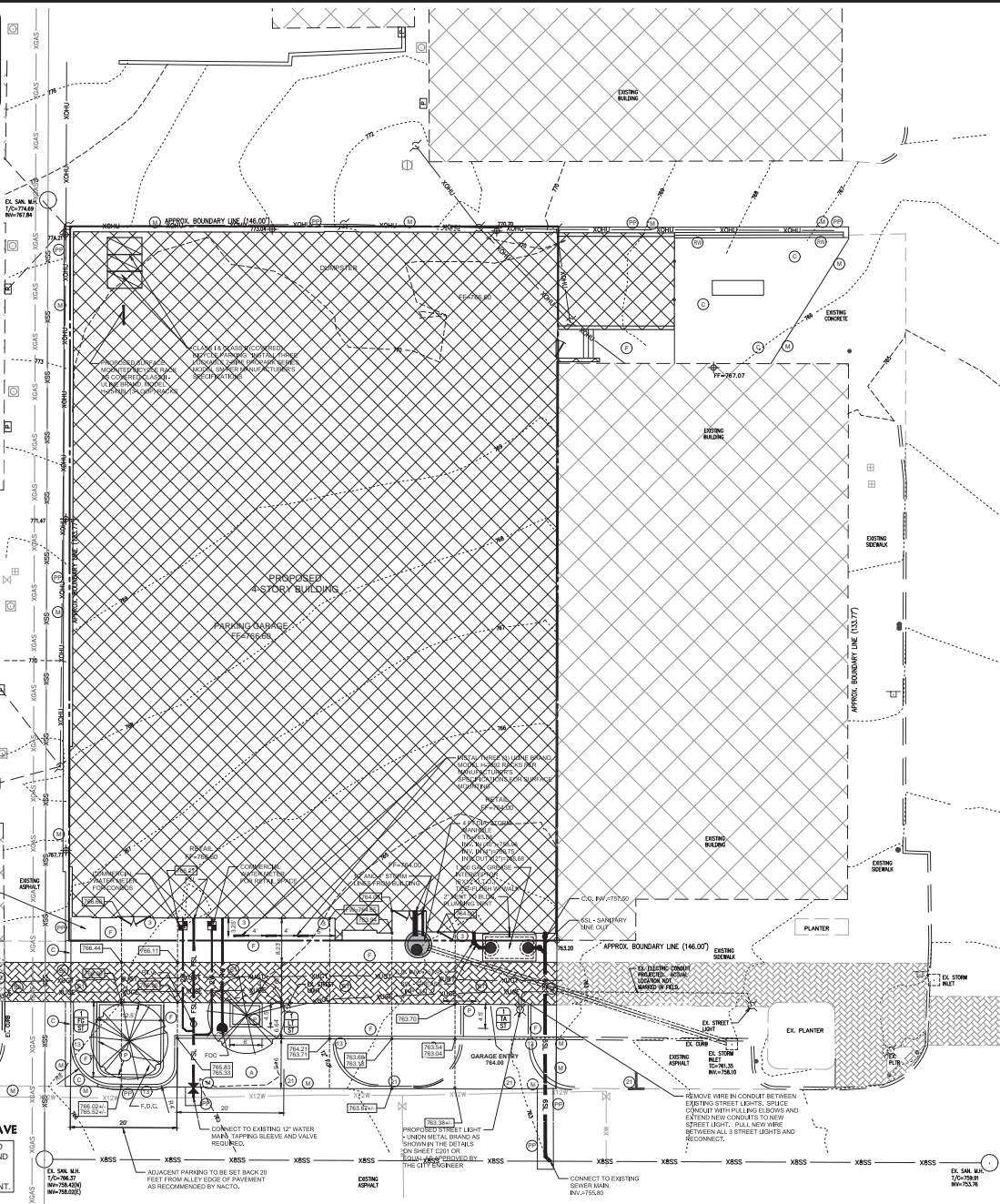
designed by: JBT
drawn by: JBT
checked by: JSF
sheet no: C301
project no: 401713

PLANT LIST

LARGE CANOPY DECIDUOUS TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
FT	FRAZEA SPANHEIM	ANDROMEDA	1	2" CAL. BALL AND BURLAP
LT	LIRIODENDRON TULIPERA	TULIP TREE	1	2" CAL. BALL AND BURLAP
TA	TILIA AMERICANA	BASSWOOD	1	2" CAL. BALL AND BURLAP

NOTE: CUT AND REMOVE THE ROOT BALL FROM THE WIRE BASKET AND REMOVE THE STING OR ROPE AROUND THE TRUNK AS THE TREE IS BEING PLANTED.



EXISTING LEGEND

- PROPERTY LINE
- X — FENCE
- XSS — 6" WATER MAIN
- XXX — CONTOUR & ELEVATION
- XSSS — 8" SANITARY SEWER MAIN
- XST — STORM SEWER PIPE
- XOHE — OVERHEAD ELECTRIC LINES
- XUOE — UNDERGROUND ELECTRIC LINES
- XOHT — OVERHEAD TELEPHONE LINES
- XUOT — UNDERGROUND TELEPHONE LINE
- XGAS — GAS LINE PIPE

SITE LEGEND

- (A) BITUMINOUS PAVEMENT
- (B) BRICK PAVEMENT/CONCRETE SIDEWALK CONDITION (RECYCLED FROM SIDEWALK DEMOLITION)
- (C) HEAVY DUTY BRICK PAVEMENT
- (D) 4" CONCRETE PAVEMENT
- (E) EXPANSION JOINT
- (F) CONTRACTION JOINT
- (G) CONCRETE SIDEWALK
- (H) MATCH EXISTING CURB, SIDEWALK, PAVEMENT ELEVATIONS
- (I) RAISED PLANTER CONSTRUCTED OF RECYCLED LIMESTONE CURB FROM EXISTING PLANTERS (IF NEW SECTION MUST BE PURCHASED AS REQUIRED TO COMPLETE EACH PLANTER AND SHALL MATCH EXISTING STYLE)
- (J) STANDARD ROAD PAVEMENT PATCH
- (K) SIDEWALK ADA ACCESSIBLE RAMP
- (L) REINFORCED CONCRETE RETAINING WALL WITH STEEL PIPE QUADRANT - SEE SECTION BY OTHERS
- (M) EXPANSION JOINT AT BUILDING
- (N) 6-IN WIDE CONCRETE CURB
- (O) THERMOPLASTIC PAVEMENT PARKING SPACE MARKING

UTILITY LEGEND

- 4" — 4" OF WATERLINE (PRIVATELY OWNED)
- FSL — POLY-WRAPPED SIP PEXLINE TO BE SEED BY FIRE SUPPRESSION ENGINEER (PRIVATELY OWNED)
- DSL — DOMESTIC WATER SERVICE LINE TO BE SEED BY CITY OF BLOOMINGTON UTILITIES (PRIVATELY OWNED)
- M — WATER LINE GATE VALVE
- P.D.C. — FIRE DEPARTMENT "STORM" CONNECTION
- P.I.V. — POST INDICATING VALVE
- EST — 6" SDR-35 PVC SANITARY SEWER LATERAL (PRIVATELY OWNED)
- ST — ADS BRAND SERIES 8-12 HOPE STORM SEWER PIPE (PRIVATELY OWNED)
- ED — SDR-35 PVC BUILDING/DOWNPOUT DRAIN PIPE (PRIVATELY OWNED)
- GAS — GAS SERVICE LINE
- ELEC — ELECTRIC SERVICE LINE

GRADING LEGEND

- XXX — ELEVATION CONTOUR
- XXX — SPOT GRADE ELEVATION
- XXX.XX — TOP OF CURB ELEVATION OVER PAVEMENT ELEVATION
- FF=XXX.XX — FINISH FLOOR ELEVATION
- FW=XXX.XX — FINISH WALK ELEVATION
- TC=XXX.XX — FINISH TOP OF CASTING

BOUNDARY NOTE

PROPERTY LINES ARE SHOWN FOR GRAPHIC PURPOSES ONLY. ONE BOUNDARY MONUMENT WAS FOUND IN THE FIELD. THE SURVEY PROVIDED TO SYMMI FANNY SHOWS 4 MONUMENTS FOUND. THE PROVIDED SURVEY DOES NOT SHOW ANY GEOMETRIC INFORMATION TO RECREATE THE LINES. ONLY PROPERTY LINE LENGTHS WERE PROVIDED.

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:
 ELS29 - Changed street trees to large canopy and brick crosswalk creating alley to type B2 treatment. Revised "V" symbol. 24

SCALE: 1"=10'

ARCHITECTURE
 CIVIL/ENGINEERING
 PLANNING

B.S.A.
 BYNUM FANNY ASSOCIATES, INC.
 Bloomington, Indiana
 528 North Walnut Street
 (812) 338-2900 (Fax)

certified by:

PROPOSED ONE 15 - LOFTS ON KIRKWOOD CONDOMINIUMS & RETAIL

115.E. KIRKWOOD AVE. BLOOMINGTON, INDIANA 47408

title: SITE PLAN

designed by: JBT
 drawn by: JBT
 checked by: JBT
 sheet no: C401
 project no: 401713

NOTE: EXISTING PLANTERS ALONG KIRKWOOD AVE. CONTAIN IRRIGATION FEEDS FROM AN IRRIGATION LINE UNDER THE PLANTERS. THE ACTUAL LOCATION OF THESE LINES ARE UNKNOWN AND SHALL BE LOCATED BY THE CONTRACTOR. CONTRACTOR SHALL INCLUDE CHANGES TO THE IRRIGATION SYSTEM TO PROVIDE SAME LEVEL OF IRRIGATION TO ALL NEW AND RELOCATED PLANTERS.

NOTE: CONTRACTOR SHALL REFERENCE ORIGINAL KIRKWOOD AVENUE STREETScape PLANS DEVELOPED BY BSA DESIGN AND DATED 3/19/99 FOR ALL PLANTER CONSTRUCTION & RECONSTRUCTION. PLANS MAY BE OBTAINED FROM THE CITY OF BLOOMINGTON PLANNING & TRANSPORTATION DEPARTMENT

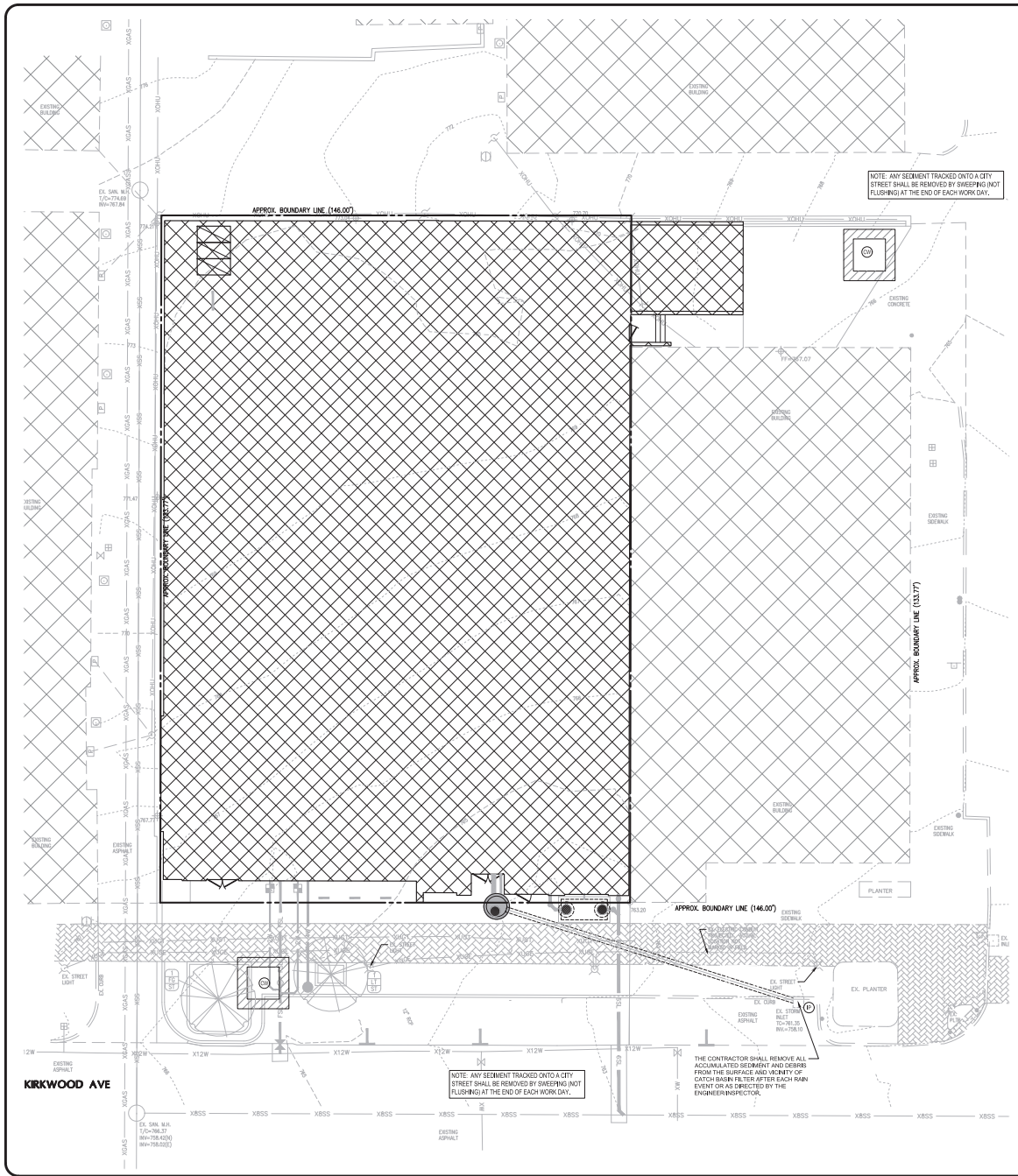
ADJACENT PARKING TO BE SET BACK 20 FEET FROM ALL FACES OF PAVEMENT AS RECOMMENDED BY NACTO.

PROPOSED STREET LIGHT FONON METAL BRAND AS SHOWN ON THE DETAIL ON SHEET C201 OF SCAFFOLD PROPOSED BY THE CITY ENGINEER

CONNECT TO EXISTING SEWER MAIN. INV=755.80

REMOVE WIRE IN CONDUIT BETWEEN EXISTING STREET LIGHTS. SPICE CONDUIT WITH PULLING ELBOWS AND FEED NEW CONDUITS TO NEW STREET LIGHT. PULL NEW WIRE BETWEEN ALL STREET LIGHTS AND RECONNECT.

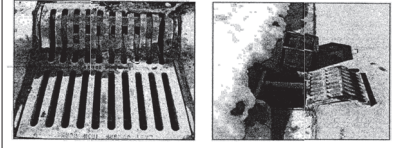
W. KIRKWOOD AVE



IP
TEMPORARY CURB & PAVED AREA INLET PROTECTION

Insert (Basket) Curb Inlet Protection

Insert (basket) curb inlet protection is a temporary sediment control measure consisting of a metal frame or basket that is used to support a geotextile fabric. The system is installed under the storm sewer grate.



Purpose

To minimize sediment from entering the storm sewer system while allowing runoff to enter the storm sewer system in the event of excessive storm events. This measure traps sediment associated with small storm events below the grade of the paved area. This measure does not place an obstruction in the street to trap sediment and is especially conducive to stages of construction when the public has access to the project site.

Note: This measure should be used in conjunction with other sediment control measures.

Specifications

Contributing Drainage Area:
One-quarter acre maximum.

Capacity:
Runoff from a two-year frequency, 24-hour storm event entering a storm drain without bypass flow.

Location:

- At curb inlets on paved roads and parking lots.
- Down grade from construction activities (e.g., individual home sites).

Materials:

- Metal frame or basket with a top width and length such that the frame fits into the inlet. (The frame is supported by the structural integrity of the storm sewer)
- The metal frame or geotextile should be designed with a bypass to allow storm water to flow into the storm sewer system during excessive storm events.
- The system should be designed for ease of maintenance.
- Geotextile fabric.

Table 1. Geotextile Fabric Specifications

Physical Property	Woven	Non-Woven
Filtering Efficiency	85%	85%
UV Resistance	70%	85%
Inhibitors and stabilizers to ensure six month minimum life at temperatures of 0°F to 120°F		
Tensile Strength at 200% Elongation:		
Standard Strength	80 lbs./linear inch	50 lbs./linear inch
Extra Strength	50 lbs./linear inch	70 lbs./linear inch
Slurry Flow Rate	0.8 gal./min./sq. ft.	4.5 gal./min./sq. ft.
Water Flow Rate	15 gal./min./sq. ft.	220 gal./min./sq. ft.

Installation

- Remove the storm sewer grate and place the frame into the grate opening.
- Place geotextile fabric into the frame and secure according to the manufacturer's recommendations.
- Replace the storm sewer grate.

Maintenance

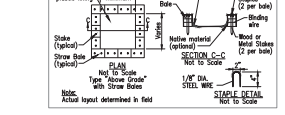
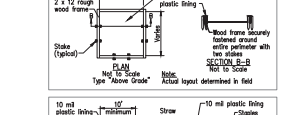
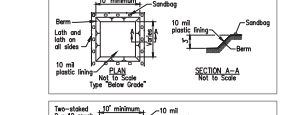
- Inspect daily.
- Remove accumulated sediment and debris after each storm event. Deposit sediment in an area where it will not re-enter the paved area or storm drains.
- Replace or clean geotextile fabric as needed.
- When the contributing drainage area has been stabilized, remove inlet protection.

EROSION CONTROL LEGEND

- CW** CONCRETE WASHOUT AREA (TEMPORARY)
- IP** INLET PROTECTION (TEMPORARY)

CW TEMPORARY CONCRETE WASHOUT AREA

REQUIREMENTS: Capacity: Temporary washout facilities shall be constructed above or below grade at the option of the contractor. Temporary washout facilities shall be constructed on materials in sufficient quantity and size to contain all liquid and concrete waste generated by washout operations. Type: Bases grade concrete washout facilities are typical. Above grade facilities are used if excavation is not practical. Location: Facilities shall be located a minimum of 50' from storm drain inlets, open drainage facilities, and water courses. Plastic Lining Material: Minimum 10 mil polyethylene sheeting and should be free of holes, tears or other defects. Straw Bale Dimensions: Approximately 14 in. x 18 in. x 36 in. Side Anchoring: Two 3/4-in. long (minimum) steel rebar x 2 x 2-in. hardwood stakes driven through each side.



INSTALLATION: Temporary concrete washout facilities shall be constructed as shown in the above details, and as described below. All temporary washout facilities shall have a minimum 10' width, 3' depth, and sufficient length to contain all liquid and concrete waste generated.

- "Below Grade" A pit shall be excavated with a minimum width of 10', depth of 3' and to contain all liquid and concrete waste generated.
- The pit shall be lined with a minimum 10 mil plastic lining which overhangs the pit rim by 2' in each direction.
- Sandbags shall be placed on top of the plastic lining at 3' intervals along the rim of the excavated pit.
- Leak and flagging shall be installed on all sides of the excavated pit to clearly mark its location.
- "Above Grade" A wood frame shall be constructed using two 2 x 12 boards staked on edge with a minimum width of 10' and length sufficient to contain all liquid and concrete waste generated.
- The wood frame shall be securely fastened around the entire perimeter using steel rebar or 2 in. x 2 in. hardwood stakes.
- The wood frame shall be lined with 10 mil plastic sheeting which shall be attached to the outside face of the wood frame.
- Straw bales shall be arranged such that they create a bank with a minimum width of 10' and length sufficient to contain all liquid and concrete waste generated.
- The straw bales shall be securely staked using steel rebar or 2 in. x 2 in. hardwood stakes.
- The bales shall be lined with 10 mil plastic sheeting which is attached to the straw bales using 3/4" steel wire staples. (See per detail)

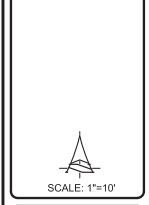
MAINTENANCE: Temporary concrete washout facilities should be maintained to provide adequate holding capacity with a minimum freeboard of 4 in. for above grade facilities and 12 in. for below grade facilities. Liquidizing temporary concrete washout facilities should include removing and disposing of hardened concrete and removing the facilities to a landfilled condition. Hardened concrete materials should be removed and disposed of.

- Washout facilities must be cleaned, or new facilities must be constructed ready for use once the washout is 75% full.
- All the installation of concrete construction facilities the temporary concrete washout area shall be removed and returned to its original condition.

NOTE TO CONTRACTOR

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revisions:



ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BIRMINGHAM, INDIANA
(812) 338-2800 (Fax)

BEG
BYNUM FANTY ASSOCIATES, INC.
528 North Walnut Street
(812) 332-8020

certified by:

PROPOSED
CNE 15 - LOFTS ON KIRKWOOD
CONDOMINIUMS & RETAIL
115 E. KIRKWOOD AVE
BLOOMINGTON, INDIANA 47408

title: EROSION CONTROL PLAN

designed by: JBT
drawn by: JBT
checked by: JBT
sheet no: C402
project no: 401713

**BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT**

**CASE #: V-29-22
DATE: July 21, 2022**

Location: 2105 South Liberty Drive

PETITIONER: Mistie Nigh, ASA Above the Rest
702 East Washington Street
Shelbyville, IN

CONSULTANT: Morgan Aussprung, Hilton Displays
125 Hillside Drive
Greenville, SC

REQUEST: Variance from general design standards for signs to allow the installation of a digital order screen covering more than 40 percent of the area of a sign face for a permitted drive-through use in the Mixed-Use Medium Scale (MM) zoning district.

REPORT: The property is a through lot with frontage on both South Liberty Drive and State Route 45 (Bloomfield Road). All vehicle and pedestrian access is from Liberty Drive. The property is zoned Mixed-Use Medium Scale (MM). Surrounding properties on the north side of State Route 45 are also zoned MM and contain a mix of commercial uses including a restaurant, financial institution, and office. Adjacent property on the south side of State Route 45 is zoned Mixed-Use Corridor (MC) and contains a big box retail sales uses and a vehicle fuel station.

The property has obtained approvals to construct a new Starbucks restaurant including a drive-through with one lane. Construction of the building and site improvements is currently underway. The property has also obtained a sign permit for new permanent signage that is fully compliant with the Unified Development Ordinance (UDO), including wall signage, a freestanding sign on the State Route 45 frontage, and one menu board for the drive-through lane.

The petitioner is requesting a variance to install a digital order screen for the drive through lane, where drive-through customers could see and confirm their order details and total bill while they speak with drive-through staff through the audio communications device. The proposed digital order screen is incorporated into a sign mounted on a canopy. The area of the sign face is 9.625 square feet, more than 60 percent of which is the digital order screen. The height of the sign is adjustable, up to 5.5 feet in height. The canopy itself is approximately 9.8 feet in height. The location of the proposed digital order screen is marked by G on the site plan on page two of the petitioner's submitted plan set. The digital order screen itself is depicted on page 13 of the plan set.

An additional sign is allowed as one of the two freestanding signs permitted specifically for drive-through uses in UDO Section 20.04.100(j)(5)(B). One direction sign for the drive-through has already received a permit under this subsection. However, these freestanding signs are each limited to four square feet in area and four feet in height. It would be more consistent with the intent of the UDO to consider the proposed sign as a second sign of the type permitted in UDO Section 20.04.100(j)(5)(A), which allows one 36 square-foot sign up to six feet in height for each drive-through lane. There is only one drive-through lane, and the allowance in UDO Section 20.04.100(j)(5)(A) has already been taken up by a permitted menu board. A variance is required to allow a second sign of this type for the single drive-through lane.

A digital screen, when incorporated as part of a sign, is categorized by the UDO as an electronic reader board. UDO Section 20.04.100(g)(3) allows electronic reader boards “provided that they do not exceed more than 40 percent of the total area of any sign face, and that information is displayed in increments of no less than 20 seconds.” The proposed digital order screen comprises more than 60 percent of the proposed sign face. A variance is required to allow the proposed size of the digital order screen in relation to the size of the proposed sign and to allow displays of information in increments of less than 20 seconds.

The provisions in the UDO allowing additional signs for drive-through uses was written based on the former standard practice and technology for drive-through ordering, where a customer would speak into an audio communications device while looking at a static menu board. Digital order screens, such as the one requested in this petition, are increasingly becoming the industry standard for drive-through uses through-out the county. However, they are currently not allowed under the City of Bloomington UDO because of the limit on the number of signs for each drive-through lane and the limit on sign area for an electronic reader board. An update to the UDO will be proposed by the Department in 2023.

The same petitioner is requesting a variance for the same type of digital order screen at another Starbucks location at 284 North Jacob Drive.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E)(i)(1) Standards for Granting Variances from Development Standards: Pursuant to Indiana Code 36-7-4-918.5, the Board of Zoning Appeals or Hearing Officer may grant a variance from the development standards of this UDO if, after a public hearing, it makes findings of fact in writing, that:

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

PROPOSED FINDING: The proposed digital order screen will not be injurious to the public health, safety, morals, or general welfare of the community. The screen will be oriented roughly perpendicular to the property frontages on Liberty Drive and State Route 45, making it not visible from public right-of-way. The screen will be blocked from view from the south by the canopy structure, and during operation will be blocked from view from the north by the vehicle in the drive-through lane. Similar digital order screens are increasingly becoming the industry standard for drive-through uses.

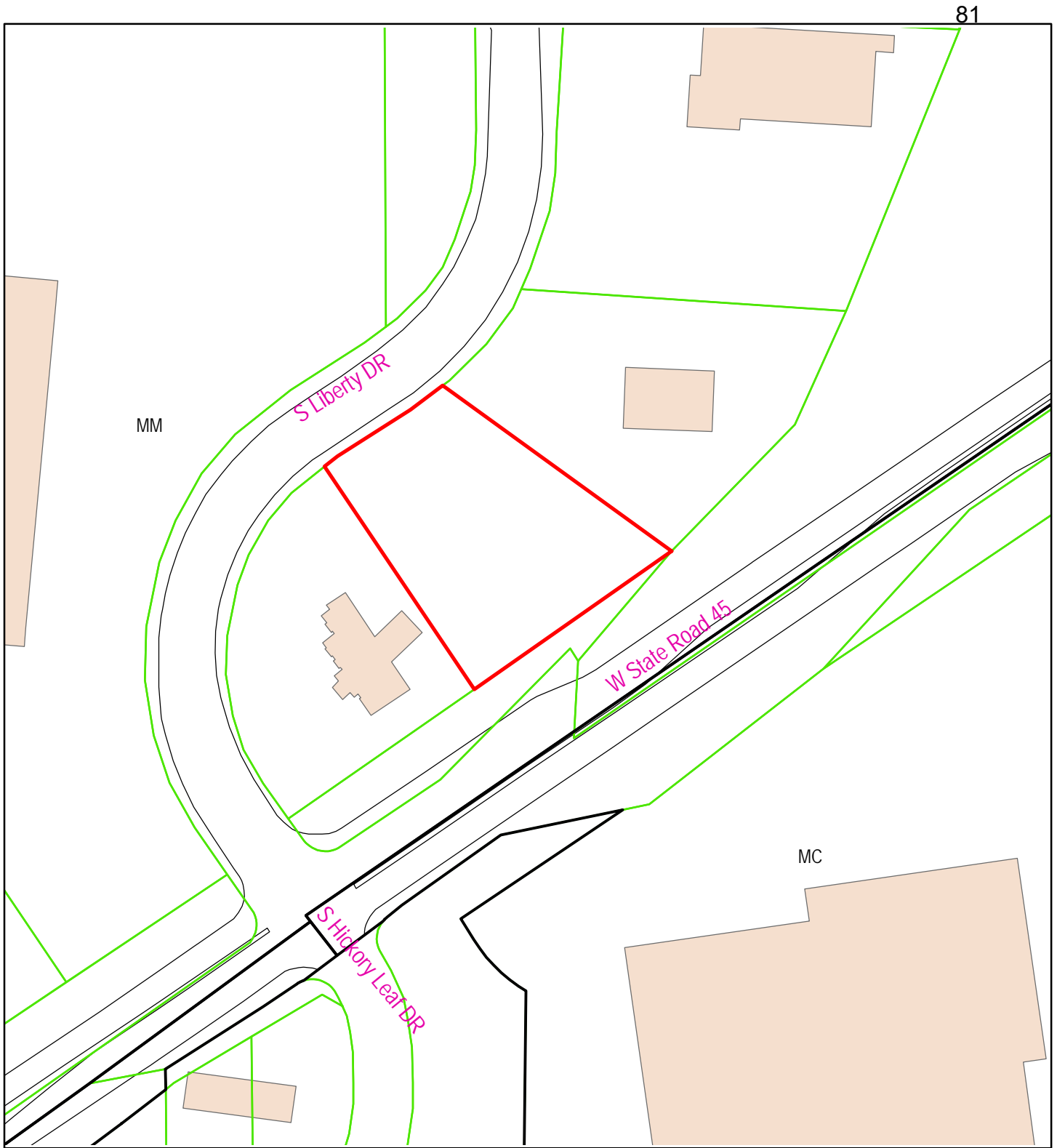
- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and*

PROPOSED FINDING: The proposed digital order screen will not have any substantial effect on the use and value of the area adjacent to the property. The screen will be oriented roughly perpendicular to the property frontages on Liberty Drive and State Route 45, making it not visible from public right-of-way. The screen will be blocked from view from the south by the canopy structure, and during operation will be blocked from view from the north by the vehicle in the drive-through lane.

(3) The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in questions; that the development standards variance will relieve the practical difficulties.

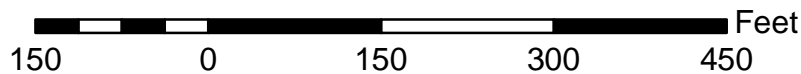
PROPOSED FINDING: The proposed digital order screen would be a convenience for drive-through customers and the drive-through business, but operating the drive-through without the requested screen is possible and would not result in practical difficulties in the use of the property. There is nothing peculiar to the property that would make a digital order screen any more (or any less) necessary for a drive-through use here than at any other property in the city. The requested variance would not relieve any practical difficulty in the use of the property as a restaurant with a drive-through.

RECOMMENDATION: Based upon the report and written findings of fact above, the Department recommends that the Board of Zoning Appeals adopts the proposed findings for V-29-22 and denies the requested variance.



V-29-22, 2105 S. Liberty Dr

City of Bloomington
Planning & Transportation



Scale: 1 " = 167 '

By: Gabriel Holbrow
7/15/2022

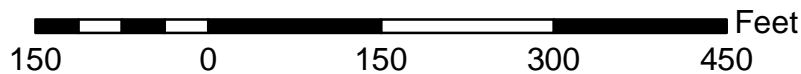
For reference only. Map information NOT warranted.





V-29-22, 2105 S. Liberty Dr

City of Bloomington
Planning & Transportation



Scale: 1 " = 167 '



By: Gabriel Holbrow
7/15/2022

For reference only. Map information NOT warranted.

LAND AND BUSINESS OWNER AUTHORIZATION AND CONSENT

TO: Hilton Displays, Inc.

FROM:

DAVID H. KAMEN
1440 S LIBERTY DR
BLOOMINGTON, IN 47403

RE:

STARBUCKS #63102
SR-37 & SR-45
2105 LIBERTY DR
BLOOMINGTON, IN 47403

I declare and affirm that I am President of Bryan Rental Inc., owner of the real property (land) located at

2105 LIBERTY DR, BLOOMINGTON, IN 47403

(Street Address, City, and State)


And have full authority to authorize

Hilton Displays, Inc.

(Name of person or Company)

and their subcontractors to submit a variance request to the Board of Zoning Appeals to allow for a digital order screen for the aforementioned real property.

In addition, I hereby give notice to the sign permitting authority that I approve the sign Design Documents as submitted.

 David H. Kamen President Bryan Rental Inc. June 20, 2022

Signature

Name (Print)

Title

Date

PETITIONER'S STATEMENT – 2105 LIBERTY DRIVE, BLOOMINGTON, IN 47403

The city of Bloomington restricts the use of “electronic reader boards” and finds that our digital order screen is not compliant with the sign ordinance in place. We are therefore requesting a variance be granted to allow for this signage.

The digital order screen serves an important purpose as part of the drive thru process. It is imperative that customers in the drive thru are served as quickly and efficiently as possible to maximize business, ensure a positive customer experience, and to prevent traffic issues caused by long drive thru lines. Starbucks prides itself in offering 87,000 drink combinations on its menu, which could certainly cause delays in the ordering process and allow for mistakes to be made. Thus, Starbucks has incorporated the digital order screen into their drive thru process as it allows customers to see their order pop up on the screen as it is entered in and gives them the opportunity to have it corrected before the order is prepared. The customer sees their order and the cost clearly on the screen rather than fully relying on listening to their order being repeated through a speaker post.

The addition of a digital order screen will not be injurious to the general welfare of the community but would rather have a positive impact. Long drive thru lines can cause traffic issues and potentially traffic incidents as well. Any addition, within reason, that can raise efficiency in this drive thru process will help to avoid these potential hazards.

Also, because this order screen cannot be seen from the back of it and can only be seen by the customer ordering, this signage will not affect the use and value of the area adjacent to the property.

STARBUCKS COFFEE #63012
SR-37 & SR-45
2105 LIBERTY DRIVE
BLOOMINGTON, IN 47403

VARIANCE VERSION



21-57140

HILTONDISPLAYS

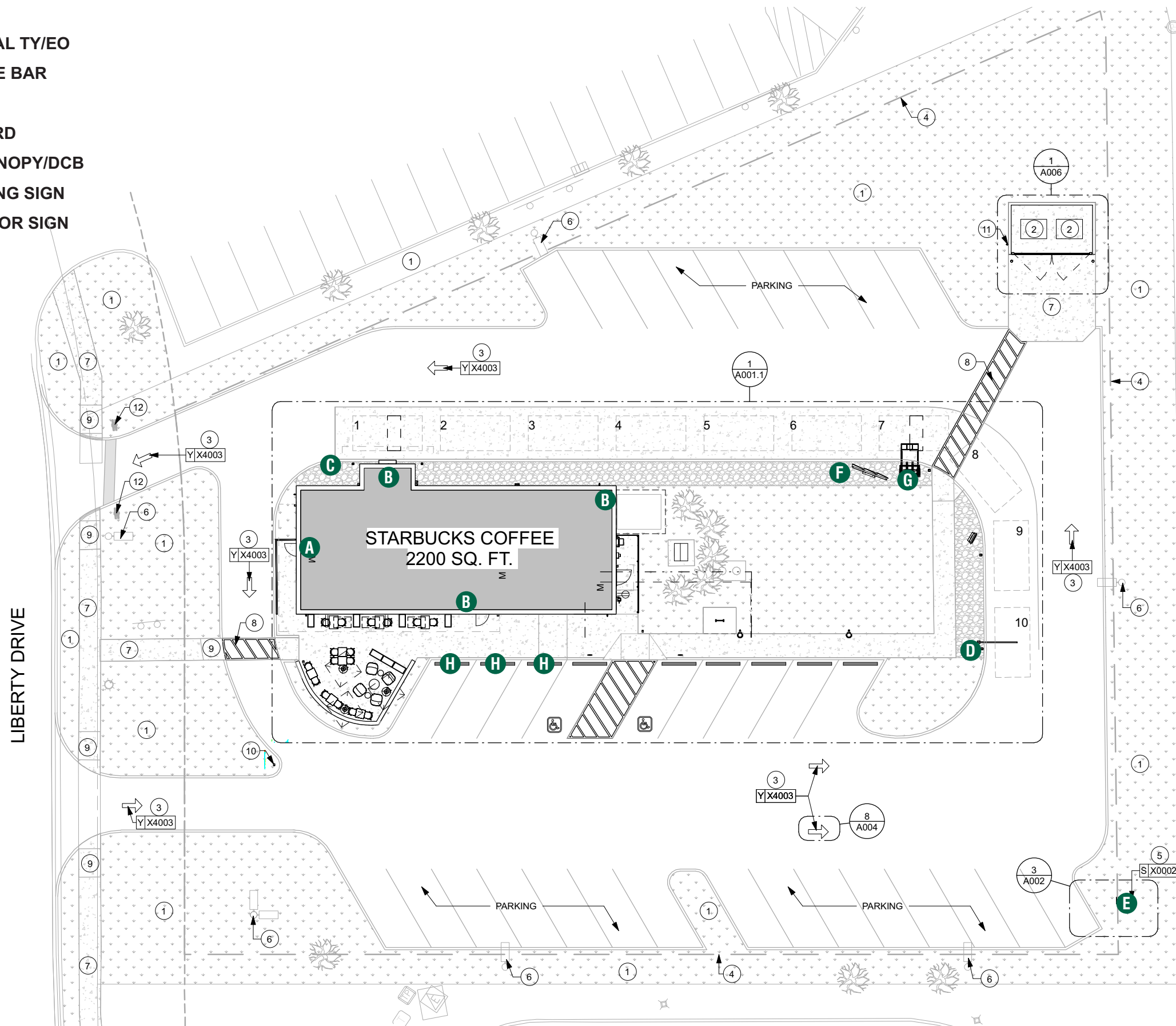
125 HILLSIDE DRIVE • GREENVILLE SC 29607

P 800 353 9132 • F 864 242 2204

www.hiltondisplays.com

SITE PLAN

- A** 18" CHANNEL LETTERS
- B** 60" SIREN
- C** DIRECTIONAL TY/EO
- D** CLEARANCE BAR
- E** MONUMENT
- F** MENU BOARD
- G** DOS ON CANOPY/DCB
- H** MOP PARKING SIGN
- I** MOP INTERIOR SIGN



QID 21-57140

JOB NAME

Starbucks #63012

LOCATION

SR-37 & SR-45
 2105 Liberty Dr.
 Bloomington, IN 47403

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brady Taylor

DWG. DATE

9-14-21

REV. DATE / REVISION

4-13-22 BT
 5-24-22 BT
 6-24-22 BT

SCALE

As Noted

FILE

2021/Starbucks/Locations/
 Bloomington IN/21-57140/
 SB Bloomington IN 21-57140

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



STATE ROAD NO. 45

LIBERTY DRIVE

QID 21-57140

JOB NAME

Starbucks #63012

LOCATION

SR-37 & SR-45
2105 Liberty Dr.
Bloomington, IN 47403

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brady Taylor

DWG. DATE

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6-24-22 BT

SCALE

FILE

2021/Starbucks/Locations/
Bloomington IN/21-57140/
SB Bloomington IN 21-57140

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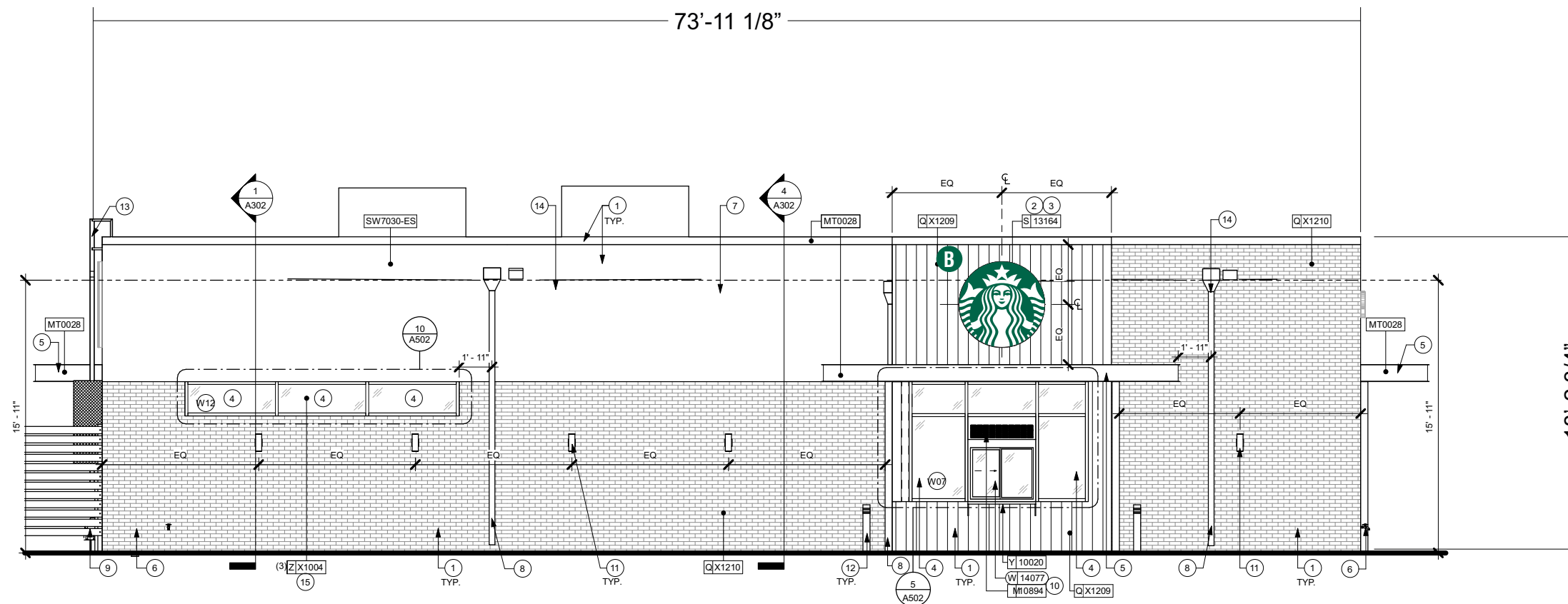
EST:	CLIENT:
SLS/PM:	LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



ELEVATION

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- I** MOP INTERIOR SIGN



NORTHEAST ELEVATION

Scale: 1/8" = 1'-0"

ELEVATION

- A** 18" CHANNEL LETTERS
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- F** MENU BOARD
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QID 21-57140

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LOCATION

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 2105 Liberty Dr.
 Bloomington, IN 47403

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4-13-22 BT

5-24-22 BT

6-24-22 BT

SCALE

FILE

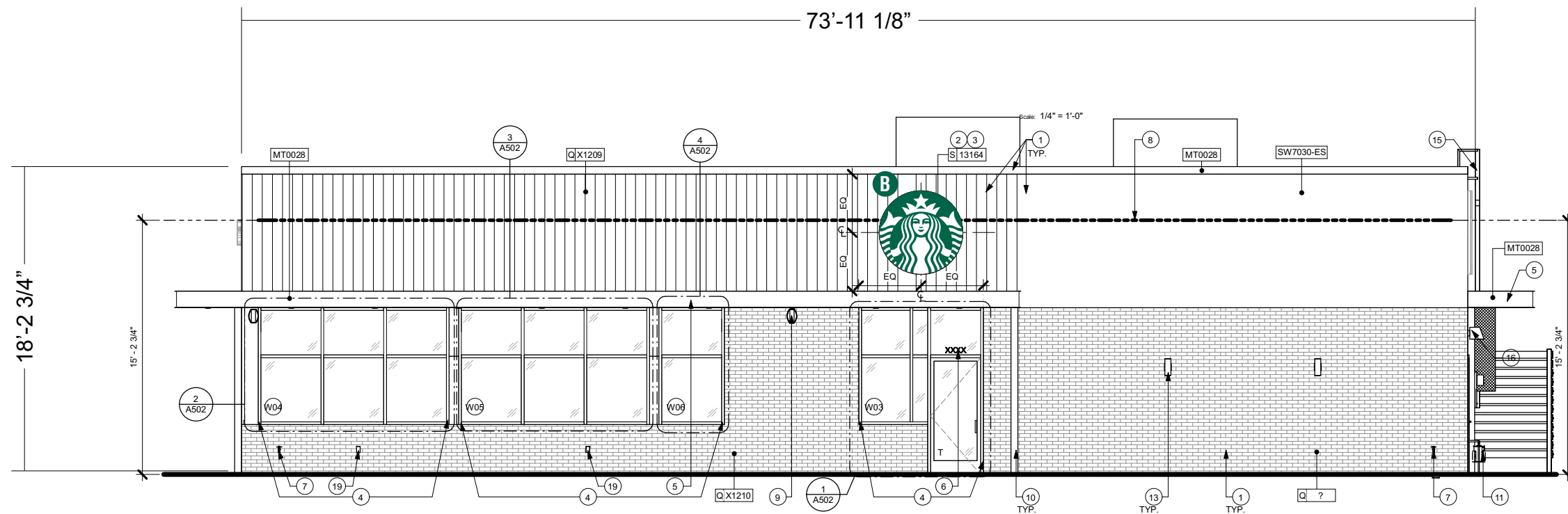
2021/Starbucks/Locations/
 Bloomington IN/21-57140/
 SB Bloomington IN 21-57140

DESIGN SPECIFICATIONS ACCEPTED BY:

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SLS/PM: LANDLORD:

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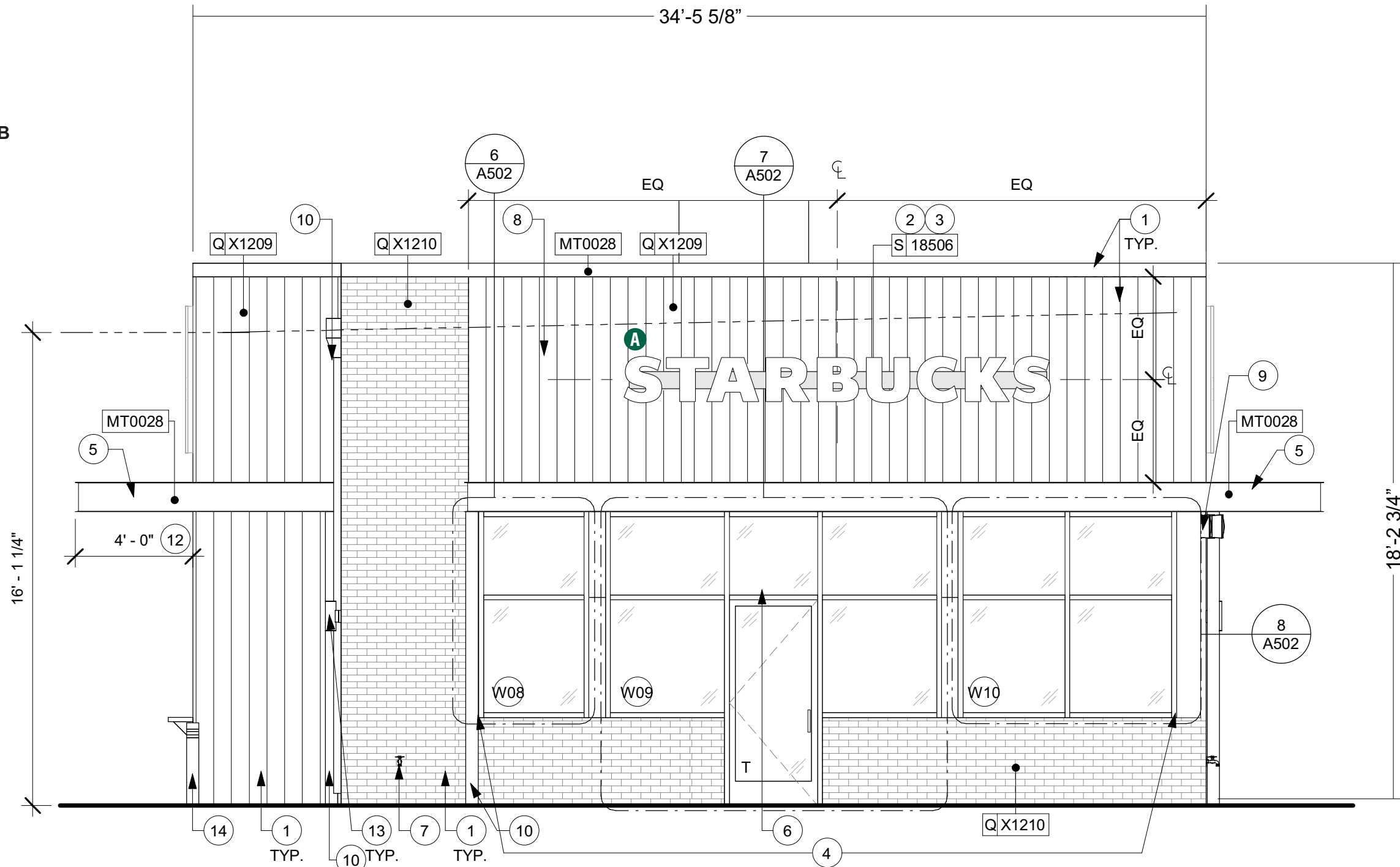
SOUTHWEST ELEVATION

Scale: 1/8" = 1'-0"

T = TEMPERED GLAZING

ELEVATION

- A** 18" CHANNEL LETTERS
- B** 60" SIREN
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- H** MOP PARKING SIGN
- I** MOP INTERIOR SIGN



NORTHWEST ELEVATION

Scale: 1/4" = 1'-0"

T = TEMPERED GLAZING

QID 21-57140

JOB NAME

Starbucks #63012

LOCATION

SR-37 & SR-45
 2105 Liberty Dr.
 Bloomington, IN 47403

CUSTOMER CONTACT

SALESMAN / PM

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DWG. DATE

9-14-21

REV. DATE / REVISION

4-13-22 BT

5-24-22 BT

6-24-22 BT

SCALE

FILE

2021/Starbucks/Locations/
 Bloomington IN/21-57140/
 SB Bloomington IN 21-57140

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

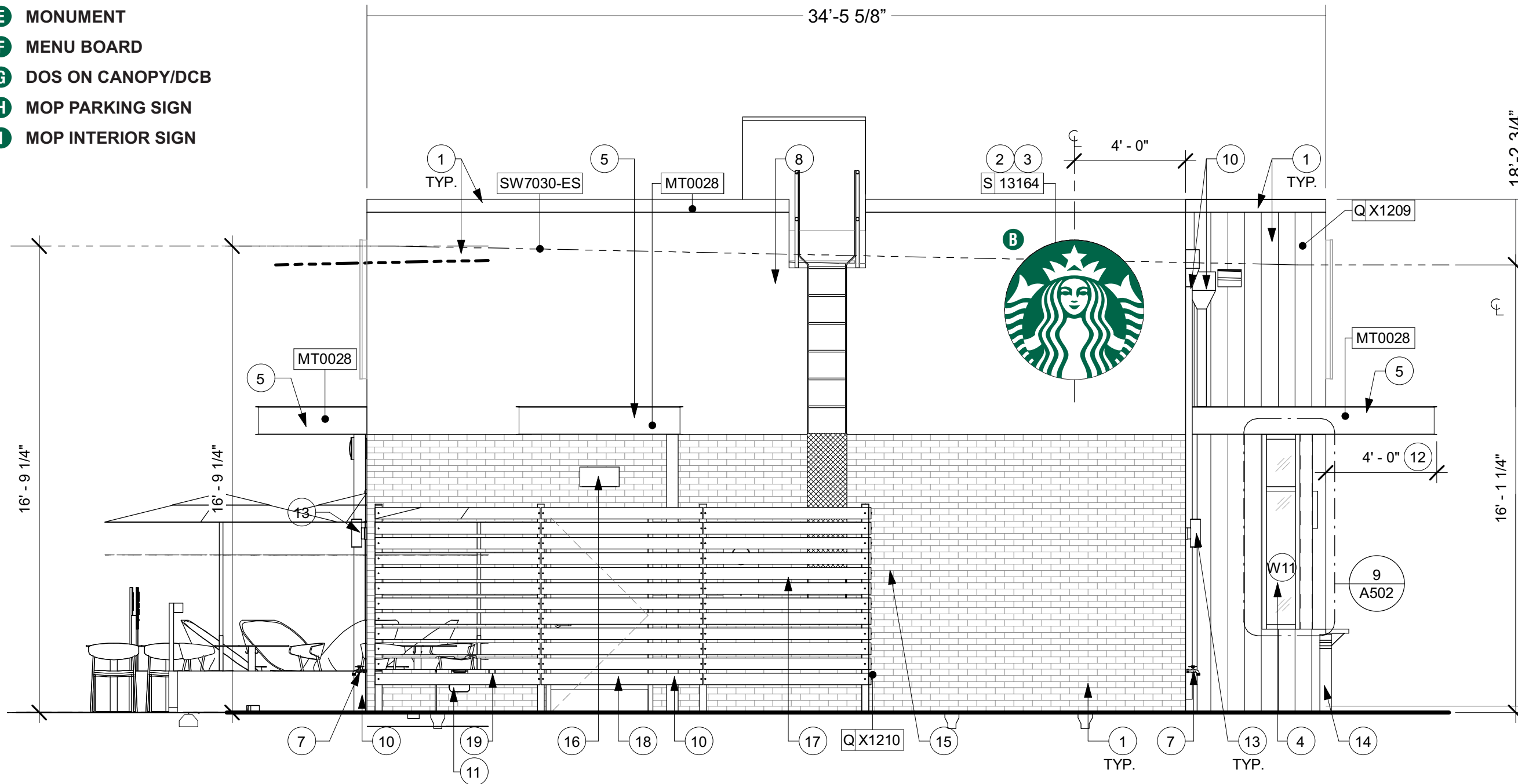
SLS/PM: LANDLORD:

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ELEVATION

- A** 18" CHANNEL LETTERS
- B** 60" SIREN
- C** DIRECTIONAL TY/EO
- D** CLEARANCE BAR
- E** MONUMENT
- F** MENU BOARD
- G** DOS ON CANOPY/DCB
- H** MOP PARKING SIGN
- I** MOP INTERIOR SIGN



SOUTHEAST ELEVATION

Scale: 1/4" = 1'-0"

QID 21-57140

JOB NAME

Starbucks #63012

LOCATION

SR-37 & SR-45
2105 Liberty Dr.
Bloomington, IN 47403

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brady Taylor

DWG. DATE

9-14-21

REV. DATE / REVISION

4-13-22 BT

5-24-22 BT

6-24-22 BT

SCALE

FILE

2021/Starbucks/Locations/
Bloomington IN/21-57140/
SB Bloomington IN 21-57140

DESIGN SPECIFICATIONS ACCEPTED BY:

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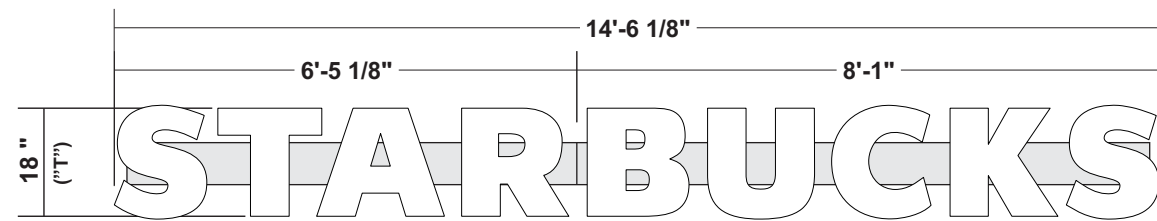


18" CHANNEL LETTERS - 2x7 RACEWAY

SBC-S11425-RW27-SB-W-SL

Qty. 1

A



1 Front View

Scale: 3/8" = 1' (11x17 Paper)

22.94 SF



2 Side View

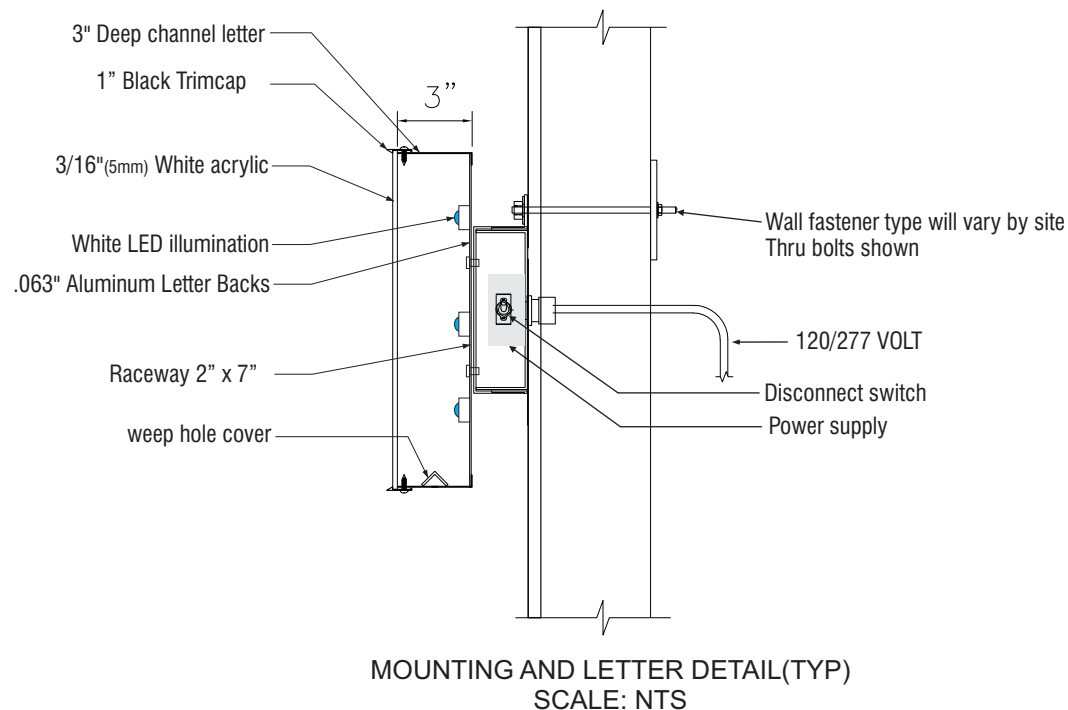
SPECIFICATIONS

A Internally illuminated channel letters to be fabricated from .040 returns aluminum with pre-painted White interiors and pre-finish Black returns. Letter backs to be aluminum stapled to sidewalls and sealed.

B Faces to be 3/16" White acrylic with 1" Black trimcap

C Letters illuminated w/ Sloan Prism Enlighten White 6500k LED's.

D Letters to be installed on Raceway. Raceway painted to match building color behind the wordmark.



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

91

HILTONDISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

QID 21-57140

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60" ILLUMINATED SIREN

Qty. 3

SBC-S13164-SL

B

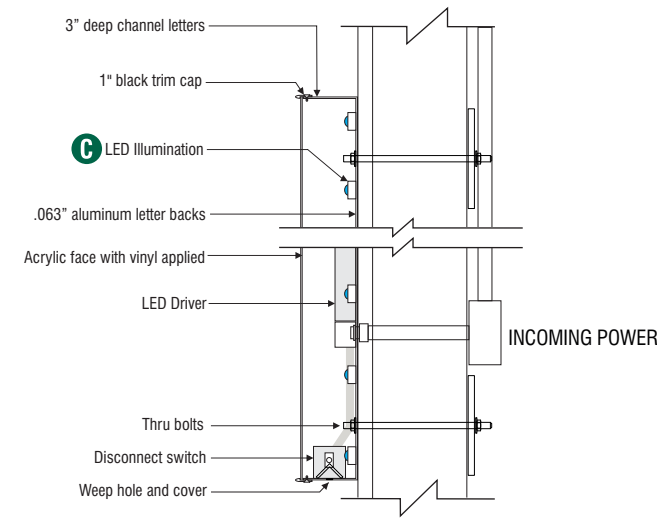


1 Front View
3/4" = 1'-0" (11x17 Paper)

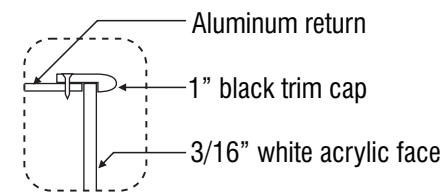
3" (76mm)

A

2 Side View



3 Disk Section View Typ.



4 Enlarged Detail

SPECIFICATIONS:

- A** Single faced internally illuminated wall mount logo disk. Cabinet to be 3" deep, fabricated aluminum returns and back. Paint cabinet black. Faces to be 3/16" white Plex with 1" black trimcap
- B** Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.
- C** Internally illuminated logo disk with Sloan Prism Enlighten 6500K white LEDs

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Wall Mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
60" (1524mm)	19.62	1.82	120/277

92

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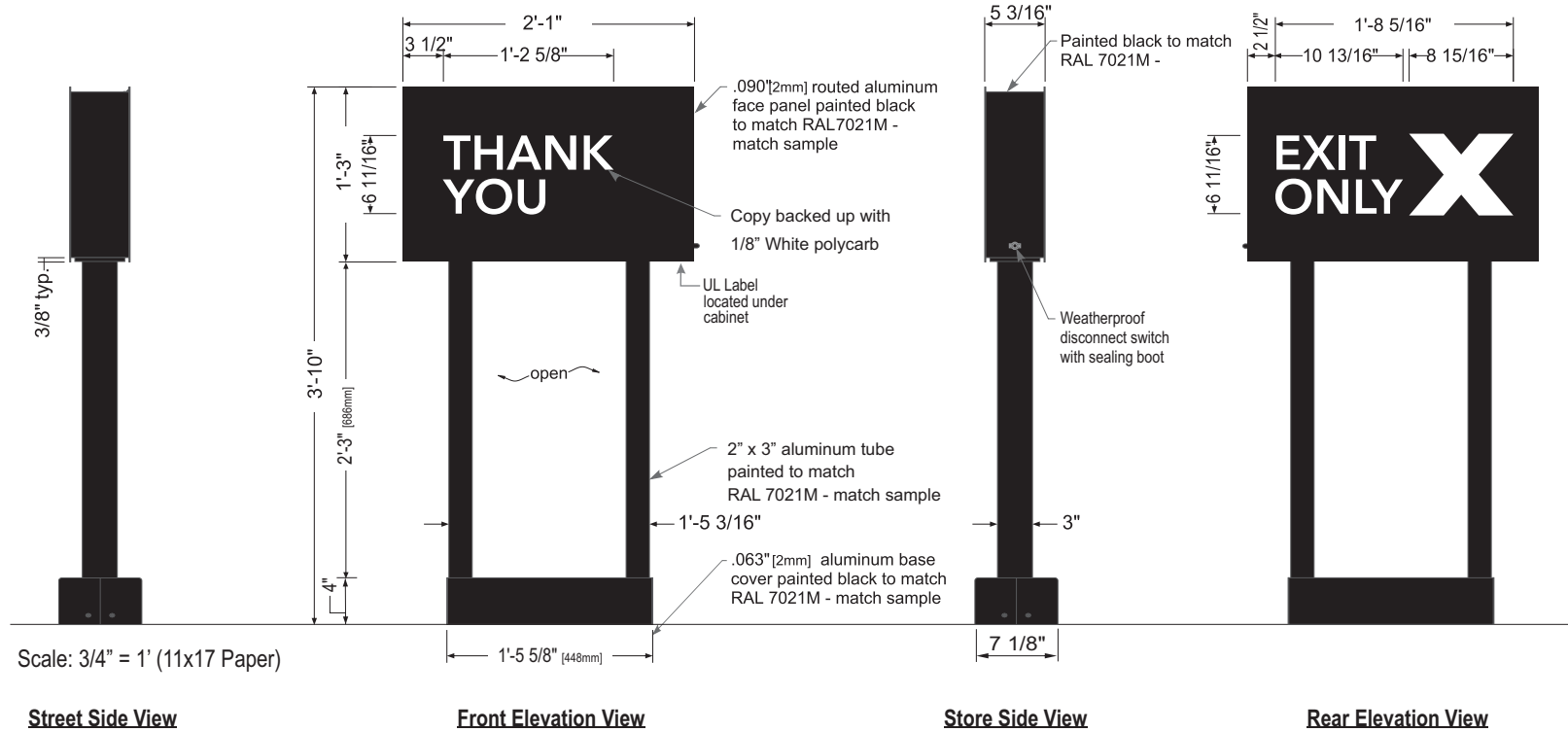
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46" ILLUMINATED DIRECTIONAL TYEO
SBC-S14091-SL

Qty. 1



Scale: 3/4" = 1' (11x17 Paper)

Street Side View

Front Elevation View

Store Side View

Rear Elevation View

Sign Specifications:

Fabricated .090" Aluminum cabinet painted black to match RAL 7021 as shown. Directional copy and graphics backed up with 1/8" white polycarbonate. All polycarbonate face elements to be attached to interior face panels with welded studs. All interior portions of sign cabinet painted white. Graphic elements illuminated with Sloan Prism Enlighten LEDs. LEDs mounted on internal baffle with self contained LED power supply. All components accessible through face of cabinet.

Support:

Support structure to be welded aluminum tube and plate construction painted black to match RAL 7021. Plate to be constructed to be retro-fittable to existing sign foundations. All foundations new and used to be analyzed for suitability and must meet all local city or state code regulations.

93

HILTONDISPLAYS

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 www.hiltondisplays.com

QID 21-57140

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LOCATION

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 Bloomington, IN 47403

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DESIGNER

Brady Taylor

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 SB Bloomington IN 21-57140

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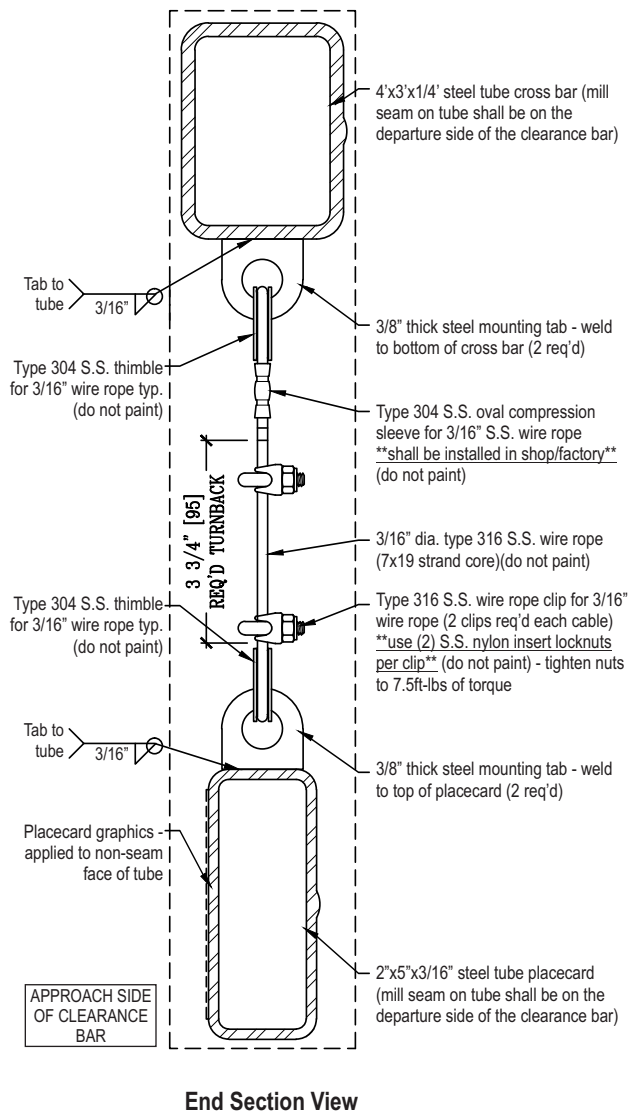
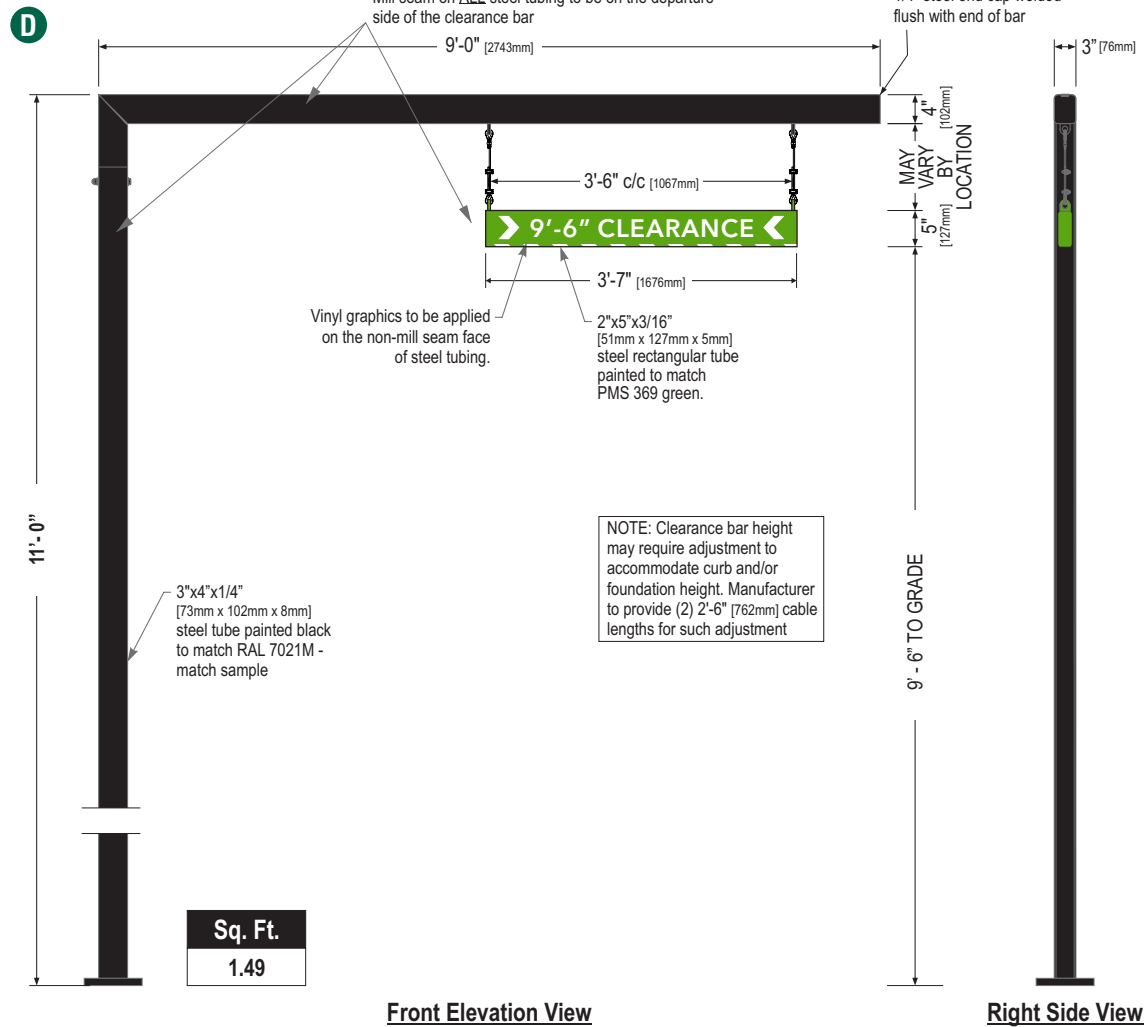


COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Size	Sq. Ft. ¹	Sq. Ft. ²	Volts	Amps
46" (1168mm)	2.60	7.99	120	0.85

CLEARANCE BAR SBC-

Qty. 1
(Standard Wind Load)



Sign Specifications:

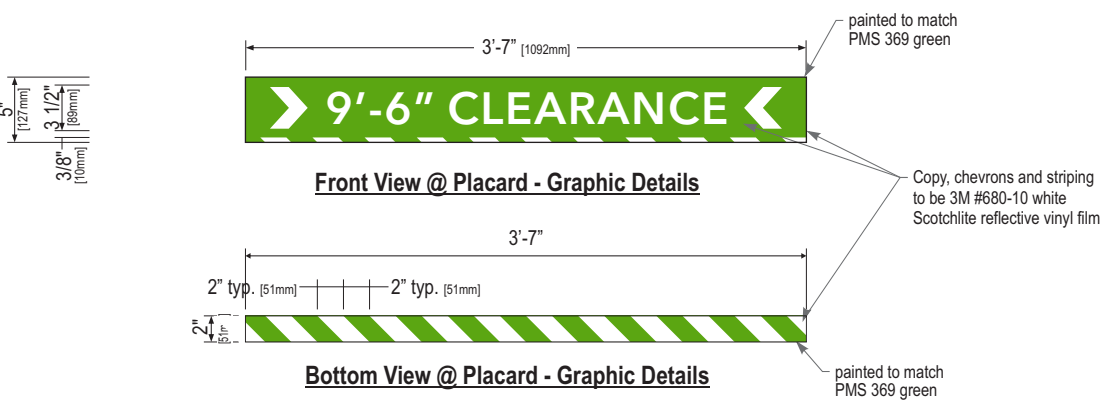
- Scraper Bar:**
- 2"x5" [51mm x 127mm] steel tube painted to match PMS 369 green. w/ Flush steel end caps painted to match PMS 369 green.
 - Copy and chevrons to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film.
 - Bottom striping to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film. Striping extends 3/8" [10mm] onto front face.
 - Suspend from support with SS cable & hardware. Cable provided requires field adjustment for proper clearance height.
- Support:**
- Supporting structure will be all welded steel tube construction painted black to match RAL 7021M as per approved shop drawings.
 - Base tube will be constructed so that it can be retro-fittable to existing sign foundations. All foundations, existing and new must be analyzed for suitability and must meet all local city or state codes regulations.
 - Anchor bolts painted black to match RAL 7021M.

Sq. Ft.
1.49

Front Elevation View

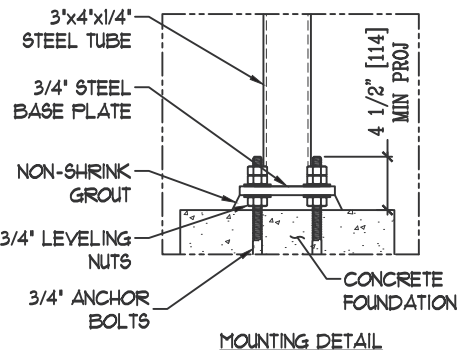
Right Side View

End Section View

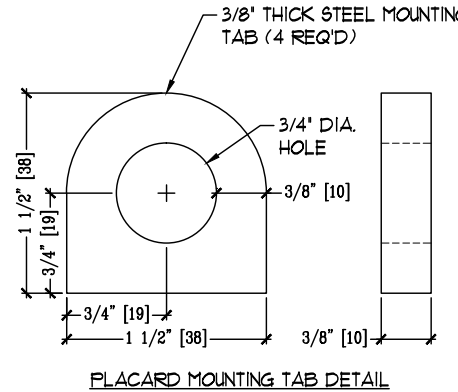


Front View @ Placard - Graphic Details

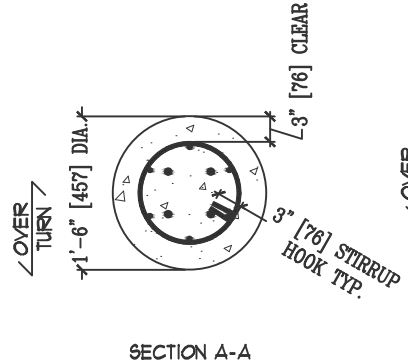
Bottom View @ Placard - Graphic Details



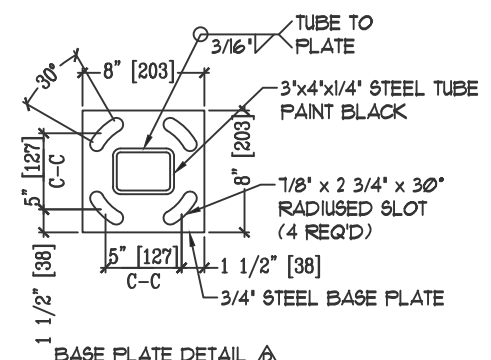
MOUNTING DETAIL



PLACARD MOUNTING TAB DETAIL



SECTION A-A



BASE PLATE DETAIL

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

QID 21-57140

JOB NAME

Starbucks #63012

LOCATION

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Bloomington, IN 47403

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brady Taylor

DWG. DATE

9-14-21

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4-13-22 BT

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SCALE

FILE

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SB Bloomington IN 21-57140

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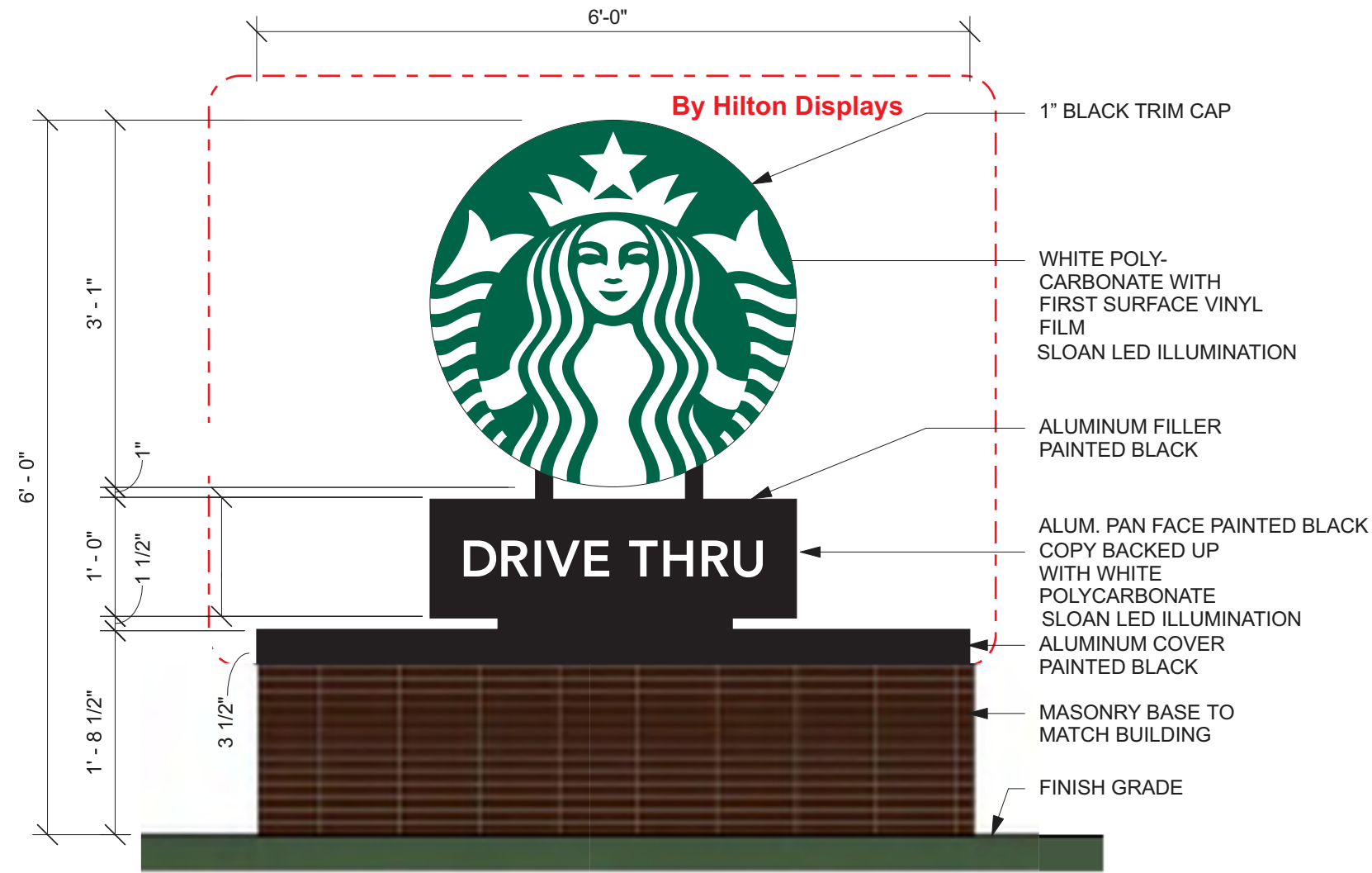


72" ILLUMINATED MONUMENT

Qty. 1

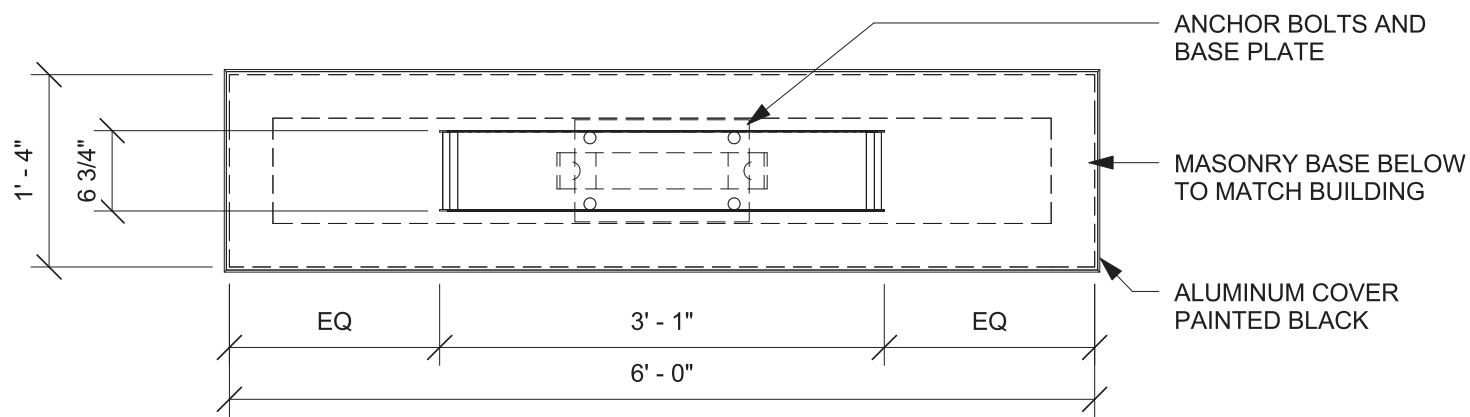
SBC-21-57140-15

E



Elevation

NOTE:
Base And Foundation By Landlord



Plan

QID 21-57140

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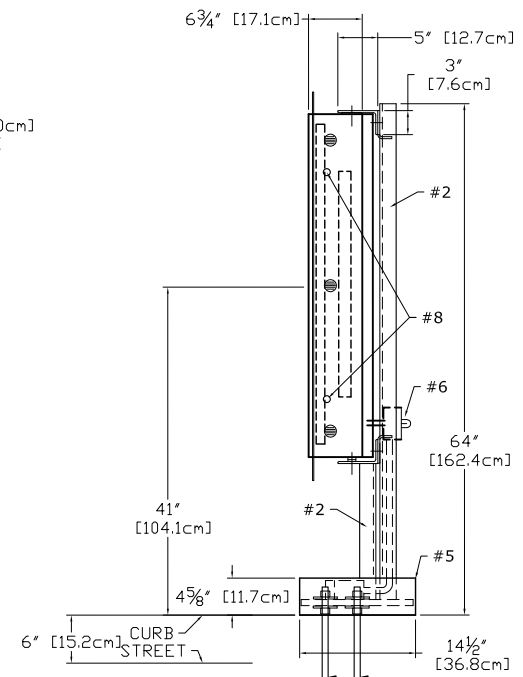
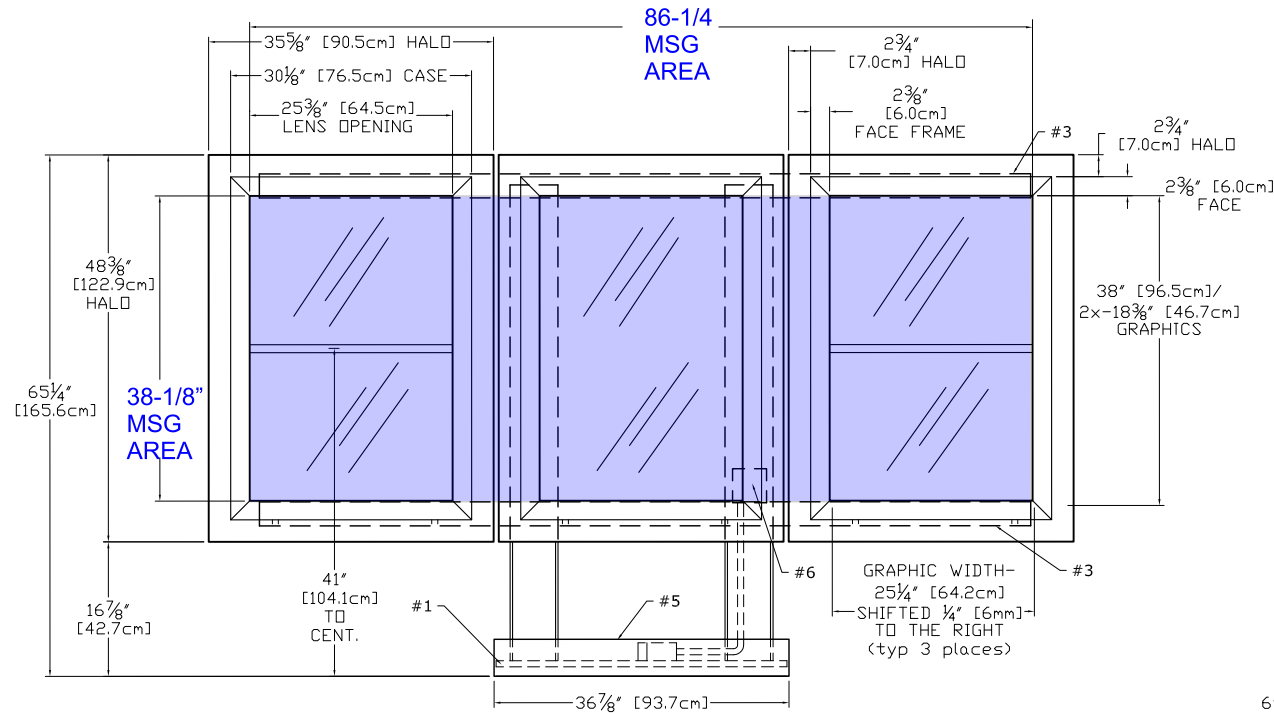
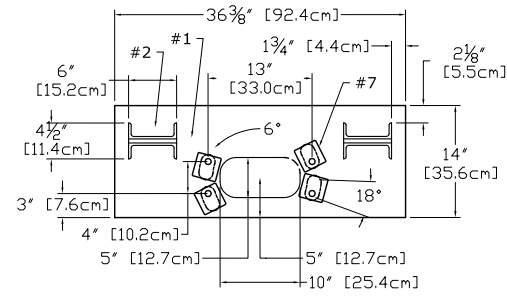
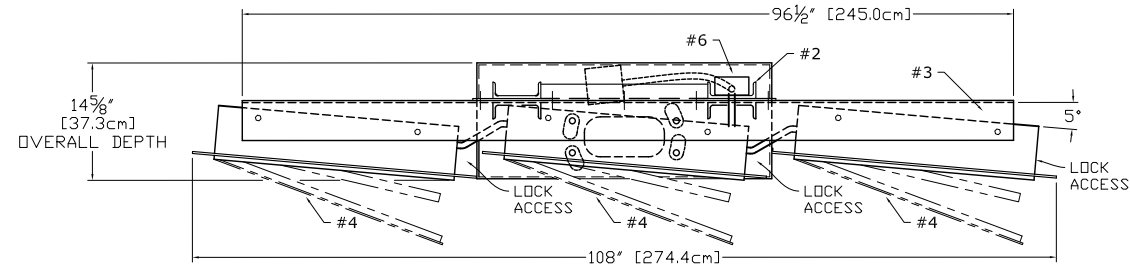

Underwriters Laboratories Inc.

DRY	<input type="checkbox"/>
DAMP	<input type="checkbox"/>
WET	<input type="checkbox"/>

5-PANEL MENU - FREESTANDING

Qty. 1

F

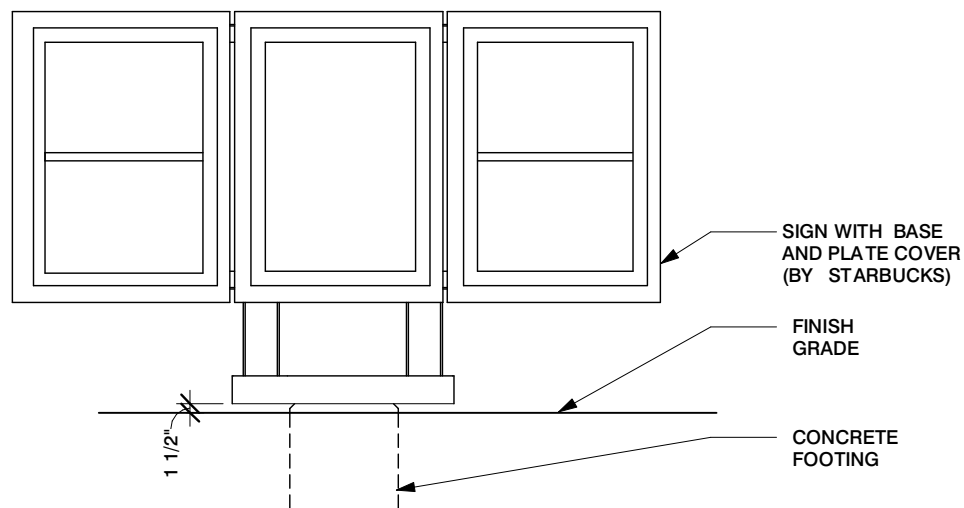


- #1 - 3/4" [19mm] STEEL BASE PLATE w/ 18deg HOLES PATTERN ROTATED FOR 15deg THRU 3deg POSITION
- #2 - C6X10.5 (6"x2"x5 1/16") STEEL POST (2x)
- #3 - 5"x3"x1/4" STEEL SUPPORT ANGLES (2x) (BOLTED TO WELDED 1/4" STEEL CROSSBARS)
- #4 - EXTRUDED ALUMINUM MENU BOARDS (3x) ONE FULL AND TWO SPLIT PANEL LIGHTBOXES ONE - 25 1/4"x38" AND FOUR 25 1/4"x18 3/8" GRAPHICS ALL GRAPHIC ASSEMBLIES SHIFTED 1/4" TO RIGHT STANDARD LED TUBE LIGHTING, SIDE LOCKS
- #5 - WELDED ALUMINUM BASE COVER
- #6 - WATER-TIGHT BOX w/SWITCH & SENSOR, RIDGID CONDUIT RUN TO SECOND EXT BOX BELOW BASE COVER, 120 WATT, 0.90Aac
- #7 - 8 BASE WASHERS, 1/4" THICK
- #8 - TWO SIDE MOUNT LOCKS per MENUBOARD RETAIN EXISTING KEY #E3-26-819-15

MESSAGE AREA = (86.25 * 38.125) / 144 = 22.9 SQ FT

DTE - MENU 5 PANEL FREESTANDING

Scale: 1/2" = 1' (11x17 paper)



DTE - MENU 5 PANEL FREESTANDING

Scale: 3/8" = 1' (11x17 paper)

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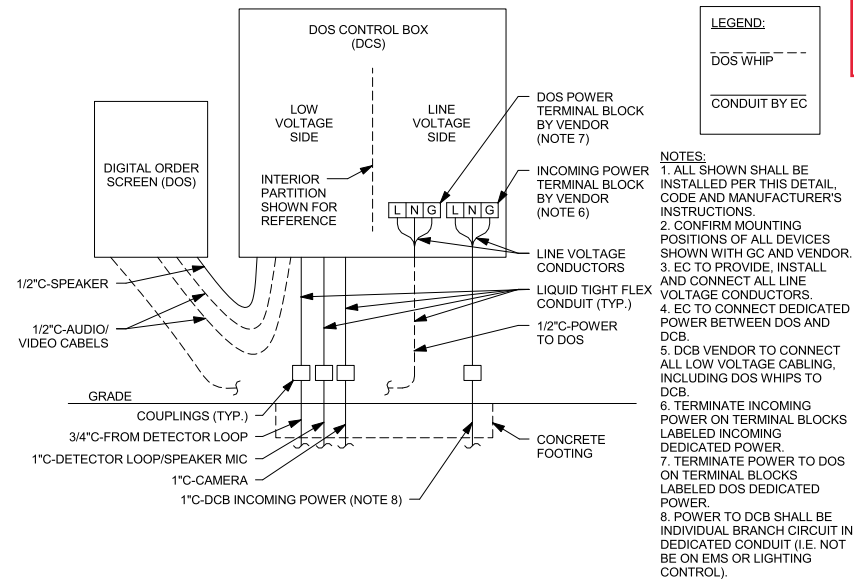
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DOS ON CANOPY - DCB ON UNISTRUT

Qty. 1

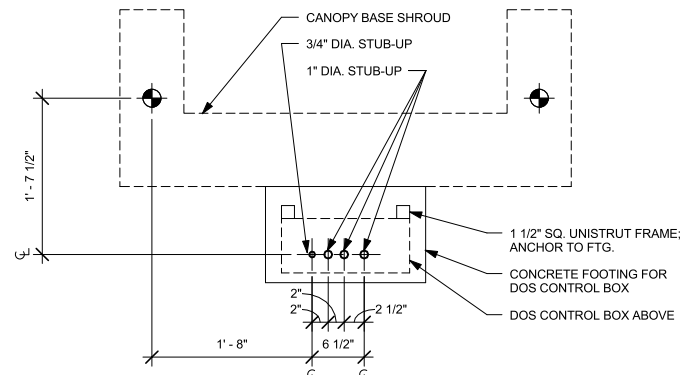
G



DTE - DOS CONTROL BOX WIRING

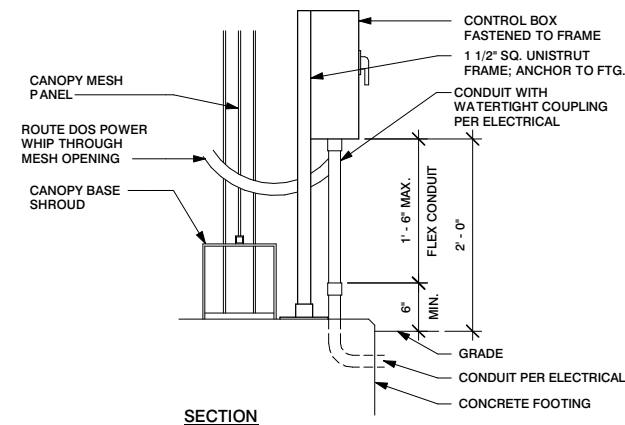
Scale: 1/2" = 1' (11x17 paper)

CAN YOU PLEASE SHOW



DTE - DOS CONTROL BOX CONDUIT STUB-UPS AT CANOPY

Scale: 1/2" = 1' (11x17 paper)

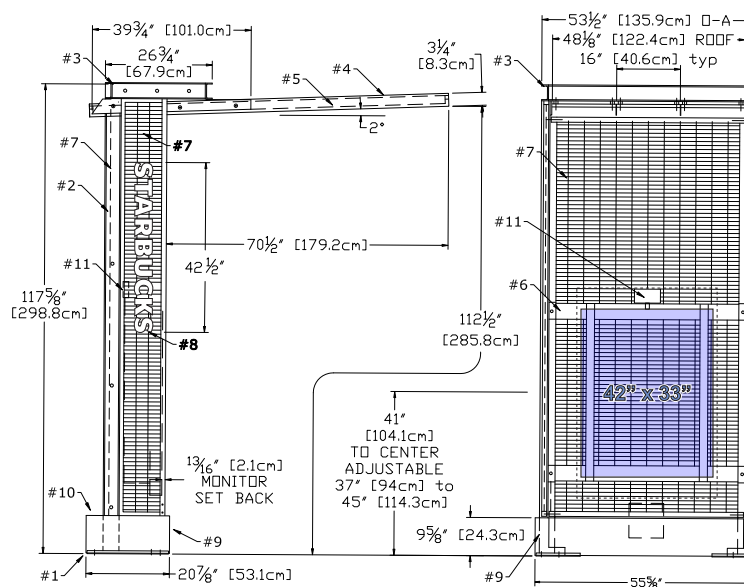
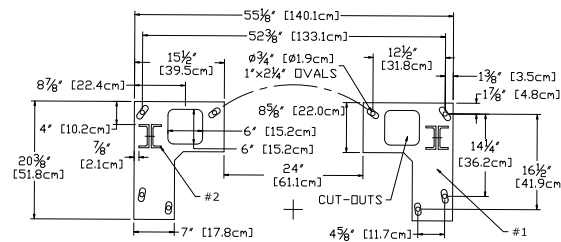
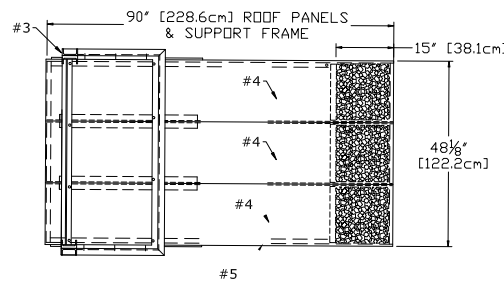


DTE - DOS CONTROL BOX AT CANOPY

Scale: 1/2" = 1' (11x17 paper)

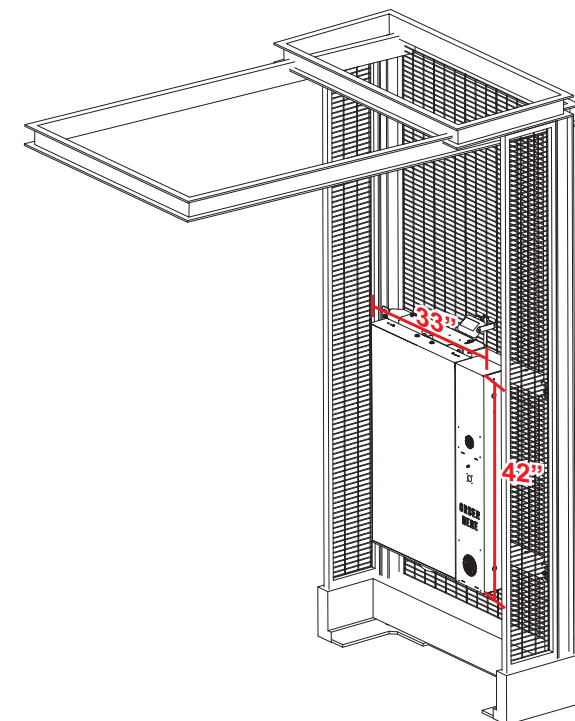


- #1 - TWO - 3/4" [19mm] STEEL BASE PLATES w/ OVAL HOLES FOR SWIVEL/POSITION
- 16 - 1/4" WASHERS SUPPLIED
- #2 - TWO - BACK TO BACK C4X7.25 (4"x13.4"x5.16") STEEL POSTS
- #3 - WELDED ALUMINUM HEADER, C4"x1.58" CHANNEL
- #4 - THREE - ALUMINUM ROOF PANELS SEAMLESS RAISED SIDE EDGES 15" OF LASERED PATTERN W/ DRIP EDGE BEHIND
- #5 - WELDED STEEL PERIMETER ROOF FRAME
- #6 - WELDED 3/16" STEEL [5mm] MONITOR SUPPORT FRAME WITH HGT ADJUSTMENT
- #7 - WELDED STEEL 1" [25.4mm] O-C WIRE GRID BACK & SIDE PANELS IN WELDED RECTANGULAR STEEL TUBE FRAMES
- #8 - 47/16" X 1/2" [11.3cmX12.7mm] WHITE ACRYLIC LETTERS. FIXED TO LH GRID PANEL w/ANTI-TAMPER SCREWS
- #9 - WELDED ALUMINUM BASE COVERS
- #10 - WELDED ALUMINUM WATER-TIGHT ELECTRIC ENCLOSURE (REAR HATCH)
- #11 - LED CEILING FLOODLIGHT, WIRED COMPLETE



DTE - CANOPY

Scale: 1/4" = 1' (11x17 paper)



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18" x 12" PARKING SIGN

SBC-PK-1812-FP

Qty. 3

H



1 Front View
SCALE: 3" = 1'-0"

SPECIFICATIONS

- A. .090" ALUMINUM PARKING SIGN TO BE PAINTED TO PMS 560c
- B. FACE TO HAVE APPLIED DIGITALLY PRINTED VINYL GRAPHICS ON WHITE REFLECTIVE VINYL w/5/16" WHITE REFLECTIVE BORDER.
- C. SIGN PANEL TO BE FASTENED TO U-CHANNEL POST W/ 5/16"x2" BOLTS (QTY. 2)



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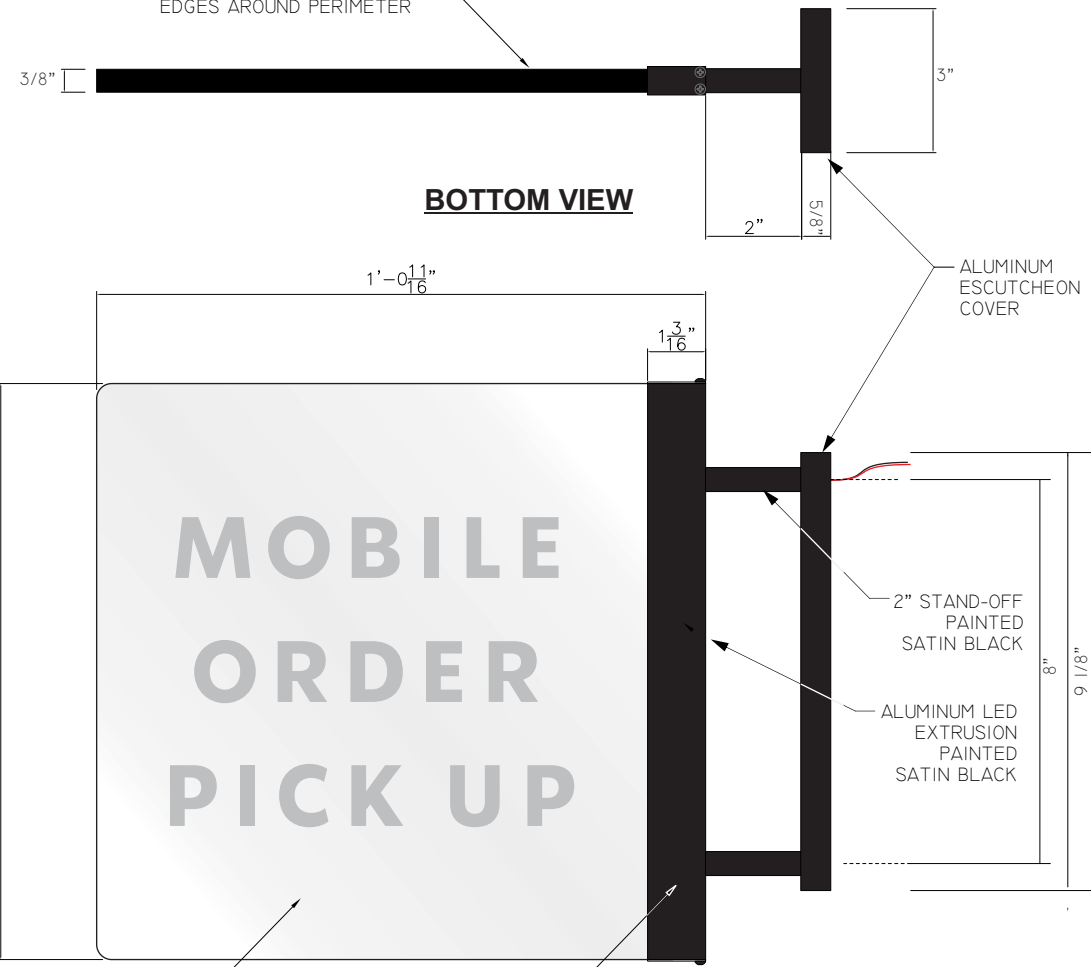
INTERIOR ILLUMINATED BLADE MOP SIGN

SBC-MOPU-21163-IL-RH

Qty. 1



3M 3630-22 BLACK VINYL APPLIED
FIRST SURFACE OF EXPOSED
EDGES AROUND PERIMETER



ALUMINUM END CAPS
WITH (2) #4 SCREWS
TOP & BOTTOM

MOUNTING HOLES FOR 1/4"
HARDWARE HIDDEN BY
ESCUTCHEON COVER



3/8" CLEAR ACRYLIC
WITH 2ND SURFACE
LASER ETCHED GRAPHIC

WHITE LED STRIP

FRONT VIEW

Scale: 3" = 1' (11x17 paper)

MOBILE
ORDER
PICK UP

MOBILE
ORDER
PICK UP

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EST: CLIENT:

SLS/PM: LANDLORD:

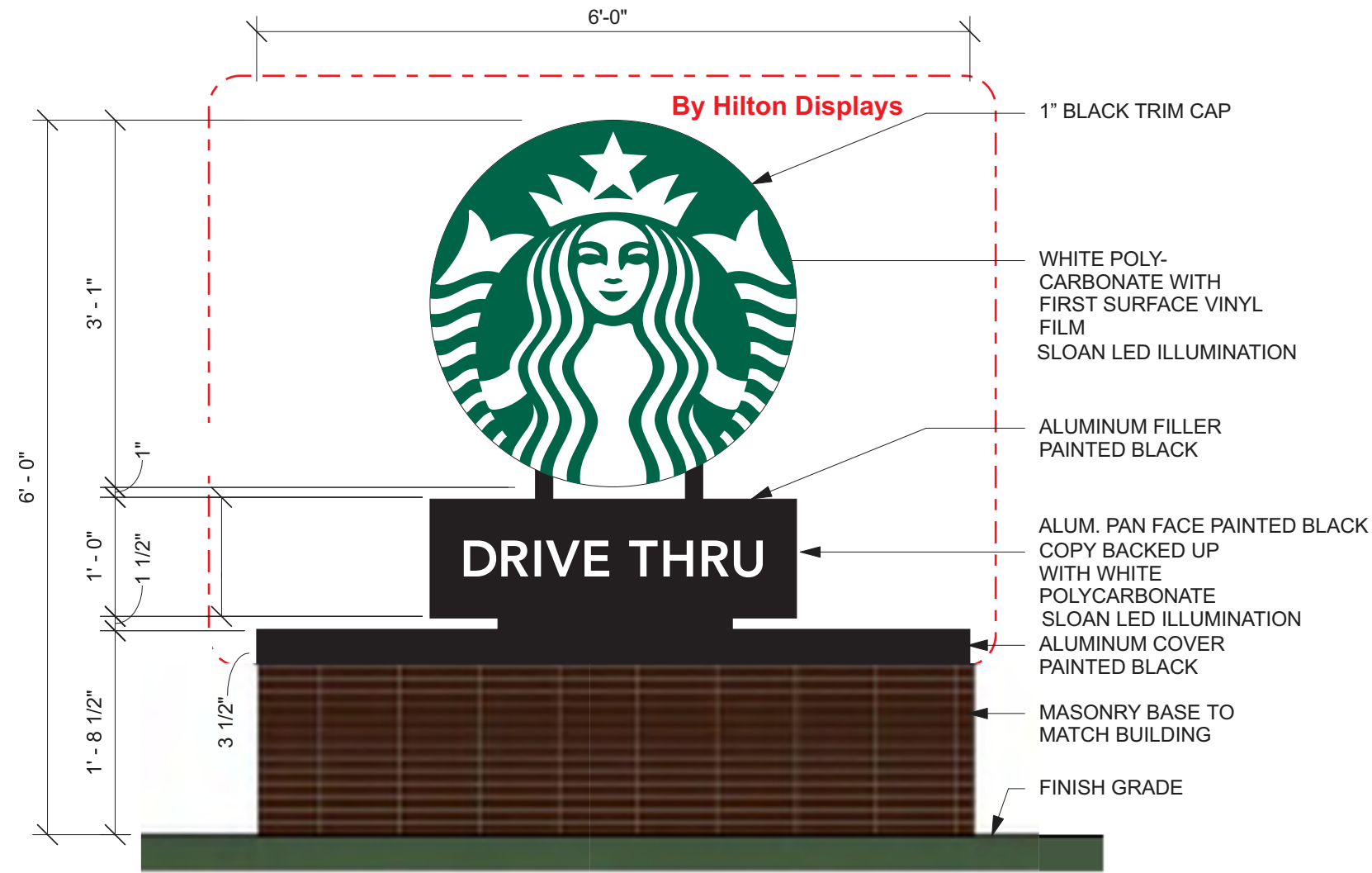
THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



72" ILLUMINATED MONUMENT

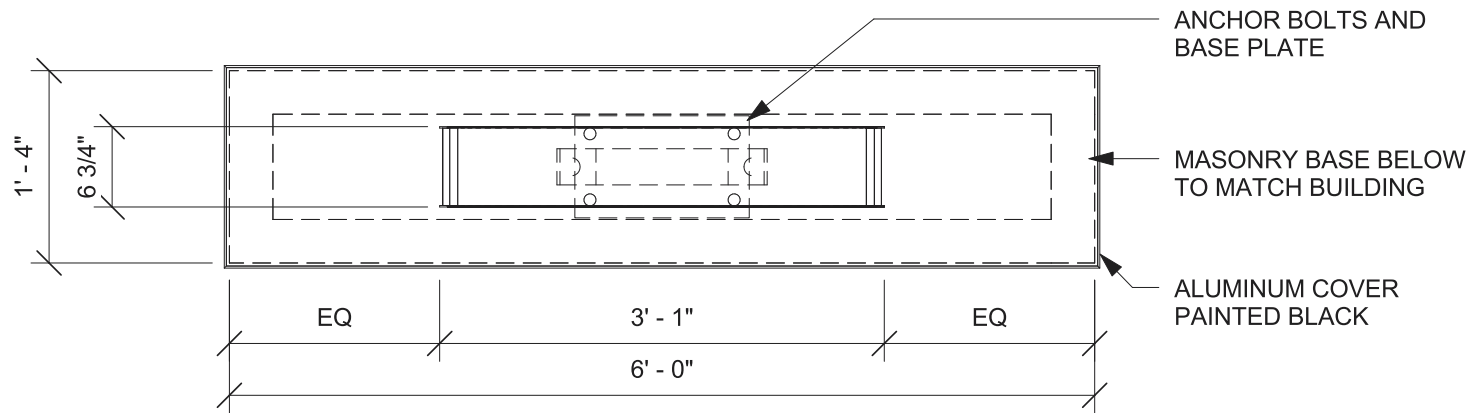
Qty. 1

SBC-



Elevation

NOTE:
Base And Foundation By Landlord



Plan

100

HILTONDISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

QID 21-57140

JOB NAME

Starbucks #63012

LOCATION

SR-37 & SR-45
2105 Liberty Dr.
Bloomington, IN 47403

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brady Taylor

DWG. DATE

9-14-21

REV. DATE / REVISION

4-13-22 BT

5-24-22 BT

6-24-22 BT

SCALE

FILE

2021/Starbucks/Locations/
Bloomington IN/21-57140/
SB Bloomington IN 21-57140

DESIGN SPECIFICATIONS ACCEPTED BY:

EST:	CLIENT:
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BLOOMINGTON BOARD OF ZONING APPEALS
STAFF REPORT
Location: 284 North Jacob Drive

CASE #: V-30-22
DATE: July 21, 2022

PETITIONER: Mistie Nigh, ASA Above the Rest
 702 East Washington Street
 Shelbyville, IN

CONSULTANT: Morgan Aussprung, Hilton Displays
 125 Hillside Drive
 Greenville, SC

REQUEST: Variance from general design standards for signs to allow the installation of a digital order screen covering more than 40 percent of the area of a sign face for a permitted drive-through use in the Mixed-Use Corridor (MC) zoning district.

REPORT: The property is located in the Whitehall Crossing Shopping Center on the west side of Jacob Drive, a private street. The property is zoned Mixed-Use Corridor (MC). Adjacent properties to the north, west, and south are also in the Whitehall Crossing Shopping Center, are also zoned MC, and contain a mix of commercial uses including restaurant, small retail sales, and big box retail sales uses. Adjacent to the east is the right-of-way of the I-69 interstate highway. The nearest properties to the east across I-69 are also zoned MC and contain restaurant uses.

The property has an existing Starbucks restaurant with an existing one-lane drive-through in the tenant space at the north end of a multitenant nonresidential building on the property. The restaurant intends to move the ordering step of the drive-through to a grass area at the north end of the property, earlier in the travel path for the drive-through. As part of that modification to the drive-through layout, the petitioner has proposed new freestanding signs for the drive-through use as well as some replacement wall signage. All but one of the proposed signs are fully compliant with the Unified Development Ordinance (UDO).

The petitioner is requesting a variance for the one noncompliant sign in the proposal, a digital order screen for the drive-through lane, where drive-through customers could see and confirm their order details and total bill while they speak with drive-through staff through the audio communications device. The proposed digital order screen is incorporated into a freestanding sign 12.96 square feet in area and 5.96 feet in height. The screen comprises 10.12 square feet, which is 78 percent of the total area of the sign face. The proposed sign is shaded by a 10.32-foot-tall canopy. The location of the proposed digital order screen is marked by E on the site plan on page three of the petitioner's submitted plan set. The digital order screen itself is depicted on page eight of the plan set.

An additional sign is allowed as one of the two freestanding signs permitted specifically for drive-through uses in UDO Section 20.04.100(j)(5)(B). One fully compliant direction sign for the drive-through as a whole has already been proposed under this subsection. However, these freestanding signs are each limited to four square feet in area and four feet in height. It would be more consistent with the intent of the UDO to consider the proposed sign as a second sign of the type permitted in UDO Section 20.04.100(j)(5)(A), which allows one 36 square-foot sign up to six feet in height for each drive-through lane. There is only one drive-through lane, and the

allowance in UDO Section 20.04.100(j)(5)(A) has already been taken up by a proposed menu board. A variance is required to allow a second sign of this type for the single drive-through lane.

A digital screen, when incorporated as part of a sign, is categorized by the UDO as an electronic reader board. UDO Section 20.04.100(g)(3) allows electronic reader boards “provided that they do not exceed more than 40 percent of the total area of any sign face, and that information is displayed in increments of no less than 20 seconds.” The proposed digital order screen comprises 78 percent of the proposed sign face. A variance is required to allow the proposed size of the digital order screen in relation to the size of the proposed sign and to allow displays of information in increments of less than 20 seconds.

The provisions in the UDO allowing additional signs for drive-through uses was written based on the former standard practice and technology for drive-through ordering, where a customer would speak into an audio communications device while looking at a static menu board. Digital order screens, such as the one requested in this petition, are increasingly becoming the industry standard for drive-through uses through-out the county. However, they are currently not allowed under the City of Bloomington UDO because of the limit on the number of signs for each drive-through lane and the limit on sign area for an electronic reader board. The Department is working on a proposal for 2023 to address this type of signage.

The same petitioner is requesting a variance for the same type of digital order screen at another Starbucks location at 2105 South Liberty Drive.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.06.080(b)(3)(E)(i)(1) Standards for Granting Variances from Development Standards: Pursuant to Indiana Code 36-7-4-918.5, the Board of Zoning Appeals or Hearing Officer may grant a variance from the development standards of this UDO if, after a public hearing, it makes findings of fact in writing, that:

- (1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

PROPOSED FINDING: The proposed digital order screen will not be injurious to the public health, safety, morals, or general welfare of the community. The screen will be oriented roughly perpendicular to the property frontages on Jacob Drive and I-69, making it not visible from public right-of-way. The screen will face south and thus will not be visible from the adjacent property to the north. The screen will be blocked from view from the south by the existing building. Similar digital order screens are increasingly becoming the industry standard for drive-through uses.

- (2) *The use and value of the area adjacent to the property included in the development standards variance will not be affected in a substantially adverse manner; and*

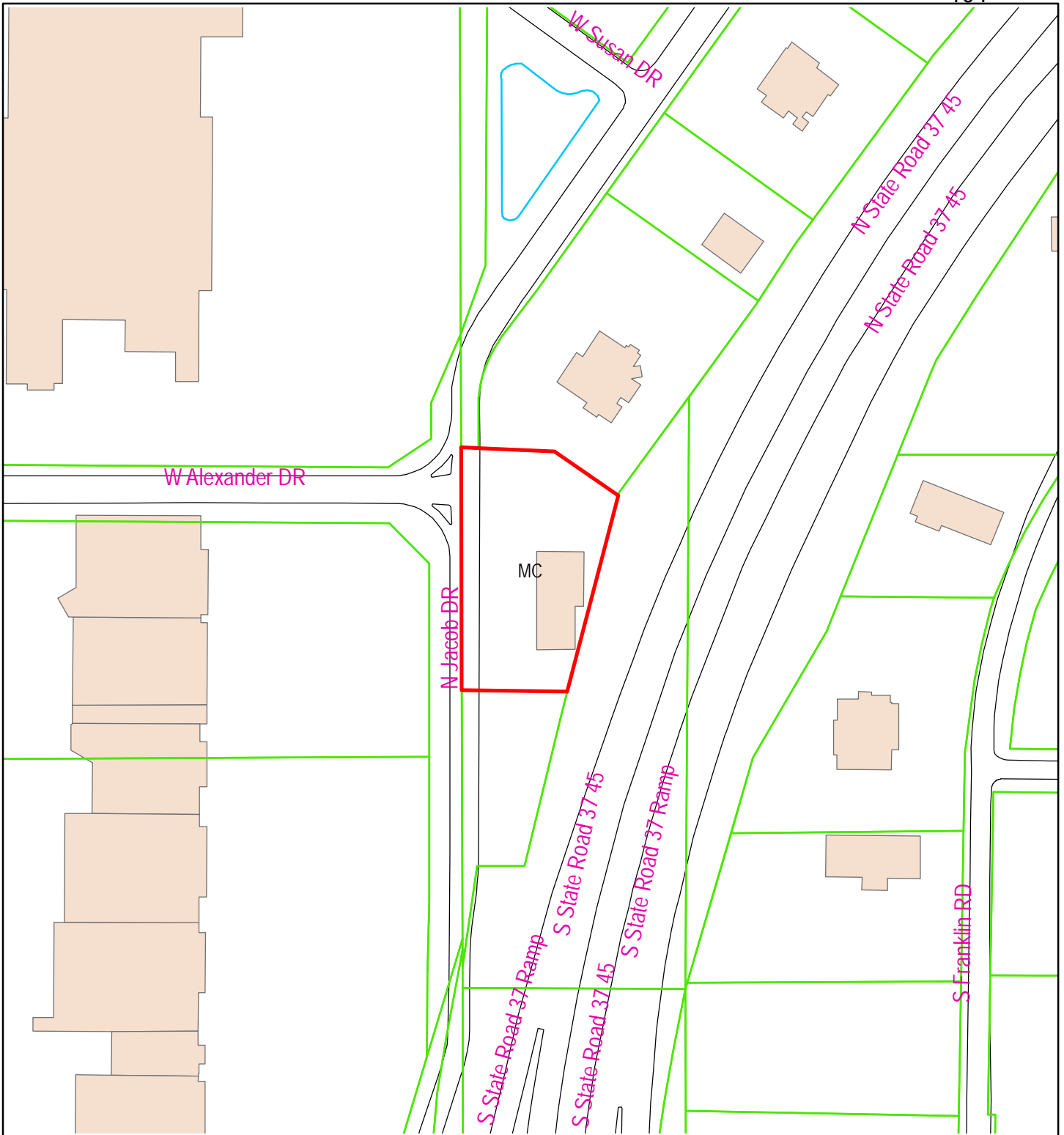
PROPOSED FINDING: The proposed digital order screen will not have any substantial effect on the use and value of the area adjacent to the property. The screen will be oriented roughly perpendicular to the property frontages on Jacob Drive and I-69, making it not visible from public right-of-way. The screen will face south and thus will not be visible

from the adjacent property to the north. The screen will be blocked from view from the south by the existing building.

- (3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in questions; that the development standards variance will relieve the practical difficulties.*

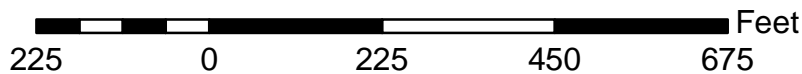
PROPOSED FINDING: The proposed digital order screen would be a convenience for drive-through customers and the drive-through business, but operating the drive-through without the requested screen is possible, as demonstrated by the existing drive-through layout, and would not result in practical difficulties in the use of the property. There is nothing peculiar to the property that would make a digital order screen any more (or any less) necessary for a drive-through use here than at any other property in the city. The requested variance would not relieve any practical difficulty in the use of the property as a restaurant with a drive-through.

RECOMMENDATION: Based upon the report and written findings of fact above, the Department recommends that the Board of Zoning Appeals adopts the proposed findings for V-30-22 and denies the requested variance.



V-30-22, 284 N. Jacob Dr

City of Bloomington
Planning & Transportation

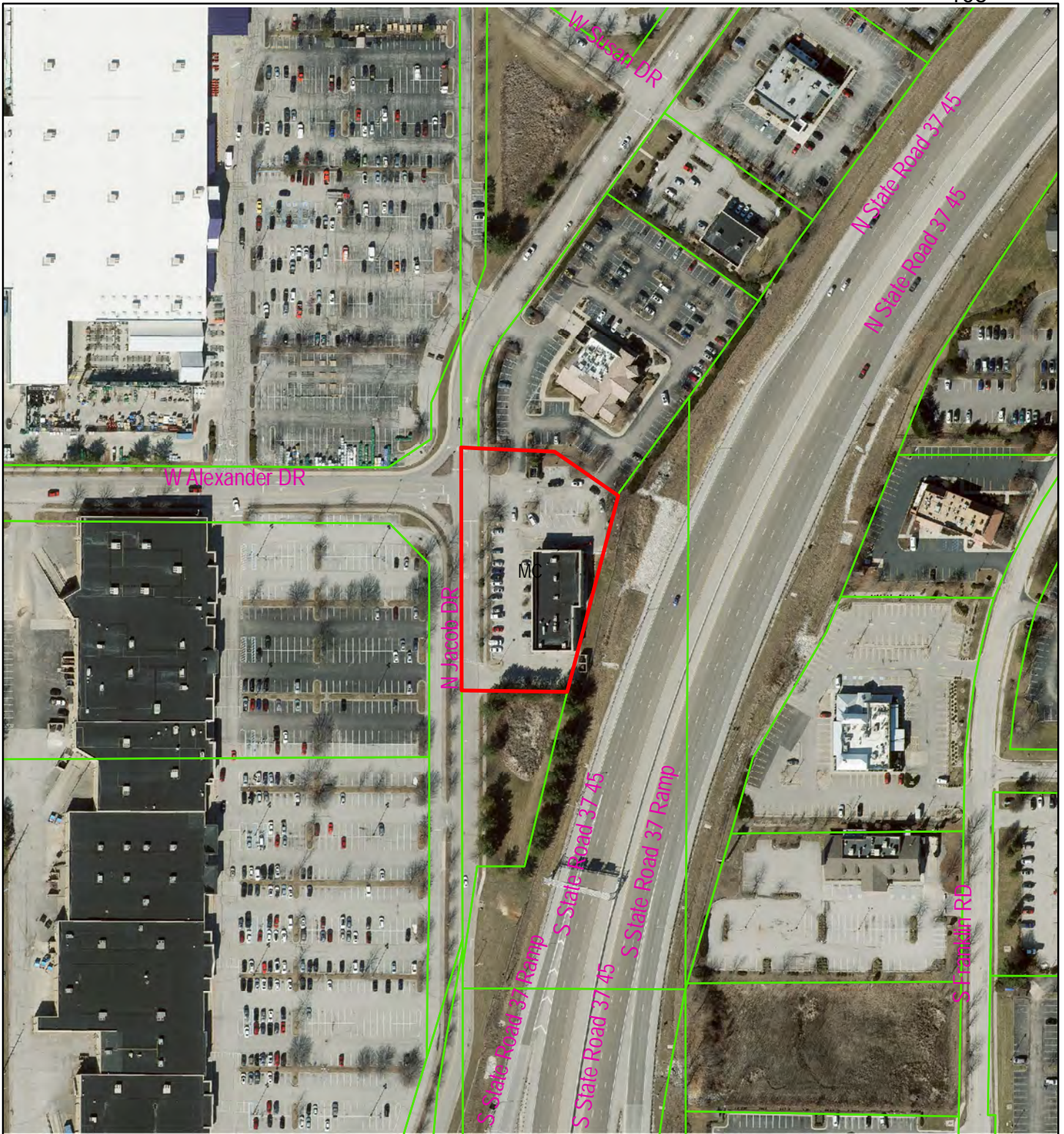


Scale: 1 " = 250 '



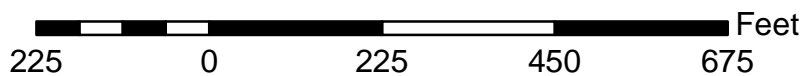
By: Gabriel Holbrow
7/15/2022

For reference only. Map information NOT warranted.



V-30-22, 284 N. Jacob Dr

City of Bloomington
Planning & Transportation



Scale: 1 " = 250 '



By: Gabriel Holbrow
7/15/2022

For reference only. Map information NOT warranted.

LAND AND BUSINESS OWNER AUTHORIZATION AND CONSENT

TO: Hilton Displays, Inc.

FROM:

WHITNEY A GATES – WHITEHALL CROSSING
542 S COLLEGE AVENUE
BLOOMINGTON, IN 47403

RE:

STARBUCKS #2670
JACOB DR

I declare and affirm that I am the Business Owner and Owner or Trustee of the real property (land) located at

284 N JACOB DR, BLOOMINGTON, IN 47404

(Street Address, City, and State)


And have full authority to authorize

Hilton Displays, Inc.

(Name of person or Company)

and their subcontractors to submit a variance request to the Board of Zoning Appeals to allow for a digital order screen for the aforementioned real property.

In addition, I hereby give notice to the sign permitting authority that I approve the sign Design Documents as submitted.

 WHITNEY A. GATES MEMBER 8/22/22

Signature

Name (Print)

Title

Date

PETITIONER'S STATEMENT – 284 N Jacob Dr, Bloomington, IN 47404

The city of Bloomington restricts the use of “electronic reader boards” and finds that our digital order screen is not compliant with the sign ordinance in place. We are therefore requesting a variance be granted to allow for this signage.

The digital order screen serves an important purpose as part of the drive thru process. It is imperative that customers in the drive thru are served as quickly and efficiently as possible to maximize business, ensure a positive customer experience, and to prevent traffic issues caused by long drive thru lines. Starbucks prides itself in offering 87,000 drink combinations on its menu, which could certainly cause delays in the ordering process and allow for mistakes to be made. Thus, Starbucks has incorporated the digital order screen into their drive thru process as it allows customers to see their order pop up on the screen as it is entered in and gives them the opportunity to have it corrected before the order is prepared. The customer sees their order and the cost clearly on the screen rather than fully relying on listening to their order being repeated through a speaker post.

The addition of a digital order screen will not be injurious to the general welfare of the community but would rather have a positive impact. Long drive thru lines can cause traffic issues and potentially traffic incidents as well. Any addition, within reason, that can raise efficiency in this drive thru process will help to avoid these potential hazards.

Also, because this order screen cannot be seen from the back of it and can only be seen by the customer ordering, this signage will not affect the use and value of the area adjacent to the property.

STARBUCKS COFFEE #2670
284 N JACOB DR
BLOOMINGTON IN 47404



22-60813

HILTONDISPLAYS

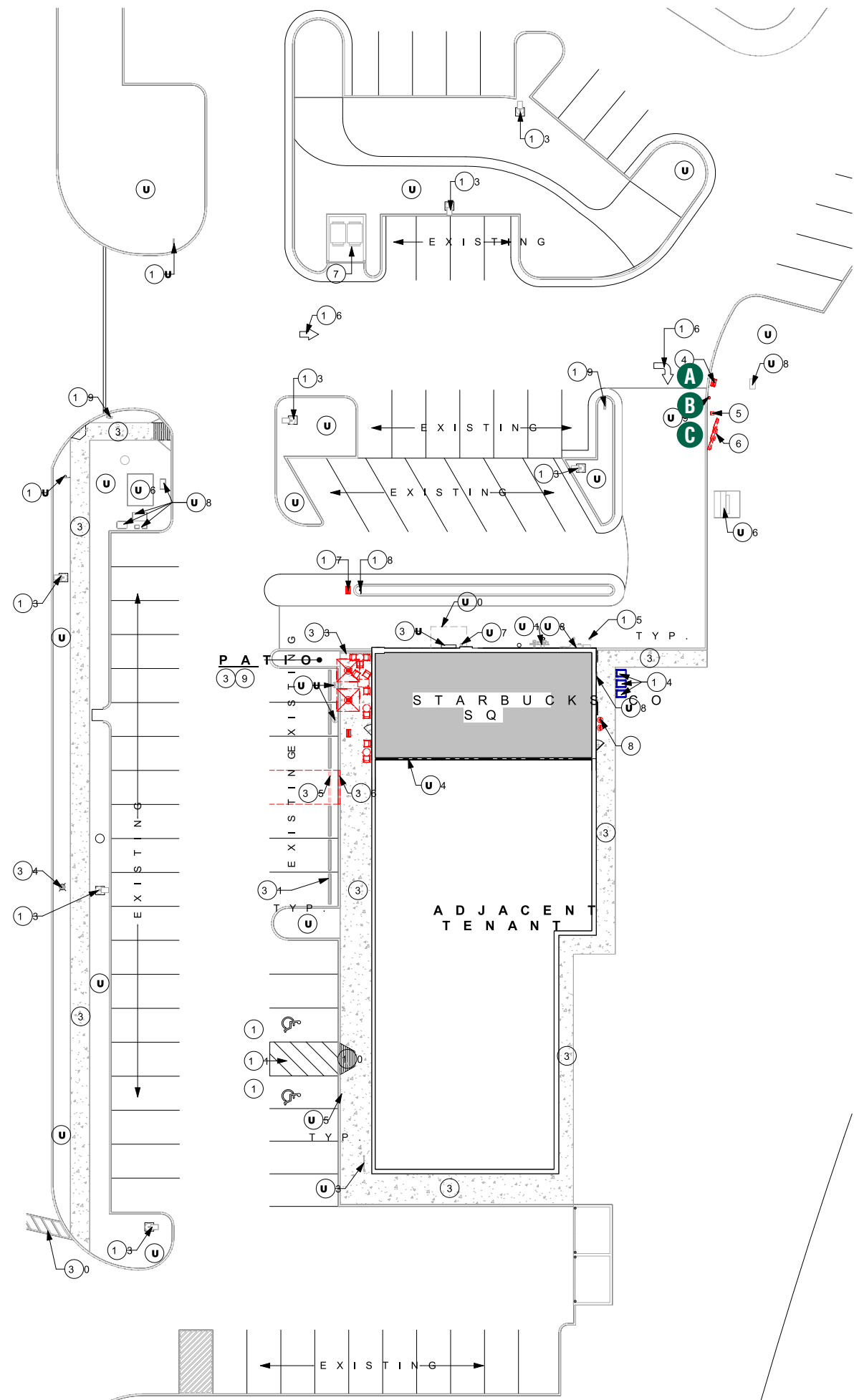
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www.hiltondisplays.com

DEMO SITE PLAN

- A** DEMO EXISTING PRE MENU BOARD
- B** DEMO EXISTING SPEAKER POST
- C** DEMO EXISTING 5-PANEL MENU BOARD
- D** 5-PANEL MENU BOARD
- E** DOS/ CANOPY
- F** 48" REPLACEMENT SIREN FACE
- G** 60" REPLACEMENT SIREN FACE
- H** 12" REPLACEMENT CHANNEL LETTER FACES
- I** CLEARANCE BAR



QID 22-60813

JOB NAME

Starbucks 2670

LOCATION

284 N Jacob Dr
 Bloomington IN 47404

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Ashley Smith

DWG. DATE

4-29-22

REV. DATE / REVISION

5-19-22/AS

5-24-22/AS

6-2-22/AS

6-28-22/AS

SCALE

As Noted

FILE

2022/Starbucks/Locations/
 Bloomington IN/ 22-60813/
 SB Bloomington IN 22-60813

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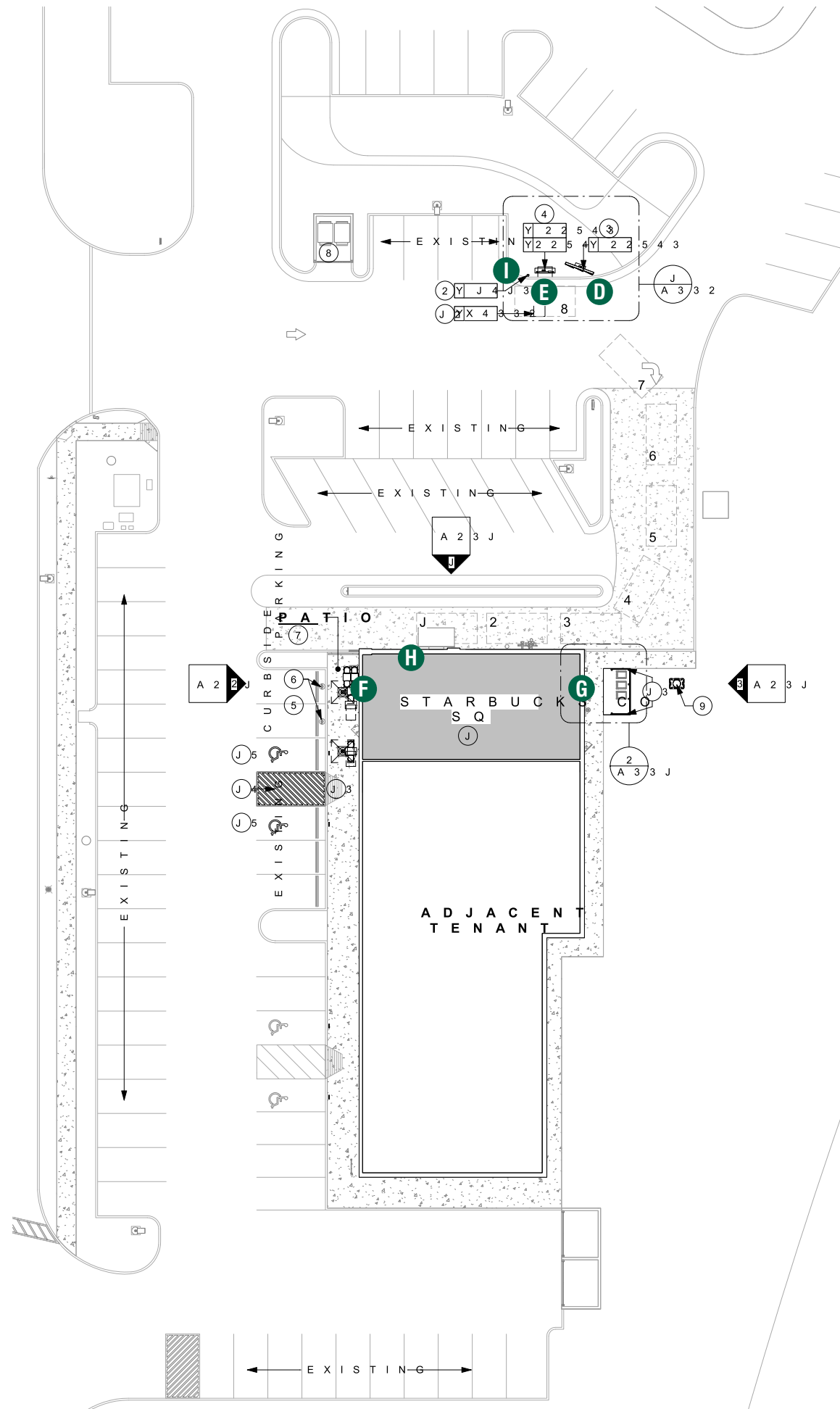
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SITE PLAN

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LOCATION

284 N Jacob Dr
 Bloomington IN 47404

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

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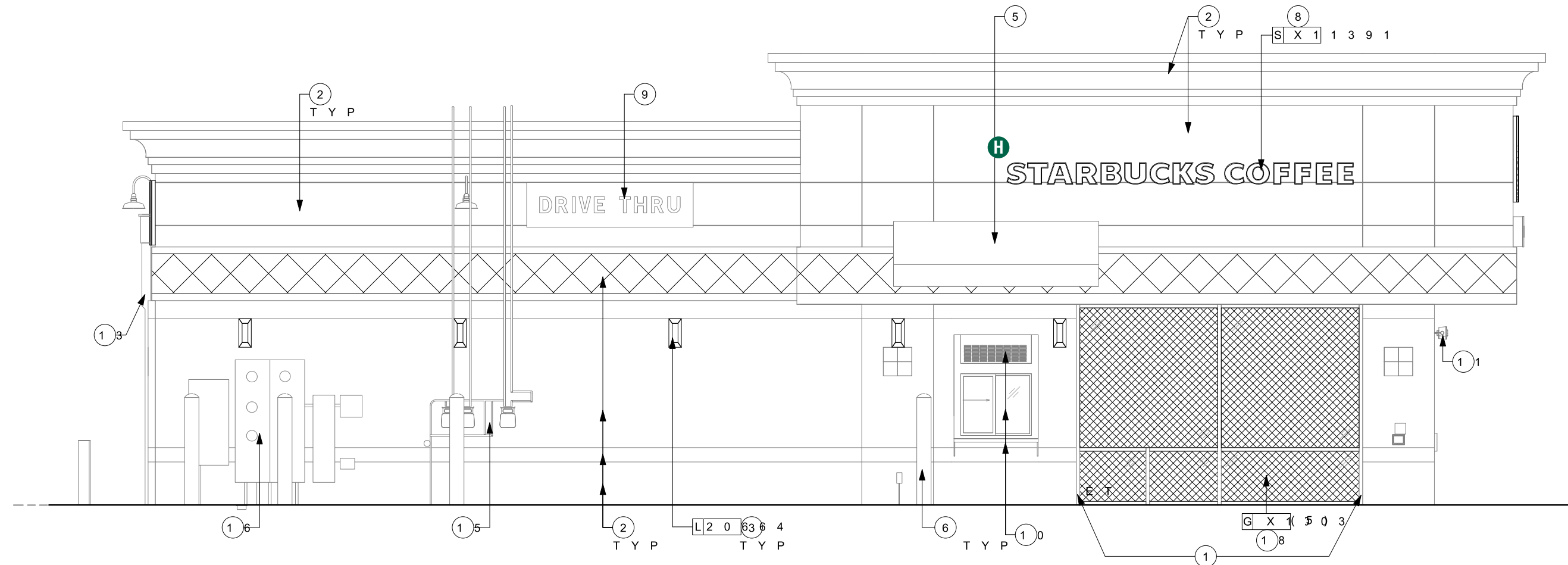
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ELEVATION

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SCALE: 3/16" = 1'-0"

QID 22-60813

JOB NAME

Starbucks 2670

LOCATION

284 N Jacob Dr
 Bloomington IN 47404

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Ashley Smith

DWG. DATE

4-29-22

REV. DATE / REVISION

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SCALE

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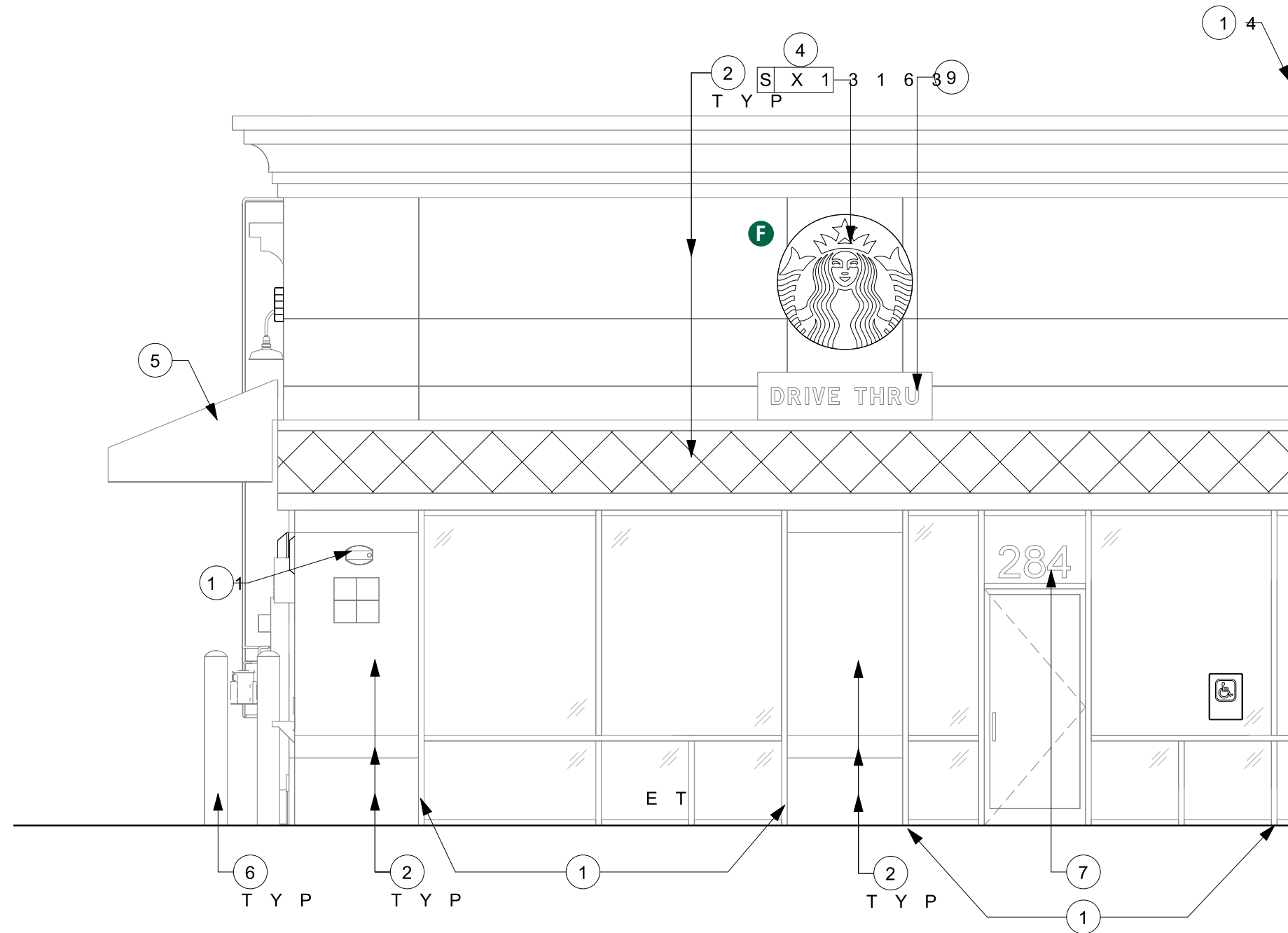
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SCALE: 1/4" = 1'-0"

QID 22-60813

JOB NAME

Starbucks 2670

LOCATION

284 N Jacob Dr
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CUSTOMER CONTACT

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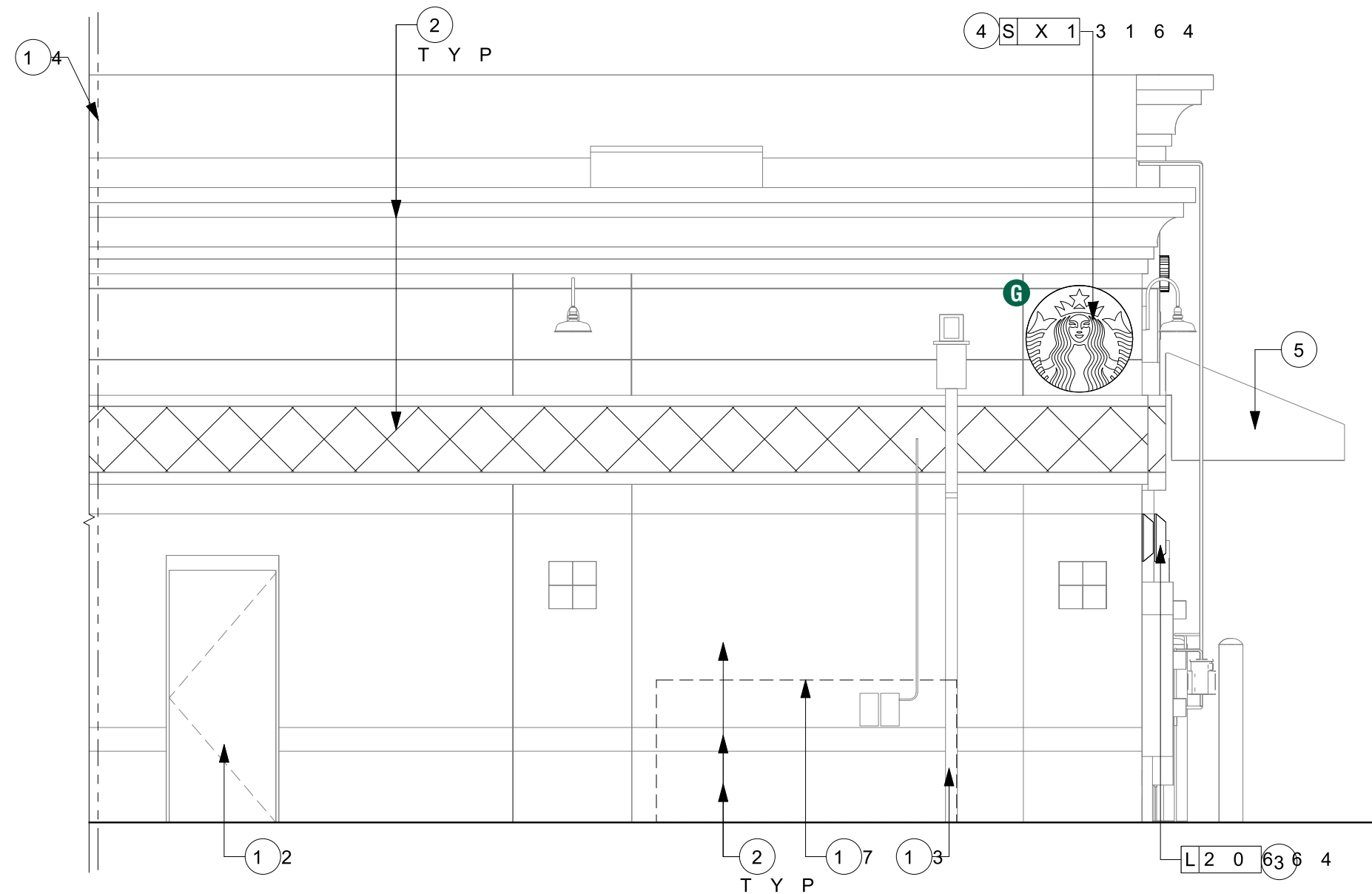
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SCALE: 3/16" = 1'-0"

QID 22-60813

JOB NAME

Starbucks 2670

LOCATION

284 N Jacob Dr
 Bloomington IN 47404

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Ashley Smith

DWG. DATE

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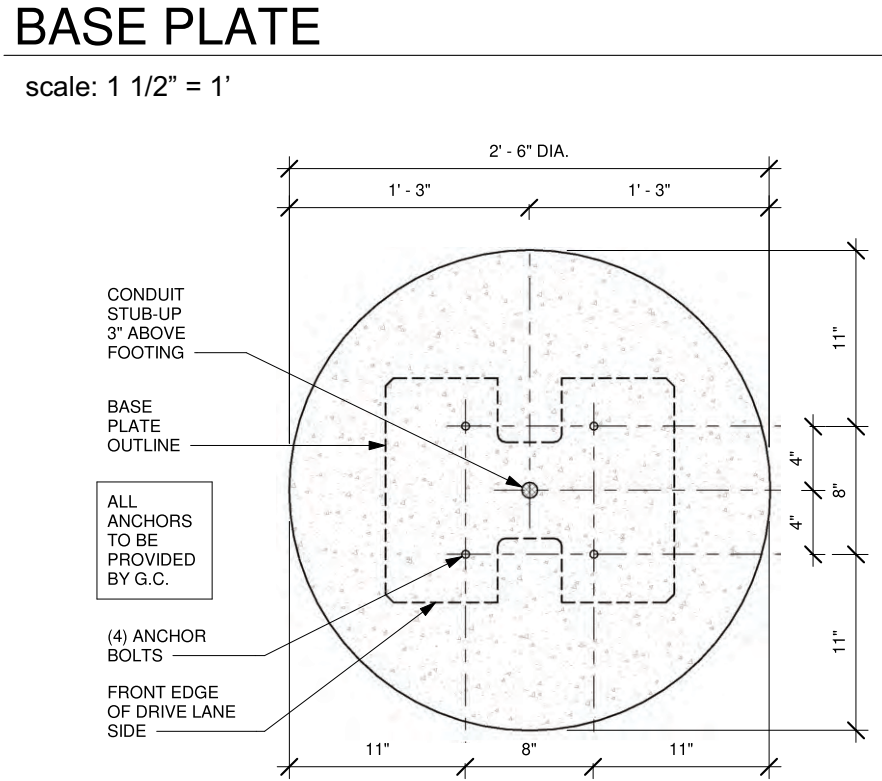
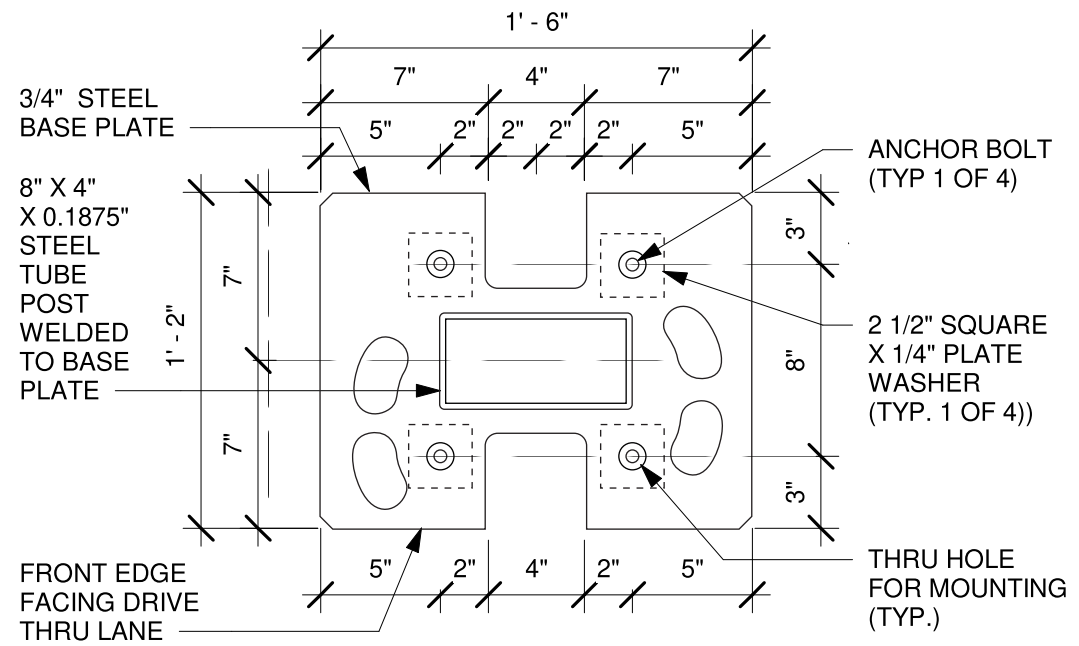
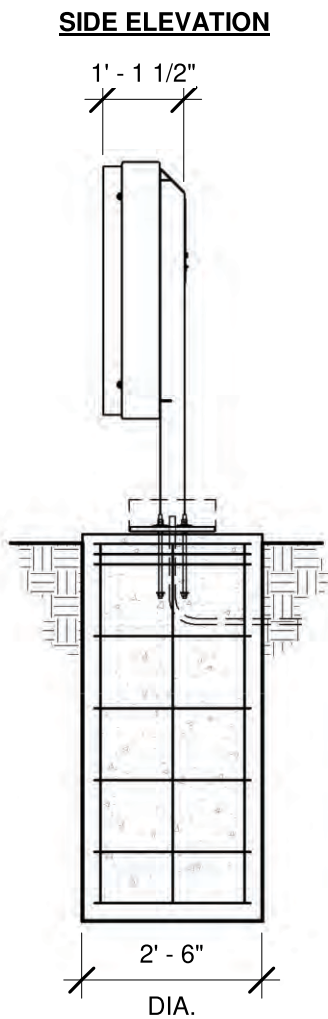
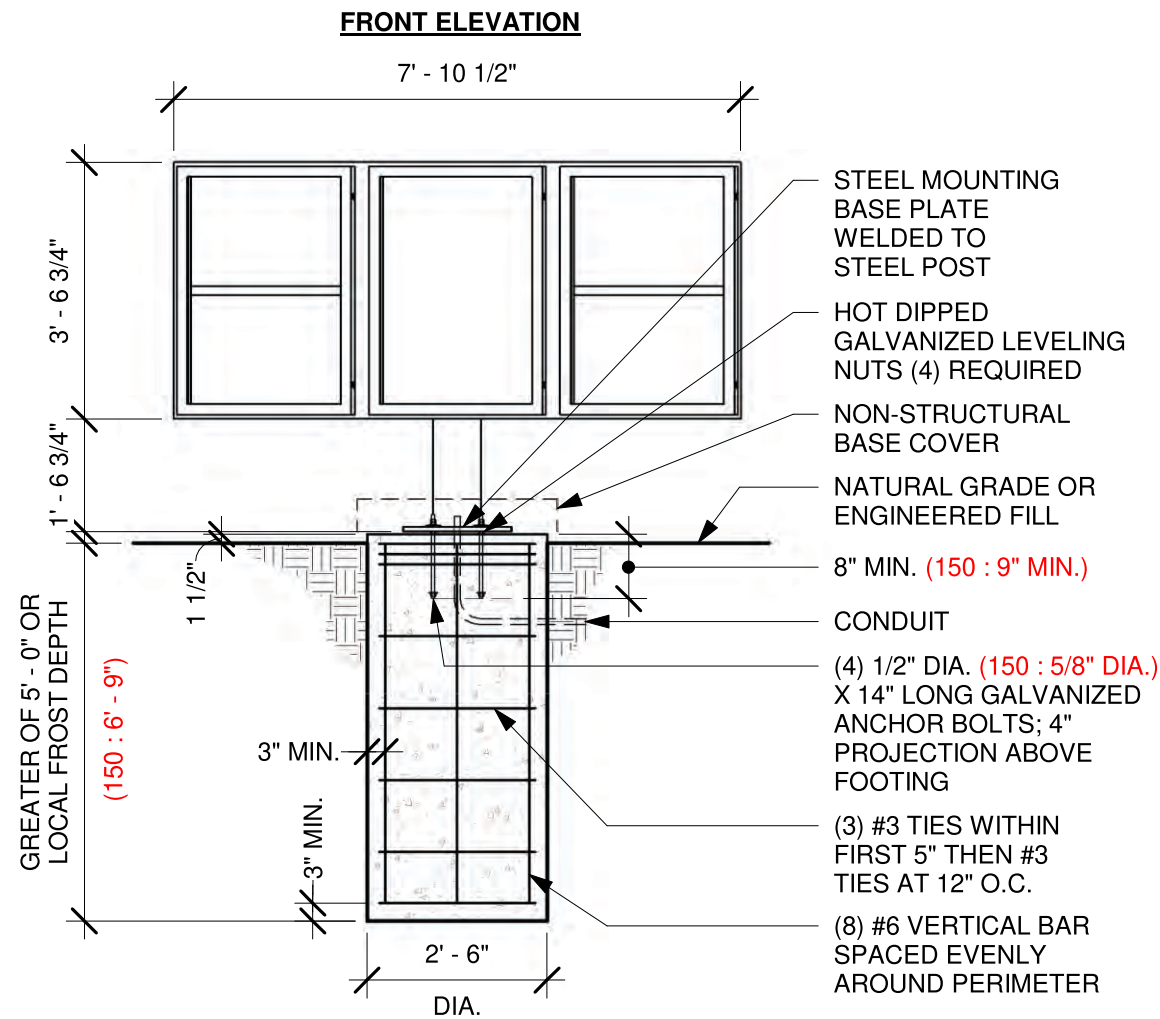
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MENU BOARD - INSTALL ONLY Note: - All steel shall be A36 Galvanized or A304 Stainless Steel

Qty. 1

D



QID 22-60813	
JOB NAME	
Starbucks 2670	
LOCATION	
284 N Jacob Dr Bloomington IN 47404	
CUSTOMER CONTACT	
SALESMAN / PM	
Morgan Aussprung	
DESIGNER	
Ashley Smith	
DWG. DATE	
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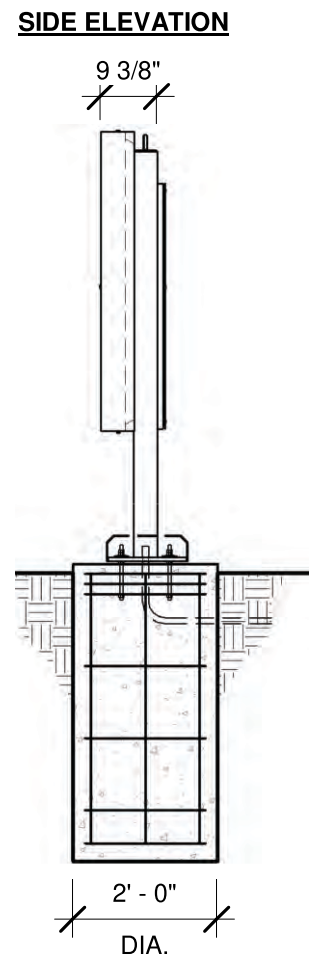
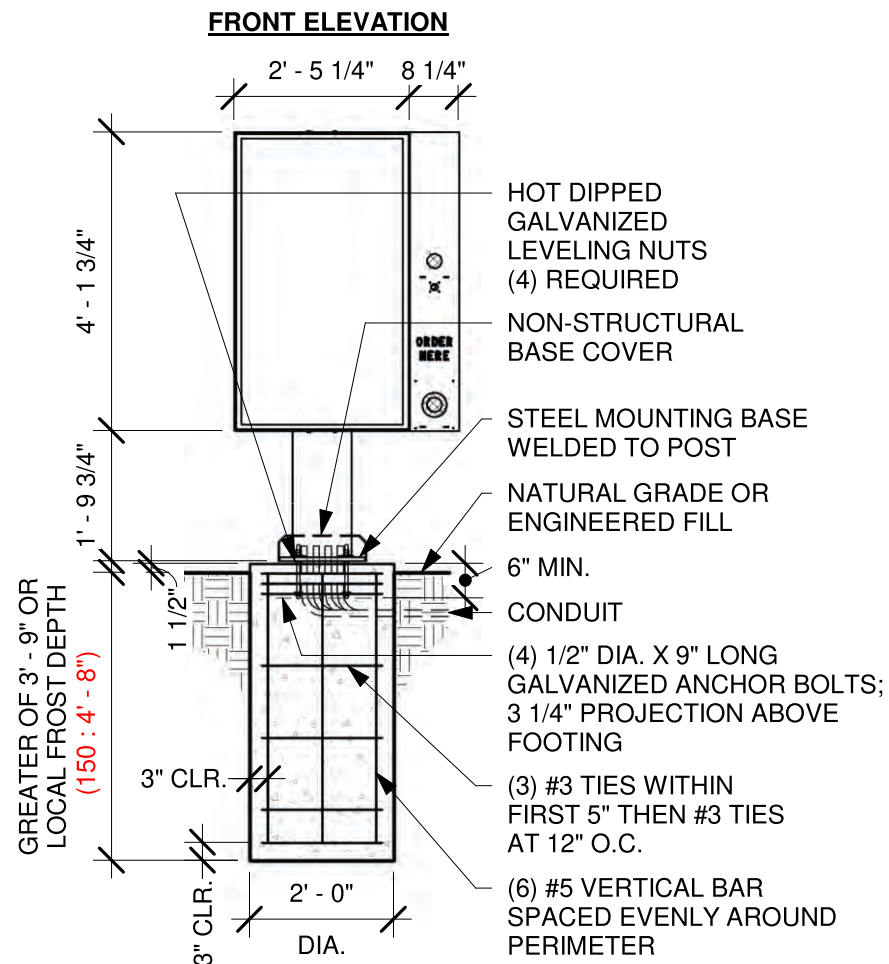
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DOS - INSTALL ONLY Note: - All steel shall be galvanized

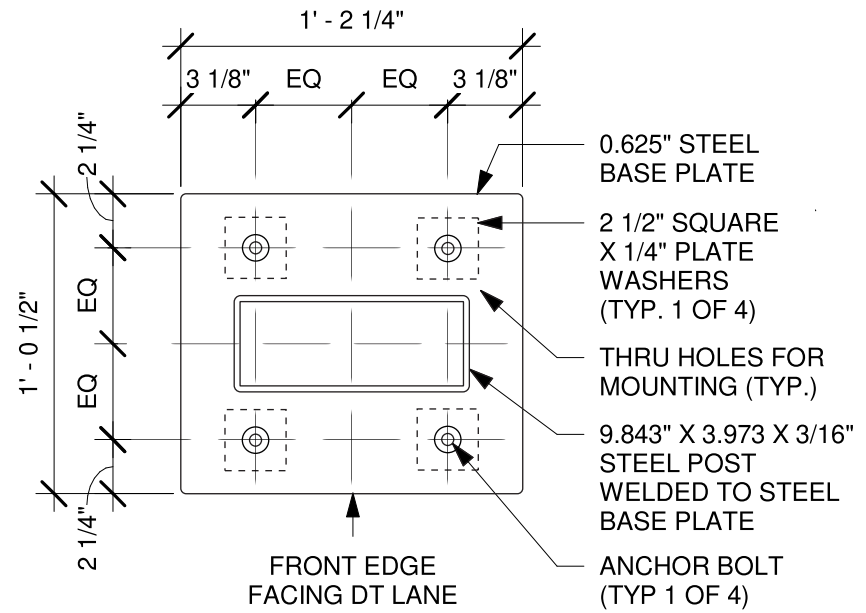
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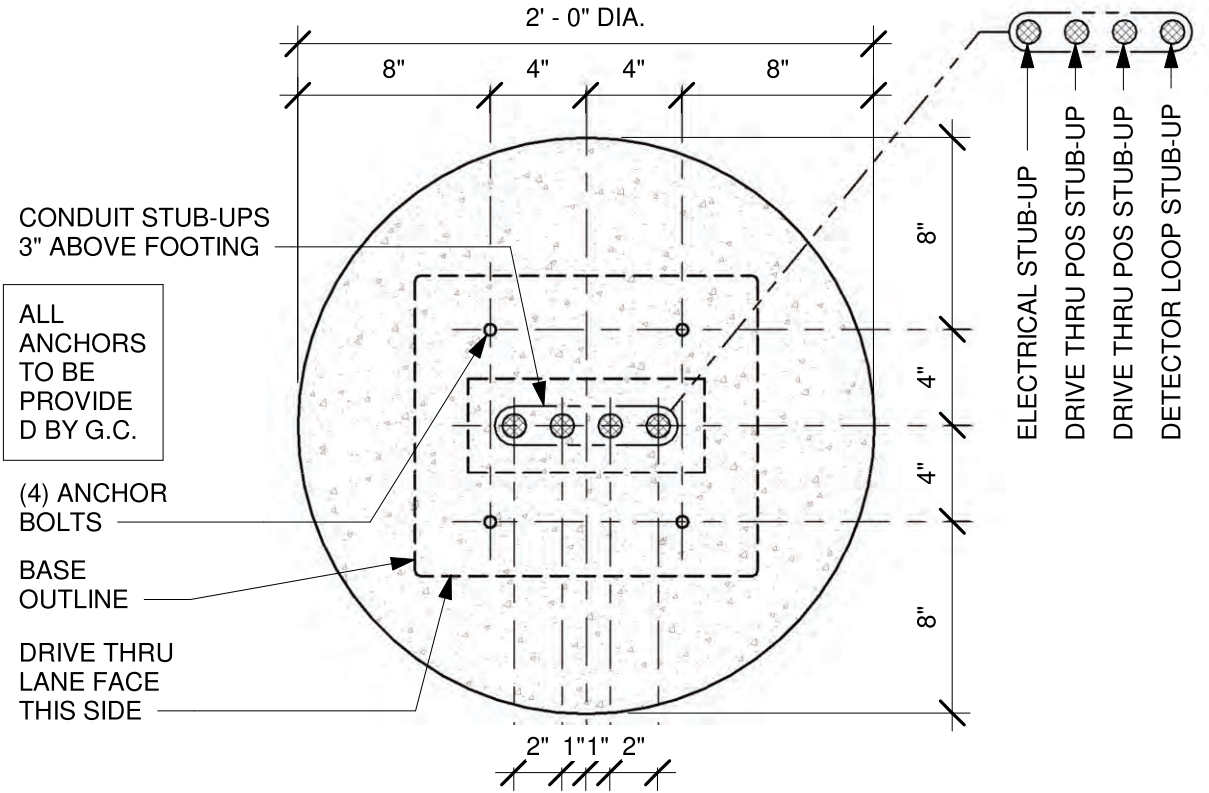
DT DIGITAL ORDER SCREEN POST GROUND FOOTING

Scale: 3/8" = 1'-0"



BASE PLATE

Scale: 1 1/2" = 1'-0"



BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"

QID 22-60813

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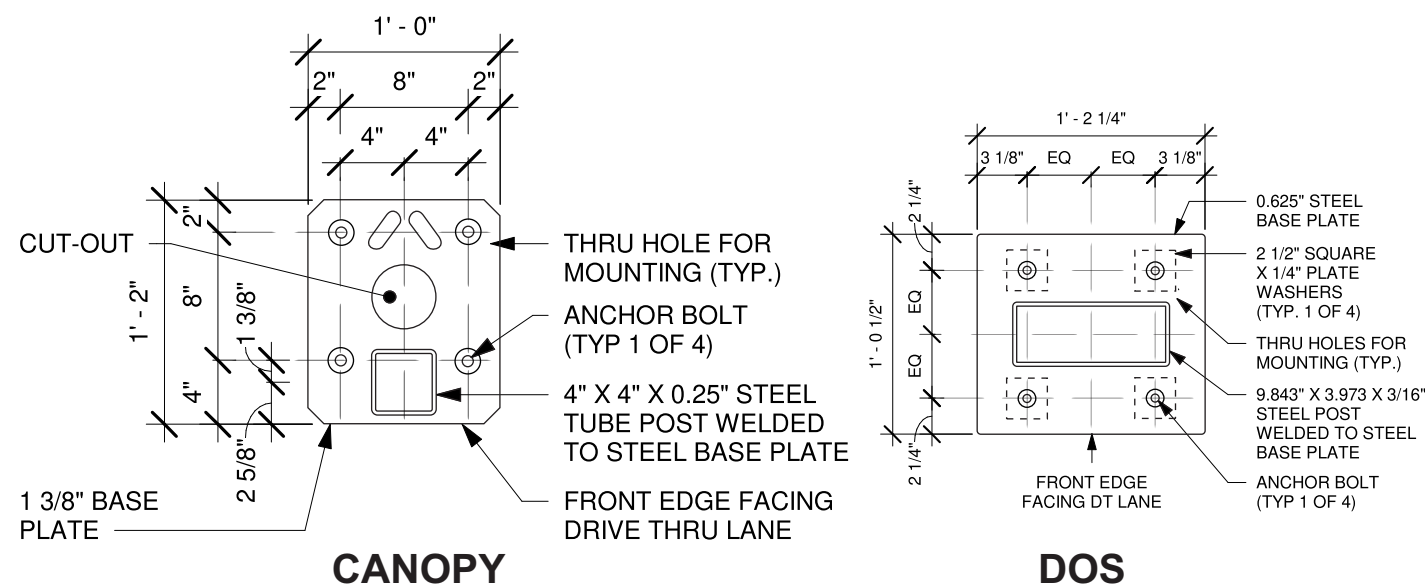
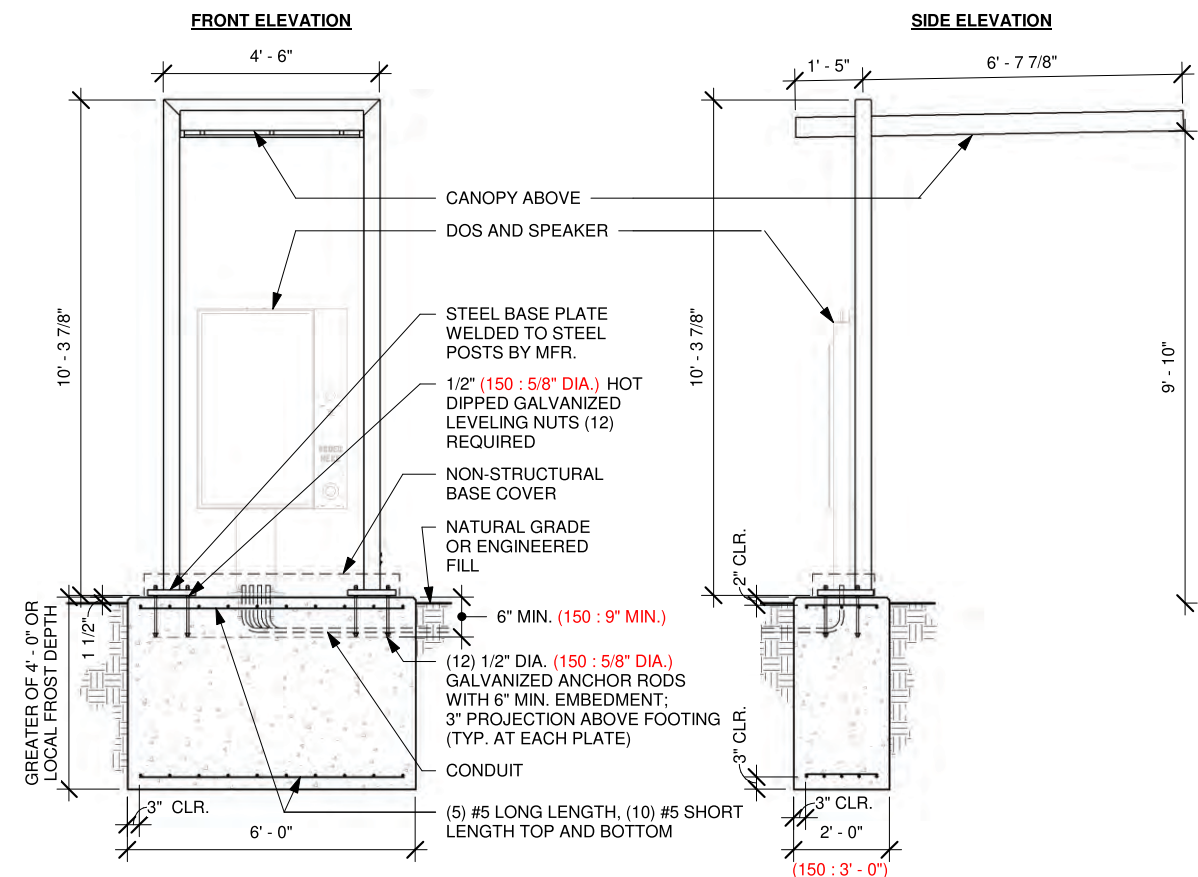
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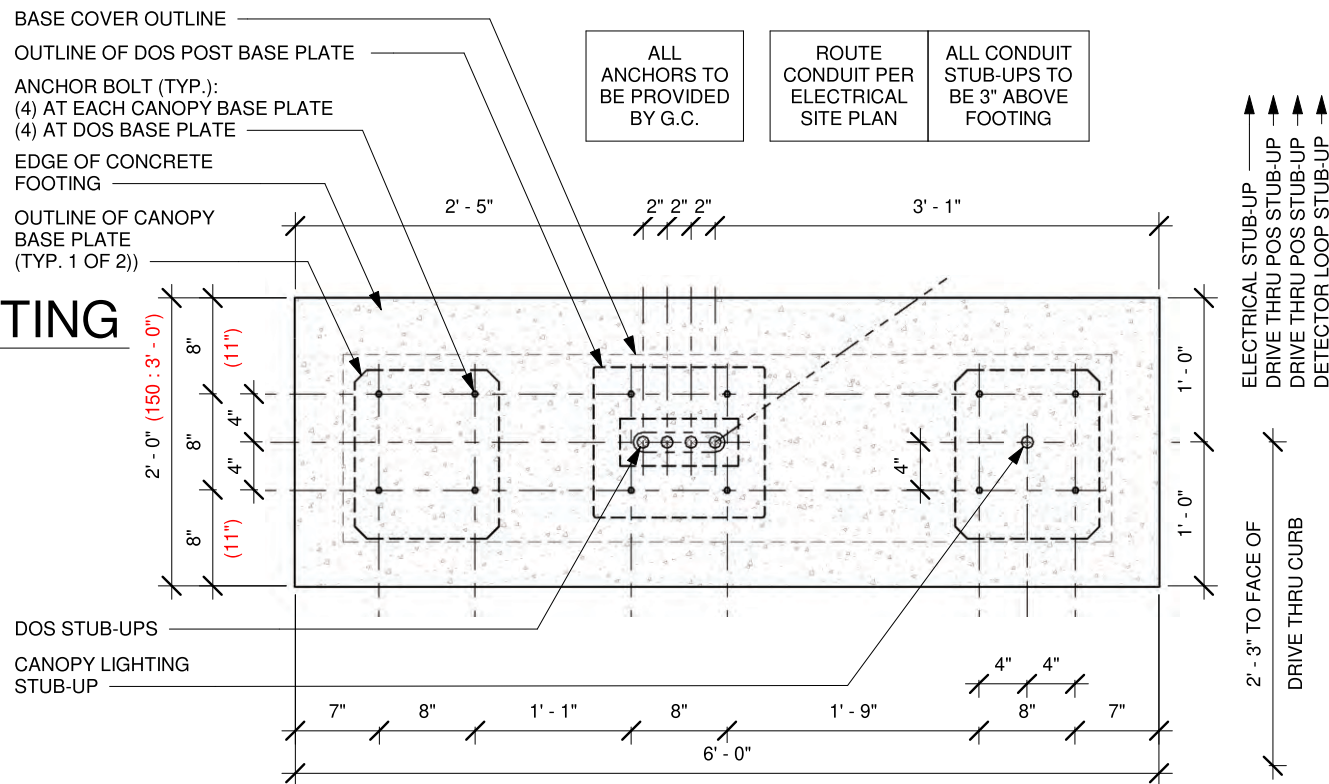
CANOPY - INSTALL ONLY

Qty. 1



BASE PLATE

Scale: 1" = 1'-0"



BOLT PATTERN (TOP VIEW)

scale: 3/4" = 1'

DT DIGITAL ORDER SCREEN CANOPY GROUND FOOTING

scale: 1/4" = 1'



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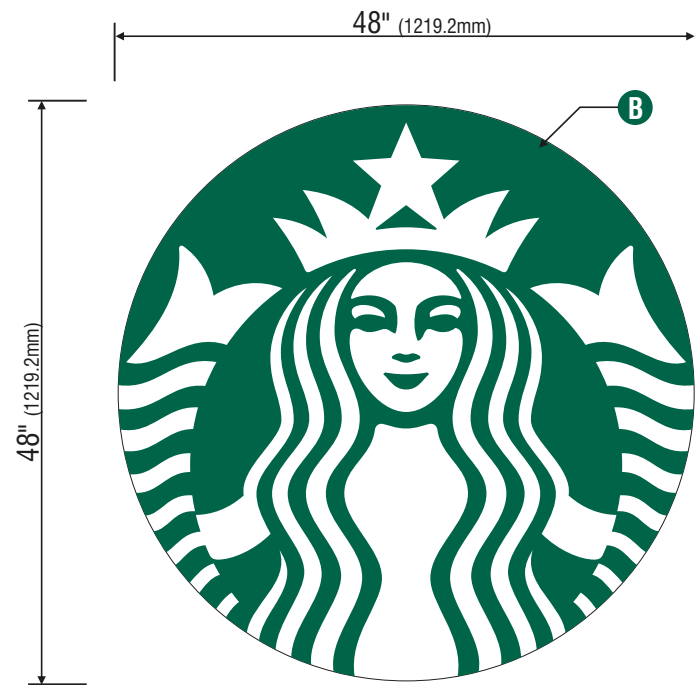


48" ILLUMINATED SIREN REPLACEMENT FACE

Qty. 1

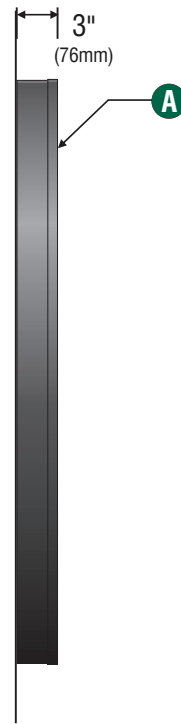
SBC-RF-48"

F



1 Front View

Scale: 3/4" = 1'-0" (11X17 Paper)



2 Side View

SPECIFICATIONS:

A Single faced internally illuminated wall mount logo disk. Faces to be 3/16" (5mm) White acrylic.

1" black trimcap with square head screws retainer edging.

B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.

**NOTE: HILTON TO REPLACE FACE ONLY
EXISTING HOUSING/ SIDE PANELS WILL REMAIN**

wall mount EVOLVED		
Size	Sq.Ft.	Volts
48" (1219.2mm)	12.56	120

COLOR LEGEND	
PMS/PAINT	VINYL
PMS 3425 C	3M 3630-76
RAL 7021M	3M 3630-22
PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
PMS 369 C	NA
REFL. WHITE	3M 680-10

117

HILTONDISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

QID 22-60813

JOB NAME

Starbucks 2670

LOCATION

284 N Jacob Dr
Bloomington IN 47404

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Ashley Smith

DWG. DATE

4-29-22

REV. DATE / REVISION

5-19-22/AS

5-24-22/AS

6-2-22/AS

6-28-22/AS

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Bloomington IN/ 22-60813/
SB Bloomington IN 22-60813

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

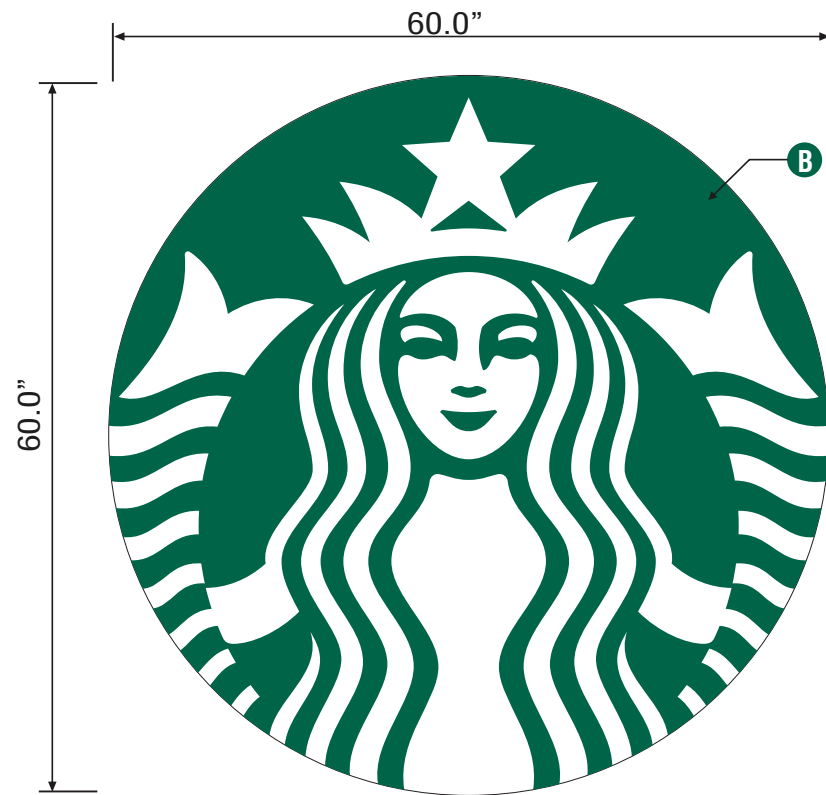


60" ILLUMINATED SIREN REPLACEMENT FACE

Qty. 1

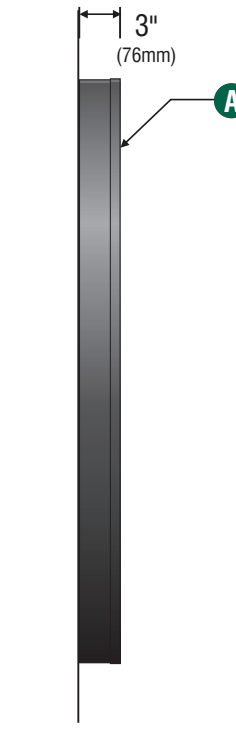
SBC-RF-60"

G



1 Front View

Scale: 3/4" = 1'-0" (11X17 Paper)



2 Side View

SPECIFICATIONS:

A Single faced internally illuminated wall mount logo disk. Faces to be 3/16" (5mm) White acrylic.

1" black trimcap with square head screws retainer edging.

B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.

NOTE: HILTON TO REPLACE FACE ONLY EXISTING HOUSING/ SIDE PANELS WILL REMAIN

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

118

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SCALE

As Noted

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SB Bloomington IN 22-60813

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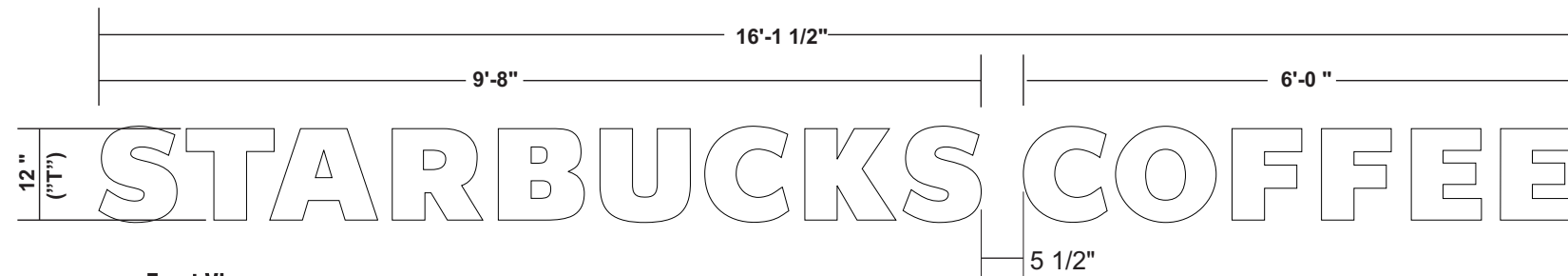


12" CHANNEL LETTER REPLACEMENT FACES

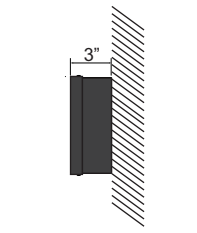
QTY:1

SBC-RF-CL-12

H



1 Front View



2 Side View

Scale: 1/2" = 1' (11x17 Paper)

SPECIFICATIONS

A Faces to be 3/16" White acrylic with 1" Black trimcap.

**NOTE: HILTON TO REPLACE FACE ONLY
EXISTING HOUSING/ SIDE PANELS WILL REMAIN**

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

119

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DWG. DATE

4-29-22

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6-28-22/AS

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