

# CITY OF BLOOMINGTON



## PLAN COMMISSION

December 12, 2022      5:30 p.m.

Council Chambers, Room #115

Hybrid Zoom Link:

<https://bloomington.zoom.us/j/81953813046?pwd=SWowSUEzMk9VeFBUV0pCQzhZQ1NaZz09>

Meeting ID: 819 5381 3046

Passcode: 754521

**CITY OF BLOOMINGTON**  
**PLAN COMMISSION (Hybrid Meeting)**  
❖City Council Chambers – Room #115  
December 12, 2022 at 5:30 p.m.

❖Virtual Link:

<https://bloomington.zoom.us/j/81953813046?pwd=SWowSUEzMk9VeFBUV0pCQzhZQ1NaZz09>

Meeting ID: 819 5381 3046      Passcode: 754521

Petition Map: <https://arcg.is/1nDCyb1>

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## **ROLL CALL**

**MINUTES TO BE APPROVED:** November 2020, December 2020, January 2021, November 14, 2022 and November 21, 2022 (Special Session)

## **REPORTS, RESOLUTIONS AND COMMUNICATIONS:**

2023 Meeting Calendar

**PETITIONS CONTINUED TO:** January 9, 2023

**SP-24-22      Cutters Kirkwood 123 LLC**  
115 E Kirkwood Ave  
Request: Major site plan approval to construct a 4-story building with 3 floors of residential units over a ground floor parking garage and retail space in the MD-CS zoning district. The upper floors will consist of 15 dwelling units for a total of 38 beds.  
*Case Manager: Karina Pazos*

## **CONSENT AGENDA:**

**SP-54-22      Warren Witt, Hamburg Place (Chipolte)**  
3151 W 3<sup>rd</sup> Street  
Request: Site plan approval to allow the construction of a 2,411 sq. ft. restaurant in the Mixed-Use Corridor (MC) zoning district.  
*Case Manager: Eric Greulich*

## **PETITIONS:**

**PUD/DP-24-21      Robert V Shaw**  
N Prow Road: 3500 block of N Hackberry Street  
Request: Petitioner requests Final Plan and Preliminary Plat amendment for Ridgefield PUD and Subdivision Section V.  
*Case Manager: Jackie Scanlan*

*\*\*Next Meeting January 9, 2023*

**Last Updated: 12/9/2022**

*Auxiliary aids for people with disabilities are available upon request with adequate notice.*

*Please call [812-349-3429](tel:812-349-3429) or e-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

## 2023 Hearing Officer Schedule

Meetings of the Hearing Officer occur on every other Wednesday. All Hearing Officer meetings take place in the Kelly Conference Room and begin at 2:00 pm unless otherwise announced. All meetings will also be held via Zoom until further notice. \*Date changed due to holiday.

Filing Deadline	Notice Mailing Deadline	Hearing Date
12/12/2022	12/23/2022*	1/4/2023
12/23/2022	1/8/2023	1/18/2023
1/9/2023	1/22/2023	2/1/2023
1/23/2023	2/5/2023	2/15/2023
2/6/2023	2/19/2023	3/1/2023
2/20/2023	3/5/2023	3/15/2023
3/6/2023	3/19/2023	3/29/2023
3/20/2023	4/2/2023	4/12/2023
4/3/2023	4/16/2023	4/26/2023
4/17/2023	4/30/2023	5/10/2023
5/1/2023	5/14/2023	5/24/2023
5/15/2023	5/28/2023	6/7/2023
5/30/2023*	6/11/2023	6/21/2023
6/12/2023	6/25/2023	7/5/2023
6/26/2023	7/9/2023	7/19/2023
7/10/2023	7/23/2023	8/2/2023
7/24/2023	8/6/2023	8/16/2023
8/7/2023	8/20/2023	8/30/2023
8/21/2023	9/3/2023	9/13/2023
9/5/2023*	9/17/2023	9/27/2023
9/18/2023	10/1/2023	10/11/2023
10/2/2023	10/15/2023	10/25/2023
10/16/2023	10/29/2023	11/8/2023
10/30/2023	11/12/2023	11/22/2023
11/13/2023	11/26/2023	12/6/2023
11/27/2023	12/10/2023	12/20/2023

## 2023 Plat Committee Schedule

Meetings of the Plat Committee occur on the same days as Plan Commission hearings. All Plat Committee meetings take place in the Kelly Conference Room and begin at 4:00 pm unless otherwise announced. All meetings will also be held via Zoom until further notice. \*Date changed due to holiday.

Pre-Submittal Meeting	Filing Deadline	Notice Mailing Deadline	Hearing Date
11/23/2022*	12/13/2022	12/30/2022	1/9/2023
12/22/2022	1/10/2023	1/27/2023	2/6/2023
1/19/2023	2/7/2023	2/24/2023	3/6/2023
2/23/2023	3/14/2023	3/31/2023	4/10/2023
3/30/2023	4/18/2023	5/5/2023	5/15/2023
4/27/2023	5/16/2023	6/2/2023	6/12/2023
5/25/2023	6/13/2023	6/30/2023	7/10/2023
6/29/2023	7/18/2023	8/4/2023	8/14/2023
7/27/2023	8/15/2023	9/1/2023	9/11/2023
8/24/2023	9/12/2023	9/29/2023	10/9/2023
9/21/2023	10/10/2023	10/27/2023	11/6/2023
10/26/2023	11/14/2023	12/1/2023	12/11/2023

City of Bloomington  
Planning & Transportation  
Department

# MEETING SCHEDULE AND PROJECT DEADLINES 2023



CITY OF BLOOMINGTON  
John Hamilton, Mayor

November 17, 2022

# Meeting Schedule and Project Deadlines

## Process

All persons seeking approval for a site plan, subdivision, rezoning, Planned Unit Development, or variance are encouraged to contact the City Planning and Transportation Department as early as possible to schedule a pre-application meeting. This meeting is required and must occur by the deadline listed in this schedule.

Following the pre-application meeting with Planning and Transportation staff, the project will be scheduled for DRC review. Once an application has been filed, the deadline for submitting any revisions or additional information to staff is two weeks prior to the Plan Commission or BZA hearing, or as specifically noted in this schedule.

## Development Review Committee

The Development Review Committee (DRC) was created to ensure a development review process that is fair, certain in timing, coordinated among reviewing departments, and thorough in its scope of review. The DRC is made up of representatives of a variety of City of Bloomington departments and other local agencies, including: Bloomington Transit, Economic and Sustainable Development, Engineering, Fire Department, Housing and Neighborhood Development, Indiana Department of Transportation, Legal, Monroe County Community School Corporation, Office of the Mayor, Parks and Recreation, Planning and Transportation, Police, Public Works, and Utilities.

## Schedule

Meetings of the DRC occur approximately every four weeks. All DRC meetings take place via Zoom and begin at 1:30 pm, unless otherwise announced. Attendance by petitioner or representative is required. Plans for DRC must be submitted on the Thursday before the meeting, before 5pm.

# 2023 Plan Commission Schedule

Please schedule filing meetings with the case manager 48 hours prior to the filing date. Plan Commission meetings take place in the City Council Chambers and begin at 5:30 pm unless otherwise announced. All meetings will also be held via Zoom until further notice. \*Date changed due to holiday.

Pre-Submittal Meeting Deadline	DRC Meeting	Filing Deadline	Final Revision Deadline	Notice Mailing Deadline	Hearing Date
11/17/2022	11/29/2022	12/5/2022	12/27/2022	12/30/2022	1/9/2023
12/15/2022	12/27/2022	1/2/2023	1/23/2023	1/27/2023	2/6/2023
1/12/2023	1/24/2023	1/30/2023	2/20/2023	2/24/2023	3/6/2023
2/16/2023	2/28/2023	3/6/2023	3/27/2023	3/31/2023	4/10/2023
3/23/2023	4/4/2023	4/10/2023	5/1/2023	5/5/2023	5/15/2023
4/20/2023	5/3/2023*	5/8/2023	5/30/2023*	6/2/2023	6/12/2023
5/18/2023	5/30/2023	6/5/2023	6/26/2023	6/30/2023	7/10/2023
6/22/2023	7/5/2023*	7/10/2023	7/31/2023	8/4/2023	8/14/2023
7/20/2023	8/1/2023	8/7/2023	8/28/2023	9/1/2023	9/11/2023
8/17/2023	8/29/2023	9/5/2023*	9/25/2023	9/29/2023	10/9/2023
9/14/2023	9/26/2023	10/2/2023	10/23/2023	10/27/2023	11/6/2023
10/19/2023	10/31/2023	11/6/2023	11/27/2023	12/1/2023	12/11/2023

# 2023 Board of Zoning Appeals Schedule

All Board of Zoning Appeals meetings take place in the City Council Chambers and begin at 5:30 pm unless otherwise announced. All meetings will also be held via Zoom until further notice. \*Date changed due to holiday.

Pre-Submittal Meeting Deadline	Filing Deadline	Final Revision Deadline	Notice Mailing Deadline	Hearing Date
12/15/2022	12/22/2022	1/5/2023	1/9/2023	1/19/2023
1/19/2023	1/26/2023	2/9/2023	2/13/2023	2/23/2023
2/16/2023	2/23/2023	3/9/2023	3/13/2023	3/23/2023
3/16/2023	3/23/2023	4/6/2023	4/10/2023	4/20/2023
4/20/2023	4/27/2023	5/11/2023	5/15/2023	5/25/2023
5/18/2023	5/25/2023	6/8/2023	6/12/2023	6/22/2023
6/15/2023	6/22/2023	7/6/2023	7/10/2023	7/20/2023
7/20/2023	7/27/2023	8/10/2023	8/14/2023	8/24/2023
8/17/2023	8/24/2023	9/7/2023	9/11/2023	9/21/2023
9/14/2023	9/21/2023	10/5/2023	10/9/2023	10/19/2023
10/12/2023	10/19/2023	11/2/2023	11/6/2023	11/16/2023
11/16/2023	11/22/2023*	12/7/2023	12/11/2023	12/21/2023

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 3151 W. 3<sup>rd</sup> Street**

**CASE #: SP-54-22  
DATE: December 12, 2022**

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**PETITIONER:** Warren Witt (Chipotle)  
PO Box 12128, Lexington, KY

**CONSULTANTS:** Bynum Fanyo & Associates, Inc  
528 N. Walnut St., Bloomington

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**REQUEST:** The petitioner is requesting major site plan approval to allow for the construction of a 2,411 square foot restaurant in the Mixed-Use Corridor (MC) zoning district.

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**BACKGROUND:**

**Area:** 0.7 acres  
**Zoning:** Mixed-Use Corridor (MC)  
**Comp Plan Designation:** Regional Activity Center  
**Existing Land Use:** Vacant  
**Proposed Land Use:** Restaurant  
**Surrounding Uses:** North – Commercial  
West – Commercial  
East – Interstate 69  
South – Commercial

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**REPORT:** This 30,000 sq. ft. (0.7 acre) property is located at 3151 W. 3<sup>rd</sup> Street and is zoned Mixed-Use Corridor (MC). The property is developed with a 3,400 square foot restaurant that is vacant. Surrounding properties are all zoned Mixed-Use Corridor (MC) and have been developed with a mix of restaurant and retail uses. This site is accessed from and is within the Whitehall Plaza shopping center. The site is bordered by 3<sup>rd</sup> Street/State Road 48 to the north and Interstate 69 to the east. The elevation of the site is approximately 20' below the top of road of 3<sup>rd</sup> Street. There are no known sensitive environmental features on the site. There is a 12" public water line and 15' easement that runs through the north and east sides of the property.

The petitioner is proposing to remove the current structure and construct a new 2,411 square foot building for a Chipotle restaurant. With the new construction there would be a parking area with a proposed 21 parking spaces on the east side of the site and a drive-thru, pickup lane on the west side of the building. The parking area and drive thru lanes will be accessed from the existing internal private drives. The parking and drive-thru lanes are proposed to be connected by a paved driveway that would be between the building and 3<sup>rd</sup> Street to the north. No drivecuts on 3<sup>rd</sup> Street are proposed nor would be allowed by the Indiana Department of Transportation. The proposed project would require the site to come into full compliance with the development standards of the UDO including new landscaping, bike racks, and lighting. The Board of Zoning Appeals approved a package of variances (V-28-22) from maximum number of parking spaces, pedestrian entry standards, and front parking setbacks to allow the driveway between the building and 3<sup>rd</sup> Street.

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**MAJOR SITE PLAN REVIEW 20.06.050(a)(2)(C)(ii):** Major site plan approval is required for developments within 500', measured radially, from the centerline of State Road 37/Interstate 69. This proposed project is immediately adjacent to Interstate 69 which runs along the eastern portion of this site.

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**DEVELOPMENT STANDARDS & INCENTIVES 20.04:** The following UDO standards are required to be reviewed for all activities that require New Development approval.

**MC Dimensional Standards:**

**Building setbacks:** The minimum front building setbacks are 60 feet from the centerline of 3<sup>rd</sup> Street to the north and 15' from the property line to the east (I-69), the side building setback is 7' (west and south). The proposed site plan meets these standards.

**Front parking setback (minimum):** The minimum front parking setback is 20 feet behind the primary structure's front building wall. A variance was granted to allow the driveway on the north side of the building between the building and the street. The parking spaces would be located 20' behind the front of the building facing 3<sup>rd</sup> Street. Interstate 69 is not considered a front for parking setback purposes.

**Side and Rear parking setback (minimum):** The side and rear yard parking setbacks are 8' and the proposed site plan meets that standard.

**Minimum Landscape Area (minimum):** The minimum landscape area required is 40% and they are proposing 45%, which meets this minimum standard.

**Primary structure height:** The maximum height is four (4) stories not to exceed 50 feet. The proposed building is one story and 29'4" tall.

**Environment:** The property does not have any naturally occurring environmentally sensitive areas.

**Steep Slopes:** No naturally occurring steep slopes are present.

**Siltation and erosion prevention:** An erosion control plan has been submitted as part of the proposal and will be reviewed with the grading permit. Additionally, a Grading Permit will be required before development can begin on the property. There are no expected siltation or erosion control issues expected with this proposal.

**Drainage:** A grading and drainage plan has been submitted and will be approved with the grading permit. No on-site stormwater detention has been required from CBU. A copy has also been submitted to City of Bloomington Utilities for their review and approval from CBU is required prior to issuance of a grading permit. There are no expected drainage issues expected with this proposal.

**Riparian Buffer:** There are no riparian buffers on the site.

**Karst Geology:** There are no known karst features on the site.

**Wetlands:** No wetlands were identified on the site.

**Tree and forest preservation:** There is no closed canopy on the site.

**Lake Watershed:** There are no watershed issues on the site.

**Floodplain:** The property is not within a regulated 100-year floodplain.

**Access and Connectivity:**

**Driveways and access:** No direct access to 3<sup>rd</sup> Street is proposed or would be allowed since this frontage is a limited access road. Access to this site will come exclusively from the internal drive and parking area.

**Bicycle and Pedestrian Facilities:** There is already a sidewalk along the 3<sup>rd</sup> Street

frontage. Although the Transportation Plan identifies this section of 3<sup>rd</sup> Street as “Urban Corridor” and would require a bike lane, there are no changes proposed to the street frontage with this petition and this section of 3<sup>rd</sup> Street is an INDOT controlled right-of-way.

**Public Transit:** The 3W Bloomington Transit line goes along this location in front of this property, however a bus stop is not desired along this frontage and is therefore not required.

**Parking and Loading:** The petitioner is proposing 21 parking spaces and a variance (V-28-22) was approved to allow the 21 parking spaces since this exceeds the 10 spaces that would be allowed based on the 1,000 square feet of indoor dining space. A total of 6 bicycle parking spaces are required and have been shown adjacent to the entrance on the east side of the building. A variance was also approved to allow the driving lane between the building and the street.

### **Site and Building Design:**

**Material:** The primary exterior finishing material consists of brick and cementitious panels. The secondary building material along the top of the building is EIFS. The building will have a flat roof, which is allowed. All of the proposed finishing materials are allowed and the EIFS does not exceed the maximum 20% that is allowed.

**Exterior Facade:** The petitioner has incorporated a mixture of awnings, change in building height a minimum of 5’, and wall elevations and projections that are a minimum of 3% of the building width along all four sides. The proposed façade elevations all meet the requirements of the UDO.

**Patterns:** A mixture of horizontal and vertical siding elements have been shown as well as building modules to incorporate a variety of design elements and patterns. There are three different colors used on the facades.

**Eaves & Roof:** The building will have a flat roof which is allowed.

**360-Degree Architecture:** All four sides of the building show similar architecture and design elements. The building meets the 360 degree architecture requirements.

**Primary Pedestrian Entry:** A variance was approved to not require a pedestrian entrance and sidewalk connection on the north side of the building facing 3<sup>rd</sup> Street. The pedestrian entrance shown on the south side of the building meets the pedestrian entry requirements through the incorporation of building pilasters around the entry, a covered awning, prominent building address, and lighting on the sides of the entry.

**Windows on Primary Facades:** All proposed windows on the building are shown to be transparent and therefore are in compliance.

**Anti-monotony Standards:** Not applicable.

**Landscape, Buffering, and Fences:** No buffer yard is required along the property borders. The UDO requires that parking lots with 12 or more parking spaces provide one landscape bumpout, island, or endcap per every 10 parking spaces. There are 21 parking spaces and two landscape bumpouts are required. There are two bumpouts shown at the north end of the parking areas with a large canopy tree in each and this meets the bumpout requirements. There are 11 spaces in a row along the east side of the parking area and an interior island is required so that there are not more than 10 spaces in a row. A condition of approval has been added to that effect. Based on the 21 parking spaces, there are 6 interior large, canopy trees required, however there are only 3 trees shown. An additional 3 large, canopy trees are required within 10’ of the parking areas and a condition of approval has been included to that effect. Based on the 21 parking spaces, there are 63 shrubs required within 5’ of the parking areas and 66 have been shown which meets the parking lot landscaping requirement. The proposed landscape plan also meets the interior site landscaping

requirements.

**Outdoor Lighting:** A lighting and photometric plan will have to be submitted which shows that the site meets UDO requirements for maximum light trespass and fixture types during the grading permit review process. No deviations from the lighting code are expected. A condition of approval has been added.

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**SITE PLAN REVIEW:** The Plan Commission shall review the major site plan petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision ), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).

**20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** The proposed site plan is compliant with all of the standards of the UDO. There are no other known applicable regulations that would pertain to this site plan. No problems have been identified with meeting all stormwater and utility connections. The proposed site plan is consistent with the approved variances and there are no other known prior approvals that would apply to this site.

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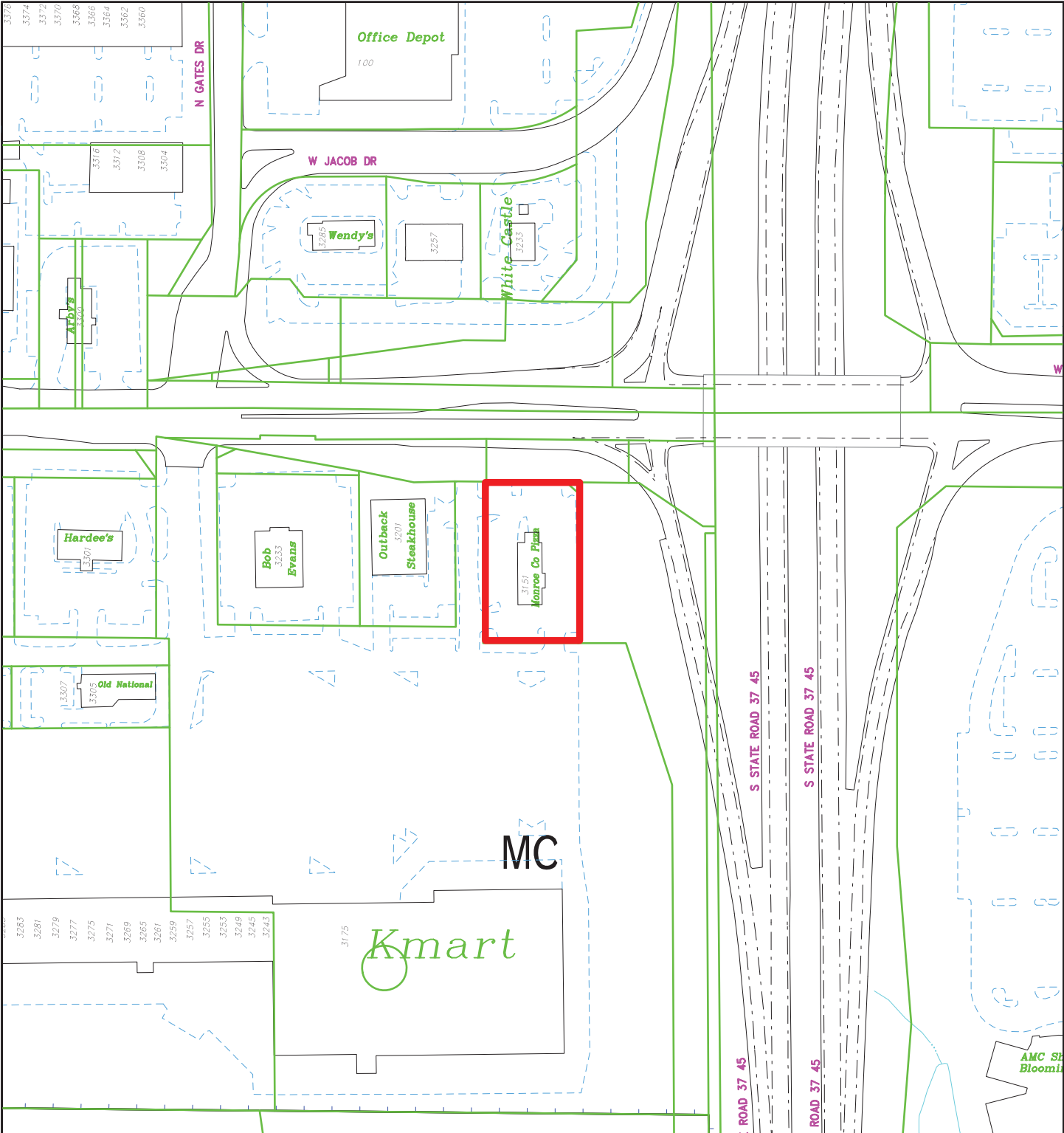
**CONCLUSION:** The proposed site plan meets all of the requirements of the Unified Development Ordinance. The development of this property will allow for the removal of a vacant building and allow for construction of a new restaurant building.

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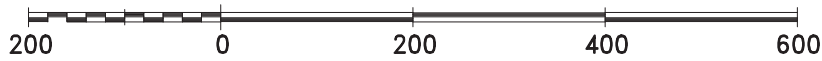
**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plan Commission adopt the proposed findings and approve SP-54-22 with the following conditions:

- 1. Approved per terms and conditions of Board of Zoning Appeals case #V-28-22.
- 2. A compliant lighting plan must be submitted and approved before a grading permit will be issued.
- 3. An additional 3 large, canopy trees are required within 10' of the parking areas to meet the minimum 6 large, canopy tree parking lot landscaping requirement.



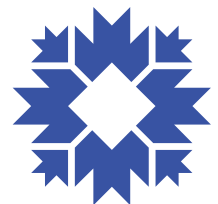


By: greulice  
16 Sep 22

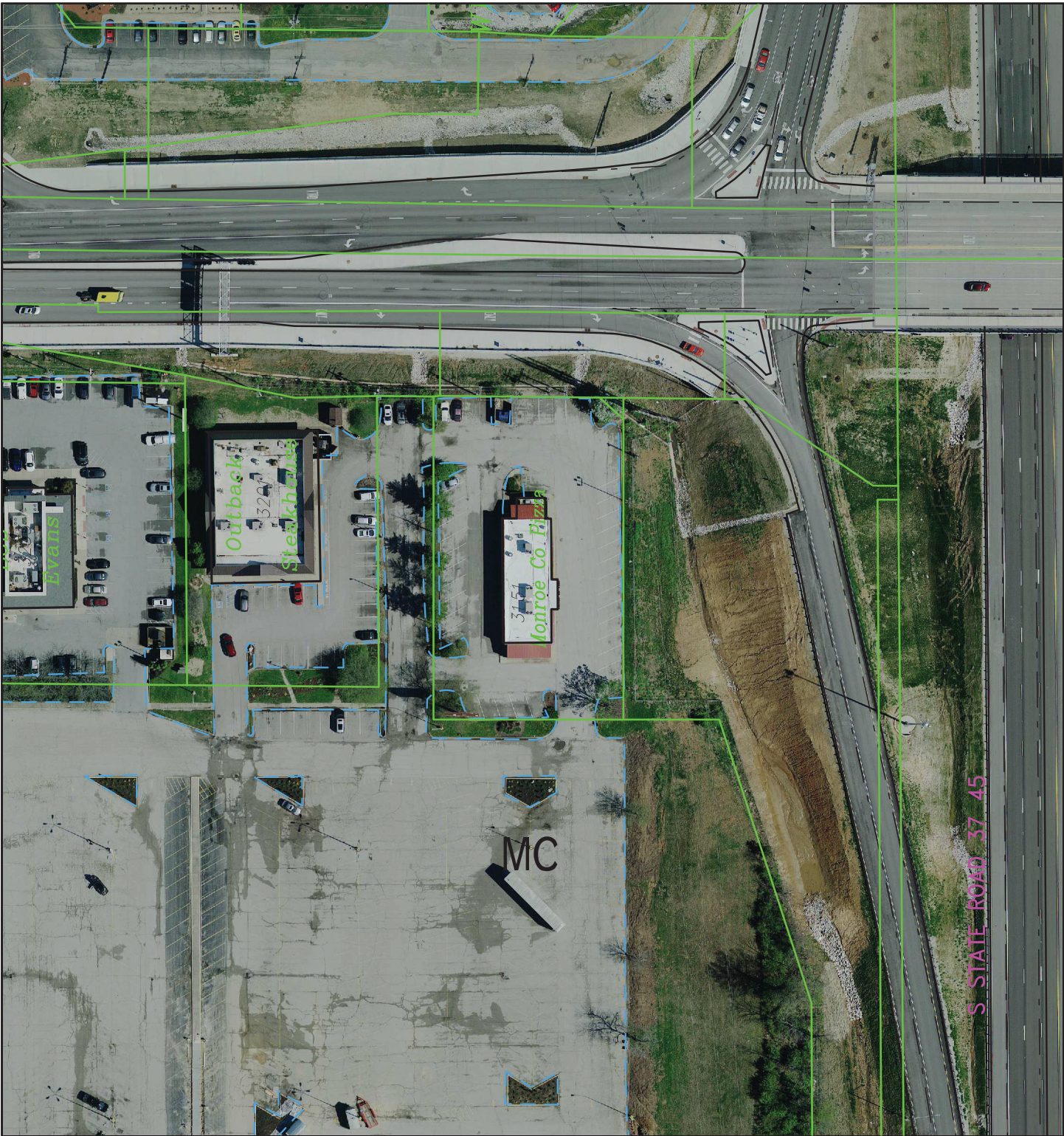


For reference only; map information NOT warranted.

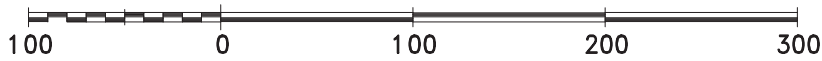
City of Bloomington  
Planning



Scale: 1" = 200'

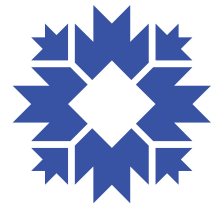


By: greulice  
16 Sep 22



For reference only; map information NOT warranted.

City of Bloomington  
Planning



Scale: 1" = 100'



BYNUM FANYO & ASSOCIATES, INC.

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

November 7, 2022

Eric Greulich  
City of Bloomington Planning Department  
401 N. Morton Street  
Bloomington, Indiana 47404

RE: Chipotle Restaurant (Hamburg Place) Site  
Final Site Plan Approval Petitioner's Statement

Eric Greulich or To Whom It May Concern:

Our client, Hamburg Place, respectfully request final site plan approval for the referenced project and to be placed on the next Plan Commission agenda for the plan to be approved by the Plan Commission members.

**Project Narrative:**

The proposed development is at 3151 West 3<sup>rd</sup> Street, Bloomington, IN 47404. It consists of reusing an existing restaurant site but constructing one (1) new structure with new associated parking and pedestrian walks. This proposed development will contain 21 parking spaces and 3 bike racks for alternate transportation. The total square footage for the site's structure is 2,411. The grading will match the existing drainage patterns. The total project site is 0.70 acres. The proposed site impervious area is 55% after the proposed building and improvements have been constructed. This is less impervious area than what the site currently contains. The entire site is within the City's 'MC' zoning boundary.

This proposed development has already received a pedestrian access and drive setback at the City of Bloomington BZA. No other variances from the City UDO are needed or anticipated for this site plan approval.

After you have had a chance to review our petition, please feel free to contact us at anytime questions regarding our submission.

Sincerely,  
Bynum Fanyo & Associates, Inc.

Daniel Butler, P.E., Project Engineer

Copy: BFA File #402210

528 NORTH WALNUT STREET  
812-332-8030

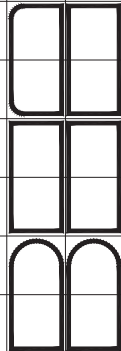
BLOOMINGTON, INDIANA 47404  
FAX 812-339-2990

# PROPOSED: Chipolte Restaurant

3151 WEST THIRD STREET  
BLOOMINGTON, IN 47404

### UTILITY CONTACT INFORMATION

<b>GAS</b>	<b>SEWER AND WATER</b>	<b>ELECTRIC</b>
INDIANA GAS INDIANAPOLIS, IN INDIANAPOLIS, IN 46202	CITY OF BLOOMINGTON UTILITIES INDIANAPOLIS, IN 47404	DOMESTIC INDIANAPOLIS, IN 46202
0006 ANDERSON (812) 334-4009	INDIANAPOLIS, IN 47404	INDIANAPOLIS, IN 46202
AMT	INDIANAPOLIS, IN 47404	INDIANAPOLIS, IN 46202
INDIANAPOLIS, IN 47404	INDIANAPOLIS, IN 47404	INDIANAPOLIS, IN 46202
INDIANAPOLIS, IN 47404	INDIANAPOLIS, IN 47404	INDIANAPOLIS, IN 46202



**BYNUM FANYO & ASSOCIATES, INC.**  
528 North Walnut Street  
Bloomington, Indiana 47404 (812) 332-8030

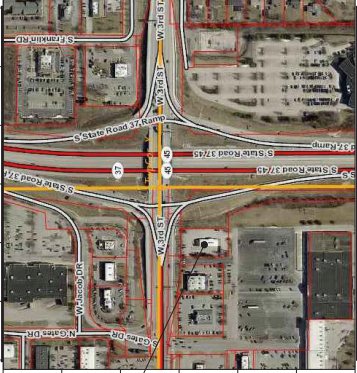
OWNER/DEVELOPER:  
HAMBURG PLACE  
P.O. BOX 12128  
LEXINGTON, KY 40560

THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF  
TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL  
DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD  
SPECIFICATIONS IS TO BE USED WITH THESE PLANS

Certified By:

JEFFREY S. FANYO, P.E.  
IND. REG. NO. 18283

Revisions



VICINITY/LOCATION MAP  
(NOT TO SCALE)

### SHEET INDEX

SHEET NO.	SHEET NO.
C101	GENERAL NOTES & LEGENDS
C201	DEMOLITION PLAN
C301	OVERALL SITE PLAN
C401	GRADING, UTILITY & EROSION CONTROL PLAN
C501	LANDSCAPING PLAN
C601	MISCELLANEOUS DETAILS
C801	EROSION DETAILS
C802	EROSION CONTROL DETAILS



architecture  
civil engineering  
planning



revisions:

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING  
BYNUM FAY & ASSOCIATES, INC.  
528 North Walnut Street  
Bloomington, Indiana 47403  
(317) 339-2990 (fax)

verified by:

CHIPOLE RESTAURANT  
3151 W. THIRD STREET  
BLOOMINGTON, IN 47403

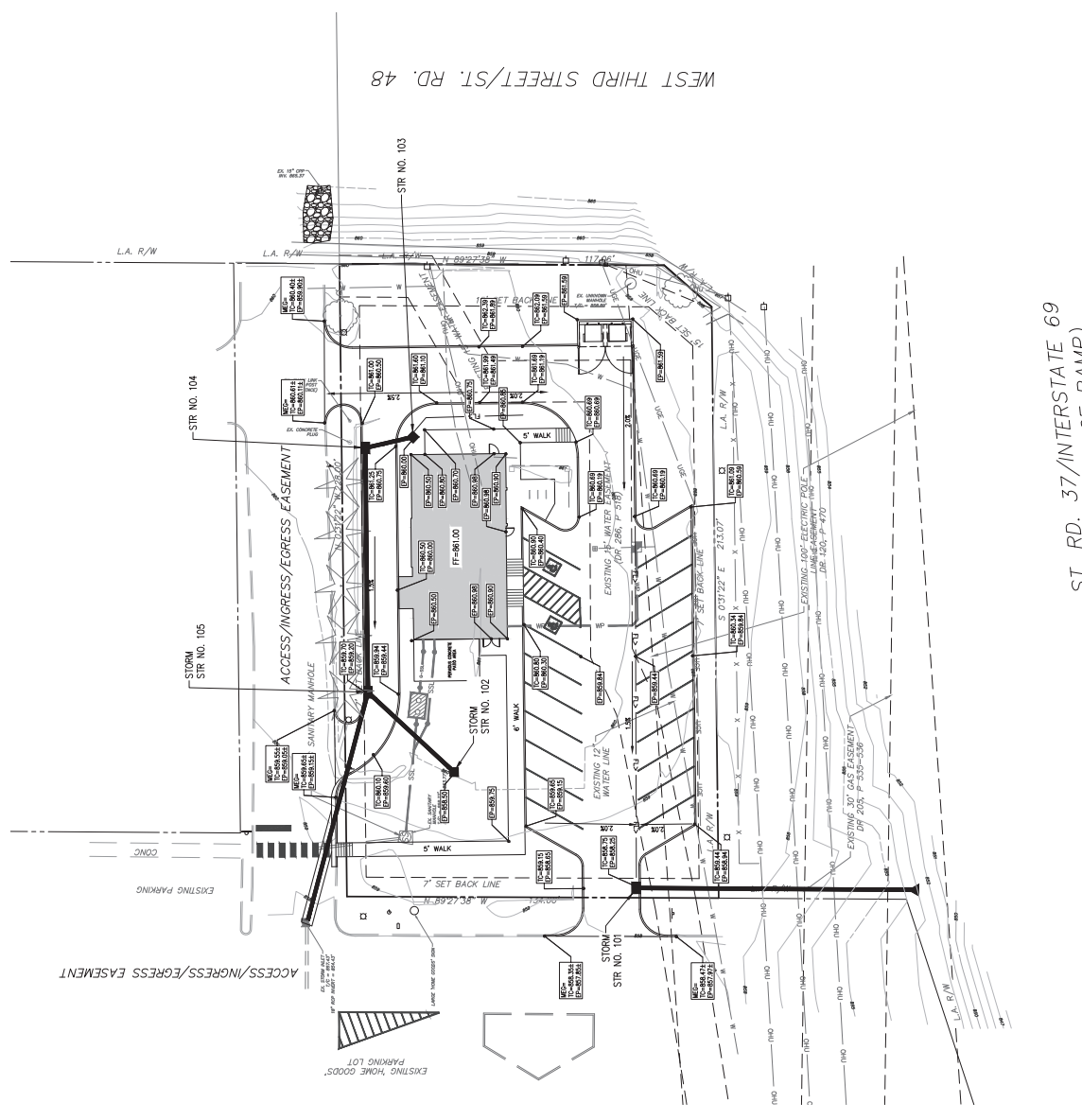
designed by: JSF  
drawn by: JMF  
checked by: JMF  
sheet no: 6401  
project no.: 40210

TITLE: SITE GRADING AND DRAINAGE PLAN

NOTE TO CONTRACTOR  
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY THE CITY OF BLOOMINGTON PRIOR TO ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO COMPLETING ELEVATIONS.

EXISTING LEGEND table with symbols for existing fence, water lines, electric lines, telephone lines, gas lines, sanitary sewer lines, and other utilities.

GRADING LEGEND table with symbols for existing contour, proposed future direction, proposed spot grade elevations, and various drainage features.



ST. RD. 37 / INTERSTATE 69 (SB ENTRANCE RAMP)

revisions:

(612) 359-2900 (Fax)	ARCHITECTURE
PLANNING	CIVIL ENGINEERING
BY:MM FAY & ASSOCIATES, INC.	DATE: 08/10/11
528 North Walnut Street	PROJECT NO.: 110300003
Bloomington, Indiana	

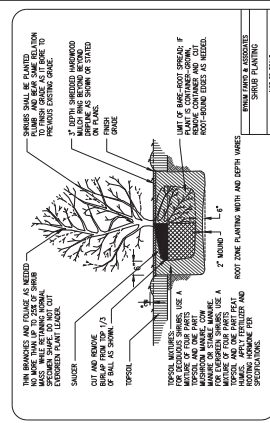
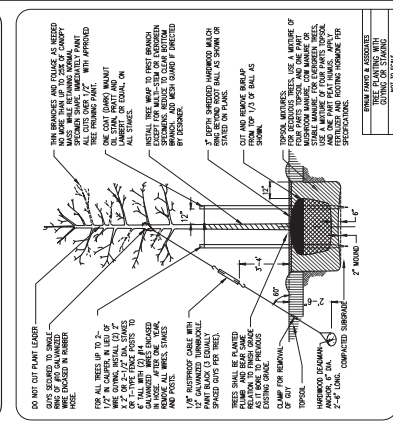
certified by:

3151 W. THIRD STREET  
BLOOMINGTON, IN 47403  
RESTAURANT  
CHIPOLTE  
110300003  
THE LANDSCAPE PLAN

designed by: JSF  
drawn by: JNF  
checked by: JNF  
sheet no.: 6501  
project no.: 402210

### PLANT LIST

LEGEND KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & CONDITION
1	ASER BIRCH	RED MAPLE	9	2" CAL. B & B
2	PRINUS SPERDIA	BLACK CHERRY	9	2" CAL. B & B
3	SMALL NERPA/MADECIDUOUS TREES			7" CAL. B & B
4	BETULA NIDA	SWAMP BIRCH	12	2" CAL. B & B
5	EVERGREEN TREES			
6	EVERGREEN TREES			
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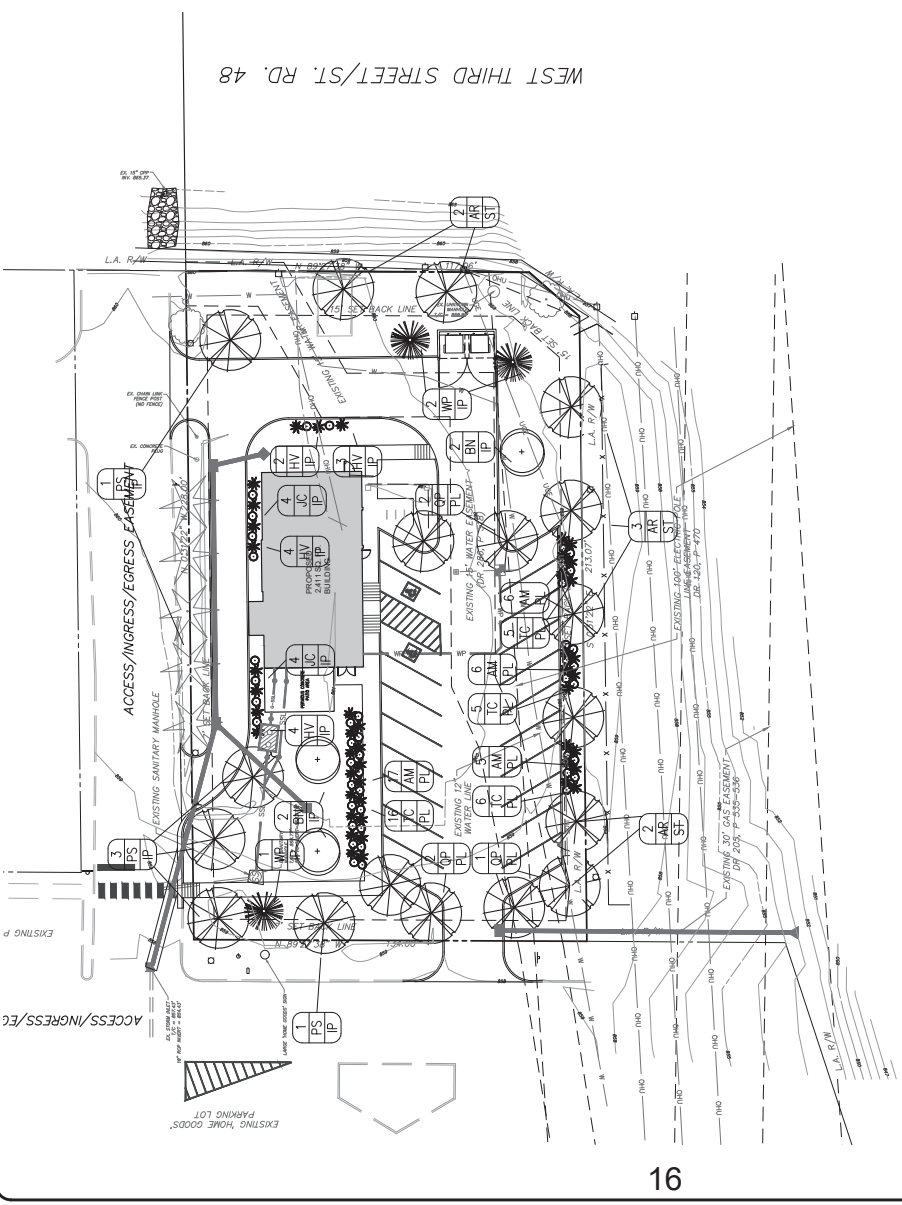
### NOTE TO CONTRACTOR

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INTERIOR LANDSCAPE CALCULATIONS  
AREA = 621 SQ. YD  
LARGE CANOPY TREES = 7  
MEDIUM CANOPY TREES = 3  
SMALLS = 19 (50' TO 60', 4' TO 6")

SHEET TREE CALCULATIONS  
ROAD RIGHT OF WAY FUTURE = 353  
(353 / 40 = 8.825) = 8 (LARGE CANOPY TREES)

FARKING LOT LANDSCAPE CALCULATIONS  
TREES = 4  
SHRUBS = 66 (31' TO 50', 3" TO 6")



ST. RD. 37/INTERSTATE 69  
(SB ENTRANCE RAMP)

**EXT. ELEV GENERAL NOTES**

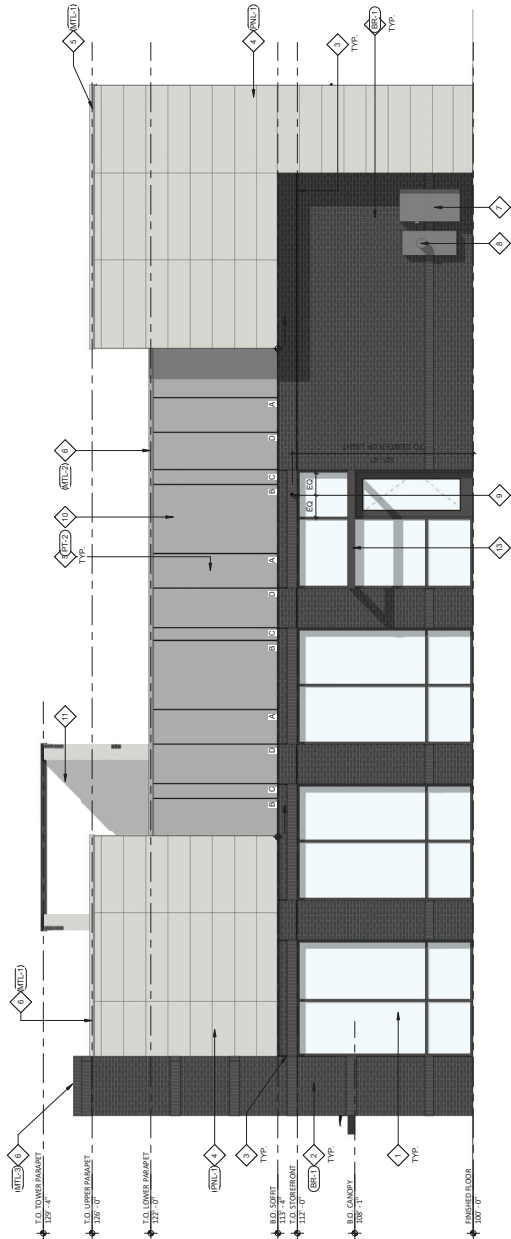
METAL CANOPY FROM AMERICAN PRODUCTS, INC. (AP) PHONE: (813) 533-5141 FAX: (813) 533-5140  
 WWW.AMERICANPRO.COM

**PANEL WIDTH LEGEND**

TYPE	PANEL SPACING REQUIREMENTS
A	SPACING TO BE 2'-0" O.C.
B	SPACING TO BE 4'-0" O.C.
C	SPACING TO BE 1'-0" O.C.
D	SPACING TO BE 2'-0" O.C.

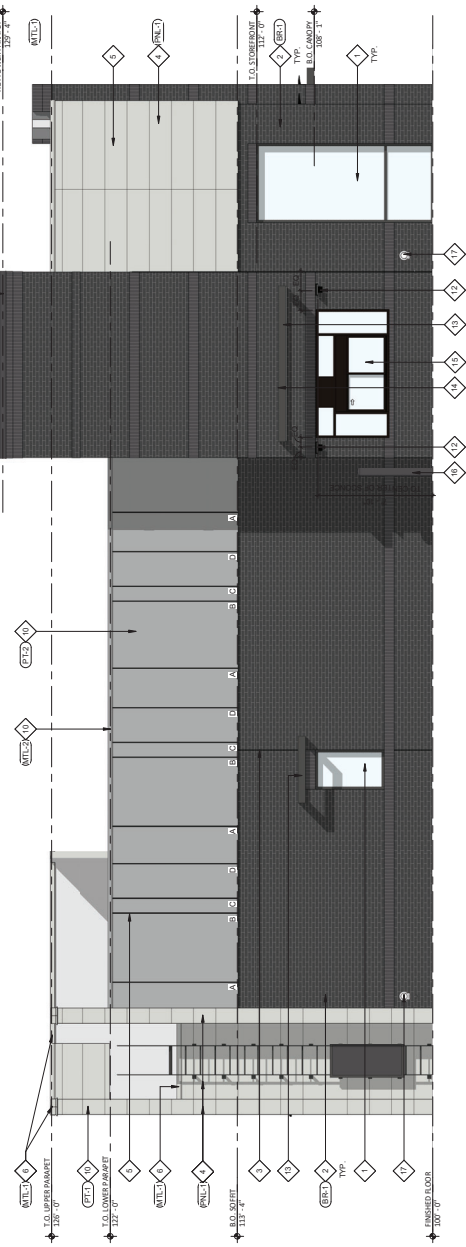
**KEYNOTE LEGEND**

1. THERMALLY BROKEN ANODIZED ALUMINUM STOREFRONT SYSTEM WITH T-INSULATED GLAZING - CALCULATE CENTER PERIMETER OF OPENING.
2. FACE BRICK VENEER - RUNNING BOND.
3. MASONRY CONTROL JOINTS - REFER TO MANUFACTURERS RECOMMENDATIONS FOR SPACING REQUIREMENTS.
4. EBFIS JOINT - REFER TO MANUFACTURERS RECOMMENDATION FOR SPACING REQUIREMENTS.
5. #24 GAUGE PREFINISHED METAL COPING.
6. #24 GAUGE PREFINISHED METAL COPING.
7. ELECTRICAL FUSED DISCONNECT SWITCH.
8. ELECTRICAL METER.
9. EXTERIOR EMERGENCY LIGHT (E2).
10. EBFIS.
11. RAISED PARAPET BEYOND EXTERIOR FINISHES TO WRAP AROUND ON EXPOSED SIDES.
12. WALL PACK LIGHT (E3).
13. PREFINISHED METAL CANOPY.
14. LED CHANNEL LIGHT (E4) - 100" IN TOTAL LENGTH.
15. PREFINISHED DARK BRONZE ALUMINUM BRASS THRESHOLD WITH INTEGRATED INTERIOR W/ CURTAIN, TRANSOM AND SILLIES - CALK AROUND ENTIRE PERIMETER OF OPENING.
16. 18" CONCRETE SAFETY ROLLING - PAINT TBD.
17. STAINLESS STEEL COW TONGUE OVERFLOW ROOF DRAIN DISCHARGE.



**1 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

17



**2 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

FINISH	MATERIAL	COLOR	REMARKS
BR-1	BRICK VENEER	VELOUR ROXBOT MORGANISE	
PNL-1	CEMENTITIOUS PANELING	NORMA TUFF BLOCK - HORIZONTAL	PAINT PFI-1
MTL-1	PREFINISHED METAL COPING	PPG 81013-7-000	TO MATCH ADJACENT FINISH
MTL-2	PREFINISHED METAL COPING	PPG 81013-7-000	TO MATCH ADJACENT FINISH
MTL-3	PREFINISHED METAL COPING	PPG 81013-7-000	TO MATCH ADJACENT FINISH
PFI-1	PAINT	PPG 81013-7-000	SATUR FRESH
PFI-2	PAINT	PPG 81014-4-8L-ASTONE	SATUR FRESH
PFI-3	PAINT	PPG 81015-6-15-NIGHT'S JARNOK	SATUR FRESH

CONSULTANT  
**WILKUS ARCHITECTS**  
 1400 North Loop West, Suite 1000, Houston, TX 77028  
 Phone: 281.541.6866, www.wilkus.com

OWNER: EBFIS (LSCQ)  
 NAME, AND ADDRESS

PROJECT INFORMATION

**"BLOOMINGTON WEST"  
 TENANT SHELL  
 BUILDING**  
 3151 WEST THIRD STREET  
 BLOOMINGTON, IN 47404

NOT FOR CONSTRUCTION

PROJECT NO: 2022-02-05  
 DRAWN BY: D.J. LERNIK  
 CHECKED BY: TBD

ISSUE	DATE
ELEV REVIEW	1/20/2022

REVISION	DATE

PROJECT LOCATION  
 COLUMBUS, IN  
**A201**  
 EXTERIOR ELEVATIONS



METAL CANOPY PROVIDED FROM AMERICAN PRODUCTS, INC. (AP), PHONE: (817) 333-5214, EMAIL: A\_PROD@AMERICANPROD.COM

EXT. ELEV GENERAL NOTES

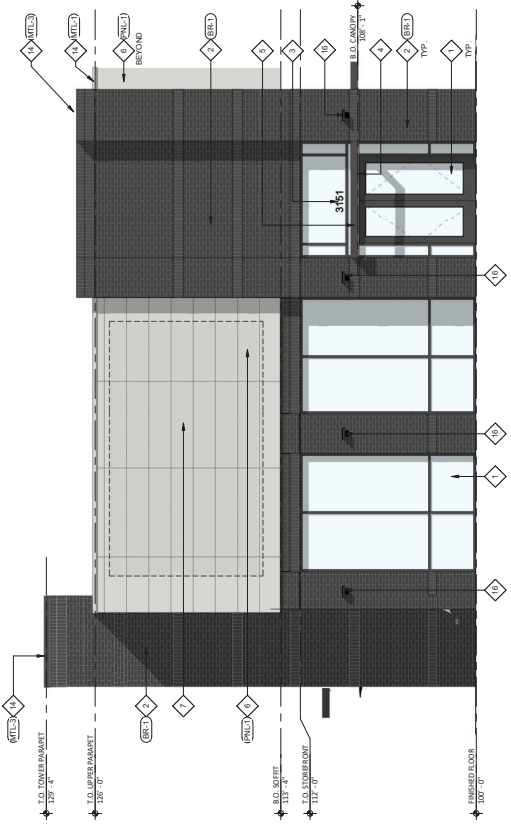
PANEL WIDTH LEGEND

PANEL SPACING REQUIREMENTS

- A SPACING TO BE 2" - 4" O.C.
- B SPACING TO BE 4" - 8" O.C.
- C SPACING TO BE 1" - 4" O.C.
- D SPACING TO BE 2" - 8" O.C.

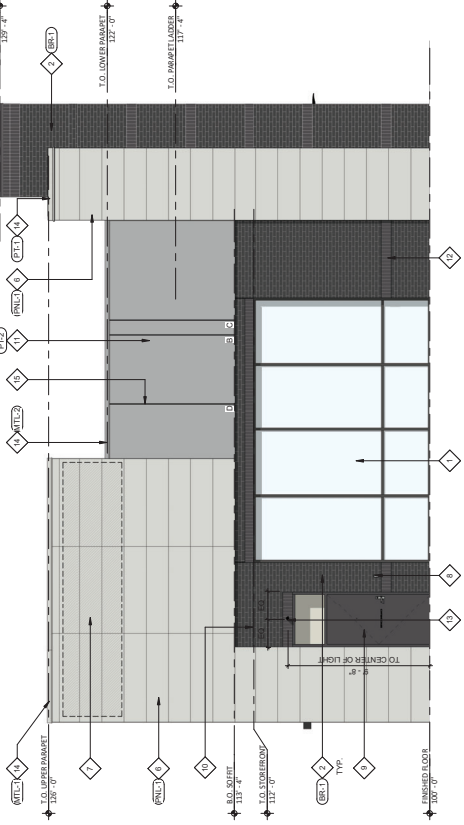
KEYNOTE LEGEND

- 1 THE WALLY BROKEN ANODIZED ALUMINUM STOREFRONT SYSTEM WITH T-INSULATED GLAZING - CALL OUT CENTRE LINE PERIMETER OF OPENINGS.
- 2 FACE BRICK VENEER - RUNNING BOND
- 3 VINYL BUILDING ADDRESS NUMBERS - COORDINATE REQUIREMENTS WITH AUTHORITIES HAVING JURISDICTION
- 4 LED CHANNEL LIGHT (E4) - 1/2" IN LENGTH
- 5 PREFINISHED METAL CANOPY.
- 6
- 7 HATCHED AREA INDICATES EXTENTS OF BLOCKING TO BE PROVIDED BY GENERAL CONTRACTOR - TENANT SIGNAGE WINDOW
- 8 DOOR BELL - INSTANT BETWEEN WF AND EF ABOVE GRADE
- 9 INSULATED HOLLOW METAL DOOR AND FRAME - CALK AROUND ENTIRE PERIMETER OF OPENING.
- 10 MASONRY CONTROL JOINTS - REFER TO MANUFACTURERS RECOMMENDATIONS FOR SPACING REQUIREMENTS
- 11 EIFS
- 12 GAS METTER
- 13 EXTERIOR EMERGENCY LIGHT (E2)
- 14 24 GAUGE PREFINISHED METAL COPING
- 15 EIFS JOINT - REFER TO MANUFACTURERS RECOMMENDATION FOR SPACING REQUIREMENTS.
- 16 WALL PASTE LIGHT (E5)



1 EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



WILKUS ARCHITECTS

OWNER: EBEL (USG), NAME, AND ADDRESS

PROJECT INFORMATION

"BLOOMINGTON WEST" TENANT SHELL BUILDING 3151 WEST THIRD STREET BLOOMINGTON, IN 47404

DATE

NOT FOR CONSTRUCTION

PROJECT LOCATION

PROJECT NO. 2022-0245

DRAWN BY: D.J. BERNEK

CHECKED BY: TED

ISSUE DATE

ELEV REVIEW 1/20/2022

REVISION DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

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DATE

DATE

DATE

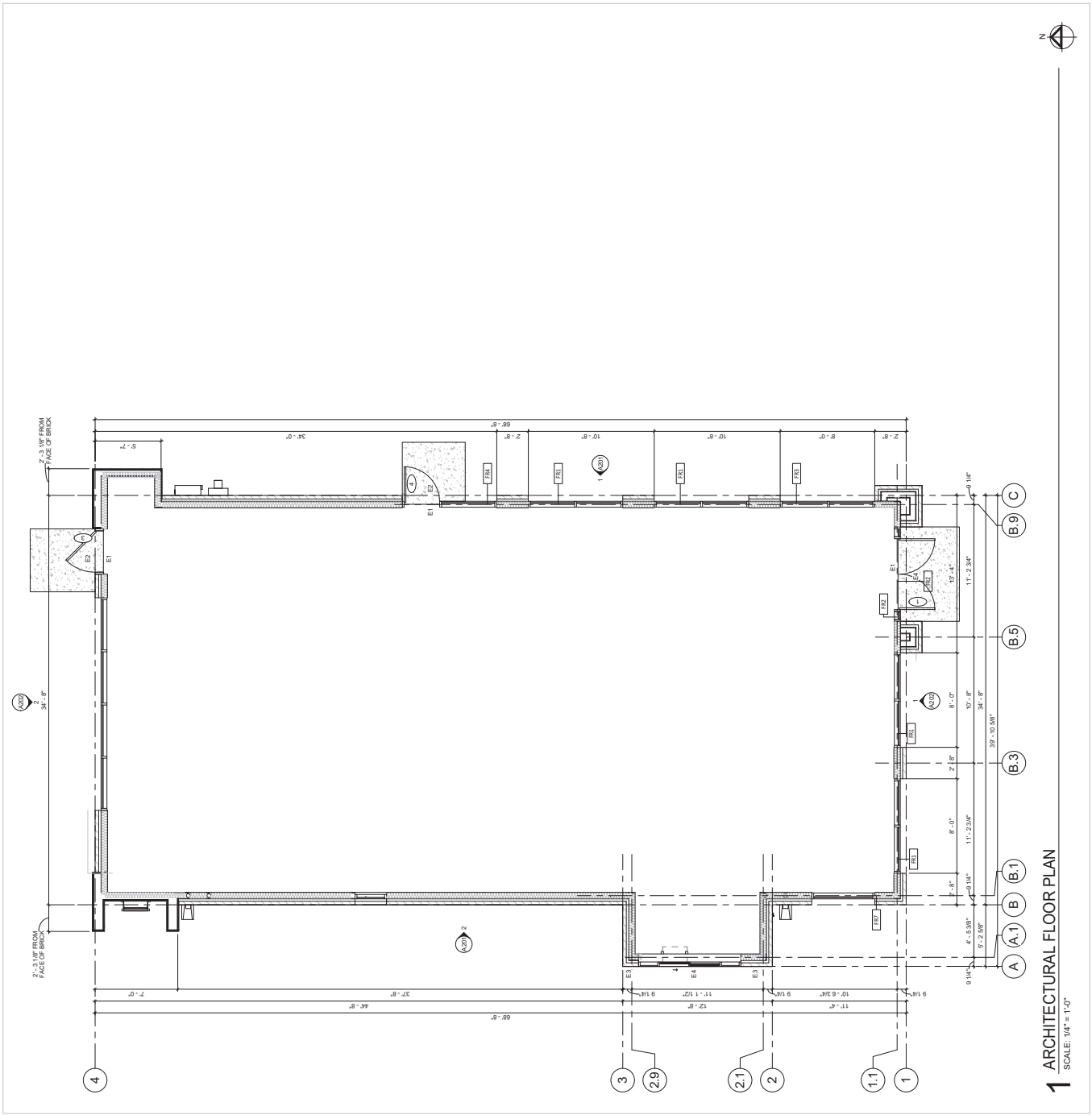
DATE

COLUMBUS, IN

A202

EXTERIOR ELEVATIONS

PROJECT NO.:	2022-0245
DRAWN BY:	D. ALBERINK
CHECKED BY:	TED
ISSUE:	DATE:
ELEV./REVIEW:	1/08/2022
REVISION:	DATE:
PROJECT LOCATION:	



**1** ARCHITECTURAL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT**

**CASE #: PUD/DP-24-21  
DATE: December 12, 2022**

**Location: N. Prow Road; 3500 block of N. Hackberry Street**

---

**PETITIONER:** Robert V. Shaw  
2005 S Rogers St #59 Bloomington, IN

**CONSULTANTS:** William Riggert Bledsoe, Riggert, James, and Cooper  
1351 W Tapp Rd Bloomington, IN

---

**REQUEST:** The petitioner is requesting a final plan amendment and a primary plat amendment for Ridgefield PUD and Subdivision Section V.

---

<b>Area:</b>	8.57 acres
<b>Current Zoning:</b>	Planned Unit Development
<b>Comprehensive Plan Designation:</b>	Neighborhood Residential
<b>Existing Land Use:</b>	Vacant
<b>Proposed Land Use:</b>	Dwelling, Single Family & Dwelling, Duplex
<b>Surrounding Uses:</b>	North – Dwelling, Single-Family West – Dwelling, Single-Family & State Road 37 / Interstate 69 East – Dwelling, Single-Family & Park South – School

---

**REPORT:** The property is located on the east side of N. Prow Road, just north of Bloomington High School North. This petition site is part of the wider Ridgefield PUD, and is the last uncompleted portion of the PUD and subdivision. This proposal is for the section of Ridgefield that would connect N. Hackberry Street to N. Wintersweet Drive in Section V. Property to the north of Section V contains Meadows Hospital, property to the east contains existing portions of the Ridgefield subdivision, property to the west across N. Prow Road contains existing single-family homes, and Bloomington High School North (BHSN) is immediately to the south.

The site received original PUD approval in 1994. The petitioner received PUD Final Plan and Primary (Preliminary) Plat approval for Section V in 2008 with case number PUD-47-07. The petitioner received Secondary (Final) Plat approval for Phase I of Section V in 2009 with case PUD-08-09 and that portion has been platted. The petitioner has built 14 homes in Phase 25-lot Phase I area since that time.

The remaining area that is undeveloped contained 38 units in the 2008 petition. It now contains 30 units, a mix of single-family dwellings and duplex units.

The Planning and Transportation Department contacted the petitioner in late 2020 with a number of issues that needed to be resolved at the site.

The grading permit for this location expired in 2018, and the associated erosion control bond was also expired. While most of the grading on site was completed, the Department received complaints that there was earth-moving at the site that exceeded the threshold for the requirement of a grading permit. The Department confirmed that earth movement had occurred with no grading permit.

The Department did an analysis of the built portions of Section V and identified deficiencies. Those included street tree issues, as well as a number of issues with the construction of the public sidewalks. The petitioner was given a list of deficiencies in December 2020.

The petitioner's 2008 Final Plan is expired. A grading permit cannot be obtained in a PUD until there is an approved Final Plan. Additionally, the petitioner's 2008 Primary (Preliminary) Plat for those portions that are unbuilt is expired. A new approval is required, so that a Secondary (Final) Plat can be approved and the lots created.

The petitioner started work on the identified sidewalk deficiencies in 2022 without a newly approved plan from the Engineering Department. A proposal to correct the deficiencies was required and received on November 28, 2022. Engineering staff has reviewed the proposal and conveyed comments to the petitioner.

The petitioner is requesting PUD Final Plan approval for the unbuilt portions of Ridgefield PUD Section V, as well as a Primary (Preliminary) Plat Amendment to the existing Subdivision Plat for Ridgefield PUD Section V. The changes from the original 1994 approval and the currently proposed petition are substantial, and therefore, the petitioner must meet a number of current Unified Development Ordinance (UDO) code requirements. Two hearing are required for the subdivision petition because waivers are required for the desired design.

---

**FINAL PLAN AMENDMENT and PRIMARY PLAT AMEMDMENT:**

**Parcel Development Standards:** The Ridgefield PUD permits 5,000 square foot lot minimums, with 20 foot front yard setback minimums. Side yard setbacks are a minimum of 6 feet, with a combined setback of 15 feet, regardless of stories. Lot width is referred to as 'typically 50 feet' and some lots under 50 feet have been allowed in the PUD. The petitioner has re-arranged the parcels from the 2008 petition, and removed 8 units from the proposal. The dimensional standards shown for the developable lots in the Final Plan amendment are compliant with the Outline/Preliminary Plan of the PUD.

**Road Design:** The petitioner has elected to largely utilize the 2008 designed primary plat for this petition related to road design, though there are a number of items that differ from the required current UDO standards. The first is the width of the right-of-way. The other portions of this PUD utilize a 50 foot right-of-way, as was standard in 2008 for this type of road, but the current UDO requires 60 feet of right-of-way, via the Transportation Plan requirements. The petitioner has worked with the City Engineer on the design of the roadway, and although the width of the right-of-way will not meet UDO standards, the width of the pavement will, at 28 feet. The Transportation Plan allows for the Department Director to approve the 50 foot width.

The UDO does not allow for culs-de-sac or eyebrow design. The petitioner proposes to leave both the eyebrow shown at the southwest portion of the development and the new cul-de-sac, Bradley Court, at the southeast portion of the development. The petitioner may be able to re-design the site to meet current code, but would like to utilize the previously approved design to maximize the number of parcels without a re-design. The Department recommends that the Plan Commission does not approve the design request, and asks for a re-design before the second required hearing in January. The roads in Section V are intended to be public, which means the maintenance

responsibility will be the City's once the roads are built to City standards. Culs-de-sac are difficult to clear of snow, as well as roads containing eyebrows. They also present connectivity issues for pedestrians. The petitioner has already re-designed a portion of this section (discussed below) in order to gain larger, more marketable parcels. The Department would like to see the site re-designed to meet current UDO requirements, as well. Otherwise, a waiver from the standards related to eyebrow and cul-de-sac inclusion will be required.

**Environmental/Tree Preservation:** The approved landscape plan associated with the 2008 Final Plan for the petition site includes a large area of tree preservation on the south side of lots 33-40, adjacent to BHSN. The staff report for that petition read the following:

“An existing fence line separates several large trees from the remainder of the lots. The petitioner proposes to preserve this area and the majority of the trees, while cleaning out invasive and exotic species and planting new trees. Proposed are several new large canopy trees that will be planted between existing trees. The remainder of the area will be filled in with a mix of smaller canopy or native ornamental trees. This area would then be preserved with a tree preservation and landscaping easement.”

Unfortunately, some of the trees have been removed. The petitioner is showing an amended ‘tree preservation easement’ in that area that is not as deep as the 2008 area, but now extends north to the new N. Winter Sweet Drive connection, in an area previously designed for developable lots. The Department has concerns that the area to the south needs to be filled in to the intended density of the original approval, and will add a condition of approval to insure that is done.

There were a number of other trees that were highlighted for preservation through the 2008 approval that have since been removed. Some are still shown on the landscape plan for this petition, but are on private property not owned by the petitioner. The Department requests an updated and accurate landscape plan to be submitted and approved by staff before the January hearing.

**Detention Pond:** There is a detention pond shown on lot 43 of the 2008 approval, as well as the current proposal. The parcel needs to be shown as common area on the Secondary Plat, and corrections need to be made to the pond to City of Bloomington Utilities standards. A condition of approval will be added.

**Connectivity:** A pedestrian easement is shown connecting the development to BHSN, through the tree preservation area. More information on how that will be done safely and sensitively is needed.

**Lighting:** No street lighting is proposed, but a plan must be submitted and approved by the Engineering Department, as well as submitted to the Board of Public Works as a component of the secondary plat proposal.

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**Section 20.06.040(d)(6)(B) General Compliance Criteria (Final Plan and Primary Plat)**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:**

---

**Section 20.06.070(E)(4) Approval Criteria for Rezoning to a Planned District (PUD)**

- (A) Is consistent with the purpose of this UDO and the purpose of Section 20.02.050 (Planned Unit Development (PUD) District ); and
- (B) The petitioner has demonstrated that the proposed rezoning is compatible with surrounding development or can be made compatible with surrounding development through commitments or conditions; and
- (C) Any portion of the PUD zoning district to be occupied by multifamily, mixed-use, or industrial development shall provide a greater level of internal connectivity and connectivity to surrounding developments than would be required by this UDO if the project were not being developed in a PUD zoning district; and
- (D) Each multifamily, mixed-use, or nonresidential principal structure in the PUD zoning district shall provide a greater level of design quality than would be required by this UDO if the project were not being developed in a PUD zoning district; and
- (E) At least one of the following criteria are met;
  - (i) The proposed PUD zoning district will include construction of a substantial open space, recreational, entertainment, or cultural amenity that will be open to and usable by the general public, and that would not otherwise be required by this UDO. Reconfiguration of open space required by this UDO does not satisfy these criteria;
  - (ii) The proposed PUD zoning district will protect a significant ecological, natural, historical, architectural, or archeological resource that was not already protected from development by this UDO or by state or federal law. Avoidance of designated floodplains or wetland areas, or the provision of additional buffers around such areas, does not satisfy these criteria; or
  - (iii) The proposed PUD zoning district provides affordable housing beyond the amounts that the petitioner would have been required to provide in order to earn a Tier 1 or Tier 2 affordable housing incentive under Section 20.04.110(c)(5) by either:
    - (1) Income-restricting at least 10 percent more of the dwelling units at or below the income levels required to earn a Tier 1 or Tier 2 incentive, or
    - (2) Income restricting the same number of dwelling units required to earn a Tier 1 or Tier 2 affordable housing incentive, but limiting incomes to at least 10 percent lower AMI level than would have been required to earn a Tier 1 or Tier 2 incentive.20.04.110(c)(5)

**PROPOSED FINDING:**

---

**20.06.040(d)(6)(D) Additional Criteria Applicable to Primary Plats and Zoning Map Amendments (Including PUDs)**

- (i) **Consistency with Comprehensive Plan and Other Applicable Plans**

The proposed use and development shall be consistent with and shall not interfere with the achievement of the goals and objectives of the Comprehensive Plan and any other adopted plans and policies.

**PROPOSED FINDING:**

**(ii) Consistent with Intergovernmental Agreements**

The proposed use and development shall be consistent with any adopted intergovernmental agreements and shall comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this UDO.

**PROPOSED FINDING:**

**(iii) Minimization or Mitigation of Adverse Impacts**

- (1) The proposed use and development shall be designed to minimize negative environmental impacts and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise, stormwater management, wildlife habitat, soils, and native vegetation.
- (2) The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.
- (3) The proposed use and development shall not result in significant adverse fiscal impacts on the city.
- (4) The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.

**PROPOSED FINDING:**

**(iv) Adequacy of Road Systems**

- (1) Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed use and development shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services.
- (2) The proposed use and development shall neither cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

**PROPOSED FINDING:**

**(v) Provides Adequate Public Services and Facilities**

If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements.

**PROPOSED FINDING:**

(vi) **Rational Phasing Plan**

If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements.

**PROPOSED FINDING:**

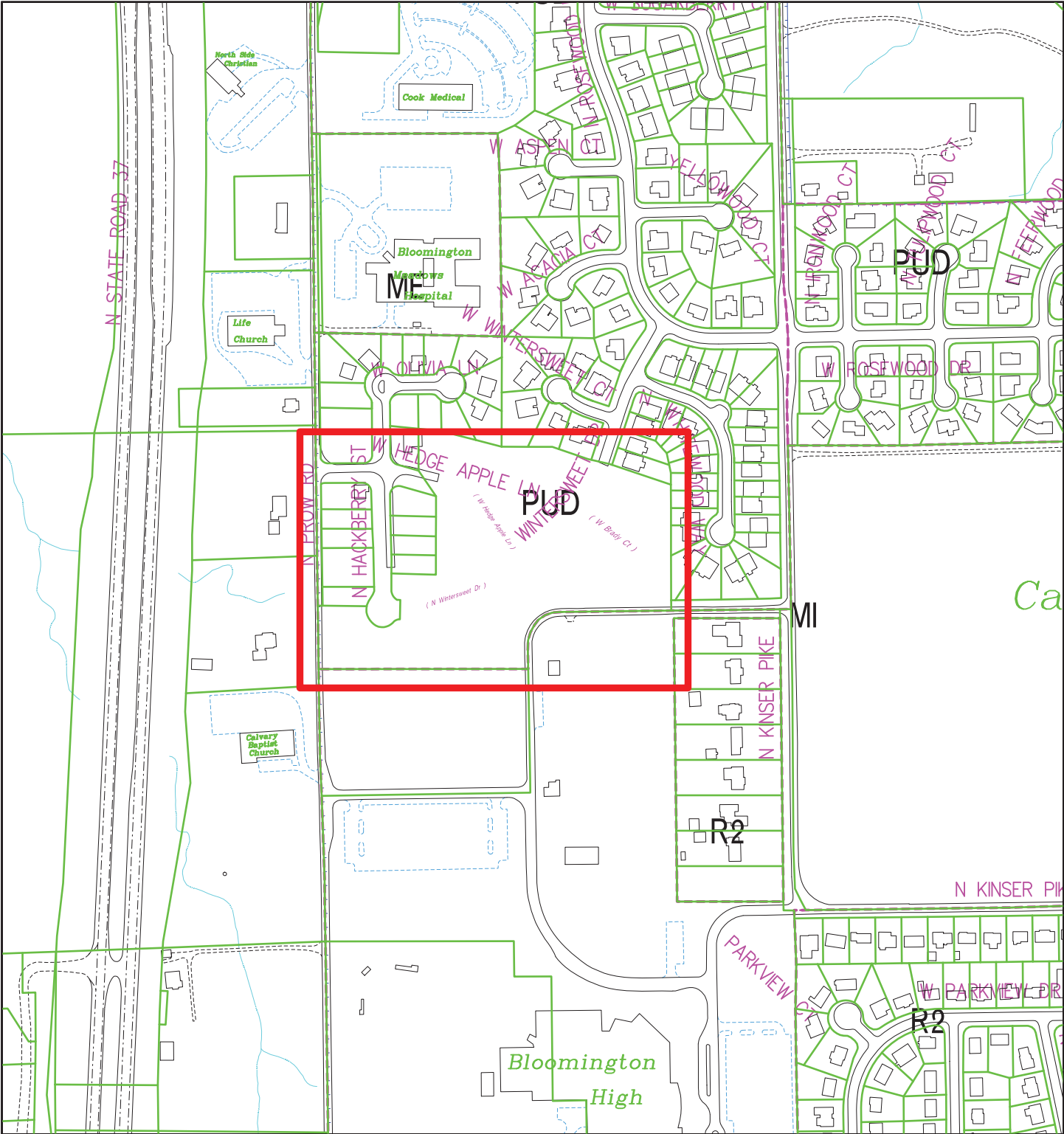
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**CONCLUSION:** The Department has been working with the petitioner for some time to address the issues at the petition site, so that the development can be completed and the residents can receive City services. While completing the roadway connection is important and the petition was created under a previous code, the Department wants to encourage code-compliant design for any new public facilities being built, and therefore has discouraged the use of the new cul-de-sac and eyebrow design. Compliance would require reconfiguration that deviates from the design desired by the petitioner.

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**RECOMMENDATION:** The Department recommends that the Plan Commission continue to the petition to the required second hearing on January 9, 2023.



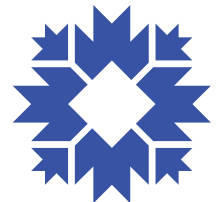


By: scanlanj  
30 Jul 21

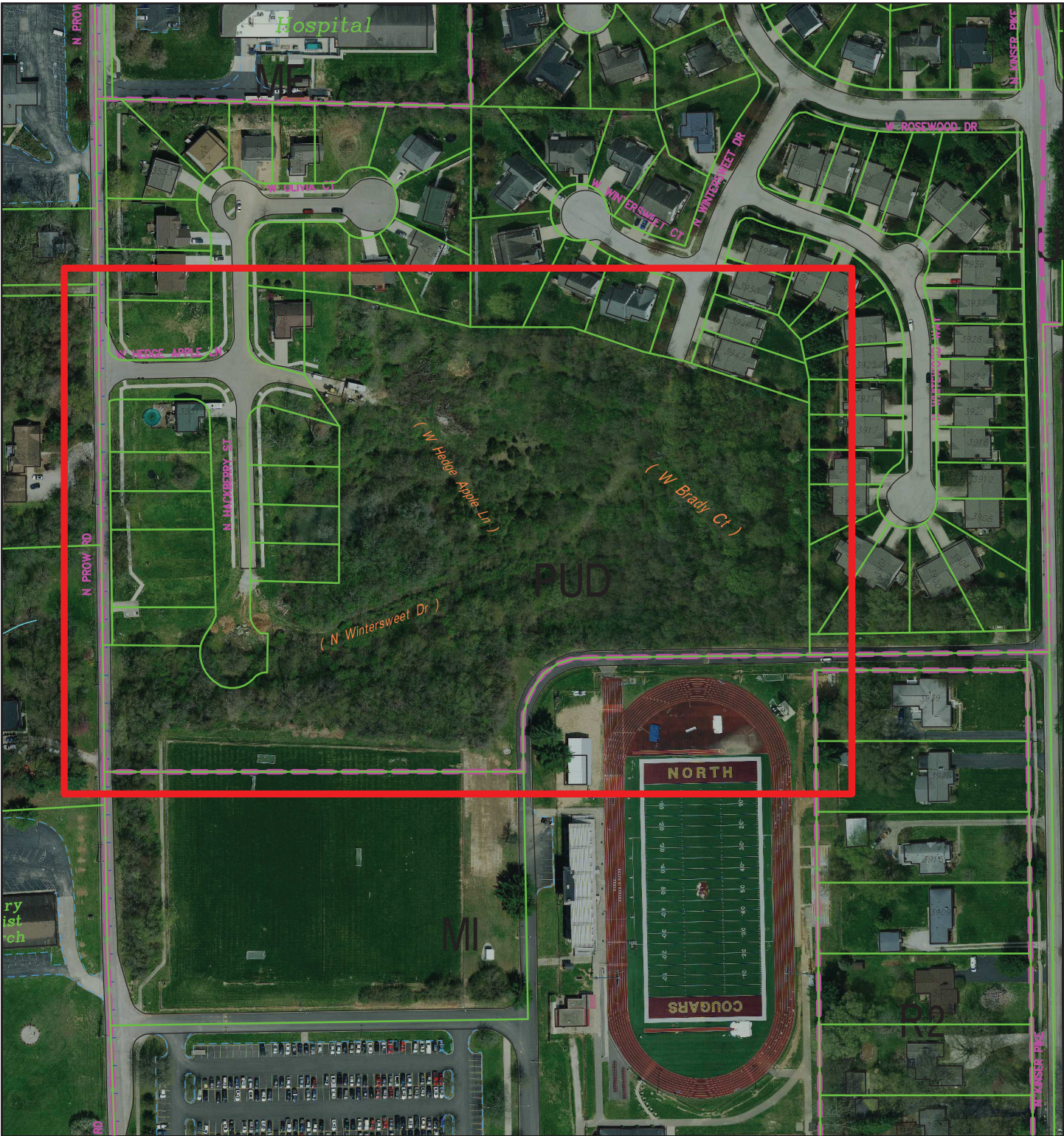


For reference only; map information NOT warranted.

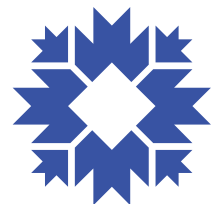
City of Bloomington  
Planning



Scale: 1" = 400'

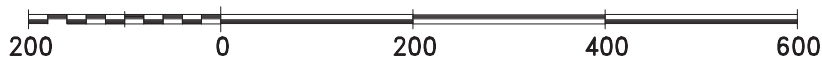


City of Bloomington  
Planning



Scale: 1" = 200'

By: scanlanj  
30 Jul 21

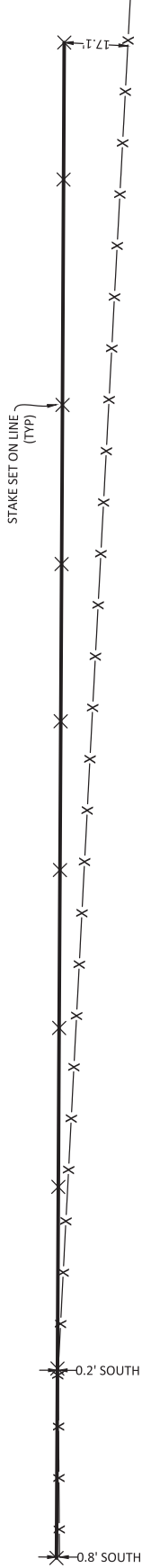
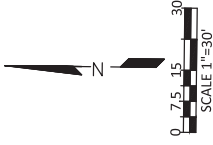


For reference only; map information NOT warranted.



BRCJ Southern Lot  
Line Exhibit

FENCE EXHIBIT  
JOB No. 6015



Bloomington • Bedford • Paoli

1951 West Tapp Road • Bloomington, Indiana 47403 • P: 812.336.8277

[BRCJcivil.com](http://BRCJcivil.com)

Aerials of fence line along southern lot line and area with no trees for reference



**Bledsoe Riggert Cooper James**  
LAND SURVEYING • CIVIL ENGINEERING • GIS

November 28, 2022

Jackie Scanlan, AICP  
Development Services Manager  
City of Bloomington Planning and Transportation Department  
Shower Building Suite 130  
401 N. Morton St  
Bloomington, Indiana 47404

via email: [scanlanj@bloomington.in.gov](mailto:scanlanj@bloomington.in.gov)

Re: Ridgefield Subdivision  
North Prow Road: 3500 Block of N. Hackberry Street  
Petitioner's Statement

Dear Jackie,

On behalf of our client, Robert Shaw, we respectfully request to be placed on the December 2022 Plan Commission agenda for consideration of Final Plan approval, Preliminary Plat amendment, and waiver requests for Ridgefield PUD and Subdivision Section V.

This is the final phase of the Ridgefield Subdivision. Located east of Prow Road along the northern edge of the Bloomington North High School campus, this portion of the subdivision is bounded by churches and single-family residences to the west; the Bloomington Meadows facility and single-family residences to the north; and duplexes to the east. Within this 8.57 acre section, we are proposing 14 single family home sites ranging from 0.21 to 0.33 acres; a 0.80 acre tree preservation easement; a pedestrian access easement with a walkway to the high school campus; and two condominium parcels consisting of 0.98 acres with six units and 2.00 acres with ten units respectively. Utilities for this phase will be extended from those constructed in Phase 1. Water will be extended northeast along Winterstreet Drive to connect to the existing 12" water main constructed under a previous section of Ridgefield. The stormwater detention basin constructed in Phase 1 was sized to accommodate the development of Phase 2. We propose to continue the use of the 50' right-of-way with 5' sidewalks as presented in the preliminary plat. However, we are widening the street width from 20' to 28' to accommodate on street parking.

Our request to amend the preliminary plat includes reducing the number of single-family lots along the east side of Hackberry Street in Phase 1 by one; reducing the number of lots in Phase 2 by seven; and reconfiguring the tree preservation easement to allow for wider, more accommodating, single-family home sites.

In addition, we request a waiver from the subdivision development standards to allow for an eyebrow type cul-de-sac to be placed at the intersection of Hackberry Street and Wintersweet Drive and a cul-de-sac to be placed at the end of Bradley Court. These cul-de-sacs were presented on the preliminary plat in 2008 and are consistent with the balance of the Ridgefield Subdivision. They are essential to provide street access and to allow for full development of the southwest and southeast corners of this final phase of the subdivision.

We are also working to address the outstanding public improvement deficiencies within Phase 1 that were outlined by staff. As requested, we have prepared engineered plans for select sidewalk and ramp replacement and installation of detectable warning elements on ramps to ensure compliance with ADA Guidelines and the Public Right-of-Way Accessibility Guidelines (PROWAG). We are submitting these plans for your review as well as staff's review. Once we have staff acceptance of the plans, we will prepare engineer's estimates for the associated public improvements and erosion control measures. We will then obtain and submit the respective bonds so a grading permit can be released to allow us to proceed with the corrective measures. It should be noted that we are committed to implementing the approved street lighting plan and addressing any remaining street tree deficiencies.

Ridgefield Subdivision  
Petitioner's Statement  
November 28, 2022  
Page 2 of 2

We respectfully request your positive consideration of our requests for this final phase of the Ridgefield PUD.

Please let me know if you have any questions or concerns or if you need any additional information.

Sincerely,

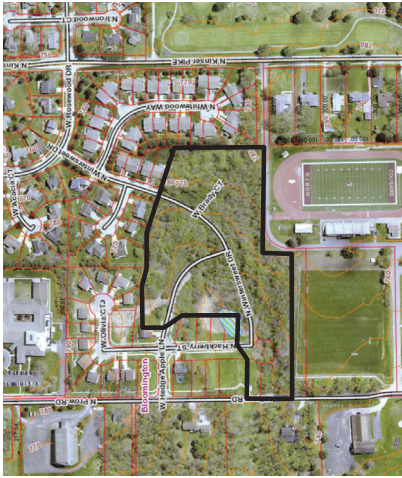
A handwritten signature in blue ink, appearing to read "W. S. Riggert". The signature is stylized and written over a horizontal line.

William S. Riggert, PE  
Principal

ec: Robert Shaw

xc: File - Project 6015

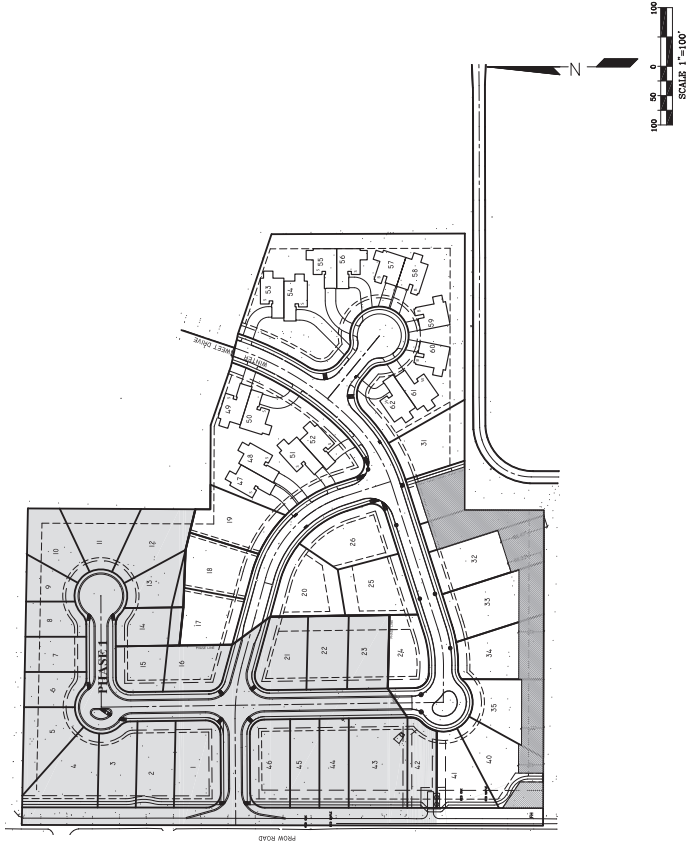
# RIDGEFIELD SUBDIVISION SECTION V PHASE 2 FOR BOB SHAW



LOCATION MAP  
NOT TO SCALE

## SHEET INDEX

SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C201	STORMWATER POLLUTION PREVENTION - NOTES
C202	STORMWATER POLLUTION PREVENTION - PLAN
C203	STORMWATER POLLUTION PREVENTION - DETAILS
C301	SITE PLAN
C401	GRADING PLAN
C501	UTILITY PLAN
C601	LANDSCAPE
C701	ROAD PROFILES R-1
C702	ROAD PROFILES R-2
C703	ROAD PROFILES R-3, R-4
C704	SANITARY SEWER PROFILE S-1 (FOR REFERENCE)
C705	SANITARY SEWER PROFILE S-2
C706	SANITARY SEWER PROFILE S-3
C707	FORCE MAIN (FOR REFERENCE)
C801	DETAILS
C802	SPECIFICATIONS



DATE	ISSUE:	BY	DATE
11-28-2022	ISSUED FOR PERMIT		
REVISIONS			





**SAMPLE INSPECTION FORM:**

EROSION CONTROL PLAN  
RIDGEFIELD SUBDIVISION PHASE 4  
PART OF SE Quarter of Section 20  
35N, 12W, Monroe County, Indiana  
Project No. 1020-1205-27

MONROE COUNTY  
INDIANA  
DEM. RULE 5

For the Week of \_\_\_\_\_ To \_\_\_\_\_  
Check Applicable Weekly \_\_\_\_\_ Rainfall \_\_\_\_\_ Precipitation \_\_\_\_\_  
Weather Conditions \_\_\_\_\_ Temp (F) \_\_\_\_\_  
Date of Observation \_\_\_\_\_

Observations and Comments:

Recommendations this day:

Comments of previous Observations / Recommendations:

**SOIL DESCRIPTIONS**

C-C Coarse silt loam, 0 to 12 percent clay, the moderately clayey silts with increased silty clay in some horizons. Some clayey silts are silty clay loams. Areas are generally categorized by texture and color. The soil is dark grayish brown to black with a yellowish to brown red mottling in some horizons. The surface layer is dark brown to black (Munsell 10YR 2/1). The subsoil is dark grayish brown to black (Munsell 10YR 2/1) with a mottled appearance. The soil is moderately clayey silt loam with a plasticity index (PI) of 15 to 20. The soil is moderately clayey silt loam with a plasticity index (PI) of 15 to 20. The soil is moderately clayey silt loam with a plasticity index (PI) of 15 to 20.

**SOIL DESCRIPTIONS (continued)**

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**SOIL DESCRIPTIONS (continued)**

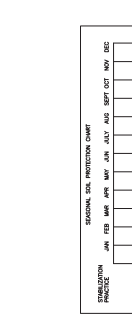
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SEASONAL SOIL PROTECTION CHART

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SEASONAL SOIL PROTECTION CHART

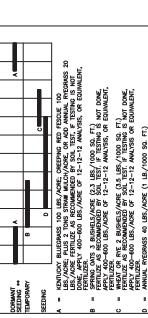
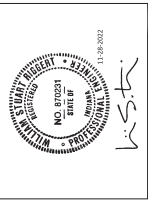
SEASONAL SOIL PROTECTION CHART

SEASONAL SOIL PROTECTION CHART

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SEASONAL SOIL PROTECTION CHART



**OVERALL PROJECT LOCATION**

Overall project location map showing the site within Monroe County, Indiana.

**OVERALL PROJECT LOCATION**

Overall project location map showing the site within Monroe County, Indiana.

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Overall project location map showing the site within Monroe County, Indiana.

**RIDGEFIELD SUBDIVISION SECTION V PHASE 2 BLOOMINGTON, INDIANA FOR BOB SHAW**

BRCA Project No.: 6015  
11-29-2012 ISSUED FOR PERMIT  
SCALE: 1" = 50'



REVISION SCHEDULE

REV.	NO.	REV. DESCRIPTION	ISSUE DATE

Drawn By: GBM  
Designed By: GBM  
Checked By: WSR

**C201**

**CONSTRUCTION/STORMWATER POLLUTION PREVENTION PLAN NOTES**

**Section C - Post Construction Component**

1. The contractor shall ensure that all erosion control measures are in place and functioning at all times. The contractor shall maintain a log of all erosion control measures and any repairs or adjustments.

**Section C - Post Construction Component (continued)**

2. The contractor shall ensure that all erosion control measures are in place and functioning at all times. The contractor shall maintain a log of all erosion control measures and any repairs or adjustments.

**Section C - Post Construction Component (continued)**

3. The contractor shall ensure that all erosion control measures are in place and functioning at all times. The contractor shall maintain a log of all erosion control measures and any repairs or adjustments.

**PROJECT LOCATION MAP**

**PROJECT LOCATION MAP**

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**PROJECT LOCATION MAP**

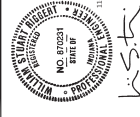
**PROJECT LOCATION MAP**

**PROJECT LOCATION MAP**

**PROJECT LOCATION MAP**

**PROJECT LOCATION MAP**

**PROJECT LOCATION MAP**



**RIDGEFIELD SUBDIVISION  
 SECTION V PHASE 2  
 FOR BLOOMINGTON, INDIANA**  
 FOR **BOB SHAW**  
 BRCJ Project No: 6015  
**STORMWATER  
 POLLUTION PREVENTION  
 PLAN**



DATE:	11-29-2022	ISSUED FOR PERMIT
DESIGNER:	BOB SHAW	
REVISION NUMBER:	1	REVISION DESCRIPTION:
REV #	1	Issue Date:

Drawn By: GEM  
 Designed By: GEM  
 Checked By: WSK  
**C202**

**GENERAL NOTES**

1. THIS PLAN SHOWS THE MINIMUM REQUIREMENTS FOR STORMWATER POLLUTION PREVENTION DEVICES PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
2. MODIFY AND MAINTAIN CONSTRUCTION STORMWATER POLLUTION PREVENTION DEVICES AS NECESSARY TO ENSURE PROPER OPERATION THROUGHOUT THE PROJECT.
3. REMOVE ALL CONSTRUCTION STORMWATER POLLUTION PREVENTION DEVICES UPON COMPLETION OF THE PROJECT OR AS OTHERWISE DIRECTED BY THE ENGINEER.
4. THIS PLAN SHOWS THE MINIMUM LEVEL OF DISTURBANCE. DISTURBANCE BEYOND THIS LEVEL SHALL BE APPROVED BY THE ENGINEER. DISTURBANCE BEYOND THIS LEVEL SHALL BE APPROVED BY THE ENGINEER.
5. REFER TO STORMWATER POLLUTION PREVENTION PLAN, NOTES FOR ADDITIONAL INFORMATION.
6. REFER TO STORMWATER POLLUTION PREVENTION PLAN, DETAILS FOR DETAILS.
7. TRACKING OF SOIL OR OTHER MATERIALS SHOULD BE MAINTAINED ON SITE THROUGHOUT CONSTRUCTION. TRACKING SHALL BE REMOVED IMMEDIATELY.
8. GENERAL SITE AREA = 15.1 ACRES. PERCENTAGE OF DISTURBANCE = 6.8% ACRES.

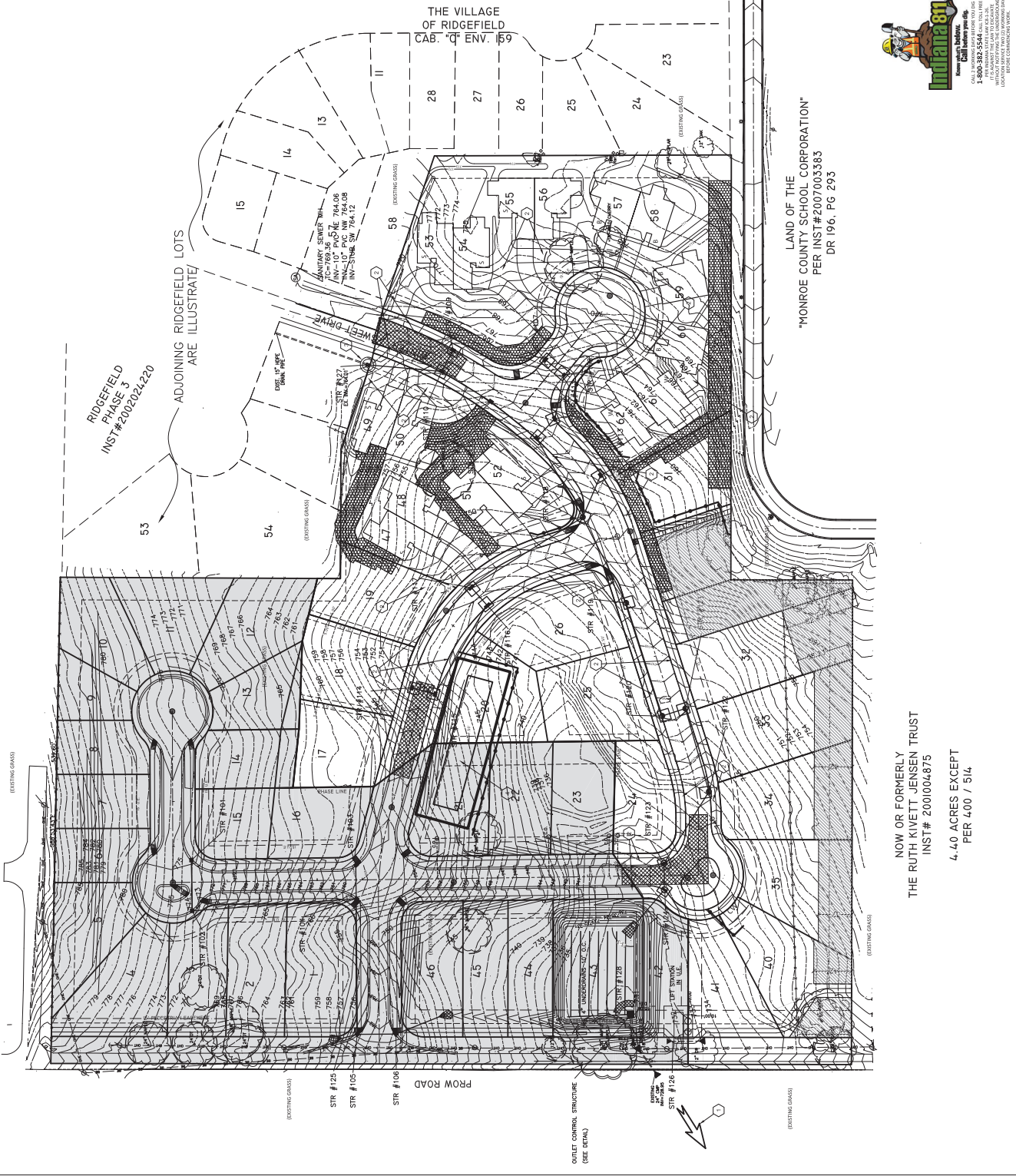
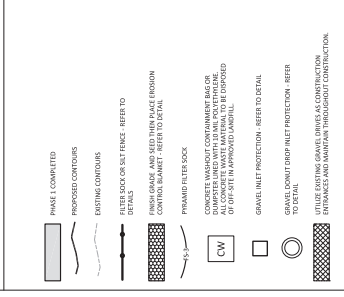
**PLAN NOTES**

1. DISCHARGE POINT DIRECTION WHERE RUNOFF LEAVES THE SITE.
2. ANCHOR MATCHLINE AREA DIRECTLY AFTER SEEDING.
3. GRAVEL DOWNSLOPE PROTECTION. REFER TO STORMWATER POLLUTION PREVENTION PLAN, DETAILS.
4. TROUSERS AREA.

**CONSTRUCTION SCHEDULE**

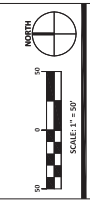
1. CONDUCT MEETINGS FOR IMPLEMENTATION OF MEASURES TO PREVENT STORMWATER POLLUTION. THESE MEETINGS SHOULD BE COORDINATED BY THE CONSTRUCTION PROJECT MANAGER.
2. IMPLEMENT CONSTRUCTION AND STORMWATER POLLUTION PREVENTION DEVICES AND MONITORING MEASURES AS THE CONSTRUCTION LIMITS AS SOON AS WORKS PERMITTED AND PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
3. PROCEED WITH WORKING ASSOCIATED WITH THE CONSTRUCTION AND SITE UTILITIES.
4. INSTALL THE ADDITIONAL REQUIRED EROSION CONTROL MEASURES.
5. INSTALL NEW UTILITIES, VALVES AND CONCRETE CURBS.
6. THEN INSTALL CONCRETE AND ASPHALT PAVEMENT.
7. IF THE SITE IS SUITABLE FOR MORE THAN 2 DAYS, TEMPORARY SEEDINGS WILL BE REQUIRED TO PREVENT EROSION. THE SEEDING CONTROL MEASURES WILL BE MAINTAINED BY THE SITE MANAGER TO INSURE THAT THE MEASURES ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SCHEDULE.
8. GRADE AND SITE FINISH AS INDICATED ON PLANS.
9. REMOVE SITE FENCE AS DIRECTED BY THE ENGINEER AFTER SITE IS STABILIZED BY VEGETATIVE COVER AND HANDSCAPE.

**Statement to Contractor:**  
 The plans constitute the minimum measures necessary to be in compliance. If the contractor determines that additional measures are required for good site protection, the contractor should be prepared to pay for the additional measures. The contractor shall be responsible for the maintenance of the stormwater management system. The contractor shall be responsible for the maintenance of the stormwater management system. The contractor shall be responsible for the maintenance of the stormwater management system.



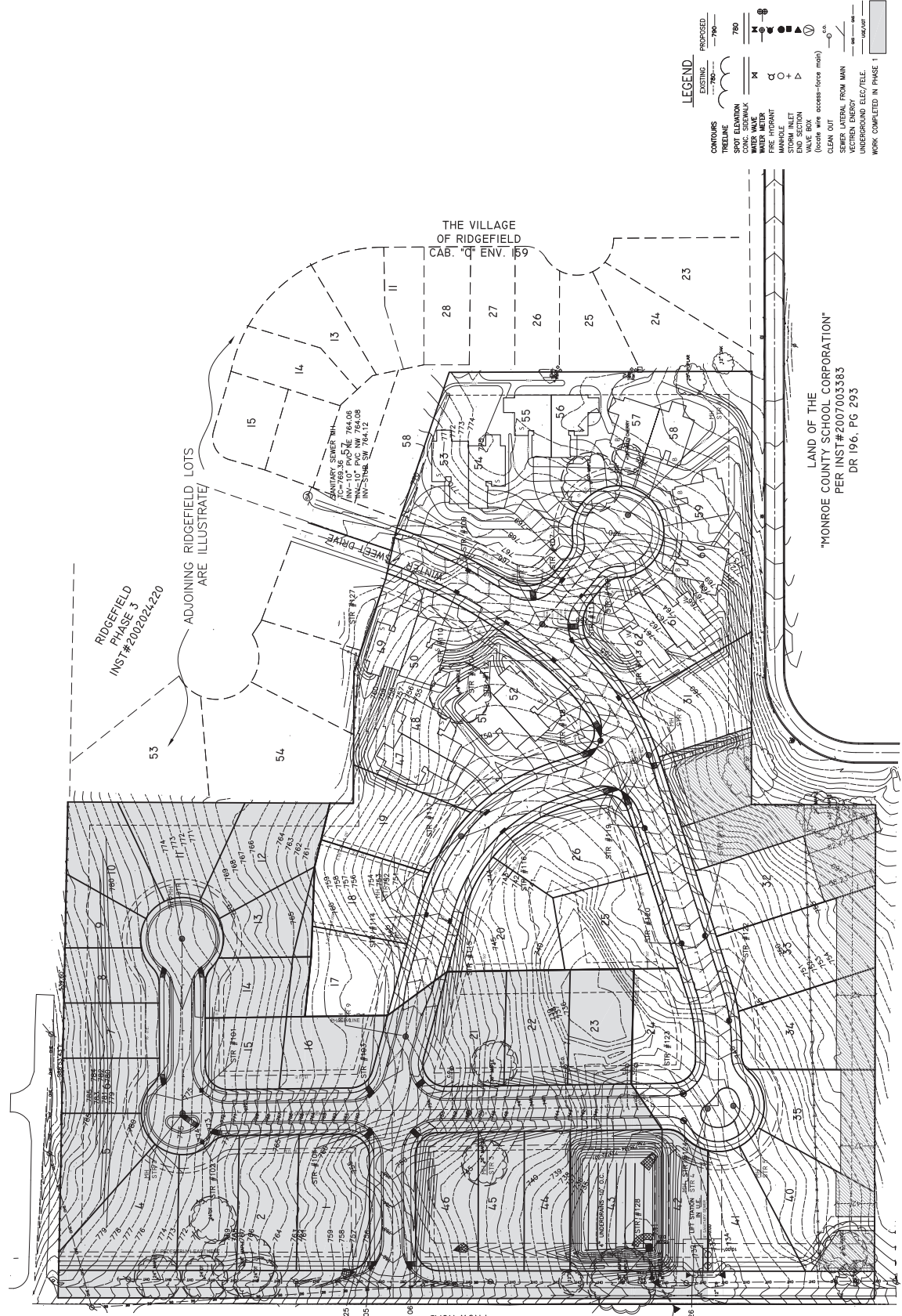






DATE: 11-29-2022 ISSUED FOR PERMIT

REV	REV. DESCRIPTION	ISSUE DATE
1	REVISION SCHEMATIC	



**LEGEND**

EXISTING	PROPOSED
CONTOURS	CONTOURS
SPOT ELEVATION	SPOT ELEVATION
CONC. SIDEWALK	CONC. SIDEWALK
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
MANHOLE	MANHOLE
STORM INLET	STORM INLET
VALVE BOX	VALVE BOX
(locate wire access-force main)	(locate wire access-force main)
CLEAN OUT	CLEAN OUT
SEWER LATERAL FROM MAIN	SEWER LATERAL FROM MAIN
VECTRON ENERGY	VECTRON ENERGY
UNDEVELOPED TELEPHONE	UNDEVELOPED TELEPHONE
WORK COMPLETED IN PHASE 1	WORK COMPLETED IN PHASE 1

- NOTES:**
1. CONTOURS FROM FIELD TOPOGRAPHIC SURVEY.
  2. UTILITIES PER CITY OF BLOOMINGTON UTILITIES.
  3. SITE IS BOUNDARY WITH ADJACENT SPACES. LARGE AREAS OF PROPOSED UTILITIES ON SITE THAT WILL BE ADJACENT TO THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION.
  4. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION. ALL UTILITIES SHALL BE DEEPER THAN THE SHAWNEE SUBDIVISION.

RIDGEFIELD PHASE 3  
 INST #2002024220

ADJOINING RIDGEFIELD LOTS  
 ARE ILLUSTRATED

THE VILLAGE  
 OF RIDGEFIELD  
 CAB. # ENV. 159

"MONROE COUNTY SCHOOL CORPORATION"  
 PER INST #2007003383  
 DR 196, PG 293

NOW OR FORMERLY  
 THE RUTH KIVETT JENSEN TRUST  
 INST # 2001004875  
 4.40 ACRES EXCEPT  
 PER 4.00 / 514

STN #	CENTRELINE SPACING	SPACING FROM ADJACENT	TYPE	DEPTH	INVERT	TOP OF STRUCTURE	MANHOLE	SECTION
101	79.95	101	104	105	107	112	775.05	775.14
102	79.95	101	104	105	107	112	775.05	775.14
103	79.95	101	104	105	107	112	775.05	775.14
104	79.95	101	104	105	107	112	775.05	775.14
105	79.95	101	104	105	107	112	775.05	775.14
106	79.95	101	104	105	107	112	775.05	775.14
107	79.95	101	104	105	107	112	775.05	775.14
108	79.95	101	104	105	107	112	775.05	775.14
109	79.95	101	104	105	107	112	775.05	775.14
110	79.95	101	104	105	107	112	775.05	775.14
111	79.95	101	104	105	107	112	775.05	775.14
112	79.95	101	104	105	107	112	775.05	775.14
113	79.95	101	104	105	107	112	775.05	775.14
114	79.95	101	104	105	107	112	775.05	775.14
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126	79.95	101	104	105	107	112	775.05	775.14
127	79.95	101	104	105	107	112	775.05	775.14
128	79.95	101	104	105	107	112	775.05	775.14
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131	79.95	101	104	105	107	112	775.05	775.14
132	79.95	101	104	105	107	112	775.05	775.14
133	79.95	101	104	105	107	112	775.05	775.14
134	79.95	101	104	105	107	112	775.05	775.14
135	79.95	101	104	105	107	112	775.05	775.14
136	79.95	101	104	105	107	112	775.05	775.14
137	79.95	101	104	105	107	112	775.05	775.14
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139	79.95	101	104	105	107	112	775.05	775.14
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158	79.95	101	104	105	107	112	775.05	775.14
159	79.95	101	104	105	107	112	775.05	775.14
160	79.95	101	104	105	107	112	775.05	775.14

NOTES:  
 1. CONTOURS FROM FIELD TOPO  
 2. CONSTRUCTION OF SANITARY, STORM, AND WATER UTILITIES PER CURRENT CBU SPECIFICATIONS.  
 3. SITE IS WOODED WITH AREAS OF OPEN UNDERGROWTH. EXISTING TREES ARE IDENTIFIED BY TREE SPECIMEN TAGS ON SITE THAT WILL BE CONSIDERED AT THE APPROVAL STAGE.  
 4. THE TREE PRESERVATION AREAS WILL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING OF ANY AREAS TO BE REMOVED WITH NATIVE ORNAMENTALS SUCH AS DOGWOODS AND RED BUDS. REPLANTING SHALL BE DONE IN ACCORDANCE WITH THE LANDSCAPE PLAN.  
 5. STREET TREES ARE PROPOSED ON INTERIOR STREETS. RELOCATIONS AND PRESERVE LANDSCAPE PLAN.  
 6. NO TREES FALLING ALONG THE PROPERTY LINE WILL BE REMOVED UNLESS THEY POSE A SIGNIFICANT THREAT TO A POTENTIAL BUILDING.  
 7. DRIP LINES OF EXISTING TREES TO BE SAVED HAVE BEEN MEASURED.  
 8. WALK LEANING SHALL HAVE A 5 FOOT WIDE CONCRETE WALK LEANING SERVED BY DUNE ENERGY.  
 9. NATURAL GAS BY VICTREN.  
 10. ALL LOTS SHALL HAVE WATER AND SEWER SERVICE PROVIDED TO ALL LOTS. ANY OMISSION ON PLANS SHALL NOT CONSTITUTE A LACK OF NECESSITY.

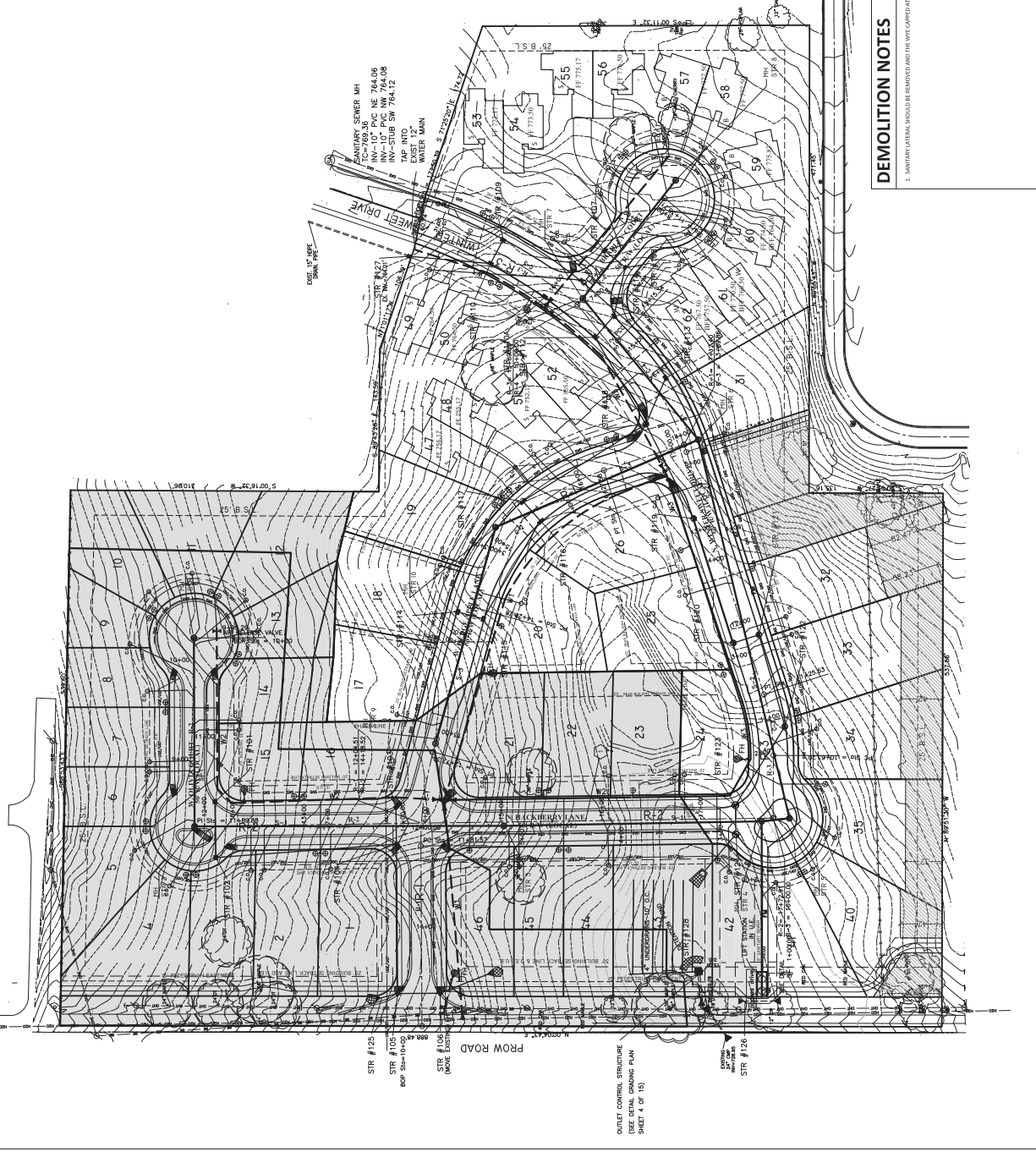
- DEMOLITION NOTES
- SANITARY LATERAL SHOULD BE REMOVED AND THE INVERT CAPPED AT THE MAN.

**LEGEND**

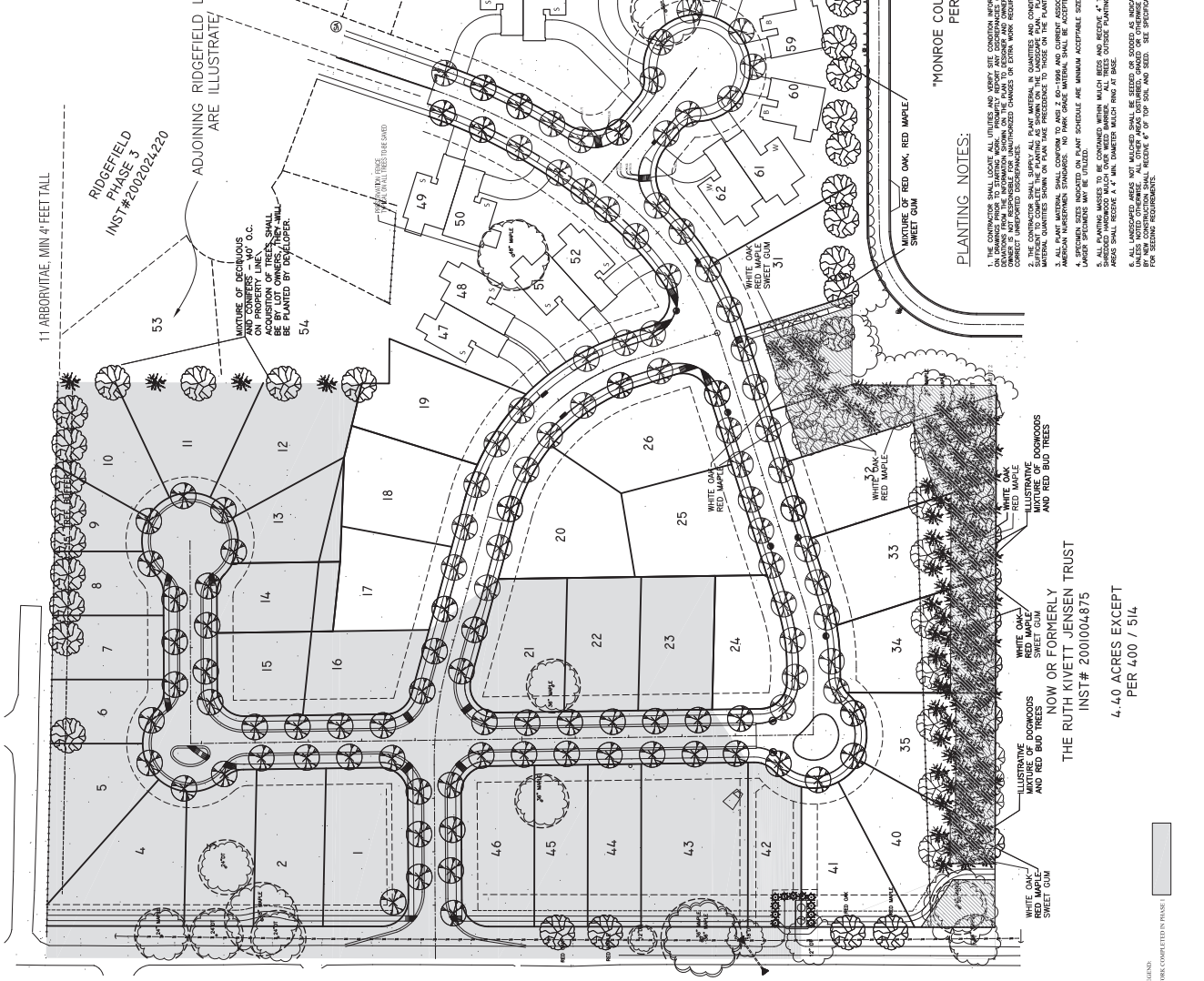
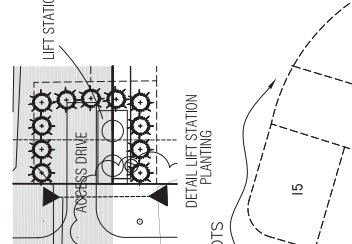
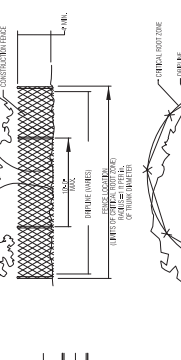
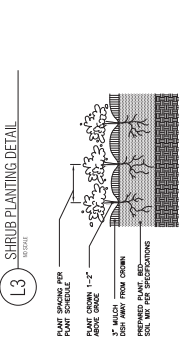
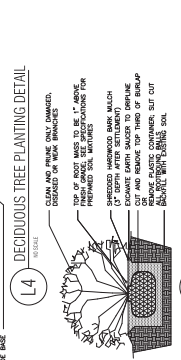
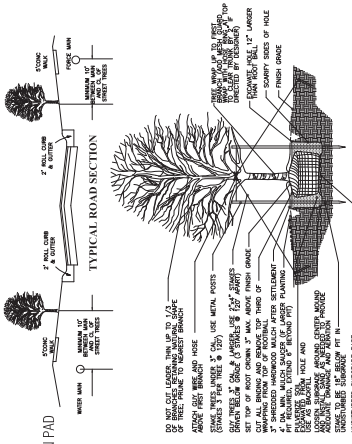
EXISTING	PROPOSED
CONTOURS	CONTOURS
TREELINE	TREELINE
PROPERTY LINE	PROPERTY LINE
WATER WALK	WATER WALK
CONCRETE WALK	CONCRETE WALK
MANHOLE	MANHOLE
STORM INLET	STORM INLET
WALK BOX	WALK BOX
CLEAN OUT	CLEAN OUT
SEWER LATERAL FROM MAN	SEWER LATERAL FROM MAN
VICTREN ENERGY	VICTREN ENERGY
UNDERGROUND ELECT/PHONE	UNDERGROUND ELECT/PHONE
WORK COMPLETED IN PHASE 1	WORK COMPLETED IN PHASE 1

**Indiana 811**  
 CALL BEFORE YOU DIG  
 1-800-4-A-DIG  
 1-800-427-4744

CALLING 811 WILL ALLOW YOU TO IDENTIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GROUND. IDENTIFYING UTILITIES BEFORE YOU DIG CAN PREVENT ACCIDENTS AND DAMAGE TO UTILITIES.



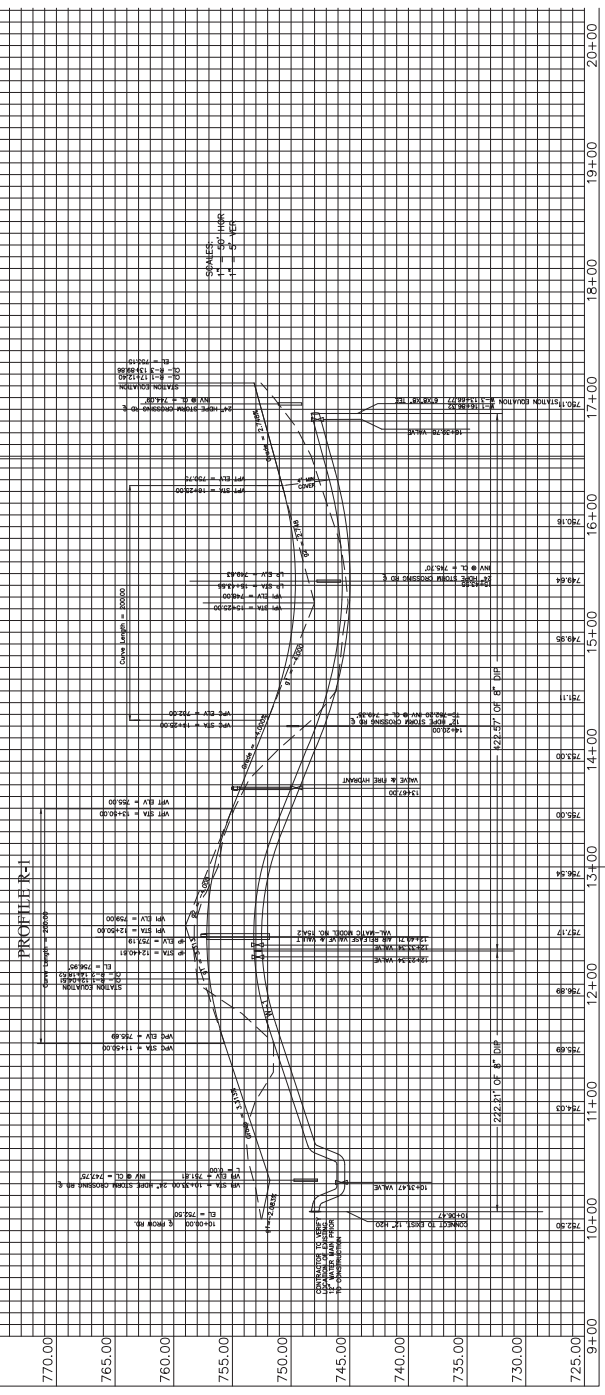
DATE	11-20-2022	ISSUED FOR PERMIT
DESIGNED BY	BRIAN S. SHERIDAN	
CHECKED BY	BOB SHAW	



- PLANTING NOTES:**
1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND SHALL REPAIR OR REPLACE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
  2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND SHRUBS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND SHRUBS AND SHALL REPAIR OR REPLACE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
  3. ALL PLANT MATERIAL SHALL CONFORM TO AND 2.00-1994 AND CURRENT EDITIONS OF THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANT MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE DELIVERED TO THE SITE IN FULL COMPLIANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
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  12. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  13. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  14. IF OWNER REQUESTS, PLANTS SHALL BE SPREAD AND/OR FEED-LOADED BY FERTILIZER. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  15. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT AND THE OWNER. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.
  16. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL SPECIFICATIONS FOR LANDSCAPE PLANTING.



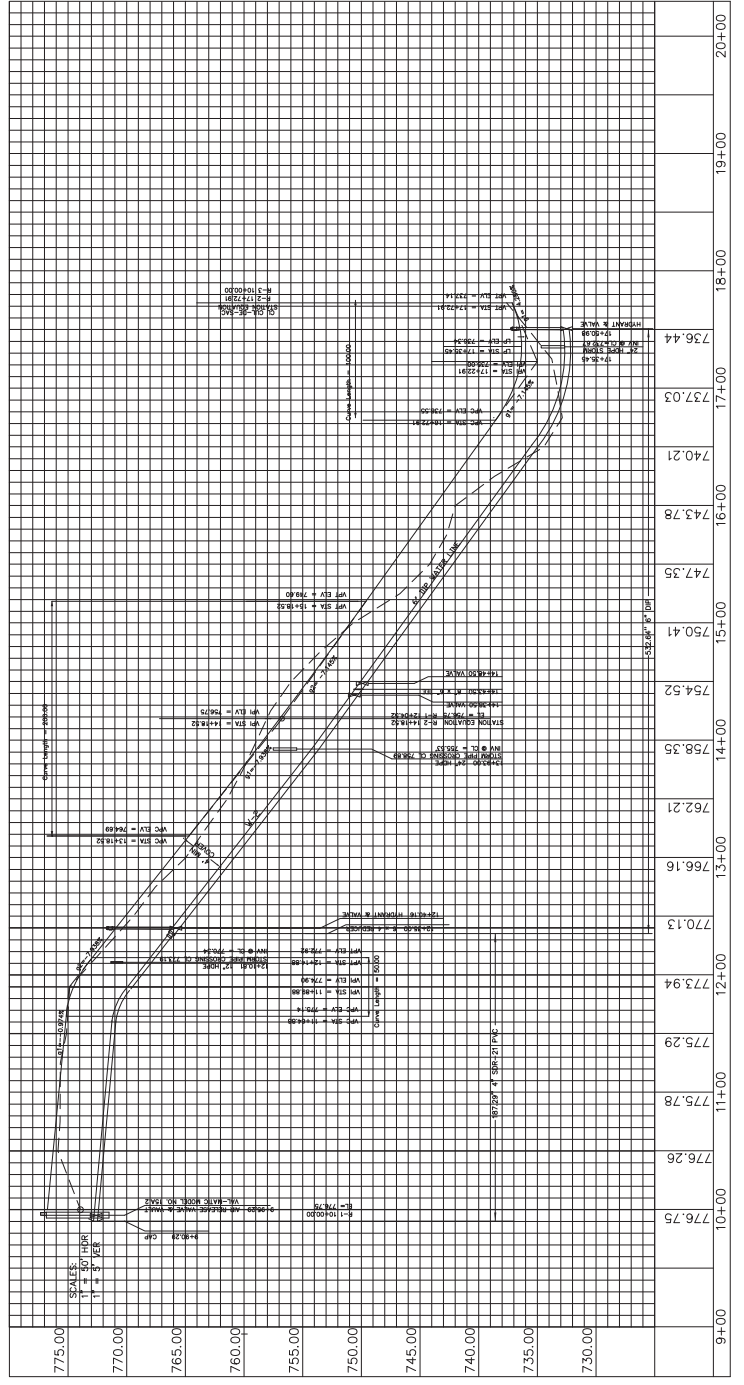
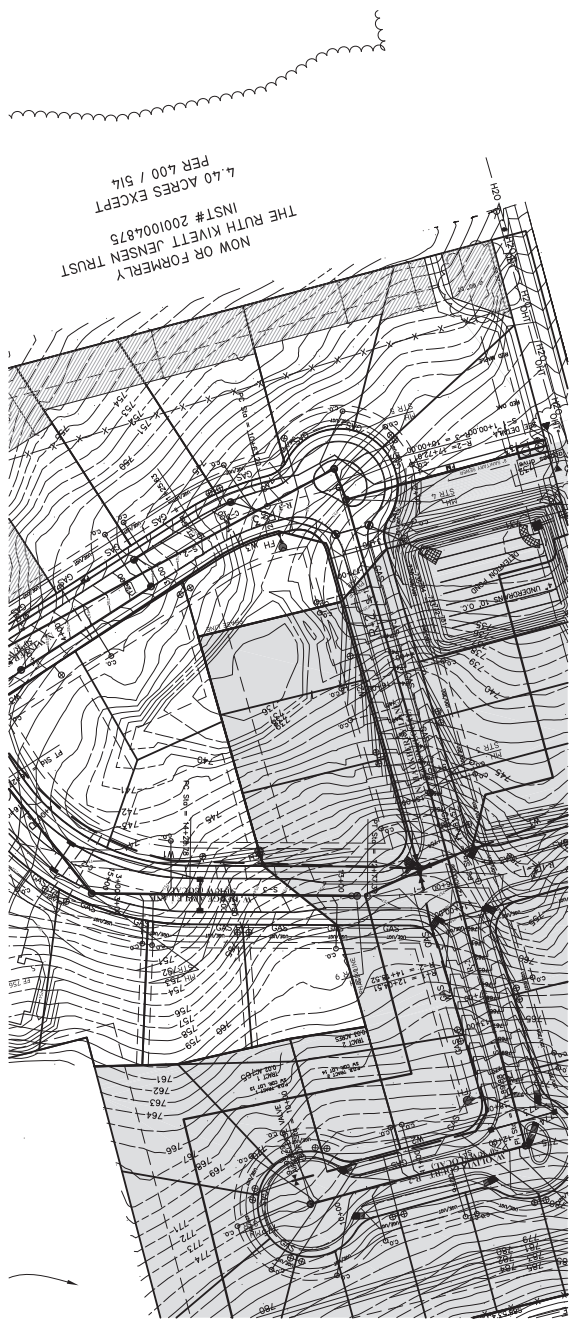
NOTE  
 STATIONING, SANITARY CROSSING & STORM CROSSING INVERTS  
 ARE SHOWN RELATIVE TO ROAD DESIGN CENTERLINE.  
 ALL UTILITY CROSSINGS ARE SHOWN AS PER PLAN DRAWING.  
 CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF  
 ALL UTILITIES PRIOR TO CONSTRUCTION.

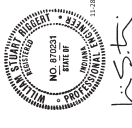




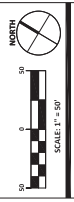
NOTE:  
 STATIONING, SANITARY CROSSING & STORM CROSSING INVERTS  
 ARE SHOWN ON THIS PROFILE. CONTRACTOR SHALL VERIFY  
 WATERLINE DOES NOT INTERFERE WITH SANITARY OR  
 STORM PIPES SHOWN ON PROFILE. REFER TO PLAN DRAWING.  
 CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF  
 ALL UTILITIES PRIOR TO CONSTRUCTION.

4.40 ACRES EXCEPT  
 PER 600 / S14  
 THE RUTH KIVETT JENSEN TRUST  
 INST# 2001004875  
 NOW OR FORMERLY





**RIDGEFIELD SUBDIVISION  
 SECTION V PHASE 2  
 BLOOMINGTON, INDIANA  
 FOR  
 BOB SHAW  
 BRCJ Project No. 6015  
 ROAD PROFILE R-3 & R-4**



DATE: 11-28-2022 ISSUED FOR PERMIT

REV.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT

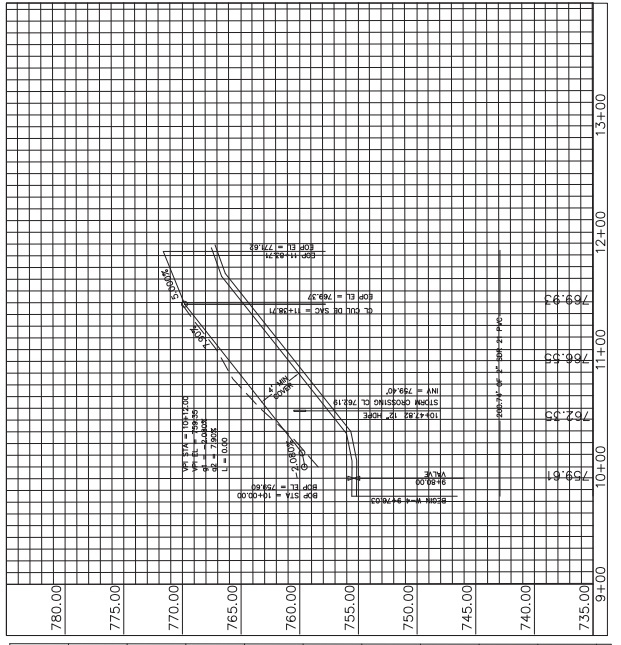
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 Designed By: CDS & GBM  
 Checked By: WSR

**C703**

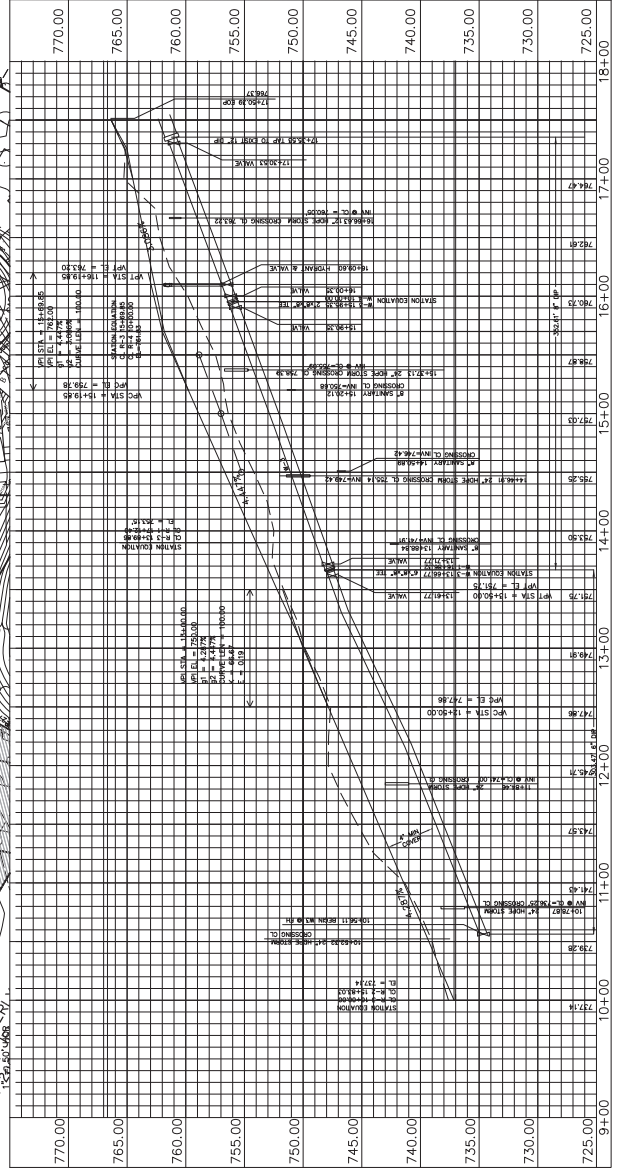


NOTE:  
 STATIONING, SANITARY CROSSINGS & STORM CROSSING INVERTS  
 WATERLINE DOES NOT NECESSARILY CROSS SANITARY OR  
 STORM LINES. REFER TO PLAN DRAWING.  
 CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF  
 ALL UTILITIES PRIOR TO CONSTRUCTION.

SCALE:  
 HORIZ = 1" = 5' HORIZ  
 VERT = 1" = 5' VERT



W-4



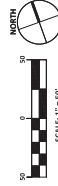
W-3

FOR INFORMATIONAL PURPOSES ONLY



**RIDGEFIELD SUBDIVISION  
 SECTION V PHASE 2  
 BLOOMINGTON, INDIANA**

FOR  
**BOB SHAW**  
 BRC/J Project No: 6015  
**SANITARY SEWER  
 PROFILE S-1**

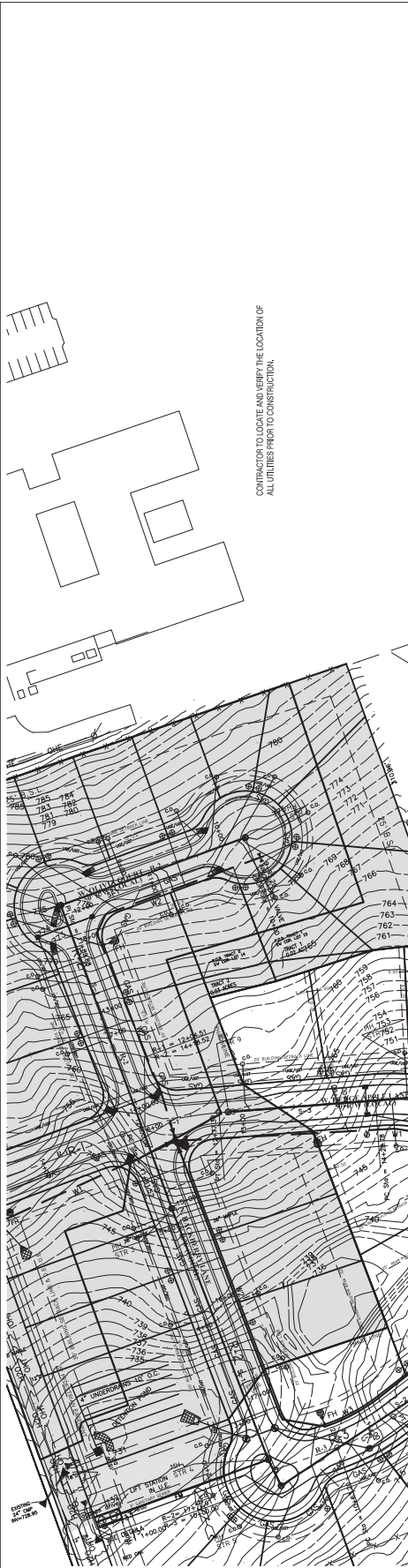


DATE: 11-28-2022 ISSUE: ISSUED FOR REFERENCE

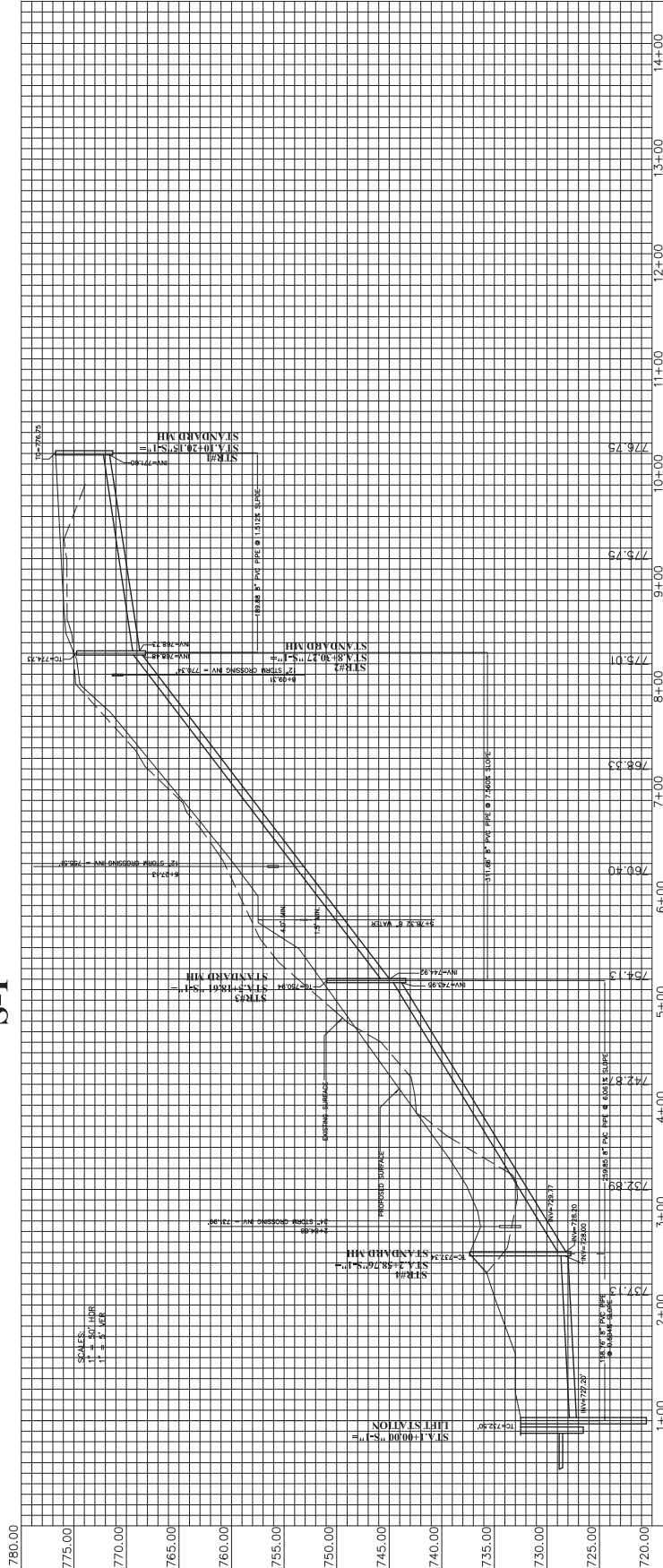
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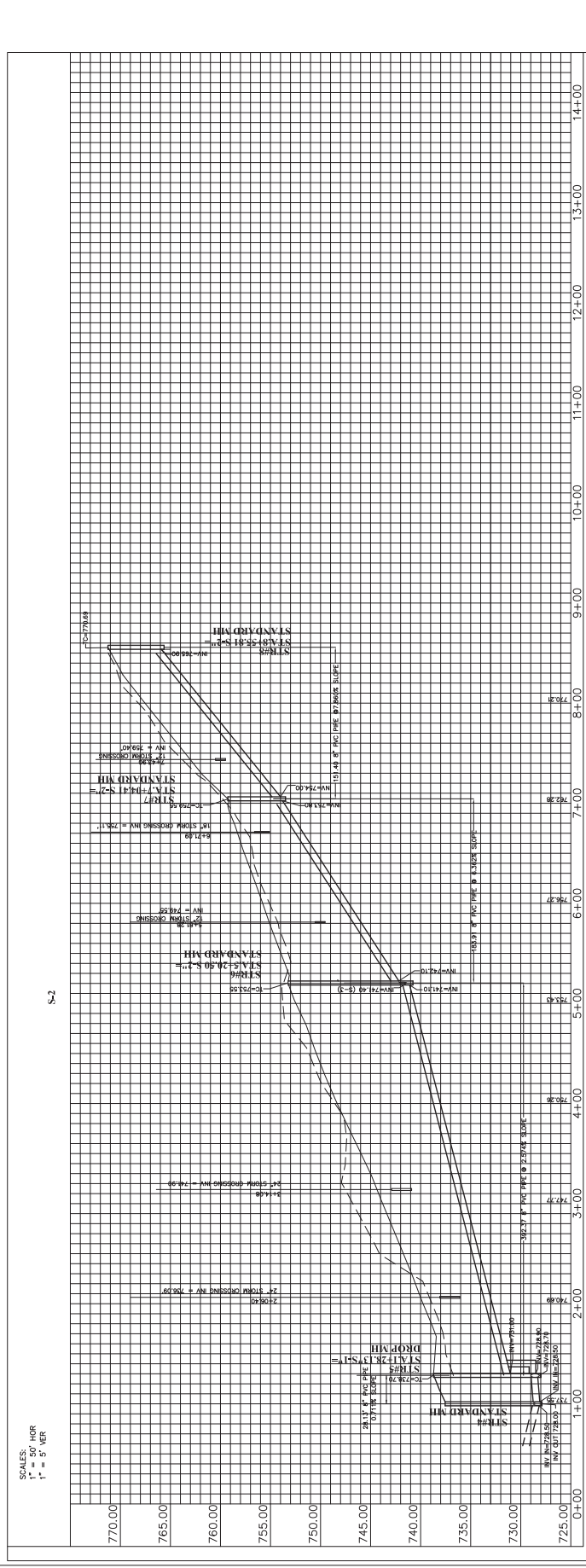
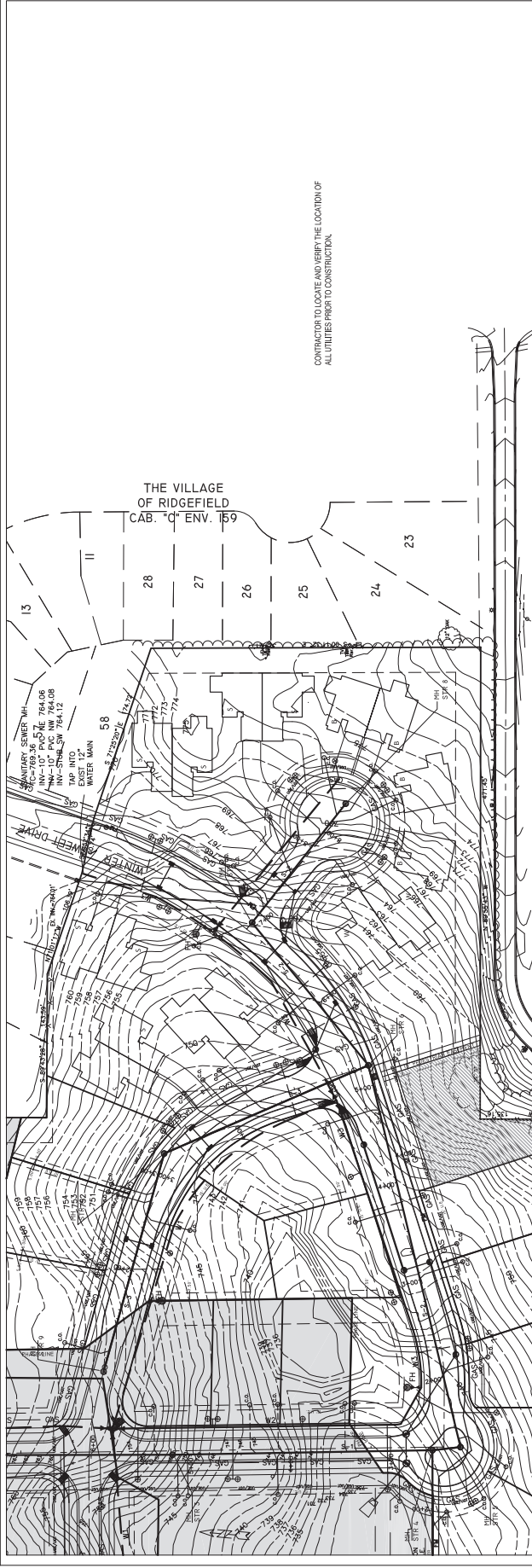
Drawn By: CDS & SBA  
 Designed By: CDS  
 Checked By: WSR

**C704**



**S-1**

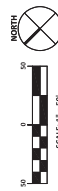






*J.A. Jones*

**RIDGEFIELD SUBDIVISION  
 SECTION V PHASE 2  
 BLOOMINGTON, INDIANA  
 FOR  
 BOB SHAW  
 BRCJ Project No: 6015  
 SANITARY SEWER  
 PROFILE S-3**



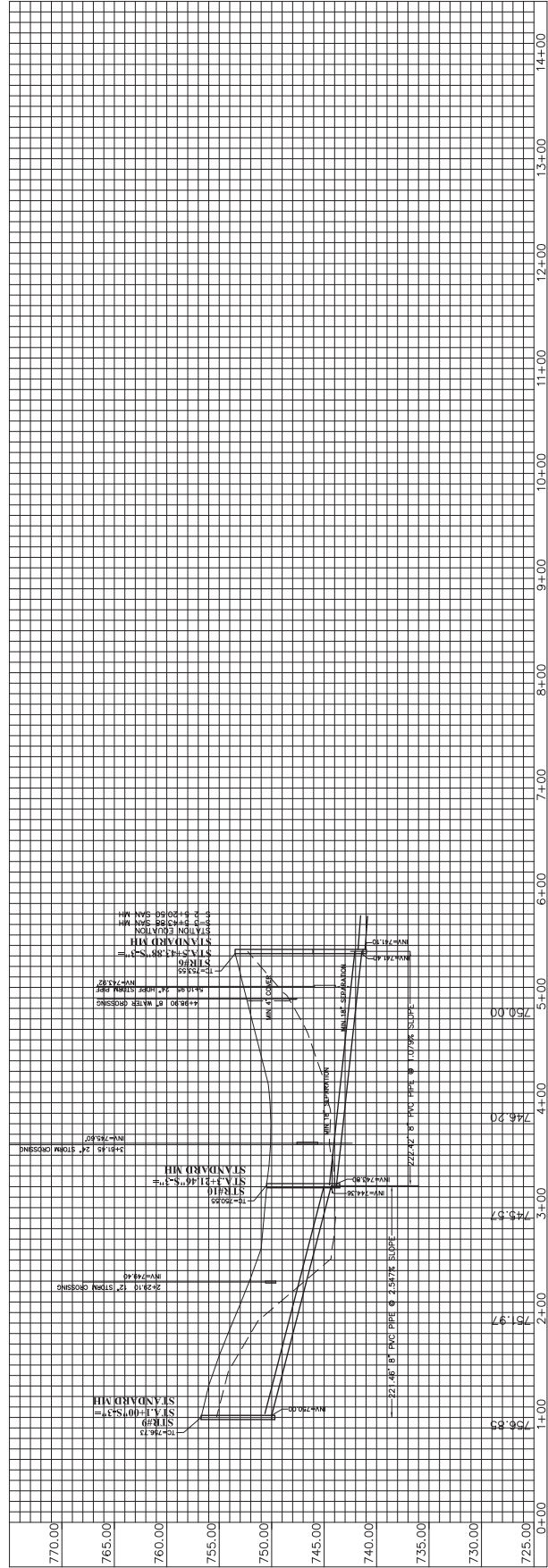
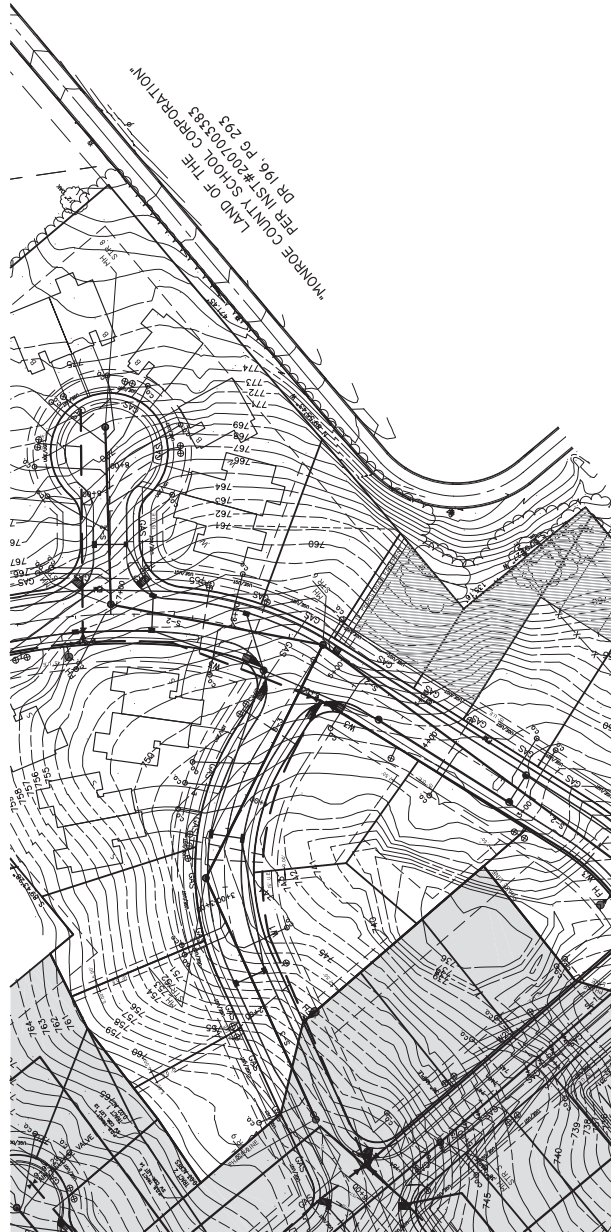
DATE: 11-28-2022 ISSUED FOR PERMIT

Rev.	Rev. Description	Issue Date

Drawn By: CDG & BSM  
 Designed By: CDG  
 Checked By: WSK

**C706**

CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

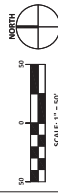


FOR INFORMATIONAL PURPOSES ONLY



**RIDGEFIELD SUBDIVISION  
 SECTION V PHASE 2  
 BLOOMINGTON, INDIANA**

FOR **BOB SHAW**  
 BRCJ Project No. 6015  
**FORCE MAIN PROFILE**



Date:	11-28-2022	FOR REFERENCE
Issue:		
Revision:		
Issue Date:		

Drawn By: CDG & GBM  
 Designed By: CDG  
 Checked By: WSR

**C707**



CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

