

CITY OF BLOOMINGTON



December 21, 2022 @ 2:00 p.m.
Kelly Conference Room #155 and Zoom

Virtual Link:

<https://bloomington.zoom.us/j/85805441132?pwd=SnRSV2xlMml4bGtaNjFjWlhyZjNjZz09>

Meeting ID: 858 0544 1132

Passcode: 421897

**CITY OF BLOOMINGTON
HEARING OFFICER (Hybrid Meeting)
December 21, 2022 at 2:00 p.m.**

**City Hall, 401 N. Morton Street
Kelly Conference Room #155**

❖Virtual Link:

<https://bloomington.zoom.us/j/85805441132?pwd=SnRSV2xIMml4bGtaNjFjWlhyZjNjZz09>

Meeting ID: 858 0544 1132

Passcode: 421897

PETITION MAP: <https://arcg.is/i5Lei0>

PETITIONS:

CU-50-22 **Bloomington RAD II, LP**
1007 N Summit St
Parcel(s): 53-05-32-200-060.000-005
Request: Conditional use approval for a community center to allow a 1,827 square
Foot addition to the Crestmont Community Center in the Residential High-Density
Multi-family (RH) zoning district.
Case Manager: Eric Greulich

****Next Meeting: November 9, 2022**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or
E-mail human.rights@bloomington.in.gov.*

**BLOOMINGTON HEARING OFFICER
STAFF REPORT
Location: 1007 N. Summit St.**

**CASE #: CU-50-22
DATE: December 21, 2022**

PETITIONER: Bloomington RAD II
1603 Orrington Ave, Evanston, IL

CONSULTANT: Smith Design Group
1467 W. Arlington Road, Bloomington, IN

REQUEST: The petitioner is requesting conditional use approval for a Community Center to allow a 1,827 square foot addition to the Crestmont community center in the Residential High-Density Multifamily (RH) zoning district.

REPORT: This property is located at 1007 N. Summit Street and is zoned Residential High-Density Multifamily (RH). Surrounding land uses are all residential and include other units within the Crestmont community to the north, west, and south and single family residences to the east. The property has been developed with residential units that are part of the Crestmont Community and includes an approximately 1,000 square foot community center. The petitioner is proposing to construct a 1,827 square foot addition to the east side of the community center for additional meeting space, playroom, storage, and pantry use.

The Unified Development Ordinance (UDO) lists Community Centers as a permitted use in the RH zoning district, however it requires that if a major addition to an existing structure (greater than 33% of the existing floor area) occurs, then the use shall be subject to a conditional use approval. The proposed addition is greater than 33% of the existing floor area and therefore requires conditional use approval. The addition will also require the portion of the site adjacent to the Community Center to come into compliance with the limited compliance standards of the UDO which includes new landscaping, bike rack, reducing the drivecut width, and removal of parking spaces in the right-of-way along Monroe Street.

CRITERIA AND FINDINGS

The Hearing Officer or Board of Zoning Appeals shall review the conditional use permit petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(d)(7)), based on the general approval criteria in Section 20.06.040(d)(6) (Approval Criteria), and the following specific approval criteria:

20.06.040(d)(6)(B) General Compliance Criteria

i. Compliance with this UDO

Proposed Finding: The proposed use of the property for a community center and residential dwelling units are permitted uses. The addition to the Community Center meets setback requirements, height standards, and all other applicable development standards.

ii. Compliance with other applicable regulations

Proposed Finding: There are no other known applicable regulations that would regulate this

addition.

iii. Compliance with Utility, Service, and Improvement Standards

Proposed Finding: Any changes or modifications to utility service to the building for the addition will be coordinated with the City of Bloomington Utilities Department.

iv. Compliance with prior approvals

Proposed Finding: There are no prior approvals that would regulate this addition. A grading permit (C21-542) was issued to allow site work on this site for new sidewalks and utility connections to the residential buildings.

20.06.040(d)(6)(C) Additional Criteria Applicable to Conditional Uses

i. Consistency with Comprehensive Plan and Other Applicable Plans

Proposed Finding: The Comprehensive identifies this area as “Mixed Urban Residential.” The use of the property as a community building for the adjacent residences and neighborhood promotes a diversity of uses in the neighborhood and provides a community space that furthers many of the goals and objectives of the Comprehensive Plan for neighborhood oriented uses.

ii. Provides Adequate Public Services and Facilities

Proposed Finding: This site is adequately served by public services and facilities.

iii. Minimizes or Mitigate Adverse Impacts

- 1. The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.*

Proposed Finding: There are no natural, scenic, or historical features on this property.

- 2. The proposed development shall not cause significant adverse impacts on surrounding properties nor create a nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights.*

Proposed Finding: There are no expected significant adverse impacts on surrounding properties as a result of this addition. The existing community center has existed on the property for a significant amount of time with no known adverse impacts.

- 3. The hours of operation, outside lighting, and trash and waste collection shall not pose a hazard, hardship, or nuisance to the neighborhood.*

Proposed Finding: The hours of operation, outside lighting, and trash and waste collection are not expected to pose a hazard, hardship, or nuisance to the neighborhood.

- 4. The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.*

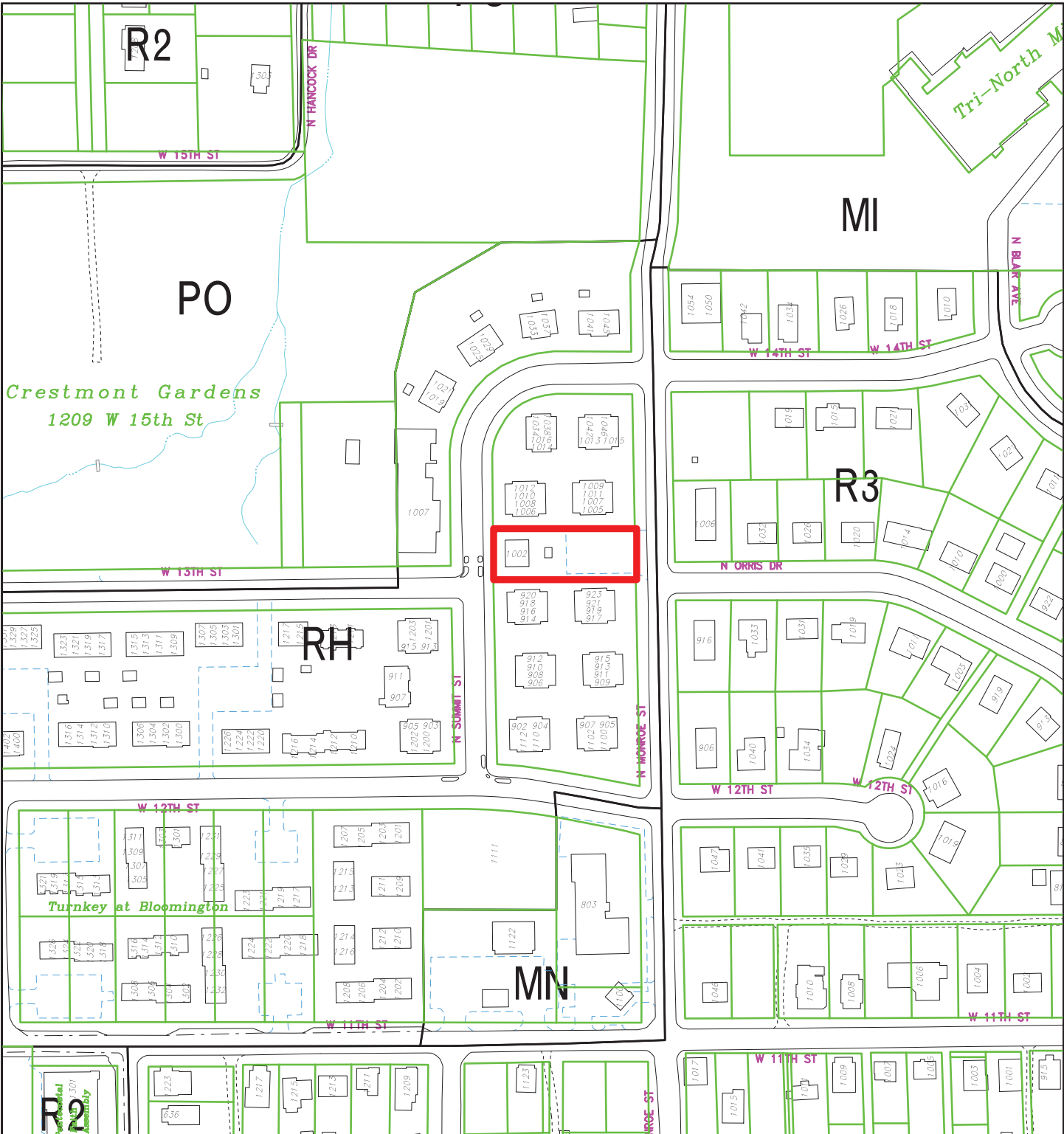
Proposed Finding: No concerns of adjoining property owners have been expressed.

iv. *Rational Phasing Plan*

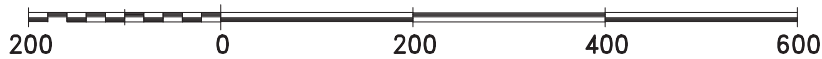
Proposed Finding: The addition will be constructed in one phase.

RECOMMENDATION: The Department recommends that the Hearing Officer adopts the proposed findings and recommends approval of CU-50-22 with the following conditions:

1. All parking spaces in the right-of-way of Monroe Street must be removed and new landscaping installed.
2. This approval is for the submitted addition and scope of work only.
3. A compliant ADA sidewalk is required along Monroe street.
4. The driveway must be reduced to a minimum of 24' and a tree plot with street trees not more than 40' from center installed.

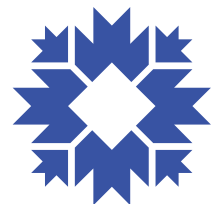


By: greulice
16 Dec 22



For reference only; map information NOT warranted.

City of Bloomington
Planning



Scale: 1" = 200'

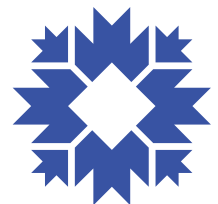


By: greulice
16 Dec 22



For reference only; map information NOT warranted.

City of Bloomington
Planning



Scale: 1" = 100'



Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder

November 28, 2022

City of Bloomington Planning & Transportation Department
Showers Building Suite 130
401 N Morton St
Bloomington, Indiana 47404

Dear Planning & Transportation Department,

On behalf of Bloomington Rad II, LP and Bloomington Housing Authority, we respectfully request Conditional Use approval for expansion of the existing Community Building within the Crestmont Neighborhood. The addition to the existing community building is increasing the footprint by more than 33% and is required to seek Conditional Use approval.

The proposed 1,827 SF one story building addition to the eastern side of the existing building will provide various amenity spaces to both the residents of the Crestmont Neighborhood and adjacent neighborhoods. The amenity spaces include meeting rooms, offices, a playroom, restrooms and a kitchen. A new outdoor gathering space is planned in the northeast area of the building.

Landscape improvements will be installed throughout the parcel in which the community building is located. New bicycle parking facilities will be located near the Community Building.

Construction has commenced within the Crestmont Neighborhood and is planned to be completed in 2023.

Thank you for your consideration of this petition. Please feel free to reach out to me with any questions.

Thankyou,

Katherine E. Stein, P.E.
Smith Design Group, Inc.
812-336-6536 Ext. 4
kstein@smithdginc.com

CODES

- BUILDING CODES:
 - 2010 INTERNATIONAL BUILDING CODE
 - 2010 INTERNATIONAL RESIDENTIAL CODE
 - 2009 INDIANA BUILDING CODE
 - 2020 INDIANA RESIDENTIAL CODE
- 2014 INDIANA FIRE CODE
- 2019 INDIANA FIRE CODE
- 2012 INDIANA FLOODING CODE
- 2012 INDIANA MECHANICAL CODE
- 2012 INDIANA ENERGY CONSERVATION CODE

FOUNDATION

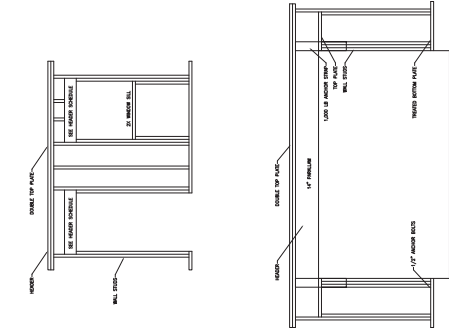
- FOUNDATIONS SHALL BE CONSTRUCTED TO WITHSTAND ALL APPLICABLE LOADS AND SETTLEMENTS WITHOUT EXCESSIVE DEFLECTION.
- FOUNDATIONS SHALL BE CONSTRUCTED TO REMAIN ABOVE FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.
- CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO REMAIN ABOVE FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.
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FRAMING

TYPICAL HEADER SCHEDULE	WOOD LAMB BEARING WALLS
WALL SIZE	1 1/2" x 6"
OPENING SIZE	1 1/2" x 6"
WALL SIZE	1 1/2" x 6"
OPENING SIZE	1 1/2" x 6"
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TYPICAL LINTEL SCHEDULE	UNFILL
OPENING SIZE	1 1/2" x 6"
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WALL SIZE	1 1/2" x 6"

FRAMING DIAGRAMS



MASONRY

- ALL MASONRY SHALL BE CONSTRUCTED TO WITHSTAND ALL APPLICABLE LOADS AND SETTLEMENTS WITHOUT EXCESSIVE DEFLECTION.
- ALL MASONRY SHALL BE CONSTRUCTED TO REMAIN ABOVE FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.
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STEEL

- ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:
 - ASTM A572, GRADE 50
 - ALL STEEL SHALL BE GALVANIZED AND ERECTED IN ACCORDANCE WITH AISC ALLOWABLE STRESS DESIGN WITH MINIMUM GALVANIZATION OF 0.0075 OZ./SQ. FT.
- ALL GALVANIZED CONNECTIONS SHALL BE MADE WITH 3/4" A325 BOLTS.
- ALL GALVANIZED BEAMS SHALL BE MADE WITH 3/4" A325 BOLTS.
- ALL GALVANIZED COLUMNS SHALL BE MADE WITH 1/2" A325 BOLTS.
- ALL GALVANIZED PLATES SHALL BE MADE WITH 1/2" A325 BOLTS.
- ALL GALVANIZED BRACKETS SHALL BE MADE WITH 1/2" A325 BOLTS.
- ALL GALVANIZED ANCHORS SHALL BE MADE WITH 1/2" A325 BOLTS.
- ALL GALVANIZED WELDS SHALL BE MADE WITH 1/2" A325 BOLTS.
- ALL GALVANIZED SHEAR PLATES SHALL BE MADE WITH 1/2" A325 BOLTS.
- ALL GALVANIZED END PLATES SHALL BE MADE WITH 1/2" A325 BOLTS.

CONCRETE

- ALL CONCRETE SHALL HAVE THE FOLLOWING:
 - 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI
 - CONCRETE SHALL BE PLACED IN A MINIMUM OF 4" MINIMUM BEARING
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WOOD

- ALL WOOD LAMBERS MUST BE SILENT KNOT FREE AND FREE OF ANY DEFECTS SUCH AS:
 - TERMINAL KNOTS
 - WEEVES
 - SHRINKAGE CHECKS
 - ROT
 - DISCOLORATION
 - WOOD BORING INSECTS
 - WOUNDS
 - OR OTHER DEFECTS
 - OR OTHER DEFECTS
 - OR OTHER DEFECTS
- ALL WOOD LAMBERS SHALL BE TREATED WITH PRESERVATIVE TO PROTECT AGAINST INSECTS AND FUNGUS.
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ARCHITECTURAL

- CONFORM ALL CONSTRUCTION TO THE INDIAN RESIDENTIAL CODE, AMERICAN NATIONAL STANDARD CODE (ANSI) A117-1.1 (ADA) AND INDIAN RESIDENTIAL CODE, AMERICAN NATIONAL STANDARD CODE (ANSI) A117-1.1 (ADA) AND INDIAN RESIDENTIAL CODE, AMERICAN NATIONAL STANDARD CODE (ANSI) A117-1.1 (ADA).
- ALL CONSTRUCTION SHALL BE CONFORMANT WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
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CASEWORK

- ALL DRAWER PULLS (IF APPLICABLE) TO BE CONTRACTOR SUPPLIED AND INSTALLED.
- PROVIDE FULL PANELS AT ALL CASEWORK (CABINETS, BUTTERS, ETC.) WALLS.
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WALL TYPES

- NEW STUD WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

ROTTMANN | COLLIER
ARCHITECTS
1000 N. AVENUE
SUITE 1000
INDIANAPOLIS, IN 46204

BLOOMINGTON HOUSING AUTHORITY
1002 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

CRESTMONT COMMUNITY
BUILDING RENOVATION

NO.	DATE	DESCRIPTION
1	11-15-2021	REVISED
2	11-15-2021	REVISED
3	11-15-2021	REVISED
4	11-15-2021	REVISED
5	11-15-2021	REVISED
6	11-15-2021	REVISED
7	11-15-2021	REVISED
8	11-15-2021	REVISED
9	11-15-2021	REVISED
10	11-15-2021	REVISED
11	11-15-2021	REVISED
12	11-15-2021	REVISED
13	11-15-2021	REVISED
14	11-15-2021	REVISED
15	11-15-2021	REVISED
16	11-15-2021	REVISED
17	11-15-2021	REVISED
18	11-15-2021	REVISED
19	11-15-2021	REVISED
20	11-15-2021	REVISED

SPECIFICATIONS

PROJECT NO. 2019-08
DATE 04-23-2022

T2-1

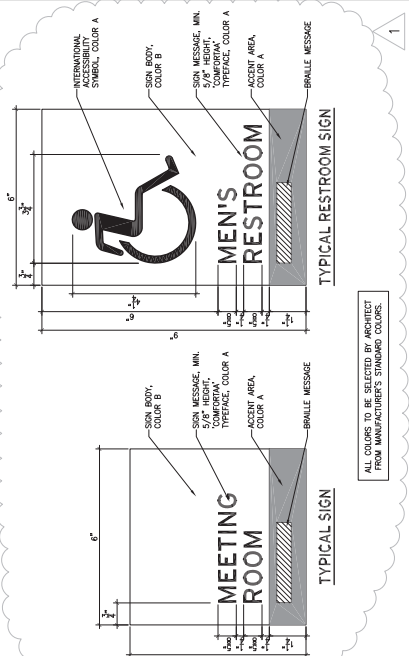
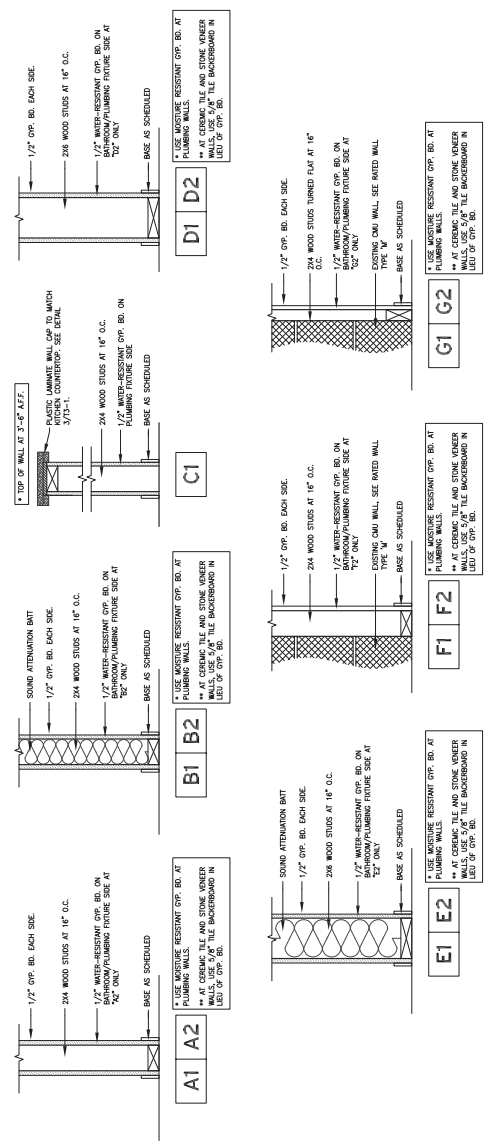


THESE DOCUMENTS INCLUDE THE GENERAL CONTRACT AGREEMENT, THE ARCHITECT'S PROFESSIONAL SERVICES AGREEMENT, THE ARCHITECT'S STANDARD CONDITIONS OF CONTRACT, AND THE ARCHITECT'S SUPPLEMENTAL CONDITIONS OF CONTRACT. THESE DOCUMENTS SHALL BE READ AND UNDERSTOOD IN CONJUNCTION WITH THE ARCHITECT'S SUPPLEMENTAL CONDITIONS OF CONTRACT AND THE ARCHITECT'S STANDARD CONDITIONS OF CONTRACT. THE ARCHITECT'S SUPPLEMENTAL CONDITIONS OF CONTRACT SHALL CONTROL IN THE EVENT OF ANY CONFLICT OR AMBIGUITY BETWEEN THESE DOCUMENTS AND THE ARCHITECT'S STANDARD CONDITIONS OF CONTRACT.

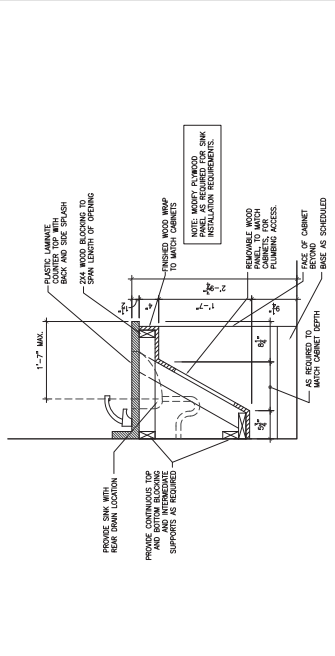
10-14-2021	20K WORK SET
10-15-2021	017 PERM SET
11-19-2021	018 PERM SET
01-11-2022	020 PERM SET
04-29-2022	020 PERM SET

T3-1

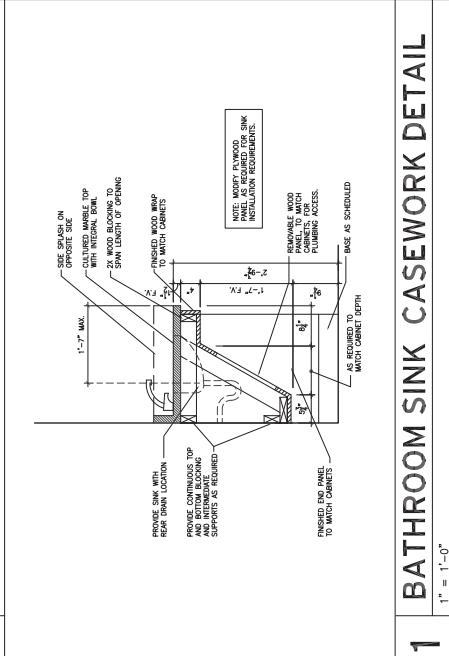
WALL TYPES



3 TYPICAL INTERIOR SIGNAGE
 6" = 1'-0"



2 KITCHEN SINK CASEWORK DETAIL
 1" = 1'-0"



1 BATHROOM SINK CASEWORK DETAIL
 1" = 1'-0"

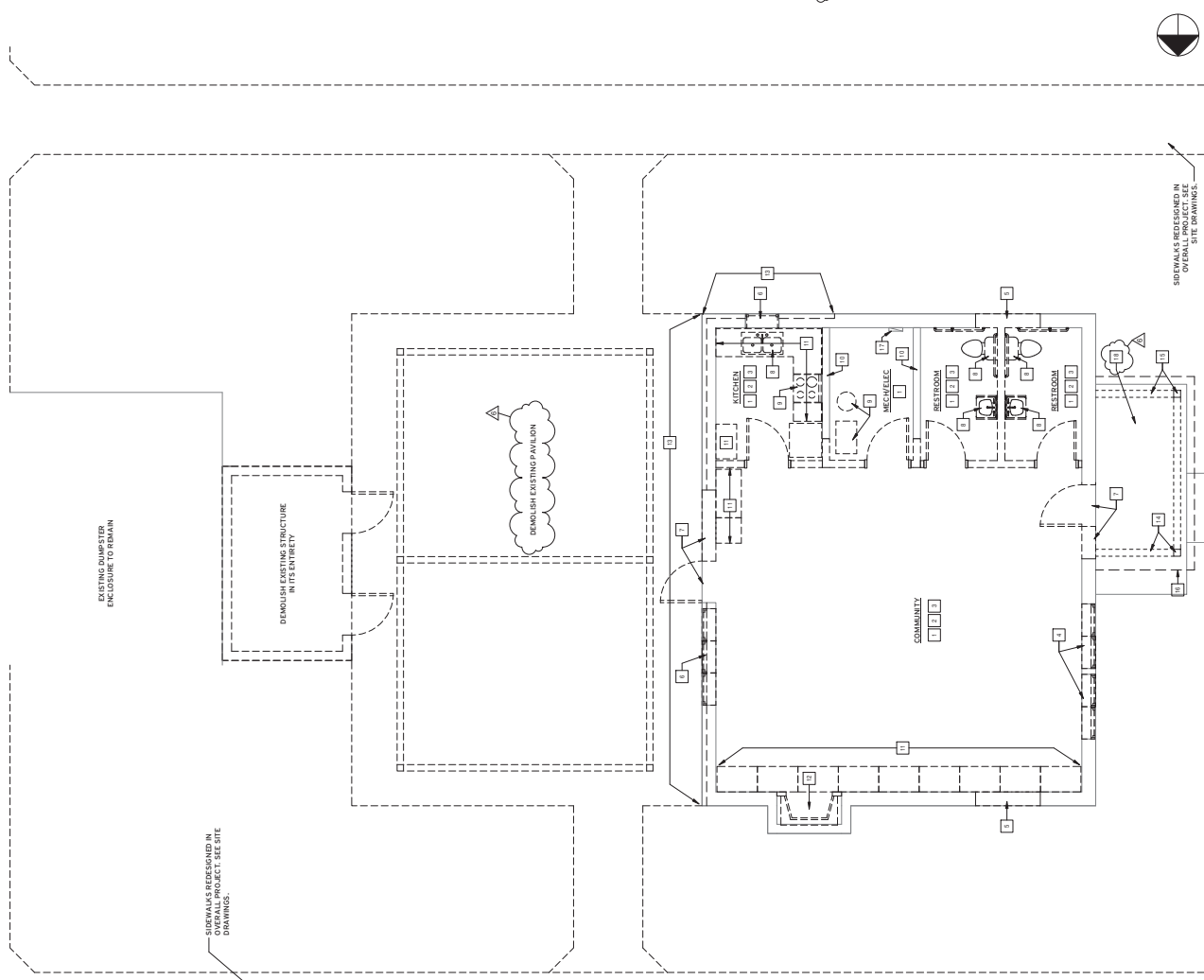
<p>12 RADON VENT SECTION $1/4" = 1'-0"$</p>	<p>13 PANTRY SHELVES $1/4" = 1'-0"$</p>	<p>14 COAT HOOK $1/2" = 1'-0"$</p>	<p>15 SHOWER CURB DETAIL $3" = 1'-0"$</p>	<p>16 LINEN SHELVES $1/4" = 1'-0"$</p>	<p>17 LAUNDRY SHELF $1/4" = 1'-0"$</p>	<p>18 CLOSET ROD AND SHELF $3/4" = 1'-0"$</p>
<p>19 WINDOW SILL $1 1/2" = 1'-0"$</p>	<p>20 WINDOW JAMB $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>21 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>22 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>23 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>24 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>25 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>
<p>26 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>27 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>28 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>29 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>30 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>31 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>32 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>
<p>33 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>34 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>35 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>36 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>37 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>38 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>39 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>
<p>40 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>41 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>42 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>43 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>44 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>45 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>	<p>46 WINDOW HEAD $1 1/2" = 1'-0"$ (DOOR SIMILAR)</p>

GENERAL DEMO NOTES

- A. DEMOLITION PLANS ARE TO SERVE AS A GUIDE ONLY. ALL CONSTRUCTION DOCUMENTS ARE TO BE USED TO DETERMINE THE SCOPE OF DEMOLITION WORK NEEDED.
- B. CUTTING AND PATCHING/FINISHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ACTUAL WORK SHALL BE DETERMINED BY THE CONTRACTOR'S EXPERIENCE AND SKILL IN SUCH WORK. CONTRACTOR MUST REVIEW THE CONTRACT SPECIAL CONDITIONS, WHERE CUTTING AND PATCHING WORK FROM THE GENERALIZED ASSIGNMENT OF WORK COULD VARY FROM THE GENERALIZED ASSIGNMENT OF WORK. THE RESPONSIBILITY OF THE CONTRACTOR FOR WHOM THE WORK IS REQUIRED.
- C. REMOVE ALL ARTWORK, BULLETIN BOARDS, AND OWNER PATCH WALLS TO MATCH EXISTING.
- D. ALL SURFACES TO REMAIN THAT RECEIVE DEMOLITION PATCHING SHALL BE FINISHED TO MATCH EXISTING SURROUNDING SURFACES IN TEXTURE, COLOR, AND FINISH. PATCHING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST INSIDE CORNER, OFFSET, OR INTERSECTION.

DEMOLITION PLAN KEYNOTES

- 1 REMOVE ALL INTERIOR WALLS, EXCEPT REMAIN TO STUDS/BLOCK. PREPARE REMAINING SURFACES TO RECEIVE NEW MATERIALS/FINISHES.
- 2 REMOVE ALL INTERIOR WALLS, EXCEPT REMAIN TO STUDS/BLOCK, AND OTHER CEILING ATTACHED ITEMS. REFER TO DEMOLITION PLAN FOR NEW CONSTRUCTION PLAN.
- 3 REMOVE ALL EXISTING EQUIPMENT AND ITEMS WITHIN AREA. CONFIRM WITH OWNER PRIOR TO DISPOSAL. IN CASE OF REMOVAL OF EQUIPMENT, REFER TO NEW CONSTRUCTION PLAN.
- 4 REMOVE WINDOWS AND ASSOCIATED TRIM. PREPARE EXISTING OPENING TO RECEIVE NEW WINDOWS. REFER TO NEW CONSTRUCTION PLAN.
- 5 REMOVE EXISTING WINDOW COMPLETELY. REFER TO NEW CONSTRUCTION PLAN FOR NEW WINDOW.
- 6 REMOVE EXISTING DOOR COMPLETELY. REMOVE ADDITIONAL TRIM AND FINISHES. REFER TO NEW CONSTRUCTION PLAN FOR NEW DOOR AND ANY INFILL CONSTRUCTION.
- 7 REMOVE EXISTING DOOR COMPLETELY. REMOVE ADDITIONAL TRIM AND FINISHES. REFER TO NEW CONSTRUCTION PLAN FOR NEW DOOR AND ANY INFILL CONSTRUCTION.
- 8 REMOVE EXISTING DOOR COMPLETELY. REFER TO MEP DRAWINGS FOR FURTHER INFORMATION.
- 9 REMOVE EQUIPMENT COMPLETELY. REFER TO MEP DRAWINGS FOR FURTHER INFORMATION.
- 10 EXISTING BLOCK WALL TO REMAIN. PREPARE TO RECEIVE NEW FINISHES/WORK COMPLETE.
- 11 NEW FINISHES/WORK COMPLETE.
- 12 CONFIRM EXISTING PREPARE HAS BEEN ABANDONED. SEAL AS REQUIRED.
- 13 REMOVE EXISTING WINDOW. REFER TO NEW CONSTRUCTION PLAN FOR FINISHES AS NOTED. SALVAGE UNMANGLED MATERIALS AS MUCH AS POSSIBLE FOR PORCH EXPANSION. REFER TO NEW CONSTRUCTION DRAWINGS.
- 14 SALVAGE PORTS AND BLUM AS POSSIBLE FOR PORCH EXPANSION. REFER TO NEW CONSTRUCTION DRAWINGS.
- 15 EXPANSION, USING TEMPORARY BRACING AS REQUIRED. REFER TO NEW CONSTRUCTION DRAWINGS.
- 16 EXPANDED PORCH ROOF INFORMATION. REFER TO MEP DRAWINGS FOR FURTHER INFORMATION.
- 17 REMOVE EXISTING CONCRETE PAVING SURFACE IN ITS ENTIRETY.



1 DEMOLITION PLAN
1/4" = 1'-0"



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BLOOMINGTON HOUSING AUTHORITY
CRESTMONT COMMUNITY
BUILDING RENOVATION
1002 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

NO.	REVISION
1	11-01-2021 2X REVISED
2	11-01-2021 2X REVISED
3	11-01-2021 2X REVISED
4	11-01-2021 2X REVISED
5	11-01-2021 2X REVISED
6	11-01-2021 2X REVISED
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15	11-01-2021 2X REVISED
16	11-01-2021 2X REVISED
17	11-01-2021 2X REVISED
18	11-01-2021 2X REVISED

DEMOLITION PLAN
PROJECT NO. 2018
DATE 03-14-2022

GENERAL PLAN NOTES

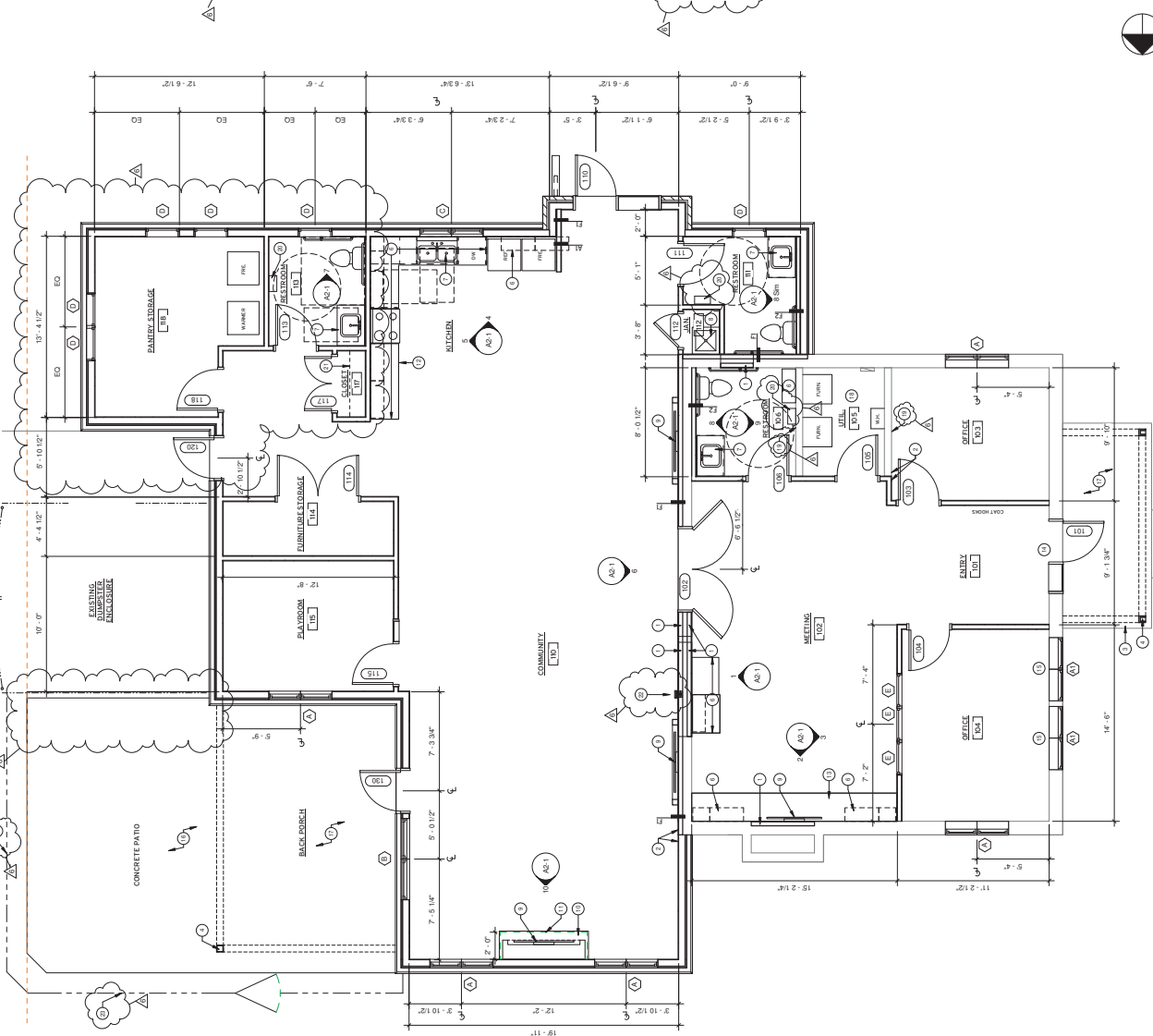
- REPORT ANY AND ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
- ALL NEW CONSTRUCTION SHALL BE TYPE "A1" UNLESS NOTED OTHERWISE.
- ALL NON-RECTANGULAR WALLS SHALL BE AT 45 DEGREES, UNLESS NOTED OTHERWISE.
- ALON FINISHED FACE OF NEW CONSTRUCTION WALLS WITH FINISHED FACE OF EXISTING WALLS.
- INSTALL WATER-RESISTANT Gypsum BOARD ON ALL RELEVANT THING. INSTALL CERAMIC/TILE BACKER BOARD.
- THE FACE OF ALL DOORS SHALL BE 4" HIGHER OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.

WHERE DRYWALL HAS BEEN REMOVED FROM EXISTING WALLS, REPAIR WITH TYPE "A1" GYPSUM BOARD, INSULATION AND PROVIDE NEW Gypsum BOARD.

SCOPE DOCUMENT
 THIS DOCUMENT IS THE SCOPE OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO VERIFY THE EXISTING CONDITIONS AND TO PROVIDE THE NECESSARY INFORMATION TO THE CONTRACTOR TO COMPLETE THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

FLOOR PLAN KEYNOTES

1. ALL NEW CONSTRUCTION SHALL BE TYPE "A1" UNLESS NOTED OTHERWISE.
2. FINISHED FACES OF WALLS TO ADJ.
3. NEW CONSTRUCTION SHALL BE TYPE "A1" UNLESS NOTED OTHERWISE.
4. NEW POOR-FLOOR, SEE DETAIL 3/4A-1
5. NEW SINK REFER TO PLUMBING DRAWINGS.
6. NEW SINK REFER TO PLUMBING DRAWINGS.
7. NEW SINK REFER TO PLUMBING DRAWINGS.
8. NEW SINK REFER TO PLUMBING DRAWINGS.
9. NEW SINK REFER TO PLUMBING DRAWINGS.
10. WALL TO ADJ. TO EXISTING WALL.
11. GAS FIREPLACE. SEE ELEVATION.
12. COUNTERTOP ON METAL SUPPORT BRACKETS. SEE ELEVATION.
13. COUNTERTOP ON METAL SUPPORT BRACKETS. SEE ELEVATION.
14. INSTALL NEW DOOR, FRAME, AND HANGERS USING EXISTING OPENING. UNPAINTED TO MATCH AS NEEDED.
15. NEW PAINT. CONCRETE SLAB. SLOPE AWAY FROM BUILDING.
16. NEW PAINT. CONCRETE SLAB. SLOPE AWAY FROM BUILDING.
17. REMOVE ENCLOSURE WITH PRE-FINISHED SOFFIT PANEL.
18. NEW EQUIPMENT FOR RANGE AND WATER HEATER. ELECTRICAL AND DATA NOTIFICATIONS. REFER TO MEP DRAWINGS.
19. REMOVE EXISTING Gypsum BOARD TO EXISTING BLOCK WALL.
20. ALL MOUNTED PAPER TOWEL DISPENSER AND TRASH CAN.
21. 2x4 STUDS WITH HANGING BAR AT 42" AND 84".
22. 1/2" Gypsum BOARD STUDS MOUNTED IN Gypsum BOARD. SEE FOUNDATION PLAN FOR FOOTING INFORMATION. SEE DETAIL 3/4A-1.
23. STEEL-BAL 3/4" x 2" x 2" BLACK ALUMINUM 3-BAL FENCE WITH SURFACE MOUNTED 2" POST CONNECTIONS. INSTALL CONCRETE CURB. SEE CIVIL DRAWINGS FOR CURB DETAIL.



1 FLOOR PLAN
 1/4" = 1'-0"

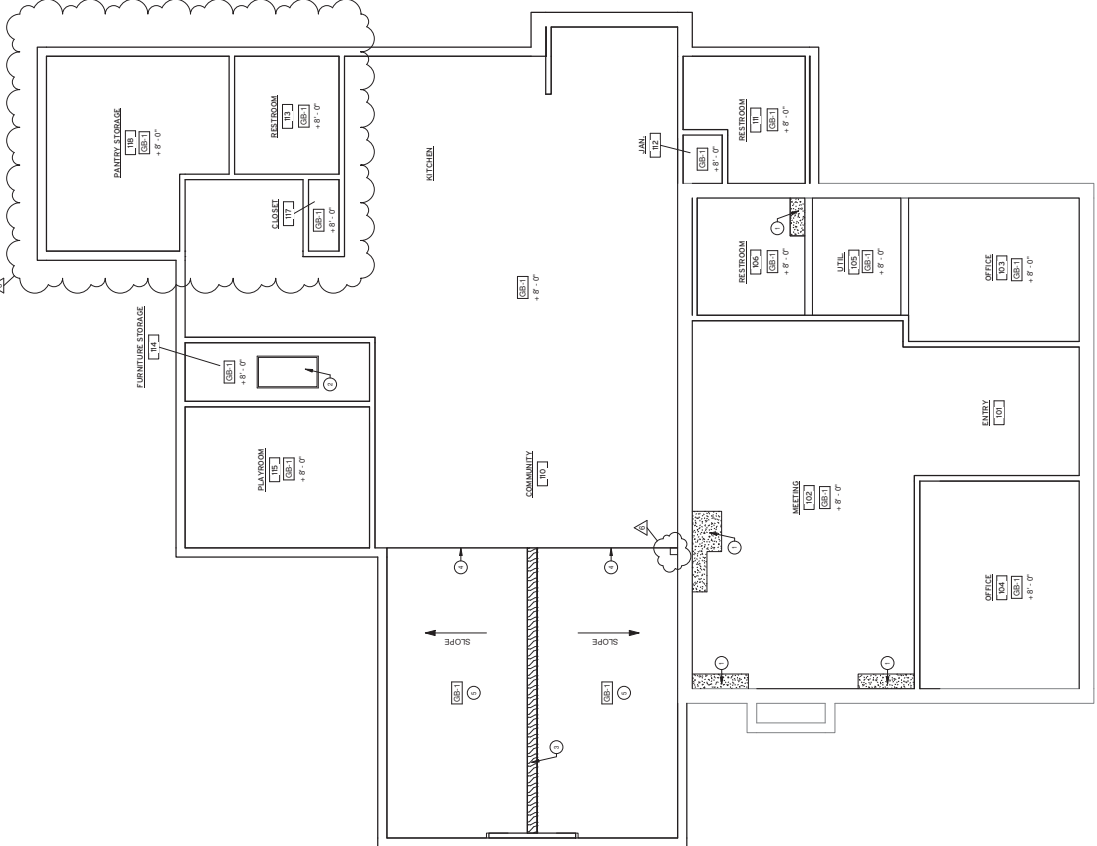


REVISIONS

NO.	DATE	BY	DESCRIPTION
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50	11-15-2021	DS	REVISED PER COMMENTS

GENERAL CEILING NOTES

- A. REFER TO MEP DRAWINGS FOR LIGHT FIXTURE, DIFFUSER, AND RETURN AIR GRILLE LOCATIONS.
- B. ALL GYPSUM BOARD CEILINGS TO BE FINISHED WITH WHITE 5/8" JOINT, TAPE, AND JOINT COMPOUND.



REFLECTED CEILING PLAN...

1. VERIFY ALL CABINETS AND CABINET ABOVE CABINETS. SEE ELEVATION FOR HEIGHT.
2. ATIC ACCESS PANEL, 20" x 40" MINIMUM DIMENSIONS.
3. VERIFY ALL ROOMS ARE FINISHED TO MATCH RFD-1.
4. VERIFY ALL ROOMS ARE FINISHED TO MATCH RFD-1.
5. INSTALL ACOUSTICAL PLANKS, AP-1, OVER ENTIRE STORER CEILING AREA.

CEILING TYPES LEGEND

GB-1 8/16 GYPSUM BOARD, SMOOTH FINISH



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 BLOOMINGTON, IN 47404



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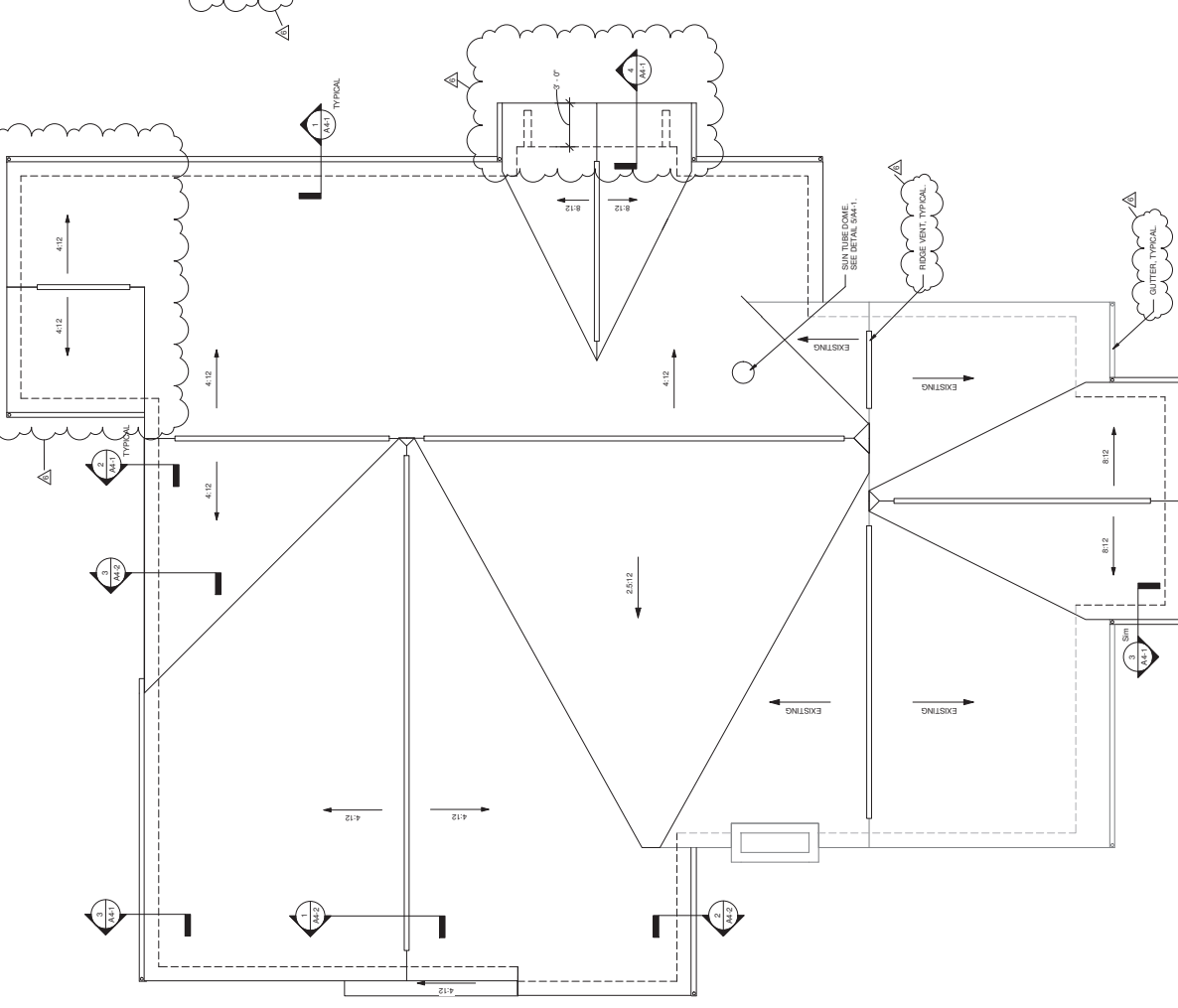
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99	02-20-2023	ISSUE FOR PERMIT
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GENERAL ROOF NOTES

- A. ALL ROOF SLOPES ARE LOCATED ON ROOF PLAN.
- B. ALL NON-PREFINISHED EXTERIOR ITEMS SHALL BE PAINTED WITH ONE COAT OF PRIMER AND ONE COAT OF FINISH PAINT.
- C. ALL COLORS TO BE SELECTED BY ARCHITECT. SUPPLY SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- D. MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) DRAWINGS FOR ACTUAL LOCATIONS AND TYPES.
- E. PAINT ALL NON-PPG ROOF PENETRATIONS TO MATCH ROOFING MATERIAL.
- F. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECT.
- G. PROVIDE CONTINUOUS SEMI-CONCEALED RIDGE VENTS.
- H. KEEP ROOF PENETRATIONS TO A MINIMUM.
- I. INSTALL NEW ICE AND WATER SHIELD AT ALL EAVES, AT ALL ROOF SLOPES 3:12 OR LESS, INSTALL ICE AND WATER SHIELD OVER ENTIRE AREA.

SCOPE DOCUMENT
 THESE NOTES ARE INTENDED TO SUPPLEMENT THE CONTRACT DOCUMENTS AND SHALL NOT BE USED TO ALTER THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS SHALL CONTROL IN THE EVENT OF A CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



1 ROOF PLAN

1/4" = 1'-0"

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 1002 NORTH SUMMIT ST
 BLOOMINGTON, IN 47404

REVISIONS

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ROOF PLAN
 PROJECT NO. 2018
 DATE 03-14-2020
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A1-3



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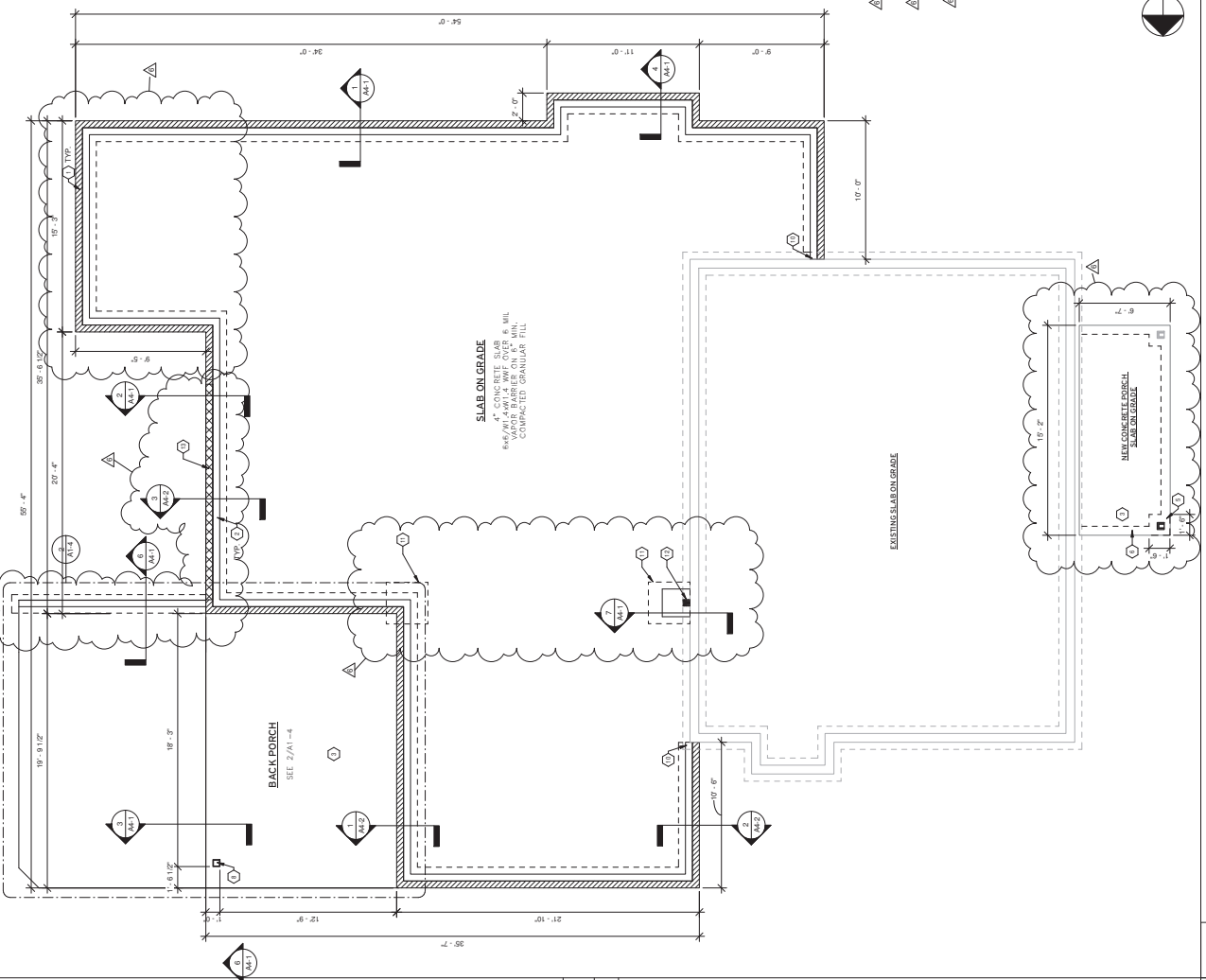
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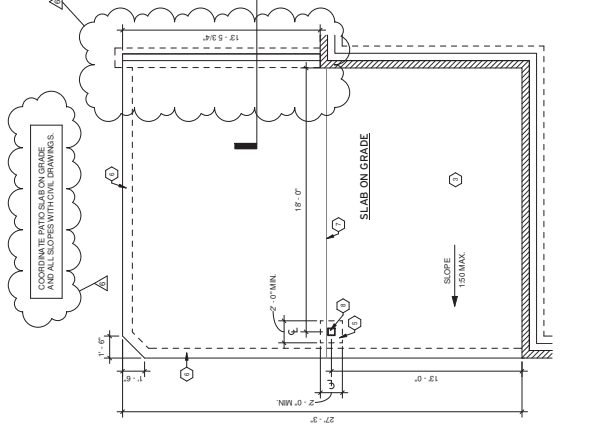
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NO. 0004	DATE: 08-15-2022	BY: EJP/JS
NO. 0005	DATE: 09-15-2022	BY: EJP/JS
NO. 0006	DATE: 09-15-2022	BY: EJP/JS

- GEN. FOUNDATION NOTES**
- A. DIMENSIONS ARE FROM FACE OF CONCRETE OR VERIFIED BY CONTRACTOR +/- ARE TO BE FIELD NOTED OTHERWISE.
 - B. ALL ANGLES AT 45 DEGREE INCREMENTS, UNLESS NOTED OTHERWISE.
 - C. VERIFY ALL FOUNDATION DIMENSIONS WITH FLOOR PLAN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. CLEARANCES PRIOR TO PROCEEDING WITH THE STRUCTURE SHALL BE SUBJECT TO PRIOR APPROVAL.
 - D. NOT ALL FLOOR/SLAB PENETRATIONS MAY BE IDENTIFIED. CONTRACTOR SHALL VERIFY PENETRATION LOCATIONS. CONTRACTOR SHALL VERIFY CLEARANCES PRIOR TO PROCEEDING WITH THE STRUCTURE. STRUCTURE SHALL BE SUBJECT TO PRIOR APPROVAL.
 - E. ALL FOOTINGS SHALL BE ON UNDISTURBED SOILS AT A MINIMUM OF 12" MIN. FROM THE EXISTING FOOTINGS ARE REQUIRED TO BE STEPPED UP EVERY 8" - 10" MIN. OF HORIZONTAL DISTANCE.
 - F. REMOVE ALL TOP SOIL IN AREA TO BE OCCUPIED BY BUILDING. STEEP TOP SOIL THAT IS REQUIRED TO REMAIN SHALL BE REINFORCED WITH STEEL BARS AT ALL EXCESS TOP SOILS AND DEBRIS FROM SITE.
 - G. RAISE EXCAVATED MATERIALS BACK 12" MIN. FROM FOUNDATION. EXCESS EXCAVATED MATERIAL TO BE LOOSE SOIL FROM FALLING BACK INTO TRENCH.
 - H. ENGINEERED FILL SHALL BE FREE ORGANIC MATERIAL, ROCKS LARGER THAN 2" INCHES, CLAY COMPACTED TO A MINIMUM DRY DENSITY OF 20% OF THE THEORETICAL DENSITY. ALL EXCESS FILL TO BE ASTM-D1527, AND PLACED IN 8" LIFTS. REMOVE ALL EXCESS EXCAVATED MATERIAL FROM THE SITE.
 - I. ASSUMED ALLOWABLE SOIL BEARING PRESSURE 2000 PSF. CONTRACTOR SHALL VERIFY THIS THROUGH TESTING OF FOOTINGS SHALL BE AS INDICATED USING UNDISTURBED EARTH. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE.
 - J. CONTRACTOR IS TO RETAIN A SOILS ENGINEER TO VERIFY BEARING CAPACITY OF SOIL.
 - K. GRANULAR MATERIALS SHALL BE A ROUND TO 1/2" MAXIMUM SIZE. GRANULAR MATERIAL SHALL BE A MAXIMUM SIZE AGGREGATE TO BE 3/8".
 - L. FOUNDATION PLATES OR SILLS SHALL BE BOLTED TO THE FOUNDATION OR FOUNDATION WALL WITH NOT BARS EMBEDDED AT LEAST 7 INCHES INTO THE FOUNDATION. FOUNDATION WALLS SHALL BE A MINIMUM THICKNESS OF 12 INCHES. ALL WALLS SHALL BE WITHIN 2 INCHES OF EACH END OF EACH PIECE. A PROPERLY SIZED NUT AND WASHER SHALL BE USED TO TIGHTEN THE BOLTS. FOUNDATION PLATE AND SILLS SHALL BE OF HEAVY WOOD.
 - M. FOUNDATION JOINTS SHALL BE AS SHOWN ON CONSTRUCTION DETAILS. ALL CONSTRUCTION JOINTS MUST FALL ON COLUMN LINES.
 - N. INTERIOR CONCRETE FLOOR SLABS SHALL HAVE FLAT FINISH. HARD-CLOSED SMOOTH SURFACE WITH MIN. 1/8" GAP UNDER A 10'-0" STRAIGHT EDGE.
 - O. FINISH FLOOR SHALL BE AS NOTED ON GENERAL NOTES. SHALL HAVE BROOK FINISH UNLESS NOTED OTHERWISE.

- FOUNDATION PLAN KEYNOTES**
1. REFER TO SECTION 2102.
 2. CONTIGUOUS FOUNDATION WALL WITH CONCRETE FOOTING. TYPICAL. REFER TO WALL SECTIONS.
 3. CONCRETE FLOOR SLAB WITH 1" MIN. THICKNESS. 6" MIN. W.C. WITH 4" MIN. W.W.F. ON 6" MIN. COMPACTED GRANULAR FILL. SLOPED AT MAXIMUM 1:50 AWAY FROM BUILDING.
 4. REINFORCED CONCRETE PIER. REFER TO WALL SECTIONS.
 5. FINISH GRADE OF SUB 1A.
 6. PRESSURE-TREATED FRAME COLUMN. REFER TO SECTIONS.
 7. DO NOT USE.
 8. FOUNDATION JOINT WITH FORMING AND FINISHING WITH 1/8" X 18" LONG AT 16" O.C. VERTICAL EMBEDDED AT LEAST 8" INTO EXISTING.
 9. 4" X 16" VERTICAL CONCRETE FOOTING WITH (3) #5'S EACH WAY.
 10. 4" X 16" PIER.
 11. 4" X 16" PIER. REFER TO WALL SECTIONS FOR DETAILS.
 12. 4" X 16" PIER. REFER TO WALL SECTIONS FOR DETAILS.



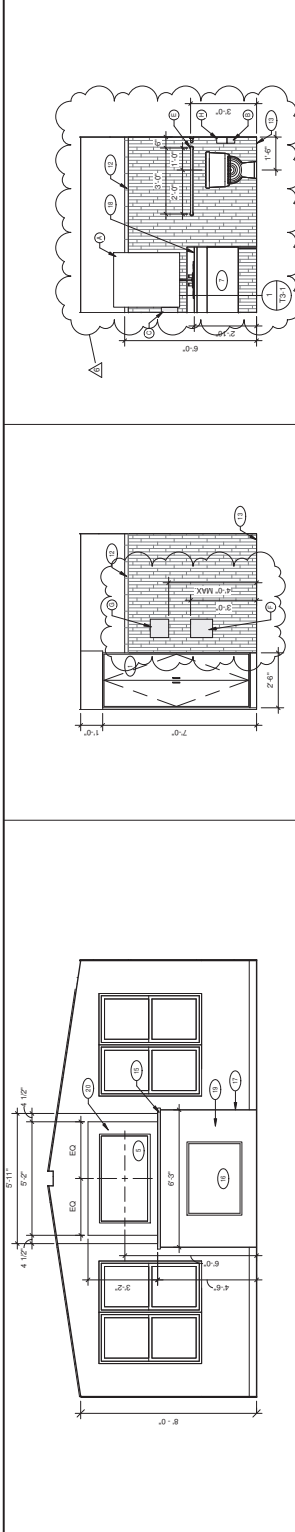
1 FOUNDATION PLAN
 1/4" = 1'-0"



2 BACK PORCH PLAN
 1/4" = 1'-0"

REVISION	DATE	BY	DESCRIPTION
1	11-01-2021	DS, ELEV, ST	ISSUE FOR PERMITS
2	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS
3	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS
4	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS
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7	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS
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19	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS
20	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS
21	11-15-2021	DS, ELEV, ST	REVISED PER PERMIT COMMENTS

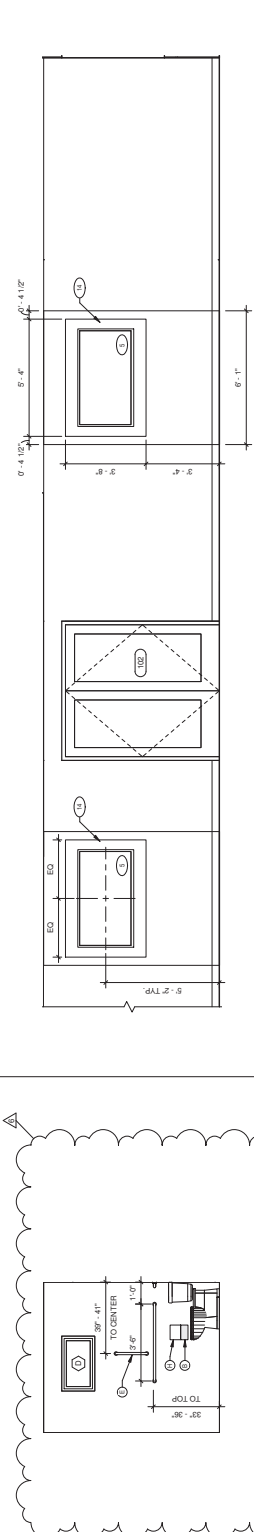
INTERIOR ELEVATIONS
PROJECT NO. 2018
DATE 10-14-2020



10 COMMUNITY - NORTH
3/8" = 1'-0"

9 RESTROOM STORAGE
3/8" = 1'-0"

8 RESTROOM WETWALL
3/8" = 1'-0"

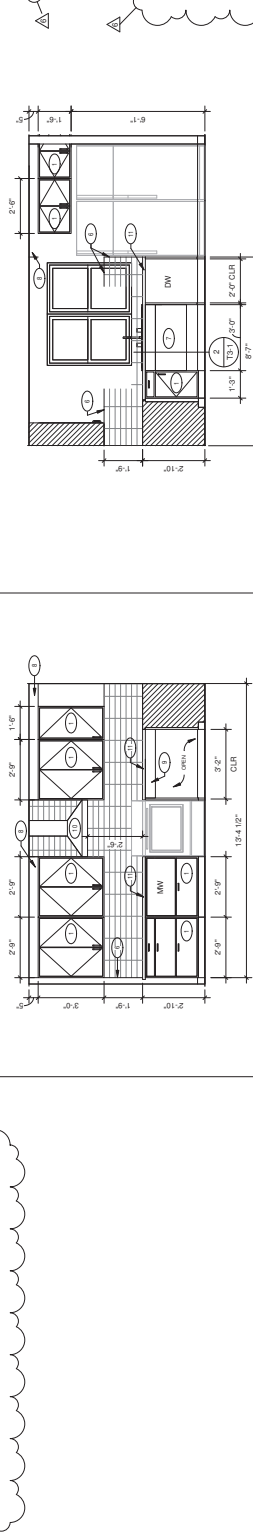


6 COMMUNITY - WEST
3/8" = 1'-0"

7 RESTROOM SIDE WALL
3/8" = 1'-0"

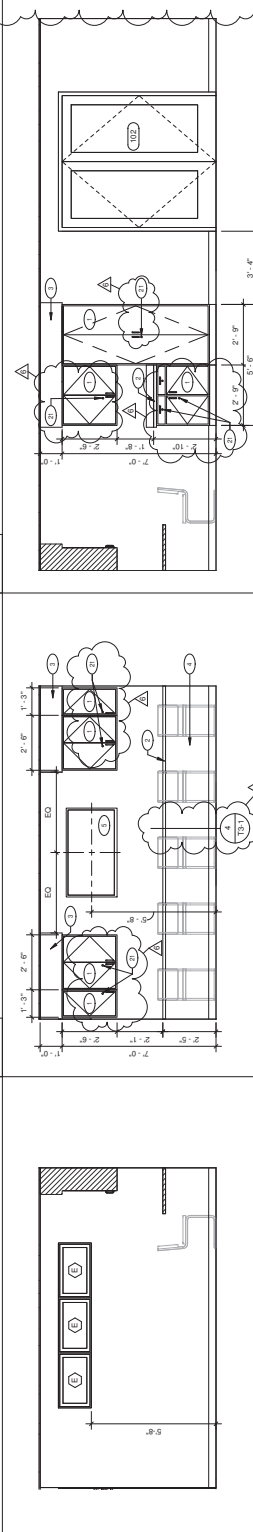
4 KITCHEN - SOUTH
3/8" = 1'-0"

1 MEETING ROOM - EAST
3/8" = 1'-0"



5 KITCHEN - EAST
3/8" = 1'-0"

2 MEETING ROOM - NORTH
3/8" = 1'-0"



3 MEETING ROOM - WEST
3/8" = 1'-0"

- INTERIOR ELEVATION KEYNOTES**
1. KITCHEN CABINET: BACK AND SIDE SPLASHES AS SHOWN. COORDINATE GRANITES AND CAFE GLASS AS SHOWN. COORDINATE WITH OWNER AND ARCHITECT.
 2. CUPBOARD BOARD: BACK AND SIDE SPLASHES AS SHOWN. COORDINATE WITH OWNER AND ARCHITECT.
 3. METAL SUPPORT BRACKET: PROVIDE IN-WALL BLOCKING FOR MOUNTING BRACKET.
 4. PROVIDE METAL TRIM WHERE TILE BACKSPLASH MEETS CABINET.
 5. WOODEN ADA COMPLIANT SINK APRON; MATCH CABINET FINISH.
 6. FINISH: COORDINATE WITH OWNER AND ARCHITECT.
 7. WOODEN ADA COMPLIANT APRON; MATCH CABINET FINISH.
 8. ADA COMPLIANT APRON; MATCH CABINET FINISH.
 9. ADA COMPLIANT APRON; MATCH CABINET FINISH.
 10. RESIDENTIAL STYLE WOOD.
 11. COUNTERTOP: BACK AND SIDE SPLASHES AS SHOWN.
 12. PROVIDE BULLNOSE TRIM PIECE FOR TOP EDGE OF TILE.
 13. PROVIDE METAL CONE TRIM FOR TRANSITION FROM FLOOR TO WALL. TILE TO WALL. TILE TO WALL.
 14. Limestone Material.
 15. Limestone Material.
 16. Limestone Material.
 17. Limestone Material.
 18. 3/4" x 3/4" SURFACE COUNTERTOP. BACK AND SIDE SPLASHES AS SHOWN.
 19. PORCELAIN TILE PANEL. INSTALL ON ALL 3 SHEET BELOW.
 20. TILE PANEL. INSTALL ON ALL 3 SHEET BELOW.
 21. CABINET AND DRAWER DOORS. COORDINATE FINISH WITH OWNER.

TOILET ACCESSORY SCHEDULE

MARK	ITEM	DETAILS
A	MIRROR	3/4" x 3/4" H-TEMPERED GLASS MIRROR, HIDDEN CONNECTORS
B	TOILET PAPER DISPENSER	PROVIDED BY OWNERS CONTRACTOR
C	SOAP DISPENSER	PROVIDED BY OWNERS CONTRACTOR
D	HAND DRYER	EXCEL THIN AIR HAND DRYER, TALS SB
E	GRAB BARS	(1) 3/4" HORIZONTAL LOGBLOCKS 8-8008-99 (1) 3/4" HORIZONTAL LOGBLOCKS 8-8008-99 PROVIDE IN WALL BLOCKING
F	TRASH CAN	PROVIDED BY OWNERS CONTRACTOR
G	PAPER TOWEL	PROVIDED BY OWNERS CONTRACTOR
H	SANITARY DISPOSAL	PROVIDED BY OWNERS CONTRACTOR
I	AIR FRESHENER	PROVIDED BY OWNERS CONTRACTOR

HARDWARE SETS

SELOL

- Openings: Exterior Entry w/ Glazing
- 100 Collapsible Hinge
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

NOTE: Condense all items with Storefront specs.

SEE 201

- Openings: Exterior Entry, No Glazing
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SELOL

- Openings: Offices
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SELOL

- Openings: Restrooms
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SELOL

- Openings: Interior entry to Heating Room (Rm)
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

NOTE: Keyed entry from Community Room side.

HARDWARE SETS

SELOL

- Openings: Furnace Storage (Pwr)
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SEE 201

- Openings: Payroom, Restry
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SELOL

- Openings: Janitor Closet, Closet
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SELOL

- Openings: Utility Closet
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

SELOL

- Openings: Men's Restroom
- 100 Hinge, Heavy Duty
- 100 Exit Trim, Classroom Lockset
- 100 Corner Jamb
- 100 Sweep
- 100 Door
- 100 Lockset
- 100 Hardware

ALL HANDLES TO BE ADA COMPLIANT LEVER TYPE.

DOOR SCHEDULE

NO.	LOCATION	DOOR		FRAME		HARDWARE		REMARKS
		WIDTH	HEIGHT	TYPE	MATERIAL	TYPE	FINISH	
101	ENTRANCE	3'-0"	7'-0"	RS	AL	ALSP	01	
102	METERS	3'-0"	7'-0"	RS	HM	HM	01	
103	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	180 DEGREE HINGES
104	OFFICE	3'-0"	7'-0"	RS	SCWD	SCWD	01	
105	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
106	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
107	COMMUNITY	3'-0"	7'-0"	RS	AL	ALSP	01	3/4" SUBLIGHT
108	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
109	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
110	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
111	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
112	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
113	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
114	RESTROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
115	PLAYROOM	3'-0"	7'-0"	RS	SCWD	SCWD	01	
116	CLOSET	3'-0"	7'-0"	RS	SCWD	SCWD	01	
117	CLOSET	3'-0"	7'-0"	RS	SCWD	SCWD	01	
118	CLOSET	3'-0"	7'-0"	RS	SCWD	SCWD	01	
119	CLOSET	3'-0"	7'-0"	RS	SCWD	SCWD	01	
120	COMMUNITY	3'-0"	7'-0"	RS	AL	ALSP	01	2/7" SUBLIGHT

ABBREVIATIONS

- F FLUSH
- N N
- HG HOLLOW GLASS
- FP FLUSH PAIR
- NP NIP
- HGP HOLLOW GLASS PAIR
- ALSP ALUMINUM STOREFRONT
- HM HOLLOW METAL WOOD VENEER
- HM HOLLOW METAL
- HCWD HOLLOW CORE WOOD VENEER

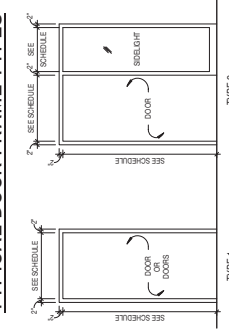
STOREFRONT NOTES

- ALL ALUMINUM FRAMES AND DOORS SHALL BE FINISHED POPPER, CORNING, HULL, OR CLEAR.
- PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE.
- ALL EXTERIOR DOOR FRAMES TO BE THERMALLY BROKEN AND/OR INSULATED.
- ALL INTERIOR GLAZING TO BE CLEAR TEMPERED GLASS UNLESS NOTED OTHERWISE.
- PROVIDE AND INSTALL DOOR HARDWARE AS REQUIRED FOR COMPLETE INSTALLATION. COORDINATE KEYING OF LOCKSETS WITH OWNER.
- PROVIDE STOPS AT ALL DOORS. REFER TO HARDWARE SCHEDULE AND/OR PROVIDE SHOP DRAWINGS TO ARCHITECT.

DOOR NOTES

- ALL GLAZING AND SCREENS SHALL BE CLEAR TEMPERED SAFETY GLAZING, UNLESS NOTED OTHERWISE.
- FACTORY PRIME AND FIELD PAINTED.
- ALL EXTERIOR DOOR FRAMES TO BE THERMALLY BROKEN AND/OR INSULATED.
- PROVIDE AND INSTALL DOOR HARDWARE AS REQUIRED FOR COMPLETE INSTALLATION. COORDINATE KEYING OF LOCKSETS WITH OWNER.
- PROVIDE STOPS AT ALL DOORS. REFER TO HARDWARE SCHEDULE AND/OR PROVIDE SHOP DRAWINGS TO ARCHITECT.

TYPICAL DOOR FRAME TYPES



WINDOW SCHEDULE

OPENINGS	SIZE (WIDTH x HEIGHT)	GLAZING	MATERIAL	DETAILS			COMMENTS
				HEAD	SILL	HEAVER	
A	2 WINDOWS 2'-4" x 4'-8" EA SMALLEST HUNG	CLEAR LOW-E ARGON	WNYL				
A1	2 WINDOWS 2'-4" x 4'-8" EA SMALLEST HUNG	CLEAR LOW-E ARGON	WNYL			EXISTING OPENING	
B	2 WINDOWS 3'-4" x 3'-10" EA SMALLEST HUNG	CLEAR LOW-E ARGON	WNYL			SEE DETAILS	
C	2 WINDOWS 1'-0" x 5'-0" EA SMALLEST HUNG	CLEAR LOW-E ARGON	WNYL				
D	2'-6" x 1'-6" FRIED	CLEAR ARGON	WNYL				
E	2'-6" x 1'-6" FRIED	CLEAR	HM			EXTERIOR WINDOW	

WINDOW NOTES

- FIELD VERIFY ALL DIMENSIONS; PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING. LET TO ARCHITECT FOR REVIEW PRIOR TO ORDERING.
- PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE.
- ALL EXTERIOR GLAZING SHALL BE INSULATED.
- OPERABLE WINDOWS ARE TO HAVE SCREENS.
- ALL EXTERIOR WINDOWS TO RECEIVE ROLLER SHADES, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY QUANTITIES OF EACH WINDOW TYPE AND ORDERING. REFER TO NEAREST STANDARD SIZE FROM WINDOW MANUFACTURER.

WINDOW TREATMENTS

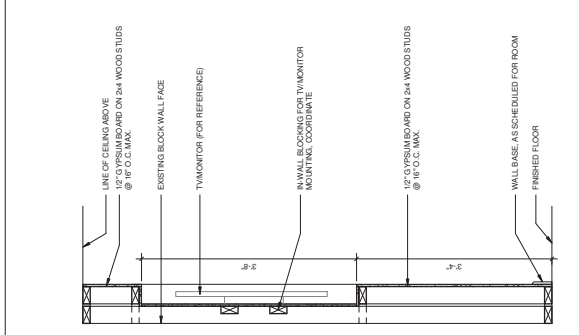
- WINDSHIELD: MRL SWF CONTRACT
- ROLLER SHADES: MRL SWF CONTRACT
- SCREENS: MRL SWF CONTRACT
- SHADES: SELECTED BY ARCHITECT FROM MFRS FULL RANGE

APPLIANCE SCHEDULE

TYPE OF APPLIANCE	DETAILS	SIZE	COMMENTS
ADWASHER	GE GDT2955SSLS; 24" BUILT IN S SANELS STEEL OR SIMILAR	32" H x 23" W x 23" D	
AD RANGE	GE JB6635SSLS; 30" ELECTRIC RADIANT SMOOTH COOKTOP; STAINLESS STEEL OR SIMILAR	47" H x 29" W x 29" D	INSTALL TWO SETS OF FIRE STOP RANGE HOOD SANGERS WITHIN RANGE HOOD SANGERS WITHIN HEIGHT ABOVE RANGE
HOOD	GE JWH255SSLS; 30" WALL MOUNT PYRAMID CHIMNEY HOOD; S SANELS STEEL OR SIMILAR	9" H x 30" W x 18" D	
MICROWAVE	GE PE622725SS; 22" CU FT SENSOR CONVECTION OVEN; S SANELS STEEL OR SIMILAR	14" H x 18" W x 19" D	
REFRIGERATOR	WHIRLPOOL KRS2000B; BUILT IN REF W/STOR FRM & FREEZER; 18" x 24" x 34" OR SIMILAR	REF: 66" H x 34" W x 31" D FREEZER: 60" H x 30" W x 31" D	

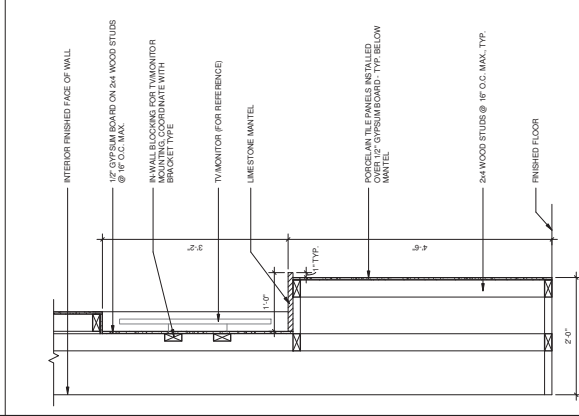
1 TV INSET - TYPICAL

1" = 1'-0"



2 TV AT FIREPLACE

1" = 1'-0"



ROTTMANN ELLIOTT ARCHITECTS

100 EASTMAN STREET
HOUSTON, TEXAS 77002
100 NORTH SUMMIT ST
BLOOMINGTON, IN 47404



BLOOMINGTON HOUSING AUTHORITY CRESTMONT COMMUNITY BUILDING REMOVAL

100 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

SCHEDULES

PROJECT NO. 104-0000
DATE 10/20/2024

A2-2

EXTERIOR ELEVATION KEYNOTES

1. INSTALL NEW 30-YEAR WEATHER RESISTANT ROOF SHINGLES OVER VALLEYS AND TO 2" INSIDE EXTERIOR WALL AT ALL EAVES, GUTTERS, AND ROOF FLASHINGS. PROVIDE 2" MINIMUM WATER SHIELD OVER ENTIRE ROOF AREA IN LIEU OF FELT.
2. PREFINISHED WARE FRANK LAP SIDING.
3. BRICK VENEER TO MATCH EXISTING.
4. REBRACE EXISTING DOOR AND FRAME. NEW DOOR WITH SILLUTE. SEE FRAME ELEVATION.
5. BRICK VENEER TO MATCH EXISTING.
6. PREFINISHED ALUMINUM TRUCK AND GUTTERS. SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS.
7. BRICK VENEER TO MATCH EXISTING.
8. GASKET STONE SILL WITH STOPER TOP AND TRIP GROOVE ON INTERIOR. MATCH EXISTING. SEE CONSTRUCTION TO SUBMIT SAMPLES FOR OWLES AND ARCHITECT APPROVAL.
9. 1/2" X 2" PREFINISHED WARE FRANK WRAP.
10. BRICK VENEER TO MATCH EXISTING.
11. LEAD-CONCEALED ROSE VENT.
12. DOWNSPOUT. SEE SECTION FOR WRAP DETAILS.
13. DOWNSPOUT. 1557 ARCH-BRACKET 38" X 28" X 3 1/2".

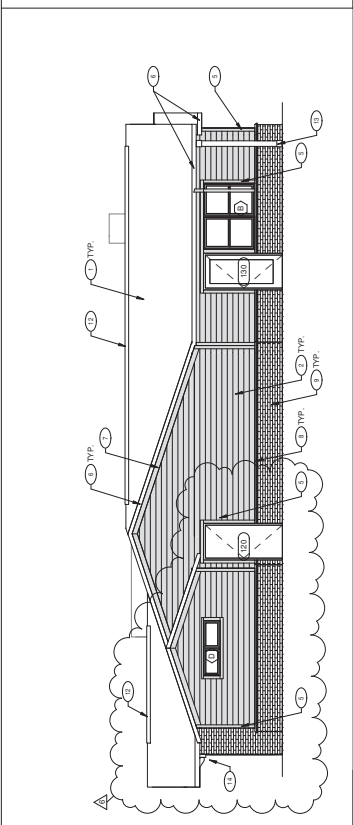
GEN. ELEVATION NOTES

- A. CAULK ALL JOINTS AND FINISH TO MATCH ADJACENT MATERIALS.
- B. ALL NON-PREFINISHED EXTERIOR ITEMS SHALL BE PAINTED TO MATCH EXISTING. PRIMER AND ONE COAT OF FINISH PAINT. FINISHED PRIMER AND ONE COAT OF FINISH PAINT.
- C. ALL COLORS TO BE SELECTED BY ARCHITECT. PRIOR TO ORDERING. ARCHITECT FOR APPROVAL.
- D. MEP ROOF PENETRATIONS ARE NOT SHOWN. SEE MEP DRAWINGS FOR ACTUAL LOCATIONS AND TYPES. ROOF PENETRATIONS TO MATCH ROOFING MATERIAL.
- E. DOWNSPOUTS NOT SHOWN FOR CLARITY.

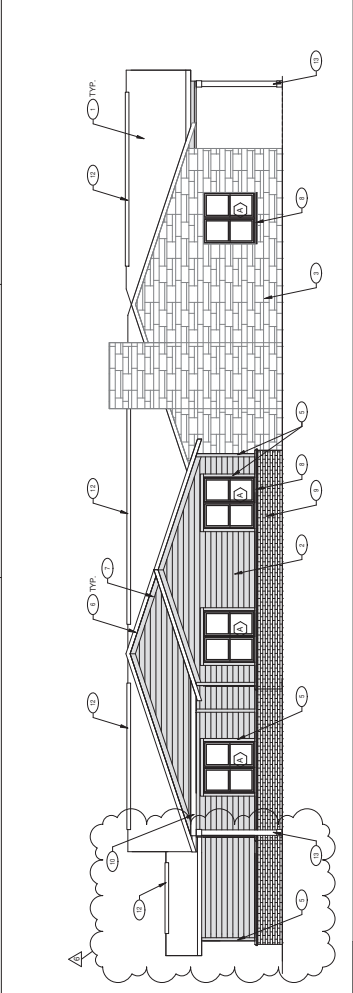
ROTTMANN ARCHITECTS
 100 EAST MAIN STREET
 INDIANAPOLIS, INDIANA 46204
 317.221.2224
 402.762.0000

TOPP ARCHITECTS
 NO. 100 EAST MAIN STREET
 INDIANAPOLIS, INDIANA 46204
 317.221.2224

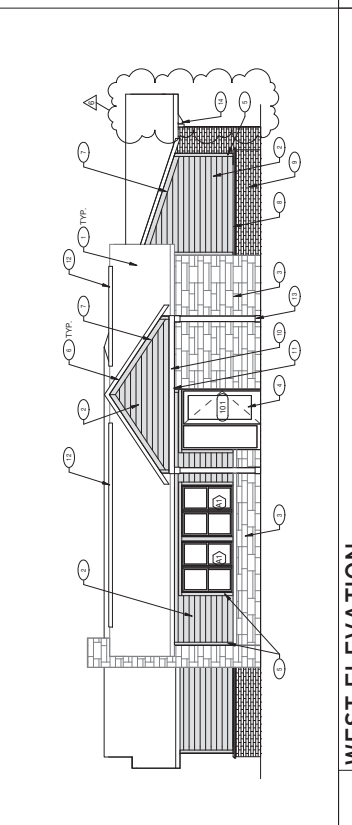
SCOPE DOCUMENT
 THESE DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE SITE AND ALL MATERIALS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



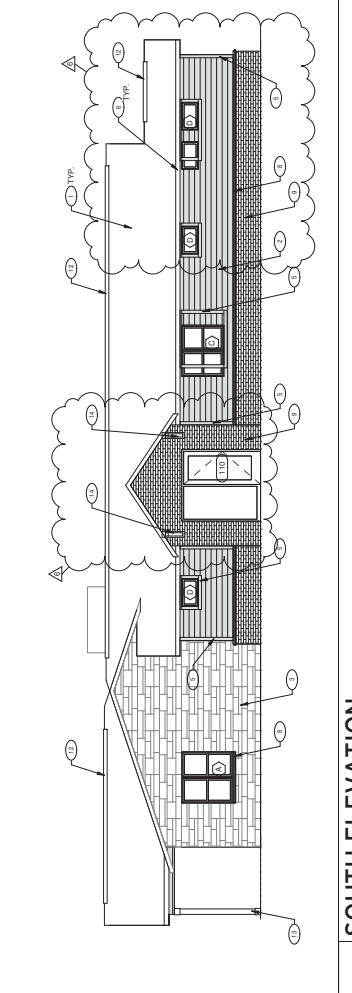
4 EAST ELEVATION
 3/16" = 1'-0"



3 NORTH ELEVATION
 3/16" = 1'-0"



2 WEST ELEVATION
 3/16" = 1'-0"



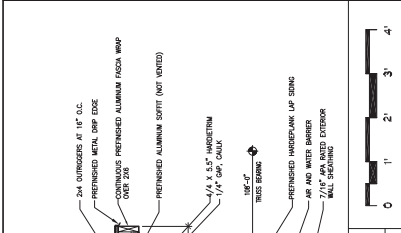
1 SOUTH ELEVATION
 3/16" = 1'-0"

BLOOMINGTON HOUSING AUTHORITY
CRESTMONT COMMUNITY
BUILDING RENOVATION
 1002 NORTH SUMMIT ST
 BLOOMINGTON, IN 47404

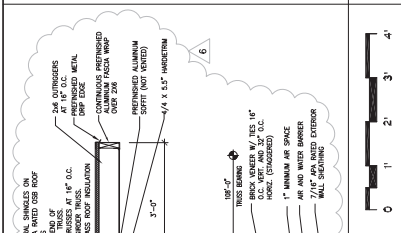
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4	10-29-2021	REVISED PER COMMENTS
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11	12-17-2021	REVISED PER COMMENTS
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97	08-10-2023	REVISED PER COMMENTS
98	08-17-2023	REVISED PER COMMENTS
99	08-24-2023	REVISED PER COMMENTS
100	08-31-2023	REVISED PER COMMENTS

EXTERIOR ELEVATIONS
 PROJECT NO. 2023-001
 DATE: 10-01-2021
 SHEET: 03

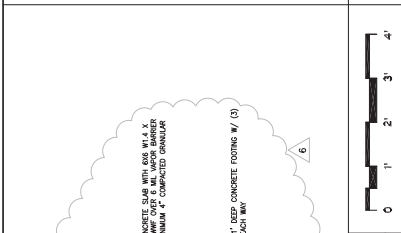
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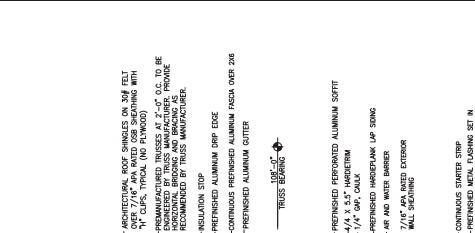
2 GABLE SECTION
3/4" = 1'-0"



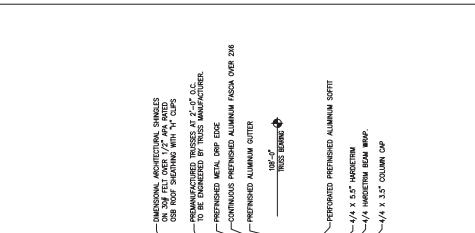
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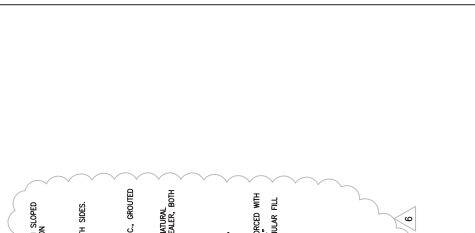
7 FOOTING DETAIL
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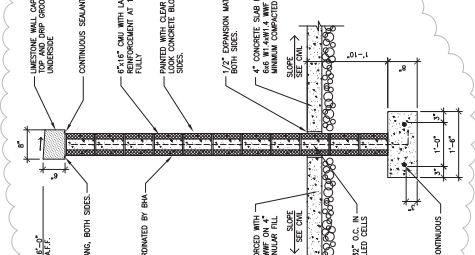
1 WALL SECTION
3/4" = 1'-0"



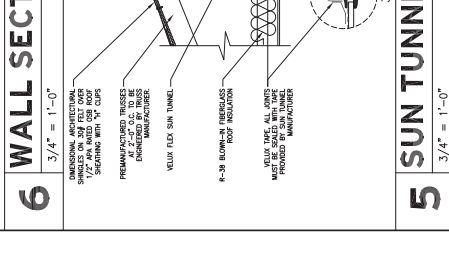
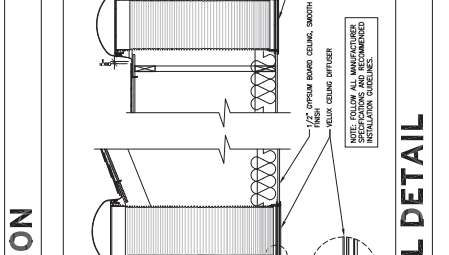
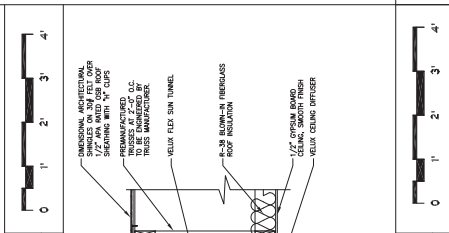
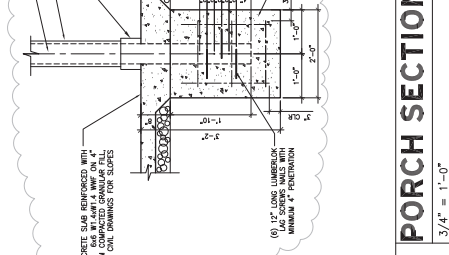
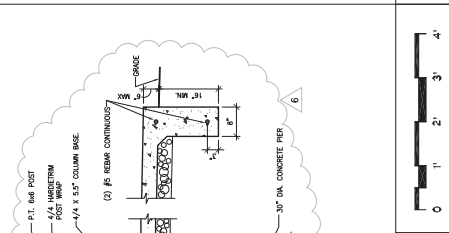
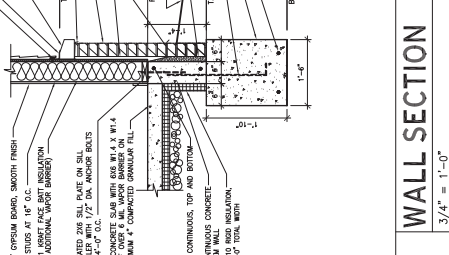
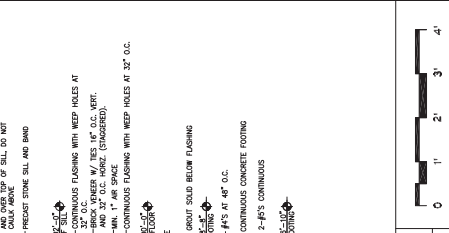
3 PORCH SECTION
3/4" = 1'-0"



6 WALL SECTION
3/4" = 1'-0"



5 SUN TUNNEL DETAIL
3/4" = 1'-0"



UNIDIRECTIONAL ARCHITECTURAL SHINGLES ON 2x4 OVERHANGS AT 16' O.C. SHEATHED WITH 1/2\"/>

PREFINISHED METAL Drip Edge

PREFINISHED ALUMINUM SOFFIT (NOT VENTED)

1/2\"/>

DOUBLE TOP PLATE

2x6 STUDS AT 16\"/>

1/2\"/>

1/2\"/>

1/2\"/>

1/2\"/>

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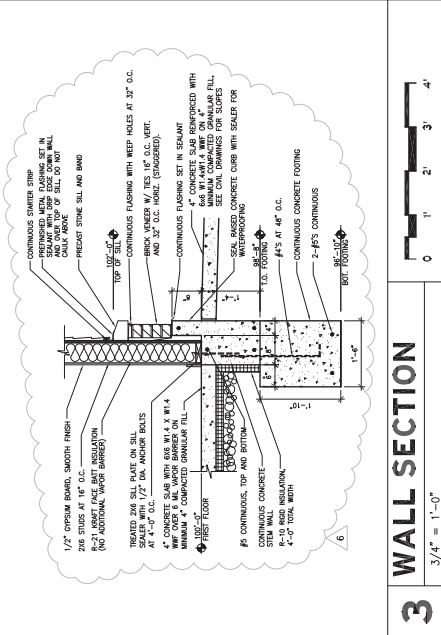
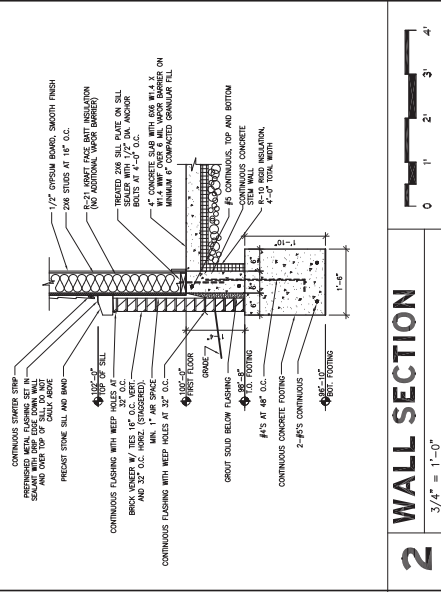
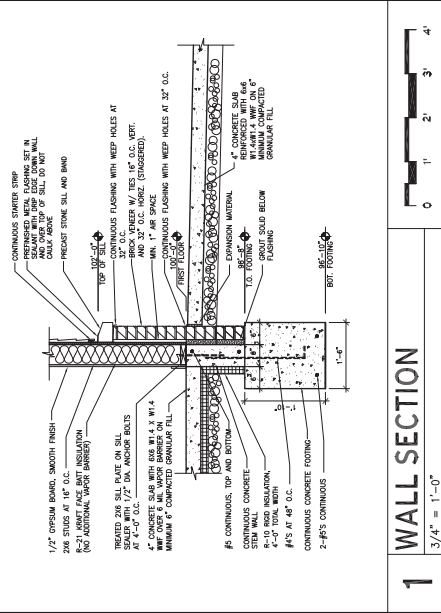
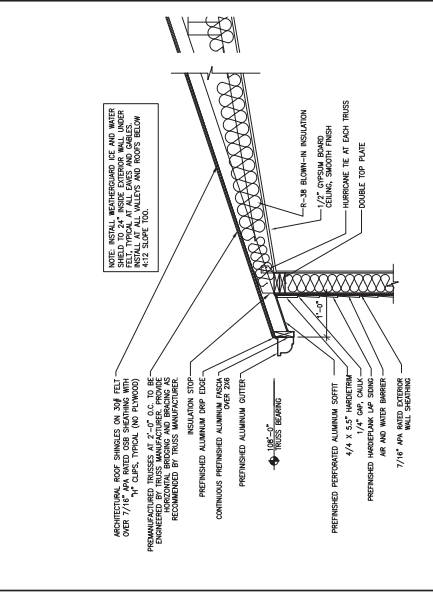
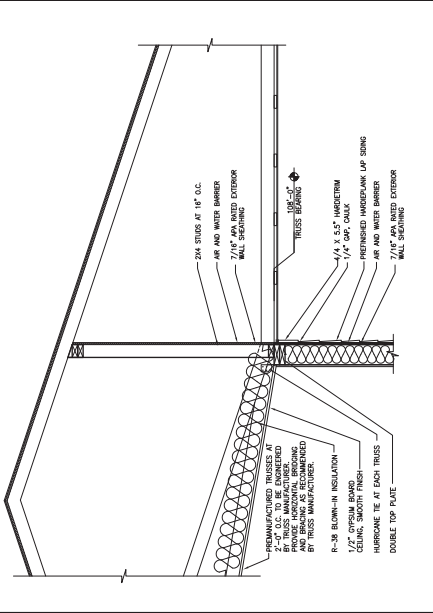
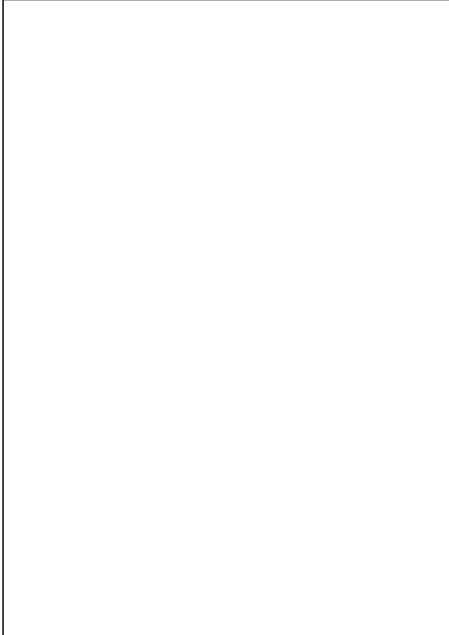
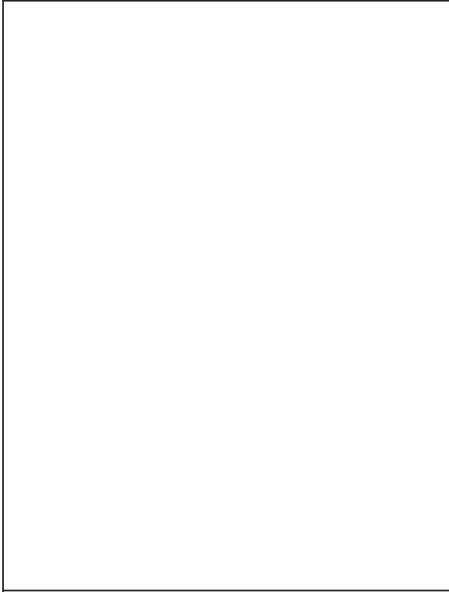
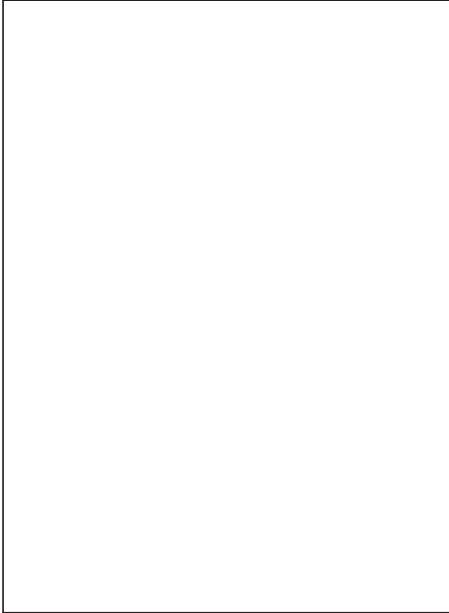
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1/2\"/>

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10-14-2021	20K ROOM SET
10-15-2021	CITY PERM SET
11-19-2021	CONCRETE FOUNDATION
12-10-2021	FOUNDATION WALLS
02-11-2022	FOUNDATION WALL COLONNAD
04-29-2022	FOUNDATION WALL
10-11-2022	FOUNDATION WALLS & F



1 WALL SECTION
3/4" = 1'-0"



2 WALL SECTION
3/4" = 1'-0"



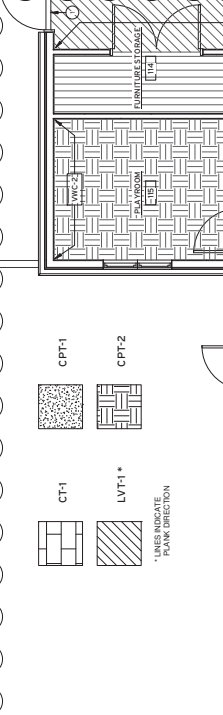
3 WALL SECTION
3/4" = 1'-0"

FINISH LEGEND

AP-1	ACOUSTICAL PLANKS	MFR: TIERE ACOUSTICS COLOR: DOW WHITE/SLR SIZE: 48" X 24" X 1.5"	REP: John Swahan jswahan@gnaps.com
CT-1	CERAMIC TILE	MFR: ATLAS CONCORDE USA COLOR: TRIPOLI SIZE: 12x12 INSTALL: 1/8" OFFSET BRICKWORK	REP: Tracy Kessner Gelin tkessner@fourwells.de.com
CT-2	CERAMIC TILE	MFR: WOOD COLLECTION: GRAYED COLOR: SAGE SIZE: 12x12 INSTALL: SEE DETAIL	REP: Tracy Kessner Gelin tkessner@fourwells.de.com
CT-3	CERAMIC TILE	MFR: WOOD STYLE: GRADIENT BECOR COLOR: BODIGLOSS SIZE: 12x12 INSTALL: GRID HORIZONTAL	REP: Rob Gorn Rob.Gorn@bloomington.com
CPT-1	CARPET TILE	MFR: HANNINGTON STYLE: GANSEY COLOR: BIRCH SIZE: 12x12 INSTALL: 3/8" STEP VERTICAL ASHLAR	REP: Rob Gorn Rob.Gorn@bloomington.com
CPT-2	CARPET TILE	MFR: ALI ANKON LINE: ANETEX COLOR: CONNECT INSTALL: QUARTER TURN	REP: Rob Gorn Rob.Gorn@bloomington.com
FRP-1	FIBERGLASS REINFORCED PANELS	MFR: MARLITE COLOR: PLUMBER	REP: Rob Gorn Rob.Gorn@bloomington.com
LVT-1	LUXURY VINYL TILE	MFR: MARKET SWISS COLOR: JADE SWANSON SIZE: 18x18 INSTALL: GRID HORIZONTAL	REP: Sherwin Williams swilliams@fourwells.de.com
P-1	PANT	MFR: SHERWIN WILLIAMS COLOR: NEEDLEPOINT NAVY COLOR #: SW 7008	REP: Angie Julian angie.julian@shw.com
P-2	PANT	MFR: SHERWIN WILLIAMS COLOR: SW 7513	REP: Sherwin Williams swilliams@fourwells.de.com
P-3	PANT	MFR: SHERWIN WILLIAMS COLOR: JADE SWANSON COLOR #: SW 9129	REP: Sherwin Williams swilliams@fourwells.de.com
P-4	PANT	MFR: SHERWIN WILLIAMS COLOR: NEEDLEPOINT NAVY COLOR #: SW 6052	REP: Sherwin Williams swilliams@fourwells.de.com
P-5	PANT	MFR: SHERWIN WILLIAMS COLOR: SW 7008	REP: Sherwin Williams swilliams@fourwells.de.com
P-6	PANT	MFR: SHERWIN WILLIAMS COLOR: SW 6506	REP: Sherwin Williams swilliams@fourwells.de.com
PL-1	PLANK LAMINATE	MFR: TARKETT COLOR: GRAPHITE TWILL COLOR #: 8829-58	REP: Tarkett tarkett@fourwells.de.com
PP-1	PORCELAN TILE	MFR: CROSSVILLE LAMNAM COLOR: GRAPHITE TWILL THICKNESS: 5/16"	REP: Tracy Kessner Gelin tkessner@fourwells.de.com
QZ-1	QUARTZ SURFACING	MFR: MASSEY COLOR: ALPHAMET 9110 FINISH: POLISHED	REP: Kelly Kiecki kkiecki@fourwells.de.com
RB-1	RUBBER BASE	STYLE: TRADITIONAL (TYPE TP) COVE TDE HEADRI: 4 INCHES	REP: Kelly Kiecki kkiecki@fourwells.de.com
RT-1	RESILIENT TILE	MFR: GEBICO LINE: MP/PLAN TROP/PLAN COLOR: 4 SIZE: 24" X 24" TILES	REP: Kelly Kiecki kkiecki@fourwells.de.com
SC-1	SLAB ON GRC/BET	CLEAR SEALANT, WHITE FINISH	REP: Kelly Kiecki kkiecki@fourwells.de.com
SS-1	SOLID SURFACE	MFR: CORIAN COLOR: SILVER RICH	REP: Heidi Gieseler heid.gieseler@gnaps.com
WVC-1	WALLCOVERING	MFR: CARNEGIE PATTERN: ASBRLA 8094 COLOR: 4	REP: Kelly Kiecki kkiecki@fourwells.de.com
WVC-2	WALLCOVERING	MFR: DESKONEX VAL: 6939 COLOR: CONFETTI 901	REP: Kelly Kiecki kkiecki@fourwells.de.com
WD-1	WOOD FINISH (BASEBOARD)	MFR: SMART CABINETRY FINISH: WOOD GRADE	REP: Gary Suljahn G.suljahn@gnaps.com
WD-2	WOOD FINISH (BASEBOARD)	MATERIAL: MDF STYLE: 1/2" X 4" EASED EDGE FINISH: PAINT AS NOTED	REP: Gary Suljahn G.suljahn@gnaps.com

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	WALL				CEILING	DOOR	FINISH	COMMENTS
			WEST	EAST	NORTH	SOUTH				
101	ENTRANCE	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
102	OFFICE	CPT-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
103	OFFICE	CPT-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
104	OFFICE	CPT-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
105	RESTROOM	GH-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
106	COMMUNITY	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
107	RESTROOM	GH-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
108	RESTROOM	GH-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
109	RESTROOM	GH-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
110	RESTROOM	GH-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
111	RESTROOM	GH-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
112	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
113	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
114	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
115	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
116	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
117	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		
118	PLATZ	LVF-1	WD-2	P-1	WD-2	P-1	WD-1	P-1		

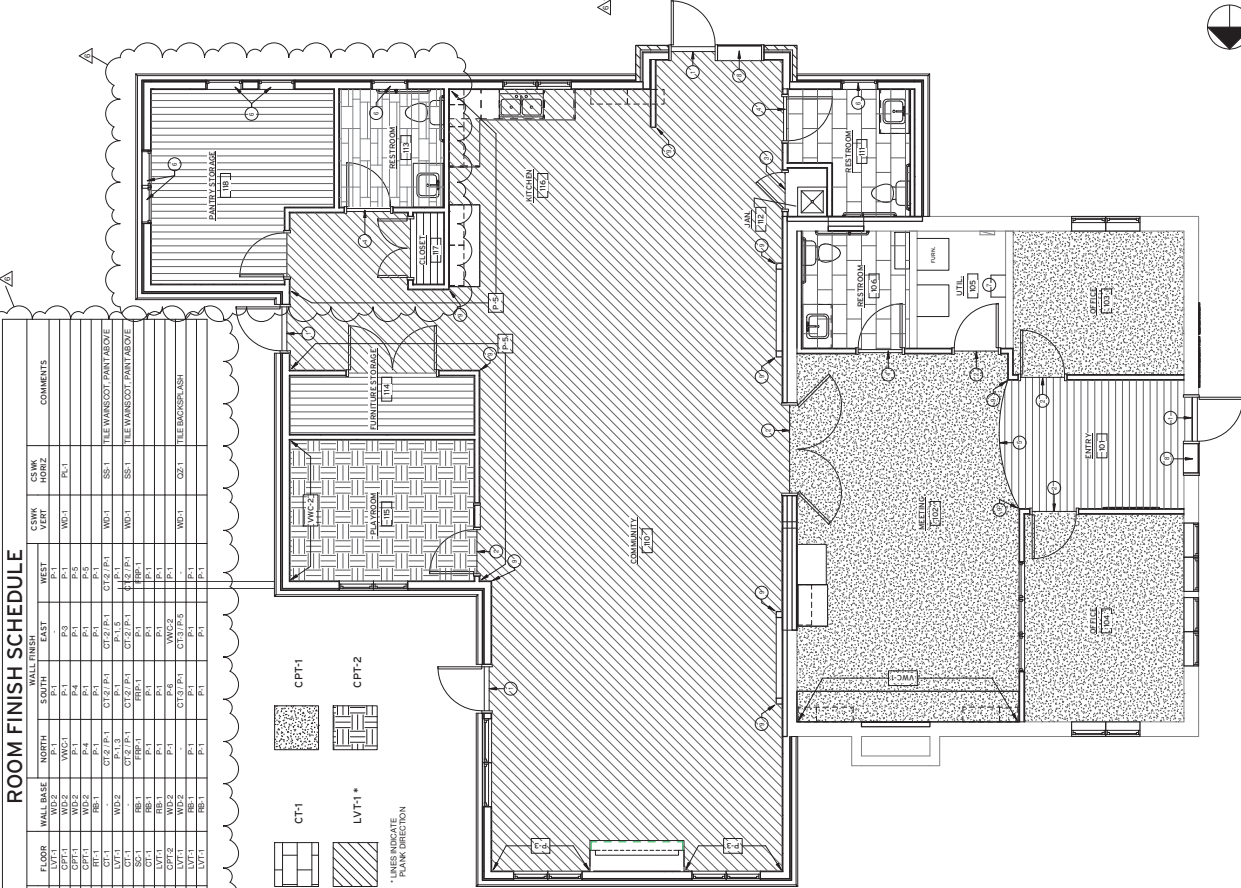


GEN. FINISH PLAN NOTES

- REFER TO INTERIOR ELEVATIONS FOR FINISHES AND MATERIALS.
- WHERE WALLS OF DIFFERING THICKNESSES MEET, FINISHES SHALL BE APPLIED TO THE THIN WALLS UNLESS SHOWN OTHERWISE.
- ALL WALLS TO BE PAINTED P-1, UNLESS NOTED OTHERWISE.
- ALL I.D.M. DOOR FRAMES AND MOOD BASEBOARD TO BE PAINTED P-1.
- WHERE RECESSED TRANSITION STRIPS OCCUR AT DOORWAY, INSTALL IMMEDIATELY BELOW DOOR PANEL IN CLOSED POSITION.
- PROVIDE CEMENTIOUS BACKER BOARD FOR ALL WALL TILE INSTALLATION.

FINISH PLAN KEYNOTES

- CORNER TILE INSTALLATION WITH THRESHOLD TO ENSURE A SNUG FIT AND SMOOTH TRANSITION.
- TRANSITION STRIP SHALL BE INSTALLED AT THE TILE AND RESILIENT FLOORING. LOCATE BELOW DOOR PANEL IN THE CLOSED POSITION.
- FLOORING TERMINATES CENTER IN DOOR FRAME.
- PROVIDE CORNER TRANSITION STRIP AT DOORWAY TO PROVIDE A SMOOTH TRANSITION TO THE DOOR FRAME.
- PROVIDE RESILIENT TRANSITION STRIP TO ELIMINATE GAPPING AT DOORWAY.
- CORNER TILE INSTALLATION WITH EXISTING FLOORING.
- NO WINDOW TREATMENTS REQUIRED.
- PROVIDE CORNER BOARD.



1 FIRST FLOOR PLAN

1/4" = 1'-0"

ROTTMANN ARCHITECTS
100 EAST WASHINGTON STREET
BLOOMINGTON, IN 47404
PH: 317.329.1000
WWW.ROTTMANNARCHITECTS.COM

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NO. 100 EAST WASHINGTON STREET
BLOOMINGTON, IN 47404
PH: 317.329.1000
WWW.ROTTMANNARCHITECTS.COM

BLOOMINGTON HOUSING AUTHORITY
CRESTMONT COMMUNITY
BUILDING RENOVATION
1002 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

NO.	DATE	DESCRIPTION
1	10/14/2021	ISSUE FOR PERMIT
2	11/15/2021	REVISED FOR PERMIT
3	11/15/2021	REVISED FOR PERMIT
4	11/15/2021	REVISED FOR PERMIT
5	11/15/2021	REVISED FOR PERMIT
6	11/15/2021	REVISED FOR PERMIT
7	11/15/2021	REVISED FOR PERMIT
8	11/15/2021	REVISED FOR PERMIT
9	11/15/2021	REVISED FOR PERMIT
10	11/15/2021	REVISED FOR PERMIT

INTERIOR FINISH PLAN, SCHEDULE, LEGEND
PROJECT NO.: 2021-001
DATE: 11/15/2021
DRAWN BY: JRS

IDI-1



SCOPE DOCUMENT
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BLOOMINGTON HOUSING AUTHORITY
CRESTMONT COMMUNITY
BUILDING RENOVATION
1002 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

NO.	DATE	DESCRIPTION
1	10-01-2021	ISSUE SET
2	10-15-2021	REVISED ISSUE SET
3	10-22-2021	REVISED ISSUE SET
4	10-29-2021	REVISED ISSUE SET
5	11-05-2021	REVISED ISSUE SET
6	11-12-2021	REVISED ISSUE SET
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8	11-26-2021	REVISED ISSUE SET
9	12-03-2021	REVISED ISSUE SET
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98	8-20-2023	REVISED ISSUE SET
99	8-27-2023	REVISED ISSUE SET
100	9-03-2023	REVISED ISSUE SET

FURNITURE PLAN
PROJECT NO. 2018
DATE: 03-14-2023
PAGE 1

ID1-3



1 FURNITURE PLAN
1/4" = 1'-0"

GENERAL NOTES

- ALL RECEPTABLES ARE MOUNTED "H" 18" (T) CENTER, UNLESS OTHERWISE NOTED.
- ALL OUTLET COVERS TO BE WHITE.
- ALL WIRING THROUGH WEED WALLS AND FLOORS SHALL BE SEALED WITH A MATERIAL PERMITTED BY THE BUILDING DEPARTMENT TO BE SUBJECT TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIED FOR FIRE STOPS ASTM-B8.4.
- PER IAWG, THE HEIGHT OF ALL ELECTRICAL OUTLETS, SWITCHES AND CONTROLS SHALL BE:
 - MINIMUM 15" ABOVE FINISHED FLOOR PER SECTION 4.2.7.3
 - ALL WIRING SHALL BE IN RIGID CONDUIT. FLEXIBLE CONDUIT AND MC CABLE CAN BE USED FOR FINAL CONNECTIONS.
- MAXIMUM LOAD ON A 20 AMP CIRCUIT MUST NOT EXCEED 80% OR 16 AMPS.
- CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. SEE PANEL SCHEDULES FOR ADDITIONAL INFORMATION.
- ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL RECEPTABLES AND WIRING BACK TO SERVICE PROVIDER'S JUNCTION ON EXTERIOR OF BUILDING.

ELECTRICAL SCOPE NOTES

- FURNISH AND INSTALL NEW ELECTRICAL PANEL IN PLACE OF EXISTING ELECTRICAL PANEL.
- PROVIDE NEW CONDUIT AND WIRING FROM EXISTING ELECTRICAL DISTRIBUTION TO NEW ELECTRICAL PANEL.
- REPLACE ALL SWITCHES AND RECEPTABLES. ALL SWITCHES TO BE TOGGLE STYLE.
- FURNISH AND INSTALL NEW TV, PHONE AND CABLE OUTLETS AS SHOWN ON PLAN.
- FURNISH AND INSTALL NEW SMOKE AND CO DETECTOR AT LOCATIONS SHOWN ON PLAN.
- FURNISH AND INSTALL NEW CEILING MOUNTED PAN/LIGHT COMBO IN ALL BARRACKS.
- REPLACE ALL APPLIANCES WITH NEW.
- FURNISH AND INSTALL ALL NEW LED LIGHT FIXTURES AND CONTROLS.
- FURNISH AND INSTALL NEW PORCH LIGHTS IN THE SOFFIT OF FRONT AND BACK PORCHES.

ELECTRICAL ADA NOTES

CONTRACTOR IS REQUIRED TO COMPLY WITH THE 2009 ACCESSIBILITY STANDARDS.

- ALL CONTROLS AND OTHER RELATED OPERABLE SWITCHES SHALL BE PLACED BETWEEN EXISTING TERMINATIONS AND SEATED OPERABLE SWITCHES THAT ARE NOT BEING ALTERED.
- CONTROLS FOR IN-RACE AND RANGE HOOD SHALL BE RELOCATED TO BE AT THE APRON OF THE COUNTER ADJACENT TO RANGE.

KEY NOTES

- FURNISH AND INSTALL NEW ADA PUSH BUTTON. ADA PUSH BUTTON SHALL ACTIVATE DOOR OPERATOR.
- FURNISH AND INSTALL NEW KEY FOR ACCESS TO DOOR. KEY FOR ACCESS SHALL DISengage DOOR LOCK.
- INSTALL NEW HUNCTION BOX ABOVE CEILING AND RUN WIRE IN DOOR FRAME TO CONNECT KEY FOR ACCESS TO CONTROL ELECTRIC DOOR STRIKE.
- FURNISH AND INSTALL NEW HUNCTION BOX ABOVE CEILING TO CONNECT TO NEW DOOR OPERATOR. CONTROLLED BY ADA PUSH BUTTONS.

ELECTRICAL SCOPE NOTES

- FURNISH AND INSTALL NEW ELECTRICAL PANEL IN PLACE OF EXISTING ELECTRICAL PANEL.
- PROVIDE NEW CONDUIT AND WIRING FROM EXISTING ELECTRICAL DISTRIBUTION TO NEW ELECTRICAL PANEL.
- REPLACE ALL SWITCHES AND RECEPTABLES. ALL SWITCHES TO BE TOGGLE STYLE.
- FURNISH AND INSTALL NEW TV, PHONE AND CABLE OUTLETS AS SHOWN ON PLAN.
- FURNISH AND INSTALL NEW SMOKE AND CO DETECTOR AT LOCATIONS SHOWN ON PLAN.
- FURNISH AND INSTALL NEW CEILING MOUNTED PAN/LIGHT COMBO IN ALL BARRACKS.
- REPLACE ALL APPLIANCES WITH NEW.
- FURNISH AND INSTALL ALL NEW LED LIGHT FIXTURES AND CONTROLS.
- FURNISH AND INSTALL NEW PORCH LIGHTS IN THE SOFFIT OF FRONT AND BACK PORCHES.

ELECTRICAL ADA NOTES

CONTRACTOR IS REQUIRED TO COMPLY WITH THE 2009 ACCESSIBILITY STANDARDS.

- ALL CONTROLS AND OTHER RELATED OPERABLE SWITCHES SHALL BE PLACED BETWEEN EXISTING TERMINATIONS AND SEATED OPERABLE SWITCHES THAT ARE NOT BEING ALTERED.
- CONTROLS FOR IN-RACE AND RANGE HOOD SHALL BE RELOCATED TO BE AT THE APRON OF THE COUNTER ADJACENT TO RANGE.

DEMO KEY NOTES

- REMOVE EXISTING CHIMNEY AND WATER METER. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND FEEDS BACK TO PANEL AND PREP FOR NEW FEEDS FOR NEW FINANCES AND WATER METER. SEE NEW WORK FOR NEW EQUIPMENT LOCATIONS.
- REMOVE EXISTING REFRIGERATOR. MAINTAIN ALL ASSOCIATED WIRING AND CONDUIT REQUIRED FOR COMPLETE INSTALLATION.
- REMOVE EXISTING REFRIGERATOR. MAINTAIN ALL ASSOCIATED WIRING AND CONDUIT REQUIRED FOR COMPLETE INSTALLATION.
- EXISTING EXTERIOR LIGHTING AND CONTROLS TO REMAIN UNCHANGED.
- REMOVE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED WIRING AND CONDUIT BACK TO METER LOCATION.
- REMOVE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED WIRING AND CONDUIT BACK TO METER LOCATION.
- REMOVE ALL LIGHTS IN SPACE. CONTRACTOR TO ASSESS CONDITION OF EXISTING LIGHTING TO BE REMOVED. SEE NEW WORK FOR NEW EQUIPMENT LOCATIONS. RELOCATE ALL EXISTING ELECTRICAL EQUIPMENT, GEAR AND LIGHTS ATTACHED OR SERVING EXISTING ELECTRICAL EQUIPMENT TO NEW EQUIPMENT LOCATIONS OR SUBSTANTIAL ELECTRICAL CONNECTIONS OF LAMP ELECTRICAL LOADS TO BE RELOCATED TO NEW EQUIPMENT LOCATIONS.
- EXISTING BUILDING ADDRESS SIGN TO REMAIN. CONTRACTOR TO REPLACE LAMP OR SIGNAGE TO NEW ADDRESS SIGN.
- EXISTING EXTERIOR BUILDING LIGHT TO REMAIN UNCHANGED.

NOTES:
CONTRACTOR TO CONFIRM ALL ITEMS FOR DEMO WITH OWNER PRIOR TO DEMOLITION.
CONTRACTOR SHALL PATCH AND SEAL ANY EXISTING PENETRATIONS, OPENINGS OR UNUSED HOLES IN BUILDING EXTERIOR, BUT BEING USED TO PART OF DEMO.

KEY NOTES

- NEW WIRING THROUGH WEED WALLS AND FLOORS AS INDICATED ON PLAN. CONNECT ALL NEW DRY/PAN/PAN OUTLETS BACK TO BUILDING LT. DEMARK/BOX. COORDINATE MOUNTING HEIGHT OF PHONE/DATA OUTLETS ADJACENT TO POWER RECEPTABLE SERVING TV'S.
- FURNISH AND INSTALL NEW 120/240V, 3PH, 4W, 225 AMP PANEL WITH 225 AMP MAIN CIRCUIT BREAKER AND 225 AMP MAIN CIRCUIT BREAKER. CONTRACTOR SHALL RECONNECT ALL NEW AND REPEARED CIRCUITS BACK TO NEW PANEL.
- FURNISH AND INSTALL NEW 50 AMP, 220V FLUSH MOUNTED RECEPTABLE FOR RANGE.
- FURNISH AND INSTALL NEW HUNCTION BOX ABOVE RANGE FOR RANGE EXHAUST HOOD. HOOD EXHAUST SHALL BE INTERLOCKED WITH EXHAUST FAN AND SHAME COMMON CONTROLS AT COUNTER APRON.
- FURNISH AND INSTALL NEW ACCESSIBLE DISCONNECT SWITCH ON EXTERIOR ADJACENT TO NEW ELECTRICAL PANEL.
- FURNISH AND INSTALL NEW ACCESSIBLE DISCONNECT SWITCH ON EXTERIOR ADJACENT TO NEW AC. SQUARE D MODEL 16262860, 60/75/90A NEMA 3R.
- FURNISH AND INSTALL NEW BOX + HIGH EFFICIENCY LOW VOLT GAS FURNACE PROVIDE ALL NEW WIRING, GAS PIPING, VENT PIPING, AND THERMOSTAT, AC TAMP COIL, ETC.
- REPLACE EXISTING UT ADDRESS NUMBER WITH NEW LAMP, HOUSING AND WIRING AS NEEDED. MAINTAIN EXISTING METHOD OF CONTROL.
- INSTALL NEW E-2 WITH NEW HOOD CONTROLS. HOOD CONTROLS SHALL BE INTERLOCKED WITH EXHAUST FAN AND SHAME COMMON CONTROLS FOR CONTROL. SEE MECHANICAL APPROPRIATE AND MECHANICAL DRAWINGS FOR INSTALLATION WITH INSTALLATION OF APPLIANCE.
- FURNISH AND INSTALL NEW BU EXHAUST AT LOCATION SHOWN. BU EXHAUST SHALL BE WIRED TO DISCONNECT DURING THE LIGHT OF POWER. COIL BE WIRED TO SHUT OFF THE BU EXHAUST FOR SERVICE OF HOT WATER HEATER. COORDINATE INSTALLATION OF OUTLET WITH INSTALLATION OF WATER HEATER.
- FURNISH AND INSTALL NEW RECEPTABLE FOR TV. COORDINATE INSTALLATION AND MOUNTING HEIGHT WITH INSTALLATION OF WALL MOUNTED TV.
- FURNISH AND INSTALL NEW 20-AMP DEDICATED RECEPTABLE FOR COOKING HOT BOX.
- FURNISH AND INSTALL NEW SWITCH ABOVE COUNTER TOP FOR CONTROL OF WET/DRY SINKS.
- INSTALLATION OF TV TO BE INSTALLED AT THE APPROPRIATE LOCATION. COORDINATE WITH ARCHITECTURAL SIGNATURE LOCATION.
- FURNISH AND INSTALL NEW PHOTOCELL ON EXTERIOR OF BUILDING TO SERVE PORCH LIGHTING ON INTERIOR FOR MANUAL SHUT-OFF. WITH PHOTOCELL AND HIVE INVERSE SWITCH LOCKED ON INTERIOR FOR MANUAL SHUT-OFF.
- FURNISH AND INSTALL NEW PHOTOCELL ON EXTERIOR OF BUILDING FOR CONTROL OF FRONT PORCH LIGHTS.
- NECESSED CAN LIGHTS TO BE INSTALLED IN SLOPED CEILING SHALL HAVE ADJUSTABLE HEADS.
- TYPE RECEPTABLE WITH INSTALLATION OF ADVANCED RECEPTABLE TO INSTALLATION AND ARCHITECTURAL ELEVATIONS.
- REMOVE EXISTING ELECTRICAL PANEL AND ALL ASSOCIATED WIRING AND CONDUIT INCLUDING ALL WIRING AND CONDUIT TO BE REMOVED FROM COMPLETE SYSTEM INCLUDING BUT NOT LIMITED TO: DISCONNECT, THERMOSTAT FURNACE, LINSEET, ETC.
- FURNISH AND RECONNECT EXISTING WIRING TO NEW ELECTRICAL PANEL. CONTRACTOR TO VERIFY AND RECONNECT EXISTING WIRING TO NEW ELECTRICAL PANEL. CONTRACTOR TO VERIFY AND RECONNECT EXISTING WIRING TO NEW ELECTRICAL PANEL. CONTRACTOR TO VERIFY AND RECONNECT EXISTING WIRING TO NEW ELECTRICAL PANEL.
- FURNISH AND INSTALL NEW SMOKE/CO DETECTOR IN LOCATION SHOWN. SMOKE/CO DETECTORS TO BE HARDWIRED TO ONE ANTIWIRE SUCH THAT IF ONE ALARMS THEY ALL ALARM. SMOKE DETECTOR SHALL HAVE BOTH WIRELESS AND BULK WIRE (TYPICAL FOR ALL).
- FURNISH AND INSTALL NEW SMOKE/CO DETECTOR IN LOCATION SHOWN. SMOKE/CO DETECTOR TO BE HARDWIRED TO ONE ANTIWIRE SUCH THAT IF ONE ALARMS THEY ALL ALARM. SMOKE DETECTOR SHALL HAVE BOTH WIRELESS AND BULK WIRE (TYPICAL FOR ALL).
- REMOVE EXISTING WIRING AND CONDUIT BACK TO METER LOCATION. CONTRACTOR TO RECONNECT WIRING FROM NEW PANEL BACK TO EXISTING ELECTRICAL DISTRIBUTION. INCOMING ELECTRICAL FEEDER FROM NEW PANEL SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL VERIFY EXISTING DISTRIBUTION EQUIPMENT IS RATED FOR NEW FEEDER. SEE RISER DRAWING FOR COMMUNITY BUILDING FOR MORE INFORMATION.
- EXISTING LOCATION FOR INCOMING TELECOM SERVICE TO REMAIN. CONTRACTOR TO RECONNECT EXISTING TELECOM SERVICE TO NEW EQUIPMENT LOCATIONS. CONTRACTOR SHALL CONNECT ALL NEW TELEPHONE/DATA RECEPTABLES BACK TO SERVICE PROVIDER DEMARK.
- REMOVE EXISTING WIRING AND CONDUIT BACK TO METER LOCATION. CONTRACTOR TO RECONNECT WIRING FROM NEW PANEL BACK TO EXISTING ELECTRICAL DISTRIBUTION. INCOMING ELECTRICAL FEEDER FROM NEW PANEL SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL VERIFY EXISTING DISTRIBUTION EQUIPMENT IS RATED FOR NEW FEEDER. SEE RISER DRAWING FOR COMMUNITY BUILDING FOR MORE INFORMATION.
- FAN/LIGHT COMBO SHALL HAVE FAN AND LIGHT CONNECTED TO SAME SWITCH.

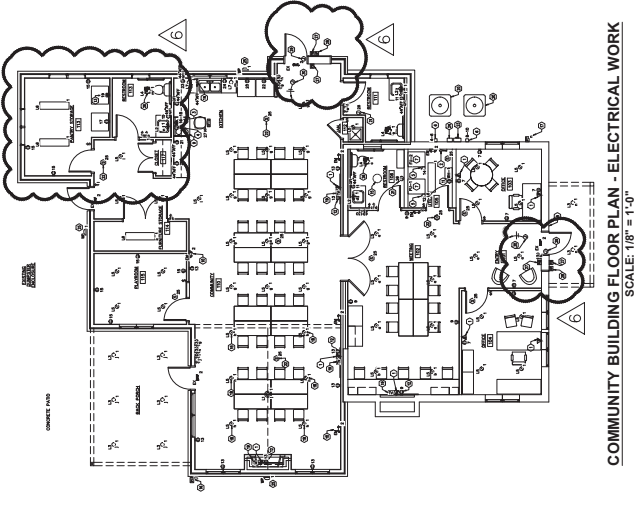
ELECTRICAL SCOPE NOTES

- FURNISH AND INSTALL NEW ELECTRICAL PANEL IN PLACE OF EXISTING ELECTRICAL PANEL.
- PROVIDE NEW CONDUIT AND WIRING FROM EXISTING ELECTRICAL DISTRIBUTION TO NEW ELECTRICAL PANEL.
- REPLACE ALL SWITCHES AND RECEPTABLES. ALL SWITCHES TO BE TOGGLE STYLE.
- FURNISH AND INSTALL NEW TV, PHONE AND CABLE OUTLETS AS SHOWN ON PLAN.
- FURNISH AND INSTALL NEW SMOKE AND CO DETECTOR AT LOCATIONS SHOWN ON PLAN.
- FURNISH AND INSTALL NEW CEILING MOUNTED PAN/LIGHT COMBO IN ALL BARRACKS.
- REPLACE ALL APPLIANCES WITH NEW.
- FURNISH AND INSTALL ALL NEW LED LIGHT FIXTURES AND CONTROLS.
- FURNISH AND INSTALL NEW PORCH LIGHTS IN THE SOFFIT OF FRONT AND BACK PORCHES.

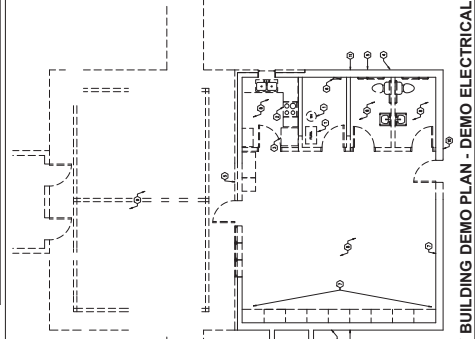
ELECTRICAL ADA NOTES

CONTRACTOR IS REQUIRED TO COMPLY WITH THE 2009 ACCESSIBILITY STANDARDS.

- ALL CONTROLS AND OTHER RELATED OPERABLE SWITCHES SHALL BE PLACED BETWEEN EXISTING TERMINATIONS AND SEATED OPERABLE SWITCHES THAT ARE NOT BEING ALTERED.
- CONTROLS FOR IN-RACE AND RANGE HOOD SHALL BE RELOCATED TO BE AT THE APRON OF THE COUNTER ADJACENT TO RANGE.



COMMUNITY BUILDING FLOOR PLAN - ELECTRICAL WORK
SCALE: 1/8" = 1'-0"



COMMUNITY BUILDING DEMO PLAN - DEMO ELECTRICAL WORK
SCALE: 1/8" = 1'-0"



FEEDER AND BRANCH WIRING SCHEDULE

FEEDER/BRANCH CIRCUIT DESIGNATION	CONDUIT/SCHEDULE SIZE	CABLE TYPE/MATERIAL	
		ALUMINUM (AL)	COPPER (CU)
6	6	10	X
600	600	1/0	X

* ALL WIRE AND NEUTRAL CONDUCTORS SHALL BE MADE UP (FULL SIZE NEUTRAL CONDUCTORS)
 ** PROVIDE SUFFICIENT FITTINGS WHERE CONDUITS MEET OR ARE IN CONTACT WITH ONE ANOTHER AS NECESSARY
 *** WIRE SIZE SHOWN IS TO DISPLAY MINIMUM SIZE NEEDED TO MAINTAIN EXISTING SERVICE.

GENERAL NOTES

- A. PROVIDE PROTECTION FOR MAIN CIRCUIT BREAKER AND ALL BRANCH DEVICES AS REQUIRED.
- B. ARTICLE 110-24.
- C. ALL FEEDERS AND BRANCH CIRCUITS THROUGHOUT PROJECT SHALL BE FOR BRANCH LOADS. WIRE SIZE FOR EACH CIRCUIT SHALL BE DETERMINED BY THE CONDUIT OR SIZE OF THE EQUIPMENT TO BE SERVED. WIRE SIZE SHALL BE AS SHOWN ON THIS SHEET FOR ALL CIRCUITS UNLESS OTHERWISE NOTED BY CONTRACTOR. CONDUITS AND EQUIPMENT SHALL BE NOTED BY CONTRACTOR AND SCHEDULED AND STAMPED TO CORRESPOND WITH REVISIONS PRIOR TO PROCUREMENT/INSTALLATION.
- D. DO NOT SHARE NEUTRALS FOR ANY LOADS.
- E. MINIMUM CIRCUIT AMPS INCLUDED IN LOAD CALCULATIONS INCLUDE 120% OF THE LOADS AND 125% OF THE LOADS AS SPECIFIED PER ARTICLE 220-60.
- F. ARTICLE 220-14.
- G. ALL EQUIPMENT POSITION OUTDOORS SHALL BE NEMA 3R OR BETTER FOR WEATHER RESISTANCE.
- H. EQUIPMENT SHALL BE INSTALLED PER UTILITY COMPANY'S REQUIREMENTS.

KEY NOTES

1. FURNISH AND INSTALL NEW UNDERGROUND FEEDER TO NEW METER TO THE LOCATION OF THE NEW UTILITY REQUIREMENTS. FURNISH AND INSTALL NEW UNDERGROUND FEEDER TO SERVICE PANEL TO THE LOCATION OF THE NEW UTILITY REQUIREMENTS. FURNISH AND INSTALL NEW UTILITY TRANSFORMER TO SERVICE PANEL TO THE LOCATION OF THE NEW UTILITY REQUIREMENTS. PROVIDE BUILDING DISTRIBUTION AND METERING.
2. FURNISH AND INSTALL NEW FEEDER FROM NEW METER TO NEW PANEL IN SPACE. MINIMUM WIRE SIZE INDICATED ON RISEL.
3. FURNISH AND INSTALL NEW 100/400V 3PH, 3W, 60 AMP PANEL WITH 60 100 AMP MAIN CIRCUIT BREAKER. INSTALL WITH NEMA 3R.
4. ALL NEW AND EXISTING SEE LIGHTING, BUILDING LIGHTING, SECURITY EQUIPMENT, CONTROLS AND DEVICES TO BE CONNECTED TO WORKSHEETS AND DEVICES TO BE CONNECTED TO WORKSHEETS TO REPLACE NEW CONTROLS AND DEVICES. FURNISH AND INSTALL NEW WORKSHEET FOR EACH DEVICE TO BE CONNECTED TO WORKSHEETS AND DEVICES TO BE CONNECTED TO WORKSHEETS. SEE BUILDING NOTES FOR ADDITIONAL DETAILS.
5. 225 AMP MAIN CIRCUIT BREAKER, SQUARE D, MODEL 4060, ESCROWED TO THE UTILITY COMPANY. FURNISH AND INSTALL NEW FEEDER FROM UTILITY DISTRIBUTION LOCATION ON EXTERIOR OF BUILDING TO NEW METER AND NEW UNDERGROUND FEEDER TO SERVICE PANEL. FURNISH AND INSTALL NEW UNDERGROUND FEEDER FROM METER TO SERVICE PANEL.
6. FURNISH AND INSTALL NEW UNDERGROUND FEED TO NEW METER LOCATION.



ELECTRIC SERVICE RISER DIAGRAM
 NOT TO SCALE

RISER DIAGRAM NOTES
 1. CURRENT AND SERVICE PANEL OR MAIN AVAILABLE PANEL CURRENT REQUIREMENTS SHALL BE AS SHOWN ON THE ELECTRICAL SCHEDULE.
 2. CLEARANCES PER ARTICLE 110-26 NEC

CRESTMONT COMMUNITY BUILDING RENOVATION
 BLOOMINGTON HOUSING AUTHORITY
 1002 NORTH SUMMIT ST
 BLOOMINGTON, IN 47404

BRINSHORE
 Bloomington Housing Authority

SINCE ENGINEERING
 DONALD E. SPENCER REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA
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SECTION 16A GENERAL ELECTRICAL REQUIREMENTS:

16A.1-1. GENERAL REQUIREMENTS

COORDINATE ALL WORK WITH OTHER DRAWINGS AND PROVIDE NECESSARY EQUIPMENT AND ACCESSORIES THAT ARE NOT SHOWN ON THESE DRAWINGS. PROVIDE NECESSARY EQUIPMENT AND ACCESSORIES THAT ARE NOT SHOWN ON THESE DRAWINGS. PROVIDE NECESSARY EQUIPMENT AND ACCESSORIES THAT ARE NOT SHOWN ON THESE DRAWINGS.

16A.1-2. SUBSTITUTIONS

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION. PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-3. PRE-BID SIZE

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-4. MATERIAL AND WORKMANSHIP

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION. PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-5. MANUFACTURERS

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION. PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-6. COORDINATION

COORDINATE ALL WORK WITH OTHER DRAWINGS AND PROVIDE NECESSARY EQUIPMENT AND ACCESSORIES THAT ARE NOT SHOWN ON THESE DRAWINGS. PROVIDE NECESSARY EQUIPMENT AND ACCESSORIES THAT ARE NOT SHOWN ON THESE DRAWINGS.

16A.1-7. CONFORMANCE, CODES AND STANDARDS

COMPLY WITH THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70, THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70, THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70.

16A.1-8. SUBSTITUTIONS

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION. PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-9. PRE-BID SIZE

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-10. MATERIAL AND WORKMANSHIP

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION. PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-11. MANUFACTURERS

PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION. PROVIDE ALL MATERIAL AND EQUIPMENT NEW AND IN FIRST CLASS CONDITION.

16A.1-11. OPERATIONS AND MAINTENANCE INSTRUCTIONS

Submit to the architect for Engineer's Review. Provide necessary equipment and accessories that are not shown on these drawings.

16A.1-12. SUBSTITUTIONS

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

16A.1-13. PRE-BID SIZE

Provide all material and equipment new and in first class condition.

16A.1-14. MATERIAL AND WORKMANSHIP

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

16A.1-15. MANUFACTURERS

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

16A.2-1. GENERAL REQUIREMENTS

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

16A.2-2. SUBSTITUTIONS

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

16A.2-3. PRE-BID SIZE

Provide all material and equipment new and in first class condition.

16A.2-4. MATERIAL AND WORKMANSHIP

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

16A.2-5. MANUFACTURERS

Provide all material and equipment new and in first class condition. Provide all material and equipment new and in first class condition.

ROTTMANN COLLIER ARCHITECTS
102 EAST MARKET STREET
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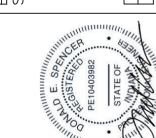
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BLOOMINGTON HOUSING AUTHORITY
CRESSMONT
COMMUNITY
NORTH SUMMIT ST
BLOOMINGTON, TN 37204

DATE	04/10/2008	NO.	00000000
BY	03/10/2008	DESCRIPTION	FOR CONSULTATION
DATE	11/11/2008	DESCRIPTION	FOR CONSULTATION
DATE	03/11/2008	DESCRIPTION	FOR CONSULTATION
DATE	03/11/2008	DESCRIPTION	FOR CONSULTATION

PROJECT NO. 7107
DATE 10-15-2001
SHEET

ELECTRICAL SPECIFICATION



E3-1

DATE	DESCRIPTION
04-01-2021	ISSUE REVISION SET
04-01-2021	ISSUE REVISION SET
11-15-2021	CONTRACT ADMINISTRATION
1-17-2022	FOR CONSTRUCTION
03-01-2022	FOR CONSTRUCTION
03-21-2022	FOR CONSTRUCTION
03-21-2022	FOR CONSTRUCTION

COMMUNITY BUILDING MECHANICAL WORK

PROJECT NO: 2018
 DATE: 10-10-2021
 SHEET: M1-1

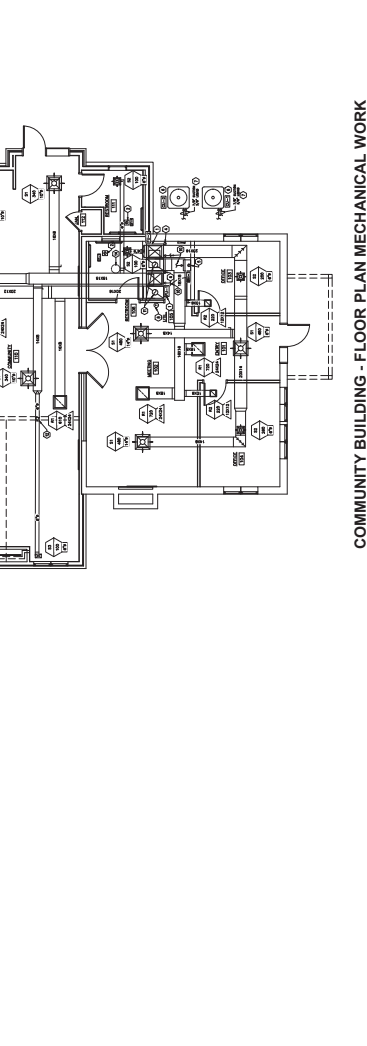
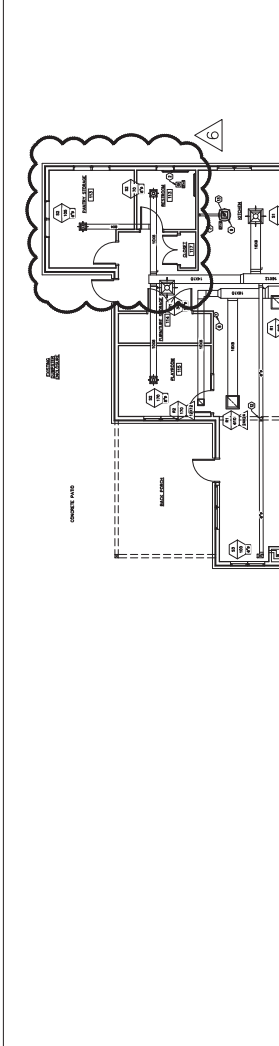
GENERAL NOTES
 1. FURNISH AND INSTALL NEW GOODMAN GAS POWERED FURNACE, DESIGNATED FU-1 AND FU-2. SEE MECHANICAL SCHEDULES FOR MORE INFORMATION.
 2. FURNISH AND INSTALL NEW EXHAUST FAN UP THROUGH ROOF WITH BUILT IN 18" DIAMETER RANGE HOOD WITH 18" DIAMETER EXHAUST FAN. SEE MECHANICAL SCHEDULES FOR ADDITIONAL INFORMATION.
 3. NEW RANGE HOOD WITH INTERNAL BACKDRAFT DAMPER. CONNECT NEW HOOD DOWN TO RANGE HOOD CONTROLS LOCATED AT COINTEGRATED RANGE VENT WITH WEATHER HOOD AND DAMPER SCREEN.
 4. REMOVE EXISTING RANGE HOOD AND ALL ASSOCIATED DUCT, CAP AND SEAL AS REQUIRED.
 5. FURNISH AND INSTALL 4" CONDENSING VENT PIPE FOR FURNACE UP THROUGH ROOF.
 6. FURNISH AND INSTALL 4" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 7. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 8. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 9. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
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 11. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 12. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 13. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 14. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.

MECHANICAL SCOPE NOTES
 THE MECHANICAL SCOPE FOR THE COMMUNITY BUILDING IS AS FOLLOWS:
 1. CONTRACTOR SHALL REMOVE EXISTING MECHANICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO: OUTDOOR A/C UNITS, FURNACE, DUCTWORK, AND ALL EXHAUST FANS AND RANGE HOODS.
 1.1. UPON REMOVAL, CONTRACTOR SHALL FURNISH AND INSTALL NEW 14 SEER EFFICIENT, SEaled COMBINATION GAS FIRED FURNACE WITH 4" HIGH MOUNTED EXHAUST FAN. CONTRACTOR SHALL REMOVE EXHAUST FAN AS NOTED AND BE INSTALLED IN OR BELOW FLOOR-CEILING SYSTEM ABOVE AND RUN TO EXISTING SUITS AND RETURN GRILLS. SHALL BE REMOVED AND RECONNECT TO EXISTING DUCTWORK AS NOTED. SEE MECHANICAL SCHEDULES SHEET FOR MORE INFORMATION ON SIZE AND STYLE OF DRILL.
 2. FURNISH AND INSTALL NEW EXHAUST FAN WITH 18" DIAMETER RANGE HOOD AND PRE-INSTALLED CEILING AND THE NEED FOR DAMPERS OR EXCESS OPENING BOARD SOFFITS.
 3. INTERLOCKED WITH ALA CONTROLS LOCATED AT COINTEGRATED RANGE VENT. SEE PLANS FOR MORE INFORMATION.
 4. INSTALL CEILING EXHAUST FAN/LIGHT COMBO IN ALL BATHROOMS (H&F AND FULL BATHS).

MECHANICAL ADA NOTES
 CONTRACTOR IS REQUIRED TO COMPLY WITH 2010 ADA ACCESSIBILITY STANDARDS:
 1. ALL THERMOSTATS AND OTHER RELATED OPERABLE SWITCHES SHALL BE 48" MAXIMUM HEIGHT.
 1.1. EXISTING THERMOSTATS AND RELATED OPERABLE SWITCHES THAT ARE NOT 48" MAXIMUM HEIGHT SHALL BE PERMITTED AT 45" MAXIMUM HEIGHT.

KEY NOTES
 1. FURNISH AND INSTALL NEW GOODMAN GAS POWERED FURNACE, DESIGNATED FU-1 AND FU-2. SEE MECHANICAL SCHEDULES FOR MORE INFORMATION.
 2. FURNISH AND INSTALL NEW EXHAUST FAN UP THROUGH ROOF WITH BUILT IN 18" DIAMETER RANGE HOOD WITH 18" DIAMETER EXHAUST FAN. SEE MECHANICAL SCHEDULES FOR ADDITIONAL INFORMATION.
 3. NEW RANGE HOOD WITH INTERNAL BACKDRAFT DAMPER. CONNECT NEW HOOD DOWN TO RANGE HOOD CONTROLS LOCATED AT COINTEGRATED RANGE VENT WITH WEATHER HOOD AND DAMPER SCREEN.
 4. REMOVE EXISTING RANGE HOOD AND ALL ASSOCIATED DUCT, CAP AND SEAL AS REQUIRED.
 5. FURNISH AND INSTALL 4" CONDENSING VENT PIPE FOR FURNACE UP THROUGH ROOF.
 6. FURNISH AND INSTALL 4" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 7. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
 8. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.
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 14. PROVIDE 1/2" CONDENSING VENT PIPE FOR TANKLESS WATER HEATER UP THROUGH ROOF.

MECHANICAL ZONING KEY PLAN NOTES
 1. FURNISH AND INSTALL NEW EXHAUST FAN WITH 18" DIAMETER RANGE HOOD AND PRE-INSTALLED CEILING AND THE NEED FOR DAMPERS OR EXCESS OPENING BOARD SOFFITS.
 2. INTERLOCKED WITH ALA CONTROLS LOCATED AT COINTEGRATED RANGE VENT. SEE PLANS FOR MORE INFORMATION.
 3. INSTALL CEILING EXHAUST FAN/LIGHT COMBO IN ALL BATHROOMS (H&F AND FULL BATHS).



DEMO KEY NOTES
 1. REMOVE EXISTING RANGE HOOD WITH 18" DIAMETER EXHAUST FAN AND ALL ASSOCIATED DUCT, CAP AND SEAL AS REQUIRED.
 2. REMOVE EXISTING BATHROOM EXHAUST FAN/LIGHT COMBO, CAP AND SEAL AS REQUIRED.
 3. REMOVE EXISTING RANGE HOOD AND ALL ASSOCIATED DUCT, CAP AND SEAL AS REQUIRED.
 4. REMOVE EXISTING BATHROOM EXHAUST FAN/LIGHT COMBO, CAP AND SEAL AS REQUIRED.
 5. REMOVE EXISTING RANGE HOOD AND ALL ASSOCIATED DUCT, CAP AND SEAL AS REQUIRED.
 6. REMOVE EXISTING BATHROOM EXHAUST FAN/LIGHT COMBO, CAP AND SEAL AS REQUIRED.
 7. REMOVE EXISTING OUTDOOR A/C UNIT AND ALL ASSOCIATED PIPING.

COMMUNITY BUILDING - DEMO PLAN MECHANICAL WORK
 SCALE: 1/4" = 1'-0"

MECH. MODEL NO.	MANUFACTURER	CONNECTION DETAIL				CONNECTION	TYPE	WALL THICKNESS	CONCRETE TYPE	SEALANT	INSULATION	APP. RATING
		TYPE	SIZE	TYPE	SIZE							
FP-1	ROTHSCHILD	3/4"	3/4"	3/4"	3/4"	100	3/4"	100	3/4"	3/4"	100	
FP-2	ROTHSCHILD	3/4"	3/4"	3/4"	3/4"	100	3/4"	100	3/4"	3/4"	100	

FAN SCHEDULE

FAN NO.	TYPE	MAX. AMB. TEMP.	MIN. AMB. TEMP.	MAX. WIND SPEED (MPH)	FREQUENCY	STARTING TORQUE (FT-LB)	MAX. TORQUE (FT-LB)	MAX. CURRENT (A)	WIND SPEED (MPH)	WIND SPEED (MPH)	WIND SPEED (MPH)	WIND SPEED (MPH)
EP-1	BRONZE	100	50	0.125	200 W	115	115	115	115	115	115	115
EP-2	GREENKOPF	100	50	0.125	300 W	115	115	115	115	115	115	115

AIR DEVICE SCHEDULE

WIND	SERVICE	TYPE	MATERIAL	SIZE	FRAMES	WINDS	FRAMES	NOTES	COMMENTS
01	EXHAUST	ROOF	304 SS	18" X 18"	304 SS	18" X 18"	304 SS	18" X 18"	304 SS
02	EXHAUST	ROOF	304 SS	18" X 18"	304 SS	18" X 18"	304 SS	18" X 18"	304 SS
03	EXHAUST	ROOF	304 SS	18" X 18"	304 SS	18" X 18"	304 SS	18" X 18"	304 SS

FAN SCHEDULE

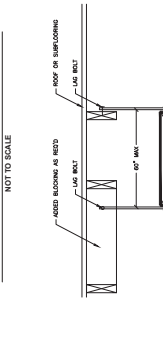
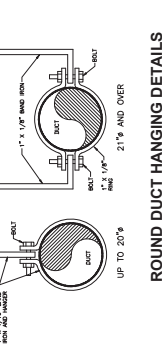
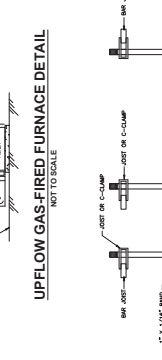
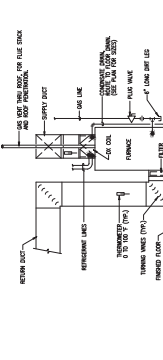
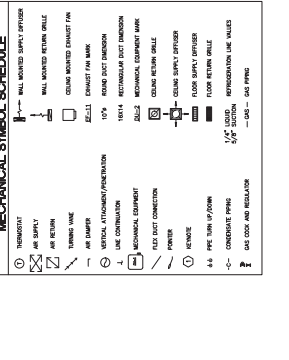
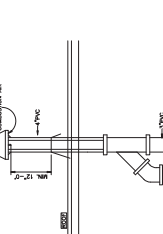
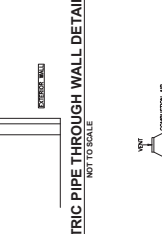
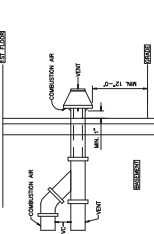
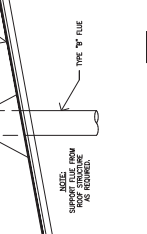
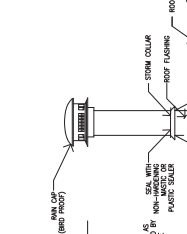
FAN NO.	TYPE	MAX. AMB. TEMP.	MIN. AMB. TEMP.	MAX. WIND SPEED (MPH)	FREQUENCY	STARTING TORQUE (FT-LB)	MAX. TORQUE (FT-LB)	MAX. CURRENT (A)	WIND SPEED (MPH)	WIND SPEED (MPH)	WIND SPEED (MPH)	WIND SPEED (MPH)
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FAN SCHEDULE

FAN NO.	TYPE	MAX. AMB. TEMP.	MIN. AMB. TEMP.	MAX. WIND SPEED (MPH)	FREQUENCY	STARTING TORQUE (FT-LB)	MAX. TORQUE (FT-LB)	MAX. CURRENT (A)	WIND SPEED (MPH)	WIND SPEED (MPH)	WIND SPEED (MPH)	WIND SPEED (MPH)
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MECHANICAL SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Circle with dot)	FLEXIBLE DUCT TAKE-OFF	(Square with dot)	FLOOR RETURN GRILLE
(Circle with cross)	UPFLOW GAS-FIRED FURNACE	(Square with circle)	ROOF EXHAUST
(Circle with vertical lines)	ROUND HANGING DETAIL	(Square with horizontal lines)	CONCENTRIC PIPE THROUGH ROOF



MECHANICAL WORK NOTES - GENERAL

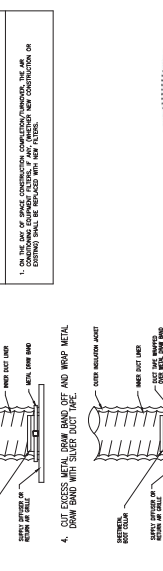
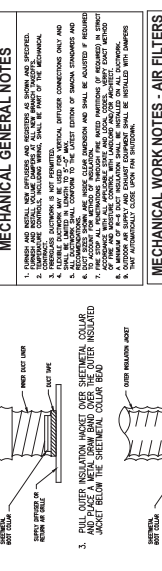
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL MECHANICAL CONTRACTING ASSOCIATION (NMC) STANDARD PRACTICES AND THE NATIONAL MECHANICAL CONTRACTING ASSOCIATION (NMC) STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. ALL MATERIALS AND EQUIPMENT SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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MECHANICAL GENERAL NOTES

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MECHANICAL WORK NOTES - AIR FILTERS

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ROTHSCHILD ARCHITECTS
158 EAST MARKET STREET
INDIANAPOLIS, INDIANA 46204
PH: 317.634.1234
WWW.ROTHSCHILD.COM

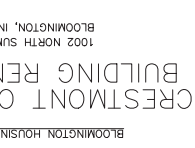
BRINSHORE
Bloomington
Housing
Authority

SCOPE DOCUMENT
THESE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED THE SOLE BASIS FOR THE CONTRACT. NO OTHER DOCUMENTS SHALL BE REFERRED TO UNLESS SPECIFICALLY NOTED THEREON.

1002 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

**CRESTMONT COMMUNITY
BUILDING RENOVATION**

MECHANICAL SCHEDULES
DATE: 10-15-2021
PROJECT NO: 2018
SHEET: M2-1



M2-1

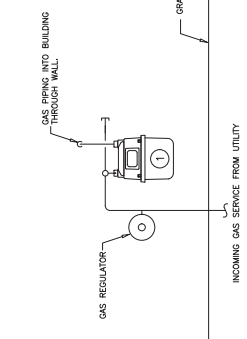
MECHANICAL SCHEDULES

DATE: 10-15-2021
PROJECT NO: 2018
SHEET: M2-1

M2-1

MECHANICAL SCHEDULES

DATE: 10-15-2021
PROJECT NO: 2018
SHEET: M2-1



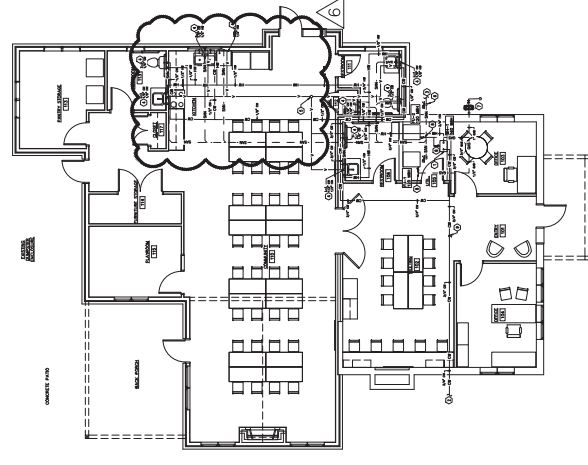
EXISTING CONDITION ASSUMPTIONS

1. 1" DIA. 2" PSI WITH 1/2" W.C. PRESSURE DROP AT THE BUILDING'S METER.
2. 1" DIA. 2" PSI WITH 1/2" W.C. PRESSURE DROP AT THE BUILDING'S METER.

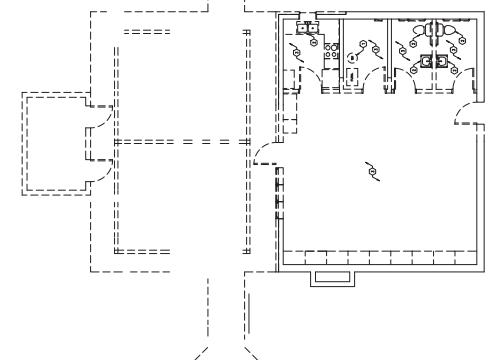
NEW GAS WORK

1. EXISTING GAS METER #1, 2, 3, 4 TO HAVE GAS LOAD MODIFIED BASED ON LONGEST LENGTH METHOD WITH A DISTANCE OF 10 FEET FROM THE METER TO THE FURFESTER. TOTAL GAS LOAD ON EACH METER IS 400 MBH.
2. DISTANCE IF NEW DESIGN INTENT CAN BE MET OVER THE DISTANCE OF 10 FEET FROM THE METER TO THE FURFESTER. NOT UNASSISTED WITH EXISTING FIELD CONDITIONS AND NEW DESIGNER SHALL VERIFY WITH MET. CONTACT ENGINEER FOR DISCUSSION PRIOR TO BID.

QM NO.	WORK	PKT. SIZE	SERVICE	ORIGINATION
1	420 MBH	1"	LESS THAN 2 PSI	55-457 MB



COMMUNITY BUILDING - FLOOR PLAN PLUMBING WORK
SCALE: 1/8" = 1'-0"



COMMUNITY BUILDING - DEMO PLAN - DEMO PLUMBING WORK
SCALE: 1/8" = 1'-0"

- KEY NOTES**
1. FURNISH AND INSTALL NEW TANKLESS WATER HEATER. SEE PLUMBING SCHEDULES FOR MORE INFORMATION.
 2. FURNISH AND INSTALL NEW WATER MAIN TO BUILDING - LOCATION SHOWN ON DEMO PLAN. SEE PLUMBING SCHEDULES FOR MORE INFORMATION.
 3. FURNISH AND INSTALL NEW SANITARY PIPING FROM SANITARY MAIN AT SITE TO BUILDING. BUILDING PIPING TO BE INSTALLED ON PLAN. VERIFY EXISTING LOCATION PRIOR TO BID. SEE PLUMBING SCHEDULES FOR MORE INFORMATION.
 4. CONTRACTOR TO FURNISH AND INSTALL NEW COLD AND HOT WATER SANITARY, AND VENT PIPING FOR MORE INFORMATION ON FUTURE SPECIFICATIONS. SEE SANITARY RISER DIAGRAM FOR MORE INFORMATION ON SANITARY AND VENT SIZING.
 5. FURNISH AND INSTALL NEW 4" VENT PIPING UP THROUGH ROOF.
 6. FURNISH AND INSTALL NEW SANITARY CLEAN OUT FOR BUILDING.
 7. LOAD FOR COLD WATER TO BE ADJUSTED AS SHOWN ON THIS SHEET. SEE GAS SCHEDULES FOR ADDITIONAL INFORMATION.
 8. FURNISH AND INSTALL NEW 3/4" SERVICE VALVE. LOCATION SHOWN ON PLAN IS FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL INSTALL VALVE IN BEST LOCATION TO BE DETERMINED.

FIXTURE UNIT CALCULATION

PLUMBING FIXTURE GROUP	QTY	SAN. F.U.	SAN. F.U.	WATER F.U.	WATER F.U.
BATHROOM	2	5.0	10.0	3.0	7.2
SINK	1	2.0	2.0	1.4	1.4
FLOOR DRAIN	1	2.0	2.0	4	4
MOP SINK	1	2.0	2.0	3.0	3.0
TOTAL		11.0	16.0	10.8	15.00

SERVICE SIZE REQ. VENT WASTE WATER

4" 4" 4" 3/4"

- KEY NOTES**
1. REMOVE EXISTING WATER HEATER AND ALL ASSOCIATED PIPING AND STUD OUTS.
 2. REMOVE EXISTING PLUMBING FIXTURE, CAP AND SEAL PIPING AS REQUIRED AND REMOVE EXISTING PIPING INCLUDING BUT NOT LIMITED TO COLD HOT SANITARY AND VENT PIPING. CAP AND SEAL AS REQUIRED AND REBID. SEE COMMUNITY BUILDING DEMO PLAN FOR REMOVAL OF NEW WELLS, SANITARY, AND VENT PIPING.

- GENERAL PLUMBING NOTES**
- A. ALL PIPING SHALL BE INSTALLED ON THE EXTERIOR OF THE BUILDING AND SHALL BE PROTECTED FROM FREEZING TEMPERATURES BY INSULATION AND VAPOR BARRIER. VACUUM BREAKERS MUST BE INSTALLED ON ALL EXISTING OR PROPOSED HOSE THROTTLE FITTINGS, INCLUDING BUT NOT LIMITED TO HOSE BIBBS, WALL/WHD.
 - B. CROSS-CONNECTION CONTROL DEVICE INSPECTORS SHALL TEST ALL SINK/DRAIN PREVENTION DEVICES AT THE TIME OF INSTALLATION AND SUBMIT REPORTS TO THE CONTRACTOR.
 - C. ALL WATER USES "Y" HAS REQUIREMENTS AS SPECIFIED FOR GAS/VAPOR BARRIER. SAMPLES FROM 2 CONSECUTIVE DAYS MUST BE TAKEN TO AN APPROVED LABORATORY FOR ANALYSIS. ALL TESTS SHALL BE SUBMITTED TO THE LOCAL WATER UTILITY AS REQUIRED FOR COMPLIANCE.
 - D. ALL MATERIALS INSTALLED WITH PLUMBING SHALL HAVE FLAME SPREAD RATING OF 0-10 AND SMOKE DEVELOPMENT OF 0-10. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH STATE CODES.
 - E. THIS CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIALS, AND LABOR FOR THE INSTALLATION AND TESTING OF ALL PIPING AND EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 - F. TYPE "N" COPPER TUBING SHALL BE USED FOR ALL DOMESTIC SUPPLY PIPING. TYPE "N" COPPER TUBING SHALL BE USED FOR ALL DOMESTIC SUPPLY PIPING. TYPE "N" COPPER TUBING SHALL BE USED FOR ALL DOMESTIC SUPPLY PIPING.
 - G. ALL EQUIPMENT (TANKS, NATURAL GAS SHALL HAVE GAS COOK AND BERT LEG FOR EACH PIECE OF EQUIPMENT.
 - H. ALL EQUIPMENT (TANKS, NATURAL GAS SHALL HAVE GAS COOK AND BERT LEG FOR EACH PIECE OF EQUIPMENT.
 - I. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, TYPICAL.
 - J. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEST STANDARD FOR PLUMBING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 - K. CONTRACTOR SHALL REMOVE ALL UNUSED WATER SUPPLY PIPING AND EQUIPMENT NOT REQUIRED.
 - L. ALL HOT WATER AND DRAIN PIPES THAT ARE EXPOSED UNDER SINKS SHALL BE INSULATED WITH INSULATION. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH STATE CODES. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS.
 - M. PLUMBING CONTRACTOR SHALL RECOGNIZE ALL EXISTING OBSTRUCTIONS IN THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 - N. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEST STANDARD FOR PLUMBING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

ROTTMANN COLLIER ARCHITECTS
135 EAST MARKET STREET
INDIANAPOLIS, INDIANA 46204
ROTTMANNCOLLIER.COM

SPENCER ENGINEERING
BRINSHORE
Bloomington Housing Authority

SCOPE DOCUMENT
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CRESTMONT COMMUNITY BUILDING RENOVATION
BLOOMINGTON HOUSING AUTHORITY
1002 NORTH SUMMIT ST
BLOOMINGTON, IN 47404

REVISIONS

NO.	DATE	DESCRIPTION
1	05-01-2021	ISSUE REVISION SET
2	05-10-2021	FOR CONSTRUCTION
3	05-15-2021	FOR CONSTRUCTION
4	05-17-2021	FOR CONSTRUCTION
5	05-21-2021	FOR CONSTRUCTION
6	05-21-2021	FOR CONSTRUCTION
7	05-21-2021	FOR CONSTRUCTION

COMMUNITY BUILDING PLUMBING WORK

PROJECT NO. 20138
DATE 10-10-2021
SHEET P1-1

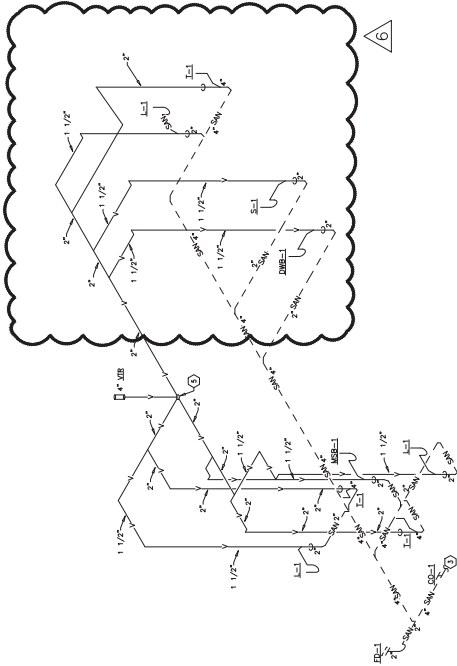


DATE	DESCRIPTION
05-01-2021	25% REVISION SET
05-05-2021	30% REVISION SET
05-10-2021	40% REVISION SET
05-15-2021	50% REVISION SET
05-20-2021	60% REVISION SET
05-25-2021	70% REVISION SET
06-01-2021	80% REVISION SET
06-05-2021	90% REVISION SET
06-10-2021	100% REVISION SET

COMMUNITY
 BUILDING
 SANITARY RISER
 DIAGRAM

PROJECT NO. 20138
 DATE 05-15-2021
 SHEET

P2-1



NOTE: THE INTENT IS TO INSTALL ALL NEW SANITARY AND VENT PIPING THROUGH PLUMBING WORK SUBJECT TO ANY EXISTING CONDITIONS. SEE COMMUNITY BUILDING RENOVATION WORK SHEET FOR MORE INFORMATION. SEE COMMUNITY BUILDING RENOVATION WORK SHEET FOR MORE INFORMATION. SEE COMMUNITY BUILDING RENOVATION WORK SHEET FOR MORE INFORMATION. SEE COMMUNITY BUILDING RENOVATION WORK SHEET FOR MORE INFORMATION.

SEE PLUMBING WORK SHEET FOR
 COMMUNITY BUILDING FOR KEY
 NOTES.

COMMUNITY BUILDING - SANITARY RISER DIAGRAM
 SCALE: 1/4" = 1'-0"



CIVIL ENGINEERING - LAND SURVEYING
 1715 E. HARVARD BLVD. BLOOMINGTON, IN 47403
 (317) 336-6558 - info@sandsgroup.com



02/11/2022

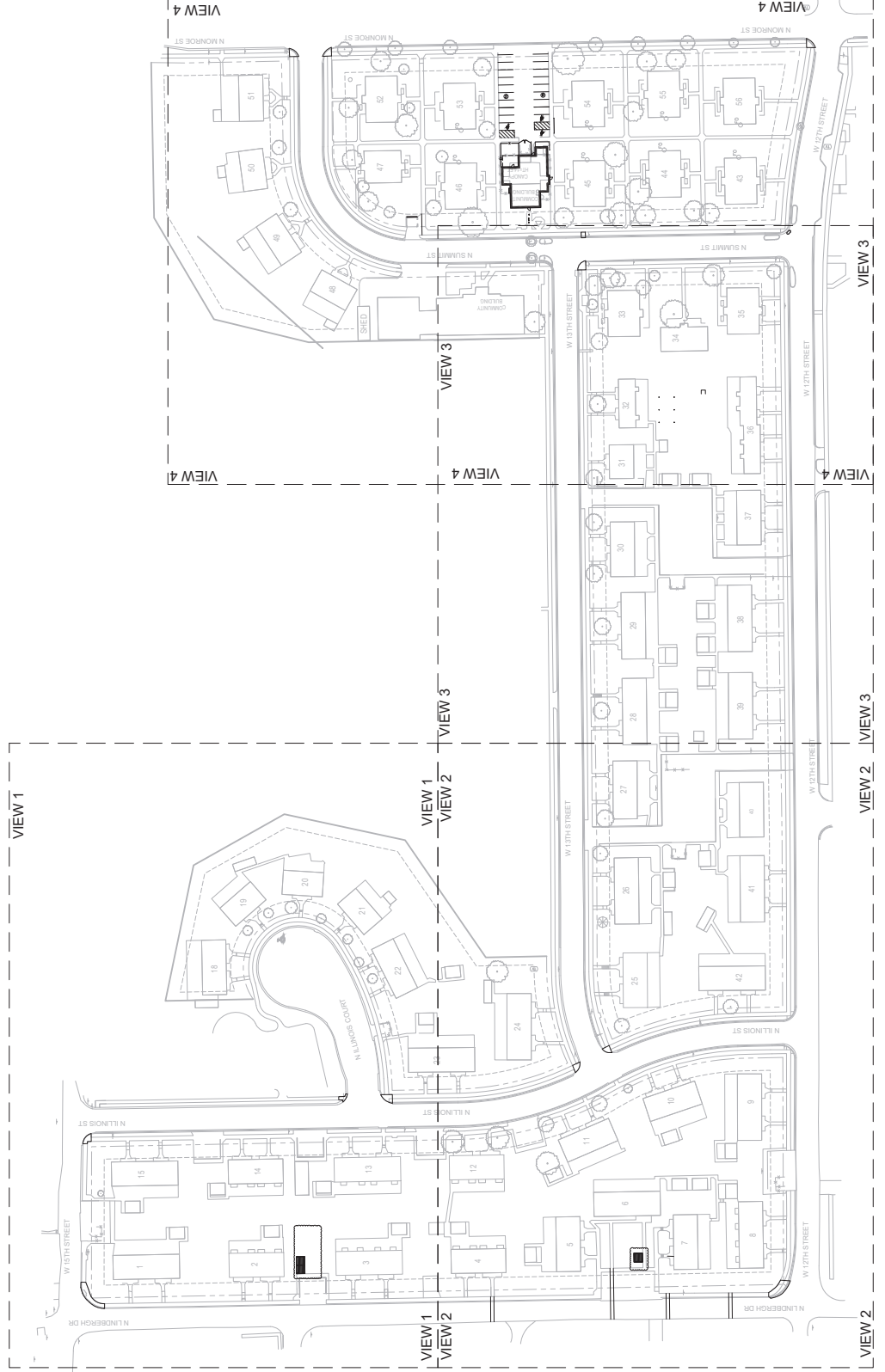
CRESTMONT COMMUNITY
 Section 32, T-9-N, R-1-W
 BLOOMINGTON, INDIANA

NO.	DATE	BY	DATE

DESIGNED	
CHECKED	
DATE	

6107
 SHEET
 2 OF 39
 DATE: 10/21/2022

KEY MAP



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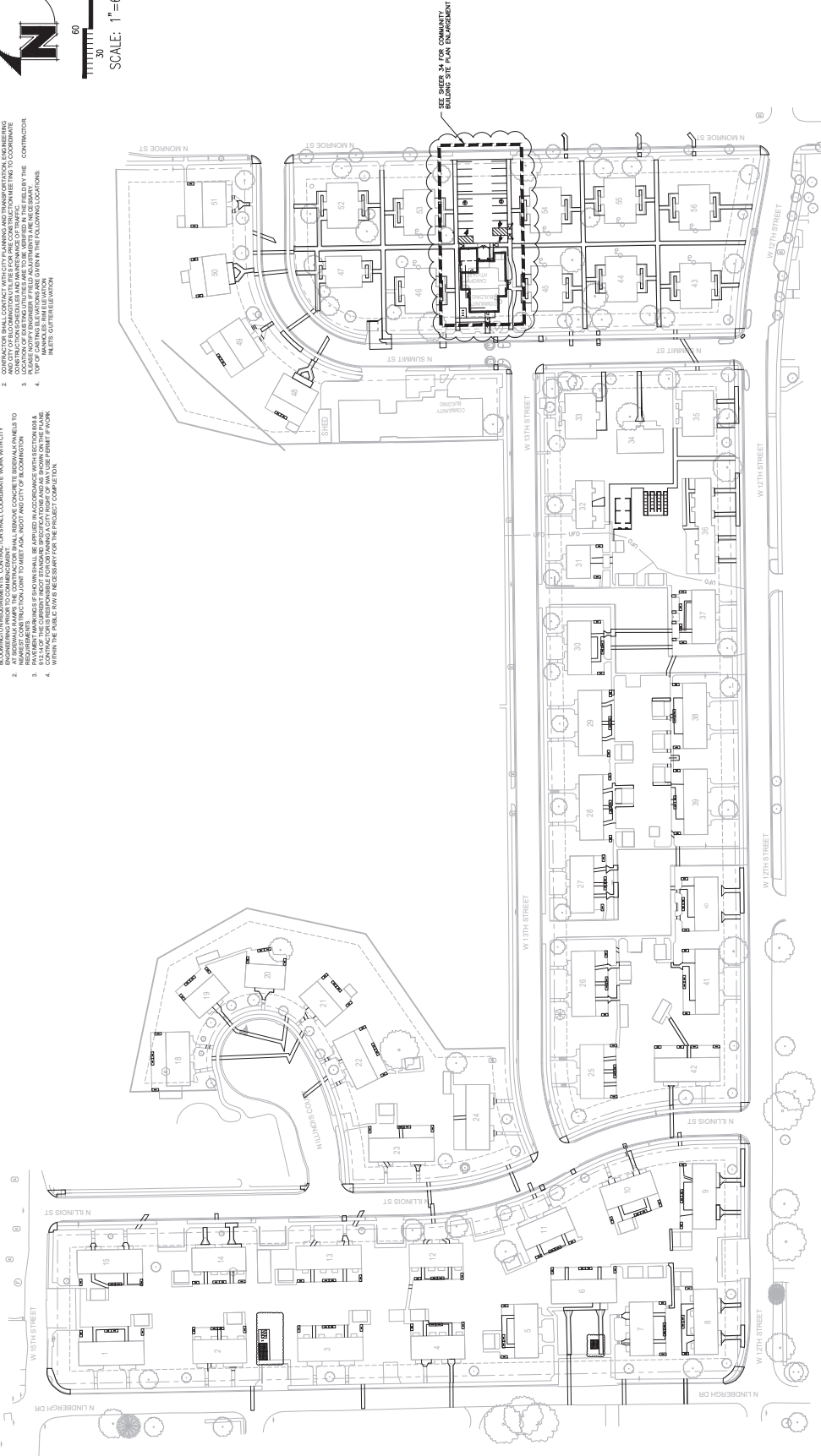
BY	DATE	REVISIONS
KES	2-1-22	ADDED BRICK BACKS SHEET, LOOKERS & CONCRETE PAVEMENT
OK	2-1-22	ADDED COMMUNITY BUILDING ASSESSMENT CALLOUT

GENERAL NOTES

- SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION
- FOR INFORMATION ONLY, THE CONTRACTOR SHALL CONTACT THE CITY PLANNING AND TRANSPORTATION ENGINEERING DEPARTMENT FOR ALL INFORMATION REGARDING CITY PLANNING AND TRANSPORTATION ENGINEERING DEPARTMENT REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON, INDIANA.
- PLEASE NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS IN THE CONTRACT DOCUMENTS.
- TOP SURFACE OF FINISHED GRADE SHALL BE AS SHOWN IN THE FOLLOWING LOCATIONS:
 - ALL UTILITIES SHALL BE DELETED FROM THE PLAN.

SITE PLAN NOTES

- SEVERAL PARCELS SHALL BE IN ACCORDANCE WITH THE LATEST PLAN, INDOT INDUSTRY OF BLOOMINGTON AND THE CITY OF BLOOMINGTON. THE CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERS TO OBTAIN ALL NECESSARY PERMITS.
- AS SHOWN ON THIS PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON, INDIANA.
- PERMITS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 886 & 887 OF THE CITY OF BLOOMINGTON, INDIANA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON, INDIANA.





02/11/2022

CRESTMONT COMMUNITY

Section 32, T-9-N, R-1-W

NO.	DATE	BY	DATE

DESIGNED BY	W.D.W.
CHECKED BY	K.S.
DATE	02/11/2022

6107
SHEET
5 of 39
10/21/2022

SITE PLAN VIEW 1

SITE PLAN NOTES

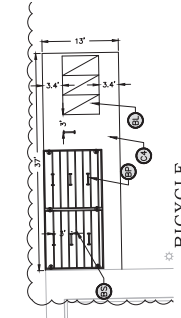
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ILLINOIS NEIGHBORHOOD DEVELOPMENT ORDINANCE AND ALL CITY OF BLOOMINGTON ORDINANCES. CONTRACTOR SHALL COORDINATE WITH CITY OF BLOOMINGTON DEPARTMENT OF PUBLIC WORKS AND UTILITIES AT ALL TIMES. CONTRACTOR SHALL REMOVE CONCRETE EDGELINE PANELS TO EXISTING FINISH GRADE TO ALLOW FOR PROPER ADJUSTMENT OF FINISH GRADE. CONTRACTOR SHALL VERIFY ALL FINISH GRADES AND ELEVATIONS WITH THE CITY OF BLOOMINGTON DEPARTMENT OF PUBLIC WORKS AND UTILITIES. CONTRACTOR SHALL VERIFY ALL FINISH GRADES AND ELEVATIONS WITH THE CITY OF BLOOMINGTON DEPARTMENT OF PUBLIC WORKS AND UTILITIES. CONTRACTOR SHALL VERIFY ALL FINISH GRADES AND ELEVATIONS WITH THE CITY OF BLOOMINGTON DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
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4. WITHIN THE PUBLIC ROWS NECESSARY FOR THE PROPOSED CONSTRUCTION.

MATERIALS LEGEND

- 1. 5" CONCRETE SIDEWALK
- 2. 4" COMPACTED AGGREGATE BASE #3
- 3. MATCH EXISTING CONCRETE PAVEMENT
- 4. 6" THICK 4000 PSI CONCRETE
- 5. 8" COMPACTED AGGREGATE BASE #3
- 6. 4" THICK 3000 PSI CONCRETE ON 4" COMPACTED AGGREGATE BASE #3
- 7. BICYCLE BACKBAY OTHERS: SEE DETAIL ON DETAIL SHEET, FINAL
- 8. PAVEMENT FINISH: SEE DETAIL ON DETAIL SHEET, FINAL
- 9. MATCH EXISTING CURB
- 10. CURB RAMP BY OTHERS: SEE DETAIL SHEET AND SPECIFICATIONS. SEE DETAIL SHEET.
- 11. SHELTER: SEE ARCHITECTURAL SHEETS
- 12. COMMUNITY GARDEN: SEE ARCHITECTURAL SHEETS
- 13. REPLACE SECTION OF MASONRY WALL
- 14. REPLACE CONCRETE BOLLARDS
- 15. BICYCLE PARKING: SEE DETAILS
- 16. BICYCLE RACKS: SEE DETAILS
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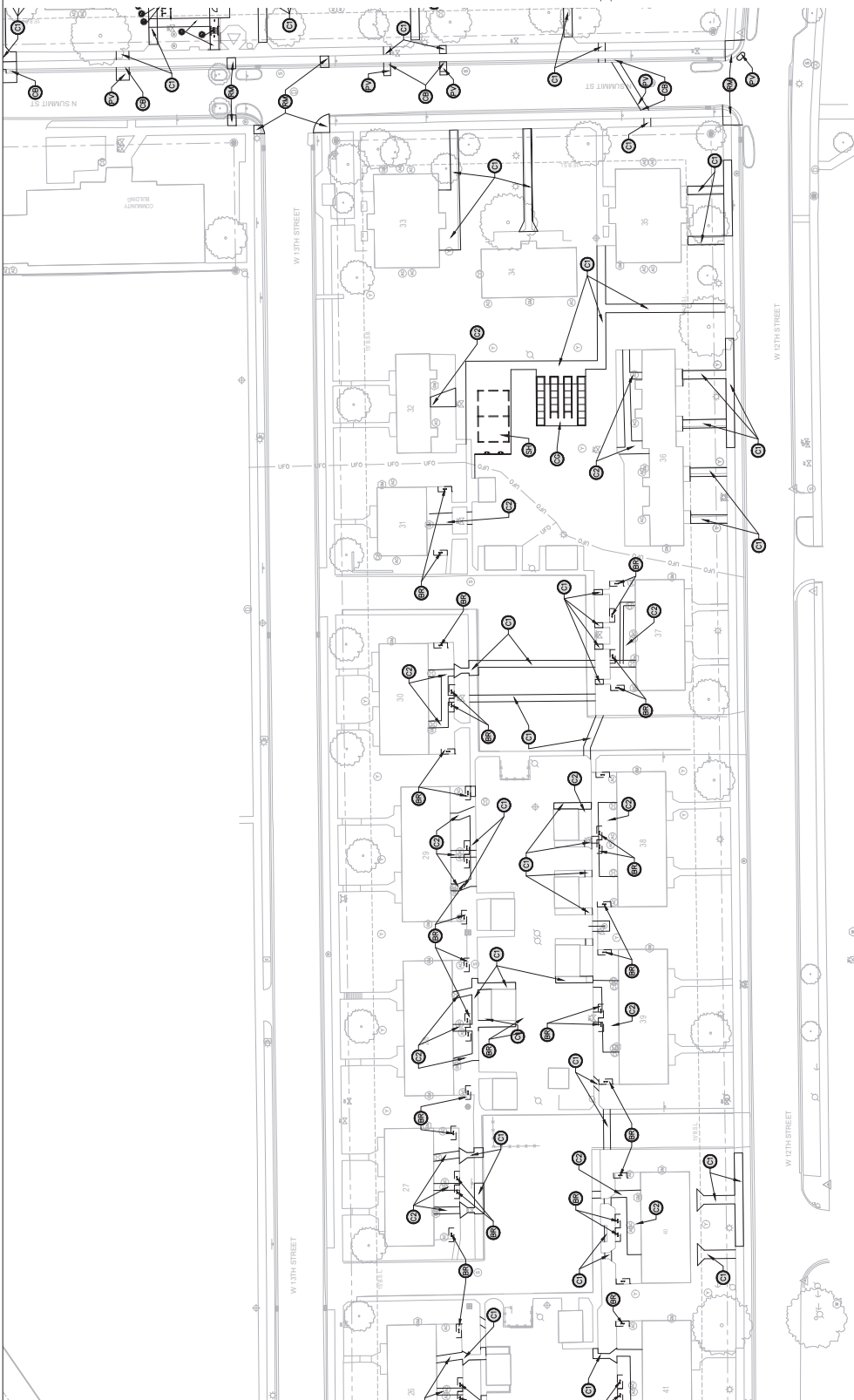
BICYCLE PARKING

- 1. TOTAL RACKS: 100
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BICYCLE
PARKING DETAIL

1"=30'



MATERIALS LEGEND

- 1" CONCRETE CURB
- 4" THICK, 3000 PSI CONCRETE
- 4" COMPACTED AGGREGATE BASE #3
- MATCH EXISTING CONCRETE PAVT
- 6" THICK, 4000 PSI CONCRETE
- 8" COMPACTED AGGREGATE BASE #3
- 4" THICK, 3000 PSI CONCRETE
- 4" COMPACTED AGGREGATE BASE #3
- BIKE RACK BY OTHERS. SEE DETAIL ON DETAIL SHEET. FINA
- LOCATION PER OWNER
- PAVEMENT PER CITY OF BLOOMINGTON DETAIL. SEE DETAIL SHEET
- MATCH EXISTING CURB
- CORB RAMPS BY OTHERS PER NOTIT DETAILS AND SPECIFICATIONS. SEE DETAIL SHEET.
- SHEDS. SEE ARCHITECTURAL SHEETS
- COMMUNITY GARDEN. SEE ARCHITECTURAL SHEETS
- REPLACE SECTION OF MASONRY WALL
- REPLACE CONCRETE ELLIOWDS
- BIKE PARKING. SEE DETAILS
- DERO 302 MODEL BIKE LOCKERS OR EQUIVALENT
- BIKE SHELTER. SEE ARCHITECTURAL PLANS

SITE PLAN NOTES

1. SIDEWALK RAMP SHALL BE IN ACCORDANCE WITH THE LATEST ADA, INDOT AND CITY OF BLOOMINGTON SPECIFICATIONS.
2. APPROVING PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL BIKEWAY RAMP SHALL BE NEAREST CONSTRUCTION POINT TO SHEET PLAN INDOT FACILITY OF BLOOMINGTON
3. PAVEMENT FINISHING OF SIDEWALKS SHALL BE APPROVED IN ACCORDANCE WITH INDOT AND CITY OF BLOOMINGTON SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF ANY PERMITS IF WORK IS TO BE DONE ON THE SIDEWALK OR BIKEWAY.

S
SMITH
GROUP
CIVIL ENGINEERING & LAND SURVEYING
1775 E CHANCE BL. SUITE 1000 BLOOMINGTON, IN 47403
(317) 386-6558 • smithgroup.com

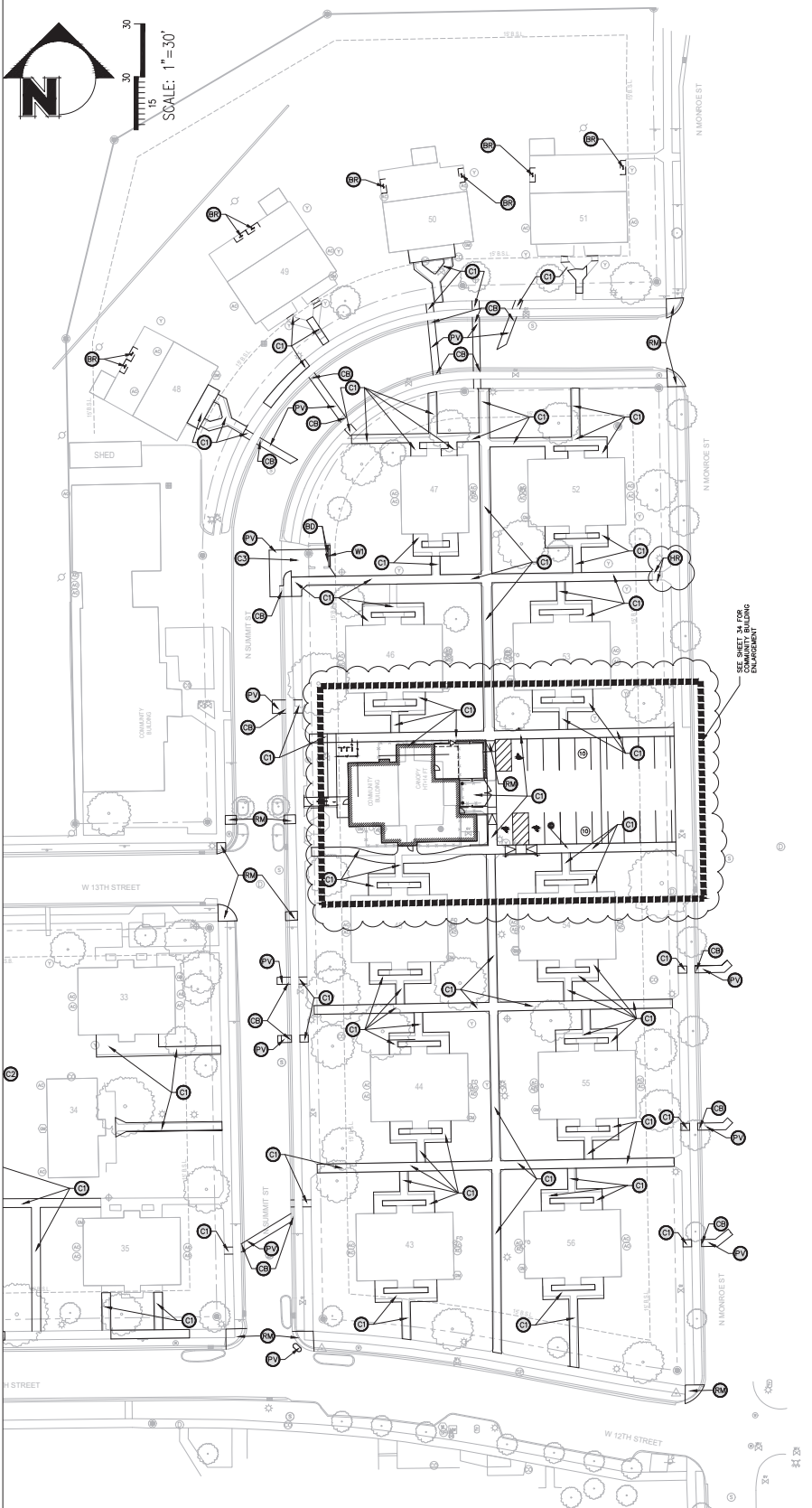
Professional Engineer
STATE OF INDIANA
PEL 100007
Noah's Seal

02/11/2022
CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

NO.	DATE	BY	DATE

DESIGNED	KRS
CHECKED	WDW
DATE	10/21/2022
PROJECT	6107
SHEET	7 OF 39

10/21/2022
7 OF 39 SHEET
SITE PLAN VIEW 3



CRESTMONT COMMUNITY
 Section 32, T-9-N, R-1-W
 BLOOMINGTON, INDIANA

02/11/2022

BY	DATE
MS	10-17-20
DK	9-18-22

REVISIONS
1. ADDED COMMUNITY BUILDING ENLARGEMENT CALCULATED HANDRAILS ALONG MONROEVILLE ST.

PROJECT NO. **6107**
 SHEET **8 OF 39**
 DATE: **10/21/2022**
 SITE PLAN VIEW 4

MATERIALS LEGEND

- (C) 2" CONCRETE SIDEWALK
- (F) 4" THICK, 3000 PSI CONCRETE
- (G) 4" COMPACTED AGGREGATE BASE #3
- (H) MATCH EXISTING CONCRETE PAVD
- (I) 6" THICK, 3000 PSI CONCRETE BASE #3
- (J) 6" THICK, 3000 PSI CONCRETE CAN
- (K) 4" THICK, 3000 PSI CONCRETE CAN
- (L) 4" COMPACTED AGGREGATE BASE #3
- (M) BICYCLE RACKS @ OTHERS. SEE DETAIL ON DETAIL SHEET FINAL LOCATION PER OWNER.
- (N) PAVEMENT PATCH PER CITY OF BLOOMINGTON DE TAL. SEE DETAIL SHEET.
- (O) MATCH EXISTING CURB
- (P) CURB RAMP BY OTHER PER FOOT DETAIL AND SPECIFICATION. SEE DETAIL SHEET.
- (Q) SHEDDER. SEE ARCHITECTURAL SHEETS
- (R) COMMUNITY GARDEN. SEE ARCHITECTURAL SHEETS
- (S) REPLACE SECTION OF MASONRY WALL
- (T) REPLACE CONCRETE BELLOWS
- (U) BICYCLE PARKING. SEE DETAILS
- (V) DEFO 300 MODEL BIKE LOCKERS OR EQUIVALENT
- (W) BIKE SHELTER. SEE ARCHITECTURAL PLANS
- (X) HANDRAILS

SITE PLAN NOTES

1. BID DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST TADA, INDOT AND CITY OF BLOOMINGTON SPECIFICATIONS.
2. ENGINEERING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS TO CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST TADA, INDOT AND CITY OF BLOOMINGTON SPECIFICATIONS.
4. MATERIALS AND FINISHES SHALL BE APPLIED IN ACCORDANCE WITH SECTION 200 & 201 OF THE TADA, INDOT AND CITY OF BLOOMINGTON SPECIFICATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL WORK.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL WORK.

GRADING LEGEND

—	EXISTING FINISH CONTOUR
---	PROPOSED FINISH CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	EDGE OF PAVEMENT ELEVATION
---	TOP OF CURB ELEVATION
---	HIGHPOINT
---	LOWPOINT
---	FRESH FLOOR ELEVATION
---	TOP OF RETAINING WALL
---	TOP OF FINISH WALL
---	TOP OF ROOF
---	TOP OF FLOOR
---	TOP OF CEILING
---	PROPOSED DIRECTION OF FLOW



GRADING KEY NOTES

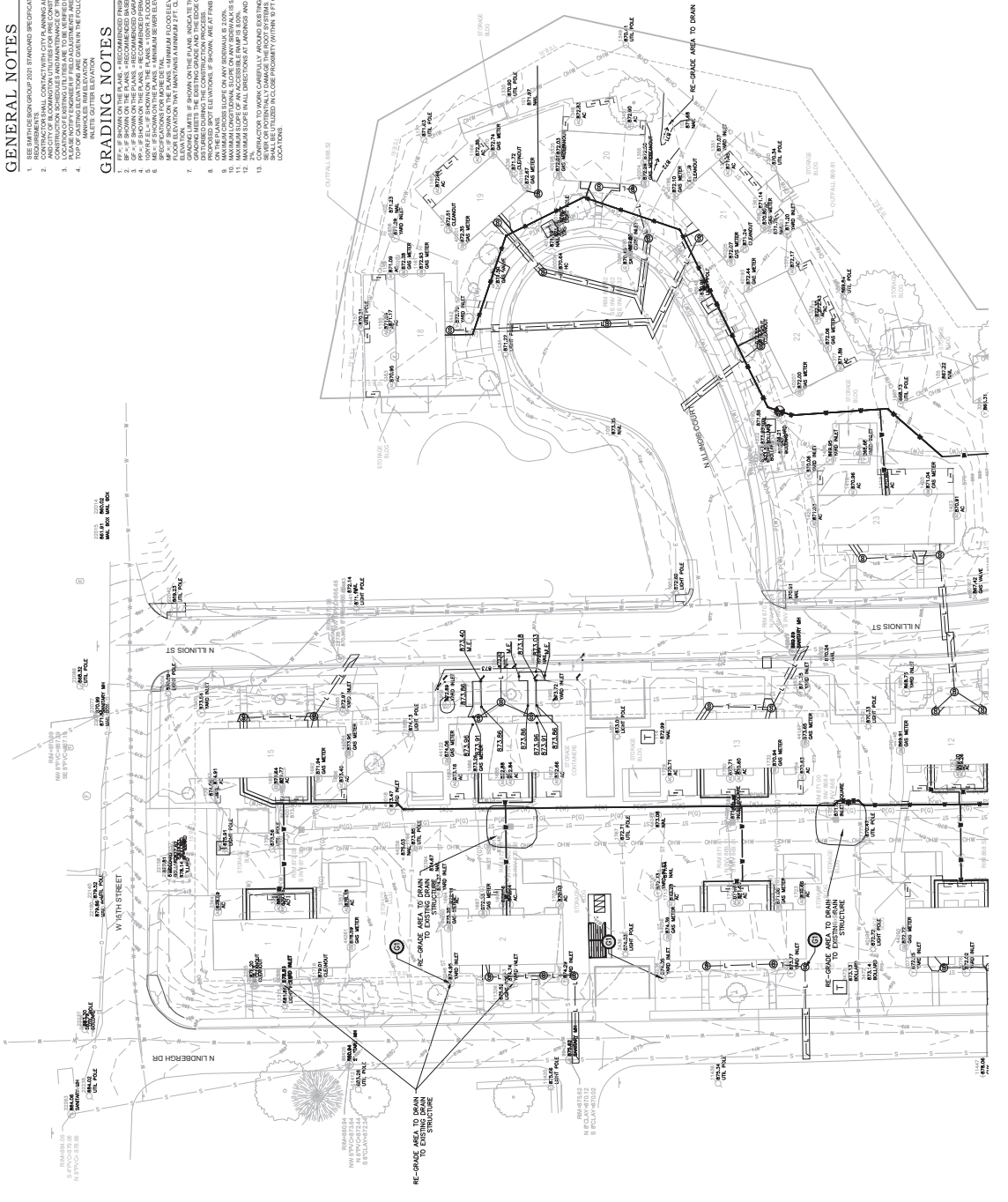
- ① CLEAN EXISTING EXTERIOR WALLS AND FOUNDATIONS.
- ② EXISTING AND PROPOSED GRADE SHALL BE SHOWN AT ALL POINTS.
- ③ SCARIFY AND STABILIZE EXISTING SOILS TO BE GRADDED TO PROPOSED FINISH GRADE.
- ④ RETAINING WALLS SHALL BE SHOWN AT ALL POINTS.

GENERAL NOTES

1. REFER TO THE SPECIFICATIONS FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
3. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC/IPC).
4. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL SOILS AND FOUNDATIONS CODE (ISFC).
5. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL WOOD PRESERVATION CODE (IWPC).
6. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND FLOOD MARKING CODE (IFMC).
7. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
8. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (UPMPC).
9. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE (IEC).
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13. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE (IEC).

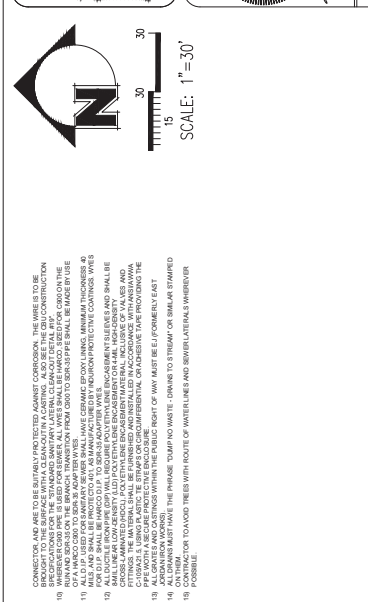
GRADING NOTES

1. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).
2. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).
3. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC/IPC).
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13. ALL FLOOR FINISHES SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE (IEC).



UTILITY NOTES

1. ALL UTILITIES SHALL BE DEEPER THAN THE FOUNDATION FOOTING.
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CRESTMONT COMMUNITY
Section 32, T-9-N, R-1-W
BLOOMINGTON, INDIANA

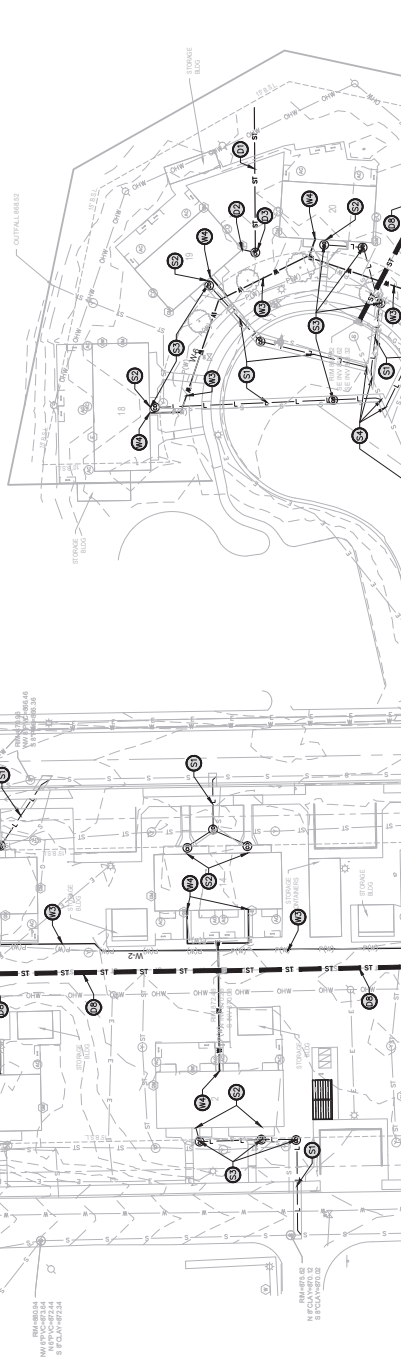
02/11/2022

UTILITY KEY NOTES

1. WATER MAIN NOTES (M): THE WATER MAIN SHALL BE 30" DIA. AND SHALL BE CONSTRUCTED TO FACE AND 18" FROM THE CENTERLINE OF THE STREET. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHIELDING, BACKFILL, SURFACE REPAIR, SCHEDULE THE CONNECTION WITH THE CITY ENGINEER AND THE UTILITY DEPARTMENT.
2. 4" GAS VALVE
3. 4" ODEB PVC OR SANITARY MANHOLE WITH COARSE SCHEDULE 40 STEEL DETAIL ON DETAIL SHEET 48" OF COVER WITH PROVIDE 18" SPACING BETWEEN WATER MAIN AND OTHER UTILITIES.
4. 18" DIA. SANITARY MANHOLE WITH COARSE SCHEDULE 40 STEEL DETAIL ON DETAIL SHEET 48" OF COVER WITH PROVIDE 18" SPACING BETWEEN WATER MAIN AND OTHER UTILITIES.
5. 1" CONCRETE SANITARY MANHOLE SHALL BE 18" DIA. WITH 18" COARSE SCHEDULE 40 STEEL DETAIL ON DETAIL SHEET 48" OF COVER WITH PROVIDE 18" SPACING BETWEEN WATER MAIN AND OTHER UTILITIES.
6. 18" DIA. SANITARY MANHOLE SHALL BE 18" DIA. WITH 18" COARSE SCHEDULE 40 STEEL DETAIL ON DETAIL SHEET 48" OF COVER WITH PROVIDE 18" SPACING BETWEEN WATER MAIN AND OTHER UTILITIES.

STORM SEWER NOTES (S):

1. CONNECT TO EXISTING STORM SEWER (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 18" DIA. WITH 18" COARSE SCHEDULE 40 STEEL DETAIL ON DETAIL SHEET 48" OF COVER WITH PROVIDE 18" SPACING BETWEEN WATER MAIN AND OTHER UTILITIES.
2. CONNECT TO EXISTING STORM SEWER (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 18" DIA. WITH 18" COARSE SCHEDULE 40 STEEL DETAIL ON DETAIL SHEET 48" OF COVER WITH PROVIDE 18" SPACING BETWEEN WATER MAIN AND OTHER UTILITIES.
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BY	DATE



REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO. 6107
 SHEET 15 OF 39
 DATE 10/21/2022
 UTILITY PLAN VIEW 1

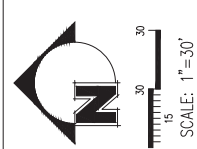


CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

BY	DATE
KEB	3/8/22

REVISIONS
REVISED UTILITY NOTES 2 AND ADDED DISANCE NOTE 2A

6107
SHEET
16 of 39
10/21/2022
UTILITY PLAN
VIEW 2

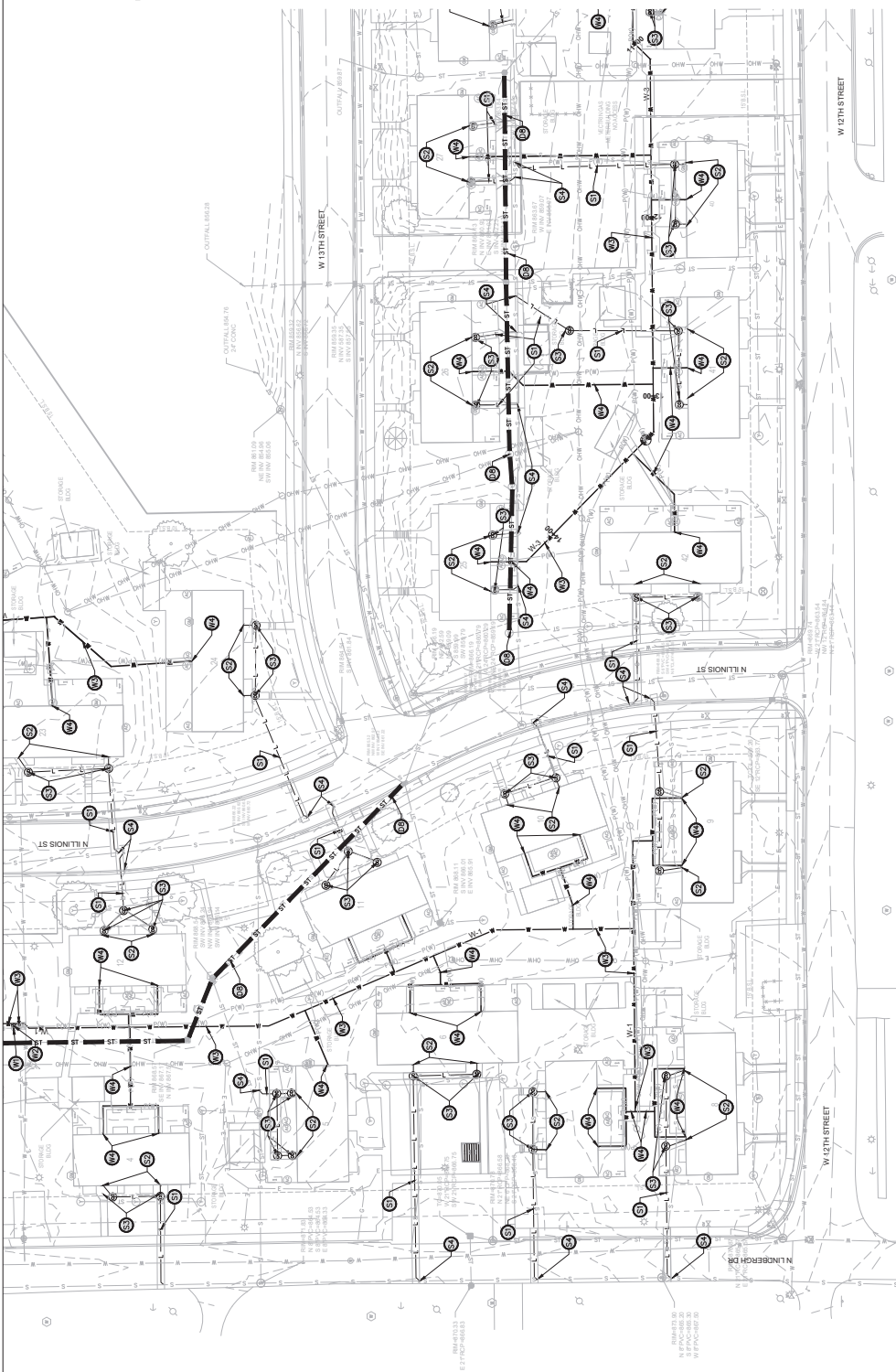


UTILITY KEY NOTES

- WATER LINE NOTES (M)**
- CONNECT TO EXISTING WATER MAIN OR REQUIREMENTS. CONTRACTOR TO RECONSTRUCT EXISTING MAIN TO 12" DIA. 150 PSI WPC STAINLESS STEEL. PROVIDE 12" DIA. 150 PSI WPC STAINLESS STEEL MAIN. PROVIDE THE CONNECTION WITH THE NEW INSPECTION MANHOLE LOCATED TO THE SIDE.
 - 4" DIA. 150 PSI WPC STAINLESS STEEL MAIN WITH LOCATE WIRE. MANHOLE PER LOCAL DETAIL. USE EXISTING ON EXISTING SHEET "M" OF CONCRETE. PROVIDE 1/2" BRASS BRACKET BETWEEN WATER MAIN AND DISTRIBUTION LINES.
 - 2" DIA. 150 PSI WPC STAINLESS STEEL MAIN WITH LOCATE WIRE. MANHOLE PER LOCAL DETAIL. USE EXISTING ON EXISTING SHEET "M" OF CONCRETE. PROVIDE 1/2" BRASS BRACKET BETWEEN WATER MAIN AND DISTRIBUTION LINES.
 - DETAILS USE DETAIL ON SHEET "M" OF CONCRETE. CONTRACTOR TO VERIFY SERVICE LINE TO EACH HOUSEHOLD WITH THE MAIN.
 - MANHOLE SHALL BE 18" DIA. 150 PSI WPC STAINLESS STEEL MANHOLE PER LOCAL DETAIL ON SHEET "M" OF CONCRETE.
 - PROVIDE 12" DIA. 150 PSI WPC STAINLESS STEEL MAIN.
- SEWER LINE NOTES (S)**
- CONNECT TO EXISTING SEWER MAIN OR REQUIREMENTS. CONTRACTOR TO RECONSTRUCT EXISTING MAIN TO 12" DIA. 150 PSI WPC STAINLESS STEEL. PROVIDE 12" DIA. 150 PSI WPC STAINLESS STEEL MAIN. PROVIDE THE CONNECTION WITH THE NEW INSPECTION MANHOLE LOCATED TO THE SIDE.
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- STORM LINE NOTES (ST)**
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 - PROVIDE 12" DIA. 150 PSI WPC STAINLESS STEEL MAIN.

UTILITY LEGEND

- FIRE HYDRANT SINGLE
- WATER METER PIT
- WATER VALVE
- WATER AIR RELEASE VALVE
- STORM SEWER MANHOLE
- STORM WARD INLET
- STORM SEWER INS SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT
- WATER LINE
- SEWER LINE
- UNDERGROUND ELECTRIC
- STORM SEWER



UTILITY NOTES

- ALL UTILITY LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES.
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CIVIL ENGINEERING, LAND SURVEYING
 1712 E. HOVINGBACH BL. SUITE 300, BLOOMINGTON, IN 47408
 TEL: 317.386.8588 FAX: 317.386.8589

PE #100007
 STATE OF INDIANA
 Robert J. Stan

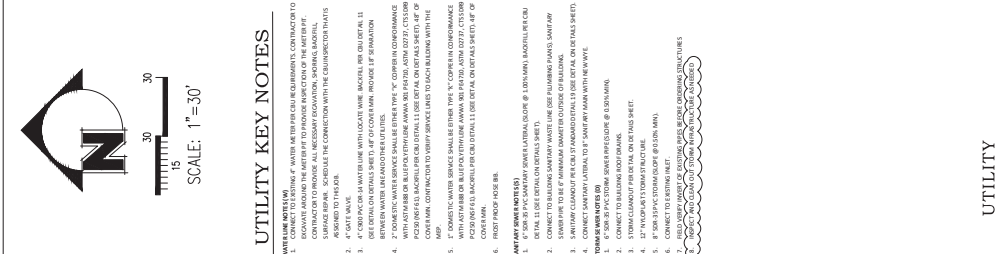
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CRESTMONT COMMUNITY
 Section 32, T-9-N, R-1-W
 BLOOMINGTON, INDIANA

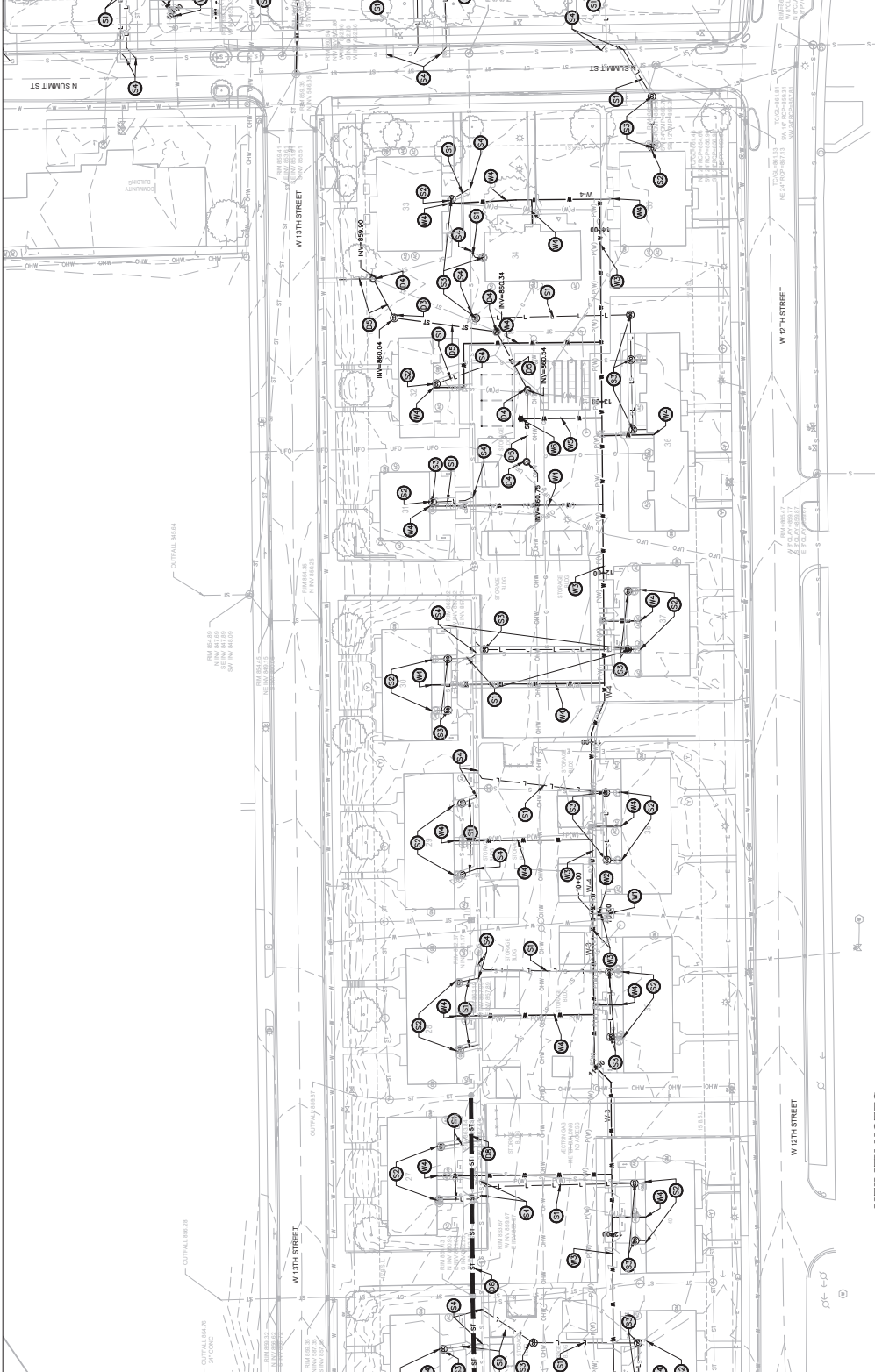
BY	DATE
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REVISED	UTILITY NOTES 3 AND ADDED DRAINAGE NOTES DR.
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JOB NUMBER
6107
 SHEET
17 OF 39
 DATE
10/21/2022
 UTILITY PLAN
 VIEW 3



- UTILITY LEGEND**
- FIRE HYDRANT SINGLE
 - WATER MAIN TIE
 - FIRE DEPARTMENT CONNECTION
 - WATER VALVE
 - WATER AIR RELEASE VALVE
 - STORM SEWER MANHOLE
 - STORM SEWER INLET
 - STORM SEWER END SECTION
 - STORM SEWER MANHOLE
 - STORM SEWER TIE
 - FIRE LINE
 - SEWER LATERAL
 - UNDESIGNED ELECTRIC
 - STORM SEWER
 - ST



UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ALL UTILITIES EXISTING AT THE SITE BEFORE CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR USING THE CITY OF BLOOMINGTON'S "UNDERGROUND UTILITIES" MAP AND BY VISUAL INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) PRIOR TO CONSTRUCTION.

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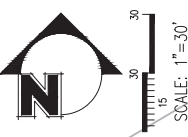
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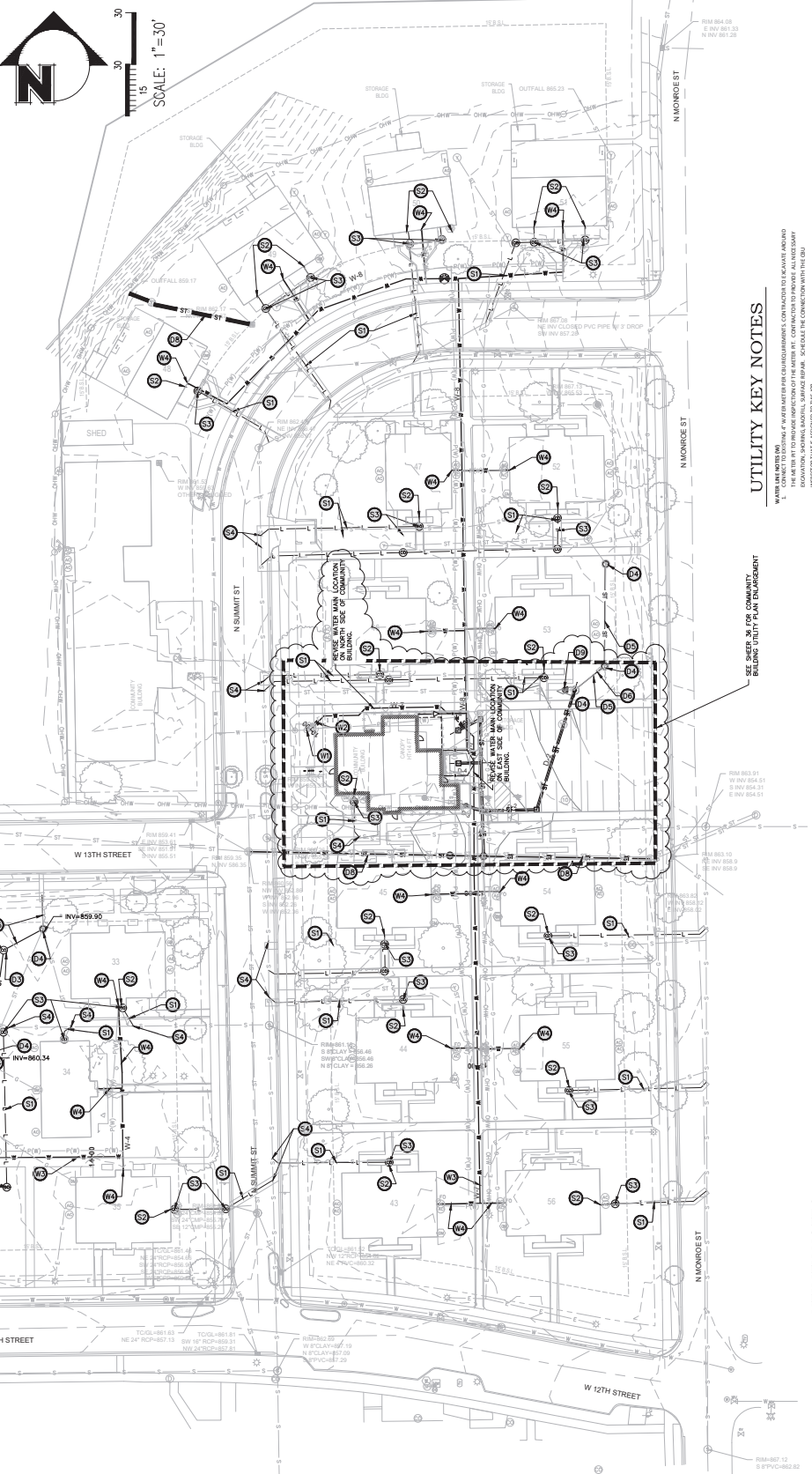
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) PRIOR TO CONSTRUCTION.



BY	DATE
KES	12/15/21
KES	3/8/22
DK	3/13/22

REVISIONS

NO.	DESCRIPTION
1	ADD NOTES FOR PROPOSED STORM STR.
2	REVISED UTILTY LINES AND NOTES.
3	REVISED WATERMAIN LOCATION ON NORTH AND EAST SIDE OF COMM. BLDG.

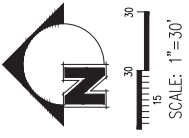


UTILITY KEY NOTES

- WATER MAIN NOTES (MW):
1. CONTRACTOR SHALL VERIFY THE EXISTING WATERMAIN DEPTH AND LOCATION BY EXCAVATION AND/OR SONAR PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE ALL NECESSARY EVIDENCE, SHOWING MATERIAL SURFACE ELEVATION. SCHEDULE THE CONNECTION WITH THE CDM.
 2. EXCAVATION SHALL BE TO THE SURFACE.
 3. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
 4. BUCKLE SHALL BE CONNECTED TO EXISTING WATER MAIN BY MEANS OF AN OVERLAP OR BULB CONNECTION. MINIMUM OVERLAP SHALL BE 4'0". CONTRACTOR TO VERIFY SPACING LINES TO EXISTING WATER MAIN.
 5. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
 6. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
 7. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
- SANITARY SEWER NOTES (SS):
1. CONTRACTOR SHALL VERIFY THE EXISTING SANITARY SEWER LOCATION, DEPTH & DIA. WITH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
 2. CONNECT TO EXISTING SANITARY SEWER LATERAL (USE EXISTING MANHOLE). SANITARY SEWER LINE TO BE 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
 3. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
 4. BUCKLE SHALL BE CONNECTED TO EXISTING SANITARY SEWER LATERAL BY MEANS OF AN OVERLAP OR BULB CONNECTION. MINIMUM OVERLAP SHALL BE 4'0". CONTRACTOR TO VERIFY SPACING LINES TO EXISTING SANITARY SEWER LATERAL. USE SANITARY SEWER MANHOLE.
- STORM SEWER NOTES (SS):
1. CONTRACTOR SHALL VERIFY THE EXISTING STORM SEWER LOCATION, DEPTH & DIA. WITH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
 2. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
 3. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
 4. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
 5. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING.
- OTHER NOTES:
1. ALL CONDUITS SHALL HAVE THE PHRASE 'CONDUIT' AND BEVER LATERALS WHEREVER POSSIBLE.
 2. CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY EXCAVATION AND/OR SONAR PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE ALL NECESSARY EVIDENCE, SHOWING MATERIAL SURFACE ELEVATION. SCHEDULE THE CONNECTION WITH THE CDM.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATIONS AND DEPTHS BY EXCAVATION AND/OR SONAR PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE ALL NECESSARY EVIDENCE, SHOWING MATERIAL SURFACE ELEVATION. SCHEDULE THE CONNECTION WITH THE CDM.
2. EXCAVATION SHALL BE TO THE SURFACE.
3. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
4. BUCKLE SHALL BE CONNECTED TO EXISTING WATER MAIN BY MEANS OF AN OVERLAP OR BULB CONNECTION. MINIMUM OVERLAP SHALL BE 4'0". CONTRACTOR TO VERIFY SPACING LINES TO EXISTING WATER MAIN.
5. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
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10. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
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13. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
14. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
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16. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
17. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
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20. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
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22. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
23. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
24. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
25. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
26. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
27. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
28. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
29. 4" C900 PVC 14 WATER LINE WITH 10'0" WIRE MESH BUCKLE PER CEN 111.1 USE 0.5% ON 12" ON 12" SPACING. 4" OF COVER. PROVIDE 1" SPAN RIGID WATER MAINLINE AND OTHER UTILITIES.
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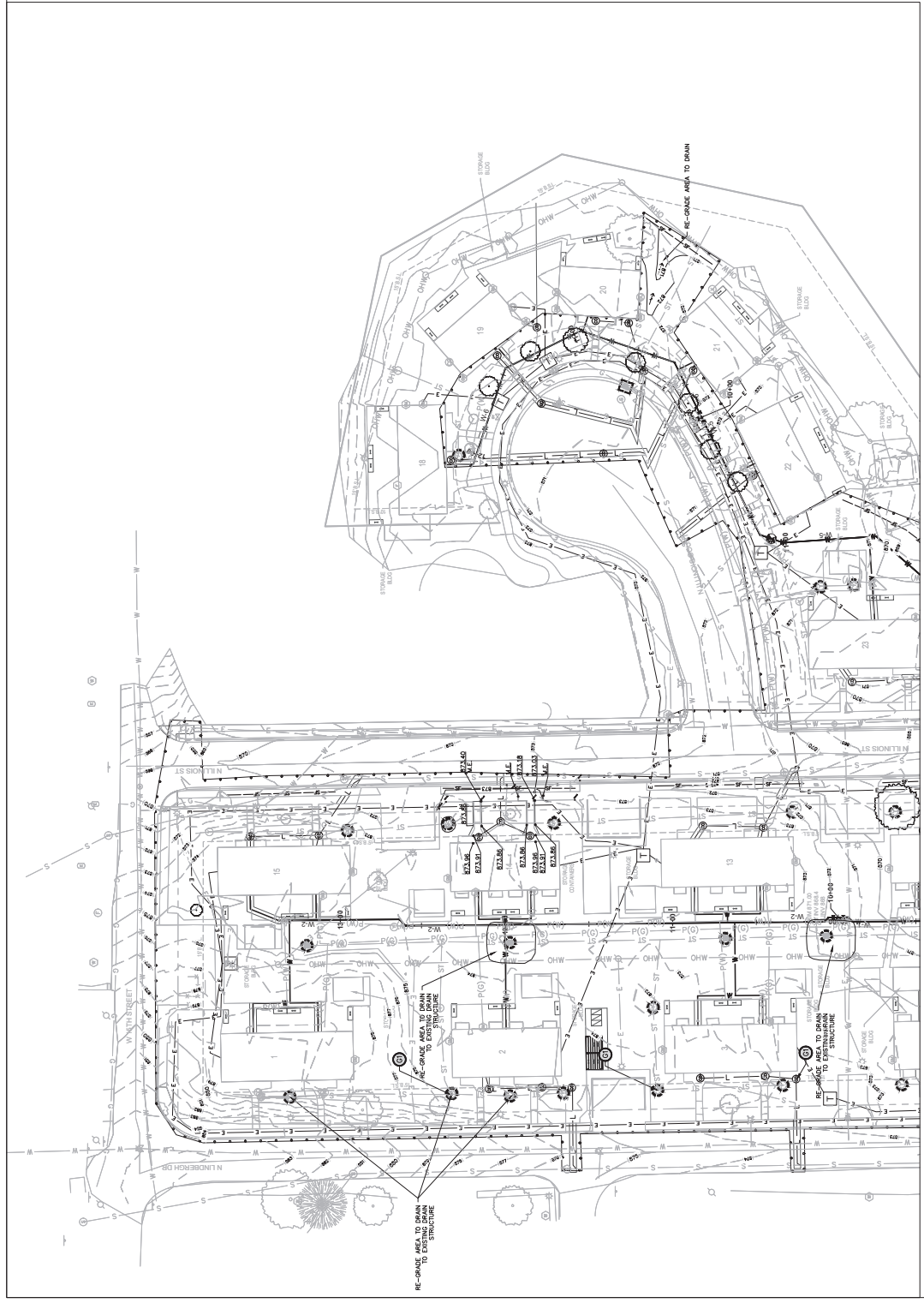
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BLOOMINGTON, INDIANA
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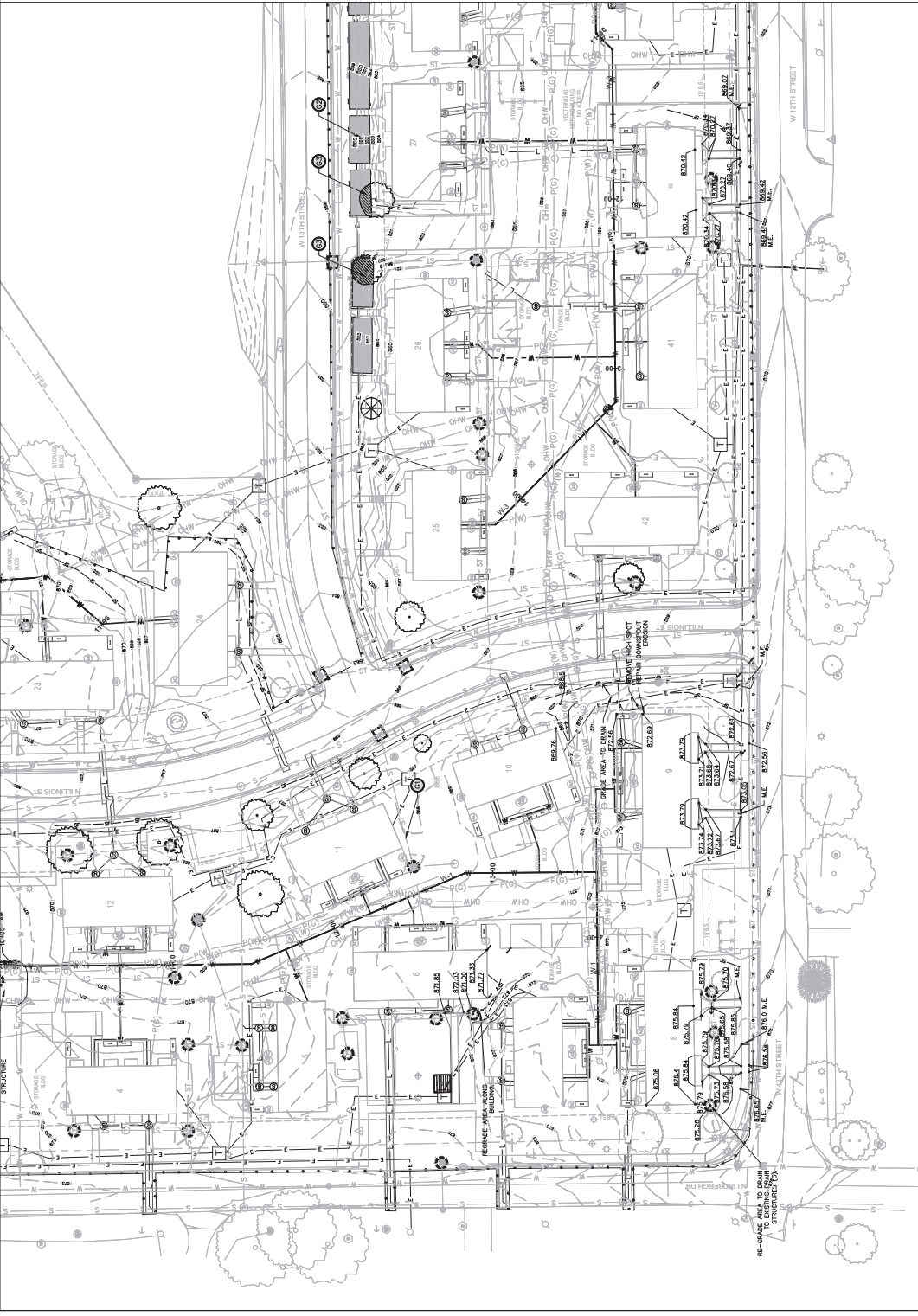
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SWPPP PLAN VIEW 1



EROSION CONTROL LEGEND

- TEMPORARY SILT FENCE
- PREVENT FLOW FROM ENTERING EXISTING PAVED CONSTRUCTION
- TEMPORARY CURB & PAVED AREA
- TEMPORARY CONCRETE WASHOUT
- PERMANENT ENERGY DISSIPATION (OUTLET PROTECTION)
- TEMPORARY ROCK CHECK DAM
- TEMPORARY CONCRETE WASHOUT
- PERMANENT ENERGY DISSIPATION (OUTLET PROTECTION)
- TEMPORARY GRIP INLET PROTECTION
- EROSION PITH
- EROSION CONTROL BLANKET
- CONSTRUCTION LIMITS

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EROSION CONTROL LEGEND

- TEMPORARY SILT FENCE
- PREVENT FLOW FROM ENTERING STORM DRAIN DURING CONSTRUCTION
- TEMPORARY CURB & PAVED AREA INLET PROTECTION
- TEMPORARY CONCRETE WASHOUT
- TEMPORARY ROCK CHECK DAM
- TEMPORARY CONCRETE WASHOUT
- TEMPORARY CONCRETE WASHOUT
- TEMPORARY ENERGY DISSIPATOR (OUTLET PROTECTION)
- TEMPORARY DROP INLET PROTECTION
- DIVERSION DITCH
- EROSION CONTROL BLANKET
- CONSTRUCTION LIMITS



02/11/2022

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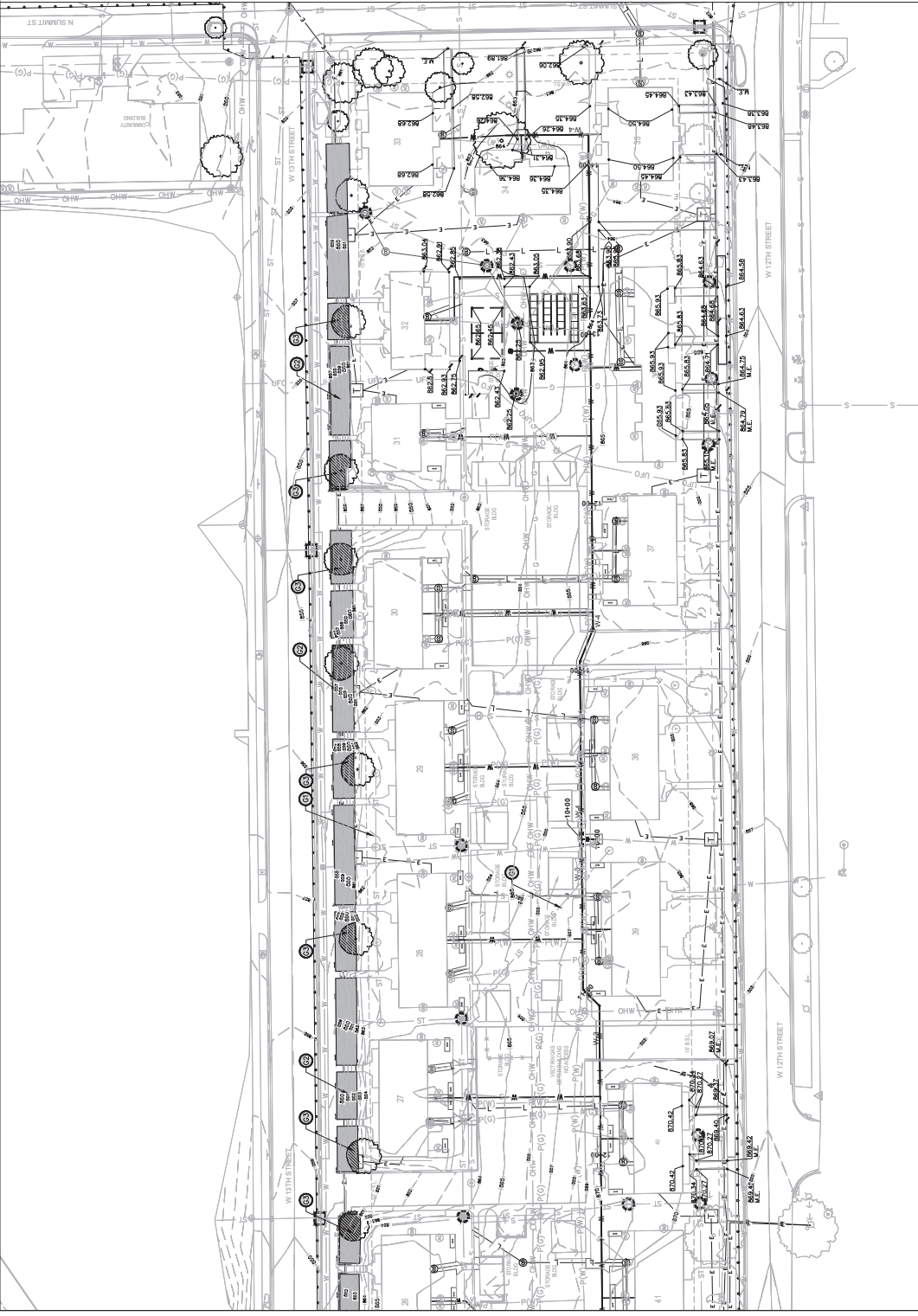
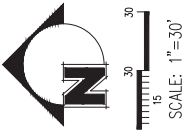
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SWPPP PLAN VIEW 2

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EROSION CONTROL LEGEND

	TEMPORARY SILT FENCE		PRESENT FLOW FROM EXISTING STORM DRAIN DURING CONSTRUCTION
	TEMPORARY ROCK CHECK DAM		TEMPORARY CURB & PAVED AREA INLET PROTECTION
	TEMPORARY CONCRETE INLET PROTECTION		TEMPORARY DROP INLET PROTECTION
	TEMPORARY ENERGY DISSIPATER (OUTLET PROTECTION)		DIVERSION DITCH
	EROSION CONTROL BLANKET		CONSTRUCTION LIMITS

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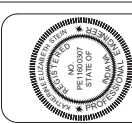
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 SWPPP PLAN VIEW 3



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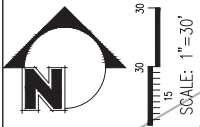
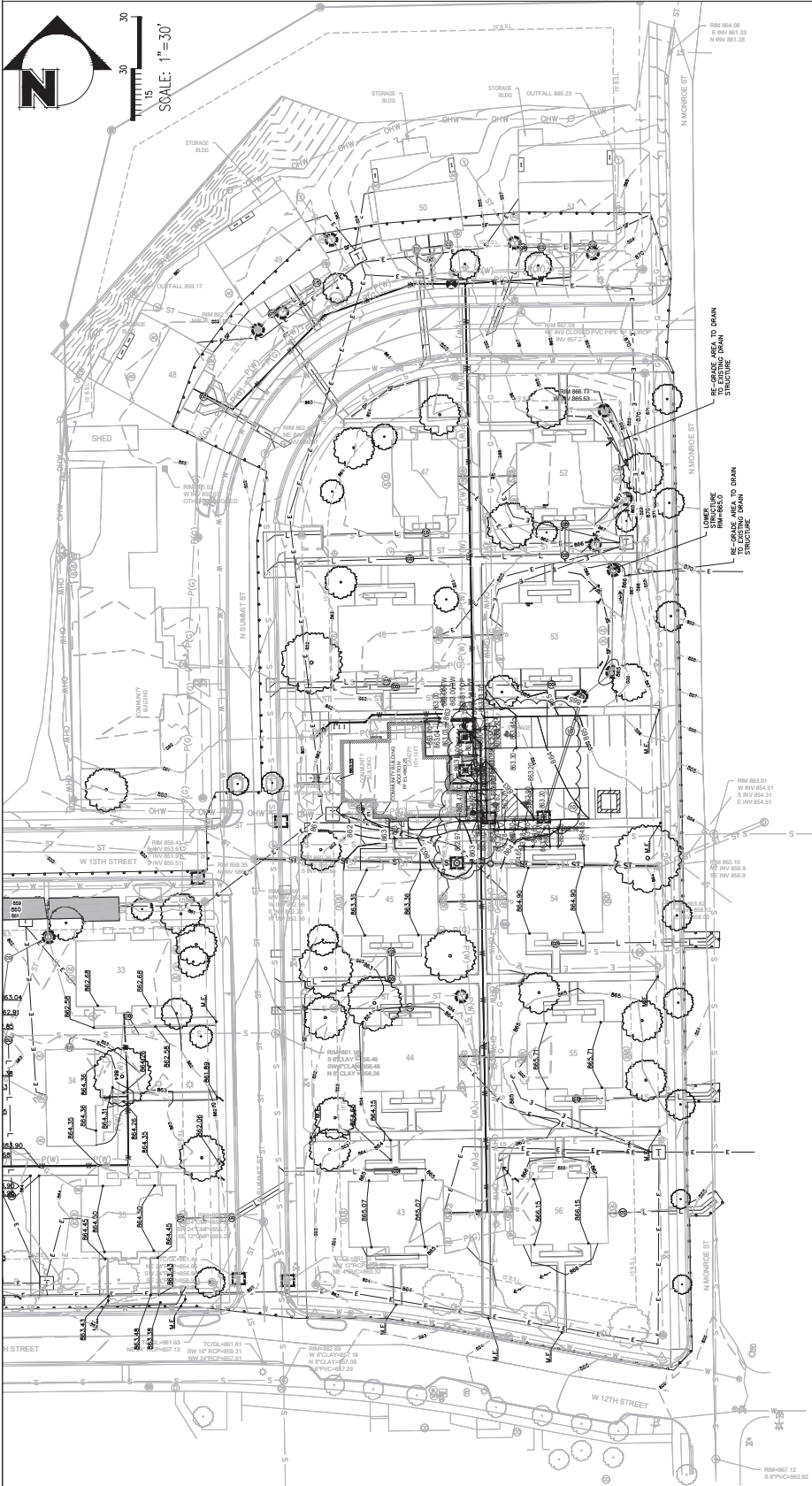
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SCALE	AS SHOWN

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SWPPP PLAN VIEW 4



EROSION CONTROL LEGEND

- TEMPORARY SILT FENCE
- TEMPORARY ROCK LOG SILE
- TEMPORARY CONCRETE WASHOUT
- PERMANENT ENERGY OUTLET PROTECTION
- PRESENT FLOW FROM ENTERING STORM DRAIN DURING CONSTRUCTION
- TEMPORARY CURB & PAVED AREA INLET PROTECTION
- TEMPORARY DROP INLET PROTECTION
- DIVERSION DITCH
- EROSION CONTROL BLANKET
- CONSTRUCTION LIMITS

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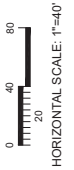
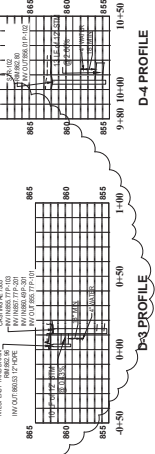
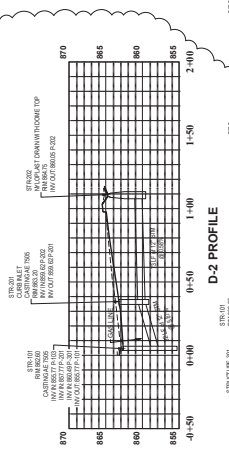
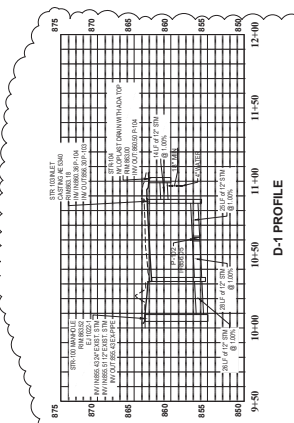
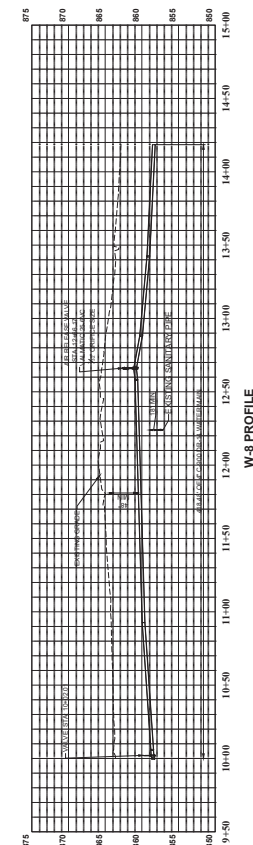
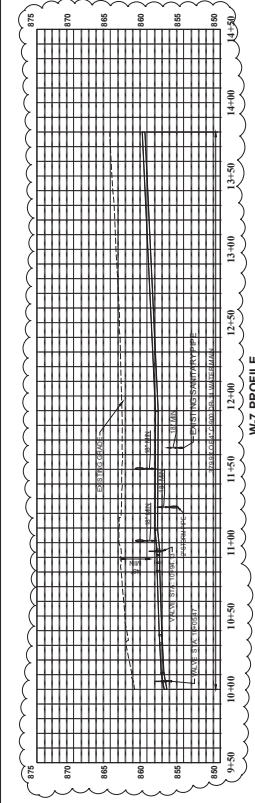
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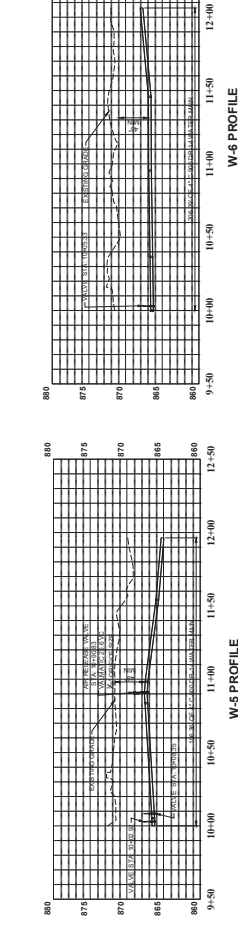
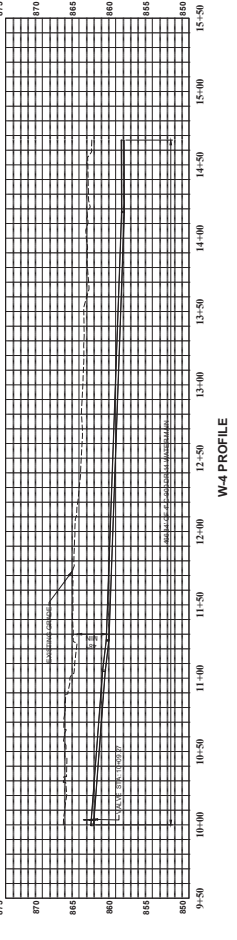
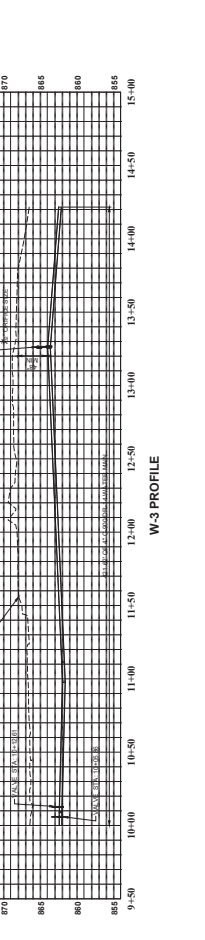
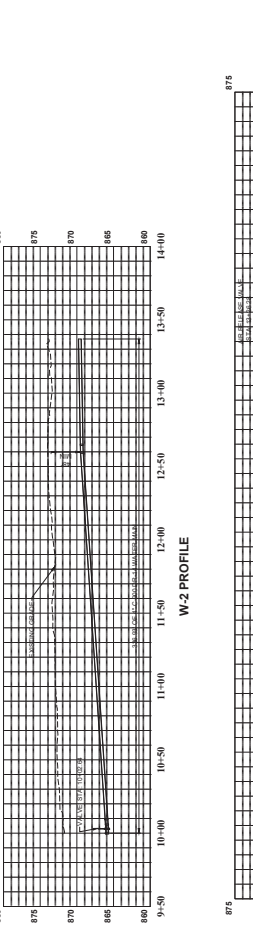
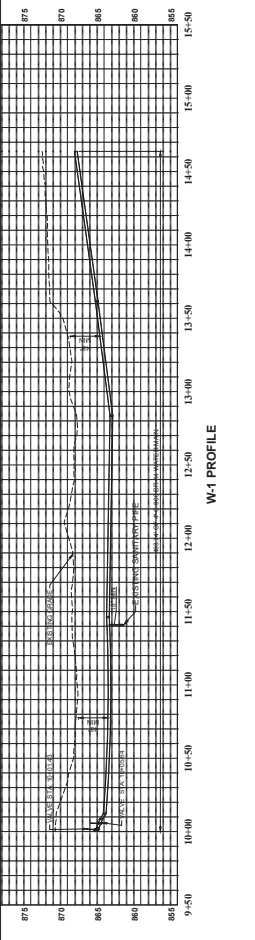
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WATER AND STORM PROFILES



VERTICAL SCALE: 1"=8'

NOTES:
1. ALL WATER MAINS TO BE FULLY RESTRAINED.





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RAISED PERPENDICULAR CURB BAMP AT LAKE NOBIS

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RAISED PERPENDICULAR CURB BAMP AT LAKE NOBIS

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SECTION 32, T-9-N, R-1-W

RAISED PERPENDICULAR CURB BAMP AT LAKE NOBIS

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CRESTMONT COMMUNITY
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RAISED PERPENDICULAR CURB BAMP AT LAKE NOBIS

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CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
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SECTION 32, T-9-N, R-1-W

RAISED PERPENDICULAR CURB BAMP AT LAKE NOBIS

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SECTION 32, T-9-N, R-1-W

RAISED PERPENDICULAR CURB BAMP AT LAKE NOBIS

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CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
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CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
SECTION 32, T-9-N, R-1-W



CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

NO.	DATE	BY	DATE

DESIGNED BY
CHECKED BY
DWG NO.
DATE
SCALE

DATE
SHEET
28 of 39
10/21/2022
MISCELLANEOUS
DETAILS 2

NOTES:

1. All materials, methods, and work shall be in accordance with the latest edition of the Indiana Department of Transportation (INDOT) Standard Specifications for Road and Bridge Construction.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor shall be responsible for maintaining traffic control and safety during construction.
4. The contractor shall be responsible for protecting existing utilities and structures.
5. The contractor shall be responsible for maintaining the quality and appearance of the finished work.
6. The contractor shall be responsible for cleaning up the work area after completion.
7. The contractor shall be responsible for providing adequate drainage for the finished work.
8. The contractor shall be responsible for providing adequate lighting for the finished work.
9. The contractor shall be responsible for providing adequate ventilation for the finished work.
10. The contractor shall be responsible for providing adequate fire protection for the finished work.

LEGEND:

- 1. 1/2" x 1/2" x 1/2" Concrete
- 2. 1/2" x 1/2" x 1/2" Concrete
- 3. 1/2" x 1/2" x 1/2" Concrete
- 4. 1/2" x 1/2" x 1/2" Concrete
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INDIAN DEPARTMENT OF TRANSPORTATION
PACEMAN AND COMPANION
SEPTEMBER 2018
STANDARD DRAWING NO. E-604-SWKS-12

APPROVED FOR THE CITY OF BLOOMINGTON
DATE: 02/11/2022

NOTE:

1. DETECTABLE WARNING ELEMENTS ARE ONLY REQUIRED AT STREET INTERSECTIONS.
2. DETECTABLE WARNING ELEMENTS MUST BE FROM THE CITY OF BLOOMINGTON APPROVED MATERIALS LIST.

APPROVED MATERIAL LIST
Detectable Warning Surfaces
August 12, 2018

Manufacturer	Product	Notes
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete
TRC	TRC-1000	1/2" x 1/2" x 1/2" Concrete

City of Bloomington
Planning and Transportation Department
Engineering Division

STOP SIGN AND STREET SIGN DETAIL
NO SCALE

STOP SIGN DETAIL:

- 1. SIGN SHALL BE 18" x 18" SQUARE.
- 2. SIGN SHALL BE MOUNTED ON A 2" x 4" POST.
- 3. SIGN SHALL BE MOUNTED ON A 4" x 4" POST.
- 4. SIGN SHALL BE MOUNTED ON A 6" x 6" POST.
- 5. SIGN SHALL BE MOUNTED ON A 8" x 8" POST.
- 6. SIGN SHALL BE MOUNTED ON A 10" x 10" POST.
- 7. SIGN SHALL BE MOUNTED ON A 12" x 12" POST.
- 8. SIGN SHALL BE MOUNTED ON A 14" x 14" POST.
- 9. SIGN SHALL BE MOUNTED ON A 16" x 16" POST.
- 10. SIGN SHALL BE MOUNTED ON A 18" x 18" POST.

STREET SIGN DETAIL:

- 1. SIGN SHALL BE 18" x 18" SQUARE.
- 2. SIGN SHALL BE MOUNTED ON A 2" x 4" POST.
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- 8. SIGN SHALL BE MOUNTED ON A 14" x 14" POST.
- 9. SIGN SHALL BE MOUNTED ON A 16" x 16" POST.
- 10. SIGN SHALL BE MOUNTED ON A 18" x 18" POST.

CONCRETE SIDEWALK & JOINT DETAIL
NO SCALE

CONCRETE SIDEWALK DETAIL:

- 1. SIDEWALK SHALL BE 4" THICK CONCRETE.
- 2. SIDEWALK SHALL BE FINISHED WITH A BROOM FINISH.
- 3. SIDEWALK SHALL BE FINISHED WITH A POLISHED FINISH.
- 4. SIDEWALK SHALL BE FINISHED WITH A GLOSS FINISH.
- 5. SIDEWALK SHALL BE FINISHED WITH A MATTE FINISH.
- 6. SIDEWALK SHALL BE FINISHED WITH A SMOOTH FINISH.
- 7. SIDEWALK SHALL BE FINISHED WITH A TEXTURED FINISH.
- 8. SIDEWALK SHALL BE FINISHED WITH A COARSE FINISH.
- 9. SIDEWALK SHALL BE FINISHED WITH A FINE FINISH.
- 10. SIDEWALK SHALL BE FINISHED WITH A MEDIUM FINISH.

TYPICAL CONTROL JOINT DETAIL:

- 1. CONTROL JOINT SHALL BE 1/2" WIDE.
- 2. CONTROL JOINT SHALL BE 1/2" DEEP.
- 3. CONTROL JOINT SHALL BE 1/2" HIGH.
- 4. CONTROL JOINT SHALL BE 1/2" LONG.
- 5. CONTROL JOINT SHALL BE 1/2" THICK.
- 6. CONTROL JOINT SHALL BE 1/2" TALL.
- 7. CONTROL JOINT SHALL BE 1/2" WIDE.
- 8. CONTROL JOINT SHALL BE 1/2" DEEP.
- 9. CONTROL JOINT SHALL BE 1/2" HIGH.
- 10. CONTROL JOINT SHALL BE 1/2" LONG.

NOTES:

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
2. The contractor shall be responsible for maintaining traffic control and safety during construction.
3. The contractor shall be responsible for protecting existing utilities and structures.
4. The contractor shall be responsible for maintaining the quality and appearance of the finished work.
5. The contractor shall be responsible for cleaning up the work area after completion.
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LEGEND:

- 1. 1/2" x 1/2" x 1/2" Concrete
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INDIAN DEPARTMENT OF TRANSPORTATION
PACEMAN AND COMPANION
SEPTEMBER 2018
STANDARD DRAWING NO. E-604-SWKS-14

APPROVED FOR THE CITY OF BLOOMINGTON
DATE: 02/11/2022

NOTE:

1. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL WIDTH OF THE PAVEMENT.
2. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL DEPTH OF THE PAVEMENT.
3. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL LENGTH OF THE PAVEMENT.
4. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL THICKNESS OF THE PAVEMENT.
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6. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL WEIGHT OF THE PAVEMENT.
7. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL VOLUME OF THE PAVEMENT.
8. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL AREA OF THE PAVEMENT.
9. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL PERIMETER OF THE PAVEMENT.
10. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL SURFACE OF THE PAVEMENT.

LEGEND:

- 1. 1/2" x 1/2" x 1/2" Concrete
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INDIAN DEPARTMENT OF TRANSPORTATION
PACEMAN AND COMPANION
SEPTEMBER 2018
STANDARD DRAWING NO. E-604-SWKS-14

APPROVED FOR THE CITY OF BLOOMINGTON
DATE: 02/11/2022

STOP SIGN AND STREET SIGN DETAIL
NO SCALE

STOP SIGN DETAIL:

- 1. SIGN SHALL BE 18" x 18" SQUARE.
- 2. SIGN SHALL BE MOUNTED ON A 2" x 4" POST.
- 3. SIGN SHALL BE MOUNTED ON A 4" x 4" POST.
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CONCRETE SIDEWALK & JOINT DETAIL
NO SCALE

CONCRETE SIDEWALK DETAIL:

- 1. SIDEWALK SHALL BE 4" THICK CONCRETE.
- 2. SIDEWALK SHALL BE FINISHED WITH A BROOM FINISH.
- 3. SIDEWALK SHALL BE FINISHED WITH A POLISHED FINISH.
- 4. SIDEWALK SHALL BE FINISHED WITH A GLOSS FINISH.
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TYPICAL CONTROL JOINT DETAIL:

- 1. CONTROL JOINT SHALL BE 1/2" WIDE.
- 2. CONTROL JOINT SHALL BE 1/2" DEEP.
- 3. CONTROL JOINT SHALL BE 1/2" HIGH.
- 4. CONTROL JOINT SHALL BE 1/2" LONG.
- 5. CONTROL JOINT SHALL BE 1/2" THICK.
- 6. CONTROL JOINT SHALL BE 1/2" TALL.
- 7. CONTROL JOINT SHALL BE 1/2" WIDE.
- 8. CONTROL JOINT SHALL BE 1/2" DEEP.
- 9. CONTROL JOINT SHALL BE 1/2" HIGH.
- 10. CONTROL JOINT SHALL BE 1/2" LONG.

NOTES:

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
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LEGEND:

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INDIAN DEPARTMENT OF TRANSPORTATION
PACEMAN AND COMPANION
SEPTEMBER 2018
STANDARD DRAWING NO. E-604-SWKS-15

APPROVED FOR THE CITY OF BLOOMINGTON
DATE: 02/11/2022

NOTE:

1. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL WIDTH OF THE PAVEMENT.
2. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL DEPTH OF THE PAVEMENT.
3. DETECTABLE WARNING SURFACE SHALL BE EXTENDED TO THE FULL LENGTH OF THE PAVEMENT.
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INDIAN DEPARTMENT OF TRANSPORTATION
PACEMAN AND COMPANION
SEPTEMBER 2018
STANDARD DRAWING NO. E-604-SWKS-15

APPROVED FOR THE CITY OF BLOOMINGTON
DATE: 02/11/2022

STOP SIGN AND STREET SIGN DETAIL
NO SCALE

STOP SIGN DETAIL:

- 1. SIGN SHALL BE 18" x 18" SQUARE.
- 2. SIGN SHALL BE MOUNTED ON A 2" x 4" POST.
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STREET SIGN DETAIL:

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CONCRETE SIDEWALK & JOINT DETAIL
NO SCALE

CONCRETE SIDEWALK DETAIL:

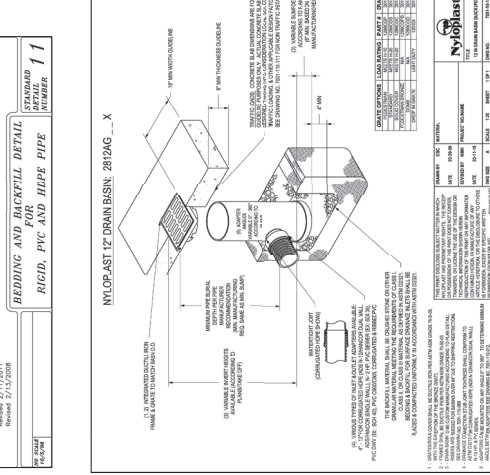
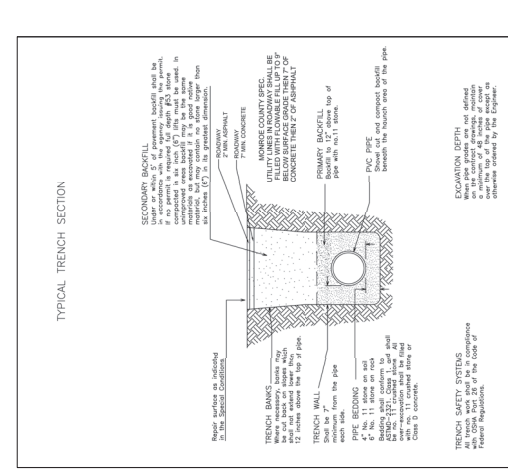
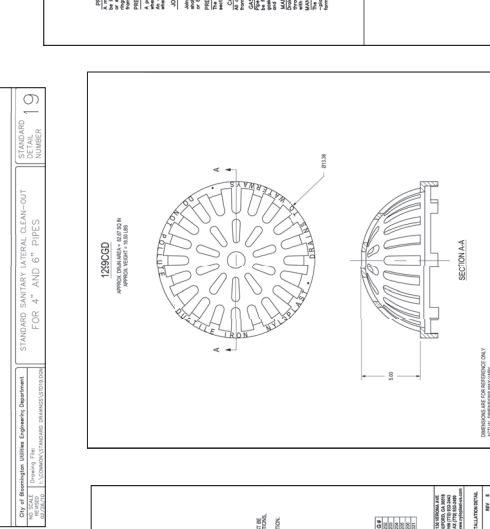
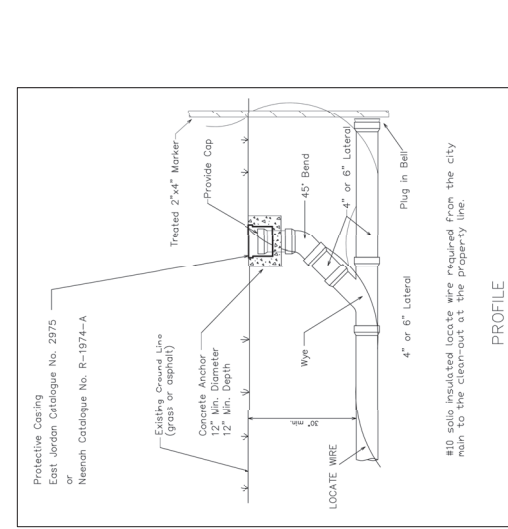
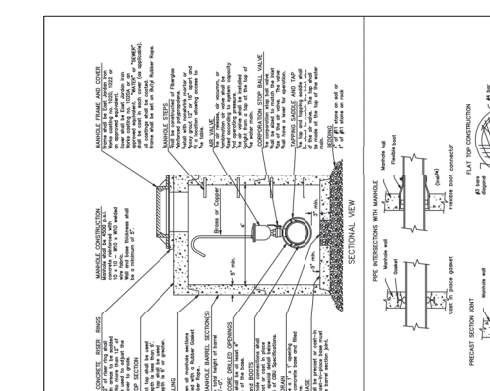
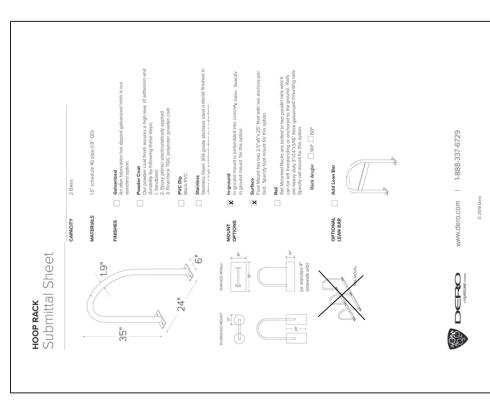
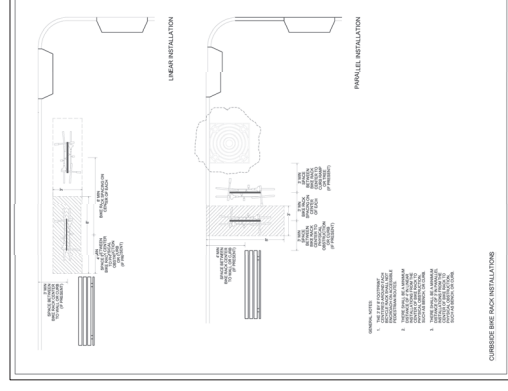
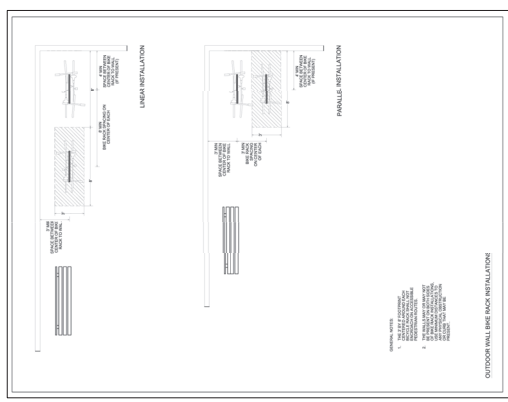
- 1. SIDEWALK SHALL BE 4" THICK CONCRETE.
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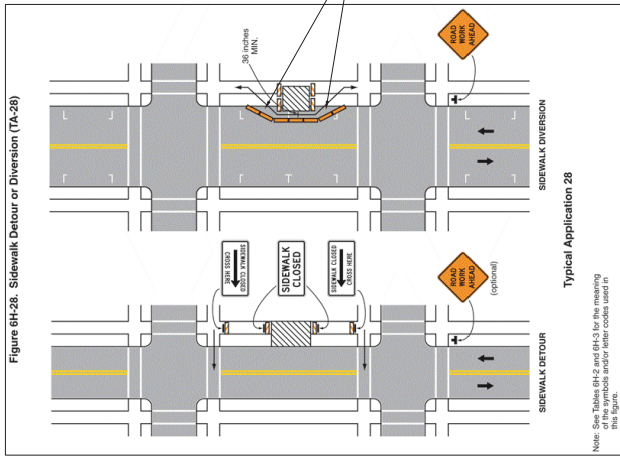
TYPICAL CONTROL JOINT DETAIL:

- 1. CONTROL JOINT SHALL BE 1/2" WIDE.
- 2. CONTROL JOINT SHALL BE 1/2" DEEP.
- 3. CONTROL JOINT SHALL BE 1/2" HIGH.
- 4. CONTROL JOINT SHALL BE 1/2" LONG.
- 5. CONTROL JOINT SHALL BE 1/2" THICK.
- 6. CONTROL JOINT SHALL BE 1/2" TALL.
- 7. CONTROL JOINT SHALL BE 1/2" WIDE.
- 8. CONTROL JOINT SHALL BE 1/2" DEEP.
- 9. CONTROL JOINT SHALL BE 1/2" HIGH.
- 10. CONTROL JOINT SHALL BE 1/2" LONG.

NO.	DATE	BY	DATE

DESIGNED	
CHECKED	
DATE	





Typical Application 2b

Note: See Tables 6H-2 and 6H-3 for the meaning of the symbols and/or letter codes used in this figure.

SIDEWALK CLOSURE AND WALK-AROUND DETAIL

MAINTENANCE OF TRAFFIC NOTES

- TRAFFIC SIGNS SHALL BE MAINTAINED AT ALL TIMES WHILE WORK IS BEING PERFORMED.
- AT LEAST ONE LANE OF TRAFFIC ON CITY HIGHWAYS MUST REMAIN OPEN AT ALL TIMES.
- FLAGGERS MUST BE PRESENT AT ALL TIMES WHILE WORK IS BEING PERFORMED ON HIGHWAYS. FLAGGERS SHALL BE TRAINED AND CERTIFIED BY THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) AND SHALL BE TRAINED TO ALLOW THE SAFE & EFFICIENT FLOW OF TRAFFIC THROUGH THE WORK ZONE. FLAGGERS SHALL BE PLACED 300 FEET IN ADVANCE OF ANY WORK ZONE, IN EITHER DIRECTION OF TRAFFIC.
- STREET CLOSURES SHALL BE LIMITED TO ONE HOUR PER DAY AND SHALL BE LIMITED TO WORK CLOSURES WITH LOCAL RESIDENTS TO THE AREA AHEAD OF HOW TO BE AFFECTED.
- TELEPHONE VEHICLES ACCESS THROUGH THE CONSTRUCTION AREA IF NECESSARY FOR EMERGENCY SERVICES SHALL BE MAINTAINED THROUGHOUT THE WORKDAY PERIOD.
- PEDESTRIAN DETOUR MUST BE PROVIDED DURING EACH CLOSURE. THE DETOUR SHALL BE AN INDOT COMPLIANT DETOUR.

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2011 LIMITED

Note for Figure 6H-10 Typical Application 10
Lane Closure on a Two-Lane Road Using Flaggers*

Option:

- For low-volume situations with short work zones on straight roadways where the flagger is visible to road users, the flagger may be positioned to be visible to road users approaching from both directions. This may be used (see Chapter 6E).
- The ROAD WORK AHEAD and the END ROAD WORK sign may be used for short-duration work zones.
- Flashing warning lights and/or flag may be used to call attention to the advance warning signs.
- A PREPARED TO STOP sign may be added to the sign work.

Guidance:

- The buffer space should be extended so that the two-stop traffic lanes is placed before a horizontal curve or vertical curve to provide adequate sight distance for the flagger and a zone of stopped traffic.
- At night, flagger stations shall be illuminated, except in emergencies.

Standard:

Guidance:

- When using the PREPARED TO STOP sign should be located between the flagger sign and the ONCE AHEAD ROAD sign.
- When a grade crossing exists within or upstream of the transmission and it is anticipated that queues will occur, the transmission shall be extended upstream of the grade crossing.
- When a grade crossing equipped with active warning device exists within the activity area, provisions shall be made to ensure that the transmission is not obstructed.
- When a grade crossing exists within the activity area, drivers operating on the left-hand side of the normal center line should be provided with comparable warning devices as for drivers operating on the right-hand side.
- Early coordination with the railroad company or light rail transmission should occur before work starts.

Option:

- A flagger or a uniformed law enforcement officer may be used at the grade crossing to minimize the probability that vehicles are stopped within 15 feet of the grade crossing, measured from both sides of the outside rail.



02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

NO.	REVISIONS	BY	DATE

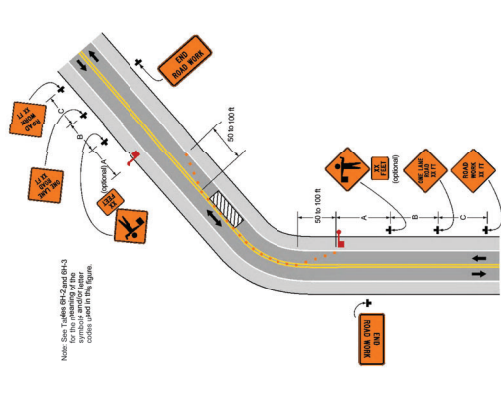
6107
SHEET

10/21/2022
30 OF 39

MAINTENANCE OF TRAFFIC

Page 663

Figure 6H-10. Lane Closure on a Two-Lane Road Using Flaggers (TA-10)



Typical Application 10

Nov. 2011

LANDSCAPE TABLES

STREET TREES PLANT TABLE

KEY	BOTANICAL NAME	COMMON NAME	SIZE
LT	TREES		
LT 10	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper
NS 10	NYSSA sylvatica	Black Tupelo	2" Caliper
TA 11	TILIA americana	Basewood	2" Caliper
OR 9	QUERCUS rubra	Northern Red Oak	2" Caliper

LANDSCAPE PLANT TABLE FOR PARKING LOT PERIMETER

KEY	BOTANICAL NAME	COMMON NAME	SIZE	D--VALUE
CF	TREES			
CF 1	CORNUS florida	Flowering Dogwood	2" Caliper	
LT 1	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper	
NS 1	NYSSA sylvatica	Black Tupelo	2" Caliper	
TA 1	TILIA americana	Basewood	2" Caliper	
OR 2	QUERCUS rubra	Northern Red Oak	2" Caliper	
SH	SHRUBS			
SH 18	CEPHALANTHUS occidentalis	Butterbush	3 Gallon	
SH 20	ILEX glabra	holberry	3 Gallon	
SH 29	POTENTILLA fruticosa	Shrubby Cinerogold	3 Gallon	
SH 34	YERBONUM acutifolium	Mophead Yarrow	3 Gallon	

LANDSCAPE PLANT TABLE FOR BUMPOUTS AND ISLANDS

KEY	BOTANICAL NAME	COMMON NAME	SIZE	D--VALUE
LT 1	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper	

INTERIOR LANDSCAPING PLANT TABLE

KEY	BOTANICAL NAME	COMMON NAME	SIZE
TR	TREES		
AC 6	AMELANCHIER canadensis	Shadbush/Sensiberry	2" Caliper
CE 6	CORNUS florida	Flowering Dogwood	2" Caliper
CF 7	CELANANDELE balfourii	Kentucky Coffee Tree	2" Caliper
LT 1	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper
NS 8	NYSSA sylvatica	Black Tupelo	2" Caliper
OR 7	QUERCUS rubra	Northern Red Oak	2" Caliper
SH 6	FINIS virginiana	White Pine	6" Hgt.
SH 6	FINIS virginiana	Virginia Pine	6" Hgt.
SH	SHRUBS		
SH 20	ILEX glabra	holberry	3 Gallon
SH 29	POTENTILLA fruticosa	Shrubby Cinerogold	3 Gallon
SH 34	YERBONUM acutifolium	Virginia Sweetflag	3 Gallon
SH 35	CEPHALANTHUS occidentalis	Butterbush	3 Gallon

LANDSCAPE NOTES

1. ALL UNLabeled trees and shrubs shall receive a minimum of 4" of root protection as shown on the approved plans.
2. ALL UNLabeled trees and shrubs shall receive a minimum of 4" of root protection as shown on the approved plans.
3. ALL UNLabeled trees and shrubs shall receive a minimum of 4" of root protection as shown on the approved plans.
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10. ALL UNLabeled trees and shrubs shall receive a minimum of 4" of root protection as shown on the approved plans.

GENERAL NOTES

1. SEE BIDDING GROUP FOR EXISTING SPECIFICATIONS FOR CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES AND TRANSPORTATION DOCUMENTS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR TRANSPORTATION DOCUMENTS.
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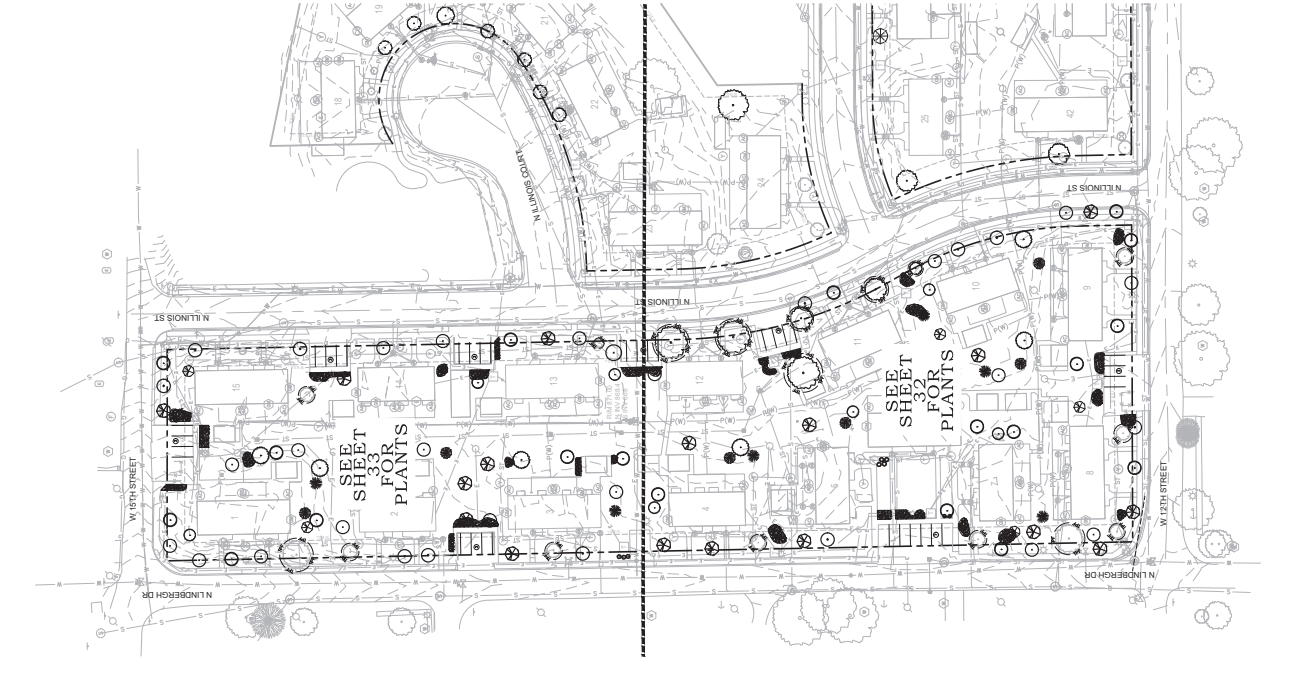


02/11/2022

CRESTMONT COMMUNITY
Section 32, T-9-N, R-1-W
BLOOMINGTON, INDIANA

BY	DATE

APPROVED FOR THE CITY
 WDW
 REVISIONS
 6107
 SHEET
31 OF **39**
 10/21/2022
 OVERALL
 LANDSCAPE PLAN



Crestrmont Landscape Requirements

Streetscape Landscape

1. Tree required per every 40 ft of right of way

West 15th Street R/W=180.11.5 trees required; 5 new trees provided; 2 trees are out of the right of way because on new drive electric line

North Lindborg Street R/W=833.24; 21 Trees Required; 7 existing trees preserved, and 14 new trees proposed. Existing parking and utilities limit the area where trees can be planted.

West 12th Street R/W=270; 7 trees required; 6 new trees provided, and 1 existing tree preserved.

North Lindsborg Street R/W=839; 21 trees required; 6 existing trees preserved, and 15 new trees proposed.

Parking lot Perimeter: 27 Existing Parking Spaces

1. Tree per 4 parking spaces required, 75% large trees; 7 Trees Required; 7 trees provided.

2. Shrubs per parking space required, 81 shrubs required; 81 shrubs provided

Interior plantings

Trade Size = 166,978.60 SF

Buildings, Walks and Pavement = 70,747.6

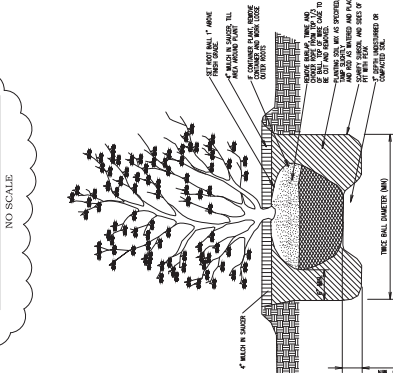
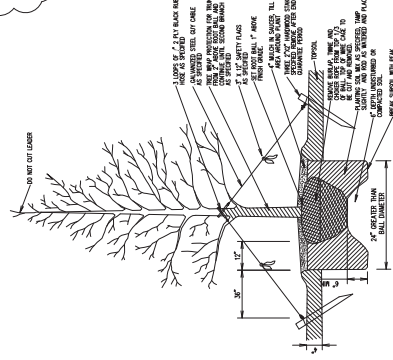
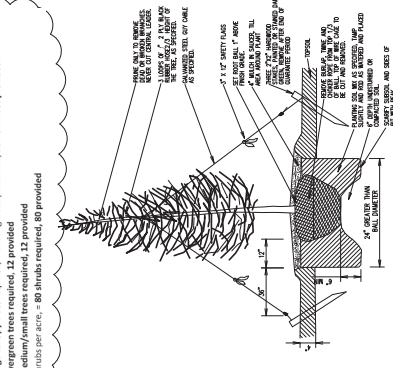
Area not covered by building and hardscape = 96,231.21 AC

14 large canopy trees, 5 evergreen trees, and 5 medium or small canopy trees per acre of pervious area-

12 large canopy trees required, 4 existing trees preserved, 26 new trees provided.

12 medium/small trees required, 12 provided

36 shrubs per acre, = 80 shrubs required, 80 provided



NO SCALE
EVERGREEN PLANTING & GUYING DETAIL

NO SCALE
TREE PLANTING & GUYING DETAIL

NO SCALE
SHRUB PLANTING DETAIL



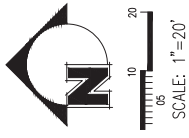
02/11/2022

CRESTMONT COMMUNITY
Section 32, T-9-N, R-1-W
BLOOMINGTON, INDIANA

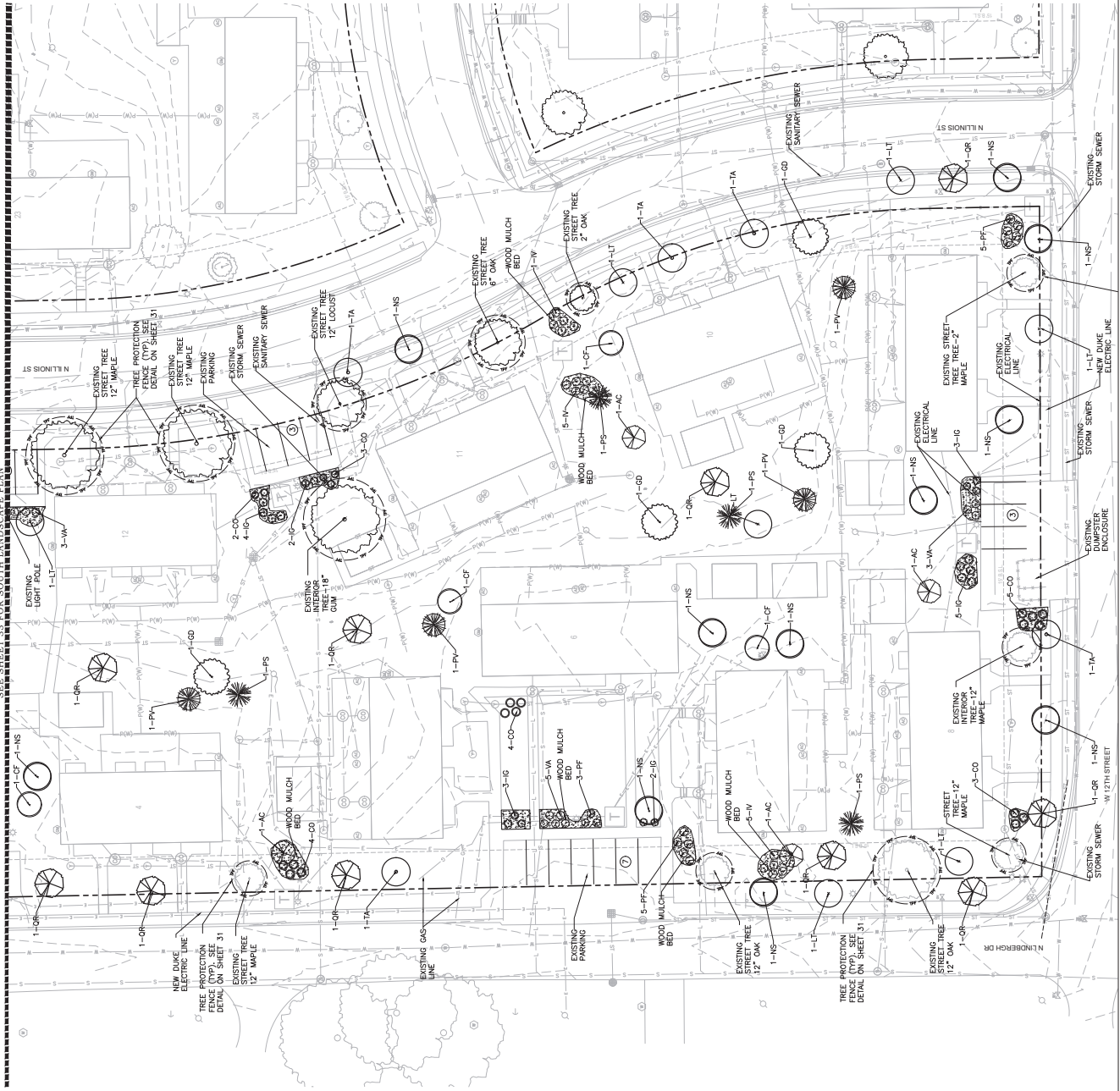
BY	DATE

6107
SHEET
32 OF 39

10/21/2022
SOUTH
LANDSCAPE PLAN

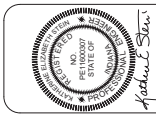


- LANDSCAPE NOTES**
- 1) PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED IN WRITING.
 - 2) ALL LANDSCAPED BEDS AND BEDS SHALL BE A MINIMUM OF 4" OF PLANTING SPACE ON EITHER SIDE OF THE PLANTING MATERIAL.
 - 3) ALL PLANTING MATERIALS SHALL BE SPECIFIED BY TRADE NAME AND VARIETY AND NEW PLANTING MATERIALS SHALL BE SPECIFIED BY TRADE NAME, VARIETY, SIZE AND PLANTING REQUIREMENTS.
 - 4) SEE SHEET 31 FOR LANDSCAPE REQUIREMENTS.



UTILITY LEGEND

- PRE HYDRANT SINGLE
- WATER METER PIP
- FREE DEPARTMENT CONNECTION
- WATER VALVE
- WATER AIR RELEASE VALVE
- STORM SEWER MANHOLE
- STORM SEWER INLET
- STORM WIND INLET
- STORM SEWER BENCH SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT
- WATER LINE
- SEWER LATERAL
- UNDERGROUND ELECTRIC
- STORM SEWER



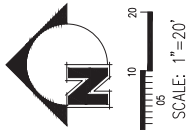
02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

BY	DATE	REVISIONS
DK	5-1-22	ADDED & RELOCATED TREES & SHRUBS PER CITY COMMENTS
DK	5-1-22	ADDED & RELOCATED TREES & SHRUBS PER CITY COMMENTS

PROJECT NO.: 6107
SHEET: 33 of 39
DATE: 10/21/2022

NORTH
LANDSCAPE PLAN

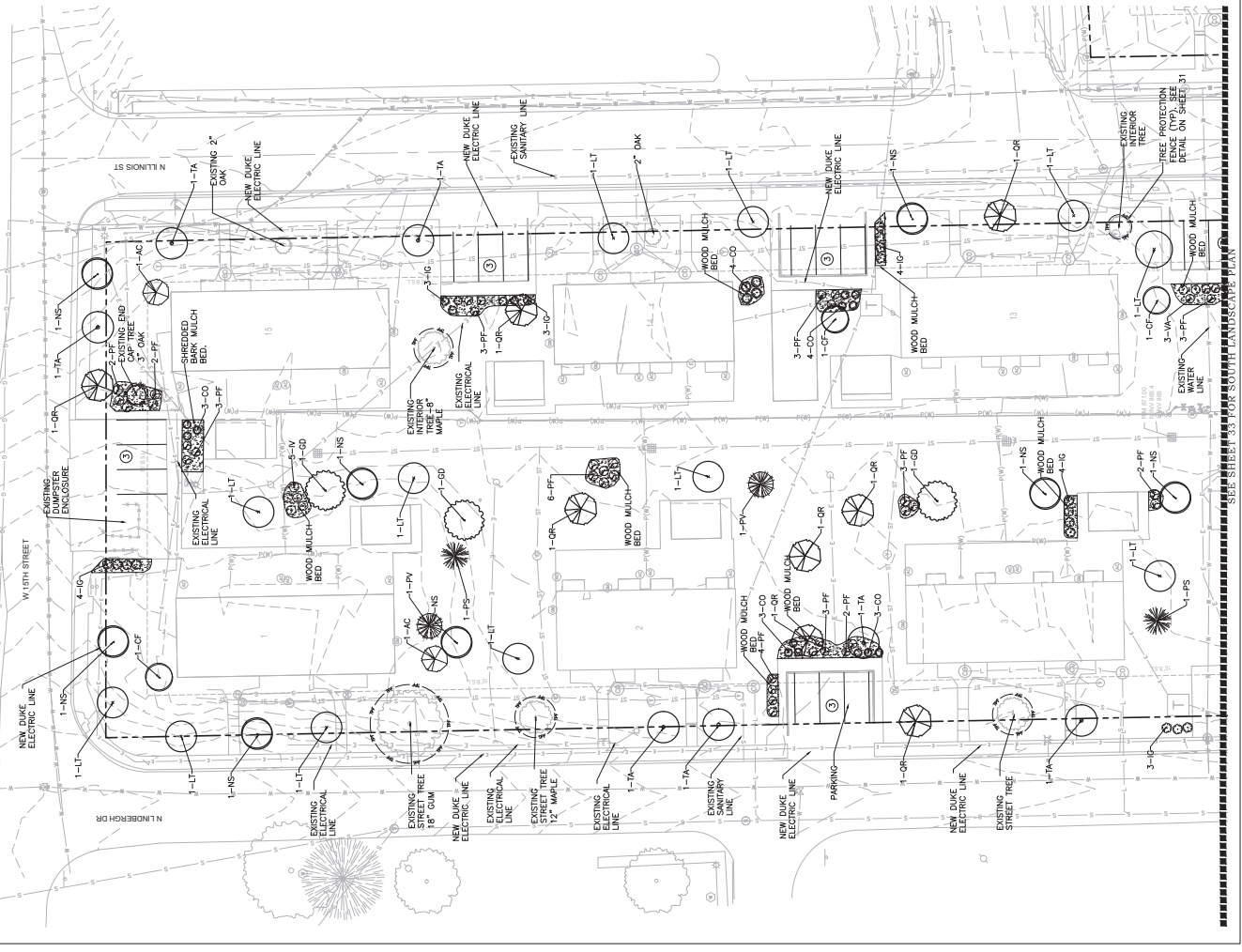


UTILITY LEGEND

- FREEDWANT SINGLE
- WATER METER PIP
- FREEDWANT CONNECTION
- WATER VALVE
- WATER AIR RELEASE VALVE
- STORM SEWER MANHOLE
- STORM SEWER INLET
- STORM YARD INLET
- STORM SEWER ENTRANCE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- WATER LINE
- SEWER LATERAL
- UNDERGROUND ELECTRIC
- STORM SEWER

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- LANDSCAPE NOTES**
1. PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED IN WRITING.
 2. ALL LANDSCAPE BEDS AND GRASSES SHALL RECEIVE A MINIMUM OF 4" OF PLANTING MIX WITH 10% COMPOST. UNDESIRED INDOOR SOILS SHALL HAVE A 3" SPREAD OF BEDDING MIXED WITH 10% COMPOST.
 3. ALL LANDSCAPE BEDS SHALL BE MAINTAINED PER THE APPROVED PLAN DURING EXISTING AND NEW CONSTRUCTION. SEE SHEET 31 FOR LANDSCAPE REQUIREMENTS.
 4. SEE SHEET 31 FOR LANDSCAPE REQUIREMENTS.





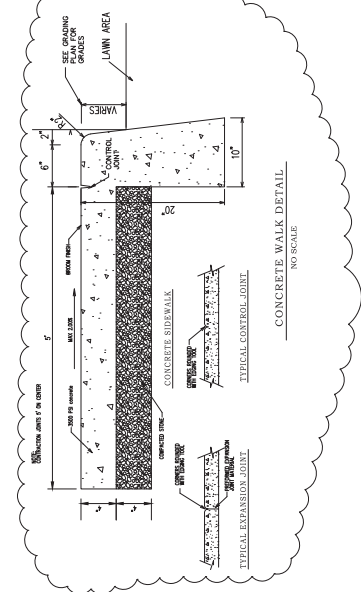
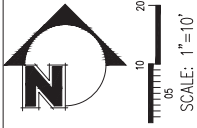
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CRESTMONT COMMUNITY BLOOMINGTON, INDIANA Section 32, T-9-N, R-1-W

BY	DATE

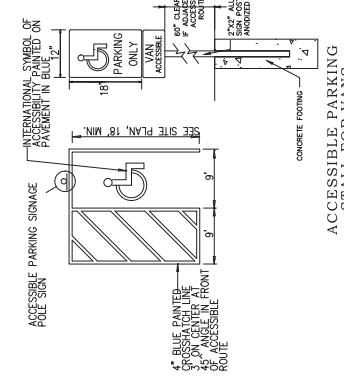
REVISIONS

6107
 SHEET
34 of 39
 COMMUNITY BUILDING SITE PLAN



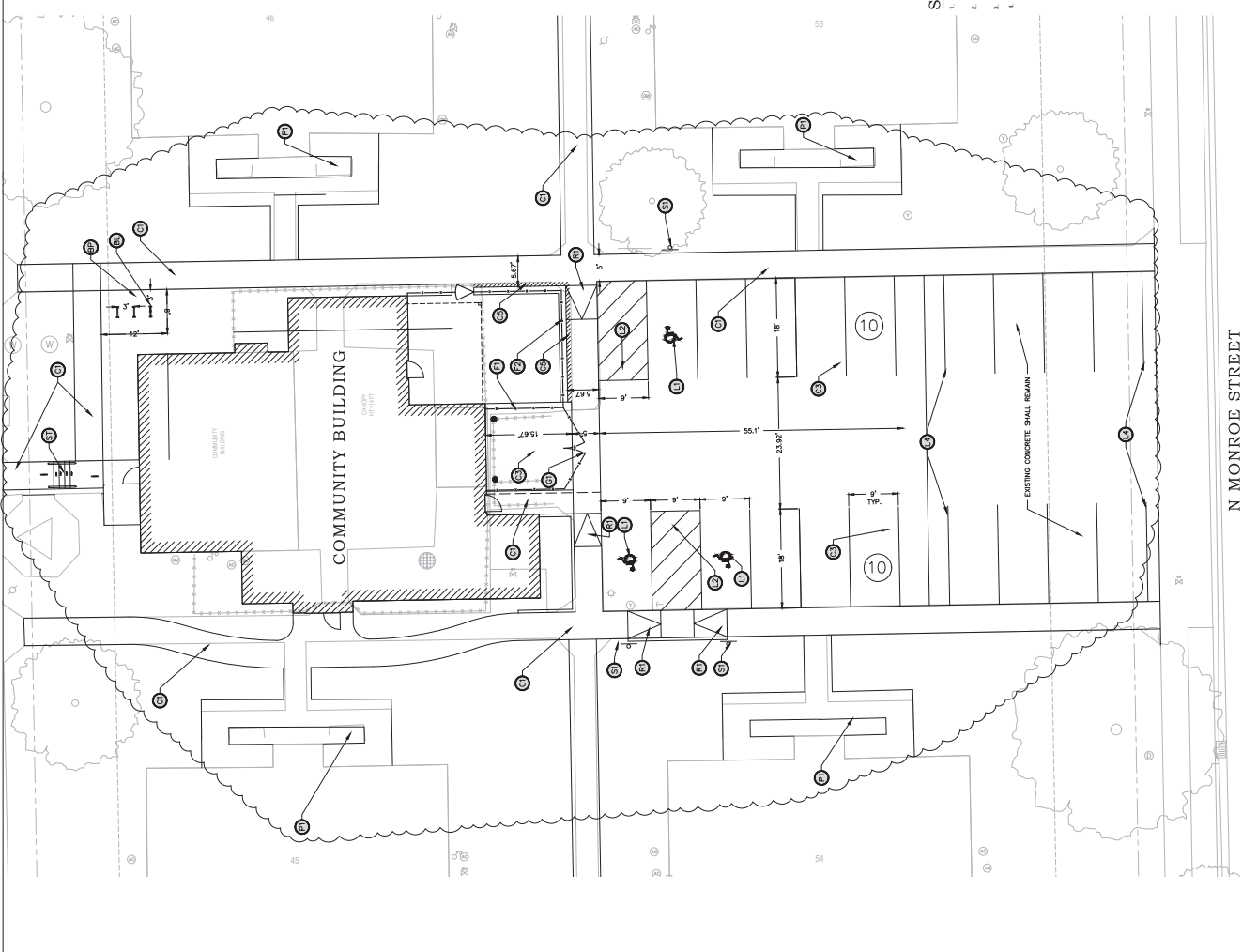
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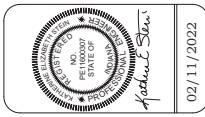
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SITE PLAN NOTES

1. ALL WALLS SHALL BE IN ACCORDANCE WITH THE LATEST IBC, IBC 2018, AND CITY OF BLOOMINGTON CODES.
2. ALL WALLS SHALL BE CONCRETE.
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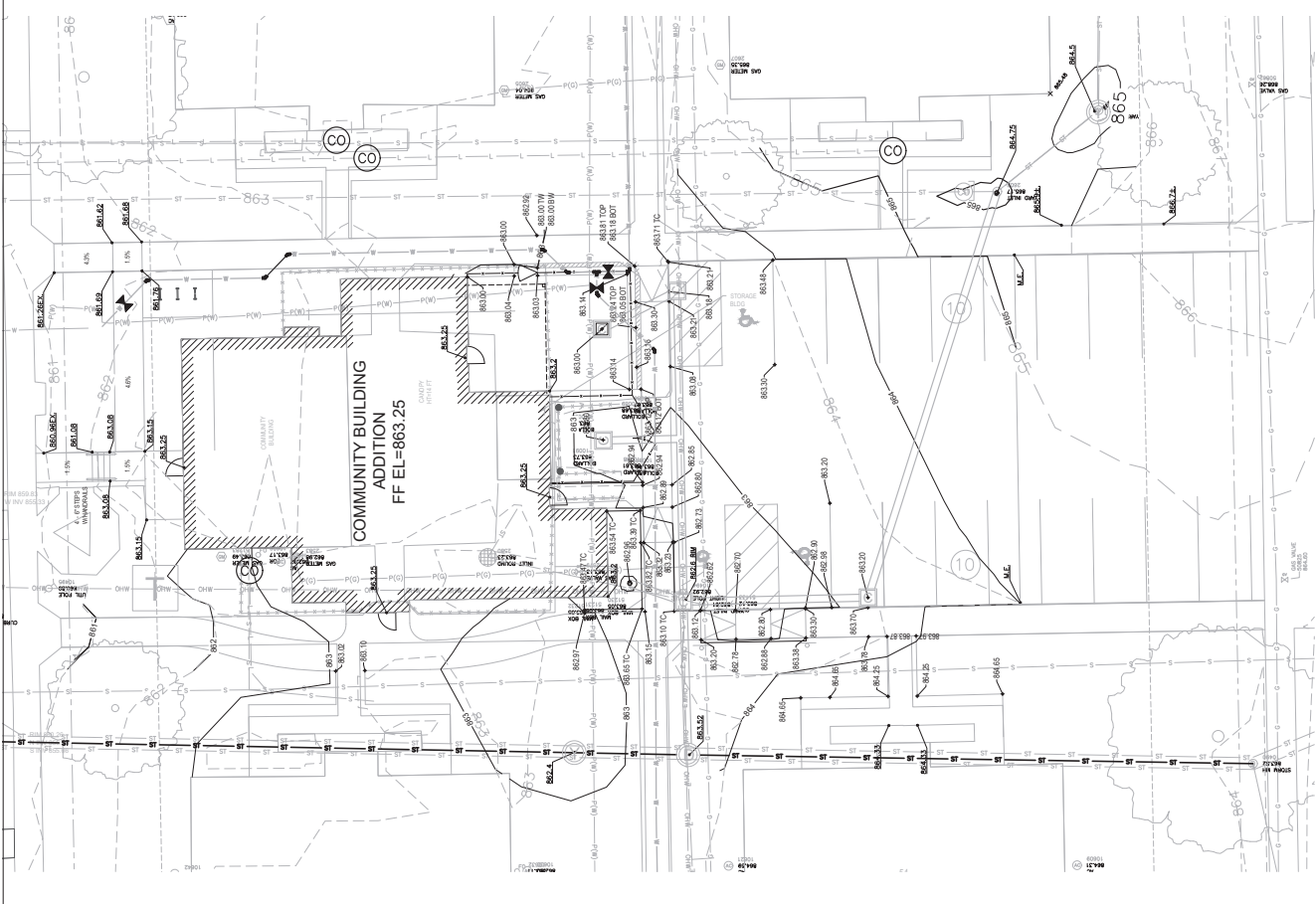
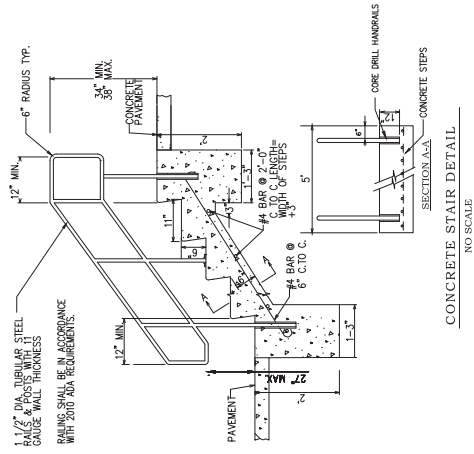
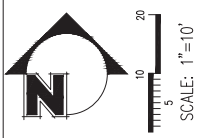


CRESTMONT COMMUNITY
 Section 32, T-9-N, R-1-W
 BLOOMINGTON, INDIANA

BY	DATE

NO.	DATE	DESCRIPTION

COMMUNITY BUILDING GRADING PLAN
 SHEET **35 OF 39**
 DATE: 10/21/2022



GRADING LEGEND

- EXISTING MAJOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- EDGE OF PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- HIGH POINT
- LOW POINT
- FINISH FLOOR ELEVATION
- TOP OF RETAINING WALL
- TOP OF RAMP
- BOTTOM OF RAMP
- BOTTOM OF CURB
- BOTTOM OF GRADE
- MATCH EXISTING GRADE
- PROPOSED DIRECTION OF FLOW

GENERAL NOTES

1. SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. LOCAL TYPICAL EXISTING UTILITIES ARE TO BE MAINTAINED IN THE FIELD BY THE CONTRACTOR.
3. TOP OF CURB ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
 - (A) TOP OF CURB
 - (B) TOP OF FINISH GRADE
 - (C) TOP OF FINISH FLOOR

GRADING KEY NOTES

1. CLEAN EXISTING SURFACES TO BE CONSIDERED UNLESS OTHERWISE NOTED.
2. EXISTING GRADE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
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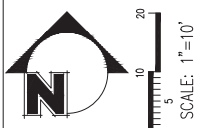
02/11/2022
Adrian L. Steen

CRESTMONT COMMUNITY
 BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE

DESIGNED BY: **WJW**
 CHECKED BY: **WJW**
 DATE: **02/11/2022**

PROJECT NO: **6107**
 SHEET NO: **36** OF **39**
 DATE: **10/21/2022**
 COMMUNITY: **CRESTMONT COMMUNITY**
 BUILDING: **INDIAN**
 PART: **PLAN**



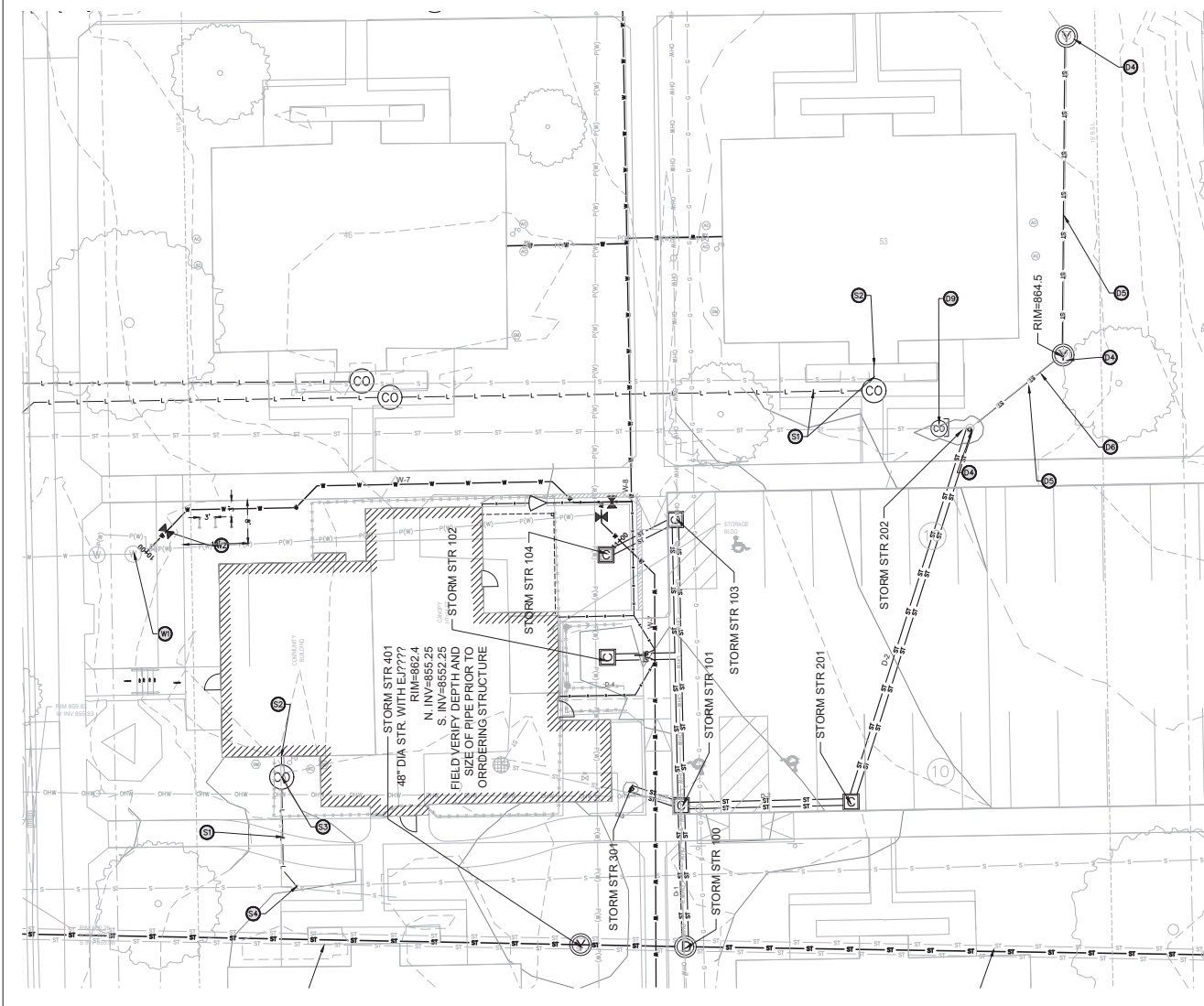
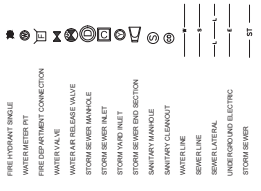
UTILITY NOTES

- ALL EXISTING STORMWATER MAINS SHALL BE LOCATED AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING MAINS BY CONDUCTING GROUND PENETRATING RADAR (GPR) SURVEY AND/OR EXCAVATION PRIOR TO CONSTRUCTION. ALL EXISTING MAINS SHALL BE SLEEVED WITH 18\"/>
- ALL PROJECTS WILL REQUIRE PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON TO REVIEW THE UTILITIES INFORMATION AND TO OBTAIN NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
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UTILITY KEY NOTES

- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING MAINS BY CONDUCTING GROUND PENETRATING RADAR (GPR) SURVEY AND/OR EXCAVATION PRIOR TO CONSTRUCTION. ALL EXISTING MAINS SHALL BE SLEEVED WITH 18\"/>
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
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UTILITY LEGEND



COMMUNITY BLDG. LANDSCAPE TABLES

STREET TREES PLANT TABLE

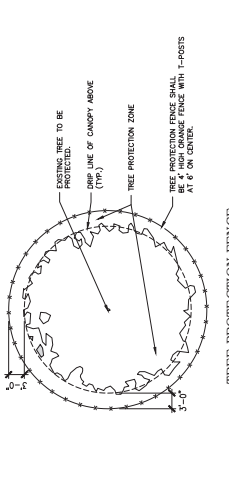
#	BOTANICAL NAME	COMMON NAME	SIZE
CO	CORNUS florida	Flowering Dogwood	2" Caliper
FR	FRAXINUS nigra	White Ash	2" Caliper
LA	LAGERHEDDIA palmata	Black Tupelo	2" Caliper
LI	LIQUIDAMBAR styraciflua	Sweetgum	2" Caliper
NI	NYSSEIA sylvatica	Black Walnut	2" Caliper
OR	QUERCUS robur	Northern Red Oak	2" Caliper

LANDSCAPE PLANT TABLE FOR PARKING LOT PERIMETER

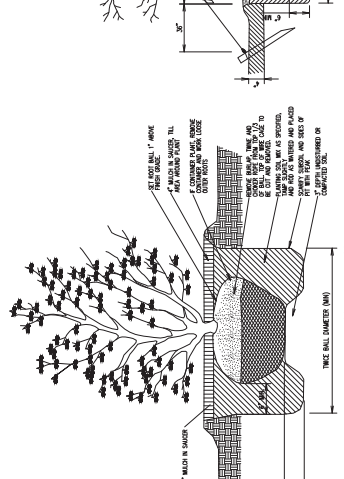
#	BOTANICAL NAME	COMMON NAME	SIZE
CO	CORNUS florida	Flowering Dogwood	3 Caliper
FR	FRAXINUS nigra	White Ash	3 Caliper
LA	LAGERHEDDIA palmata	Black Tupelo	3 Caliper
NI	NYSSEIA sylvatica	Black Walnut	3 Caliper
OR	QUERCUS robur	Northern Red Oak	3 Caliper

INTERIOR LANDSCAPING PLANT TABLE

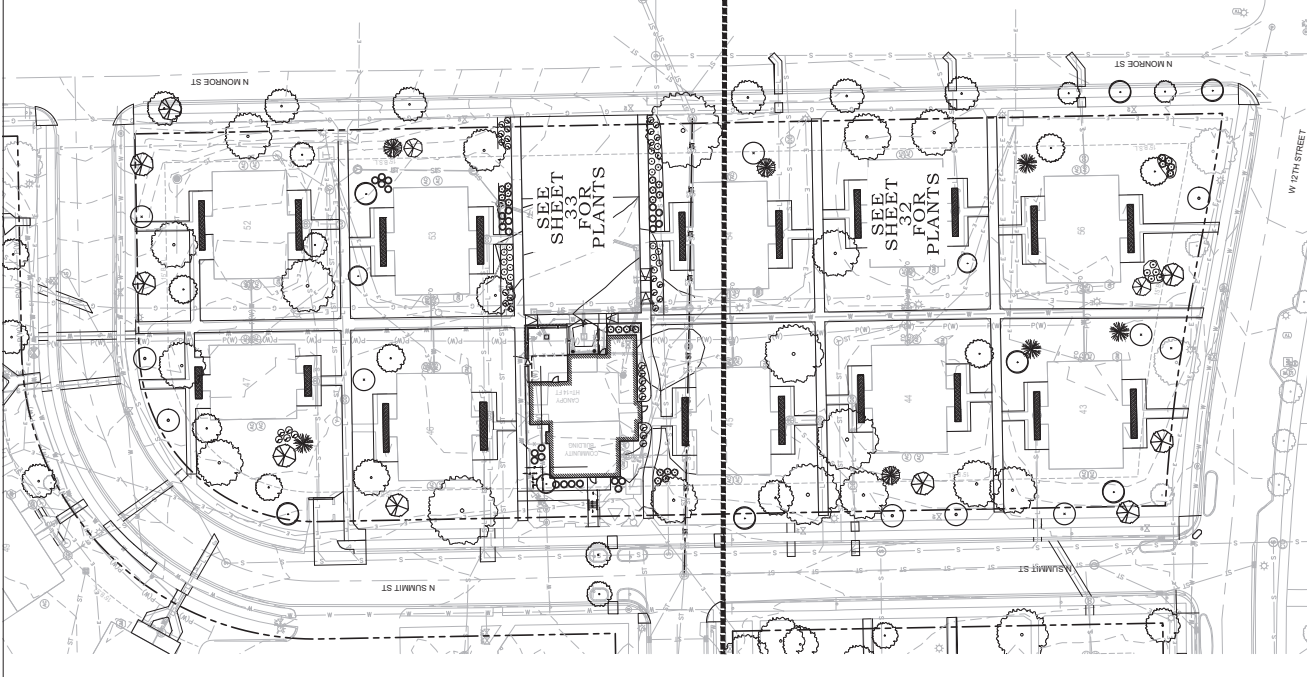
#	BOTANICAL NAME	COMMON NAME	SIZE
AC	AMELANCHIER canadensis	Shadblow Serviceberry	2" Caliper
CF	CORNUS florida	Flowering Dogwood	2" Caliper
GD	GYNERIUM angustifolium	Kentucky Coffee Tree	2" Caliper
LI	LIQUIDAMBAR styraciflua	Sweetgum	2" Caliper
NI	NYSSEIA sylvatica	Black Walnut	2" Caliper
OR	QUERCUS robur	Northern Red Oak	2" Caliper
PS	PAVIA sp.	White Pine	6" Hgt.
PV	PRUNUS virginiana	Virginia Pine	6" Hgt.



TREE PROTECTION FENCE
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



Minimum Landscape Requirements

Street/Scape Landscape

1 Tree required per every 40 ft of right of way

North Monroe Street (50w-556.13): 14 trees required; 3 new trees provided; 11 existing trees shall remain.

North Summit Street (50w-605.14): 18 Trees Required; 7 existing trees preserved, and 11 new trees proposed. Existing parking and utilities limit the area where trees can be planted.

West Summit Street (50w-622.30): 15 trees required; 3 new trees provided, and 1 existing tree preserved.

Parking lot Perimeter, 20 parking spaces

1 Large tree, 5 Trees, Required, 3 existing trees shall be preserved.

No additional trees added due to sanitary and storm flow.

3 shrubs per parking space required, 60 shrubs Required, 60 shrubs provided

Interior Plantings

Total Size = 825,871 SF

Buildings, Walks and Pavement = 48,114 SF

Area not covered by building and landscape = 77,727 (11.31 AC)

18 large canopy trees required, 4 existing trees preserved, 14 new trees provided.

7 medium/small trees required, 2 existing (River Birch and Redbud) to be preserved and 5 new shrubs per acre, = 48 shrubs required, 48 provided



02/11/2022

CRESTMONT COMMUNITY BLOOMINGTON, INDIANA Section 32, T-9-N, R-1-W

REVISIONS	DATE



6107
SHEET
37 of 39
DATE
10/21/2022

LANDSCAPE PLAN

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GENERAL NOTES

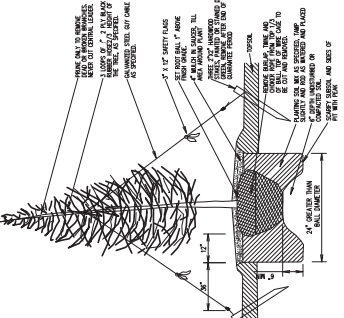
- REQUIREMENT GROUP: REFER TO SPECIFICATIONS FOR CONSTRUCTION.
- FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED TO COORDINATE WITH THE CITY OF BLOOMINGTON, REFER TO THE BLDG. CONSTRUCTION AND CITY OF BLOOMINGTON UTILITIES DEPARTMENT FOR CONFORMANCE TO CITY STANDARDS.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- TOP OF CURB/ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
 - 1. SEE SHEET 32 AND 33 FOR LANDSCAPE PLANS.
 - 2. SEE SHEET 32 AND 33 FOR LANDSCAPE PLANS.
 - 3. SEE SHEET 32 AND 33 FOR LANDSCAPE PLANS.
 - 4. TOP OF CURB/ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: IN FEET, GROUND ELEVATION.

LANDSCAPE NOTES

- FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED TO COORDINATE WITH THE CITY OF BLOOMINGTON, REFER TO THE BLDG. CONSTRUCTION AND CITY OF BLOOMINGTON UTILITIES DEPARTMENT FOR CONFORMANCE TO CITY STANDARDS.
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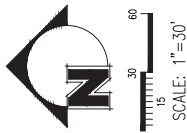
EVERGREEN PLANTING & GUYING DETAIL
NO SCALE



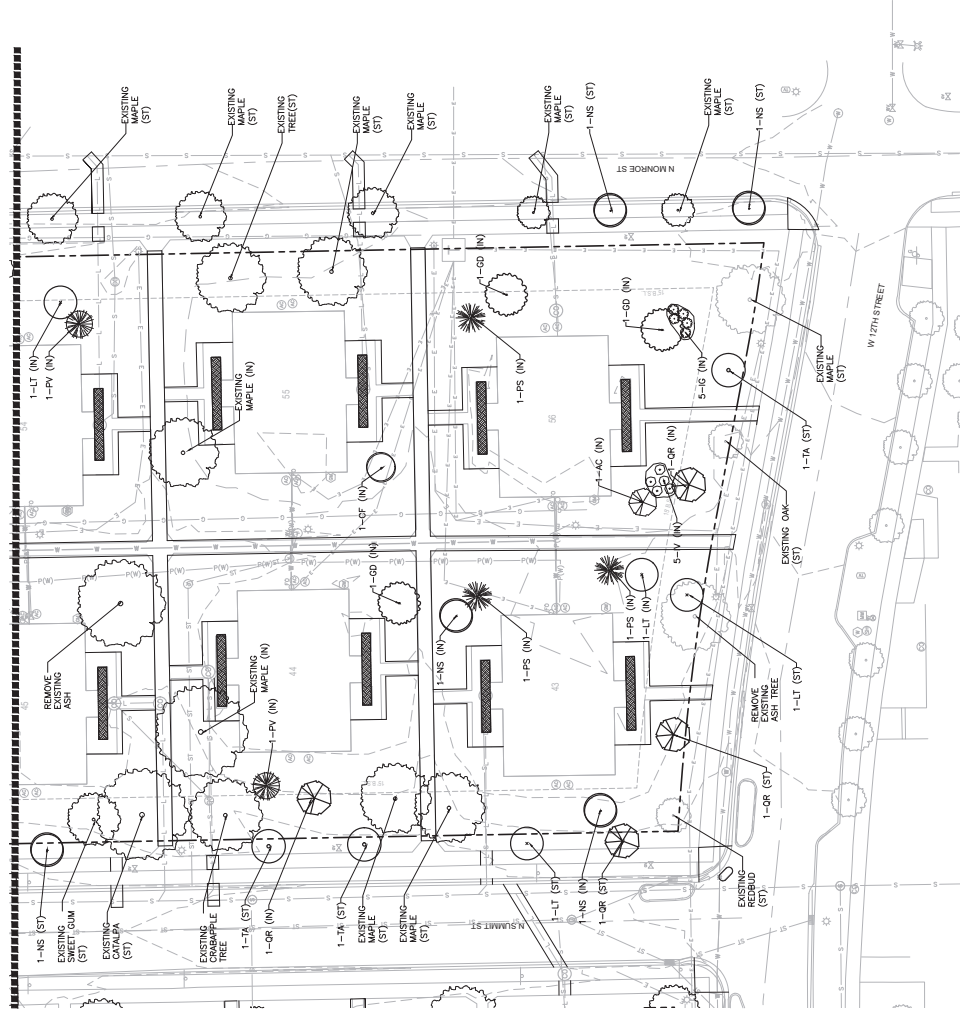
TREE PLANTING & GUYING DETAIL
NO SCALE

LANDSCAPE NOTES

- 1. ALL PLANTINGS SHALL BE APPROVED BY THE CITY OF BLOOMINGTON, INDIANA.
- 2. ALL UNIMPROVED AREAS SHALL RECEIVE A MINIMUM OF 4" OF MULCH.
- 3. ALL PLANTINGS SHALL HAVE A 18" MIN. CALIBER TRUNK.
- 4. ALL PLANTINGS SHALL BE INSTALLED AT THE CORRECT DEPTH AND SPACING AS SHOWN ON THE APPROVED PLAN.
- 5. ALL PLANTINGS SHALL BE INSTALLED AT THE CORRECT DEPTH AND SPACING AS SHOWN ON THE APPROVED PLAN.
- 6. ALL PLANTINGS SHALL BE INSTALLED AT THE CORRECT DEPTH AND SPACING AS SHOWN ON THE APPROVED PLAN.



SCALE: 1" = 30'



CRESTMONT COMMUNITY Section 32, T-9-N, R-1-W BLOOMINGTON, INDIANA

02/11/2022



NO.	DATE	BY	DATE

DESIGNED	CHECKED
W.D.W.	K.S.S.

DATE	DESCRIPTION
10/21/2022	