

# CITY OF BLOOMINGTON



## PLAN COMMISSION

February 6, 2023      5:30 p.m.

Council Chambers, Room #115

Hybrid Zoom Link:

<https://bloomington.zoom.us/j/81821286059?pwd=MTVySTZRWXZoQkxQb3lUOEsvTTN0dz09>

Meeting ID: 818 2128 6059

Passcode: 640465

**CITY OF BLOOMINGTON**  
**PLAN COMMISSION (Hybrid Meeting)**  
 ❖City Council Chambers – Room #115  
 February 6, 2023 at 5:30 p.m.

❖Virtual Link:

<https://bloomington.zoom.us/j/81821286059?pwd=MTVySTZRWXZoQkxQb3lUOEsvTTN0dz09>

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Petition Map: <https://arcg.is/15qna8>

## ROLL CALL

**MINUTES TO BE APPROVED:** January 9, 2023

## **REPORTS, RESOLUTIONS AND COMMUNICATIONS:**

Appointments

## **PETITIONS TABLED:**

**SP-24-22      Cutters Kirkwood 123 LLC**  
 115 E Kirkwood Ave  
 Parcel: 53-05-33-310-062.000-005  
 Request: Major site plan approval to construct a 4-story building with 3 floors of residential units over a ground floor parking garage and retail space in the MD-CS zoning district. The upper floors will consist of 15 dwelling units for a total of 38 beds.  
Case Manager: Karina Pazos

## **PETITIONS CONTINUED TO:** March 6, 2023

**DP-53-22      Robert Lee & Mariam Ehteshami**  
 1225 E Maxwell Lane  
 Parcel: 53-08-04-100-071.000-009  
 Request: Primary Plat approval to allow a two-lot subdivision of 0.4 acres in the Residential Small Lot (R3) zoning district.  
Case Manager: Gabriel Holbrow

## **PETITIONS:**

**PUD/DP-24-21 Robert V Shaw**  
 N Prow Road: 3500 block of N Hackberry Street  
 Parcel: 53-05-20-200-013.025-005, 53-05-20-200-013.026-005, ...  
 Request: Petitioner requests Final Plan and Preliminary Plat amendment for Ridgefield PUD and Subdivision Section V.  
Case Manager: Jackie Scanlan

**\*\*Next Meeting March 6, 2023**

**Last Updated: 2/3/2023**

**Auxiliary aids for people with disabilities are available upon request with adequate notice.**

**Please call [812-349-3429](tel:812-349-3429) or e-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).**

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT**

**CASE #: PUD/DP-24-21  
DATE: February 6, 2023**

**Location: N. Prow Road; 3500 block of N. Hackberry Street**

**PETITIONER:** Robert V. Shaw  
2005 S Rogers St #59 Bloomington, IN

**CONSULTANTS:** William Riggert Bledsoe, Riggert, James, and Cooper  
1351 W Tapp Rd Bloomington, IN

**REQUEST:** The petitioner is requesting a final plan amendment and a primary plat amendment for Ridgefield PUD and Subdivision Section V.

<b>Area:</b>	8.57 acres
<b>Current Zoning:</b>	Planned Unit Development
<b>Comprehensive Plan Designation:</b>	Neighborhood Residential
<b>Existing Land Use:</b>	Vacant
<b>Proposed Land Use:</b>	Dwelling, Single Family & Dwelling, Duplex
<b>Surrounding Uses:</b>	North – Dwelling, Single-Family West – Dwelling, Single-Family & State Road 37 / Interstate 69 East – Dwelling, Single-Family & Park South – School

**CHANGES SINCE DECEMBER 2022 HEARING:** The petitioner is proposing to remove the pedestrian connection on the southeast portion of the site to Bloomington High School North to the south, after consultation with the School Corporation. The Department is amenable to this change, as the topography in the previously approved location is quite steep.

The issue of required subdivision waivers was discussed extensively at the last hearing. As a reminder, the petitioner received PUD Final Plan and Primary (Preliminary) Plat approval for Section V in 2008 with case number PUD-47-07. The petitioner did not go forward with building the entirety of Section V. Though the petitioner made changes to the design from PUD-47-07, such as number and location of lots and location of the tree preservation easement, the petitioner did not want to change amend the non-compliant road design. The Plan Commission asked to see a drawing of code-compliant road design. The petitioner submitted a conceptual site plan showing alternative vehicular access design for parcels in the southwest and southeast corners of the petition site. In the southwest corner, the eyebrow was removed, and a shared driveway is proposed for lots 41, 42, and 35. In the southeast corner, the cul-de-sac was removed, and each unit was given a separate driveway. The conceptual design contains the same number of dwelling units as the design that contains the eyebrow and cul-de-sac. The petitioner continues to request the original design, which requires subdivision waivers to be approved, as neither eyebrows nor culs-de-sac are allowed in the Unified Development Ordinance. The Department believes that the subdivision waivers should not be approved, and that the alternative design submitted by the petitioner should be approved, with a limit on the number of driveways, as shown in the attached exhibit.

Of note, the petitioner is also working with Engineering staff to address other concerns raised in the December 2022 hearing related to safe pedestrian ramp design. A couple of those issues might require slight changes in the property lines of the adjacent parcels. The Department has spoken to

the petitioner's representative, and it is understood that significant changes may require a re-filing of the primary plat. They elected to go forward.

The petitioner has agreed to direct construction traffic to enter the site from the west. This has been done on previous petitions with posted signage, and a condition of approval has been added to that effect.

There were questions raised at the hearing about drainage to the neighborhood to the east. The petitioner did not submit anything specifically addressing that question. However, City Departments, as well as City of Bloomington Utilities will review a grading permit before this site is constructed, and work with the petitioner to minimize negative drainage impact on surrounding properties.

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**REPORT (new or amended information since December bolded and italicized):** The property is located on the east side of N. Prow Road, just north of Bloomington High School North. This petition site is part of the wider Ridgefield PUD, and is the last uncompleted portion of the PUD and subdivision. This proposal is for the section of Ridgefield that would connect N. Hackberry Street to N. Wintersweet Drive in Section V. Property to the north of Section V contains Meadows Hospital, property to the east contains existing portions of the Ridgefield subdivision, property to the west across N. Prow Road contains existing single-family homes, and Bloomington High School North (BHSN) is immediately to the south.

The site received original PUD approval in 1994. The petitioner received PUD Final Plan and Primary (Preliminary) Plat approval for Section V in 2008 with case number PUD-47-07. The petitioner received Secondary (Final) Plat approval for Phase I of Section V in 2009 with case PUD-08-09 and that portion has been platted. The petitioner has built 14 homes in the 25-lot Phase I area since that time.

The remaining area that is undeveloped contained 38 units in the 2008 petition. It now contains 30 units, a mix of single-family dwellings and duplex units.

The Planning and Transportation Department contacted the petitioner in late 2020 with a number of issues that needed to be resolved at the site.

The grading permit for this location expired in 2018, and the associated erosion control bond was also expired. While most of the grading on site was completed, the Department received complaints that there was earth-moving at the site that exceeded the threshold for the requirement of a grading permit. The Department confirmed that earth movement had occurred with no grading permit.

The Department did an analysis of the built portions of Section V and identified deficiencies. Those included street tree issues, as well as a number of issues with the construction of the public sidewalks. The petitioner was given a list of deficiencies in December 2020.

The petitioner's 2008 Final Plan is expired. A grading permit cannot be obtained in a PUD until there is an approved Final Plan. Additionally, the petitioner's 2008 Primary (Preliminary) Plat for those portions that are unbuilt is expired. A new approval is required, so that a Secondary (Final) Plat can be approved and the lots created.

The petitioner started work on the identified sidewalk deficiencies in 2022 without a newly approved plan from the Engineering Department. A proposal to correct the deficiencies was required and received on November 28, 2022. Engineering staff has reviewed the proposal and conveyed comments to the petitioner.

The petitioner is requesting PUD Final Plan approval for the unbuilt portions of Ridgefield PUD Section V, as well as a Primary (Preliminary) Plat Amendment to the existing Subdivision Plat for Ridgefield PUD Section V. The changes from the original 1994 approval and the currently proposed petition are substantial, and therefore, the petitioner must meet a number of current Unified Development Ordinance (UDO) code requirements. Two hearing are required for the subdivision petition because waivers are required for the desired design.

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**FINAL PLAN AMENDMENT and PRIMARY PLAT AMEMDMMENT:**

**Parcel Development Standards:** The Ridgefield PUD permits 5,000 square foot lot minimums, with 20 foot front yard setback minimums. Side yard setbacks are a minimum of 6 feet, with a combined setback of 15 feet, regardless of stories. Lot width is referred to as ‘typically 50 feet’ and some lots under 50 feet have been allowed in the PUD. The petitioner has re-arranged the parcels from the 2008 petition, and removed 8 units from the proposal. The dimensional standards shown for the developable lots in the Final Plan amendment are compliant with the Outline/Preliminary Plan of the PUD.

*‘Tracts 1 and 2’ shown south of Lots 13 and 14 are not separate tracts, but were added to Lots 13 and 14 through a lot line adjustment (C17-359), which do not create new parcels. The secondary plat will need to be corrected to reflect that. A condition of approval has been added.*

*It appears that the areas surrounding the paired homes are common area lots. They need to be noted as such. A condition of approval has been added.*

**Road Design:** The petitioner has elected to largely utilize the 2008 designed primary plat for this petition related to road design, though there are a number of items that differ from the required current UDO standards. The first is the width of the right-of-way. The other portions of this PUD utilize a 50 foot right-of-way, as was standard in 2008 for this type of road, but the current UDO requires 60 feet of right-of-way, via the Transportation Plan requirements. The petitioner has worked with the City Engineer on the design of the roadway, and although the width of the right-of-way will not meet UDO standards, the width of the pavement will, at 28 feet. The Transportation Plan allows for the Department Director to approve the 50 foot width.

The UDO does not allow for culs-de-sac or eyebrow design. The petitioner proposes to leave both the eyebrow shown at the southwest portion of the development and the new cul-de-sac, Bradley Court, at the southeast portion of the development. The petitioner may be able to re-design the site to meet current code, but would like to utilize the previously approved design to maximize the number of parcels without a re-design. The Department recommends that the Plan Commission does not approve the design request, and asks for a re-design before the second required hearing in January. *After the December 2022 hearing, the petitioner has shown that a design is possible.* The roads in Section V are intended to be public, which means the maintenance responsibility will be the City’s once the roads are built to City standards. Cul-de-sac are difficult to clear of snow, as well as roads containing eyebrows. They also present connectivity issues for pedestrians. The

petitioner has already re-designed a portion of this section (discussed below) in order to gain larger, more marketable parcels. The Department would like to see the site re-designed to meet current UDO requirements, as well. Otherwise, a waiver from the standards related to eyebrow and cul-de-sac inclusion will be required. ***The petitioner is requesting subdivision waiver approval to allow the eyebrow and cul-de-sac to remain, though an alternative design was submitted.***

**Environmental/Tree Preservation:** The approved landscape plan associated with the 2008 Final Plan for the petition site includes a large area of tree preservation on the south side of lots 33-40, adjacent to BHSN. The staff report for that petition read the following:

“An existing fence line separates several large trees from the remainder of the lots. The petitioner proposes to preserve this area and the majority of the trees, while cleaning out invasive and exotic species and planting new trees. Proposed are several new large canopy trees that will be planted between existing trees. The remainder of the area will be filled in with a mix of smaller canopy or native ornamental trees. This area would then be preserved with a tree preservation and landscaping easement.”

Unfortunately, some of the trees have been removed. The petitioner is showing an amended ‘tree preservation easement’ in that area that is not as deep as the 2008 area, but now extends north to the new N. Winter Sweet Drive connection, in an area previously designed for developable lots. The Department has concerns that the area to the south needs to be filled in to the intended density of the original approval, and will add a condition of approval to insure that is done. ***The petitioner has proposed to plant 7 trees in the tree preservation easement area. The area needs to be shown as an easement on the secondary plat. A condition of approval has been added.***

There were a number of other trees that were highlighted for preservation through the 2008 approval that have since been removed. Some are still shown on the landscape plan for this petition, but are on private property not owned by the petitioner. The Department requests an updated and accurate landscape plan to be submitted and approved by staff before the January hearing. ***The petitioner has submitted a new landscape plan.***

- ***The original plan showed 4 specimen trees in the undeveloped portion of Section V. Only one remains on the new landscape plan. If the others still exist, the Department recommends adding them back to the plan.***
  - ***The tree buffer shown south and east of the paired homes has been removed. The Department recommends adding it back to the plan.***
  - ***The missing street trees in the developed portion of Section V are no longer shown. The Department recommends adding them back to the plan.***
  - ***Proposed street trees along Prow Road are no longer shown. Existing street trees along Prow Road are no longer shown. Because subdivision requires one street tree for every 40 feet of linear frontage, the location of existing and proposed street trees need to be shown. The Department recommends adding them back to the plan.***
  - ***Buffer yards on the rear of lots 7-12 that can no longer be confirmed, as they have been sold to private owners, were removed from the plan.***
  - ***The detention pond seed mix information and instructions need to be added to the plan.***
- A condition of approval to address the landscape plan issues has been added.***

**Detention Pond:** There is a detention pond shown on lot 43 of the 2008 approval, as well as the current proposal. The parcel needs to be shown as common area on the Secondary Plat, and corrections need to be made to the pond to City of Bloomington Utilities standards. A condition of approval will be added. ***The label for the detention pond has been removed and it has not been***

*shown as a common area. A condition of approval has been added.*

**Connectivity:** A pedestrian easement is shown connecting the development to BHSN, through the tree preservation area. More information on how that will be done safely and sensitively is needed. *Per the petitioner's representative, MCCSC is not interested in a pedestrian connection at this location because they do not have pedestrian facilities immediately on their adjacent property. Additionally, Engineering staff has taken a close look at the proposed location, and construction of a PROWAG and ADA compliant sidewalk would be very difficult because of existing slope and the intent of tree preservation. The pedestrian connection is no longer planned. A condition of approval to remove the connection on the secondary plat has been added.*

**Lighting:** No street lighting is proposed, but a plan must be submitted and approved by the Engineering Department, as well as submitted to the Board of Public Works as a component of the secondary plat proposal.

*No proposed findings of fact were included in December, so all below are new.*

**Section 20.06.040(d)(6)(B) General Compliance Criteria (Final Plan and Primary Plat)**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** This petition is in compliance with development standards of the original PUD as amended, such as lot design standards. For those items not detailed in the PUD, the petition must meet UDO requirements. The petition will be in compliance with the PUD and UDO requirements once all conditions of approval are met. The site will require City of Bloomington Utilities approval related to stormwater infrastructure, which will be reviewed before a grading permit is issued.

**Section 20.06.070(E)(4) Approval Criteria for Rezoning to a Planned District (PUD)**

- (A) Is consistent with the purpose of this UDO and the purpose of Section 20.02.050 (Planned Unit Development (PUD) District ); and
- (B) The petitioner has demonstrated that the proposed rezoning is compatible with surrounding development or can be made compatible with surrounding development through commitments or conditions; and
- (C) Any portion of the PUD zoning district to be occupied by multifamily, mixed-use, or industrial development shall provide a greater level of internal connectivity and connectivity to surrounding developments than would be required by this UDO if the project were not being developed in a PUD zoning district; and
- (D) Each multifamily, mixed-use, or nonresidential principal structure in the PUD zoning district shall provide a greater level of design quality than would be required by this UDO if the project were not being developed in a PUD zoning district; and
- (E) At least one of the following criteria are met;

- (i) The proposed PUD zoning district will include construction of a substantial open space, recreational, entertainment, or cultural amenity that will be open to and usable by the general public, and that would not otherwise be required by this UDO. Reconfiguration of open space required by this UDO does not satisfy these criteria;
- (ii) The proposed PUD zoning district will protect a significant ecological, natural, historical, architectural, or archeological resource that was not already protected from development by this UDO or by state or federal law. Avoidance of designated floodplains or wetland areas, or the provision of additional buffers around such areas, does not satisfy these criteria; or
- (iii) The proposed PUD zoning district provides affordable housing beyond the amounts that the petitioner would have been required to provide in order to earn a Tier 1 or Tier 2 affordable housing incentive under Section 20.04.110(c)(5) by either:
  - (1) Income-restricting at least 10 percent more of the dwelling units at or below the income levels required to earn a Tier 1 or Tier 2 incentive, or
  - (2) Income restricting the same number of dwelling units required to earn a Tier 1 or Tier 2 affordable housing incentive, but limiting incomes to at least 10 percent lower AMI level than would have been required to earn a Tier 1 or Tier 2 incentive.20.04.110(c)(5)

**PROPOSED FINDING:** This petition is not rezoning the property to PUD, but is developing the last portion of an existing PUD, while amending the total number of lots.

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**20.06.040(d)(6)(D) Additional Criteria Applicable to Primary Plats and Zoning Map Amendments (Including PUDs)**

**(i) Consistency with Comprehensive Plan and Other Applicable Plans**

The proposed use and development shall be consistent with and shall not interfere with the achievement of the goals and objectives of the Comprehensive Plan and any other adopted plans and policies.

**PROPOSED FINDING:** The proposed plat will add additional housing opportunities, which is a key component of the Comprehensive Plan.

**(ii) Consistent with Intergovernmental Agreements**

The proposed use and development shall be consistent with any adopted intergovernmental agreements and shall comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this UDO.

**PROPOSED FINDING:** No known intergovernmental agreements affect this petition.

**(iii) Minimization or Mitigation of Adverse Impacts**

(1) The proposed use and development shall be designed to minimize negative environmental impacts and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise,



stormwater management, wildlife habitat, soils, and native vegetation.

- (2) The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.
- (3) The proposed use and development shall not result in significant adverse fiscal impacts on the city.
- (4) The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.

**PROPOSED FINDING:** The Department has added a condition of approval to include tree buffering between the undeveloped portions of Section V and the neighborhood to the east in order to limit negative impacts.

**(iv) Adequacy of Road Systems**

- (1) Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed use and development shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services.
- (2) The proposed use and development shall neither cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

**PROPOSED FINDING:** There are no road capacity issues anticipated at this location.

**(v) Provides Adequate Public Services and Facilities**

If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements.

**PROPOSED FINDING:** This is the final phase of development for Ridgefield, and specifically Section V. All streets, street trees, utilities, easements, and other improvements will be inspected and approved with this phase once construction is complete.

**(vi) Rational Phasing Plan**

If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements.

**PROPOSED FINDING:** This is the final phase.

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### **20.06.060(b)(3)(F) Subdivision Waivers**

Waivers from any standards within Chapter 5 shall be reviewed according to the following criteria:

- i. The granting of the subdivision waiver shall not be detrimental to the public safety, health, or general welfare, or injurious to other property; and
- ii. The conditions upon which the request for a Subdivision Waiver are based are unique to the property; and
- iii. The Subdivision Waiver shall not in any manner vary the provisions of the development standards, Comprehensive Plan, or Transportation Plan.

**PROPOSED FINDING:** The petitioner is requesting to waive the standard that prohibits eyebrow design in 20.05.050(j)(5)(N), as well as Table 05-5 that only allows cul-de-sac design in limited use for commercial/employment subdivisions. The petitioner received approval for a similar design in 2008, but did not finish construction. The petitioner has submitted a design that meets both the eyebrow and cul-de-sac limitations of the UDO, but prefers to request the waiver. The Department recommends denial of the waiver request.

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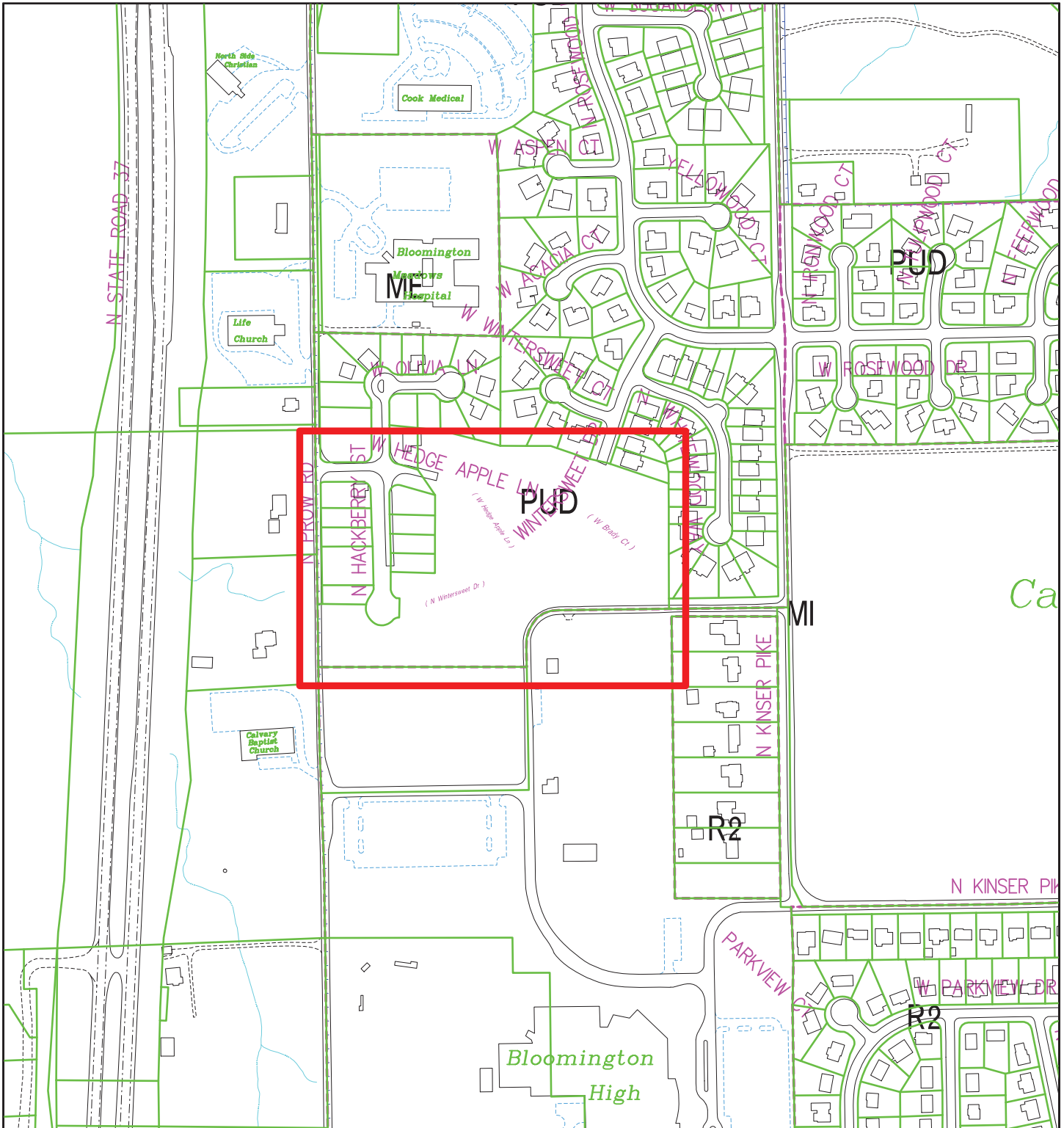
**CONCLUSION:** The Department has been working with the petitioner for some time to address the issues at the petition site, so that the development can be completed and the residents can receive City services. The Department looks forward to the site being brought into compliance and completed. Final Plan approval is the first step in the process of resolving this enforcement case. While completing the roadway connection is important and the petition was created under a previous code, the Department wants to encourage code-compliant design for any new public facilities being built, and therefore has discouraged the use of the new cul-de-sac and eyebrow design, and ultimately recommended denial of the subdivision waiver. Compliance with the UDO would require reconfiguration that deviates from the design desired by the petitioner, but the petitioner has shown that compliance is possible.

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**RECOMMENDATION:** The Department recommends that the Plan Commission approve the Final Plan and Primary (Preliminary) Plat Amendment to Section V of the Ridgefield subdivision and deny the subdivision waiver request, subject to the following conditions:

1. The approved design is that design submitted by the petitioner showing no eyebrow and no cul-de-sac, included in this packet. The parcel in the southeast portion of the development which was previously shown as a cul-de-sac shall have a maximum of six driveway cuts.
2. The petitioner shall submit a grading permit application packet for, at a minimum, the developed portion of Section V, within 30 days of this approval.
3. The petitioner shall submit to the Engineering Department a Public Improvements bond estimate within 30 days of this approval, and will submit the required bond within 10 days of the approval of said estimate.
4. The petitioner has agreed to instruct construction traffic to enter the site from the west, off of Prow Road. Signage to that effect (minimally, one at the east end of to-be-constructed Wintersweet Drive and one at Prow Road) will be placed on the site during construction.
5. 'Tracts 1 and 2' shall be corrected and shown as parts of Lots 13 and 14 on the secondary plat.
6. The petitioner shall identify all common area lots around the paired homes on the secondary plat.

7. The petitioner shall identify the tree preservation area as an easement on the secondary plat, with all required language included on said plat.
8. An amended landscape plan shall be submitted before a grading permit will be issued that addresses the following issues:
  - All four specimen trees shown in the 2008 plans for the undeveloped portion of Section V need to be shown on the plan. If they have died, please submit proof to the Department.
  - The tree buffer originally shown on the 2008 plans south and east of the paired homes needs to be added to the plan.
  - Missing street trees in the developed portion of Section V need to be added to the plan.
  - Existing and proposed street trees along Prow Road, in order to meet one tree for every 40 linear feet of frontage, need to be added to the plan.
  - The landscape plan shall be updated to match the approved road design.
9. Label Lot 43 as a detention pond, as well as a common area lot.
10. Remove the pedestrian connection easement to Bloomington High School North on the secondary plat.
11. Any previous conditions related to on-street parking are removed, and on-street parking for the roads in Section V will be governed by the Bloomington Municipal Code regulations.

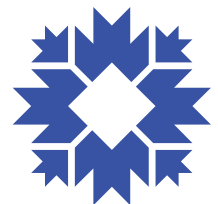


By: scanlanj  
30 Jul 21

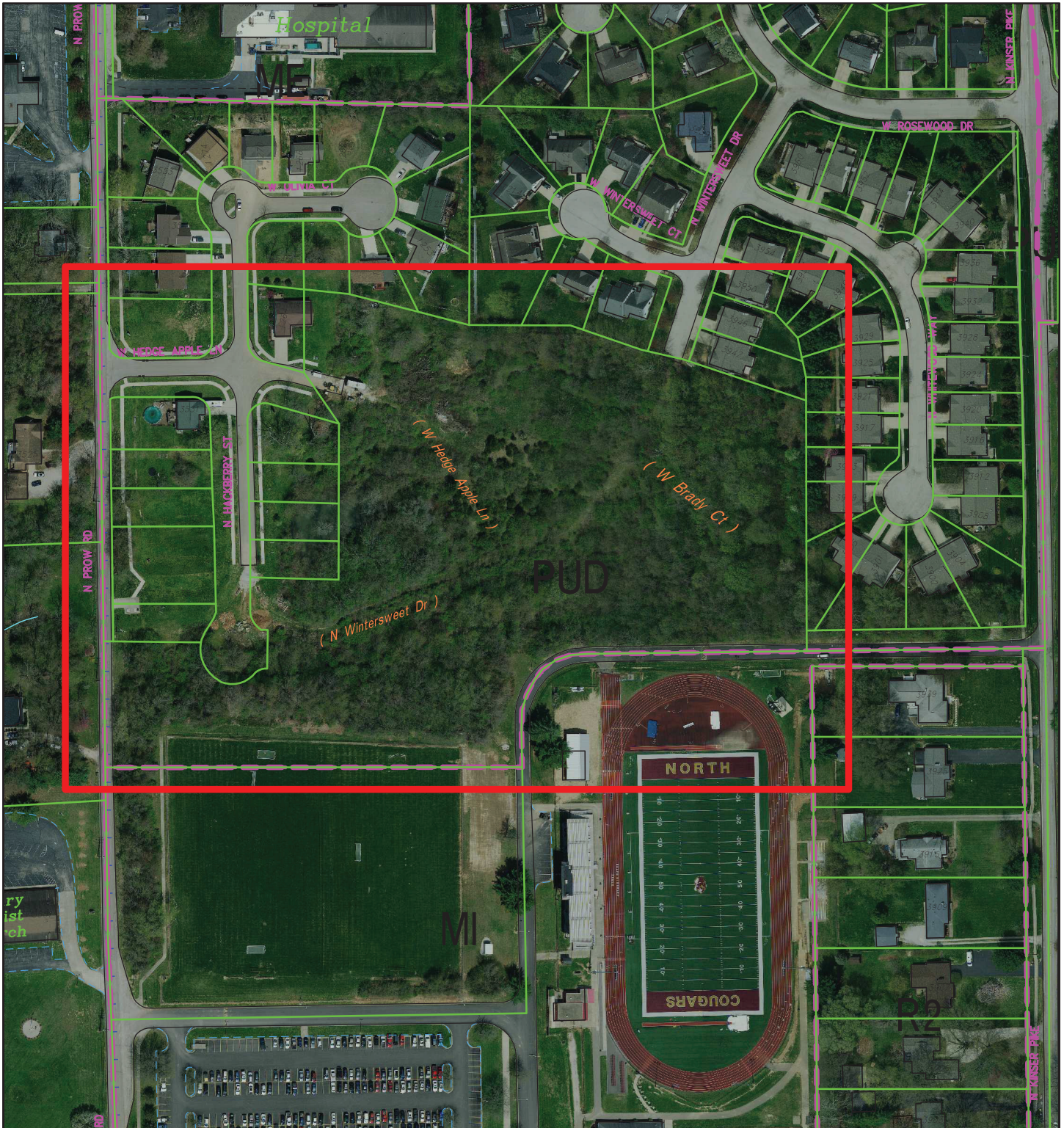


For reference only; map information NOT warranted.

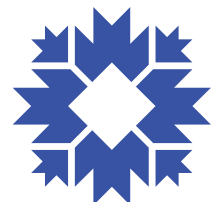
City of Bloomington  
Planning



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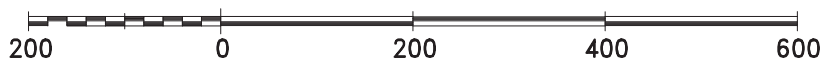


City of Bloomington  
Planning

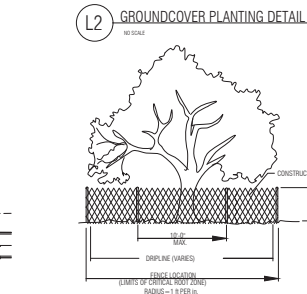
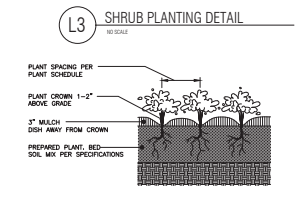
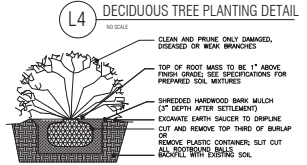
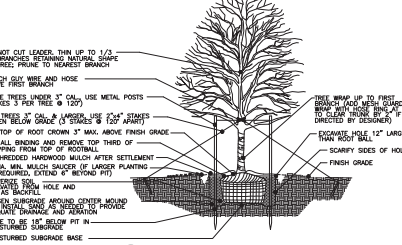
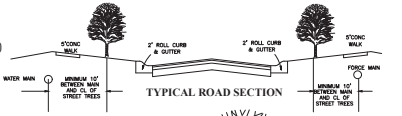
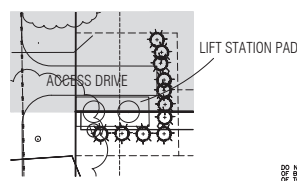
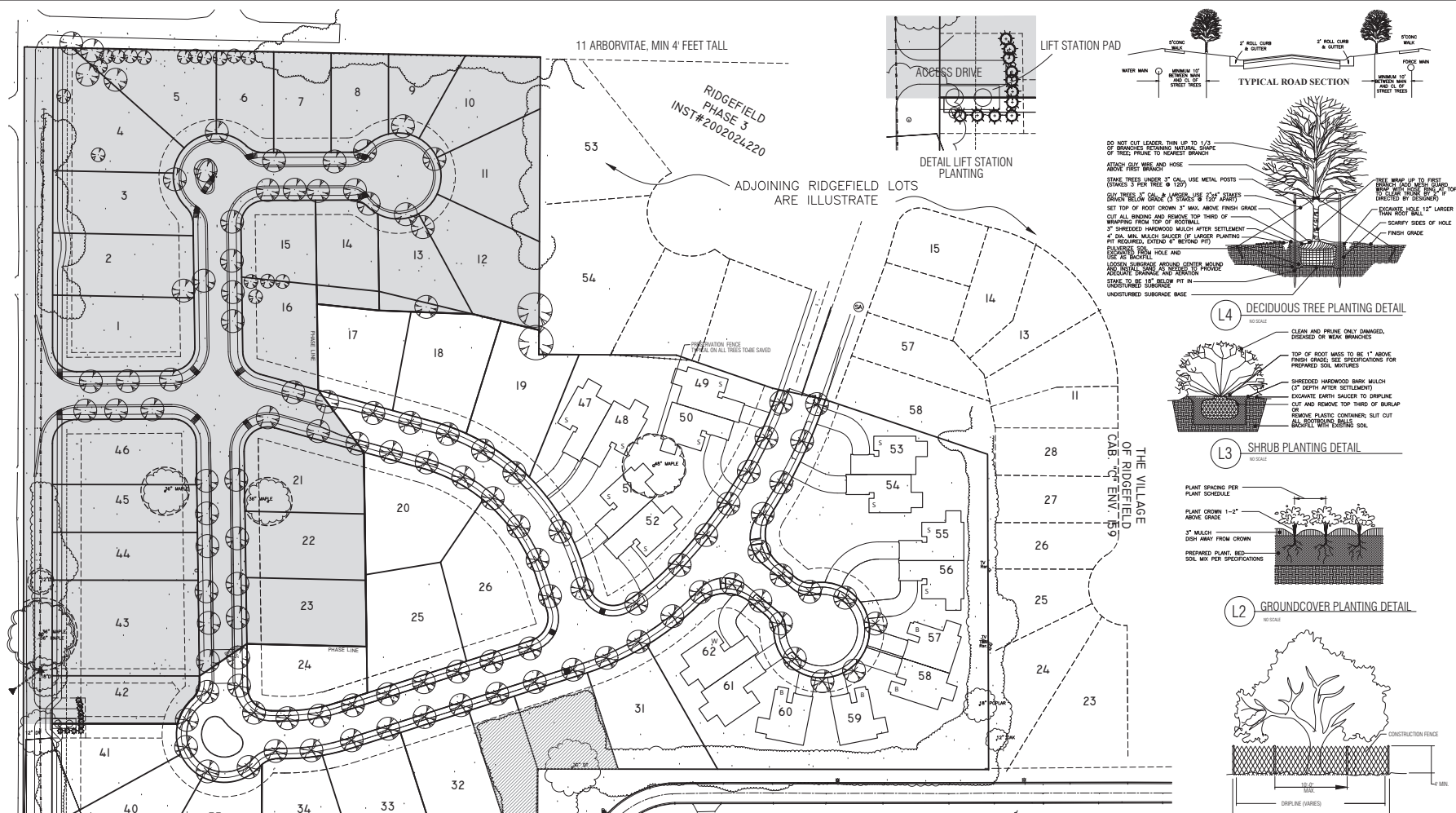


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By: scanlanj  
30 Jul 21



For reference only; map information NOT warranted.



LAND OF THE  
"MONROE COUNTY SCHOOL CORPORATION"  
PER INST#2007003383  
DR 196, PG 293

**PLANTING NOTES:**

1. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND VERIFY SITE CONDITION INFORMATION ON DRAWINGS PRIOR TO STARTING WORK. PROMPTLY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE INFORMATION SHOWN ON THE PLAN TO DESIGNER AND OWNER. THE OWNER IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES AND CONDITIONS SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON THE LANDSCAPE PLAN. PLANT MATERIAL QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE TO THOSE ON THE PLANT LIST.
3. ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z 60-1996 AND CURRENT ASSOCIATION OF AMERICAN NURSERYMEN STANDARDS. NO PINK GRADE MATERIAL SHALL BE ACCEPTED.
4. SPECIMEN SIZES INDICATED ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. LARGER SPECIMENS MAY BE UTILIZED.
5. ALL PLANTING MASSING TO BE CONTAINED WITHIN MULCH BEDS AND RECEIVE 4" THICK SHREDED HARDWOOD MULCH OVER WEED BARRIER. ALL TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 4" MIN. DIAMETER MULCH RING AT BASE.
6. ALL LANDSCAPE AREAS NOT MULCHED SHALL BE SEEDED OR SOODED AS INDICATED, UNLESS NOTED OTHERWISE. ALL OTHER AREAS DISTURBED, GRADED OR OTHERWISE MODIFIED BY NEW CONSTRUCTION SHALL RECEIVE 6" OF TOP SOIL AND SEED. SEE SPECIFICATIONS FOR SEEDING REQUIREMENTS.
7. ALL PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISH GRADE AS THE PLANT'S ORIGINAL GRADE PRIOR TO DIGGING. ALL PLANTS SHALL BE SET PLUMB, UNLESS CONTRACT NOTES OTHERWISE. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES. HOWEVER, IT SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL THE END OF CONTRACTED GUARANTEE PERIOD.
8. ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THROUGHOUT TO ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL.
9. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING PLANT MATERIAL UNTIL TIME OF ACCEPTED ESTABLISHMENT.
10. ALL PLANTING BED EDGES TO BE SPADE CUT UNLESS SPECIFIED WITH MOW STRIP OR OTHER INSTALLED EDGING.
11. TRANSPORTATION METHODS FOR TREES TO BE RELOCATED SHALL BE DETERMINED BY CONTRACTOR. RELOCATED SPECIMENS SHALL BE MAINTAINED UNTIL RE-ESTABLISHED.
12. PLACE BIODIVERSITY STRIP BARRIER NORTH AMERICAN GREEN SYSTEM OR APPROVED EQUAL ON SLOPES EXCEEDING 3:1 OR AS OTHERWISE INDICATED OR DIRECTED BY ENGINEER.
13. COORDINATE LANDSCAPE PLAN WITH ALL WATER QUALITY AND EROSION CONTROL MEASURES.
14. IF OWNER REQUESTS, PLANTS SHALL BE STAKED AND/OR FIELD-LOCATED BY DESIGNER WITH CONTRACTOR. FINAL LOCATIONS OF TREES SHOULD BE ADJUSTED IF NEEDED TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
15. ANY PLANT MATERIAL, SUBSTITUTIONS INSTALLED WITHOUT APPROVAL FROM DESIGNER AND/OR OWNER SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.

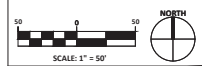
NOW OR FORMERLY  
THE RUTH KIVETT JENSEN TRUST  
INST# 2001004875  
4.40 ACRES EXCEPT  
PER 400 / 514

**TREE SCHEDULE @ HIGH SCHOOL FENCE**

NO.	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
BN	BETULA NIGRA	SWAMP BIRCH	2" CALIPER	2
CT	CARYA TOMENTOSA	MOCKERNUT HICKORY	2" CALIPER	2
FG	FAGUS GRANDIFOLIA	AMERICAN BEECH	2" CALIPER	2
LT	LIRIODENDRON FILIPPEA	TULIP TREE	2" CALIPER	1

LEGEND  
WORK COMPLETED IN PHASE 1

GRIDFIELD SUBDIVISION  
SECTION V PHASE 2  
BLOOMINGTON, INDIANA  
FOR  
BOB SHAW  
BRCU Project No: 6015  
LANDSCAPE PLAN



Date: 01-23-2023 Issue: EXHIBIT

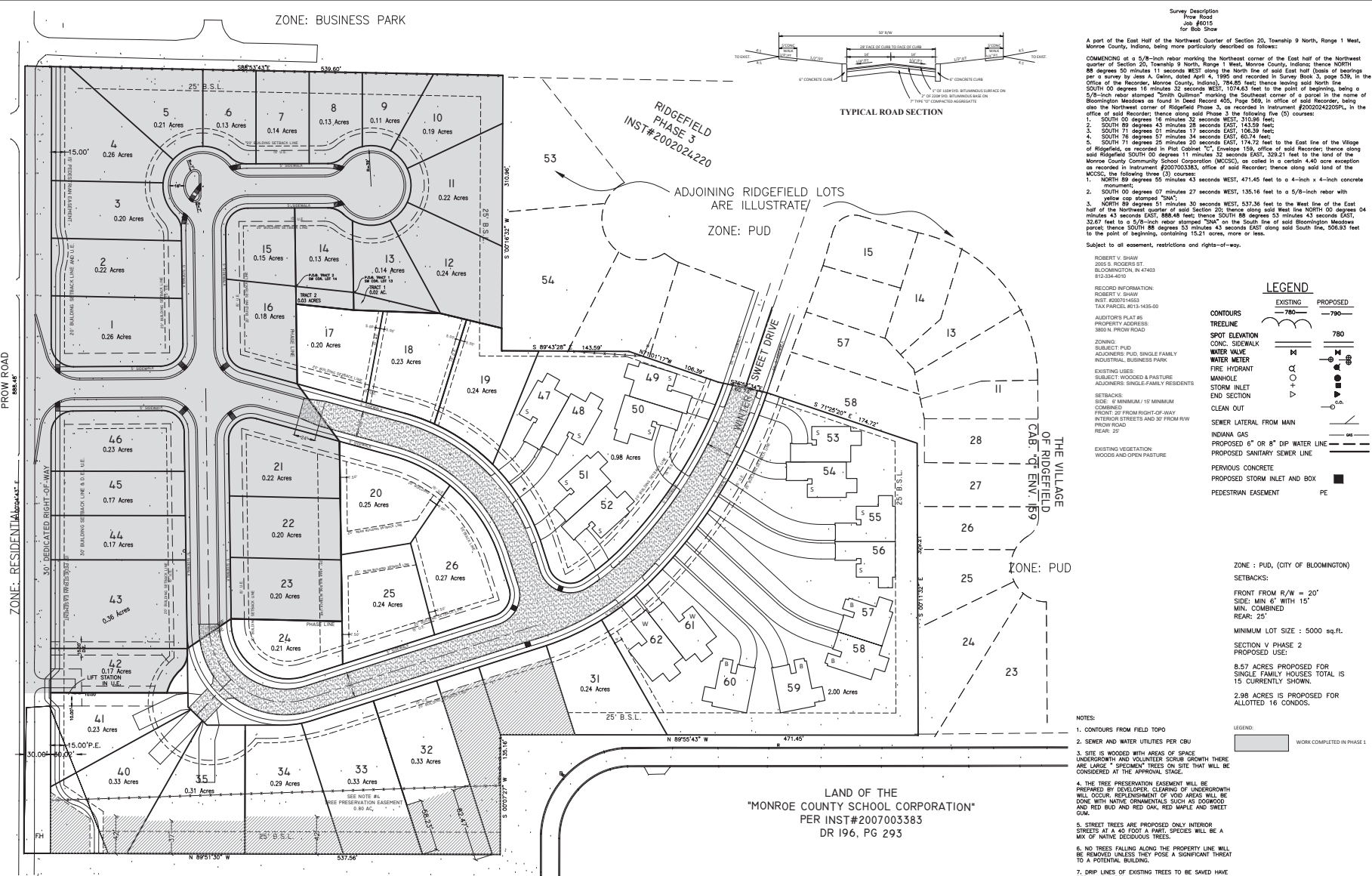
**REVISION SCHEDULE**

Rev. #	Rev. Description:	Issue Date

Drawn By: CDG & GMB  
Designed By: CDG & GMB  
Checked By: WSR

**C601**

ZONE: BUSINESS PARK



LAND OF THE  
"MONROE COUNTY SCHOOL CORPORATION"  
PER INST# 2007003383  
DR 196, PG 293

CURVE DATA TABLE

NUMBER	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	350'	95.79'	15°40'51"	48.20'	S 82°31'42" E	95.49'
C2	200'	198.80'	58°57'11"	108.46'	N 46°12'42" W	190.72'
C3	200'	62.43'	17°53'06"	31.43'	S 81°12'27" W	62.15'
C4	275'	133.15'	27°44'31"	67.91'	N 58°23'58" E	131.86'
C5	525'	235.05'	29°59'06"	119.81'	N 51°41'49" E	233.09'

NOW OR FORMERLY  
THE RUTH KIVETT JENSEN TRUST  
INST# 2001004875

LOT AND RESIDENTIAL UNIT  
TOTAL SINGLE FAMILY RESIDENTIAL - DETACHED - 36  
CONDENSING LOT - 16 UNITS ON 16 ACRES

Survey Description  
Prow Road  
Job #0115  
for Bob Shaw

A part of the East Half of the Northwest Quarter of Section 20, Township 9 North, Range 1 West, Monroe County, Indiana, being more particularly described as follows:  
COMMENCING 20' of the East Half of the Northwest Quarter of the East Half of the Northwest Quarter of Section 20, Township 9 North, Range 1 West, Monroe County, Indiana, thence NORTH 88 degrees 50 minutes 11 seconds WEST along the North line of said East Half (basis of bearings per a survey by Jess A. Gehl, dated April 4, 1995 and recorded in Survey Book 3, page 539, in the Office of the Recorder, Monroe County, Indiana, 784.80 feet; thence along said North line SOUTH 00 degrees 16 minutes 32 seconds WEST, 1074.63 feet to the point of beginning, being a 5/8-inch rebar stamped "Smith Quinn"; thence South East corner of a certain 4.40 acre easement on the Northeast corner of Ridgefield Phase 3, as recorded in Instrument #2002024220PL, in the office of said Recorder; thence along said Phase 3 the following five (5) courses:  
1. SOUTH 00 degrees 16 minutes 32 seconds WEST, 310.36 feet;  
2. SOUTH 89 degrees 43 minutes 28 seconds EAST, 143.59 feet;  
3. SOUTH 71 degrees 03 minutes 17 seconds EAST, 164.39 feet;  
4. SOUTH 78 degrees 57 minutes 34 seconds EAST, 65.74 feet;  
5. SOUTH 71 degrees 25 minutes 20 seconds EAST, 174.72 feet to the East line of the Village of Ridgefield, as recorded in Plat Cabinet "C", Envelope 159, office of said Recorder; thence along said Ridgefield SOUTH 00 degrees 11 minutes 23 seconds EAST, 508.21 feet to the East line of the Monroe County Community School Corporation (MCCSC), as called in a certain 4.40 acre easement as recorded in Instrument #2007003383, office of said Recorder; thence along said East line of the MCCSC, the following three (3) courses:  
1. SOUTH 00 degrees 07 minutes 27 seconds WEST, 135.16 feet to a 5/8-inch rebar with yellow cap stamped "SM";  
2. NORTH 89 degrees 51 minutes 30 seconds WEST, 537.36 feet to the West line of the East Half of the Northwest Quarter of said Section 20; thence along said West line NORTH 00 degrees 04 minutes 43 seconds EAST, 888.48 feet; thence SOUTH 88 degrees 53 minutes 43 seconds EAST, 32.67 feet to a 5/8-inch rebar stamped "SM" on the South line of said Bloomington Meadows parcel; thence SOUTH 88 degrees 53 minutes 43 seconds EAST along said South line, 508.93 feet to the point of beginning, containing 15.21 acres, more or less.  
Subject to all easement, restrictions and rights-of-way.

ROBERT V. SHAW  
208 S. ROBERTS ST.  
BLOOMINGTON, IN 47403  
812.334.4010

RECORD INFORMATION:  
ROBERT V. SHAW  
INSTRUMENT #1613-1435-00  
TAX PARCEL #13-1435-00

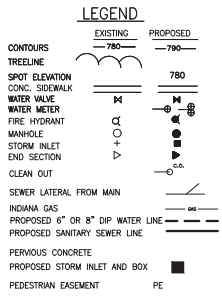
AUDITORS PLAT #5  
PROPERTY ADDRESS:  
3800 N. PROW ROAD

ZONING:  
SUBJECT: PUD  
ADJACERS: PUD, SINGLE FAMILY  
INDUSTRIAL, BUSINESS PARK

EXISTING USES:  
SUBJECT: WOODED & PASTURE  
ADJACERS: SINGLE-FAMILY RESIDENTS

SETBACKS:  
SIDE: 6' MINIMUM / 15' MINIMUM  
COMBINED  
FRONT: 20' FROM RIGHT-OF-WAY  
INTERIOR: SETBACKS AND 30' FROM R/W  
PROW ROAD  
REAR: 20'

EXISTING VEGETATION:  
WOODS AND OPEN PASTURE



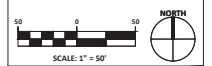
ZONE: PUD, (CITY OF BLOOMINGTON)  
SETBACKS:  
FRONT FROM R/W = 20'  
SIDE: MIN. 6' WITH 15'  
MIN. COMBINED  
REAR: 25'  
MINIMUM LOT SIZE: 5000 sq.ft.  
SECTION V PHASE 2  
PROPOSED USE:  
8.57 ACRES PROPOSED FOR  
SINGLE FAMILY HOUSES TOTAL IS  
15 CURRENTLY SHOWN.  
2.98 ACRES IS PROPOSED FOR  
ALLOTTED 16 CONDOS.

NOTES:

1. CONTOURS FROM FIELD TOPO
2. SEWER AND WATER UTILITIES PER CBU
3. SITE IS WOODED WITH AREAS OF SPACE UNDERGROWTH AND VOLUNTARY SCOUR GROWTH THERE ARE LARGE "SPECIMEN" TREES ON SITE THAT WILL BE CONSIDERED AT THE APPROVAL STAGE
4. THE TREE PRESERVATION EASEMENT WILL BE PREPARED BY DEVELOPER. CLEARING OF UNDERGROWTH WILL OCCUR RECONSTRUCTION OF WOOD AREAS WILL BE DONE WITH NATIVE ORNAMENTALS SUCH AS DOGWOOD AND RED BUD AND RED OAK, RED MAPLE AND SWEET GUM.
5. STREET TREES ARE PROPOSED ONLY INTERIOR STREETS AT 4-6 FOOT A PAVEMENT SPECIES WILL BE A MIX OF NATIVE DECIDUOUS TREES.
6. NO TREES FALLING ALONG THE PROPERTY LINE WILL BE REMOVED UNLESS THEY POSE A SIGNIFICANT THREAT TO A POTENTIAL BUILDING.
7. DRIP LINES OF EXISTING TREES TO BE SAVED HAVE BEEN MEASURED.
8. THE WATER QUALITY SWALES WILL DRAIN INTO THE EXISTING 24" CULVERT UNDER PROW ROAD AS SHOWN.
9. ALL STREETS SHALL HAVE A 5 FOOT WIDE CONCRETE SIDEWALK EACH SIDE.
10. ELECTRIC SERVICE BY DUKE ENERGY
11. NATURAL GAS BY VECTREN.
12. NOTE ALTERNATE SIDEWALK PLAN "R-2" AND PROW ROAD
13. SIDEWALKS MUST MAINTAIN ADA REQUIRED CROSS SLOPES AT ALL DRIVEWAYS.
14. ALL DRIVEWAY APRONS MUST BE CONSTRUCTED OF CONCRETE.



RIDGEFIELD SUBDIVISION  
SECTION V PHASE 2  
BLOOMINGTON, INDIANA  
FOR  
BOB SHAW  
BRCU Project No: 6015  
SITE PLAN

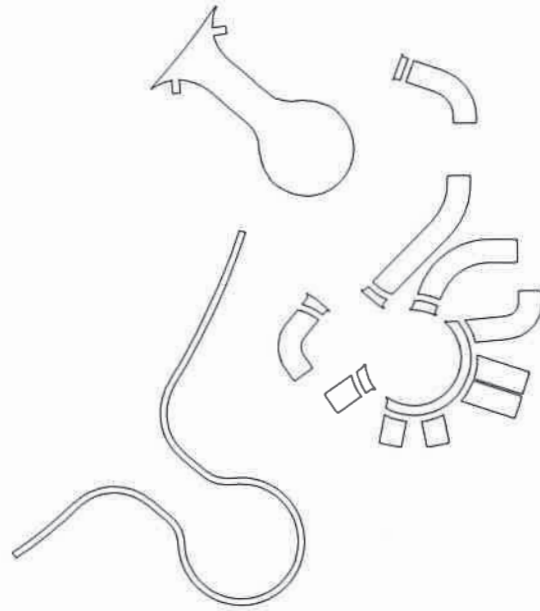


Date: Issue:  
01-23-2023 EXHIBIT

REVISION SCHEDULE		
Rev. #	Rev. Description:	Issue Date

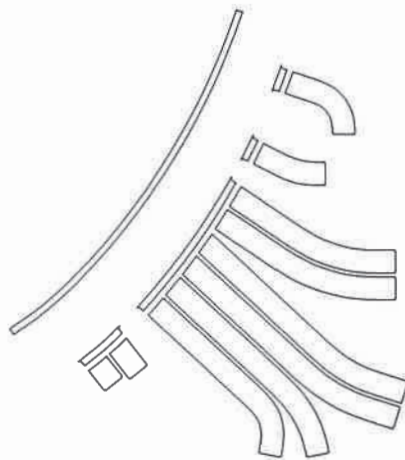
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Designed By: CDG & GBM  
Checked By: WSR

C301



Original Layout

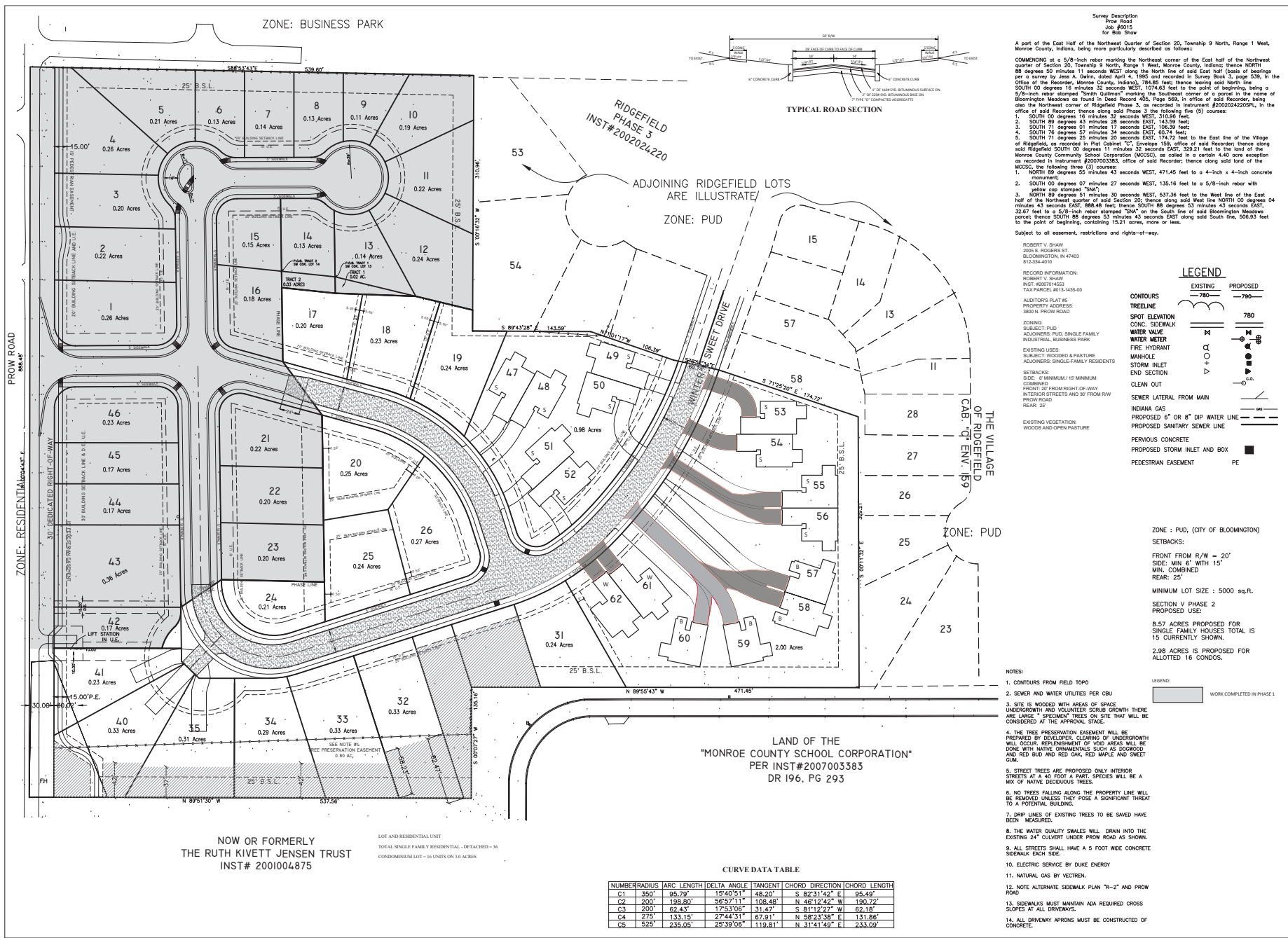
amount of pavement and sidewalk  
21,542.98 sf or 0.49 acres



New Exhibit Layout

amount of pavement and sidewalk  
24,174.50 sf or 0.55 acres  
This configuration increased impervious  
area by 2,631.52 sf





**Survey Description**  
 Proj. Road Job #0115 for Bob Shaw

A part of the East Half of the Northwest Quarter of Section 20, Township 9 North, Range 1 West, Monroe County, Indiana, being more particularly described as follows:

COMMENCING ON THE 5/8-inch rebar marking the Northeast corner of the East half of the Northwest quarter of Section 20, Township 9 North, Range 1 West, Monroe County, Indiana; thence NORTH 88 degrees 50 minutes 11 seconds WEST along the North line of said East half (basis of bearings per a survey by Jess A. Gehl, dated April 4, 1995 and recorded in Survey Book 3, page 539, in the Office of the Recorder, Monroe County, Indiana, 784.80 feet; thence along said North line SOUTH 00 degrees 16 minutes 32 seconds WEST, 1074.63 feet to the point of beginning, being a 5/8-inch rebar stamped "Smith Quinn"; thence S 60 degrees 00 minutes EAST, 154.72 feet to the Northeast corner of Ridgefield Phase 3, as recorded in Instrument #2002024220PL, in the office of said Recorder; thence along said Phase 3 the following five (5) courses:

- SOUTH 00 degrees 16 minutes 32 seconds WEST, 310.36 feet;
- SOUTH 89 degrees 43 minutes 28 seconds EAST, 143.59 feet;
- SOUTH 71 degrees 03 minutes 17 seconds EAST, 154.39 feet;
- SOUTH 76 degrees 57 minutes 34 seconds EAST, 65.74 feet;
- SOUTH 29 degrees 20 seconds EAST, 174.72 feet to the East line of the Village of Ridgefield, as recorded in Plat Cabinet "C", Envelope 159, office of said Recorder; thence along said Ridgefield SOUTH 00 degrees 11 minutes 20 seconds EAST, 308.21 feet to the land of the Monroe County Community School Corporation (MCCSC), as called in a certain 4.40 acre easement as recorded in Instrument #2007003383, office of said Recorder; thence along said land of the MCCSC, the following three (3) courses:

- NORTH 89 degrees 55 minutes 43 seconds WEST, 471.45 feet to a 4-inch x 4-inch concrete monument;
- SOUTH 09 degrees 07 minutes 27 seconds WEST, 135.16 feet to a 5/8-inch rebar with yellow cap stamped "SM";
- NORTH 89 degrees 51 minutes 30 seconds WEST, 537.36 feet to the West line of the East Half of the Northwest quarter of said Section 20; thence along said West line NORTH 00 degrees 04 minutes 43 seconds EAST, 888.48 feet; thence SOUTH 88 degrees 53 minutes 43 seconds EAST, 32.67 feet to a 5/8-inch rebar stamped "SM" on the South line of said Bloomington Meadows parcel; thence SOUTH 88 degrees 53 minutes 43 seconds EAST, 43 seconds EAST along said South line, 508.93 feet to the point of beginning, containing 15.21 acres, more or less.

Subject to all easement, restrictions and rights-of-way.

ROBERT V. SHAW  
 208 S. ROBERTS ST.  
 BLOOMINGTON, IN 47403  
 813.334.4010

RECORD INFORMATION:  
 ROBERT V. SHAW  
 INET 480748453  
 TAX PARCEL #613-1435-00

AUDITORS PLAT #5  
 PROPERTY ADDRESS:  
 3800 N. PROW ROAD

EXISTING USES:  
 SUBJECT PUD  
 ADJOINERS PUD, SINGLE FAMILY  
 INDUSTRIAL, BUSINESS PARK

EXISTING VEGETATION:  
 WOODS AND OPEN PASTURE

**LEGEND**

EXISTING	PROPOSED
CONTOURS	780
TREELINE	780
SPOT ELEVATION	780
CONC. SIDEWALK	780
WATER VALVE	780
WATER METER	780
FIRE HYDRANT	780
MANHOLE	780
STORM INLET	780
END SECTION	780
CLEAN OUT	780
SEWER LATERAL FROM MAN	780
INDIANA GAS	780
PROPOSED 6" OR 8" DIP WATER LINE	780
PROPOSED SANITARY SEWER LINE	780
PERVIOUS CONCRETE	780
PROPOSED STORM INLET AND BOX	780
PEDESTRIAN EASEMENT	780

EXISTING VEGETATION:  
 WOODS AND OPEN PASTURE

**LEGEND**

ZONE : PUD, (CITY OF BLOOMINGTON)  
 SETBACKS:  
 FRONT FROM R/W = 20'  
 SIDE: MIN. 6' WITH 15'  
 MIN. COMBINED  
 REAR: 25'  
 MINIMUM LOT SIZE : 5000 sq.ft.

SECTION V PHASE 2  
 PROPOSED USE:  
 8.57 ACRES PROPOSED FOR  
 SINGLE FAMILY HOUSES TOTAL IS  
 15 CURRENTLY SHOWN.

2.98 ACRES IS PROPOSED FOR  
 ALLOTTED 16 CONDOS.

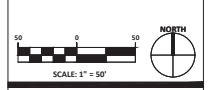
- NOTES:**
- CONTOURS FROM FIELD TOPO
  - SEWER AND WATER UTILITIES PER CBU
  - SITE IS WOODED WITH AREAS OF SPACE UNDERGROWTH AND VOLUNTARY SCOUR GROWTH THERE ARE LARGE "SPECIMEN" TREES ON SITE THAT WILL BE CONSIDERED AT THE APPROVAL STAGE
  - THE TREE PRESERVATION EASEMENT WILL BE PREPARED BY DEVELOPER. CLEARING OF UNDERGROWTH WILL OCCUR. RE-PLANTING OF WOOD AREAS WILL BE DONE WITH NATIVE ORNAMENTALS SUCH AS DOGWOOD AND RED BUD AND RED OAK, RED MAPLE AND SWEET GUM.
  - STREET TREES ARE PROPOSED ONLY INTERIOR STREETS AT 4-6 FOOT A PAVT. SPECIES WILL BE A MIX OF NATIVE DECIDUOUS TREES.
  - NO TREES FALLING ALONG THE PROPERTY LINE WILL BE REMOVED UNLESS THEY POSE A SIGNIFICANT THREAT TO A POTENTIAL BUILDING.
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  - ALL STREETS SHALL HAVE A 5 FOOT WIDE CONCRETE SIDEWALK EACH SIDE.
  - ELECTRIC SERVICE BY DUKE ENERGY
  - NATURAL GAS BY VECTREN.
  - NOTE ALTERNATE SIDEWALK PLAN 78-2" AND PROW ROAD
  - SIDEWALKS MUST MAINTAIN ADA REQUIRED CROSS SLOPES AT ALL DRIVEWAYS.
  - ALL DRIVEWAY APRONS MUST BE CONSTRUCTED OF CONCRETE.



REV. #	REV. DESCRIPTION	ISSUE DATE

**LEGEND**

WORK COMPLETED IN PHASE 1



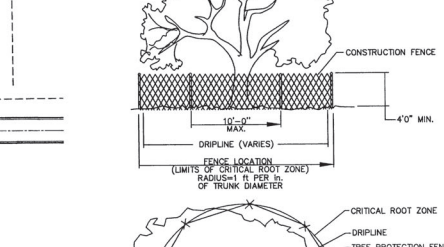
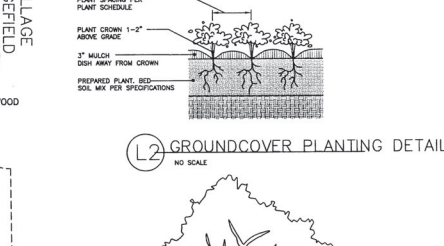
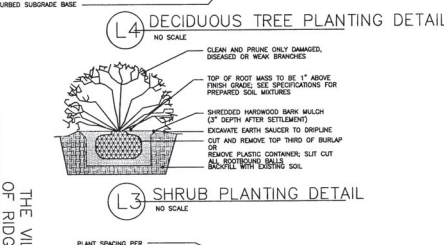
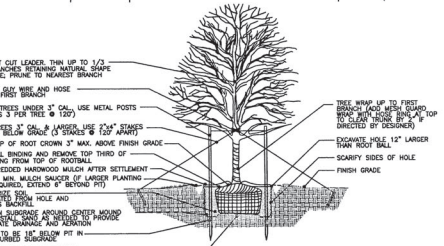
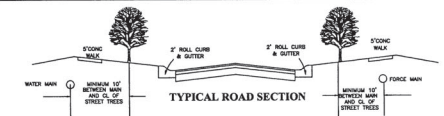
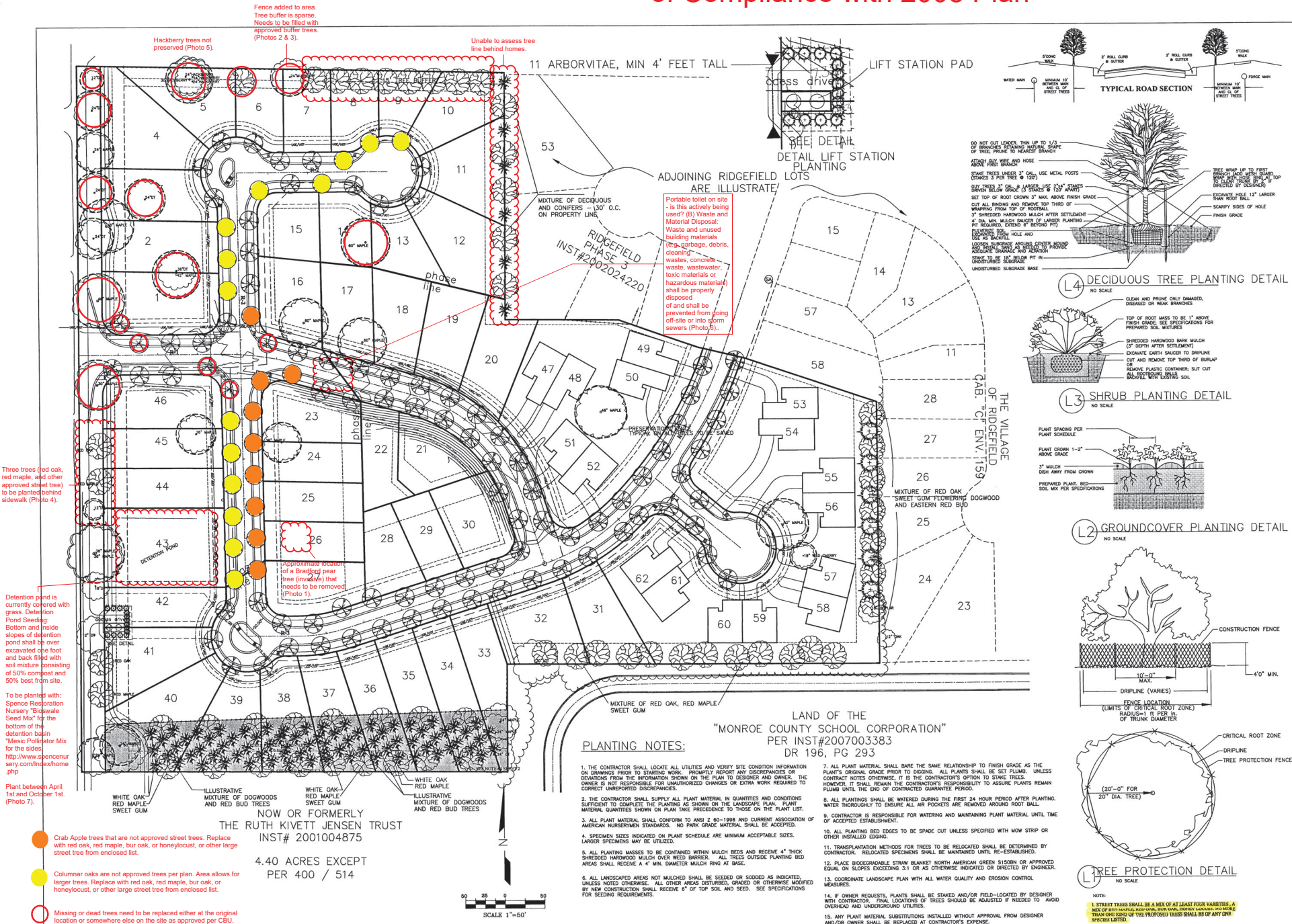
Date: Issue:  
 01-23-2023 EXHIBIT

**REVISION SCHEDULE**

Rev. #	Rev. Description	Issue Date

Drawn By: GBM  
 Designed By: CDG & GBM  
 Checked By: WSR

**C301**



LAND OF THE  
"MONROE COUNTY SCHOOL CORPORATION"  
PER INST#2007003383  
DR 196, PG 293

- PLANTING NOTES:**
1. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND VERIFY SITE CONDITION INFORMATION ON DRAWINGS PRIOR TO STARTING WORK. PROMPTLY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE INFORMATION SHOWN ON THE PLAN TO DESIGNER AND OWNER. THE OWNER IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
  2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES AND CONDITIONS SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON THE LANDSCAPE PLAN. PLANT MATERIAL QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE TO THOSE ON THE PLANT LIST.
  3. ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z 60-1998 AND CURRENT ASSOCIATION OF AMERICAN NURSERYMEN STANDARDS. NO PARK GRADE MATERIAL SHALL BE ACCEPTED.
  4. SPECIMEN SIZES INDICATED ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. LARGER SPECIMENS MAY BE UTILIZED.
  5. ALL PLANTING MASSSES TO BE CONTAINED WITHIN MULCH BEDS AND RECEIVE 4" THICK SHREDED HAWKWOOD MULCH OVER BEDS BARRIER. ALL TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 4" MIN. DIAMETER MULCH RING AT BASE.
  6. ALL LANDSCAPED AREAS NOT MATCHED SHALL BE SEEDED OR SOODED AS INDICATED, UNLESS NOTED OTHERWISE. ALL OTHER AREAS DESTROYED GRASS OR OTHERWISE MODIFIED BY NEW CONSTRUCTION SHALL RECEIVE 6" OF TOP SOIL AND SEED. SEE SPECIFICATIONS FOR SEEDING REQUIREMENTS.
  7. ALL PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISH GRADE AS THE PLANT'S ORIGINAL GRADE PRIOR TO DIGGING. ALL PLANTS SHALL BE SET PLUMB, UNLESS CONTRACT NOTES OTHERWISE, IT IS THE CONTRACTOR'S OPTION TO STAKE TREES. HOWEVER, IT SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL THE END OF CONTRACTED GUARANTEE PERIOD.
  8. ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THOROUGHLY TO ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT ROOT BALL.
  9. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING PLANT MATERIAL UNTIL TIME OF ACCEPTED ESTABLISHMENT.
  10. ALL PLANTING BED EDGES TO BE SPADE OUT UNLESS SPECIFIED WITH MOW STRIP OR OTHER INSTALLED EDGING.
  11. TRANSPLANTATION METHODS FOR TREES TO BE RELOCATED SHALL BE DETERMINED BY CONTRACTOR. RELOCATED SPECIMENS SHALL BE MAINTAINED UNTIL RE-ESTABLISHED.
  12. PLACE BIOERODIBLE STRAW BLANKET NORTH AMERICAN GREEN SYSTEM OR APPROVED EQUAL ON SLOPES EXCEEDING 3:1 OR AS OTHERWISE INDICATED OR DIRECTED BY ENGINEER.
  13. COORDINATE LANDSCAPE PLAN WITH ALL WATER QUALITY AND EROSION CONTROL MEASURES.
  14. IF OWNER REQUESTS, PLANTS SHALL BE STAKED AND/OR FIELD-LOCATED BY DESIGNER WITH CONTRACTOR. FINAL LOCATIONS OF TREES SHOULD BE ADJUSTED IF NEEDED TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
  15. ANY PLANT MATERIAL SUBSTITUTIONS INSTALLED WITHOUT APPROVAL FROM DESIGNER AND/OR OWNER SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.

DATE	BY	DESIGN	CHECK	APPROVE	SCALE	SHEET NO.	TOTAL SHEETS

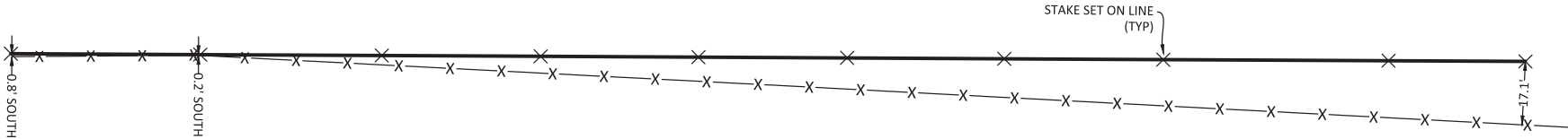
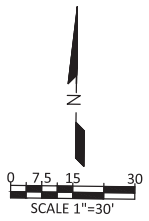
**Blodcoe Riggert Guerretaz**  
LAND SURVEYING - CIVIL ENGINEERING  
1010327  
STATE OF INDIANA  
P.O. Box 10000, Bloomington, IN 47403  
P: 812-338-8677  
F: 812-338-8671

**RIDGEFIELD SUBDIVISION  
PHASE 4  
BLOOMINGTON, INDIANA**

FOR  
**BOB SHAW**

SURVEYED BY: K.S. & J.W.	DRAWN BY: G.S.K.
CHECKED BY: B.R.B.	DATE: JULY 2006
<b>LANDSCAPE PLAN</b>	
<b>5</b>	<b>15</b>
PROJECT NO. <b>6015</b>	

FENCE EXHIBIT  
JOB No. 6015



Aerials of fence line along southern lot line and area with no trees for reference



**Bledsoe Riggert Cooper James**  
LAND SURVEYING • CIVIL ENGINEERING • GIS

November 28, 2022

Jackie Scanlan, AICP  
Development Services Manager  
City of Bloomington Planning and Transportation Department  
Shower Building Suite 130  
401 N. Morton St  
Bloomington, Indiana 47404

via email: [scanlanj@bloomington.in.gov](mailto:scanlanj@bloomington.in.gov)

Re: Ridgefield Subdivision  
North Prow Road: 3500 Block of N. Hackberry Street  
Petitioner's Statement

Dear Jackie,

On behalf of our client, Robert Shaw, we respectfully request to be placed on the December 2022 Plan Commission agenda for consideration of Final Plan approval, Preliminary Plat amendment, and waiver requests for Ridgefield PUD and Subdivision Section V.

This is the final phase of the Ridgefield Subdivision. Located east of Prow Road along the northern edge of the Bloomington North High School campus, this portion of the subdivision is bounded by churches and single-family residences to the west; the Bloomington Meadows facility and single-family residences to the north; and duplexes to the east. Within this 8.57 acre section, we are proposing 14 single family home sites ranging from 0.21 to 0.33 acres; a 0.80 acre tree preservation easement; a pedestrian access easement with a walkway to the high school campus; and two condominium parcels consisting of 0.98 acres with six units and 2.00 acres with ten units respectively. Utilities for this phase will be extended from those constructed in Phase 1. Water will be extended northeast along Winterstreet Drive to connect to the existing 12" water main constructed under a previous section of Ridgefield. The stormwater detention basin constructed in Phase 1 was sized to accommodate the development of Phase 2. We propose to continue the use of the 50' right-of-way with 5' sidewalks as presented in the preliminary plat. However, we are widening the street width from 20' to 28' to accommodate on street parking.

Our request to amend the preliminary plat includes reducing the number of single-family lots along the east side of Hackberry Street in Phase 1 by one; reducing the number of lots in Phase 2 by seven; and reconfiguring the tree preservation easement to allow for wider, more accommodating, single-family home sites.

In addition, we request a waiver from the subdivision development standards to allow for an eyebrow type cul-de-sac to be placed at the intersection of Hackberry Street and Wintersweet Drive and a cul-de-sac to be placed at the end of Bradley Court. These cul-de-sacs were presented on the preliminary plat in 2008 and are consistent with the balance of the Ridgefield Subdivision. They are essential to provide street access and to allow for full development of the southwest and southeast corners of this final phase of the subdivision.

We are also working to address the outstanding public improvement deficiencies within Phase 1 that were outlined by staff. As requested, we have prepared engineered plans for select sidewalk and ramp replacement and installation of detectable warning elements on ramps to ensure compliance with ADA Guidelines and the Public Right-of-Way Accessibility Guidelines (PROWAG). We are submitting these plans for your review as well as staff's review. Once we have staff acceptance of the plans, we will prepare engineer's estimates for the associated public improvements and erosion control measures. We will then obtain and submit the respective bonds so a grading permit can be released to allow us to proceed with the corrective measures. It should be noted that we are committed to implementing the approved street lighting plan and addressing any remaining street tree deficiencies.

Ridgefield Subdivision  
Petitioner's Statement  
November 28, 2022  
Page 2 of 2

We respectfully request your positive consideration of our requests for this final phase of the Ridgefield PUD.

Please let me know if you have any questions or concerns or if you need any additional information.

Sincerely,

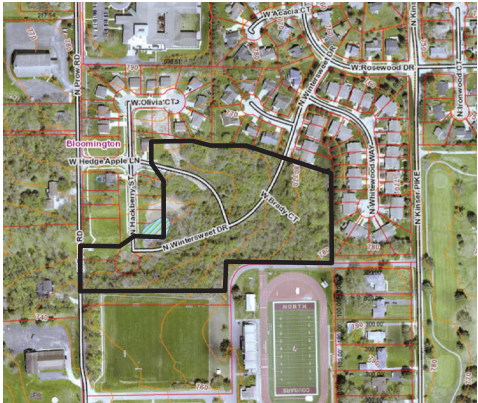
A handwritten signature in blue ink, appearing to read "W. S. Riggert".

William S. Riggert, PE  
Principal

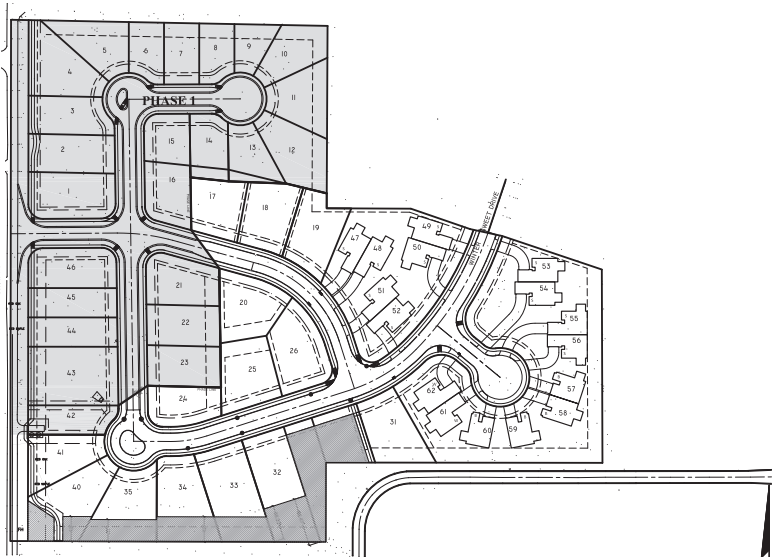
ec: Robert Shaw

xc: File - Project 6015

# RIDGEFIELD SUBDIVISION SECTION V PHASE 2 FOR BOB SHAW



LOCATION MAP  
NOT TO SCALE



## SHEET INDEX

SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C201	STORMWATER POLLUTION PREVENTION - NOTES
C202	STORMWATER POLLUTION PREVENTION - PLAN
C203	STORMWATER POLLUTION PREVENTION - DETAILS
C301	SITE PLAN
C401	GRADING PLAN
C501	UTILITY PLAN
C601	LANDSCAPE
C701	ROAD PROFILES R-1
C702	ROAD PROFILES R-2
C703	ROAD PROFILES R-3, R-4
C704	SANITARY SEWER PROFILE S-1 (FOR REFERENCE)
C705	SANITARY SEWER PROFILE S-2
C706	SANITARY SEWER PROFILE S-3
C707	FORCE MAIN (FOR REFERENCE)
C801	DETAILS
C802	SPECIFICATIONS



DATE	ISSUE:		
11-28-2022	ISSUED FOR PERMIT		
REVISIONS		BY	DATE

*W.S.W.*  
CERTIFIED







**GENERAL NOTES**

1. INSTALL PROPOSED CONSTRUCTION/STORMWATER POLLUTION PREVENTION DEVICES PRIOR TO EARLY DISTURBING ACTIVITIES.
2. MODIFY AND MAINTAIN CONSTRUCTION/STORMWATER POLLUTION PREVENTION DEVICES AS NECESSARY TO ENSURE PROPER OPERATION THROUGHOUT THE PROJECT.
3. REMOVE ALL CONSTRUCTION/STORMWATER POLLUTION PREVENTION DEVICES UPON COMPLETION OF THE PROJECT OR AS OTHERWISE DIRECTED BY THE ENGINEER.
4. THIS PLAN SHOWS THE MINIMUM LIMITS OF DISTURBANCE. DISTURBANCE BEYOND THESE LIMITS SHALL BE RESTORED & FINISH GRADED WITH 6" OF TOPSOIL, AND SEED UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
5. REFER TO STORMWATER POLLUTION PREVENTION PLAN - NOTES FOR ADDITIONAL INFORMATION.
6. REFER TO STORMWATER POLLUTION PREVENTION PLAN - DETAILS FOR DETAILS.
7. CONTRACTOR TO TAKE THE NECESSARY MEASURES TO INSURE THERE IS NO TRACKING OF SOIL OR OTHER MATERIALS ONTO STREETS OR WALKWAYS, ON-SITE OR OFF-SITE. ANY TRACKING SHALL BE REMOVED IMMEDIATELY.
8. OVERALL SITE AREA = 15.21 ACRES, PHASE 4 AREA OF DISTURBANCE IS 8.76 ACRES.

**PLAN NOTES**

1. DISCHARGE POINT DIRECTION WHERE RUNOFF LEAVES THE SITE.
2. ANCHOR MULCH AREA DIRECTLY AFTER SEEDING.
3. GRAVEL DOWNDROP INLET PROTECTION - REFER TO STORMWATER POLLUTION PREVENTION PLAN - DETAILS.
4. STOOPING AREA.

**CONSTRUCTION SCHEDULE**

1. CONTACT THE CITY OF BLOOMINGTON TO COORDINATE A PRE-CONSTRUCTION MEETING. THIS SHOULD BE COORDINATED BY THE CONSTRUCTION PROJECT MANAGER.
2. INSTALL PROPOSED CONSTRUCTION AND STORM WATER POLLUTION PREVENTION DEVICES AND/OR MEASURES AT THE CONSTRUCTION LIMITS AS SOON AS WORK IS PERMITTED AND PRIOR TO EARLY DISTURBING ACTIVITIES.
3. PROCEED WITH GRADING ASSOCIATED WITH THE NEW ROADWAY, AND SITE UTILITIES.
4. ESTABLISH GRASS AROUND PERIMETER OF THE REQUIRED SITE IMPROVEMENTS, THEN INSTALL THE ADDITIONAL REQUIRED EROSION CONTROL MEASURES.
5. INSTALL NEW UTILITIES, WALKS AND CONCRETE CURBS.
6. THEN INSTALL CONCRETE AND ASPHALT PAVEMENT.
7. IF THE SITE IS DOMINANT FOR MORE THAN 7 DAYS, TEMPORARY SEEDING WILL BE REQUIRED OVER THE AREA DISTURBED DURING THE SITE INSTALLATION.
8. CONTINUED MONITORING OF THE EROSION CONTROL MEASURES WILL BE REQUIRED EVEN IF THE SITE IS DOMINANT TO INSURE THAT THE MEASURES ARE MAINTAINED IN PROPER WORKING ORDER.
9. PLANT A SEED MIXTURE AS INDICATED ON PLANS.
10. REMOVE SILT FENCE AS DIRECTED BY MSA COORDINATOR AFTER SITE IS STABILIZED BY VEGETATIVE COVER AND HARDSCAPE.

**Statement to Contractor:**

The plans constitute the minimum measures necessary to be in compliance. Should adverse weather or excessive traffic give rise to additional protective measures being needed, the contractor should be prepared to use good judgement and implement those measures quickly and effectively to insure that storm water and sediment do not leave the site unfiltered, and that excessive erosion does not occur within the entire Project Area. Refer to the Indiana Storm Water Quality Manual provided by IDEM. The Indiana manual is available on-line @ [www.in.gov/ideem/8899.htm](http://www.in.gov/ideem/8899.htm)

**LEGEND**

- PHASE 1 COMPLETED
- PROPOSED CONTOURS
- EXISTING CONTOURS
- FILTER SOCK OR SILT FENCE - REFER TO DETAILS
- FINISH GRADE AND SEED THEN PLACE EROSION CONTROL BLANKET - REFER TO DETAIL.
- PYRAMID FILTER SOCK
- CONCRETE WASHOUT CONTAINMENT BAG OR DUMPSTER LINED WITH 12 MIL POLYETHYLENE. ALL CONCRETE WASTE MATERIAL TO BE DISPOSED OF OFF-SITE IN APPROVED LANDFILL.
- GRAVEL INLET PROTECTION - REFER TO DETAIL
- GRAVEL DOWNDROP INLET PROTECTION - REFER TO DETAIL
- UTILIZE EXISTING GRAVEL DRIVES AS CONSTRUCTION ENTRANCES AND MAINTAIN THROUGHOUT CONSTRUCTION.



**RIDGEFIELD SUBDIVISION SECTION V PHASE 2 BLOOMINGTON, INDIANA FOR BOB SHAW**  
BRCJ Project No: 6015

**STORMWATER POLLUTION PREVENTION PLAN**



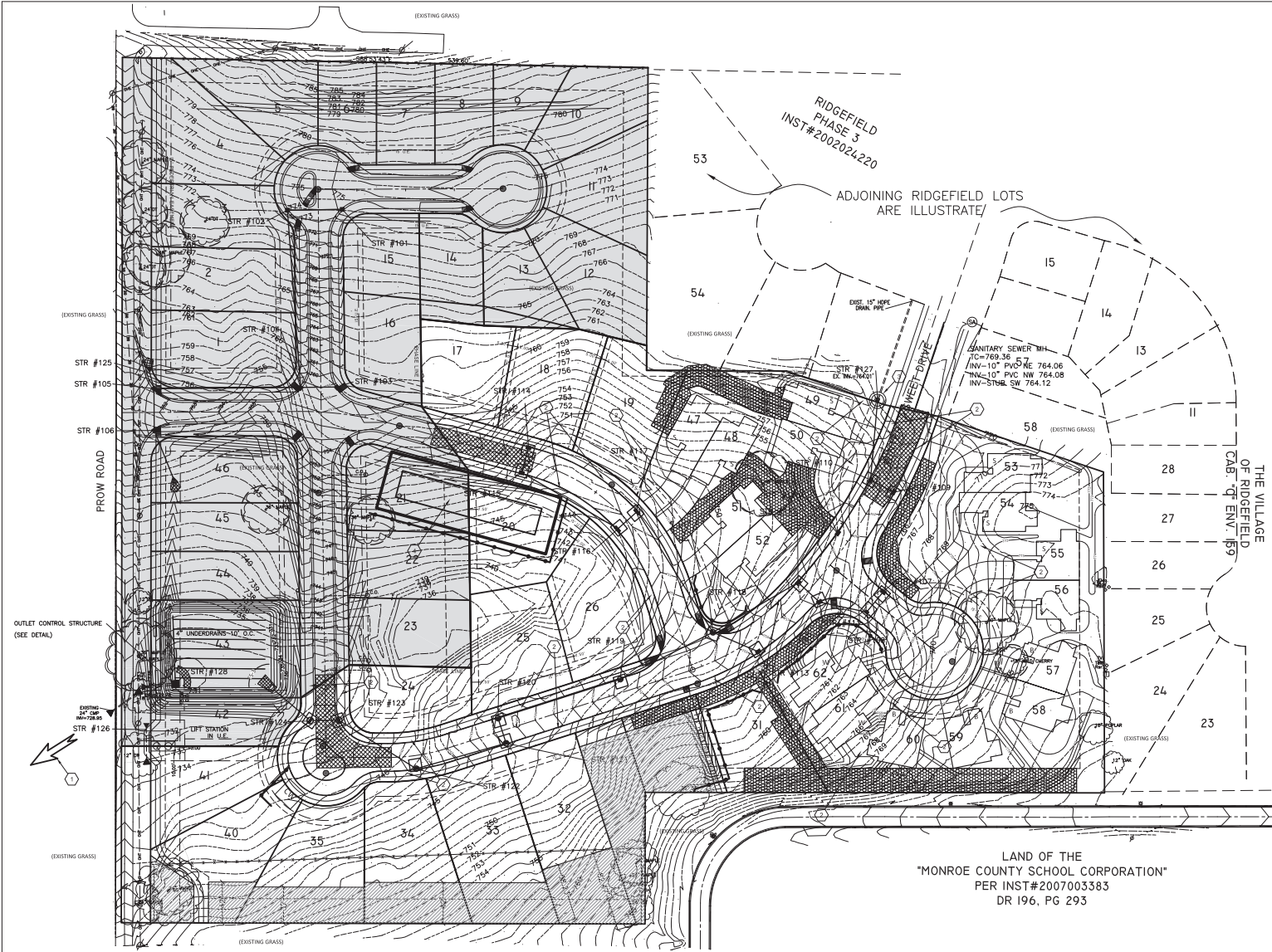
Date: 11-28-2022 Issue: ISSUED FOR PERMIT

**REVISION SCHEDULE**

Rev. #	Rev. Description	Issue Date

Drawn By: GBM  
Designed By: GBM  
Checked By: WSR

**C202**



LAND OF THE  
"MONROE COUNTY SCHOOL CORPORATION"  
PER INST#2007003583  
DR 196, PG 293



NOW OR FORMERLY  
THE RUTH KIVETT JENSEN TRUST  
INST# 2001004875  
  
4.40 ACRES EXCEPT  
PER 400 / 514

**Practice 3.73**  
Vegetative Filter Strip (Permanent or Temporary)

**Purpose:** A vegetative filter strip is an area between a sediment producing area and a drainage pipe or an area that is not intended for sedimentation.

**Requirements:** 1. Type: Natural or non-native, permanent or temporary. 2. Location: Downstream of sediment producing area. 3. Capacity: Concentrated flow depth no greater than 2 in. 4. Maintenance: Maintain at a 6 to 8 inch height.

Soil Slope	Minimum Filter Strip Width	Minimum Filter Strip Length
2% to 5%	100'	100'
5% to 10%	150'	150'
10% to 15%	200'	200'
15% to 20%	250'	250'
20% to 25%	300'	300'
25% to 30%	350'	350'

**Installation:** TYPE TO INSTALL: 1. Minimum 3' deep. 2. Temporary filter strip may be used where possible (Practice 3.73).

**Maintenance:** 1. Prune regularly to maintain height. 2. Replenish soil as needed. 3. Remove sediment from the filter strip.

**INSTALLATION GUIDE SLOPES SC150BN**

**PYRAMD INSTALLATION**

SCOPE	SOCK DIAMETER	SOCK DEPTH	SOCK SPACING
2%	60"	100"	100"
5%	60"	120"	100"
10%	60"	80"	100"
15%	50"	40"	50"
20%	40"	30"	30"
25%	40"	30"	30"

**INSTALLATION GUIDE CHANNELS SC150BN**

**STAPLE PATTERN GUIDE**

Soil Slope	Staple Pattern
2% to 5%	Staple Pattern A
5% to 10%	Staple Pattern B
10% to 15%	Staple Pattern C
15% to 20%	Staple Pattern D
20% to 25%	Staple Pattern E
25% to 30%	Staple Pattern F

**VEGETATIVE FILTER STRIP**

**INSTALLATION:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay filter strip over the excavation. 3. Backfill with soil.

**Maintenance:** 1. Prune regularly. 2. Replenish soil as needed.

**INSTALLATION GUIDE SLOPES SC150BN**

**INSTALLATION GUIDE CHANNELS SC150BN**

**INSTALLATION GUIDE STAPLE PATTERNS SC150BN**

**INSTALLATION GUIDE ANCHOR MULCH**

**INSTALLATION GUIDE EROSION CONTROL BLANKET**

**INSTALLATION GUIDE TYPICAL LOT PROTECTION MEASURES**

**INSTALLATION GUIDE CONCRETE WASHOUT**

**INSTALLATION GUIDE GRAVEL DONUT INLET PROTECTION**

**SURFACE STABILIZATION**

**Mulching:** Mulching is the application of plant material to enhance and protect vegetative growth.

**Purpose:** To prevent erosion by protecting the soil from wind and water impact. To provide temporary surface stabilization. To prevent soil loss during construction. To conserve soil moisture, maintain soil temperature, and promote soil germination and seedling growth.

**Specifications:** Mulch should be applied to a minimum depth of 2 inches. Mulch should be applied to a maximum depth of 4 inches. Mulch should be applied to a maximum width of 4 feet.

**Mulching:** Coverage: The mulch should have a uniform density of at least 70 percent over the soil surface. Anchoring: The mulch should be anchored to the soil surface by using a minimum of 4 inches of soil.

**Anchor Mulch:** 1. Apply mulch to a depth of 2 to 4 inches. 2. Apply mulch to a maximum width of 4 feet. 3. Apply mulch to a maximum length of 4 feet.

**Erosion Control Blanket:** 1. Lay blanket over the erosion control area. 2. Anchor blanket to the soil surface.

**Typical Lot Protection Measures:** 1. Install erosion control blanket. 2. Install sediment trap. 3. Install silt fence.

**Concrete Washout:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay concrete washout blanket. 3. Backfill with soil.

**Gravel Donut Inlet Protection:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay gravel donut. 3. Backfill with soil.

**SILT FENCE INSTALLATION**

**TEMPORARY CONSTRUCTION DRIVE**

**ANCHOR MULCH**

**EROSION CONTROL BLANKET**

**TYPICAL LOT PROTECTION MEASURES**

**CONCRETE WASHOUT**

**GRAVEL DONUT INLET PROTECTION**

**INSTALLATION GUIDE:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay gravel donut. 3. Backfill with soil.

**INSTALLATION GUIDE:** 1. Lay erosion control blanket. 2. Anchor blanket to the soil surface.

**INSTALLATION GUIDE:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay concrete washout blanket. 3. Backfill with soil.

**INSTALLATION GUIDE:** 1. Lay mulch to a depth of 2 to 4 inches. 2. Anchor mulch to the soil surface.

**INSTALLATION GUIDE:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay sediment trap. 3. Backfill with soil.

**INSTALLATION GUIDE:** 1. Excavate to a depth of 4 to 6 inches. 2. Lay silt fence. 3. Backfill with soil.

**EROSION/SEDIMENT CONTROL PREVENTION CONTROL CONSTRUCTION SEQUENCE SHEET**

**CONSTRUCTION OPERATIONS:** 1. Stabilize bare areas immediately with gravel and temporary vegetation. 2. Install additional traps and barriers as needed during grading.

**CONSTRUCTION ACCESS:** 1. Install additional traps and barriers as needed during grading.

**SEMENT BARRIERS AND TRAPS:** 1. Install sediment traps and barriers as needed during grading.

**LAND CLEARING AND GRADING:** 1. Stabilize bare areas immediately with gravel and temporary vegetation.

**SURFACE STABILIZATION:** 1. Apply mulch to a depth of 2 to 4 inches.

**BUILDING CONSTRUCTION:** 1. Install sediment traps and barriers as needed during grading.

**MAINTENANCE:** 1. Prune regularly. 2. Replenish soil as needed.

**MEDACE RIGGETT COOPER JAMES**

**BRCA**

**LAND SURVEYS • CIVIL ENGINEERING • GPS**

1351 West Tapp Road Bloomington, Indiana 47403  
Phone: 812-338-8277 www.brcaj.com

BLOOMINGTON BEDFORD PADU

**RIDGEFIELD SUBDIVISION SECTION V PHASE 2 BLOOMINGTON, INDIANA FOR BOB SHAW**

BRCA Project No: 6015

**STORMWATER POLLUTION PREVENTION PLAN - DETAILS**

SCALE: 1" = 50'

DATE: 11-28-2022 ISSUE: ISSUED FOR PERMIT

REVISION SCHEDULE: Rev. # Rev. Description Issue Date

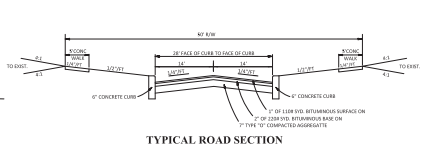
Drawn by: GBM  
Designed by: GBM  
Checked by: WSR

**NO. 870331 STATE OF INDIANA**

**Professional Engineer Seal**

**C203**

ZONE: BUSINESS PARK



Survey Description  
From Road  
Job #6015  
for Bob Shaw

A part of the East Half of the Northwest Quarter of Section 20, Township 9 North, Range 1 West, Monroe County, Indiana, being more particularly described as follows:

COMMENCING at a 5/8-inch rebar marking the Northeast corner of the East half of the Northwest quarter of Section 20, Township 9 North, Range 1 West, Monroe County, Indiana; thence NORTH 88 degrees 50 minutes 11 seconds WEST along the North line of said East half (Dists of bearings per a survey by Alex A. Deam, dated April 4, 1905 and recorded in Survey Map 3, page 539, in the Office of the Recorder, Monroe County, Indiana), 784.85 feet; thence leaving said North line SOUTH 00 degrees 16 minutes 32 seconds WEST, 310.96 feet;  
 2. SOUTH 89 degrees 43 minutes 23 seconds WEST, 143.59 feet;  
 3. SOUTH 71 degrees 01 minutes 17 seconds EAST, 106.39 feet;  
 4. SOUTH 76 degrees 07 minutes 34 seconds EAST, 60.74 feet;  
 5. SOUTH 71 degrees 25 minutes 20 seconds EAST, 174.72 feet to the East line of the Village of Ridgefield, as recorded in their Cabinet "C" (Envelope 109, office of said Recorder; thence along said Ridgefield SOUTH 00 degrees 11 minutes 32 seconds EAST, 329.21 feet to the land of the Monroe County Community School Corporation (MCCSC), as called in a certain 4.40 acre exception as recorded in Instrument #2007003353, office of said Recorder; thence along said land of the MCCSC, the following three (3) courses:  
 1. NORTH 89 degrees 50 minutes 43 seconds WEST, 471.45 feet to a 4-inch x 4-inch concrete monument;  
 2. SOUTH 00 degrees 07 minutes 27 seconds WEST, 135.16 feet to a 5/8-inch rebar with yellow cap stamped "041";  
 3. NORTH 89 degrees 31 minutes 30 seconds WEST, 537.36 feet to the West line of the East half of the Northwest quarter of said Section 20; thence along said West line NORTH 00 degrees 04 minutes 43 seconds EAST, 888.48 feet; thence SOUTH 88 degrees 53 minutes 43 seconds EAST, 324.87 feet to a 5/8-inch rebar stamped "SW" on the South line of said Bloomington Meadows parcel; thence SOUTH 88 degrees 53 minutes 43 seconds EAST along said South line, 506.93 feet to the point of beginning, containing 15.21 acres, more or less.

ROBERT V. SHAW  
2005 S. ROGERS ST.  
BLOOMINGTON, IN 47403  
812-334-0010

RECORD INFORMATION  
ROBERT V. SHAW  
INST. #2007003353  
TAX PARCEL #154345500

AUDITOR'S PLAT #5  
PROPERTY ADDRESS:  
300 N. PROW ROAD

ZONING:  
SUBJECT: PUD  
ADJACENTS: PUD, SINGLE FAMILY  
INDUSTRIAL, BUSINESS PARK

EXISTING USES:  
SUBJECT: WOODS & PASTURE  
ADJACENTS: SINGLE-FAMILY RESIDENTS

SETBACKS:  
SIDE: 4' MINIMUM / 15' MINIMUM COMBINED  
FRONT: 25' FROM RIGHT-OF-WAY  
INTERIOR STREETS AND 30' FROM R/W FROM ROAD  
REAR: 25'

EXISTING VEGETATION:  
WOODS AND OPEN PASTURE

LEGEND

- |                                  |          |
|----------------------------------|----------|
| EXISTING                         | PROPOSED |
| CONTOURS                         | 780      |
| CONTOURS                         | 790      |
| TREE LINE                        | 780      |
| SPOT ELEVATION                   |          |
| CONC. SIDEWALK                   |          |
| WATER VALVE                      |          |
| FIRE HYDRANT                     |          |
| MANHOLE                          |          |
| STORM INLET                      |          |
| END SECTION                      |          |
| CLEAN OUT                        |          |
| SEWER LATERAL FROM MAIN          |          |
| INDIANA GAS                      |          |
| PROPOSED 6" OR 8" DIP WATER LINE |          |
| PROPOSED SANITARY SEWER LINE     |          |
| PERVIOUS CONCRETE                |          |
| PROPOSED STORM INLET AND BOX     |          |
| PEDESTRIAN EASEMENT              | PE       |

ZONE: PUD, (CITY OF BLOOMINGTON)

SETBACKS:  
FRONT FROM R/W = 20'  
SIDE: MIN 6' WITH 15'  
MINI. COMBINED  
REAR: 25'  
MINIMUM LOT SIZE: 5000 sq.ft.  
SECTION V PHASE 2  
PROPOSED USE:  
6.57 ACRES PROPOSED FOR SINGLE FAMILY HOUSES TOTAL IS 15 CURRENTLY SHOWN.  
2.98 ACRES IS PROPOSED FOR ALLOTTED 16 CONDOS.

NOTES:

- CONTOURS FROM FIELD TOPO
- SEWER AND WATER UTILITIES PER CBU
- SITE IS WOODED WITH AREAS OF SPACE UNDERGROWTH AND VOLUNTARY SCRUB GROWTH THERE ARE LARGE "SPECIES" TREES IN SITE THAT WILL BE CONSIDERED AT THE APPROVAL STAGE.
- THE TREE PRESERVATION EASEMENT WILL BE PREPARED BY DEVELOPER. CLEARING OF UNDERGROWTH WILL OCCUR. REPLACEMENT OF VOID AREAS WILL BE DONE WITH NATIVE ORNAMENTALS SUCH AS DOGWOOD AND RED BUD AND RED OAK, RED MAPLE AND SWEET GUM.
- STREET TREES ARE PROPOSED ONLY INTERIOR STREETS AT A 40 FOOT A PART. SPECIES WILL BE A MIX OF NATIVE OCCURRING TREES.
- NO TREES FALLING ALONG THE PROPERTY LINE WILL BE REMOVED UNLESS THEY POSE A SIGNIFICANT THREAT TO A POTENTIAL BUILDING.
- DRIP LINES OF EXISTING TREES TO BE SAVED HAVE BEEN MEASURED.
- THE WATER QUALITY DRAKES WILL DRAIN INTO THE EXISTING 24" COLLECTOR UNDER PROW ROAD AS SHOWN.
- ALL STREETS SHALL HAVE A 5 FOOT WIDE CONCRETE SIDEWALK EACH SIDE.
- ELECTRIC SERVICE BY DUKE ENERGY.
- NATURAL GAS BY VECTREN.
- NOTE ALTERNATE SIDEWALK PLAN "R-2" FROM PROW ROAD
- SIDEWALKS MUST MAINTAIN ADA REQUIRED CROSS SLOPES AT ALL DRIVEWAYS.
- ALL DRIVEWAY APRONS MUST BE CONSTRUCTED OF CONCRETE.

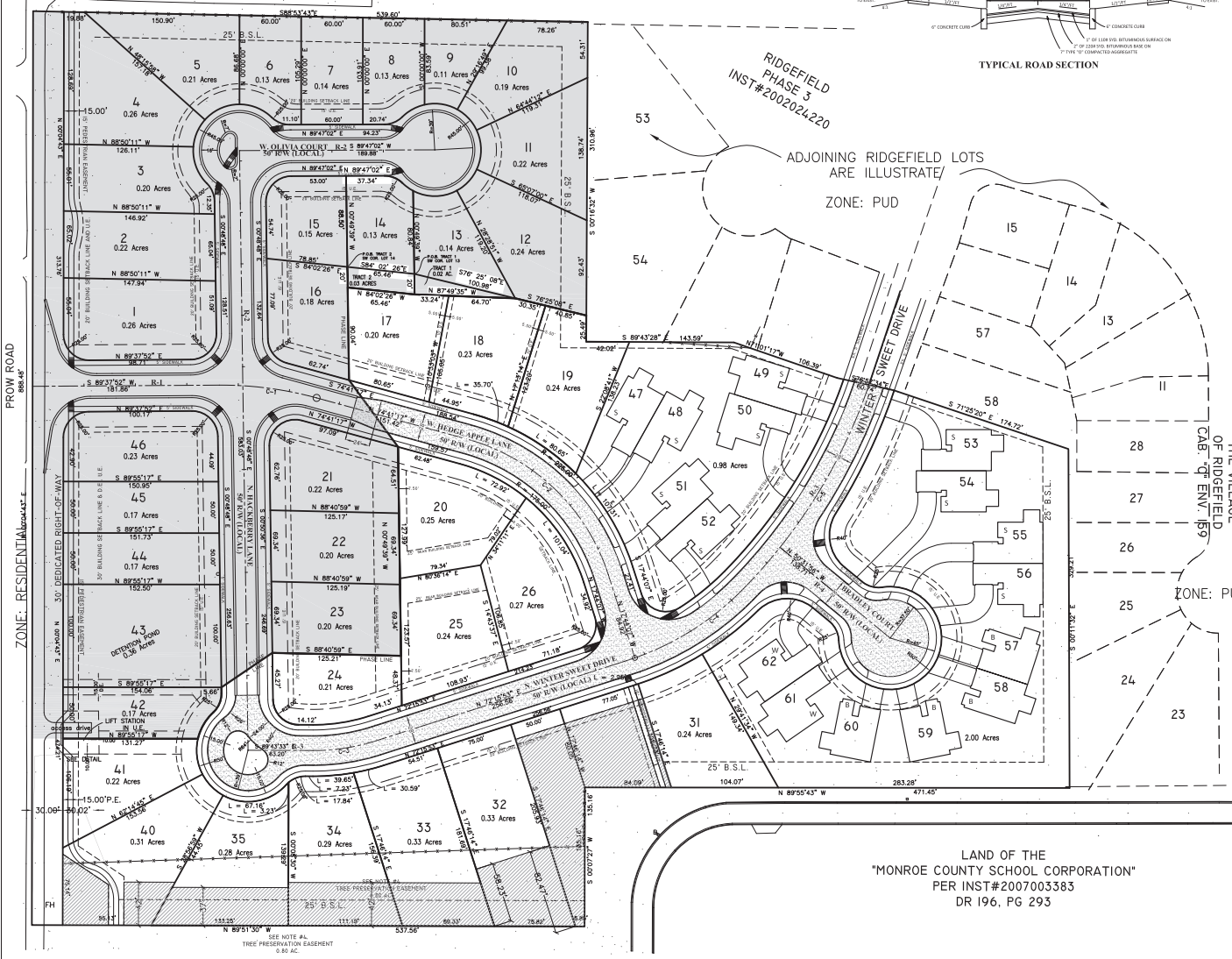
ADJOINING RIDGEFIELD LOTS ARE ILLUSTRATED

RIDGEFIELD PHASE 3  
INST#200204220

ZONE: PUD

THE VILLAGE OF RIDGEFIELD  
CAB. OF ENV. 159

LAND OF THE  
"MONROE COUNTY SCHOOL CORPORATION"  
PER INST#2007003383  
DR 196, PG 293



NOW OR FORMERLY  
THE RUTH KIVETT JENSEN TRUST  
INST# 2001004875

LOT AND RESIDENTIAL UNIT  
TOTAL SINGLE FAMILY RESIDENTIAL - DETACHED = 16  
CONDOMINIUM LOT = 16 UNITS ON 3.8 ACRES

CURVE DATA TABLE

NUMBER	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	350'	95.79'	15°40'51"	48.00'	S. 82°31'42" E	95.49'
C2	200'	198.80'	56°57'11"	108.48'	N. 46°12'42" W	190.72'
C3	200'	62.43'	17°53'06"	31.47'	S. 81°12'27" W	62.18'
C4	275'	133.15'	27°44'31"	67.91'	N. 58°23'38" E	133.86'
C5	525'	235.05'	25°39'06"	119.81'	N. 31°41'49" E	233.09'

Black & Veatch  
BRO  
LAND SURVEYING & CIVIL ENGINEERING  
1351 West Tappan Road, Bloomington, Indiana 47403  
Phone: 812-336-8277  
www.brojv.com



RIDGEFIELD SUBDIVISION  
SECTION V PHASE 2  
BLOOMINGTON, INDIANA  
FOR  
BOB SHAW  
BRCA Project No: 6015



Date: 11-28-2022  
Issue: ISSUED FOR PERMIT

REVISION SCHEDULE  
Rev. # Rev. Description Issue Date

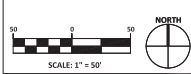
Drawn By: GBM  
Designed By: CDG & GBM  
Checked By: WSR

C301



**RIDGEFIELD SUBDIVISION**  
**SECTION V PHASE 2**  
**BLOOMINGTON, INDIANA**  
 FOR  
**BOB SHAW**  
 BRCJ Project No: 6015

**GRADING PLAN**

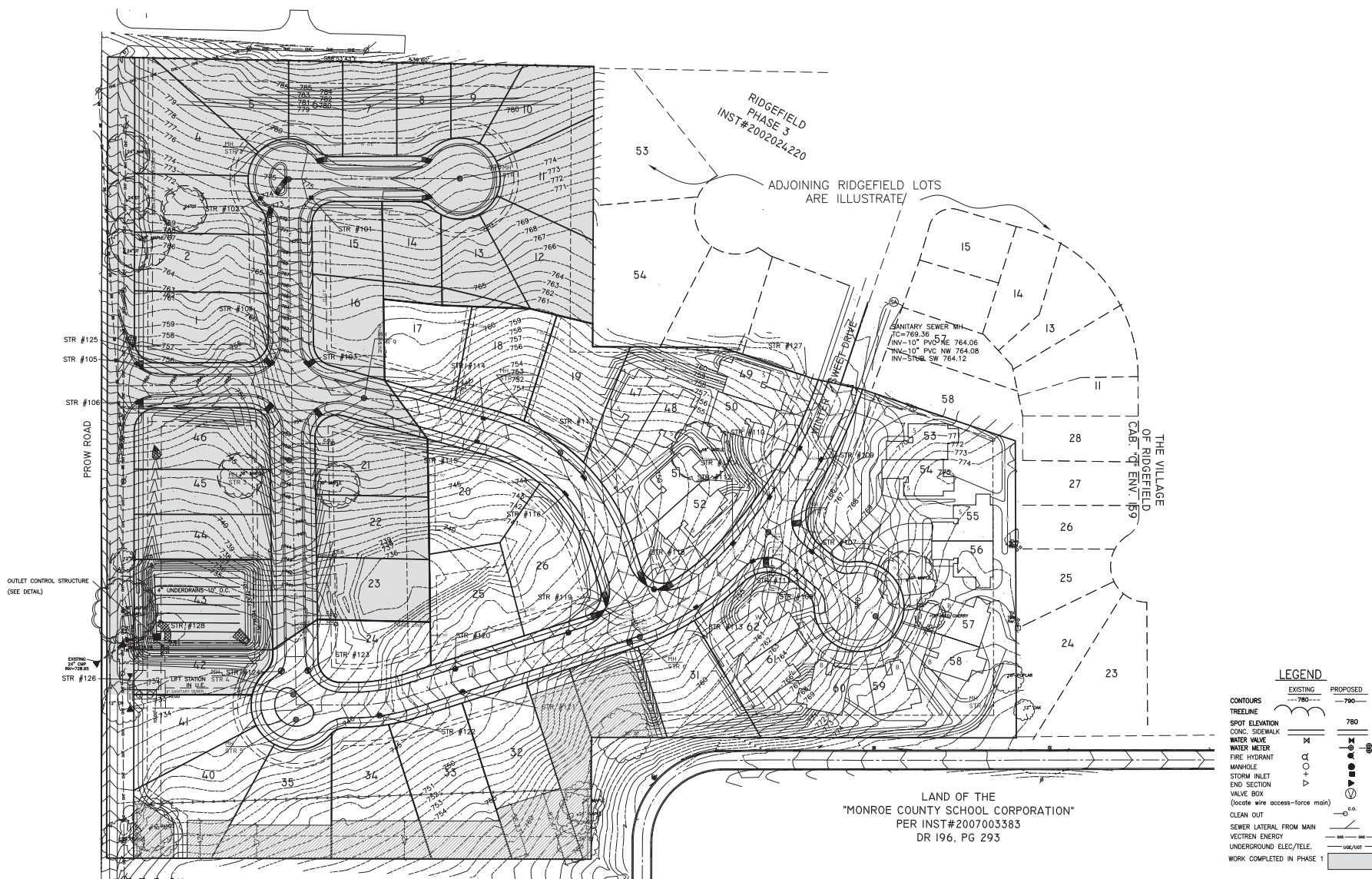


Date: 11-28-2022 Issue: ISSUED FOR PERMIT

REVISION SCHEDULE		
Rev. #	Rev. Description:	Issue Date

Drawn By: CDG & GBM  
 Designed By: CDG & GBM  
 Checked By: WSR

**C401**



RIDGEFIELD  
 PHASE 3  
 INST#2002024220

ADJOINING RIDGEFIELD LOTS  
 ARE ILLUSTRATE

THE VILLAGE  
 OF RIDGEFIELD  
 CAB. OF ENV. 159

LAND OF THE  
 "MONROE COUNTY SCHOOL CORPORATION"  
 PER INST#2007003383  
 DR 196, PG 293

**LEGEND**

EXISTING	PROPOSED
CONTOURS	780
TREELINE	790
SPOT ELEVATION	780
CONC. SIDEWALK	780
WATER VALVE	780
WATER METER	780
FIRE HYDRANT	780
MANHOLE	780
STORM INLET	780
END SECTION	780
VALVE BOX	780
(locate wire access-force main)	780
CLEAN OUT	780
SEWER LATERAL FROM MAIN	780
VOLTMEN ENERGY	780
UNDERGROUND ELEC/TELE	780
WORK COMPLETED IN PHASE 1	780

- NOTES:
1. CONTOURS FROM FIELD TOPOGRAPHIC SURVEY.
  2. UTILITIES PER CITY OF BLOOMINGTON UTILITIES.
  3. SITE IS WOODED WITH AREAS OF SPACE UNDERGROWTH AND WILDLIFE SCRUB GROWTH THERE ARE LARGE "SPECIMEN" TREES ON SITE THAT WILL BE CONSIDERED AT THE APPLICABLE STAGE.
  4. DEVELOPER SHALL PAY SPECIAL REGARD AND ATTENTION TO THE DRAINAGE PATTERN ACROSS ALL LOTS. DEVELOPER SHALL INSURE DRAINAGE AROUND ALL HOMES WILL BE DIVERTED ALONG LOT LINES.
  5. FINISH FLOORS MUST BE CONSTRUCTED AT A MINIMUM ELEVATION OF 730.68' MSL, WHICH IS TWO FEET ABOVE 100 HR FLOOD HAZARD ELEVATION OF 727.68' MSL. (MIN. 2.00' ABOVE DAM WAVE).

NOW OR FORMERLY  
 THE RUTH KIVETT JENSEN TRUST  
 INST# 2001004875

4.40 ACRES EXCEPT  
 PER 400 / 514

OUTLET CONTROL STRUCTURE  
 (SEE DETAILS)

EXISTING 12" DIA. 150' IN VUE

STR #126

STR #125

STR #105

STR #106

PROW ROAD

STR #102

STR #101

STR #100

STR #103

STR #104

STR #105

STR #106

STR #107

STR #108

STR #109

STR #110

STR #111

STR #112

STR #113

STR #114

STR #115

STR #116

STR #117

STR #118

STR #119

STR #120

STR #121

STR #122

STR #123

STR #124

STR #125

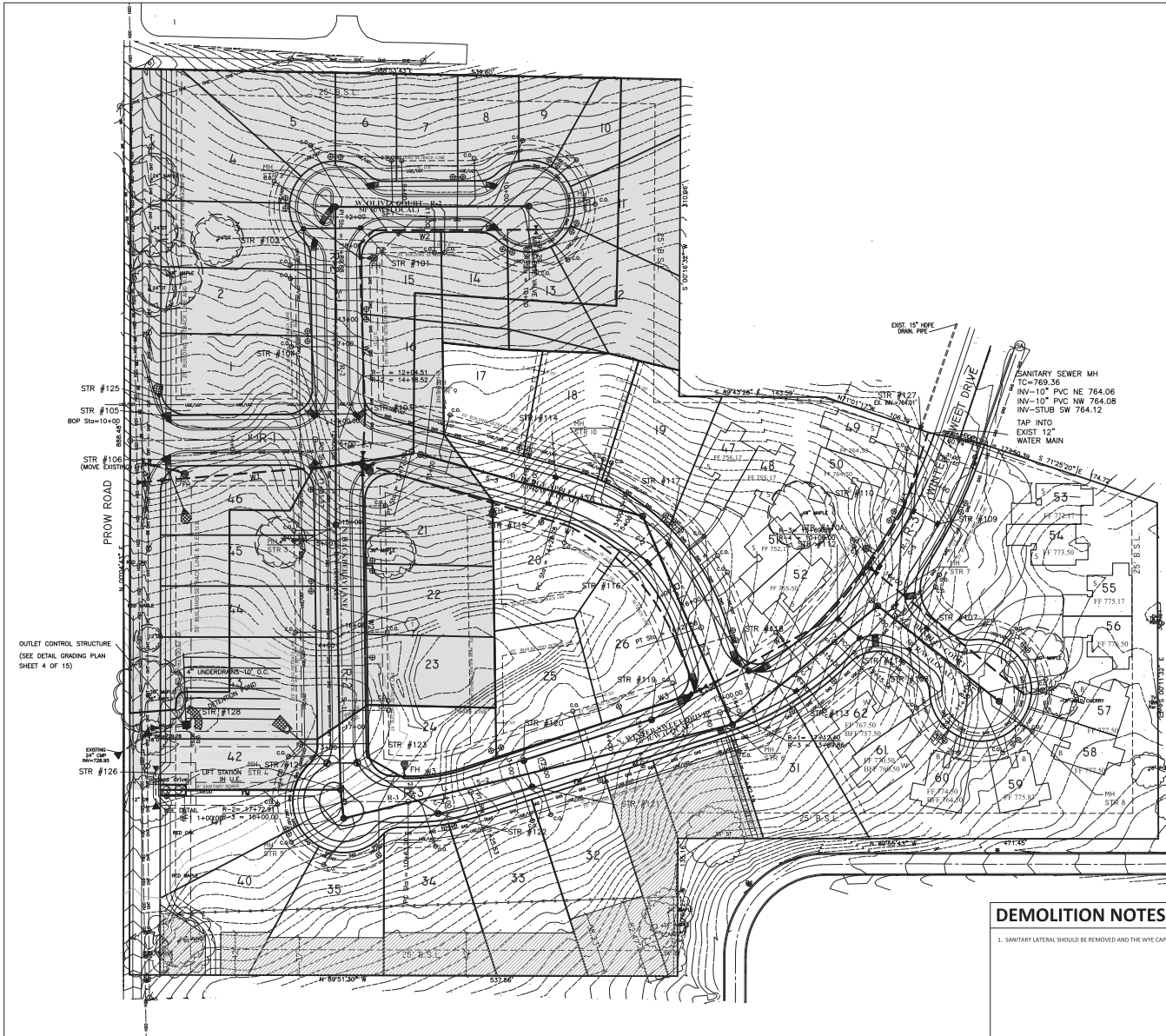
STR #126

STR #127

STR #128

STR #129

STR #130



STORM STRUCTURE DATA TABLE												
STR #	EXISTING EAST JOHNSON ROW MONUMENT	STRUCTURE TYPE	UP STR #	DN STR #	PIPE LENGTH (L)	PIPE SIZE (D)	PIPE TYPE	UP INVERT	DN INVERT	TOP OF STRUCTURE	IMP RAP	END SECTION
101	7565	TYPE 'C'	102	56	12'	N-12	770.50	770.25	775.14			
102	7565	TYPE 'C'	101	104	183	12"	N-12	770.00	754.90	773.10		
103	7565	TYPE 'C'	104	37	12'	N-12	756.25	754.80	758.80			
104	7565	TYPE 'C'	103	105	151	18"	N-12	754.70	746.10	758.80		
106	7565	DOUBLE 24" DIA. 'C' GRATE	125	106	43	24"	N-12	747.90	747.60	751.87		
108	7565	DOUBLE 24" DIA. 'C' GRATE	108	OUT	50	24"	N-12	747.40	746.00	751.87	5 S.Y.	1
107	7565	TYPE 'C'	108	25	12'	N-12	759.50	759.20	762.81			
108	7565	TYPE 'C'	107	111	48	18"	N-12	759.10	755.50	762.25		
109	7565	TYPE 'C'	110	27	12'	N-12	760.50	759.60	762.95			
110	7565	TYPE 'C'	109	110A	62	18"	N-12	759.40	757.25	762.95		
110A	7565	TYPE 'C'	110	112	62	18"	N-12	757.15	755.00	760.50		
111	7565	TYPE 'C'	108	112	27	18"	N-12	755.30	755.00	758.50		
112	7565	TYPE 'C'	111A	118	98	18"	N-12	754.70	744.50	758.00		
113	7565	TYPE 'C'	111	49	12'	N-12	754.40	744.50	755.23			
114	7565	TYPE 'C'	115	25	12'	N-12	749.50	749.20	751.92			
115	7565	TYPE 'C'	114	116	111	12"	N-12	749.10	745.90	751.92		
116	7565	7031 CURB INLET	115	117	25	18"	N-12	745.80	745.50	749.63		
117	7565	7031 CURB INLET	116	118	142	18"	N-12	745.30	744.50	749.63		
118	7565	7031 CURB INLET	115	104	24"	N-12	744.30	743.10	754.23			
119	7565	7031 CURB INLET	118	120	129	24"	N-12	743.00	741.30	750.17		
120	7565	7031 CURB INLET	119	121	24	24"	N-12	741.10	740.80	744.05		
121	7565	7031 CURB INLET	120	123	80	24"	N-12	740.70	737.40	744.05		
122	7565	7031 CURB INLET	121	123	80	24"	N-12	737.20	732.40	741.16		
123	7565	7031 CURB INLET	122	124	24	24"	N-12	732.25	731.80	736.34		
124	7565	7031 CURB INLET	123	OUT	47	30"	N-12	731.70	731.00	736.34	* 1	
125	7565	CULVERT	124	125	20	18"	N-12	753	746.10	754.50	5 S.Y.	1
126	7565	CULVERT	125	126	30	18"	N-12	731.5	732.5	734.0	10 S.Y.	2
127	6810	TYPE 'Y' EXIST	110	81	15'	N-12	763.00	759.60	766.00			
128	1020	TYPE 'X'	OUT	30	18"	N-12	730.13	729.98	736.00			

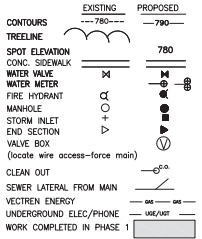
NOTE: REFER TO DETAIL SHEET FOR 800RP OUTLET CONTROL.

- NOTES:
1. CONTOURS FROM FIELD TOPO
  2. CONSTRUCTION OF SANITARY, STORM, AND WATER UTILITIES PER CURRENT CBU SPECIFICATIONS.
  3. SITE IS WOODED WITH AREAS OF SPACE UNDERGROWTH AND VOLUNTEER SCRUB GROWTH THERE ARE LARGE SPECIMEN TREES ON SITE THAT WILL BE CONSIDERED AT THE APPROVAL STAGE.
  4. THE TREE PRESERVATION AREAS WILL BE PREPARED BY DEVELOPER. CLEARING OF UNDERGROWTH WILL OCCUR. REPLANTING OF VOID AREAS WILL BE DONE WITH NATIVE ORNAMENTALS SUCH AS DOGWOODS AND RED BUDS AS WELL AS LARGER CANOPY DECIDUOUS. SEE LANDSCAPE PLAN.
  5. STREET TREES ARE PROPOSED ON INTERIOR STREETS AT 40 FOOT A PART. SPECIES WILL BE A MIX OF NATIVE DECIDUOUS TREES. SEE LANDSCAPE PLAN.
  6. NO TREES FALLING ALONG THE PROPERTY LINE WILL BE REMOVED UNLESS THEY POSE A SIGNIFICANT THREAT TO A POTENTIAL BUILDING.
  7. DRIP LINES OF EXISTING TREES TO BE SAVED HAVE BEEN MEASURED.
  8. ALL STREETS SHALL HAVE A 5 FOOT WIDE CONCRETE WALK EACH SIDE.
  9. ELECTRIC SERVED BY DUKE ENERGY
  10. NATURAL GAS BY VECTREN
  11. ALL LOTS SHALL HAVE WATER AND SEWER SERVICE WITH THE EXCEPTION OF LOT 43. CONTRACTOR SHALL PROVIDE SERVICE TO ALL LOTS. ANY OMISSION ON PLANS SHALL NOT CONSTITUTE A LACK OF NECESSITY.

**DEMOLITION NOTES**

1. SANITARY LATERAL SHOULD BE REMOVED AND THE WYE CAPPED AT THE MAIN.

**LEGEND**



CALL 24 HOURS BEFORE YOU DIG  
 1-800-392-5544 CALL TOLL FREE  
 PER INDIANA STATE LAW (I.C. 31-2-2)  
 IT IS AGAINST THE LAW TO RELOCATE  
 WITHOUT NOTIFYING THE UNDERGROUND  
 LOCATION SERVICE TWO (2) WORKING DAYS  
 BEFORE COMMENCING WORK.

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**RIDGEFIELD SUBDIVISION**  
**SECTION V PHASE 2**  
**BLOOMINGTON, INDIANA**  
**FOR BOB SHAW**  
 BRCJ Project No: 6015

**UTILITY PLAN**

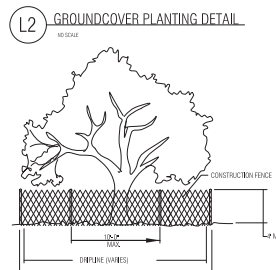
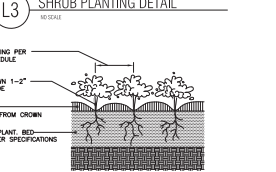
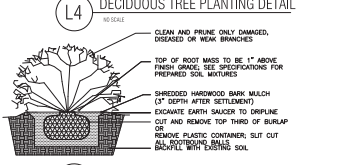
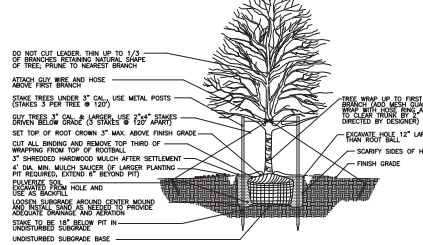
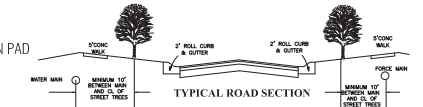
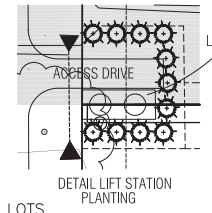
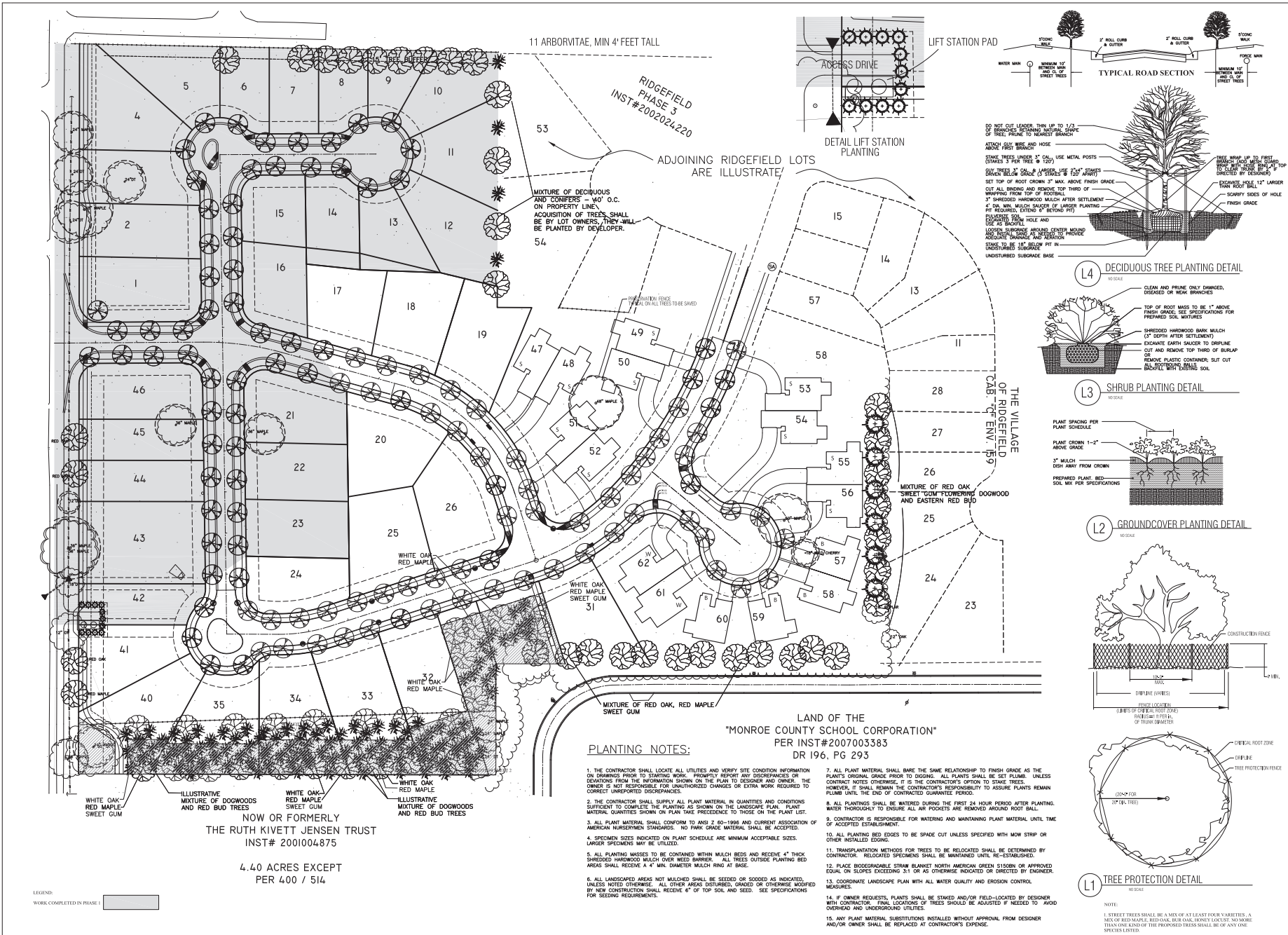


Date: 11-28-2022 Issue: ISSUED FOR PERMIT

REVISION SCHEDULE		
Rev. #	Rev. Description:	Issue Date

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 Designed by: CDG & GBM  
 Checked by: WSR

**C501**



- PLANTING NOTES:**
1. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND VERIFY SITE CONDITION INFORMATION ON DRAWINGS PRIOR TO STARTING WORK. PROMPTLY REPORT ANY DISCREPANCIES OR OMISSIONS FROM THE INFORMATION SHOWN ON THE PLAN TO DESIGNER AND OWNER. THE OWNER IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
  2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES AND CONDITIONS SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON THE LANDSCAPE PLAN. PLANT MATERIAL QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE TO THOSE ON THE PLANT LIST.
  3. ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z 60-1996 AND CURRENT ASSOCIATION OF AMERICAN NURSERMEN STANDARDS. NO PAK GRADE MATERIAL SHALL BE ACCEPTED.
  4. SPECIMEN SIZES INDICATED ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. LARGER SPECIMENS MAY BE UTILIZED.
  5. ALL PLANTING MASSES TO BE CONTAINED WITHIN MULCH BEDS AND RECEIVE 4" THICK SHREDED HARDWOOD MULCH OVER WEED BARRIER. ALL TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 4" DIA. DIAMETER MULCH RING AT BASE.
  6. ALL LANDSCAPED AREAS NOT MULCHED SHALL BE SEEDED OR SOODED AS INDICATED, UNLESS NOTED OTHERWISE. ALL OTHER AREAS DISTURBED, GRADED OR OTHERWISE MODIFIED BY NEW CONSTRUCTION SHALL RECEIVE 4" OF TOP SOIL AND SEED. SEE SPECIFICATIONS FOR SEEDING REQUIREMENTS.
  7. ALL PLANT MATERIAL SHALL MAINTAIN THE SAME RELATIONSHIP TO FINISH GRADE AS THE PLANT'S ORIGINAL GRADE PRIOR TO DIGGING. ALL PLANTS SHALL BE SET PLUMB, UNLESS CONTRACT NOTES OTHERWISE. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES. HOWEVER, IT SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL THE END OF CONTRACTED GUARANTEE PERIOD.
  8. ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THOROUGHLY TO ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL.
  9. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING PLANT MATERIAL UNTIL TIME OF ACCEPTED ESTABLISHMENT.
  10. ALL PLANTING BED EDGES TO BE SPACE CUT UNLESS SPECIFIED WITH MOW STRIP OR OTHER INSTALLED EDGING.
  11. TRANSPLANTATION METHODS FOR TREES TO BE RELOCATED SHALL BE DETERMINED BY CONTRACTOR. RELOCATED SPECIMENS SHALL BE MAINTAINED UNTIL RE-ESTABLISHED.
  12. PLACE BIODEGRADABLE STRAW BLANKET NORTH AMERICAN GREEN S150EN OR APPROVED EQUAL ON SLOPES EXCEEDING 3:1 OR AS OTHERWISE INDICATED OR DIRECTED BY ENGINEER.
  13. COORDINATE LANDSCAPE PLAN WITH ALL WATER QUALITY AND EROSION CONTROL MEASURES.
  14. IF OWNER REQUESTS, PLANTS SHALL BE STAKED AND/OR FIELD-LOCATED BY DESIGNER WITH CONTRACTOR. FINAL LOCATIONS OF TREES SHOULD BE ADJUSTED IF NEEDED TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
  15. ANY PLANT MATERIAL SUBSTITUTIONS INSTALLED WITHOUT APPROVAL FROM DESIGNER AND/OR OWNER SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.

NOW OR FORMERLY  
THE RUTH KIVETT JENSEN TRUST  
INST# 2001004875  
4.40 ACRES EXCEPT  
PER 400 / 514

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REGISTERED PROFESSIONAL ENGINEER  
NO. 8702031  
STATE OF INDIANA  
13-28-2022  
L. S. T. S.

**REGIONAL SUBDIVISION**  
**SECTION V PHASE 2**  
**BLOOMINGTON, INDIANA**  
**FOR BOB SHAW**  
BRCJ Project No: 6015

**LANDSCAPE PLAN**  
Scale: 1" = 50'  
NORTH

Date: 11-28-2022  
Issue: ISSUED FOR PERMIT

REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

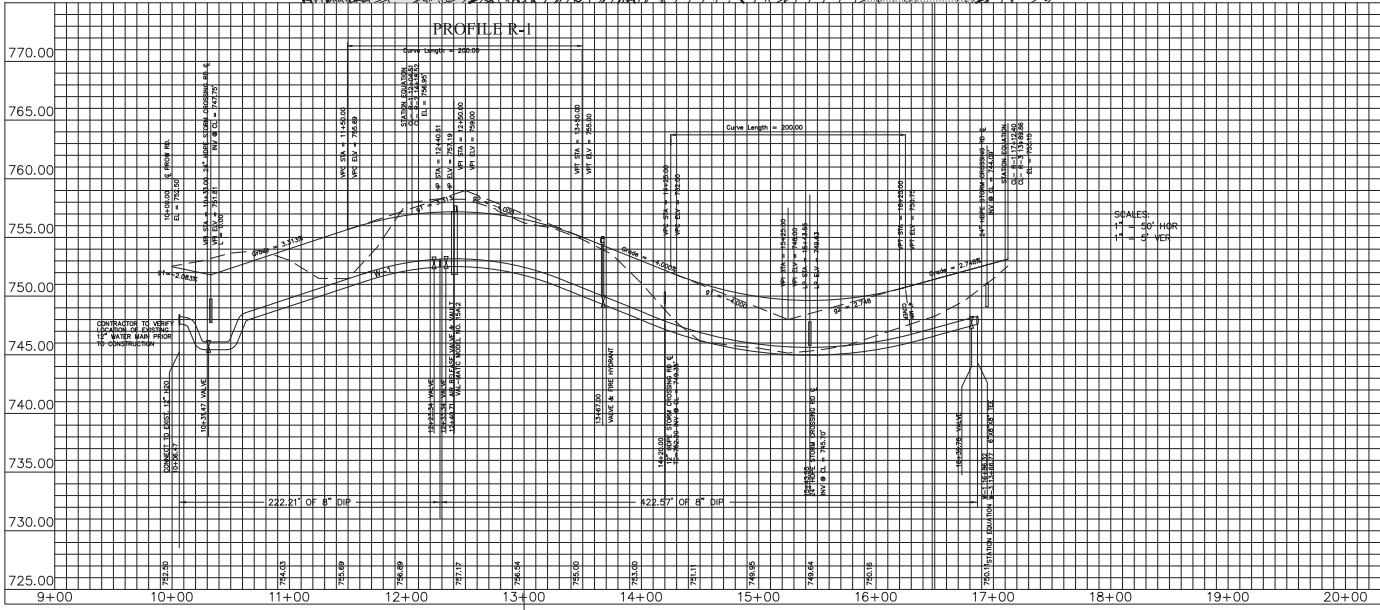
Drawn by: CDG  
Designed by: CDG & GJM  
Checked by: WSR

**C601**



LAND OF THE  
MONROE COUNTY SCHOOL CORPORATION\*  
PER INST#2007003383  
DR 196, PG 293

NOTE:  
STATIONING, SANITARY CROSSING & STORM CROSSING INVERTS  
ARE SHOWN RELATIVE TO ROAD DESIGN CENTERLINE.  
WATERLINE DOES NOT NECESSARILY CROSS SANITARY OR  
STORM PIPES SHOWN ON PROFILE, REFER TO PLAN DRAWING.  
CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF  
ALL UTILITIES PRIOR TO CONSTRUCTION.



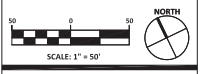
SCALE:  
1" = 40' HOR  
1" = 2' VER

PHASE 1      PHASE 2



**RIDGEFIELD SUBDIVISION  
SECTION V PHASE 2  
BLOOMINGTON, INDIANA**  
FOR  
**BOB SHAW**  
BRCJ Project No: 6015

**ROAD PROFILE R-1**

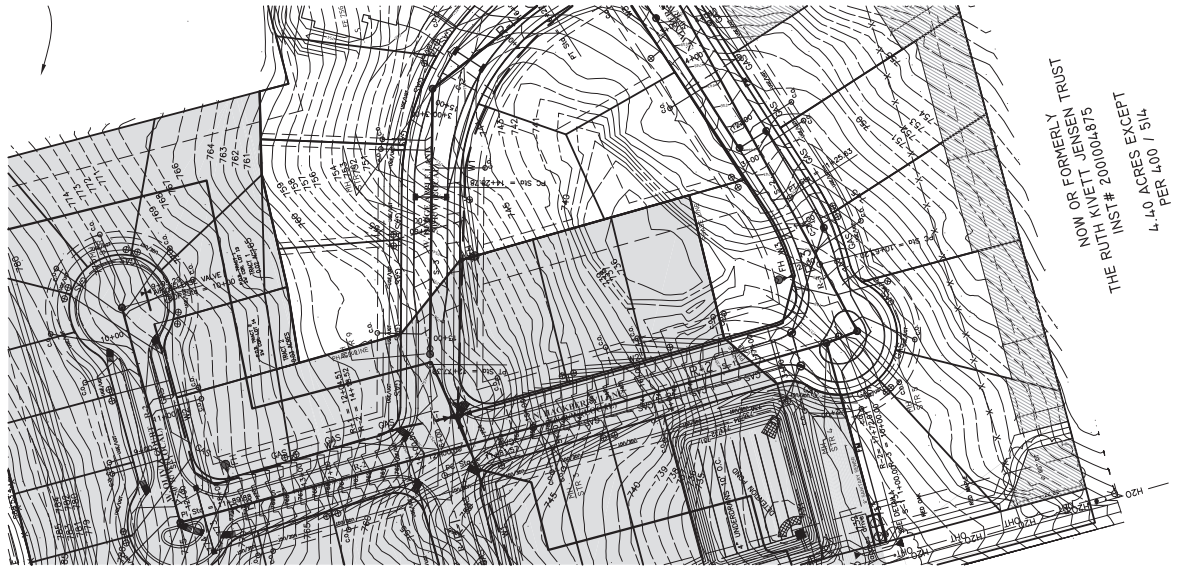


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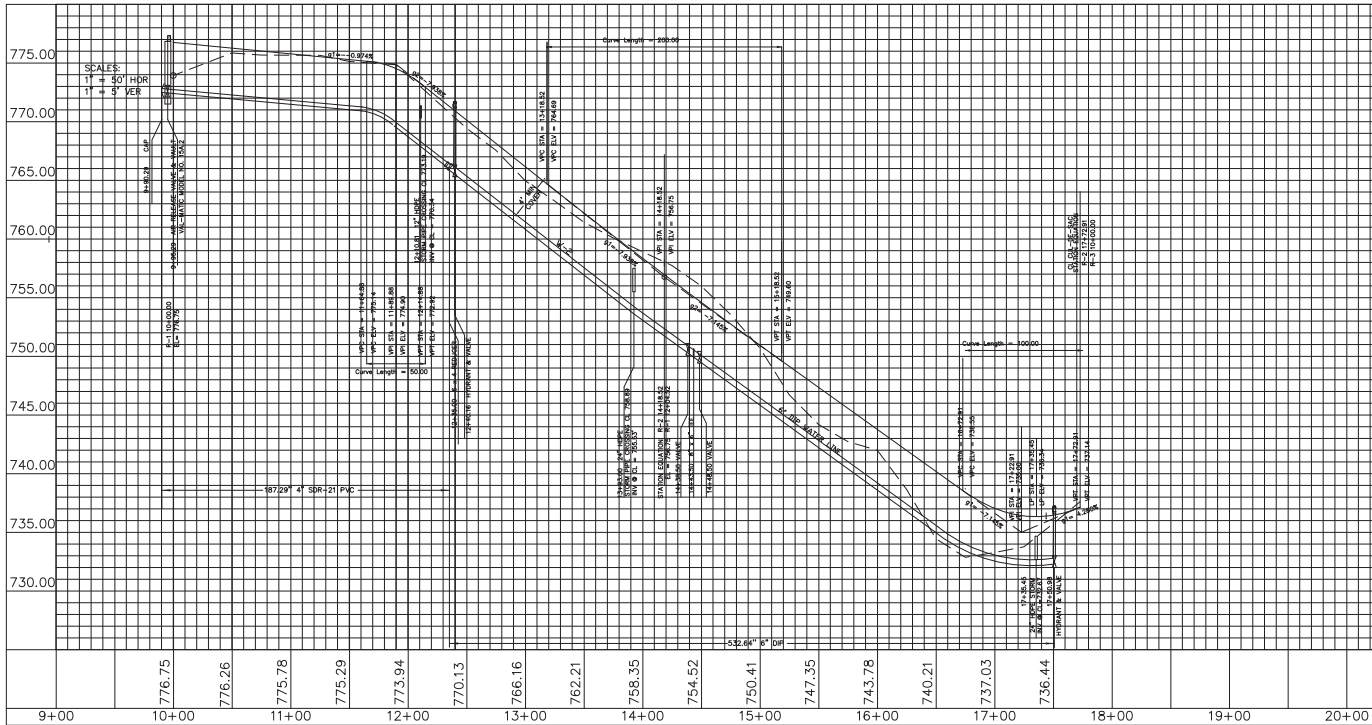
REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

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Designed By: CDG & GBM  
Checked By: WSR

**C701**



NOTE:  
 STATIONING, SANITARY CROSSING & STORM CROSSING INVERTS  
 ARE SHOWN RELATIVE TO ROAD DESIGN CENTERLINE.  
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11-29-2022

WST

**RIDGEFIELD SUBDIVISION  
 SECTION V PHASE 2  
 BLOOMINGTON, INDIANA**  
 FOR  
**BOB SHAW**  
 BRJ Project No: 6015

**ROAD PROFILE R-2**

Scale: 1" = 50'

Scale: 1" = 50'

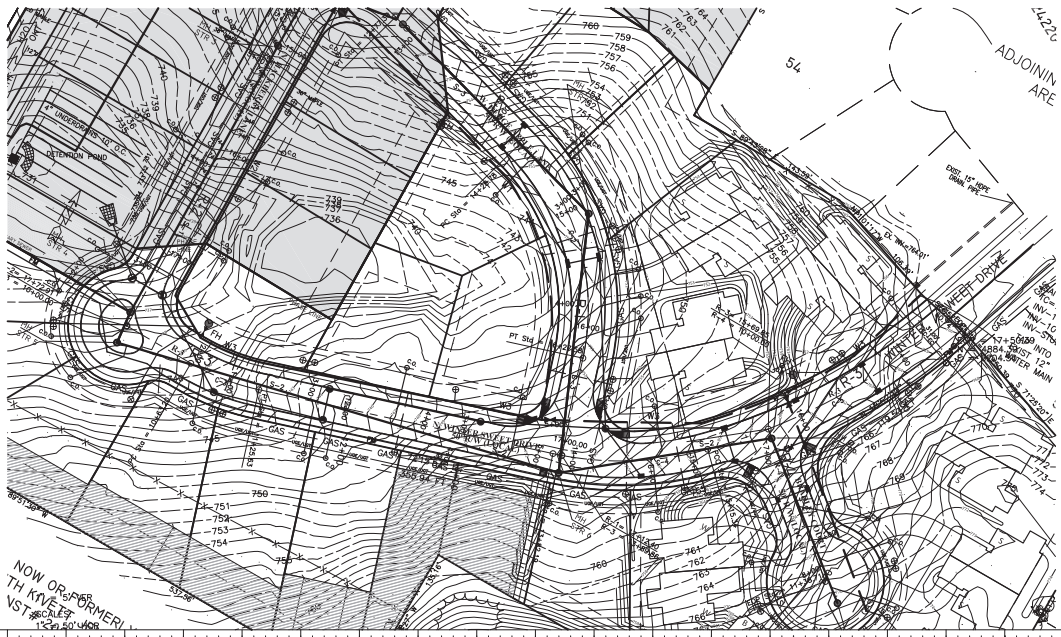
Date: 11-28-2022 Issue: ISSUED FOR PERMIT

REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

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**C702**

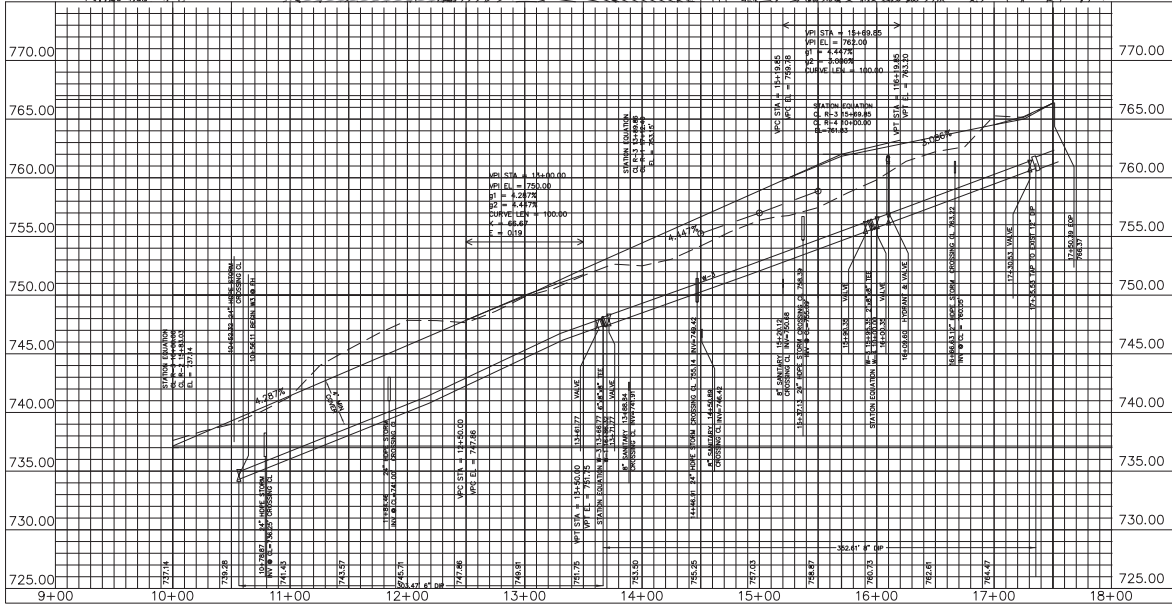




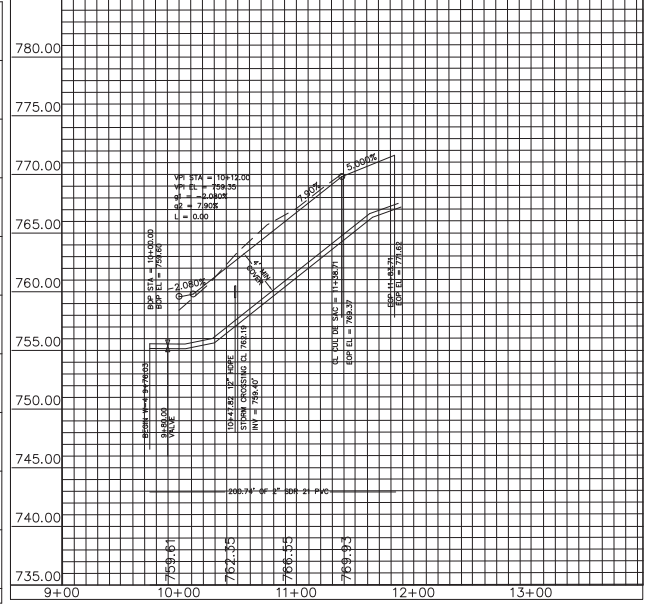
NOTE:  
 STATIONING, SANITARY CROSSING & STORM CROSSING INVERTS ARE SHOWN RELATIVE TO ROAD DESIGN CENTERLINE. WATERLINE DOES NOT NECESSARILY CROSS SANITARY OR STORM PIPES SHOWN ON PROFILE. REFER TO PLAN DRAWING.

CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SCALES:  
 1" = 50' HOR  
 1" = 5' VER



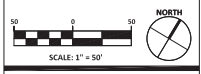
W-3



W-4



**RIDGEFIELD SUBDIVISION SECTION V PHASE 2 BLOOMINGTON, INDIANA FOR BOB SHAW**  
 BRCJ Project No: 6015  
**ROAD PROFILE R-3 & R-4**

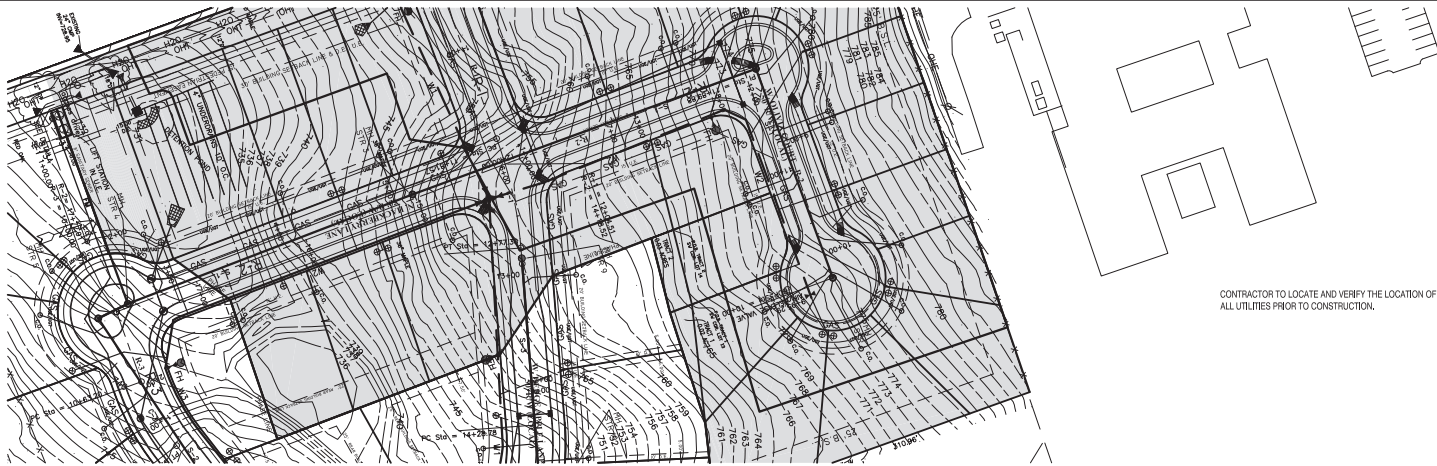


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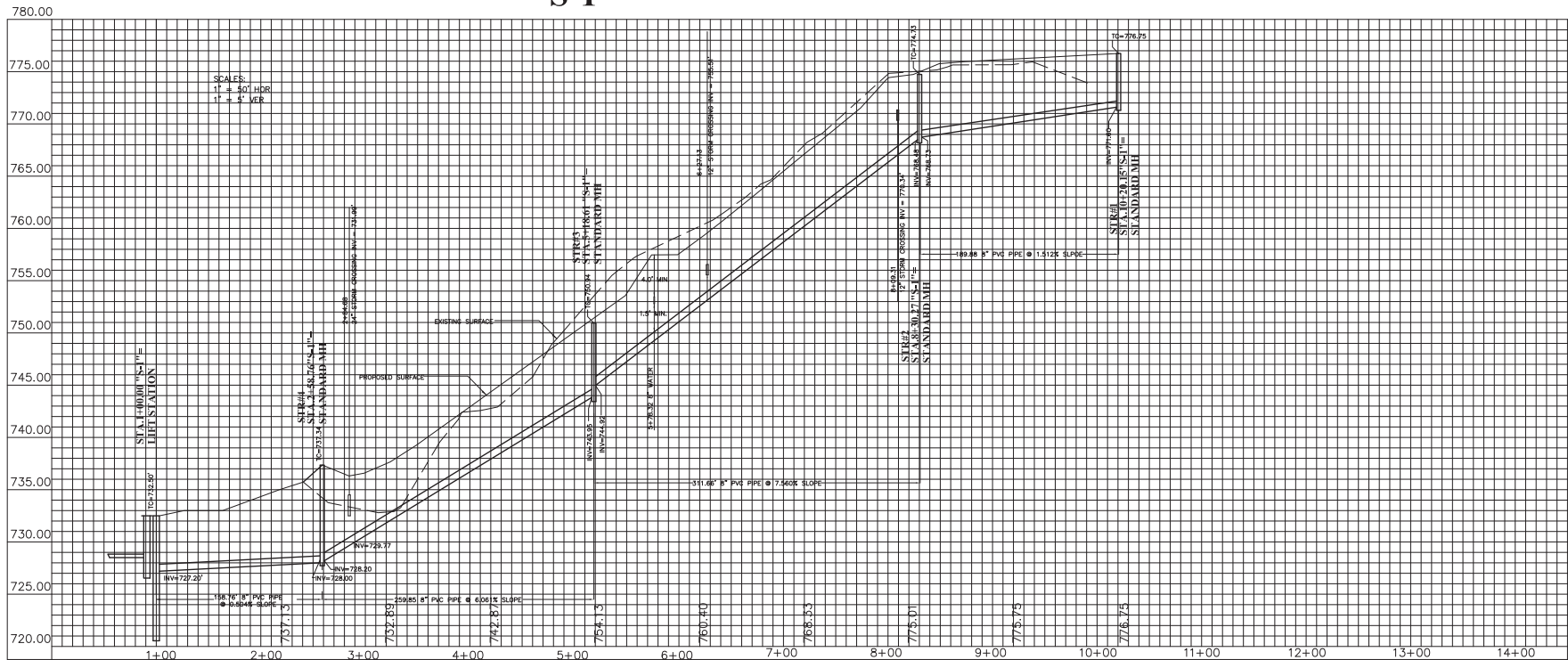
REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

Drawn By: CDG  
 Designed By: CDG & GBM  
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**C703**



S-1



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Professional Engineer Seal:  
 W. STUBBS  
 NO. 670231  
 STATE OF INDIANA  
 PROFESSIONAL ENGINEER  
 11-28-2022

**RIDGEFIELD SUBDIVISION**  
**SECTION V PHASE 2**  
**BLOOMINGTON, INDIANA**  
 FOR **BOB SHAW**  
 BRCJ Project No: 6015  
**SANITARY SEWER**  
**PROFILE S-1**

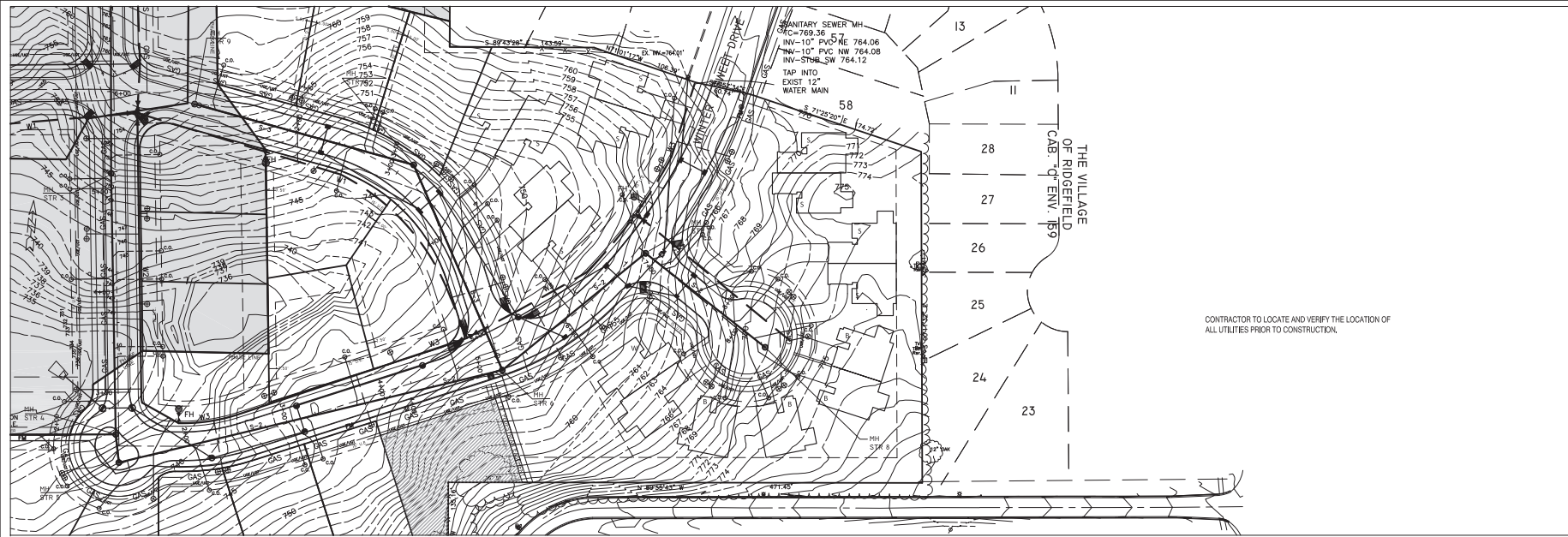


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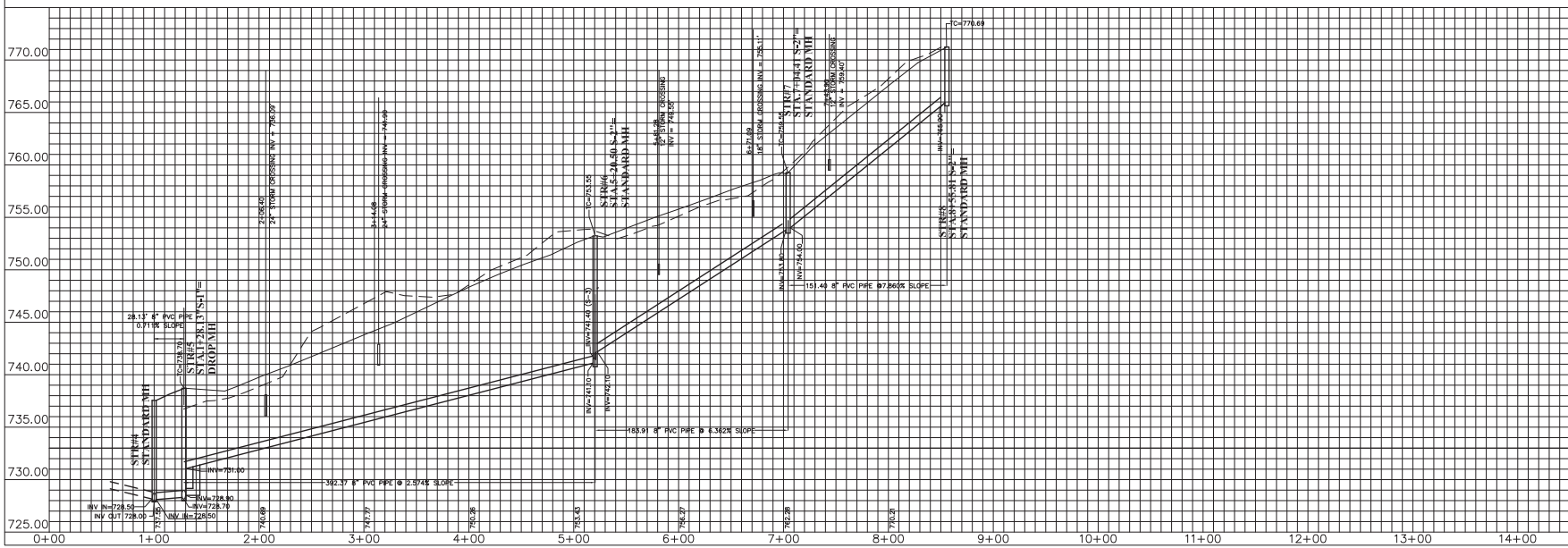
REVISION SCHEDULE		
Rev. #	Rev. Description:	Issue Date

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**C704**



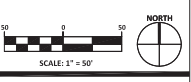
SCALES:  
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 1" = 5' VER



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*WST*

RIDGEFIELD SUBDIVISION  
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 BLOOMINGTON, INDIANA  
 FOR  
**BOB SHAW**  
 BRCJ Project No: 6015  
**SANITARY SEWER  
 PROFILE S-2**



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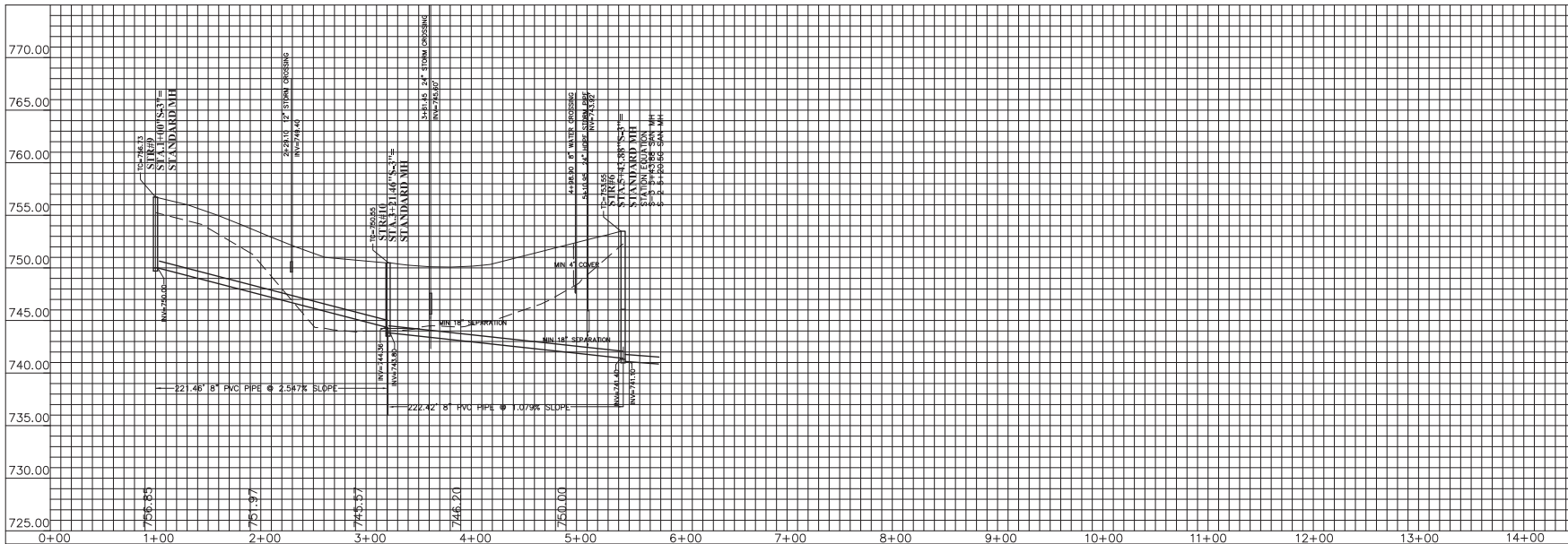
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Rev. #	Rev. Description	Issue Date

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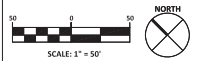
**C705**



CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



**RIDGEFIELD SUBDIVISION**  
**SECTION V PHASE 2**  
**BLOOMINGTON, INDIANA**  
 FOR  
**BOB SHAW**  
 BRCJ Project No: 6015  
**SANITARY SEWER**  
**PROFILE S-3**

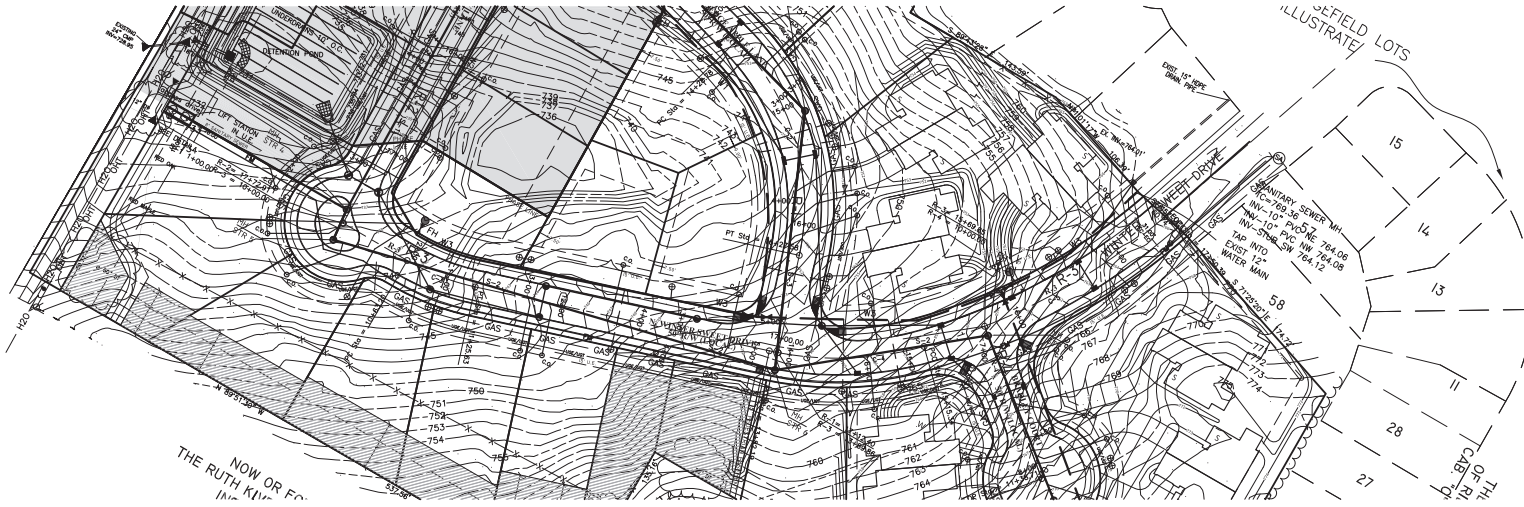


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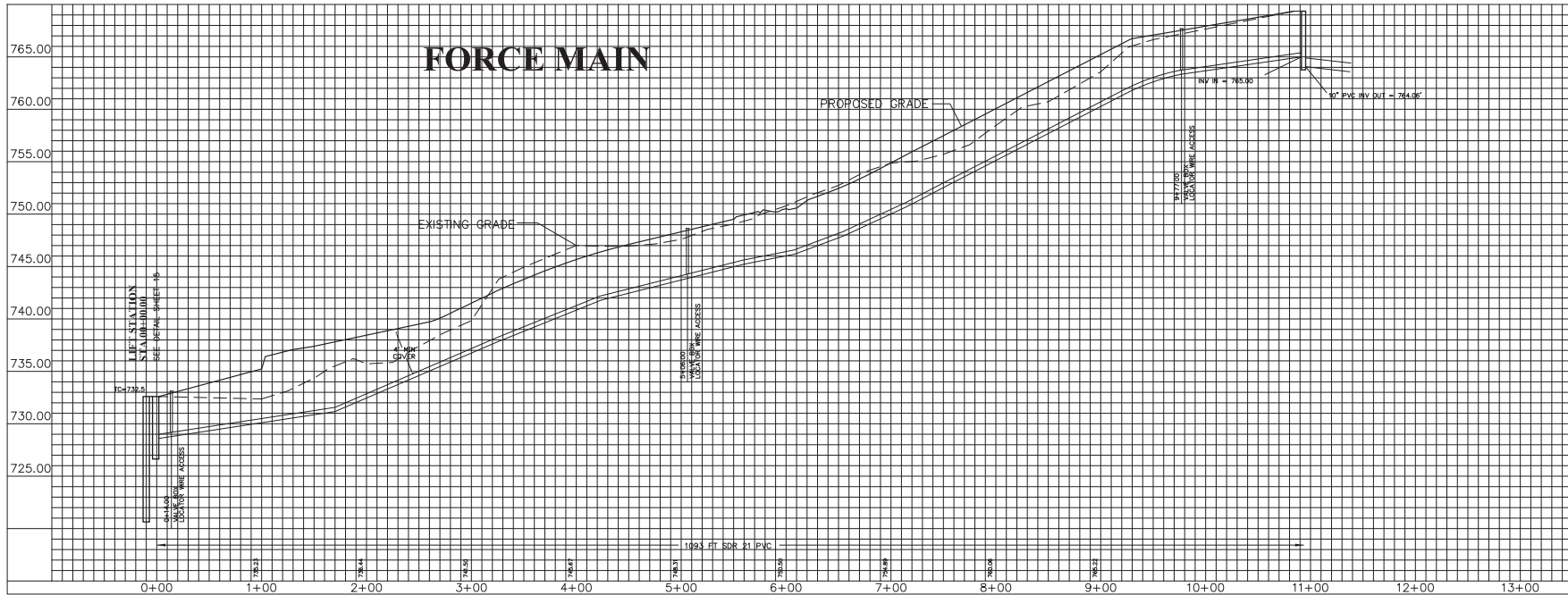
REVISION SCHEDULE		
Rev. #	Rev. Description	Issue Date

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**C706**



CONTRACTOR TO LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



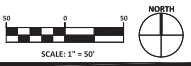
**Brianne Riggert Cooper James**  
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**RIDGEFIELD SUBDIVISION SECTION V PHASE 2 BLOOMINGTON, INDIANA FOR BOB SHAW**  
 BRCJ Project No: 6015

**FORCE MAIN PROFILE**

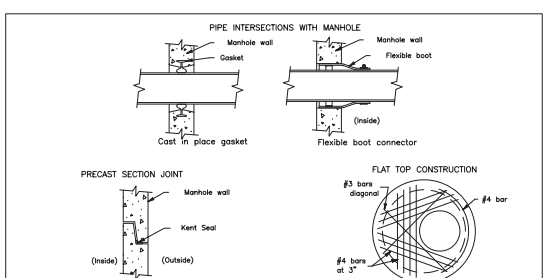
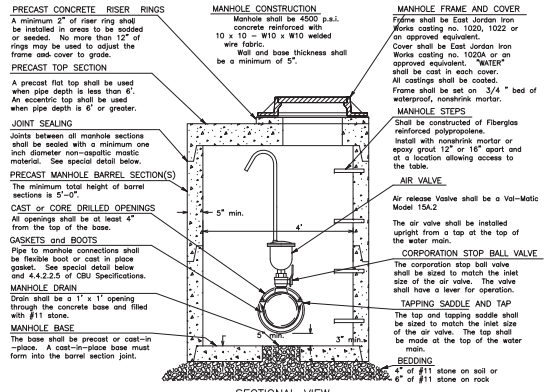
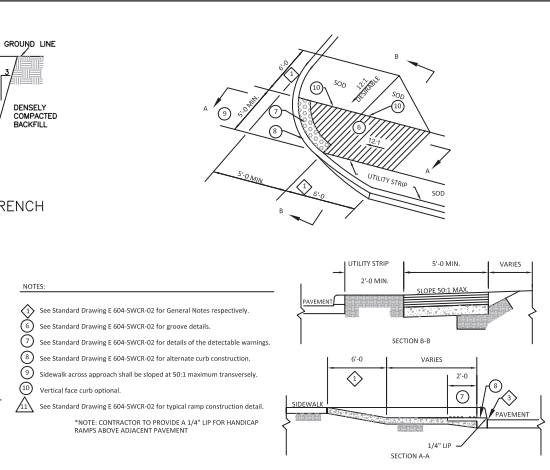
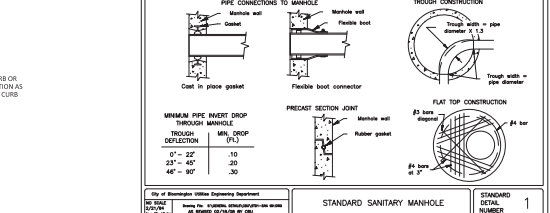
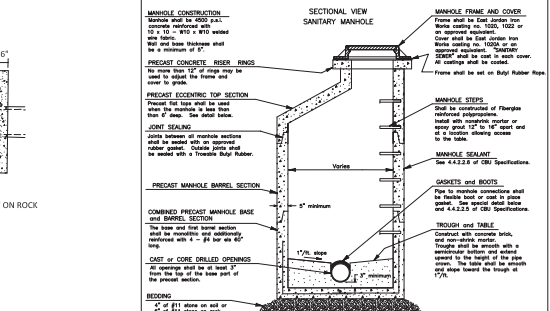
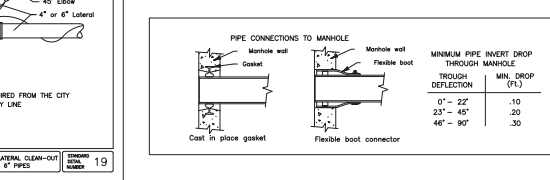
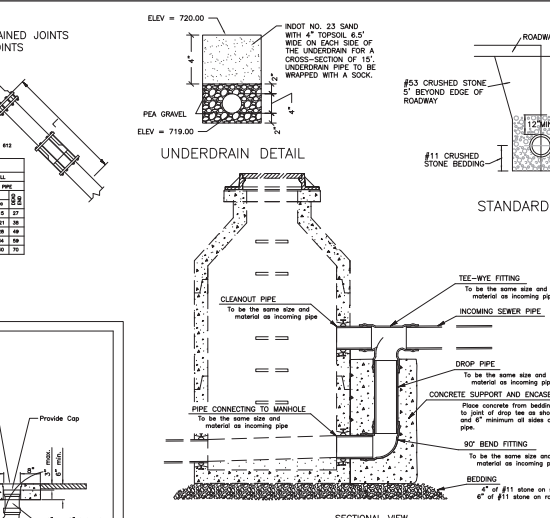
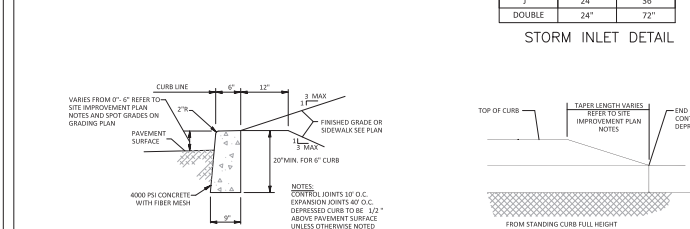
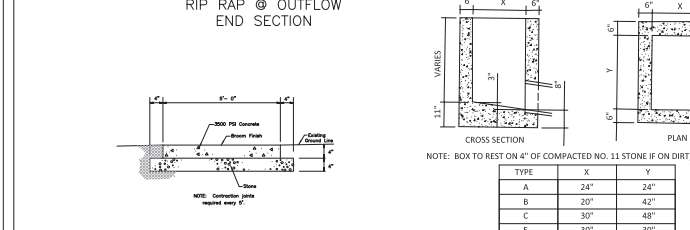
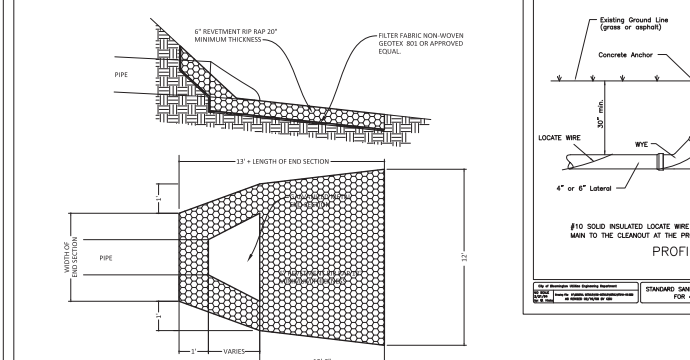
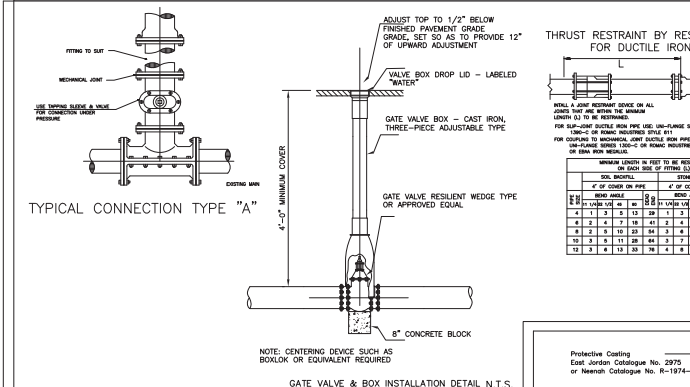


Date: 11-28-2022 Issue: FOR REFERENCE

REVISION SCHEDULE		
Rev. #	Rev. Description:	Issue Date

Drawn By: CDG & GBM  
 Designed By: CDG  
 Checked By: WSR

**C707**



**RIDGEFIELD SUBDIVISION SECTION V PHASE 2 BLOOMINGTON, INDIANA FOR BOB SHAW**  
 BRCJ Project No: 6015

**DETAILS**  
 Date: 11-28-2022  
 Issue: 11-28-2022  
 ISSUED FOR PERMIT

Rev. #	Rev. Description:	Issue Date

Drawn by: CDG & GBM  
 Designed by: CDG & GBM  
 Checked by: WSR

**C801**



SECTION ONE  
SITE CONSTRUCTION SPECIFICATIONS

- GENERAL NOTES**
- A. Permits – The Contractor shall be responsible for obtaining or verifying that all permits and approvals are obtained from the respective City, County, and State agencies prior to starting construction.
  - B. Utility Locations – All existing utility depths and locations shall be verified in the field by the Contractor before beginning construction. It shall be the Contractor's responsibility for notification and coordination of all construction with the respective utility companies.
  - C. Utility Trenches – Shall be shored and braced as necessary to protect workers and all adjacent structures. All trenches shall be done in accordance with OSHA standards to protect workers.
  - D. Basalts – Utility trench basalt shall be #53 crushed stone under and within 5' of paved areas such as drives and roads. Acceptable excavated material shall be tested at all other areas.
  - E. Concrete Curing – Curbs, walks, and other concrete surfaces shall be cured for at least 72 hours by means of moist burlap, mats, curing compounds, or other approved measures.
  - F. Roadway Pavement – Shall be 1" HMC surface type "B" or HMC surface type "B" on 2" HMC base on 7" type "C" compacted aggregate. Bituminous material under construction shall meet the requirements of Section 400 of 1993 Indiana Department of Transportation (INDOT) Standard Specifications; type "C" compacted aggregate shall meet the requirements of Section 300 of the 1993 Indiana Department of Transportation Standard Specifications.
  - G. Sidewalks – Shall be constructed of 4000 PSI concrete. Construction joints shall be formed across all opportunities such as manholes, curbs, etc. preformed expansion joint filler 1/4" shall be installed in these joints. Construction joints shall be struck 5' on by a jointing tool with a 1/4" radius.
  - H. Curbs – Shall be constructed in accordance with INDOT standard specifications section 605.4 and shall have 1/2" construction joints at not more than 30' intervals and construction joints at 10' intervals.
  - I. Handicap Ramps – Shall be required at intersections and ramps shall be in accordance with INDOT and Americans with Disabilities Act specifications and requirements.
  - K. Materials and Workmanship – For items called for on this plan shall meet the requirements of the 1993 Indiana Department of Transportation Standard Specifications.
  - L. Conflicts – In the event of conflict between the plans and specifications, the following priority should govern:  
1. Plans  
2. Specifications  
3. Referenced Specifications, I.e. INDOT, City, County, and State  
M. Notification – Twenty-four hours prior to construction of any sewer and water line, notification should be given to the Town of Elkhombington Utilities.
- II. CLEARING, GRUBBING, AND TREE PROTECTION**
- A. Clearing and Grubbing – Shall consist of cutting, removal, and satisfactory disposal of all trees, down timber, brush, projecting roots, stumps, rabbish, boulders, broken concrete, fencing (as designated), and other obstructions on the project site and within the boundary as shown on the construction documents and/or as designated by the "construction limits".
  - B. Tree Removal/Injury – To avoid injury to trees to remain in place, no grading shall take place within the life line of noted trees. Trees designated to be removed from the project site are only in areas to be occupied by roads and buildings. The Contractor shall endeavor to save and protect trees of value and worth which do not meet construction or improvement as designated. In the event cut or fill exceeds 0.5 foot over root area, the Owner shall be consulted with respect to protective measures to be taken, in order to preserve such trees.
  - C. Tree Protection – The Contractor shall be responsible for determining the method for protection of tops, trunks, and roots of existing trees on the project site that are to remain. Existing trees subject to construction damage shall be braced, fenced, or otherwise protected before any adjacent work is started. Earth, material and equipment shall not be placed or stored within the spread of branches. Branches which need to be removed or broken, shall be neatly trimmed and scars shall be covered with tree paint.
  - D. Unstable Material – Unstable material from clearing operations stated in Section II-A shall be removed to disposes are(s) off of the project site unless a "bury pit" is approved on site by Owner. Contractor shall supply the Owner proof of permission and location of off-site disposal area.
  - E. Burial – Materials shall not be disposed of by burning unless approved by the local Fire Marshal and Owner.
- III. GRADING**
- A. Stripping – Topsoil shall be stripped as necessary to remove organics and topsoil shall be stored in the areas to be occupied by roads, walks, and designated building areas.
  - B. Sloping – Topsoil shall be kept separate from subsoil fill materials and shall not be used as fill under pavement and/or under building areas. Topsoil shall be reasonably free from subsoil debris and stones and may be used in the top 2" of all other areas. Topsoil shall be stored at a location where it does not interfere with construction operation.
  - C. Subgrade – The Contractor shall perform all grading operations to bring subgrade, after final compaction, to the required grades and sections for final improvement (refer to Grading Plan).
  - D. Profiling – Subgrade shall be controlled with suitable equipment and all spurry and otherwise unsuitable material shall be removed and replaced with suitable material in accordance with Section 207.02 of the Indiana Department of Highway Standard Specifications. The City of Bloomington Engineer shall be notified 24 hours prior to final grading for inspection.
  - E. Excavation and Embankment Construction – Shall be completed in accordance with Section 203.26 and 401.05a of the 1993 Indiana Department of Highway Standard Specifications except as noted here. The embankments shall be constructed with density control in accordance with Sections 203.23 and 203.24 of the Indiana Department of Transportation Standard Specifications.
- IV. FINISH GRADING AND SEEDING**
- A. Topsoil – Topsoil shall be spread to a minimum depth of 4" over all graded areas. The finish grade shall reflect proposed contours and spot elevations as shown on the grading plan.
  - B. Temporary Seeding – All areas disturbed during construction shall be seeded as soon as possible after construction grading. Seeding shall be applied at a rate of 110 lbs./acre consisting of 65 lbs. Oats or Wheat, and 45 lbs. Annual Ryegrass. The seeded areas shall be covered with free straw at a rate of 2 tons/acre.
  - C. Final Seeding – After final grading and topsoil placement, all areas shall be seeded, fertilized and mulched. The seeding shall be applied at the rate of 110 lbs./acre. The mixture shall consist of 50 lbs. of Perennial Ryegrass, 30 lbs. of certified common timothy, Bluegrass or Newport Kentucky Bluegrass or Park Kentucky Bluegrass, and 30 lbs. of Weibull Kentucky Bluegrass or approved equal. All seed shall be the pure. Fertilizer according to soil test or at a minimum rate of 1000 lbs. of 12-12-12 fertilizer and 150 lbs. of chromium sulfate per acre. The seeded areas shall be covered with straw free of noxious weed at a rate of 2 tons/acre. The 1000 lbs./acre of 12-12-12 fertilizer shall be applied as follows:  
\*on 3 days after final grading  
\*on 200 lbs./acre applications at 6 month intervals during established period Seeding dates for permanent seeding mixture used in IV-B and IV-C areas are as follows:  
\*on 1 May to August – 1 September 15  
\*Seeding may be done from May 10 – August 1 if irrigated, to  
\*November 15 or February 28 (increase seed application rate by 50%)
  - D. Sodding Steep Slopes – Where finish slopes are steeper than 3:1 sod shall be placed in accordance with sodding item found in Section IV-C of these specifications.
  - E. Sodding – Where sod is specified for ditches or steep slopes, it shall be stored or piled securely with at least 2 sides or pits not more than 2' apart with the flat side against the slope. Stakes may be wood of least 1/2" x 3/4" x 12", driven so that the last 1" remains above the top of the sod.

V. WATER – PER CITY OF BLOOMINGTON UTILITIES & INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT REQUIREMENTS & SPECIFICATIONS:

- POLYVINYL CHLORIDE (PVC) – PVC pipe is not an approved material for construction of 6" and larger water mains within the City of Bloomington Water Jurisdiction. In special instances the utilities engineer may give written permission to utilize PVC pipe in construction of water mains which are to remain private. This will be done on a case by case basis.
  - PVC pressure pipe may be used in construction of 2-inch or 4-inch water mains to be taken over and installed by City of Bloomington Utilities. In such cases the 2-inch pipe shall be SDR-21 (PR200), and the 4-inch pipe shall be either SDR-21 (PR200) or SDR-35 (R400) with manhole connections to 2-inch pipe shall be 1-inch type K copper and shall connect by means of a self-tapping joint with compression connector unless self-tapping joint shall be failure, as manufactured by Continental Water Products, or pre-approved equal. Meter shall shall be in conformance with City of Bloomington Standard Detail number 15.
  - Both SDR-21 and SDR-35 shall have a cell classification of 1245A-A or 1245-B according to ASTM D784. The minimum allowable material shall be PVC 1120. SDR-21 shall be PR200 and conform to ASTM D2241 and D3138, SDR-35 shall be R400. Both pipes shall have push-on joints. solvent cement joints will not be allowed. All fittings shall be of the type and material recommended by the manufacturer. Castomatic gatesteels shall be manufactured to conform with ASTM F477.
- DUCTILE-IRON PIPE AND FITTINGS**
- A. Mechanical-Joint, Ductile-Iron Pipe: AWWA C151, with mechanical-joint, bell- and gasket-and-unless flanged ends are indicated. Pressure class shall be 350. The pipe shall be lined with an approved lin Potaraed cement sand lining and a luminescent seal in accordance with the latest revision of ANSI/AWWA C104/A21.
  - 1. Mechanical-Joint, Ductile-Iron Fittings: AWWA C110, ductile- or gray-iron standard pattern or AWWA C153, ductile-iron compact pattern.
  - a. Gaskets, Gaskets, and Bolts: AWWA C111, ductile- or gray-iron gaskets, rubber gaskets, and steel bolts.
  - B. Push-on-Joint, Ductile-Iron Pipe: AWWA C151, with push-on-joint, bell- and gasket-and-unless flanged ends are indicated. Pressure class shall be 350. The pipe shall be lined with an approved lin Potaraed cement sand lining with a luminescent seal in accordance with the latest revision of ANSI/AWWA C104/A21.
  - 1. Push-on-Joint, Ductile-Iron Fittings: AWWA C110, ductile- or gray-iron standard pattern or AWWA C153, ductile-iron compact pattern.
  - a. Gaskets: AWWA C111, rubber.

- POLYETHYLENE ENCASEMENT**
- A. Polyethylene encasement sleeves for ductile iron pipe shall be 8-mil linear low-density (LLD) polyethylene encasement of 4-mil high density cross-linked (HDCL), polyethylene encasement material.
  - B. The material shall be furnished and installed in accordance with ANSI/AWWA C-105/A21.5, using plastic film strips or circumferential wraps of adhesive tape providing the pipe with a secure protective enclosure.
- PRESSURE AND LEAKAGE TEST-**
- The contractor shall perform a combination pressure and leakage test on all new mains after they have been filled with water as specified in CBU 4.5.3.5.1. This test shall not be performed until the entire main has been backfilled.
  - The test procedure shall be as herein specified and in accordance with the latest revision or AWWA C601.
  - After the new main has been filled with water, each valve section, as directed by the engineer, shall be subjected to water pressure normal to the area and inspected for evidence of leakage.
  - The main shall then be subjected to a hydrostatic and leakage test of not less than 150 PSI, as measured at the lowest elevation, for at least one hour. The test pressure shall be developed by a pump with suitable pressure gauge furnished and connected to the main by the contractor. The leakage may be measured by either of the two following methods: (1) measure the quantity of water required to raise the pressure at the end of test time to the initial pressure. (2) re-pressure the main to the original test pressure and measure quantity of water which must be bled off to match the pressure at end of test. Leakage shall not exceed 1% of the volume of water per inch or pipe, per mile of pipe, per twenty-four hours.
  - If the leakage from a test section is greater than permitted under this specification, the contractor shall locate and repair the defective joints, pipes, or appurtenances. The pressure test shall then be repeated until leakage does not exceed the permissible amount.

- VI. STORM SEWER**
- A. Reinforced Concrete Pipe (RCP) – When shown on the Construction Plans shall be in accordance with ASTM C-118 Class I unless otherwise specified on the plans.
  - B. Corrugated Metal Pipe (CMP) – When shown on the Construction Plans shall be 18 gauge unless otherwise specified and shall have the connecting bonds and seals as specified by the manufacturer.
  - C. Corrugated Polyethylene Pipe (CPP) – When shown on the construction plans shall be heavier (600) Heavy Duty flexible drainage tubing or equal. Pipes used shall meet or exceed ASTM F-405, ASTM F-667, and SCS 608.
  - D. 8"-12" Polyethylene Pipe (H-12) – When shown on plans, shall be AOS-H12 pipe. Pipe used shall meet or exceed ASTM F405, ASTM F667 and ASHOTO MS22 and MDIA requirements.
  - E. Manholes, Catchbasins, and Inlets – May be precast concrete, brick, or block (precast base, barrel, top, and/or cone are recommended).
- VI. SANITARY SEWER**
- A. General – All sanitary sewer system materials and methods of construction shall, at a minimum, meet the requirements of the City of Bloomington Utilities, the Indiana Department of Environmental Management, and the GLUMB recommended standards for wastewater facilities.
  - B. Manholes
    - 1. Manhole Sections – Reinforced concrete manholes shall conform to ASTM C-478 and meet the latest edition of the Town of Elkhombington specifications.
    - 2. Castings – Manhole frames and lids shall be East Jordan Casting Number 1020, self-sealing, coated s/g, with the words "sanitary sewer" cast in the lid, or equal.
    - 3. Pipe Connection – A rubber compression gasket is required conforming to ASTM C-923.
    - 4. Steps – Manhole steps shall be fiberglass reinforced polyester type and shall meet requirements of ASTM C478, Section 11.
    - 5. Manhole Sockets – All manholes shall contain the inorganic copolymer waterproofing membrane boxes. Contractor shall plug and fill holes and seal all section joints both internally and externally with a non-shrink grout or adhesive.
  - C. Pipe Material
    - 1. Polyvinyl Chloride (PVC) – Pipe material for gravity sewers with diameters between 4" and 15" shall conform to the latest revision of ASTM D-3034 SDR 35 & SDR 26-DN-25. Pipe material for gravity sewers with diameters between 18" & 27" shall conform to the latest revision of ASTM F-479. Minimum cell classification shall be 1205A-B for all pipe and fittings. Joints shall be the elastomeric type conforming to ASTM F-477.
    - 2. Ductile Iron (DI) – Pipe material shall conform to the latest revision of AWWA C-111 for pressure Class 350 pipe and 12" DI pipe. This shall be a cast iron pipe having minimum thickness 0.125" for 4" through 12" pipe and shall be Snap-on, as manufactured by Griffin Pipe Products Company.
  - D. Bedding – #11 or #12 crushed stone 4" under pipe in ordinary soil (and 6" under pipe in rock) and extending to the springline for DIP, and to a point 12 inches above pipe crown for FVC pipe. Bedding shall be tapered in place and meet or exceed ASTM D-2303 (bottom) – Shall be #53 crushed stone under and within 5' of paved areas such as drives and roads. Acceptable excavated material shall be used in all other areas.
  - E. Depth of Bury – Minimum depth of bury shall be 4'-0" to the top of the sewer pipe.
  - F. Trench Width – Trench limits are 7' on either side of the pipe up to 12' above sewer line and 3:1 side slopes to existing grade. Any extra width required due to site conditions, shoring, strutting, pumping or to meet OSHA regulations or regulatory agency requirements shall be included in the pipe price.
  - H. Sanitary Inlets – Shall be 4" PVC pipe, unless noted otherwise, at a minimum slope of 1/4" per foot and installed from the sewer main to the lot line or clean-out adjacent to the proposed building plans. The length between clean-outs shall not exceed 100'.
    - 1. Horizontal Separation – Sewer shall be laid at least 10' (3.0 m) horizontally from any existing or proposed water main. The distance shall be measured outside edge to outside edge.
    - 2. Crossing – Sewers crossing water mains shall be laid to provide a minimum vertical distance of 18" (46 cm) between the outside of the water main and the outside of the sewer. This shall be the case where the water main is either above or below the sewer. The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the water main joints. Where a water main crosses under a sewer, concrete encasement shall be provided for the sewer to prevent damage to the water main.
    - 3. Special Conditions – When it is impossible to obtain proper horizontal and vertical separation as stipulated above, the sewer shall be designed and constructed equal to water pipe and shall be pressure tested to assure water tightness prior to backfilling.

VI. SANITARY SEWER – Continued

- J. Testing**
- 1. Infiltration Test for Exfiltration – Shall be performed by the Contractor and monitored by the City of Bloomington Utilities. No sewer shall leak more than 100 gallons per inch of diameter per mile of sewer per day (24 hours). Any portions not passing said tests for acceptance shall be repaired or replaced at the Contractor's expense, including re-excavation and backfill.
  - Deflection Tests – Shall be performed by the Contractor and monitored by the Town of Elkhombington Utilities on all PVC gravity sewer of least 30 days after the pipe is joined. No pipe shall exceed a vertical deflection of .5%. Any portions not passing said tests for acceptance shall be repaired or replaced at the Contractor's expense, including re-excavation and backfill.
  - Vacuum Test for Manholes – Testing shall be done after complete assembly of manhole, including the manhole frame. Contractor shall plug all pipe openings, taking care to securely brace both the plugs and the pipes. With the vacuum meter set in place Contractor shall initiate the compression bond to 40 psi to effect a seal between the leather base and the frame. The vacuum pump shall be connected to the outlet port with the valve open. Vacuum shall not be allowed to 10 mg (inches of mercury) and the valve closed. The test shall pass if the vacuum remains at 10 mg or drops to 8 mg in a time greater than one minute. Testing prior to backfilling is highly recommended to facilitate corrective measure in case of test failure.
- VII. EROSION CONTROL**
- A. Erosion control methods shown on plans shall be implemented prior to mowing soil. All work shall be in accordance with DEM regulations.

NOTES

If any conflicts with Specifications on Plans and current City of Bloomington Utilities Specifications shall exist, the current CBU Specifications shall have precedence.



RIGHTFIELD SUBDIVISION  
SECTION V PHASE 2  
BLOOMINGTON, INDIANA  
MEET  
FOR  
BOB SHAW  
BRUI Project No: 6015

SPECIFICATIONS

Date:	Issue:	
11-28-2022	ISSUED FOR PERMIT	
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C802