



**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT

BHPC MEETING PACKET

Thursday March 9, 2023

5:00 p.m. EST

Prepared by HAND Staff

In Person: The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

One tap mobile

+13126266799,,95852185508# US (Chicago)

+19292056099,,95852185508# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

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Bloomington Historic Preservation Commission Meeting

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 Passcode: 082945

Thursday March 9, 2023, 5:00 P.M.

AGENDA

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. February 23, 2023

IV. CERTIFICATES OF APPROPRIATENESS

Staff Review

A. COA 23-10

106 W 6th St. (Courthouse Square Historic District)

Petitioner: Kellie Easton

Temporary Sign

Commission Review

B. COA 23-12

701 W 4th St. (Greater Prospect Hill Historic District)

Petitioner: Peter Haralovich

Moving the existing structure out of the lot and building a new principal and auxiliary structure in the lot.

C. COA 23-13

701 W 4th St. (Greater Prospect Hill Historic District)

Petitioner: Peter Haralovich

Full demolition of the existing structure and the construction of a new main building and new auxiliary structure.

D. COA 23-14

701 W 4th St. (Greater Prospect Hill Historic District)

Petitioner: Peter Haralovich

New construction of a main building, demolishing additions to the existing structure, and moving of existing structure within the same lot.

Section 106 Reviews

A. Four Bioretention Ponds to be built throughout Bloomington

B. Adams Street Sidewalk Project

V. NEW BUSINESS

A. Commissioner Attendance

B. Following up with violations

VI. OLD BUSINESS

VII. COMMISSIONER COMMENTS

VIII. PUBLIC COMMENTS ANNOUNCEMENTS

IX. ADJOURNMENT

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Next meeting date is March 23, 2023 at 5:00 P.M. and will be a teleconference via Zoom.

Posted: 3/6/2023

Bloomington Historic Preservation Commission Meeting

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 Passcode: 082945

Thursday February 23, 2023, 5:00 P.M.

MINUTES

I. CALL TO ORDER

II. ROLL CALL

Commissioners Present:

Sam DeSollar (In Person)
Daniel Schlegel (In Person)
Reynard Cross (In Person)
Allison Chopra (In Person)
John Saunders (In Person)
Marlene Newman (Electronic)
Doug Bruce (Electronic)

Advisory Members Present:

Kirsten Hawley (Electronic)

Staff Present:

John Zody, HAND (In Person)
Gloria Colom, HAND (In Person)
Chris Wheeler, City Attorney (Electronic)

Guests Present:

CATS (In Person)
Jenny Southern (In Person)
Angie Rickertts (Online)
Tim Devine (In Person)
Michael Bridavskey (Online)
Lucas Brown (Online)

III. APPROVAL OF MINUTES

A. February 9, 2023 Minutes approved - 4 yes, Zero no, three abstain

Daniel Schlegel made a motion to approve the February 9, 2023 Minutes.

Allison Chopra seconded the motion.

Motion Carries: 4 Yes (**Schlegel, Saunders, Chopra, Cross**), 0 No, 3 Abstain (**Newman, Bruce, DeSollar**)

IV. CERTIFICATES OF APPROPRIATENESS

Commission Review

A. COA 23-09

1319 E 1St St. (Elm Heights Historic District)
Petitioner: **Angie and Darrin Ricketts**
Roof replacement with Brown Old World Slate Roof.

Gloria Colom gave a presentation. See the packet for details.

Jennie Southern came as a representative of the petitioner to discuss the concerns with slate v. a synthetic/composite type of materials that has the look of slate for a new roof. There's an issue with weight in using real slate on the shoulders.

Petitioner **Angie Ricketts** discussed the synthetic use of slate and how they've been looking at how this would work.

Jenny Southern spoke to answer questions about the project as a representative of the petitioner.

Questions and discussions from members about the type of material being used, and what is required as the replacement material.

Comments from members were next. **DeSollar** can't support the composite material/slate that is being proposed. **Cross** mentioned an issue concerning weight to support slate and asked for that engineering report. Petitioner declined to supply the engineering report to the HPC. **Cross** indicates that material being considered is not satisfactory to the guidelines. **Chopra** agrees with **DeSollar**.

Newman discussed weight issues and that it wouldn't be appropriate for the HPC to require slate.

Jenny Southern commented neighborhood guidelines may allow for different types of materials to be used.

Sam Desollar motioned to deny COA 23-09.

Reynard Cross] seconded the motion.

Motion failed to approve 3 Yes (DeSollar, Chopra, Cross), 4 No (Newman, Bruce, Schlegel, Desollar), 0 Abstain.

Daniel Schlegel motioned to approve COA 23-09

John Saunders seconded the motion.

Motion Carries: 4 Yes (Newman, Bruce, Schlegel, Saunders), 2 No (DeSollar, Cross), 1 Abstain (Chopra)

John Saunders recommended that the Elm Heights neighborhood association take these materials into consideration when modifying their guidelines.

B. COA 23-11

804 W 7th St. (Near West Side Historic District)
Petitioner: Tim Devine
Replace doors and windows.

Gloria Colom gave a presentation. See the packet for details.

Tim Devine, the petitioner clarified that the windows and doors would remain the same size. **Sam DeSollar** asked whether the conservation district guidelines are still being used in the **Near West Side Historic District**, which is in fact the case. **Allison Chopra** asked if the door replacement was historically appropriate for the site and there was a back and forth.

Commissioners commented on the effort to preserve the house.

Allison Chopra made the motion to approve COA 23-11.

Daniel Schlegel seconded the motion.

Motion Carries: 7 Yes (Newman, Bruce, Schlegel, DeSollar, Seddon, Saunders, Cross), 0 No, 0 Abstain.

Demolition Delay

A. DD 23-02

1017 S Walnut St. (Contributing)
Petitioner: Michael Bridavsky
Full demolition of the main house and garage.

Gloria Colom gave a presentation. See the packet for details.

Michael Bridavsky, the petitioner explained the reasoning for the demolition application, stating that there is no intention of building another structure in its place. There was a back and forth discussion with the commissioners regarding potential uses for the space.

Allison Chopra commented on the arbitrary nature of establishing historical significance based on notable work to the detriment of historical working class residents.

John Saunders read the demolition delay release resolution:

Motion Carries: 7 Yes (Newman, Bruce, Schlegel, DeSollar, Seddon, Saunders, Cross), 0 No, 0 Abstain.

V. NEW BUSINESS

A. Kiln Collective - Presentation and request for feedback on revisions to Phase I

Lucas Brown, architect for the Kiln Collective gave a presentation. See the packet for details. Members of the commission provided feedback for the proposed redesign.

Daniel Schlegel left at 6:47 p.m. No longer have a Quorum.

- VI. OLD BUSINESS**
- VII. COMMISSIONER COMMENTS**
- VIII. PUBLIC COMMENTS ANNOUNCEMENTS**
- IX. ADJOURNMENT**

Meeting was adjourned by John Saunders at @7:26 p.m.

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Next meeting date is March 9, 2023 at 5:00 P.M. and will be a teleconference via Zoom.

Posted: 2/20/2023

STAFF RECOMMENDATIONS	Address: 106 W 6th St.
COA 23-10	Petitioner: Kellie Easton
Application Date: 1/26/2023	Parcel: 53-05-33-310-145.000-005
RATING: Non-Contributing	Survey: 1867/1950 Commercial, Severely altered



Background: Courthouse Square Historic District

Request: Temporary signage

Courthouse Square Historic District Guidelines: 4(A)(1)"The scale of signage should be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings." (pg. 22)

Staff denied COA 22-10 and requested resubmittal:

The current proposal breaks with the window patterning of the building, looking clunky and out of scale. This can be remedied by redesigning the sign so that it fits within one of the transoms. Verify with Planning and Transportation to make sure that any alternate proposals conform with the UDO requirements.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 23-10

Date Filed: 1/26/2023

Scheduled for Hearing: 2/9/2023

Address of Historic Property: 106 W 6th Street. Bloomington, IN 47404

Petitioner's Name: Jennifer Burt

Petitioner's Address: 106 W 6th Street. Bloomington, IN 47404

Phone Number/e-mail: Jburt@endeavorindiana.com

Owner's Name: Mike Ross

Owner's Address: 3802 E 3rd. St. Bloomington, IN. 47401

Phone Number/e-mail: 812-727-3555

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. Store Front on Square.

2. A description of the nature of the proposed modifications or new construction:
Hanging a 2x8 FT. banner off of the awning above our door.

3. A description of the materials used.
Plastic canvas banner

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



**NOW SERVING BRUNCH
SAT & SUN 11-3PM**

2' x 8' Banner as shown \$155

Che Bello

ITALIAN KITCHEN & BAR



Che Fede ITALIAN KITCHEN & PASTA

105 W. 6th A.B.C.

OPEN

ESPECIALLY
GOOD: SALAD
LUNCH: \$10.95
DINNER: \$14.95
BRUNCH: \$10.95
WEEKEND: \$12.95

105 W. 6th A.B.C.
105 W. 6th A.B.C.
105 W. 6th A.B.C.





- nts
- Hotels
- Things to do
- Bars
- Coffee
- Home >

B'Town Diner

205

127

Qaisar Oriental Rugs

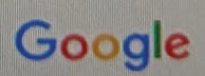
108

104

Synopsys Inc

Che Bello

W 6th St



STAFF RECOMMENDATIONS	Address: 701 W 4th St.
COA 23-12	Petitioner: Peter Haralovich
Application Date: 2/23/2023	Parcel: 53-05-32-420-005.000-005
RATING: CONTRIBUTING	Survey: c. 1935, Small American House



Background: Greater Prospect Hill Historic District

Request: Moving the existing structure out of the lot and building a new principal and auxiliary structure in the lot.

GPHHD Review Committee: Comments Pending

Guidelines: Greater Prospect Hill Historic District Guidelines

Staff Recommends for the HPC to carefully consider the three applications fully before making any determination, as only one of the three can be approved. Historic Preservation staff has listed the COA options in order of preference

1. **COA 23-13: Moving the existing structure to the back of the lot. This would change the location but would be in keeping with the previous approved COA.**
2. **COA 23-12: Moving the existing structure outside of the lot to another space, but this would require the willingness of someone to do the work and knowing that its new location would be beneficial to the surrounding historic community.**
3. **COA 23-14: This is the least favored option as it involves the full demolition of a contributing structure. Any additional information regarding the structural integrity of the structure, cost, and ADA accessibility would help in making a more solid determination.**

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 23-12

Date Filed: FEBRUARY 22, 2023

Scheduled for Hearing: MARCH 9, 2023

Address of Historic Property: 701 W 4th St, Bloomington, IN 47404

Petitioner's Name: Peter P Haralovich

Petitioner's Address: 335 S Lincoln St, Bloomington, IN 47401

Phone Number/e-mail: 8123223535 - peterpharalovich@gmail.com

Owner's Name: Haralovich Properties, LLC - Peter P Haralovich

Owner's Address: 335 S Lincoln St, Bloomington, IN 47401

Phone Number/e-mail: 8123223535 - peterpharalovich@gmail.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 013-42320-00 STEELE LOT 19

2. A description of the nature of the proposed modifications or new construction:

The proposal in this application is to perform the following modifications and construction on the subject property:

1. Modifications:

a. The existing house will be offered, Free of Charge, to persons or entities to relocate it.

2. Construction

- a. A new, manufactured, single story, single family home will be constructed on the north end of the lot.
- b. A new, manufactured, auxiliary structure will be constructed on the south end of the lot.

3. A description of the materials used.

The materials used in the new home and auxiliary building will be consistent with contemporary construction standards;

including but not limited to:

clapboard fiber cement siding

asphalt roofing

wood trim

architectural elements

The design of the house will be consistent in scale with the existing streetscape.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

February 23, 2023

Peter P Haralovich with Lynn Schwartzberg
335 S Lincoln St
Bloomington, IN 47401

Bloomington Historic Preservation Commission
401 N Morton St, Ste 130
Bloomington, IN 47404

Referenced property: 701 W 4th St.

To members of the Historic Preservation Commission,

I am a long time Bloomington resident and the owner of the subject property. I purchased the house and property in 2006. Several weeks later, it was purchased from me by my eldest son where it served as his family residence. In 2016, I repurchased the property. In the years following, it has been occupied by my sister and my youngest son. In 2021, I hired an architect to develop plans to demolish the house and to replace it with a new home where I intend to reside and to age in place. The project includes an auxiliary building to serve as a studio/workshop where I intend to create and produce arts objects; drawings, paintings, and sculpture. It was in the design phase of the home and studio that I was informed by the architect the house is listed as contributing on the Steele-Dunning registry.

In June of 2022, I submitted my own plans. The HPC granted a COA to relocate the original house, to be used as an art studio to the south section of the lot, and approved a design of a craftsman style house to be constructed on the north section of the lot. The Building Department rejected my building permit application on the basis the new house plan was not in compliance with the current setback requirements. It was recommended at the time that I apply for a variance. Circumstances in my private and professional life prevented me from pursuing the variance application in a timely manner. Presently, as I reengage with the project, I have identified an alternative design and builder. As the subject house is now vacant, I have had the opportunity to evaluate the house more thoroughly, reaching the conclusion that the limitations to modifications of the house prevent me from making the types of improvements necessary to make the structure compatible with my artist endeavors. Simply stated, there is not enough natural light available within the house to perform my work. Considering the circumstances, herein I put forward in parallel, three applications for Certificates of Appropriateness. As I and my life partner very much want to reside in the neighborhood and on that location, we hope to proceed with one of the following plans.

The applications are listed in order of our preference.

- Application 1. The relocation of the existing home to a yet to be determined location. In this application we intend to offer the house, Free of Charge, to persons or entities willing to move it to another location. This application includes the construction of a new single-family home and an auxiliary structure to be used as an artist studio and for vehicular parking.
- Application 2. The demolition of the existing home to make way for the construction of a new single-family home and an auxiliary structure artist studio and for vehicular parking.
- Application 3. The relocation of the existing original house and the construction of a new single-family home.

The new single-family home and auxiliary building.

Builder:

[Ritzcraft Homes](#). Ritzcraft is a 65-year-old manufacturer of custom modular homes.

Ritzcraft Homes are represented locally by [Clear Creek Homes](#) located on West 3rd St.

Finishes:

The home and auxiliary building are to be supplied without exterior siding, trim, and porches. Fiber cement lap siding and trim will be furnished and installed locally. Every effort will be made to include details in the form of trim, turnings, and architectural elements which complement the handcrafted style of the neighborhood streetscape. The roof covering is to be conventional asphalt shingles.

Notes regarding the existing house.

1. The house when constructed was built with meager materials and careless building methods. Located at the bottom of Prospect Hill, the basement regularly fills with water. The original plat drawing indicates the house is located on what was once a pond. Flooding is a regular event. Mold within the house is ever present.
2. The houses historical contribution to the neighborhood is questionable. The designation articulates that the significance of the home is that it was the last house built in the neighborhood, not that the house itself has significance due to design or other specifics.
3. Because it was built on a shoestring, it was not designed to last for a century and examples of poor construction can be noted. In the present day, the home is not compliant with current building codes. In order to bring the construction up to code the expense would be an onerous task for the owner. And, the question of whether the home itself is worth saving arises. The design is not significant or unique in any way.
4. The designation was well intended to preserve the "look" of this in-town moderate neighborhood. Whether this specific home or a newly built home that is constructed in the style of the neighborhood would not impact the neighborhood designation. And the new home would last and improve the block that it is on.

We appreciate the opportunity to present our plans to the Commission and look forward to meeting with you on March 8th.

Sincerely,



Peter P Haralovich

W 4th St

W 4th St

S Fairview St



S FA



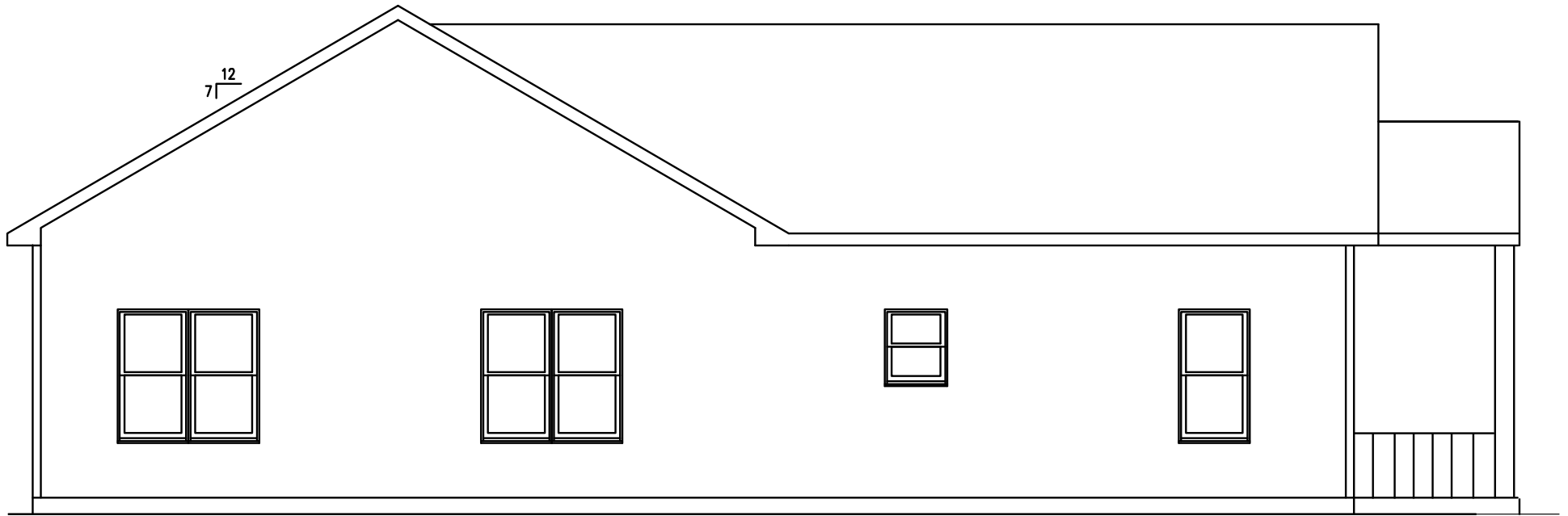


New Home at 701 W Fourth Street

TOP-OF-SILL TO PEAK
± 19'- 8"

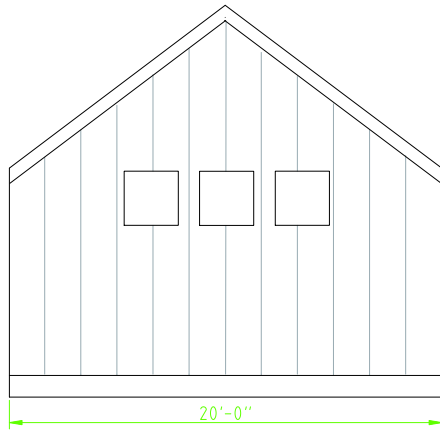


FRONT ELEVATION - Fourth Street view

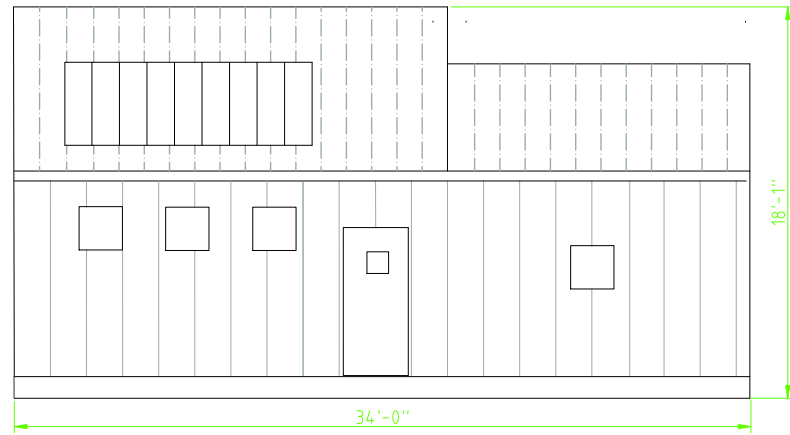


LEFT ELEVATION
Fairview Street view

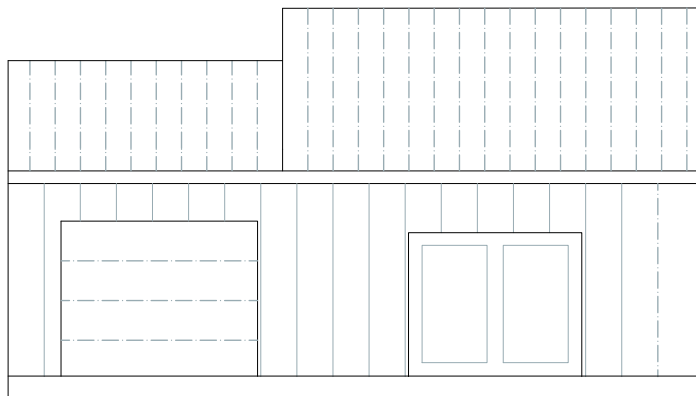
Artist Studio at 701 W Fourth Street



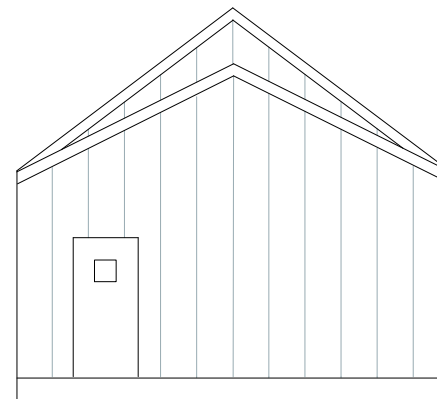
East Elevation



North Elevation

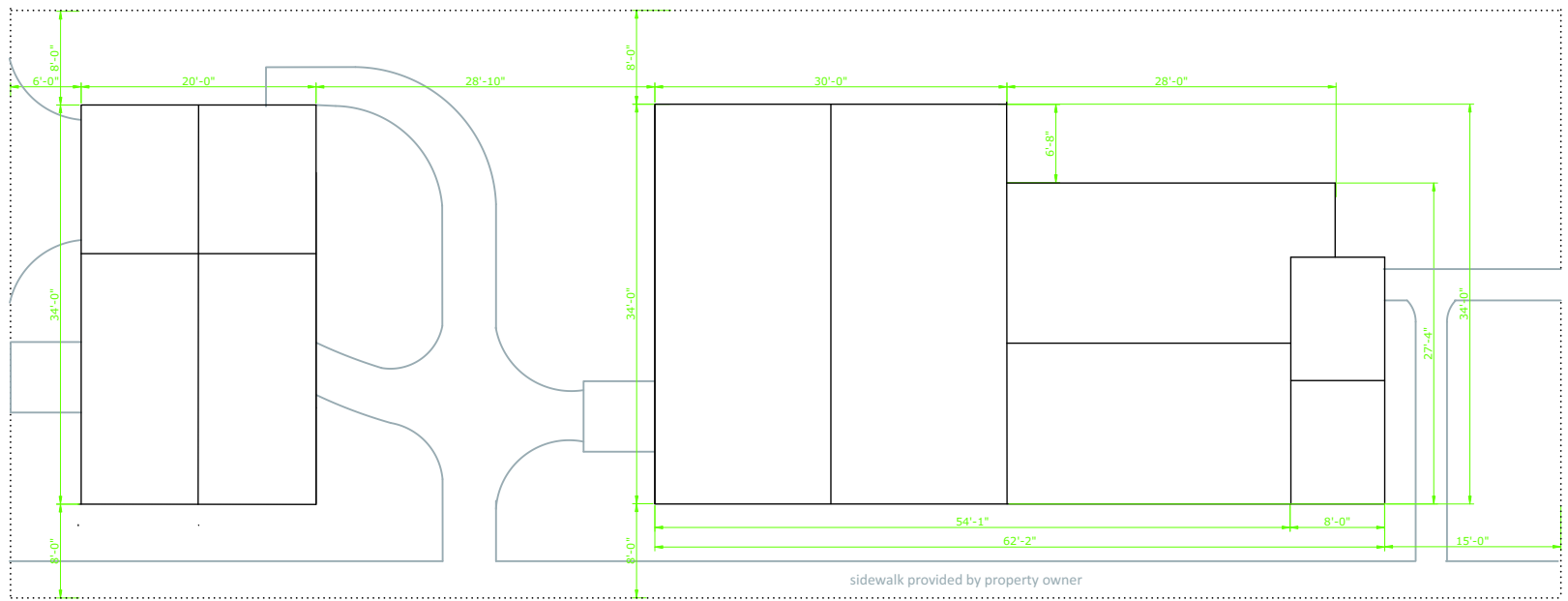


South Elevation



West Elevation

701 W 4th Street Project
Auxiliary Building
Artist Studio
Peter P Haralovich, Owner
2/20/23



701 W 4th Street Project
Site Plan - 701 W 4th Street
Peter P Haralovich, Owner
2/21/2023

STAFF RECOMMENDATIONS	Address: 701 W 4th St.
COA 23-13	Petitioner: Peter Haralovich
Application Date: 2/23/2023	Parcel: 53-05-32-420-005.000-005
RATING: CONTRIBUTING	Survey: c. 1935, Small American House



Background: Greater Prospect Hill Historic District

Request: New construction of a main building, demolishing additions to the existing structure, and **moving of existing structure within the same lot.**

GPHHD Review Committee: Comments Pending

Guidelines: Greater Prospect Hill Historic District Guidelines

Staff Recommendation: Staff Recommends for the HPC to carefully consider the three applications fully before making any determination, as only one of the three can be approved. Historic Preservation staff has listed the COA options in order of preference

1. **COA 23-13:** Moving the existing structure to the back of the lot. This would change the location but would be in keeping with the previous approved COA.
2. **COA 23-12:** Moving the existing structure outside of the lot to another space, but this would require the willingness of someone to do the work and knowing that its new location would be beneficial to the surrounding historic community.
3. **COA 23-14:** This is the least favored option as it involves the full demolition of a contributing structure. Any additional information regarding the structural integrity of the structure, cost, and ADA accessibility would help in making a more solid determination.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 23-13

Date Filed: FEBRUARY 22, 2023

Scheduled for Hearing: MARCH 9, 2023

Address of Historic Property: 701 W 4th St, Bloomington, IN 47404

Petitioner's Name: Peter P Haralovich

Petitioner's Address: 335 S Lincoln St, Bloomington, IN 47401

Phone Number/e-mail: 8123223535 - peterpharalovich@gmail.com

Owner's Name: Haralovich Properties, LLC - Peter P Haralovich

Owner's Address: 335 S Lincoln St, Bloomington, IN 47401

Phone Number/e-mail: 8123223535 - peterpharalovich@gmail.com

Instructions to Petitioners

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Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 013-42320-00 STEELE LOT 19

2. A description of the nature of the proposed modifications or new construction:

The proposal in this application is to perform the following modifications and construction on the subject property:

1. Modifications:

~~a. The deconstruction of additions to the existing house.~~

b. The relocation of the original house to location on the south portion of the lot.

c. The original house will serve as an auxiliary building.

2. Construction

~~a. A new, manufactured, single story, single family home will be constructed on the north end of the lot.~~

3. A description of the materials used.

The materials used in the new home will be consistent with contemporary construction standards; including but not limited to:

~~clapboard fiber cement siding~~

asphalt roofing

wood trim

architectural elements

~~The design of the house will be consistent in scale with the existing streetscape.~~

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

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If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

February 23, 2023

Peter P Haralovich with Lynn Schwartzberg
335 S Lincoln St
Bloomington, IN 47401

Bloomington Historic Preservation Commission
401 N Morton St, Ste 130
Bloomington, IN 47404

Referenced property: 701 W 4th St.

To members of the Historic Preservation Commission,

I am a long time Bloomington resident and the owner of the subject property. I purchased the house and property in 2006. Several weeks later, it was purchased from me by my eldest son where it served as his family residence. In 2016, I repurchased the property. In the years following, it has been occupied by my sister and my youngest son. In 2021, I hired an architect to develop plans to demolish the house and to replace it with a new home where I intend to reside and to age in place. The project includes an auxiliary building to serve as a studio/workshop where I intend to create and produce arts objects; drawings, paintings, and sculpture. It was in the design phase of the home and studio that I was informed by the architect the house is listed as contributing on the Steele-Dunning registry.

In June of 2022, I submitted my own plans. The HPC granted a COA to relocate the original house, to be used as an art studio to the south section of the lot, and approved a design of a craftsman style house to be constructed on the north section of the lot. The Building Department rejected my building permit application on the basis the new house plan was not in compliance with the current setback requirements. It was recommended at the time that I apply for a variance. Circumstances in my private and professional life prevented me from pursuing the variance application in a timely manner. Presently, as I reengage with the project, I have identified an alternative design and builder. As the subject house is now vacant, I have had the opportunity to evaluate the house more thoroughly, reaching the conclusion that the limitations to modifications of the house prevent me from making the types of improvements necessary to make the structure compatible with my artist endeavors. Simply stated, there is not enough natural light available within the house to perform my work. Considering the circumstances, herein I put forward in parallel, three applications for Certificates of Appropriateness. As I and my life partner very much want to reside in the neighborhood and on that location, we hope to proceed with one of the following plans.

The applications are listed in order of our preference.

- Application 1. The relocation of the existing home to a yet to be determined location. In this application we intend to offer the house, Free of Charge, to persons or entities willing to move it to another location. This application includes the construction of a new single-family home and an auxiliary structure to be used as an artist studio and for vehicular parking.
- Application 2. The demolition of the existing home to make way for the construction of a new single-family home and an auxiliary structure artist studio and for vehicular parking.
- Application 3. The relocation of the existing original house and the construction of a new single-family home.

The new single-family home and auxiliary building.

Builder:

[Ritzcraft Homes](#). Ritzcraft is a 65-year-old manufacturer of custom modular homes.

Ritzcraft Homes are represented locally by [Clear Creek Homes](#) located on West 3rd St.

Finishes:

The home and auxiliary building are to be supplied without exterior siding, trim, and porches. Fiber cement lap siding and trim will be furnished and installed locally. Every effort will be made to include details in the form of trim, turnings, and architectural elements which complement the handcrafted style of the neighborhood streetscape. The roof covering is to be conventional asphalt shingles.

Notes regarding the existing house.

1. The house when constructed was built with meager materials and careless building methods. Located at the bottom of Prospect Hill, the basement regularly fills with water. The original plat drawing indicates the house is located on what was once a pond. Flooding is a regular event. Mold within the house is ever present.
2. The houses historical contribution to the neighborhood is questionable. The designation articulates that the significance of the home is that it was the last house built in the neighborhood, not that the house itself has significance due to design or other specifics.
3. Because it was built on a shoestring, it was not designed to last for a century and examples of poor construction can be noted. In the present day, the home is not compliant with current building codes. In order to bring the construction up to code the expense would be an onerous task for the owner. And, the question of whether the home itself is worth saving arises. The design is not significant or unique in any way.
4. The designation was well intended to preserve the "look" of this in-town moderate neighborhood. Whether this specific home or a newly built home that is constructed in the style of the neighborhood would not impact the neighborhood designation. And the new home would last and improve the block that it is on.

We appreciate the opportunity to present our plans to the Commission and look forward to meeting with you on March 8th.

Sincerely,



Peter P Haralovich

W 4th St

W 4th St

S Fairview St



S FA



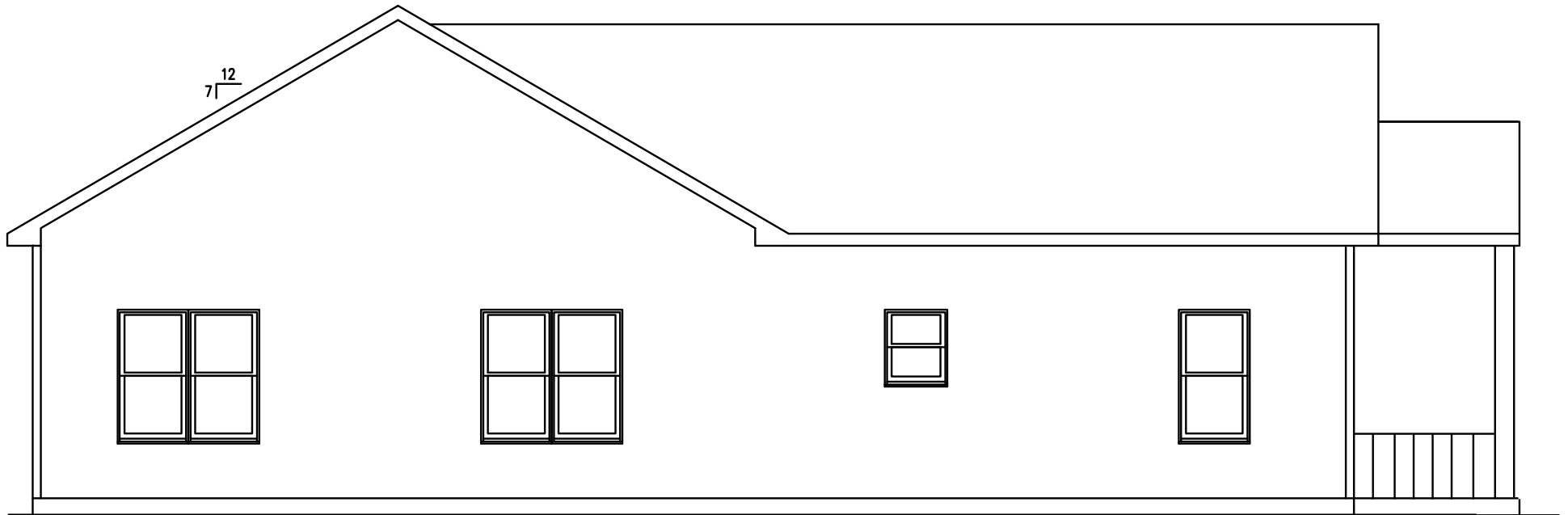


New Home at 701 W Fourth Street

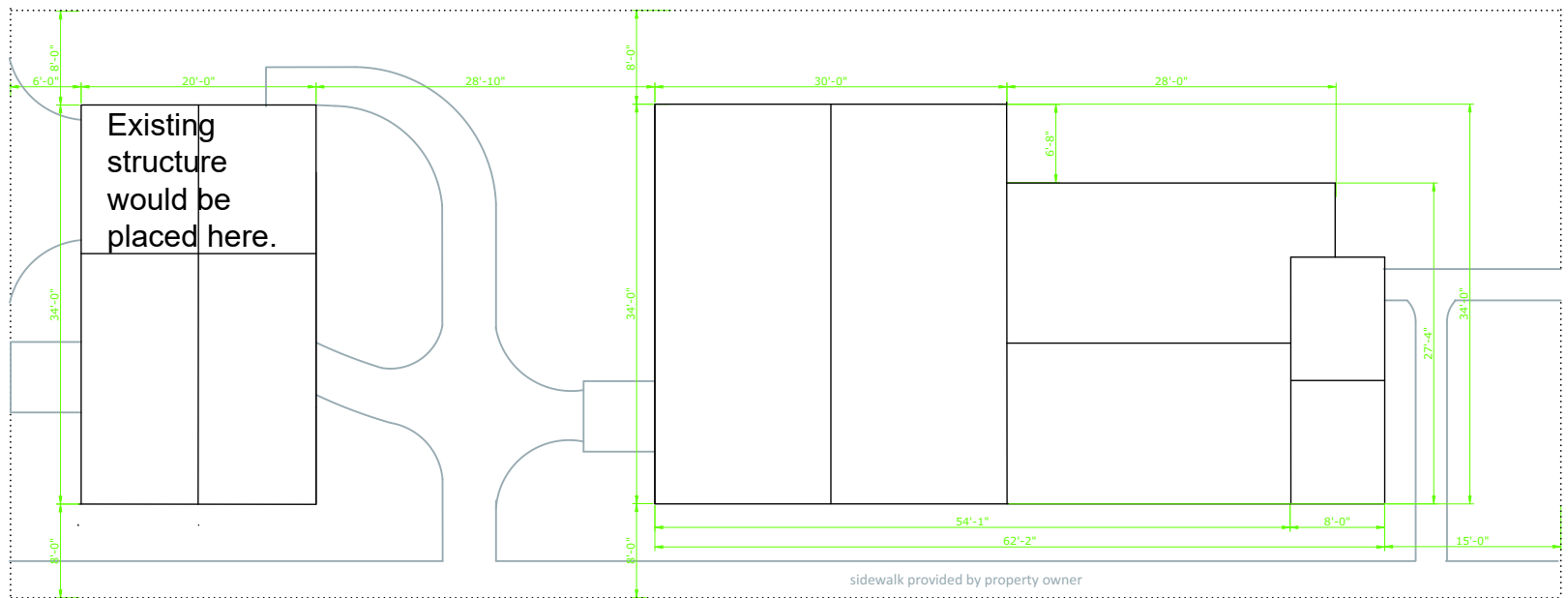
TOP-OF-SILL TO PEAK
± 19'- 8"



FRONT ELEVATION - Fourth Street view



LEFT ELEVATION
Fairview Street view



701 W 4th Street Project
Site Plan - 701 W 4th Street
Peter P Haralovich, Owner
2/21/2023

STAFF RECOMMENDATIONS	Address: 701 W 4th St.
COA 23-14	Petitioner: Peter Haralovich
Application Date: 2/23/2023	Parcel: 53-05-32-420-005.000-005
RATING: CONTRIBUTING	Survey: c. 1935, Small American House



Background: Greater Prospect Hill Historic District

Request: Full demolition of the existing structure and the construction of a new main building and new auxiliary structure.

GPHHD Review Committee: Comments Pending

Guidelines: Greater Prospect Hill Historic District Guidelines

Staff Recommends for the HPC to carefully consider the three applications fully before making any determination, as only one of the three can be approved. Historic Preservation staff has listed the COA options in order of preference

4. **COA 23-13: Moving the existing structure to the back of the lot. This would change the location but would be in keeping with the previous approved COA.**
5. **COA 23-12: Moving the existing structure outside of the lot to another space, but this would require the willingness of someone to do the work and knowing that its new location would be beneficial to the surrounding historic community.**
6. **COA 23-14: This is the least favored option as it involves the full demolition of a contributing structure. Any additional information regarding the structural integrity of the structure, cost, and ADA accessibility would help in making a more solid determination.**

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 23 - 14

Date Filed: 2/28/2023

Scheduled for Hearing: MARCH 9, 2023

Address of Historic Property: 701 W 4th St, Bloomington, IN 47404

Petitioner's Name: Peter P Haralovich

Petitioner's Address: 335 S Lincoln St, Bloomington, IN 47401

Phone Number/e-mail: 8123223535 - peterpharalovich@gmail.com

Owner's Name: Haralovich Properties, LLC - Peter P Haralovich

Owner's Address: 335 S Lincoln St, Bloomington, IN 47401

Phone Number/e-mail: 8123223535 - peterpharalovich@gmail.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 013-42320-00 STEELE LOT 19

2. A description of the nature of the proposed modifications or new construction:
The proposal in this application is to perform the following modifications and construction on the subject property:
1. Modifications:
a. The deconstruction/demolition of the existing house.
2. Construction
a. A new, manufactured, single story, single family home will be constructed on the north end of the lot.
b. A new, manufactured, auxiliary structure will be constructed on the south end of the lot.

3. A description of the materials used.
The materials used in the new home and auxiliary building will be consistent with contemporary construction standards;
Including but not limited to:
clapboard fiber cement siding
asphalt roofing
wood trim
architectural elements
The design of the house will be consistent in scale with the existing streetscape.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

February 23, 2023

Peter P Haralovich with Lynn Schwartzberg
335 S Lincoln St
Bloomington, IN 47401

Bloomington Historic Preservation Commission
401 N Morton St, Ste 130
Bloomington, IN 47404

Referenced property: 701 W 4th St.

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Peter P Haralovich

W 4th St

W 4th St

S Fairview St



S FA



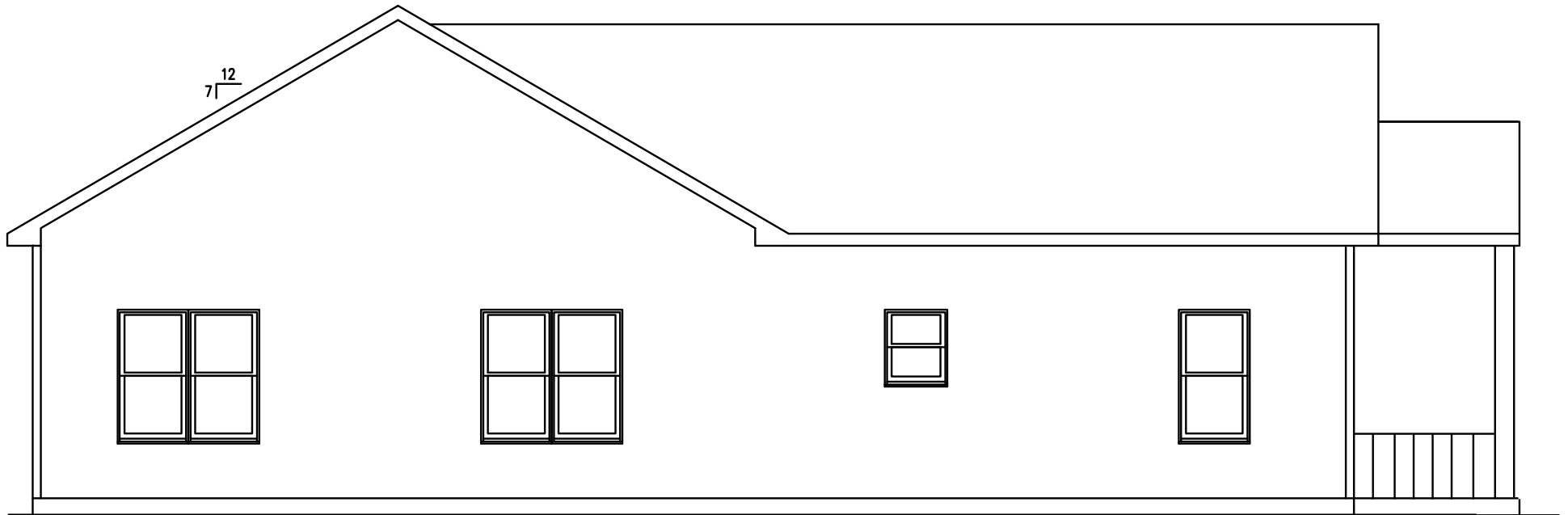


New Home at 701 W Fourth Street

TOP-OF-SILL TO PEAK
± 19'- 8"

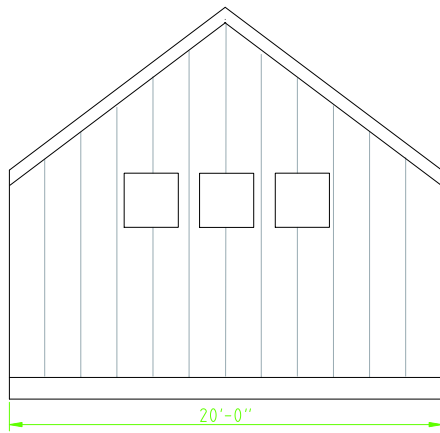


FRONT ELEVATION - Fourth Street view

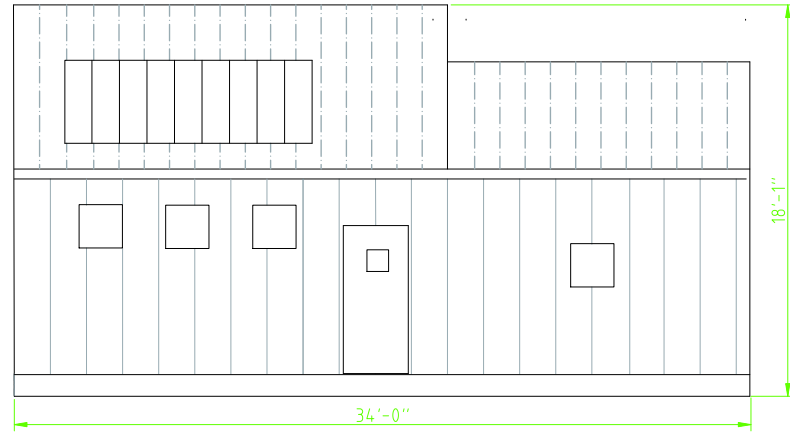


LEFT ELEVATION
Fairview Street view

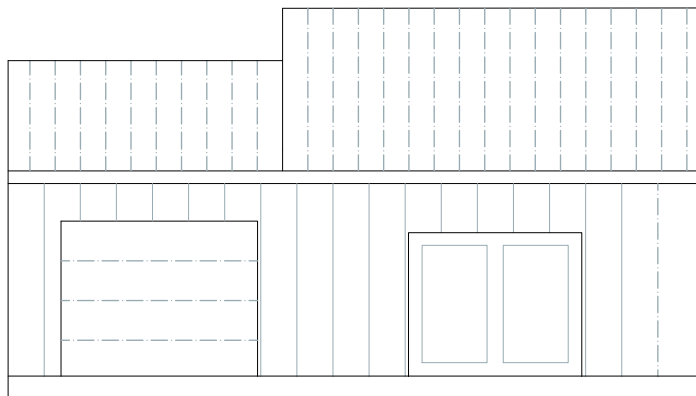
Artist Studio at 701 W Fourth Street



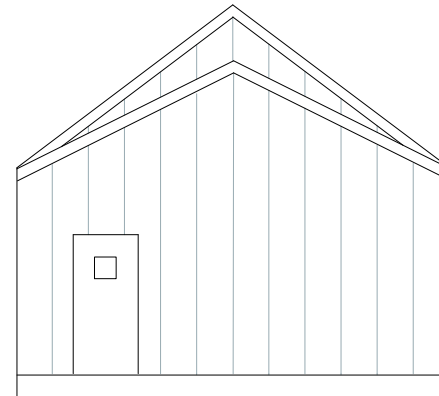
East Elevation



North Elevation

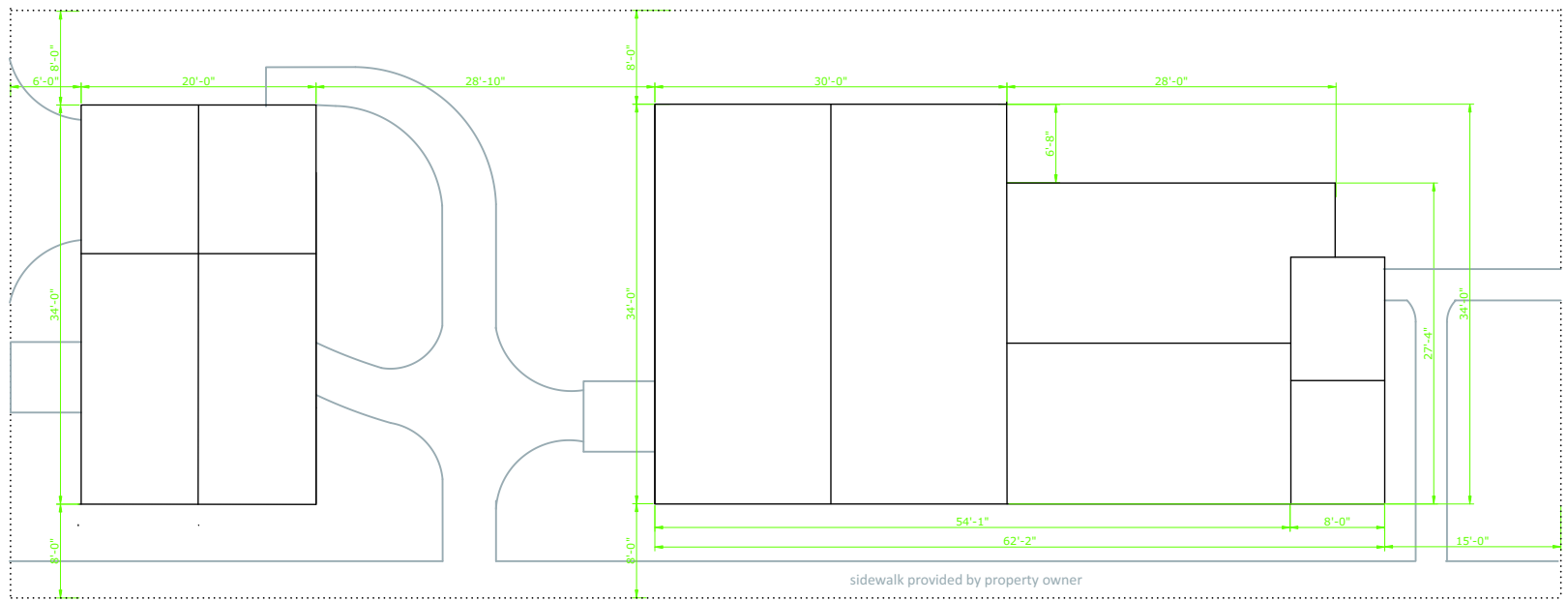


South Elevation



West Elevation

701 W 4th Street Project
Auxiliary Building
Artist Studio
Peter P Haralovich, Owner
2/20/23



701 W 4th Street Project
Site Plan - 701 W 4th Street
Peter P Haralovich, Owner
2/21/2023



February 27, 2023

John Saunders
Chair
Bloomington Historic Preservation
401 N Morton St, Suite 130
Bloomington, IN 47404

Re: Creation of four new bioretention ponds at different locations in Bloomington, Indiana
Community Development Block Grant Public Physical Improvement

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

The proposal aims to create four water retention ponds in order to improve water quality and reduce flooding in a drainage basin. A bioretention pond is a rain garden that helps treat and filter the water before it enters the storm sewer system or stream. The pond would also provide detention, which holds the water back during a rain event, and release it at a slower rate.

Enclosed are four maps that show the project areas and additional areas of potential indirect effects. The four new bioretention ponds as seen on the attached map; two in the Waterman's Addition on the near westside, west of Adams St., south of Fountain Drive, north of 6th St. Another pond is proposed just south of Sherwood Oaks Christian Church on Sare Road and the

last pond is proposed between South Downs and Sheridan Dr., east of Bryan Park, just west of Karen Drive.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,






Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

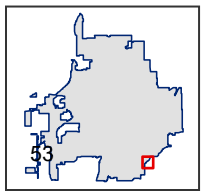
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources, Indiana

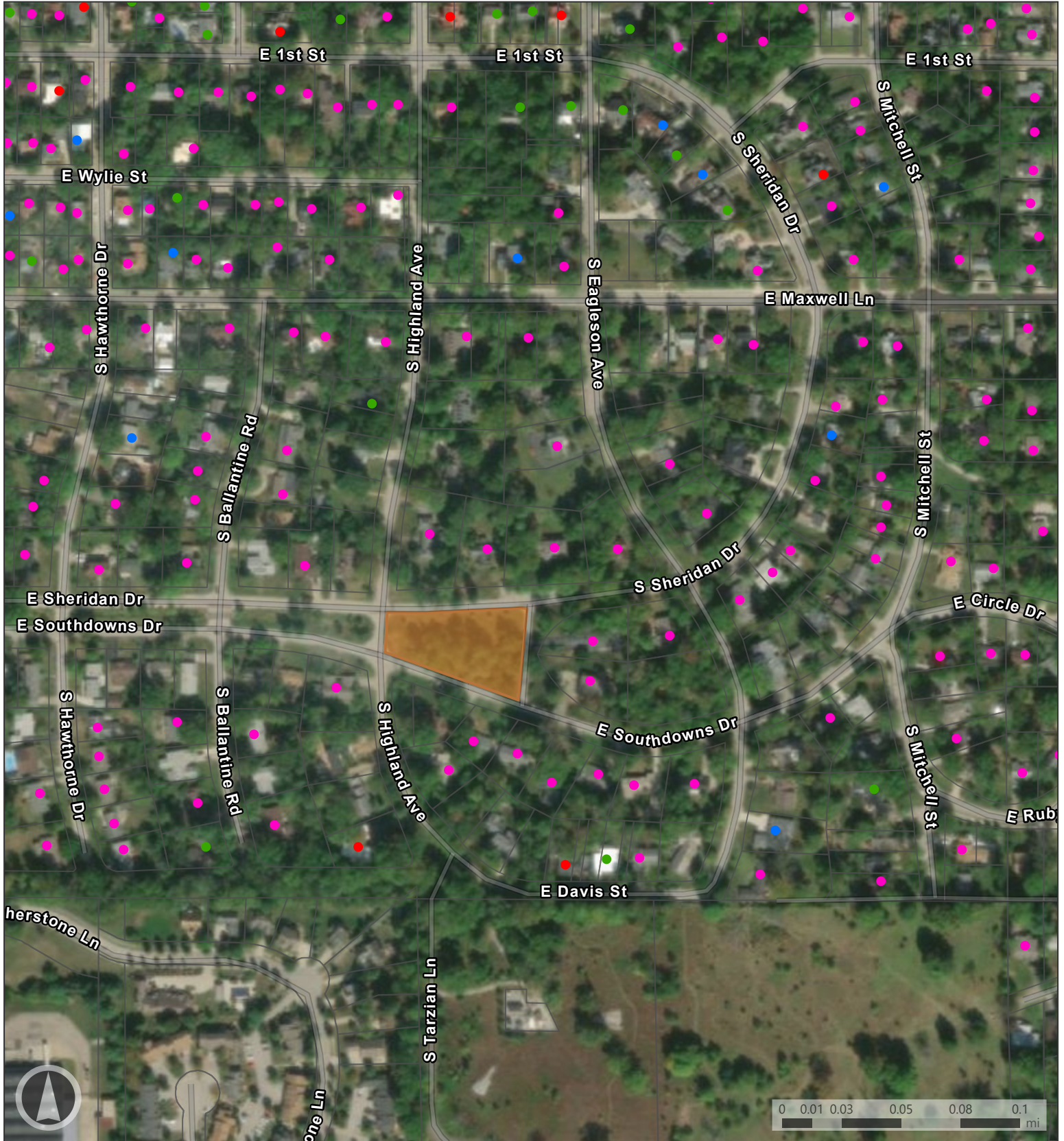
Attachments



Map Legend

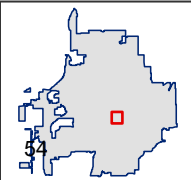
-  Override 1
-  Monroe County Parcels
-  Bloomington Municipal Boundary

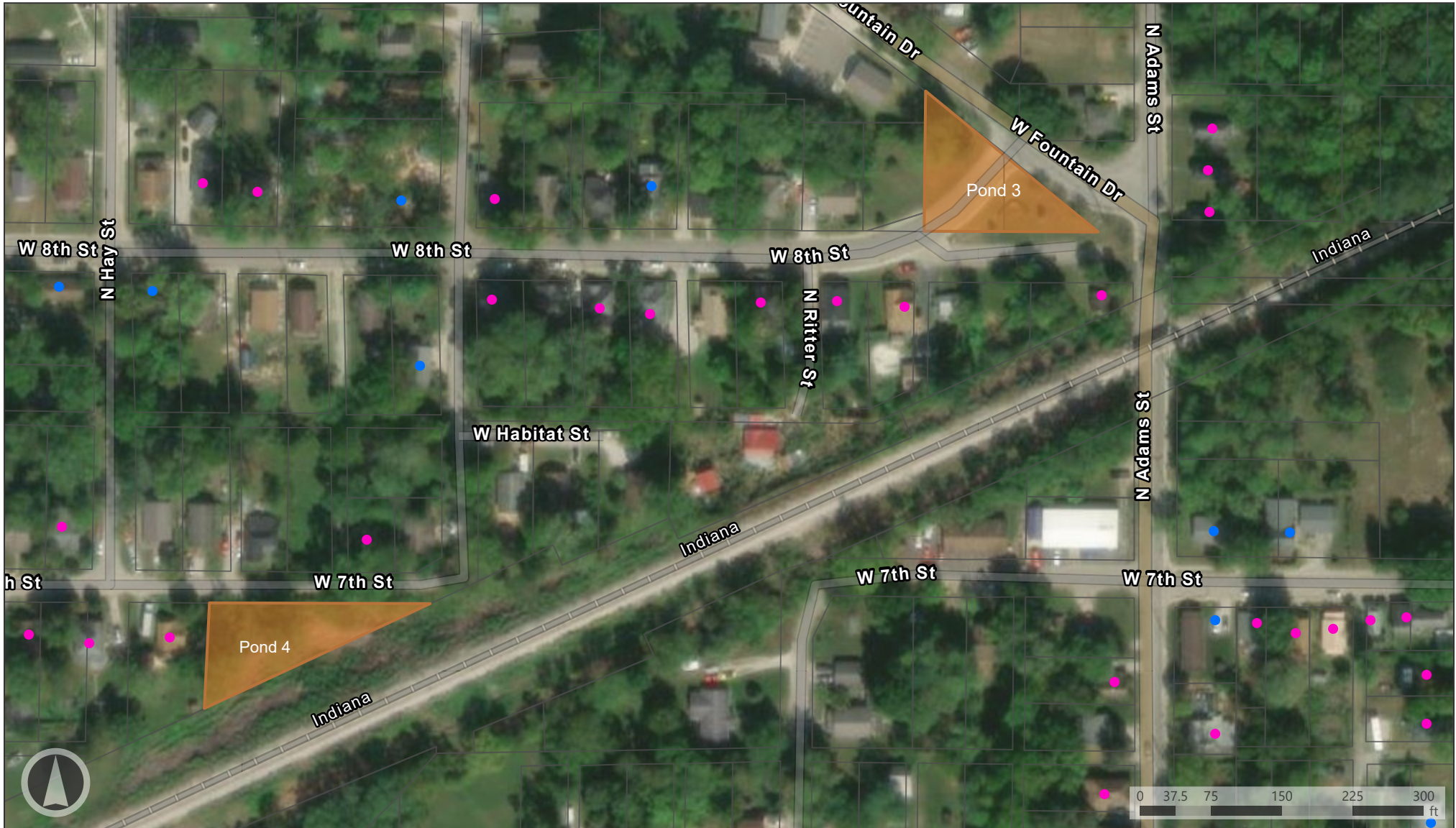




Map Legend

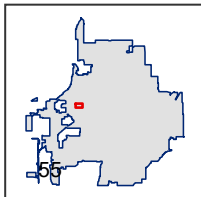
- APE
- Outstanding
- Notable
- Contributing
- Non-Contributing
- Bloomington Municipal Boundary
- Monroe County Parcels





Map Legend

- APE Sites
- Non-Contributing
- Bloomington Municipal Boundary
- Contributing
- Monroe County Parcels



Monroe County, IN

S Sare RD, Bloomington, IN 47401
53-08-15-100-005.000-009



Parcel Information

Parcel Number: 53-08-15-100-005.000-009
Alt Parcel Number: 015-04445-00
Property Address: S Sare RD
Bloomington, IN 47401
Neighborhood: 64 PERRY CITY - BASE - COM - A
Property Class: Exempt, Municipality
Owner Name: City Of Bloomington
Owner Address: PO Box 100
Bloomington, IN 47402
Legal Description: 015-04445-00 GARDENS @ HIDDEN
VALLEY FARMS; LOT 1

Taxing District

Township: PERRY TOWNSHIP
Corporation: MONROE COUNTY COMMUNITY

Land Description

<u>Land Type</u>	<u>Acreage</u>	<u>Dimensions</u>
14	1.0	

Monroe County, IN

W FOUNTAIN DR, Bloomington, IN 47404
53-05-32-307-117.000-005



Parcel Information

Parcel Number: 53-05-32-307-117.000-005
Alt Parcel Number: 013-17760-00
Property Address: W FOUNTAIN DR
Bloomington, IN 47404
Neighborhood: 36A BLOOMINGTON CITY - COM/RES - A
Property Class: Exempt, Municipality
Owner Name: City Of Bloomington Dept Of Redev
Owner Address: PO Box 100
Bloomington, IN 47402
Legal Description: 013-17760-00 WATERMANS PT LOT 101

Taxing District

Township: BLOOMINGTON TOWNSHIP
Corporation: MONROE COUNTY COMMUNITY

Land Description

<u>Land Type</u>	<u>Acreage</u>	<u>Dimensions</u>
9	0.18	

Monroe County, IN

W FOUNTAIN DR, BLOOMINGTON, IN 47404
53-05-32-307-089.000-005



Parcel Information

Parcel Number: 53-05-32-307-089.000-005
Alt Parcel Number: 013-68225-00
Property Address: W FOUNTAIN DR
BLOOMINGTON, IN 47404
Neighborhood: BLOOMINGTON CITY - COMPLIANT
Property Class: Exempt, Municipality
Owner Name: City Of Bloomington
Owner Address: PO Box 100
Bloomington, IN 47402
Legal Description: 013-68225-00 WATERMAN PT LOT 101

Taxing District

Township: BLOOMINGTON TOWNSHIP
Corporation: MONROE COUNTY COMMUNITY

Land Description

<u>Land Type</u>	<u>Acreage</u>	<u>Dimensions</u>
82	0.09	

Monroe County, IN

W 7TH ST, BLOOMINGTON, IN 47404
53-05-32-307-084.000-005



Parcel Information

Parcel Number: 53-05-32-307-084.000-005
Alt Parcel Number: 013-48930-01
Property Address: W 7TH ST
BLOOMINGTON, IN 47404
Neighborhood: 33 BBLOOMINGTON CITY - BASE - COM -
A
Property Class: Exempt, Municipality
Owner Name: City Of Bloomington Util Dept
Owner Address: PO Box 100
Bloomington, IN 47402
Legal Description: 013-48930-01 WATERMANS PT LOT 61

Taxing District

Township: BLOOMINGTON TOWNSHIP
Corporation: MONROE COUNTY COMMUNITY

Land Description

<u>Land Type</u>	<u>Acreage</u>	<u>Dimensions</u>
14	0.169	



Bioretention Pond Site 3 - facing northwest



Bioretention Pond Site 3 - facing east



Bioretention Pond Site 4 - Facing east. Site is on the right of the road (south)



Bioretention Pond Site 4 - Facing East. 1516 W 7th St. (SHAARD #: 105-055-35969)
Proposed site to the south of the road.



Bioretention Pond Site 2 - Facing south.



Bioretention Pond Site 1 - Facing south.

IHSSI (County Survey)



Survey Number: 105-055-60696

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 925 S Highland Ave

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

541663

4334264

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 0
Resources:

Environment: urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1960

Condition: Good
 Year Demolished: -
 Integrity: Unaltered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: Ranch

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 4

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:
Other:
Material: ASPHALT
Features: -

Porches

Front: Side: Back:
Notes: roof supported by cast iron posts

Openings: orig. vent window, two orig. fixed windows, orig. door and sidelight, two orig. vent windows

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: -

IHSSI (County Survey)



Survey Number: 105-055-60693

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 1315 S Sheridan Dr

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

541693

4334194

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 0
Resources:

Environment: urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1940

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 3

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: gable dormers

Porches

Front: Side: Back:

Notes: roof supported by wood post

Openings: three orig. 6/6 windows

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: -

IHSSI (County Survey)



Survey Number: 105-055-35969

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 1516 7th St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538648

4335590

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 1
Resources:

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1930

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: Bungalow

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other: Description: expanded porch
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: decorative wood brackets

Porches

Front: Side: Back:

Notes: See #29

Openings: 1/1 double hung wood windows, double 2 light wood windows, 6 light wood casement window, wood slider windows, wood square windows, rectangular windows in basement level, wood panel door.

Interior: -

Outbuildings: Shed

Notes: -

Statement of Significance: -

Architectural Description: Expanded front porch with gable front roof, across main elevation, wood half columns, concrete block half walls, concrete floor and steps.

IHSSI (County Survey)



Survey Number: 105-055-60982

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 1320 E Southdowns Dr

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

541754

4334121

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1960

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: Ranch

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 3

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: -

Porches

Front: Side: Back:

Notes: -

Openings: garage door, orig. door, three orig. 2/2 windows

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: -

IHSSI (County Survey)



Survey Number: 105-055-60984

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 1331 E Southdowns Dr

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

541782

4334117

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 0
Resources:

Environment: urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1960

Condition: Good
 Year Demolished: -
 Integrity: Unaltered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: Split Level

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 3

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:
Other:
Material: ASPHALT
Features: -

Porches

Front: Side: Back:
Notes: recessed entry

Openings: three sets of banded orig. casement windows, orig. door, six banded orig. casement windows, three banded orig. casement windows

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: -



February 21, 2023

John Saunders
Chair
Bloomington Historic Preservation
401 N Morton St, Suite 130
Bloomington, IN 47404

Re: Construction of an Accessible Sidewalk at Adams Street (from Kirkwood Avenue to Fountain Drive), Bloomington, Indiana
Community Development Block Grant Public Physical Improvement

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Enclosed is a map that shows the project area and additional area of potential indirect effects. The project consists of the construction of an accessible sidewalk along the west side of Adams Street from Kirkwood Avenue to Fountain Drive. The project will also include a short section of new sidewalk along the south side of Fountain Drive adjacent to the City-owned parcel at the intersection of 8th Street at Fountain Drive. The project will include accessible curb ramps, incidental stormwater work, and other associated construction necessary to complete the sidewalk.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

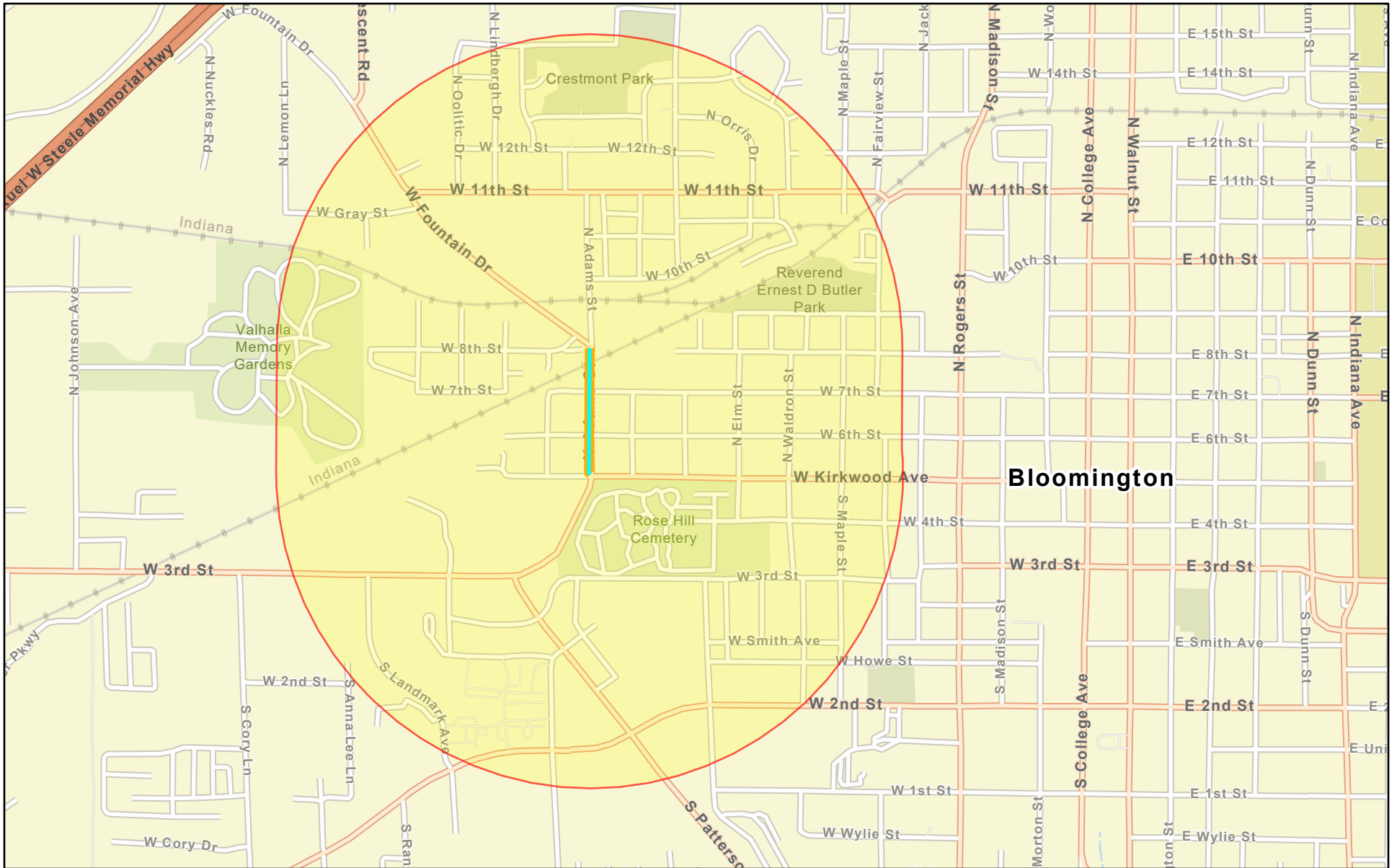
Sincerely,





Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

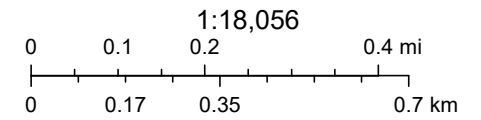
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources,
Indiana

Sidewalk Location



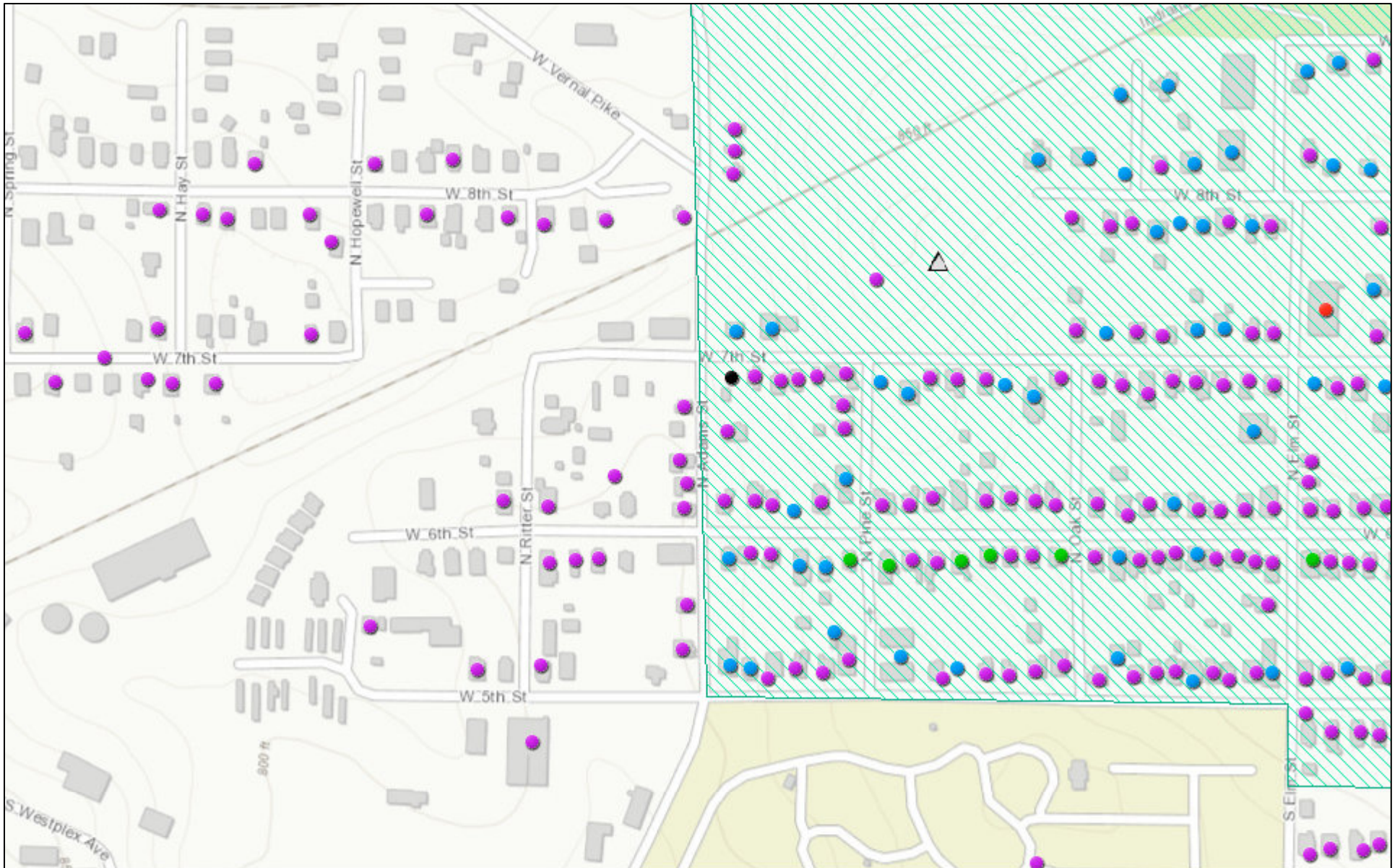
December 7, 2022

-  Project Buffer
-  COB Sidewalk



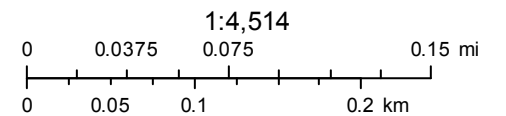
Esri Community Maps Contributors, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau,

N Adams St - SHAARD Historic Sites Survey



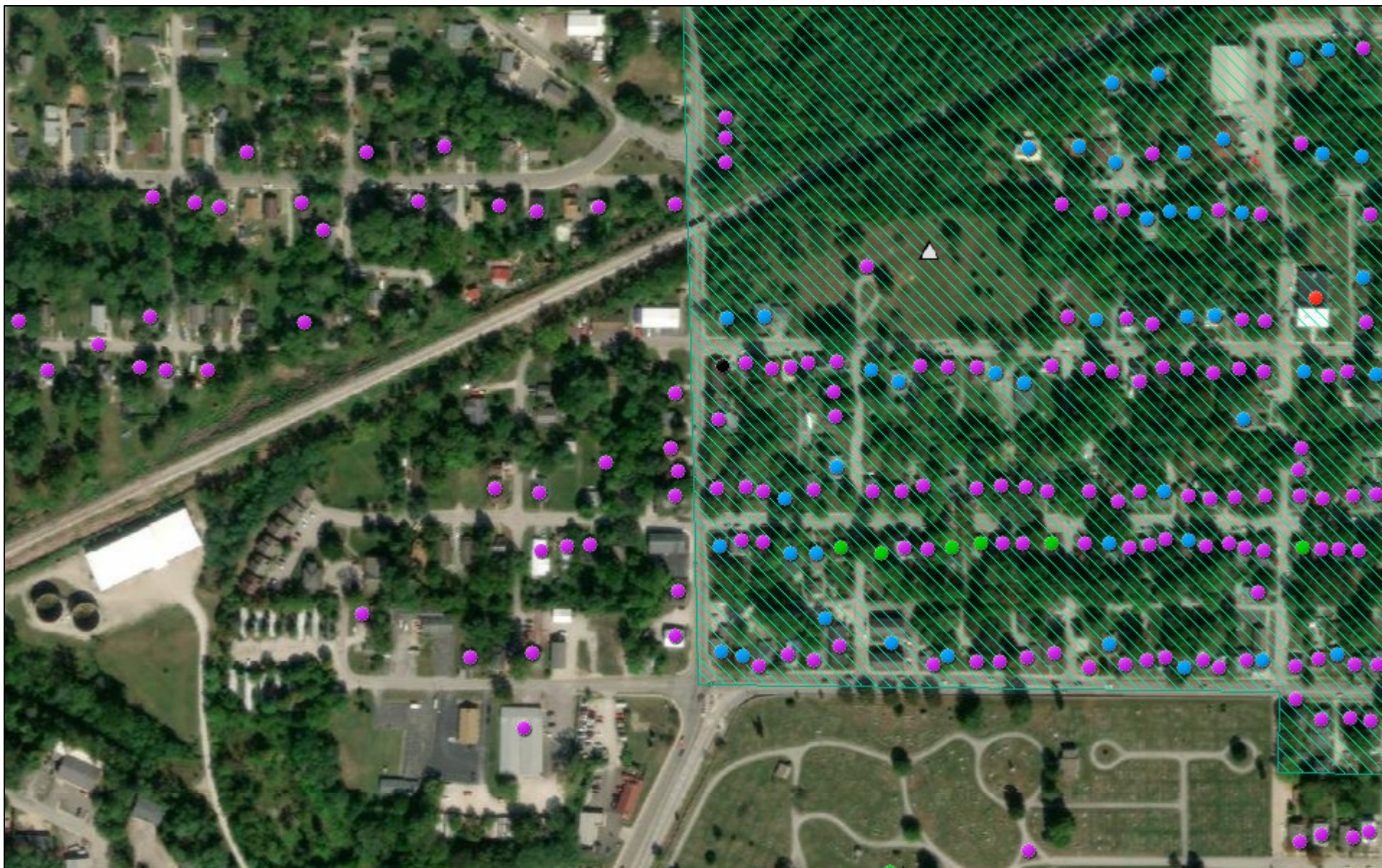
2/21/2023, 3:42:51 PM

- △ Cemeteries
- Notable
- Non-Contributing
- Contributing
- Demolished
- Outstanding
- ▨ Historic Districts



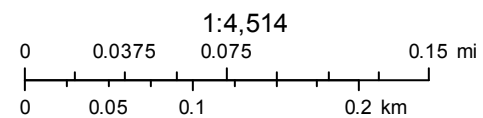
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri

N Adams St - SHAARD Historic Sites Survey



2/21/2023, 3:24:50 PM

- △ Cemeteries
- Notable
- Non-Contributing
- County Survey Sites**
- Contributing
- Demolished
- Outstanding
- ▨ Historic Districts



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

IHSSI (County Survey)



Survey Number: 105-055-35915

Rating: Contributing

Historic Name: Church

Year Dataset Compiled: 2014

National Register File Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 103 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538904

4335406

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Describe: church

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1935

Condition: Fair
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other: Description: doors

Additions

Siding: Wings:
 Other: Description: entry portico
 Removals: doors

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: -

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: parapets on gable ends, exterior brick chimney

Porches

Front: Side: Back:

Notes: See #29

Openings: 1/1 double hung wood windows with metal storms, glass block windows in shape of a cross, rectangular windows in basement level, glazed metal panel double doors.

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: Front porch with gable front roof over front door, wood siding, partially enclosed, concrete floor, concrete block half walls/column, concrete steps, wood ramp.

IHSSI (County Survey)



Survey Number: 105-055-35916

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 113 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538903

4335435

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: Pyramid roof cottage

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other: Description: door

Additions

Siding: Wings:
 Other: Description: screened porch
 Removals: door

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:
Other:
Material: ASPHALT
Features: brick chimney

Porches

Front: Side: Back:

Notes: hipped roof across north bay, wood frame screened in, wood floor

Openings: 1/1 double hung wood windows with metal storms, vinyl slider windows, metal slat windows, vinyl awning windows, glazed metal panel door.

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: -

IHSSI (County Survey)



Survey Number: 105-055-35979

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 201 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538905

4335484

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1930

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: California Bungalow

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: brick chimney

Porches

Front: Side: Back:

Notes: See #29

Openings: 4/1, 3/1, 2/2, and 1/1 double hung wood windows with metal storms, rectangular wood windows in basement level, glazed wood panel doors, front door has glazed metal storm.

Interior: -

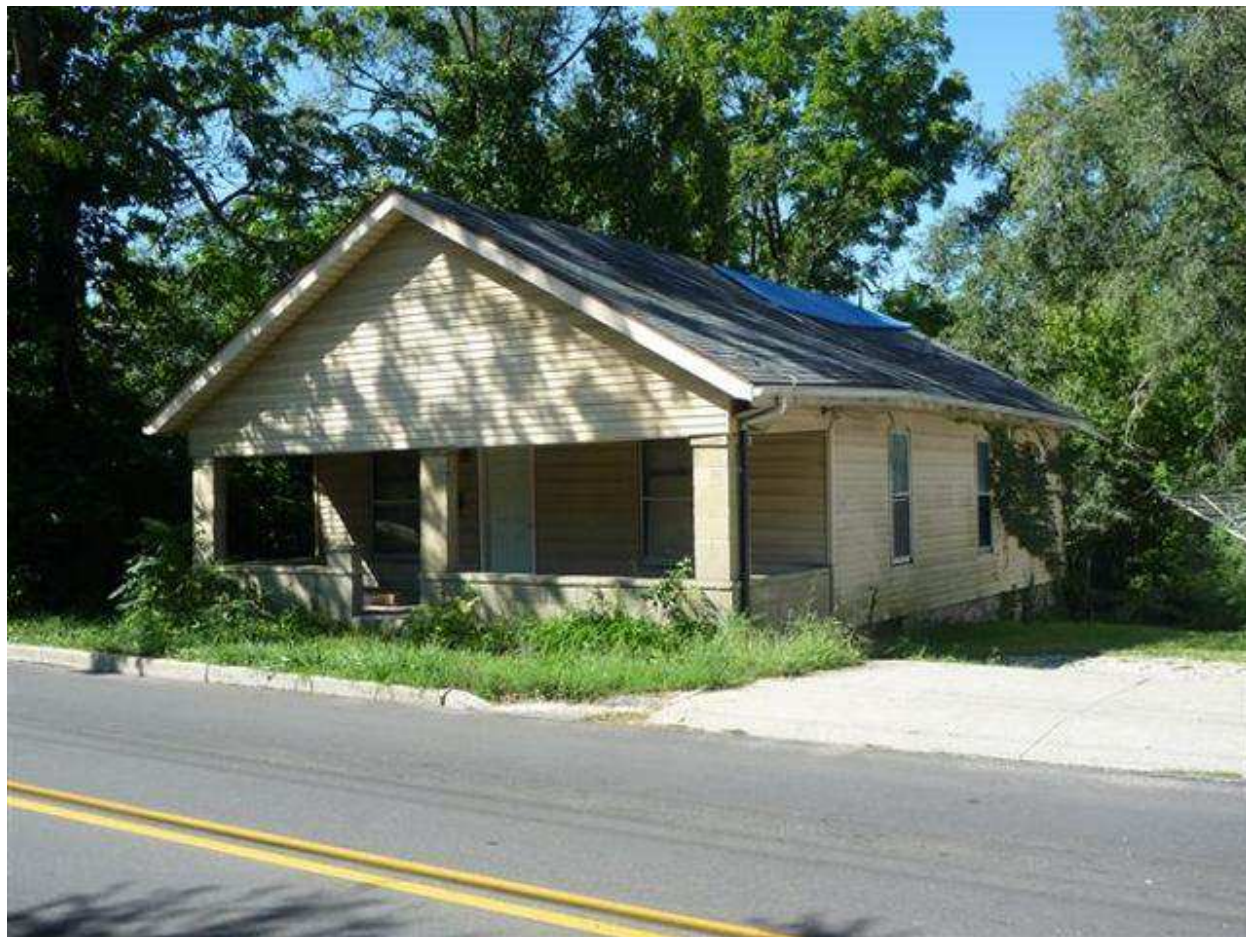
Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: Front porch with hipped roof across main elevation, wood half columns, metal aluminum sided half walls, concrete floor. Rear wood landing and stairs at rear door with wood railing.

IHSSI (County Survey)



Survey Number: 105-055-35980

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 221 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538903

4335501

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: Yes

Explanation: vacant, deteriorating

Number of
Contributing Resources: 1

Number of
Non-contributing
Resources: 0

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Fair
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other: Description: door

Additions

Siding: Wings:
 Other:
 Removals: door

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 3

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

IHSSI (County Survey)



Survey Number: 105-055-35981

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 223 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538902

4335523

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing 1
Resources:

Number of
Non-
contributing 0
Resources:

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Fair
 Year Demolished: -
 Integrity: Severely Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other: Description: door

Additions

Siding: Wings:
 Other: Description: encl porch
 Removals: door

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 3

Foundation: CONCRETE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: brick chimney, cinder block chimney

Porches

Front: Side: Back:

Notes: See #29

Openings: 1/1 double hung wood windows with metal storms, rectangular wood windows, 1/1 double hung vinyl windows, vinyl slider window, glazed metal panel doors with glazed metal storms.

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: Front porch under main roof, vinyl sided frieze, screened in wood frame, across main bay, wood ramp with wood railing.

IHSSI (County Survey)



Survey Number: 105-055-35982

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 231 Adams St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538901

4335562

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:

Other:

Material: ASPHALT

Features: brick chimney

Porches

Front: Side: Back:

Notes: under main roof, across north bay, wood column, concrete floor

Openings: 1/1 double and single, double hung wood windows, some with metal storms, glazed wood panel door with glazed metal storm.

Interior: -

Outbuildings: -

Notes: -

Statement of Significance: -

Architectural Description: -

IHSSI (County Survey)



Survey Number: 105-055-35759

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 1301 8th St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

538889

4335698

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic
Landmark:

Local Designation:

Protective
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of
Contributing Resources: 1

Number of
Non-contributing Resources: 1

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1940

Condition: Good
 Year Demolished: -
 Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other:
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: 2
Foundation: CONCRETE
Foundation Description: -
Walls Description: -
Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:

Hip: Pyramidal: Mansard:
Other:
Material: ASPHALT
Features: -

Porches

Front: Side: Back:

Notes: shed roof, over front door, metal columns, concrete floor

Openings: 1/1 double hung wood windows, some with metal storms, glazed wood panel door with glazed metal storm.

Interior: -

Outbuildings: Shed

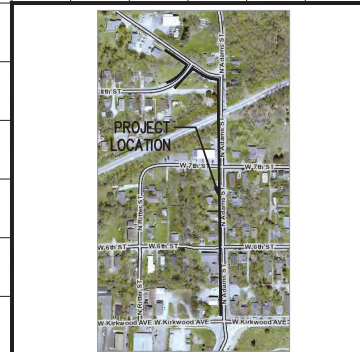
Notes: -

Statement of Significance: -

Architectural Description: -

PROPOSED: ADAMS STREET SIDEWALK

N ADAMS STREET
BLOOMINGTON, IN. 47404
FROM W. KIRKWOOD AVE. TO THE
INTERSECTION OF W. 8TH ST.
AND W. FOUNTAIN DR.



VICINITY/LOCATION MAP
NOT TO SCALE

UTILITY CONTACT INFORMATION		
GAS VECON 205 S. MADISON ST. BLOOMINGTON, IN 47401 DOUG ANDERSON (812)330-4009	SEWER AND WATER CITY OF BLOOMINGTON UTILITIES 603 E. MILLER DR. BLOOMINGTON, IN 47402 NANCY ASSOM (812)349-3689	ELECTRIC DUKE ENERGY 1619 N. DETROIT/BLVD RD NOKOMO, INDIANA 46062 JIM SHELLOS (317)375-2071
TELEPHONE AT&T P.O. BOX 56 BLOOMINGTON, IN 47402 BRENT MCABE (812)334-4521	CABLE TELEVISION CINCISAT 2450 SOUTH HENDERSON STREET BLOOMINGTON, IN 47404 SCOTT TEMPLETON (812)355-7822	UNDERGROUND UTILITY LOCATION INDIANA UNDERGROUND PLANT PROTECTION 1-(800)382-5544

SHEET INDEX	
SHEET NO.	SHEET NO.
C101	GENERAL NOTES & LEGENDS
C201	TYPICAL CROSS-SECTION
C301-309	PLAN AND PROFILE
C401-403	DETAILS
C501-C513	R-1 CROSS SECTIONS
C601-C604	RIGHT-OF-WAY ACQUISITION

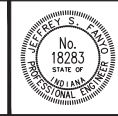


BYNUM FANYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana 47404 (812) 332-8030

architecture
civil engineering
planning

OWNER/DEVELOPER:
CITY OF BLOOMINGTON
401 N MORTON ST.
BLOOMINGTON, IN. 47404

THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS



Certified By:
Jeffrey S. Fanyo
JEFFREY S. FANYO, P.E.
IND. REG. NO. 18283

Revisions

ADAMS STREET SIDEWALK
PROJECT NO. 402101

EXISTING LEGEND

EXISTING FENCE	— X — X — X —
EXISTING WATER LINE	— —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRICAL LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCE MAIN	— FM —
EXISTING CONTOUR	— 3000 —
EXISTING SANITARY SEMER AND MANHOLE	— ○ —
EXISTING SANITARY SEMER AND INLET	— □ —
PROPERTY LINE	— — — — —

SITE IMPROVEMENT LEGEND

(A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(B) PROPOSED ROAD ASPHALT SURFACE	
(C) PROPOSED DRIVEWAY CONCRETE PAVING	
(M) PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(P) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(T) PROPOSED CONCRETE PAVEMENT OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(S) PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(D) PROPOSED 4" STANDING CURB - REFER TO DETAIL	
(H) PROPOSED ROOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(N) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "N" - REFER TO DETAIL	
(C) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL	
(M) PROPOSED RETAINING WALL - REFER TO DETAIL	
(M) MULCH SEEDING - REFER TO DETAIL	
(CP) CURB INLET PROTECTION - REFER TO DETAIL	
EXISTING CONTOUR	— 3000 —
TEMPORARY SKI FENCE - REFER TO DETAIL	— SF —
CONSTRUCTION LIMITS	— CL —
PROPOSED SPOT GRADE ELEVATION	XXXX.XX
UNPROPOSED TOP OF CURB ELEVATION (IF PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB)	TC-XXXX.XX
FINISH EDGE OF PAVEMENT AT GRADE	EP-XXXX.XX
MEAS-XXXX.XX	

MATCH THE EXISTING SPOT GRADE ELEVATION FOR RESULTS OF FIELD SPOT GRADING. REFER TO THE ENGINEER OF ANY DISCREPANCIES.

ELEVATION AT TOP OF WALL
ELEVATION AT BOTTOM OF WALL
ELEVATION AT TOP OF STOP
ELEVATION AT BOTTOM OF STOP

STATEMENT OF PERFORMANCE STANDARDS

ON BEHALF OF THE OWNER, CITY OF BLOOMINGTON, BY AND ASSOCIATES, INC. INTENDS TO COMPLY WITH ALL STANDARDS SET FORTH IN THE MONROE COUNTY ZONING ORDINANCE THAT INCLUDES CHAPTER 802. WE PLAN ON WORKING CLOSELY WITH STAFF, PLAN COMMISSION MEMBERS, AND THE OWNER TO CREATE A QUALITY SITE PLAN AND SUCCESSFUL PROJECT THAT WILL EXCEED MONROE COUNTY'S INTERESTS AND ORDINANCE FOR THIS SITE. THESE STANDARDS ARE AS FOLLOWS:

ALL PERMITTED USES ESTABLISHED OR PLACED INTO OPERATION AFTER THE EFFECTIVE DATE OF THE MONROE COUNTY ORDINANCE SHALL COMPLY WITH THE FOLLOWING PERFORMANCE STANDARDS IN THE INTEREST OF PROTECTING PUBLIC HEALTH, SAFETY AND WELFARE, AND LESSONING BURDEN TO PROPERTY. NO USE IN EXISTENCE ON THE EFFECTIVE DATE OF THIS ORDINANCE SHALL BE SO ALTERED AS TO CONFLICT (OR INCREASE AND EXISTING CONFLICT) WITH THESE STANDARDS.

(A) FIRE PROTECTION
FIRE FIGHTING EQUIPMENT AND PROVISIONS MEASURED ACCORDING TO THE LOCAL FIRE DEPARTMENT SHALL BE READILY AVAILABLE AND APPROPRIATE WHEN ANY ACTIVITY INVOLVING THE HANDLING OR STORAGE OF FLAMMABLE OR EXPLOSIVE MATERIALS IS CONDUCTED.

(B) ELECTRICAL DISTURBANCE
NO USE SHALL CAUSE ELECTRICAL DISTURBANCE ADVERSELY AFFECTING ROAD, TELEVISION OR OTHER EQUIPMENT IN THE VICINITY OF THE USE.

(C) NOISE
NO USE SHALL PRODUCE NOISE IN SUCH A MANNER AS TO BE OBJECTIONABLE BECAUSE OF VOLUME, FREQUENCY, INTERMITTENCE, HEAVY SHUDDERS, OR VIBRATION SUCH NOISE SHALL BE MITIGATED OR OTHERWISE CONTROLLED SO AS NOT TO BECOME DETRIMENTAL PROVIDED HOWEVER, THAT PUBLIC SAFETY SIGNALS AND RELATED EQUIPMENT USED EXCLUSIVELY FOR PUBLIC PURPOSES SHALL BE EXEMPT FROM THIS STANDARD.

(D) VIBRATION
NO USE SHALL CAUSE VIBRATIONS OR CONDUSSIONS DETECTABLE BEYOND LOT LINES WITHOUT THE AID OF INSTRUMENTS.

(E) AIR POLLUTION
NO USE SHALL DISCHARGE ACROSS LOT LINES FLY ASH, DUST, SMOKE, VAPORS, PARTICLES AND/OR CONDENSED WATER OR OTHER AIR POLLUTANTS IN SUCH QUANTITY AS TO BE DETRIMENTAL TO ADJACENT PROPERTIES AND CONFLICT WITH RELEVANT WATER POLLUTION STANDARDS ESTABLISHED BY STATE AND/OR FEDERAL AGENCIES.

(F) HEAT AND CLARE
NO USE SHALL PRODUCE HEAT OR CLARE IN SUCH MANNER AS TO CREATE A NUISANCE PERCEPTIBLE FROM ANY POINT BEYOND THE LOT LINES OF THE PROPERTY ON WHICH THE USE IS CONDUCTED IN INDIVIDUAL AREAS, ANY LIGHTING USED TO ILLUMINATE THE LOT OR STREET PARKING AREA, LOADING AREA, DRIVEWAY, OR SERVICE DRIVE SHALL BE SHIELDED WITH APPROPRIATE LIGHT FIXTURES DIRECTING THE LIGHT DOWN AND AWAY FROM ADJACENT PROPERTIES IN ORDER THAT THE ILLUMINATION AT ANY PROPERTY LINE SHALL NOT EXCEED ONE (1) FOOT CANDLE. ALL EXTERIOR LIGHTING SHALL BE HOODED AND SHIELDED SO THAT THE LIGHT SOURCE (IE. BULB, FLUORESCENT, ETC) IS NOT DIRECTLY VISIBLE FROM THE RESIDENTIAL PROPERTY LINES IN RESIDENTIAL AREAS. EXTERIOR LIGHTING AT ANY PROPERTY LINE SHALL NOT EXCEED ONE (1) FOOT CANDLE.

(G) WATER POLLUTION
NO USE SHALL PRODUCE DISCHARGE OR OTHER POLLUTANTS IN SUCH QUANTITY AS TO BE DETRIMENTAL TO ADJACENT PROPERTIES AND CONFLICT WITH RELEVANT WATER POLLUTION STANDARDS ESTABLISHED BY STATE AND/OR FEDERAL AGENCIES.

(H) WASTE WATER
NO USE SHALL ACCUMULATE WITHIN THE LOT, OR DISCHARGE BEYOND THE BOUNDARY LINES OF THE LOT ON WHICH THE USE IS LOCATED, WASTE WATER, WHETHER LIQUID OR SOLID, IN VIOLATION OF APPLICABLE PUBLIC HEALTH, SAFETY AND WELFARE STANDARDS AND REGULATIONS.

PARKING AND PAVEMENT NOTES

1. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC DEVICES, 2003 EDITION AS AMENDED.
2. ALL PAVEMENT MARKINGS SHALL BE PAINTED WHITE ON ASPHALT PAVEMENT / PAINTED WHITE ON CONCRETE PAVEMENT AND SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE.
3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE. ALL CURB RADII ARE TO BE 5' UNLESS INDICATED OTHERWISE.
4. CONTRACTOR SHALL FURNISH AND INSTALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
5. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
6. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINING TOOLS.
7. CONTRACTOR SHALL SAW-OUT TE-JOINTS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-OUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL AT ALL INTERSECTIONS).
8. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY A.C.C. OF AMERICA, INC. AND THE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

ON-SITE UTILITY NOTES

1. ALL WATER PIPE 4" AND LARGER SHALL BE PRESSURE CLASS 350 DIP WATER PIPE CONFORMING TO ALL STATE AND LOCAL STANDARDS.
2. WATER MAIN FITTINGS 6" AND LARGER SHALL BE DUCTILE IRON CONFORMING TO AWWA/ANSI STANDARD SPECIFICATIONS C153/A21.5.3, LATEST REVISION.
3. 2" WATER MAINS SHALL BE SDR-21 (PRE-20) OR SDR-21 (PRE-14).
4. ALL WATER SERVICE LINES CONNECTING TO 2" PVC MAINS SHALL BE 1" TYPE "M" COPPER. ALL WATER SERVICE LINES FROM MAIN TO METER SHALL BE TYPE "M" COPPER WITH FLECH ENDOS.
5. MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL WATER LINE BENDS, OFFSETS, TEES, TIES, ETC.
6. ALL WATER LINE GATE VALVES OTHER THAN AIR RELEASE VALVES AND TAPPING VALVES SHALL BE CAST IRON BODY, FULLY BRONZE MOUNTED, WITH RESILIENT SEAT AND NON-RETURN STEM AND SHALL BE MANUFACTURED BY W & H VALVE COMPANY, DANFORTH VALVE AND MANUFACTURING COMPANY, KENNEDY VALVE COMPANY, OR MUELLER COMPANY.
7. FLUSH HYDRANTS SHALL BE PLACED AT THE ENDS OF ALL WATER MAINS AND AT ANY HIGH POINTS IN THE LINE.
8. AIR RELEASE VALVES SHALL BE PROVIDED AT ALL HIGH POINTS OF WATER MAINS AND SHALL BE VAL-MATIC BRAND AND SHALL INCORPORATE THE OPTIONAL VACUUM-CHECK FEATURE.
9. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY KENNEDY GUARDIAN OR MUELLER CORPORATION.
10. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
11. WATER AND SANITARY SEMER MAINS SHALL HAVE A MINIMUM COVER OF 4'-0" ABOVE TOP OF PIPE.
12. ALL SPRINKLER, DOMESTIC, AND SANITARY LEADS TO THE BUILDING SHALL END AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
13. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18').
14. GRAVITY SANITARY SEMER PIPE 6" TO 15" SHALL BE CONSTRUCTED OF SDR-35 PVC.
15. THE UPSTREAM END OF ALL SANITARY SEMER LATERALS SHALL BE CLEARLY MARKED WITH A 4x4 TREATED POST EXTENDING 3' BELOW GRADE AND 1' ABOVE GRADE.
16. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
17. SEE SITE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS.
18. SITE CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
19. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
20. ALL CATCH BASIN GRATE AND FRAMES ARE TO BE BY EAST JORDAN IRON WORKS.
21. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
22. BUILDING CONTRACTOR SHALL PROVIDE & INSTALL A PERMANENT INDICATING VALVE 12" ABOVE THE FLOOR ON THE FIRE LINE AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST & WILL REMAIN AS PART OF THE SYSTEM ONCE ALL TESTING IS COMPLETED. THE FIRE LINE MAIN WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE FIRE MAIN WITH THE BUILDING CONTRACTOR.
23. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT TOM AXSON AT (812)349-3633 TO SCHEDULE THE MEETING.
24. CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEMER UTILITY WORK. A CSU INSPECTOR WILL HAVE NOTICE 30 WORK CAN BE INSPECTED, DOCUMENTED, AND PROPER AS-BUILT MADE WHEN A CONTRACTOR WORKS WEEKENDS, A CSU DESIGNATED HOLIDAY, OR BEYOND NORMAL CSU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME FOR CSU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812)349-3660.

GRADING NOTES

1. NEW FINISHED CONTOURS SHOW ARE TOP OF FUTURE PAVEMENT IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDS OR PLANTED.
2. AREAS OUTSIDE OF THE PAVING LOT PERMITTED TO BE SEEDS OR PLANTED SHALL RECEIVE 4" OF TOPSOIL. THIS TOPSOIL IS TO BE PLACED AND LEVELED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH CONNECTION OF OR RELOCATION OF THE FACILITY.
4. AREAS NOT COVERED BY BUILDING OR PAVING ARE TO BE VEGETATED (SEEDS OR PER LANDSCAPE PLAN).
5. UNDESIRABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY CONTRACTOR.
6. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
7. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STATE OUT AND MARK THE LINES ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE LACK OF PROPER MARKING POINTS AND GRADE STAKES MAY REQUIRE CESSION OF OPERATIONS UNLESS SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
8. CONTRACTOR SHALL COMPACT AND MAINTAIN A 30,000 SQ. FT. STONEBASE CONSTRUCTION LAVOIR AREA W/ STONE ACCESS FROM THE CONSTRUCTION ENTRANCE AND STONE ACCESS TO THE BUILDING FLOOR.
9. THESE DOCUMENTS ARE SCHEMATIC IN NATURE AND CANNOT SHOW EVERY ITEM NEEDED FOR A COMPLETE OPERATIONAL STORM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE OPERATIONAL STORM SYSTEM.
10. ALL FILL SHALL BE FREE OF VEGETABLE MATTER, RUBBER, LARGE ROCK, AND OTHER ELONGATED MATERIAL. THE FILL MATERIAL SHOULD BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN LOOSE THICKNESS AND SHOULD BE SPRINKLED WITH WATER AS REQUIRED TO SECURE SPECIFIED COMPACTION. MATERIAL CONTAINING AN EXCESS OF WATER SHOULD BE SPREAD AND DRIED TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION. ALL FILL SHOULD BE COMPACTED TO THE SPECIFIED PERCENTAGE OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM METHOD TEST D-698 (95 PERCENT OF MAXIMUM DRY DENSITY). IF THE SPECIFIED COMPACTION LIMITS ARE NOT MET, SUCH AREAS SHOULD BE REWORKED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED LIMITS ARE REACHED.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL ARRIVE ONSITE IN A HEALTHY, WOODED CONDITION AND BE FREE OF PESTS AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES SHALL BE STRAIGHT-TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED IN THE DETAILS.
4. ALL TREES SHALL BE CUT TO STAKED PLUMB AS SHOWN IN THE DETAILS.
5. ALL PLANTING MASS BEGS SHALL BE SPADE OUT UNLESS SPECIFIED WITH A MOW STRIP OR OTHER INSTALL EDDING. TREES TO HAVE A 5" DIAMETER MULCH RING.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED WHERE SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SPECS SHOWN ON THESE PLANS BEFORE THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING AND LAWN AREAS INCLUDING, BUT NOT LIMITED TO, WATERING, SPRINKLING, MULCHING, PRUNING, FERTILIZING, ETC. UNTIL WORK IS ACCEPTED IN FULL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE OWNER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUE AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST OR DRIP IRRIGATION SYSTEM PRIOR TO INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS OF PLANTING.
13. ANY NEW OR TRANSPLANTED PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEQUALIFIES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUNDCOVER, ANNUAL AND HERBACEOUS PERENNIAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. DURING THE GROWING SEASON ALL ANNUALS AND HERBACEOUS PERENNIALS SHALL REMAIN IN A HEALTHY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN ON PLANS.
18. ALL DISTURBED AREAS NOT INCLUDED IN LANDSCAPE MULCH BEDS ARE TO BE DEEPSH-RAISED AND FINED-MULCHED AS NEEDED, THEN MULCH SEEDS (OR SOODED, PER PLAN) AND WATERED UNTIL A HEALTHY STAND OF TURF IS ESTABLISHED.
20. ANY PLANT OR OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED WITHOUT DESIGNER AND/OR OWNER APPROVAL, SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

NOTE: ONLY NOTES ON THIS SHEET MARKED WITH AN X APPLY TO THIS PROJECT.

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

OWNER CONTACT INFORMATION

DEVELOPER: CITY OF BLOOMINGTON, 401 N. MORTON ST. BLOOMINGTON, IN CONTACT: PATRICK DERKES (812)-318-2507

GENERAL NOTES

1. BOUNDARY AND TOPSOIL BY BYNUM FANTO AND ASSOCIATES, 528 NORTH WALNUT STREET, BLOOMINGTON, INDIANA 47404. PHONE (812) 332-8030
2. DEVELOPER: CITY OF BLOOMINGTON
3. PROJECT ADDRESS: N ADAMS ST. BLOOMINGTON, IN 47404
4. ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
5. ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. HYDRANT LOCATION SHALL BE APPROVED BY THE LOCAL FIRE MARSHALL.
7. EXISTING UTILITIES ON SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION.
8. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

RIGHT-OF-WAY ACQUISITION

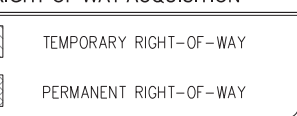
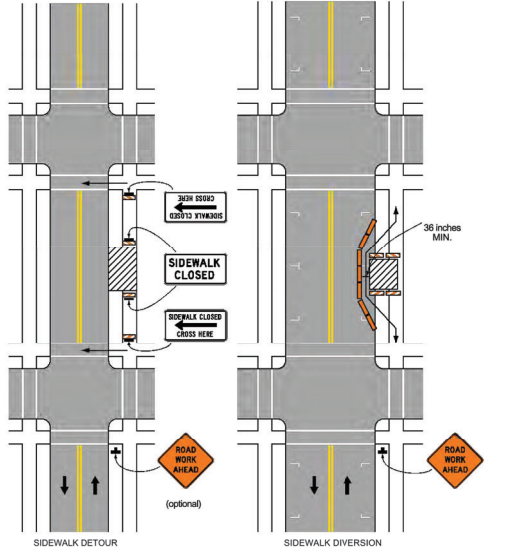


Figure 6H-28. Sidewalk Detour or Diversion (TA-28)



MAINTENANCE OF TRAFFIC

REFER TO 2011 INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES WITH REVISIONS 1 & 2 & 3 FOR ADDITIONAL DETAILS

Note: See Tables 6H-2 and 6H-3 for the meaning of the symbols and/or letter codes used in this figure.

Revisions:

ARCHITECTURE	
CIVIL ENGINEERING	
PLANNING	
biohmh@aol.com	
(812) 338-2880 (Pbx)	
528 North Walnut Street	
(812) 332-8030	

PROPOSED

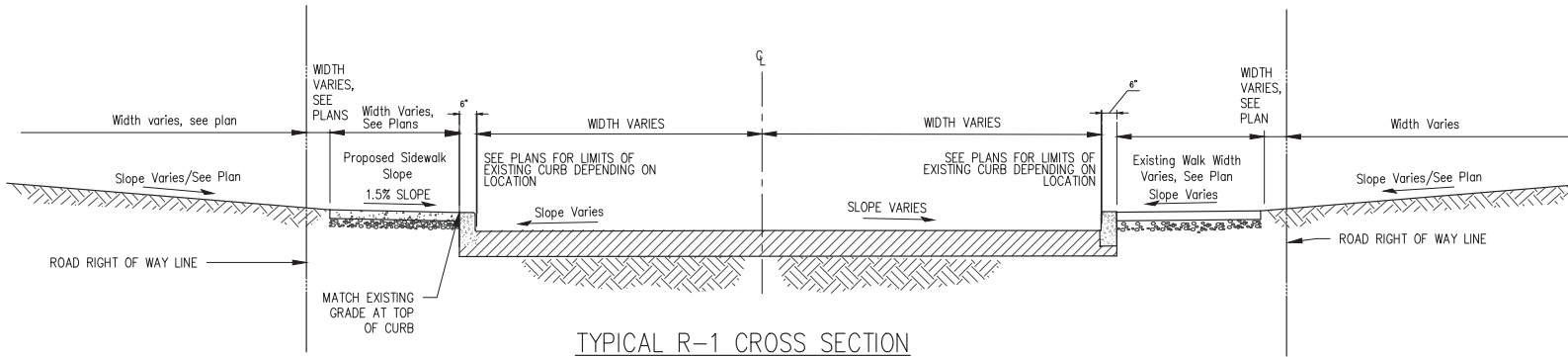
ADAMS STREET SIDEWALK

NORTH ADAMS STREET, BLOOMINGTON, IN 47404

FROM W. KIRKWOOD AVE. TO THE INTERSECTION OF W. 8TH ST. AND W. FOUNTAIN DR.

certified by *[Signature]*

designed by: AJW
checked by: JEF
sheet no: C101
project no: 402101



revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BLOOMINGTON, INDIANA
(812) 338-2886 (Fax)

BEB
BYNUM FAYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana 47404
(812) 332-8030

WALTER S. FAYO
No. 18283
STATE OF INDIANA
PROFESSIONAL ENGINEER

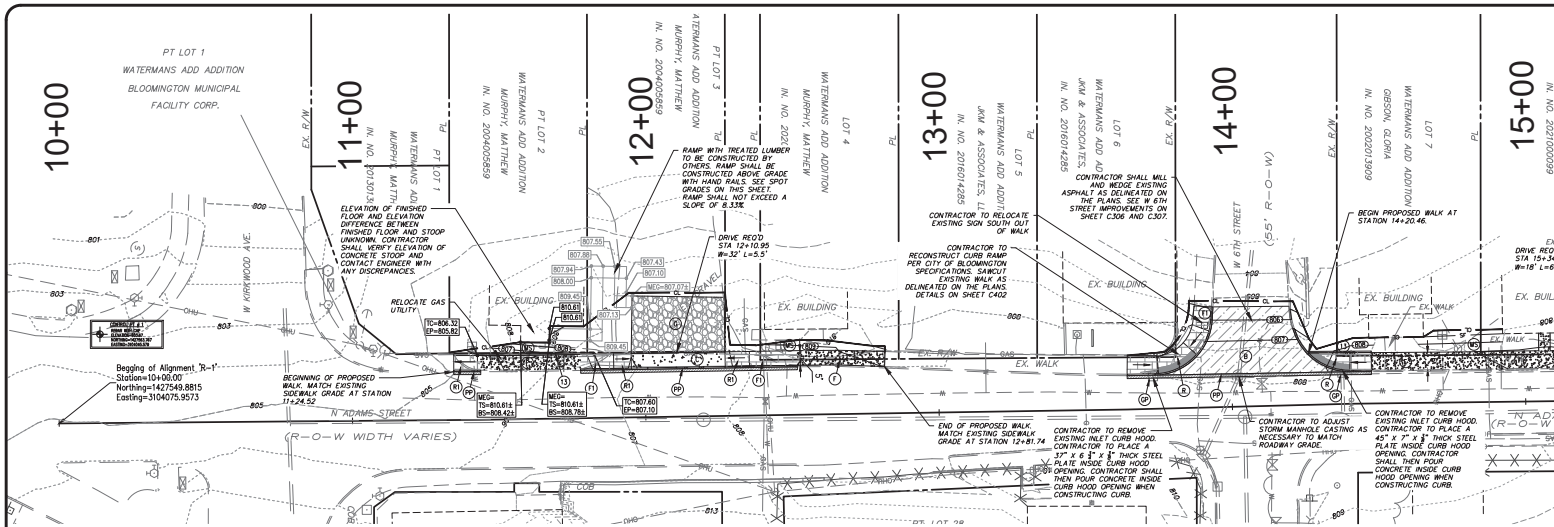
certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1 TYPICAL CROSS SECTION

NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C201
project no: 402101



SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(B)	PROPOSED ROAD ASPHALT SURFACE	
(C)	PROPOSED DRIVEWAY CONCRETE PAVING	
(D)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(E)	PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(F)	PROPOSED CONCRETE PAVI OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(G)	PROPOSED DRIVEWAY RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(H)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(I)	PROPOSED HOOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(J)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "A" - REFER TO DETAIL	
(K)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "B" - REFER TO DETAIL	
(L)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(M)	WALK SEEDING - REFER TO DETAIL	
(N)	CURB INLET PROTECTION - REFER TO DETAIL	
(O)	EXISTING CONTOUR	
(P)	PROPOSED CONTOUR	
(Q)	TEMPORARY SET FENCE - REFER TO DETAIL	
(R)	PROPOSED SPOT GRADE ELEVATION	

EXISTING CONTOUR
PROPOSED CONTOUR

TEMPORARY SET FENCE - REFER TO DETAIL

PROPOSED SPOT GRADE ELEVATION

FINISH EDGE OF PAVEMENT AT GRADE

TOP OF CURB ELEVATION
PROPOSED EDGE OF PAVEMENT ELEVATION
AT BOTTOM OF CURB

FINISH EDGE OF PAVEMENT AT GRADE

TOP OF CURB ELEVATION
PROPOSED EDGE OF PAVEMENT ELEVATION
AT BOTTOM OF CURB

FINISH EDGE OF PAVEMENT AT GRADE

TOP OF CURB ELEVATION
PROPOSED EDGE OF PAVEMENT ELEVATION
AT BOTTOM OF CURB

FINISH EDGE OF PAVEMENT AT GRADE

TOP OF CURB ELEVATION
PROPOSED EDGE OF PAVEMENT ELEVATION
AT BOTTOM OF CURB

revisions:

1	ARCHITECTURE	
2	CIVIL ENGINEERING	
3	PLANNING	
4	PLANNING	
5	PLANNING	
6	PLANNING	
7	PLANNING	
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24	PLANNING	
25	PLANNING	
26	PLANNING	
27	PLANNING	
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29	PLANNING	
30	PLANNING	

BY: NUN FAYO & ASSOCIATES, INC.
528 North Walnut Street
(812) 332-8030



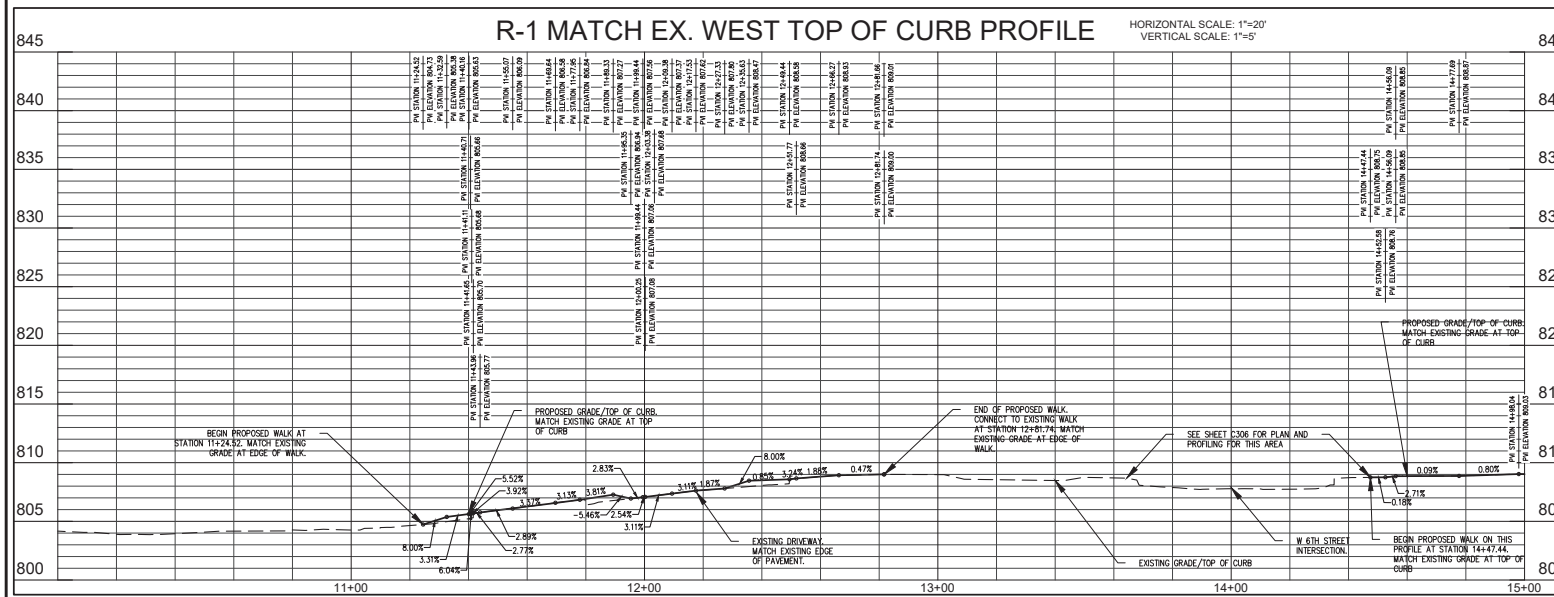
EXISTING LEGEND

EXISTING FENCE	
EXISTING WATER LINE	
EXISTING OVERHEAD UTILITY LINES	
EXISTING UNDERGROUND ELECTRIC LINES	
EXISTING UNDERGROUND TELEPHONE LINES	
EXISTING UNDERGROUND FIBER OPTIC LINES	
EXISTING GAS LINE	
EXISTING SANITARY FORCEMAIN	
EXISTING CONTOUR	
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	
EXISTING STORM SEWER AND INLET	
PROPERTY LINE	

certified by: *[Signature]*

No. 18283
STATE OF ILLINOIS
PROFESSIONAL ENGINEER

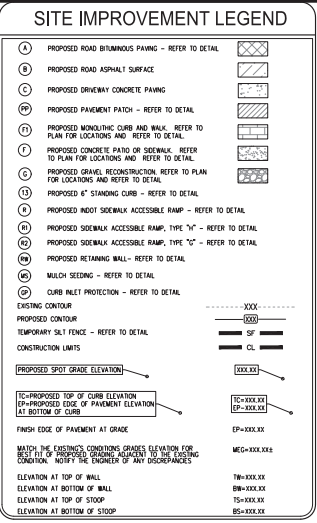
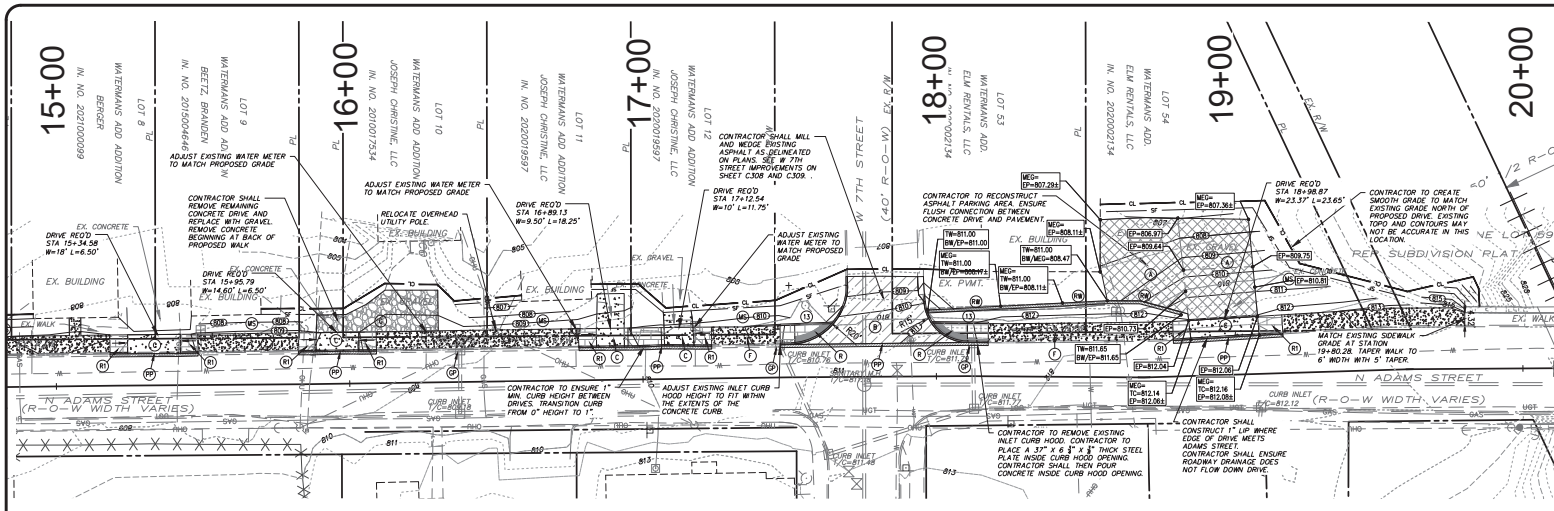
PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.



NOTE TO CONTRACTOR

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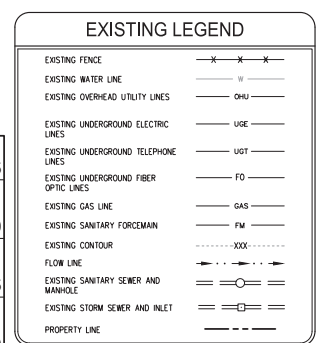
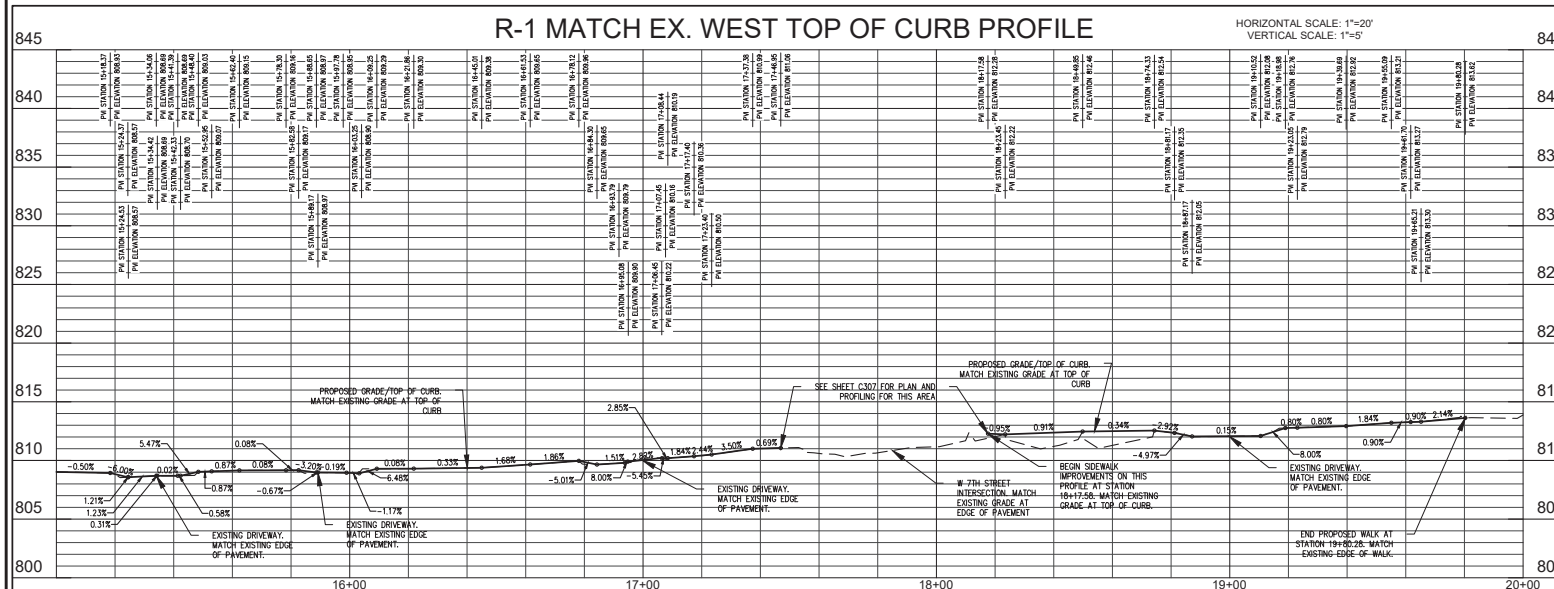
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C301
project no: 402101



revisions:

ARCHITECTURE	
CIVIL ENGINEERING	
PLANNING	
MECHANICAL	
ELECTRICAL	
PLUMBING	
MECHANICAL	
ELECTRICAL	
PLUMBING	
MECHANICAL	
ELECTRICAL	
PLUMBING	

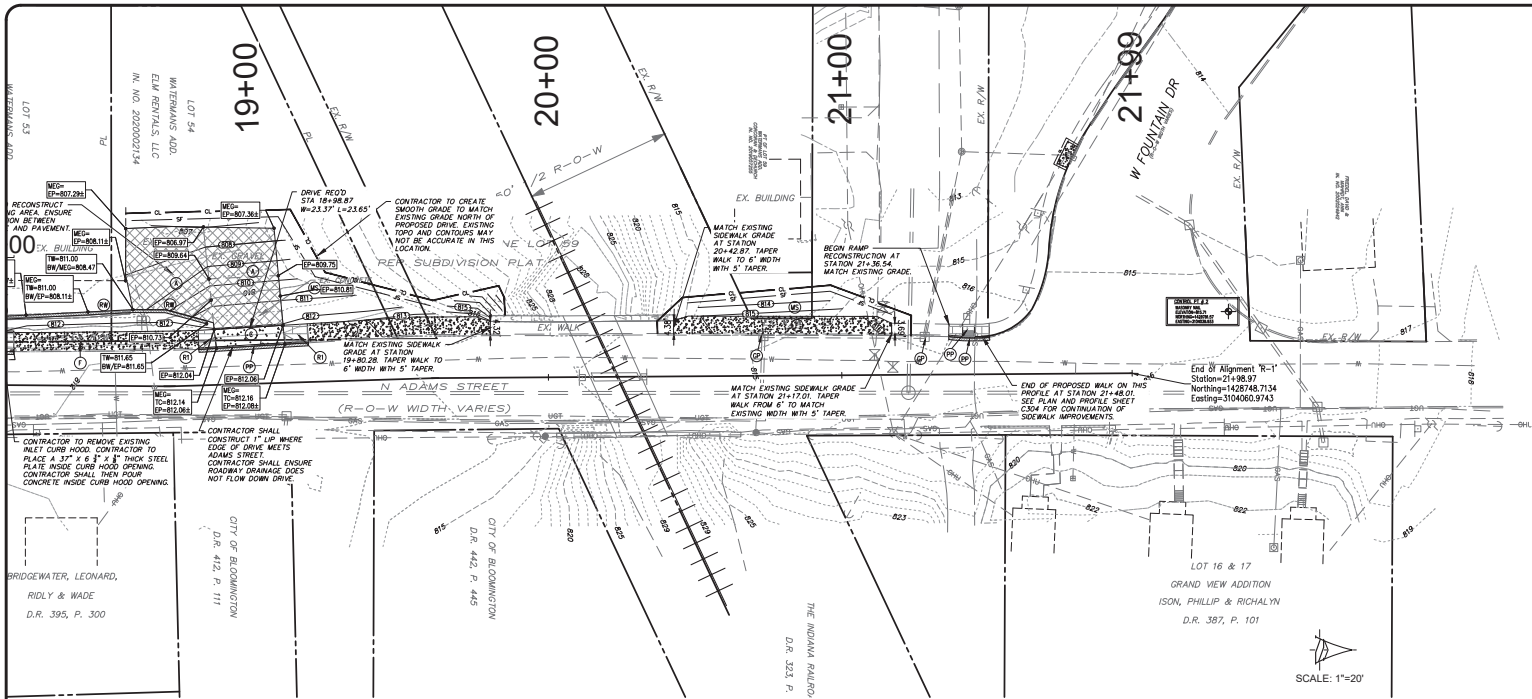
BY: NUNUM FANTO S&ASSOCIATES, INC.
 528 North Walnut Street
 Bloomington, Indiana
 (812) 332-2800 (Fax)



PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

certified by: *[Signature]*

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C302
 project no: 402101



SITE IMPROVEMENT LEGEND

- (A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
 - (B) PROPOSED ROAD ASPHALT SURFACE
 - (C) PROPOSED DRIVEWAY CONCRETE PAVING
 - (D) PROPOSED PAVEMENT PATCH - REFER TO DETAIL
 - (E) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (F) PROPOSED CONCRETE PAVID OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (G) PROPOSED DRIVEWAY RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
 - (H) PROPOSED 4" STANDING CURB - REFER TO DETAIL
 - (I) PROPOSED ROOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
 - (J) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "A" - REFER TO DETAIL
 - (K) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
 - (L) PROPOSED RETAINING WALL - REFER TO DETAIL
 - (M) MASON SEEDING - REFER TO DETAIL
 - (N) CURB INLET PROTECTION - REFER TO DETAIL
- EXISTING CONTOUR
 PROPOSED CONTOUR
 TURNBACK 3/4 FENCE - REFER TO DETAIL
- CONSTRUCTION LIMITS
- PROPOSED SPOT GRADE ELEVATION
- (C)-PROPOSED TOP OF CURB ELEVATION
 (P)-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB
- THREE EDGE OF PAVEMENT AT GRADE
- NOTE: THE EXISTING CONDITIONS GRADES ELEVATION FOR SIDEWALK AND DRIVEWAY ARE TO BE MAINTAINED UNLESS OTHERWISE INDICATED BY ANY DISCREPANCIES
- 78+XXXX.XX
 79+XXXX.XX
 80+XXXX.XX
 81+XXXX.XX
 82+XXXX.XX
 83+XXXX.XX

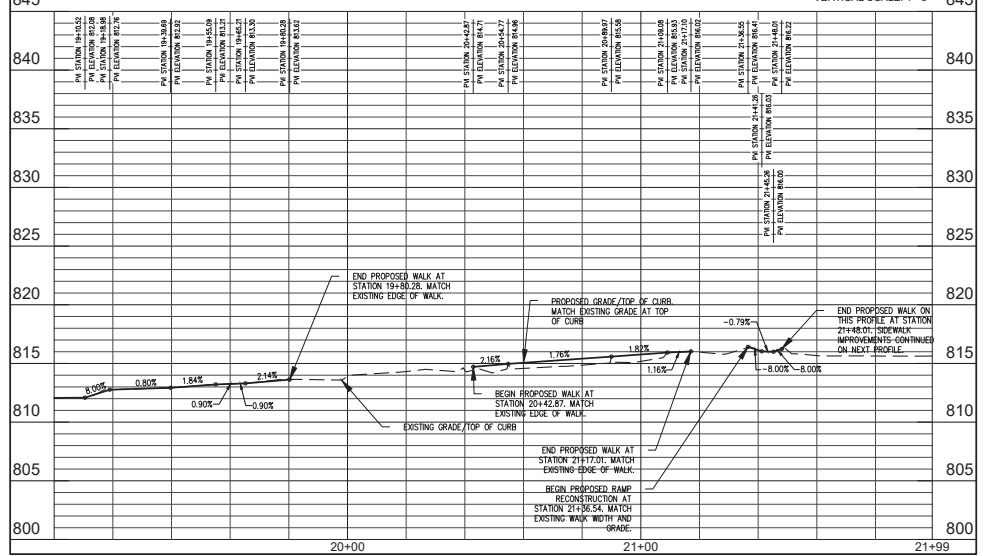
EXISTING LEGEND

- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE

NOTE TO CONTRACTOR

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R-1 MATCH EX. WEST TOP OF CURB PROFILE HORIZONTAL SCALE: 1"=50' VERTICAL SCALE: 1"=5'



revisions:

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

Bloomington, Indiana
 (812) 336-2890 (Fax)

BEB
 BYNUM FANTO & ASSOCIATES, INC.
 528 North Walnut Street
 (812) 332-8030

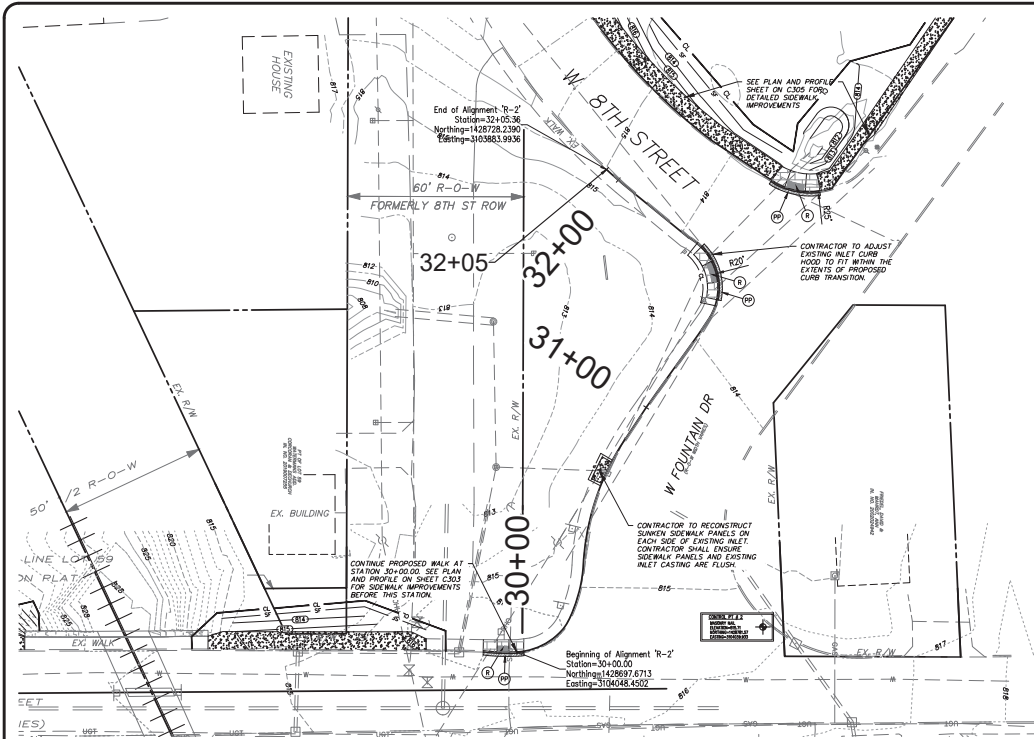
LEWIS & CLARK
 No. 18283
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

certified by: *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

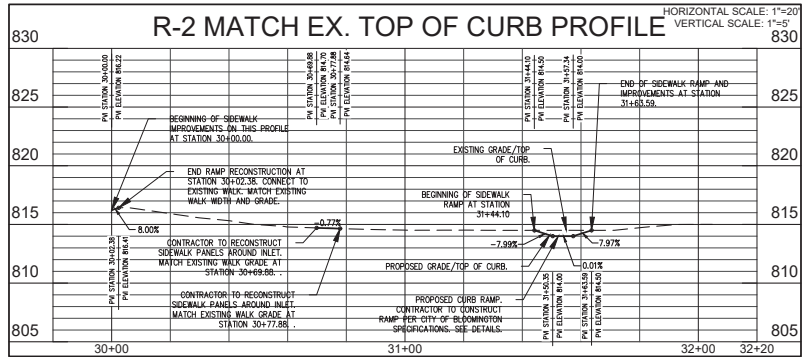
title: R-1 PLAN AND PROFILE

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C303
 project no: 402101



1	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	[Pattern]
2	PROPOSED ROAD ASPHALT SURFACE	[Pattern]
3	PROPOSED DRIVEWAY CONCRETE PAVING	[Pattern]
4	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	[Pattern]
5	PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	[Pattern]
6	PROPOSED CONCRETE PAVIO OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	[Pattern]
7	PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	[Pattern]
8	PROPOSED 4" STANDING CURB - REFER TO DETAIL	[Pattern]
9	PROPOSED INDOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	[Pattern]
10	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "H" - REFER TO DETAIL	[Pattern]
11	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "G" - REFER TO DETAIL	[Pattern]
12	PROPOSED RETAINING WALL - REFER TO DETAIL	[Pattern]
13	WALSH SEEDING - REFER TO DETAIL	[Pattern]
14	CURB INLET PROTECTION - REFER TO DETAIL	[Pattern]
15	EXISTING CONTOUR	XXXX
16	PROPOSED CONTOUR	XXXX
17	TEMPORARY SILT FENCE - REFER TO DETAIL	— SF —
18	CONSTRUCTION LIMITS	— CL —
19	PROPOSED SPOT GRADE ELEVATION	XXX.XX
20	TC-PROPOSED TOP OF CURB ELEVATION	TC-XXX.XX
21	EP-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	EP-XXX.XX
22	FP-PROPOSED FINISH EDGE OF PAVEMENT AT GRADE	FP-XXX.XX
23	MEG-EXISTING MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR EXISTING CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	MEG-XXX.XX
24	ELEVATION AT TOP OF WALL	TM-XXX.XX
25	ELEVATION AT BOTTOM OF WALL	BM-XXX.XX
26	ELEVATION AT TOP OF STOOOP	TS-XXX.XX
27	ELEVATION AT BOTTOM OF STOOOP	BS-XXX.XX

EXISTING FENCE	— X — X —
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRIC LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCEMAIN	— FM —
EXISTING CONTOUR	XXXX
FLOW LINE	→
EXISTING SANITARY SEWER AND MANHOLE	— ○ —
EXISTING STORM SEWER AND INLET	— □ —
PROPERTY LINE	— — —



SCALE: 1"=20'

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revisions:

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BLOOMINGTON, Indiana
 (812) 338-2880 (Fax)

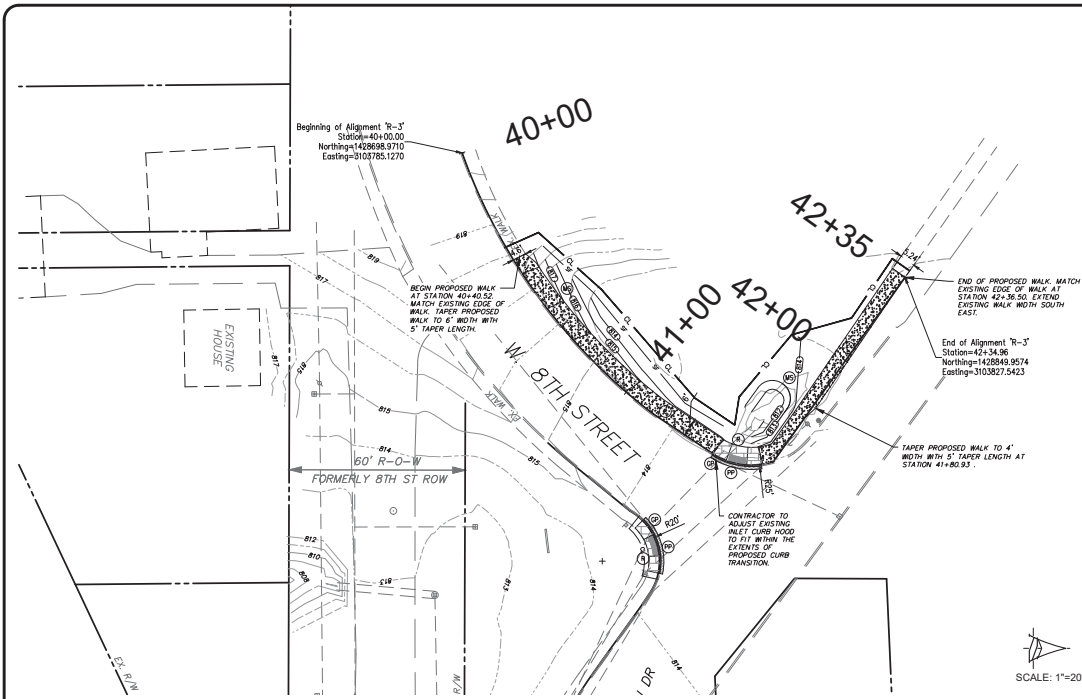
BYNUM FANTY & ASSOCIATES, INC.
 628 North Walnut Street
 Bloomington, Indiana
 (812) 332-8030

STATE OF INDIANA
 PROFESSIONAL ENGINEER
 No. 18283
 certified by [Signature]

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-2 PLAN AND PROFILE

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C304
 project no: 402101



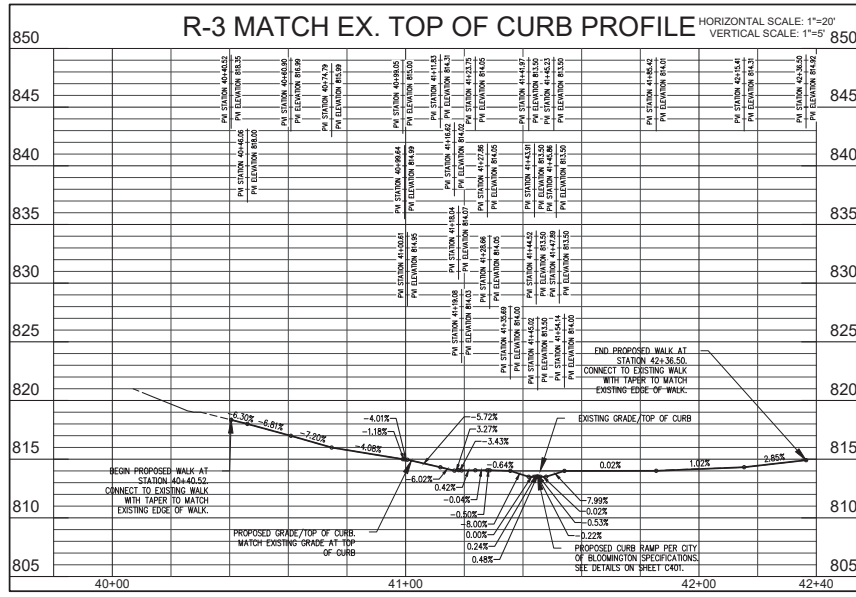
SCALE: 1"=20'

SITE IMPROVEMENT LEGEND

- ① PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
- ② PROPOSED ROAD ASPHALT SURFACE
- ③ PROPOSED DRIVEWAY CONCRETE PAVING
- ④ PROPOSED PAVEMENT PATCH - REFER TO DETAIL
- ⑤ PROPOSED MONOLITHIC CURB AND WALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.
- ⑥ PROPOSED CONCRETE PAVED OR SIDEWALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.
- ⑦ PROPOSED GRAVEL RECONSTRUCTION. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.
- ⑧ PROPOSED 6" STANDING CURB - REFER TO DETAIL
- ⑨ PROPOSED 1000' SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
- ⑩ PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL
- ⑪ PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
- ⑫ PROPOSED RETAINING WALL - REFER TO DETAIL
- ⑬ MATCH SEEDING - REFER TO DETAIL
- ⑭ CURB INLET PROTECTION - REFER TO DETAIL
- ⑮ PROPOSED CONTOUR
- ⑯ TEMPORARY SALT FENCE - REFER TO DETAIL
- ⑰ CONSTRUCTION LIMITS
- ⑱ PROPOSED SPOT GRADE ELEVATION
- ⑲ PROPOSED TOP OF CURB ELEVATION
- ⑳ PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB
- ㉑ FINISH EDGE OF PAVEMENT AT GRADE
- ㉒ MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES
- ㉓ ELEVATION AT TOP OF WALL
- ㉔ ELEVATION AT BOTTOM OF WALL
- ㉕ ELEVATION AT TOP OF STOOP
- ㉖ ELEVATION AT BOTTOM OF STOOP

EXISTING LEGEND

- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE



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revisions:

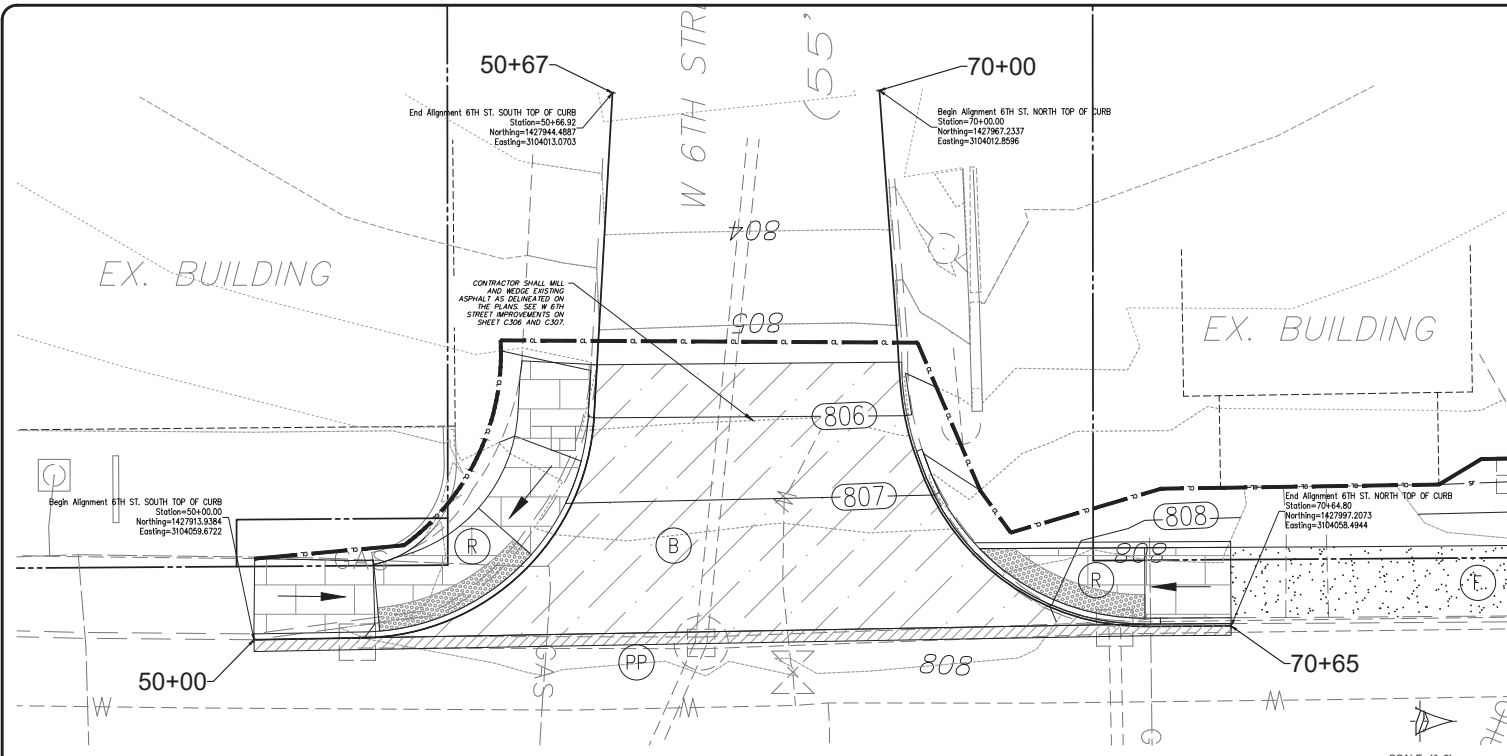
ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BLOOMINGTON, INDIANA
 (812) 336-2860 (Fax)

BYNUM FANTO & ASSOCIATES, INC.
 628 North Walnut Street
 (812) 332-8030

Professional Engineer
 No. 18283
 STATE OF INDIANA
 Certified by [Signature]

PROPOSED
 ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-3 PLAN AND PROFILE
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C305
 project no: 402101



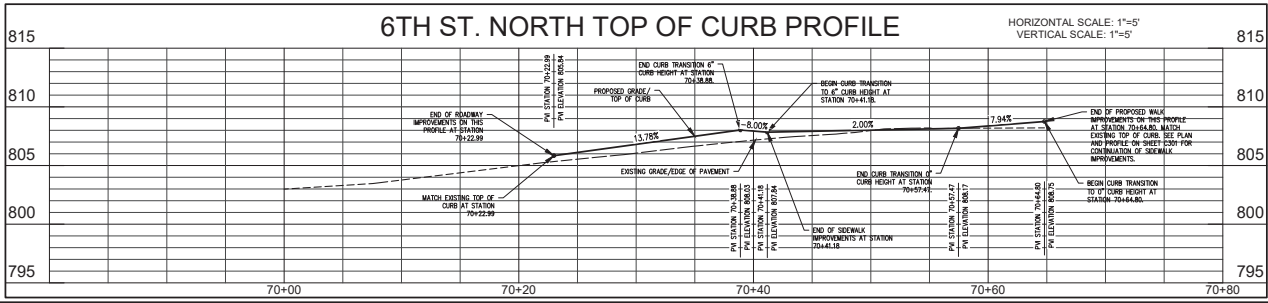
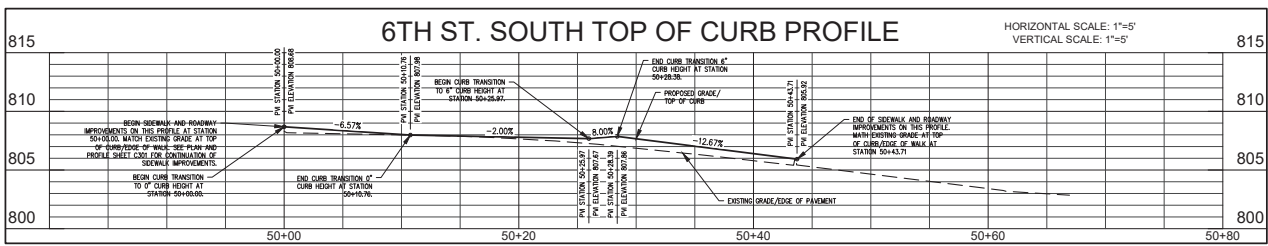
SITE IMPROVEMENT LEGEND

(1)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(2)	PROPOSED ROAD ASPHALT SURFACE	
(3)	PROPOSED DRIVEWAY CONCRETE PAVING	
(PP)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(R)	PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(C)	PROPOSED CONCRETE PAVED OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(O)	PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(1)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(1)	PROPOSED WOOD SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(2)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL	
(2)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL	
(M)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(M)	MULCH BEDDING - REFER TO DETAIL	
(C)	CURB INLET PROTECTION - REFER TO DETAIL	

EXISTING CONTOUR: XXXX
 PROPOSED CONTOUR: OOO
 TEMPORARY SALT FENCE - REFER TO DETAIL: SF
 CONSTRUCTION LIMITS: CL
 PROPOSED SPOT GRADE ELEVATION: XXX.XX
 FINISH EDGE OF PAVEMENT AT GRADE: EP=XXX.XX
 MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR ANY DISCREPANCIES:
 ELEVATION AT TOP OF WALL: TW=XXX.XX
 ELEVATION AT BOTTOM OF WALL: BB=XXX.XX
 ELEVATION AT TOP OF STOOP: TS=XXX.XX
 ELEVATION AT BOTTOM OF STOOP: BS=XXX.XX

EXISTING LEGEND

EXISTING FENCE	X-X-X
EXISTING WATER LINE	
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGT
EXISTING UNDERGROUND TELEPHONE LINES	FT
EXISTING UNDERGROUND FIBER OPTIC LINES	FO
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	XXX
FLOW LINE	---
EXISTING SANITARY SEWER AND MANHOLE	SS
EXISTING STORM SEWER AND INLET	SI
PROPERTY LINE	---



NOTE TO CONTRACTOR

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revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BY/IN CHARGE: *B. Blomington*
BLOOMINGTON, INDIANA
(812) 336-2860 (Fax)

BY/IN CHARGE: *B. Blomington*
BLOOMINGTON, INDIANA
(812) 336-2860 (Fax)

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BLOOMINGTON, INDIANA
(812) 336-2860 (Fax)

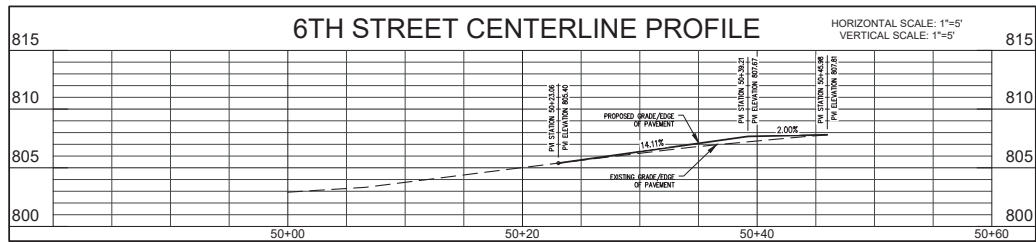
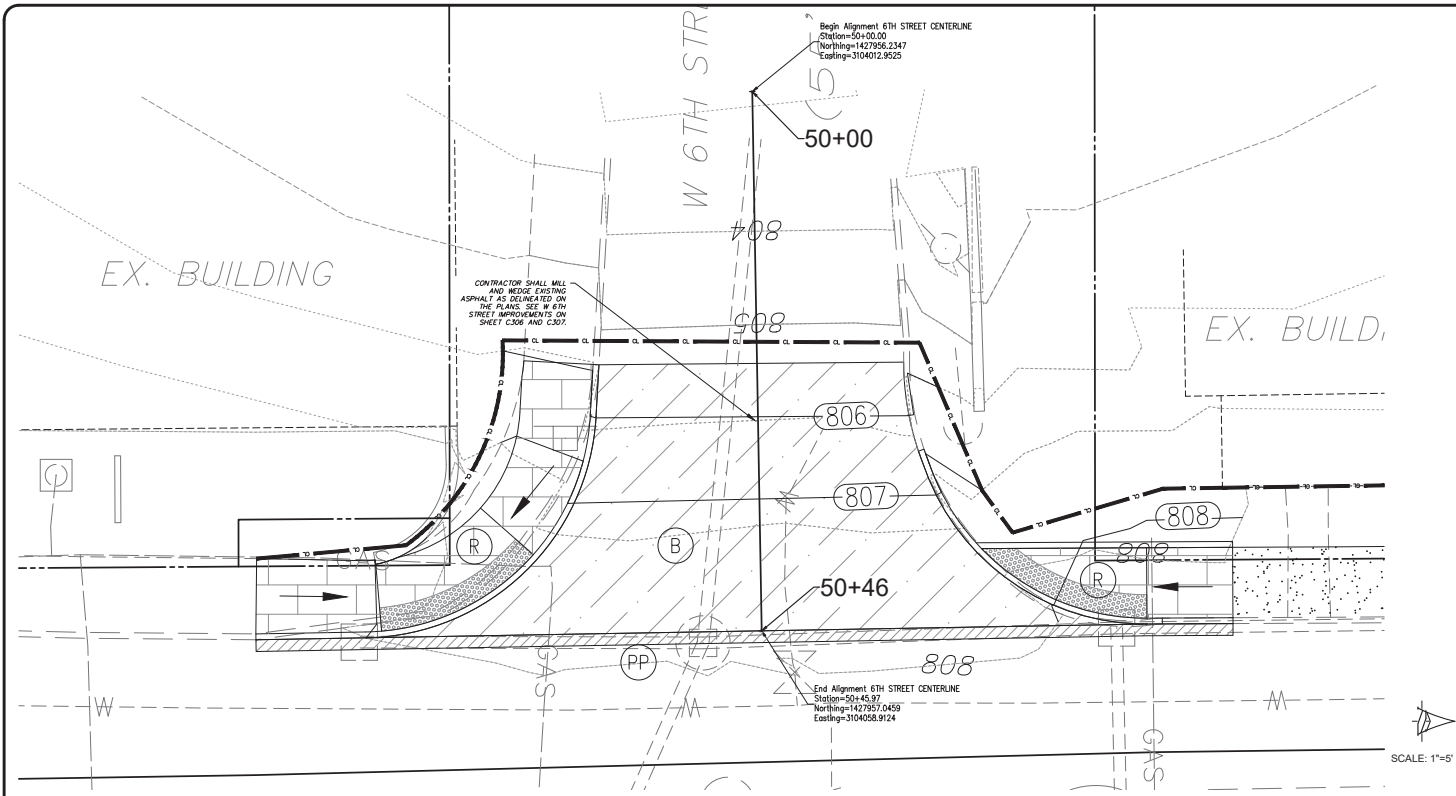
18283
STATE OF INDIANA
PROFESSIONAL ENGINEER

certified by: *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 6TH STREET INTERSECTION PLAN AND PROFILE

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C306
project no: 402101



SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(B)	PROPOSED ROAD ASPHALT SURFACE	
(C)	PROPOSED DRIVEWAY CONCRETE PAVING	
(PP)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(R)	PROPOSED MONOLITHIC CURB AND WALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.	
(T)	PROPOSED CONCRETE PAVED OR SIDEWALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.	
(O)	PROPOSED GRAVEL RECONSTRUCTION. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.	
(S)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(A)	PROPOSED WOOD SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(B)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL	
(C)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL	
(M)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(W)	MULCH SEEDING - REFER TO DETAIL	
(C)	CURB INLET PROTECTION - REFER TO DETAIL	
(C)	EXISTING CONTOUR	
(C)	PROPOSED CONTOUR	
(C)	TEMPORARY SALT FENCE - REFER TO DETAIL	
(C)	CONSTRUCTION LIMITS	
(C)	PROPOSED SPOT GRADE ELEVATION	
(C)	TOP-PROPOSED TOP OF CURB ELEVATION	
(C)	TOP-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	
(C)	FINISH EDGE OF PAVEMENT AT GRADE	
(C)	MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADES ELEVATION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	
(C)	ELEVATION AT TOP OF WALL	
(C)	ELEVATION AT BOTTOM OF WALL	
(C)	ELEVATION AT TOP OF STOOP	
(C)	ELEVATION AT BOTTOM OF STOOP	

EXISTING LEGEND

(X-X-X)	EXISTING FENCE
(W)	EXISTING WATER LINE
(OHU)	EXISTING OVERHEAD UTILITY LINES
(E)	EXISTING UNDERGROUND ELECTRIC LINES
(T)	EXISTING UNDERGROUND TELEPHONE LINES
(F)	EXISTING UNDERGROUND FIBER OPTIC LINES
(G)	EXISTING GAS LINE
(FM)	EXISTING SANITARY FORCEMAIN
(C)	EXISTING CONTOUR
(F)	FLOW LINE
(S)	EXISTING SANITARY SEWER AND MANHOLE
(S&I)	EXISTING STORM SEWER AND INLET
(P)	PROPERTY LINE

NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE	PLANNING
CIVIL ENGINEERING	PLANNING

Bloomington, Indiana
 (812) 338-2880 (Fax)

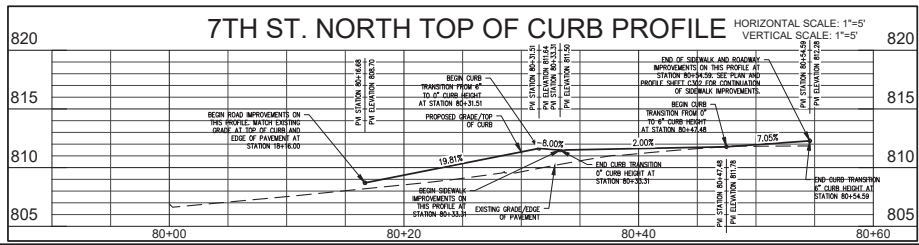
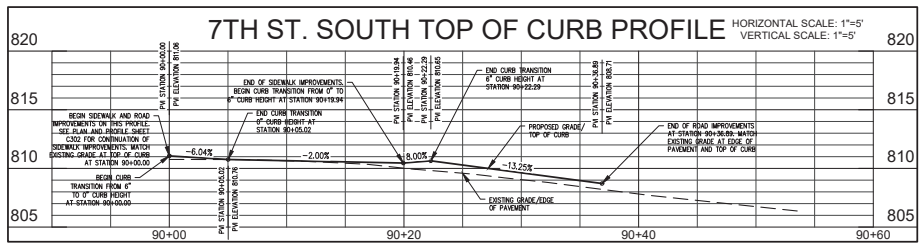
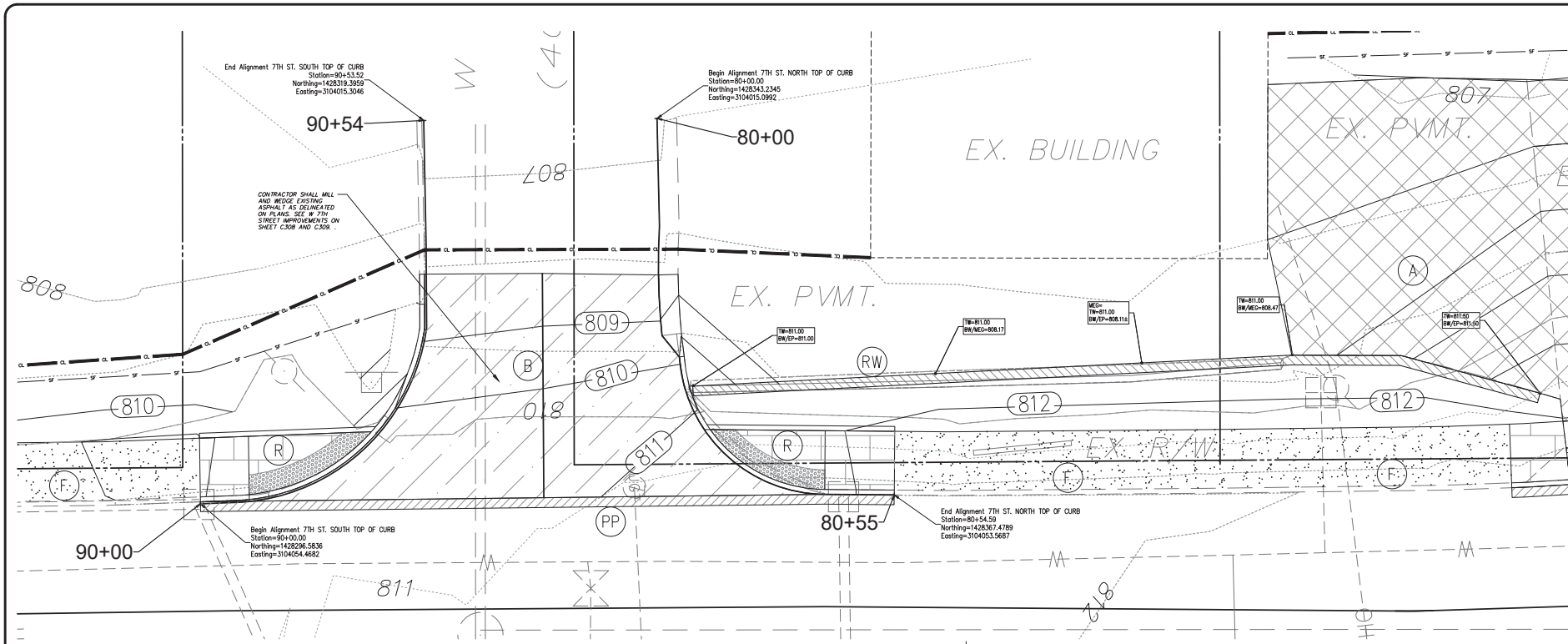
BE&K
 BYNUM FAYO & ASSOCIATES, INC.
 528 North Walnut Street
 (812) 332-8030

Professional Engineer
 No. 18283
 STATE OF INDIANA
 Certified by: *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 6TH STREET INTERSECTION PLAN AND PROFILE

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C307
 project no: 402101



SCALE: 1"=5'

SITE IMPROVEMENT LEGEND

- PROPOSED ROAD BIOMIMETIC PAVING - REFER TO DETAIL
- PROPOSED ROAD ASPHALT SURFACE
- PROPOSED DRIVEWAY CONCRETE PAVING
- PROPOSED PAVEMENT PATCH - REFER TO DETAIL
- PROPOSED WOODPLANK CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- PROPOSED CONCRETE PAVEMENT - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- PROPOSED 4" STANDING CURB - REFER TO DETAIL
- PROPOSED ROOT SEWALK ACCESSIBLE RAMP - REFER TO DETAIL
- PROPOSED SEWALK ACCESSIBLE RAMP, TYPE "M" - REFER TO DETAIL
- PROPOSED SEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
- PROPOSED RETAINING WALL - REFER TO DETAIL
- MULCH SEEDING - REFER TO DETAIL
- CURB INLET PROTECTION - REFER TO DETAIL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TEMPORARY SILT FENCE - REFER TO DETAIL
- CONSTRUCTION LIMITS
- PROPOSED SPOT GRADE ELEVATION
- FINISH EDGE OF PAVEMENT AT GRADE
- MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADES ADJACENT TO THE EXISTING CONTOUR. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ELEVATION AT TOP OF WALL
- ELEVATION AT BOTTOM OF WALL
- ELEVATION AT TOP OF SLOPE
- ELEVATION AT BOTTOM OF SLOPE

EXISTING LEGEND

- EXISTING FENCE LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND CONCRETE PAVING
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE

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revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

Bloomington, Indiana
(812) 338-2880 (Fax)

BY NIM FAYO & ASSOCIATES, INC.
528 North Walnut Street
(812) 332-8030

STATE OF INDIANA
No. 18283
PROFESSIONAL ENGINEER

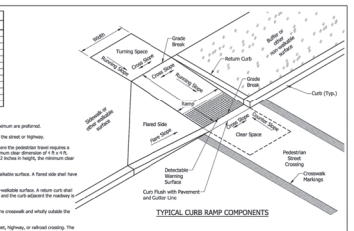
certified by: *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 7TH STREET
INTERSECTION
PLAN AND PROFILE

designed by: AJW
drawn by: AJW
checked by: JBF
sheet no: C308
project no: 402101

SHEET NO.	INDEX	SUBJECT
1	1	Typical Curb Ramp Components
2	2	One-Way Directional Perpendicular Curb Ramp Adjacent Curb
3	3	One-Way Directional Perpendicular Curb Ramp with Buffers
4	4	Paired Parallel Curb Ramps Along Large Radius
5	5	Paired Perpendicular Curb Ramps at Large Radius
6	6	Paired Perpendicular Curb Ramps at Small Radius
7	7	Perpendicular Curb Ramp Component Details
8	8	Parallel Curb Ramp Component Details
9	9	Blended Transition Curb Ramp
10	10	Blended Transition Curb Ramp with Running Slope $\geq 2.00\%$
11	11	Blended Transition Curb Ramp with Running Slope $\geq 2.00\%$
12	12	Blended Transition Curb Ramp with Running Slope $\geq 2.00\%$
13	13	Blended Transition Curb Ramp with Running Slope $\geq 2.00\%$
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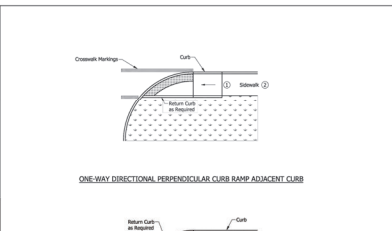


INDIANA DEPARTMENT OF TRANSPORTATION
CURB RAMP DRAWING INDEX AND GENERAL NOTES
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-01

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
10000124
DATE

2/ John L. Goff, P.E., 04/27/10
DEPT. MANAGER
DATE



INDIANA DEPARTMENT OF TRANSPORTATION
ONE-WAY DIRECTIONAL PERPENDICULAR CURB RAMP
TYPICAL PLACEMENT
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-05

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
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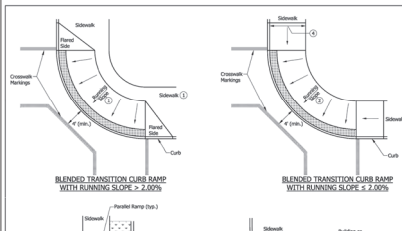
2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE

INDIANA DEPARTMENT OF TRANSPORTATION
ONE-WAY DIRECTIONAL PERPENDICULAR CURB RAMP
TYPICAL PLACEMENT
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-05

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
10000124
DATE

2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE



INDIANA DEPARTMENT OF TRANSPORTATION
BLENDED TRANSITION CURB RAMP
DEPRESSED CORNER CURB RAMP AND DIAGONAL CURB RAMP PLACEMENT
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-09

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
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DATE

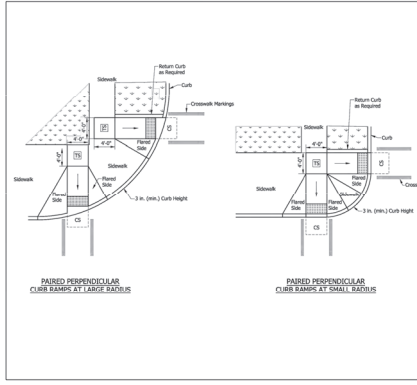
2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE

INDIANA DEPARTMENT OF TRANSPORTATION
BLENDED TRANSITION CURB RAMP
DEPRESSED CORNER CURB RAMP AND DIAGONAL CURB RAMP PLACEMENT
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-09

1/ E. J. Egan, P.E., 03/29/10
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10000124
DATE

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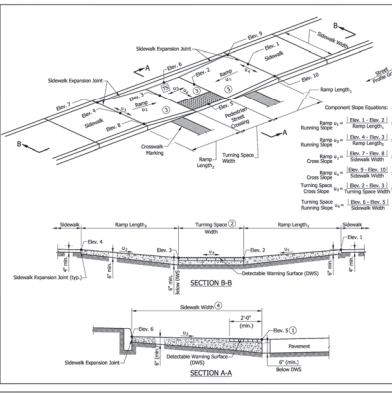
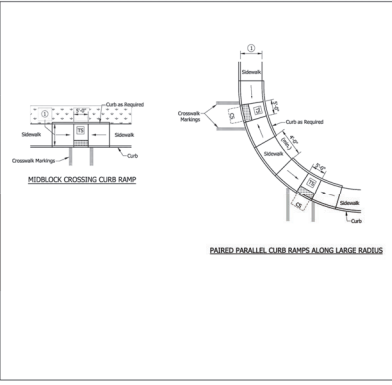


INDIANA DEPARTMENT OF TRANSPORTATION
PAIRED PERPENDICULAR CURB RAMP
TYPICAL PLACEMENT
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-03

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
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DATE

2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE

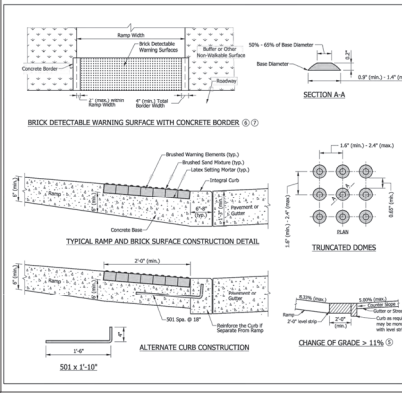
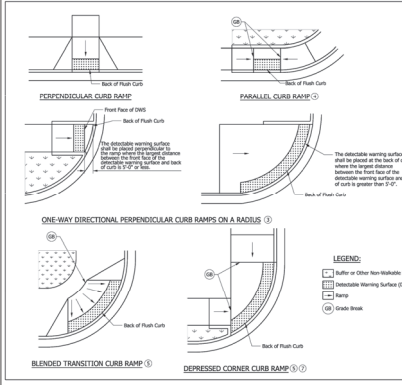


INDIANA DEPARTMENT OF TRANSPORTATION
PAIRED PERPENDICULAR CURB RAMP
TYPICAL PLACEMENT
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-07

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
10000124
DATE

2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE



INDIANA DEPARTMENT OF TRANSPORTATION
DETECTABLE WARNING SURFACE
PLACEMENT AND CONFIGURATION
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-12

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
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DATE

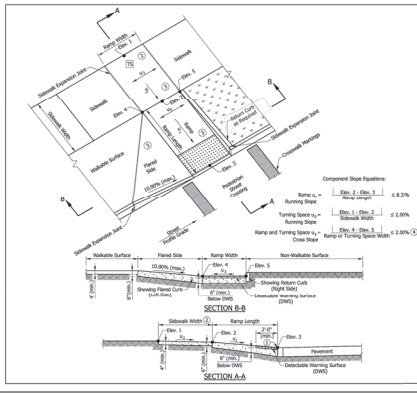
2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE

INDIANA DEPARTMENT OF TRANSPORTATION
DETECTABLE WARNING SURFACE
DETAILS
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-14

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
10000124
DATE

2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE

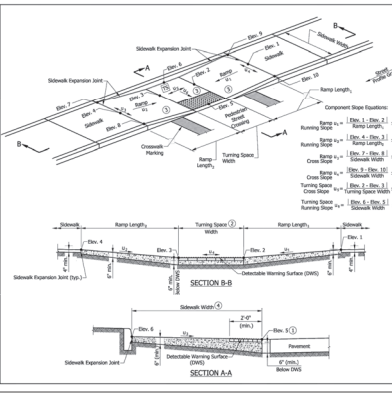


INDIANA DEPARTMENT OF TRANSPORTATION
PERPENDICULAR CURB RAMP
COMPONENT DETAILS
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-04

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
10000124
DATE

2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE

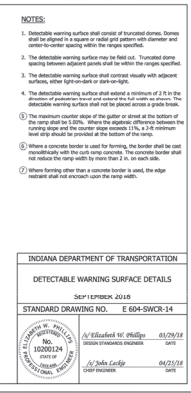
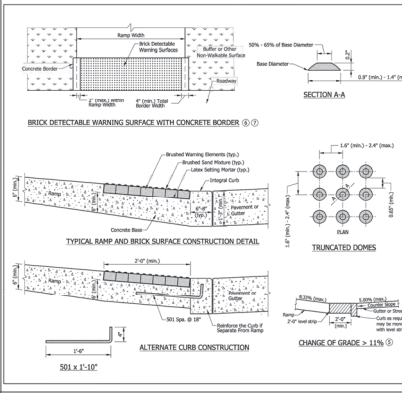


INDIANA DEPARTMENT OF TRANSPORTATION
PARALLEL CURB RAMP
COMPONENT DETAILS
SEP 1 EMBROC 2010

STANDARD DRAWING NO. E 604-SWCR-08

1/ E. J. Egan, P.E., 03/29/10
DESIGN ENGINEER
10000124
DATE

2/ John L. Goff, P.E., 03/29/10
DEPT. MANAGER
DATE



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revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

Bloomington, Indiana
(812) 338-2880 (Fax)

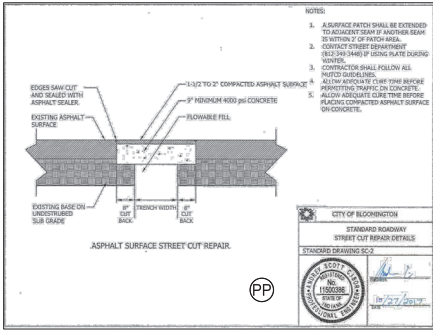
BBB
BYNUM FAYO & ASSOCIATES, INC.
52B North Walnut Street
(812) 332-8030

REGISTERED PROFESSIONAL ENGINEER
No. 18283
STATE OF INDIANA

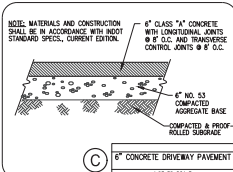
certified by [Signature]

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

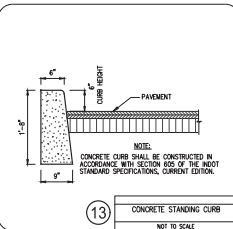
designed by: AJW
drawn by: AJW
checked by: JEF
sheet no: C401
project no: 402101



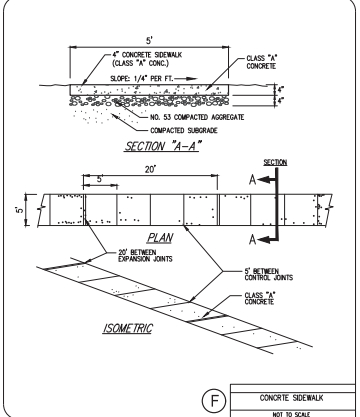
- NOTES:
1. SURFACE PATCH SHALL BE EXTENDED TO EDGE OF PATCH AND BEAD TO WITHIN 1/2\"/>
 - 2. CONTRACTOR SHALL FILL ALL PATCH HOLES.
 - 3. ALLOW APPROXIMATE 1\"/>
 - 4. CONTRACTOR SHALL PLACE THE BITUMINOUS ASPHALT SURFACE OVER PATCH.



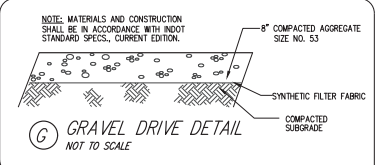
- NOTE: MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MOST STANDARD SPECS, CURRENT EDITION.
- 6" CLASS "A" CONCRETE WITH LONGITUDINAL JOINTS @ 8' O.C. AND TRANSVERSE CONTROL JOINTS @ 8' O.C.
- 6" NO. 53 COMPACTED AGGREGATE BASE COMPACTED IN PROOF-ROLLED SUBGRADE



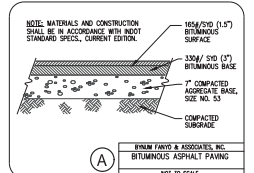
- NOTE: CONCRETE CURB SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 903 OF THE MOST STANDARD SPECIFICATIONS, CURRENT EDITION.



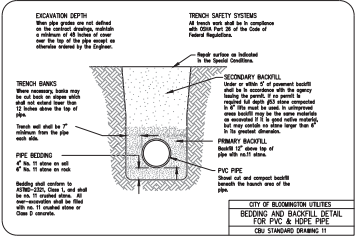
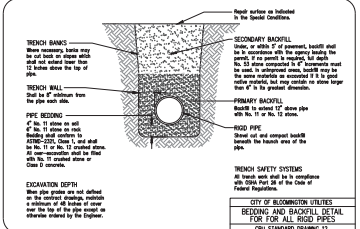
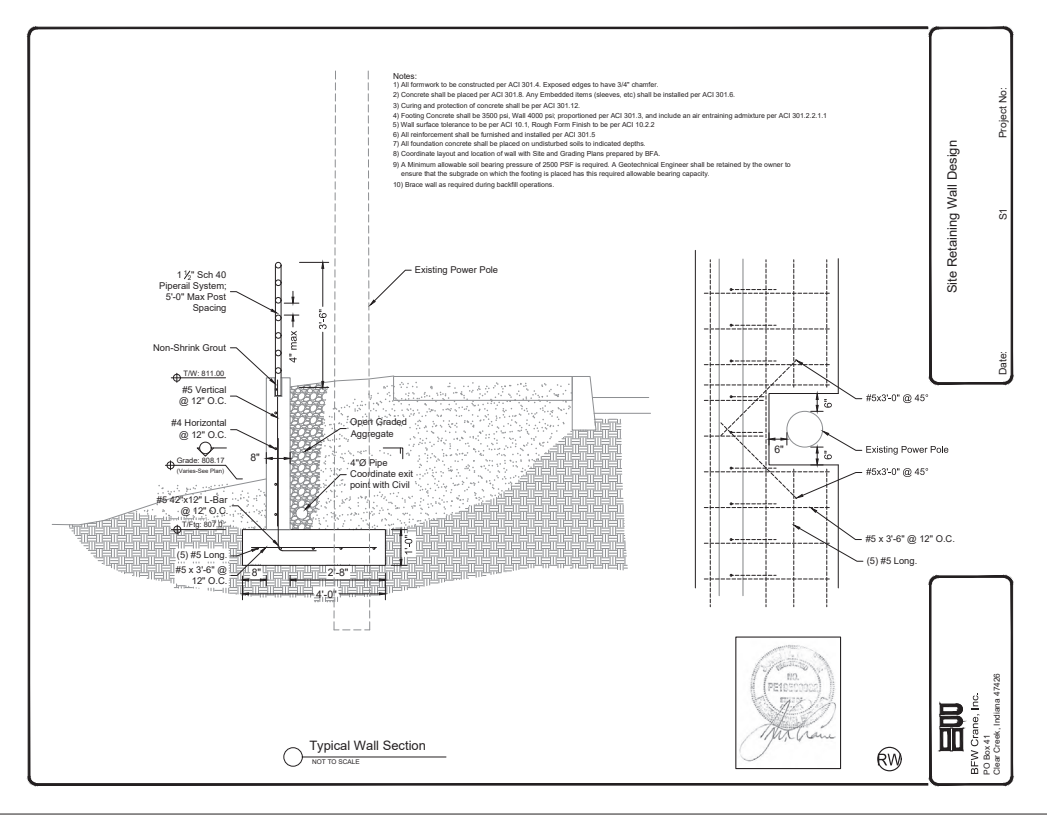
- NOTE: MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MOST STANDARD SPECS, CURRENT EDITION.
- 4" CLASS "A" CONCRETE WITH LONGITUDINAL JOINTS @ 8' O.C. AND TRANSVERSE CONTROL JOINTS @ 8' O.C.
- 4" NO. 53 COMPACTED AGGREGATE BASE COMPACTED IN PROOF-ROLLED SUBGRADE



- NOTE: MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MOST STANDARD SPECS, CURRENT EDITION.
- 8" COMPACTED AGGREGATE SIZE NO. 53
- SYNTHETIC FILTER FABRIC
- COMPACTED SUBGRADE



- NOTE: MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MOST STANDARD SPECS, CURRENT EDITION.
- 100M/200 (1.5") BITUMINOUS SURFACE
- 300M/200 (5") BITUMINOUS BASE
- 7" COMPACTED AGGREGATE BASE, SIZE NO. 53
- COMPACTED SUBGRADE



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revisions:

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MECHANICAL	PLANNING
ELECTRICAL	PLANNING
PLUMBING	PLANNING
MECHANICAL	PLANNING
ELECTRICAL	PLANNING
PLUMBING	PLANNING

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C402
project no: 402101

GP PRACTICE 3.61-B GRAVEL CURB INLET PROTECTION

REQUIREMENTS Contributing drainage area = 1 acre maximum.
Capacity: 5000 gpm. Silt type: frequency, 24-hr. duration storm event entering the storm drain without bypass flow.
Location: At curb inlets where ponding is likely to cause incrustation or damage.
Gravel: 1/2-in. diameter (MOT CA No. 2)
Wire mesh: Chicken wire or hardware cloth with 1/2-in. openings.
Geotextile fabric (optional): For filtration.

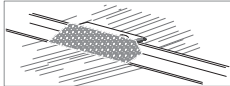


Exhibit 3.61-B. Perspective view of a gravel curb inlet protection.

- INSTALLATION** (Exhibit 3.61-B)
1. Install gravel curb inlet protection as soon as the streets are paved in a new development situation or before land-disturbing activities in stabilized areas.
 2. Place wire mesh over the curb inlet opening and/or grate so it extends at least 12 in. beyond both top and bottom of the opening/grate.
 3. Install geotextile fabric over the wire mesh for additional filtration (optional).
 4. Fill gravel over the wire mesh to anchor it against the curb, covering the inlet opening completely.

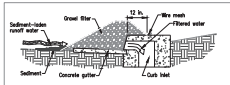


Exhibit 3.61-C. Cross-section detail of a gravel curb inlet protection.

- MAINTENANCE**
- After each storm event, remove sediment and replace the gravel, replace the geotextile filter fabric if used.
 - Periodically remove sediment and broom-on soil from the street (but not by hosing with water) to reduce the sediment load on the curb inlet.
 - Inspect periodically, and repair damage caused by vehicles.
 - When the contributing drainage area has been stabilized, remove the gravel, wire mesh, geotextile fabric, and any sediment, and dispose of them properly.

MS PRACTICE 3.12 PERMANENT SEEDING

REQUIREMENTS Site and seedbed preparation: Graded, and fine and fertilizer applied.
Plant species: Selected on the basis of soil type, soil pH, region of the state, time of year, and planned use of the area to be seeded (see Exhibit 3.12-C).
Mixer: Clean grain, straw, hay, wood, fiber, etc., to protect seedbed and encourage plant growth. The mixer may be used to reduce removal by wind or water, or erosion control blankets may be considered.

APPLICATION (Exhibit 3.12-B, C, and d)
1. Perennially seeded of final grade areas (e.g., landscape berms, drainage ditches, erosion control structures, etc.) as soon as completed and all areas where additional work is not scheduled for a period of more than a year.

SITE PREPARATION:
1. Initial practices needed to control erosion, sedimentation, and runoff prior to seeding. These include temporary and permanent ditches, sediment traps and basins, silt fences, and wire hole dams (Practices 3.21, 3.22, 3.72, 3.73, 3.74, and 3.75).
2. Grade the site and fill in depressions that can collect water.
3. Add topsoil to achieve needed depth for establishment of vegetation (Practice 3.20).
SEEDBED PREPARATION:
1. Test soil to determine pH and nutrient levels. (Contact your county SMC or Cooperative Extension office for assistance and soil information, including available soil testing services.)
2. If soil pH is unsuitable for the species to be seeded, apply lime according to local recommendations.
3. Fertilize as recommended by the soil test. If testing was not done, consider applying 400-600 lbs./acre of 12-12-12 analysis, or equivalent, fertilizer.
4. Till the soil to obtain a uniform seedbed, working the fertilizer and lime into the soil 2-4 in. deep with a disk or sub-soiler across the slope (Exhibit 3.12-d).

SEEDING:
Optimum seeding dates are 1-May to 10-Aug, 10-Sept, 30. Permanent seeding areas between May 10 and Aug. 10 may need to be irrigated. As an alternative, use temporary seeding (Practice 3.11) until the preferred date for permanent seeding.
1. Select a seeding mixture and rate from Exhibit 3.12-C, based on the conditions, soil pH, intended land use, and expected level of maintenance.
2. Apply seed uniformly with a drill or outdragger-spreader (Exhibit 3.12-b) or by broadcasting, and cover to a depth of 1/4-1/2 in. by raking or broadcasting, from the seedbed with a roller or outdragger.
3. Mulch all seeded areas (Practice 3.13). Consider using erosion blankets on sloping areas (Practice 3.17). (NOTE: If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the seed in a slurry mixture.)

Exhibit 3.12-C. Permanent Seeding Recommendations

This table provides several seeding options. Additional seed species and mixtures are available commercially. When selecting a mixture, consider site conditions, including soil properties (e.g., soil pH and drainage), slope aspect and the tolerance of each species to shade and droughtiness.

Seed species and mixtures	Rate per acre	Optimum soil pH
OPEN AND DISTURBED AREAS (REPAIRING EROSION MORE THAN 1 YEAR)		6.8 to 7.2
1. Perennial ryegrass	35 to 50 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
2. Kentucky bluegrass	30 lbs.	
+ melicgrass	3 lbs.	
+ smooth	4 lbs.	
+ perennial ryegrass	10 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
3. Perennial ryegrass	15 to 20 lbs.	5.6 to 7.0
+ prairie witch grass	15 to 20 lbs.	
4. Prairie witch grass	35 to 50 lbs.	5.5 to 7.5
+ ladino or white clover*	1 to 2 lbs.	

SLOPE BANKS AND CUTS, LOW MAINTENANCE AREAS (NOT MOWED)

2. Prairie witch grass	35 to 50 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
3. Prairie witch grass	35 to 50 lbs.	5.5 to 7.5
+ red clover*	10 to 20 lbs.	
(Recommended rate is 40)		
4. Droughtgrass	20 to 30 lbs.	5.6 to 7.0
+ red clover*	10 to 20 lbs.	
+ ladino clover*	1 to 2 lbs.	

LAWNS AND HIGH MAINTENANCE AREAS

1. Bluegrass	20 to 150 lbs.	5.5 to 7.0
2. Perennial ryegrass (leaf-type)	45 to 60 lbs.	5.4 to 7.0
+ bluegrass	70 to 90 lbs.	
3. Prairie witch grass (leaf-type)	125 to 150 lbs.	5.5 to 7.5
+ bluegrass	20 to 30 lbs.	

CHANNELS AND AREAS OF CONCENTRATED FLOW

1. Perennial ryegrass	100 to 150 lbs.	5.6 to 7.0
+ white or ladino clover*	1 to 2 lbs.	
2. Kentucky bluegrass	30 lbs.	5.5 to 7.5
+ melicgrass	3 lbs.	
+ smooth	4 lbs.	
+ perennial ryegrass	10 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
3. Prairie witch grass	100 to 150 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
4. Prairie witch grass	100 to 150 lbs.	5.5 to 7.5
+ perennial ryegrass	15 to 20 lbs.	
+ Kentucky bluegrass	15 to 20 lbs.	

* For best results: (a) legume seed should be inoculated; (b) seeding mixtures containing legumes should preferably be spring-seeded, although the grass may be fall-seeded and the legume fall-seeded (Practice 3.13); and (c) if legumes are fall-seeded, do so in early fall.

NOTE: An oat or wheat companion or nurse crop may be used with any of the above permanent seeding mixtures. If so, it is best to seed during the fall seeding period, especially after Sept. 15, and at the following rates: spring oats-1.4 to 3/4 bu./acre; wheat-no more than 1/2 bu./acre.

- MAINTENANCE**
- Inspect periodically, especially after storm events, until the stand is successfully established. (Observation of a successful stand includes vigorous, dense or bluish-green seedlings, uniform density with nurse plants, legumes, and grasses well inter-mixed, green leaves and the presence of remaining grass throughout the summer, least of the plant bases.)
 - Plan to add fertilizer the following grazing season according to soil test recommendations.
 - Repair damaged, low or sparse areas by filling any gullies, re-tiling, over- or re-seeding, and mulching.
 - If plant cover is sparse or patchy, remove the plant materials chosen, add fertility, moisture condition, and mulching; then repair the affected area either by over-seeding or by re-seeding and mulching after re-grazing the seedbed.
 - If vegetation fails to grow, consider soil testing to determine acidity or nutrient deficiency problems. (Contact your SMC or Cooperative Extension office for assistance.)
 - If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations.

SF PRACTICE 3.74 SILT FENCE (SEDIMENT FENCE)

PURPOSE To retain sediment from small, sloping disturbed areas by reducing the velocity of sheet flow.

(NOTE: Silt fence captures sediment by ponding water to allow deposition, not by filtration. Although the practice usually works best in conjunction with temporary basins, traps, or diversions, it can be sufficiently effective by itself alone. A silt fence is not recommended for a diversion nor is it to be used across a stream, channel or arroyo that concentrated flow is anticipated.)

REQUIREMENTS Drainage Area: Limited to 1/4 acre per 100 ft. of fence, further restricted by slope steepness (see Exhibit 3.74-d).
Location: Silt fence must be approximately following the land contour, and at least 10 ft. from toe of slope to provide a brood, shallow sediment pond, trap, or basin. Silt fence must be tensioned or weighted with compacted soil or gravel to bury lower portion of support wire and/or fence fabric.
Support posts: 2 x 4-in. hardwood posts (2" dia.) at steel fence posts set at least 1 ft. deep.* (Steel posts should protrude 1/2 in. above grade.)
Spacing of posts: 8 ft., maximum if fence supported by wire, 6 ft. for extra-strength fabric without wire backing.
Land slope: Max. distance across fence

Fence height:	High enough so depth of impounded water does not exceed 1 1/2 ft. at any point along fence line.	Less than 2% slope	100 ft.
Support wire (optional):	14 gauge 6 ft. wire fence (needed if using standard-strength fabric).	2 to 3% slope	75 ft.
Wire fabric:	Woven or non-woven geo-	10 to 20% slope	25 ft.
Textile fabric with specified filtering efficiency and tensile strength (see Exhibit 3.74-c) and containing UV inhibitors and stabilizers to assure 6-month minimum life of non-woven fabric.	Non-woven fabric	Steepest slope for which a Silt Fence is Applicable	15 ft.

Exhibit 3.74-C. Specifications Minimum for Silt Fence Fabric.

Physical Property	Woven Fabric	Non-woven fabric
Filtering efficiency	85%	85%
Tensile strength at 20% elongation:		
Standard strength	30lbs./linear ft.	50lbs./linear ft.
Extra strength	50lbs./linear ft.	20lbs./linear ft.
Shrink rate	0.5%/in./sq. ft.	0.5%/in./sq. ft.
UV resistance	200 gal./hr./sq. ft.	200 gal./hr./sq. ft.

Outlet (optional): To allow for safe storm flow bypass without overtopping fence. Flood slope length to limit water depth to 1 1/2 ft. maximum crest-1 ft. high maximum, wet width-4 ft. maximum; splash post-5 ft. wide, 3 ft. high, 1 ft. dia. minimum.

- INSTALLATION**
1. SITE PREPARATION:
 - a. Plan for fence to be at least 10 ft. from the toe of the slope to provide a sediment storage area.
 - b. Provide access to the area if sediment removal will be needed.
 2. OUTLET CONSTRUCTION (OPTIONAL):
 - a. Determine the appropriate location for a reinforced, stabilized bypass flow outlet.
 - b. Set the outlet elevation so that water depth cannot exceed 1 1/2 ft. at the lowest point along the fence line.
 - c. Locate the outlet well support posts no more than 4 ft. apart, and install a horizontal brace between them. (Weld should be no more than 1 ft. and water depth no more than 1 1/2 ft. anywhere else along the fence.)
 - d. Excavate the foundation for the outlet splash post to minimum of 1 ft. deep, 2 ft. wide and 5 ft. long on level grade.
 - e. Fill the excavated foundation with MOT CA No. 1 stone, being careful that the finished surface blends with the surrounding area, sloping no upward.
 - f. Stabilize the area around the post.
 3. OUTLET CONSTRUCTION (OPTIONAL):
 - a. Along the entire intended fence line, dig an 8-in. deep flat-bottomed or V-shaped trench.
 - b. On the down-slope side of the trench, drive the wood or steel support posts of least 1 ft. into the ground, spacing them no more than 8 ft. apart. If the fence is supported by wire or 6 ft. of extra strength fabric to use without support wire. Adjust spacing if necessary to ensure that posts are set at the low points along the fence line. (NOTE: If the fence has pre-anchored posts or stakes, drive them deep enough so the fabric is satisfactory in the trench as described in step 6.)
 - c. Fasten support wire fence to the outside side of the posts, extending 8 ft. into the trench.
 - d. Run a continuous length of geotextile fabric in front of the support wire and posts, extending partly, particularly at the points in the fence line.
 - e. If a joint is necessary, cut the overlap to the nearest post with a saw.
 - f. Place the bottom 1 ft. of fabric in the 8-in. deep trench, extending the remaining 4 in. toward the up-slope side.
 - g. Backfill the trench with compacted earth or gravel.
 - h. Run a continuous length of geotextile fabric in front of the support wire and posts, extending partly, particularly at the points in the fence line.
 - i. If a joint is necessary, cut the overlap to the nearest post with a saw, then construct one, follow the manufacturer's installation instructions.

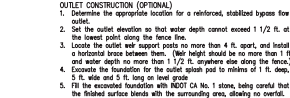


Exhibit 3.74-E. Detailed example of silt fence installation.

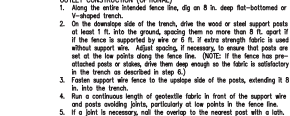


Exhibit 3.74-F. Plan view and elevation view of silt fence installation.

- MAINTENANCE**
- Inspect the silt fence periodically and after each storm event.
 - If fence fabric tears, starts to decompose or in any way becomes ineffective, replace the affected portion immediately.
 - Remove deposited sediment when it reaches half the height of the fence or its lower portion or causes the fabric to sag.
 - Take care to avoid undermining the fence during clean out.
 - After the construction area has been stabilized, remove the fence and sediment deposits, bring the disturbed area to grade, and stabilize.

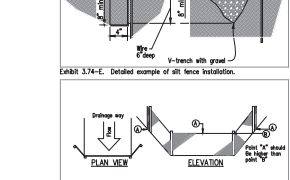


Exhibit 3.74-F. Plan view and elevation view of silt fence installation.

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Bloomington, Indiana
(812) 338-2880 (Fax)

628 North Walnut Street
(812) 332-8030

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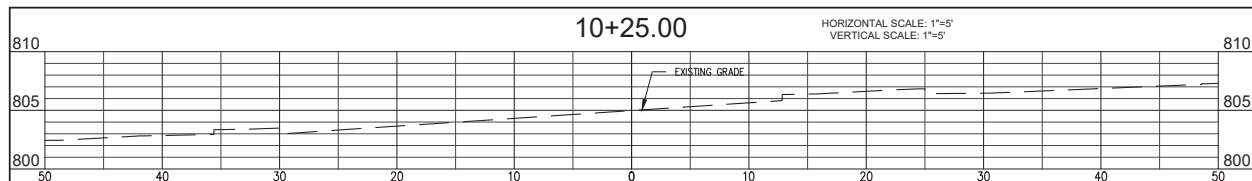
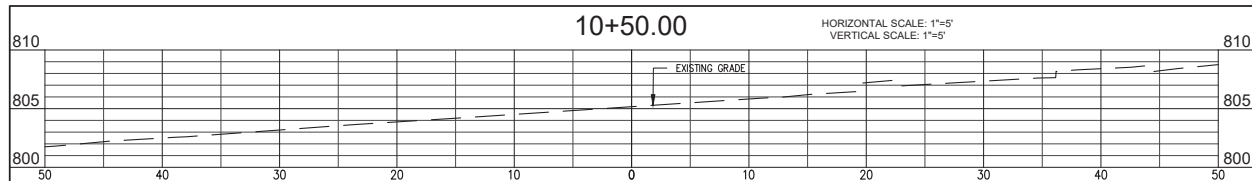
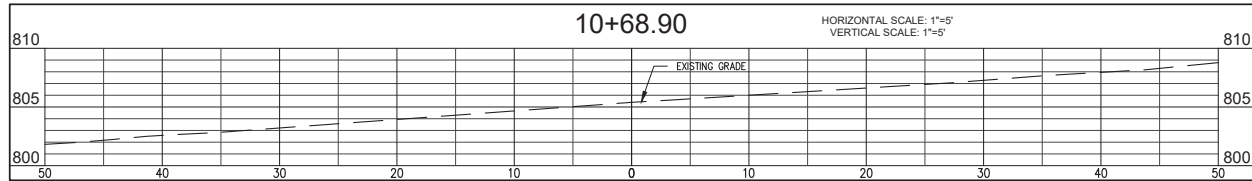
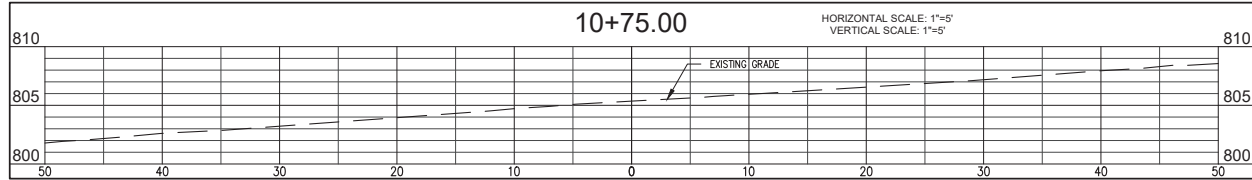
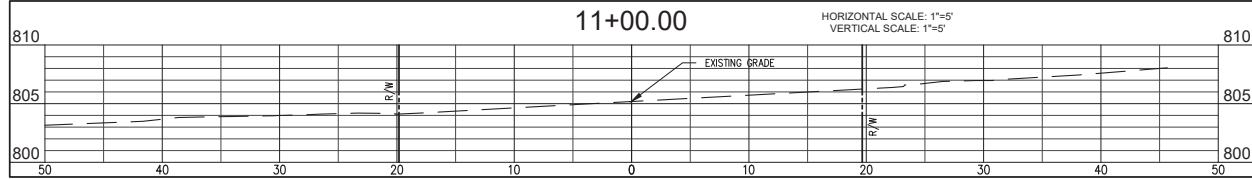
No. 18283

certified by [Signature]

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: EROSION DETAILS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C403
project no: 402101



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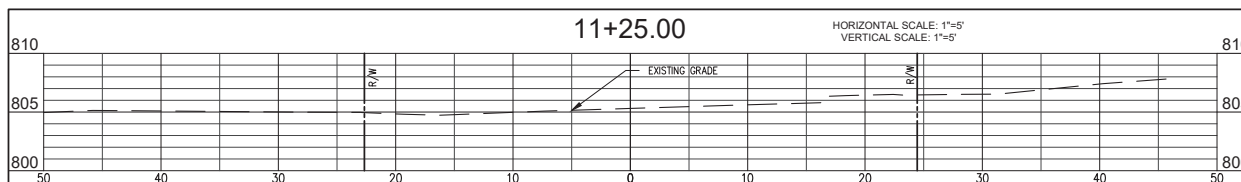
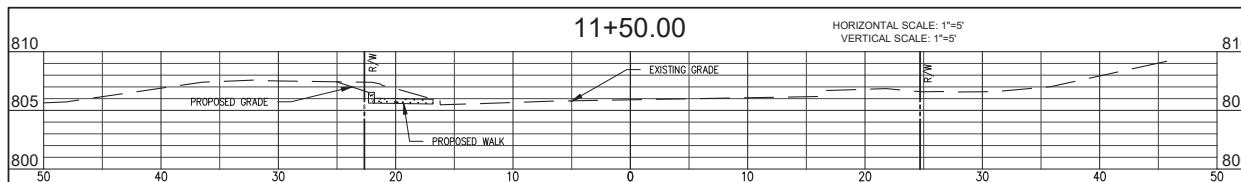
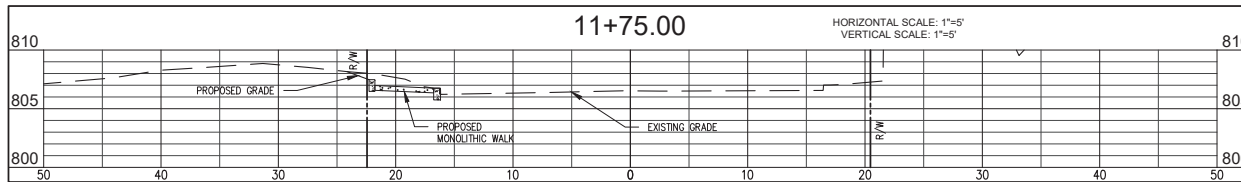
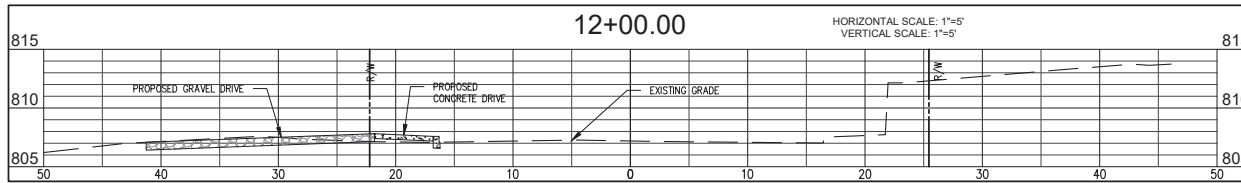
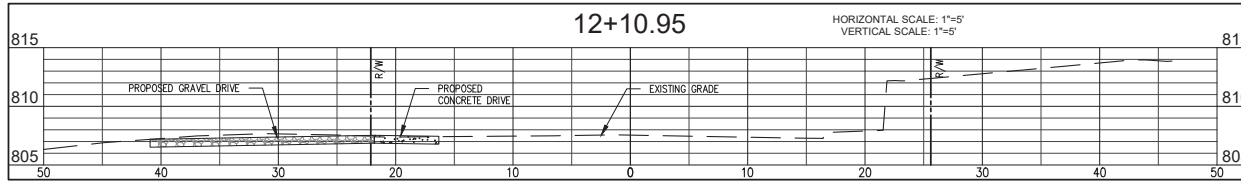
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No. 18283
STATE OF INDIANA
PROFESSIONAL ENGINEER

certified by *[Signature]*

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OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C501
project no.: 402101



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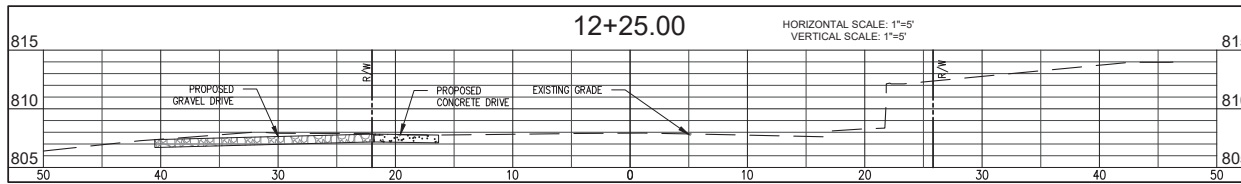
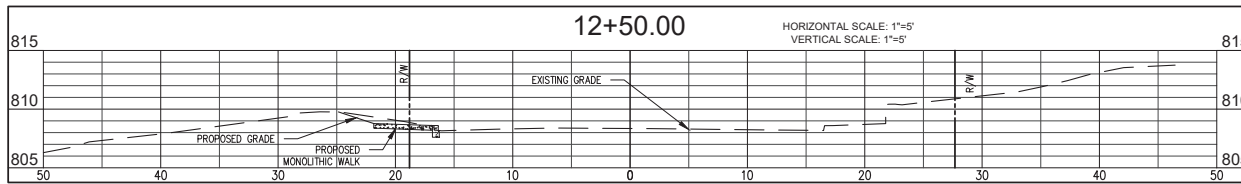
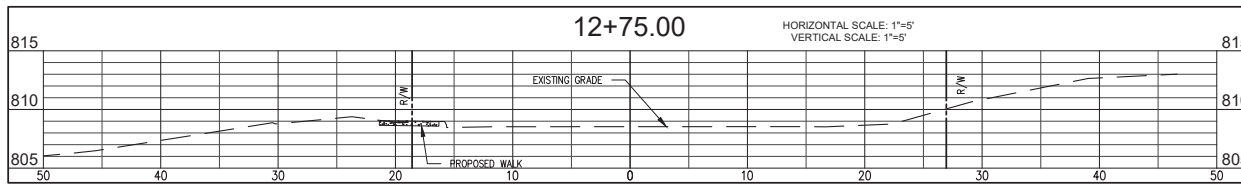
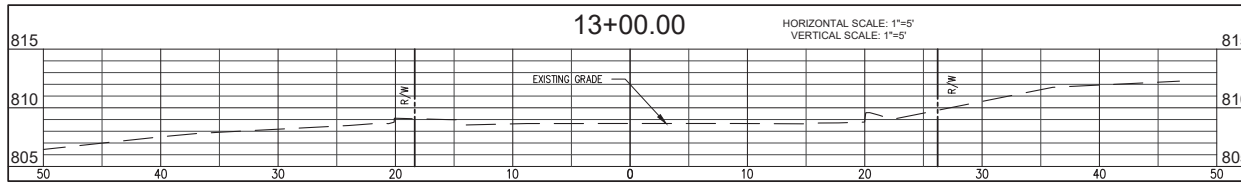
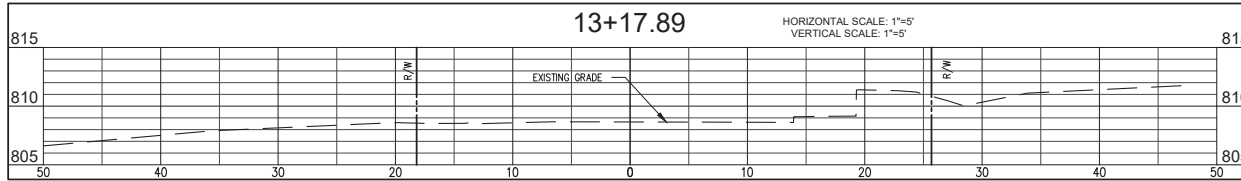
BYNUM FANYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana
(812) 332-8030

STATE OF INDIANA
No. 18283
PROFESSIONAL ENGINEER
Certified by: *[Signature]*

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title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C502
project no: 402101



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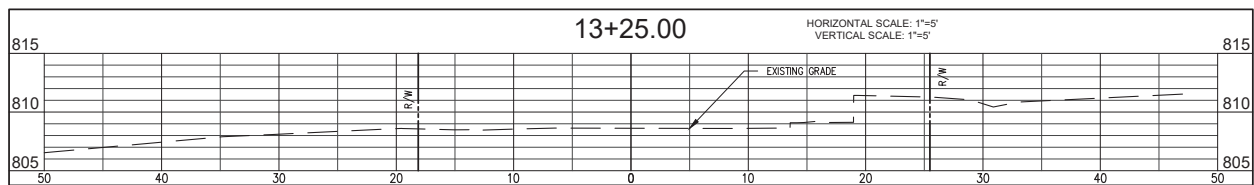
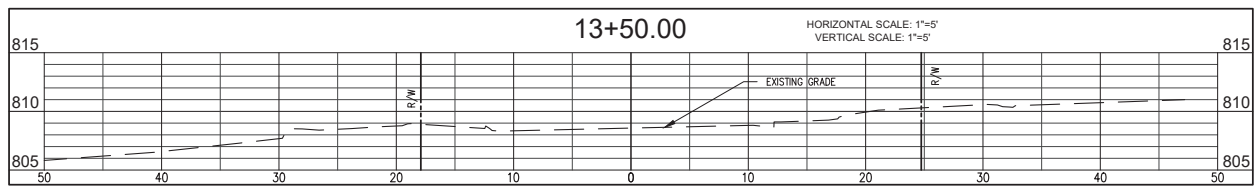
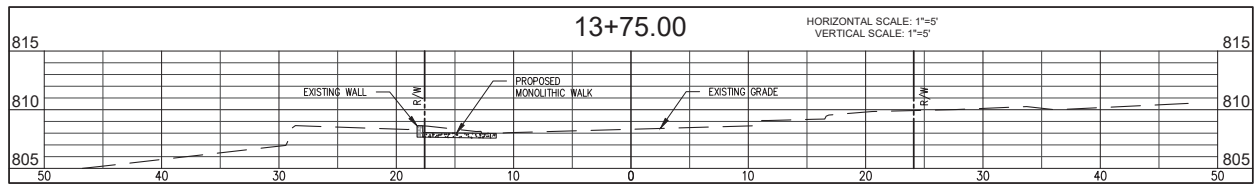
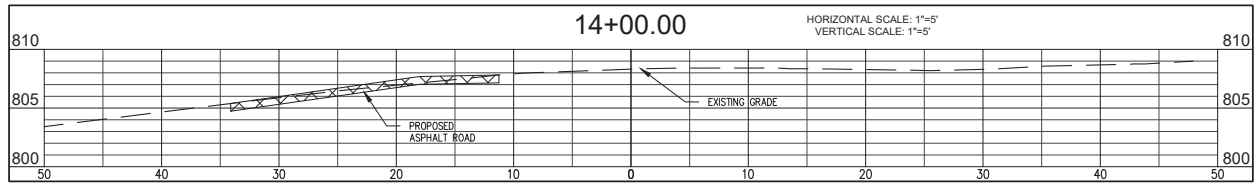
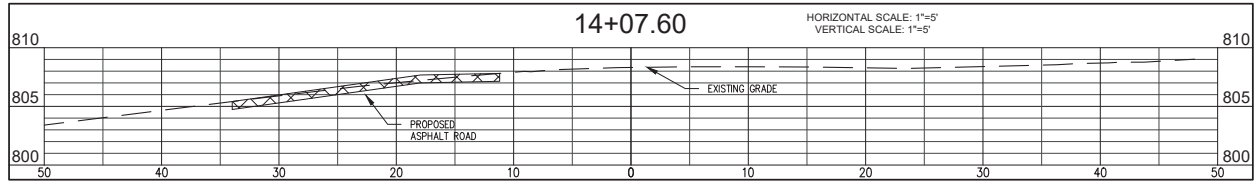
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BYNUM FANYO & ASSOCIATES, INC.
528 North Walnut Street
(812) 332-8030



PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C503
project no: 402101



NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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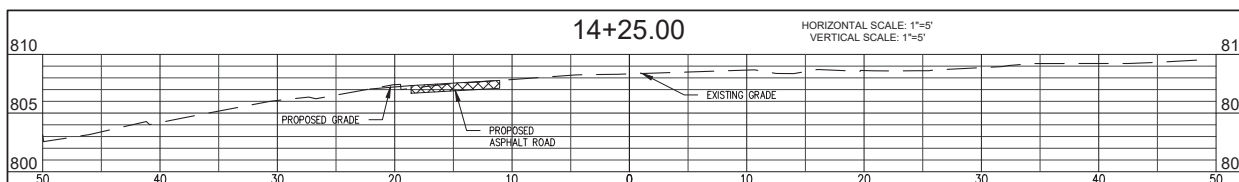
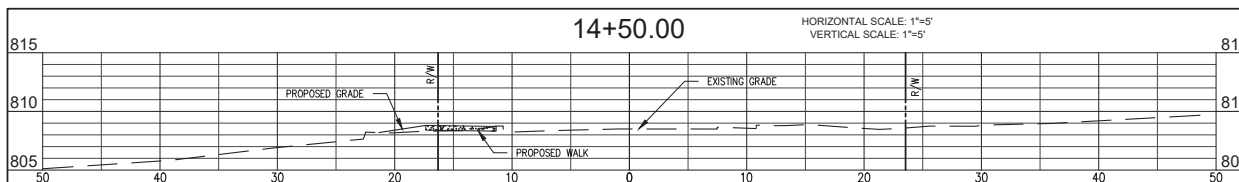
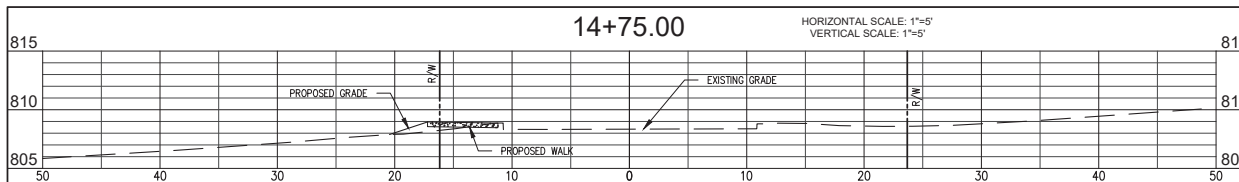
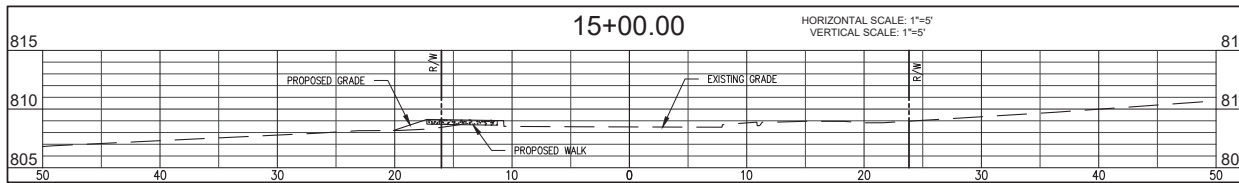
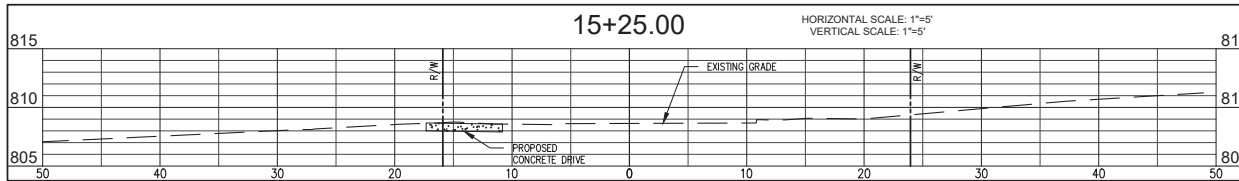
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528 North Walnut Street
(812) 332-8030

STATE OF INDIANA
No. 18283
PROFESSIONAL ENGINEER
certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C504
project no: 402101



NOTE TO CONTRACTOR
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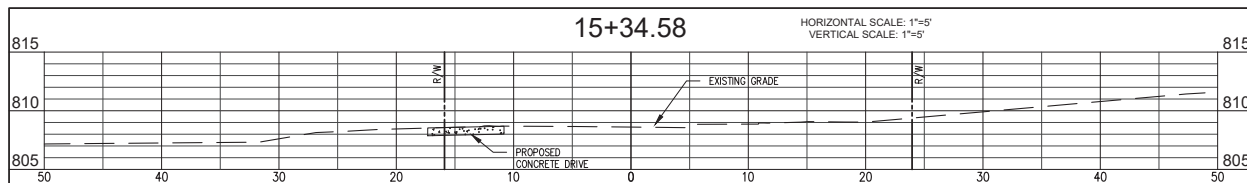
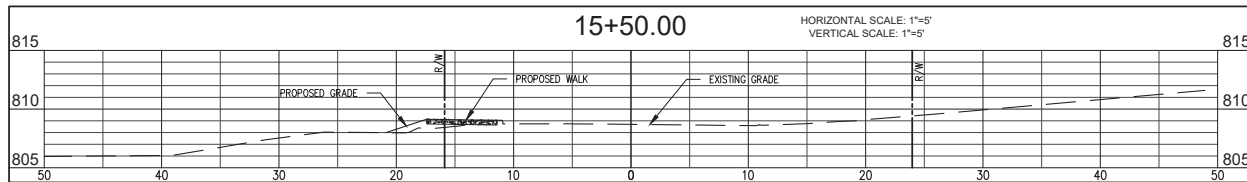
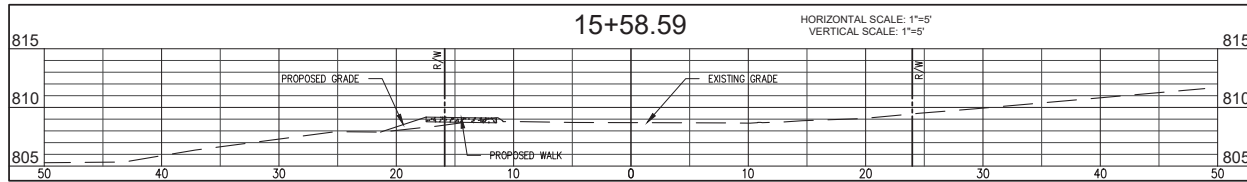
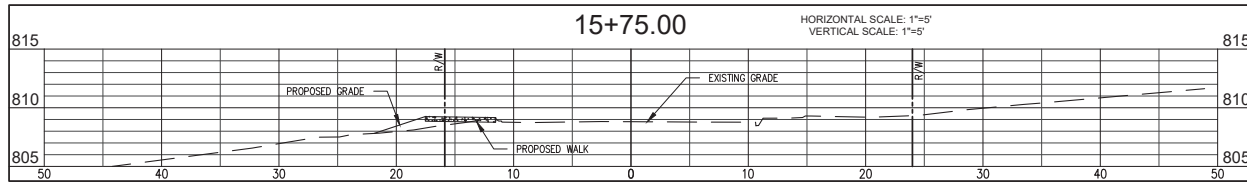
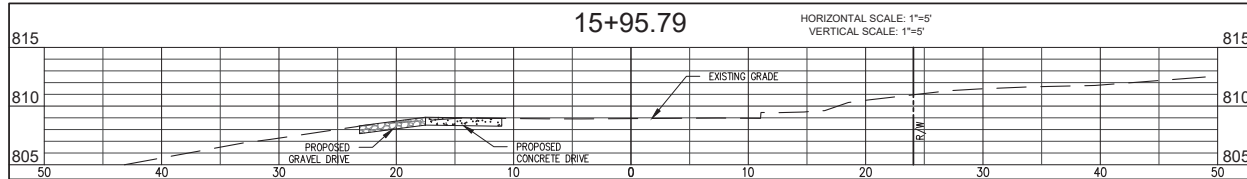
revisions:

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BYNUM FANYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana
(812) 338-2880 (Fax)

Professional Engineer
No. 18283
State of Indiana
Certified by: *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS
designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C505
project no: 402101



NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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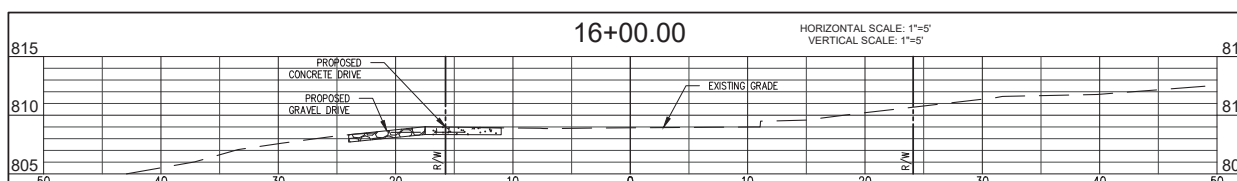
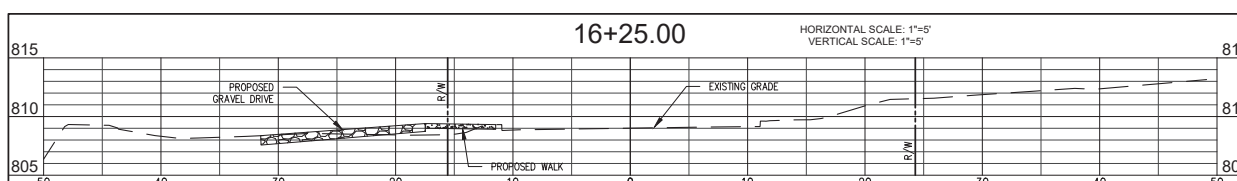
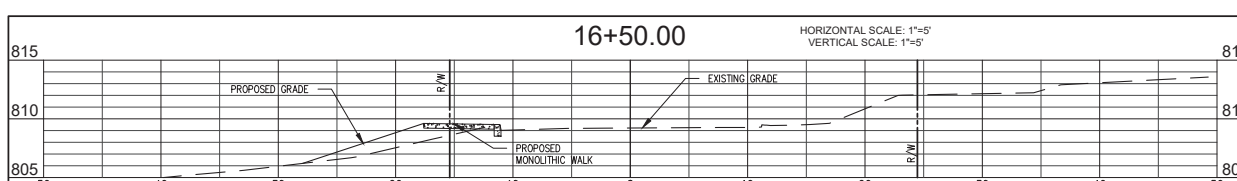
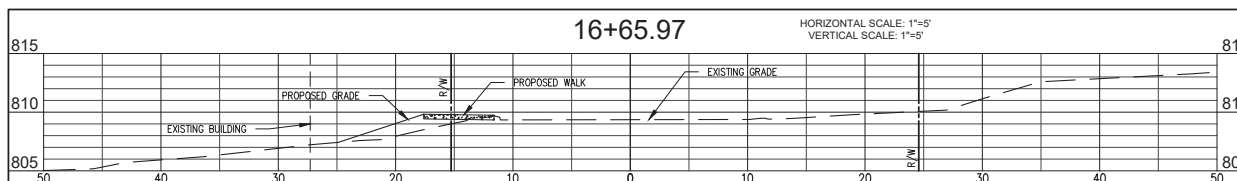
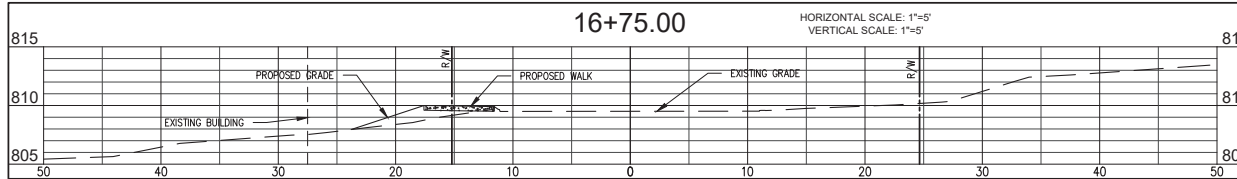
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528 North Walnut Street
(812) 332-8030

Professional Engineer
No. 18283
STATE OF INDIANA
certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C506
project no.: 402101



NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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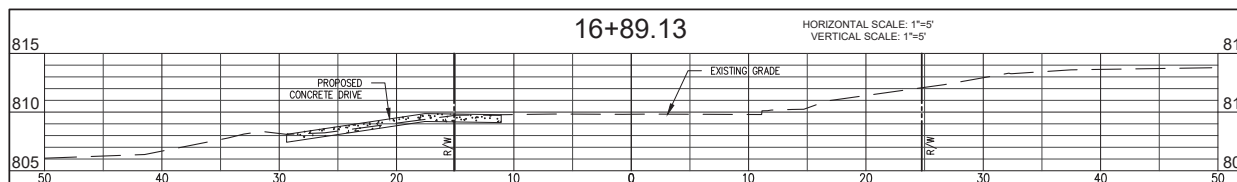
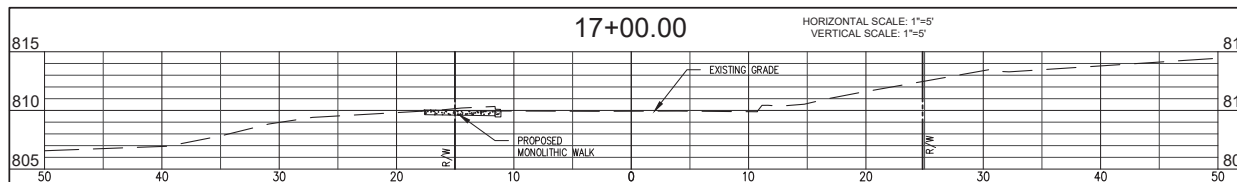
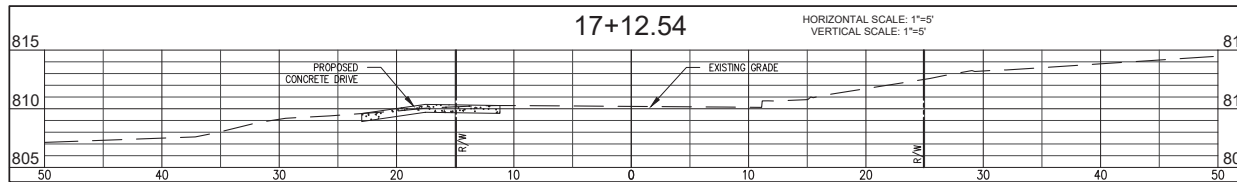
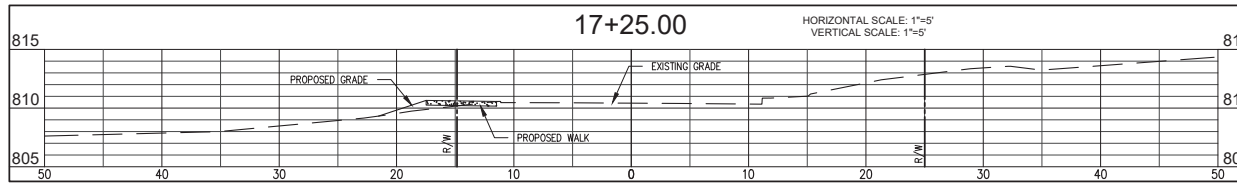
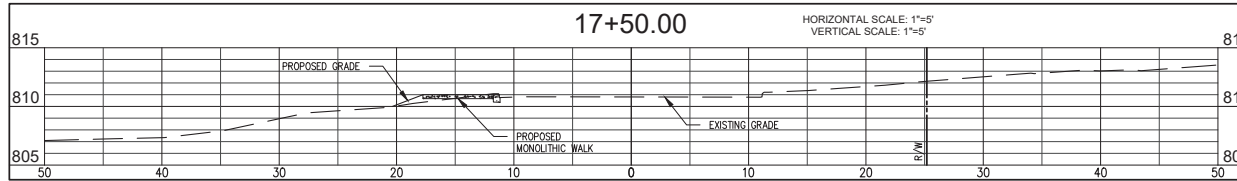
STATE OF INDIANA
 No. 18283
 PROFESSIONAL ENGINEER

certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
 CROSS-SECTIONS

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C507
 project no.: 402101



NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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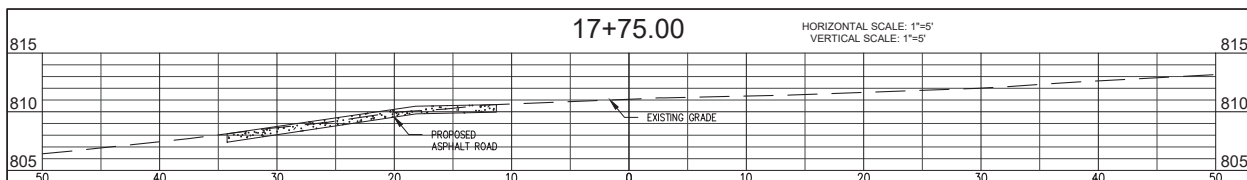
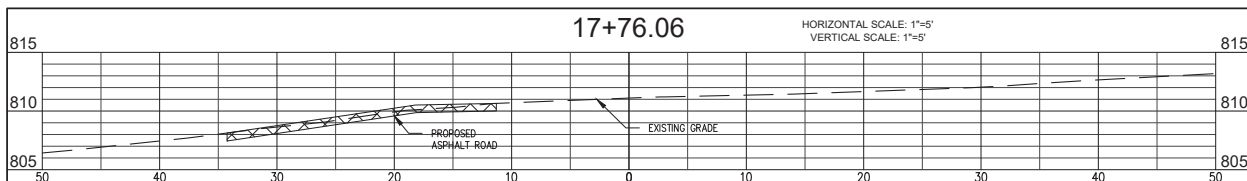
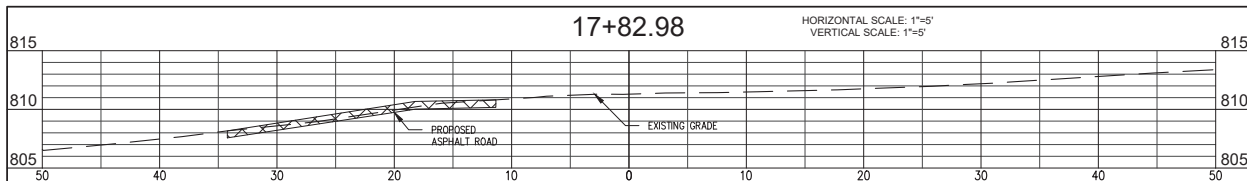
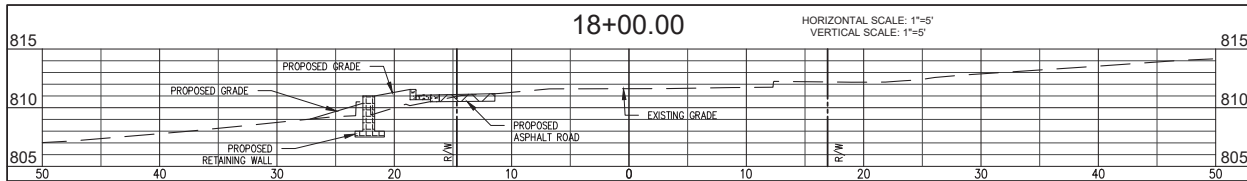
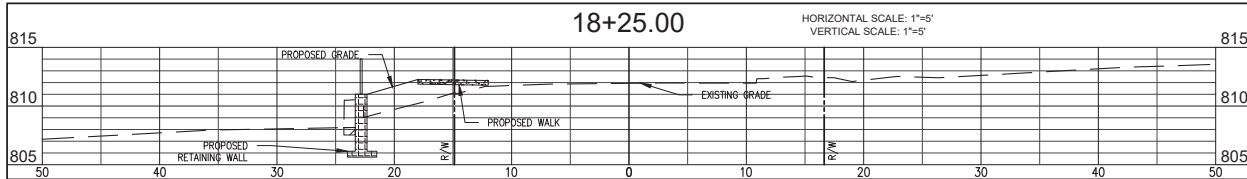
BEB
 BYNUM FAYO & ASSOCIATES, INC.
 528 North Walnut Street
 Birmingham, Indiana
 (812) 332-2882 (Fax)

STATE OF INDIANA
 PROFESSIONAL ENGINEER
 No. 18283
 State of Indiana
 Certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
 CROSS-SECTIONS

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C508
 project no: 402101



NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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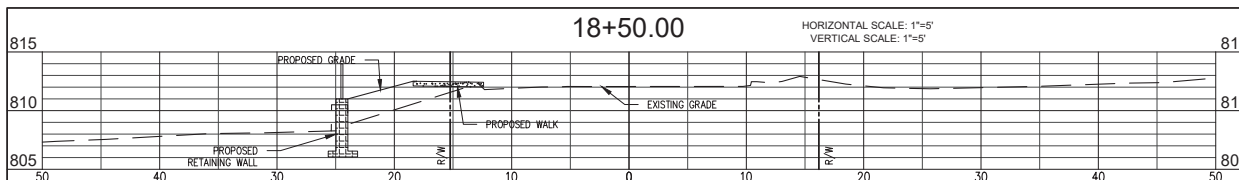
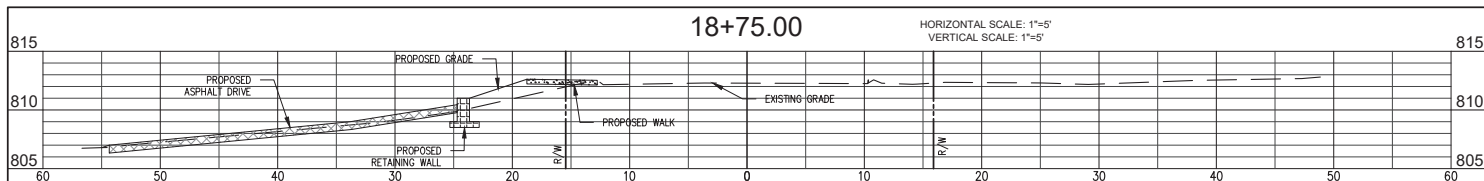
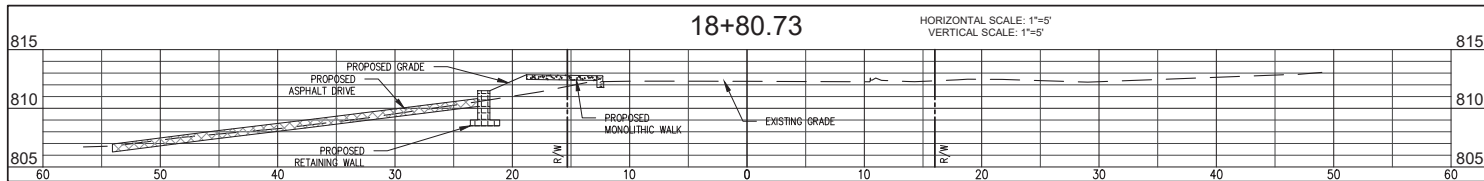
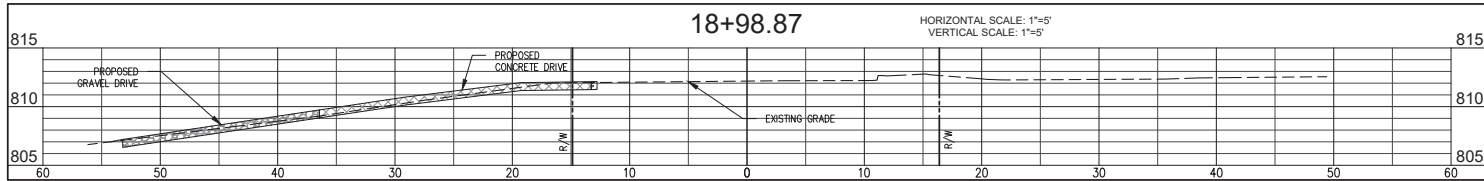
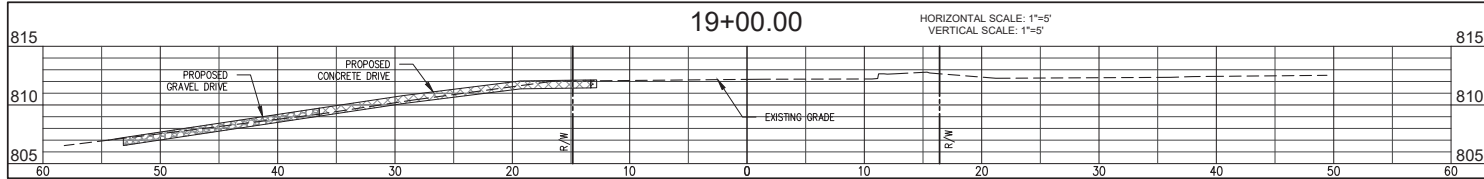
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 528 North Walnut Street
 (812) 332-8030



certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1 CROSS SECTIONS
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C509
 project no: 402101



NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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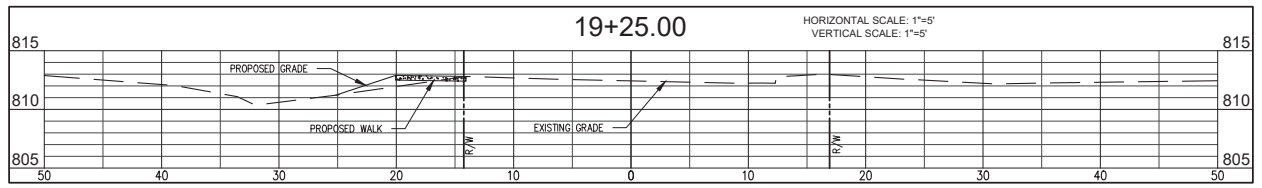
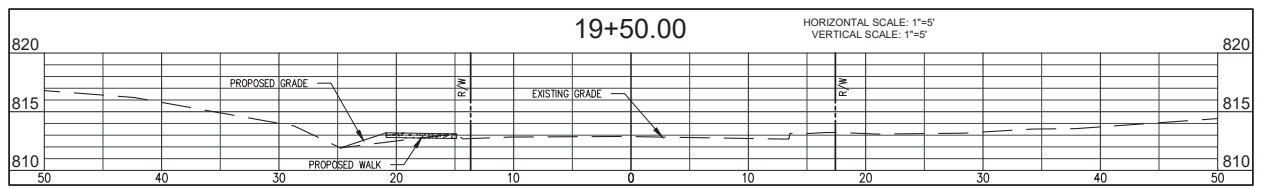
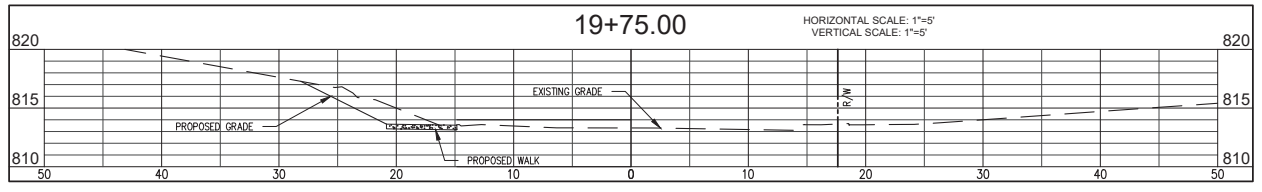
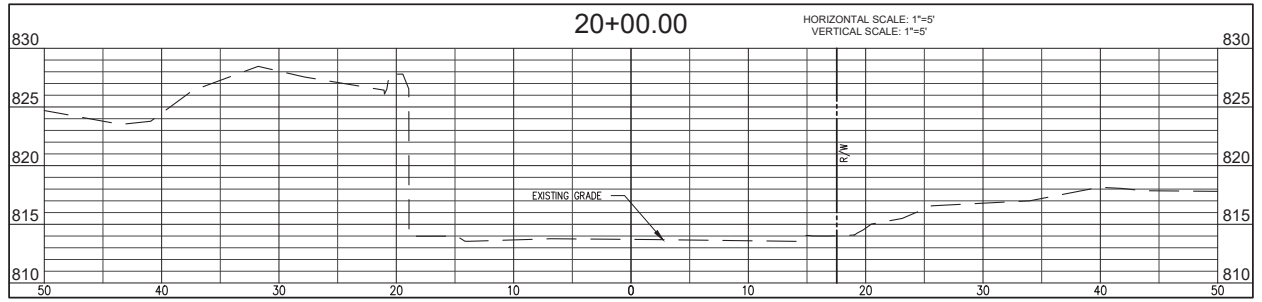
BE&K
BYNUM FANTO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana
(812) 332-8030

STATE OF INDIANA
Professional Engineer
No. 18283
certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C510
project no: 402101



NOTE TO CONTRACTOR
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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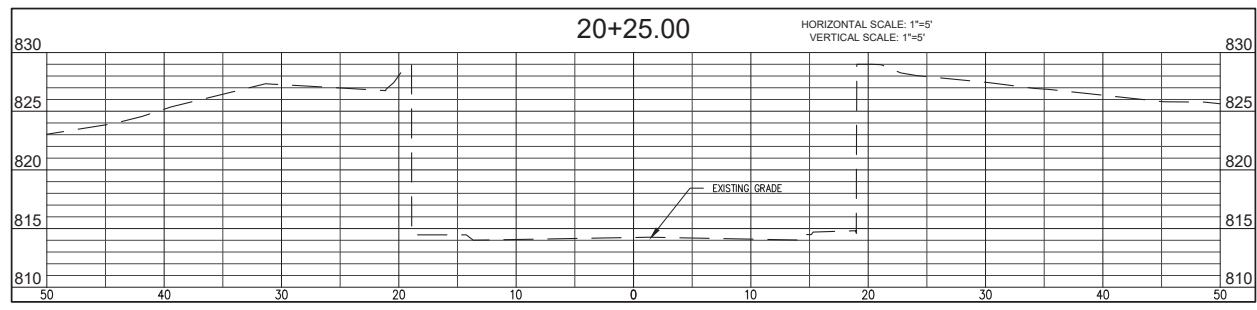
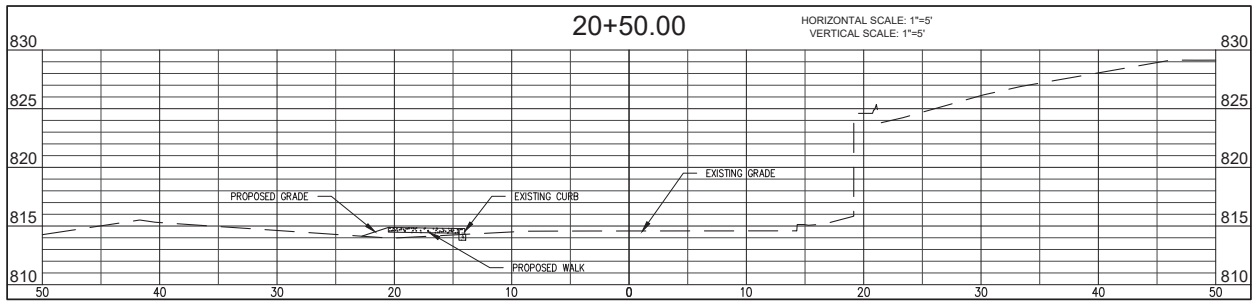
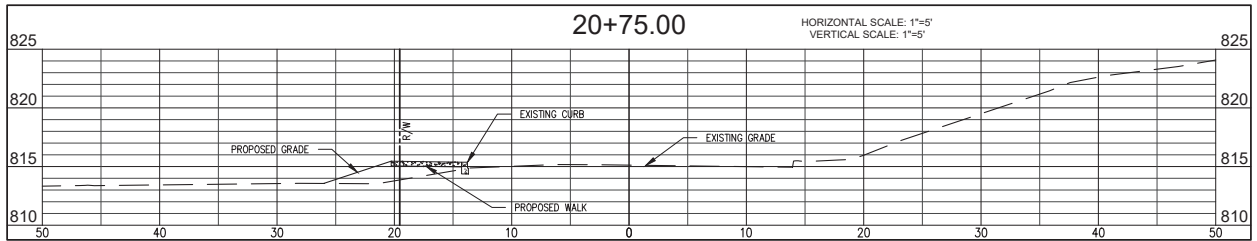
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STATE OF INDIANA
 No. 18283
 PROFESSIONAL ENGINEER
 certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
 CROSS-SECTIONS

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C511
 project no: 402101



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STATE OF INDIANA
 No. 18283
 PROFESSIONAL ENGINEER

certified by *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
 CROSS-SECTIONS

designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C512
 project no: 402101

revisions:

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Bloomington, Indiana
(812) 338-2886 (Fax)

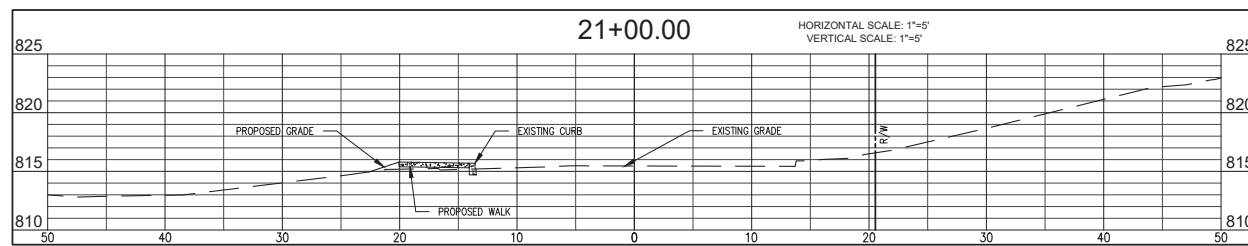
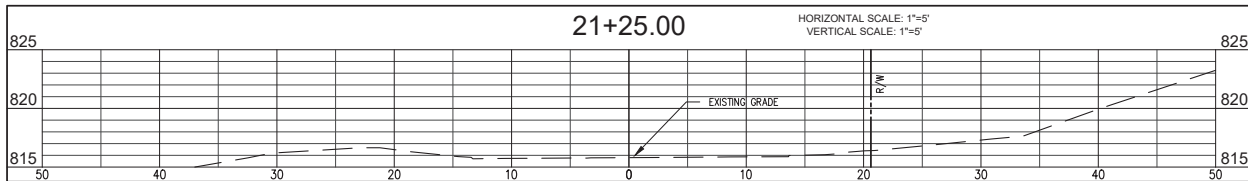
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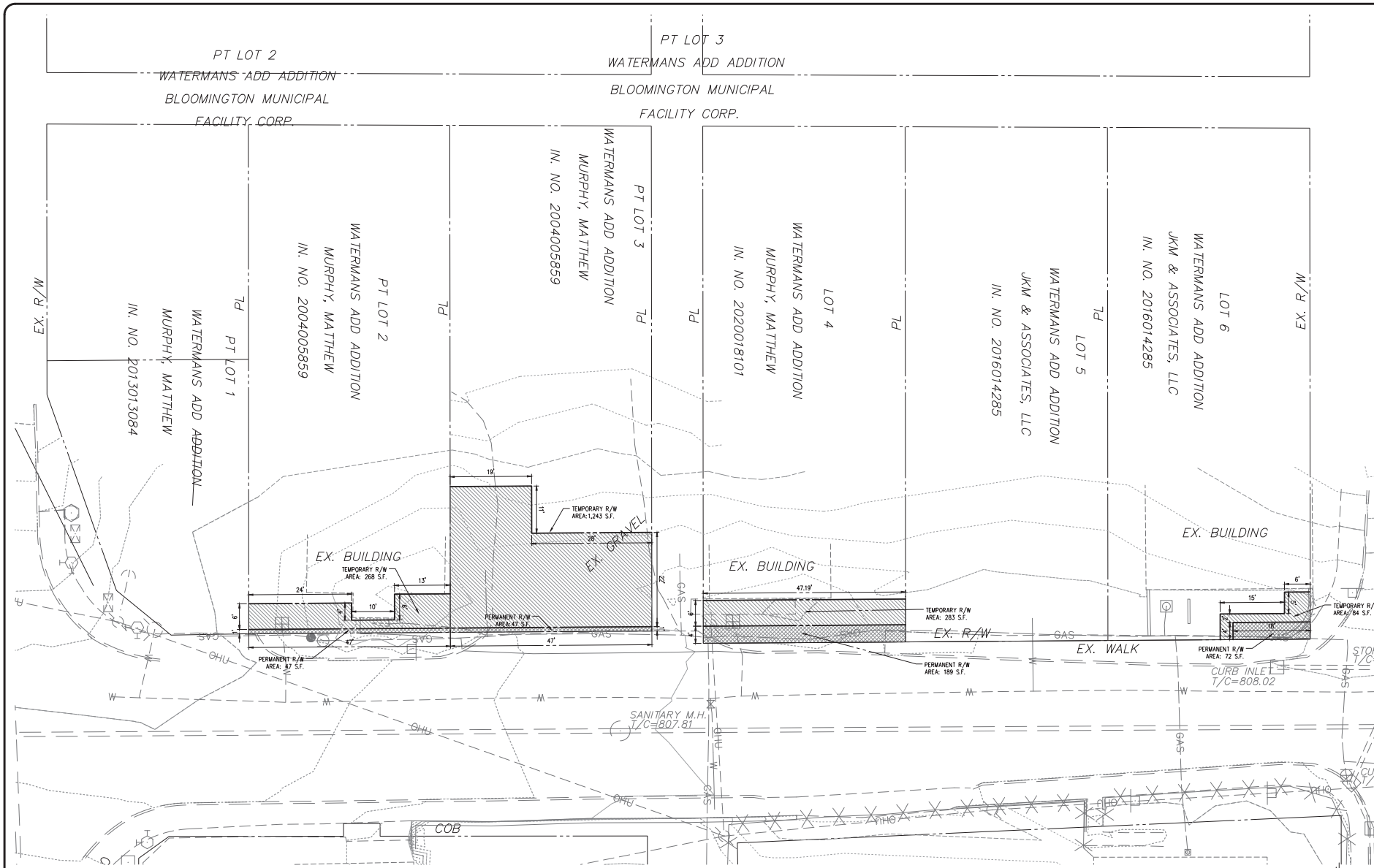
PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1
CROSS-SECTIONS

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C513
project no.: 402101



NOTE TO CONTRACTOR
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RIGHT-OF-WAY ACQUISITION

	TEMPORARY RIGHT-OF-WAY
	PERMANENT RIGHT-OF-WAY

NOTE TO CONTRACTOR

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revisions:

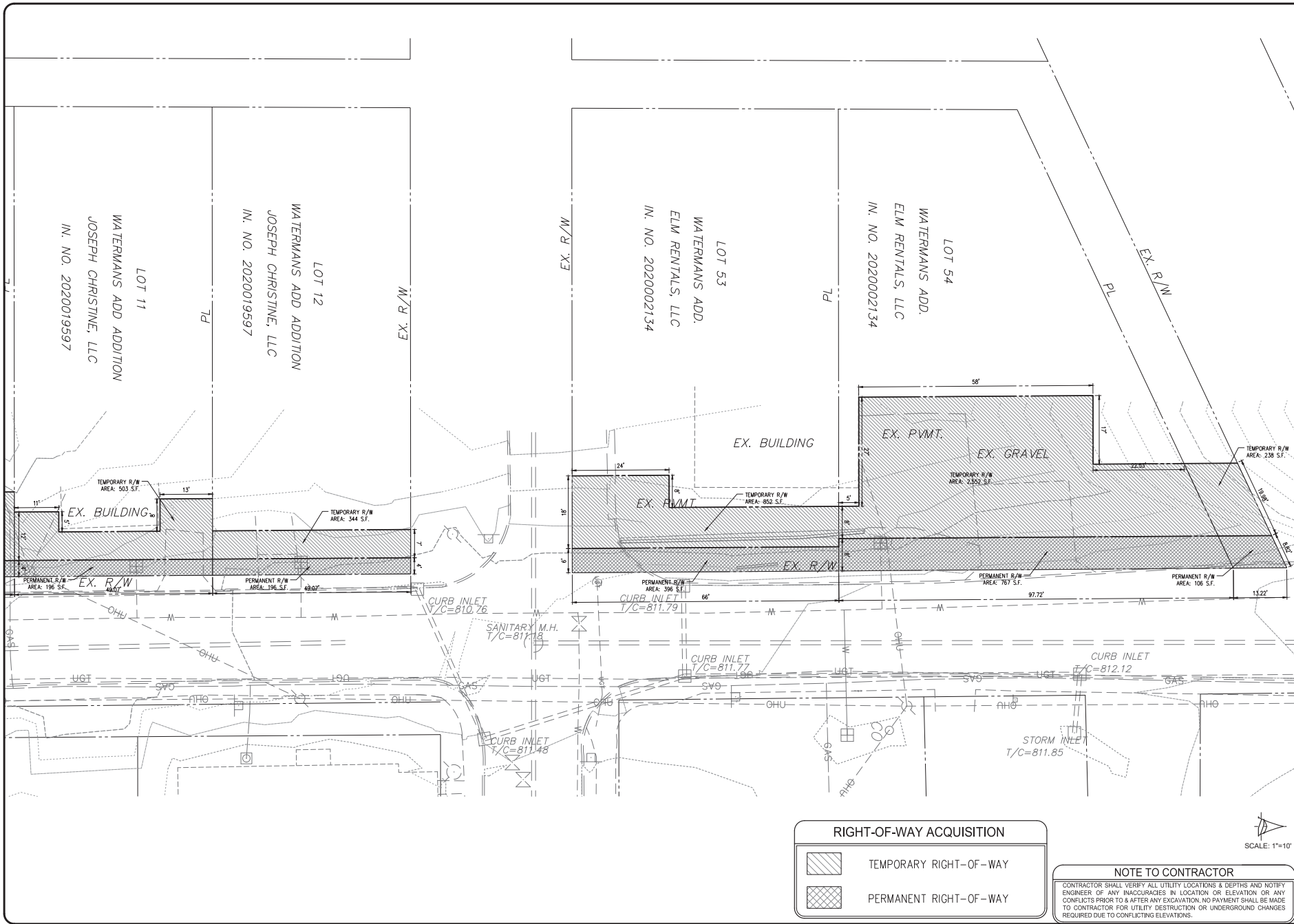
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 BYNUM FAYO & ASSOCIATES, INC.
 528 North Walnut Street
 Bloomington, Indiana
 (812) 339-2880 (Fax)

Professional Engineer
 No. 18283
 State of Indiana
 Certified by: *[Signature]*

PROPOSED
ADAMS STREET SIDEWALK
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: RIGHT-OF-WAY ACQUISITION
 designed by: AJW
 drawn by: AJW
 checked by: JSF
 sheet no: C001
 project no: 402101

SCALE: 1"=10'



RIGHT-OF-WAY ACQUISITION

	TEMPORARY RIGHT-OF-WAY
	PERMANENT RIGHT-OF-WAY

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

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Bloomington, Indiana
(812) 338-2880 (Fax)

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BYNUM FAYO & ASSOCIATES, INC.
528 North Walnut Street
Bloomington, Indiana
(812) 332-8030

LESLIE S. FAYO
No. 18283
STATE OF INDIANA
PROFESSIONAL ENGINEER

certified by

PROPOSED
ADAMS STREET SIDEWALK
NORTH ADAMS STREET, BLOOMINGTON, IN 47404
FROM W. KIRKWOOD AVE. TO THE INTERSECTION
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: RIGHT-OF-WAY ACQUISITION

designed by: AJW
drawn by: AJW
checked by: JSF
sheet no: C603
project no: 402101

SCALE: 1"=10'

