



**CITY OF  
BLOOMINGTON**  
HOUSING AND NEIGHBORHOOD DEVELOPMENT

# **BHPC MEETING PACKET**

**Thursday March 23, 2023**

**5:00 p.m. EST**

**Prepared by HAND Staff**

**In Person:** The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

**Zoom:** <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

One tap mobile

+13126266799,,95852185508# US (Chicago)

+19292056099,,95852185508# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

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+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

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# Bloomington Historic Preservation Commission Meeting

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 Passcode: 082945

Thursday March 23, 2023, 5:00 P.M.

## AGENDA

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **APPROVAL OF MINUTES**
  - A. February 23, 2023
- IV. **CERTIFICATES OF APPROPRIATENESS**

### Staff Review

#### A. **COA 23-10**

106 W 6th St. (Courthouse Square Historic District)

Petitioner: Kellie Easton

*Temporary Sign*

### Commission Review

#### A. **COA 23-14**

817 W 6th St. (Near West Side Historic District)

Petitioner: Jen Scott

*Window replacement - 5 windows*

#### B. **COA 23-15**

2521 N Fritz Dr. (Matlock Heights Historic District)

Petitioner: Tucker Jaroll

*Removing a three season room and concrete pad. Building a larger room with heating.*

#### C. **COA 23-16**

336 S Euclid Ave. (Greater Prospect Hill Historic District)

Petitioner: Tim Devine

*Replacing doors, garage doors, eliminate rear egress door, replace asphalt roof with black-gray architectural shingles.*

#### D. **COA 23-17**

918 W 4th St. (Greater Prospect Hill Historic District)

Petitioner: Tim Devine

*Replace the front and side door.*

#### E. **COA 23-18**

1017 W Howe St. (Greater Prospect Hill Historic District)

Petitioner: Daniel and Whitney Sullivan

*Removal chimney, replacement of two windows on the south and west sides, along with the kitchen*

#### F. **COA 23-19**

339 S Fairview St. (Greater Prospect Hill Historic District)

Petitioner: Joshua Hogan and Elizabeth Winchester

*Add a dormer to the secondary facade facing the south.*

**Section 106 Reviews**

- A. Four Bioretention Ponds to be built throughout Bloomington
- B. Adams Street Sidewalk Project
- C. Governor Park Apartments
- D. Switchyard Park
- V. **NEW BUSINESS**
  - A. Kohr Building proposal presentation - Barre Klapper, Springpoint Architects
  - B. Commissioner Attendance
  - C. Following up with violations
- VI. **NEW BUSINESS**
- VII. **OLD BUSINESS**
- VIII. **COMMISSIONER COMMENTS**
- IX. **PUBLIC COMMENTS ANNOUNCEMENTS**
- X. **ADJOURNMENT**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

Next meeting date is April 13, 2023 at 5:00 P.M. and will be a teleconference via Zoom.

**Posted:** 3/16/2023

# Bloomington Historic Preservation Commission Meeting

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 Passcode: 082945

Thursday February 23, 2023, 5:00 P.M.

## MINUTES

### I. CALL TO ORDER

### II. ROLL CALL

#### Commissioners Present:

Sam DeSollar (In Person)  
Daniel Schlegel (In Person)  
Reynard Cross (In Person)  
Allison Chopra (In Person)  
John Saunders (In Person)  
Marlene Newman (Electronic)  
Doug Bruce (Electronic)

#### Advisory Members Present:

Kirsten Hawley (Electronic)

#### Staff Present:

John Zody, HAND (In Person)  
Gloria Colom, HAND (In Person)  
Chris Wheeler, City Attorney (Electronic)

#### Guests Present:

CATS (In Person)  
Jenny Southern (In Person)  
Angie Rickertts (Online)  
Tim Devine (In Person)  
Michael Bridavskey (Online)  
Lucas Brown (Online)

### III. APPROVAL OF MINUTES

A. February 9, 2023 Minutes approved - 4 yes, Zero no, three abstain

**Daniel Schlegel** made a motion to approve the February 9, 2023 Minutes.

**Allison Chopra** seconded the motion.

**Motion Carries:** 4 Yes (**Schlegel, Saunders, Chopra, Cross**), 0 No, 3 Abstain (**Newman, Bruce, DeSollar**)

### IV. CERTIFICATES OF APPROPRIATENESS

#### Commission Review

A. COA 23-09

1319 E 1St St. (Elm Heights Historic District)  
Petitioner: **Angie and Darrin Ricketts**  
*Roof replacement with Brown Old World Slate Roof.*

**Gloria Colom** gave a presentation. See the packet for details.

**Jennie Southern** came as a representative of the petitioner to discuss the concerns with slate v. a synthetic/composite type of materials that has the look of slate for a new roof. There's an issue with weight in using real slate on the shoulders.

Petitioner **Angie Ricketts** discussed the synthetic use of slate and how they've been looking at how this would work.

**Jenny Southern** spoke to answer questions about the project as a representative of the petitioner.

Questions and discussions from members about the type of material being used, and what is required as the replacement material.

Comments from members were next. **DeSollar** can't support the composite material/slate that is being proposed. **Cross** mentioned an issue concerning weight to support slate and asked for that engineering report. Petitioner declined to supply the engineering report to the HPC. **Cross** indicates that material being considered is not satisfactory to the guidelines. **Chopra** agrees with **DeSollar**.

**Newman** discussed weight issues and that it wouldn't be appropriate for the HPC to require slate.

**Jenny Southern** commented neighborhood guidelines may allow for different types of materials to be used.

**Sam Desollar** motioned to deny COA 23-09.

**Reynard Cross**] seconded the motion.

**Motion failed to approve 3 Yes (DeSollar, Chopra, Cross), 4 No (Newman, Bruce, Schlegel, Desollar), 0 Abstain.**

**Daniel Schlegel** motioned to approve COA 23-09

**John Saunders** seconded the motion.

**Motion Carries: 4 Yes (Newman, Bruce, Schlegel, Saunders), 2 No (DeSollar, Cross), 1 Abstain (Chopra)**

**John Saunders** recommended that the Elm Heights neighborhood association take these materials into consideration when modifying their guidelines.

## **B. COA 23-11**

804 W 7th St. (Near West Side Historic District)  
Petitioner: Tim Devine  
*Replace doors and windows.*

**Gloria Colom** gave a presentation. See the packet for details.

**Tim Devine**, the petitioner clarified that the windows and doors would remain the same size. **Sam DeSollar** asked whether the conservation district guidelines are still being used in the **Near West Side Historic District**, which is in fact the case. **Allison Chopra** asked if the door replacement was historically appropriate for the site and there was a back and forth.

Commissioners commented on the effort to preserve the house.

**Allison Chopra** made the motion to approve COA 23-11.

**Daniel Schlegel** seconded the motion.

**Motion Carries: 7 Yes (Newman, Bruce, Schlegel, DeSollar, Seddon, Saunders, Cross), 0 No, 0 Abstain.**

#### **Demolition Delay**

##### **A. DD 23-02**

1017 S Walnut St. (Contributing)  
Petitioner: Michael Bridavsky  
*Full demolition of the main house and garage.*

**Gloria Colom** gave a presentation. See the packet for details.

**Michael Bridavsky**, the petitioner explained the reasoning for the demolition application, stating that there is no intention of building another structure in its place. There was a back and forth discussion with the commissioners regarding potential uses for the space.

**Allison Chopra** commented on the arbitrary nature of establishing historical significance based on notable work to the detriment of historical working class residents.

**John Saunders** read the demolition delay release resolution:

**Motion Carries: 7 Yes (Newman, Bruce, Schlegel, DeSollar, Seddon, Saunders, Cross), 0 No, 0 Abstain.**

#### **V. NEW BUSINESS**

##### **A. Kiln Collective - Presentation and request for feedback on revisions to Phase I**

**Lucas Brown**, architect for the Kiln Collective gave a presentation. See the packet for details. Members of the commission provided feedback for the proposed redesign.

**Daniel Schlegel left at 6:47 p.m. No longer have a Quorum.**

- VI. OLD BUSINESS**
- VII. COMMISSIONER COMMENTS**
- VIII. PUBLIC COMMENTS ANNOUNCEMENTS**
- IX. ADJOURNMENT**

**Meeting was adjourned by John Saunders at @7:26 p.m.**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

Next meeting date is March 9, 2023 at 5:00 P.M. and will be a teleconference via Zoom.

**Posted: 2/20/2023**



<b>STAFF RECOMMENDATIONS</b>	Address: 106 W 6th St.
<b>COA 23-10</b>	Petitioner: Kellie Easton
<b>Application Date:</b> 1/26/2023	Parcel: 53-05-33-310-145.000-005
<b>RATING:</b> Non-Contributing	Survey: 1867/1950 Commercial, Severely altered



**Background:** Courthouse Square Historic District

**Request:** Temporary signage

**Courthouse Square Historic District Guidelines:** 4(A)(1) "The scale of signage should be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings." (pg. 22)

**Staff denied COA 22-10 and requested resubmittal:**

The current proposal breaks with the window patterning of the building, looking clunky and out of scale. This can be remedied by redesigning the sign so that it fits within one of the transoms. Verify with Planning and Transportation to make sure that any alternate proposals conform with the UDO requirements.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** COA 23-10

**Date Filed:** 1/26/2023

**Scheduled for Hearing:** 2/9/2023

\*\*\*\*\*

**Address of Historic Property:** 106 W 6th Street. Bloomington, IN 47404

**Petitioner's Name:** Jennifer Burt

**Petitioner's Address:** 106 W 6th Street. Bloomington, IN 47404

**Phone Number/e-mail:** Jburt@endeavorindiana.com

**Owner's Name:** Mike Ross

**Owner's Address:** 3802 E 3rd. St. Bloomington, IN. 47401

**Phone Number/e-mail:** 812-727-3555

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. Store Front on Square.  
\_\_\_\_\_
  
2. A description of the nature of the proposed modifications or new construction:  
Hanging a 2x8 FT. banner off of the awning above our door.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
  
3. A description of the materials used.  
Plastic canvas banner  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
  
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.
  
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
  
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



**NOW SERVING BRUNCH  
SAT & SUN 11-3PM**

**2' x 8' Banner as shown \$155**

# Che Bello

ITALIAN KITCHEN & BAR



# *Che Fede* ITALIAN KITCHEN & PASTA







- nts
- Hotels
- Things to do
- Bars
- Coffee
- Home >

B'Town Diner

205

127

Qaisar Oriental Rugs

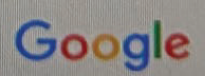
108

104

Synopsys Inc

Che Bello

W 6th St





<b>STAFF RECOMMENDATIONS</b>	Address: 817 W 6th St.
<b>COA 23-14</b>	Petitioner: Jen Scott
<b>Application Date: Mar 8, 2023</b>	Parcel: 53-05-32-410-009.000-005
<b>RATING: CONTRIBUTING</b>	Survey: c. 1900, T-Plan Cottage



**Background:** Near West Side Historic District

**Request:** Replace five windows.

**Construction Committee Comments:** Pending

**Guidelines:** Near West Side Historic District Guidelines

The guidelines are currently being updated.

- The Secretary of the Interior’s Standards “recommends identifying, retaining, and preserving windows and their functions and decorative features.”

**Staff Recommends approval of COA 23-14, with the condition that the replacement windows maintain the two over two pattern of the original.**

- It is ideal that when a historic window can be restored or repaired that the option be explored along with the installation or change of storm windows.
- The guidelines are currently being updated to reflect the community preferences regarding their historic materials.
- The window sizes and proportions need to remain the same so as to minimize the visual impact of the material change.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** \_\_\_\_\_ COA 23-14 \_\_\_\_\_

**Date Filed:** \_\_\_\_\_ 3/9/2023 \_\_\_\_\_

**Scheduled for Hearing:** \_\_\_\_\_ 3/23/2023 \_\_\_\_\_

\*\*\*\*\*

**Address of Historic Property:** 817 W 6th Street

**Petitioner's Name:** Jen Scott

**Petitioner's Address:** 817 W 6th Street

**Phone Number/e-mail:** 305-747-2032 / jenskjodt@gmail.com

**Owner's Name:** Jen Scott

**Owner's Address:** 817 W 6th St / 353 Grove Street 07302

**Phone Number/e-mail:** 305-747-2032 / jenskjodt@gmail.com

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. Single Family Home

2. A description of the nature of the proposed modifications or new construction:  
Replacing 5 windows, 2 on the front, 3 on the sides of the house - current windows not functional  
No change to the window size  
Neutral color

3. A description of the materials used.  
Renewal by Anderson composite material

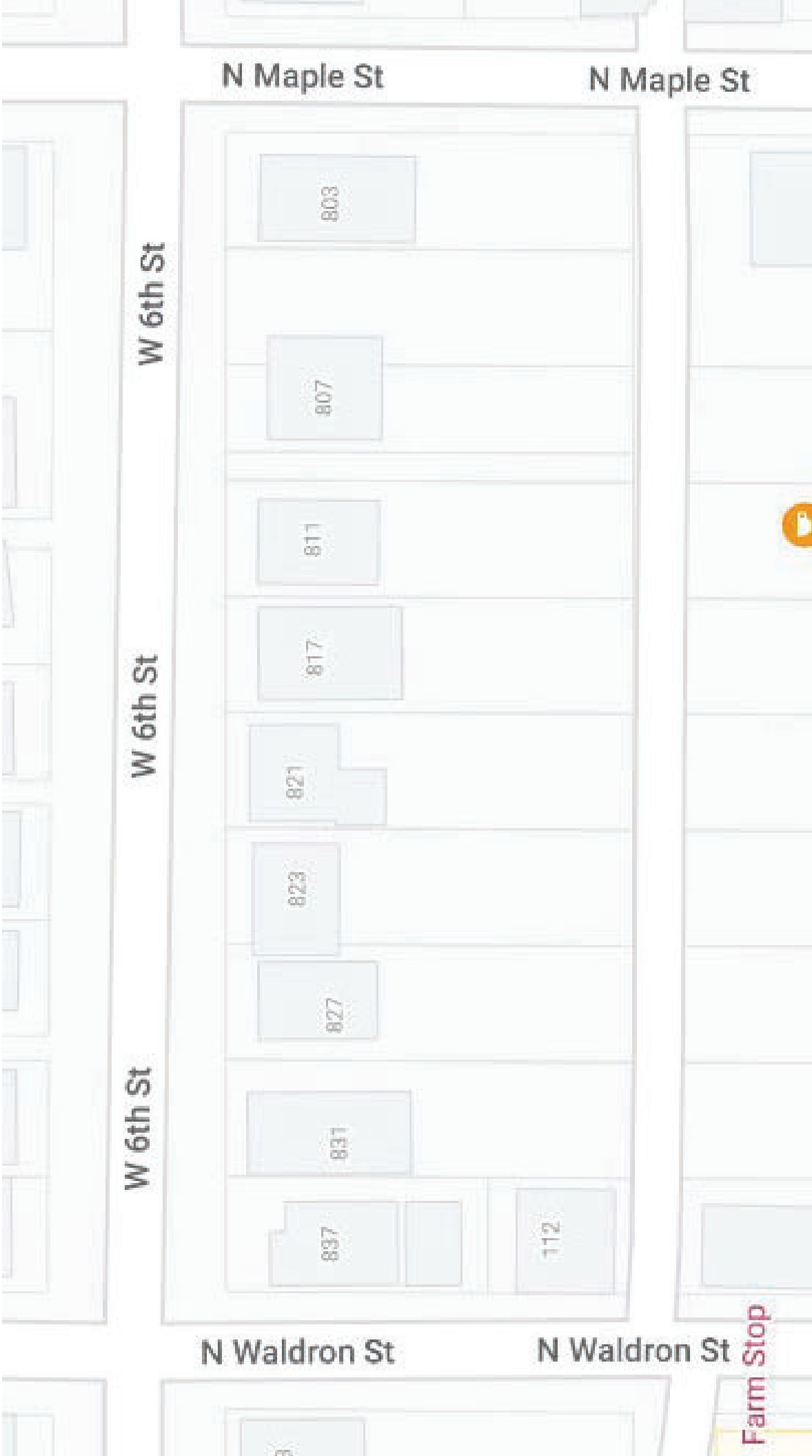
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.





# W 6th St













TILT  
TO CLEAN



INTERIOR

360°

EXTERIOR



101 Living  
Window - 30.00W x 77.00H





101 Living  
Window - 30.00W x 77.00H

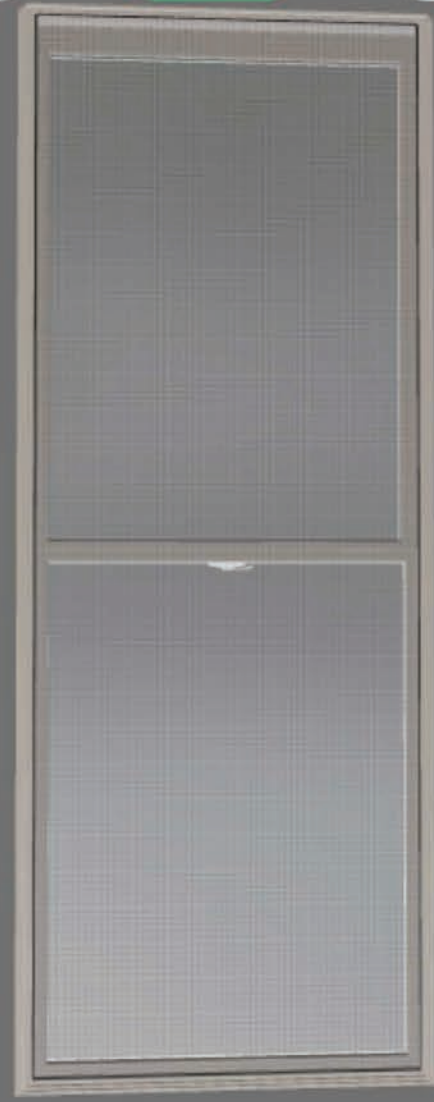


TILT  
TO CLEAN

INTERIOR

360°

EXTERIOR



<b>STAFF RECOMMENDATIONS</b>	Address: 2521 N Fritz Dr.
<b>COA 23-15</b>	Petitioner: Tucker Jaroll
<b>Application Date: March 8, 2023</b>	Parcel: 53-05-28-203-070.000-005
<b>RATING: CONTRIBUTING</b>	Survey: c. 1960, ranch



**Background:** Matlock Heights Historic District

**Request:** Removing a three season room and concrete pad. Building a larger room with heating

**Guidelines:** Matlock Heights Historic District Guidelines

- The redesign takes place on the back of the building which constitutes “secondary facades” defined as “Any facade that is visible from a public way but not a primary facade (pg. 19).
- Patios and Porches (pg. 33) “Recommended” “Building materials include laid brick, concrete, stone, and/or wood. When possible, locate away from a primary facade or in the rear.”

**Staff Recommends Approval of COA 23-15**

- The proposed porch replacement uses the recommended materials of stone, concrete, and wood and would be located on the back of the building.

## **Neighborhood Construction Committee Comments:**

Overall everyone has positive comments for Sheri's COA proposal. Great Design and improvement. Looks great and blends with the home really well. Works for me & looks fine. The design is well thought out and will definitely enhance the neighborhood. We hope the Bloomington Historic Commission will approve Sheri's COA.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** \_\_\_\_\_ COA 23-15 \_\_\_\_\_

**Date Filed:** \_\_\_\_\_ 3/8/2023 \_\_\_\_\_

**Scheduled for Hearing:** \_\_\_\_\_ 3/23/2023 \_\_\_\_\_

\*\*\*\*\*

**Address of Historic Property:** 2521 N Fritz Dr Bloomington, In 47408

**Petitioner's Name:** Tucker Jaroll

**Petitioner's Address:** 1205 S Grant St. St. Bloomington, IN 47401

**Phone Number/e-mail:** tucker@lorenwoodbuilders.com

**Owner's Name:** Sheri Fella

**Owner's Address:** 2521 N Fritz Dr Bloomington, In 47408

**Phone Number/e-mail:** sherella@me.com

**Instructions to Petitioners**

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A **“Complete Application”** consists of the following:

1. A legal description of the lot. Residential lot

2. A description of the nature of the proposed modifications or new construction:  
The residence has an existing three season room. The ceilings are low, and the room lacks heating and cooling.

The proposed plan is to remove this existing three seasons room and the surrounding concrete pad.  
The concrete pad will then be replaced with a larger footprint. A new room addition will be constructed  
in place of the existing three seasons room, but the footprint will be larger by about 50%. Instead of a  
shed roof, which is what the existing three a seasons room has, a gable roof will be constructed to match  
the ridge of the East-West gable of the existing residence. The new addition will have a bathroom as well  
as heating and cooling, so it can be used year round. There will be an indoor-outdoor fireplace.

3. A description of the materials used.  
Traditional construction materials will be used- 2 x 6 framing, Pella Lifestyle windows and sliders,  
asphalt shingles to match existing structure's shingles, concrete (acid washed) for floor and  
surrounding concrete pad. The siding will either be a limestone veneer or cedar. The existing residence  
is limestone, and the goal is for the materials to complement each other, whether it is by matching the  
veneer with the existing limestone, or with board and batten cedar, which over time will gray and match  
the existing limestone.

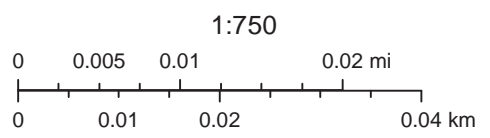
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

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LOOKING NORTH, EXISTING THREE SEASONS ROOM



LOOKING EAST FROM WALNUT, TOWARDS SITE



LOOKING SOUTH, FROM FRITZ DRIVE



LOOKING SOUTH, TURNING ONTO FRITZ FROM WALNUT

PLANNING  
**EXISTING SOUTH ELEVATION**

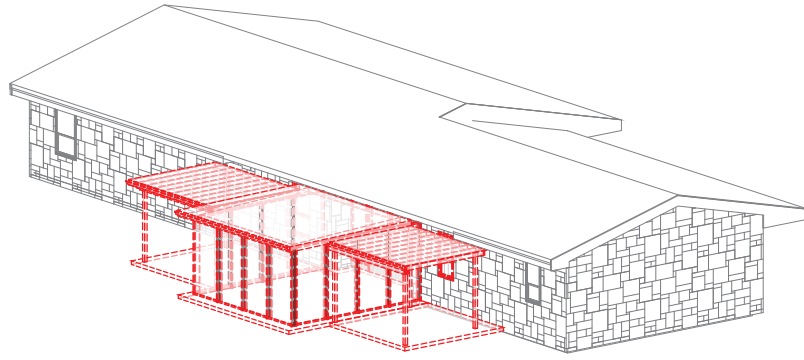
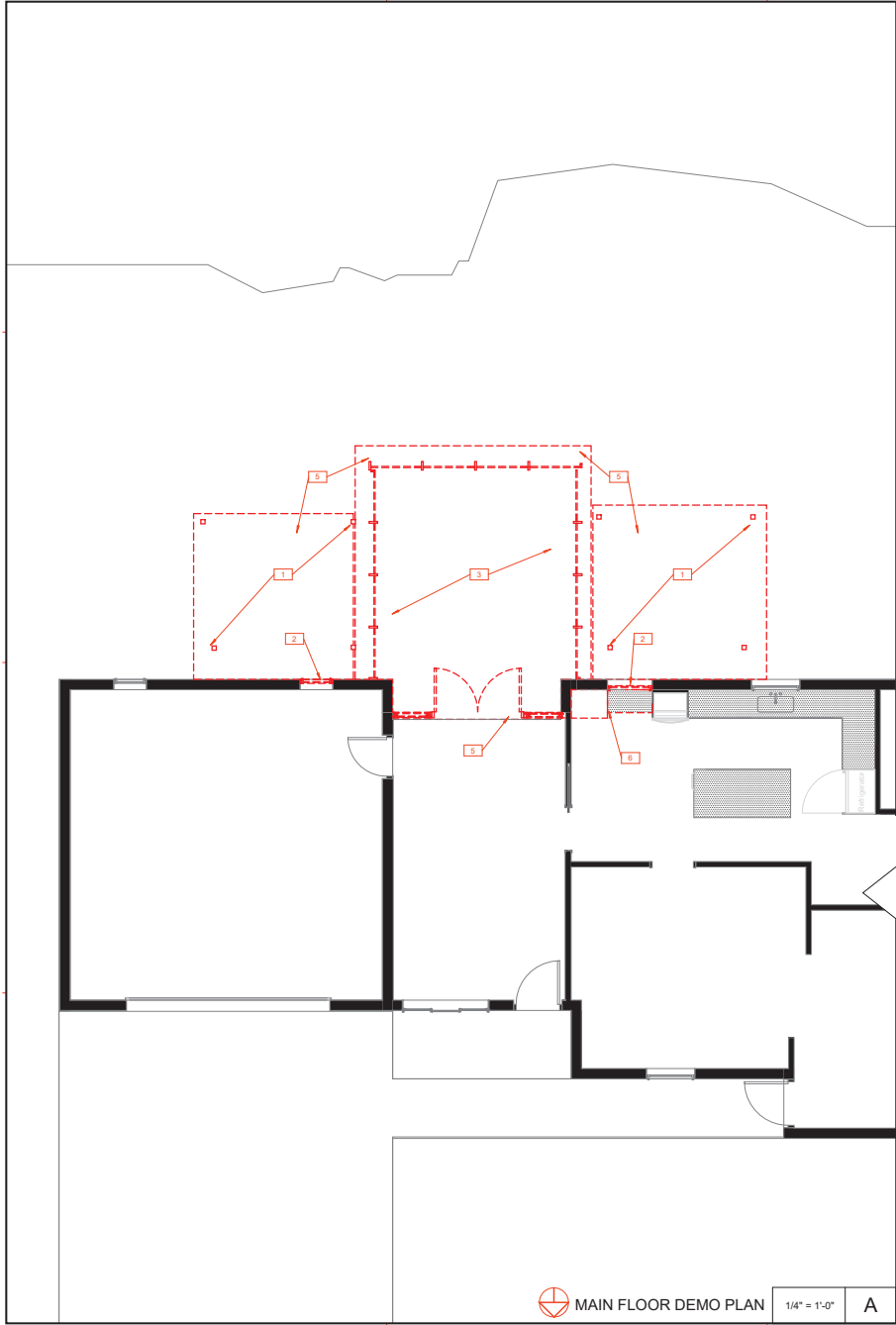


PLANNING

**DEMO SOUTH ELEVATION**



14



**PLAN LEGEND**

- R01 ROOM NAME + NUMBER
- JAT PARTITION TYPE
- 00.1 DOOR TAG SEE DOOR SCHEDULE
- 00.1 WINDOW TAG SEE WINDOW SCHEDULE
- // RADIANT FLOOR
- PLANTER
- CHASE
- FIRE RATED WALL
- D IN FLOOR ADJUSTABLE UPLIGHT
- E IN FLOOR ADJUSTABLE UPLIGHT FLOOR BOX
- ⊙ FLOOR DRAIN
- S-S- XXXXX ELEVATION TARGET
- 88 A888 BUILDING ELEVATION
- 88 A888 ROOM INTERIOR ELEVATIONS
- FIRE RATED WALL
- PROPERTY LINE

**DEMO PLAN NOTES**

1. DEMO EXISTING PERGOLA
2. DEMO EXISTING WINDOW
3. DEMO EXISTING THREE SEASONS ROOM, STRUCTURE, DOORS, ROOF
4. REMOVE EXISTING DOOR + WINDOWS, TO BE REPLACED WITH SLIDER
5. DEMO EXISTING CONCRETE PAD
6. REMOVE EXISTING CABINETRY, TO MAKE ROOM FOR FUTURE OPENING



**NOT FOR CONSTRUCTION**

**FELLA RESIDENCE**  
2521 N FRITZ RD BLOOMINGTON, INDIANA 47408

**MAIN FLOOR DEMO PLAN**    1/4" = 1'-0"    **A**

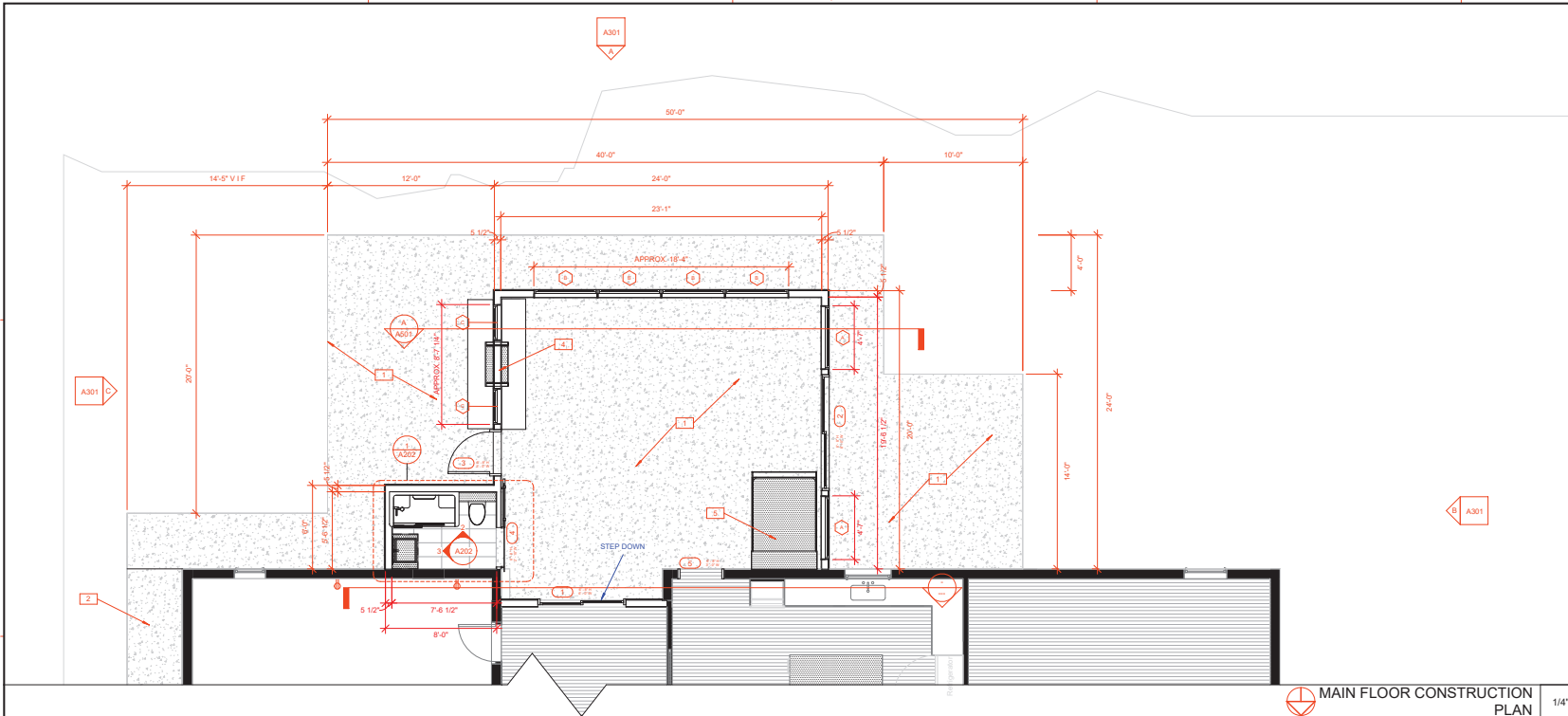
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Other use, dissemination or reproduction cannot be made without prior written consent from Loren Wood Builders. Details are intended to show final effect of parts of construction.  
Minor modifications may be required to suit particular site dimensions or conditions and shall be included within the scope of the work and Construction Contract.



PLANNING  
PROPOSED SITE + ROOF LINE

**NOT FOR CONSTRUCTION**

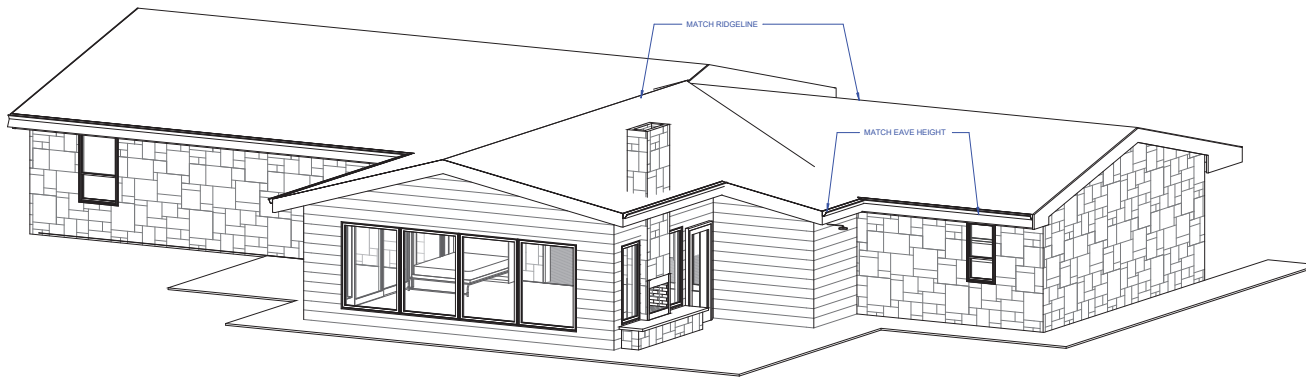
**FELLA RESIDENCE**  
2521 N FRITZ RD BLOOMINGTON, INDIANA 47408



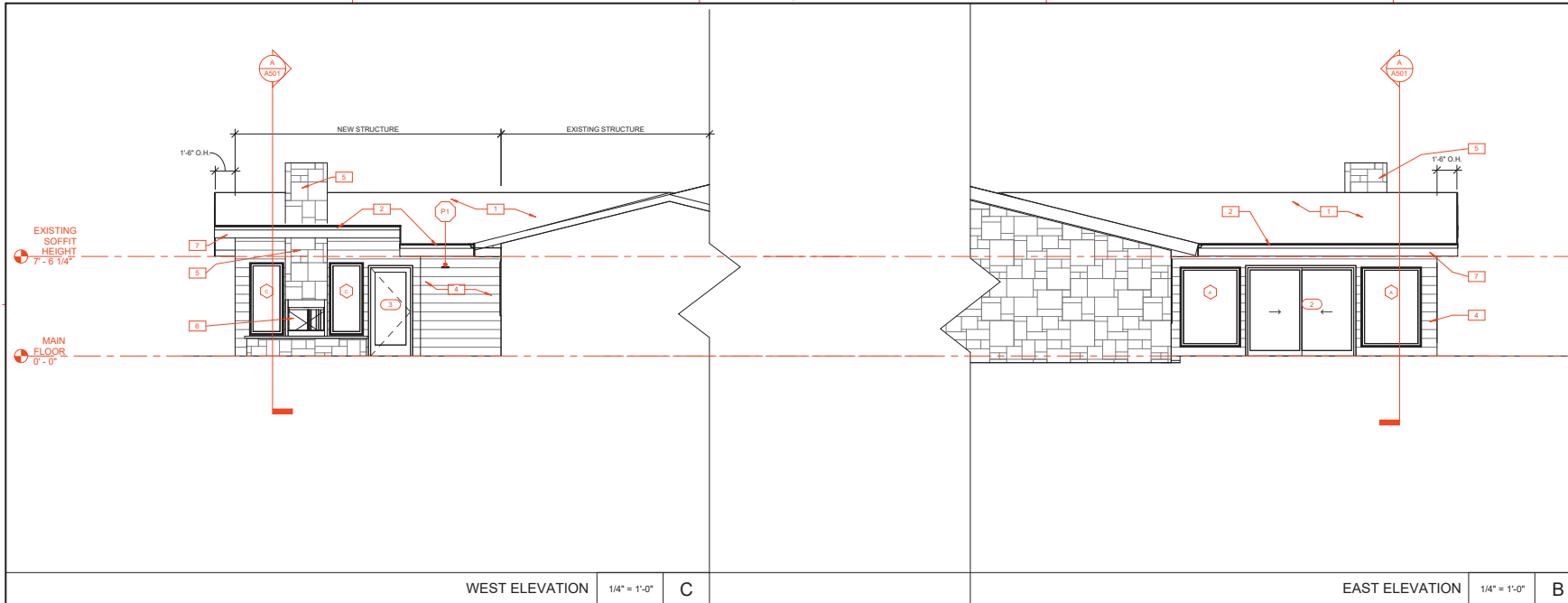
**MAIN FLOOR CONSTRUCTION PLAN** 1/4" = 1'-0" A

PLAN LEGEND	
	ROOM NAME + NUMBER
	PARTITION TYPE
	DOOR TAG SEE DOOR SCHEDULE
	WINDOW TAG SEE WINDOW SCHEDULE
	RADIANT FLOOR
	PLANTER
	CHASE
	FIRE RATED WALL
	IN FLOOR ADJUSTABLE UPLIGHT
	IN FLOOR ADJUSTABLE UPLIGHT FLOOR BOX
	FLOOR DRAIN
	ELEVATION TARGET
	BUILDING ELEVATION
	ROOM INTERIOR ELEVATIONS
	FIRE RATED WALL
	PROPERTY LINE

- FLOOR PLAN NOTES**
1. CONCRETE FLOOR, ACID WASH FINISH = 1,180 sqft
  2. EXISTING CONCRETE SIDEWALK
  3. OUTDOOR SHOWER
  4. INDOOR-OUTDOOR FIREPLACE
  5. MURPHY BED
  6. -



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Minor modifications may be required to suit particular site dimensions or conditions and shall be included within the scope of the work and Construction Contract.



WEST ELEVATION

1/4" = 1'-0"

C

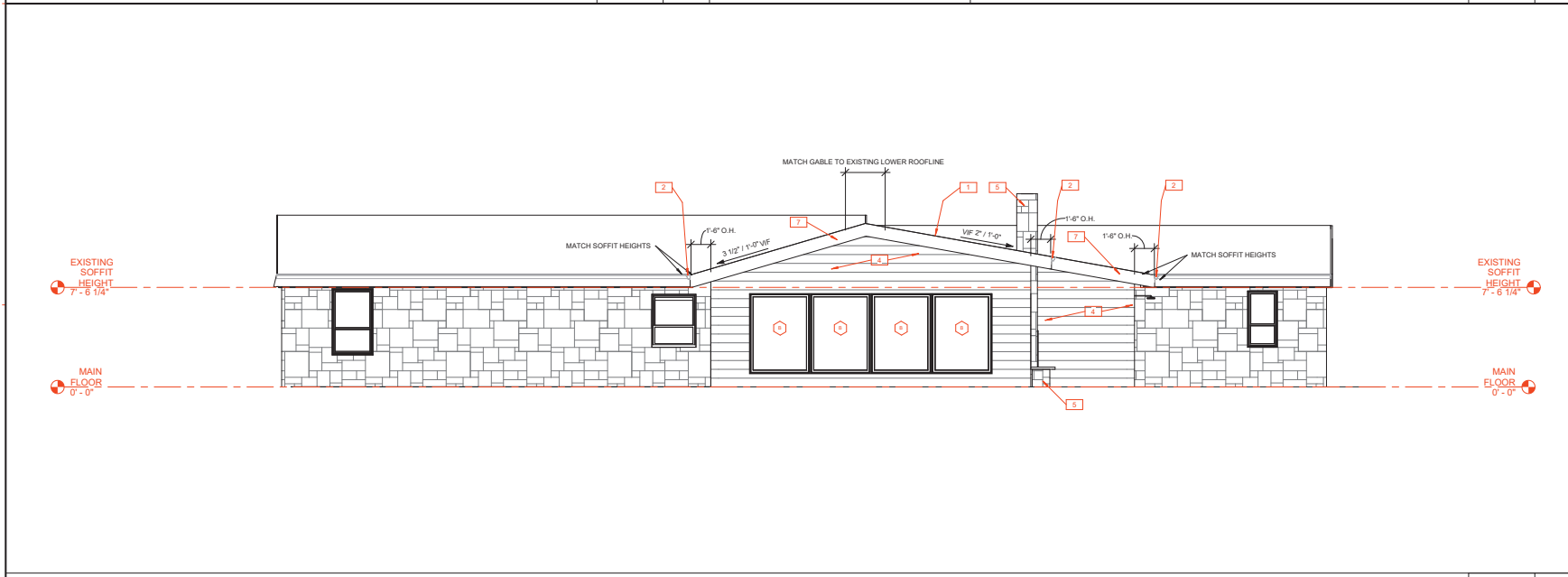
EAST ELEVATION

1/4" = 1'-0"

B

**BUILDING ELEVATION LEGEND**

- 1 NEW ROOF, TO MATCH EXISTING
- 2 NEW GUTTERS, TO MATCH EXISTING
- 3 NEW DOWNSPOUT
- 4 -
- 5 STONE VENEER ON FIREPLACE, TBD
- 6 HEARTHROOM 36 INDOOR-OUTDOOR FIREPLACE
- 7 FASCIA TO MATCH EXISTING
- 8 1/4" CORNER TRIM, ON ONE SIDE OF CORNER ONLY RUN SING ON OPPOSITE CORNER TO EDGE OF 1/4" CORNER TRIM
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED



NORTH ELEVATION

1/4" = 1'-0"

A



NOT FOR CONSTRUCTION

**FELLA RESIDENCE**  
2521 N FRITZ RD BLOOMINGTON, INDIANA 47408

01/27/2021	
A - 1, SD	
SCALE	1/4" = 1'-0"

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Copyright includes architectural work, building design, plans or drawings and specifications. This work shall be used only pursuant to the agreement with Loren Wood Builders. Other use, dissemination or reproduction cannot be made without prior written consent from Loren Wood Builders. Details are intended to show final effect of parts of construction. Minor modifications may be required to suit particular site dimensions or conditions and shall be included within the scope of the work and Construction Contract.

**EXTERIOR ELEVATIONS A301**

PLANNING  
PROPOSED OUTDOOR FIREPLACE





PLANNING  
PROPOSED INDOOR VIEW



<b>STAFF RECOMMENDATIONS</b>	Address: 336 S Euclid Ave.
<b>COA 23-16</b>	Petitioner: Tim Devine
<b>Application Date: March 8, 2023</b>	Parcel: 53-08-05-108-017.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1900, Gabled Ell



**Background: Greater Prospect Hill Historic District**

**Request:** *Replacing doors, garage doors, eliminate rear egress door, replace asphalt roof with black-gray architectural shingles.*

**Construction Subcommittee:** Pending

**Guidelines: Greater Prospect Hill Historic District Guidelines**

**Changes to the public way facade (pg. 25)**

- Definition: The public way façade refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.
- The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.
- Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

- a. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
  - b. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
  - c. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).
- Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

**Staff Recommends Approval of COA 23-16**

- The front and garage doors maintain the size of the fenestration. The proposed replacement for the front doors have a different design but is in general compatible with the historic district.
- The rear egress door does not require a Certificate of Appropriateness as it falls outside of the scope of the guidelines.
- The roof currently has 3 tab shingles, which are likely not original, but architectural shingles are commonly found in the neighborhood as well.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** \_\_\_\_\_ COA 23-16 \_\_\_\_\_

**Date Filed:** \_\_\_\_\_ 3/8/2023 \_\_\_\_\_

**Scheduled for Hearing:** \_\_\_\_\_ 3/23/2023 \_\_\_\_\_

\*\*\*\*\*

**Address of Historic Property:** 336 S. Euclid Ave

**Petitioner's Name:** TIM DEVINE

**Petitioner's Address:** 918 W. 4th St

**Phone Number/e-mail:** blupointe@gmail.com 561-843-9252

**Owner's Name:** 336 S Euclid Ave LLC - TIM DEVINE - Owner

**Owner's Address:** Same as Above

**Phone Number/e-mail:** Same as Above

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. Lot 12, Prospect Park, 2nd Addition
2. A description of the nature of the proposed modifications or new construction:
  - 1 - Replace Existing Doors with new Craftsman Doors, including Garage Door
  - 2 - Eliminate Rear, Southwest Facing non-egress door to enclose the space - exterior same as current exterior
  - 3 - Replace the existing asphalt home, garage and shed roofs with Architectural
3. A description of the materials used.
  - 1 - ~~Asphalt~~ <sup>Asphalt Shingles - BLACK OR GREY!</sup> ~~Asphalt~~ Architectural GREY!  
Shingles
  - 2 - Doors, Lowe's Craftsman Fiberglass Door
  - 3 - Cover eliminated door with the same siding currently on the home.
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

N



W - REAR

E - FRONT

S

336 S Euclid AVE

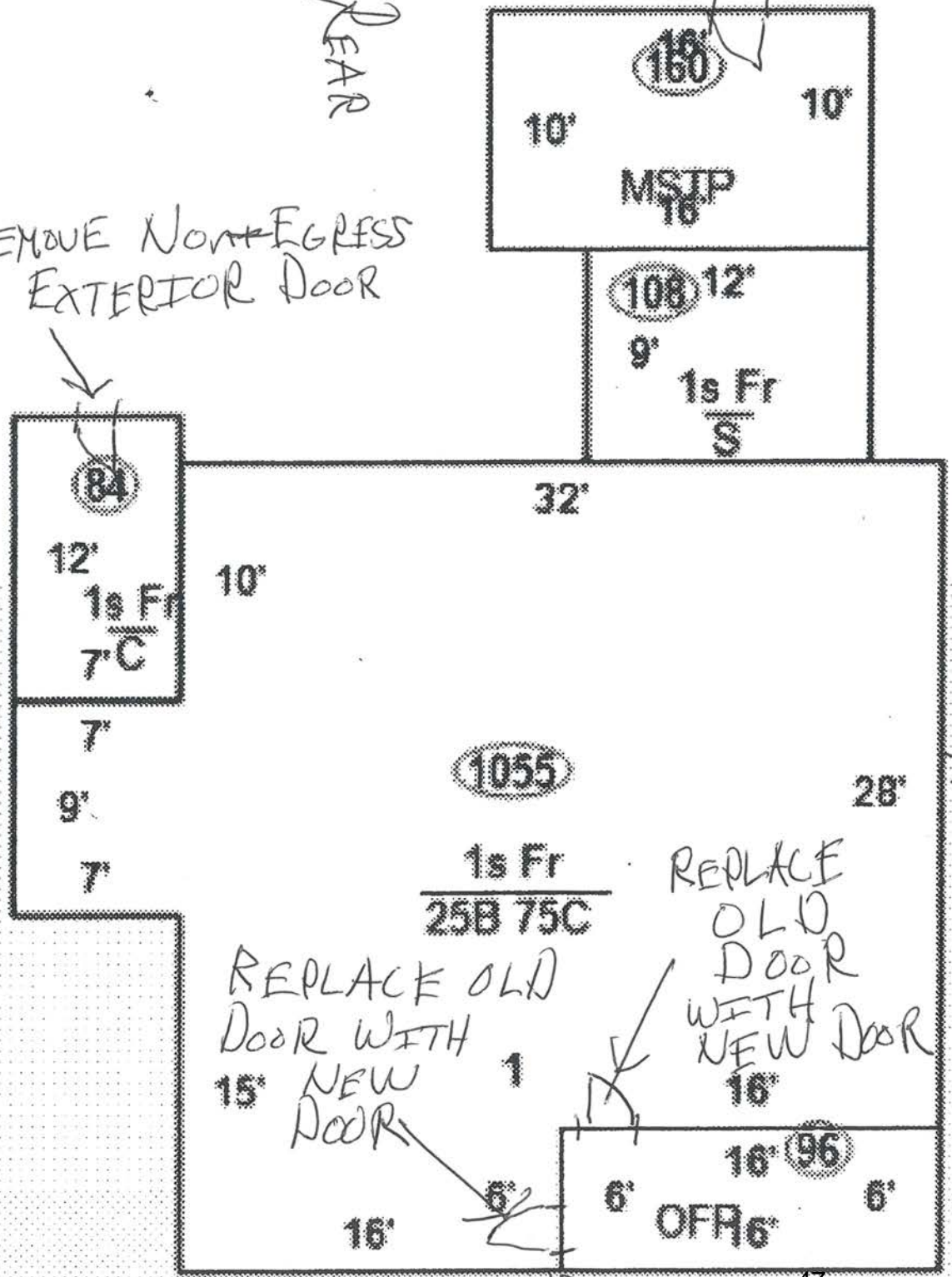
510, 1 Family Dwell -

3

REPLACE OLD DOOR WITH NEW DOOR

REAR

REMOVE NON-EGRESS EXTERIOR DOOR



4

W - REAR



FRONT DOOR  
REPLACE WITH  
NEW

E - FRONT





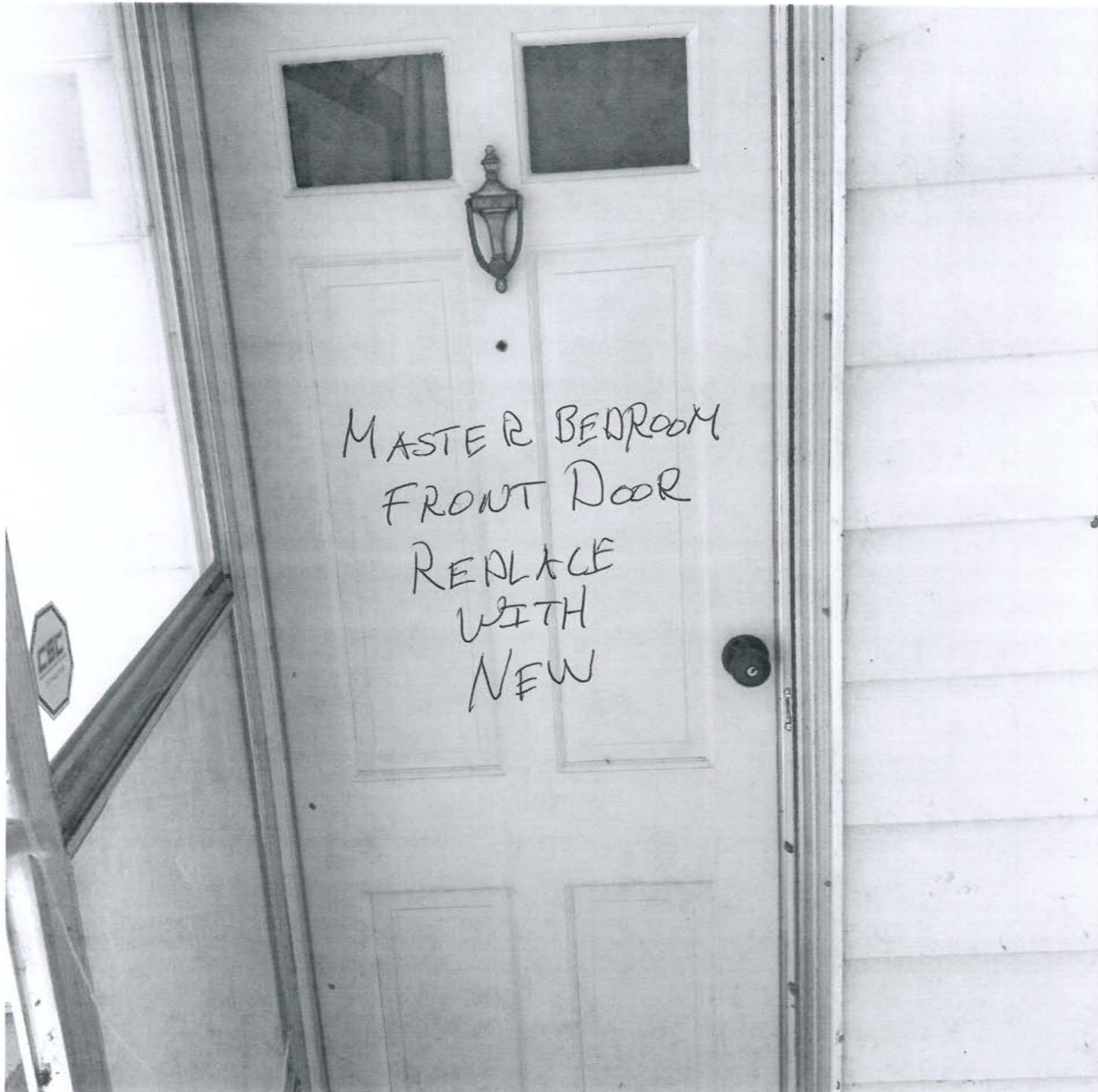
FRONT  
DOOR -  
REPLACE  
WITH  
NEW



W - REAR



F - FRONT



MASTER BEDROOM  
FRONT DOOR  
REPLACE  
WITH  
NEW

E - FRONT



REPLACE  
WITH  
NEW  
DOOR

ELIMINATE

N

S

W - REAR

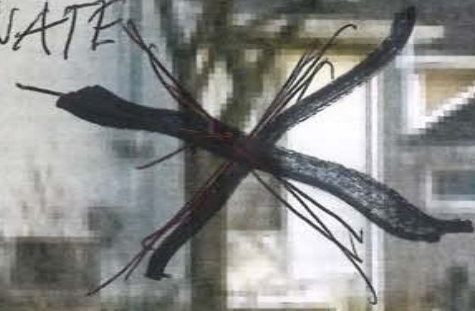
E



N

REPLACE WITH NEW DOOR

ELIMINATE



S

W REAR



1  
REPLACE  
REAR WEST  
FACING DOOR  
WITH NEW  
DOOR

E



N

S

W



REMOVE

REAR WEST

FACING

NON-EGRESS

DOOR. ENCLOSE

WITH SAME

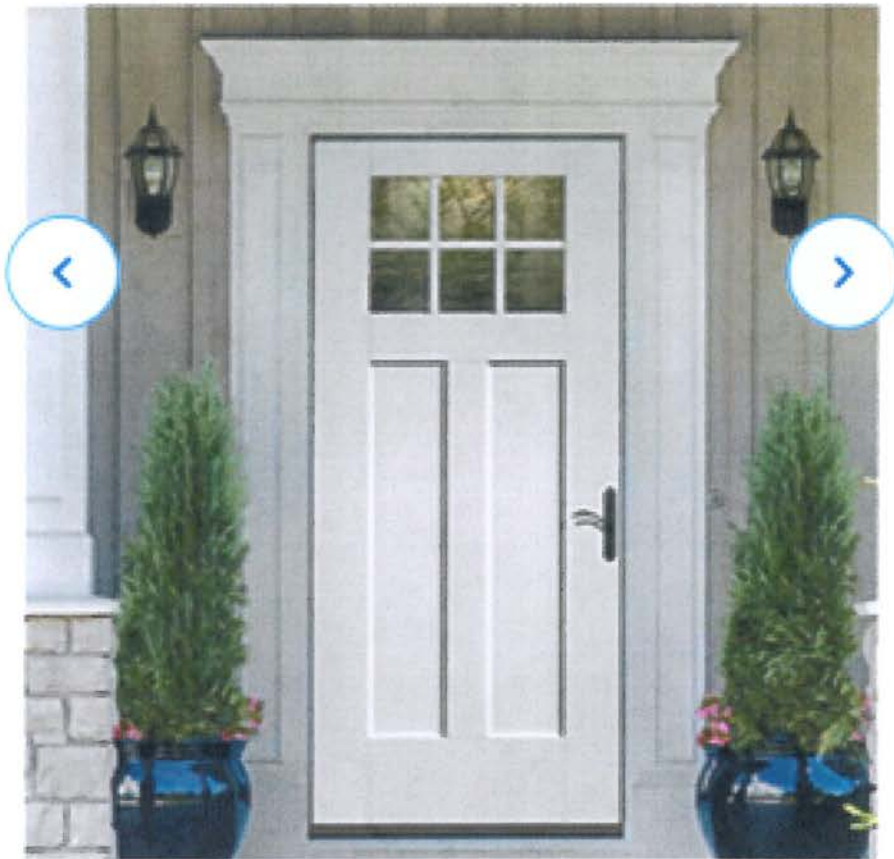
EXTERIOR  
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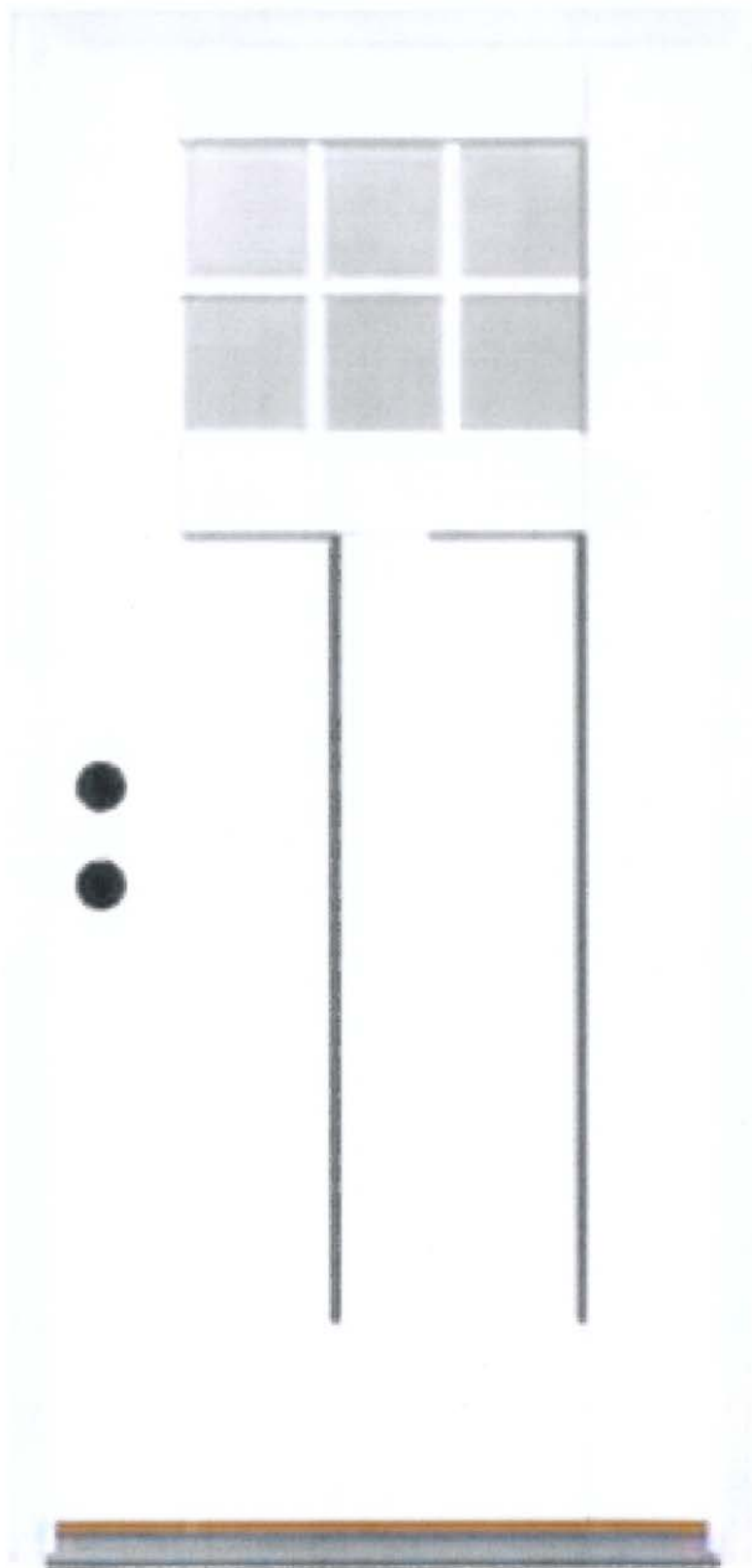
Gallery



Double Tap or Pinch to Zoom



*NEW DOOR*



NEW Door

- EXISTING -  
REPLACE ASPHALT  
SHINGLES WITH BLACK  
ASPHALT ARCHITECTURAL  
SHINGLES



EXISTING  
SHINGLES



# EXISTING SHINGLES



# EXISTING SHINGLES









NEW  
SHINGLES



NEW  
SHINGLES



<b>STAFF RECOMMENDATIONS</b>	Address: 918 W 4th St.
<b>COA 23-17</b>	Petitioner: Tim Devine
<b>Application Date: March 8, 2023</b>	Parcel: 53-05-32-411-052.000-005
<b>RATING: CONTRIBUTING</b>	Survey: c. 1930, Bungalow



**Background:** Greater Prospect Hill Historic District

**Request:** Replace the front and side door.

**Construction Subcommittee:** Pending

**Guidelines: Greater Prospect Hill Historic District Guidelines**

**Changes to the public way facade (pg. 25)**

- Definition: The public way façade refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.
- The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.
- Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.
  - a. Retain the proportions of all original openings (e.g., doors, windows, etc.).
 Replacement of windows and doors determined to be original should duplicate

the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)

- b. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
- c. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).
  - Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

**Staff Recommends Approval of COA 23-17**

- The front and side doors maintain the size of the fenestration. The proposed replacement design for the doors has a different design but is in general compatible with the historic district.

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 23-17

Date Filed: 3/8/2023

Scheduled for Hearing: 3/23/2023

\*\*\*\*\*

Address of Historic Property: 918 W. 4th St

Petitioner's Name: TIM DEVFNE

Petitioner's Address: 918 W. 4th St

Phone Number/e-mail: blupointe@gmail.com 561-243-9252

Owner's Name: 918 W. 4th St LLC - TIM DEVFNE - Owner

Owner's Address: Same as above

Phone Number/e-mail: Same as above

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. Lot Number Forty-Four (44), Waldrons Addition
2. A description of the nature of the proposed modifications or new construction:

1 - Replace the existing FRONT and Side alley Doors with NEW Craftsman Style Door

3. A description of the materials used.

1 - See attached picture of the new Craftsman door

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

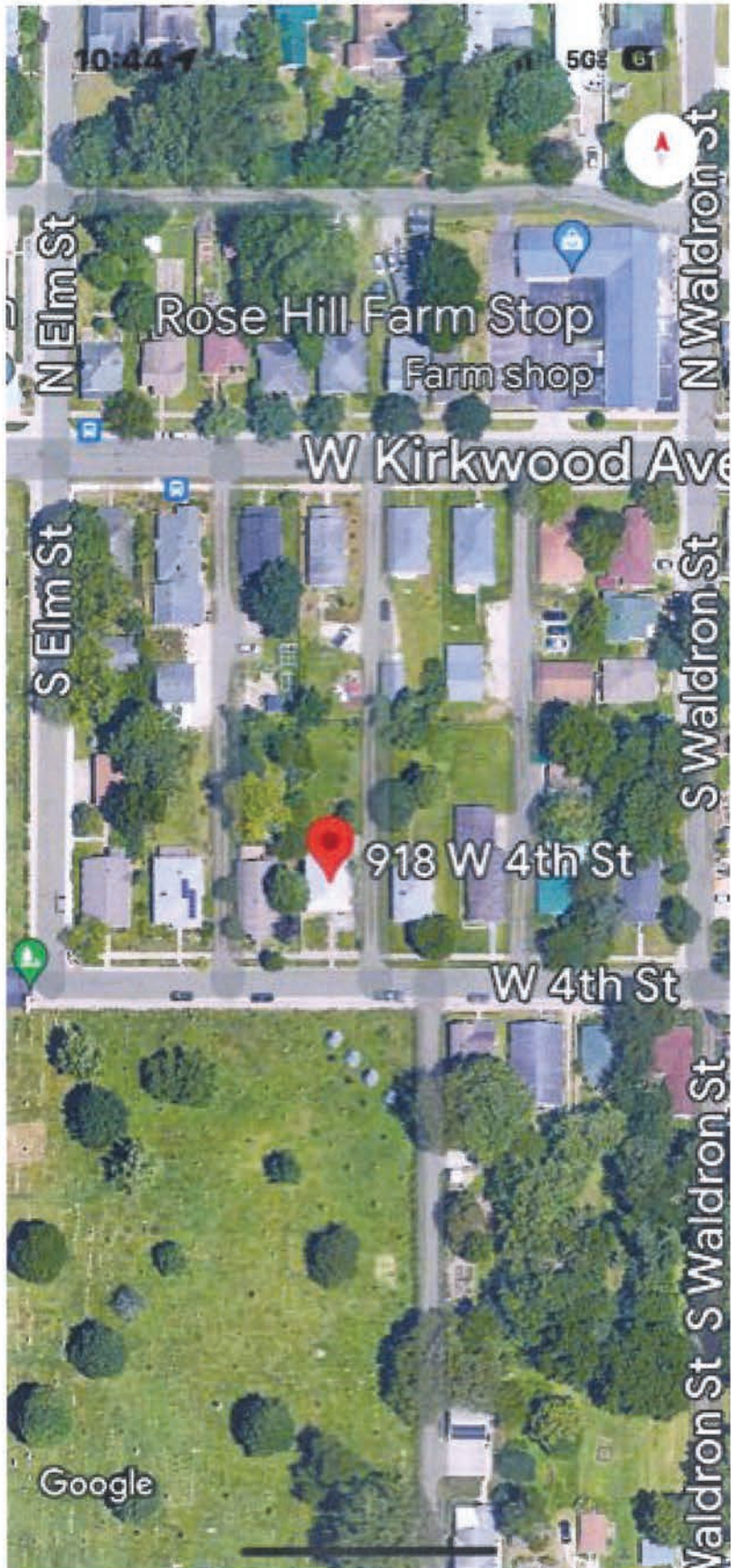
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



N



W

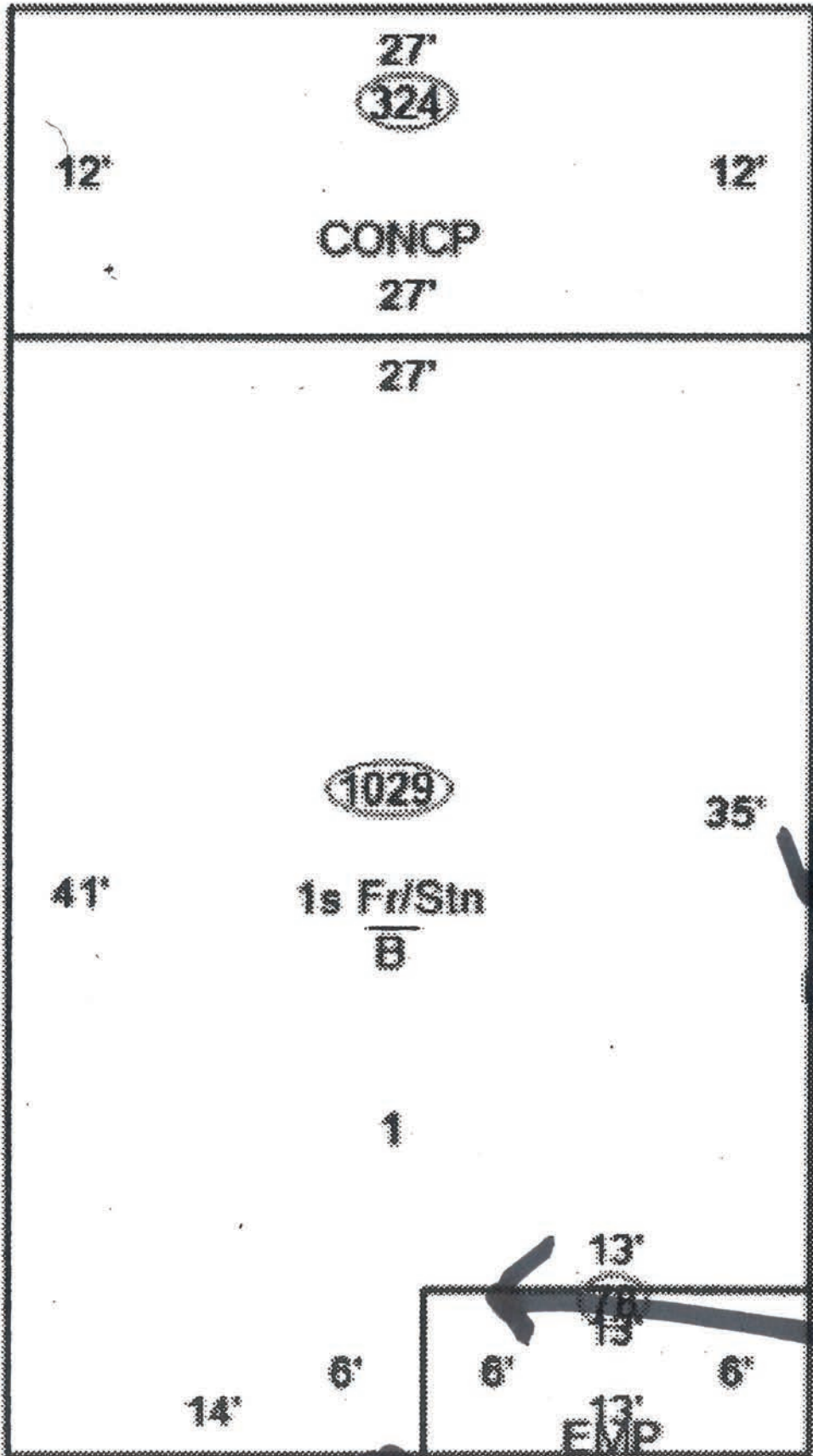
E

S

918 W 4th ST

N

510, 1 Famil



SIDE DOOR

W

E

FRONT DOOR

S

N

W



E

S



FRONT  
DOOR-  
REPLAKI  
WITH  
NEW

W

S



N

E



**SIDE  
DOOR -  
REPLACE  
WITH  
NEW**



S



E

W

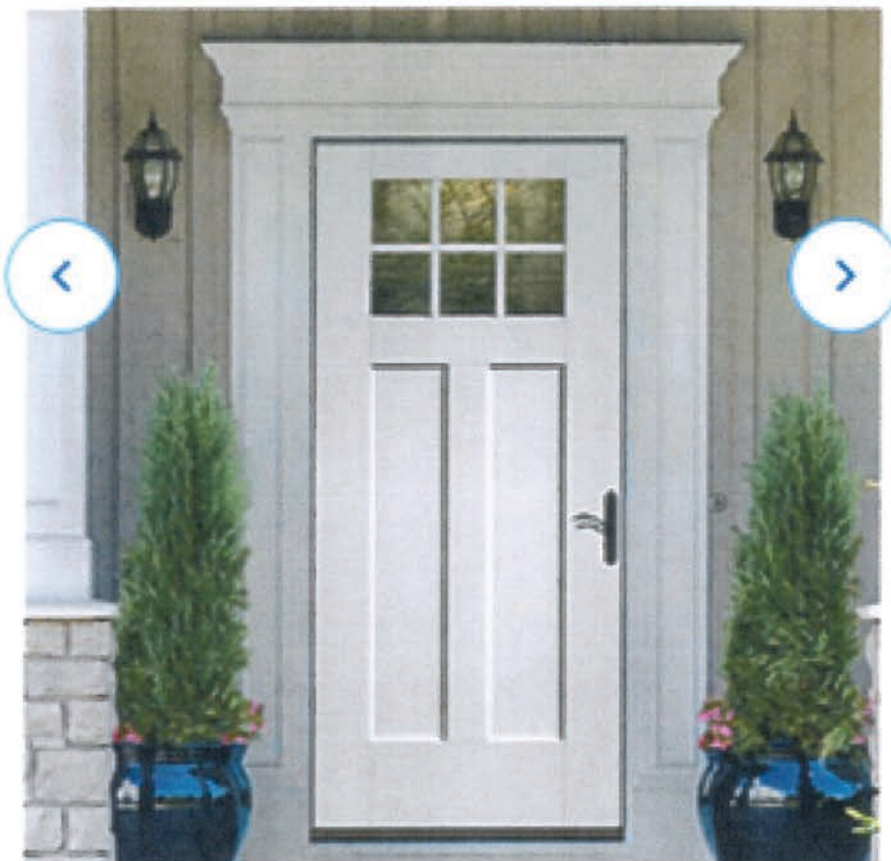
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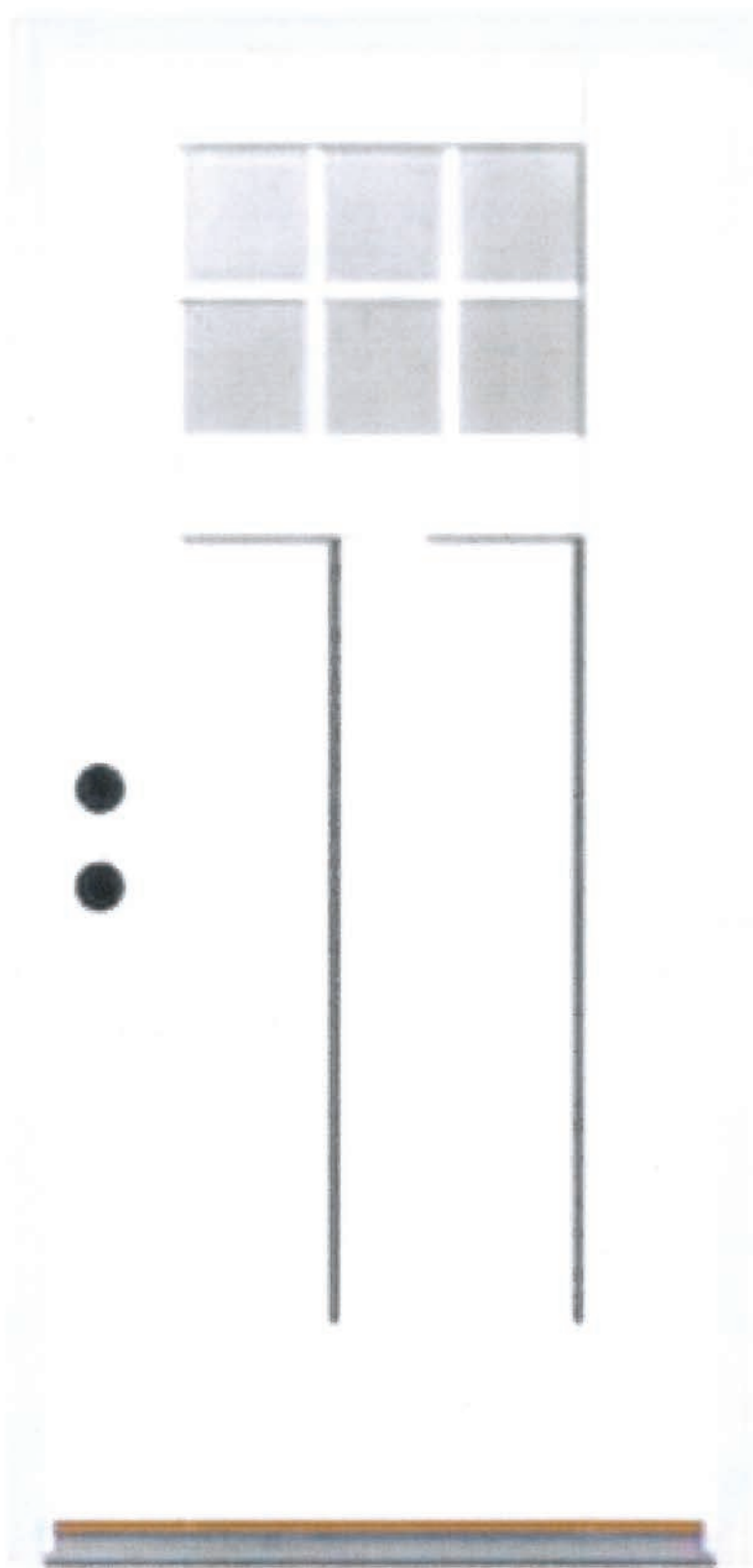
Gallery



Double Tap or Pinch to Zoom



NEW DOOR



NEW DOOR

<b>STAFF RECOMMENDATIONS</b>	Address: 1017 W Howe St.
<b>COA 23-18</b>	Petitioner: Daniel and Whitney Sullivan
<b>Application Date: March 9, 2023</b>	Parcel: 53-08-05-111-023.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1910, Gabled Ell



**Background:** Greater Prospect Hill Historic District

**Request:** Removal chimney, replacement of two windows on the south and west sides, along with the kitchen

**Design Subcommittee:** Pending

**Guidelines:** Greater Prospect Hill Historic District Guidelines

Changes to the public way facade (pg. 25)

Definition: The public way façade refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

Removal of Original Materials (pg. 26):

Definition: In general, original material refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while

in other cases, some original materials may exist but remain hidden under more recently added materials.)

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles.
2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.

**Staff Recommends approval of COA 23-18**

- The windows and chimney are not located on the public facing facade. However, the chimney is visible from the front and is part of the massing of the building.
- The chimney removal constitutes a partial demolition.
- The chimney is in poor condition.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** \_\_\_\_\_ COA 23-18 \_\_\_\_\_

**Date Filed:** \_\_\_\_\_ 3/9/2023 \_\_\_\_\_

**Scheduled for Hearing:** \_\_\_\_\_ 3/23/2023 \_\_\_\_\_

\*\*\*\*\*

**Address of Historic Property:** 1017 W Howe Street

**Petitioner's Name:** Daniel and Whitney Sullivan

**Petitioner's Address:** 1017 W Howe St. Bloomington IN 47403

**Phone Number/e-mail:** 773-858-5891/ daniel.sully.sullivan@gmail.com

**Owner's Name:** Daniel and Whitney Sullivan

**Owner's Address:** 1017 W Howe St. Bloomington IN 47403

**Phone Number/e-mail:** 773-858-5891/ daniel.sully.sullivan@gmail.com

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. single story home 1000 Sq. Ft.; Lot 5401 Sq. Ft.

2. A description of the nature of the proposed modifications or new construction:  
Removal of the deteriorated chimney on the east side of tjhe structure, removal and replacement  
of two windows on the south and west sides of the structure that were installed as part  
of the addition on the rear of the house.  
The kitchen windows, which are not operational, are also slated to be replaced.

3. A description of the materials used.  
Energy efficient windows of either wood or vinyl or a combination of both. The chimney was added to the exterior  
of the structure at some point in history and appears to cover the siding between it and the house.  
If siding needs to be added where the chimney was removed we will use wood siding or cement board  
siding as necessary to fill the gap.

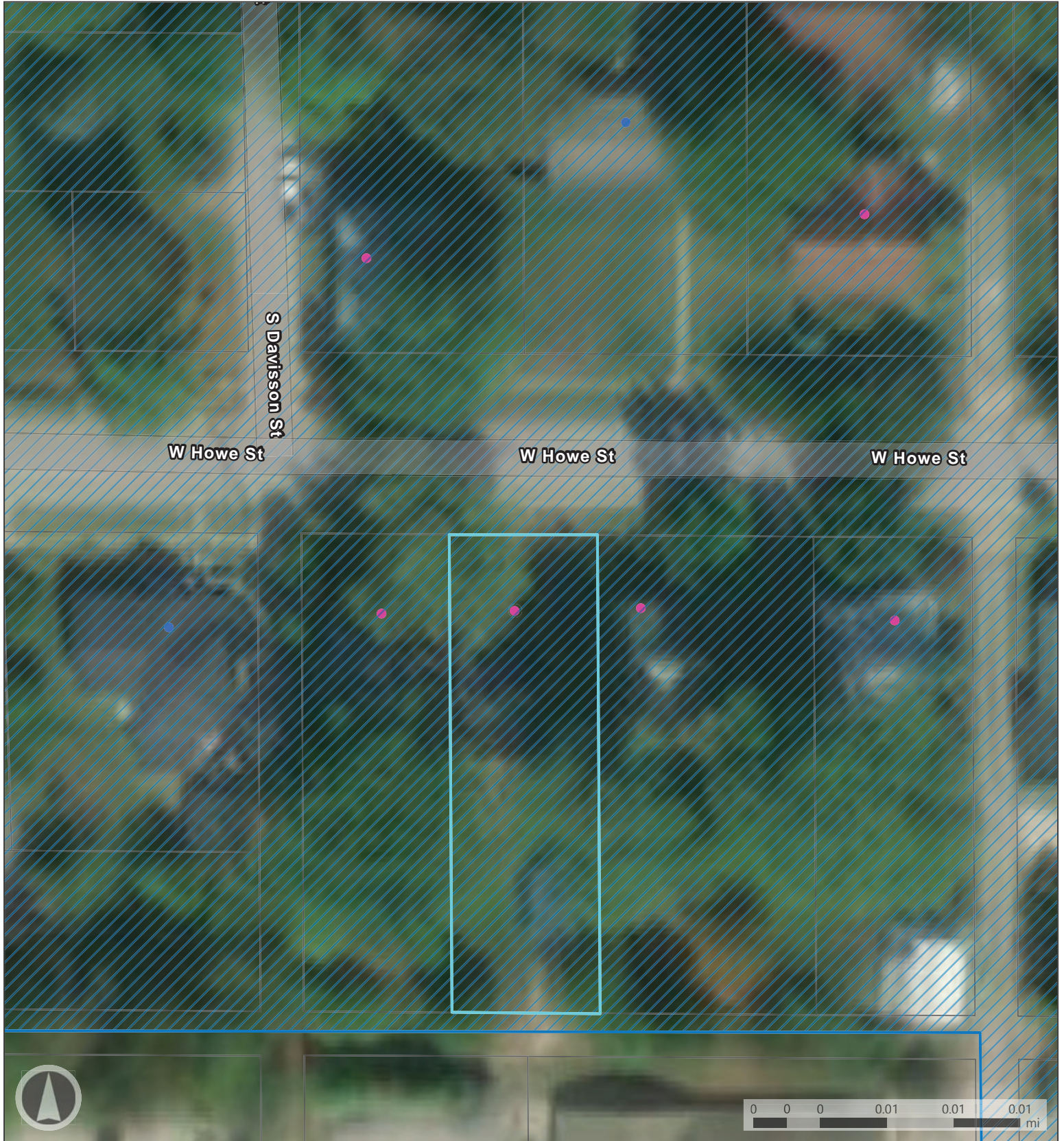
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

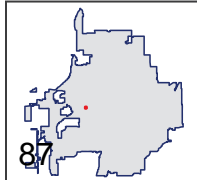
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If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



**Map Legend**

- Local Historic District
- Contributing
- Non-Contributing
- Bloomington Municipal Boundary
- Monroe County Parcels













<b>STAFF RECOMMENDATIONS</b>	Address: 339 S Fairview St.
<b>COA 23-19</b>	Petitioner: Joshua Hogan and Elizabeth Winchester
<b>Application Date: March 9, 2023</b>	Parcel: 53-08-05-102-042.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1905, Pyramid Roof Cottage



**Background:** Greater Prospect Hill Historic District

**Request:** Add a Dormer to the secondary facade facing the south, add an egress window to the existing dormer on the front (west facing) facade, raise the gable on the north facade by twenty inches.

**Guidelines:** Greater Prospect Hill Historic District Guidelines

**Staff Recommends approval of COA 23-19**

- The new proposed dormer on the secondary facade constitutes a change to the outline of the building but is consistent with an existing dormer.
- The window on the existing dormer on the primary facade is currently a single or double hung vinyl window which needs to be replaced with a casement window in order to meet egress code.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** COA 23-19

**Date Filed:** 3/9/2023

**Scheduled for Hearing:** 3/23/2023

\*\*\*\*\*

**Address of Historic Property:** 339 S. Fairview St. Bloomington, IN 47403

**Petitioner's Name:** Elizabeth Winchester & Joshua Hogan

**Petitioner's Address:** 2212 S. Belhaven Ct. Bloomington, IN 47401

**Phone Number/e-mail:** 812-322-8444 / Hoagdaddy@gmail.com

**Owner's Name:** Elizabeth Winchester

**Owner's Address:** 2212 S. Belhaven Ct. Bloomington, IN 47401

**Phone Number/e-mail:** 415-702-7160

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A “**Complete Application**” consists of the following:

1. A legal description of the lot. 015-00420-00 Prospect Hill lot 32

2. A description of the nature of the proposed modifications or new construction:  
We would like to add a dormer to the south side roof of the house. The dormer will be 7.5 Feet wide and  
4ft 4in tall to the peak of the gable. It will reside centered between the middle of the peak of the pyrimid  
roof and the middle window on the lower level. It will sit 6ft 8in from the outside wall and 36 in above the  
top of the outside wall.

3. A description of the materials used.  
Wood 2x4s  
plywood / OSB  
Aluminum siding repositioned from the north (non visible) side of the house to match existing siding  
shingles to match the existing shingles  
new single hung 36X36 window matching the existing dormer windows

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

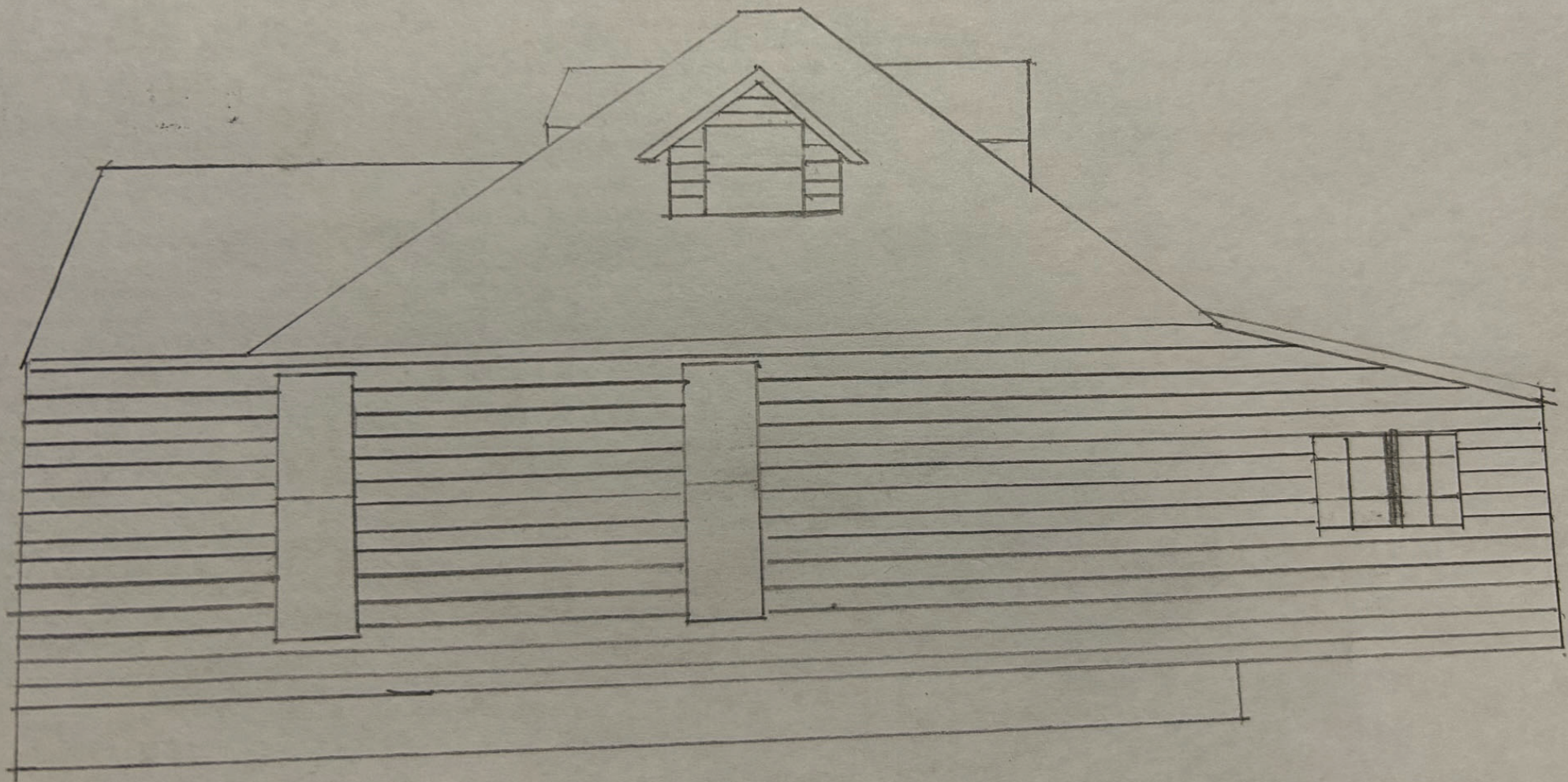
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

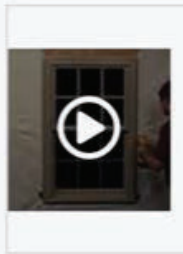








Enter SKU, Model # or Keyv



EVERYDAY LOW PRICE

\$213.99

11% MAIL-IN REBATE Good Through 3/12/23

\$23.54

FINAL PRICE

\$190<sup>45</sup> each

You Save \$23.54 with Mail-In Rebate

Rough Opening Size: 36"W X 36"H

Qty:

ADD TO CART

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** COA 23-19 (adendum)

**Date Filed:** March 9, 2023

**Scheduled for Hearing:** March 23, 2023

\*\*\*\*\*

**Address of Historic Property:** 339 S. Fairview

**Petitioner's Name:** Joshua Hogan

**Petitioner's Address:** 2212 S. Belhaven Ct Bloomington, IN 47401

**Phone Number/e-mail:** 812-322-8444/Hoagdaddy@gmail.com

**Owner's Name:** Elizabeth Winchester

**Owner's Address:** 2212 S. Belhaven Ct. Bloomington, IN 47401

**Phone Number/e-mail:** 415-702-7160/Elizabeth.Winchester@gmail.com

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 0015-00420-00 Prospect Hill Lot 32

2. A description of the nature of the proposed modifications or new construction:  
Raise the roof ridge on the norther gable by 20 Inches  
Change existing windows in the Eastern and Western dormers to egress windows. Maintaining the same  
size and shape, but using casement windows to meet egress requirements.

3. A description of the materials used.  
Wood, Shingles, Siding

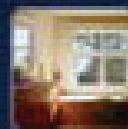
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



JELD-WEN

V-4500 29.5-in x 35.5-in x 3.25-in Jamb 1-lite White Vinyl New Construction Left Hinge Casement Window Full Screen Included

**\$395.03**

~~\$464.74~~ Save 15% thru 3/29/2023

Item #: 407545 | Model #: LOWOLVYCSMT3036

★★★★☆ 11

Common Size (W x H)

30-in x 36-in



1



Add to Cart



Shop



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Account



JELD-WEN

V-4500 29.5-in x 35.5-in x 3.25-in Jamb Grid Between The Glass 1-lite White Vinyl New Construction Left Hinge Casement Window Full Screen Included

\$408.22

6489-26 Save 15% thru 3/29/2023

Item #: 407532 | Model #: LOWOLVYCSMTDL3036

★★★★☆ 5

Common Size (W x H)  
30-in x 36-in

-

1

+

Add to Cart



Shop



My Lists



Cart



Stores



Account













February 27, 2023

John Saunders  
Chair  
Bloomington Historic Preservation  
401 N Morton St, Suite 130  
Bloomington, IN 47404

Re: Creation of four new bioretention ponds at different locations in Bloomington, Indiana  
Community Development Block Grant Public Physical Improvement

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

The proposal aims to create four water retention ponds in order to improve water quality and reduce flooding in a drainage basin. A bioretention pond is a rain garden that helps treat and filter the water before it enters the storm sewer system or stream. The pond would also provide detention, which holds the water back during a rain event, and release it at a slower rate.

Enclosed are four maps that show the project areas and additional areas of potential indirect effects. The four new bioretention ponds as seen on the attached map; two in the Waterman's Addition on the near westside, west of Adams St., south of Fountain Drive, north of 6th St. Another pond is proposed just south of Sherwood Oaks Christian Church on Sare Road and the

last pond is proposed between South Downs and Sheridan Dr., east of Bryan Park, just west of Karen Drive.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,






Gloria M. Colom Braña  
Historic Preservation Program Manager  
City of Bloomington, Indiana

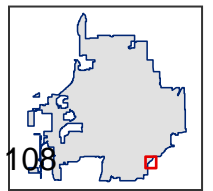
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources, Indiana

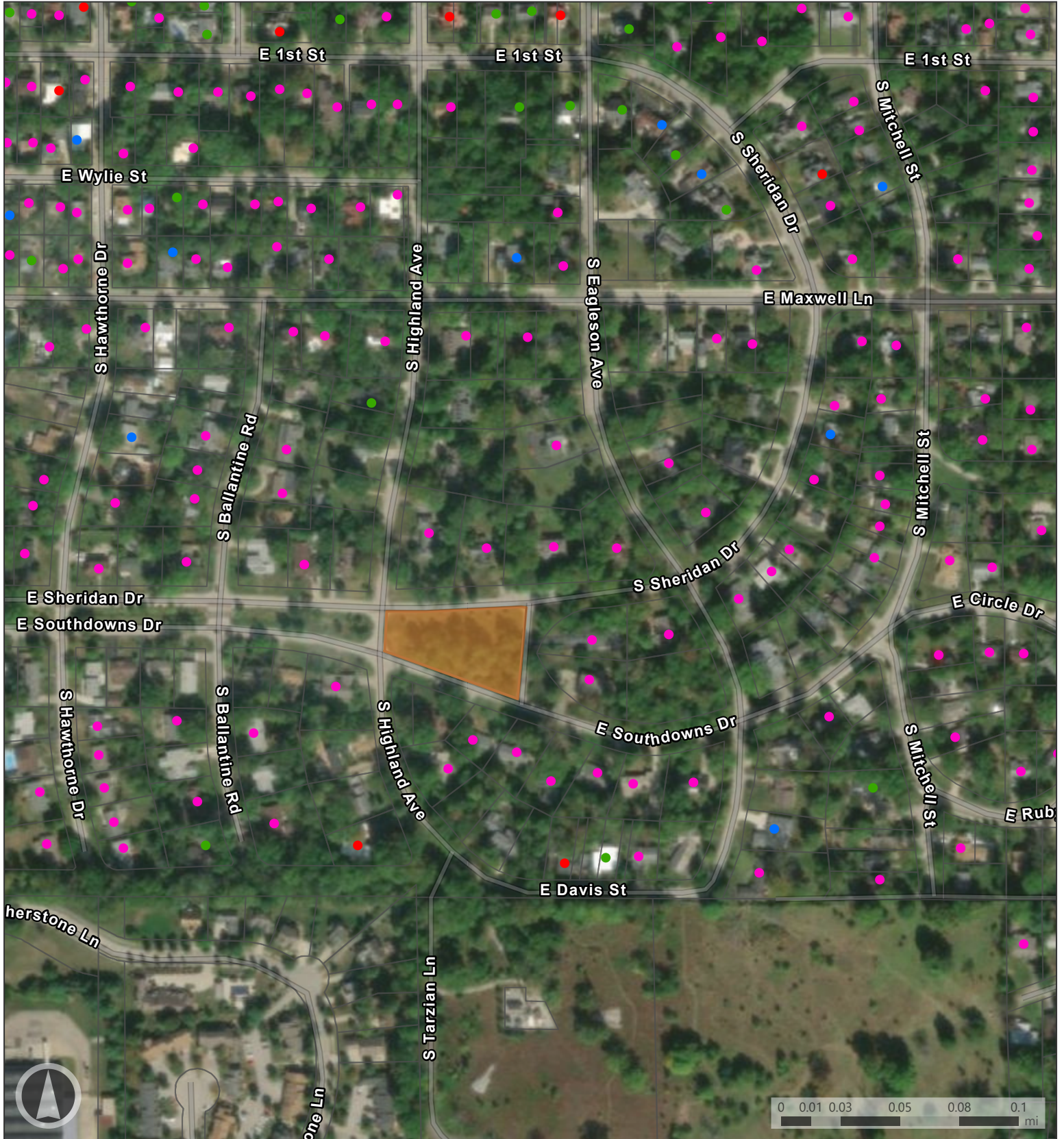
Attachments



**Map Legend**

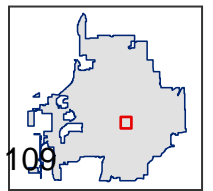
-  Override 1
-  Monroe County Parcels
-  Bloomington Municipal Boundary

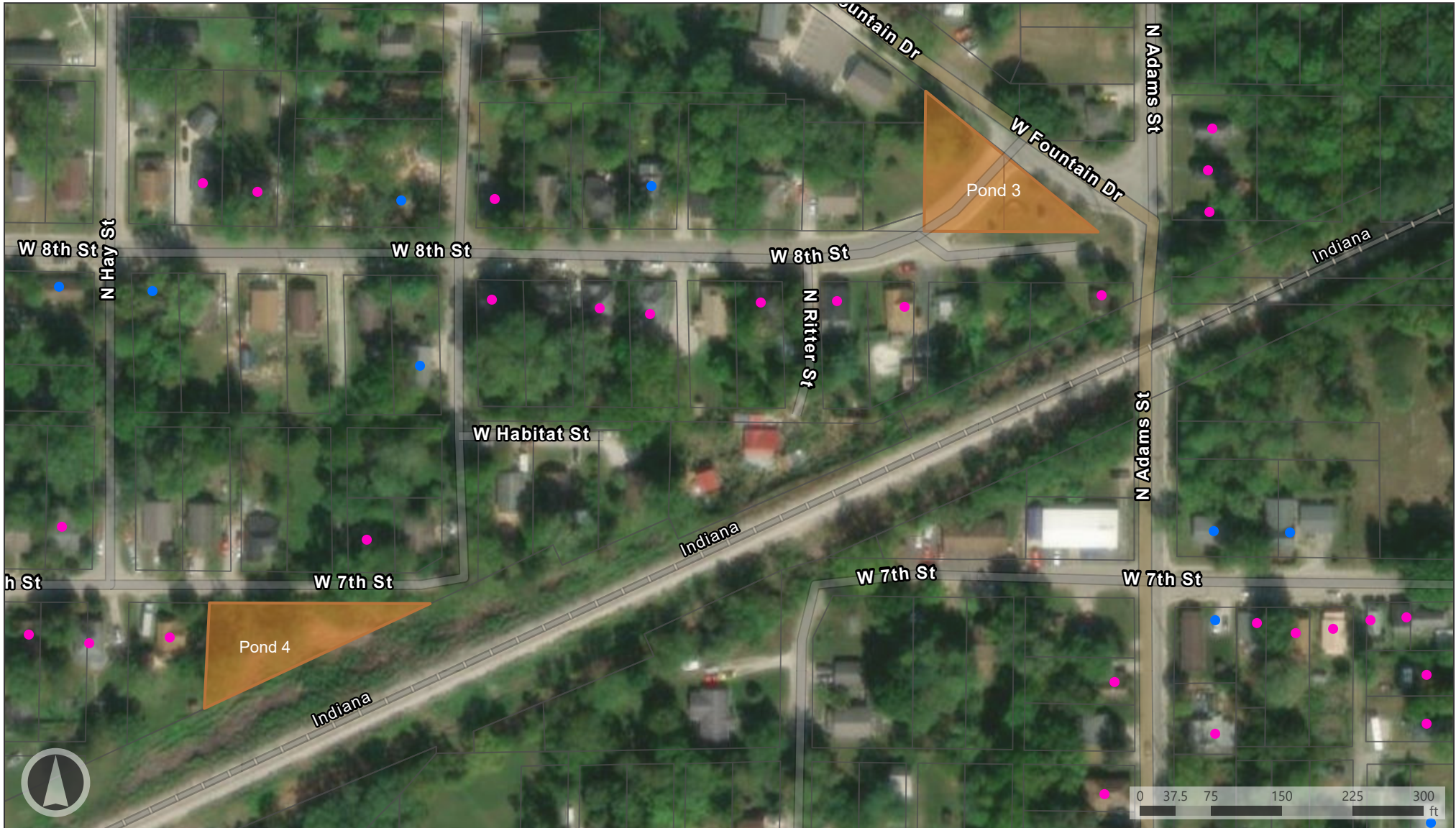




**Map Legend**

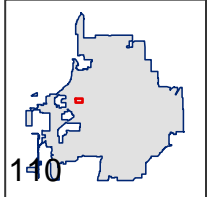
- APE
- Outstanding
- Notable
- Contributing
- Non-Contributing
- Bloomington Municipal Boundary
- Monroe County Parcels





**Map Legend**

- APE Sites
- Non-Contributing
- Bloomington Municipal Boundary
- Contributing
- Monroe County Parcels





Bioretention Pond Site 3 - facing northwest



Bioretention Pond Site 3 - facing east





Bioretention Pond Site 4 - Facing east. Site is on the right of the road (south)



Bioretention Pond Site 4 - Facing East. 1516 W 7th St. (SHAARD #: 105-055-35969)  
Proposed site to the south of the road.



Bioretention Pond Site 2 - Facing south.



Bioretention Pond Site 1 - Facing south.

### IHSSI (County Survey)



Survey Number: 105-055-60696

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 925 S Highland Ave

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

541663

4334264

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing Resources: 1

Number of  
Non-contributing  
Resources: 0

Environment: urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1960

Condition: Good  
 Year Demolished: -  
 Integrity: Unaltered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: Ranch

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:

**Additions**

Siding:  Wings:   
 Other:   
 Removals: -

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 4

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:

Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: -

**Porches**

Front:       Side:       Back:   
Notes: roof supported by cast iron posts

**Openings:** orig. vent window, two orig. fixed windows, orig. door and sidelight, two orig. vent windows

**Interior:** -

**Outbuildings:** -

Notes: -

**Statement of Significance:** -

**Architectural Description:** -



### IHSSI (County Survey)



Survey Number: 105-055-60693

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 1315 S Sheridan Dr

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

541693

4334194

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing Resources: 1

Number of  
Non-contributing  
Resources: 0

Environment: urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1940

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:

**Additions**

Siding:  Wings:   
 Other:   
 Removals: -

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 3

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:

Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: gable dormers

**Porches**

Front:       Side:       Back:   
Notes: roof supported by wood post

**Openings:**                      three orig. 6/6 windows

**Interior:**                      -

**Outbuildings:**                -

Notes: -

**Statement of Significance:** -

**Architectural Description:** -

### IHSSI (County Survey)



Survey Number: 105-055-35969

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 1516 7th St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538648

4335590

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing Resources: 1

Number of  
Non-contributing Resources: 1

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1930

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: Bungalow

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:

**Additions**

Siding:  Wings:   
 Other:  Description: expanded porch  
 Removals: -

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 2  
**Foundation:** CONCRETE  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:

Hip:       Pyramidal:       Mansard:

Other:

Material: ASPHALT

Features: decorative wood brackets

**Porches**

Front:       Side:       Back:

Notes: See #29

**Openings:** 1/1 double hung wood windows, double 2 light wood windows, 6 light wood casement window, wood slider windows, wood square windows, rectangular windows in basement level, wood panel door.

**Interior:** -

**Outbuildings:** Shed

Notes: -

**Statement of Significance:** -

**Architectural Description:** Expanded front porch with gable front roof, across main elevation, wood half columns, concrete block half walls, concrete floor and steps.



### IHSSI (County Survey)



Survey Number: 105-055-60982

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 1320 E Southdowns Dr

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

541754

4334121

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1960

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: Ranch

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:       Roof:   
 Other:

**Additions**

Siding:       Wings:   
 Other:   
 Removals: -

**Stories**

1:       1 1/2:       2:       2 1/2:   
 Other:

**Plan**

Rectangular:       Polygonal:   
 L:       T:       X:       U:   
 Irregular:       Other:

**Depth**

Single-Pile:       Double-Pile:   
 Irregular/Massed:       Other:

**Number of Bays:** 3

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:       Front-Gable:       Cross-Gable:

Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: -

**Porches**

Front:       Side:       Back:   
Notes: -

**Openings:**      garage door, orig. door, three orig. 2/2 windows

**Interior:**      -

**Outbuildings:**      -

Notes: -

**Statement of Significance:** -

**Architectural Description:** -

### IHSSI (County Survey)



Survey Number: 105-055-60984

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2015

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Perry	Bloomington

Address: 1331 E Southdowns Dr

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

541782

4334117

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1960

Condition: Good  
 Year Demolished: -  
 Integrity: Unaltered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: Split Level

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:       Roof:   
 Other:

**Additions**

Siding:       Wings:   
 Other:   
 Removals: -

**Stories**

1:       1 1/2:       2:       2 1/2:   
 Other:

**Plan**

Rectangular:       Polygonal:   
 L:       T:       X:       U:   
 Irregular:       Other:

**Depth**

Single-Pile:       Double-Pile:   
 Irregular/Massed:       Other:

**Number of Bays:** 3

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:       Front-Gable:       Cross-Gable:

Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: -

**Porches**

Front:       Side:       Back:   
Notes: recessed entry

**Openings:**      three sets of banded orig. casement windows, orig. door, six banded orig. casement windows, three banded orig. casement windows

**Interior:**      -

**Outbuildings:**      -

Notes: -

**Statement of Significance:** -

**Architectural Description:** -





February 21, 2023

John Saunders  
Chair  
Bloomington Historic Preservation  
401 N Morton St, Suite 130  
Bloomington, IN 47404

Re: Construction of an Accessible Sidewalk at Adams Street (from Kirkwood Avenue to Fountain Drive), Bloomington, Indiana  
Community Development Block Grant Public Physical Improvement

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Enclosed is a map that shows the project area and additional area of potential indirect effects. The project consists of the construction of an accessible sidewalk along the west side of Adams Street from Kirkwood Avenue to Fountain Drive. The project will also include a short section of new sidewalk along the south side of Fountain Drive adjacent to the City-owned parcel at the intersection of 8th Street at Fountain Drive. The project will include accessible curb ramps, incidental stormwater work, and other associated construction necessary to complete the sidewalk.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

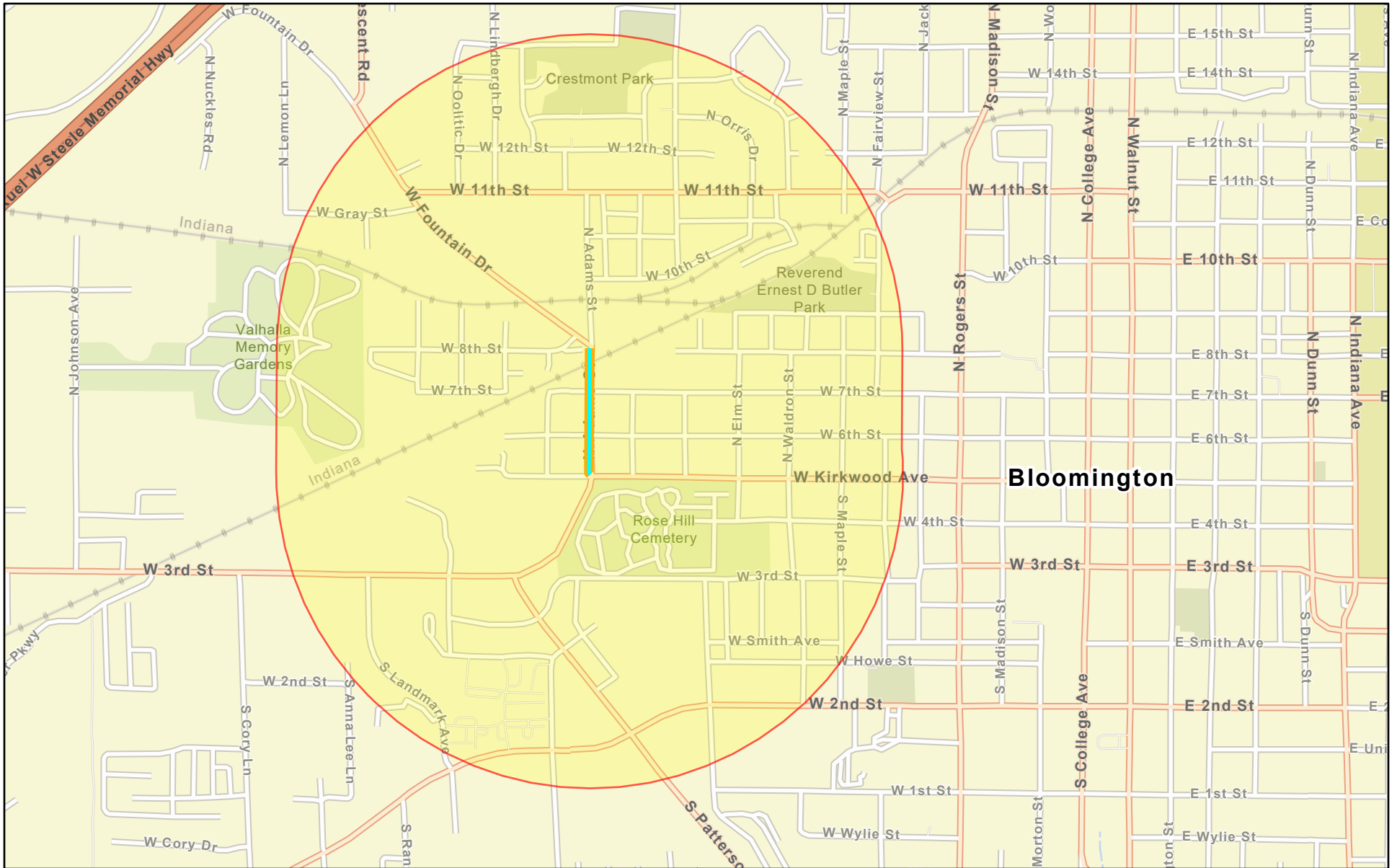
Sincerely,



Gloria M. Colom Braña  
Historic Preservation Program Manager  
City of Bloomington, Indiana

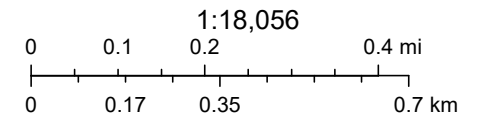
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources,  
Indiana

# Sidewalk Location



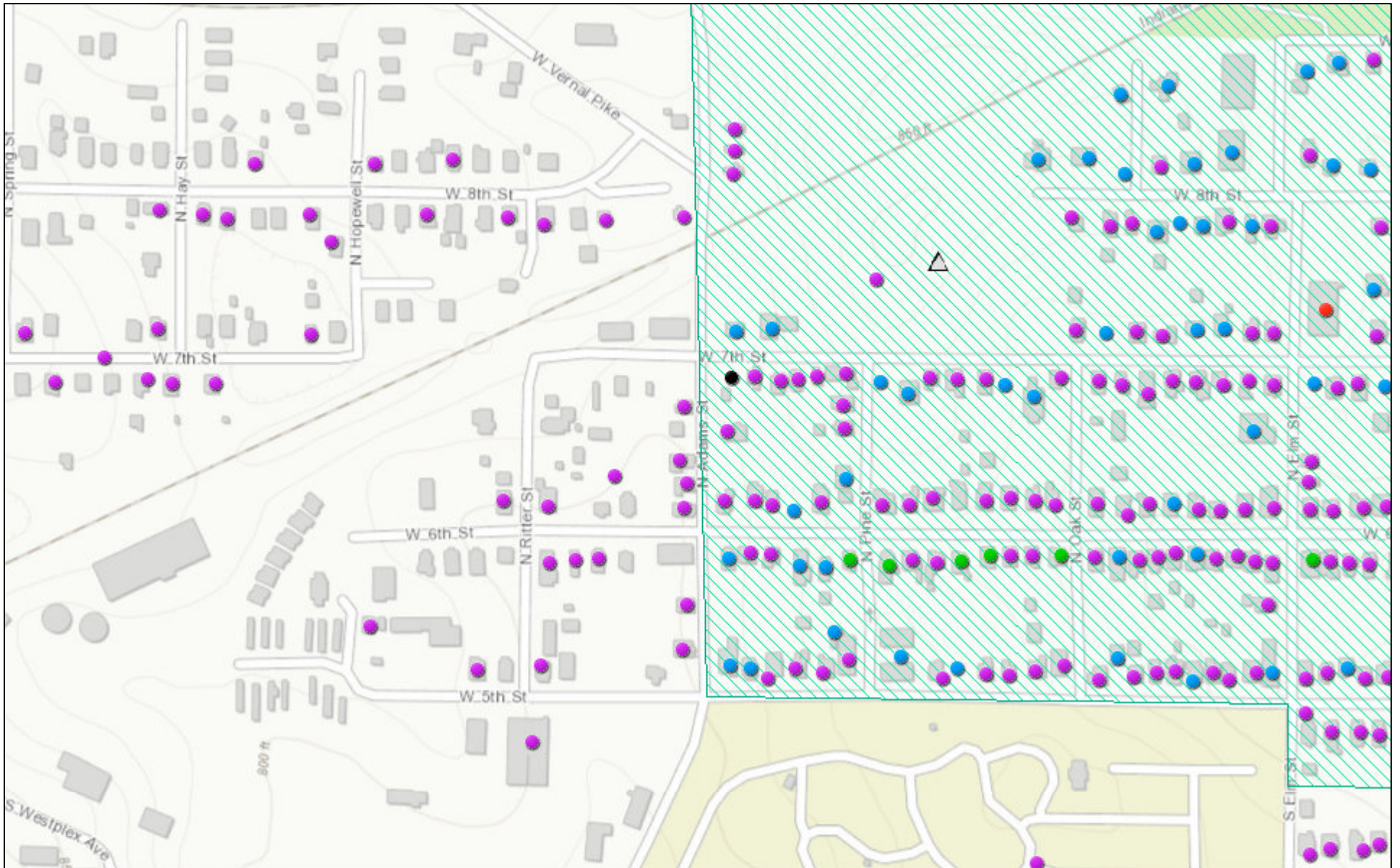
December 7, 2022

- Project Buffer
- COB Sidewalk



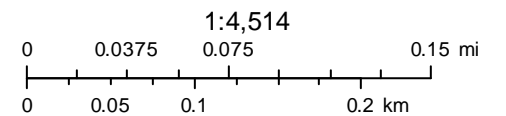
Esri Community Maps Contributors, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau,

# N Adams St - SHAARD Historic Sites Survey



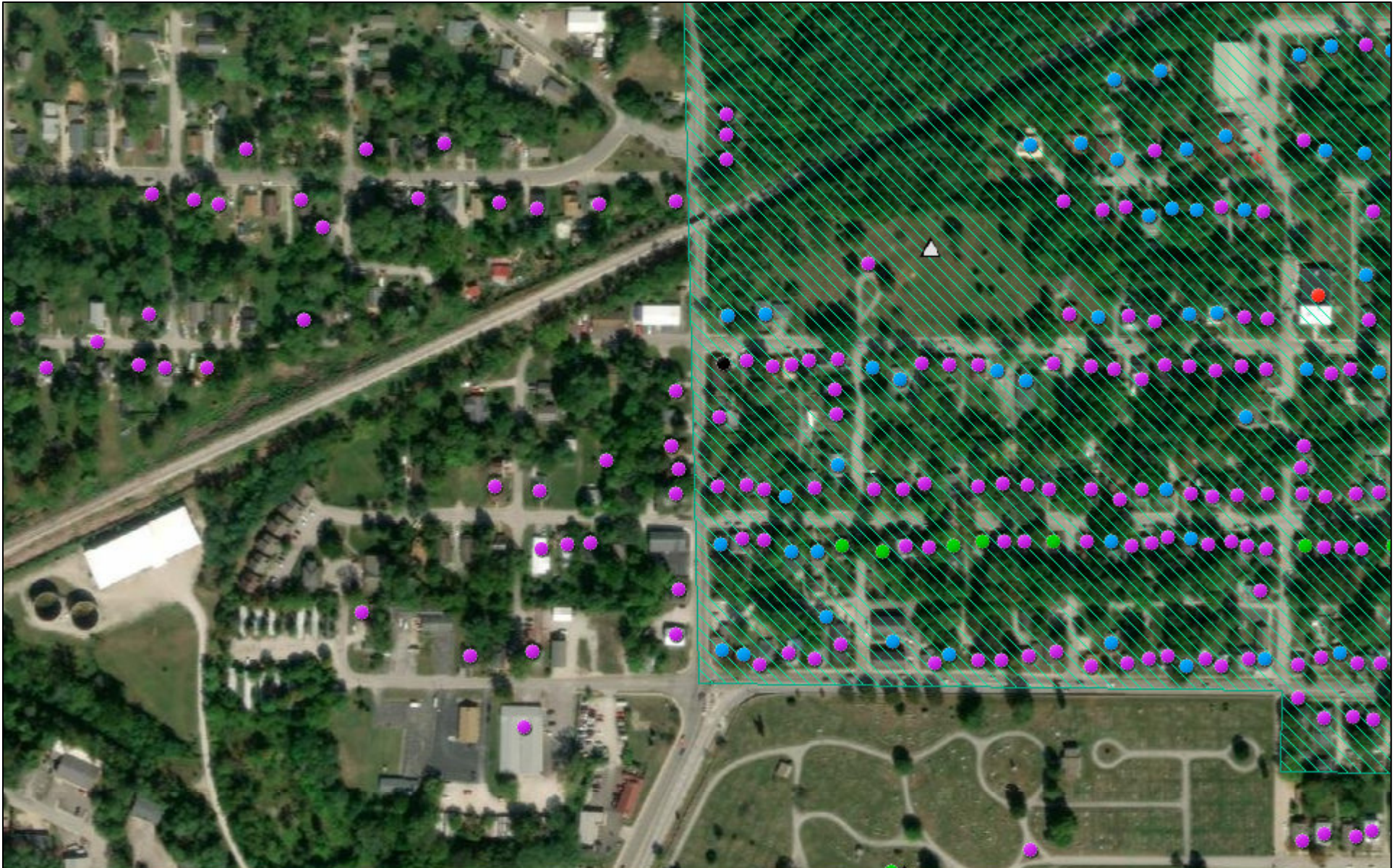
2/21/2023, 3:42:51 PM

- △ Cemeteries
- Notable
- Non-Contributing
- Contributing
- Demolished
- Outstanding
- ▨ Historic Districts



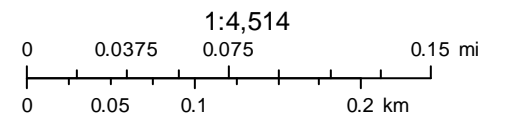
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri

# N Adams St - SHAARD Historic Sites Survey



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- |                            |             |   |              |   |                    |
|----------------------------|-------------|---|--------------|---|--------------------|
| △                          | Cemeteries  | ● | Notable      | ● | Non-Contributing   |
| <b>County Survey Sites</b> |             | ● | Contributing | ● | Demolished         |
| ●                          | Outstanding |   |              | ▨ | Historic Districts |



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

### IHSSI (County Survey)



Survey Number: 105-055-35915

Rating: Contributing

Historic Name: Church

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 103 Adams St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538904

4335406

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Describe: church

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1935

Condition: Fair  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:  Description: doors

**Additions**

Siding:  Wings:   
 Other:  Description: entry portico  
 Removals: doors

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** -

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:



Hip:       Pyramidal:       Mansard:

Other:

Material: ASPHALT

Features: parapets on gable ends, exterior brick chimney

**Porches**

Front:       Side:       Back:

Notes: See #29

**Openings:** 1/1 double hung wood windows with metal storms, glass block windows in shape of a cross, rectangular windows in basement level, glazed metal panel double doors.

**Interior:** -

**Outbuildings:** -

Notes: -

**Statement of Significance:** -

**Architectural Description:** Front porch with gable front roof over front door, wood siding, partially enclosed, concrete floor, concrete block half walls/column, concrete steps, wood ramp.

### IHSSI (County Survey)



Survey Number: 105-055-35916

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 113 Adams St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538903

4335435

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing 1  
Resources:

Number of  
Non-  
contributing 0  
Resources:

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: Pyramid roof cottage

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:  Description: door

**Additions**

Siding:  Wings:   
 Other:  Description: screened porch  
 Removals: door

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 2  
**Foundation:** CONCRETE  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:

Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: brick chimney

**Porches**

Front:       Side:       Back:

Notes: hipped roof across north bay, wood frame screened in, wood floor

**Openings:**      1/1 double hung wood windows with metal storms, vinyl slider windows, metal slat windows, vinyl awning windows, glazed metal panel door.

**Interior:**      -

**Outbuildings:**      -

Notes: -

**Statement of Significance:** -

**Architectural Description:** -

### IHSSI (County Survey)



Survey Number: 105-055-35979

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 201 Adams St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538905

4335484

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing Resources: 1

Number of  
Non-contributing  
Resources: 0

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1930

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: California Bungalow

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:

**Additions**

Siding:  Wings:   
 Other:   
 Removals: -

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 2  
**Foundation:** CONCRETE  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:



Hip:       Pyramidal:       Mansard:

Other:

Material: ASPHALT

Features: brick chimney

**Porches**

Front:       Side:       Back:

Notes: See #29

**Openings:**      4/1, 3/1, 2/2, and 1/1 double hung wood windows with metal storms, rectangular wood windows in basement level, glazed wood panel doors, front door has glazed metal storm.

**Interior:**      -

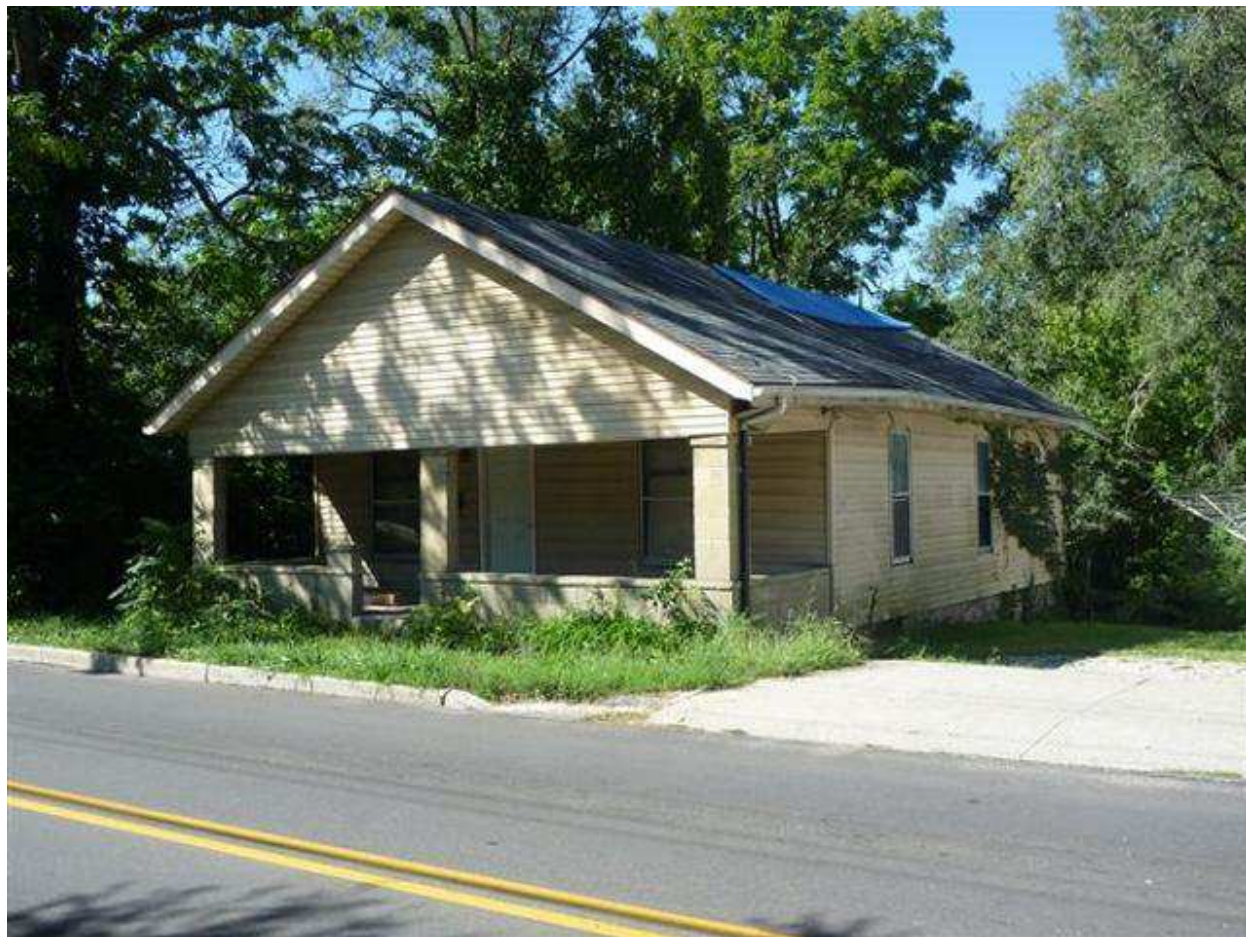
**Outbuildings:**      -

Notes: -

**Statement of Significance:** -

**Architectural Description:** Front porch with hipped roof across main elevation, wood half columns, metal aluminum sided half walls, concrete floor. Rear wood landing and stairs at rear door with wood railing.

### IHSSI (County Survey)



Survey Number: 105-055-35980

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 221 Adams St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538903

4335501

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: Yes

Explanation: vacant, deteriorating

Number of  
Contributing 1  
Resources:

Number of  
Non-  
contributing 0  
Resources:

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Fair  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:  Description: door

**Additions**

Siding:  Wings:   
 Other:   
 Removals: door

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 3

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:

Hip:       Pyramidal:       Mansard:

Other:

Material: ASPHALT

Features: cross gable addition on south side

**Porches**

Front:       Side:       Back:

Notes: See #29

**Openings:**                      1/1 double hung wood windows with metal storms, rectangular windows in basement level, metal panel doors.

**Interior:**                      -

**Outbuildings:**                -

Notes: -

**Statement of Significance:** -

**Architectural Description:** Front porch with gable front roof across main elevation, concrete block columns and half walls, concrete floor.

### IHSSI (County Survey)



Survey Number: 105-055-35981

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 223 Adams St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538902

4335523

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing Resources: 1

Number of  
Non-contributing  
Resources: 0

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Fair  
 Year Demolished: -  
 Integrity: Severely Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:   
 Other:  Description: door

**Additions**

Siding:  Wings:   
 Other:  Description: encl porch  
 Removals: door

**Stories**

1:  1 1/2:  2:  2 1/2:   
 Other:

**Plan**

Rectangular:  Polygonal:   
 L:  T:  X:  U:   
 Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:   
 Irregular/Massed:  Other:

**Number of Bays:** 3

**Foundation:** CONCRETE

**Foundation Description:** -

**Walls Description:** -

**Other Walls:** -

**Roof**

Side-Gable:  Front-Gable:  Cross-Gable:



Hip:       Pyramidal:       Mansard:

Other:

Material: ASPHALT

Features: brick chimney, cinder block chimney

**Porches**

Front:       Side:       Back:

Notes: See #29

**Openings:** 1/1 double hung wood windows with metal storms, rectangular wood windows, 1/1 double hung vinyl windows, vinyl slider window, glazed metal panel doors with glazed metal storms.

**Interior:** -

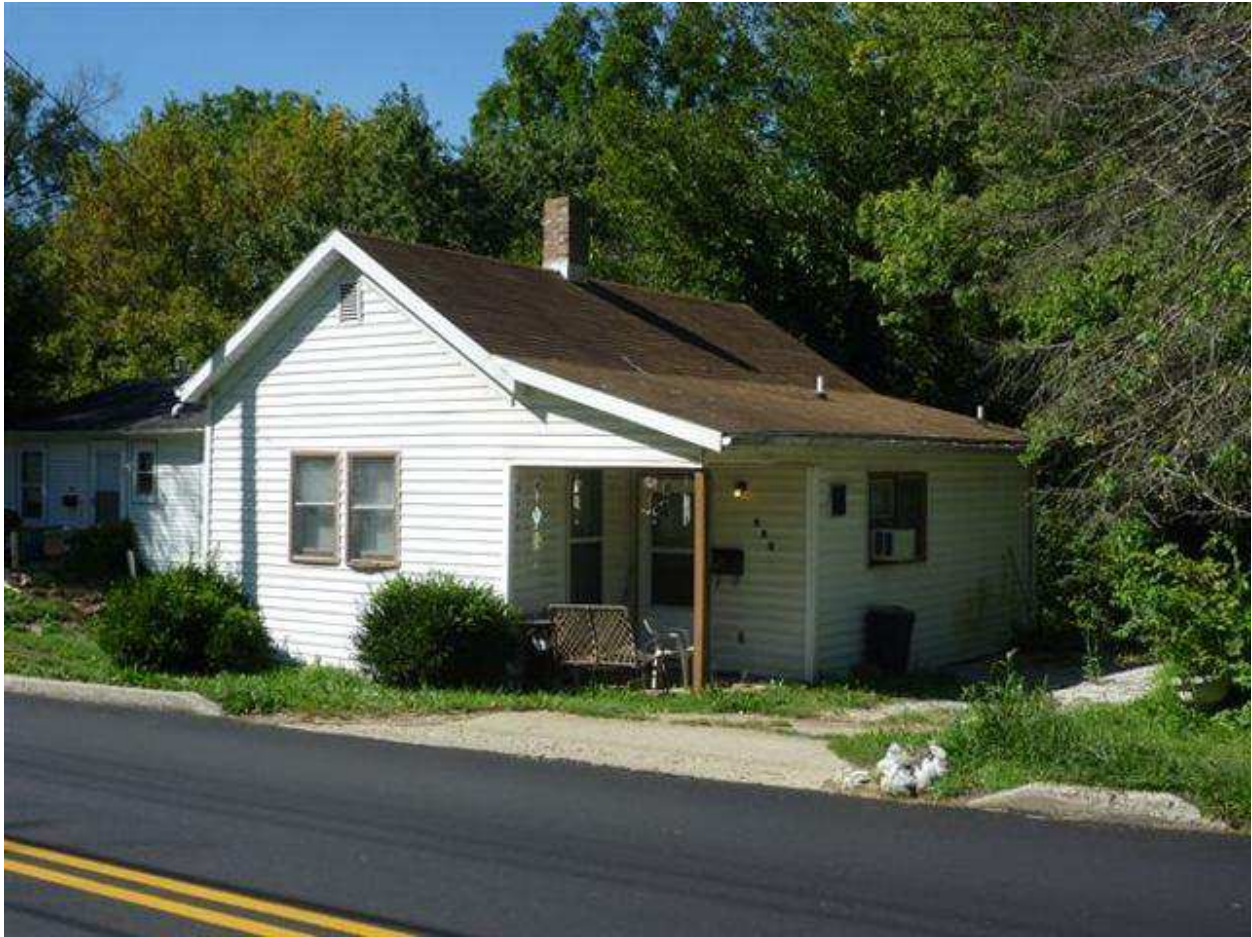
**Outbuildings:** -

Notes: -

**Statement of Significance:** -

**Architectural Description:** Front porch under main roof, vinyl sided frieze, screened in wood frame, across main bay, wood ramp with wood railing.

IHSSI (County Survey)



Survey Number: 105-055-35982

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

**Survey County**

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 231 Adams St

City: Bloomington

Location Notes: -

**Coordinates**

**Easting**

**Northing**

538901

4335562

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1900

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:       Roof:   
 Other:

**Additions**

Siding:       Wings:   
 Other:   
 Removals: -

**Stories**

1:       1 1/2:       2:       2 1/2:   
 Other:

**Plan**

Rectangular:       Polygonal:   
 L:       T:       X:       U:   
 Irregular:       Other:

**Depth**

Single-Pile:       Double-Pile:   
 Irregular/Massed:       Other:

**Number of Bays:** 2  
**Foundation:** CONCRETE  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:       Front-Gable:       Cross-Gable:

Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: brick chimney

**Porches**

Front:       Side:       Back:

Notes: under main roof, across north bay, wood column, concrete floor

**Openings:**                      1/1 double and single, double hung wood windows, some with metal storms, glazed wood panel door with glazed metal storm.

**Interior:**                      -

**Outbuildings:**                      -

Notes: -

**Statement of Significance:** -

**Architectural Description:** -

### IHSSI (County Survey)



Survey Number: 105-055-35759

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File  
Number: -

#### Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 1301 8th St

City: Bloomington

Location Notes: -

#### Coordinates

**Easting**

**Northing**

538889

4335698

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:

Commercial:

Vacant:

Other:

Other:

**Use: Past**

Residence:

Commercial:

Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:

State Register:

Hoosier Homestead:

National Historic  
Landmark:

Local Designation:

Protective  
Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of  
Contributing Resources: 1

Number of  
Non-contributing Resources: 1

Environment: Urban

Bibliography: -

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1940

Condition: Good  
 Year Demolished: -  
 Integrity: Slightly Altered  
 Date Moved: -  
 Alterations: -  
 Style: -  
 Type/Vernacular: -

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:       Roof:   
 Other:

**Additions**

Siding:       Wings:   
 Other:   
 Removals: -

**Stories**

1:       1 1/2:       2:       2 1/2:   
 Other:

**Plan**

Rectangular:       Polygonal:   
 L:       T:       X:       U:   
 Irregular:       Other:

**Depth**

Single-Pile:       Double-Pile:   
 Irregular/Massed:       Other:

**Number of Bays:** 2  
**Foundation:** CONCRETE  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:       Front-Gable:       Cross-Gable:



Hip:       Pyramidal:       Mansard:   
Other:   
Material: ASPHALT  
Features: -

**Porches**

Front:       Side:       Back:

Notes: shed roof, over front door, metal columns, concrete floor

**Openings:**                      1/1 double hung wood windows, some with metal storms, glazed wood panel door with glazed metal storm.

**Interior:**                      -

**Outbuildings:**                Shed

Notes: -

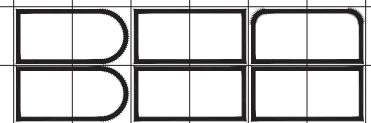
**Statement of Significance:** -

**Architectural Description:** -

# PROPOSED: ADAMS STREET SIDEWALK

N ADAMS STREET  
BLOOMINGTON, IN. 47404  
FROM W. KIRKWOOD AVE. TO THE  
INTERSECTION OF W. 8TH ST.  
AND W. FOUNTAIN DR.

UTILITY CONTACT INFORMATION		
<b>GAS</b> VECON 205 S. MADISON ST. BLOOMINGTON, IN 47401 DOUG ANDERSON (812)330-4009	<b>SEWER AND WATER</b> CITY OF BLOOMINGTON UTILITIES 603 E. MILLER DR. BLOOMINGTON, IN 47402 NANCY ASSOM (812)349-3689	<b>ELECTRIC</b> DUKE ENERGY 1619 N. DETROIT/BLVD RD NOKOMO, INDIANA 46062 JIM SHELDES (317)375-2071
<b>TELEPHONE</b> AT&T P.O. BOX 56 BLOOMINGTON, IN 47402 BRENT McABE (812)334-4521	<b>CABLE TELEVISION</b> CINCISAT 2450 SOUTH HENDERSON STREET BLOOMINGTON, IN 47404 SCOTT TEMPLETON (812)355-7822	<b>UNDERGROUND UTILITY LOCATION</b> INDIANA UNDERGROUND PLANT PROTECTION 1-(800)382-5544



**BYNUM FANYO & ASSOCIATES, INC.**  
528 North Walnut Street  
Bloomington, Indiana 47404 (812) 332-8030



VICINITY/LOCATION MAP  
NOT TO SCALE

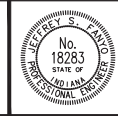
SHEET INDEX	
SHEET NO.	SHEET NO.
C101	GENERAL NOTES & LEGENDS
C201	TYPICAL CROSS-SECTION
C301-309	PLAN AND PROFILE
C401-403	DETAILS
C501-C513	R-1 CROSS SECTIONS
C601-C604	RIGHT-OF-WAY ACQUISITION



architecture  
civil engineering  
planning

OWNER/DEVELOPER:  
CITY OF BLOOMINGTON  
401 N MORTON ST.  
BLOOMINGTON, IN. 47404

THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS



Certified By:  
*Jeffrey S. Fanyo*  
JEFFREY S. FANYO, P.E.  
IND. REG. NO. 18283

Revisions  
  
ADAMS STREET SIDEWALK  
PROJECT NO. 402101

### EXISTING LEGEND

EXISTING FENCE	— X — X —
EXISTING WATER LINE	—    —
EXISTING OVERHEAD UTILITY LINES	— OHU —
EXISTING UNDERGROUND ELECTRICAL LINES	— UGE —
EXISTING UNDERGROUND TELEPHONE LINES	— UGT —
EXISTING UNDERGROUND FIBER OPTIC LINES	— FO —
EXISTING GAS LINE	— GAS —
EXISTING SANITARY FORCE MAIN	— FM —
EXISTING CONTOUR	— 3000 —
EXISTING SANITARY SEWER AND MANHOLE	— ○ —
EXISTING STORM SEWER AND INLET	— □ —
PROPERTY LINE	— - - - -

### SITE IMPROVEMENT LEGEND

(A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	[Pattern]
(B) PROPOSED ROAD ASPHALT SURFACE	[Pattern]
(C) PROPOSED DRIVEWAY CONCRETE PAVING	[Pattern]
(D) PROPOSED PAVEMENT PATCH - REFER TO DETAIL	[Pattern]
(E) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	[Pattern]
(F) PROPOSED CONCRETE PAVEMENT - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	[Pattern]
(G) PROPOSED DRIVEWAY RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	[Pattern]
(H) PROPOSED 4" STANDING CURB - REFER TO DETAIL	[Pattern]
(I) PROPOSED ROOT SEEDING ACCESSIBLE RAMP - REFER TO DETAIL	[Pattern]
(J) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "N" - REFER TO DETAIL	[Pattern]
(K) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "T" - REFER TO DETAIL	[Pattern]
(L) PROPOSED RETAINING WALL - REFER TO DETAIL	[Pattern]
(M) MULCH SEEDING - REFER TO DETAIL	[Pattern]
(N) CURB INLET PROTECTION - REFER TO DETAIL	[Pattern]
EXISTING CONTOUR	— 3000 —
PROPOSED SKI FENCE - REFER TO DETAIL	— SF —
CONSTRUCTION LIMITS	— CL —
PROPOSED SPOT GRADE ELEVATION	000.00
FINISH EDGE OF PAVEMENT AT GRADE	EP-000.00
FINISH TOP OF CURB ELEVATION (IF PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB)	TC-000.00
FINISH TOP OF SIDEWALK ELEVATION (IF PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB)	TS-000.00
FINISH TOP OF STOP ELEVATION AT TOP OF STOP	TS-000.00
FINISH TOP OF STOP ELEVATION AT BOTTOM OF STOP	BS-000.00

NOTE: MATCH THE FINISHING CONDITIONS GRADES ELEVATION FOR RESULTS OF FINISHING. CONSULT WITH THE ENGINEER OF ANY DISCREPANCIES.

### STATEMENT OF PERFORMANCE STANDARDS

ON BEHALF OF THE OWNER, CITY OF BLOOMINGTON, BNYM FANTO & ASSOCIATES, INC. INTENDS TO COMPLY WITH ALL STANDARDS SET FORTH IN THE MONROE COUNTY ZONING ORDINANCE THAT INCLUDES CHAPTER 802. WE PLAN ON WORKING CLOSELY WITH STAFF, PLAN COMMISSION MEMBERS, AND THE OWNER TO CREATE A QUALITY SITE PLAN AND SUCCESSFUL PROJECT THAT WILL EXCEED MONROE COUNTY'S INTERESTS AND ORDINANCE FOR THIS SITE. THESE STANDARDS ARE AS FOLLOWS:

ALL PERMITTED USES ESTABLISHED OR PLACED INTO OPERATION AFTER THE EFFECTIVE DATE OF THE MONROE COUNTY ORDINANCE SHALL COMPLY WITH THE FOLLOWING PERFORMANCE STANDARDS IN THE INTEREST OF PROTECTING PUBLIC HEALTH, SAFETY AND WELFARE, AND LESSONING RISK TO PROPERTY. NO USE IN EXISTENCE ON THE EFFECTIVE DATE OF THIS ORDINANCE SHALL BE SO ALTERED AS TO CONFLICT (OR INCREASE AND EXISTING CONFLICT) WITH THESE STANDARDS.

(A) FIRE PROTECTION  
FIRE FIGHTING EQUIPMENT AND PREVENTION MEASURES ACCEPTABLE TO THE LOCAL FIRE DEPARTMENT SHALL BE READILY AVAILABLE AND APPROPRIATE WHEN ANY ACTIVITY INVOLVING THE HANDLING OR STORAGE OF FLAMMABLE OR EXPLOSIVE MATERIALS IS CONDUCTED.

(B) ELECTRICAL DISTURBANCE  
NO USE SHALL CAUSE ELECTRICAL DISTURBANCE ADVERSELY AFFECTING ROAD, TELEVISION OR OTHER EQUIPMENT IN THE VICINITY OF THE USE.

(C) NOISE  
NO USE SHALL PRODUCE NOISE IN SUCH A MANNER AS TO BE OBJECTIONABLE BECAUSE OF VOLUME, FREQUENCY, INTERMITTENCE, HEAT, SHIMMERS, OR VIBRATION. SUCH NOISE SHALL BE MITIGATED OR OTHERWISE CONTROLLED SO AS NOT TO BECOME DETRIMENTAL PROVIDED HOWEVER, THAT PUBLIC SAFETY SIGNALS AND RELATED APPROVED SOUNDS SHALL FOR PUBLIC PURPOSES SHALL BE EXEMPT FROM THIS STANDARD.

(D) VIBRATION  
NO USE SHALL CAUSE VIBRATIONS OR CONDUSSIONS DETECTABLE BEYOND LOT LINES WITHOUT THE AID OF INSTRUMENTS.

(E) AIR POLLUTION  
NO USE SHALL DISCHARGE ACROSS LOT LINES FLY ASH, DUST, SMOKE, VAPORS, SOLID PARTICLES OR CONDENSED WATER OR OTHER AIR POLLUTANTS IN SUCH QUANTITY AS TO BE DETRIMENTAL TO ADJACENT PROPERTIES AND CONFLICT WITH RELEVANT WATER POLLUTION STANDARDS ESTABLISHED BY STATE AND/OR FEDERAL AGENCIES.

(F) HEAT AND GLARE  
NO USE SHALL PRODUCE HEAT OR GLARE IN SUCH MANNER AS TO CREATE A NUISANCE PERCEPTIBLE FROM ANY POINT BEYOND THE LOT LINES OF THE PROPERTY ON WHICH THE USE IS CONDUCTED IN RESIDENTIAL AREAS. ANY LIGHTING USED TO ILLUMINATE ANY LOT-TO-STREET PARKING AREA, LOADING AREA, DRIVEWAY, OR SERVICE DRIVE SHALL BE SHIELDED WITH APPROPRIATE LIGHT FIXTURES DIRECTING THE LIGHT DOWN AND AWAY FROM ADJACENT PROPERTIES IN ORDER THAT THE ILLUMINATION AT ANY PROPERTY LINE SHALL NOT EXCEED ONE (1) FOOT CANDLE. ALL EXTERIOR LIGHTING SHALL BE HOODED AND SHIELDED SO THAT THE LIGHT SOURCE (IE. BALL, FLUORESCENT, ETC) IS NOT DIRECTLY VISIBLE FROM THE RESIDENTIAL PROPERTY LINES IN RESIDENTIAL AREAS. EXTERIOR LIGHTING AT ANY PROPERTY LINE SHALL NOT EXCEED ONE (1) FOOT CANDLE.

(G) WATER POLLUTION  
NO USE SHALL PRODUCE ODDORS OR OTHER POLLUTANTS IN SUCH QUANTITY AS TO BE DETRIMENTAL TO ADJACENT PROPERTIES AND CONFLICT WITH RELEVANT WATER POLLUTION STANDARDS ESTABLISHED BY STATE AND/OR FEDERAL AGENCIES.

(H) WASTE WATER  
NO USE SHALL ACCUMULATE WITHIN THE LOT, OR DISCHARGE BEYOND THE BOUNDARY LINES OF THE LOT ON WHICH THE USE IS LOCATED, WASTE WATER, WHETHER LIQUID OR SOLID, IN VIOLATION OF APPLICABLE PUBLIC HEALTH, SAFETY AND WELFARE STANDARDS AND REGULATIONS.

### PARKING AND PAVEMENT NOTES

1. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC DEVICES, 2009 EDITION AS AMENDED.
2. ALL PAVEMENT MARKINGS SHALL BE PAINTED WHITE ON ASPHALT PAVEMENT / PAINTED WHITE ON CONCRETE PAVEMENT AND SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE.
3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE. ALL CURB RADII ARE TO BE 5' UNLESS INDICATED OTHERWISE.
4. CONTRACTOR SHALL FURNISH AND INSTALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
5. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
6. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EVIDENCE OF JOINTING TOOLS.
7. CONTRACTOR SHALL SAW-OUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYPICAL AT ALL INTERSECTIONS).
8. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY A.C.C. OF AMERICA, INC. AND THE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

### ON-SITE UTILITY NOTES

1. ALL WATER PIPE 4" AND LARGER SHALL BE PRESSURE CLASS 350 DIP WATER PIPE CONFORMING TO ALL STATE AND LOCAL STANDARDS.
2. WATER MAIN FITTINGS 6" AND LARGER SHALL BE DUCTILE IRON CONFORMING TO AWWA/ANSI STANDARD SPECIFICATIONS C153/A21.5.3, LATEST REVISION.
3. 2" WATER MAINS SHALL BE SDR-21 (PRE20) OR SDR-14.
4. ALL WATER SERVICE LINES CONNECTING TO 2" PVC MAINS SHALL BE 1" TYPE "C" COPPER. ALL WATER SERVICE LINES FROM MAIN TO METER SHALL BE TYPE "C" COPPER WITH FLECH ENDOS.
5. MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL WATER LINE BENDS, OFFSETS, TEES, PLUGS, ETC.
6. ALL WATER LINE GATE VALVES OTHER THAN AIR RELEASE VALVES AND TAPPING VALVES SHALL BE CAST IRON BODY, FULLY BRONZE MOUNTED, WITH RESILIENT SEAT AND NON-REISING STEM AND SHALL BE MANUFACTURED BY W & H VALVE COMPANY, DAINING VALVE AND MANUFACTURING COMPANY, KENNEDY VALVE COMPANY, OR MUELLER COMPANY.
7. FLUSH HYDRANTS SHALL BE PLACED AT THE ENDS OF ALL WATER MAINS AND AT ANY HIGH POINTS IN THE LINE.
8. AIR RELEASE VALVES SHALL BE PROVIDED AT ALL HIGH POINTS OF WATER MAINS AND SHALL BE VAL-MATIC BRAND AND SHALL INCORPORATE THE OPTIONAL VACUUM-CHECK FEATURE.
9. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY KENNEDY GUARDIAN OR MUELLER CORPORATION.
10. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
11. WATER AND SANITARY SEWER MAINS SHALL HAVE A MINIMUM COVER OF 4'-0" ABOVE TOP OF PIPE.
12. ALL SPRINKLER, DOMESTIC, AND SANITARY LEADS TO THE BUILDING SHALL END AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
13. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18').
14. GRAVITY SANITARY SEWER PIPE 6" TO 15" SHALL BE CONSTRUCTED OF SDR-35 PVC.
15. THE UPSTREAM END OF ALL SANITARY SEWER LATERALS SHALL BE CLEARLY MARKED WITH A 4x4 TREATED POST EXTENDING 3' BELOW GRADE AND 1' ABOVE GRADE.
16. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
17. SEE SITE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS.
18. SITE CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
19. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
20. ALL CATCH BASIN GRATE AND FRAMES ARE TO BE BY EAST JORDAN IRON WORKS.
21. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
22. BUILDING CONTRACTOR SHALL PROVIDE & INSTALL A PERMANENT INDICATING VALVE 12" ABOVE THE FLOOR ON THE FIRE LINE AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST & WILL REMAIN AS PART OF THE SYSTEM ONCE ALL TESTING IS COMPLETED. THE FIRE LINE MAIN WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE FIRE MAIN WITH THE BUILDING CONTRACTOR.
23. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT TOM AXSON AT (812)349-3633 TO SCHEDULE THE MEETING.
24. CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CSU INSPECTOR WILL HAVE NOTICE 30 WORK CAN BE INSPECTED, DOCUMENTED, AND PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS WEEKENDS, A CSU DESIGNATED HOLIDAY, OR BEYOND NORMAL CSU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME FOR CSU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812)349-3660.

### GRADING NOTES

1. NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDED OR PLANTED.
2. AREAS OUTSIDE OF THE PAVING LOT PERMITS SHALL BE SEEDED OR PLANTED SHALL RECEIVE 6" OF TOPSOIL. THIS TOPSOIL IS TO BE PLACED AND LEVELLED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING, OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH OPERATION OF OR RELOCATION OF THE FACILITY.
4. AREAS NOT COVERED BY BUILDING OR PAVING ARE TO BE VEGETATED (SEEDED OR PER LANDSCAPE PLAN).
5. UNDESIRABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY CONTRACTOR.
6. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
7. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STATE OUT AND MARK THE LINES ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNLESS SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
8. CONTRACTOR SHALL COMPACT AND MAINTAIN A 30,000 SQ. FT. STONEBASE CONSTRUCTION LAVOIR AREA W/ STONE ACCESS FROM THE CONSTRUCTION ENTRANCE AND STONE ACCESS TO THE BUILDING FLOOR.
9. THESE DOCUMENTS ARE SCHEMATIC IN NATURE AND CANNOT SHOW EVERY ITEM NEEDED FOR A COMPLETE OPERATIONAL STORM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE OPERATIONAL STORM SYSTEM.
10. ALL FILL SHALL BE FREE OF VEGETABLE MATTER, RUBBER, LARGE ROCK, AND OTHER ELONGATED MATERIAL. THE FILL MATERIAL SHOULD BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN LOOSE THICKNESS AND SHOULD BE SPRINKLED WITH WATER AS REQUIRED TO SECURE SPECIFIED COMPACTION. MATERIAL CONTAINING AN EXCESS OF WATER SHOULD BE SPREAD AND DRIED TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION. ALL FILL SHOULD BE COMPACTED TO THE SPECIFIED PERCENTAGE OF THE MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM DENSITY TEST D-698 (95 PERCENT OF MAXIMUM DENSITY). IF THE SPECIFIED COMPACTION LIMITS ARE NOT MET, SUCH AREAS SHOULD BE REWORKED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED LIMITS ARE REACHED.

### LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL ARRIVE ONSITE IN A HEALTHY, WOODED CONDITION AND BE FREE OF PESTS AND DISEASE.
2. ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES SHALL BE STRAIGHT-TUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL TREES SHALL BE CUTTED OR STAKED PLUMB AS SHOWN IN THE DETAILS.
5. ALL PLANTING MASS BEGS SHALL BE SPADE CUT UNLESS SPECIFIED WITH A MOW STRIP OR OTHER INSTALL EDGING. TREES TO HAVE A 5" DIAMETER MULCH RING.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED WHERE SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND SPECIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING AND LAWN AREAS INCLUDING, BUT NOT LIMITED TO, WATERING, SPRINKLING, MOWING, PRUNING, FERTILIZING, ETC. UNTIL WORK IS ACCEPTED IN FULL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE OWNER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUE AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST OR DRIP IRRIGATION SYSTEM PRIOR TO INSTALLATION. WATER ALL SPECIMENS WITHIN 24 HOURS OF PLANTING.
13. ANY NEW OR TRANSPLANTED PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEQUALIFIES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUNDCOVER, ANNUAL AND HERBACEOUS PERENNIAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. DURING THE GROWING SEASON ALL ANNUALS AND HERBACEOUS PERENNIALS SHALL REMAIN IN A HEALTHY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN ON PLANS.
18. ALL DISTURBED AREAS NOT INCLUDED IN LANDSCAPE MULCH BEDS ARE TO BE DEEPSH-DRAINED AND FINISHED ACCORDING TO NEEDS. THEN MULCH SEEDED (OR SOODED, PER PLAN) AND WATERED UNTIL A HEALTHY STAND OF TURF IS ESTABLISHED.
20. ANY PLANT OR OTHER LANDSCAPE MATERIAL SUBSTITUTIONS INSTALLED WITHOUT DESIGNER AND/OR OWNER APPROVAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

NOTE: ONLY NOTES ON THIS SHEET MARKED WITH AN [X] APPLY TO THIS PROJECT.

### NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE	1
CIVIL ENGINEERING	1
PLANNING	1

Blomington, Indiana  
(812) 339-2990 (Pbx)

528 North Walnut Street  
(812) 332-8030

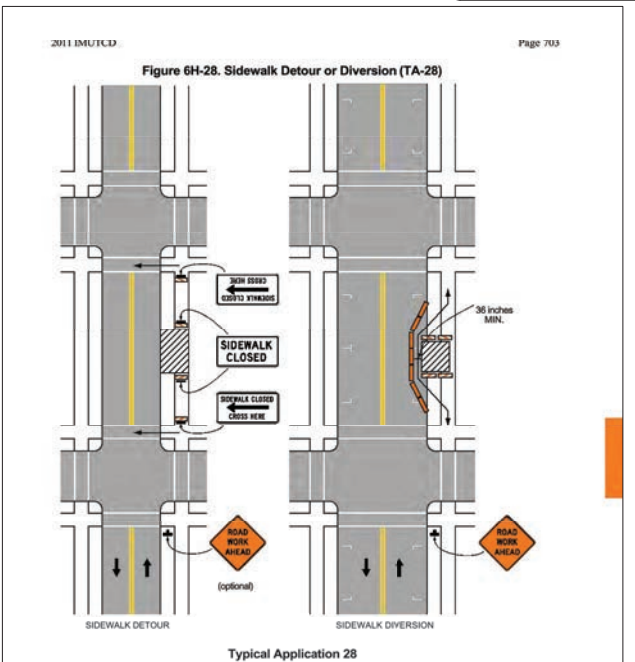
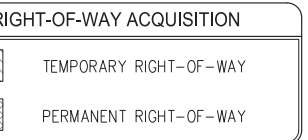
PROPOSED  
No. 18283  
STATE OF INDIANA  
Professional Engineer  
certified by [Signature]

### OWNER CONTACT INFORMATION

DEVELOPER: CITY OF BLOOMINGTON, 401 N. MORTON ST. BLOOMINGTON, IN CONTACT: PATRICK DERKES (812)-318-2507

### GENERAL NOTES

1. BOUNDARY AND TOPO BY BNYM FANTO AND ASSOCIATES, 528 NORTH WALNUT STREET, BLOOMINGTON, INDIANA 47404. PHONE (812) 332-8030
2. DEVELOPER: CITY OF BLOOMINGTON
3. PROJECT ADDRESS: N ADAMS ST. BLOOMINGTON, IN 47404
4. ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
5. ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. HYDRANT LOCATION SHALL BE APPROVED BY THE LOCAL FIRE MARSHALL.
7. EXISTING UTILITIES ON SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION.
8. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.



Note: See Tables 6H-2 and 6H-3 for the meaning of the symbols and/or letter codes used in this figure.

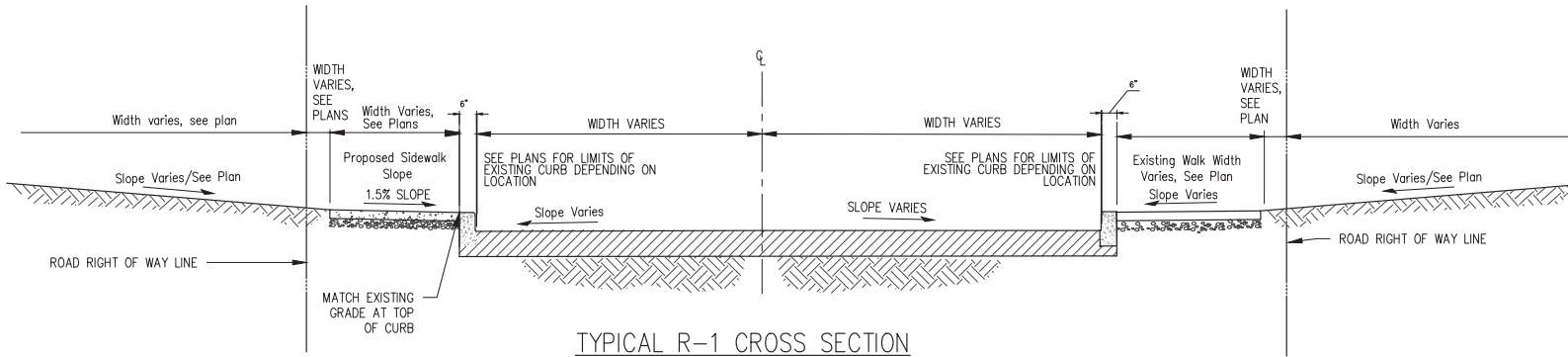
### MAINTENANCE OF TRAFFIC

REFER TO 2011 INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES WITH REVISIONS 1 & 2 & 3 FOR ADDITIONAL DETAILS.

November 2011  
Sect. 6H(8)

PROPOSED  
ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION OF W. 8TH ST. AND W. FOUNTAIN DR.

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C101  
project no: 402101



TYPICAL R-1 CROSS SECTION

revisions:

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

Bloomington, Indiana  
(812) 338-2886 (Fax)

**BEB**  
BYNUM FAYO & ASSOCIATES, INC.  
528 North Walnut Street  
(812) 332-8030

WALTER S. FAYO  
No. 18283  
STATE OF INDIANA  
PROFESSIONAL ENGINEER

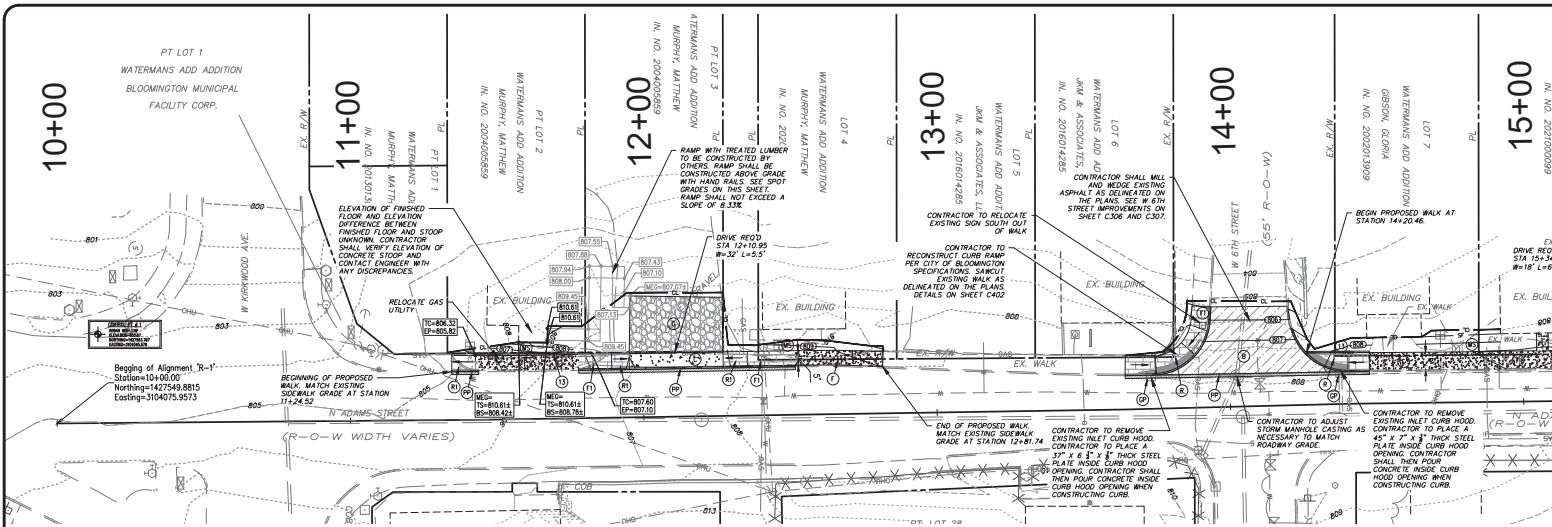
certified by *[Signature]*

PROPOSED  
ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1 TYPICAL CROSS SECTION

**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C201  
project no.: 402101



### SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(B)	PROPOSED ROAD ASPHALT SURFACE	
(C)	PROPOSED DRIVEWAY CONCRETE PAVING	
(D)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(E)	PROPOSED MONOLITHIC CURB AND WALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(F)	PROPOSED CONCRETE PAVO OR SIDEWALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(G)	PROPOSED DRIVEWAY RECONSTRUCTION. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(H)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(I)	PROPOSED HOOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(J)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "A" - REFER TO DETAIL	
(K)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "B" - REFER TO DETAIL	
(L)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(M)	MALCH SEEDING - REFER TO DETAIL	
(N)	CURB INLET PROTECTION - REFER TO DETAIL	

EXISTING CONTOUR  
PROPOSED CONTOUR  
TEMPORARY SET FENCE - REFER TO DETAIL  
CONSTRUCTION LIMITS  
PROPOSED SPOT GRADE ELEVATION

FINISH EDGE OF PAVEMENT AT GRADE  
MATCH THE EXISTING CONDITIONS, GRADES ELEVATION AND SLOPES. VERIFY THE EXISTENCE OF ANY DISCONTINUITIES

ELEVATION AT TOP OF WALL  
ELEVATION AT TOP OF SToop  
ELEVATION AT BOTTOM OF SToop

revisions:

ARCHITECTURE	PLANNING
CIVIL ENGINEERING	PLANNING
MECHANICAL ENGINEERING	PLANNING
ELECTRICAL ENGINEERING	PLANNING
PLUMBING	PLANNING
MECHANICAL ENGINEERING	PLANNING
ELECTRICAL ENGINEERING	PLANNING
PLUMBING	PLANNING

BY: NUNUM FANTYO & ASSOCIATES, INC.  
528 North Walnut Street  
Bloomington, Indiana  
(812) 339-2890 (Fax)

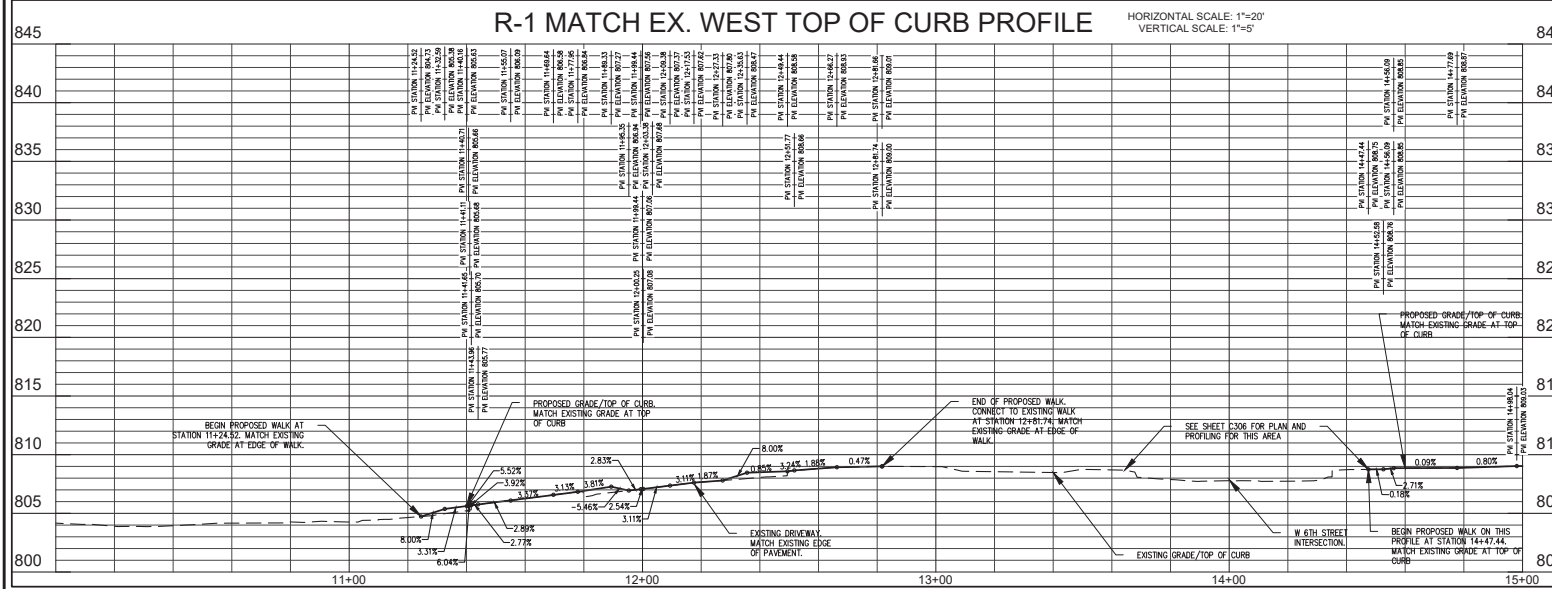


### EXISTING LEGEND

EXISTING FENCE	
EXISTING WATER LINE	
EXISTING OVERHEAD UTILITY LINES	
EXISTING UNDERGROUND ELECTRIC LINES	
EXISTING UNDERGROUND TELEPHONE LINES	
EXISTING UNDERGROUND FIBER OPTIC LINES	
EXISTING GAS LINE	
EXISTING SANITARY FORCEMAIN	
EXISTING CONTOUR	
FLOW LINE	
EXISTING SANITARY SEWER AND MANHOLE	
EXISTING STORM SEWER AND INLET	
PROPERTY LINE	

certified by:

18283  
STATE OF INDIANA  
PROFESSIONAL ENGINEER



### NOTE TO CONTRACTOR

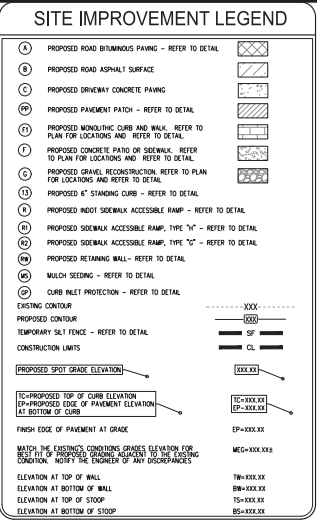
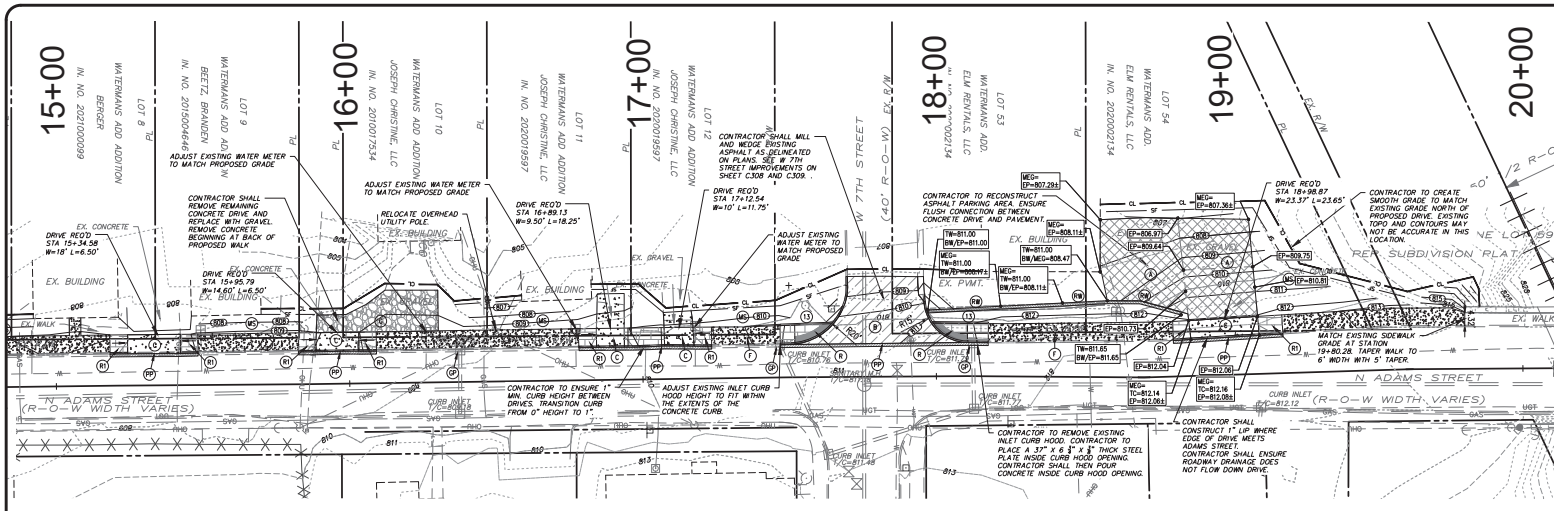
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PROPOSED  
ADAMS STREET SIDEWALK

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FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
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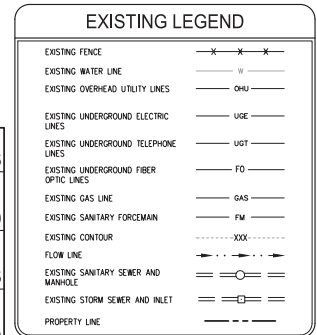
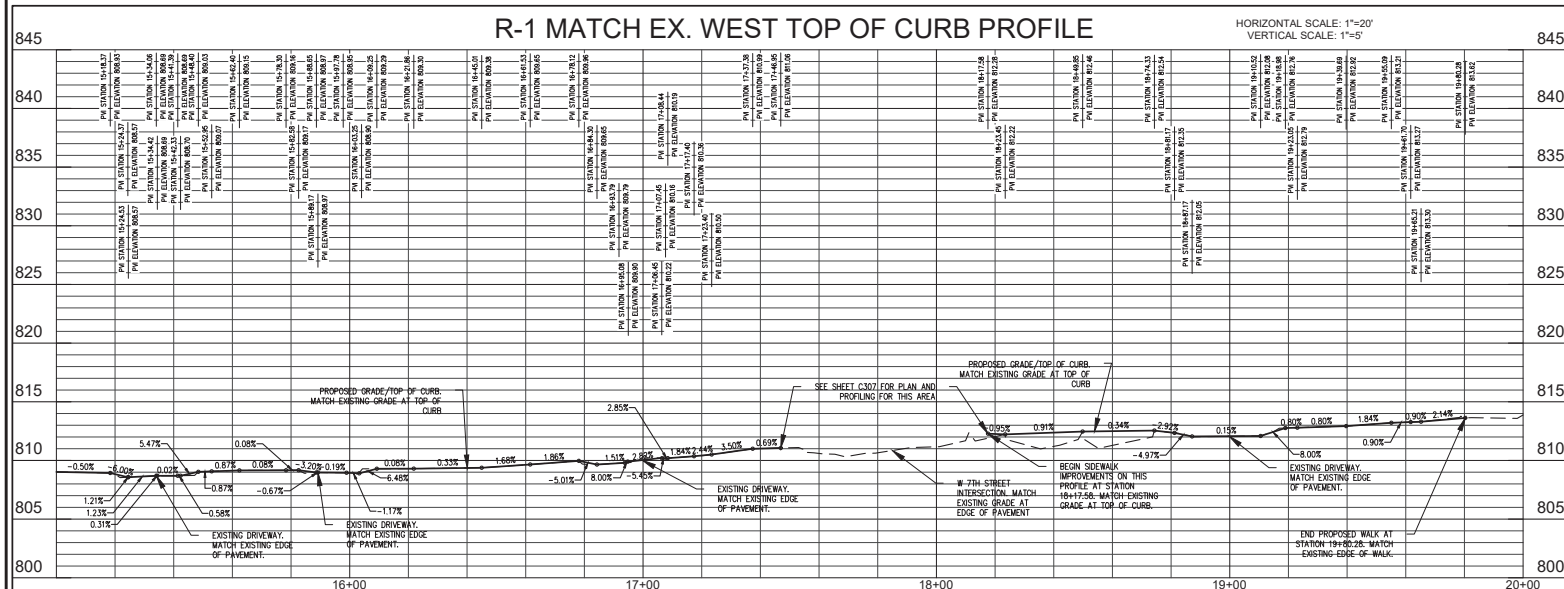
title: R-1 PLAN AND PROFILE

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C301  
project no: 402101



revisions:

ARCHITECTURE	PLANNING
CIVIL ENGINEERING	PLANNING
MECHANICAL ENGINEERING	PLANNING
ELECTRICAL ENGINEERING	PLANNING
ENVIRONMENTAL ENGINEERING	PLANNING
INDUSTRIAL ENGINEERING	PLANNING
INSTRUMENTATION ENGINEERING	PLANNING
MANUFACTURING ENGINEERING	PLANNING
MATERIALS ENGINEERING	PLANNING
METALLURGICAL ENGINEERING	PLANNING
MILITARY ENGINEERING	PLANNING
NAVIGATION ENGINEERING	PLANNING
NUCLEAR ENGINEERING	PLANNING
POWER ENGINEERING	PLANNING
SAFETY ENGINEERING	PLANNING
STRUCTURAL ENGINEERING	PLANNING
TELECOMMUNICATIONS ENGINEERING	PLANNING
TRANSPORTATION ENGINEERING	PLANNING
WATER RESOURCES ENGINEERING	PLANNING
WIND ENGINEERING	PLANNING



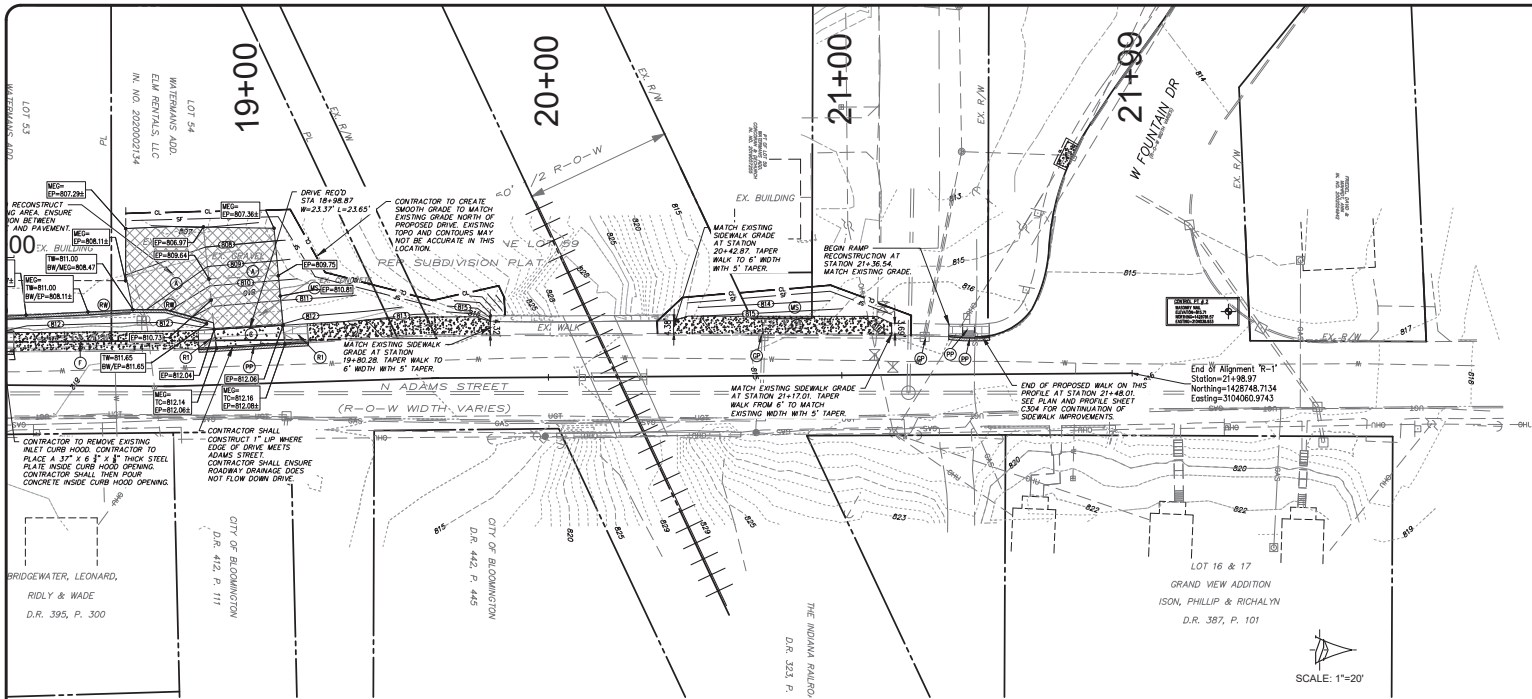
**BE&K**  
BYNUM FANTY & ASSOCIATES, INC.  
528 North Walnut Street  
(812) 332-8030

**LEWIS & CLARK**  
No. 18283  
STATE OF INDIANA  
Professional Engineer  
certified by *[Signature]*

### NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C302  
project no: 402101



### SITE IMPROVEMENT LEGEND

- (A) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
- (B) PROPOSED ROAD ASPHALT SURFACE
- (C) PROPOSED DRIVEWAY CONCRETE PAVING
- (D) PROPOSED PAVEMENT PATCH - REFER TO DETAIL
- (E) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- (F) PROPOSED CONCRETE PAVID OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- (G) PROPOSED DRIVEWAY RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- (H) PROPOSED 4" STANDING CURB - REFER TO DETAIL
- (I) PROPOSED ROOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
- (J) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "A" - REFER TO DETAIL
- (K) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
- (L) PROPOSED RETAINING WALL - REFER TO DETAIL
- (M) MALCH SEEDING - REFER TO DETAIL
- (N) CURB INLET PROTECTION - REFER TO DETAIL

EXISTING CONTOUR  
 PROPOSED CONTOUR  
 TURNBACK 3/4 FENCE - REFER TO DETAIL

CONSTRUCTION LIMITS

PROPOSED SPOT GRADE ELEVATION

10'-PROPOSED TOP OF CURB ELEVATION  
 EP-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB

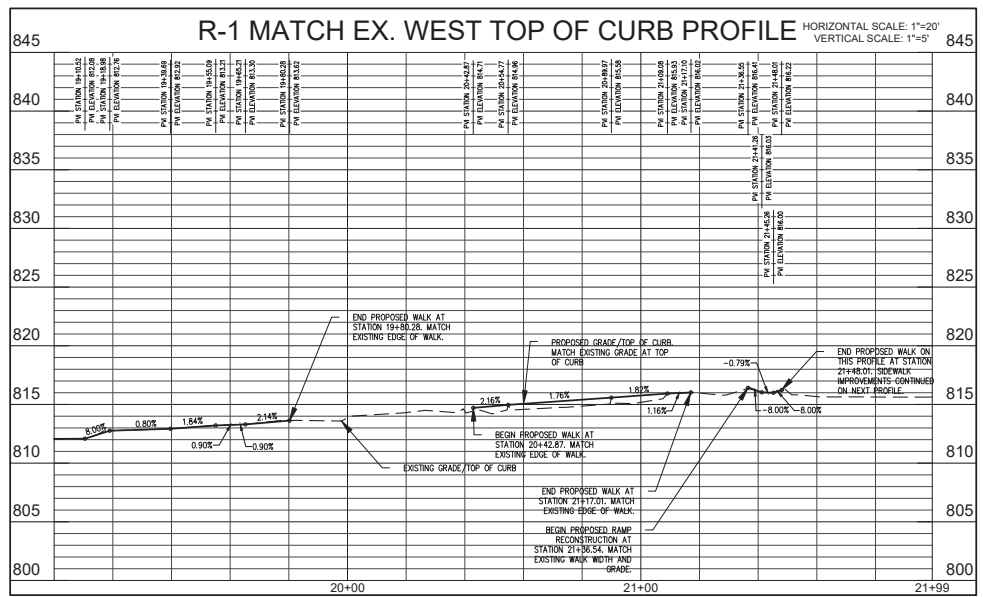
THRESH EDGE OF PAVEMENT AT GRADE

NOTE: THE EXISTING CONDITIONS GRADES ELEVATION FOR SIDEWALK AND DRIVEWAY ARE SHOWN FOR THE EXISTING EX OF ANY DISCREPANCIES

78'-XXXX.XX  
 79'-XXXX.XX  
 80'-XXXX.XX  
 81'-XXXX.XX  
 82'-XXXX.XX  
 83'-XXXX.XX  
 84'-XXXX.XX  
 85'-XXXX.XX

### EXISTING LEGEND

- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE



### NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING

BY: NUM FANTO & ASSOCIATES, INC.  
 528 North Walnut Street  
 Bloomington, Indiana  
 (812) 336-2800 (Fax)

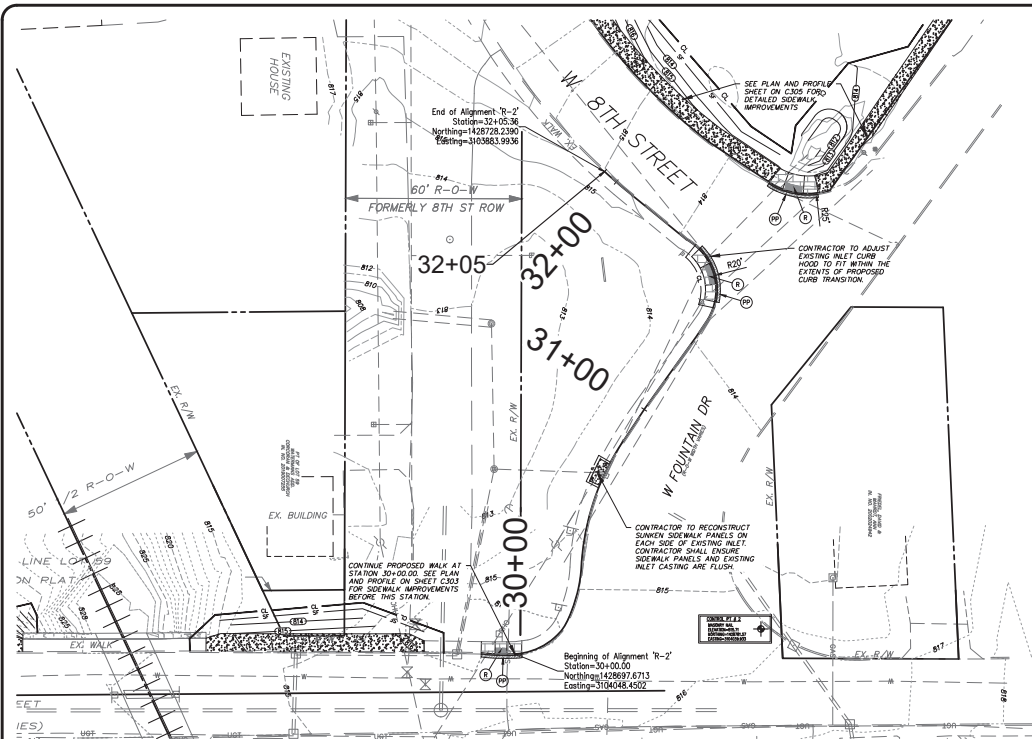
18283  
 STATE OF INDIANA  
 PROFESSIONAL ENGINEER

certified by: [Signature]

PROPOSED  
 ADAMS STREET SIDEWALK  
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1 PLAN AND PROFILE

designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C303  
 project no: 402101



### SITE IMPROVEMENT LEGEND

- ① PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
- ② PROPOSED ROAD ASPHALT SURFACE
- ③ PROPOSED DRIVEWAY CONCRETE PAVING
- ④ PROPOSED PAVEMENT PATCH - REFER TO DETAIL
- ⑤ PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- ⑥ PROPOSED CONCRETE PAVING OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- ⑦ PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- ⑧ PROPOSED 4" STANDING CURB - REFER TO DETAIL
- ⑨ PROPOSED INDOOR SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
- ⑩ PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "H" - REFER TO DETAIL
- ⑪ PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "G" - REFER TO DETAIL
- ⑫ PROPOSED RETAINING WALL - REFER TO DETAIL
- ⑬ WALSH SEEDING - REFER TO DETAIL
- ⑭ CURB INLET PROTECTION - REFER TO DETAIL

EXISTING CONTOUR: -XXX-

PROPOSED CONTOUR: -000-

TEMPORARY SILT FENCE - REFER TO DETAIL: -SF-

CONSTRUCTION LIMITS: -CL-

PROPOSED SPOT GRADE ELEVATION: (XXX.X)

TC-PROPOSED TOP OF CURB ELEVATION (E)-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB

FINISH EDGE OF PAVEMENT AT GRADE: EP-XXXX

MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR EXISTING UTILITIES IN LOCATION OR ELEVATION OR ANY DISCREPANCIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

ELEVATION AT TOP OF WALL: TW-XXXX

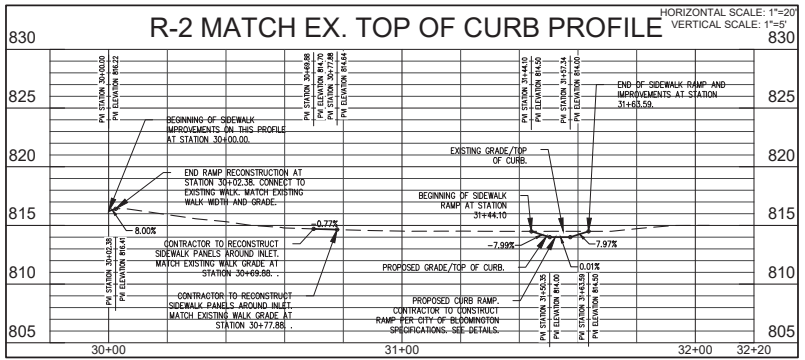
ELEVATION AT BOTTOM OF WALL: BB-XXXX

ELEVATION AT TOP OF SToop: TS-XXXX

ELEVATION AT BOTTOM OF SToop: BS-XXXX

### EXISTING LEGEND

- EXISTING FENCE: -X-X-X-
- EXISTING WATER LINE: -W-
- EXISTING OVERHEAD UTILITY LINES: -OHU-
- EXISTING UNDERGROUND ELECTRIC LINES: -UGL-
- EXISTING UNDERGROUND TELEPHONE LINES: -UGT-
- EXISTING UNDERGROUND FIBER OPTIC LINES: -FO-
- EXISTING GAS LINE: -GAS-
- EXISTING SANITARY FORCEMAIN: -FM-
- EXISTING CONTOUR: -XXX-
- FLOW LINE: ->>>-
- EXISTING SANITARY SEWER AND MANHOLE: -S-S-
- EXISTING STORM SEWER AND INLET: -S-S-
- PROPERTY LINE: - - - - -



### NOTE TO CONTRACTOR

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revisions:

ARCHITECTURE: CIVIL ENGINEERING: PLANNING:

BYNUM FANTO & ASSOCIATES, INC.  
Bloomington, Indiana  
(812) 339-2980 (Fax)

1528 North Walnut Street  
(812) 332-8030

STATE OF INDIANA PROFESSIONAL ENGINEER No. 18283

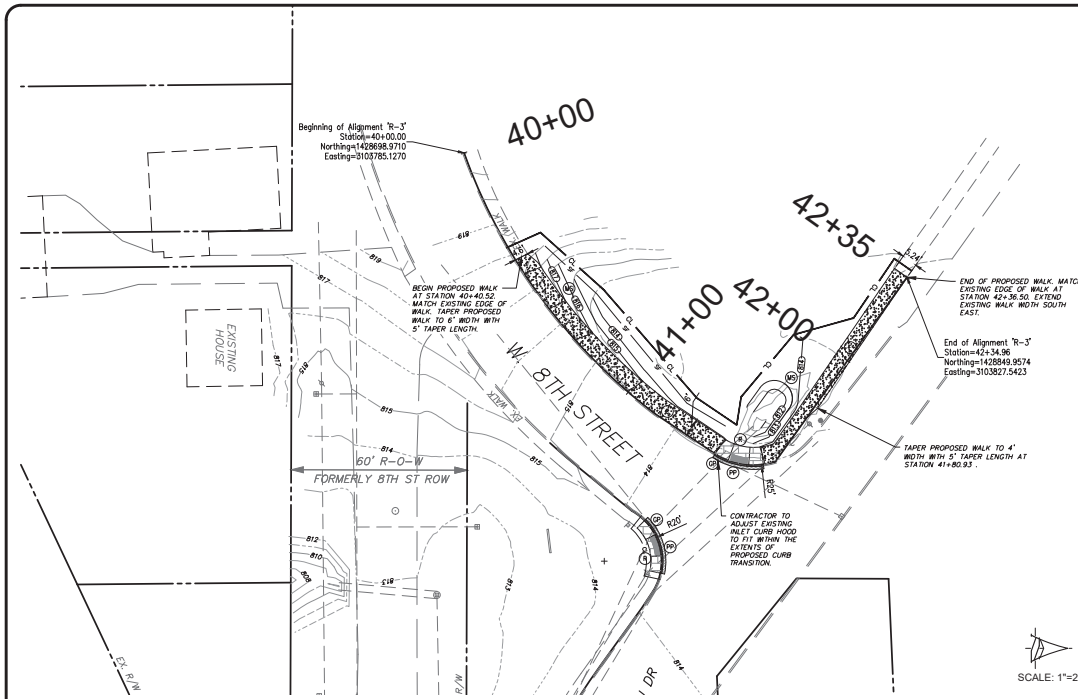
certified by:

PROPOSED ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-2 PLAN AND PROFILE

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C304  
project no: 402101





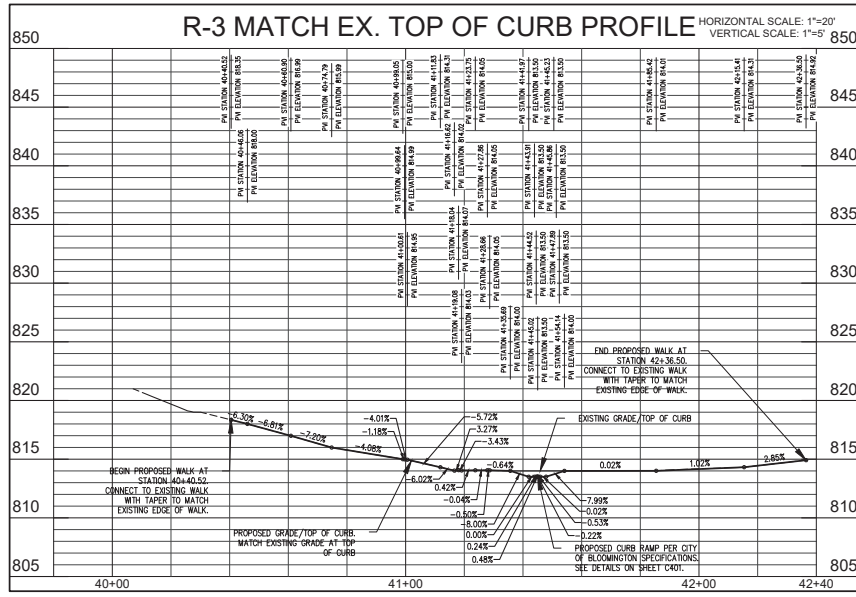
SCALE: 1"=20'

**SITE IMPROVEMENT LEGEND**

- (1) PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
- (2) PROPOSED ROAD ASPHALT SURFACE
- (3) PROPOSED DRIVEWAY CONCRETE PAVING
- (4) PROPOSED PAVEMENT PATCH - REFER TO DETAIL
- (5) PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.
- (6) PROPOSED CONCRETE PAVED DR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.
- (7) PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.
- (8) PROPOSED 6" STANDING CURB - REFER TO DETAIL
- (9) PROPOSED WOOD SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
- (10) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL
- (11) PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
- (12) PROPOSED RETAINING WALL - REFER TO DETAIL
- (13) MATCH SEEDING - REFER TO DETAIL
- (14) CURB INLET PROTECTION - REFER TO DETAIL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TEMPORARY SALT FENCE - REFER TO DETAIL
- CONSTRUCTION LIMITS
- PROPOSED SPOT GRADE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB
- FINISH EDGE OF PAVEMENT AT GRADE
- MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES
- ELEVATION AT TOP OF WALL
- ELEVATION AT BOTTOM OF WALL
- ELEVATION AT TOP OF STOOP
- ELEVATION AT BOTTOM OF STOOP

**EXISTING LEGEND**

- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE



**NOTE TO CONTRACTOR**  
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revisions:

ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING

Bloomington, Indiana  
 (812) 336-2860 (Fax)

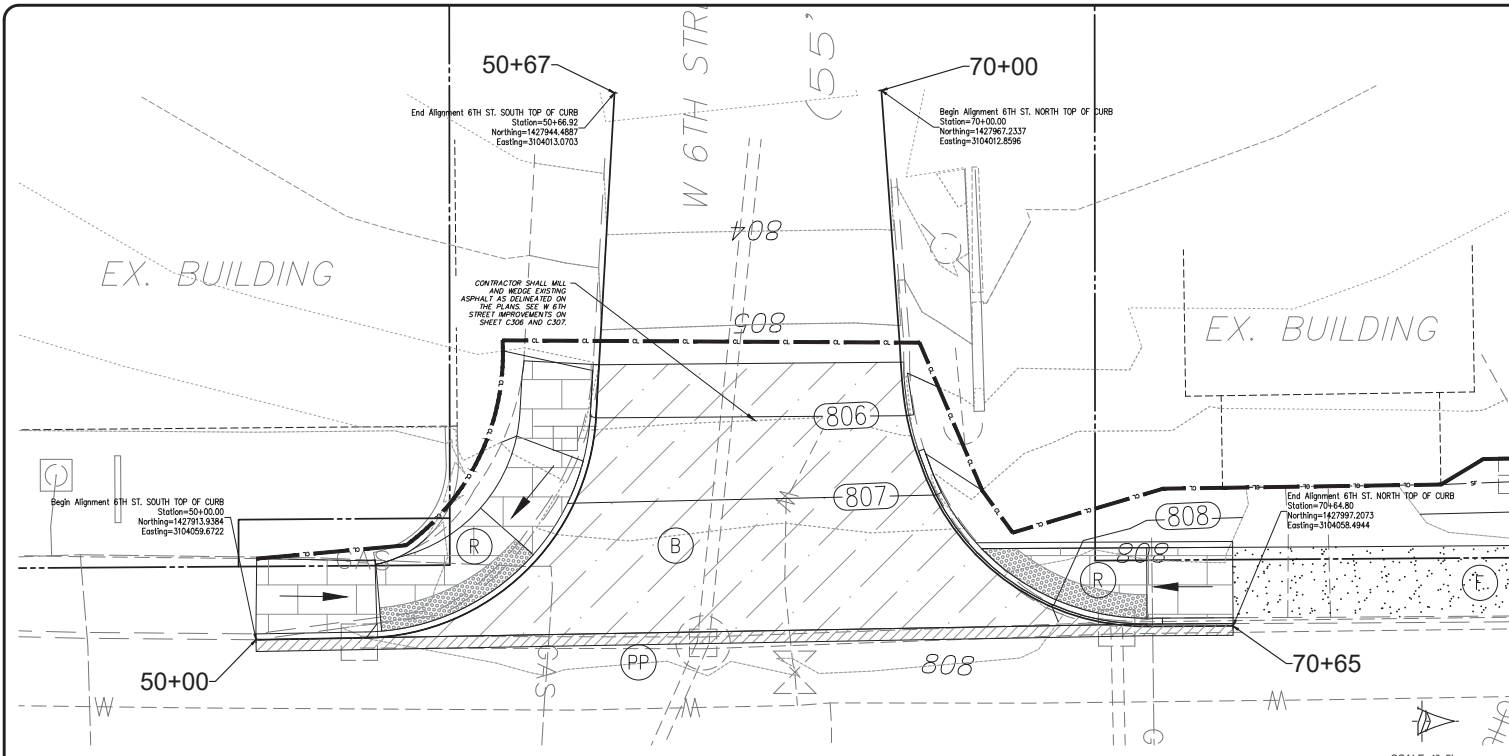
**BE&K**  
 BYNUM FANTO & ASSOCIATES, INC.  
 628 North Walnut Street  
 (812) 332-8030

Professional Engineer  
 No. 18283  
 STATE OF INDIANA  
 03/20/21

certified by *[Signature]*

**PROPOSED**  
**ADAMS STREET SIDEWALK**  
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-3 PLAN AND PROFILE  
 designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C305  
 project no: 402101



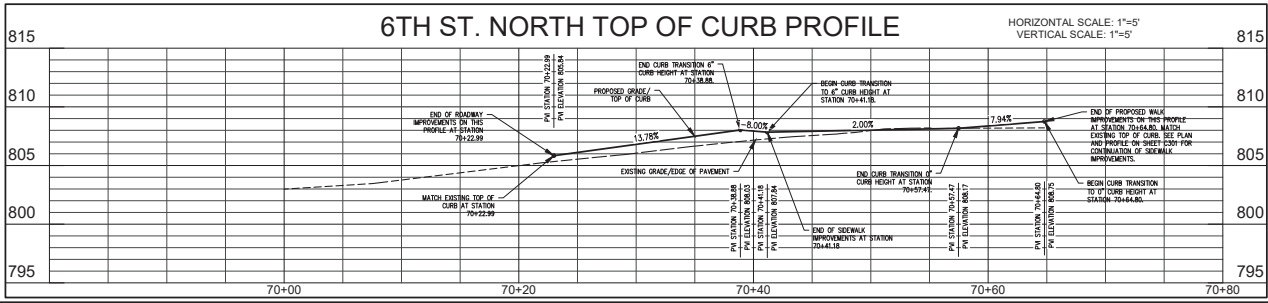
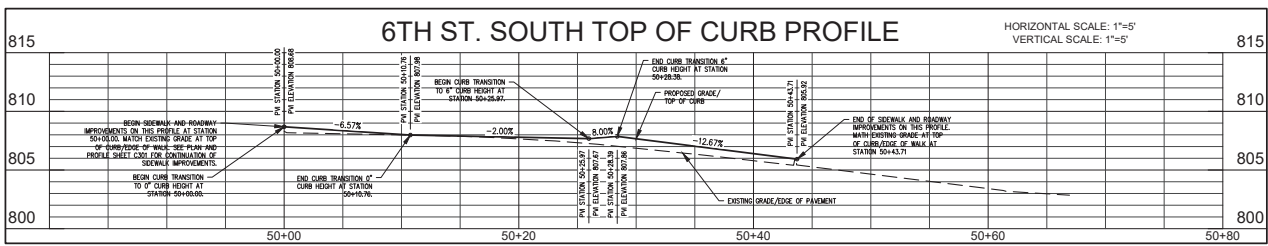
### SITE IMPROVEMENT LEGEND

(1)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(2)	PROPOSED ROAD ASPHALT SURFACE	
(3)	PROPOSED DRIVEWAY CONCRETE PAVING	
(4)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(5)	PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(6)	PROPOSED CONCRETE PAVED OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(7)	PROPOSED GRAVEL RECONSTRUCTION - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL	
(8)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(9)	PROPOSED WOOD SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(10)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL	
(11)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL	
(12)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(13)	MULCH BEDDING - REFER TO DETAIL	
(14)	CURB INLET PROTECTION - REFER TO DETAIL	

EXISTING CONTOUR: XXXX  
 PROPOSED CONTOUR: 000  
 TEMPORARY SALT FENCE - REFER TO DETAIL: SF  
 CONSTRUCTION LIMITS: CL  
 PROPOSED SPOT GRADE ELEVATION: XXX.XX  
 EXISTING TOP OF CURB ELEVATION: EX-XXX.XX  
 EXISTING EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB: EP-XXX.XX  
 FINISH EDGE OF PAVEMENT AT GRADE: EP+XXX.XX  
 MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR CONDITION, NOTIFY THE ENGINEER OF ANY DISCREPANCIES:  
 ELEVATION AT TOP OF WALL: 78-XXX.XX  
 ELEVATION AT BOTTOM OF WALL: 88-XXX.XX  
 ELEVATION AT TOP OF STOOP: 85-XXX.XX  
 ELEVATION AT BOTTOM OF STOOP: 85-XXX.XX

### EXISTING LEGEND

EXISTING FENCE	— X — X — X —
EXISTING WATER LINE	— W —
EXISTING OVERHEAD UTILITY LINES	OHU
EXISTING UNDERGROUND ELECTRIC LINES	UGT
EXISTING UNDERGROUND TELEPHONE LINES	FO
EXISTING UNDERGROUND FIBER OPTIC LINES	FO
EXISTING GAS LINE	GAS
EXISTING SANITARY FORCEMAIN	FM
EXISTING CONTOUR	--- XXX ---
FLOW LINE	—>—>—>
EXISTING SANITARY SEWER AND MANHOLE	— S —
EXISTING STORM SEWER AND INLET	— SI —
PROPERTY LINE	— P —



### NOTE TO CONTRACTOR

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revisions:

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

Bloomington, Indiana  
(812) 338-2880 (Fax)

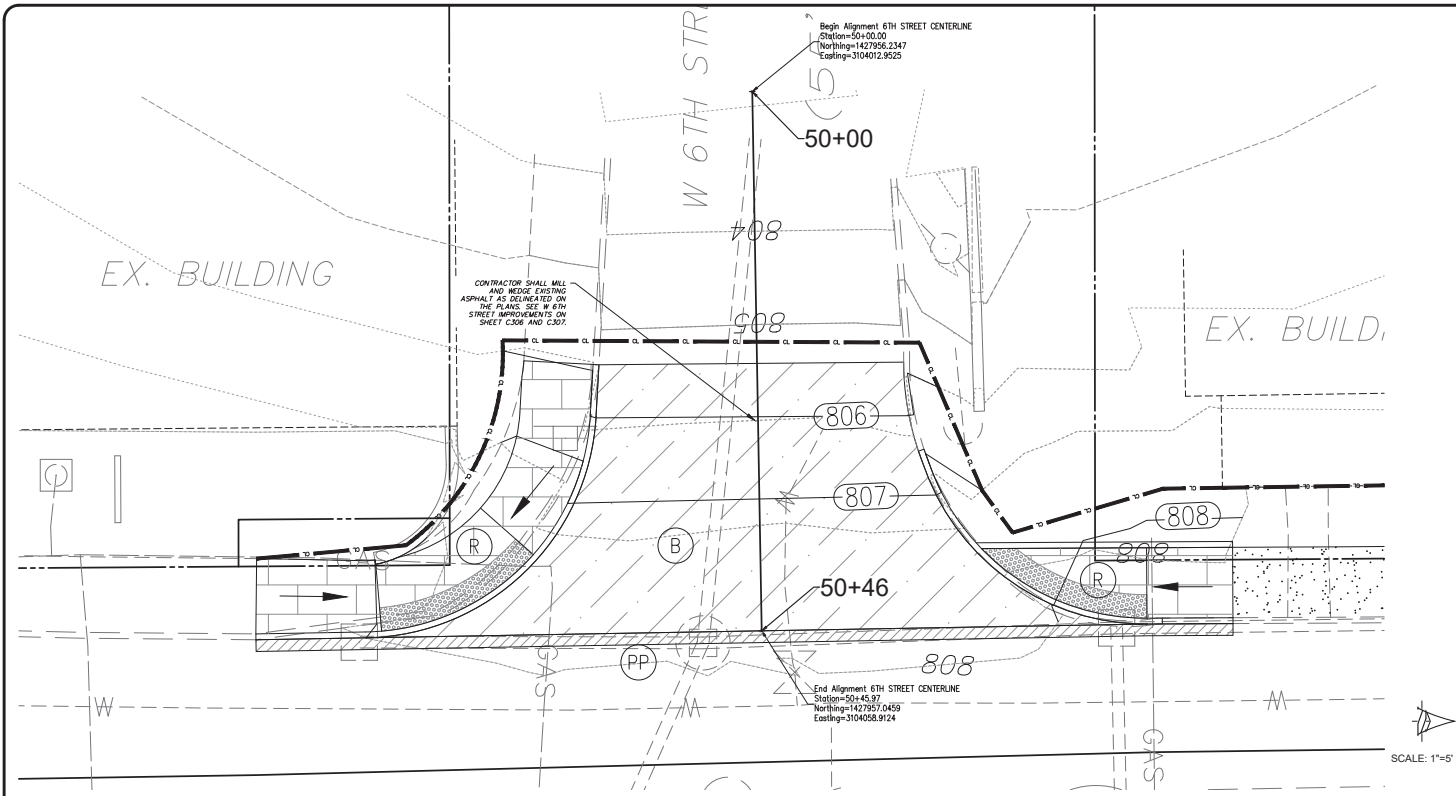
BYNUM FAYO & ASSOCIATES, INC.  
528 North Walnut Street  
(812) 332-8030

Professional Engineer  
No. 18283  
STATE OF INDIANA  
03/23/21  
certified by: *[Signature]*

PROPOSED  
ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 6TH STREET  
INTERSECTION  
PLAN AND PROFILE

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C306  
project no: 402101

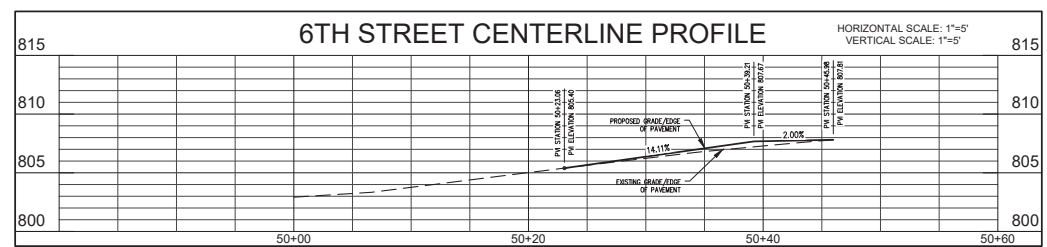


### SITE IMPROVEMENT LEGEND

(A)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL	
(B)	PROPOSED ROAD ASPHALT SURFACE	
(C)	PROPOSED DRIVEWAY CONCRETE PAVING	
(PP)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL	
(R)	PROPOSED MONOLITHIC CURB AND WALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.	
(T)	PROPOSED CONCRETE PAVED OR SIDEWALK. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.	
(G)	PROPOSED GRAVEL RECONSTRUCTION. REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL.	
(S)	PROPOSED 6" STANDING CURB - REFER TO DETAIL	
(A)	PROPOSED WOOD SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL	
(R)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "V" - REFER TO DETAIL	
(C)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL	
(M)	PROPOSED RETAINING WALL - REFER TO DETAIL	
(M)	MULCH SEEDING - REFER TO DETAIL	
(C)	CURB INLET PROTECTION - REFER TO DETAIL	
(C)	EXISTING CONTOUR	
(C)	PROPOSED CONTOUR	
(C)	TEMPORARY SALT FENCE - REFER TO DETAIL	
(C)	CONSTRUCTION LIMITS	
(C)	PROPOSED SPOT GRADE ELEVATION	
(C)	TOP-PROPOSED TOP OF CURB ELEVATION	
(C)	TOP-PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	
(C)	FINISH EDGE OF PAVEMENT AT GRADE	
(C)	MATCH THE EXISTING CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES	
(C)	ELEVATION AT TOP OF WALL	
(C)	ELEVATION AT BOTTOM OF WALL	
(C)	ELEVATION AT TOP OF STOOP	
(C)	ELEVATION AT BOTTOM OF STOOP	

### EXISTING LEGEND

(X-X-X)	EXISTING FENCE
(---)	EXISTING WATER LINE
(OHU)	EXISTING OVERHEAD UTILITY LINES
(---)	EXISTING UNDERGROUND ELECTRIC LINES
(---)	EXISTING UNDERGROUND TELEPHONE LINES
(---)	EXISTING UNDERGROUND FIBER OPTIC LINES
(---)	EXISTING GAS LINE
(---)	EXISTING SANITARY FORCEMAIN
(---)	EXISTING CONTOUR
(---)	FLOW LINE
(---)	EXISTING SANITARY SEWER AND MANHOLE
(---)	EXISTING STORM SEWER AND INLET
(---)	PROPERTY LINE



### NOTE TO CONTRACTOR

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revisions:

ARCHITECTURE	PLANNING
CIVIL ENGINEERING	PLANNING

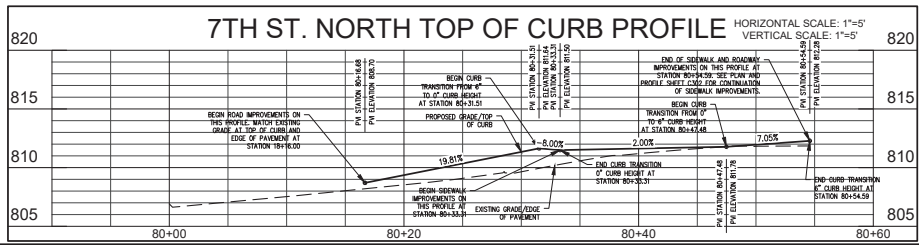
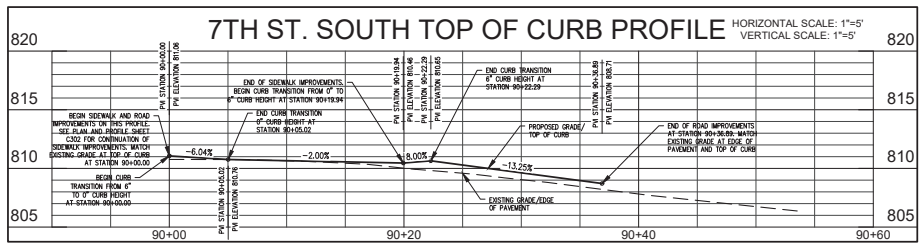
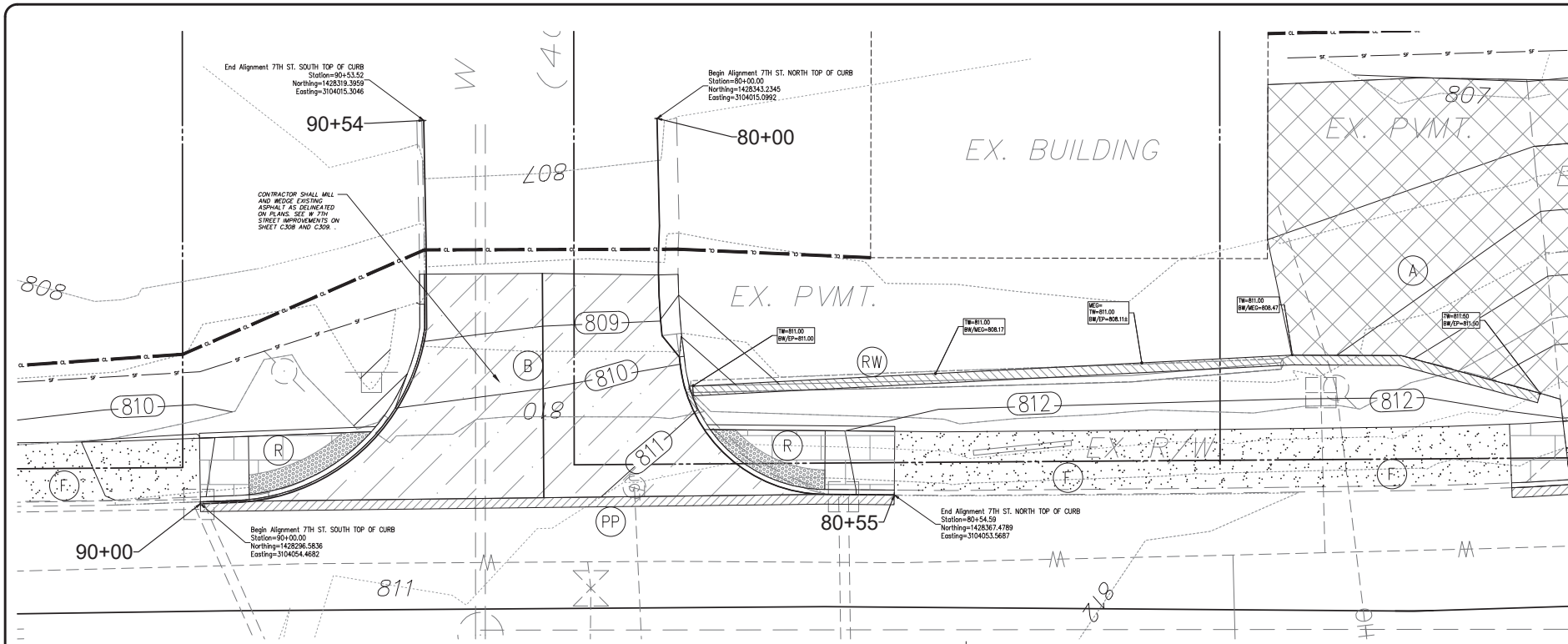
BY NUM FANYO & ASSOCIATES, INC.  
528 North Walnut Street  
Bloomington, Indiana  
(812) 339-2890 (Fax)

certified by:

PROPOSED  
ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 6TH STREET INTERSECTION PLAN AND PROFILE

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C307  
project no: 402101



SCALE: 1"=5'

#### SITE IMPROVEMENT LEGEND

- ⓪ PROPOSED ROAD BIOMIMETIC PAVING - REFER TO DETAIL
- Ⓛ PROPOSED ROAD ASPHALT SURFACE
- Ⓜ PROPOSED DRIVEWAY CONCRETE PAVING
- Ⓝ PROPOSED PAVEMENT PATCH - REFER TO DETAIL
- Ⓟ PROPOSED WOODPLANK CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- Ⓠ PROPOSED GRAVEL RECONSTRUCTION, REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
- Ⓡ PROPOSED 4" STANDING CURB - REFER TO DETAIL
- Ⓢ PROPOSED ROOT SEEWALK ACCESSIBLE RAMP - REFER TO DETAIL
- Ⓣ PROPOSED SEEWALK ACCESSIBLE RAMP, TYPE "M" - REFER TO DETAIL
- Ⓤ PROPOSED SEEWALK ACCESSIBLE RAMP, TYPE "C" - REFER TO DETAIL
- Ⓥ PROPOSED RETAINING WALL - REFER TO DETAIL
- Ⓦ MULCH SEEDING - REFER TO DETAIL
- Ⓧ CURB INLET PROTECTION - REFER TO DETAIL

EXISTING CONTOUR  
PROPOSED CONTOUR  
TEMPORARY SILT FENCE - REFER TO DETAIL  
CONSTRUCTION LIMITS

PROPOSED SPOT GRADE ELEVATION

TC=PROPOSED TOP OF CURB ELEVATION  
EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB  
EP=XXXXXX  
EP=XXXXXX  
MEG=XXXXXXX  
ELEVATION AT TOP OF WALL  
ELEVATION AT BOTTOM OF WALL  
ELEVATION AT TOP OF SLOOP  
ELEVATION AT BOTTOM OF SLOOP

#### EXISTING LEGEND

- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING UNDERGROUND ELECTRIC LINES
- EXISTING UNDERGROUND TELEPHONE LINES
- EXISTING UNDERGROUND FIBER OPTIC LINES
- EXISTING GAS LINE
- EXISTING SANITARY FORCEMAIN
- EXISTING CONTOUR
- FLOW LINE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER AND INLET
- PROPERTY LINE

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revisions:

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

Blomington, Indiana  
(812) 338-2886 (Fax)

BY NUM FANYO & ASSOCIATES, INC.  
528 North Walnut Street  
(812) 332-8030

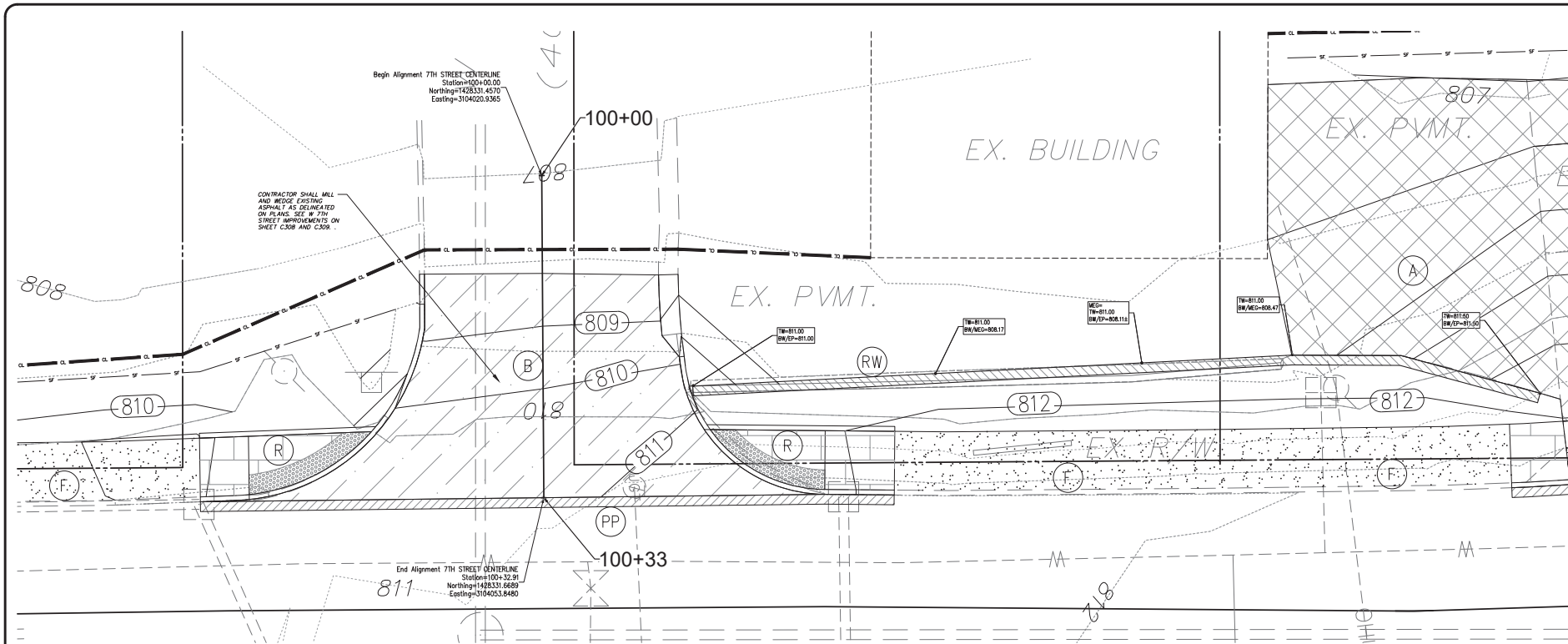
STATE OF INDIANA  
No. 18283  
PROFESSIONAL ENGINEER

certified by: *[Signature]*

PROPOSED  
ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

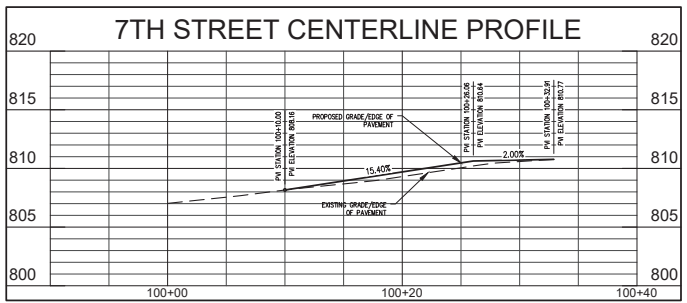
title: 7TH STREET  
INTERSECTION  
PLAN AND PROFILE

designed by: AJW  
drawn by: AJW  
checked by: JBF  
sheet no: C308  
project no: 402101



Begin Alignment 7TH STREET CENTERLINE  
Station=100+00.00  
Northing=1428331.4570  
Easting=3104020.9365

End Alignment 7TH STREET CENTERLINE  
Station=100+32.91  
Northing=1428331.6689  
Easting=3104053.8480



SCALE: 1"=5'

HORIZONTAL SCALE: 1"=5'  
VERTICAL SCALE: 1"=5'

SITE IMPROVEMENT LEGEND	
(A)	PROPOSED ROAD BITUMINOUS PAVING - REFER TO DETAIL
(B)	PROPOSED ROAD ASPHALT SURFACE
(C)	PROPOSED DRIVEWAY CONCRETE PAVING
(PP)	PROPOSED PAVEMENT PATCH - REFER TO DETAIL
(I)	PROPOSED MONOLITHIC CURB AND WALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
(T)	PROPOSED CONCRETE PAVD OR SIDEWALK - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
(G)	PROPOSED GRAVEL RECONSTRUCTION REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL
(S)	PROPOSED 6" STANDING CURB - REFER TO DETAIL
(R)	PROPOSED ADAOT SIDEWALK ACCESSIBLE RAMP - REFER TO DETAIL
(B)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "X" - REFER TO DETAIL
(B)	PROPOSED SIDEWALK ACCESSIBLE RAMP, TYPE "O" - REFER TO DETAIL
(M)	PROPOSED RETAINING WALL - REFER TO DETAIL
(S)	MALCH SEEDING - REFER TO DETAIL
(P)	CURB INLET PROTECTION - REFER TO DETAIL
(C)	EXISTING CONTOUR
(C)	PROPOSED CONTOUR
(SF)	TEMPORARY SILT FENCE - REFER TO DETAIL
(CL)	CONSTRUCTION LIMITS
(XXX.X)	PROPOSED SPOT GRADE ELEVATION
(C)-XXX.XX	PROPOSED TOP OF CURB ELEVATION
(E)-XXX.XX	PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB
(F)-XXX.XX	FINISH EDGE OF PAVEMENT AT GRADE
(M)-XXX.XXX	MEAN EXISTING CONTOUR
(T)-XXX.XX	ELEVATION AT TOP OF WALL
(B)-XXX.XX	ELEVATION AT BOTTOM OF WALL
(S)-XXX.XX	ELEVATION AT TOP OF STOOP
(B)-XXX.XX	ELEVATION AT BOTTOM OF STOOP

EXISTING LEGEND	
(X-X-X-X)	EXISTING FENCE
(---)	EXISTING WATER LINE
(OHU)	EXISTING OVERHEAD UTILITY LINES
(LGE)	EXISTING UNDERGROUND ELECTRIC LINES
(LGT)	EXISTING UNDERGROUND TELEPHONE LINES
(FO)	EXISTING UNDERGROUND FIBER OPTIC LINES
(GAS)	EXISTING GAS LINE
(FM)	EXISTING SANITARY FORCEMAIN
(---XXX---	EXISTING CONTOUR
(---)	FLOW LINE
(---)	EXISTING SANITARY SEWER AND MANHOLE
(---)	EXISTING STORM SEWER AND INLET
(---)	PROPERTY LINE

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FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: 7TH STREET  
INTERSECTION  
PLAN AND PROFILE

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C309  
project no: 402101

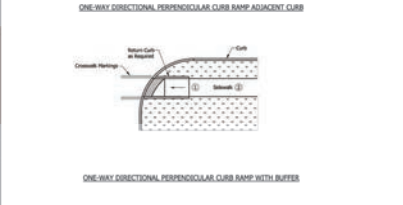
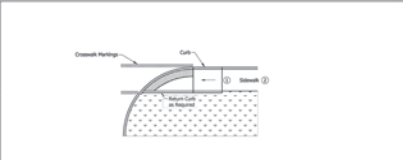
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**GENERAL NOTES**

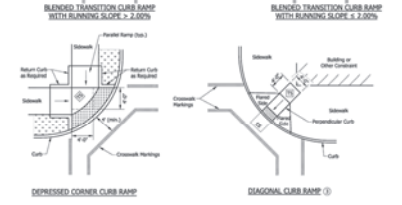
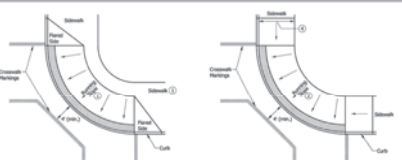
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2. Signs and devices shall be placed on poles or structures so as to be readily visible to the traveling public and so as to be readily visible to the traveling public from the front of the vehicle.
3. Signs and devices shall be placed on poles or structures so as to be readily visible to the traveling public and so as to be readily visible to the traveling public from the front of the vehicle.
4. Signs and devices shall be placed on poles or structures so as to be readily visible to the traveling public and so as to be readily visible to the traveling public from the front of the vehicle.
5. Signs and devices shall be placed on poles or structures so as to be readily visible to the traveling public and so as to be readily visible to the traveling public from the front of the vehicle.
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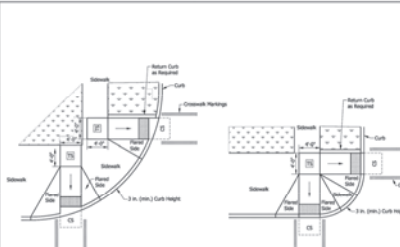
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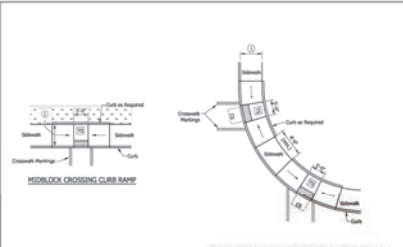
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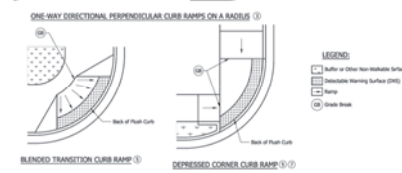
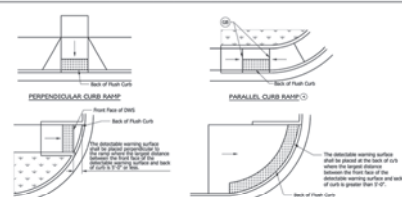
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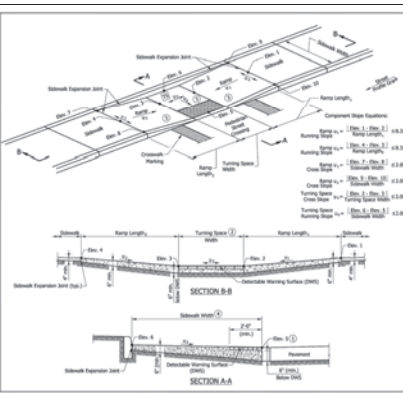
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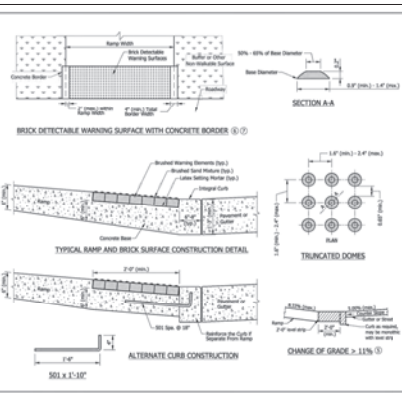
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 Designer: [Signature] 03/26/14



INDIANA DEPARTMENT OF TRANSPORTATION  
 PERPENDICULAR CURB RAMP COMPONENT DETAILS  
 SEPTEMBER 2010  
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 Designer: [Signature] 03/26/14



INDIANA DEPARTMENT OF TRANSPORTATION  
 PARALLEL CURB RAMP COMPONENT DETAILS  
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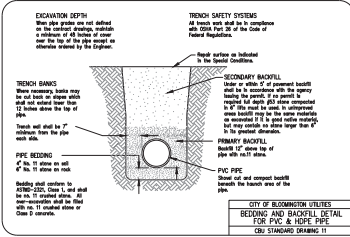
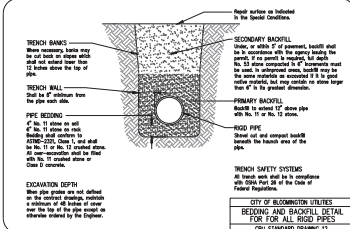
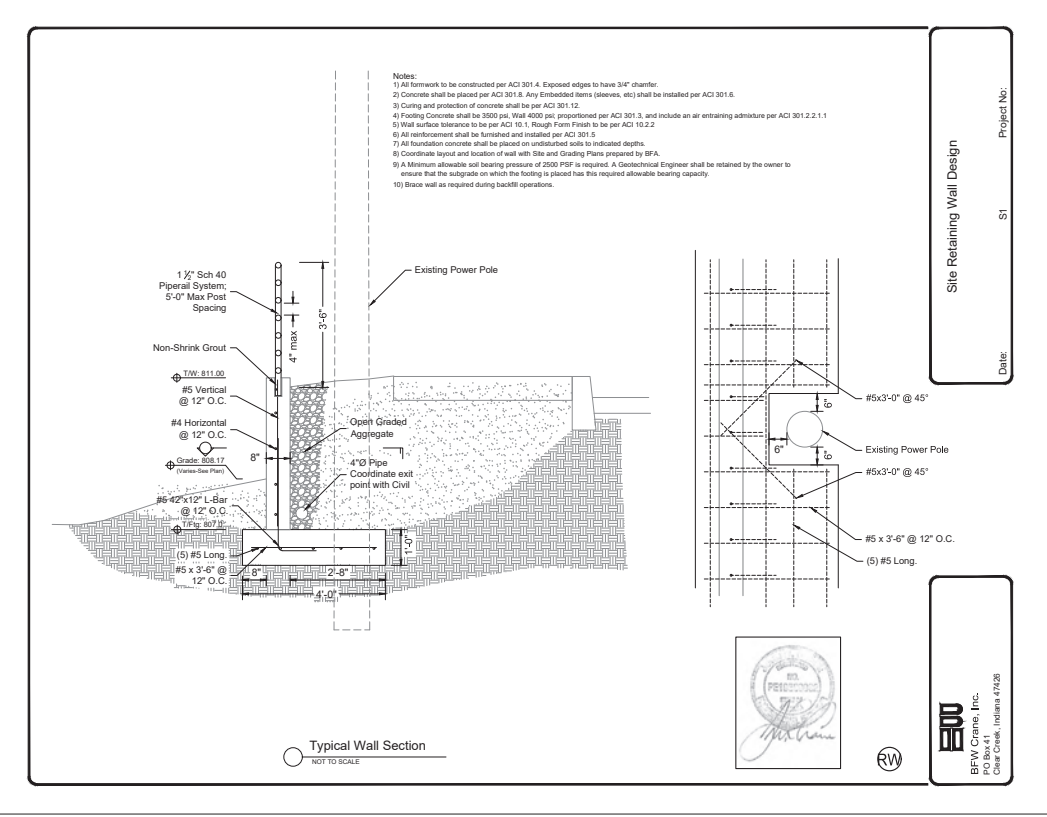
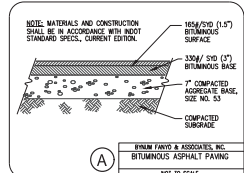
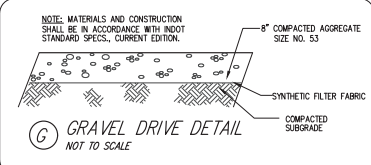
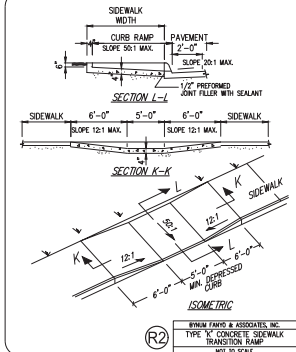
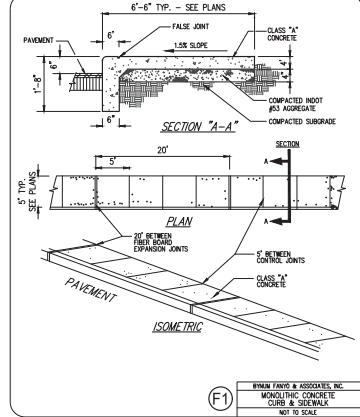
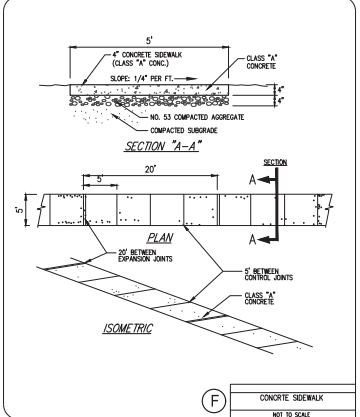
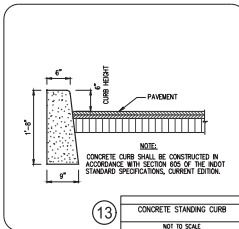
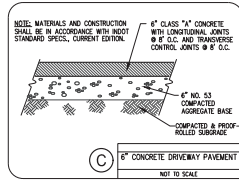
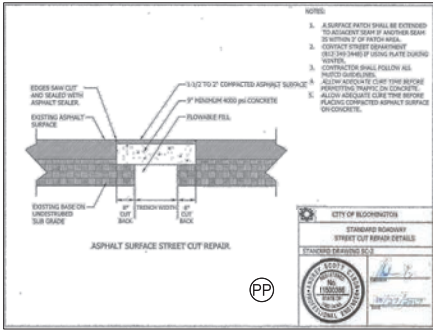
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revisions:  
 ARCHITECTURE  
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 bloomington, indiana  
 (812) 338-2880 (Fax)  
 BEEB  
 BYNUM FANTY & ASSOCIATES, INC.  
 528 north west street  
 BLOOMINGTON, IN 47404  
 (812) 338-2880  
 No. 18283  
 STATE OF INDIANA  
 PROFESSIONAL ENGINEER  
 certified by [Signature]

PROPOSED  
 ADAMS STREET SIDEWALK  
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: MISCELLANEOUS DETAILS  
 designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C401  
 project no: 402101



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PLANNING

Bloomington, Indiana  
(812) 339-2890 (Fax)

BYNUM FAYO & ASSOCIATES, INC.  
528 North Walnut Street  
(812) 332-8030

LEWIS & CLARK PROFESSIONAL ENGINEERING  
No. 18263  
STATE OF INDIANA

certified by: [Signature]

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ADAMS STREET SIDEWALK

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FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: MISCELLANEOUS  
DETAILS

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C402  
project no: 402101

**GP** PRACTICE 3.61-B  
GRAVEL CURB INLET PROTECTION

**REQUIREMENTS** Contributing drainage area = 1 acre maximum.  
Capacity: Based from a 2-in. frequency, 24-hr. duration storm event entering the storm drain without bypass flow.  
Location: At curb inlets where ponding is likely to cause incrustation or damage.  
Gravel: 1/2-in. diameter (MOT CA No. 2)  
Wire mesh: Chicken wire or hardware cloth with 1/2-in. openings.  
Geotextile fabric (optional): For filtration.

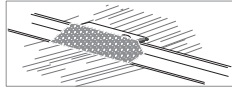


Exhibit 3.61-B. Perspective view of a gravel curb inlet protection.

- INSTALLATION** (Exhibit 3.61-B)
1. Install gravel curb inlet protection as soon as the streets are paved in a new development situation or before land-disturbing activities in stabilized areas.
  2. Place wire mesh over the curb inlet opening and/or grate so it extends at least 12 in. beyond both top and bottom of the opening/grate.
  3. Install geotextile fabric over the wire mesh for additional filtration (optional).
  4. Fill gravel over the wire mesh to anchor it against the curb, covering the inlet opening completely.

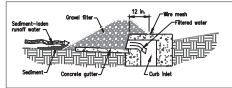


Exhibit 3.61-C. Cross-section detail of a gravel curb inlet protection.

- MAINTENANCE**
- After each storm event, remove sediment and replace the gravel, replace the geotextile filter fabric if used.
  - Periodically remove sediment and broom-on soil from the street (but not by hosing with water) to reduce the sediment load on the curb inlet.
  - Inspect periodically, and repair damage caused by vehicles.
  - When the contributing drainage area has been stabilized, remove the gravel, wire mesh, geotextile fabric, and any sediment, and dispose of them properly.

**MS** PRACTICE 3.12  
PERMANENT SEEDING

**REQUIREMENTS** Site and seedbed preparation: Graded, and fine and fertilizer applied.  
Plant species: Selected on the basis of soil type, soil pH, region of the state, time of year, and planned use of the area to be seeded (see Exhibit 3.12-C).  
Mixer: Clean grain, straw, hay, wood, fiber, etc., to protect seedbed and encourage plant growth. The mixer may be used to reduce removal by wind or water, or erosion control blankets may be considered.

**APPLICATION** (Exhibit 3.12-B, C, and d)  
1. Perennially seeded of final grade areas (e.g., landscape berms, drainage ditches, erosion control structures, etc.) as soon as completed and all areas where additional work is not scheduled for a period of more than a year.

**SITE PREPARATION:**  
1. Install practices needed to control erosion, sedimentation, and runoff prior to seeding. These include temporary and permanent ditches, sediment traps and basins, silt fences, and wire hole dams (Practices 3.21, 3.22, 3.72, 3.73, 3.74, and 3.75).  
2. Grade the site and fill in depressions that can collect water.  
3. Add topsoil to achieve needed depth for establishment of vegetation (Practice 3.02).  
**SEEDBED PREPARATION:**  
1. Test soil to determine pH and nutrient levels. (Contact your county SMO or Cooperative Extension office for assistance and soil information, including available soil testing services.)  
2. If soil pH is unsuitable for the species to be seeded, apply lime according to local recommendations.  
3. Fertilize as recommended by the soil test. If testing was not done, consider applying 400-600 lbs./acre of 12-12-12 analysis, or equivalent, fertilizer.  
4. Till the soil to obtain a uniform seedbed, working the fertilizer and lime into the soil 2-4 in. deep with a disk or subsoiler across the slope (Exhibit 3.12-B).

**SEEDING:**  
Optimum seeding dates are 1-May to 10 Aug. 10-Sept. 30. Permanent seeding areas between May 10 and Aug. 10 may need to be irrigated. As an alternative, use temporary seeding (Practice 3.11) until the preferred date for permanent seeding.  
1. Select a seeding mixture and rate from Exhibit 3.12-C, based on the conditions, soil pH, intended land use, and expected level of maintenance.  
2. Apply seed uniformly with a drill or cultipacker-spreader (Exhibit 3.12-B) or by broadcasting, and cover to a depth of 1/4-1/2 in. by raking or broadcasting, from the seedbed with a roller or cultipacker.  
3. Mulch all seeded areas (Practice 3.15). Consider using erosion blankets on sloping areas (Practice 3.17). (NOTE: If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the slurry mixture.)

Exhibit 3.12-C. Permanent Seeding Recommendations

This table provides several seeding options. Additional seed species and mixtures are available commercially. When selecting a mixture, consider site conditions, including soil properties (e.g., soil pH and drainage), slope aspect, and the tolerance of each species to shade and droughtiness.

Seed species and mixtures	Rate per acre	Optimum soil pH
<b>OPEN AND DISTURBED AREAS (REPAIRING EROSION MORE THAN 1 YEAR)</b>		5.8 to 7.2
1. Perennial ryegrass	35 to 50 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
2. Kentucky bluegrass	30 lbs.	5.5 to 7.5
+ melicgrass	3 lbs.	
+ smooth	4 lbs.	
+ perennial ryegrass	10 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
3. Perennial ryegrass	15 to 20 lbs.	5.8 to 7.0
+ prairie witch grass	15 to 20 lbs.	
4. Prairie witch grass	35 to 50 lbs.	5.5 to 7.5
+ ladino or white clover*	1 to 2 lbs.	

**SLOPE BANKS AND CUTS, LOW MAINTENANCE AREAS (NOT MOWED)**

2. Prairie switch grass	35 to 50 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
3. Prairie switch grass	35 to 50 lbs.	5.5 to 7.5
+ red clover*	10 to 20 lbs.	
(Reestablishment of ID 40)		
4. Droughtgrass	20 to 30 lbs.	5.8 to 7.0
+ red clover*	10 to 20 lbs.	
+ ladino clover*	1 to 2 lbs.	

**LAWNS AND HIGH MAINTENANCE AREAS**

1. Bluegrass	25 to 150 lbs.	5.5 to 7.0
2. Perennial ryegrass (leaf-type)	45 to 60 lbs.	5.8 to 7.0
+ bluegrass	70 to 90 lbs.	
3. Prairie switch grass (leaf-type)	15 to 120 lbs.	5.5 to 7.5
+ bluegrass	20 to 30 lbs.	

**CHANNELS AND AREAS OF CONCENTRATED FLOW**

1. Perennial ryegrass	100 to 150 lbs.	5.8 to 7.0
+ white or ladino clover*	1 to 2 lbs.	
2. Kentucky bluegrass	30 lbs.	5.5 to 7.5
+ melicgrass	3 lbs.	
+ smooth	4 lbs.	
+ perennial ryegrass	10 lbs.	
+ white or ladino clover*	1 to 2 lbs.	
3. Prairie switch grass	100 to 150 lbs.	5.5 to 7.5
+ white or ladino clover*	1 to 2 lbs.	
4. Prairie switch grass	100 to 150 lbs.	5.5 to 7.5
+ perennial ryegrass	15 to 20 lbs.	
+ Kentucky bluegrass	15 to 20 lbs.	

\* For best results: (a) legume seed should be inoculated; (b) seeding mixtures containing legumes should preferably be spring-seeded, although the grass may be fall-seeded and the legume fall-seeded (Practice 3.13); and (c) if legumes are fall-seeded, do so in early fall.  
NOTE: An oat or wheat companion or nurse crop may be used with any of the above permanent seeding mixtures. If so, it is best to seed during the fall seeding period, especially after Sept. 15, and at the following rates: spring oats-1.4 to 3/4 bu./acre; wheat-no more than 1/2 bu./acre.

- MAINTENANCE**
- Inspect periodically, especially after storm events, until the stand is successfully established. (Observation of a successful stand includes vigorous green or bluish-green seedlings, uniform density with nurse plants, legumes, and grasses well inter-mixed, green leaves and the presence of remaining grass throughout the summer, at least of the plant bases.)
  - Plan to add fertilizer the following grazing season according to soil test recommendations.
  - Repeat damaged, low or sparse areas by filling any gullies, re-tiling, over- or re-seeding, and mulching.
  - If plant cover is sparse or patchy, remove the plant materials chosen, add fertility, moisture condition, and mulching; then repair the affected area either by over-seeding or by re-seeding and mulching after re-grazing the seedbed.
  - If vegetation fails to grow, consider soil testing to determine acidity or nutrient deficiency problems. (Contact your SMO or Cooperative Extension office for assistance.)
  - If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations.

**SF** PRACTICE 3.74  
SILT FENCE (SEDIMENT FENCE)

**PURPOSE** To retain sediment from small, sloping disturbed areas by reducing the velocity of sheet flow.  
(NOTE: Silt fence captures sediment by ponding water to allow deposition, not by filtration. Although the practice usually works best in conjunction with temporary basins, traps, or diversions, it can be sufficiently effective by itself alone. A silt fence is not recommended for a diversion nor is it to be used across a stream, channel or arroyo that concentrated flow is anticipated.)

**REQUIREMENTS** (Exhibit 3.74-B and C)  
Drainage Area: Limited to 1/4 acre per 100 ft. of fence, further restricted by slope steepness (see Exhibit 3.74-B).  
Location: Silt fence must be approximately following the land contour, and at least 10 ft. from toe of slope to provide a brood, shallow sediment pond, trench. It is to be installed, left-to-right or right-to-left with compacted soil or gravel to bury lower portion of support wire and/or fence fabric.  
Support posts: 2 x 4-in. hardwood posts (2" x 4-in. steel fence posts set at least 1 ft. deep.\* (Steel posts should protrude 18 in. above grade.)  
Spacing of posts: 8 ft., maximum if fence supported by wire, 6 ft. for extra-strength fabric without wire backing.  
Land slope: Max. distance across fence.  
Fence height: High enough so depth of impounded water does not exceed 100 ft. Less than 2% 100 ft. 1 1/2 ft. of any point along fence line. 2 to 5% 75 ft. Support wire (optional): 14 gauge 6 ft. wire fence (needed if using standard-strength fabric). 10 to 20% 25 ft. More than 20% 15 ft.  
Fence fabric: Woven or non-woven geotextile fabric with specified filtering efficiency and tensile strength (see Exhibit 3.74-C) and containing UV inhibitors and stabilizers to assure 6-month minimum life of non-woven fabric.

Exhibit 3.74-C. Specifications Minimum for Silt Fence Fabric

Physical Property	Woven Fabric	Non-woven fabric
Filtering efficiency	85%	85%
Tensile strength at 20% elongation	300a./linear ft.	500a./linear ft.
Standard strength	300a./linear ft.	500a./linear ft.
Extra strength	500a./linear ft.	200a./linear ft.
Shrink line size	0.25 gal./min./sq.ft.	0.25 gal./min./sq.ft.
Flow rate	200 gal./min./sq.ft.	200 gal./min./sq.ft.
UV resistance	70%	70%

Outlet (optional): To allow for safe storm flow bypass without overtopping fence. Flood slope fence to limit water depth to 1 1/2 ft. maximum; crest—1 ft. high maximum; web width—4 ft. maximum; splash post—5 ft. wide, 3 ft. high, 1 ft. base minimum.

- INSTALLATION**
- SITE PREPARATION:**  
1. Plan the fence to be at least 10 ft. from the toe of the slope to provide a sediment storage area.  
2. Provide access to the area if sediment removal will be needed.  
**OUTLET CONSTRUCTION (OPTIONAL):**  
1. Determine the appropriate location for a reinforced, stabilized bypass flow outlet.  
2. Set the outlet elevation so that water depth cannot exceed 1 1/2 ft. at the lowest point along the fence line.  
3. Locate the outlet well support posts no more than 4 ft. apart, and install a horizontal brace between them. (Web height should be no more than 1 ft., and water depth no more than 1 1/2 ft., anywhere else along the fence.)  
4. Excavate the foundation for the outlet splash post to minimum of 1 ft. deep, 2 ft. wide and 5 ft. long on level grade.  
5. Fill the excavated foundation with MOT CA No. 1 stone, being careful that the finished surface blends with the surrounding area, sloping no upward.  
6. Stabilize the area around the post.  
**OUTLET CONSTRUCTION (OPTIONAL):**  
1. Along the entire intended fence line, dig an 8-in. deep flat-bottomed or V-shaped trench.  
2. On the down-slope side of the trench, drive the wood or steel support posts of least 1 ft. into the ground, spacing them no more than 8 ft. apart. If the fence is supported by wire or 6 ft. of extra strength fabric to use without support wire. Adjust spacing if necessary to ensure that posts are set at the low points along the fence line. (NOTE: If the fence has pre-anchored posts or stakes, drive them deep enough so the fabric is satisfactory in the trench as described in step 6.)  
3. Fasten support wire fence to the outside side of the posts, extending 8 ft. into the trench.  
4. Run a continuous length of geotextile fabric in front of the support wire and posts, extending partly, particularly at the points in the fence line.  
5. If a joint is necessary, cut the overlap to the nearest post with a saw.  
6. Place the bottom 1 ft. of fabric in the 8-in. deep trench, extending the remaining 4 in. toward the up-slope side.  
7. Backfill the trench with compacted earth or gravel.  
8. Run a continuous length of geotextile fabric in front of the support wire and posts, extending partly, particularly at the points in the fence line.  
NOTE: If using a pre-anchored commercial silt fence rather than constructing one, follow the manufacturer's installation instructions.

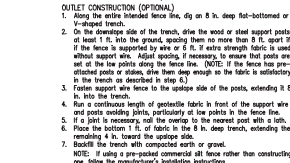


Exhibit 3.74-E. Detailed example of silt fence installation.

- MAINTENANCE**
- Inspect the silt fence periodically and after each storm event.
  - If fence fabric tears, starts to decompose or in any way become ineffective, replace the affected portion immediately.
  - Remove deposited sediment when it reaches half the height of the fence or its lowest point or if causing the fabric to sag.
  - Take care to avoid undermining the fence during clean out.
  - After the construction area has been stabilized, remove the fence and sediment deposits, bring the disturbed area to grade, and stabilize.

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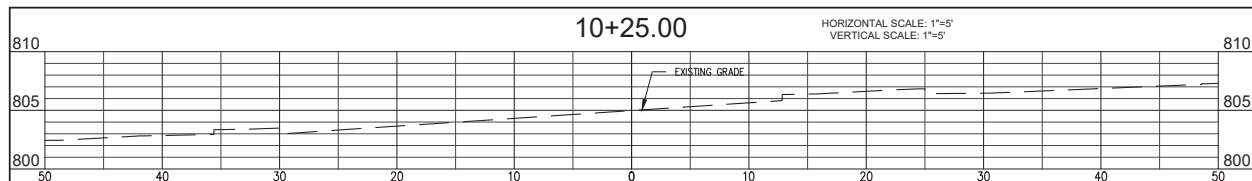
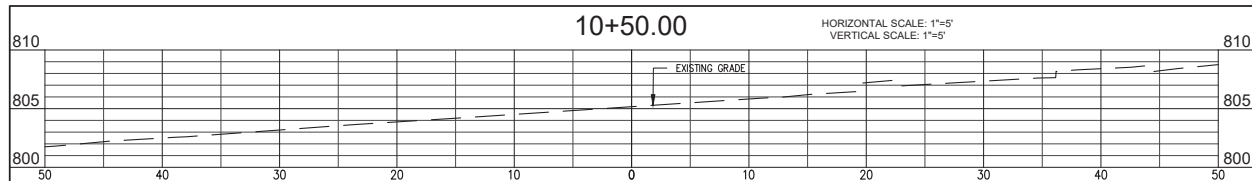
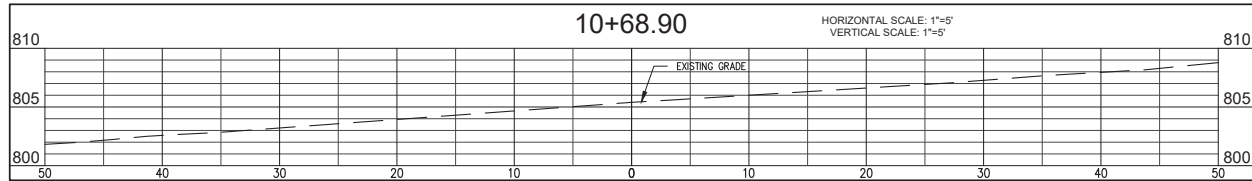
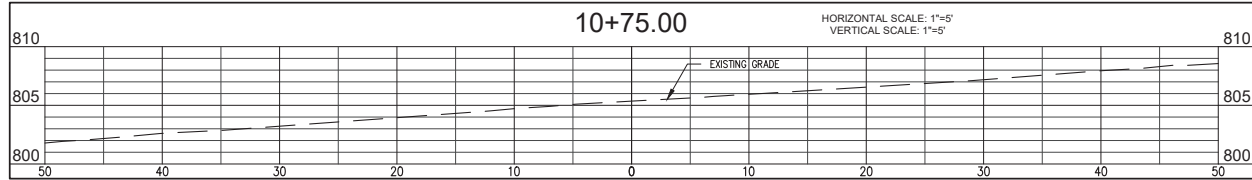
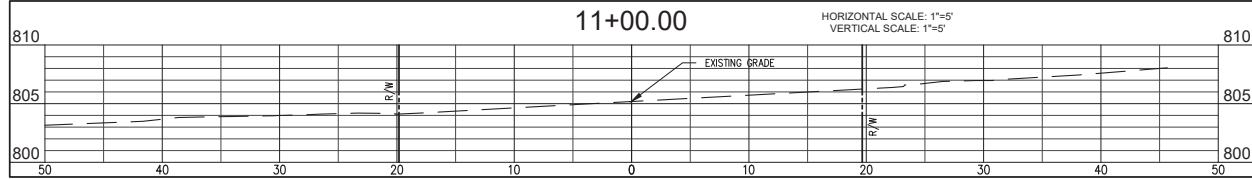
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PROPOSED  
ADAMS STREET SIDEWALK  
NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: EROSION DETAILS  
designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C403  
project no: 402101





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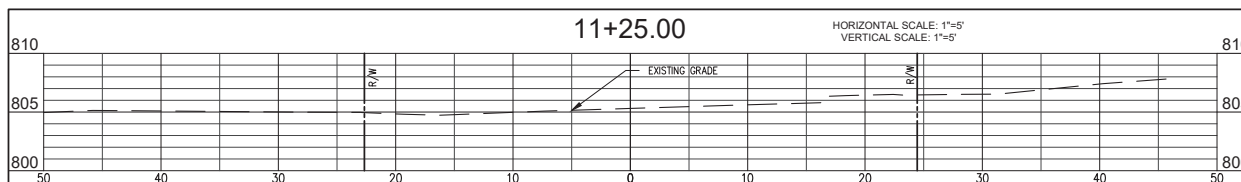
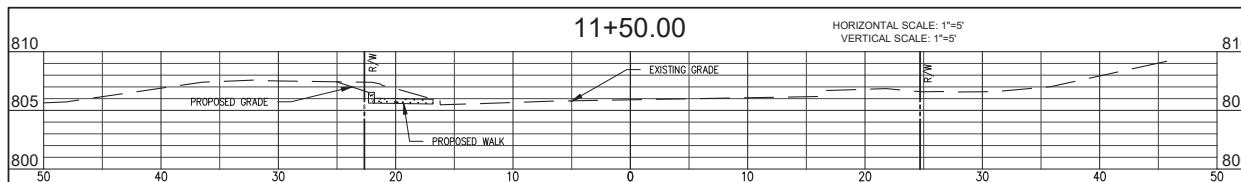
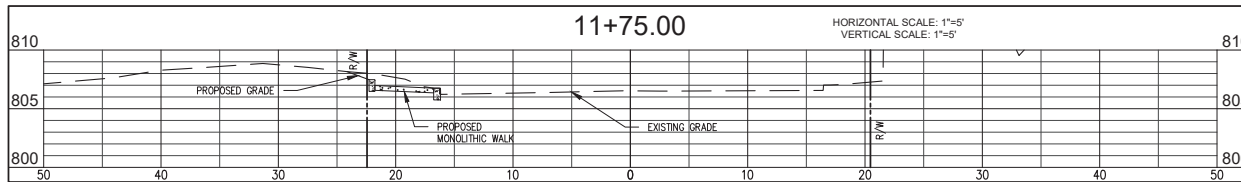
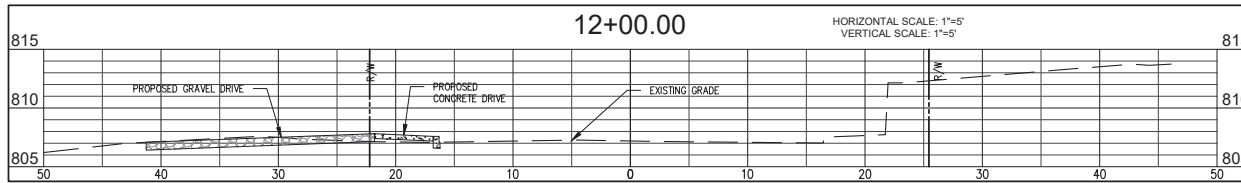
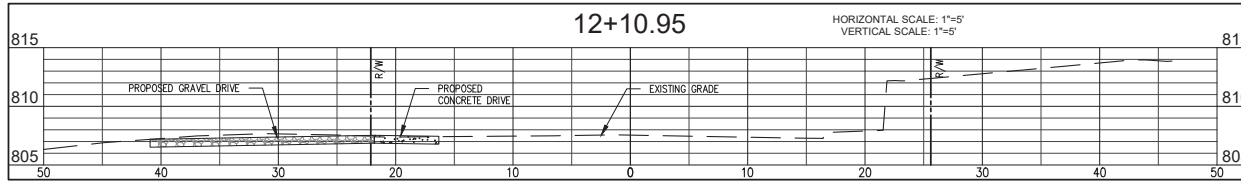
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FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1  
CROSS-SECTIONS

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C501  
project no.: 402101



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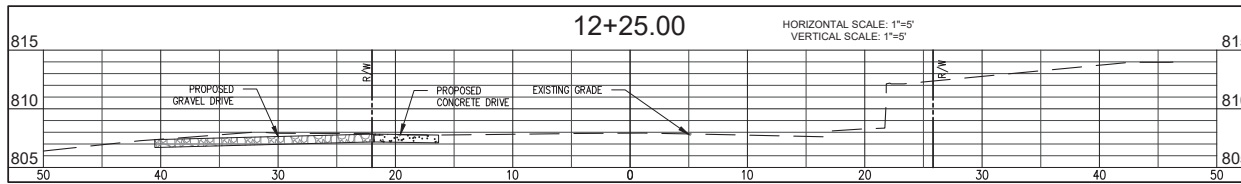
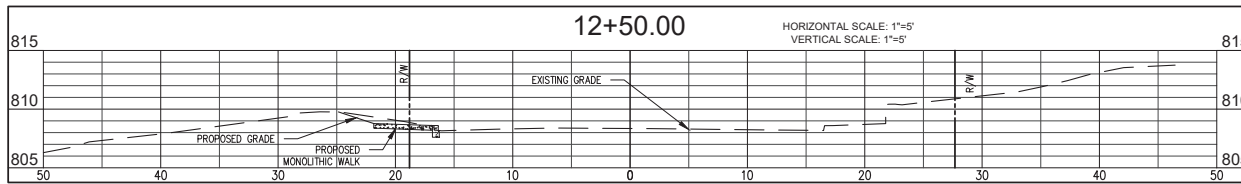
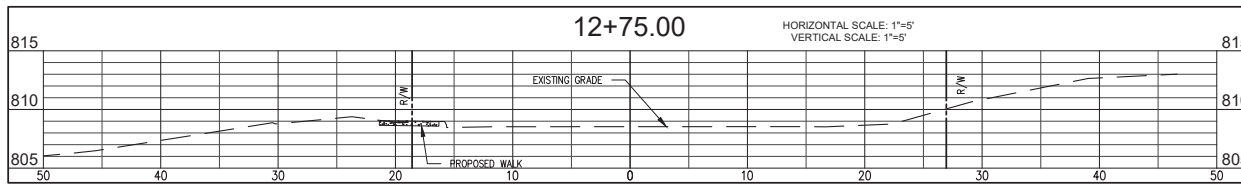
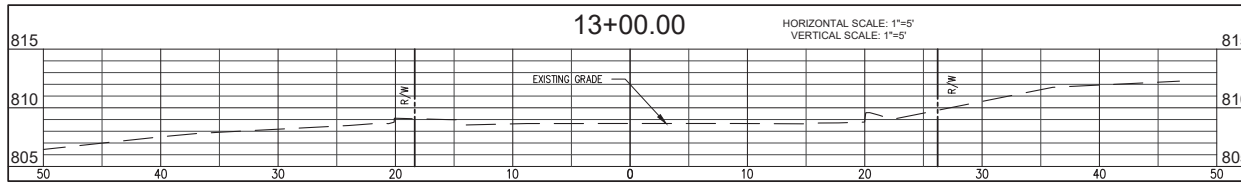
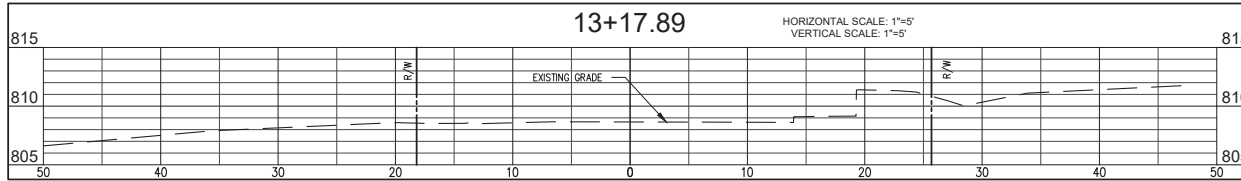
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sheet no: C502  
project no.: 402101



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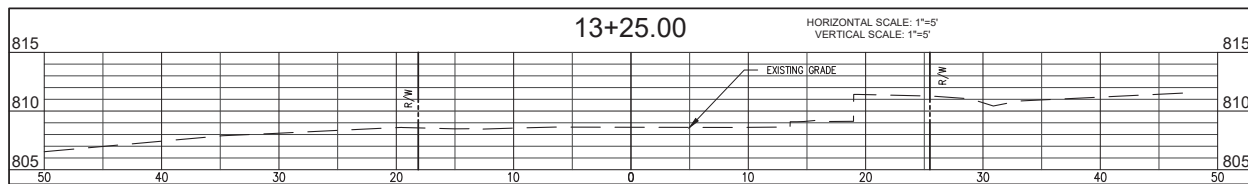
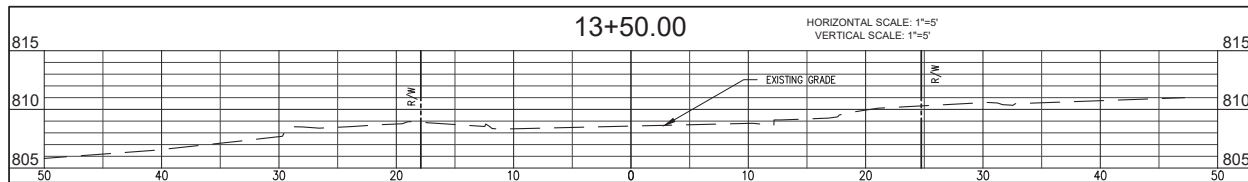
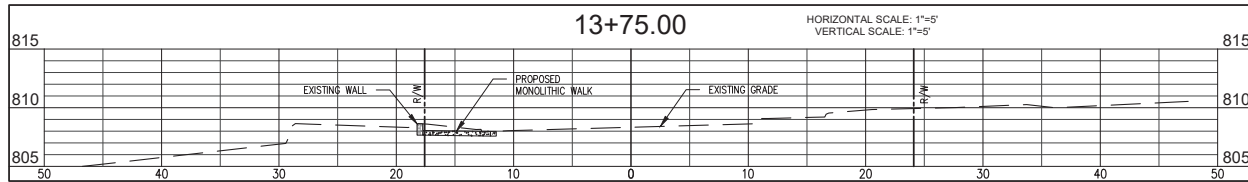
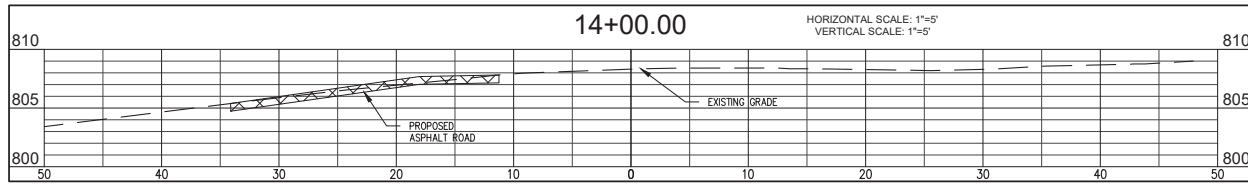
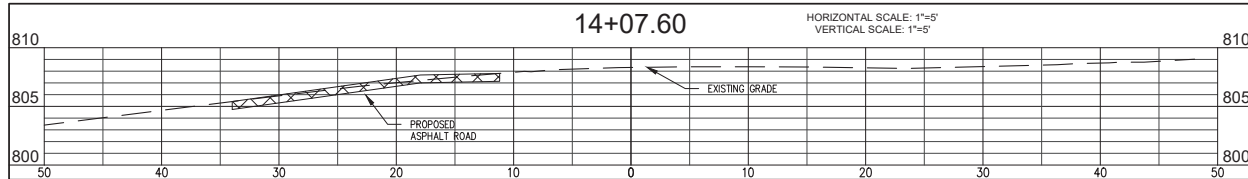
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CROSS-SECTIONS

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sheet no: C503  
project no: 402101



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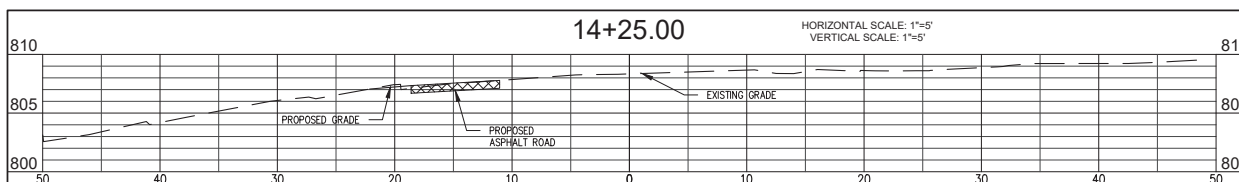
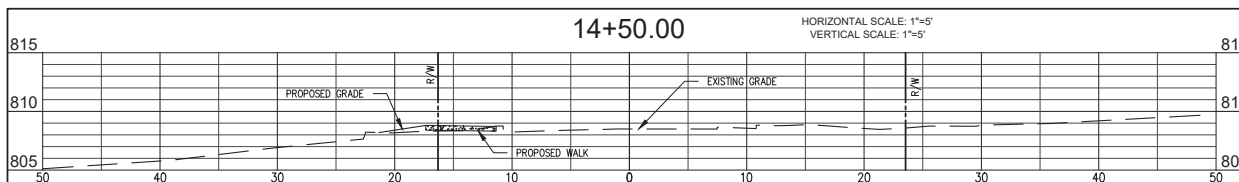
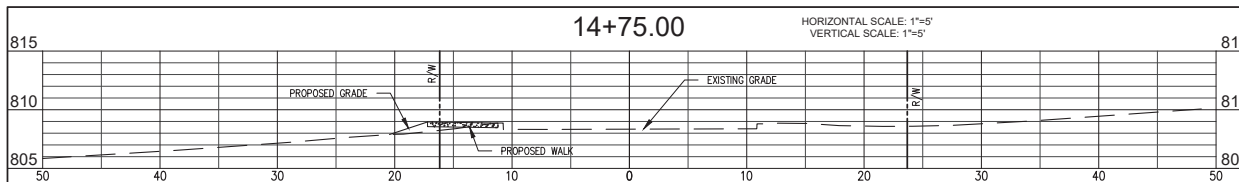
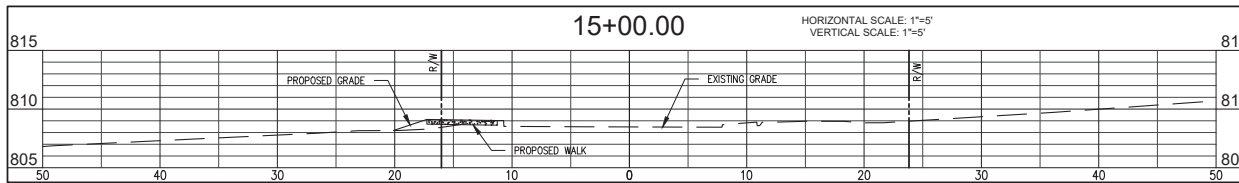
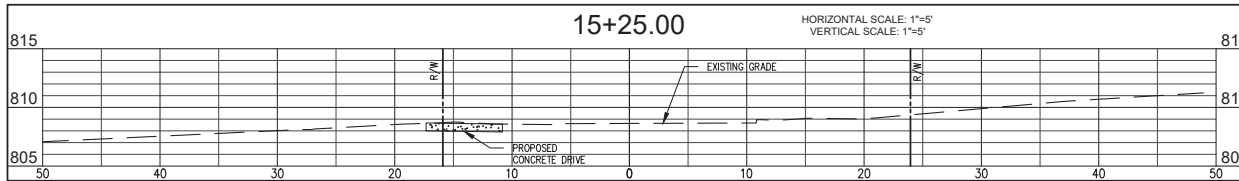
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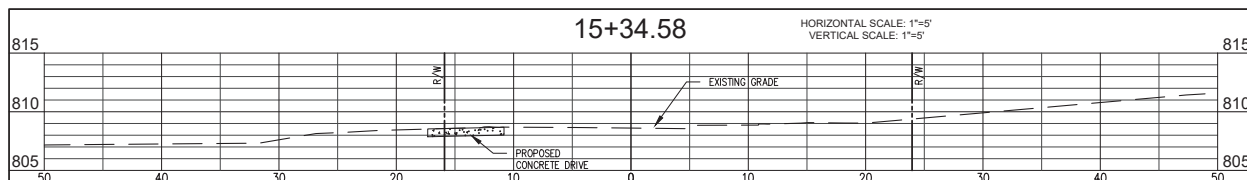
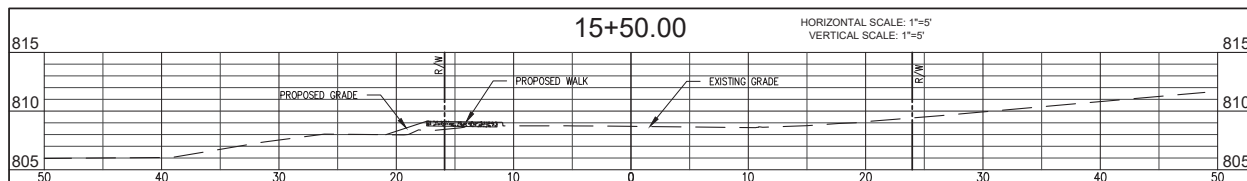
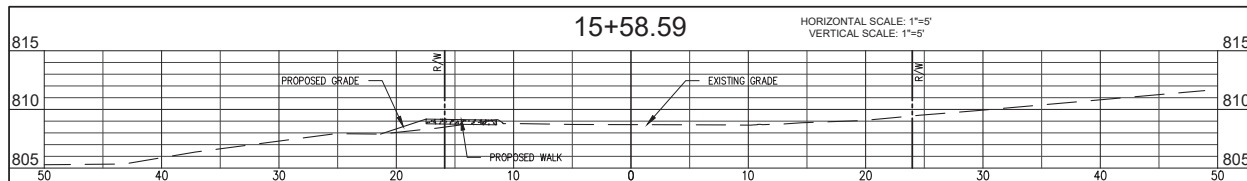
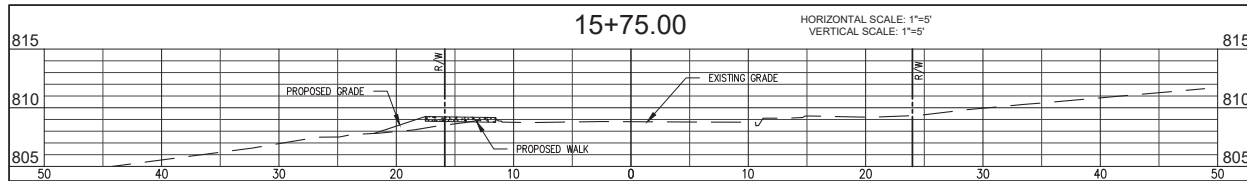
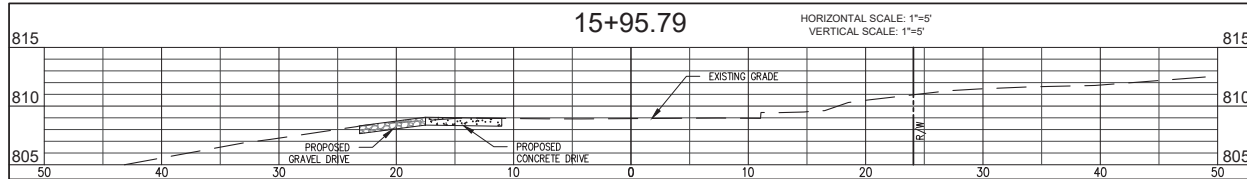
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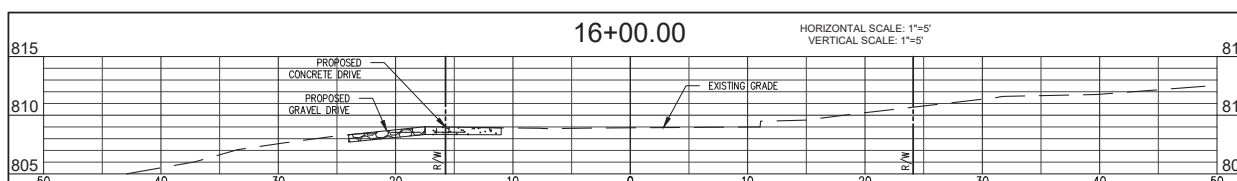
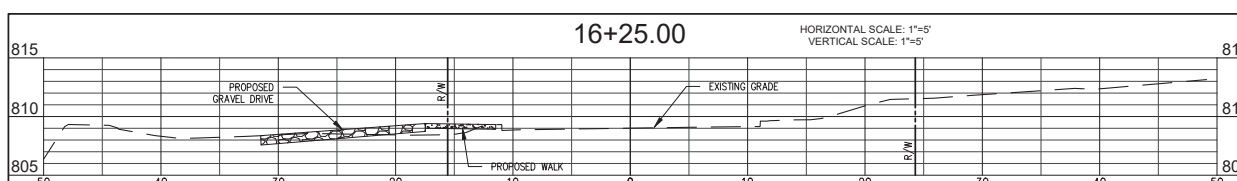
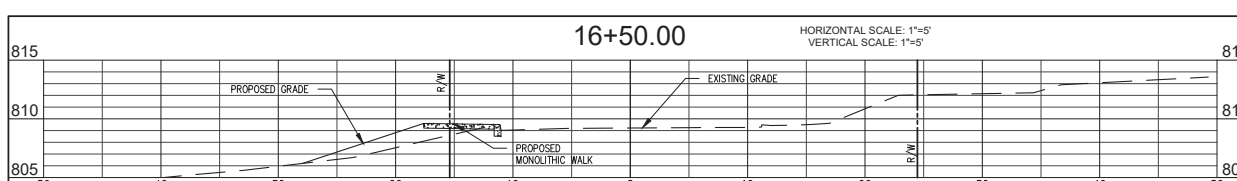
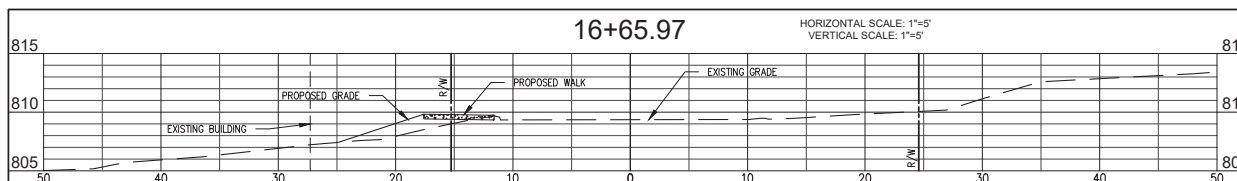
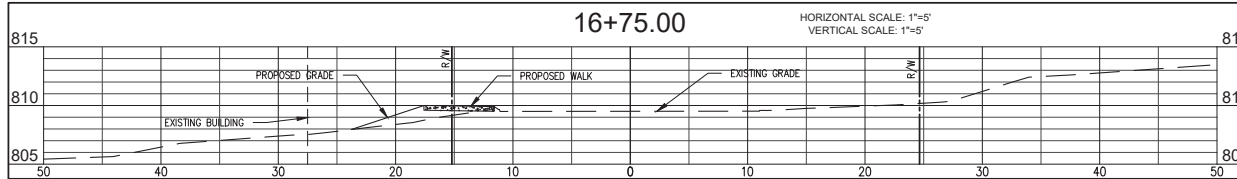
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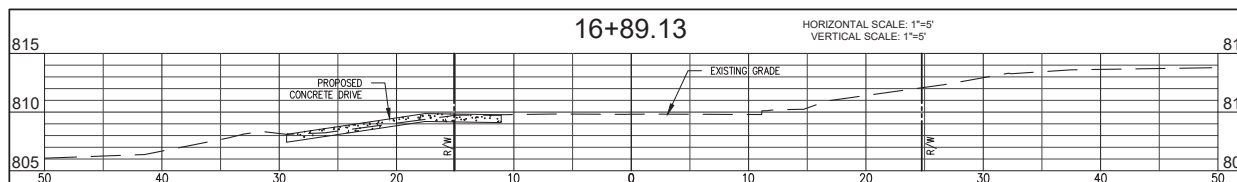
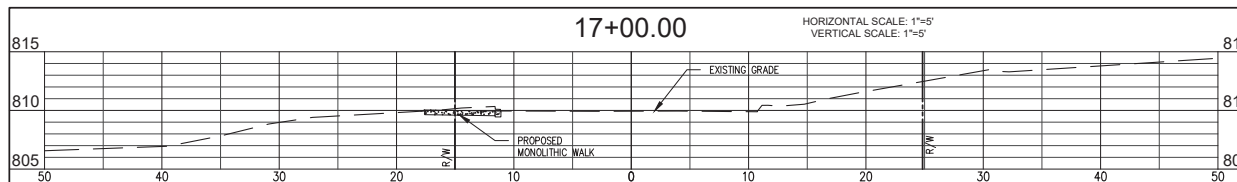
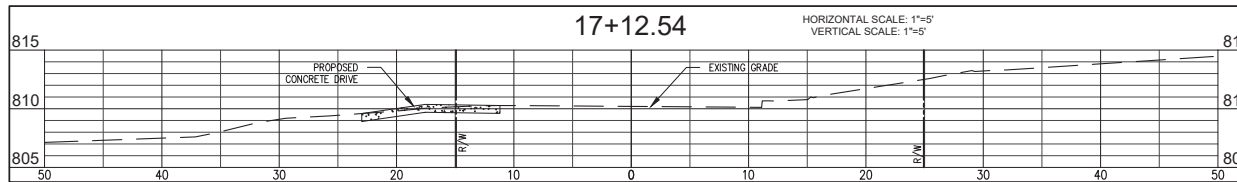
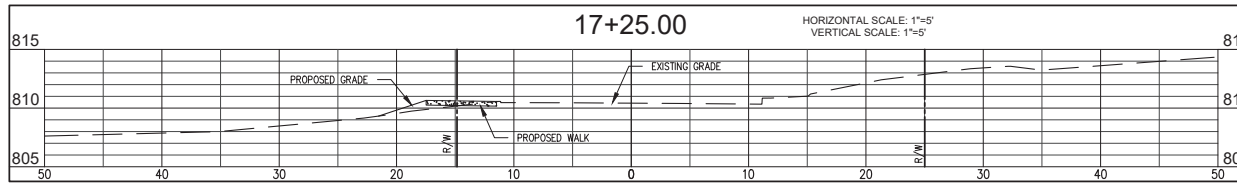
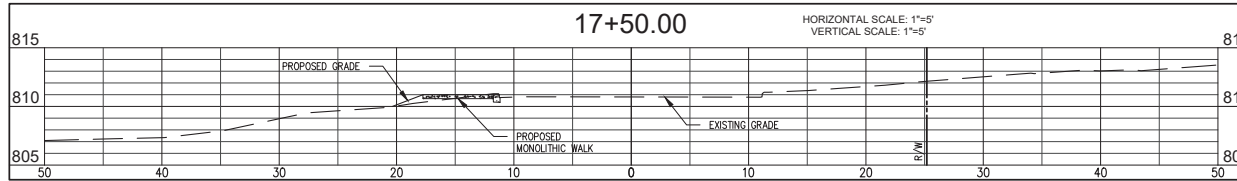
**BEB**  
 BYNUM FANTO & ASSOCIATES, INC.  
 528 North Walnut Street  
 (812) 332-8030

Professional Engineer  
 No. 18283  
 State of Indiana  
 Certified by *[Signature]*

PROPOSED  
**ADAMS STREET SIDEWALK**  
 NORTH ADAMS STREET, BLOOMINGTON, IN 47404  
 FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: R-1  
 CROSS-SECTIONS

designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C507  
 project no: 402101



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revisions:

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 BLOOMINGTON, INDIANA  
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 (812) 332-8030

STATE OF INDIANA  
 No. 18283  
 PROFESSIONAL ENGINEER

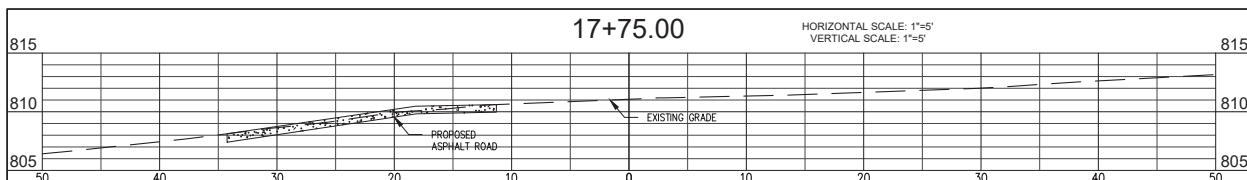
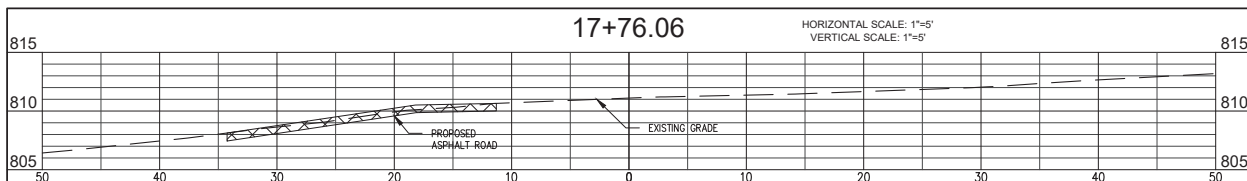
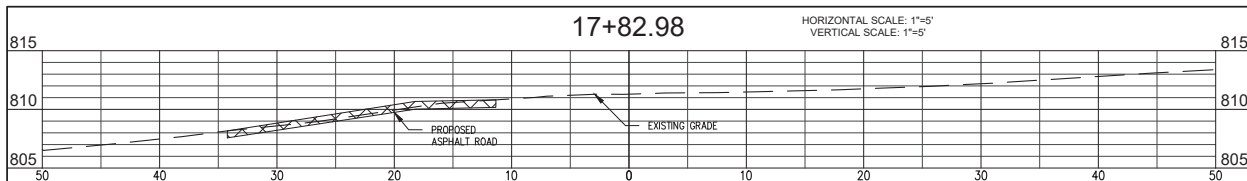
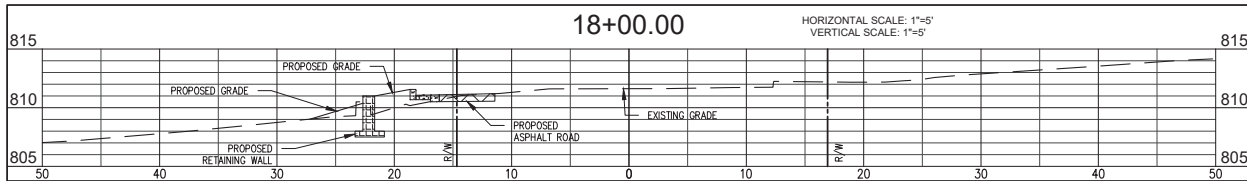
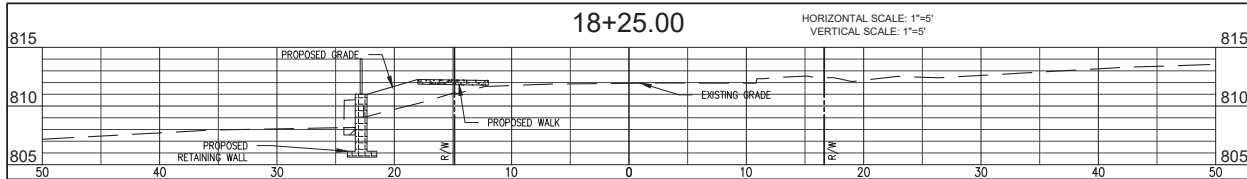
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designed by: AJW  
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 checked by: JSF  
 sheet no: C508  
 project no.: 402101





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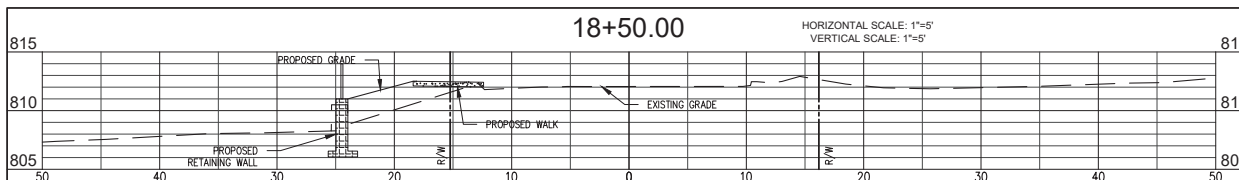
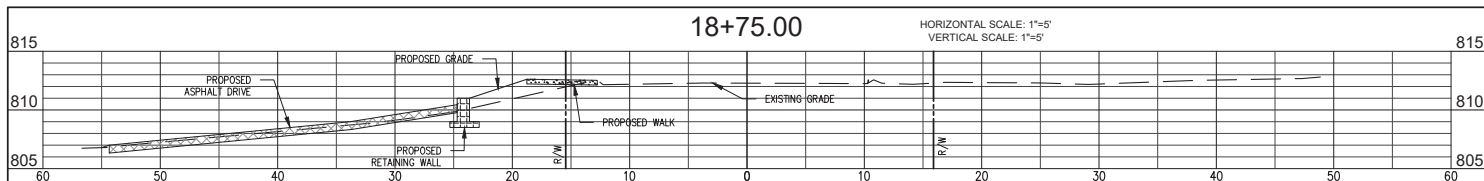
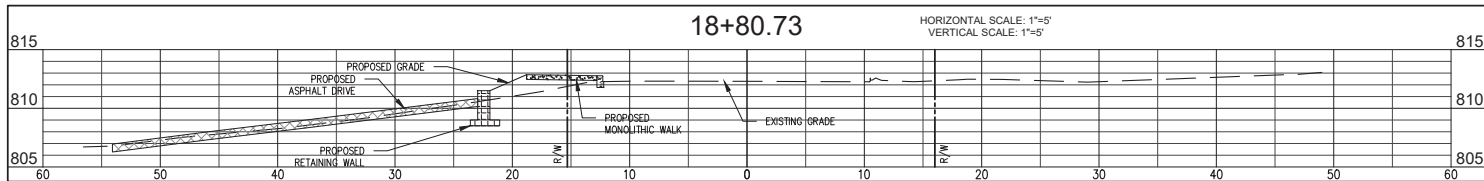
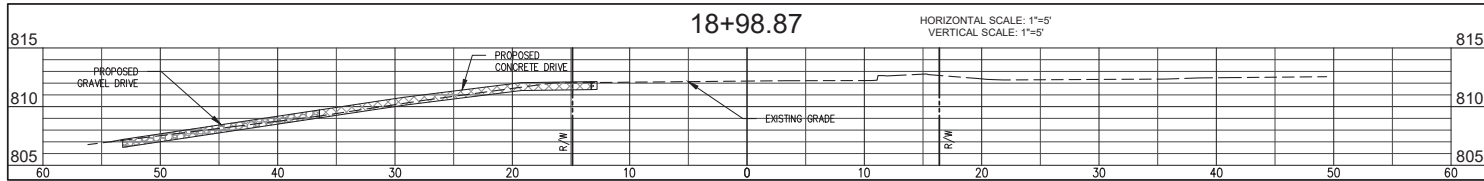
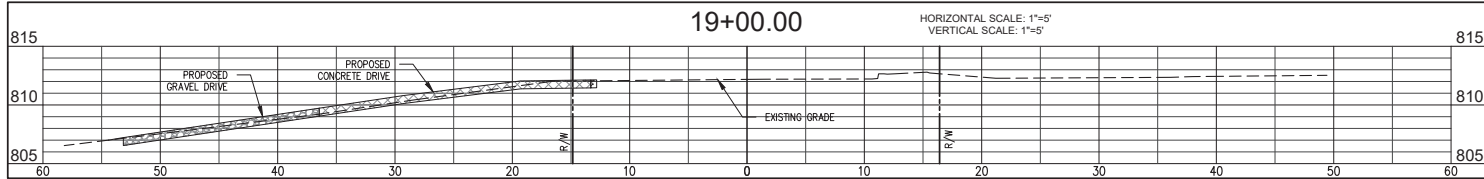
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title: R-1 CROSS SECTIONS

designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C509  
 project no: 402101



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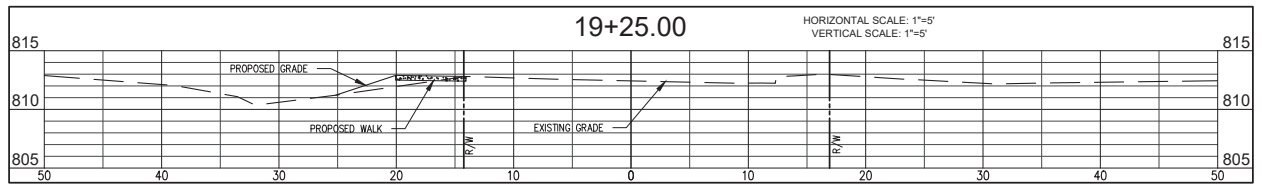
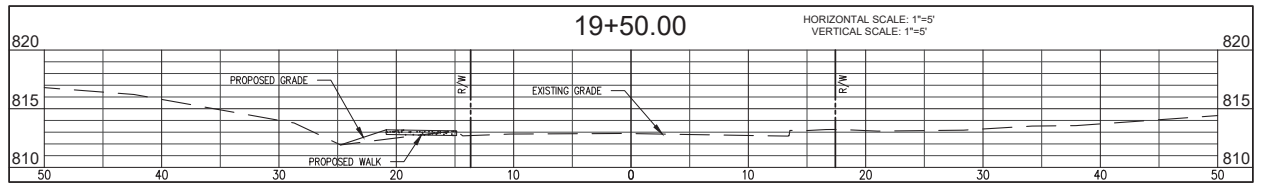
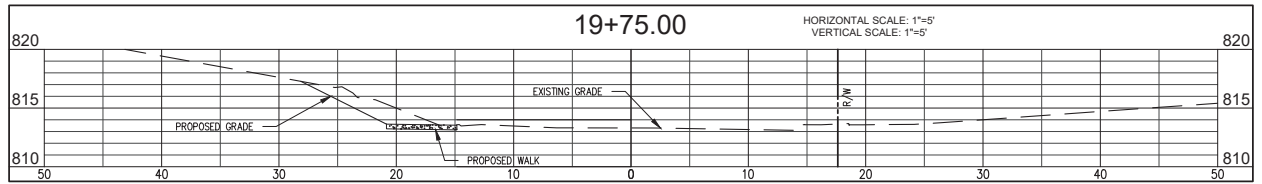
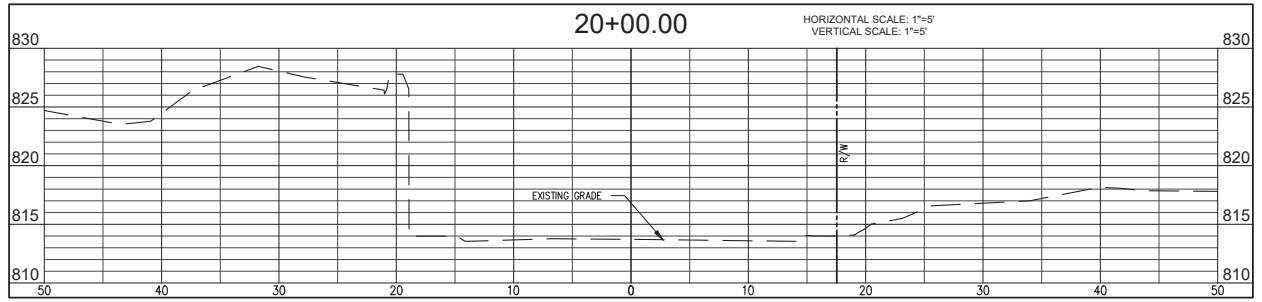
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designed by: AJW  
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 sheet no: C510  
 project no: 402101



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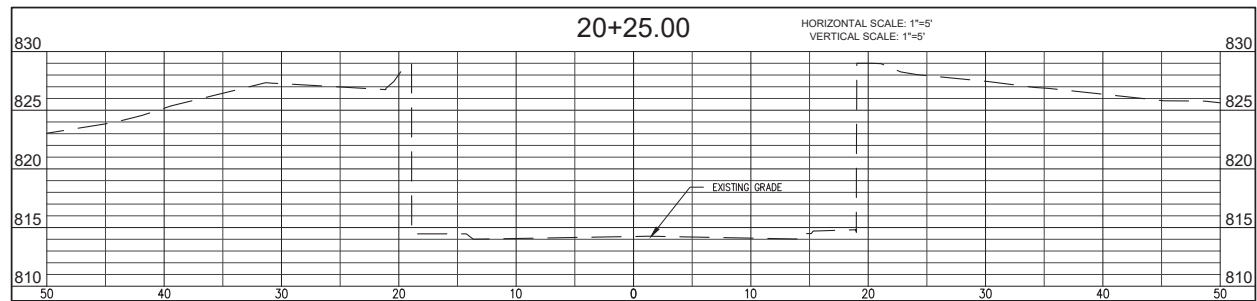
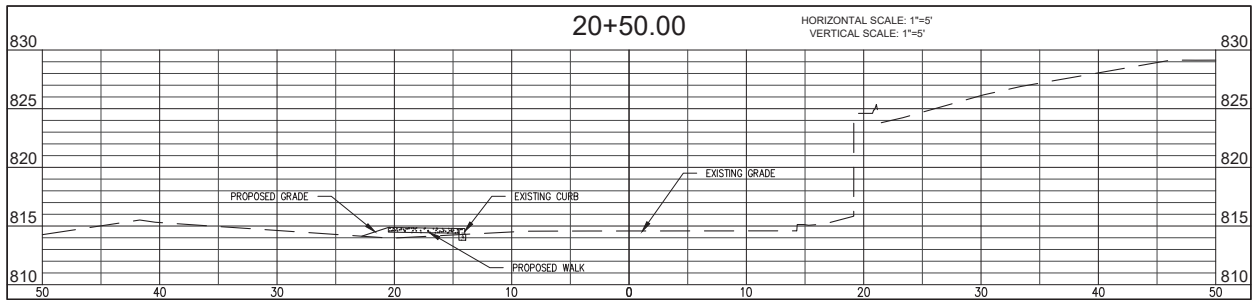
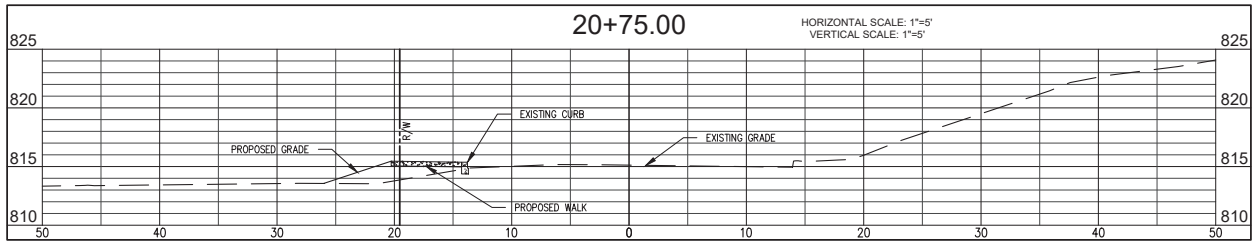
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 No. 18283  
 PROFESSIONAL ENGINEER  
 certified by *[Signature]*

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 PROFESSIONAL ENGINEER  
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designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C512  
 project no: 402101

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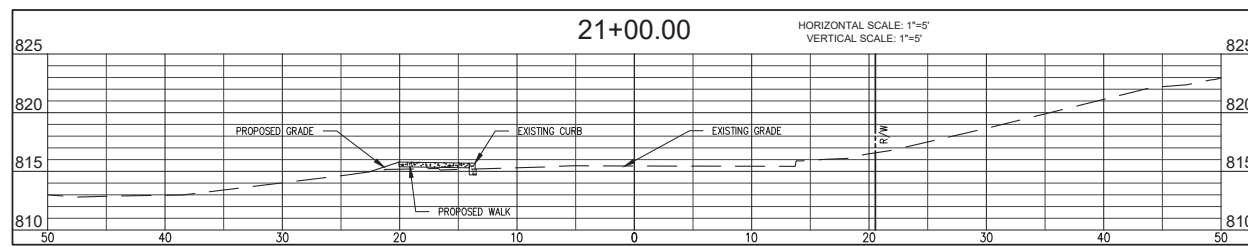
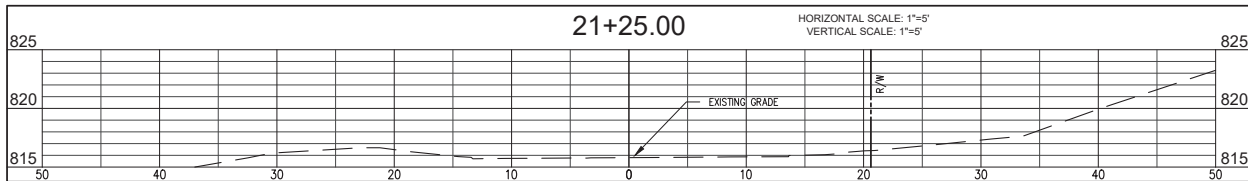
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(812) 332-8030



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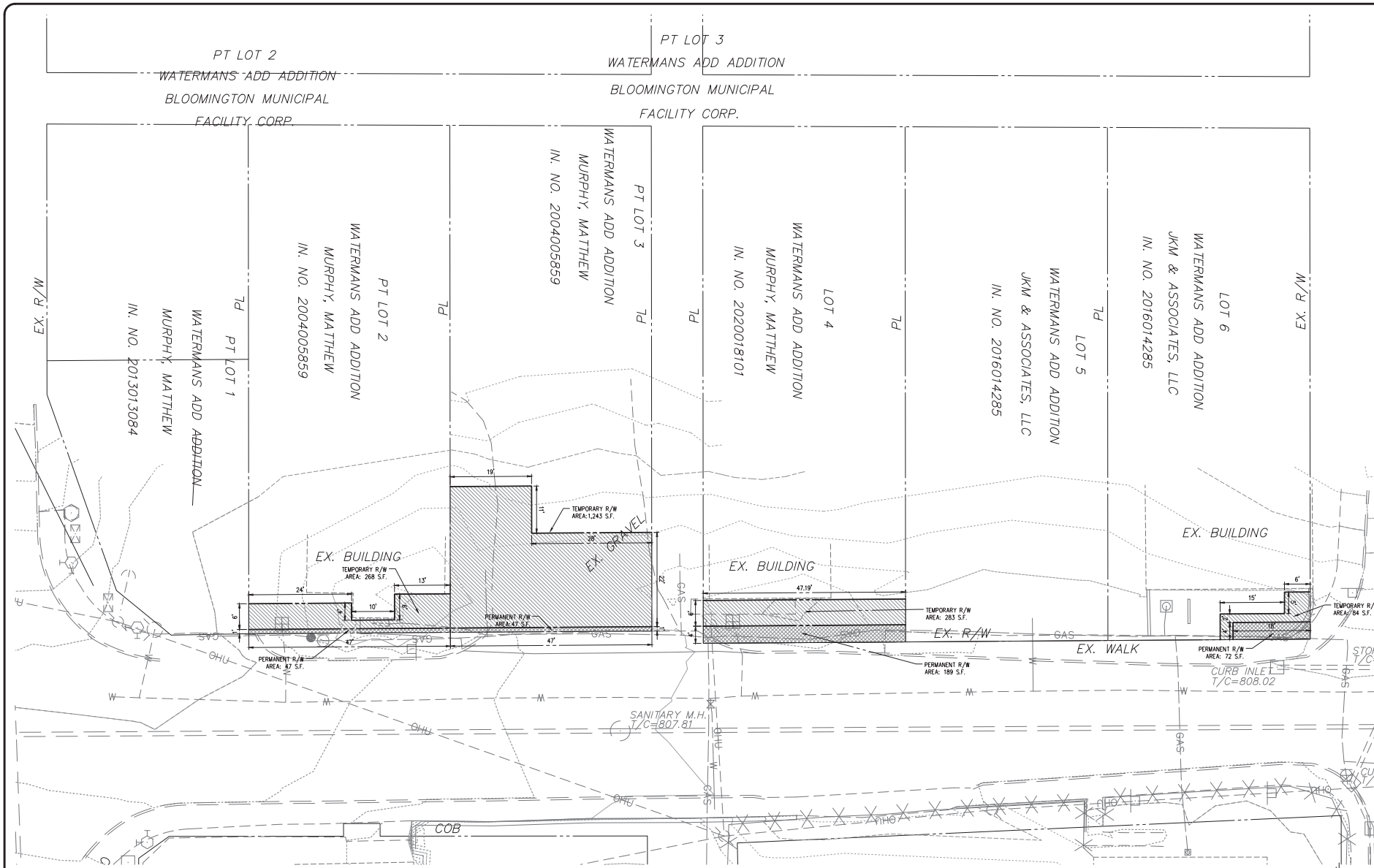
title: R-1  
CROSS-SECTIONS

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C513  
project no.: 402101



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**RIGHT-OF-WAY ACQUISITION**

	TEMPORARY RIGHT-OF-WAY
	PERMANENT RIGHT-OF-WAY

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(812) 339-2880 (Fax)

18283  
STATE OF INDIANA  
PROFESSIONAL ENGINEER

certified by *[Signature]*

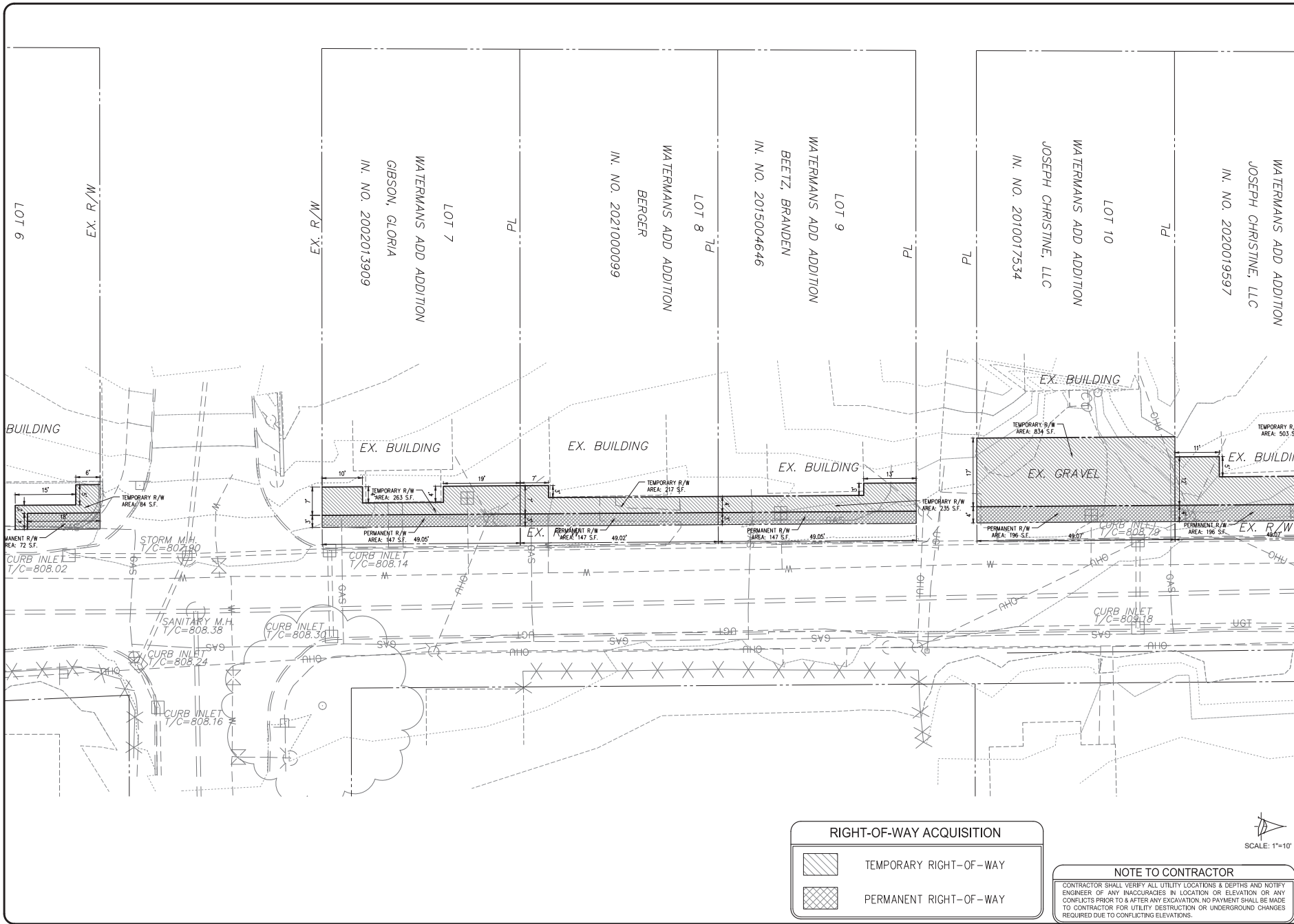
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title: RIGHT-OF-WAY ACQUISITION

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C001  
project no: 402101

SCALE: 1"=10'



revisions:

ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING  
 BUILDING

(612) 266-4535 (F)  
 (612) 266-4535 (M)  
 (612) 266-4535 (E)

BYNUM FANYO & ASSOCIATES, INC.  
 528 North Walnut Street  
 (612) 332-8030

Professional Engineer  
 No. 18283  
 STATE OF MINNESOTA

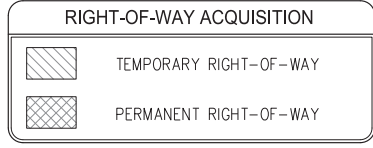
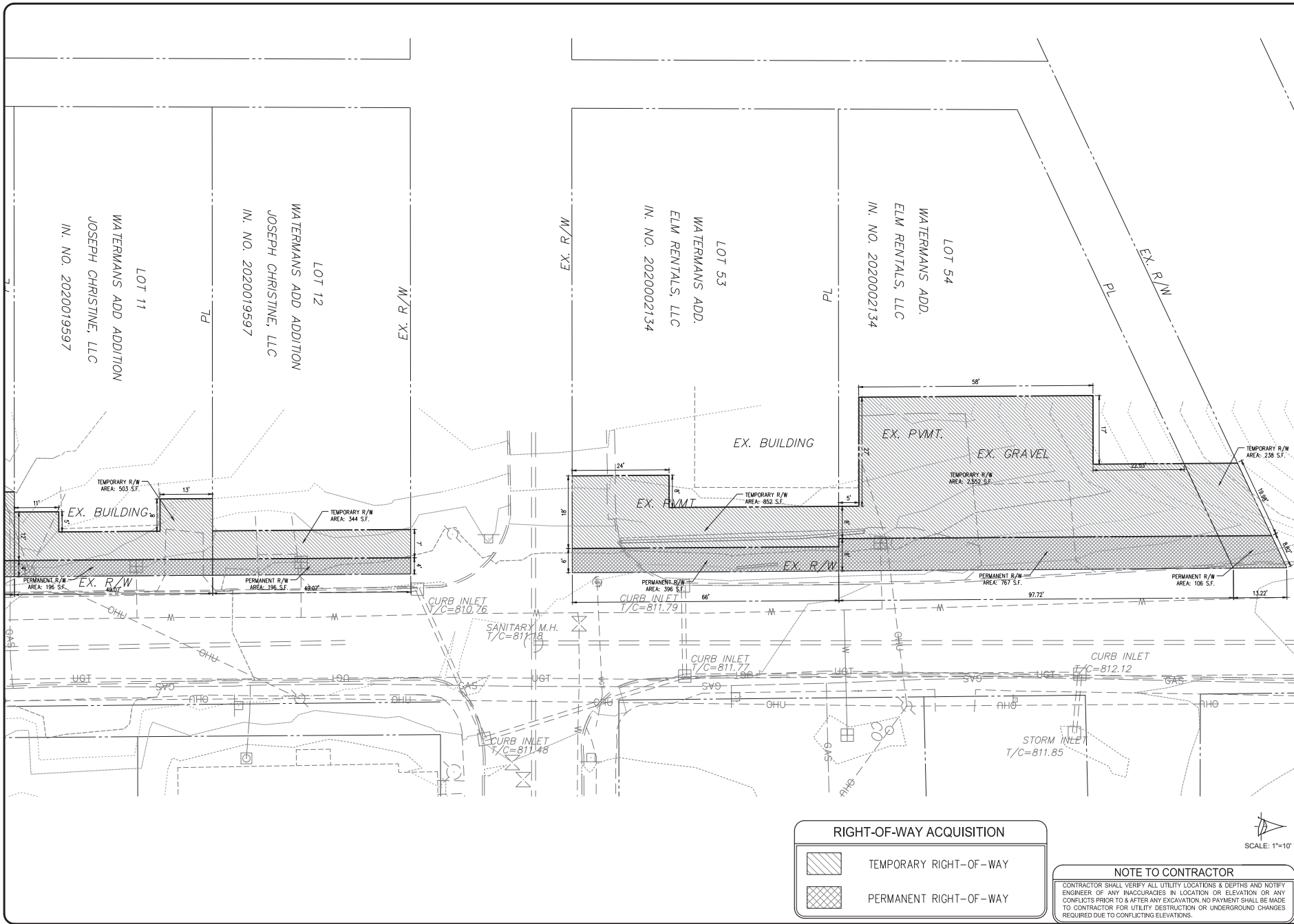
certified by: *[Signature]*

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 FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
 OF W. 8TH ST. AND W. FOUNTAIN DR.

title: RIGHT-OF-WAY ACQUISITION

designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C602  
 project no: 402101





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revisions:

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528 North Walnut Street  
Bloomington, Indiana  
(812) 338-2880 (Fax)

STATE OF INDIANA  
Professional Engineer  
No. 18283  
Certified by *[Signature]*

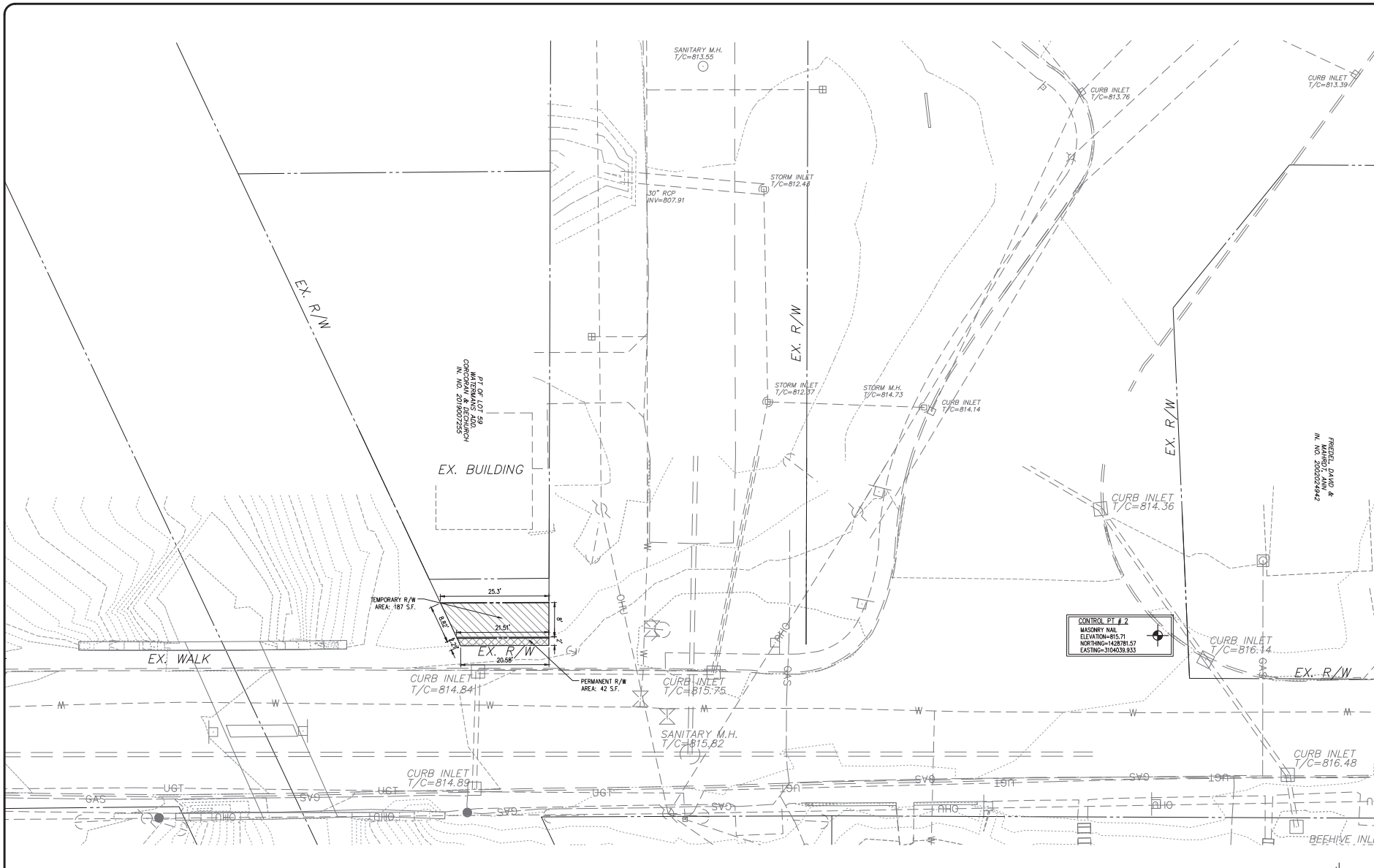
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FROM W. KIRKWOOD AVE. TO THE INTERSECTION  
OF W. 8TH ST. AND W. FOUNTAIN DR.

title: RIGHT-OF-WAY ACQUISITION

designed by: AJW  
drawn by: AJW  
checked by: JSF  
sheet no: C603  
project no: 402101







**RIGHT-OF-WAY ACQUISITION**

	TEMPORARY RIGHT-OF-WAY
	PERMANENT RIGHT-OF-WAY

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SCALE: 1"=10'

revisions:


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BYNUM FAYO & ASSOCIATES, INC.  
 528 North Walnut Street  
 Birmingham, Indiana  
 (812) 338-2880 (Fax)

Professional Engineer  
 No. 18283  
 State of Indiana  
 Certified by: *[Signature]*

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designed by: AJW  
 drawn by: AJW  
 checked by: JSF  
 sheet no: C064  
 project no: 402101



March 2, 2023

John Saunders  
Chair  
Bloomington Historic Preservation  
401 N Morton St, Suite 130  
Bloomington, IN 47404

Re: Construction of Governor Park multi-family building in Ellettsville, Indiana  
Project Based Voucher Program and Federal Tax Credits - New Construction

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

**The project involved the demolition of existing structures and new construction on the Area of Potential Effect (APE), which has already taken place. The APE was a previously disturbed site that served as a mobile home community since 1958 according to the Monroe County tax records.**

**There were over twenty mobile homes that were demolished, two of which were rated as Contributing structures in the State Historic Architecture and Archaeological Research Database (SHAARD) survey with the historic addresses 5661 W SR 46 #29 and #30. Both structures were manufactured buildings manufactured by the company Village, and made**

**of steel with original windows and doors according to the SHAARD survey cards. They had design properties similar to the 1958 series Belvedere and Pan American trailers.**

**Enclosed are a map with the location, recent photos from the site, site photos taken before the demolitions took place, the SHAARD survey forms for the two demolished buildings, and historic aerial photography.**

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,

Gloria M. Colom Braña  
Historic Preservation Program Manager  
City of Bloomington, Indiana

Cc: Department of Historic Preservation and Archeology, Department of Natural Resources, Indiana

Attachments



Map Legend

 APE

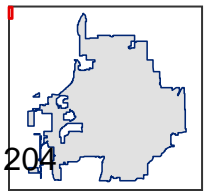




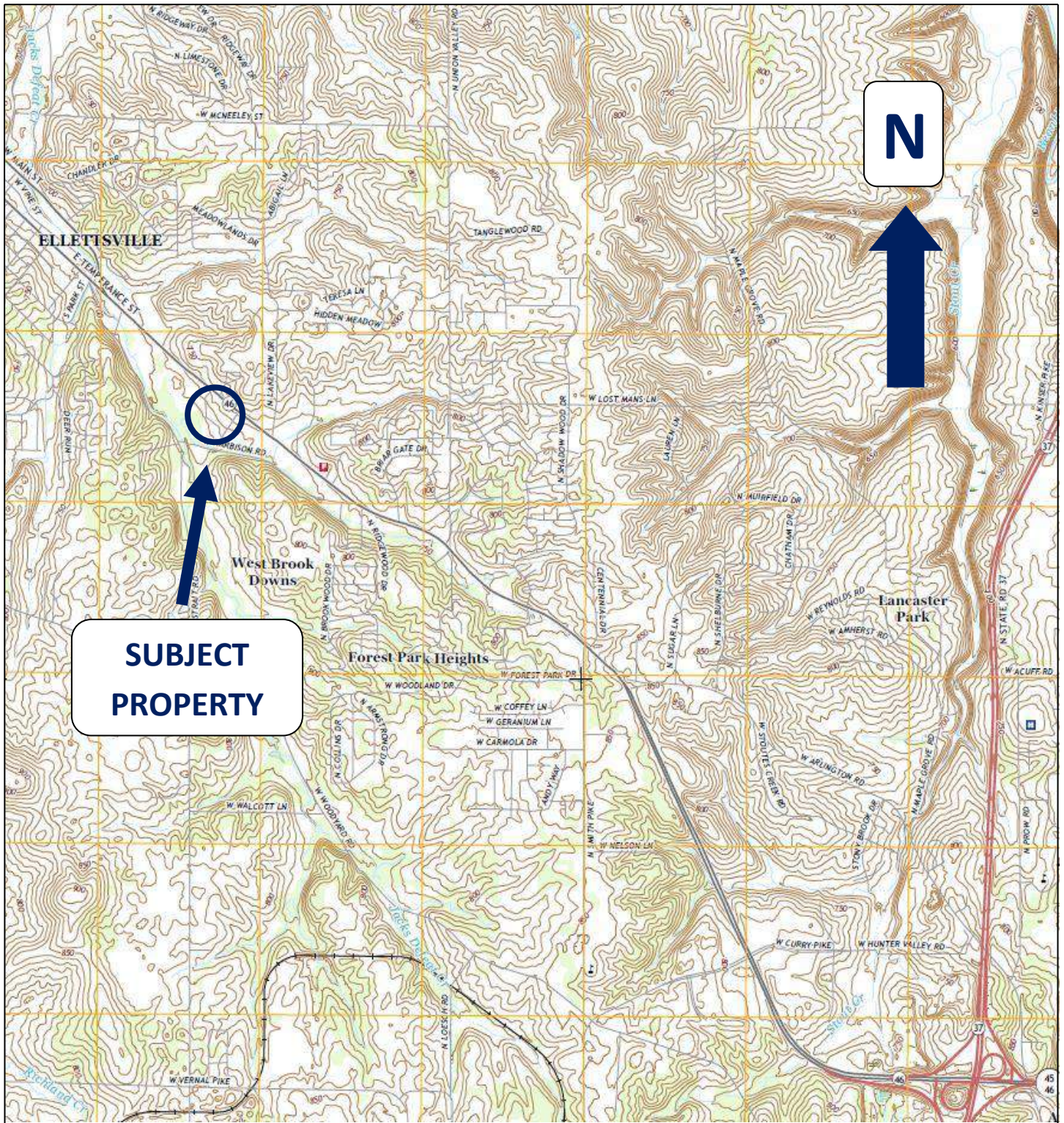
Photo 1 - facing northeast towards the main building (2023).



Photo 2 - facing eastward from the back of the lot (2023).



Photo 3 - facing south from the parking lot (2023).



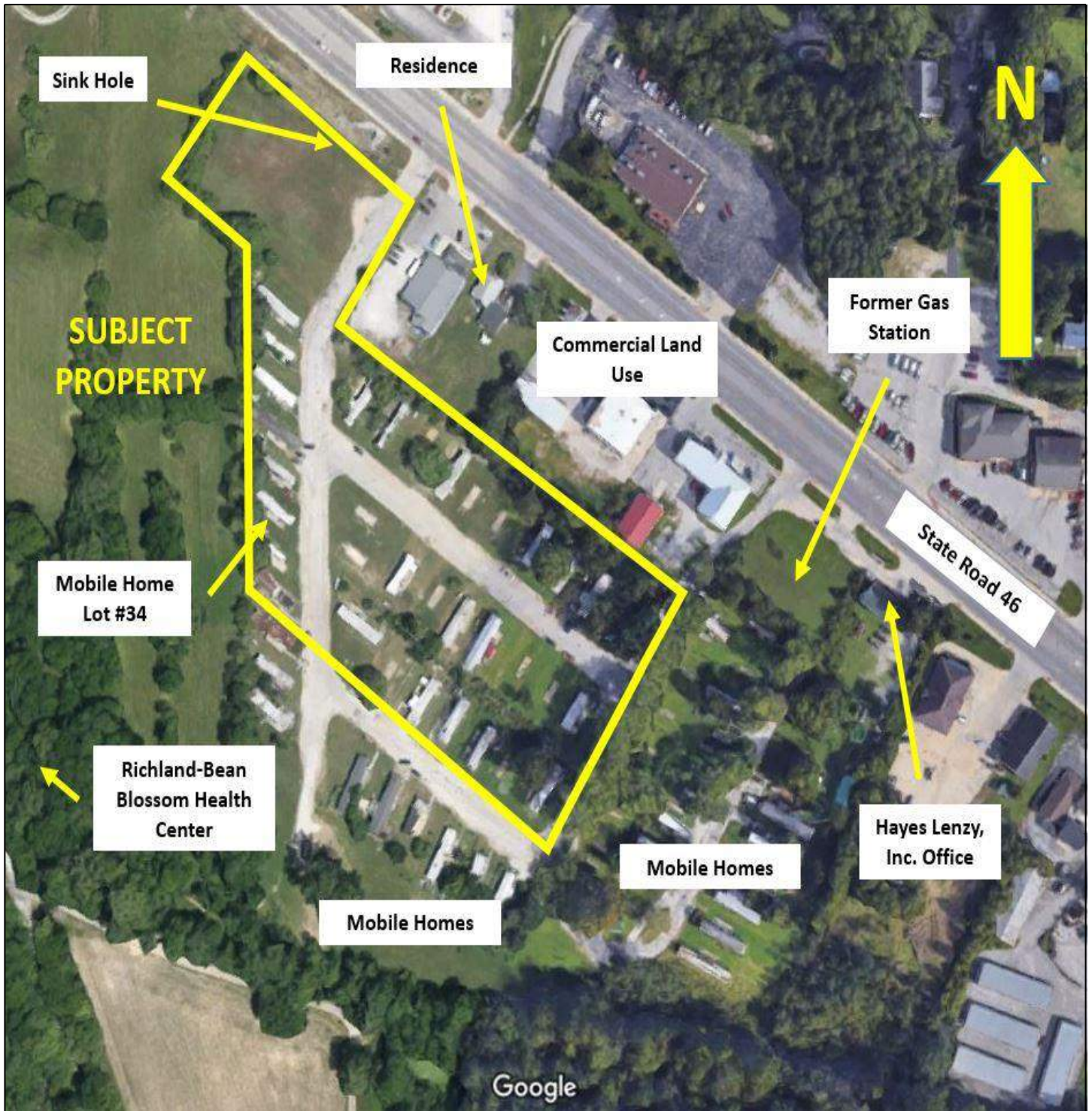
Source: USGS 7.5-Minute Quadrangle Map, Bloomington, IN 2016

**Figure 1 – Site Location Map**  
 Governor Park Property  
 5665 West State Road 46  
 Bloomington, IN 47404

Scale: 1"= 2,000 feet  
 Drawn By: AD  
 Reviewed By: PT







**Source: Google Maps**

Approximate Property Boundary

**Figure 2 – Site Features Map**

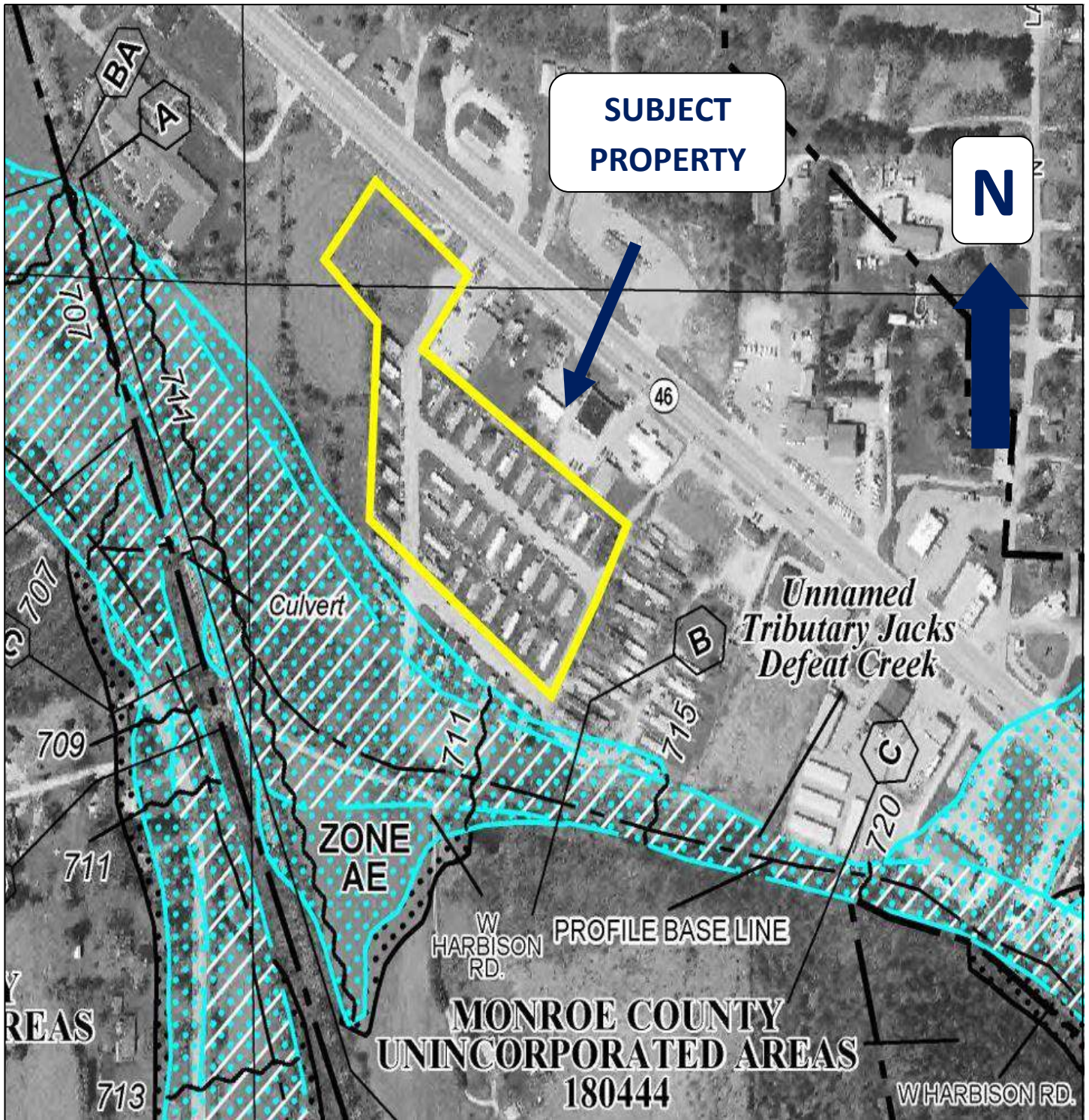
Governor Park Property  
 5665 West State Road 46  
 Bloomington, IN 47404

Scale: Not to Scale

Drawn By: AD

Reviewed By: PT





Source: FEMA Flood Map Service Center

**Figure 3 – Flood Insurance Rate Map**

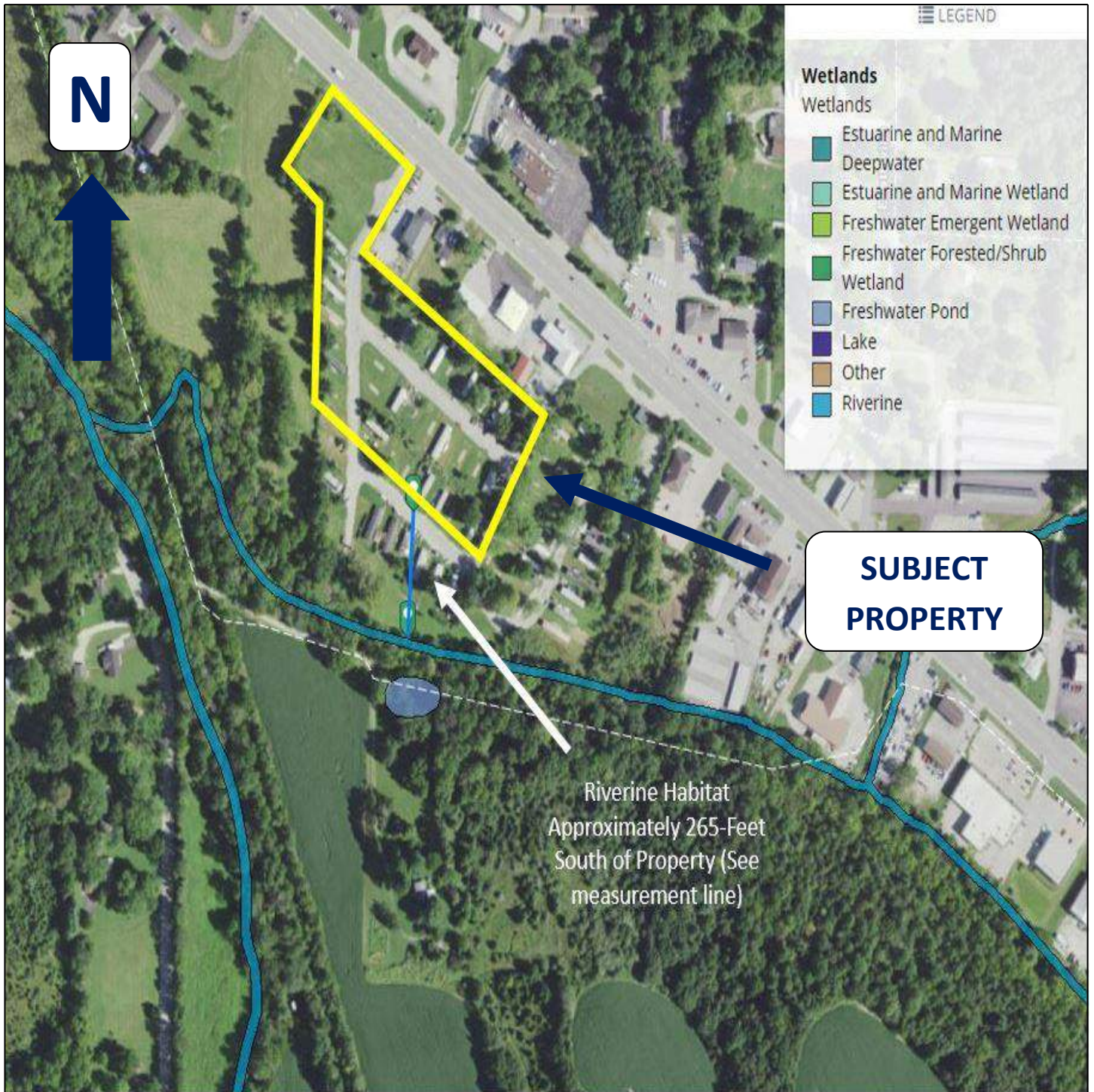
Governor Park Property  
 5665 West State Road 46  
 Bloomington, IN 47404

NOT TO SCALE

Drawn By: AD

Reviewed By: PT





Source: U.S. Fish & Wildlife, National Wetlands Inventory, Wetlands Mapper

**Figure 4 – Wetlands Map**

Governor Park Property  
5665 West State Road 46  
Bloomington, IN 47404

NOT TO SCALE

Drawn By: AD

Reviewed By: PT



**IHSSI (County Survey)**



Survey Number: 105-055-18087  
 Rating: Contributing  
 Historic Name: Manufactured Home  
 Year Dataset Compiled: 2015  
 National Register File Number: -

**Survey County**

County	Legal Township(s)	Quad Name(s)
Monroe	Richland	Bloomington

Address: 5661 West SR 46 #29  
 City: Ellettsville  
 Location Notes: -

**Coordinates**

Easting	Northing
533630	4341572

Common Name: Manufactured Home  
 Category: Building  
 Visible?:   
 Historic District?:   
 Historic District Name: -  
 Ownership: private

**Use: Present**

Residence:       Commercial:       Vacant:   
 Other:   
 Other:

**Use: Past**

Residence:       Commercial:       Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:  State Register:  Hoosier Homestead:

National Historic Landmark:  Local Designation:  Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 1

Environment: Residential neighborhood

Bibliography: Site visit and 39 degrees N

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1958

Condition: Good

Year Demolished: -

Integrity: Unaltered

Date Moved: -

Alterations: -

Style: -

Type/Vernacular: Manufactured Housing

**Architect/Builder**

**Architectural Firm**

**Affiliation**

- - -

**Replacement**

Windows:  Roof:

Other:

**Additions**

Siding:  Wings:

Other:

Removals: -

**Stories**

1:  1 1/2:  2:  2 1/2:

Other:

**Plan**

Rectangular:  Polygonal:

L:  T:  X:  U:

Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:

Irregular/Massed:  Other:

**Number of Bays:** -  
**Foundation:** N/A  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:     Front-Gable:     Cross-Gable:   
 Hip:     Pyramidal:     Mansard:   
 Other:     Description: Convex w/flat projec  
 Material: STEEL  
 Features: -

**Porches**

Front:     Side:     Back:   
 Notes: -

**Openings:** Original metal 1/1 double hung and awning windows, original door

**Interior:** -

**Outbuildings:** Shed

Notes: Shed built in 1968

**Statement of Significance:** -

**Architectural Description:** Manufactured House has design features similar to the 1958 Great Lakes trailer

**IHSSI (County Survey)**



Survey Number: 105-055-18088

Rating: Contributing

Historic Name: Manufactured House

Year Dataset Compiled: 2015

National Register File Number: -

**Survey County**

County	Legal Township(s)	Quad Name(s)
Monroe	Richland	Bloomington

Address: 5661 West SR 46 #30

City: Ellettsville

Location Notes: -

**Coordinates**

Easting	Northing
533645	4341563

Common Name: Manufactured House

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

**Use: Present**

Residence:  Commercial:  Vacant:

Other:

Other:

**Use: Past**

Residence:  Commercial:  Vacant:

Other:

Other:

**Surveys/Legal Protections**

National Register:  State Register:  Hoosier Homestead:

National Historic Landmark:  Local Designation:  Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 1

Environment: Residential neighborhood

Bibliography: Site visit and 39 degrees N

**Structure Type**

Bridge:

Cemetery:

Other:

Time Period(s): c. 1958

Condition: Good

Year Demolished: -

Integrity: Slightly Altered

Date Moved: -

Alterations: -

Style: -

Type/Vernacular: Manufactured Housing

Architect/Builder	Architectural Firm	Affiliation
-	-	-

**Replacement**

Windows:  Roof:

Other:

**Additions**

Siding:  Wings:

Other:  Description: Wood balustrade

Removals: -

**Stories**

1:  1 1/2:  2:  2 1/2:

Other:

**Plan**

Rectangular:  Polygonal:

L:  T:  X:  U:

Irregular:  Other:

**Depth**

Single-Pile:  Double-Pile:

Irregular/Massed:  Other:



**Number of Bays:** -  
**Foundation:** N/A  
**Foundation Description:** -  
**Walls Description:** -  
**Other Walls:** -

**Roof**

Side-Gable:     Front-Gable:     Cross-Gable:   
 Hip:     Pyramidal:     Mansard:   
 Other:     Description: Flat w/convex projec  
 Material: STEEL  
 Features: -

**Porches**

Front:     Side:     Back:   
 Notes: Partial width shed roof canopy w/sqr met posts, wd deck, lattice & balustra

**Openings:** Original metal 1/1 double hung windows, original door

**Interior:** -

**Outbuildings:** Shed

Notes: Shed built in 1968

**Statement of Significance:** -

**Architectural Description:** Manufactured House made by Village. It has design properties similar to the 1958 series Belvedere and Pan American trailers.



March 7, 2023

John Saunders  
Chair  
Bloomington Historic Preservation  
401 N Morton St, Suite 130  
Bloomington, IN 47404

Re: Construction of Retreat at Switchyard, a Multi-Family Building, Bloomington, Indiana  
Project Based Voucher Program and Federal Tax Credits for New Construction

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

**The Area of Potential Effect (APE) is located at 1730 South Walnut Street, Bloomington, Indiana. The project scope of work involved ground disturbance and the demolition of an existing structure. Research confirms that the demolished structure was not rated on the Indiana State Historic Architectural and Archaeological Research Database (SHAARD) map or located within any local, state or Federal Historic district or is locally designated. The building was less than forty years old and not eligible for inclusion in the National Register.**

**Enclosed are a map with the location, recent photos from the site, plans of the proposed building, and historic aerial photography.**

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

Sincerely,






Gloria M. Colom Braña  
Historic Preservation Program Manager  
City of Bloomington, Indiana

Cc: Department of Historic Preservation and Archeology, Department of Natural Resources,  
Indiana

Attachments



**Map Legend**

-  APE
-  Contributing Monroe
-  County Parcels

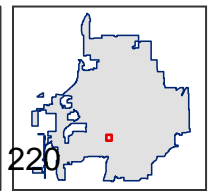




Image of building on site that has been demolished. (Image from Google Maps)



Retreat at Switchyard  
Facing northward into the project site (March 1, 2023)



Retreat at Switchyard  
Facing northwest into the project site (March 1, 2023)



INQUIRY #: 6140971.8

YEAR: 2016

 = 500'







INQUIRY #: 6140971.8

YEAR: 2012

— = 500'



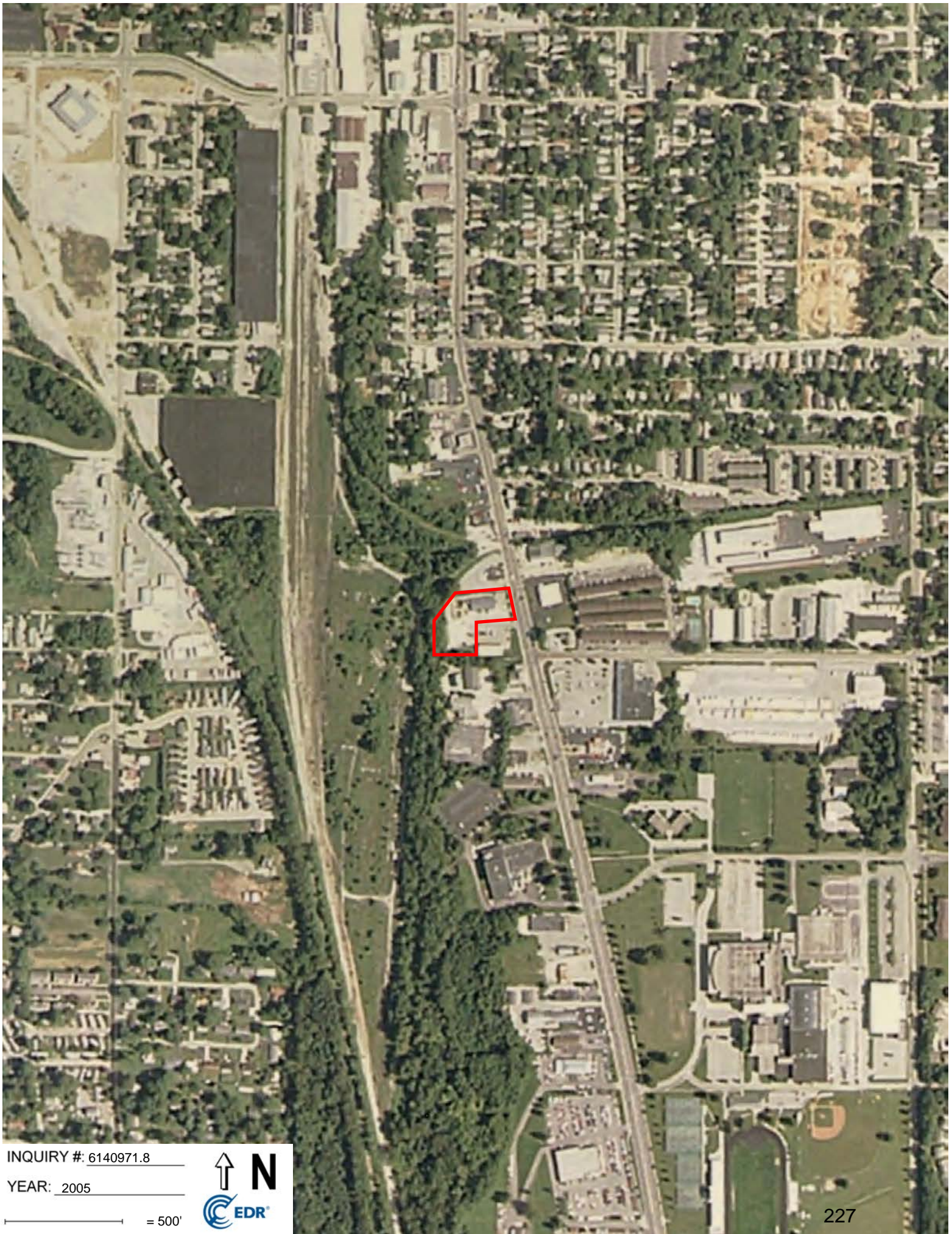


INQUIRY #: 6140971.8

YEAR: 2008

— = 500'





INQUIRY #: 6140971.8

YEAR: 2005

— = 500'





INQUIRY #: 6140971.8

YEAR: 1998

— = 500'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6140971.8

YEAR: 1992

— = 750'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6140971.8

YEAR: 1986

— = 500'





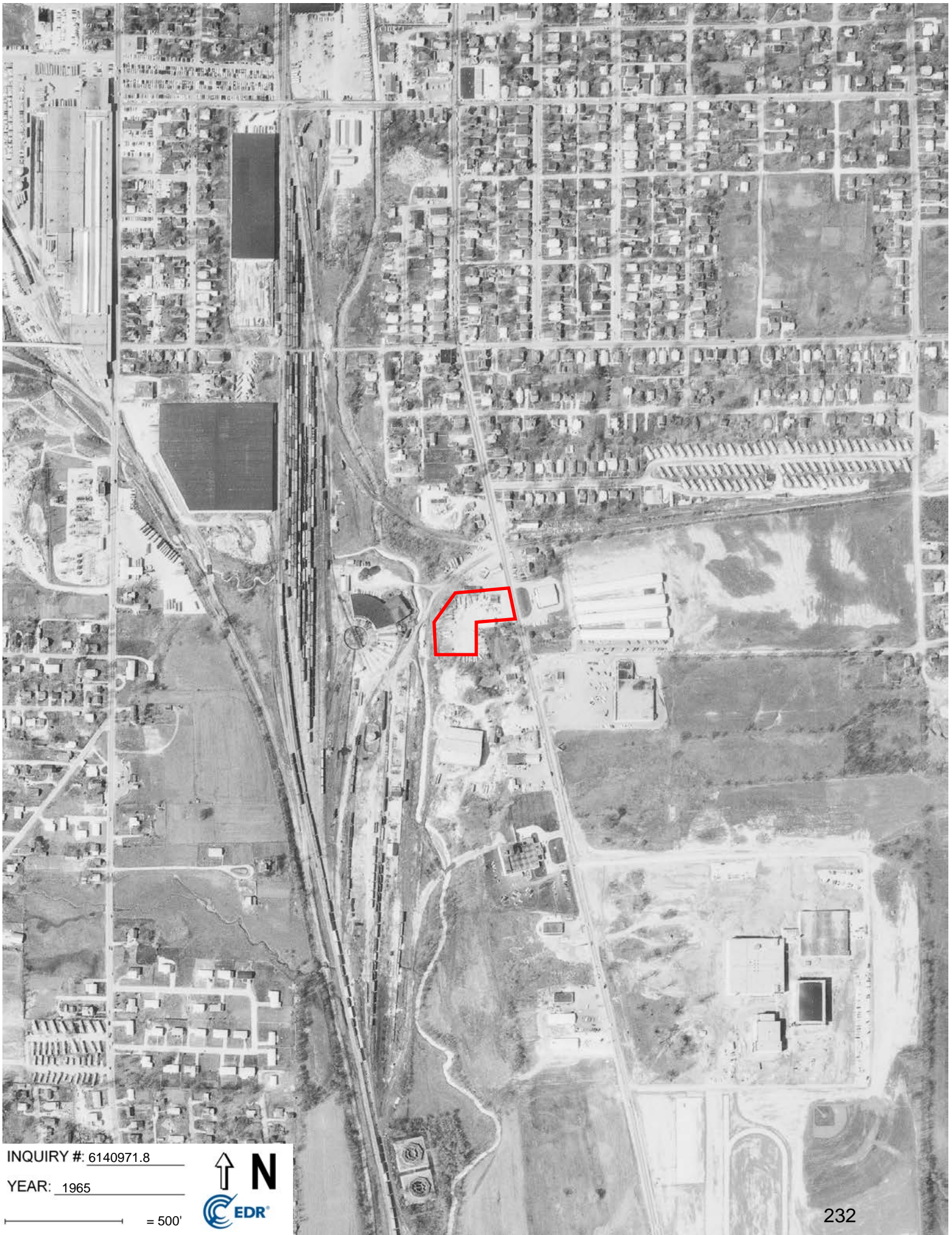
INQUIRY #: 6140971.8

YEAR: 1977

— = 500'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6140971.8

YEAR: 1965

— = 500'





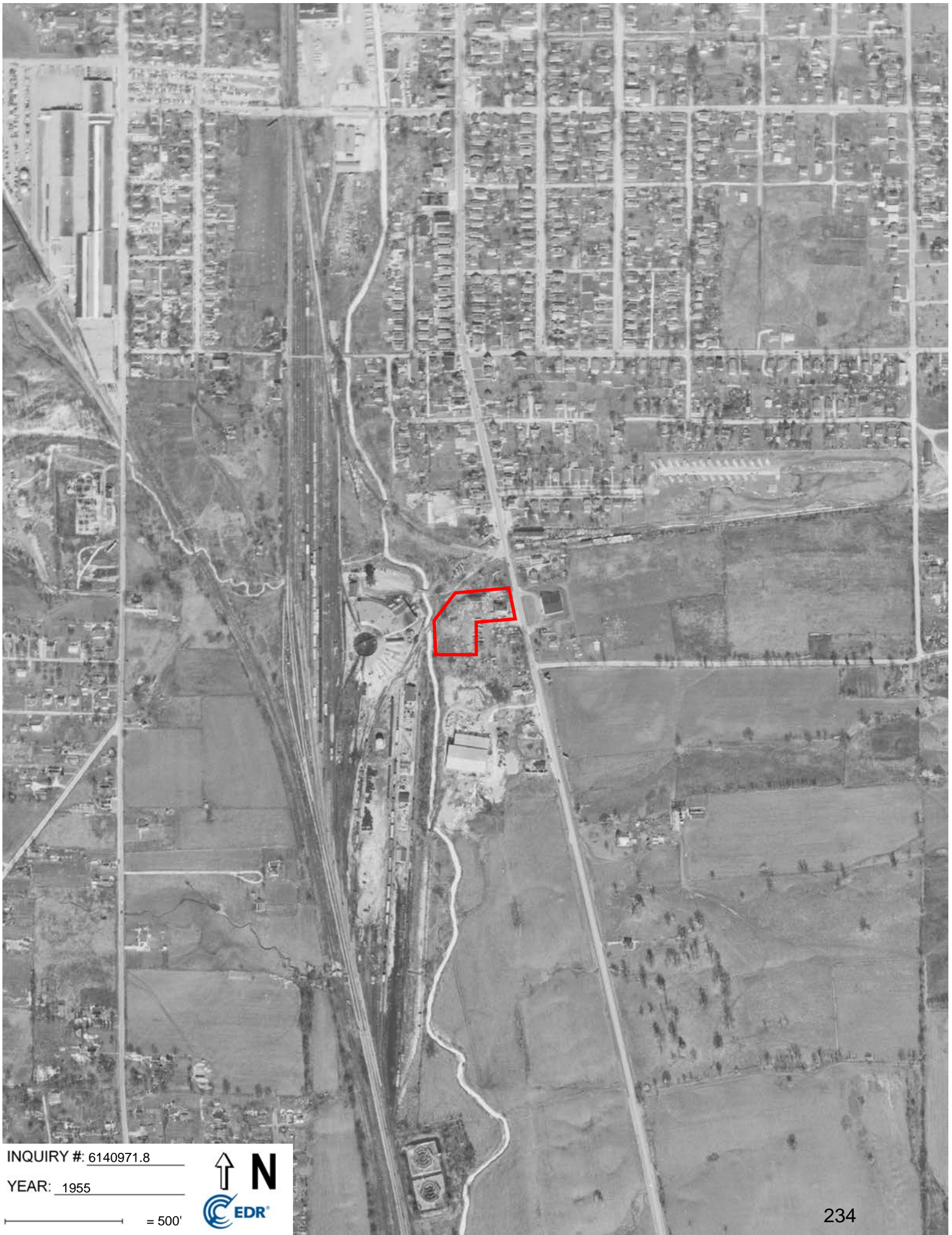


INQUIRY #: 6140971.8

YEAR: 1962

— = 500'





INQUIRY #: 6140971.8

YEAR: 1955

— = 500'





INQUIRY #: 6140971.8

YEAR: 1952

— = 500'





INQUIRY #: 6140971.8

YEAR: 1946

— = 500'





INQUIRY #: 6140971.8

YEAR: 1941

— = 500'



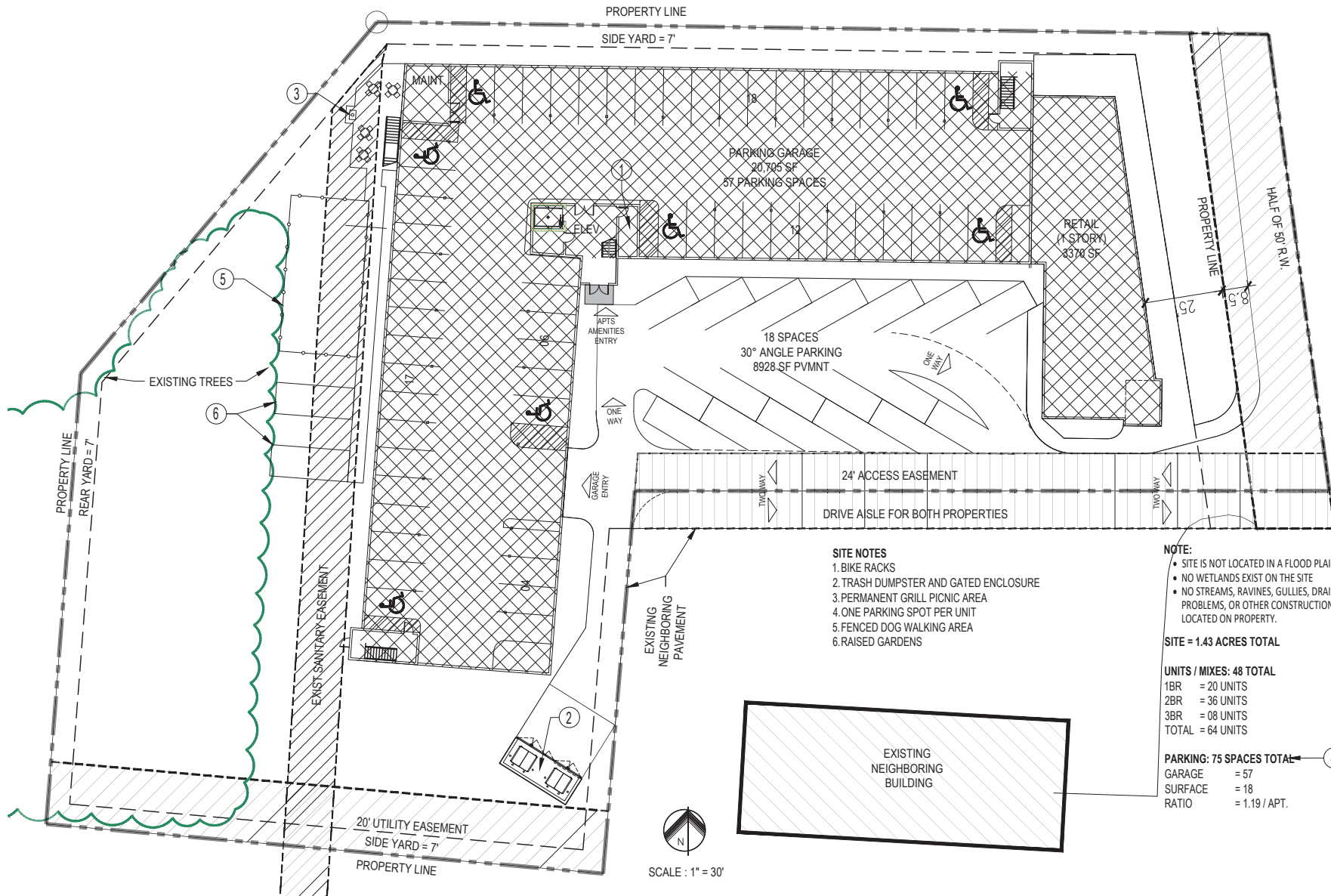


INQUIRY #: 6140971.8

YEAR: 1939

— = 500'





- SITE NOTES**
1. BIKE RACKS
  2. TRASH DUMPSTER AND GATED ENCLOSURE
  3. PERMANENT GRILL PICNIC AREA
  4. ONE PARKING SPOT PER UNIT
  5. FENCED DOG WALKING AREA
  6. RAISED GARDENS

- NOTE:**
- SITE IS NOT LOCATED IN A FLOOD PLAIN
  - NO WETLANDS EXIST ON THE SITE
  - NO STREAMS, RAVINES, GULLIES, DRAINAGE PROBLEMS, OR OTHER CONSTRUCTION DETERRENENTS LOCATED ON PROPERTY.

**SITE = 1.43 ACRES TOTAL**

**UNITS / MIXES: 48 TOTAL**

- 1BR = 20 UNITS
- 2BR = 36 UNITS
- 3BR = 08 UNITS
- TOTAL = 64 UNITS

**PARKING: 75 SPACES TOTAL**

- GARAGE = 57
- SURFACE = 18
- RATIO = 1.19 / APT.



**RETREAT @ THE SWITCHYARD**

1730 S. WALNUT STREET  
BLOOMINGTON, INDIANA 47401

09.06.2020

**2020 LIHTC SUBMITTAL  
A011 - SITE PLAN / FIRST FLR**

SEPTEMBER 10, 2020



① NORTH PERSPECTIVE  
NO SCALE



② NORTH ELEVATION  
1" = 20'-0"

EXTERIOR ELEVATION KEY NOTES (X)	
1.	MEMBRANE ROOFING
2.	STONE VENEER
3.	VINYL WINDOWS - SEE WINDOW SCHEDULE
4.	METAL SIDING
5.	FIBER CEMENT HORIZONTAL LAP SIDING
6.	STAMPED CONCRETE WALL
7.	FIBER CEMENT TRIM AS SHOWN
8.	STOREFRONT WINDOW SYSTEM





① EAST PERSPECTIVE  
NO SCALE



② EAST ELEVATION  
1" = 20'-0"

EXTERIOR ELEVATION KEY NOTES (X)	
1.	MEMBRANE ROOFING
2.	STONE VENEER
3.	VINYL WINDOWS - SEE WINDOW SCHEDULE
4.	METAL SIDING
5.	FIBER CEMENT HORIZONTAL LAP SIDING
6.	STAMPED CONCRETE WALL
7.	FIBER CEMENT TRIM AS SHOWN
8.	STOREFRONT WINDOW SYSTEM



① WEST PERSPECTIVE  
NO SCALE



② WEST ELEVATION  
1" = 20'-0"

EXTERIOR ELEVATION KEY NOTES (X)	
1.	MEMBRANE ROOFING
2.	STONE VENEER
3.	VINYL WINDOWS - SEE WINDOW SCHEDULE
4.	METAL SIDING
5.	FIBER CEMENT HORIZONTAL LAP SIDING
6.	STAMPED CONCRETE WALL
7.	FIBER CEMENT TRIM AS SHOWN
8.	STOREFRONT WINDOW SYSTEM

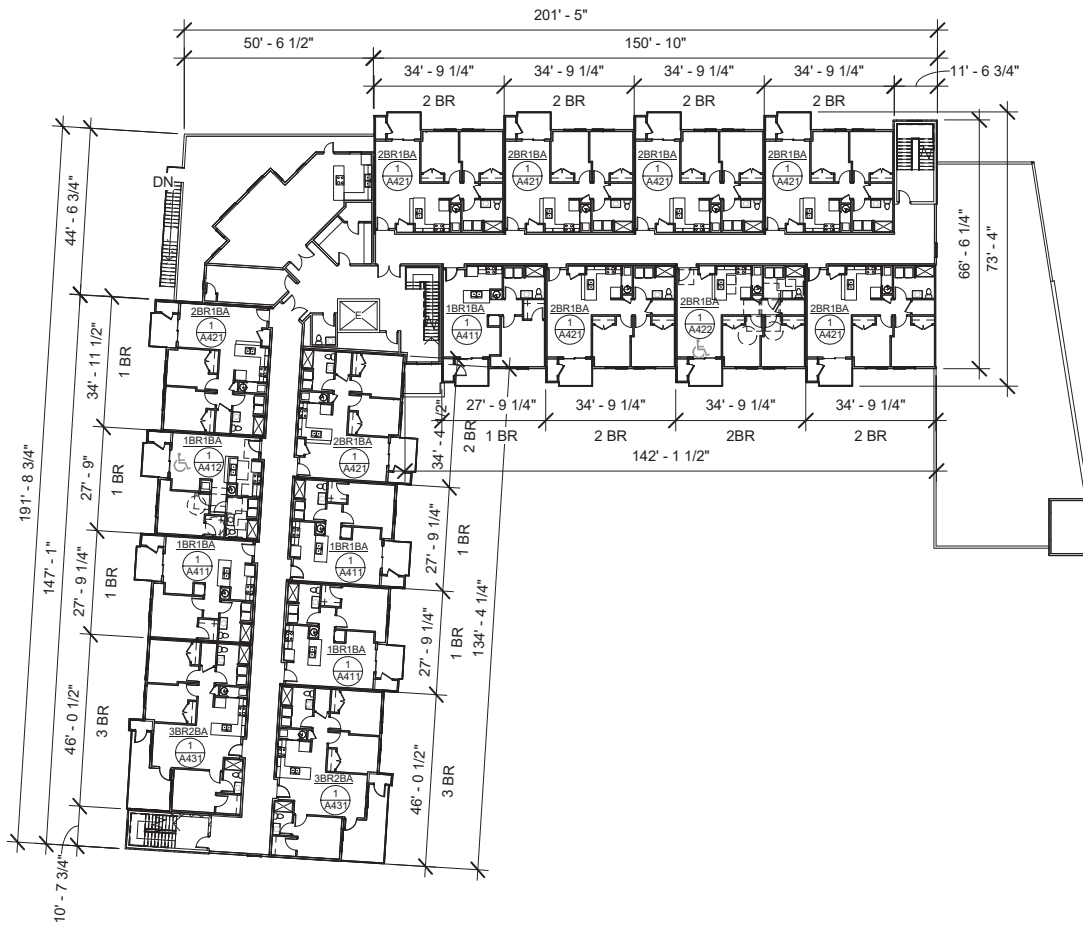


① SOUTH PERSPECTIVE  
NO SCALE



② SOUTH ELEVATION  
1" = 20'-0"

EXTERIOR ELEVATION KEY NOTES (X)	
1.	MEMBRANE ROOFING
2.	STONE VENEER
3.	VINYL WINDOWS - SEE WINDOW SCHEDULE
4.	METAL SIDING
5.	FIBER CEMENT HORIZONTAL LAP SIDING
6.	STAMPED CONCRETE WALL
7.	FIBER CEMENT TRIM AS SHOWN
8.	STOREFRONT WINDOW SYSTEM



1 SECOND FLOOR  
1" = 30'-0"

**2ND FLOOR PLAN NOTES:**

- 1 BR UNITS = 5 TOTAL (1 TYPE "A" ACCESSIBLE)
- 2 BR UNITS = 9 TOTAL (1 TYPE "A" ACCESSIBLE)
- 3 BR UNITS = 2 TOTAL (0 TYPE "A" ACCESSIBLE)

ALL UNITS TO BE TYPE B ACCESSIBLE UNLESS NOTED OTHERWISE

**RETREAT AT SWITCHYARD  
BLOOMINGTON**

**2020 LIHTC SUBMITTAL  
A112 - SECOND FLOOR PLAN**

1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401

09/10/20

**REAL AMERICA**

① THIRD FLOOR  
1" = 30'-0"



**3RD FLOOR PLAN NOTES:**

- 1 BR UNITS = 5 TOTAL (0 TYPE "A" ACCESSIBLE)
- 2 BR UNITS = 9 TOTAL (1 TYPE "A" ACCESSIBLE)
- 3 BR UNITS = 2 TOTAL (1 TYPE "A" ACCESSIBLE)

ALL UNITS TO BE TYPE B ACCESSIBLE UNLESS NOTED OTHER WISE

**RETREAT AT SWITCHYARD  
BLOOMINGTON**

1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401



**2020 LIHTC SUBMITTAL  
A113 - THIRD FLOOR PLAN**  
09/10/20



① **FOURTH FLOOR**  
1" = 30'-0"

**4TH FLOOR PLAN NOTES:**

- 1 BR UNITS = 5 TOTAL (0 TYPE "A" ACCESSIBLE)
- 2 BR UNITS = 9 TOTAL (1 TYPE "A" ACCESSIBLE)
- 3 BR UNITS = 2 TOTAL (0 TYPE "A" ACCESSIBLE)

ALL UNITS TO BE TYPE B ACCESSIBLE UNLESS NOTED OTHER WISE

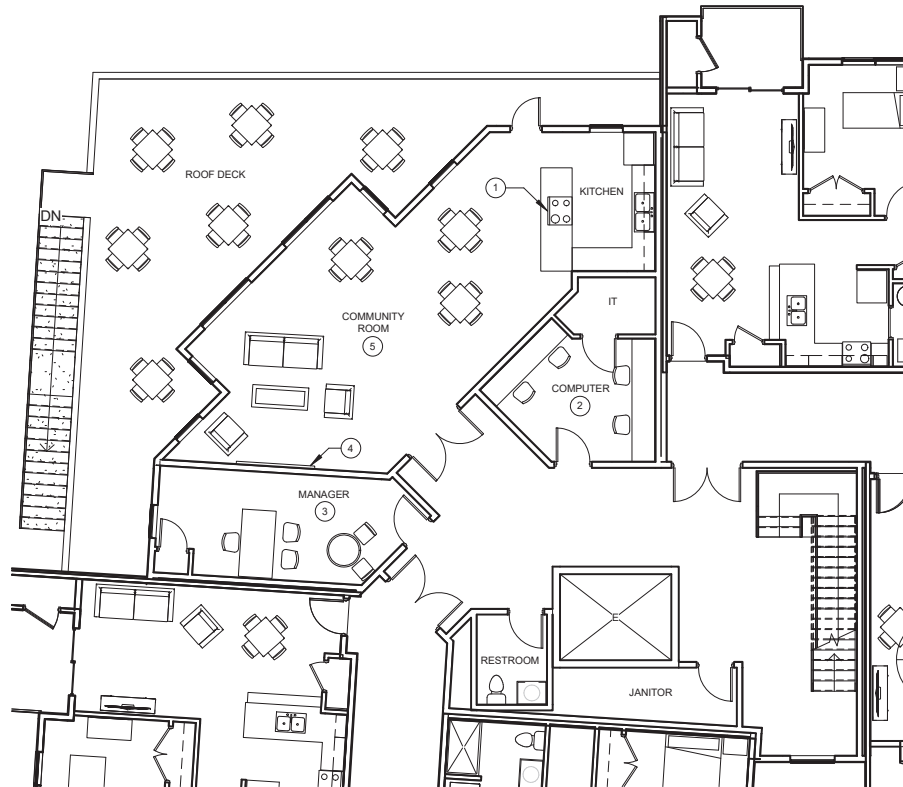
**RETREAT AT SWITCHYARD  
BLOOMINGTON**

1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401

**2020 LIHTC SUBMITTAL  
A114 - FOURTH FLOOR PLAN**

09/10/20





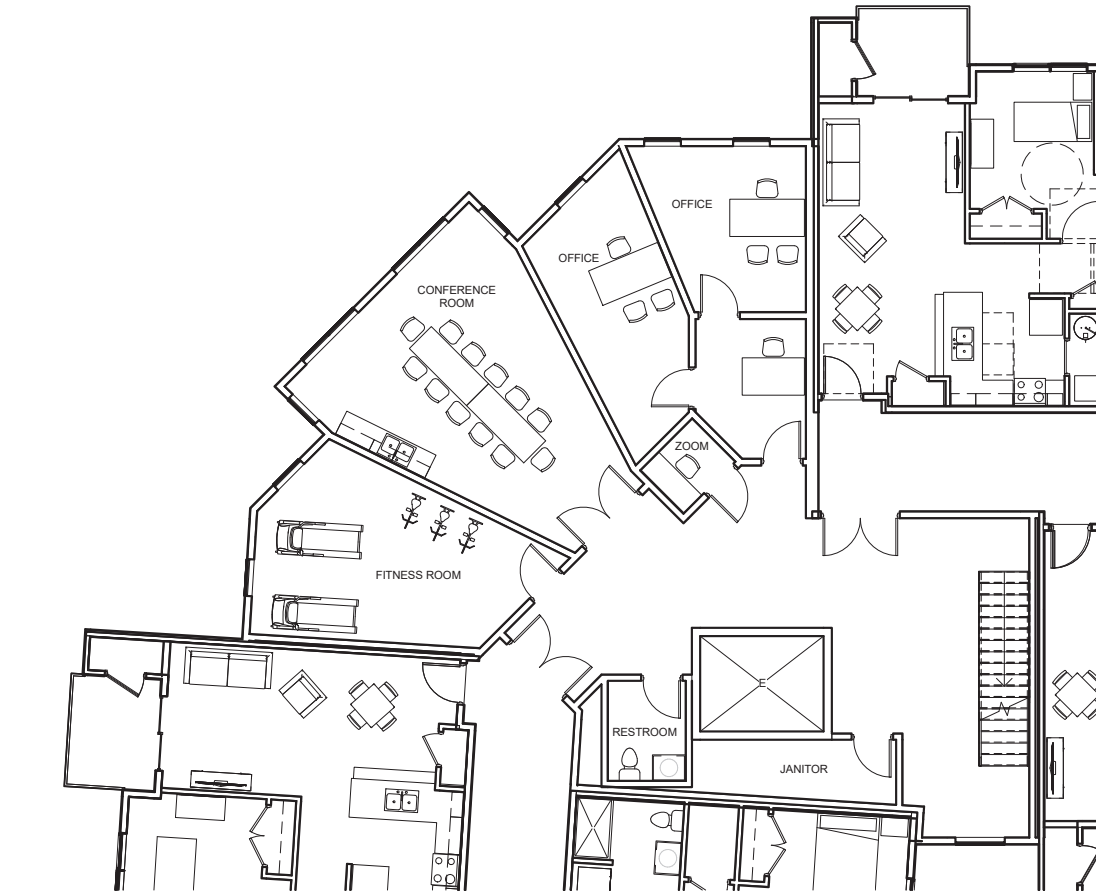
① SECOND FLOOR - COMMUNITY SPACE  
1" = 10'-0"

COMMUNITY SPACE NOTES	
1.	ISLAND WITH A STOVE FOR DEMONSTRATIONS/ TEACHING
2.	HIGH SPEED INTERNET THROUGHOUT
3.	FULL TIME MANAGER ON-SITE
4.	COMMUNITY ROOM TV (LARGE SCREEN)
5.	COMFORT CONDITIONED COMMON AREAS

**2020 LIHTC SUBMITTAL**  
**A121 - SECOND FLOOR - COMMUNITY SPACE**  
 09/17/20

**RETREAT AT SWITCHYARD**  
**BLOOMINGTON**  
 1730 SOUTH WALNUT STREET  
 BLOOMINGTON, INDIANA 47401





① THIRD FLOOR - COMMUNITY SPACE  
1" = 10'-0"

**RETREAT AT SWITCHYARD  
BLOOMINGTON**

1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401

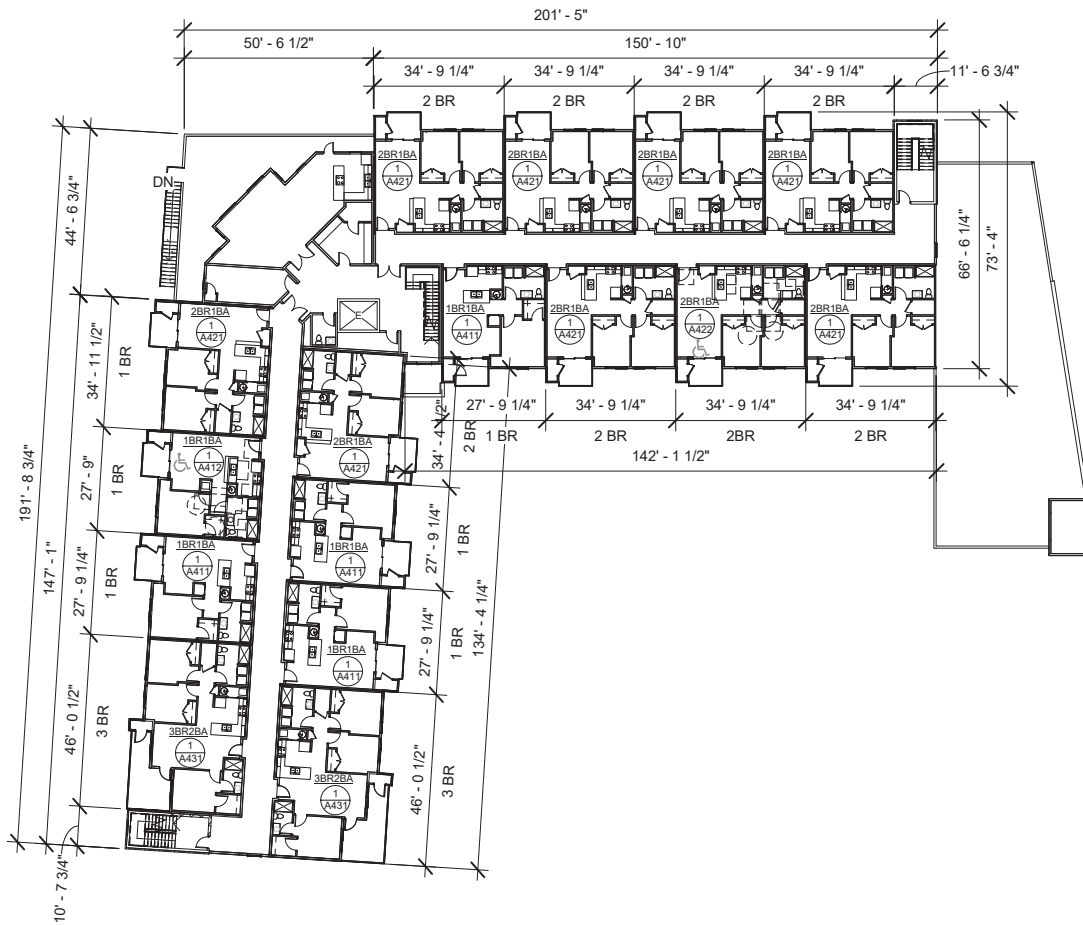
**2020 LIHTC SUBMITTAL**

**A122 - THIRD FLOOR - COMMUNITY SPACE**

09/17/20







1 SECOND FLOOR  
1" = 30'-0"

- 2ND FLOOR PLAN NOTES:**
- 1 BR UNITS = 5 TOTAL (1 TYPE "A" ACCESSIBLE)
  - 2 BR UNITS = 9 TOTAL (1 TYPE "A" ACCESSIBLE)
  - 3 BR UNITS = 2 TOTAL (0 TYPE "A" ACCESSIBLE)

ALL UNITS TO BE TYPE B ACCESSIBLE UNLESS NOTED OTHERWISE

**RETREAT AT SWITCHYARD  
BLOOMINGTON**  
1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401



**2020 LIHTC SUBMITTAL  
A112 - SECOND FLOOR PLAN**  
09/10/20

① THIRD FLOOR  
1" = 30'-0"



**3RD FLOOR PLAN NOTES:**

- 1 BR UNITS = 5 TOTAL (0 TYPE "A" ACCESSIBLE)
- 2 BR UNITS = 9 TOTAL (1 TYPE "A" ACCESSIBLE)
- 3 BR UNITS = 2 TOTAL (1 TYPE "A" ACCESSIBLE)

ALL UNITS TO BE TYPE B ACCESSIBLE UNLESS NOTED OTHER WISE

**RETREAT AT SWITCHYARD  
BLOOMINGTON**

1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401



**2020 LIHTC SUBMITTAL  
A113 - THIRD FLOOR PLAN**  
09/10/20



① **FOURTH FLOOR**  
1" = 30'-0"

**4TH FLOOR PLAN NOTES:**

- 1 BR UNITS = 5 TOTAL (0 TYPE "A" ACCESSIBLE)
- 2 BR UNITS = 9 TOTAL (1 TYPE "A" ACCESSIBLE)
- 3 BR UNITS = 2 TOTAL (0 TYPE "A" ACCESSIBLE)

ALL UNITS TO BE TYPE B ACCESSIBLE UNLESS NOTED OTHER WISE

**RETREAT AT SWITCHYARD  
BLOOMINGTON**

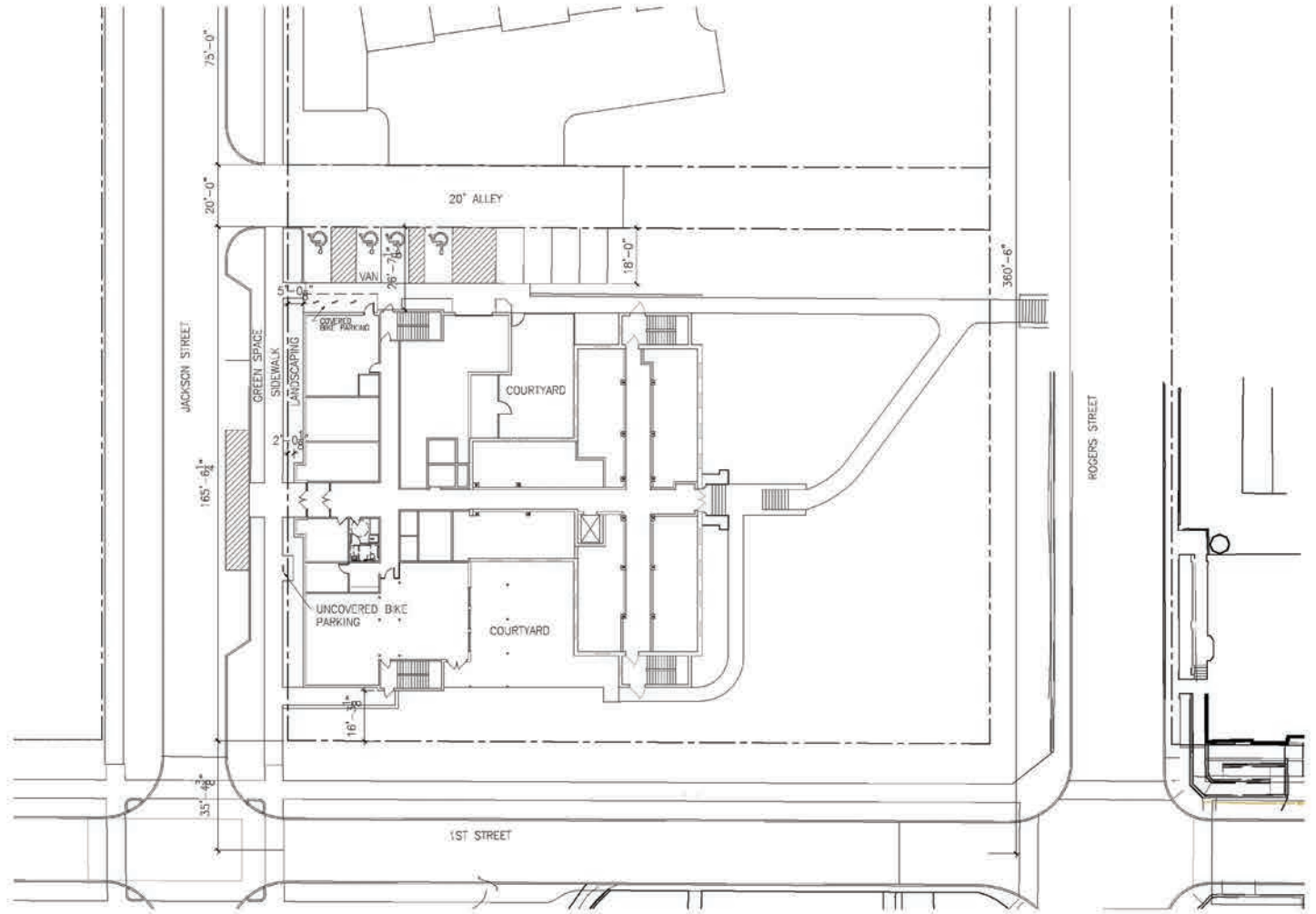
1730 SOUTH WALNUT STREET  
BLOOMINGTON, INDIANA 47401

**2020 LIHTC SUBMITTAL  
A114 - FOURTH FLOOR PLAN**

09/10/20



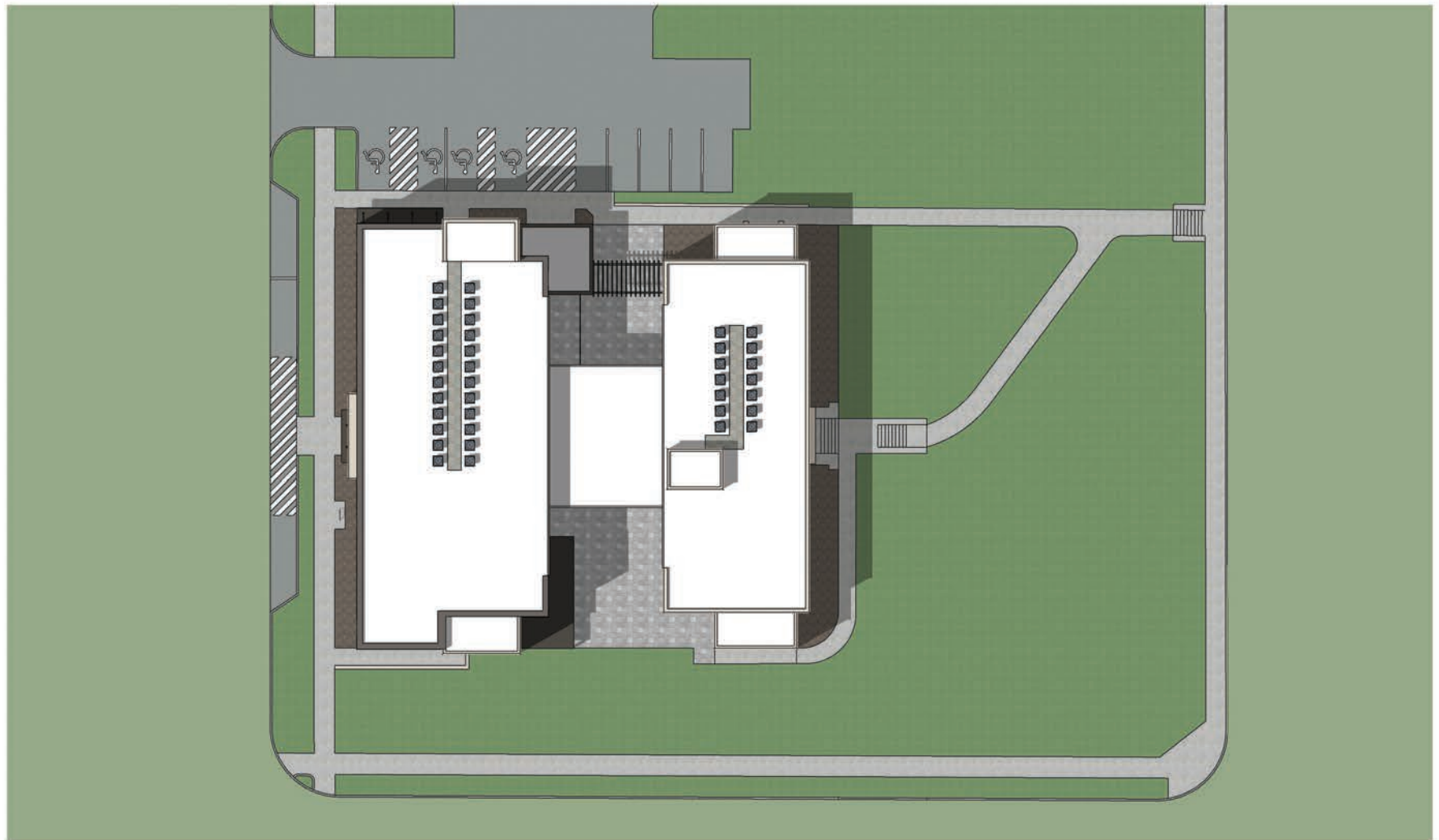
# **Kohr Building Preliminary Proposal**



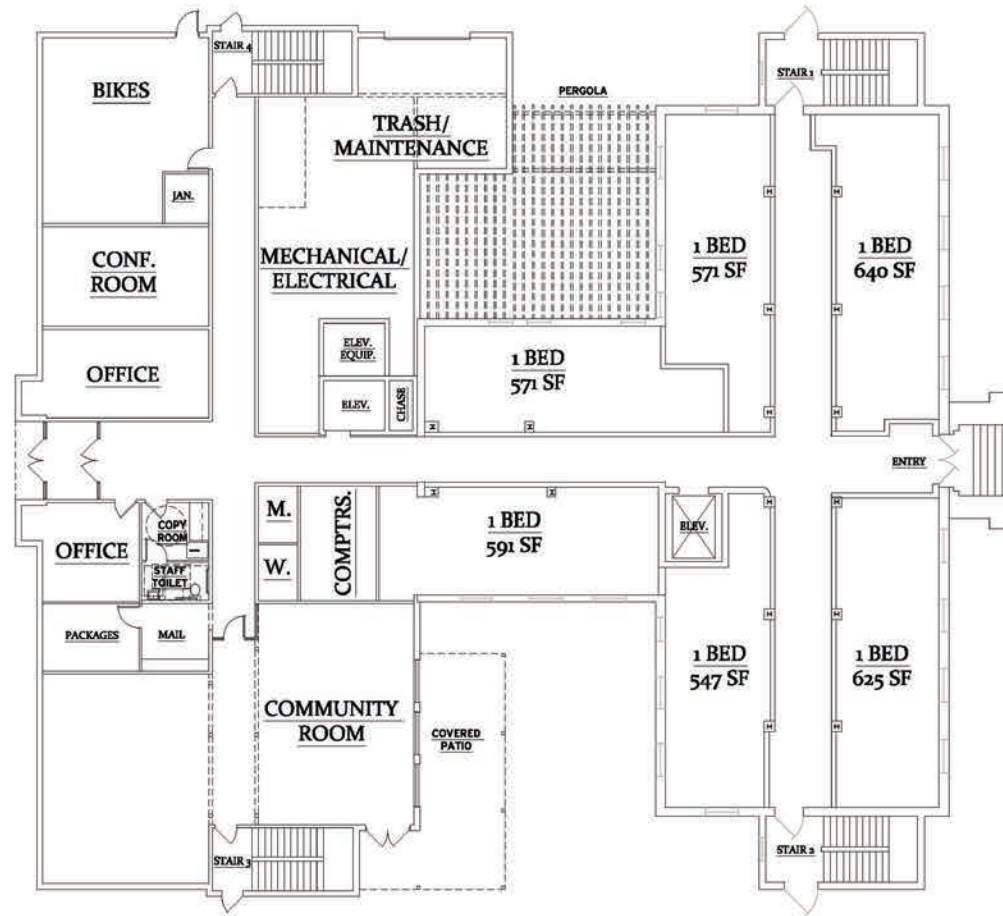
**KOHR BUILDING - PROPOSED SITE PLAN**



**SITE PLAN**  
**KOHR BUILDING**  
**BLOOMINGTON, IN**



SITE PLAN  
KOHHR BUILDING  
BLOOMINGTON, IN



**FLOOR 1**

PLAN  
**KOHR BUILDING  
 BLOOMINGTON, IN**



**FLOORS 2-4**

PLAN  
**KOHR BUILDING  
 BLOOMINGTON, IN**





**WEST ELEVATION**

ELEVATION  
KOHHR BUILDING  
BLOOMINGTON, IN



**EAST ELEVATION**

ELEVATION  
KOHHR BUILDING  
BLOOMINGTON, IN



**SOUTH ELEVATION**

ELEVATION  
KOHHR BUILDING  
BLOOMINGTON, IN



**NORTH ELEVATION**

ELEVATION  
**KOHR BUILDING  
BLOOMINGTON, IN**



PERSPECTIVE  
KOHHR BUILDING  
BLOOMINGTON, IN



PERSPECTIVE  
KOHHR BUILDING  
BLOOMINGTON, IN



PERSPECTIVE  
KOH R BUILDING  
BLOOMINGTON, IN



PERSPECTIVE  
KOHHR BUILDING  
BLOOMINGTON, IN





PERSPECTIVE  
KOHHR BUILDING  
BLOOMINGTON, IN



PERSPECTIVE  
KOHHR BUILDING  
BLOOMINGTON, IN