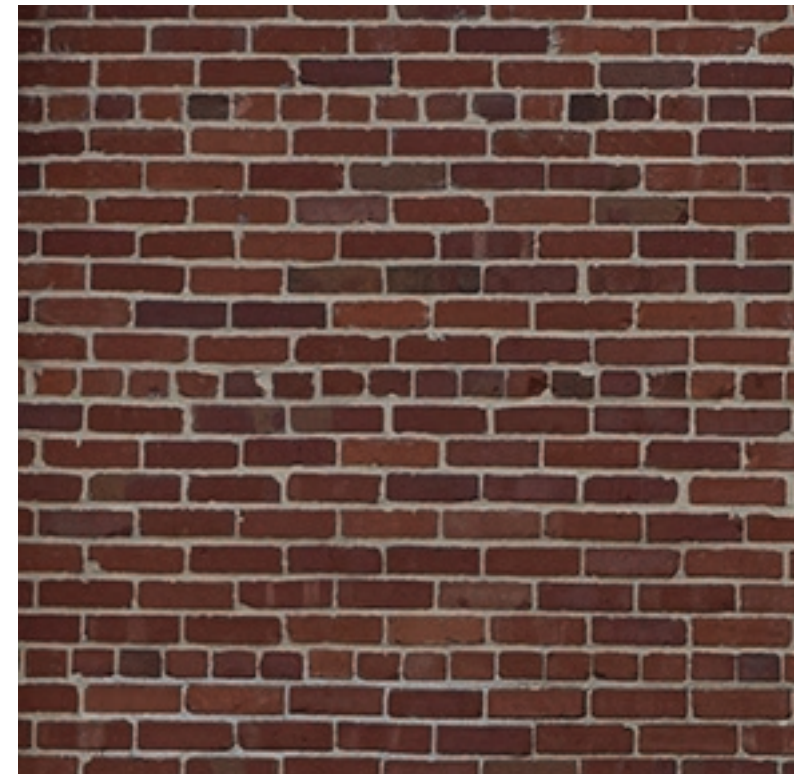




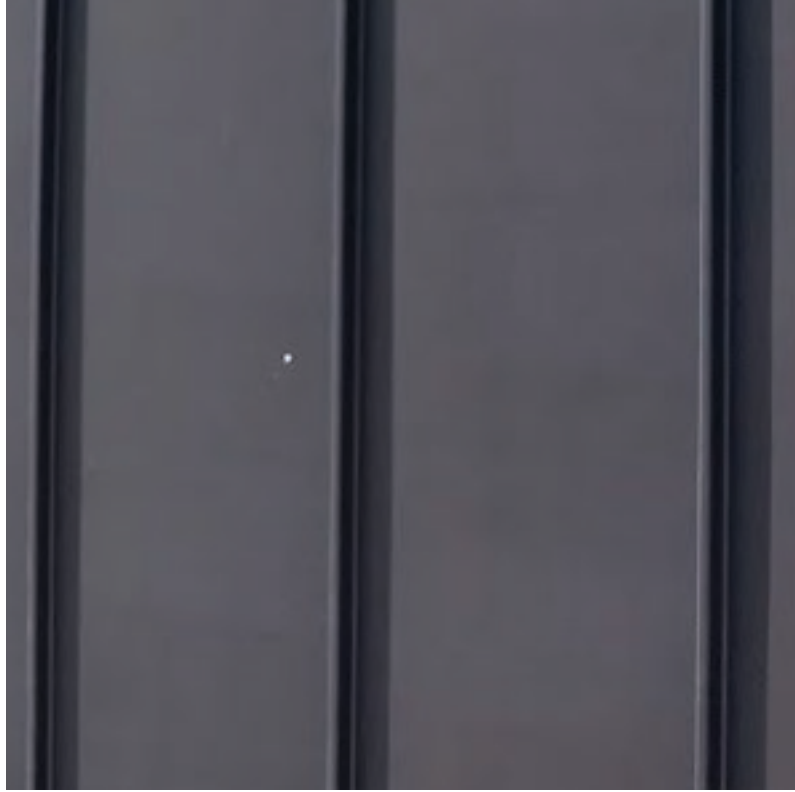
STOREFRONT - BLACK OR DARK BRONZE
ALUMINUM CLAD



ASH OR OAK -
SOFFIT MATERIAL



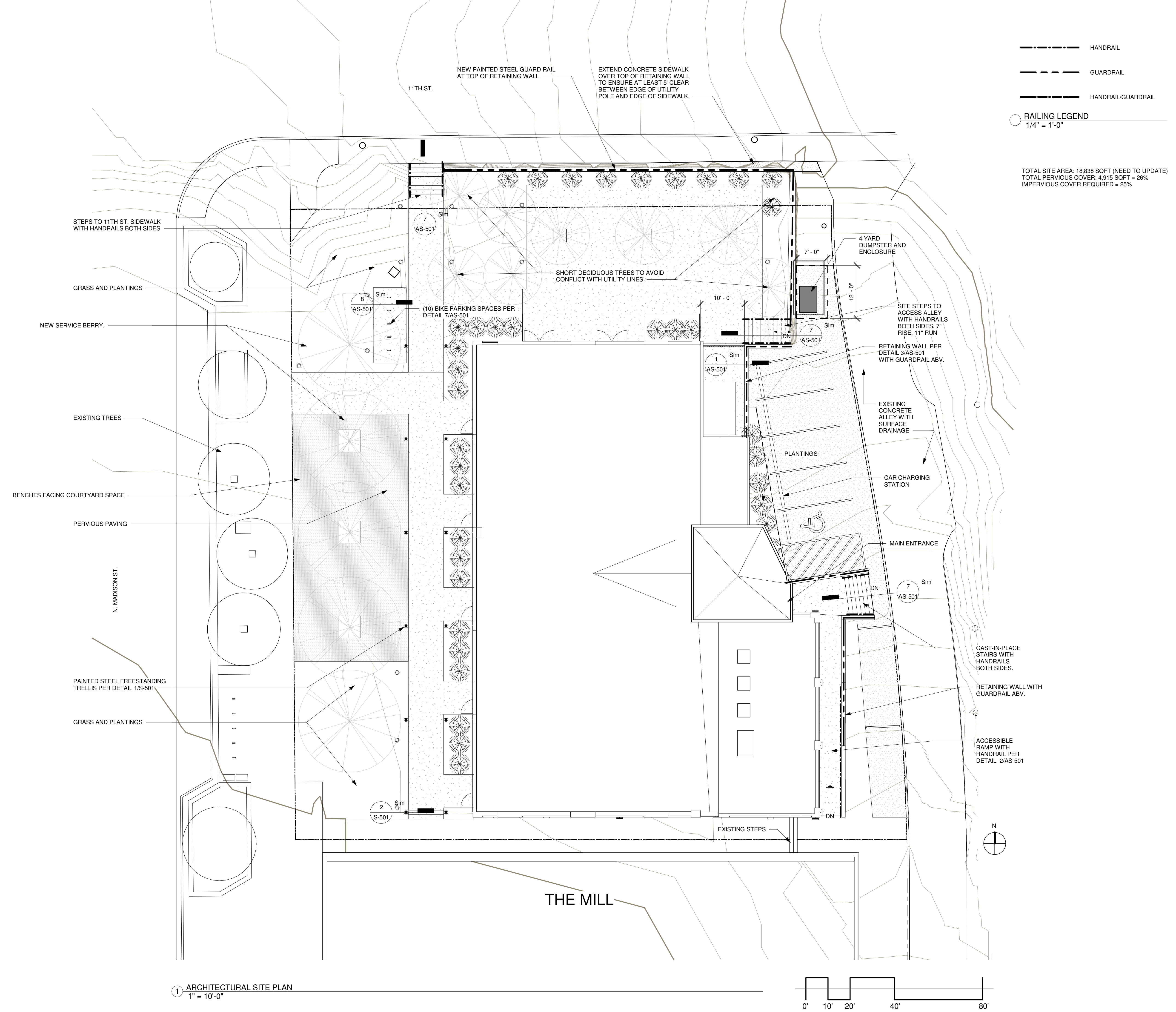
KILN BRICK -
ORIGINAL



STANDING SEAM METAL SIDING - MATTE BLACK



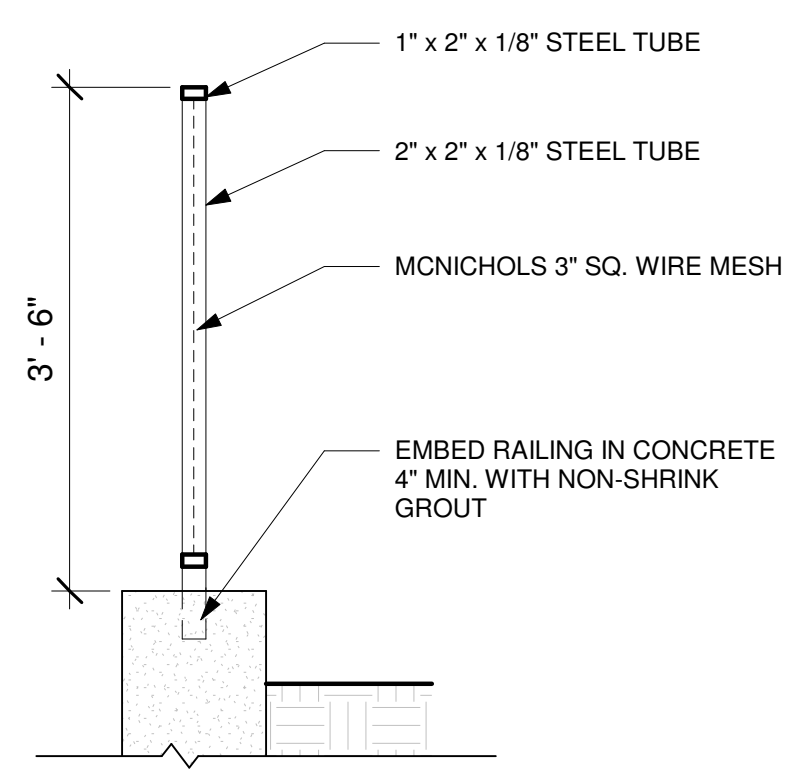
SILVERED CEDAR AND BLACK PAINTED STEEL AT THE MILL



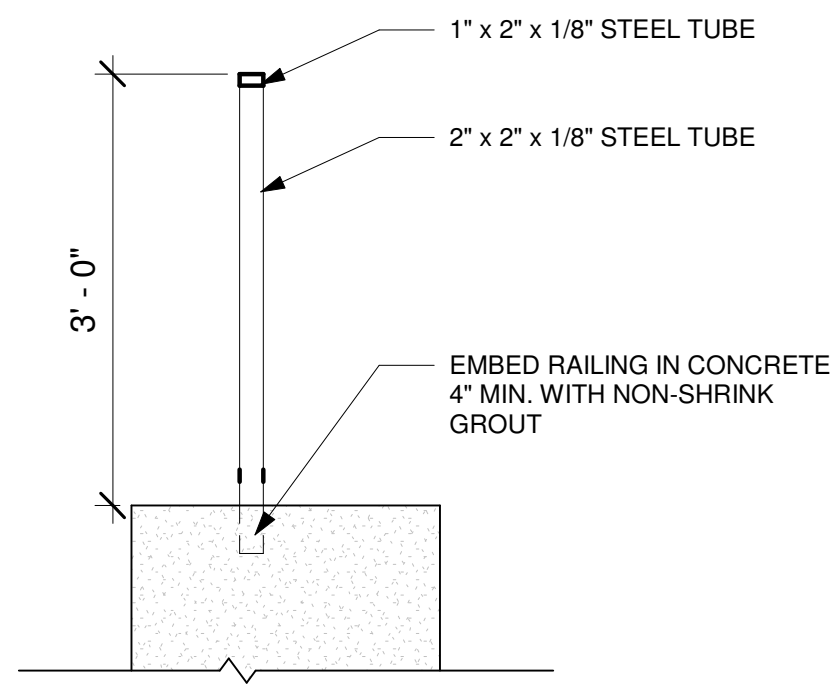
1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

ARCHITECTURAL SITE DETAIL NOTES:

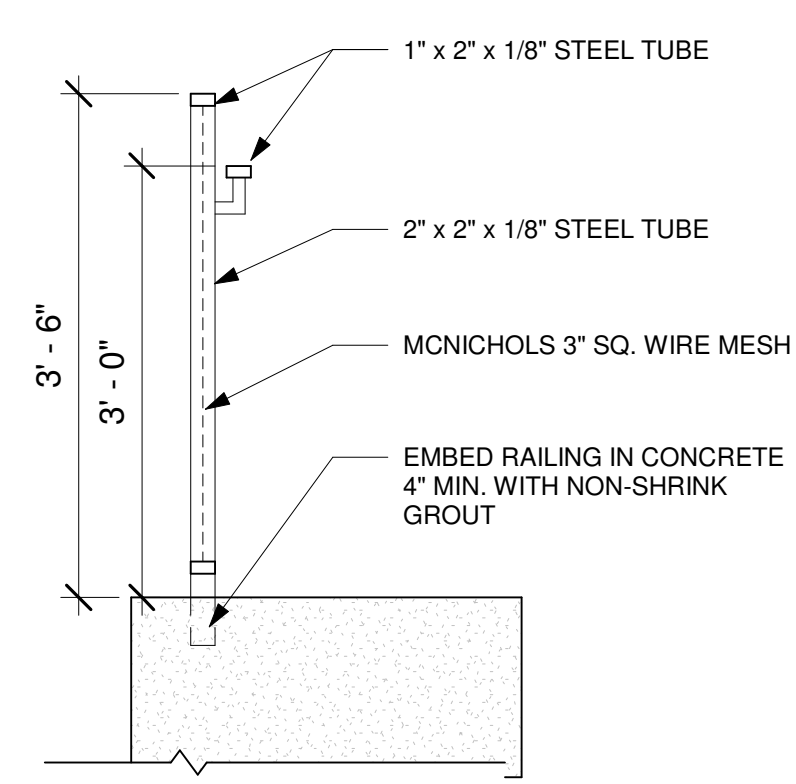
1. ALL STEEL TO BE POWDER COATED BLACK UNLESS OTHERWISE NOTED.



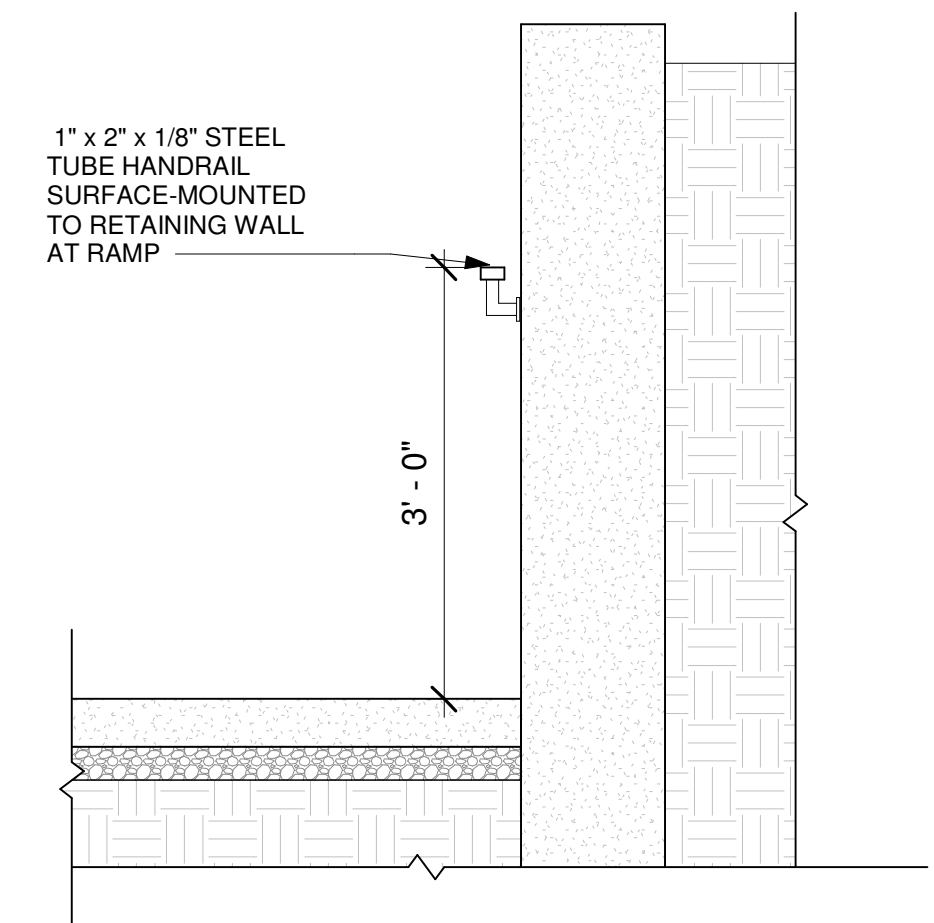
1 GUARDRAIL DETAIL
3/4" = 1'-0"



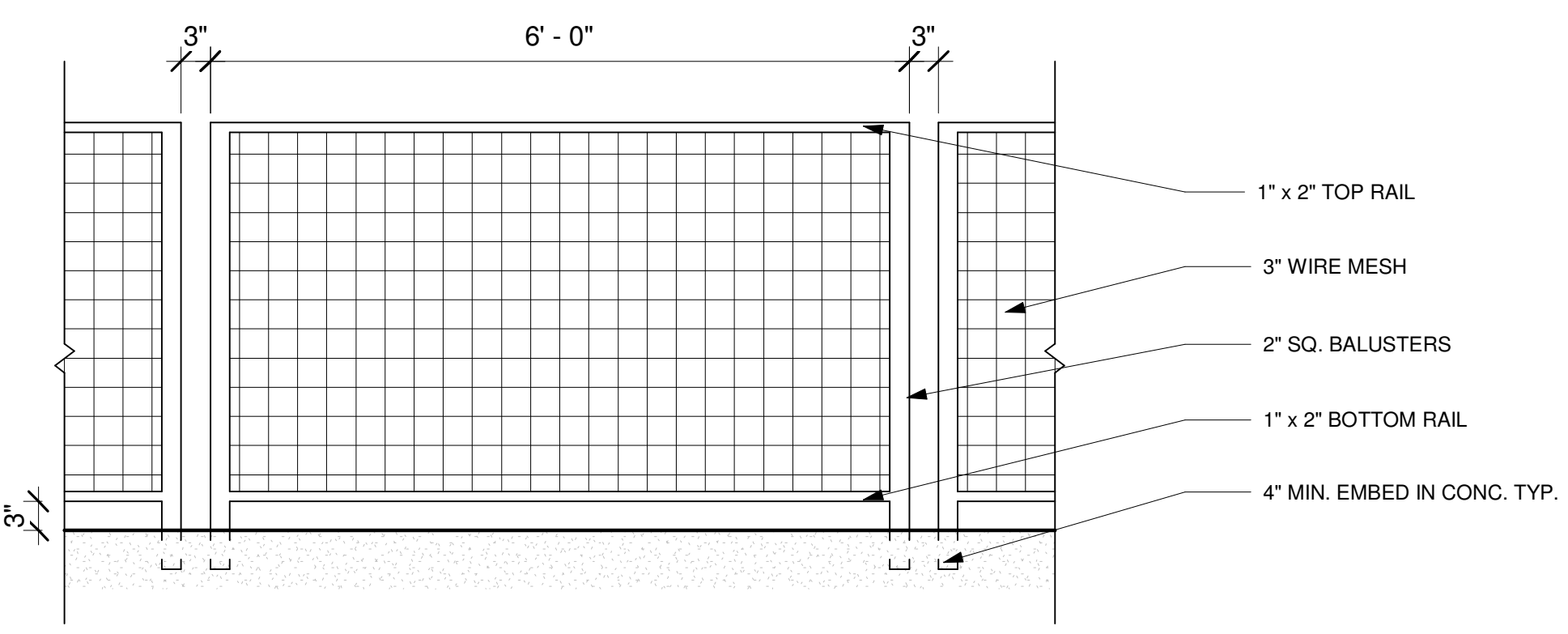
2 HANDRAIL DETAIL
3/4" = 1'-0"



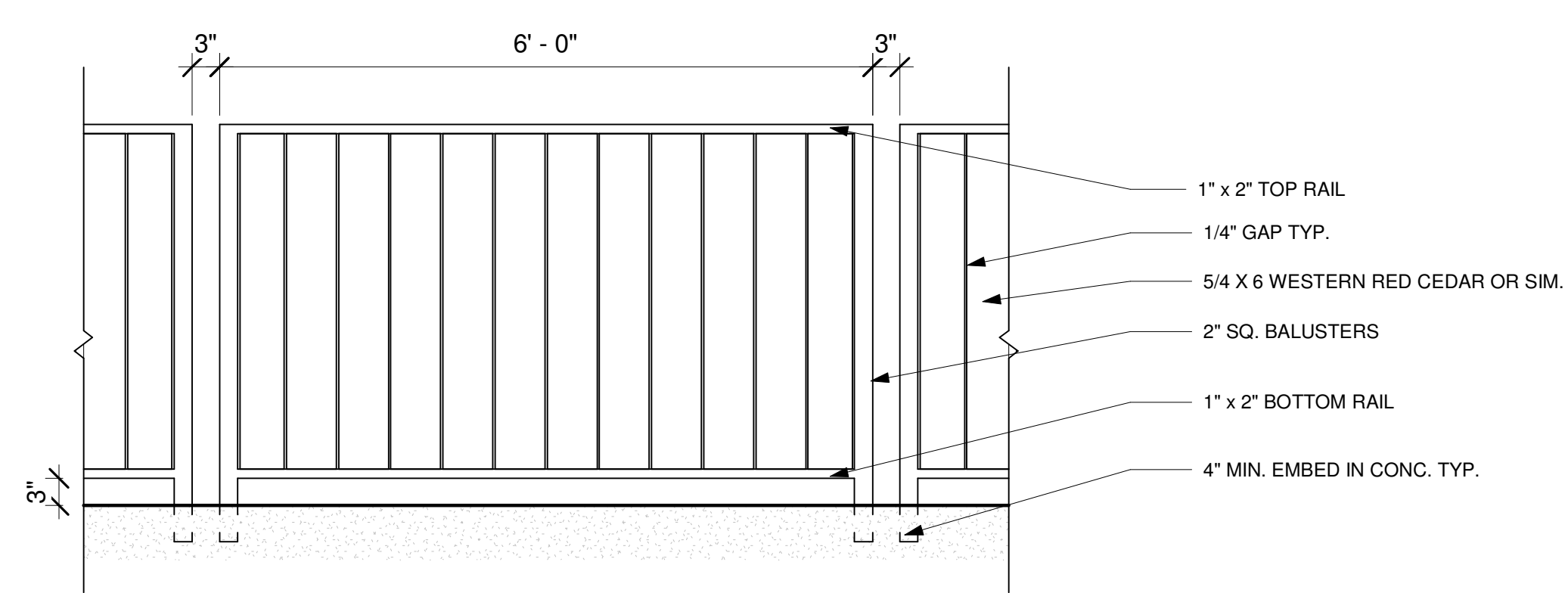
3 GUARDRAIL/HANDRAIL DETAIL
3/4" = 1'-0"



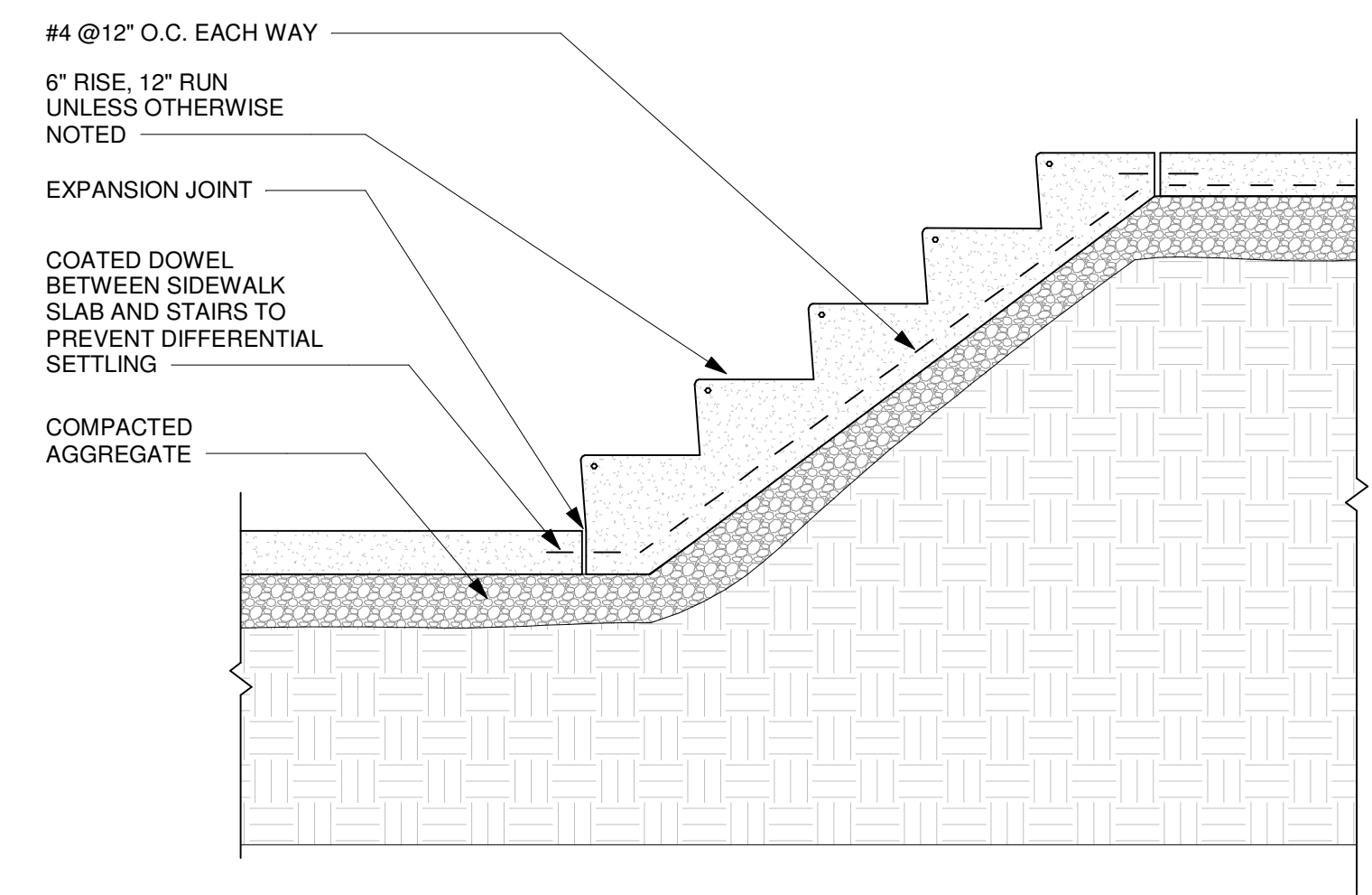
4 HANDRAIL AT RETAINING WALL
3/4" = 1'-0"



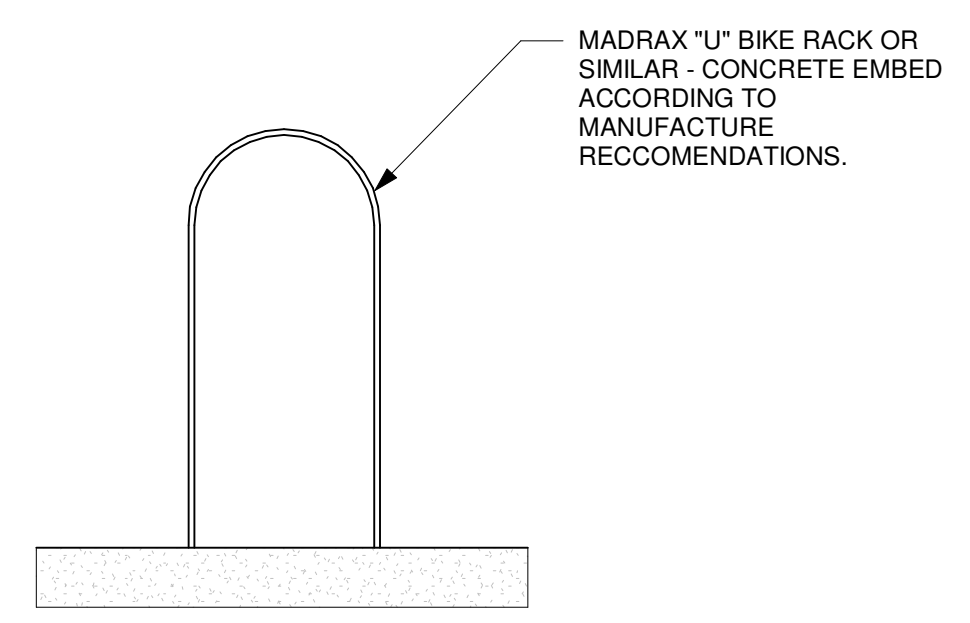
5 TYPICAL RAILING ELEVATION
3/4" = 1'-0"



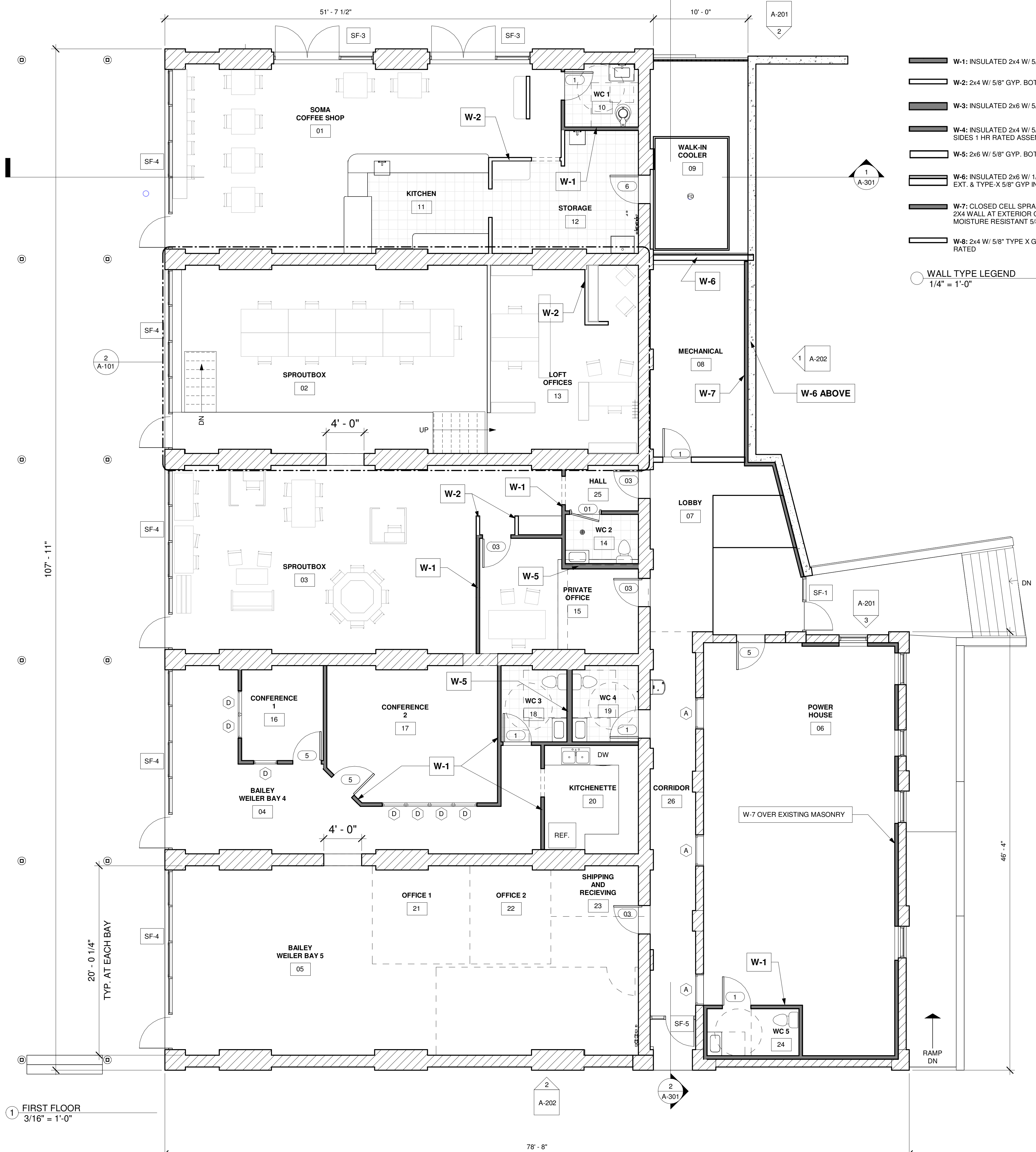
6 SCREEN RAILING ELEVATION
3/4" = 1'-0"



7 TYP. EXTERIOR STAIRS ON GRADE
3/4" = 1'-0"



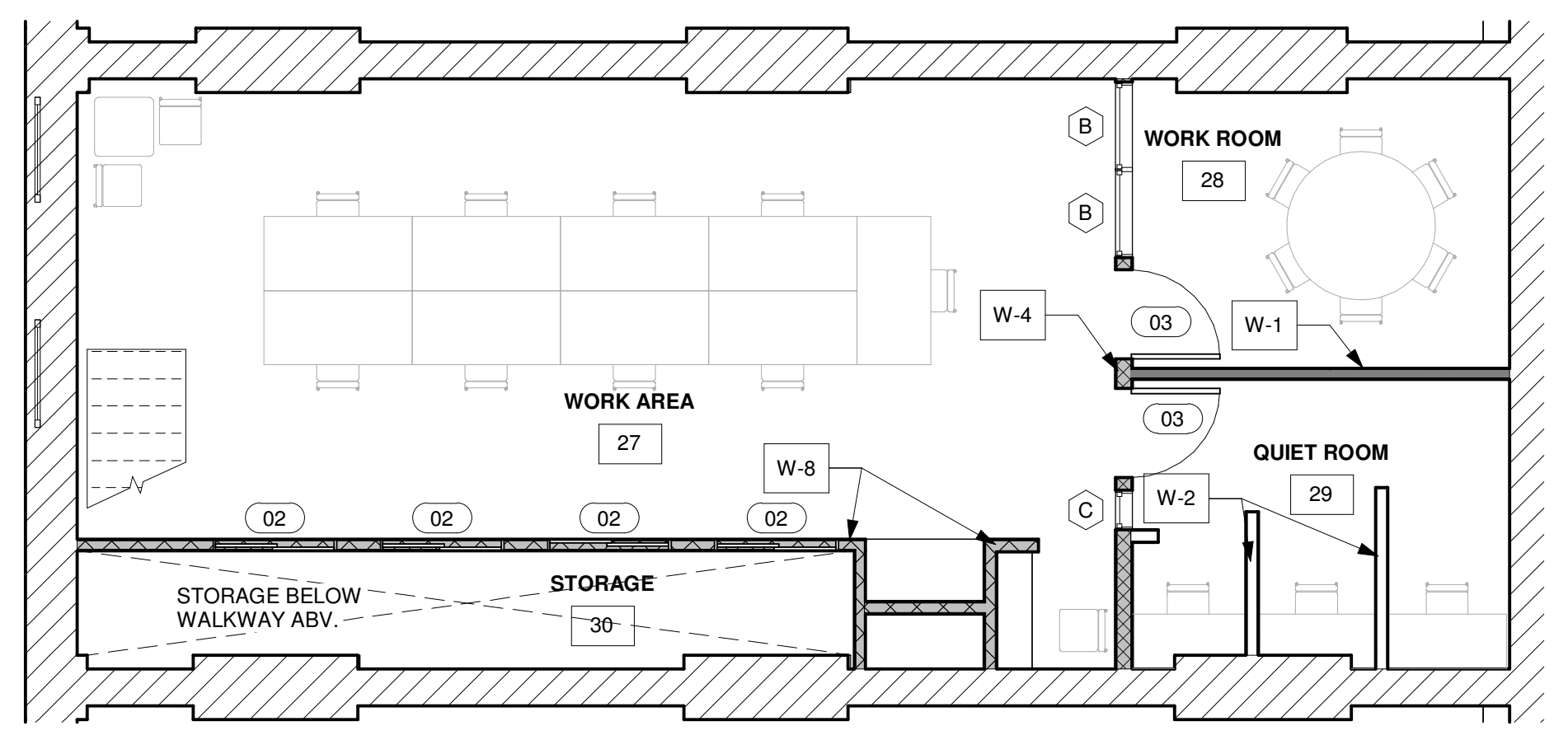
8 BIKE RACK DETAIL
3/4" = 1'-0"



- W-1: INSULATED 2x4 W/ 5/8" GYP. BOTH SIDES
 - W-2: 2x4 W/ 5/8" GYP. BOTH SIDES
 - W-3: INSULATED 2x6 W/ 5/8" GYP. BOTH SIDES
 - W-4: INSULATED 2x4 W/ 5/8" TYPE X GYP. BOTH SIDES 1 HR RATED ASSEMBLY
 - W-5: 2x6 W/ 5/8" GYP. BOTH SIDES
 - W-6: INSULATED 2x6 W/ 1/2" SHEATHING / METAL PANEL EXT. & TYPE-X 5/8" GYP INT. 1 HR RATED
 - W-7: CLOSED CELL SPRAY FOAM PRESSURE TREATED 2X4 WALL AT EXTERIOR CONCRETE/MASONRY WITH MOISTURE RESISTANT 5/8" GYP. AT INTERIOR.
 - W-8: 2x4 W/ 5/8" TYPE X GYP. BOTH SIDES 1 HR RATED
- WALL TYPE LEGEND
1/4" = 1'-0"

- GENERAL NOTES:**
- CONTRACTOR AND SUBCONTRACTORS (AND ALL THEIR EMPLOYEES, AGENTS AND SUBCONTRACTORS, IF APPLICABLE) SHALL BE PROPERLY LICENSED BY APPLICABLE STATE AND LOCAL LICENSING BODIES TO PERFORM THE SERVICES FOR AND/OR SUPPLY MATERIALS AND EQUIPMENT AS CONTEMPLATED BASED ON THESE DOCUMENTS. CONTRACTOR AND SUBCONTRACTORS SHALL SECURE AND PAY FOR ALL NECESSARY LICENSES AND PERMITS TO PERFORM THE WORK. CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM SERVICES IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE USUAL AND CUSTOMARY STANDARDS OF WORKMANSHIP AND/OR MATERIALS IN SOUTHWESTERN INDIANA AREA AND IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANS PROVIDED AND IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, CODES, STATUTES, RULES, REGULATIONS, AND ORDINANCES, INCLUDING, BUT NOT LIMITED TO OCCUPATIONAL SAFETY AND HEALTH REQUIREMENTS, AS THEY RELATE TO THE WORK PERFORMED AND/OR MATERIALS OR EQUIPMENT SUPPLIED BY SUBCONTRACTOR, AS WELL AS THE INDIANA QUALITY ASSURANCE BUILDER STANDARDS.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
 - CONTRACTOR SHALL CAREFULLY STUDY ALL OF THE CONTRACT DOCUMENTS AND SHALL VERIFY ALL EXISTING SITE CONDITIONS WITH CONSTRUCTION DOCUMENTS PRIOR TO PROCEEDING WITH ANY PORTION OF THE WORK AND TO NOTIFY THE ARCHITECT OF ANY VARIANCES.
 - ANY CONDITIONS, MATERIALS, DEVICES OR DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE CONSTRUCTION INSTALLATION OR APPLICATION. GENERAL SUBCONTRACTORS SHALL COMPLY WITH ALL GOVERNING CODES, BUILDING REGULATIONS OF FEDERAL, STATE, CITY AND COUNTY, WHICHEVER GOVERNS THE CONSTRUCTION WORK.
 - GENERAL AND/OR SUBS SHALL PAY FOR ALL PERMITS AND FEES AND ARRANGE FOR INSPECTION BY AUTHORITIES. THEY SHALL MAKE ARRANGEMENTS AND PAY FOR WORK TO BE DONE BY UTILITY COMPANIES PERTAINING TO THIS WORK.
 - ALL MATERIAL CALLED OUT ON DRAWINGS ARE TO BE NEW UNLESS NOTED OTHERWISE OR "EXISTING".
 - EACH TRADE SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE TO THE OWNER OR THE WORK, MAKE GOOD ANY LOSS, DAMAGE OR INJURY WITHOUT COST TO THE OWNER.
 - KEEP PREMISES FREE FROM ACCUMULATION OF TRASH AND DEBRIS.
 - UPON COMPLETION REMOVE ALL FOREIGN MATERIALS FROM ALL EXPOSED SURFACES.
 - CONFINE ALL OPERATIONS TO AREAS OF WORK AS SHOWN. KEEP AREAS ADJACENT TO THE WORK CLEAR AT ALL TIMES.
 - REFER TO ARCHITECTURAL EXTERIOR ELEVATIONS FOR EXTERIOR DOOR AND WINDOW SCOPE.

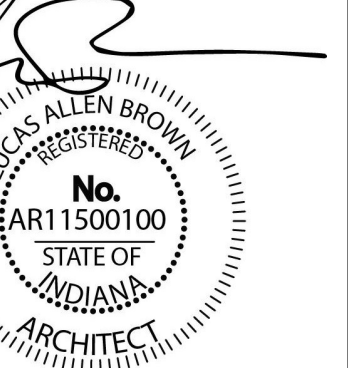
- ARCHITECTURE GENERAL NOTES:**
- THESE NOTES APPLY TO ALL ARCHITECTURAL DRAWINGS.
 - DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
 - INTERIOR WALL STUD SPACING SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ALL ACCESSORY/EQUIPMENT/CASEWORK MOUNTING HEIGHTS AND PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED ITEMS THAT REQUIRE ANCHORAGE. COORDINATE WITH MANUFACTURER, OR WHERE INDICATED, WITH ARCHITECT.
 - ALL WORK SHOWN ON THESE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE BASE BID, UNLESS OTHERWISE SPECIFICALLY NOTED TO BE BY ALTERNATE BID.
 - ADDITIONAL CHASES AND BULKHEADS MAY BE REQUIRED FOR HVAC, PLUMBING, AND ELEC. EQUIPMENT.
 - REFER TO ID-SERIES DRAWINGS FOR DETAILED FLOOR PLANS AND DIMENSIONS.
 - SEE SHEET AS-102/501 FOR SITE ARCHITECTURAL PLAN & DETAILS.
 - VERIFY ALL WALL, FLOOR, AND ROOF FIRE RATED ASSEMBLIES WITH ARCHITECT.



2 FIRST FLOOR - BELOW
3/16" = 1'-0"

1 FIRST FLOOR
3/16" = 1'-0"

CERTIFICATION

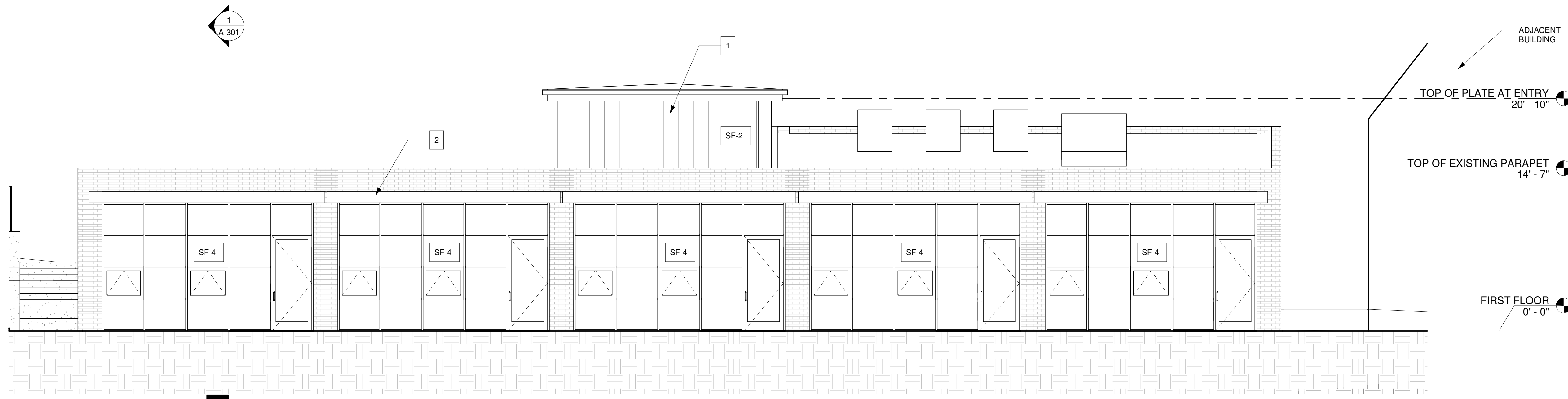


REVISIONS

NO.	DATE	DESCRIPTION

ELEVATION KEY NOTES:

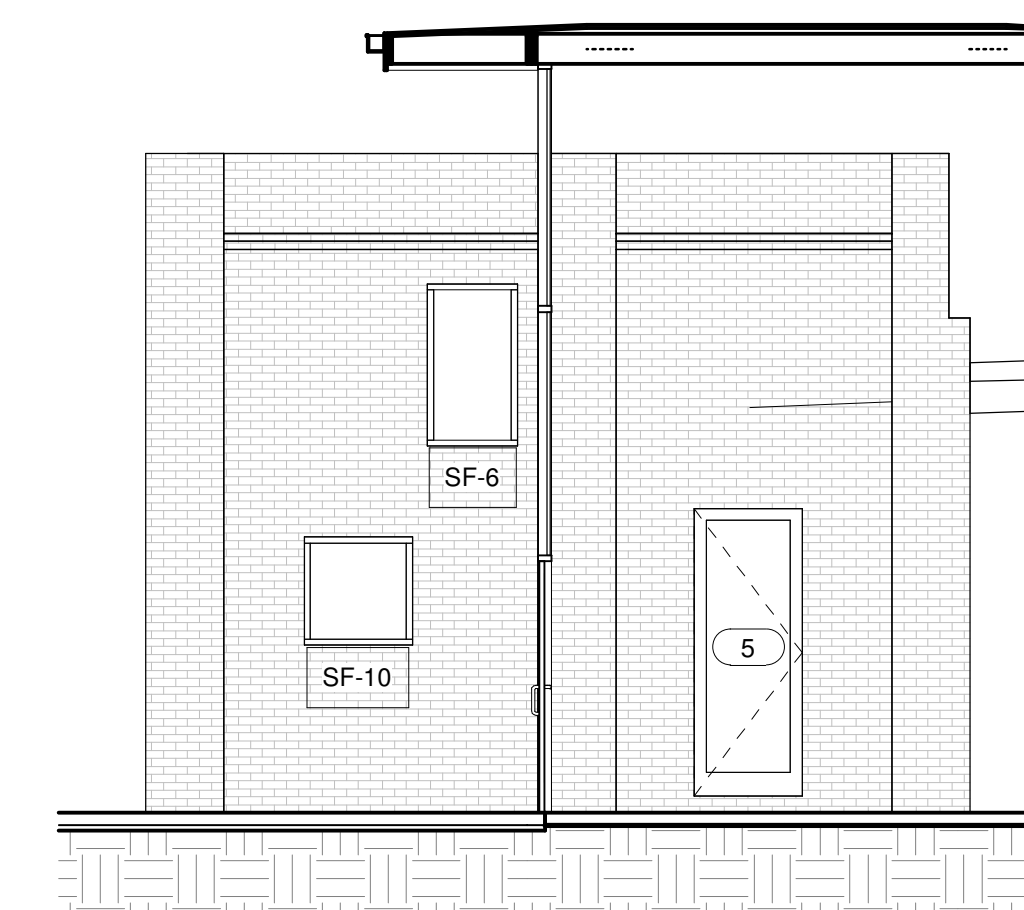
1. MATTE BLACK STANDING SEAM METAL PANEL SIDING
2. CLEAN EXISTING STEEL LINTELS AND PAINT BLACK
3. 2X6 #1 CEDAR WOOD AND STEEL WALL SCREENING THE COOLER AND OUTDOOR STORAGE AREA
4. SEE A-602 FOR STOREFRONT AND WINDOW DRAWINGS
5. WOOD TRELLIS OVER 4X4X1/4" RECT. TUBE STEEL FRAME
6. STEEL RAILING WITH WELDED WIRE MESH PANELS PER DETAIL 5/AS-501
7. STEEL RAILING WITH PRIVACY WOOD SLATS PER DETAIL 6/AS-501



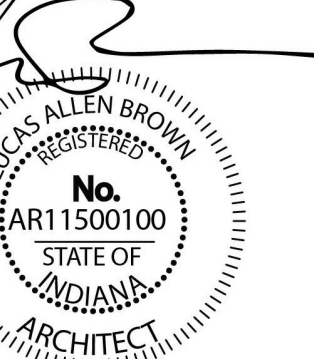
① WEST ELEVATION
3/16" = 1'-0"



② NORTH ELEVATION
3/16" = 1'-0"

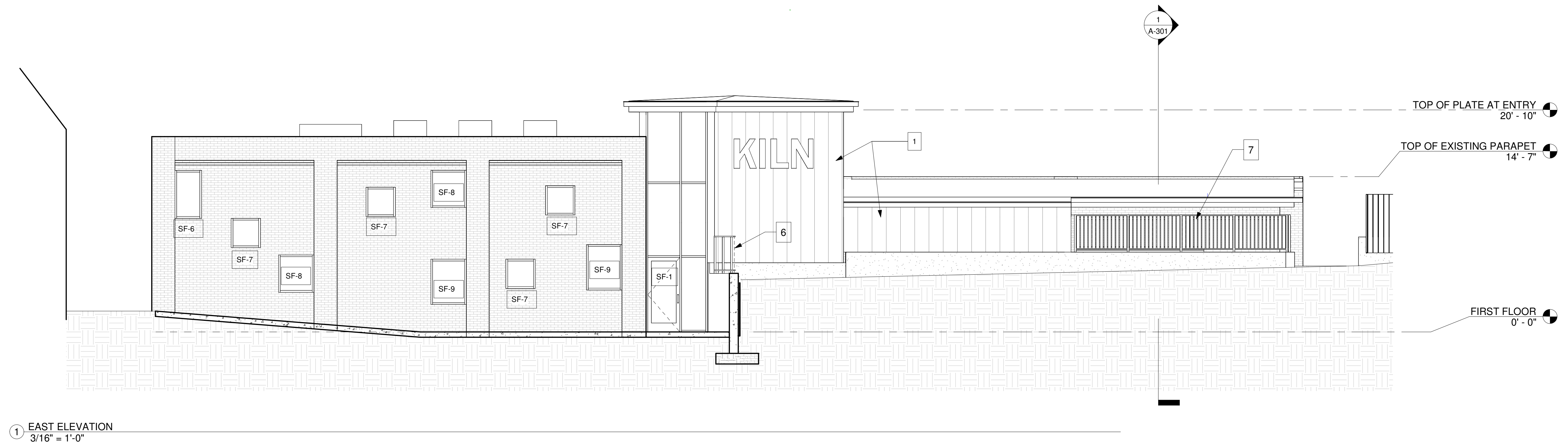


③ POWER HOUSE NORTH ELEVATION
3/16" = 1'-0"

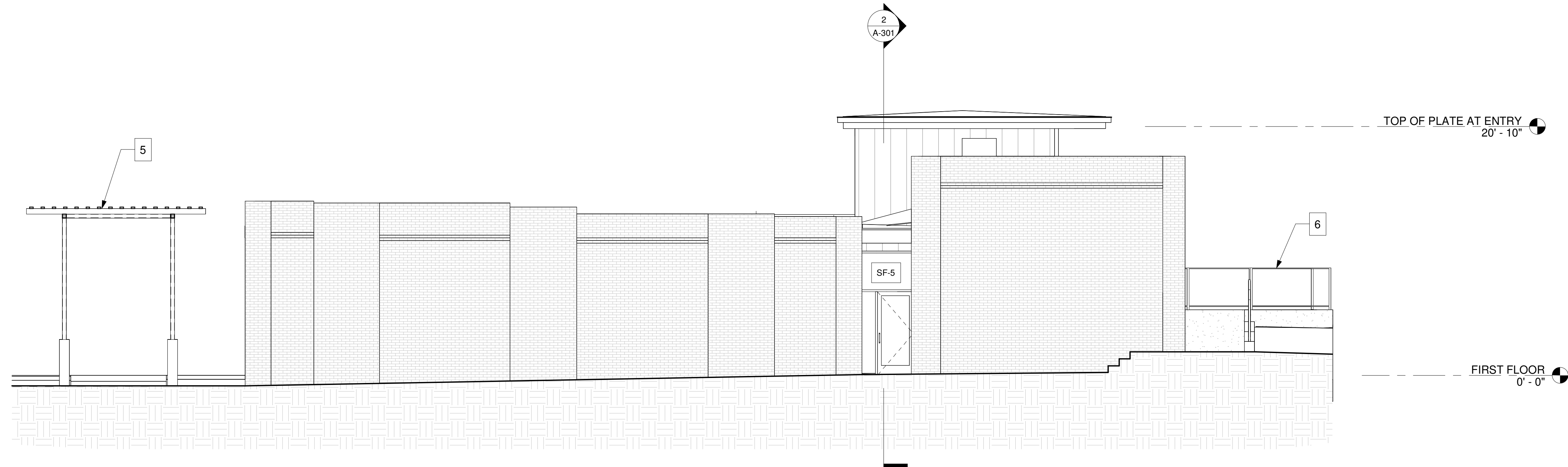


ELEVATION KEY NOTES:

1. MATTE BLACK STANDING SEAM METAL PANEL SIDING
2. CLEAN EXISTING STEEL LINTELS AND PAINT BLACK
3. 2X6 #1 CEDAR WOOD AND STEEL WALL SCREENING THE COOLER AND OUTDOOR STORAGE AREA
4. SEE A-602 FOR STOREFRONT AND WINDOW DRAWINGS
5. WOOD TRELLIS OVER 4X4X1/4" RECT. TUBE STEEL FRAME
6. STEEL RAILING WITH WELDED WIRE MESH PANELS PER DETAIL 5/AS-501
7. STEEL RAILING WITH PRIVACY WOOD SLATS PER DETAIL 6/AS-501



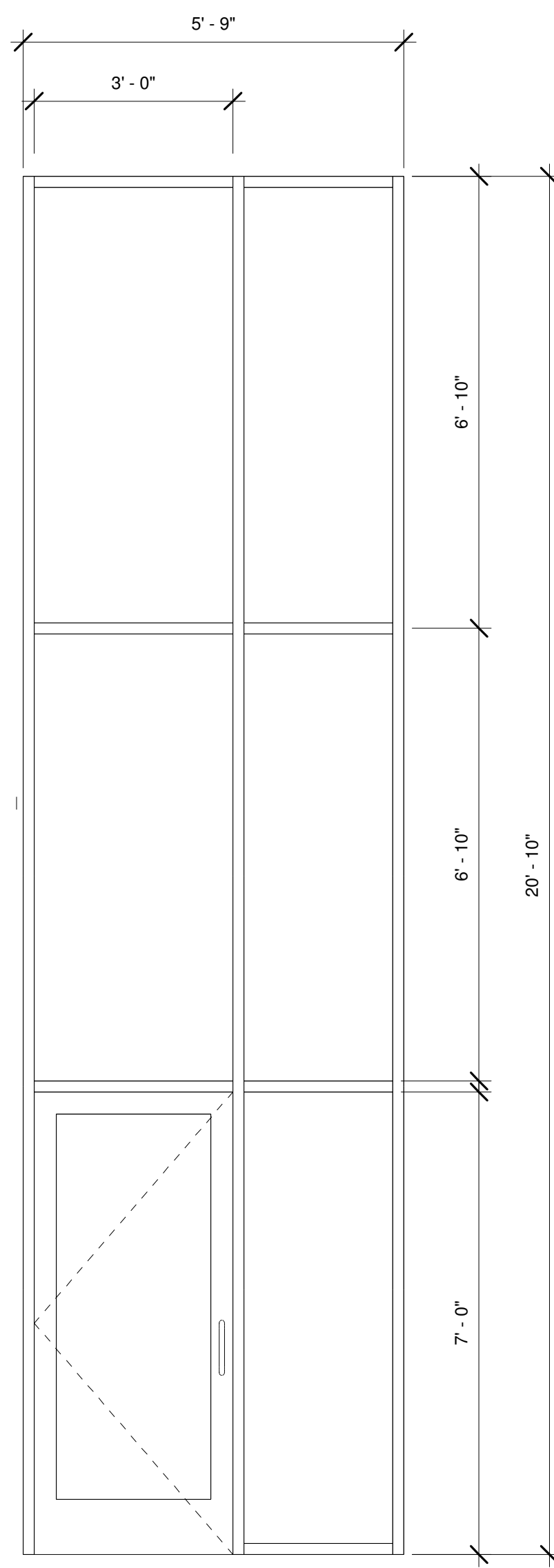
① EAST ELEVATION
3/16" = 1'-0"



② SOUTH ELEVATION
3/16" = 1'-0"

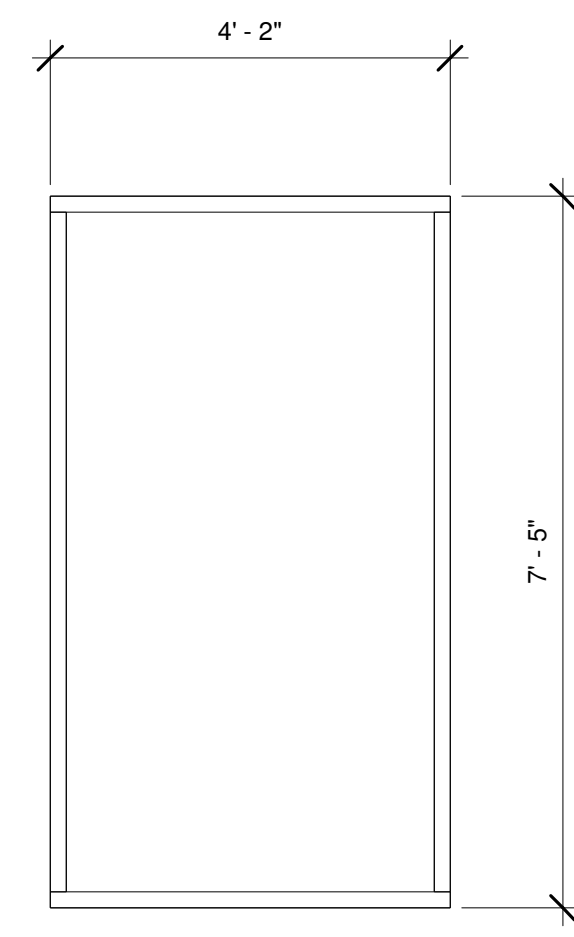
REVISIONS

- STOREFRONT GENERAL NOTES:**
1. STOREFRONT MULLIONS SHALL BE 2" X 4 1/2" UNLESS NOTED OTHERWISE.
 2. FINISH SHALL MATCH STOREFRONT AT ADJACENT "MILL" BUILDING (DARK BRONZE) UNLESS NOTED OTHERWISE.
 3. GLAZING SHALL BE DOUBLE PANE LOW-E UNLESS NOTED OTHERWISE. CONFIRM SOLAR HEAT GAIN COEFFICIENT RATINGS WITH ARCHITECT.
 4. TEMPERED GLAZING PANELS TO BE DETERMINED. VERIFY WITH ARCHITECT.



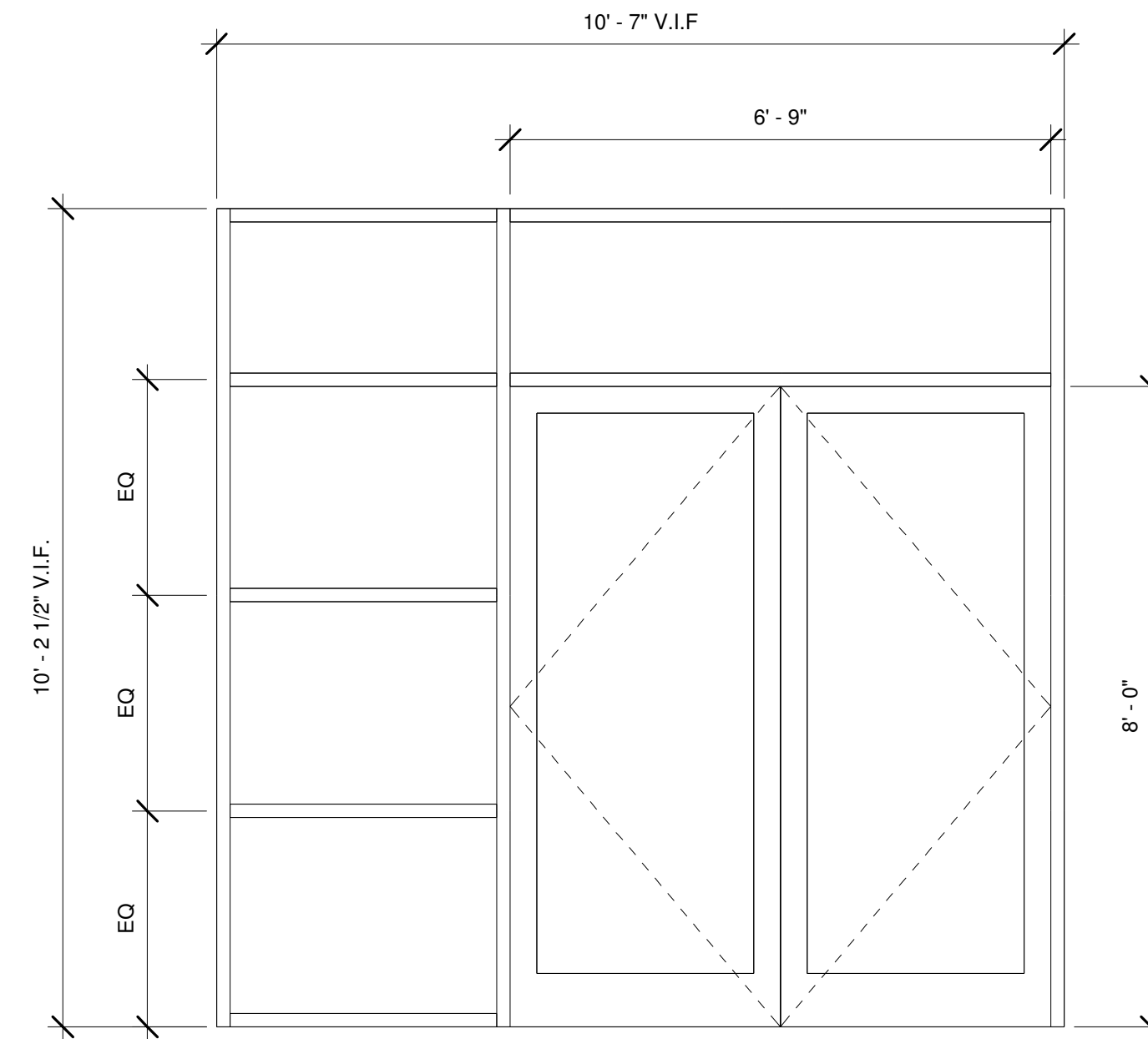
QTY: 1

1 SF-1 ELEVATION
1/2" = 1'-0"



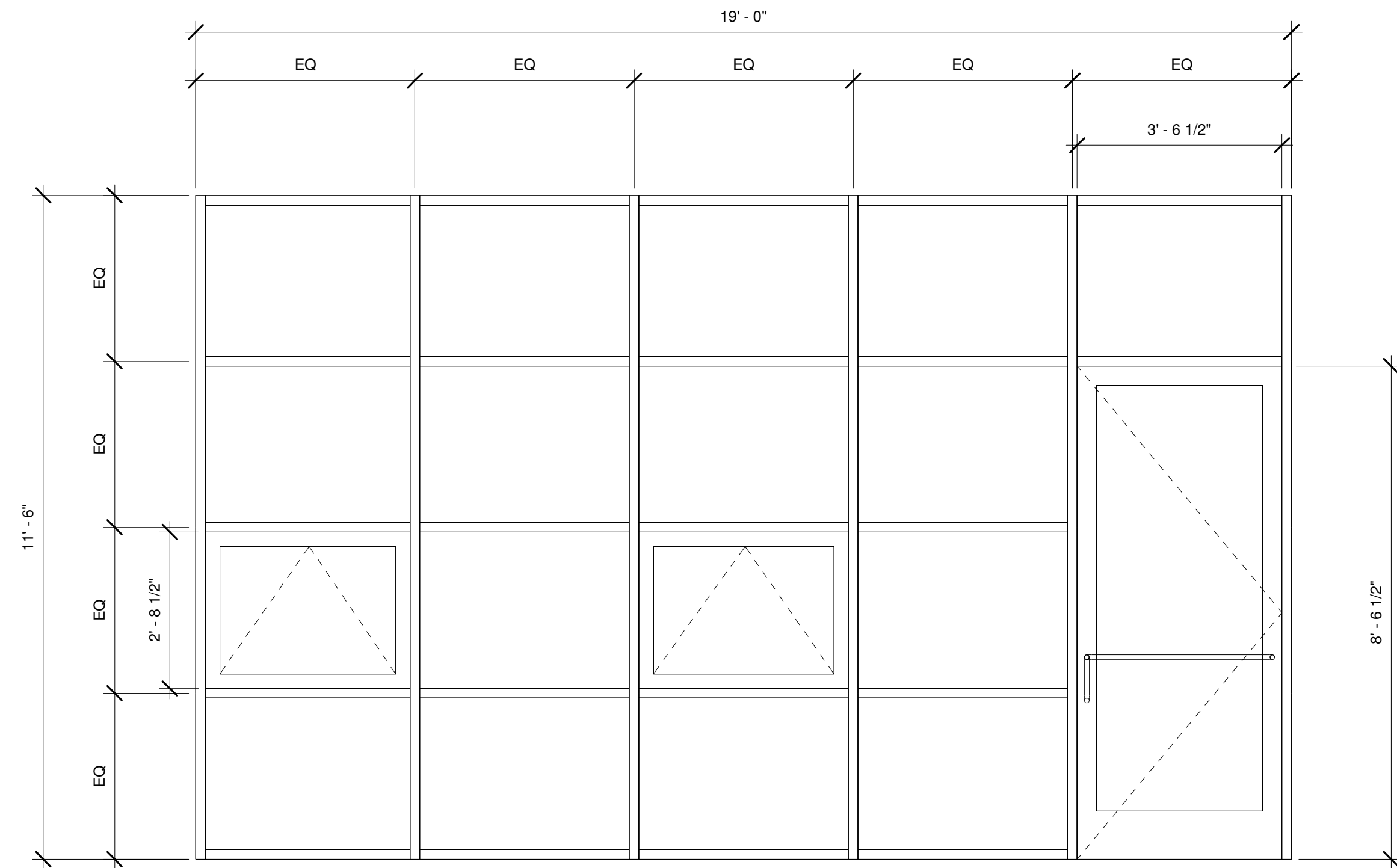
QTY: 2

2 SF-2 ELEVATION
1/2" = 1'-0"



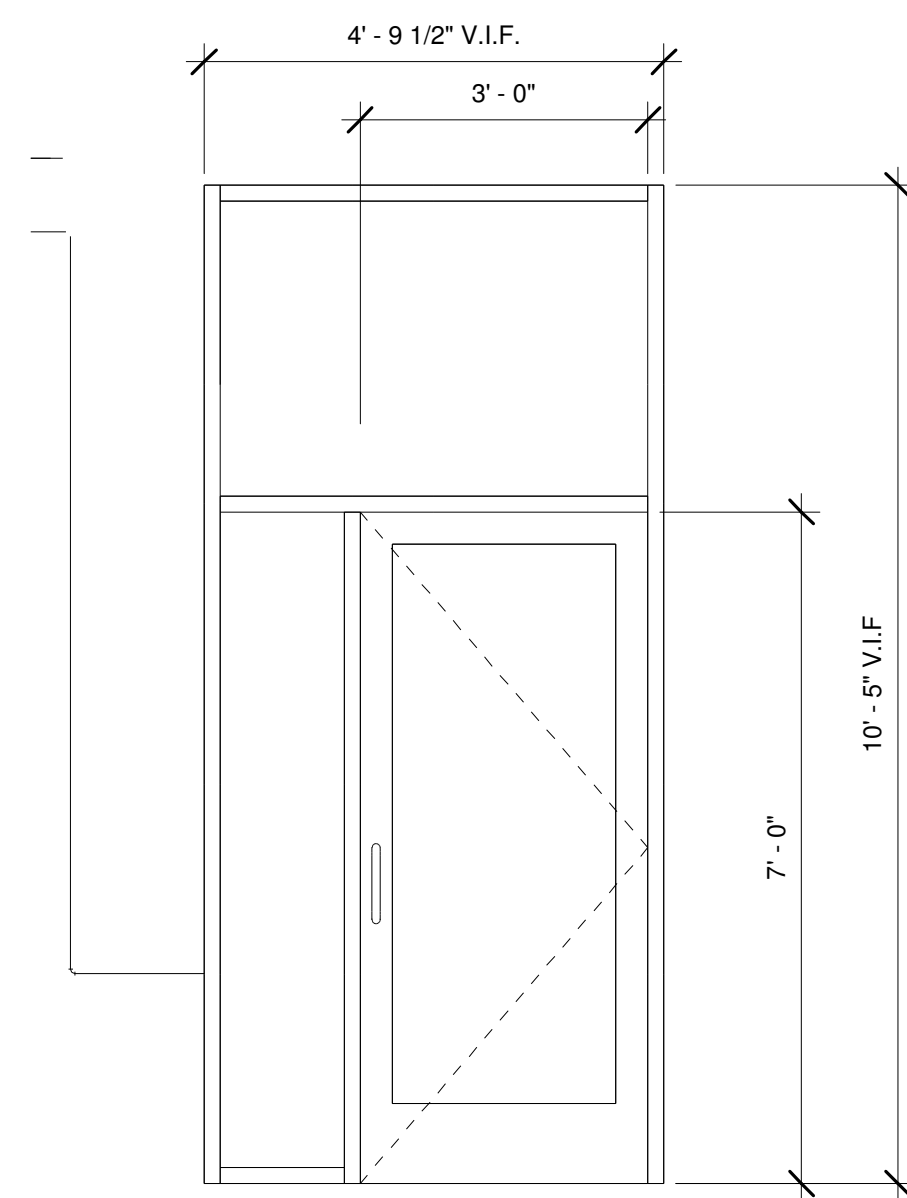
QTY: 2

3 SF-3 ELEVATION
1/2" = 1'-0"
QUANTITY - 2



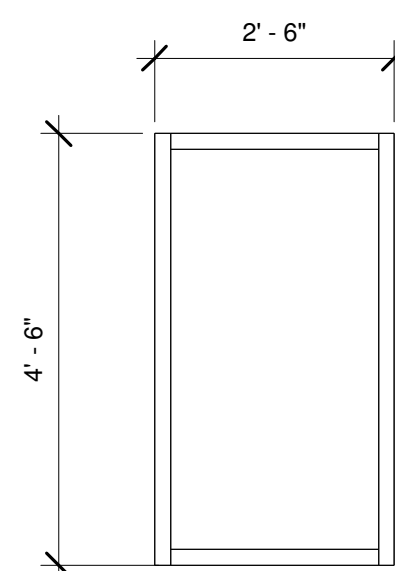
QTY: 5

4 SF-4 ELEVATION
1/2" = 1'-0"
QUANTITY - 5



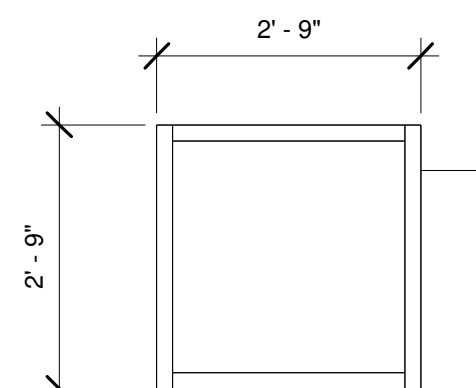
QTY: 1

5 SF-5 ELEVATION
1/2" = 1'-0"



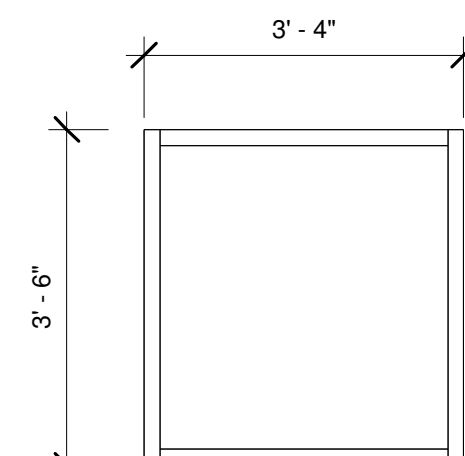
QTY: 2

6 SF-6 ELEVATION
1/2" = 1'-0"



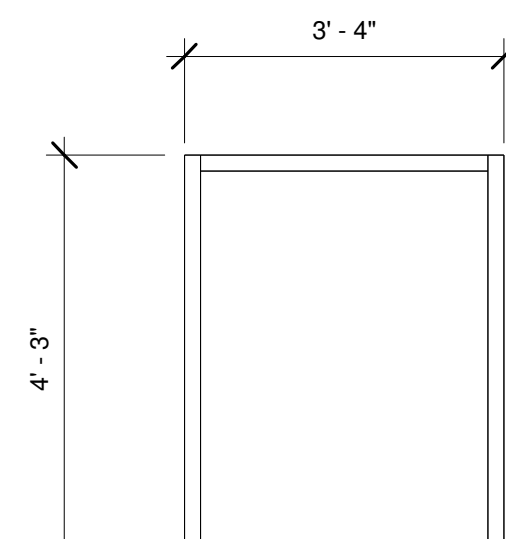
QTY: 4

7 SF-7 ELEVATION
1/2" = 1'-0"



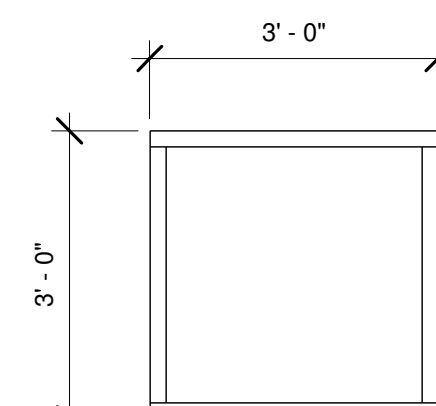
QTY: 2

8 SF-8 ELEVATION
1/2" = 1'-0"



QTY: 2

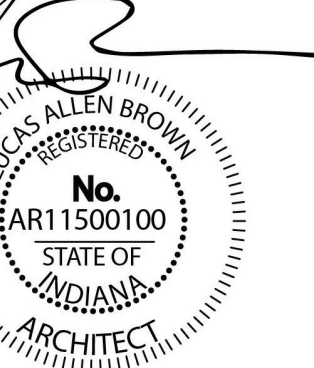
9 SF-9 ELEVATION
1/2" = 1'-0"



QTY: 1

10 SF-10 ELEVATION
1/2" = 1'-0"

CERTIFICATION



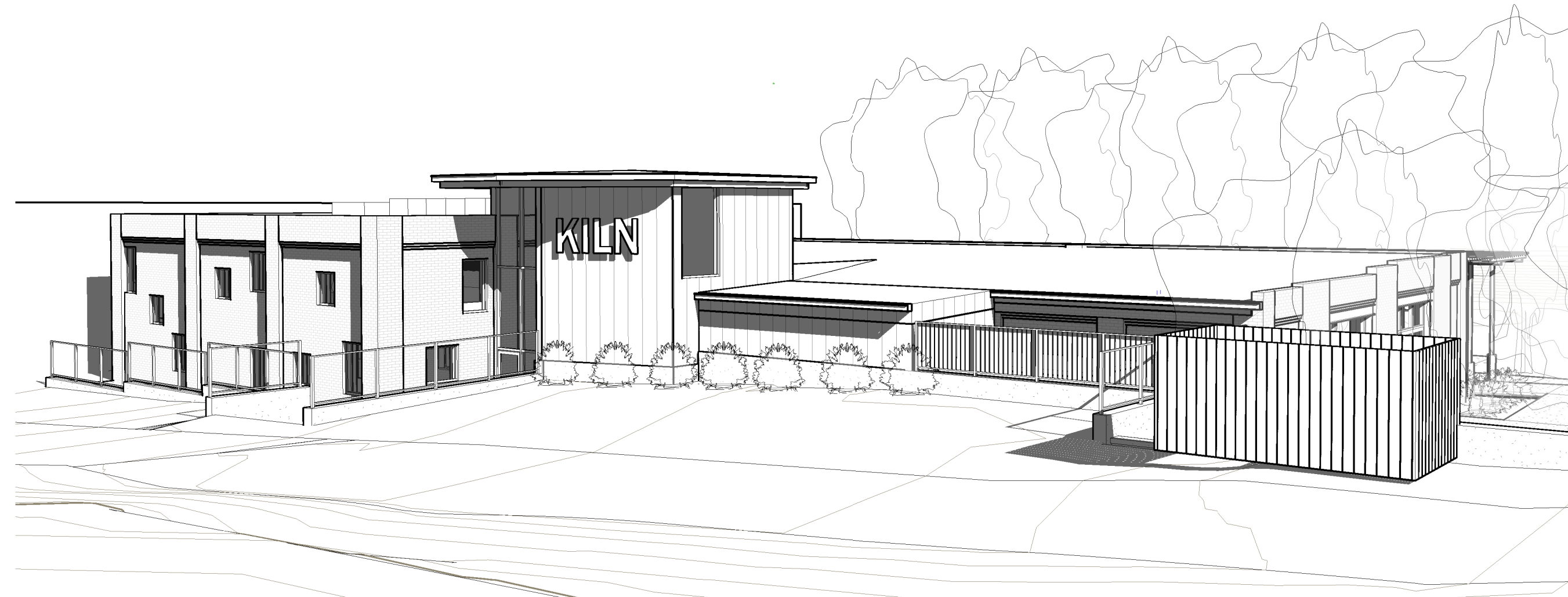
REVISIONS

PERSPECTIVES

06-17-2023

SHEET NUMBER

A-901



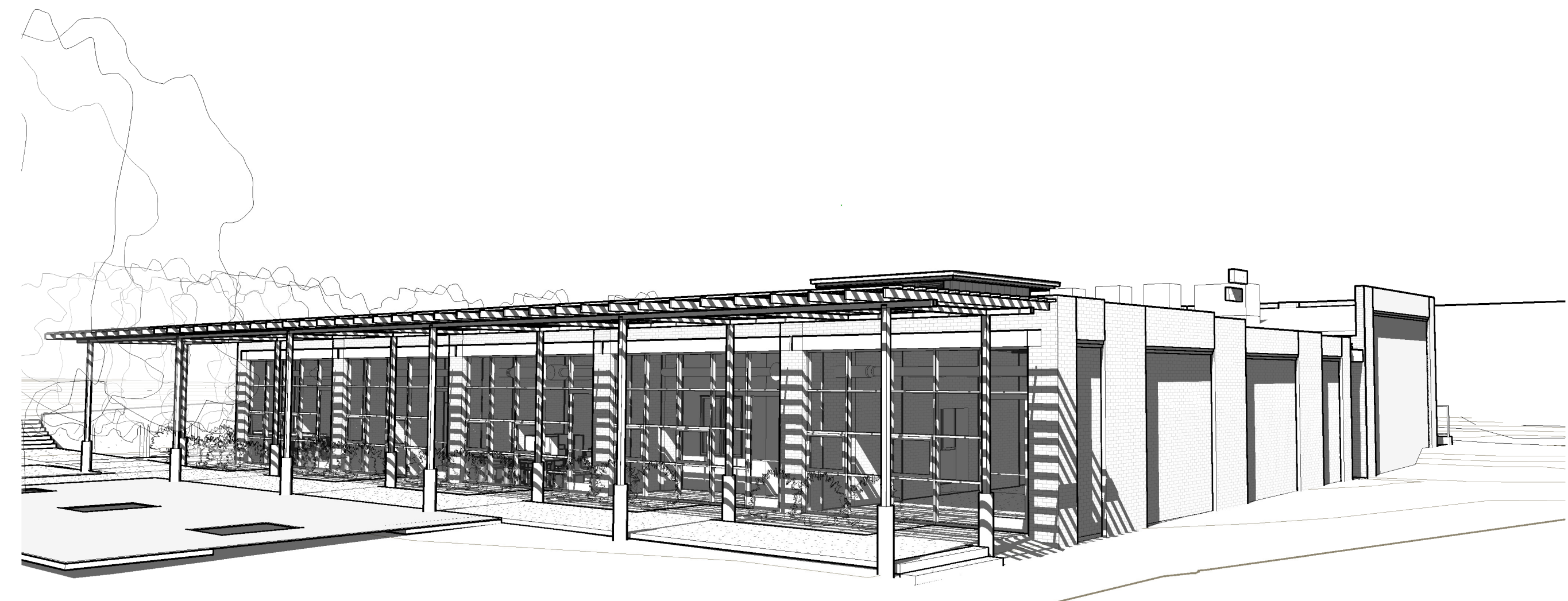
1 NORTHEAST



2 NORTHWEST



3 SOUTHEAST



4 SOUTHWEST

I am a resident of the Maple Heights Neighborhood and I am writing in support of Daniel Weddle's plans for his home at 917 N Fairview street.

When I was first looking for a house to buy, 917 was on the market and I have been following its history ever since. It's a charming house on the outside, different from all the others around it, but the insides as depicted on the real estate listings were always disastrous. But Mr. Weddle in his capacity as a carpenter has taken this house into his hands and is making great strides in its rehabilitation.

I am specifically in favor of his plans to expand the house to the rear. One of Maple Heights' great strengths as a neighborhood is, in my opinion, that there are many kinds of people living in many kinds of homes and all of it close to downtown and transit options. It's a perfect place for the kind of natural, property-by-property density increases that are most healthy for a growing city. Mr. Weddle intends to bring that density not by destroying the character of Maple Heights, but by adding to it in his own personal way that reflects not only his skills as an artisan, but his values as a member of our community. I think that should be encouraged.

Moreover, when the residents of Maple Heights were sold on the idea of a historic preservation district in the first place, we were told that the restrictions would be minor and focused on preventing large developers from demolishing our quaint little homes in favor of tacky-tacky, profit-oriented, modern apartment buildings. And so I would argue that Mr. Weddle is, instead, continuing the Maple Heights tradition of building and rebuilding our homes according to our individual desires and abilities.

In short, I am a Maple Heights resident of thirteen years and I ask that the Bloomington Historic Preservation Commission approve the COA for Daniel Weddle's home expansion involving the attachment of his tiny house to his regular house.

Thank you,
Sarah Alexander

I'm here again to provide support for Danny's latest project. I have the tiny home involved in this phase in my driveway right now. The glow from it at night is beautiful. It will make a great addition to the house, especially with the cozy courtyard Danny has planned. All of these projects are building on each other to produce a very special property. Especially in a neighborhood like this where we have so many restrictions on building, Danny is making something that helps the community by building density without making it feel crowded. The feeling is intentional community with respect for the integrity of the neighborhood and the environment. I can't think of a better way to build. As one of the neighbors that has the longest shared property line with 917, I emphatically support this project. I won't be able to make the meeting, but I will be available for any questions through 4:30 today.

Janelle Curry

June 8, 2023

To Whom it May Concern:

I write as a neighbor in support of Daniel Weddle's building projects at 917 N. Fairview.

I happen to be the president of the Maple Heights Neighborhood Association, but I do not live in the historic district. I do NOT write from my position of leadership and my views are my only my own, but I mention it to bring up 1) my deep and long-term investment in the neighborhood and 2) illustrate that the historic district does not fully encompass the neighborhood. There are segments of streets and individual houses that are cut out of the district because they do not contribute to the historic character.

Like Mr. Weddle, I am a strong supporter of sustainable construction; I have a non-traditional structure straw-clay structure in my own backyard that is not completely obvious from the street. I think these sorts of structures are much more common than people realize. I also think that we need to be more creative for a future that is constrained by climate change and housing shortages. I support Mr. Weddle's creative take on construction.

I was somewhat aware of fall 2021 discussions of neighborhood historic district but like many people, I was still dealing with the ramifications of the pandemic at that time. As my house was not in the district, my input was limited, and I didn't receive direct notifications about every step. The broader neighborhood association was also dormant. If this process was relitigated today, I would probably take a larger interest and role and express some concerns about restrictions. In hindsight, I would do more to help people understand the ramifications of abstaining from the vote in the election for elevation (this was clearly outlined in an FAQ that I found, but I've talked to neighbors since who were not aware).

That same FAQ gives the intention of the Design Guidelines were such: *The Guidelines have been drafted to encourage flexible development while maintaining neighborhood stability of form, mass, and setback.* I particularly support the concern about mass and setback, but on the question of form, it is perplexing to me that this already very interesting and very non-conforming house is required to fit historic designation restrictions as it can't possibly be a contributing structure given the strict guidelines of the district.

Tracy Bee
520 W. 16th St.

June 8, 2023

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Tracy Bee
520 W. 16th St.