



**CITY OF  
BLOOMINGTON**  
HOUSING AND NEIGHBORHOOD DEVELOPMENT

# **BHPC MEETING PACKET**

**Thursday August 10, 2023**

**5:00 p.m. EST**

**Prepared by HAND Staff**

**In Person:** The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

**Zoom:** <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

One tap mobile

+13126266799,,95852185508# US (Chicago)

+19292056099,,95852185508# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

# Table of Contents

Accessibility Statement..... 4

**AGENDA..... 5**

**MINUTES..... 7**

COA 23-49 917 N Fairview St..... 12

COA 23-53 917 N Fairview St..... 38

COA 23-50 1033 S Ballantine Rd..... 48

COA 23-55 909 E University St..... 59

COA 23-57 908 E University St..... 95

COA 23-60 1122 E 1st St..... 109

COA 23-57 722 W 8th St..... 121

COA 23-51 744 S Morton St..... 137

COA 23-52 329 S Maple St..... 155

COA 23-54 116 W 6th St..... 184

COA 23-56 511 S Euclid Ave..... 197

COA 23-58 405 N Oak St..... 211

COA 23-61 712 W 3rd St..... 225

## **Accessibility Statement**

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals.

If you encounter difficulties accessing material in this packet, please contact John Zody at the Housing and Neighborhood Development Department at [joh.zody@bloomington.in.gov](mailto:joh.zody@bloomington.in.gov) or 813-349-3582 and provide your name, contact information, and a link to or description of the document or web page you are having problems with.

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).

# Bloomington Historic Preservation Commission Meeting

**In Person:** 401 N Morton St., Ste. 135, Bloomington, IN 47404

**Zoom:** <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

**Meeting ID:** 958 5218 5508 **Passcode:** 082945

**Thursday August 10, 2023, 5:00 P.M.**

## AGENDA

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact John Zody at the Housing and Neighborhood Development Department at [john.zody@bloomington.in.gov](mailto:john.zody@bloomington.in.gov) or 813-349-3582 and provide your name, contact information, and a link to or description of the document or web page you are having problems with. Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **APPROVAL OF MINUTES**

A. July 13, 2023

IV. **CERTIFICATES OF APPROPRIATENESS**

**Staff Review**

**A. COA 23-49**

917 N Fairview St. (Maple Heights Historic District)

Petitioner: Joseph Weddle

*Building a pond and parking space.*

**B. COA 23-53**

917 N Fairview St. (Maple Heights Historic District)

Petitioner: Joseph Weddle

*Changes to the ADU including lowering the height.*

**C. COA 23-50**

1033 S Ballantine Rd. (Nathan Silverstein House Historic District)

Petitioner: Eric Sandweiss

*New Garage Door.*

**D. COA 23-55**

909 E University St. (Elm Heights Historic District)

Petitioner: Veronika Baradonner

*Removal of black walnut tree on City of Bloomington property.*

**E. COA 23-60**

1122 E 1st St. (Elm Heights Historic District)

Petitioner: Rebecca Dirksen

*Temporary air conditioning unit on the window.*

**F. COA 23-57**  
909 E University St. (Elm Heights Historic District)  
Petitioner: Veronika Baradonner  
*Replacing and moving fence location.*

**G. COA 23-59**  
722 W 8th St. (Near West Side Historic District)  
Petitioner: Jennifer Stephens  
*Standing seam roof.*

**Commission Review**

**A. COA 23-51**  
744 S Morton St. (McDoel Historic District)  
Petitioner: Sam DeSollar  
*New Construction.*

**B. COA 23-52**  
329 S Maple St. (Greater Prospect Hill Historic District)  
Petitioner: Dennis Burch and Marc Cornett  
*Partial demolition, new addition to existing building, extensive alteration to the facade and yard.*

**C. COA 23-54**  
116 W 6th St. (Courthouse Square Historic District)  
Petitioner: Leighla Taylor (FAST DESIGNS)  
*New Signage.*

**D. COA 23-56**  
511 S Euclid Ave. (Greater Prospect Hill Historic District)  
Petitioner: A'ame Joslin  
*Alteration to the facade, window and door replacement on accessory structure.*

**E. COA 23-58**  
405 N Oak St. (Near West Side Historic District)  
Petitioner: Lisa-Marie Napoli  
*Addition on the back of the house.*

**F. COA 23-61**  
712 W 3rd St. (Greater Prospect Hill Historic District)  
Petitioner: Dennis Burch and Marc Cornett  
*New construction, fence change, and tree removal.*

- V. **NEW BUSINESS**
- VI. **OLD BUSINESS**
- VII. **COMMISSIONER COMMENTS**
- VIII. **PUBLIC COMMENTS ANNOUNCEMENTS**
- IX. **ADJOURNMENT**

Next meeting date is August 24, 2023 at 5:00 P.M. and will be held in a hybrid manner, both in person and via Zoom.

**Posted: 8/3/2023**

**Bloomington Historic Preservation Commission Meeting**  
**In Person:** 401 N Morton St., Ste. 135, Bloomington, IN 47404

**Zoom:**

<https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

**Meeting ID:** 958 5218 5508 **Passcode:** 082945

**Thursday July 13, 2023, 5:00 P.M.**

**MINUTES**

**I. CALL TO ORDER**

Meeting was called to order by **Chair John Saunders @ 5:00 p.m**

**II. ROLL CALL**

**Commissioners Present:**

John Saunders (Present)  
Sam DeSollar (Present)  
Reynard Cross (Present)  
Elizabeth Mitchell (Present)  
Matthew Seddon (Present)

**Advisory Members Present:**

Duncan Campbell

**Staff Present:**

Gloria Colom (Present), HAND  
John Zody (Present), HAND  
Dee Wills (Zoom), HAND  
Colleen Newbill (Present), City Legal Department

**Guests Present:**

CATS (Present)  
Leslie Parrish (Zoom)  
Leighla Taylor (Zoom)  
Bruce Norton (Phone)  
John McDowell (Zoom)  
Daniel Weddle (Present)  
Pat Glushko (Zoom)  
John McDowell (Zoom)  
Lucas Brown (Present)

Don Weiler (Present)

### III. APPROVAL OF MINUTES

A. June 22, 2023

**Sam DeSollar** made a motion to approve **June 22, 2023 Minutes**.

**Reynard Cross** seconded.

**Motion Carries: 4 Yes (DeSollar, Seddon, Saunders, Cross), 1 Abstain Mitchell), 0 No**

### IV. CERTIFICATES OF APPROPRIATENESS

#### Staff Review

A. COA 23-47

1205 S Rogers St. (McDoel Historic District)

Petitioner: Josh Alley, Cream and Crimson

*New windows, doors, and siding.*

**Gloria Colom** gave presentation. See packet for details.

#### Commission Review

B. COA 23-40

917 N Fairview St. (Maple Heights Historic District)

Petitioner: Daniel Joseph Weddle

*Addition to an existing building.*

**Gloria Colom** gave presentation. See packet for details.

**Daniel Joseph Weddle** gave more details to the project. See packet for details.

**Sam DeSollar** asked for clarification on some of the plan details. See packet for details.

**Sam DeSollar** commented that he would like to know what the **Neighborhood Design Committee** had to say and that the roof was a bit of a train wreck, but liked that the Petitioner was densifying the site.

**Reynard Cross** asked **Tom** (from the neighborhood) if he supported this **Petition**. **Reynard Cross** commented that this was not an ecliptic house and that he does not see the need to justify adding this thing that does not fit, simply because there are a lot of other things on this building that does not fit and cannot support it. **Elizabeth Mitchell** commented that she felt like Reynard, but if the neighbors were okay with it. **Duncan Campbell** commented that this was incompatible with the house.

**Reynard Cross** made a motion to **Deny COA 23-40**.  
**No Second made.**

**Matthew Seddon** made a motion to **approve COA 23-40**.

**John Saunders** seconded.

**Motion Carries: 4 Yes (Mitchell, Saunders, Seddon, DeSollar), 1 No (Cross), 0 No.**

**C. COA 23-43**

The Kiln - 628 N Madison St. (Showers Brothers Furniture Complex Historic District)

Petitioner: Lucas Brown

*New Addition.*

**Gloria Colom** gave presentation. See packet for details.

**Lucas Brown** gave more details of the project and a presentation. See packet for details.

**Sam DeSollar** asked about railing and why it changed configuration as you turn the corner and asked about the equipment on top of the roof.

**Matthew Seddon** commented that this was very compatible and could support it. **Duncan Campbell** commented that overall he really liked it a lot. **Elizabeth Mitchell** and **Reynard Cross** commented that they also like it.

**Reynard Cross** made a motion to approve **COA 23-43**.

**Matthew Seddon** seconded.

**Motion Carries: 5 Yes (Mitchell, Cross, Saunders, Seddon, DeSollar) 0 No, 0 Abstain.**

**D. COA 23-44**

301 N Morton St. (Illinois Central Railroad Depot District)

Petitioner: Bruce Norton

*New Signage.*

**Gloria Colom** gave presentation. See packet for details.

**Sam DeSollar** asked what the back of the sign would look like.

**Bruce Norton** gave details and stated that he had resubmitted drawings showing the placement of the signs. More discussion ensued. See packet for details. **Duncan Campbell** asked about the window graphic and that it was difficult to read. Discussion ensued

about the possibility of a temporary sign permit until more drawings could be submitted. More discussion ensued.

**Sam DeSollar** commented that he did not feel like they could move forward with this petition because they were not clear on where the signs are going to be, or what the signs look like and the types of materials used. **Duncan Campbell** commented



that they need to be able to see the sign in its content and size and color and the scale to the building.

**Sam DeSollar** made a motion to move **COA 23-44 to the July 27, 2023 HPC Meeting.**

**Matthew Seddon** seconded.

**Motion Carries: 5 Yes (Cross, Mitchell, Saunders, Seddon, DeSollar), 0 No, 0 Abstain**

**E. COA 23-45**

316 N Washington St. (Washington Street Apartment Historic District)

Petitioner: Leighla Taylor (FASTSIGNS)

*New Signage.*

**Gloria Colom** gave presentation. See packet for details.

**Reynard Cross** asked if there was a view of where the sign is going.

**Sam DeSollar** asked for some clarification of the sign size and placement.

**Sam DeSollar** commented that the sign seemed a little too big. **Reynard Cross** commented that he agreed with the color recommendation.

**Matthew Seddon** made a motion to approve **COA 23-45.**

**John Saunders** seconded.

**Motion Carries: 5 Yes (Cross, Mitchell, Saunders, Seddon, DeSollar), 0 No, 0 Abstain.**

**F. COA 23-46**

623 S Woodlawn Ave. (Elm Heights Historic District)

Petitioner: Leslie Parrish

*New railing over the garage.*

**Gloria Colom** gave presentation. See packet for details.

**Leslie Parrish** commented that this is facing the back alley and is not visible from the street.

**Duncan Campbell** stated that this could not be called a railing and that you want to be able to see the façade of the building and did not feel that this design was good for the building.

**Sam DeSollar** commented that this proposed replacement is incompatible and will not support it. **Matthew Seddon** commented that he thought the garage addition had already thrown off any since

of the properties original historic character from the rear. John Saunders commented that he thought the **Petitioner** should come back with different materials or a different design.

**Sam DeSollar** made a motion to **deny COA 23-46**, and to come back with a more compatible design.

**Reynard Cross** seconded.

**Motion Denied: 2 Yes (Cross, DeSollar), 3 No (Mitchell, Saunders, Seddon), 0 Abstain.**

**Elizabeth Mitchell** made a motion to **postpone COA 23-46 to the July 27, 2023 HPC Meeting.**

**Reynard Cross** seconded.

**Motion Carries: 5 Yes (Cross, Mitchell, Saunders, Seddon, DeSollar), 0 No, 0 Abstain.**

#### **G. COA 23-48**

516 W 3rd St. (Prospect Hill Historic District)

Petitioner: Pat Glushko and John McDowell

*New awnings for windows.*

**Gloria Colom** gave presentation. See packet for details.

**Pat Glushko** explained why they wanted to add the awnings to the house.

**Sam DeSollar** asked how wide the awnings were compared to the width of the window frame.

**Sam DeSollar** made a motion to **approve COA 23-48** with the suggestion that the size of the awning are close to the window frame as possible.

**Elizabeth Mitchell** seconded.

**Motion Carries: 5 Yes (Cross, Mitchell, Saunders, Seddon, DeSollar), 0 No, 0 Abstain.**

#### **V. NEW BUSINESS**

Discussion and Feedback with **Don Weiler**. See packet for details.

**John Saunders** brought up the issue of shutting down **Cascade Park Road** and stated that it should be going to a **Town Hall Meeting** soon. See packet for details.

**Sam DeSollar** stated that he would like to discuss **Violations** at the next **HPC** meeting.

#### **VI. OLD BUSINESS**

**VII. COMMISSIONER COMMENTS**

**VIII. PUBLIC COMMENTS ANNOUNCEMENTS**

**IX. ADJOURNMENT**

**Meeting was adjourned by John Saunders @ 7:30 p.m.**

**END OF MINUTES**

**Video record of meeting available upon request.**

<b>STAFF REVIEW</b>	Address: 917 N Fairview St.
<b>COA 23-49 917 N Fairview St.</b>	Petitioner: Daniel Joseph Weddle
<b>Application Date: 7/13/2023</b>	Parcel: 53-05-32-104-005.000-005
<b>RATING: CONTRIBUTING</b>	Survey: Ranch, addition, eclectic



**Background: Maple Heights Historic District**

**Request:** Building a pond and parking space.

**Guidelines: Maple Heights Historic District Guidelines**

**Staff Approved COA 23-49 limited to the parking spaces on the back of the building.**

- The petitioner retracted the pond component in order to reapply for it in the future.
- The parking space is by the alleyway and does not greatly impact the site.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 917 North Fairview Street

Parcel Number(s): 53-05-32-104-005.000-005

(OFFICE USE ONLY)	
Filing Date:	<u>07/13/2023</u>
Case Number:	<u>COA 23-50</u>
HPC Hearing Date:	<u>07/27/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Daniel Joseph Weddle Email: danny@terranrobotics.ai

Address: 917 North Fairview Street, Bloomington Indiana, 47404 Phone: 812.360.5829

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): Pond with Bridge and Stairs to Access the Front Door of the Property

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: *Daniel Joseph Weddle* Date: 07/13/23

## INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M\\_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

## CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

**Project Description**

This proposal is for a pond with a rain garden to be placed in the front yard of 917 North Fairview Street. The pond will be ~6-7' wide. It will extend approximately 25' from ~6' off the southern edge of the property heading north. The eastern retaining wall will be 32-36" high and will consist of textured concrete. There will be 3-4 concrete or steel stairs leading up to the pond wall. A small steel bridge will cross the pond, ending at a landing at the base of the stairs to the main entry of the home. The pond will be natively planted and will direct excess water into a rain garden to the East, at the base of the retaining wall. The earth gathered from this pond digging will be used in the construction of ADU walls located on the back of the property. The pond will be deep enough to sustain fish over winter.

**Materials Description**

The pond will consist of concrete and steel retaining walls. There will be a staircase of steel or concrete and a bridge of wood or steel.



917 North Fairview



Parking 

Water 

Sewer 

Electric 

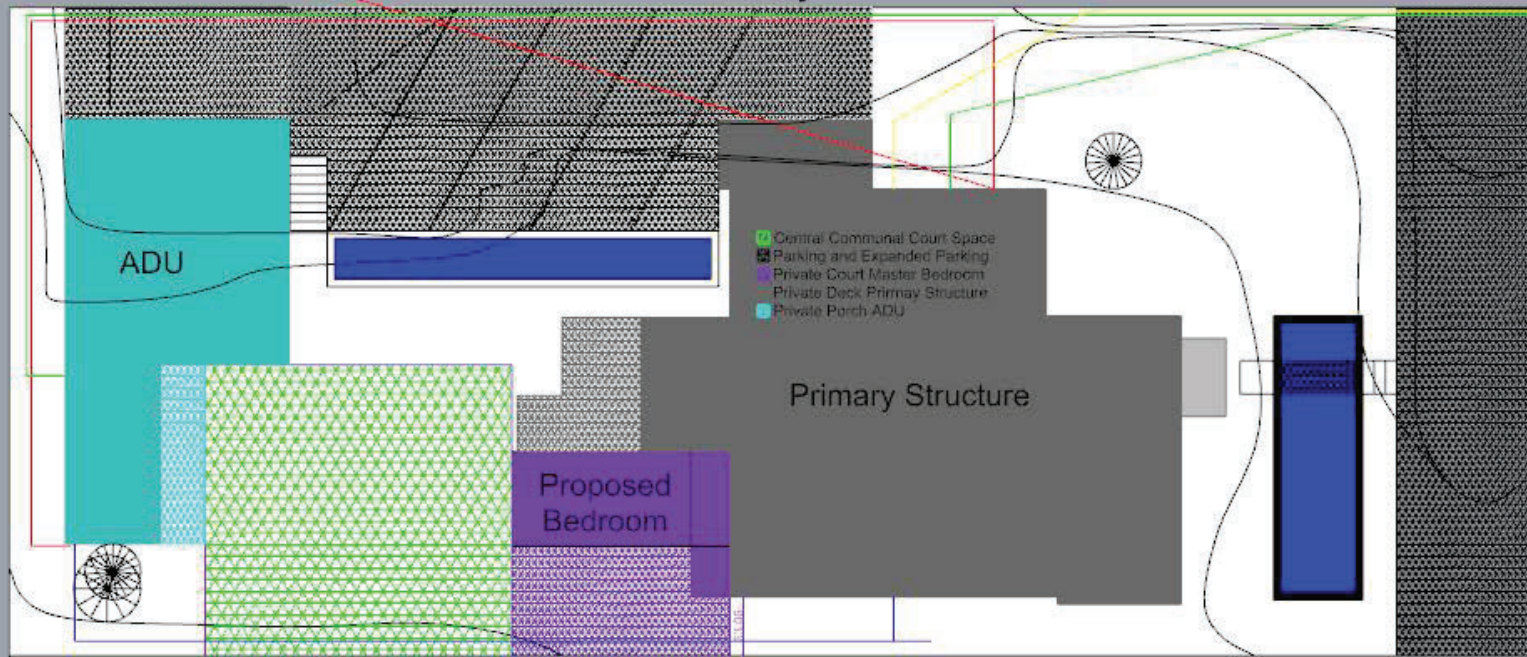
Gas 

Adjacent Property

Alley

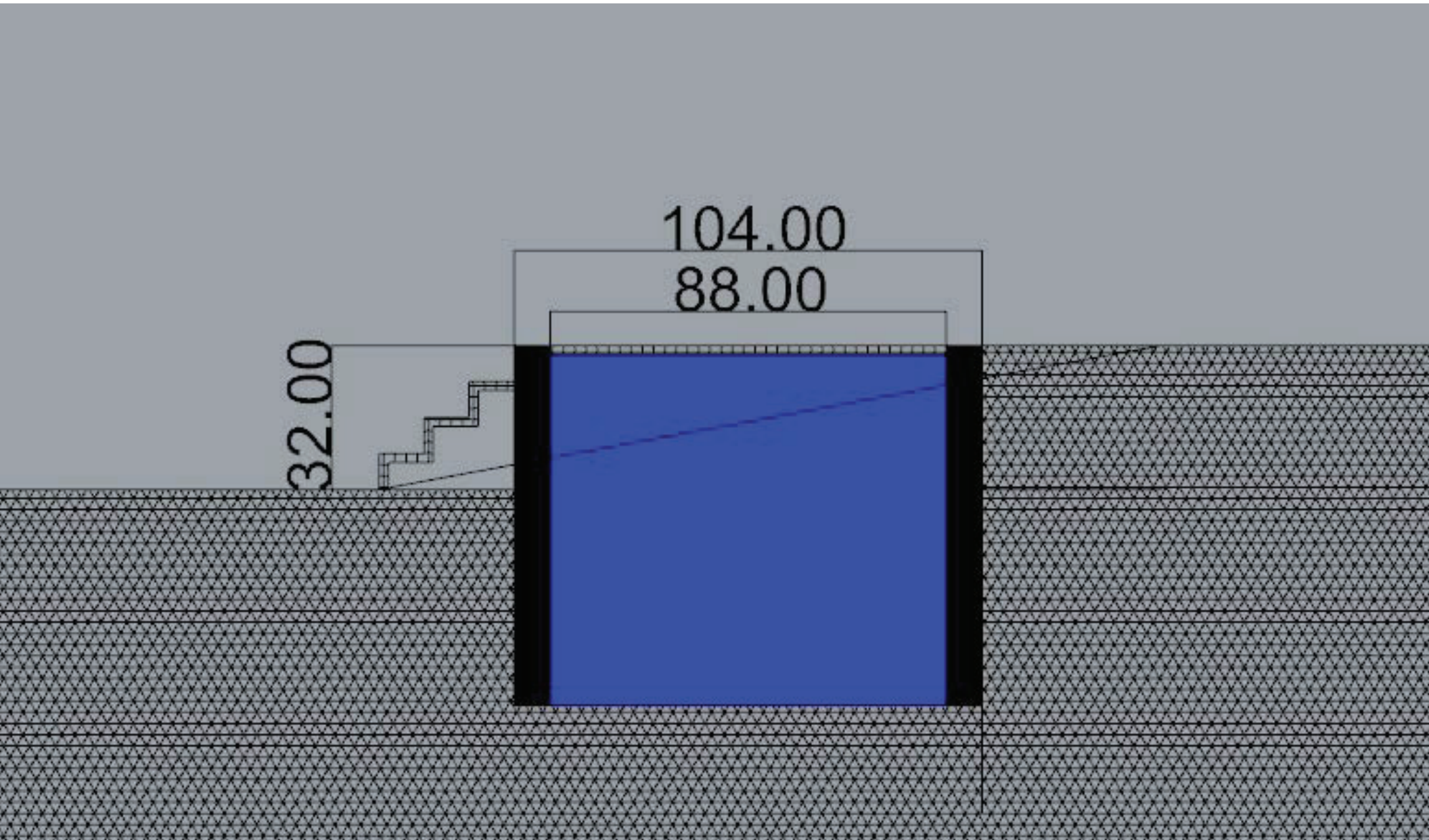
Adjacent Property

Alley

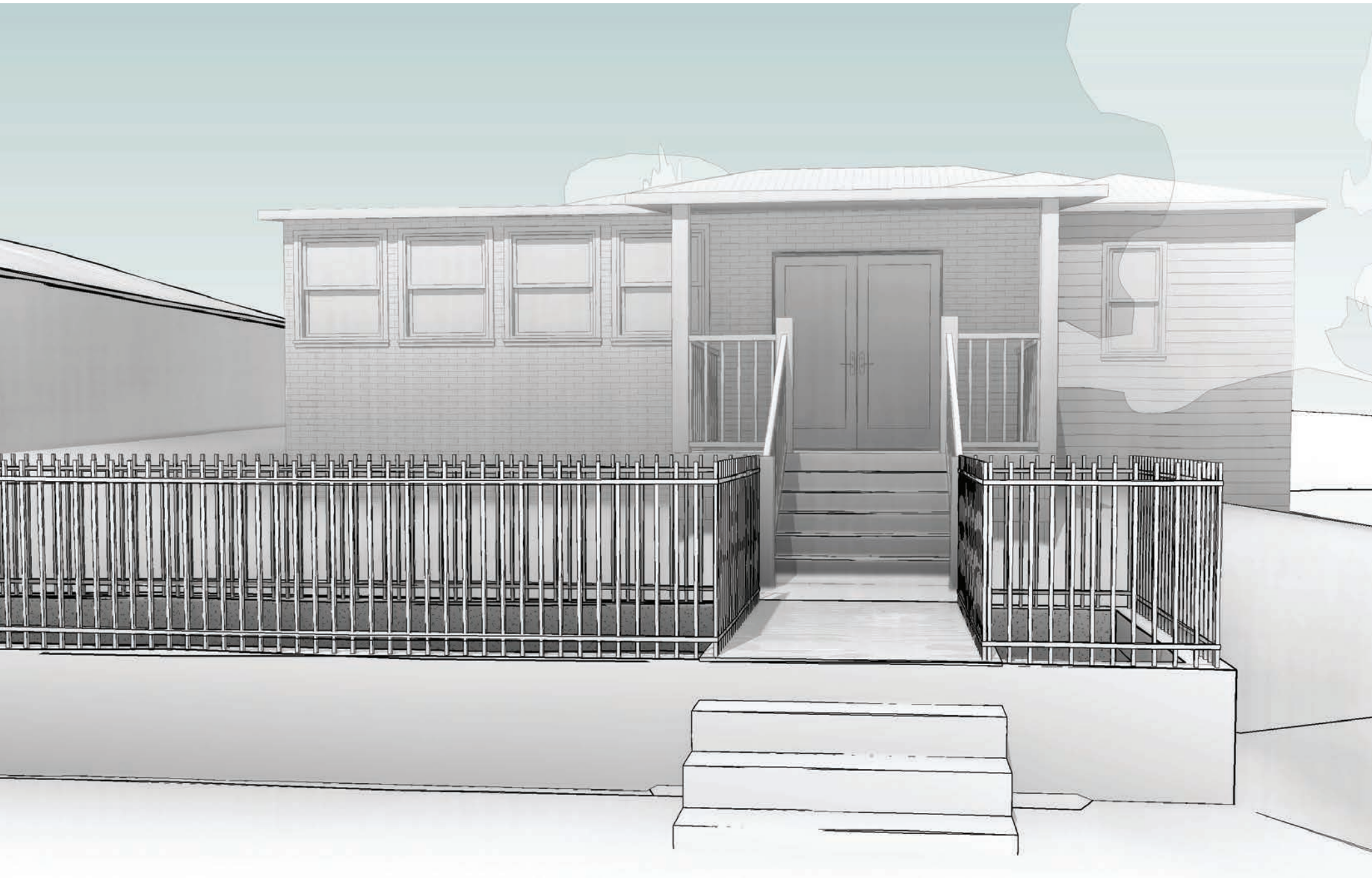


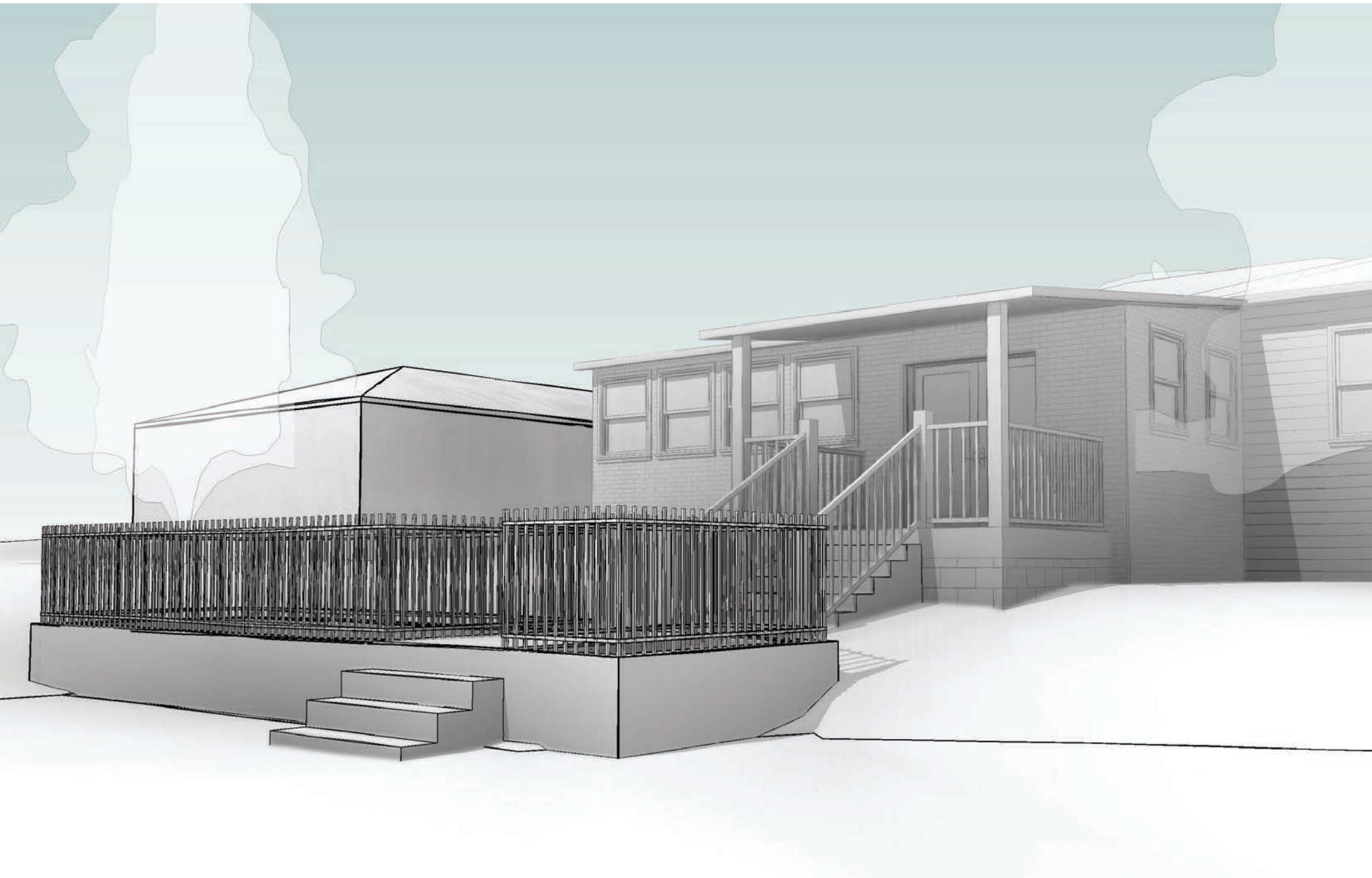
North Fairview Street

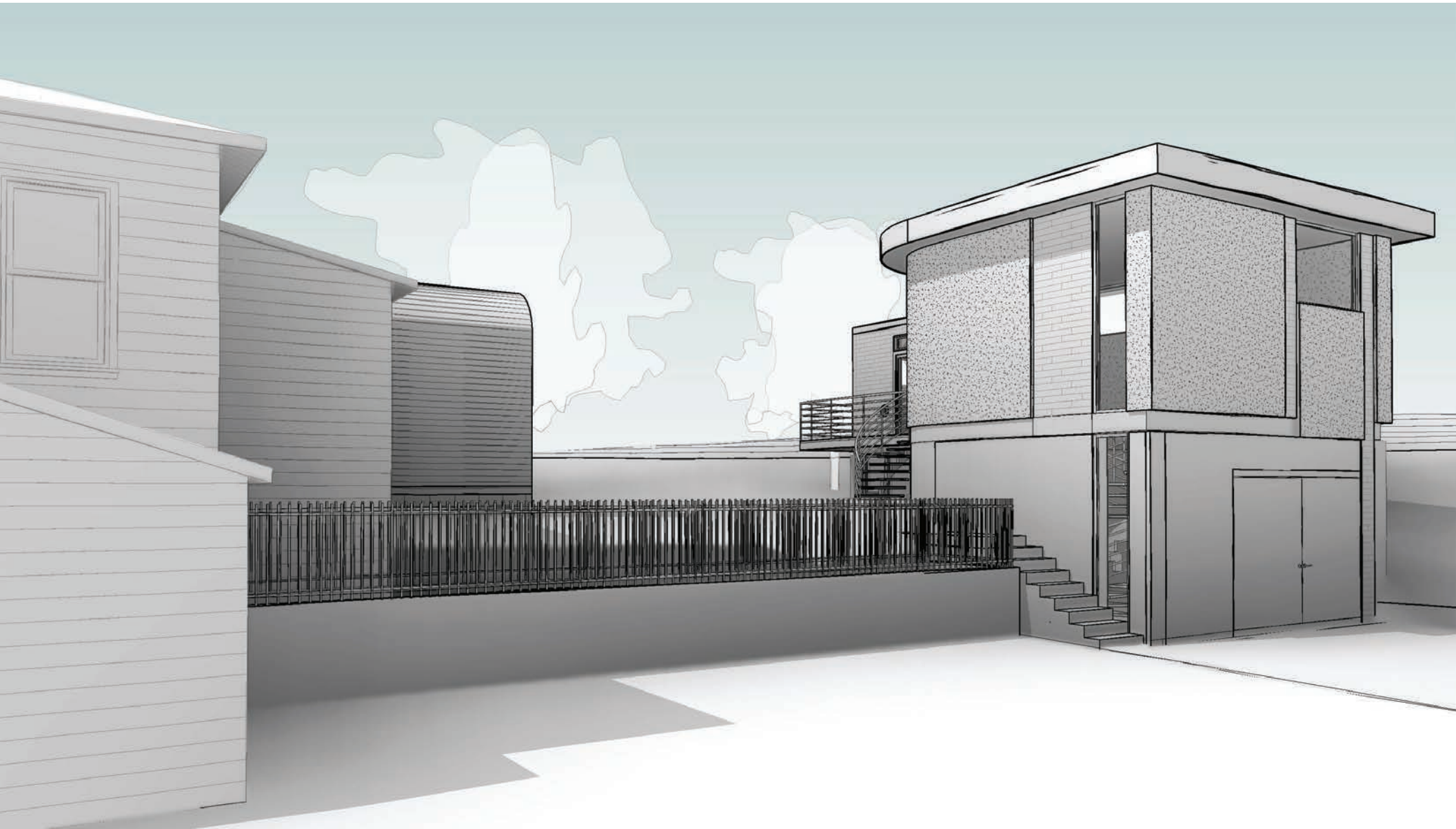
Adjacent Property

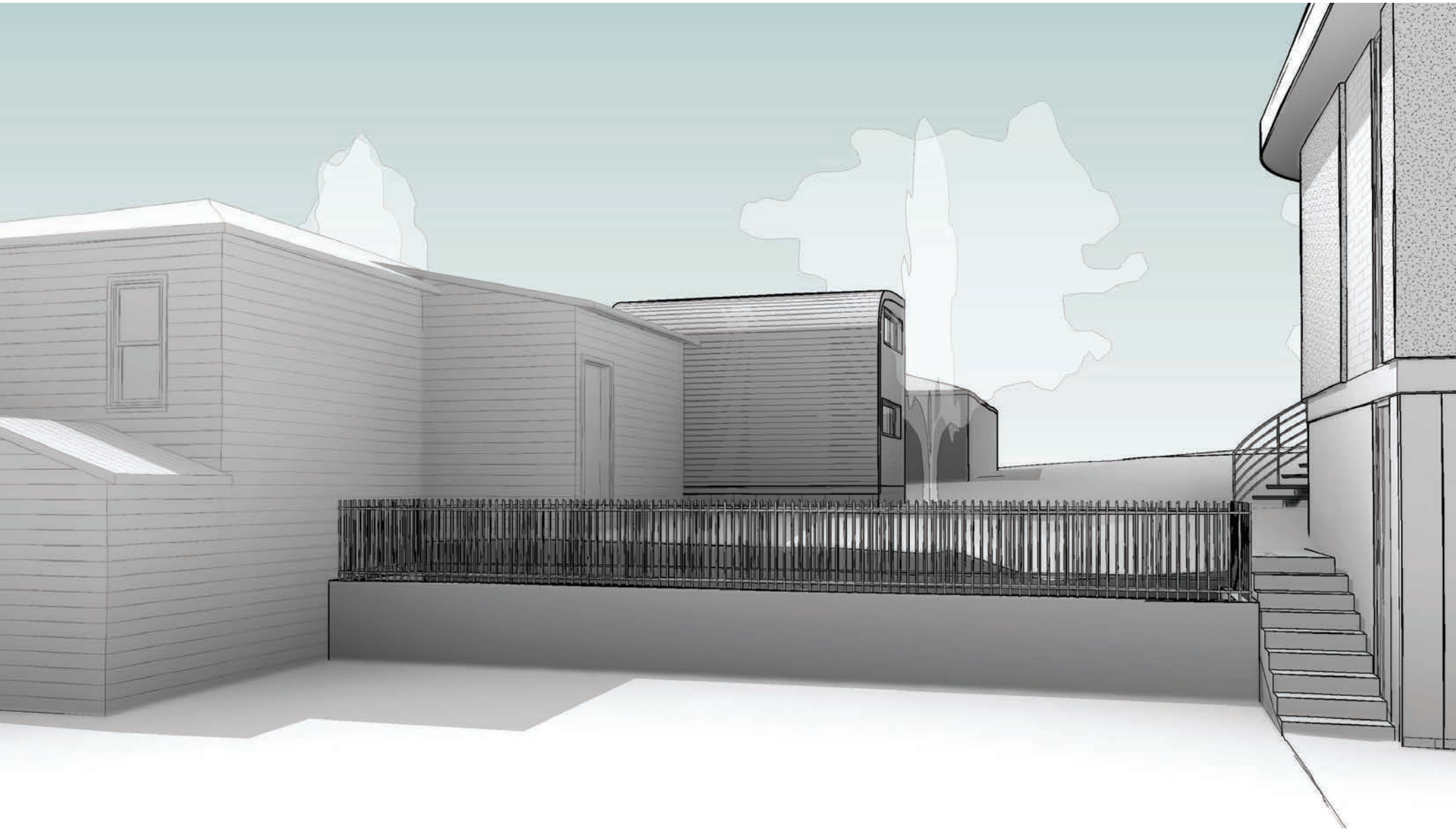


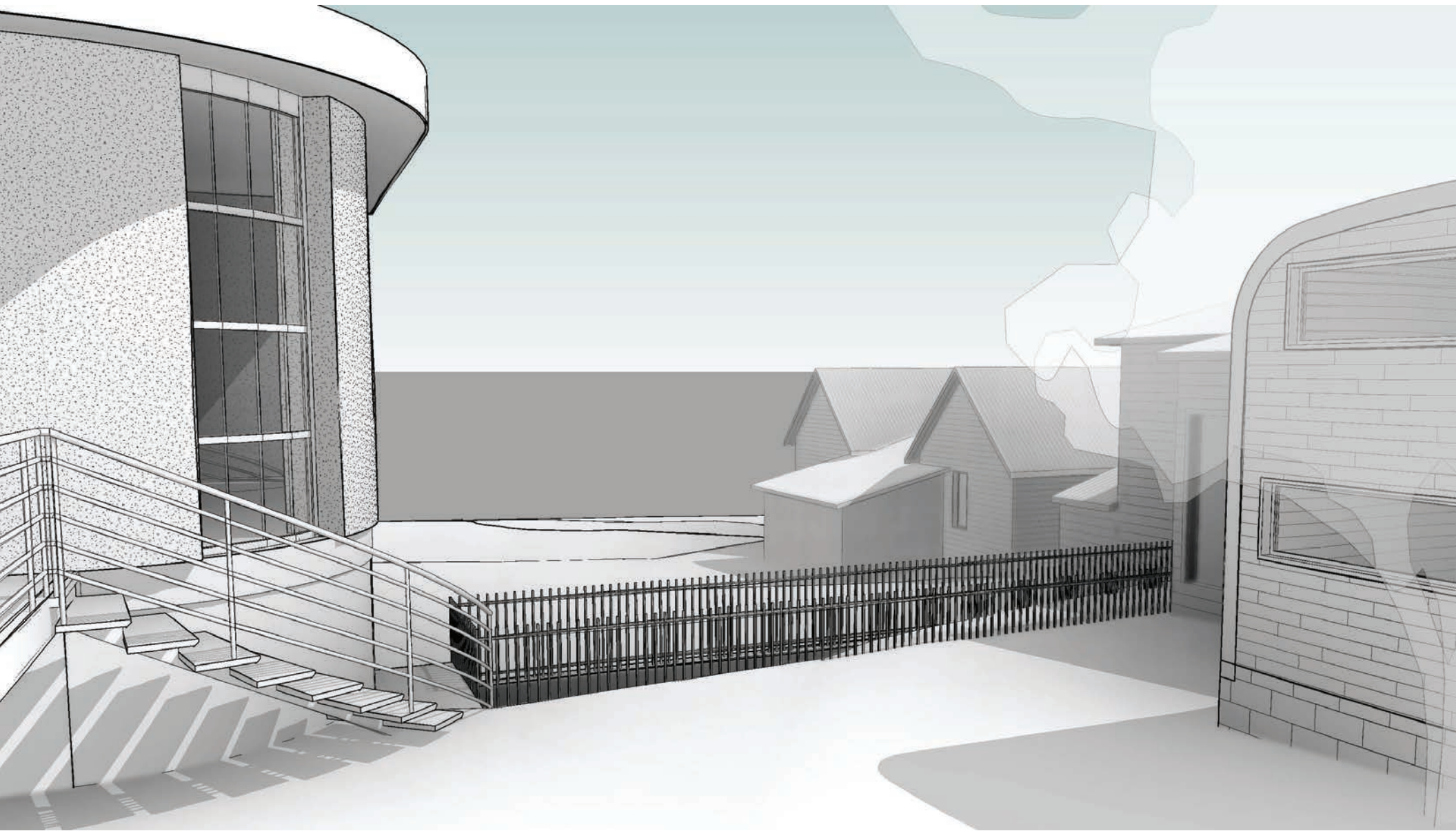




































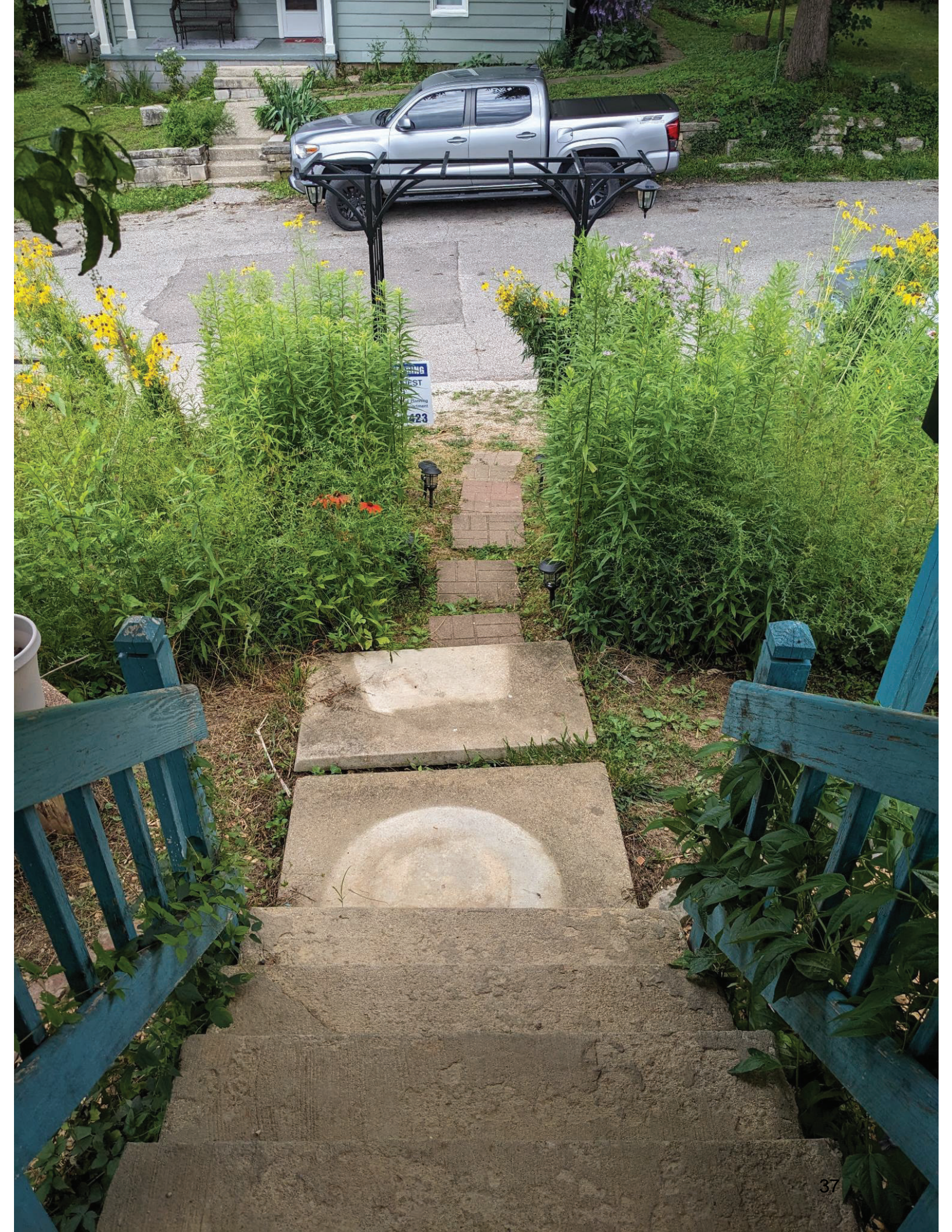
**NOTICE OF HEARING**  
**ZONING REQUEST**  
**PENDING**  
City of Bloomington Planning  
& Transportation Department  
**812-349-3423**




**NOT**  
**ZO**  
  
**812-**



**NOTICE OF HEARING**  
**ZONING REQUEST**  
**PENDING**  
City of Bloomington Planning  
& Transportation Department  
**812-349-3423**



WALKING  
BEST  
423

<b>STAFF REVIEW</b>	Address: 917 N Fairview St.
<b>COA 23-53 917 N Fairview St.</b>	Petitioner: Daniel Joseph Weddle
<b>Application Date: 7/13/2023</b>	Parcel: 53-05-32-104-005.000-005
<b>RATING: CONTRIBUTING</b>	Survey: Ranch, addition, eclectic
	
<b>Background: Maple Heights Historic District</b>	
<b>Request:</b> Changes to the ADU COA	
<b>Guidelines: Maple Heights Historic District Guidelines</b>	
<b>Staff Approved COA 23-53</b>	
<ul style="list-style-type: none"> <li>• The petitioned changes to the new structure were minor and did not impact the general scale of the building or its location.</li> </ul>	

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** COA 23-53

**Date Filed:** 7/27/2023

**Scheduled for Hearing:** 8/10/2023

\*\*\*\*\*

**Address of Historic Property:** 917 North Fairview Street

**Petitioner's Name:** Daniel Joseph Weddle & Jacob S. Bower-Bir

**Petitioner's Address:** 1131 Lexington Ave, Indpls, IN 46203

**Phone Number/e-mail:** 317.332.9073 / jake@terranrobotics.ai

**Owner's Name:** Daniel Joseph Weddle

**Owner's Address:** 917 North Fairview Street, Bloomington, IN

**Phone Number/e-mail:** 812.360.5829 / danny@terranrobotics.ai

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

**Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.**

A “**Complete Application**” consists of the following:

1. A legal description of the lot. 53-05-32-104-005.000-005
  
2. A description of the nature of the proposed modifications or new construction:  
Engineering feedback on the previously approved COA application for this project recommends two alterations: slight changes to the N facade and slight changes to the E facade. These changes will make the structure more SEISMICALLY RESILIENT, given the site's soil quality. In the course of working with the engineers on seismic mitigation, more accurate field measures were made and have been included.  
Relevant changes are details in the following pages. Additionally, please find attached a drawing set showing scaled, dimensioned images of the proposed changes. Except for the enumerated changes, the originally approved and COA application remains the same.
  
3. A description of the materials used.  
The material remains the same as in the original application.  
The basement of the ADU is the same exposed concrete block of the main house basement apartment.  
The bedroom of the proposed ADU will be constructed of, and finished with, natural earthen material--- specifically, locally sourced clay. The local clay used is warm in color and plays well the the brick that clads the main house. The remainder of the proposed ADU is clad in locally produced wood siding.
  
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.
  
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
  
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



## CORRECTIONS AND PROPOSED CHANGES TO THE DETACHED ADU AT **917 N FAIRVIEW**

We have recently received feedback from our structural engineers regarding the proposed detached ADU at 917 N Fairview. This feedback has led to three types of changes in our designs and drawings: (1) more accurate measures of structure height, (2) proposed changes to the N façade, and (3) proposed changes to the W façade. Each is addressed in turn on this and the following two pages.

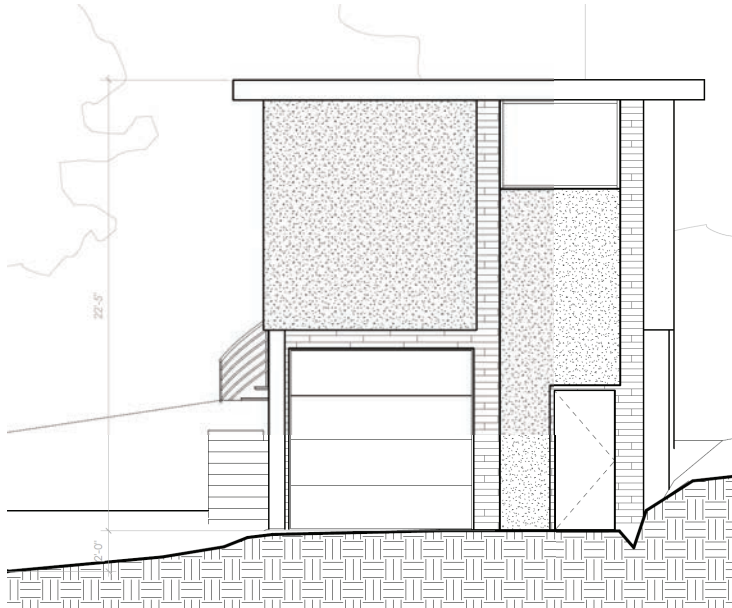
### 1. CORRECTIONS TO **MEASURES OF HEIGHT**

- The topmost height of the ADU is approximately *5" lower* than shown in the original drawings submitted and approved by the COA. This correction was discovered in the course of taking more accurate measurements of the distance from the top of the main house basement floor to the top of the proposed ADU floor. Please see the drawings in Section 3 showing the N elevations for a visual representation of this correction.
- The topmost height of the tiny home portion of the project is approximately *18" lower* than shown in the original drawings submitted and approved by the COA. This correction was discovered in the course of taking more accurate measurements of the tiny house in preparation of engineering documents. Please see the drawings in Section 3 showing the E elevations for a visual representation of this correction.

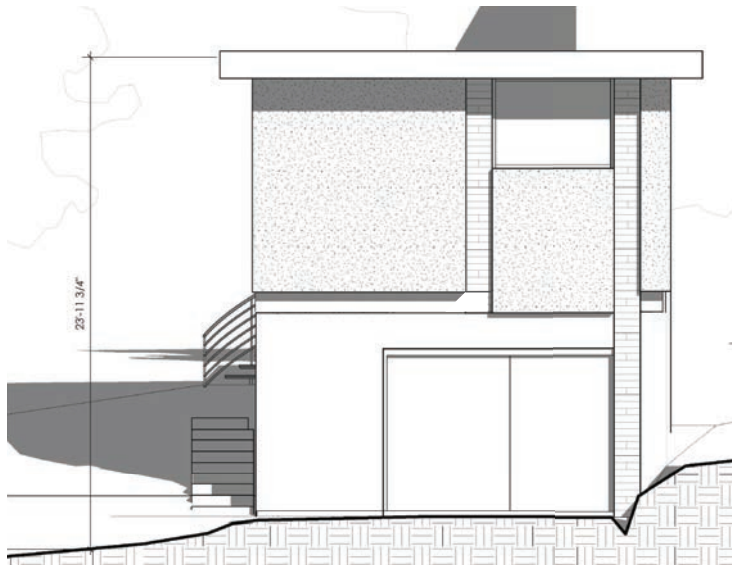
## 2. PROPOSED CHANGES TO N FAÇADE

- Remove W door.
- Move garage door E.
- Change garage door dimensions from 9'x9' to 12'x8', and have doors swing open.
- Keep all exterior finish material from crossing the main floor plate, except W strip of wood finish.

ORIGINAL N FAÇADE



PROPOSED N FAÇADE



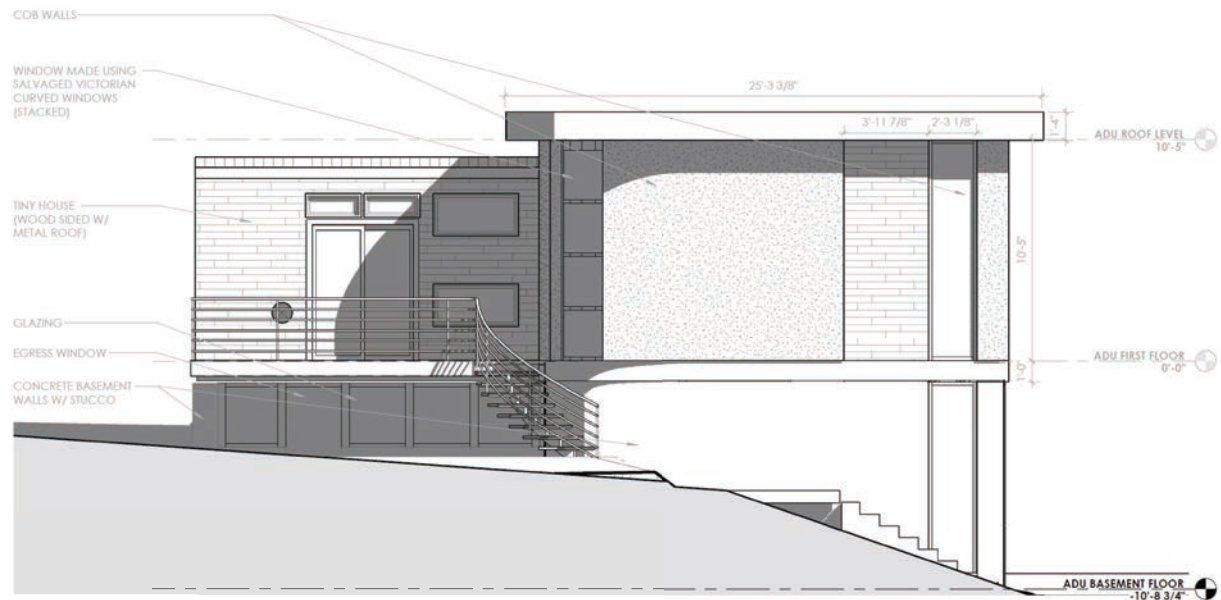
### 3. PROPOSED CHANGES TO E FAÇADE

- All main floor exterior finish materials sit above floor plate.
- Exterior wood finish goes all the way to the top plate.
- Window originally above exterior wood finish moves N and takes vertical orientation, spanning vertically from top to bottom plates on both levels of ADU.
- Drawing of existing tiny house to S updated to reflect correct height and window placement.

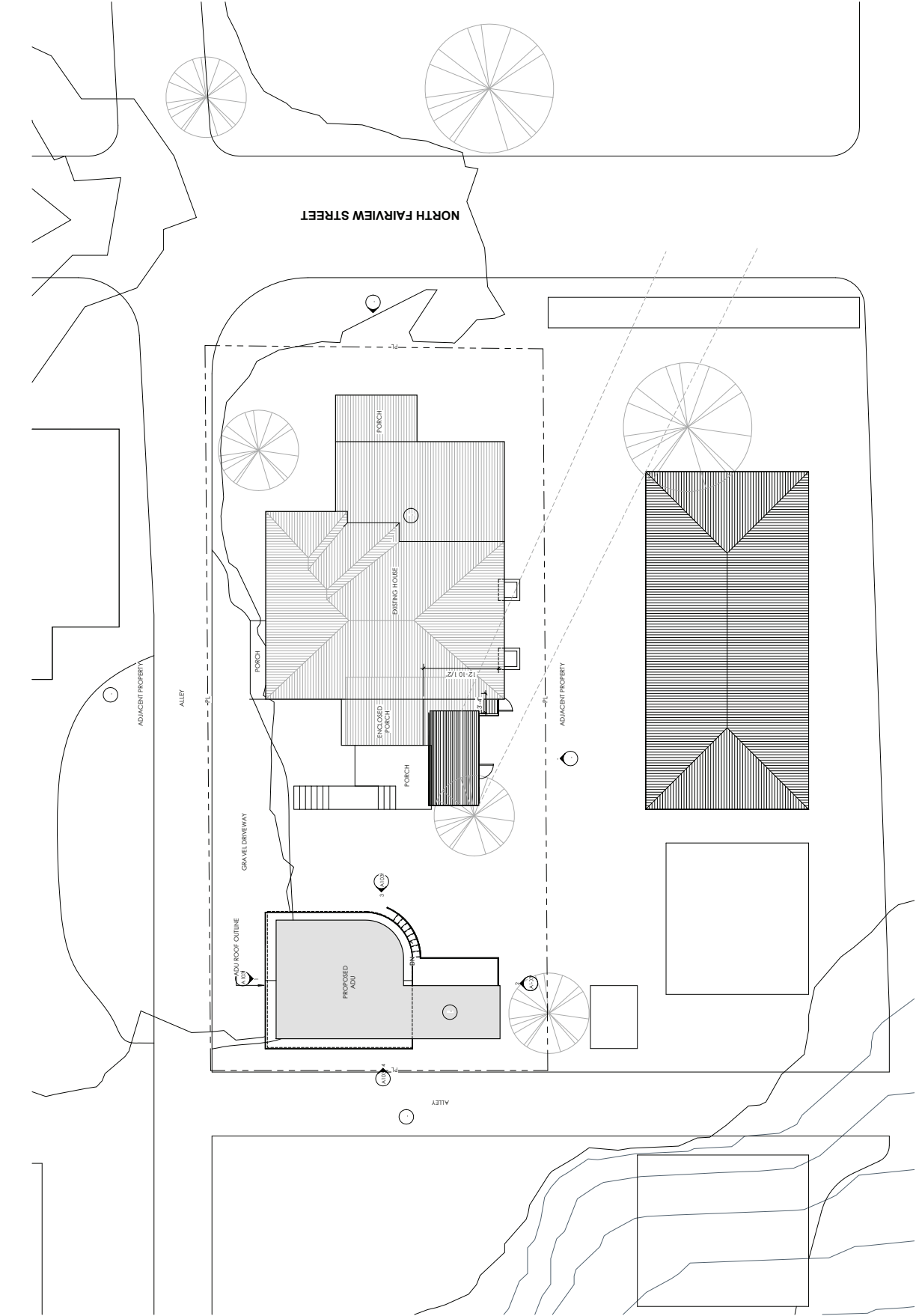
#### ORIGINAL E FAÇADE



#### PROPOSED E FAÇADE

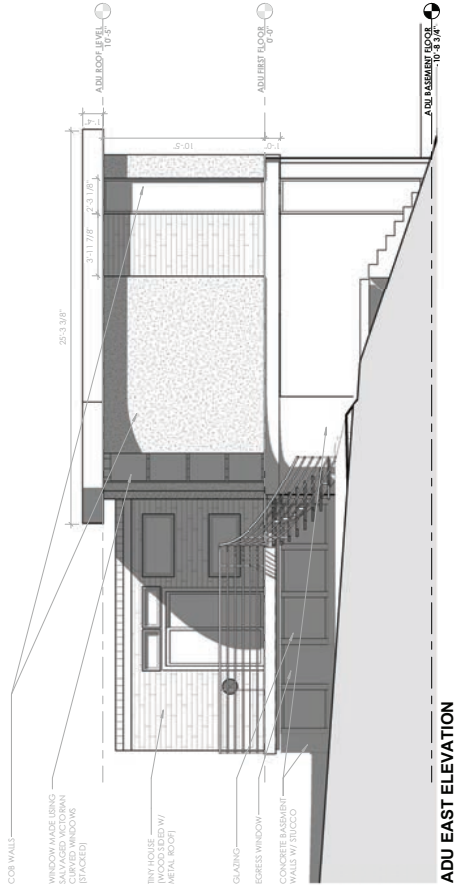


REVISIONS	DATE

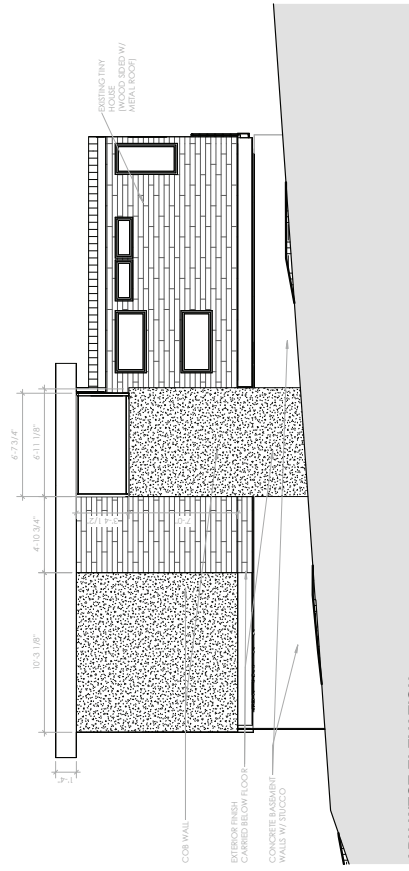


**SITE PLAN**  
 1/8" = 1'-0"

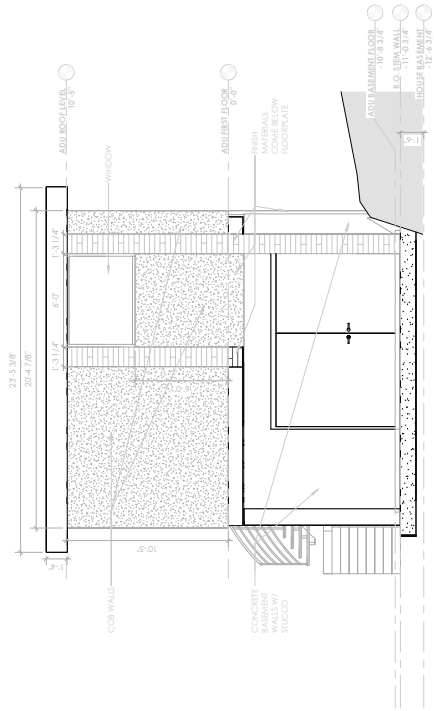
REVISIONS	DATE



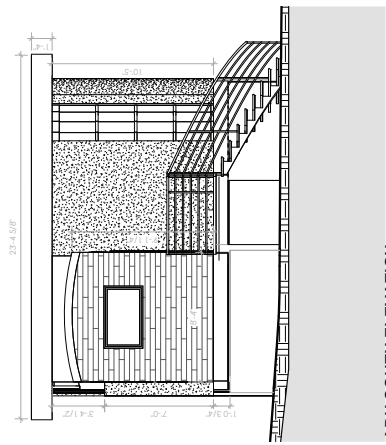
**ADU EAST ELEVATION**



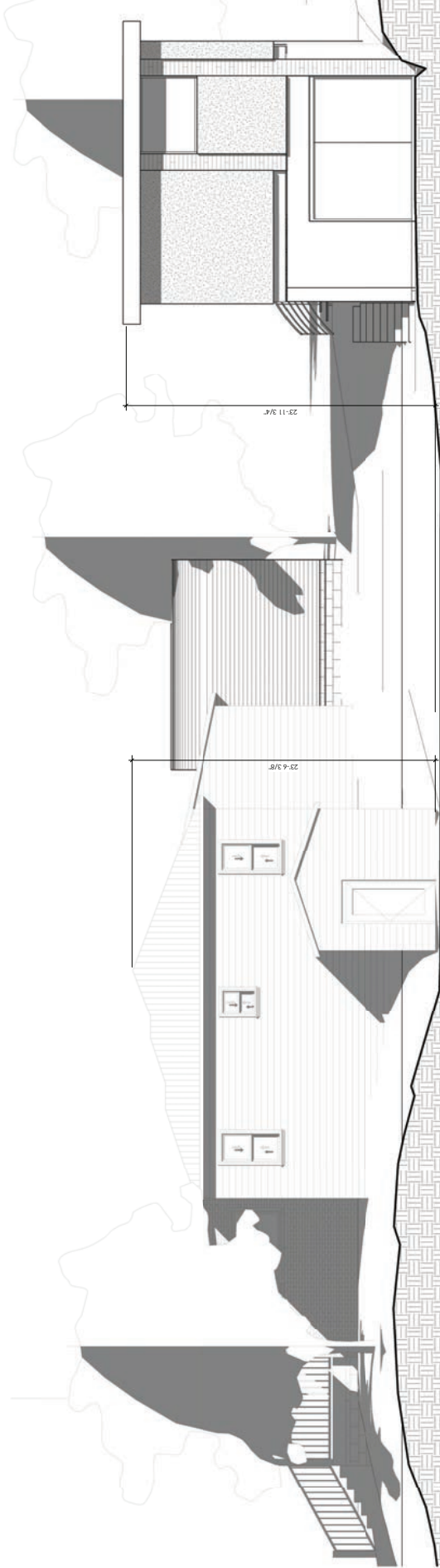
**ADU WEST ELEVATION**



**ADU NORTH ELEVATION**



**ADU SOUTH ELEVATION**



A111

SHEET: 09-00

JOB: 23-03-7-0000

FOR: NAITO CONSTRUCTION

SCALE: 1/8" = 1'-0"

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023

DATE: 05-10-2023  
 SCALE: 1/8" = 1'-0"  
 FOR: NAITO CONSTRUCTION  
 JOB: 23-03-7-0000  
 SHEET: 09-00

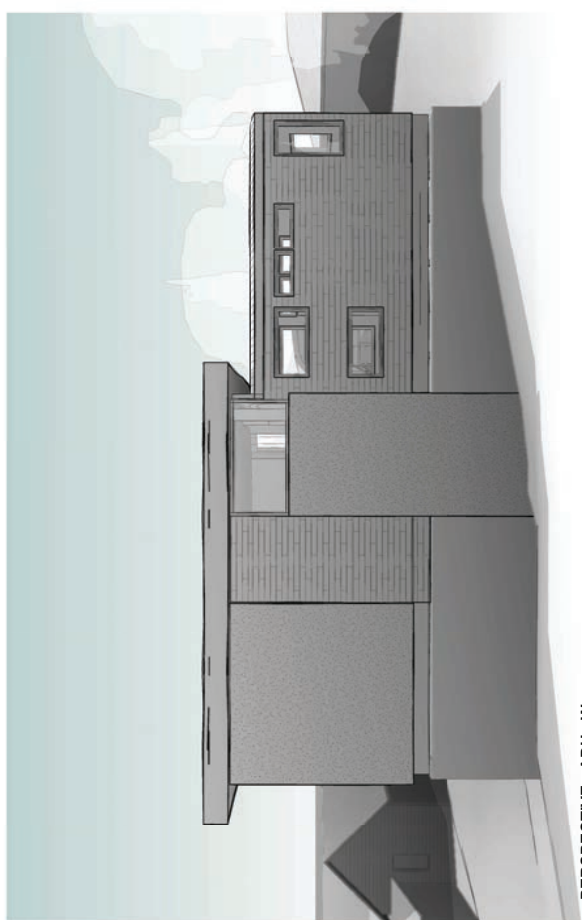
COA ADDENDUM  
 TERRAN ADU  
 PROJECT ADDRESS

DESIGN ANARCHY  
 COOPERATIVE

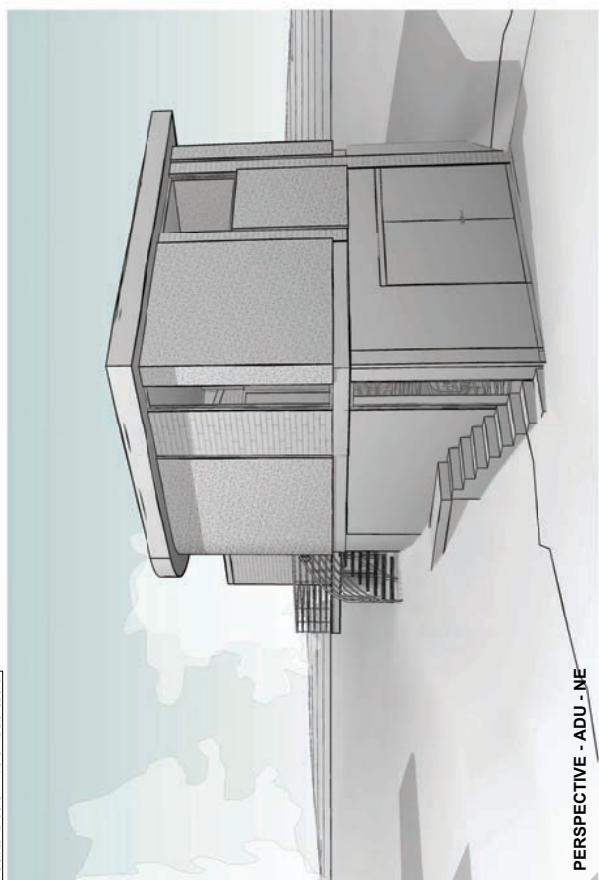




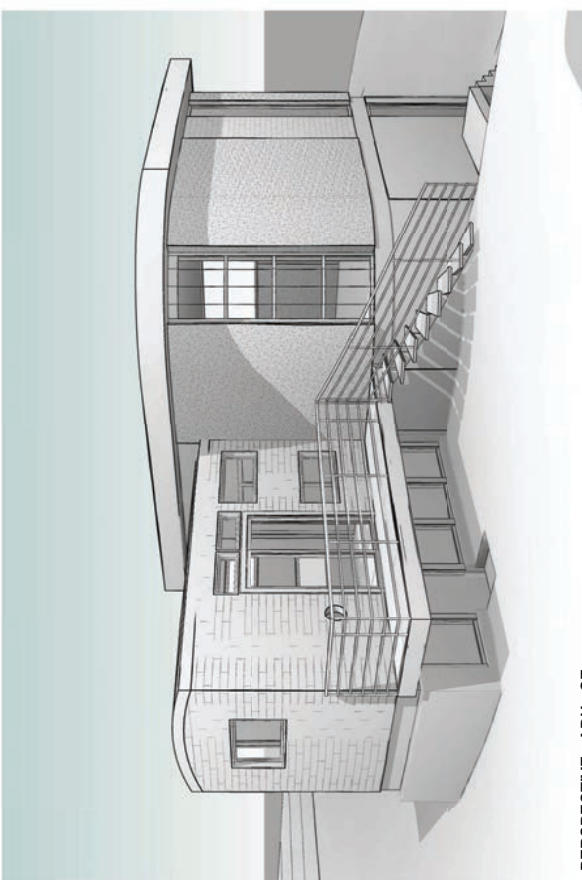
PERSPECTIVE - ADU - E



PERSPECTIVE - ADU - W



PERSPECTIVE - ADU - NE



PERSPECTIVE - ADU - SE

NOTE: ALL VIEWS SHOWN ARE FOR REFERENCE ONLY

<b>STAFF REVIEW</b>	Address: 1033 S Ballantine Rd.
<b>COA 23-50 1033 S Ballantine Rd.</b>	Petitioner: Eric Sandweiss
<b>Application Date: 7/14/2023</b>	Parcel: 53-08-04-401-012.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1960, Ranch
	
<b>Background:</b> Nathan Silverstein House Historic District	
<b>Request:</b> Replace garage door	
<b>Guidelines:</b> Secretary of the Interior's Standards	
<b>Staff Approved COA 23-50</b>	
<ul style="list-style-type: none"> <li>● The new garage door matches the style typical of ranch houses of the built era.</li> <li>● The door being replaced was not original and in a bad state.</li> </ul>	





# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 1033 S. Ballantine Rd.

Parcel Number(s): 53-08-04-401-012.000-009

(OFFICE USE ONLY)
Filing Date: <u>07/14/2023</u>
Case Number: <u>COA 23-50</u>
HPC Hearing Date: <u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: individually designated

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Eric Sandweiss Email: sesandw@iu.edu

Address: 1033 S. Ballantine Rd. Phone: 812-327-1717

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: (2) garage door replacement
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant’s Signature:  \_\_\_\_\_ Date: 7/14/23

## INSTRUCTIONS TO PETITIONERS

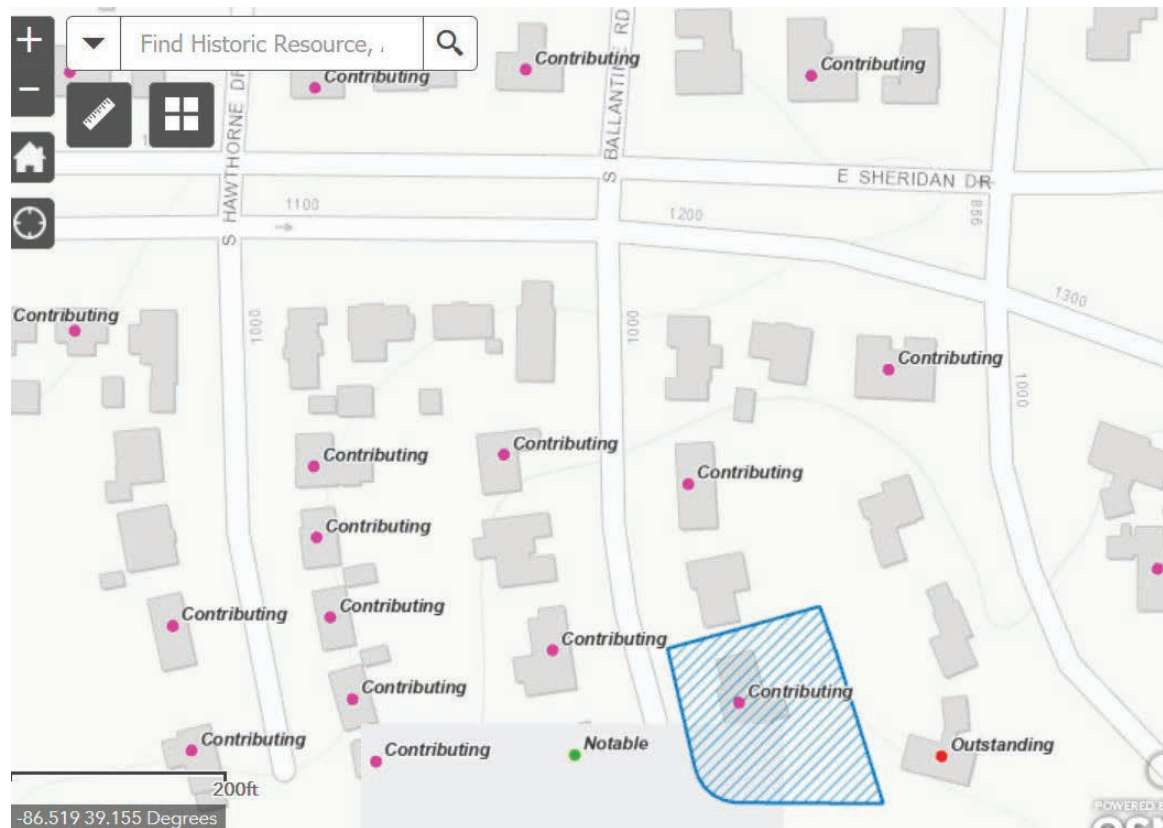
1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M\\_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

## CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

1033 S. Ballantine Rd. (53-08-04-401-012.000-009)



# 1033 S. Ballantine Rd. (1951): with existing (not original) garage doors

“lenders financed a more conservative branch of modernism, the less daring “Bankers Modern” styles, consisting of basic Minimal Traditionals and casual Ranch houses.’ This house is representative of the more Avant guard mainstream Modern.”

-Bloomington HAND local designation staff report

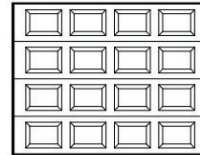


# Overhead Door Thermacore 5720, standard panel design



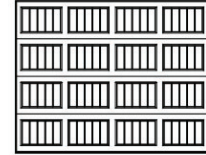
## 1 Choose a Panel Style and Model

**Standard Panel (SP)** (S)



Models 5720, 5740, 5760  
(297, 194, 494)

**Vertical Short (VS)** (V5)



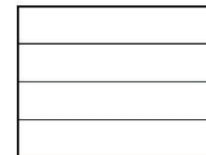
Models 5720, 5740, 5760  
(296, 199, 497)

**Long Panel (LP)** (L)



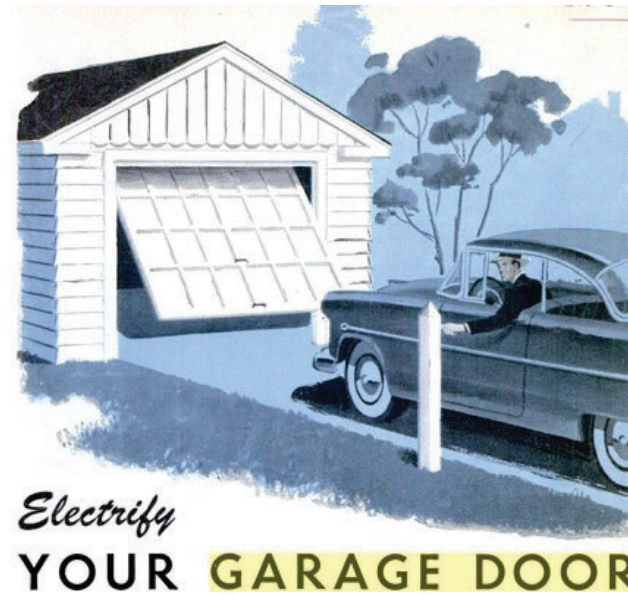
Models 5720, 5740, 5760  
(295, 198, 496)

**Flush Panel (FP)** (F)



Models 5720, 5740, 5760  
(298, 195, 495)

# Popular Mechanics, c. 1951-55



# *Architectural Digest*, 1951





- Filled and signed [Application for the Certificate of Appropriateness](#)

see attached

- *Written description of the nature of the proposal*

We propose to replace our aged and damaged overhead garage doors with new overhead doors of the same style and manufacture. No design change involved.

- *Written description of all of the proposed materials to be used.*

The new doors are the same steel exterior, with the same panel pattern, as the existing doors. They will be painted the color of the house siding, just as the current doors are. (Additionally, the new doors have improved, blown-in insulation and a steel backing that is not visible from the exterior.)

- *Between 3 and 5 photographs of the historic site and/or structure before changes.*

See attached PowerPoint file for pictures of the current façade, new doors, and historic precedents from early 1950s builder/modern ranch houses.

- *Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. A grid with tips on how to use it has been made available to facilitate drawing **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)***

See attached PowerPoint.

- *A map of the site with the site boundaries indicated (GIS imagery from sites such as [the Elevate tax maps available at \(https://monroein.elevatemaps.io/\)](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com) are acceptable).*

See attached.

The Genuine. The Original.



100 YEARS

Since 1921

# Proposal



## Overhead Door Company of Bloomington

3940 Farmer Ave  
Bloomington, IN 47403  
Ph (812) 336-5078  
Fax (812) 336-5218

Stacy Hutchens

Manager

812-336-5078

stacyh@ohdcvg.com

Residential and Commercial

Sectional Doors

Rolling Steel Doors

Operators

PROPOSAL SUBMITTED TO <b>ERIC SANDWEISS</b>	PHONE <b>812-327-1717</b>	FAX	DATE <b>06/15/23</b>
STREET <b>1033 S. BALLENTINE</b>	JOB NAME		
CITY, STATE, AND ZIP CODE <b>BLOOMINGTON, IN 47401</b>	LOCATION		
ARCHITECT	DATE OF PLANS	CONTACT	Email <b>SESANDW@IU.EDU</b>

We hereby submit specifications and estimates to:

Furnish & Install

<b>(2) 9 X 7 5720 SERIES FLUSH PANEL HUNTER GREEN DOORS</b>	<b>\$ 3,500.00</b>
<b>(2) 7' ODYSSEY 1000 BELT DRIVE OPERATORS</b>	<b>\$ 1,160.00</b>
<b>TAKE DOWN AND HAUL AWAY EXISTING DOORS</b>	<b>\$ 135.00</b>
<b>OPTION GLASS NOT INCLUDED IN TOTAL</b>	<b>TAX \$ 277.20</b>
<b>(4) 1/8" LONG CLEAR GLASS (2) PER DOOR ADD \$940.00 PLUS TAX</b>	<b>TOTAL \$ 5,072.20</b>
<b>(4) 1/8" LONG GLASS WITH STOCKTON 2-6LITE (2) PER DOOR ADD \$1260.00 PLUS TAX</b>	

**\* WILL NEED 50% DOWN PAYMENT TO ORDER**

Due to current market instability as a result of Covid and other overall manufacturing and market issues not under our control, we reserve the right to pass on any price increases and surcharges we receive and owner/contractor accepts any price increases to the proposal/contract for these additional material charges for our product manufacturers and adjust the proposal and contract amounts for these additional cost for products. Should owner/contractor want these products to be ordered in an effort to avoid any future price increases, we're the product will store in our warehouse for more than 30 days, the owner/contractor agree to pay reasonable storage rental fees for storing these materials. The Owner/Contractor also agree to pay for these materials and storage fees within 30 days of receiving an invoice. We will provide proof that they are in our possession and can be inspected by owner/contractor. This proposal must be made part of the overall contract and these terms above override any other terms in the contract provided by the owner/contractor. This is non-negotiable.

By signing this proposal below I agree to the above terms.

**All line voltage, control button, photocell, sensing edge and interlock wiring done by others. If we are to do low voltage wiring, add \$125 per operator. We do no conduit work.**

We Propose hereby to furnish material and labor -- complete in accordance with above specifications, for the sum of:

dollars **SEE ABOVE**

**50% Deposit due for all Orders. Final Payment is to be made upon completion of the job, unless credit is extended in which the terms are: Net 30 days. Any payments received after 30 days may be subject to a 2% per month (24% annual) finance charge.**

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner in accordance to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by workers compensation insurance.

Note: This proposal may be withdrawn if not accepted within 10 days.

*Stacy Hutchens*

### ACCEPTANCE OF PROPOSAL

The above prices are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

#### Buyer's Right to Cancel

You, the buyer, may cancel this agreement. If this agreement was solicited to your residence and you do not want the goods or services, you may cancel this agreement by mailing a notice to the seller. The notice must say that you do not want the goods or services and must be mailed before midnight of the third business day after you sign this agreement. See attached Notice of Cancellation for an explanation of this right. The notice must be mailed to: 3940 W Farmer Ave, Bloomington, IN 47403.

By signing contract, I agree to pay for any and all collection and legal fees incurred by Overhead Door pertaining to the collection of monies owed on this contract.

Date of Acceptance **X**

Signature **X**

<b>STAFF REVIEW</b>	Address: 909 E University St.
<b>COA 23-55 909 E University St.</b>	Petitioner: Veronika Baradonner
<b>Application Date: 7/20/2023</b>	Parcel: 53-08-04-110-010.000-009
<b>RATING: CONTRIBUTING</b>	Survey: C. 1940, Colonial Revival



**Background: Elm Heights Historic District**

**Request:** Removal of black walnut tree on City of Bloomington property.

**Neighborhood Comments:**

From Jenny Southern:

- I have no problem with the petitioners fence, except I'm not sure we can give an official ok for building a fence on City property. The previous owner built the original fence 30 years ago down the center line of the City's undeveloped alley.
- The request also doesn't mention the removal of the mature Walnut tree growing in the alley. The City has already given permission for it's removal for "construction" but it's up to Gloria as far as the COA for it to be cut down.
- I will attach a photos of the tree, fence, and alley on the North edge of the property. So far there is no sign of damage to the wooden or brick garage.

- Previously, the neighbor that shares the alley does not have a problem removing the horizontal limb over the petitioners garage but is not in favor of removing the entire Walnut tree. They support the neighbor in the repair/ replacement of the fence.
- All construction could be done along the property line without bothering the tree or alley.
- Since it is a public alley we can walk behind the garage and check out the garage, fence and tree it we'd like.

**Guidelines: Elm Heights Historic District Guidelines**

Pg. 12

A Certificate of Appropriateness (COA) is required for the following bolded, numbered item. The bullet points that follow the numbered item further assist applicants with the COA process.

I. Removal of a mature tree that is visible from the public right-of-way.

A mature tree is:

- a) a shade tree whose trunk is twelve inches in diameter or larger,
  - b) an ornamental tree whose trunk is four inches in diameter or fifteen feet high, or
  - c) an evergreen tree whose trunk is eight inches in diameter or fifteen feet high.
- A COA is not required to remove a dead tree. Consult with the City staff person to the Historic Preservation Commission regarding diseased, dying, or infested trees.
  - A COA is not required to remove an invasive tree as defined in the City of Bloomington Tree Care Manual.
  - When replanting, refer to the City of Bloomington Tree Care Manual for recommendations.
  - Retain historic landscape edging; do not introduce historically inappropriate edging materials and colors.
  - Selective removal of mature trees to allow solar installations may be considered on a case-by-case basis.

“However, the complete removal of mature, healthy trees should be considered only for compelling reasons because the loss of such trees diminishes the neighborhood and site setting.”

**Staff Approved COA 23-55**

- The petitioner had applied for the removal of the tree earlier in 2023, however it had been denied as the tree falls within City of Bloomington Property.
- The petitioner applied for a removal permit from the City of Bloomington arborist which was eventually approved.
- The roofing company that was going to repair the petitioner’s garage roof refused to provide a warranty as long as the tree remained.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 909 E. University St.  
Parcel Number(s): 53-08-04-110-040,000-000  
015-48200-00

(OFFICE USE ONLY)
Filing Date: _____
Case Number: _____
HPC Hearing Date: _____

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Veronika Bardonna Email: vbardona@gmail.com  
Address: 909 E. University St. Phone: 812-369-8129  
Bloomington, IN 47401

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: W. Sandorner Date: 7/19/2023





Proposal #11345

Created: 10/20/2022

From: Matt Baldwin

PO Box 345 Clear Creek, IN 47426 812-824-3335 bloomington@bluestonetree.com

Proposal For

Veronica Bardonner

909 E University St  
Bloomington, IN 47401

mobile: 812-369-8129  
vbarbora@gmail.com

Location

909 E University St  
Bloomington, IN 47401

ACCEPT	ITEM DESCRIPTION		QUANTITY	AMOUNT
<input checked="" type="checkbox"/>	<p>1) Tree Removal - With Cleanup <i>Optional</i></p> <p><i>Accepted</i></p> <p>Black Walnut- Safely dismantle tree. Haul away all debris. Cut stump low. Cleanup final work site.</p>		1	\$ 6,251.27



Dear Gloria:

I am writing to you and Bloomington Historic Preservation Commission to grant Certificate of Appropriateness on removing the black walnut tree from the City property.

My name is Veronika Bardonner. I am the owner of 909 East University, Bloomington, IN 47401. My property is a part of the Elm Heights Neighborhood. My house and detached garage were built around 1929. My property is in urgent need for improvements to preserve and protect the architectural integrity and historic site of the Elm Heights Neighborhood.

As it states in the Elm Heights Historic District Design Guidelines, I recognize and respect the equal value of preservation of historic buildings, structures, and historic landscapes. But in my case, in order to preserve the Elm Heights Neighborhood's historic detached garage on my property, the black walnut tree removal has to take place.

This black walnut tree location is on the City property.

I hired Baker Stone Work Company to inspect and repair my historic detached garage. In their inspection report there is an observation that the black walnut tree on the City property is at the same distance around 5 ft. from my historic detached garage and the historic detached garage of my neighbor, Jenny Southern, 910 E. 2nd St. Their professional opinion is that all cracks in the floor and in the footer on my detached garage were caused by the root system of the black walnut tree (See attached Baker Stone Work Inspection documents on 8 pages). The cost of repair of the damage of the garage footer is \$1,400 (See attached Baker Stone Work Proposal).

After meeting with Charley Nelson, Baker Stone Work Co-Owner, Kerry Bridges states in his letter that “excavation to expose and repair the foundation will extend about 2-3 feet from the garage wall to a depth of 12 to 18 inches. This excavation will run the length of the Northern and Eastern garage walls and may require the removal of many large roots which would be considered key to the tree’s vitality and stability”.

Matt Baldwin, ISA Certified Arborist IN-3202A, ISA Tree Risk Assessment Qualified OISC Certified Applicator F238042, in his letter of February 17, 2023, expressed his following concerns that “the large black walnut tree is causing considerable damage to the structure below it (garage) and poses a significant risk to the building in the event of major weather event. It was also noted that the trunk grows rather close to the building and is causing structural damage in the way of foundation and wall issues”.

The Equity Builders Roofing Inspection of my historic detached garage roof performed by Glen Inman, roofing system expert, states “it was evident that the falling walnuts created “hail-like” damage consisting of granular loss and bruised and broken matting. The branches resting on the roof surface have caused premature wear and tear damages by constantly brushing the shingle surface. It also has lost granules and exposed matting and removal of several pieces of shingle. The branches are also causing a large buildup of debris on the roof surface”.

The repair of the historic detached garage foundation needs to take place to preserve structure from further deterioration. The new roof installation should be done to preserve the structure from rotting from moisture (See attached The Equity Builders Roofing Proposal for the detached garage roof repair).

Kerry Bridges concludes in his letter that “it is likely that ... conditions, (1) mechanical root loss, and (2) loss of heart roots close to the trunk, may occur in the course of the excavation phase of this project. If this turns out to be the case, removal of the tree would be prudent” (See attached letter of Kerry Bridges). Matt Baldwin shares the same opinion in his letter: “Any construction or improvements to these infrastructures would potentially cause great harm to the trees ... The cutting of any roots or compaction of the soil around the roots of these trees could send them into a quick decline in health. This would increase the overall risk of these trees and there would be a higher likelihood that these trees could fail and impact the surrounding targets on the property and surrounding properties. (See attached letter of Matt Baldwin).

Glen Inman, roofing system expert with Equity Builders Roofing, states that a new roof installation requires removal of the branches resting upon the roof. He believes that the black walnut tree location so close to the structure and over the roof will void the manufacturer’s warranty. Glen concludes “It is my recommendation as a professional roofing specialist to have the entire tree removed to prevent further damages to the current and future roofing system” (See attached letter of Glen Inman).

My personal concerns are about the health harm that falling mature black walnut tree nuts could cause my family members. There is a great risk of injuries from falling nuts and slipping on nuts and its debris. Another concern is dents on my vehicle from falling walnuts. My future concern is if I would have available funds for fixing the future terminal damage from the tree and preserve the architectural integrity and historic site of the Elm Heights Neighborhood.

As a City of Bloomington citizen and a taxpayer, I believe it is important to preserve the Elm Heights Historic District architectural significance and retention of its historical integrity and fabric.

All brought up appropriate professionals conclude that the black walnut tree should be removed due to the risk associated with it.

Haskell Smith, Urban Forester, City of Bloomington Parks and Recreation, issued Tree Removal Permit on July 12, 2023. On July 18, 2023, he marked and placed an informational placard on the black walnut tree. (See attached photo).

In order to give the City financial relief, I would like to offer the City that I will pay to Bluestone Tree for the black walnut tree removal this July in an amount of \$6,251.27, based on their proposal of 10.20.2022, in full (See attached Bluestone Tree Proposal). My investment in paying for the black walnut tree removal will save the City’s funds on paying for the future terminal damage from the tree to the owners of two historic detached garages. As a taxpayer I believe that the City could invest saving funds in preservation of trees which do not damage the historic structures of our city.

I enclose/attach the following documents:

1. COA Application - 2 pages
2. Photos of the black walnut tree – 2 images
3. Baker Stone Work inspection on my historic detached garage – 8 pages
4. Baker Stone Work Proposal – 1 page
5. The Equity Builders Roofing Inspection – 7 pages
6. Letter from Alyssa Rice, Roofing Production Manager, Equity Builders Roofing - 1 page
7. The Equity Builders Roofing Proposal for the detached garage roof repair - 2 pages
8. Letter from Kerry Bridges, an ISA Board Certified Master Arborist – 1 page
9. Letter from Matt Baldwin, ISA Certified Arborist IN-3202A – 1 page
10. Tree Removal Permit issued by Urban Forester, City of Bloomington Parks and Recreation - 2 pages
11. Photo of a mark and placed an informational placard on the black walnut tree - 1 image
12. Copy of Bluestone Tree Proposal – 1 page

I hope that the Bloomington Historic Preservation Commission will accept my Application for the Certificate of Appropriateness and grant permission on the black walnut tree to be removed.

Thank you for your immediate attention to this matter.

Sincerely,  
Dr. Veronika Bardonner





## Equity Builders Roofing

---

5951 S Glenview Drive  
Bloomington, IN, 47403

Client: Veronika Bardonner  
Property: 909 East University Street  
Bloomington, IN 47401

Operator: SASSCHMI

Estimator: Ethan Hawkins  
Position: Assistant Supplementer  
Company: Equity Builders of Bloomington, Inc.  
Business: 5951 S Glenview Drive  
Bloomington, IN 47403

Business: (812) 650-8168  
E-mail: Ethan@equitybuildersroofing.com

Type of Estimate: Other  
Date Entered: 7/7/2023                      Date Assigned:

Price List: ININ8X\_JUL23  
Labor Efficiency: Restoration/Service/Remodel  
Estimate: VERONIKA\_BARDONNER

**This estimate assumes only one layer of shingles will need to be removed. Should there be more than one layer, an additional charge will apply. Also, the roof decking is assumed to be sound. Should any of the roof decking need to be replaced, it will be done at a rate of \$96 per sheet (material and labor).**

**\*\*\*Due to rapidly fluctuating pricing related to shortages as a result of Covid-19, we are only able to guarantee our price for 15 days from the date of this estimate.**



# Equity Builders Roofing

5951 S Glenview Drive  
Bloomington, IN, 47403

## VERONIKA\_BARDONNER

### Garage

DESCRIPTION	QTY
1. Remove 3 tab - 25 yr. - comp. shingle roofing - w/out felt	6.62 SQ
2. Malarkey Vista	8.33 SQ
3. Roofing felt - synthetic underlayment	6.62 SQ
4. R&R Hip / Ridge cap - Standard profile - composition shingles	22.58 LF
5. Asphalt starter - universal starter course	75.00 LF
6. R&R Drip edge	90.00 LF
7. Remove Gable cornice return - 3 tab	4.00 EA
8. Gable cornice return - laminated	4.00 EA
9. Sheathing - OSB - 1/2"	662.00 SF

Grand Total

\$5,851.70

\_\_\_\_\_  
Ethan Hawkins  
Assistant Supplementer

**From:** Kerry Bridges kerry@treeguyinc.com  
**Subject:** Walnut Tree North of Property at 900 E University St.  
**Date:** July 5, 2023 at 1:32 PM  
**To:** Smith Haskell smithh@bloomington.in.gov  
**Cc:** Veronika Bardonner vbardora@gmail.com



Good Afternoon Haskell,

Today I visited the Walnut tree located in the city right of way directly to the North of Veronika Bardonner's property at 900 East University Street. I spoke with Charlie Nelson of Baker Stone Work and the property owner, Veronika Bardonner. As you are aware, Veronika is affecting repair and restoration of her property; this includes foundation repair for the detached garage on the Northern boundary of the property. The Walnut tree's root crown is within 6 feet of the garage's Northeastern corner.

According to Charlie Nelson, excavation to expose and repair the foundation will extend about 2-3 feet from the garage wall to a depth of 12 to 18 inches. This excavation will run the length of the Northern and Eastern garage walls and may require the removal of many large roots which would be considered key to the tree's vitality and stability.

Black Walnut (*Juglans nigra*) is typically intolerant of root loss and mechanical damage during construction (*Matheny and Clark. 1998. Trees and Development. p173*). "Tree stability has been found to be compromised on some species when cuts are made within a distance of three times the trunk diameter from the trunk. For most species, when roots are cut closer than one-to one-and-a-half-times the DBH distance from the trunk, a serious reduction in stability can occur and long-term health and survival will be impacted. It is often better to remove than retain trees that have had large roots pruned close to the trunk" (*Fite and Smiley. 2016. Managing Trees during Construction Second Edition. p18.*).

I think it likely that both of the above conditions, (1) mechanical root loss, and (2) loss of heart roots close to the trunk, may occur in the course of the excavation phase of this project. If this turns out to be the case, removal of the tree would be prudent.

In our communications you mentioned that the city would be willing to perform exploratory excavation using an "Air Spade" - a supersonic air tool for soil removal that does not damage tree roots - to determine the quantity and size of the roots located within the projected excavation site. Veronika Bardonner would be happy to accommodate your diagnostic efforts. The matter is somewhat time sensitive as the crew is already on site affecting repairs for the main house.

Please coordinate these efforts with Veronika and Baker Stone Works co-owner Charlie Nelson ([charlie.bakerstonework@gmail.com](mailto:charlie.bakerstonework@gmail.com), 812-327-3242) and for emails on this topic, please copy me.

As always, don't hesitate to reach out with any questions. Thanks!!

Regards,

Kerry Bridges

Tree Guy, Inc.  
hugging your trees with science  
(812) 325 9265  
[www.TreeGuyInc.com](http://www.TreeGuyInc.com)



---

## Bluestone Tree

---

**Matt Baldwin** <matt@bluestonetree.com>  
To: vbardora@gmail.com

Fri, Feb 17, 2023 at 4:05 PM

Ms. Bardonner contacted us at Bluestone Tree to assess her trees, as she felt the trees were interfering with the infrastructure of her property.

Upon the initial inspection it was noted that the majority of these trees were volunteers and not intentionally planted, except for the Red Pine.

The large Black Walnut is causing considerable damage to the structure below it (garage) and poses a significant risk to the building in the event of a major weather event. It was also noted that the trunk grows rather close to the building and is causing structural damage in the way of foundation and wall issues.

The eastern red cedar is also a volunteer and growing right next to the garage. It should be removed due to its extremely close proximity to the garage and concern for the roots conflicting with the wall and foundation of the garage.

The 2 Maple trees along the paneled fence are causing buckling of the fence. The trees are tall and have an unbalanced crown thus making them more susceptible to wind sail and failure.

The locust tree on the SE corner of the home is growing within close proximity to the home and there is concern for the roots of the tree conflicting with the foundation of the home.

The Red Pine growing in the front is causing damage to the retaining wall and the wall needs to be replaced.

Any construction or improvements to these infrastructures would potentially cause great harm to the trees in question. The cutting of any roots or compaction of the soil around the roots of these trees could send them into a quick decline in health. This would increase the overall risk rating of these trees and there would be a higher likelihood that these trees could fail and impact the surrounding targets on the property and surrounding properties.

It is our professional opinion that these trees are candidates for removal due to the risk associated with these trees and to allow improvements to the property.

We recommend replanting with a variety of native hardwood species once the improvements to the property and infrastructure have been made. We recommend selecting the right species for each specific site when replanting.

Matt Baldwin  
ISA Certified Arborist IN-3202A  
ISA Tree Risk Assessment Qualified  
OISC Certified Applicator F238042  
Bluestone Tree





# Notice of City Tree Removal

This tree has been scheduled for removal due to the following:

- Hazard (*non-appealable*)
- Infrastructure Conflicts\*
- Construction\*
- Other\* \_\_\_\_\_

*\*The removal of this tree by the City may be appealed to the Board of Park Commissioners within seven working days, per Bloomington Municipal Code Section 12.24.130. To initiate an appeal use the contact information below.*

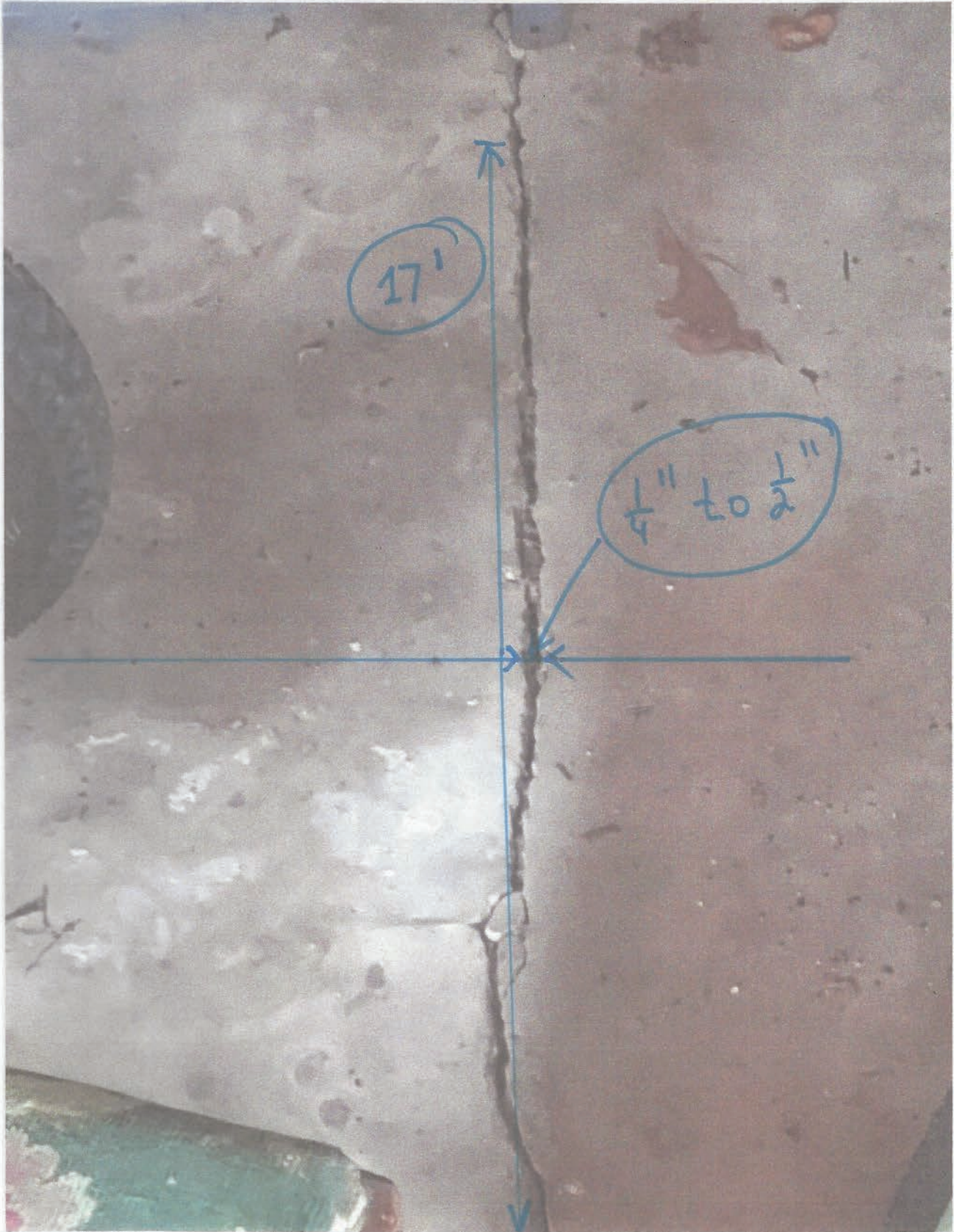
This tree is scheduled for removal within 60 working days of this notice.

Address: 909 E University

Posted: 7/18/23

Please direct questions or concerns regarding this tree to Haskell Smith, Urban Forester, at (812) 349-3716 or [smithh@bloomington.in.gov](mailto:smithh@bloomington.in.gov)

Photo #1



06.30.2023

Charley Nelson

*Charley Nelson*

Photo #2

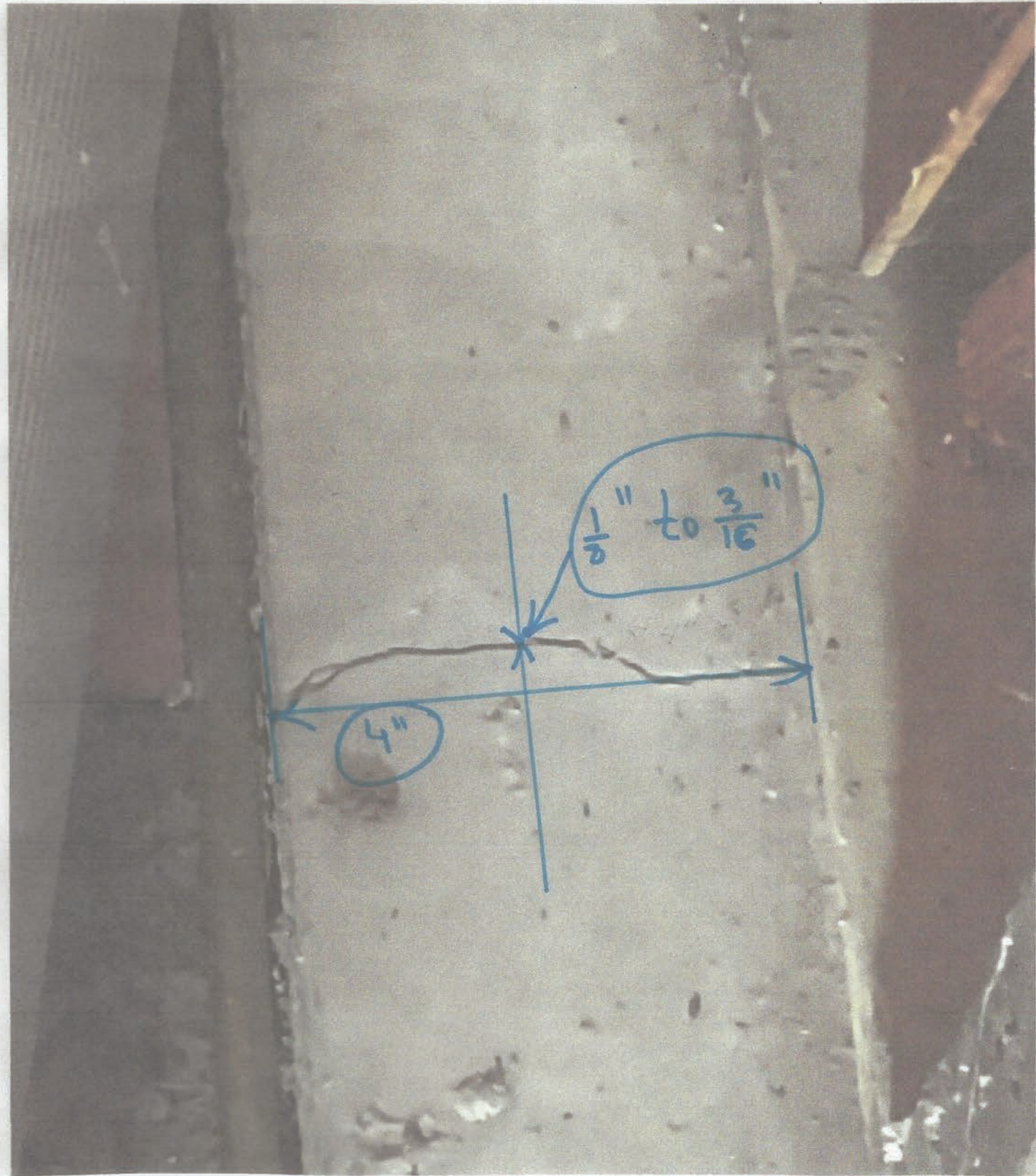


06.30.2023

Charley Nelson

*Charley Nelson*

Photo #3

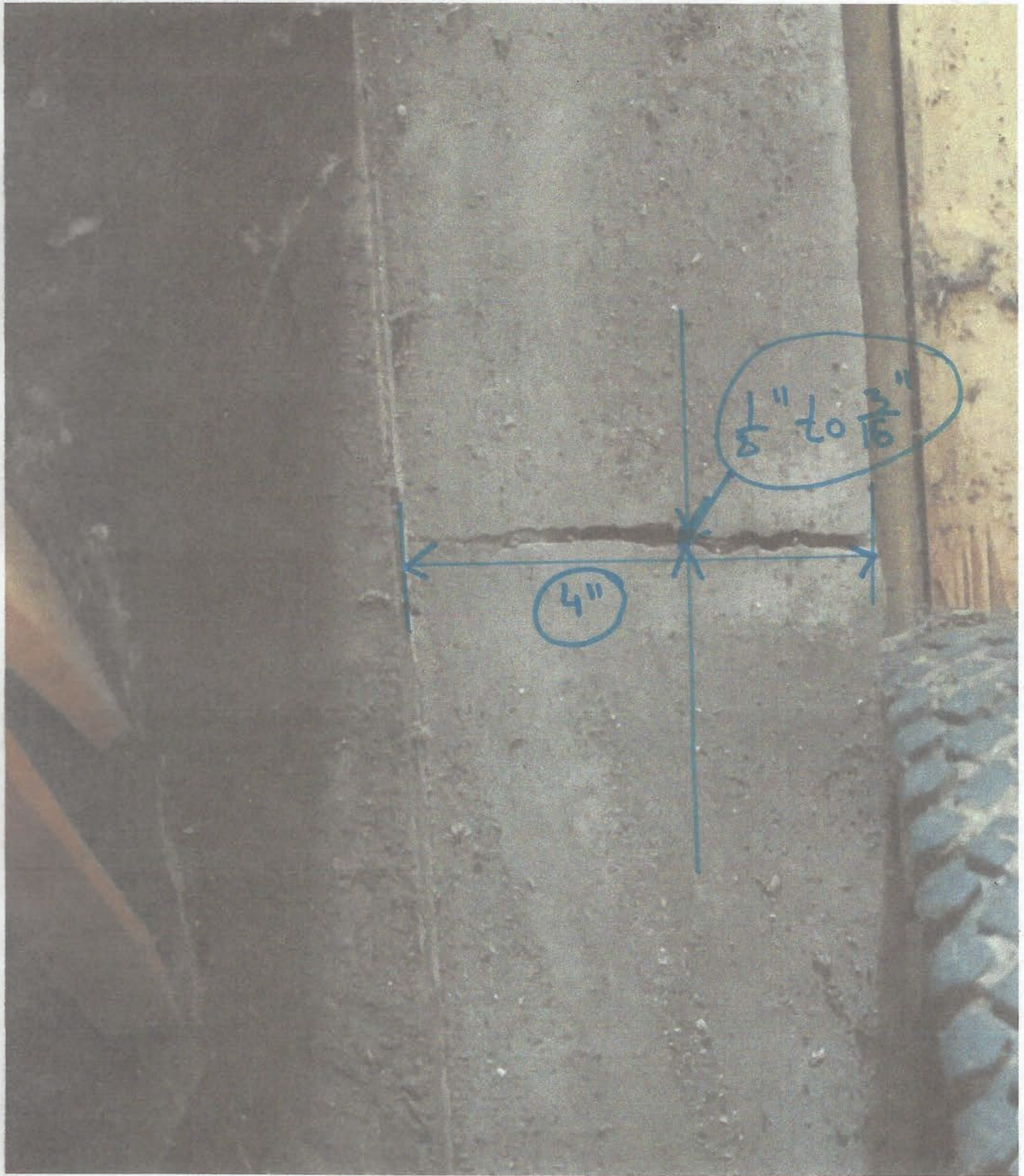


06.30.2023

Charley Nelson

*Charley Nelson*

Photo #4



06.30.2023

Charley Nelson

*Charley Nelson*

Sketch #1.

The Detached Garage, 909 E. University St,  
and the Black Walnut Tree  
Locations

(W)

The Detached Garage  
on  
910 E. 2nd St.

The  
Black  
Walnut  
Tree

The City  
Property

Distance from  
the tree to  
garages



Tree  
Diameter

(E)

The Detached Garage  
on  
909 E. University St.

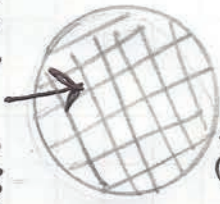
ALLEY

(S)

This sketch has no true scale.

Sketch #2.

The Black Walnut Tree



The Floor of the Detached

Garage, 909 E. University St.

The City Property

(N)

$\frac{1}{4}$ " to  $\frac{1}{2}$ "

(17')

Crack in the floor (largest)

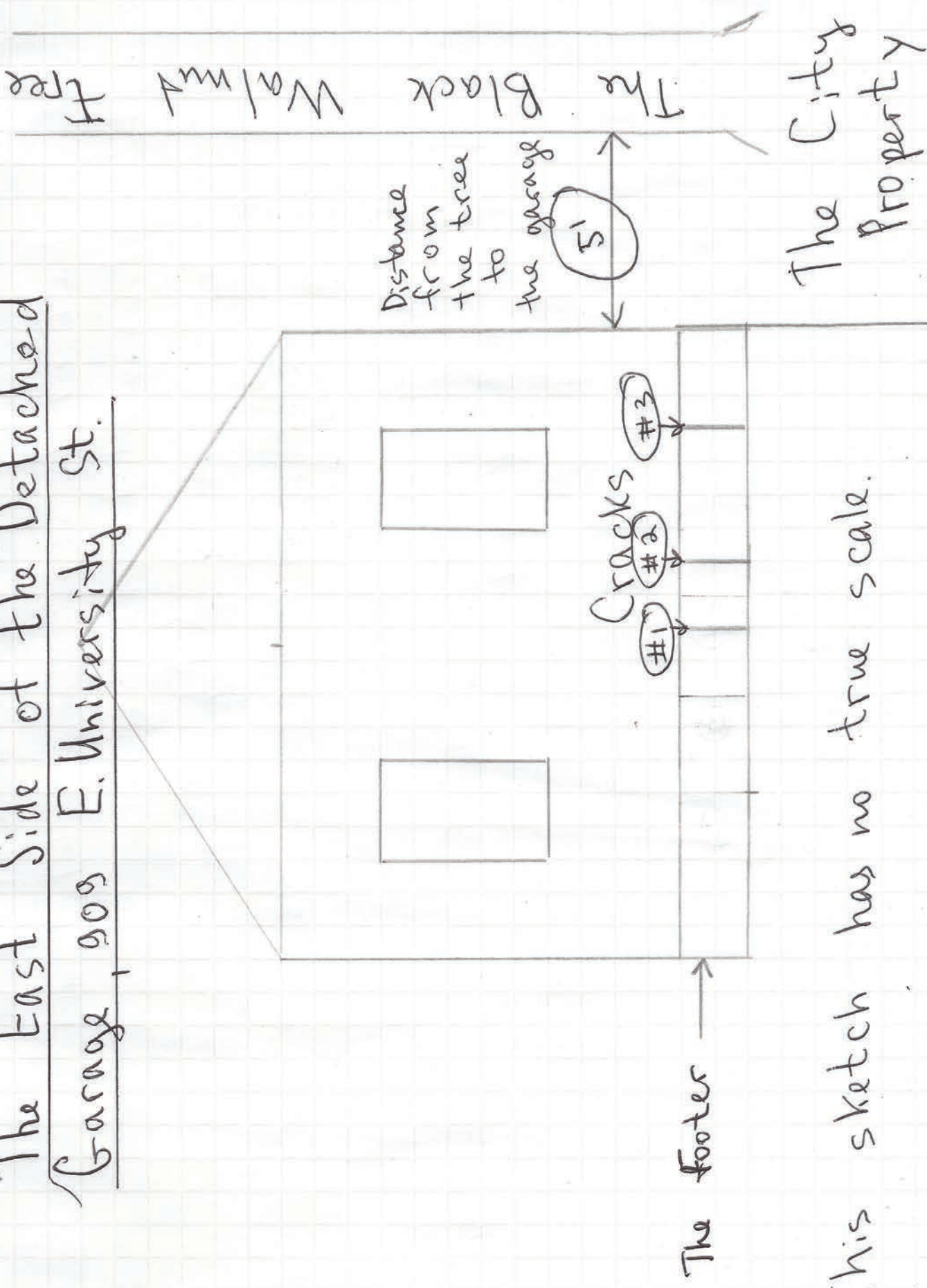
(W)

(S)

(E)

This sketch has no true scale.

Sketch #3  
The East Side of the Detached  
Garage, 909 E. University St.



This sketch has no true scale.





City of Bloomington  
Parks & Recreation  
401 N. Morton St., Ste. 250  
Bloomington, Indiana 47404

Phone: (812) 349-3716  
Fax: (812) 349-3705  
E-mail: smithh@bloomington.in.gov  
CC - parks@bloomington.in.gov

## APPLICATION FOR TREE WORK PERMIT

Application must be submitted seven (7) days prior to date work is set to begin.

Applicant shall follow the standards for Tree Work as set forth in the City of Bloomington Municipal Code—Chapter 12.24 Trees and Flora and in the City of Bloomington Tree Care Manual.

Tree topping of street trees is prohibited per City of Bloomington Municipal Code 12.24.090.

### SITE INFORMATION

Address of Tree(s): 909 East University St.

Location on Property:  Front  Side  Back

If Exact Address Unknown, please fill in below:

N, S, E or W side of \_\_\_\_\_ (Street) \_\_\_\_\_ feet

N, S, E or W from intersection of \_\_\_\_\_

Part of a Development Project:  Yes  No Project Name: \_\_\_\_\_

Name of Planning and Transportation Dept. Staff Assigned to Project: \_\_\_\_\_

### TREE WORK TYPE

Select All Applicable:

A.  Street Tree Planting

Number of Trees: \_\_\_\_\_

Tree Species: \_\_\_\_\_

Planter Name: \_\_\_\_\_

C.  Street Tree Pruning

Number of Trees: \_\_\_\_\_

Tree Species: \_\_\_\_\_

Certified Arborist Information

Name: \_\_\_\_\_

Certification #: \_\_\_\_\_

Contact Information: \_\_\_\_\_

Description of Pruning Objective and Methods:

B.  Street Tree Removal (stump included)

Number of Trees: one

Tree Species: Black Walnut Tree

Removal Company: \_\_\_\_\_

D.  Application of Chemicals

Number of Trees: \_\_\_\_\_

Tree Species: \_\_\_\_\_

Licensed Applicator Information

Name: \_\_\_\_\_

License #: \_\_\_\_\_

Contact Information: \_\_\_\_\_

List of Chemicals and Objective Description:

# APPLICATION FOR TREE WORK PERMIT (Cont.)

## APPLICANT INFORMATION

Name: Veronika Bardonner

Relationship to Adjacent Property Owner:

Property Owner     Contractor/Arborist     Property Manager     Other

Mailing Address: 909 East University St.

Phone: 812-369-8129

Email: vbardora@gmail.com

### If Applicant is not the Adjacent Property Owner

Adjacent Property Owner Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

## WORK TIMELINE\*

Work to Begin: June 1, 2023

Work To End: \_\_\_\_\_

\*Permit valid only during this period unless extended by Department.

The applicant named above shall fully complete and sign this form. Unless otherwise approved by the Bloomington Parks and Recreation Department, this application must be submitted at least 7 days prior to date work is to begin. The permit is not valid until signed by the Department. Please keep a copy of the signed permit for your records. The applicant or his agent is solely responsible for providing notice as required by state law to all underground utilities before commencing an excavation.

By signing below I affirm that the information provided above is true. I agree to abide by any and all conditions imposed below. I agree to indemnify and hold harmless the City, the Board, and the officers, agents and employees of the City and the Board from any and all claims, demands, damages, costs, expenses or other liability arising out of the reckless or negligent act or omission or any willful misconduct on the part of the applicant or any contractors retained by the applicant for work under this permit. If I disagree with the denial of this permit or any conditions imposed, I may appeal in writing within 10 days to the Board of Park Commissioners.

Signature: M Bardonner

Signed Date: 5/20/2023

## Do Not Write Below—Staff Use Only

Date Received: 7/12/23

Findings (if different than in information):

Conditions for approval/Reasons for Rejection:

Approved so long as BMC 12.24.050 is followed  
see Attached email

Approved

Denied

Signature: [Signature]

Signed Date: 7/12/23

Bloomington Parks and Recreation Department

Glen Inman  
Equity Builders Roofing  
7/6/2023 | 12 Photos



# Veronika Bardonner 909 East University St. Bloomington, IN 47401

# Overview

## Overview:

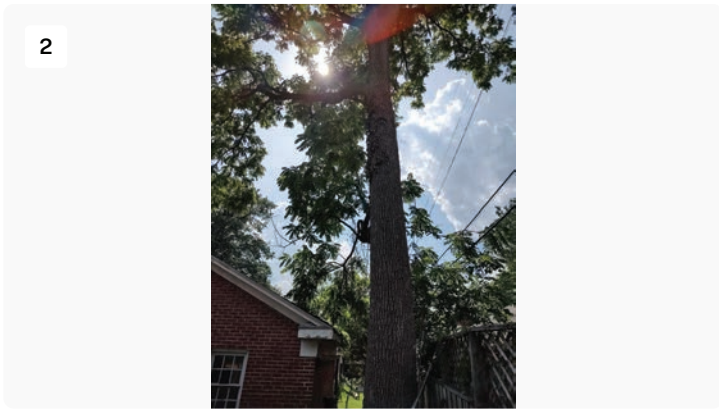
This is Glen Inman with Equity Builders Roofing. I was contacted by Ms Bardonner to inspect and give an estimate for a roof replacement on her detached garage at 909 East University St. Bloomington, IN 47401. Our company had replaced her home's roof in the past several years and she is requesting a matching garage roof.

Upon arriving at the property, it was obvious that there was one major hurdle in installing a fully warrantable roof. There is a large black walnut tree roughly 5 feet away from the northern slope of the garage. From the ground, I was able to see one large and several smaller branches resting on the roof.



Walnut tree proximity to north easterly corner of detached garage.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 6/29/2023, 2:58pm  
Creator: Doug Schmidt



Full view of tree proximity to garage and size of tree.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:36pm  
Creator: Glen Inman



Branches resting on garage roof.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:36pm  
Creator: Glen Inman



Large branch from tree causing all other branches that are resting on the roof.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:37pm  
Creator: Glen Inman

# Inspection Findings

Upon getting on the garage roof, it was evident that the falling walnuts created "hail-like" damage consisting of granular loss and bruised and broken matting. The branches resting on the roof surface have caused premature wear and tear damages by constantly brushing the shingle surface. It also has lost granules and exposed matting and removed several pieces of shingle. The branches are also causing a large build up of debris on the roof surface.



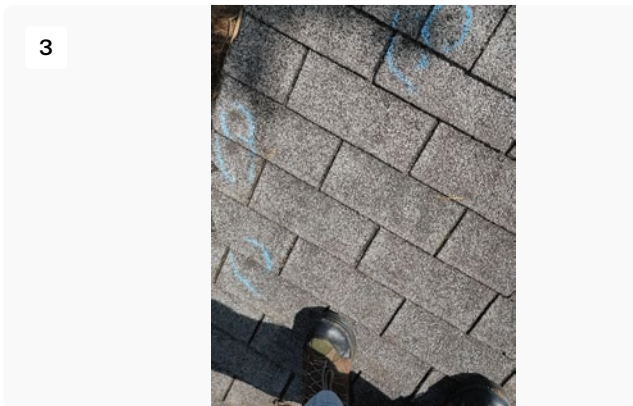
Branches resting on roof and debris build up.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:39pm  
Creator: Glen Inman



Branches resting on roof and debris build up.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:40pm  
Creator: Glen Inman



Damage from falling walnuts.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:43pm  
Creator: Glen Inman



Damage from falling walnuts.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:43pm  
Creator: Glen Inman



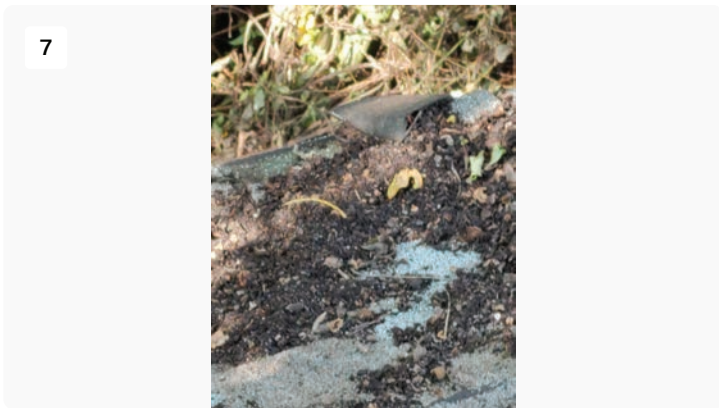
Damage from falling walnuts.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:43pm  
Creator: Glen Inman



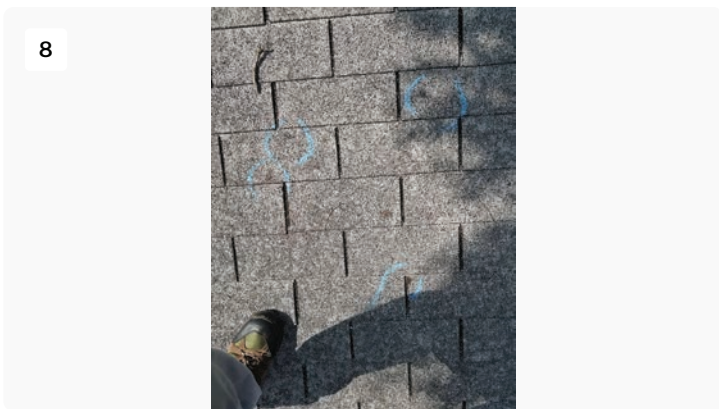
Broken shingles and falling walnut damages.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:44pm  
Creator: Glen Inman



Broken shingles, debris, and damages from branches.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:44pm  
Creator: Glen Inman



Damages from falling walnuts.

Project: Veronika Bardonner / 2306-3140828-02  
Date: 7/5/2023, 4:45pm  
Creator: Glen Inman



## Recommendations

For Equity Builders Roofing to have a fully warrantable roof installation, this scenario would require removal of the branches over and resting upon the roof and possibly the complete removal the entire tree. Otherwise this would requite a waiver.

The other more important consideration is the longer manufacturer warranty that comes with all brands of new shingles. (Equity Builders only provides a workmanship warranty) While the different manufactures have different proration rates, they all have limited lifetime warranties. I believe that having the walnut tree standing at all will void the manufacturer's warranty.

It is my recommendation as a professional roofing specialist to have the entire tree removed to prevent further damages to the current and future roofing system.



City of Bloomington  
Parks & Recreation  
401 N. Morton St., Ste. 250  
Bloomington, Indiana 47404

Phone: (812) 349-3716  
Fax: (812) 349-3705  
E-mail: smithh@bloomington.in.gov  
CC - parks@bloomington.in.gov

## APPLICATION FOR TREE WORK PERMIT

Application must be submitted seven (7) days prior to date work is set to begin.

Applicant shall follow the standards for Tree Work as set forth in the City of Bloomington Municipal Code—Chapter 12.24 Trees and Flora and in the City of Bloomington Tree Care Manual.

Tree topping of street trees is prohibited per City of Bloomington Municipal Code 12.24.090.

### SITE INFORMATION

Address of Tree(s): 909 East University St.

Location on Property:  Front  Side  Back

If Exact Address Unknown, please fill in below:

N, S, E or W side of \_\_\_\_\_ (Street) \_\_\_\_\_ feet

N, S, E or W from intersection of \_\_\_\_\_

Part of a Development Project:  Yes  No Project Name: \_\_\_\_\_

Name of Planning and Transportation Dept. Staff Assigned to Project: \_\_\_\_\_

### TREE WORK TYPE

Select All Applicable:

A.  Street Tree Planting

Number of Trees: \_\_\_\_\_

Tree Species: \_\_\_\_\_

Planter Name: \_\_\_\_\_

C.  Street Tree Pruning

Number of Trees: \_\_\_\_\_

Tree Species: \_\_\_\_\_

#### Certified Arborist Information

Name: \_\_\_\_\_

Certification #: \_\_\_\_\_

Contact Information: \_\_\_\_\_

Description of Pruning Objective and Methods: \_\_\_\_\_

B.  Street Tree Removal (stump included)

Number of Trees: one

Tree Species: Black Walnut Tree

Removal Company: \_\_\_\_\_

D.  Application of Chemicals

Number of Trees: \_\_\_\_\_

Tree Species: \_\_\_\_\_

#### Licensed Applicator Information

Name \_\_\_\_\_

License #: \_\_\_\_\_

Contact Information: \_\_\_\_\_

List of Chemicals and Objective Description: \_\_\_\_\_

# APPLICATION FOR TREE WORK PERMIT (Cont.)

## APPLICANT INFORMATION

Name: Veronika Bardonner

Relationship to Adjacent Property Owner:

Property Owner     Contractor/Arborist     Property Manager     Other

Mailing Address: 909 East University St.

Phone: 812-369-8129

Email: vbardora@gmail.com

*If Applicant is not the Adjacent Property Owner*

Adjacent Property Owner Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

## WORK TIMELINE\*

Work to Begin: June 1, 2023

Work To End: \_\_\_\_\_

*\*Permit valid only during this period unless extended by Department.*

The applicant named above shall fully complete and sign this form. Unless otherwise approved by the Bloomington Parks and Recreation Department, this application must be submitted at least 7 days prior to date work is to begin. The permit is not valid until signed by the Department. Please keep a copy of the signed permit for your records. The applicant or his agent is solely responsible for providing notice as required by state law to all underground utilities before commencing an excavation.

By signing below I affirm that the information provided above is true. I agree to abide by any and all conditions imposed below. I agree to indemnify and hold harmless the City, the Board, and the officers, agents and employees of the City and the Board from any and all claims, demands, damages, costs, expenses or other liability arising out of the reckless or negligent act or omission or any willful misconduct on the part of the applicant or any contractors retained by the applicant for work under this permit. If I disagree with the denial of this permit or any conditions imposed, I may appeal in writing within 10 days to the Board of Park Commissioners.

Signature: M. Bardonner

Signed Date: 5/20/2023

## Do Not Write Below—Staff Use Only

Date Received: 7/12/23

Findings (if different than in information):

Conditions for approval/Reasons for Rejection:

Approved so long as BMC 12.24.050 is followed  
see Attached email

Approved

Denied

Signature: [Signature]

Signed Date: 7/12/23

Bloomington Parks and Recreation Department

**BAKER STONE WORK**

1545 Hupp Road

Bloomington, IN 47401

812-824-2004

812-824-6500 fax

charley.bakerstonework@gmail.com, 812-327-3242 cell

mike.bakerstonework@gmail.com, 812-327-7977 cell

**June 30, 2023**

To Whom It May Concern:

Our company has been hired by Veronika Bardonner, 909 E.University St., Bloomington, to inspect and to repair the detached garage, located at the north-western corner of her property and bordering the City property.

**Findings:**

The north side of the detached garage, 909 E.University St., is bordering the City property. On the City property the black walnut tree grows. This tree is about thirty-two inches in a diameter. It grows next to the north-east corner of the detached garage, 909 E.University St., at approximately five feet distance. This black walnut tree grows at about the same distance of five feet from the neighbor's detached garage, 910 E.2<sup>nd</sup> St. (See: Sketch # 1).

There are one large and multiple small cracks in the detached garage floor. The diagram of the large crack is on the Sketch # 2. Photo # 1 is a photo of the large crack. This large crack in the floor is about seventeen feet in length. The width of this crack varies from one-fourths of an inch at some places to a half of an inch in others.

In the footer on the east side of the detached garage there are three separate cracks. (See: Sketch #3). One crack on photo # 2 is four inches in length, and the width of this crack varies from one-eighths of an inch at some places to three-sixteenths of an inch in others. Another crack on photo # 3 is four inches in length, and the width of this crack varies from one-eighths of an inch at some places to three-sixteenths of an inch in others. The third crack on photo # 4 is four inches in length, and the width of this crack varies from one-eighths of an inch at some places to three-sixteenths of an inch in others. (Photos of the footer were taken inside of the garage).

**Conclusions:**

It is our professional opinion that all cracks in the floor and in the footer on the detached garage on 909 E.University St. caused by the root system of the black walnut tree.

We are going to repair the foundation of the detached garage.

We recommend to the owner of the detached garage to find concrete professionals to repair cracks in the floor.

We cannot guarantee that after our repair there would be no more damage to the garage foundation, because the black walnut tree roots could grow further into the detached garage foundation.

Charley Nelson,  
Co-Owner of Baker Stone Work



**BAKER STONE WORK**

1545 Hupp Road

Bloomington, IN 47401

812-824-2004

812-824-6500 fax

charley.bakerstonework@gmail.com, 812-327-3242 cell

mike.bakerstonework@gmail.com, 812-327-7977 cell

**June 30, 2023**

**Proposal for:**

Veronika Bardonner  
909 E.University St.  
Bloomington, IN 47401-5039  
(812) 369-8129  
vbardora@gmail.com

**Job Description:**

- Repair of three separate cracks in the footer on the east side of the detached garage
- Materials
- Labor and Clean-up

**Total Amount Due: \$1,400.00**



July 7, 2023

To Whom It May Concern:

Equity Builders Roofing has been hired by Veronika Bardonner, to inspect and repair the roof on the detached garage located on her property located at 909 East University Street, Bloomington, IN. The garage is located in the northwest corner of her property which also borders the City's property.

Upon inspection of the detached garage, one of our sales representatives noted that the tree has caused a significant amount of damage to the roofing system's components on the detached garage. There are branches causing tree rub on the surface of the shingles and granule loss was observed on this roof. In addition, there are torn shingles along the edges of the roof where the tree branches have been rubbing as well as gouges in the shingles from the falling walnuts.

Shingle granules are the exterior coating on asphalt roofing shingles which provide an extra layer of protection. These granules prevent the roof's two underlying layers, the asphalt and fiberglass mat, from being exposed to the elements. They also protect roofing systems from the sun's harmful rays and offer an added layer of fire protection to a structure. A roof becomes more vulnerable to the elements in the areas where there is granule loss and may have accelerated degradation from the sun's UV rays. Powerful wind, rain, and snowstorms may cause leaks inside the structure, and gutters backed up with shingle granules can cause dangerous and expensive damage to a structure's roofing system, siding, and foundation. Additionally, when the number of granules decreases, asphalt shingles are more likely to crack, bend, or break, drastically shortening the lifespan of the entire roofing system.

Veronika Bardonner is planning to replace the roofing system that is currently on her detached garage, however, doing this before attending to the issues with the tree would be unadvised. A new roof under the same tree conditions will also deteriorate, shortening the life span of the roof.

Our recommendation is that the tree be removed, or at the very least, drastically trimmed back and maintained.

Regards,

A handwritten signature in black ink, appearing to read "Alyssa Dai", written over a horizontal line.

*Roofing Production Manager*  
Equity Builders Roofing, LLC  
1204 W 2<sup>nd</sup> St.  
Bloomington, IN 47403

<b>STAFF REVIEW</b>	Address: 909 E University St.
<b>COA 23-57 908 E University St.</b>	Petitioner: Veronika Baradonner
<b>Application Date: 7/26/2023</b>	Parcel: 53-08-04-110-010.000-009
<b>RATING: CONTRIBUTING</b>	Survey: C. 1940, Colonial Revival



**Background: Elm Heights Historic District**

**Request:** *New Fence.*

**Neighborhood Comments:**

From Jenny Southern:

- I have no problem with the petitioners fence, except I'm not sure we can give an official ok for building a fence on City property. The previous owner built the original fence 30 years ago down the center line of the City's undeveloped alley.
- The request also doesn't mention the removal of the mature Walnut tree growing in the alley. The City has already given permission for it's removal for "construction" but it's up to Gloria as far as the COA for it to be cut down.
- I will attach a photos of the tree, fence, and alley on the North edge of the property. So far there is no sign of damage to the wooden or brick garage.

- Previously, the neighbor that shares the alley does not have a problem removing the horizontal limb over the petitioners garage but is not in favor of removing the entire Walnut tree. They support the neighbor in the repair/ replacement of the fence.
- All construction could be done along the property line without bothering the tree or alley.
- Since it is a public alley we can walk behind the garage and check out the garage, fence and tree it we'd like.

**Guidelines: Elm Heights Historic District**

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow each numbered items further assist applicants with the COA process.

- Installation or removal of walls or fences visible from the public right-of-way.
  - For new fences, use historically appropriate materials for Elm Heights, which, depending on the type and style of architecture, may include iron, stone, brick, or wood.
- New retaining walls should be appropriate in height to the grade of the yard. Rear yard concrete block retaining walls may be considered depending on position, visibility, and design.
- Install new walls or fences so the total height does not obscure the primary facade of the building.
- Installation of rear yard fences should begin no farther forward than a point midway between the front and rear facades of the house.
- Consideration is given for fences that pertain to special needs, children, and dogs. Temporary seasonal fences for gardening are permitted and do not require a COA.
- Reconstruction or repair of historic walls and fences.
- Consult with staff for proper materials and methods.

**Staff Approved COA 23-57 conditional that the fence be placed within the property, aligned to the detached garage on the north.**

- The petitioner believed that she was replacing in-kind.
- However, the design of the fence was altered and the placement was moved by various feet in order to fit current needs.





# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 909 E. University St.  
Parcel Number(s): 53-08-04-110-010,000-009  
015-48200-00

(OFFICE USE ONLY)
Filing Date: <u>7/27/2023</u>
Case Number: <u>COA 23-57</u>
HPC Hearing Date: <u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Veronika Bardonna Email: vbardora@gmail.com  
Address: 909 E. University St., Bloomington Phone: 812-369-8129  
IN 47401

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: Veronika Bardonna Email: vbardora@gmail.com  
Address: 909 E. University St., Bloomington Phone: 812-369-8129  
IN 47401

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: MS Anderson Date: 07/25/2023

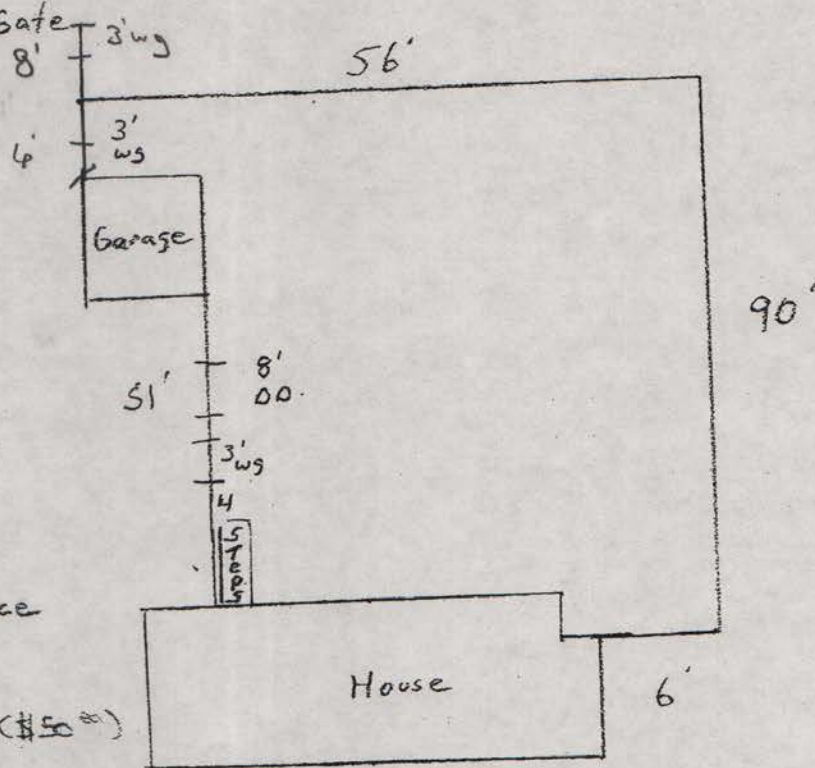
# Affordable FENCE, Inc.

P.O. Box 1452 • Bloomington, Indiana • 47402  
 Phone# 812-824-1427 • Fax 812-824-9976  
 michaelsterrett@yahoo.com  
 affordablefence.org

Name Veronika Bardanner Address 909 E. University St  
 City Bloomington State In Zip 47401 County monroe  
 Twp. perry Phone 369-8129 Email vbardora@gmail.com  
 Cross St. S. Woodlawn Ave. Dig# \_\_\_\_\_ Dates \_\_\_\_\_ To \_\_\_\_\_

Affordable Fence Agrees to the following \_\_\_\_\_

- Remove & Haul Away existing 7' wood Fence
- Install 217'
  - 6' Standard wood privacy w/ copper post caps (1' Lattice accent) 7' Total Height
  - (3) 3' walk Gates
  - (1) 8' Double Drive Gate



- \* 1 year warranty on labor
- \* owner To clear for fence
- \* All wood is treated
- \* All posts set in concrete
  - core drilling additional (\$50<sup>ea</sup>)
- \* 6"X6" posts
- \* (3) 2x4s per section / Framing
- \* 3/8" x 5/2" x 6' Pickets
- \* (3) 1x4s per section / Trim
- \* Fasten w/ Screws
- \* Heavy Duty Lattice
- \* 1" x 2" Lattice Trim
- \* (2) 2"x6" per section / Accent Framing
- Top Rail NA
- Term Posts \_\_\_\_\_
- Gate Posts \_\_\_\_\_
- Line Posts \_\_\_\_\_
- Wire Gauge \_\_\_\_\_

At the Above Address for the Price of \$17,760.00 \$7150.00 Deposit \$10,610.00 Due on Completion  
 Any Independent line locates, Approvals from the City, State, or Homeowners Association are the responsibility  
 of the owner.

Owners \_\_\_\_\_ Date \_\_\_\_\_ Affordable Fence Devin Turpin Date 4/10/23  
 99

**909 E. University St.  
Old Fence Before Restoration Job Started  
(fence built around 1990)  
General View**

**North**

**West**

**East**



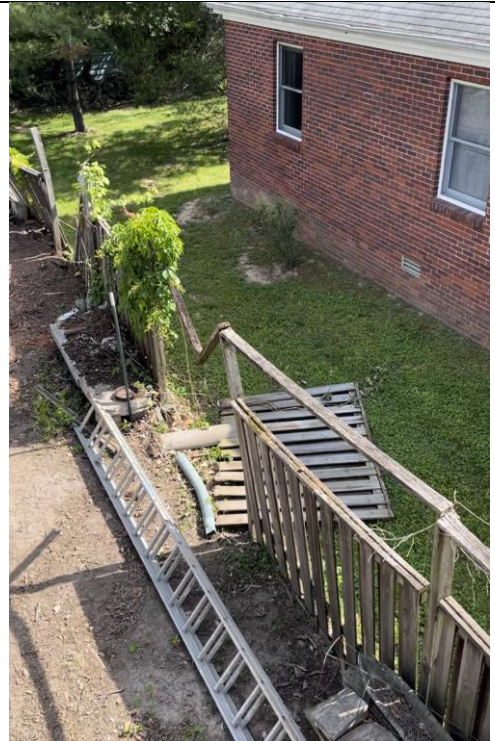
**South**

**909 E. University St.  
Old Fence Before Restoration Job Started  
(fence built around 1990)  
North and East Sides**

**North Side**



**East Side**

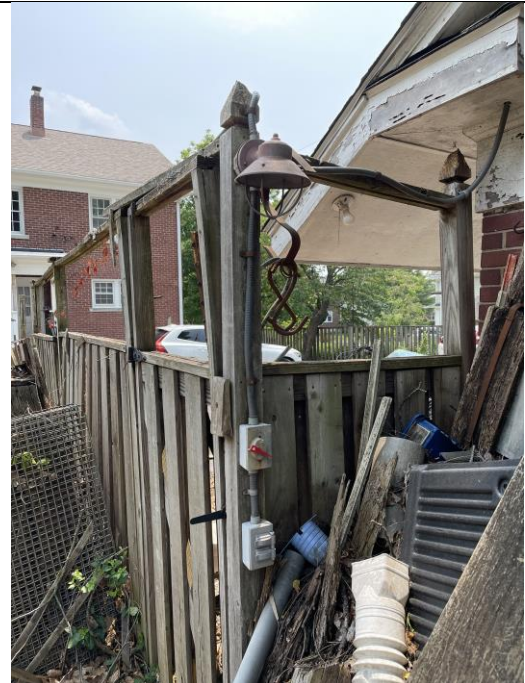


**909 E. University St.  
Old Fence Before Restoration Job Started  
(fence built around 1990)  
South and West Sides**

**South Side**

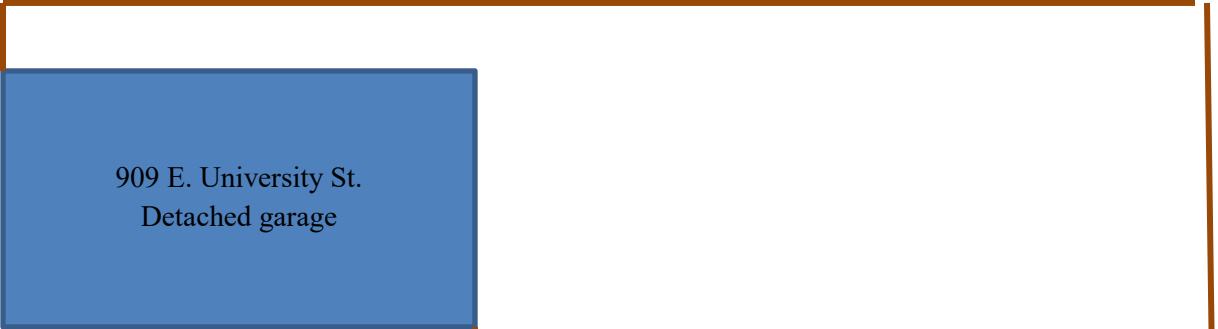
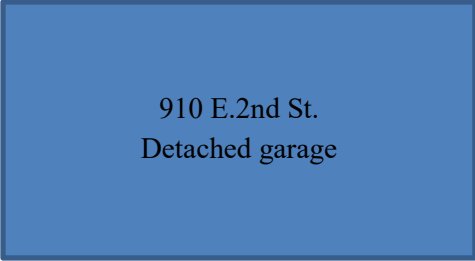


**West Side**



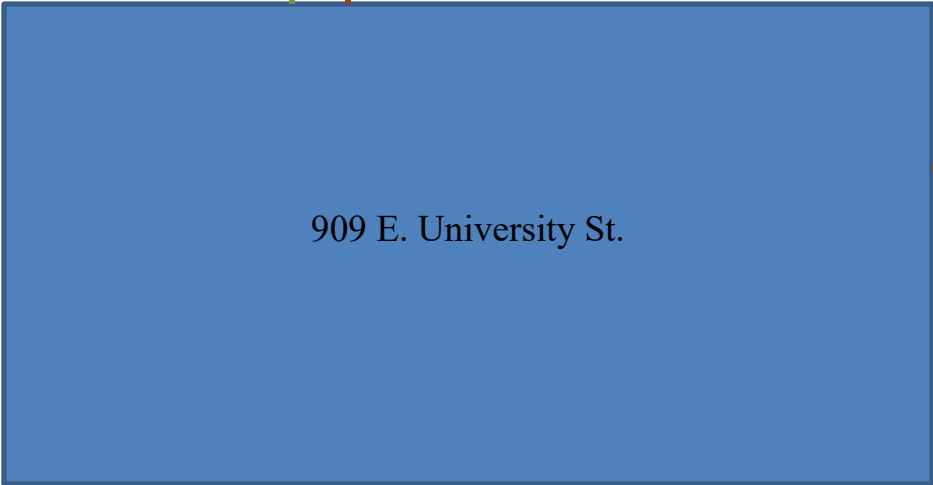
**909 E. University St.  
Fence Sketch**

North



West

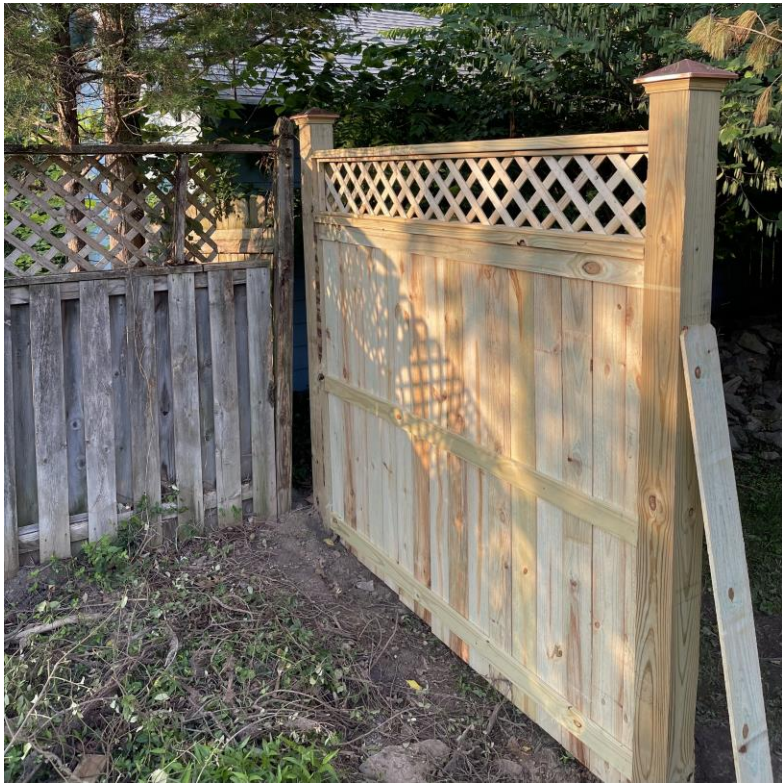
East



South

Legend: brown line – original fence line; green line – alteration to the original fence line  
This sketch has no true scale

**909 E. University St.**  
**Old Fence Panels (North side) and New Panel (East side)**  
**North-East Fence Corner View**





# Affordable Fence Inc

865 E Smithville Rd  
Bloomington, IN 47401

## Invoice

Invoice #	Date
2835	6/23/2023

<i>Bill To</i>
Veronika Bardonner 909 E University St Bloomington, IN 47401

<i>Ship To</i>
Veronika Bardonner 909 E University St Bloomington, IN 47401

P.O. No.	Terms
	Bal. Due on Completion

Description	Quantity	Serviced	Amount
Remove & Haul Away 7ft Wood Fence			17,760.00
6ft Std Wood Privacy	217		
3ft Single Swing Gate	3		
8ft Double Drive Gate	1		

<i>Thank you for your business.</i>		<b>Total</b>	\$17,760.00
-------------------------------------	--	--------------	-------------

Phone #	E-mail
(812)824-1427	michaelsterrett@yahoo.com

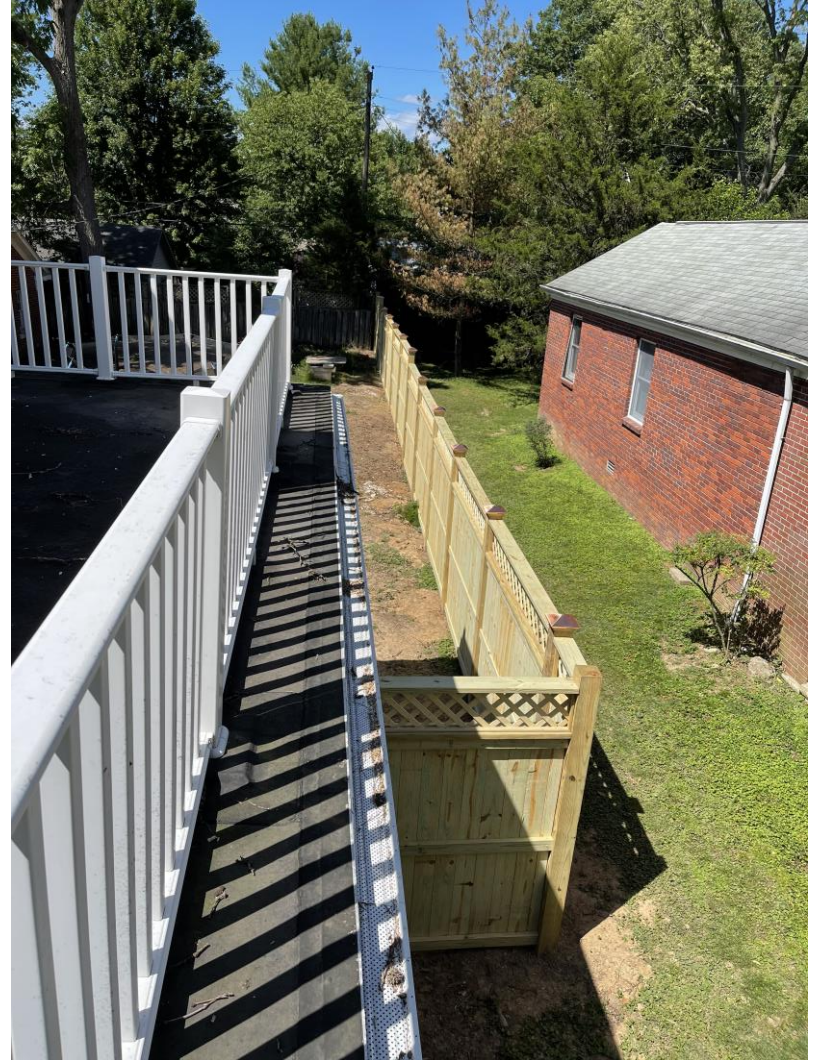
<b>Payments/Credits</b>	\$-14,300.00
<b>Balance</b>	\$3,460.00

**909 E. University St.  
Fence Before and After Restoration  
East and South Fence Sides View**

Before Restoration  
Old Fence  
(fence was built around 1990)



After Restoration  
New Fence  
(July 2023)

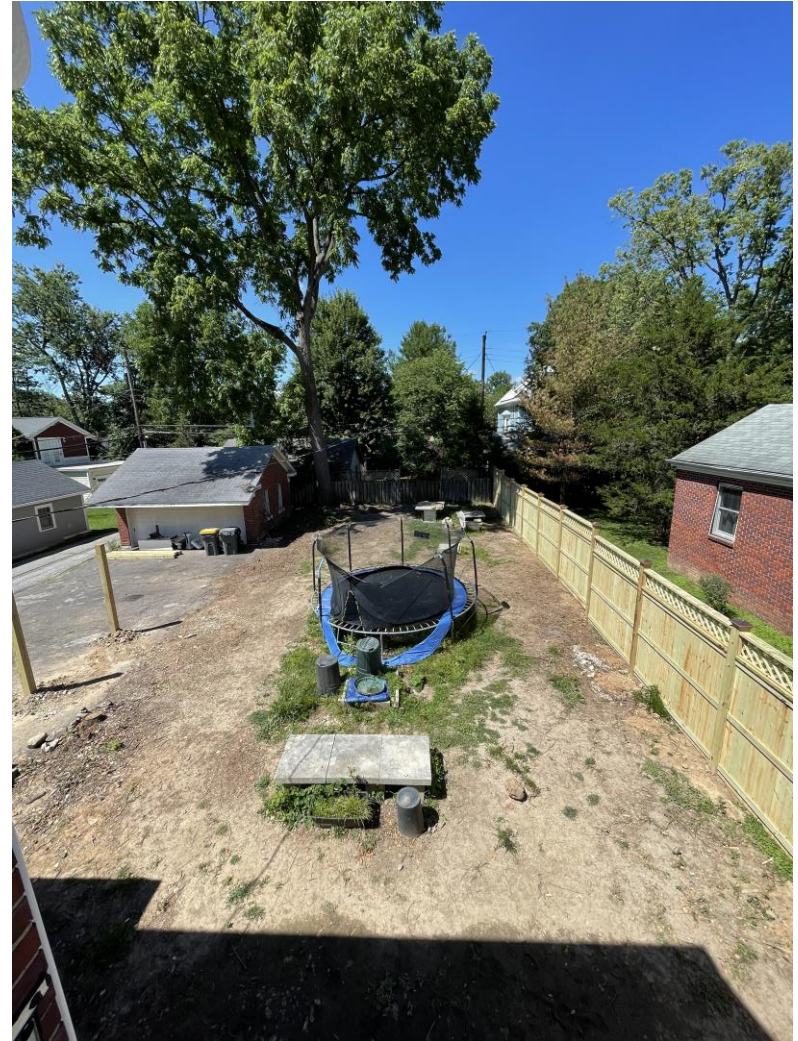


**909 E. University St.**  
**Fence Before and After Restoration**  
**General View**

Before Restoration  
Old Fence  
(fence was built around 1990)



After Restoration  
East and South Sides of New Fence  
(July 2023)



**909 E. University St.**  
**Restored Fence Panel at East Side Fence Line**  
**July of 2023**



<b>STAFF REVIEW</b>	Address: 1122 E 1st St.
<b>COA 23-60 1122 E 1st St.</b>	Petitioner: Rebecca Dirksen
<b>Application Date: 7/27/2023</b>	Parcel: 53-08-04-117-018.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1940, American foursquare



**Background: Elm Heights Historic District**

**Request: Temporary air conditioning unit on the window.**

**Guidelines: Elm Heights Historic District Guidelines**

(Pg. 17) Installation of service and technical equipment visible from the public right-of-way.

- Locate service, mechanical, electrical, or technical equipment such as satellite dishes, substations, central air conditioning equipment, or heat exchangers so it is not visible from the street. Refer to the guidelines for Sustainability and Energy Retrofits, Section 5.5, when installing energy-generating technologies.
- Screen equipment so it does not disrupt the integrity of the site or of the building's architecture.
- Whenever feasible historic materials should not be damaged or removed when installing equipment.

**Staff Approved COA 23-60**

- The air conditioning unit is visible from the street but on the side window.
- It is only meant to be used during the hottest months in the baby's bedroom for two years.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 1122 E 1st St, Bloomington, IN

Parcel Number(s): 53-08-04-117-018.000-009

(OFFICE USE ONLY)	
Filing Date:	<u>7/27/2023</u>
Case Number:	<u>COA 23-60</u>
HPC Hearing Date:	<u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Rebecca Dirksen Email: rhdirksen@gmail.com

Address: 1122 E 1st St, Bloomington, IN 47401 Phone: 612-202-2232

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

New construction

Principal building

Accessory building or structure

Addition to existing building

Demolition

Full Demolition

Partial Demolition

Moving a building

Alterations to the façade or exterior spaces of the property

Window replacement

Door replacement

Siding

Roof material

Foundation

Other façade element: \_\_\_\_\_

New Signage

Alterations to the yard

Alteration to fences, walls

Tree removal

Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

Written description of the nature of the proposal.

Written description of all of the proposed materials to be used.

Between 3 and 5 photographs of the historic site and/or structure before changes.

Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.

A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant’s Signature: \_\_\_\_\_ Date: \_\_\_\_\_



## INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M\\_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

## CHECKLIST OF REQUIRED DOCUMENTS

Filled and signed Application for the Certificate of Appropriateness

Written description of the nature of the proposal

Written description of all of the proposed materials to be used.

Between 3 and 5 photographs of the historic site and/or structure before changes.

Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**

A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable).

In the case that the historic district in which the property is located has a construction subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: temporary installation of a window air conditioning unit
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

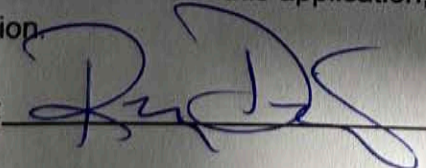
**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 6/26/23

Rebecca Dirksen  
1122 E 1<sup>st</sup> St, Bloomington, IN 47401

Application for Certificate of Appropriateness

Written description of the nature of the proposal:

We would like to install a small temporary window air conditioning unit in an upstairs bedroom that is being used by our 11-month-old child. This would be installed in a north-facing bedroom, but in a window that faces to the east, and thus the unit would not face directly out onto 1<sup>st</sup> Street. Please see photos and diagram/site map below.

The HVAC system in place prior to my purchase of this house in July 2021 does not adequately cool the upstairs level – a typical challenge in historic houses. The second floor is routinely 10 to 15 degrees warmer than the main level. While this is a comparatively minor issue during much of the year, outside temperatures in the upper 80s and 90s and higher are making indoor temperatures very difficult to manage. High heat is particularly dangerous for young children; the American Academy of Pediatrics advises that safe sleeping temperatures for infants and young children are between 68 and 72 degrees. This has not been attainable during the higher heat of recent months.

We have tried to mitigate the problem this summer by installing a ceiling fan to assist with air circulation. Unfortunately, the installation was unsuccessful, and the fan had to be removed due to safety concerns.

We are working on plans to make some essential renovations to the house which should include a proper long-term resolution for this problem, and we have begun to work with local architects and contractors well known to this commission and who are thoroughly versed in working with Bloomington's historic buildings.

In the meanwhile, we urgently seek an immediate solution that will offer relief during high temperatures and that will help to keep our baby safe. As we transition into cooler Fall temperatures, we will remove the window unit and place it in storage. It will only be used as a seasonal solution until we can get a more appropriate fix planned, approved via the Historic Preservation Commission, financed, and installed.

Written description of the materials to be used + scaled drawings or sketches from the manufacturer:

We propose to temporarily install a modest window air conditioning unit designed for a space of 150 to 250 square feet. We will try first with a model available immediately in a local store, such as Best Buy or Lowes. Here is a likely model that we will consider (ref at [link](#)):

**BEST BUY** Menu  Bloomington Cart

Back to School | Top Deals | Deal of the Day | My Best Buy Memberships | Credit Cards | Best Buy Outlet | Gift Cards | More | Account | Recently Viewed | Order Status | Saved Items

**Get personalized cleaning suggestions** with the Roomba Combo™ i7+ Robot Vacuum and Mop. Robot Shop now

Back to results | Best Buy | Appliances | Heating, Cooling & Air Quality | Air Conditioners | Window Air Conditioners

**GE - 150 Sq. Ft. 5,000 BTU Window Air Conditioner with Remote - White**  
 Model: AHPOS1Z SKU: 6390677

★★★★☆ 4.4 (1,372 Reviews) | 109 Answered Questions  
 Highly rated by customers for: Cooling, Price, Set up

**\$189.99** 4 payments starting at **\$47.50** with **ZIP**  
 Save \$40 | Was \$229.99 | Learn more >

**Open-Box** from \$163.99  
 Get \$20 from 1 rebate in 46201

**Deals on related items:**

- Window Air Conditioners deals
- Outlet Deals
- Top Deals

**Recommended Room Size:** 150 square'

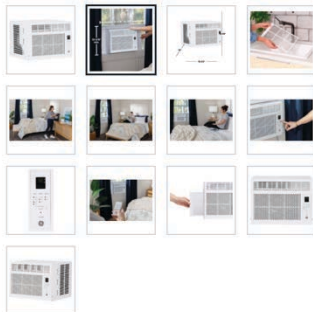
**Protect your small appliance** ★★★★★ (717)

- Most popular protection plan for your product
- 2-Year Standard Geek Squad Protection **\$24.99** About \$1.04/mo.
- 4-Year Standard Geek Squad Protection **\$49.99** About \$1.04/mo.

[Learn more](#)

**Professional Services**

Product Images | Videos | Customer Images



All materials required to install this unit are supposed to be included in the box and we will follow the manufacturer's guide for installation.

Photographs of historic site:

Inside view (to be installed in the window to the right behind the chair):



(a)



(b)

Outside view (the window facing front—left, below in photo (c)—would not be impacted; photo (d) below shows a leafy tree that will obscure view of the unit from 1<sup>st</sup> Street; photo (e) shows the window of the proposed installation on the right corner above the tree):



(c)



(d)



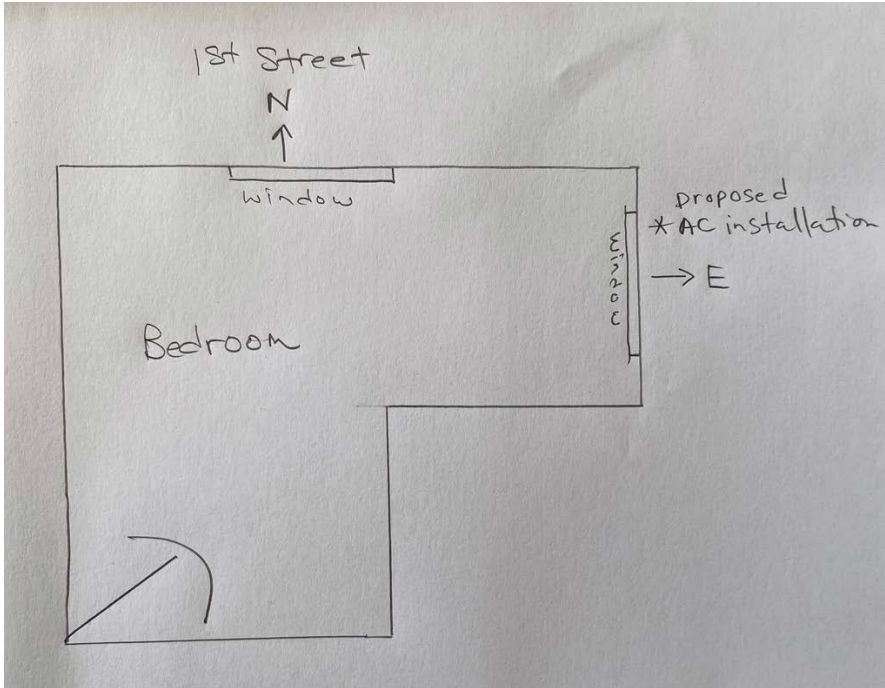
(e)

Map of the site with the site boundaries indicated:

From Elevate



Diagram of the room in question:





<b>STAFF REVIEW</b>	Address: 722 W 8th St.
<b>COA 23-57 722 W 8th St.</b>	Petitioner: Jennifer Stephens
<b>Application Date: 7/27/2023</b>	Parcel: 53-05-32-403-029.000-005
<b>RATING: CONTRIBUTING</b>	Survey: c. 1900, Queen Anne, T-Plan Cottage



**Background: Near West Side Historic District**

**Request: Replace roof with standing seam roof**

**Neighborhood Subcommittee comments:**

The Near West Side Design Review Committee met this afternoon regarding the proposed replacement of the roof at 722 West 8th with a standing seam metal roof. The committee sees nothing to object to in the application from a historic preservation perspective. We support granting the CoA when it comes up for HPC review (Peter Dorfman June 12, 2023).

**Guidelines: Near West Side Conservation District Guidelines**

**Page 21 ROOF MATERIAL RECOMMENDED**

1. Asphalt shingle
2. Standing seam metal
3. Each roof material should be one color.

**Staff Approved COA 23-57**

- The proposed roofing material was in compliance with the district's recommended materials within the guidelines.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 722 W 8th St

Parcel Number(s): 53-05-32-403-029.000-005

(OFFICE USE ONLY)
Filing Date: _____
Case Number: _____
HPC Hearing Date: _____

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Jennifer Stephens Email: red65ghia@yahoo.com

Address: 722 W 8th St Phone: 812-679-7181

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

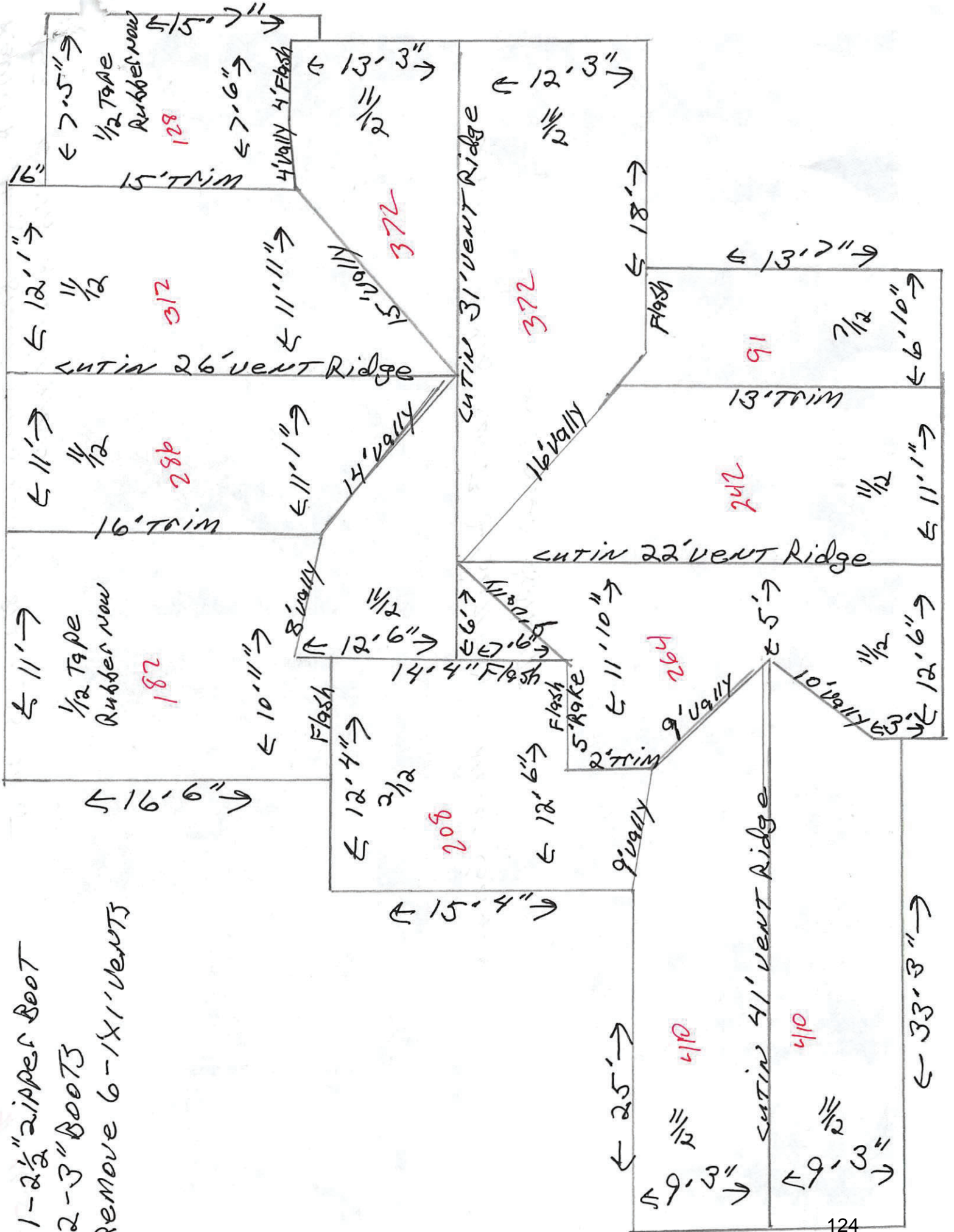
**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 7/26/23

1-2 1/2" zipper Boot  
 2-3" Boots  
 Remove 6-1x1' VENTS



**722 W 8<sup>th</sup> St – Install Metal Roof (currently shingle)**

Petitioner: Jenny Stephens, homeowner and resident

Roof Materials: 26 Gauge Concealed Fastener, standing seam (pamphlet included)

Installation: Steve's Roofing (quote with details and terms attached)

This house is listed as a contributing structure in the Near West Side Historical District.

Three low slope sections over the front porch (faces 8<sup>th</sup> St) and two in the rear are currently covered in a smooth rubber surface and will also be replaced with metal. These sections can be identified in the attached sketch with the words, 'rubber now' in the top left and lower left sections. No construction to alter pitch is necessary.

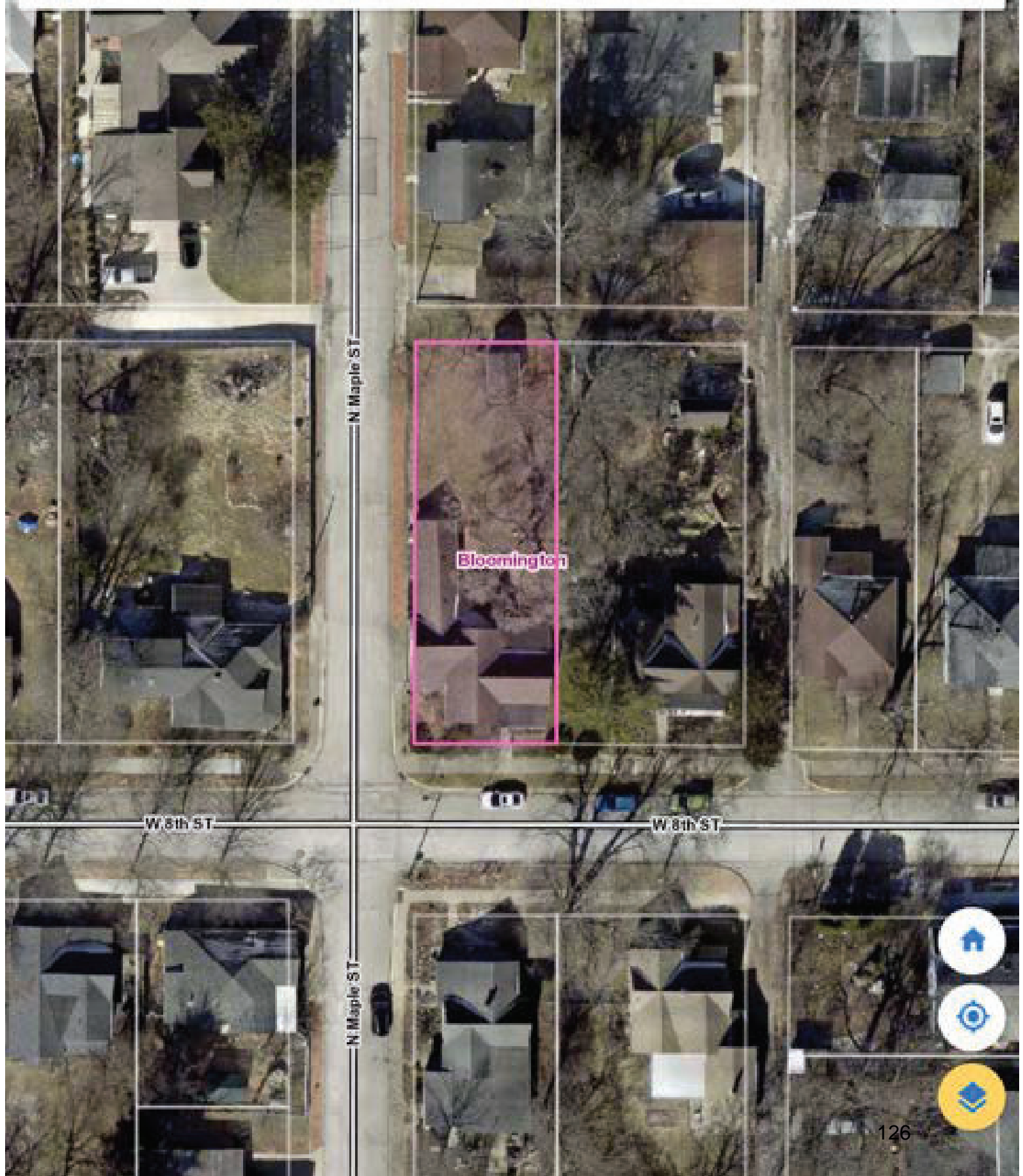
Project will include new gutters and downspouts.



# Monroe County, IN

722 W 8th

Show All X



N Maple ST

W 8th ST

W 8th ST

N Maple ST



**DO NOT USE THIS DIGITAL COLOR CHART FOR COLOR MATCHING.**

This digital color chart is intended to be viewed on computer monitors to show a wide range of colors available. Colors will vary depending on your computer monitor and monitor settings. Please ask for a physical color chart to view colors, and a metal sample for color matching purposes.



**Fern**  
PRIME

**Forest**  
PRIME

**Hunter**  
PRIME

**Colony**  
PRIME

**Crimson**  
PRIME

**Rustic**  
PRIME

**Burgundy**  
PRIME

**Gallery**  
PRIME

**Hawaiian**  
PRIME

**Light Stone**  
PRIME

**Taupe**  
PRIME

**Tan**  
PRIME



Choose CentralGuard for the best protection and a lifetime warranty.

# Horizon-Loc™

Color Selection Tool

26 GAUGE  
CONCEALED FASTENER



centralstatesmfg.com

\*Contact your salesperson for accurate pricing. † Color variation between orders is normal and not cause for rejection. ‡ Weathering and appearance variation, including color, sheen, and spangle, is common in non-painted materials and is not a cause for rejection. For consistent appearance, choose a paint-finished product. Colors on this chart are close representations of actual metal color, limited by printing and viewing conditions. Color matching optimized for outdoor viewing.

SHERWIN-WILLIAMS  
Coil Coatings

CHRT\_HORL\_220101

**PREMIUM COLORS**

Fluropon® 70% PVDF  
20-year Warranty

**Copper Metallic\*†**  
PRIME

Fluropon® 70% PVDF

**Matte Black\***  
PRIME

Clear acrylic coating

**Galvalume®‡**  
PRIME

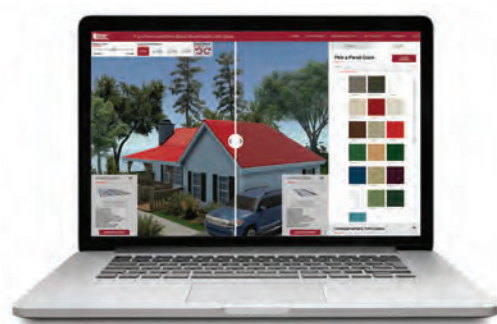
**Brown**  
PRIME

# Upgrade to Horizon-Loc for the ultimate protection from rain and snow.

Horizon-Loc gives you the beauty and protection of a standing seam panel at an affordable price. Its hidden fasteners give superior leak prevention and protection from rain and snow.

Horizon-Loc also features CentralGuard, our specific combination of everything that goes into making the highest-quality metal panels. The CentralGuard name guarantees that you have the best protection and a lifetime paint warranty.

Choose Horizon-Loc for the ultimate protection from rain and snow, plus the perfect balance of fade protection, rust blocking, and dent resistance.



## Explore our roofing visualizer.

Get started quickly with our preloaded photos, or upload your own photo. When you find the perfect combination of panel and color, you'll receive a summary of your project and have the option to connect with a local expert in your area to help you with your purchase and installation.

[centralstatesmfg.com](http://centralstatesmfg.com)



	PANEL-LOC PLUS PRIME CentralGuard	<b>BEST LEAK PREVENTION</b> <b>HORIZON-LOC</b> PRIME CentralGuard
<b>LEAK PREVENTION</b>		
Fasteners	Exposed	Hidden from elements
<b>FADE PROTECTION</b>		
Paint Warranty	<b>LIFETIME</b>	<b>LIFETIME</b>
Paint Thickness	1.0 mil	1.0 mil
Fade Warranty	30-YEAR	30-YEAR
Fade Protection	✓	✓
<b>RUST BLOCKING</b>		
Advanced Rust Blocking	✓	✓
Perforation Warranty	20-YEAR	20-YEAR
Substrate Thickness	1.60 mil	1.60 mil
<b>DENT RESISTANCE</b>		
Advanced Dent Resistance	✓	✓
Steel Thickness	THICK	THICKEST
Steel Gauge	29 ga.	26 ga.

*Horizon-Loc features UL2218 approval for impact resistance and may qualify for a homeowners insurance discount. See your local insurance agent for qualifications.*

### Horizon-Loc™







5108 S Commercial St ♦ Bloomington, IN 47403 ♦ Phone (812) 824-3006 ♦ Fax (812) 824-3009 ♦ steves@bluemarble.net

# Proposal

Date: July 24, 2023

Reference#WO 4454

To: Jenny Stephens	Phone: 812-679-7181	Email: <a href="mailto:Red65ghia@yahoo.com">Red65ghia@yahoo.com</a>
Address: 722 W. 8 <sup>th</sup> Street Bloomington, IN. 47404	Project Location: Same <b>Revised</b>	

**We propose to furnish all labor and materials to perform the work as specified below:**

**(Base Bid)**

- Tear off the existing 1-layer shingles and membrane roofs, down to deck to provide a smooth surface for new roofing.
- Inspect decking for damage, rot or moisture. *\*Any damaged wood replaced will be an additional cost\**
- Install Ice Shield along Eaves, Valleys, for protection at the vulnerable areas of your roof.
- Install new Synthetic Underlayment over entire roof area.
- Install new 2" Aluminum Drip Edge at eaves and rakes to seal the edges and prevent water entry.
- Install new Aluminum Step & Counter Flashing at vertical walls.
- Install new 750 box Vents at peaks of Roof for proper exhaust ventilation.
- Install new Pipe Flashings around all plumbing vents.
- Install CertainTeed Landmark Ltd. Lifetime Dimensional Shingles.
- Remove all roofing debris from jobsite. Use a special magnet to collect stray nails from lawn and driveway.
- 3-Year Workmanship Warranty.

**Options:**

- Install PSU-30 HT underlayment over entire roof; Install new 26-gauge Standing Seam metal roof panels in place of Dimensional shingles. -----**Add to Base Bid: \$15,900.00**
- Install new 6" Seamless aluminum guttering w/ 3"x4" downspouts-----**Add to Base Bid: \$1,800.00**

We propose to hereby furnish all labor and materials complete in accordance with the above specifications for:

**Payment Terms:** 50% of contract upon order of material and scheduling, balance in full upon completion.

**Payment:** Check, cash and card accepted. {3.5% convenience fee will be added to card transactions.}

**Finance Charge:** Interest will accrue on any balance over 10 days at a rate of 21% per year.

**Submitted By:** Mark Hays This proposal may be withdrawn if not accepted within 30 days

~ Acceptance ~

**NOTE: SEE CONDITIONS OF PROPOSAL STATED ON THE OTHER PAGES**

**Base Bid Price: \$12,800.00**

The above price, specifications, terms, and conditions are satisfactory and are hereby accepted. I have received and accept the conditions of this proposal as stated on page two and three of this proposal. Steve's Roofing & Sheet Metal is authorized to proceed with scheduling and performing the work specified. Payment shall be made per the terms stated above

Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

**\* WORK CANNOT BE SCHEDULED AND MATERIALS WILL NOT BE ORDERED UNTIL THE SIGNED PROPOSAL IS RECEIVED IN THE OFFICE. \***



## *Proposal Conditions*

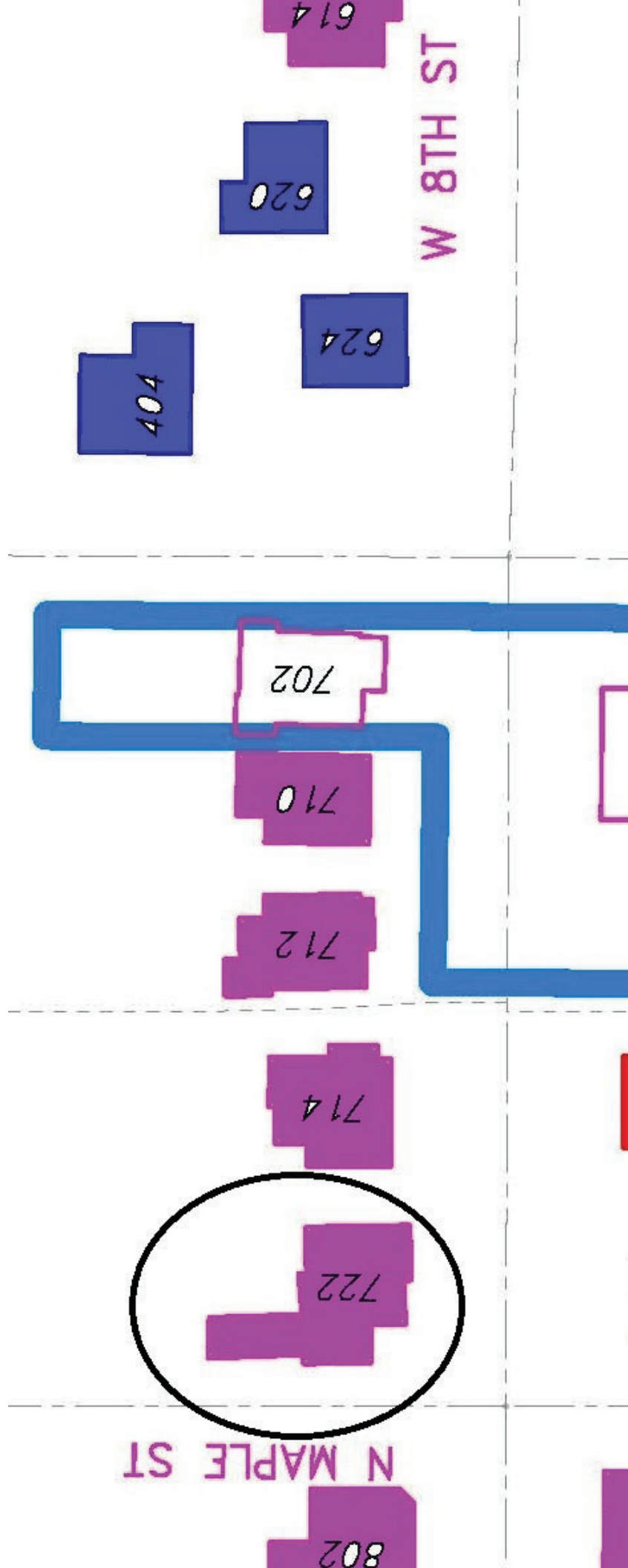
<p><b><i>Contingencies</i></b></p>	<ul style="list-style-type: none"> <li>◆ This proposal is subject to change unless acceptance is made within thirty (30) days.</li> <li>◆ Work will not be scheduled until a Signed Proposal is received by our office.</li> <li>◆ All agreements contingent upon strikes, acts of nature, accidents, fires or other delays beyond the control of the roofing contractor.</li> <li>◆ All materials to be as specified and work conducted in a professional manner.</li> <li>◆ Any alteration or deviation from the plans and specifications involving extra costs will be agreed upon in written format prior to performance of additional work. Additional work could delay progress until a written change order is signed and returned to the SRSM office or a SRSM Rep.</li> <li>◆ All guarantees and warranties on products and services are with the original owner unless otherwise specified.</li> <li>◆ In the event that payment is not made as per the stated payment terms, Owner agrees to pay interest and any other collection costs.</li> <li>◆ Steve's Roofing and Sheet Metal shall be entitled to reimbursement of all reasonable attorney fees if legal action is necessary to enforce this agreement.</li> </ul>
<p><b><i>Structural Concerns</i></b></p>	<ul style="list-style-type: none"> <li>◆ Scope of work shall not include the detection, abatement, encapsulation, or removal of asbestos, mold, or similar hazardous substances. Contractor has the right to discontinue work if and when hazardous materials are discovered. Contractor shall be entitled to receive compensation for changes in scope of work or lengthy delays encountered as a result of hazardous materials as detailed above.</li> <li>◆ Contractor not responsible for structural soundness and shall have no liability whatsoever for the failure of the supporting structure to support men, materials, equipment, ice, snow and water whether it is occurred before during or after the outlined work.</li> <li>◆ Contractor not responsible for interior damages resulting from structural deficiencies such as loose or cracked plaster and drywall, sagging rafters, nail-pops, previously rotted or damaged siding materials, etc.</li> </ul>
<p><b><i>Insurance</i></b></p>	<ul style="list-style-type: none"> <li>◆ Owner shall carry insurance consisting of Fire, Vandalism, etc to protect the contractor until the work is completed.</li> <li>◆ Contractor shall carry Liability, Property Damage, and Worker's Compensation Insurance.</li> </ul>

**Registration ♦ Certification ♦ Insurance**  
*We are registered, licensed, and insured for your protection!*

<p>Registration</p>	<ul style="list-style-type: none"> <li>• <b>Registered with Indiana Secretary of State</b> Professional Contracting, LLC d/b/a Steve's Roofing &amp; Sheet Metal TID 35-2122504 RPMC 01086734565-001-7</li> <li>• <b>US Dept of Defense – Central Contractor Registration</b></li> </ul>
<p>Certification</p>	<ul style="list-style-type: none"> <li>• <b>NRCA Member</b> </li> <li>• <b>Firestone Certified Installer</b></li> <li>• <b>GAF Master Elite Installer™ Contractor License ME26748</b> GAF Materials Corp (888) LEAK-SOS </li> <li>• <b>Johns Manville Certified Roofing Contractor</b> Johns Manville, Inc (800) 654-3103 </li> <li>• <b>GenFlex Authorized Roofing Contractor</b> GenFlex Roofing Systems (800) 443-4272 </li> <li>• <b>Triumph Registered Contractor #65633</b> Firestone Building Products (800) 428-4442 </li> <li>• <b>Republic Powdered Metals Registered Contractor</b> Republic Powdered Metals, Inc. (888) 742-7759 </li> <li>• <b>VELUX Solutions Certified Skylight &amp; Roof Window Installer</b> Velux Solutions, Inc. (800) 888-3589 </li> </ul>
<p>Insurance</p>	<ul style="list-style-type: none"> <li>• <b>Liability - Minimum \$1,000,000 liability, property damage, and completed operations.</b> Carrier: Transportation Insurance Policy CSU0049623 Agent: Insurance Partners, Inc (317) 293-7300 8909 Purdue Rd, Ste 105, Indianapolis, IN 46268</li> <li>• <b>Worker's Compensation – All of our employees are fully covered.</b> Carrier: Transportation Insurance Policy AVWCIN2194892013 Agent: Insurance Partners, Inc (317) 293-7300 8909 Purdue Rd, Ste 105, Indianapolis, IN 46268</li> </ul>
<p>Membership</p>	<ul style="list-style-type: none"> <li>• <b>Member, The Greater Bloomington Chamber of Commerce</b> PO Box 1302 – Bloomington, IN 47402</li> <li>• <b>Member, Better Business Bureau, Central Indiana</b> 22 E Washington St – Indianapolis, IN 46204 </li> </ul>

**Caution!** Do not choose a roofing contractor that is not properly insured.

**If an uninsured contractor has an accident at your home, you could be liable!**











<b>STAFF RECOMMENDATIONS</b>	Address: 744 S Morton St.
<b>COA 23-51 744 S Morton St.</b>	Petitioner: Sam DeSollar
<b>Application Date: 7/27/2023</b>	Parcel: 53-08-05-401-035.004-009
<b>RATING: N/A</b>	Survey: N/a



**Background: McDoel Historic District**

**Request: New Construction**

**Neighborhood Comments:**

Hi Sam,  
 We approved you 2 years ago, so you are approved as of now, 2 years later.  
 Elizabeth Cox-Ash (July 14, 2023)

**Guidelines: McDoel Historic District Guidelines**

Page 9:

**Placement on the lot**

The contributing houses in McDoel are generally (although not exclusively) placed in the center of the lot in the side-to-side dimension, and somewhat forward of center in the front-to-back dimension, creating two approximately equal side yards, and a front yard smaller than the

backyard. Where feasible this pattern is encouraged in placing new residential structures on their lots. New residential structures should be set back from the street a distance consistent with the set-back depths of contributing houses (that is, within the minimum and maximum set-back ranges; see illustration).

### **Structure design (size, height, roof line, porch)**

Design of new residential structures is encouraged to follow the basic design patterns of the contributing houses found in the neighborhood. These include size ( ca. 800-1500 square feet on ground level, typically one to three bedrooms); height (one to two stories); and main roof configuration (gabled roofs, including single gable, two perpendicular gables, and pyramid styles). Roof pitch for new residential structures should be within the range found on houses on that block (see illustration). In cases where a new residential structure is built to replace a house formerly located on the lot, the new structure should follow the same footprint (placement and outline on the lot) as the former house. Exceptions may be made if the original house was placed off center (side to side) or its set-back was not in the range of contributing houses. If the original house was exceedingly small, the replacement house may be larger but should be within the size range of contributing houses. Front porches are encouraged as compatible with the neighborhood's character.

### **Parking considerations**

Typically, houses with off-street parking in the neighborhood feature straight driveways placed on one side of the house or are accessed by alleys. This configuration is compatible and acceptable in new construction.

### **Materials**

The contributing homes in the neighborhood feature a wide variety of materials. This variety is compatible and acceptable for new residential structures as well. Typically, contributing homes feature a masonry foundation (stone or block) with exterior walls sided in wood, aluminum, fiber, vinyl, or composite materials. Design of the new residential structures is encouraged to follow this pattern.

### **Staff Recommendation: to approve COA 23-51**

- The project was approved in 2021 and has the support of the neighbors and neighborhood association.
- The guidelines are based on residential structures.
- Although the design and geometry of the individual components break from the neighborhood patterning, all of the materials, roof slope, scale, and building location fall within the parameters of the guidelines.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 744 S. Morton Street

Parcel Number(s): 53-08-05-401-035.004-009

(OFFICE USE ONLY)

Filing Date: 7/27/2023

Case Number: COA 23-51

HPC Hearing Date: 8/10/2023

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Sam DeSollar Email: samdesollar@gmail.com

Address: 731 E. University Street Phone: 510.207.1588

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant’s Signature: Sam DeSollar Digitally signed by Sam DeSollar  
Date: 2023.07.14 10:26:58 -0400 Date: 17 July 2023

## INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M\\_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

## CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
  - Written description of the nature of the proposal
  - Written description of all of the proposed materials to be used.
  - Between 3 and 5 photographs of the historic site and/or structure before changes.
  - Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
  - A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable).
- In the case that the historic district in which the property is located has a construction subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.
  - [Elm Heights Historic District](#)
  - [Greater Prospect Hill Historic District](#)
  - [Matlock Heights Historic District](#)
  - [McDoel Gardens Historic District](#)
  - [Near West Side Historic District](#)
  - [Maple Heights Historic District](#)

To: Gloria Colom, Bloomington Historic Preservation Program Manager  
Re: COA 21-35 renewal  
Date: 14 July 2023

This letter is in support of an application to renew COA-21-35, for a new artist studio building to be built at 744 S. Morton Street in Bloomington, Indiana. The project has been moving through the Planning process, and approvals will not be complete prior to the expiration of the original COA. This application reflects the changes required in the project by Planning, as well as construction and structural necessities. This letter attempts to summarize those changes.

In this submission, dated July 17, 2023:

What has NOT changed:

- overall building square footage
- overall building height
- cladding materials
- roofing materials
- position of the building on site / building setbacks

What HAS changed:

- additional landscaping on the north side of the building required by Planning for a buffer yard
- handicapped accessible entrance ramp and walks on east side of site
- modification of walk to south of building to allow for drainage
- storm drainage infrastructure: storm drain on SW side of property, subsurface drain under Morton Street
- addition of (2) 4" diameter steel columns under entry canopy on east facade
- addition of cross bracing on east and north clerestory windows
- deletion of stair from east facade porch to accommodate site walk and stair
- modification of north side site fencing height to address grade changes, addition of access gate
- additional site landscaping
- lighting fixtures to accommodate dark sky Planning requirements
- context to south: a new structure at 748 S. Morton street (perspective drawings reflect an approved COA for an addition to the adjacent property to the south.)

If you have any questions, or require additional information, please do not hesitate to contact me.

Respectfully submitted,

Sam DeSollar





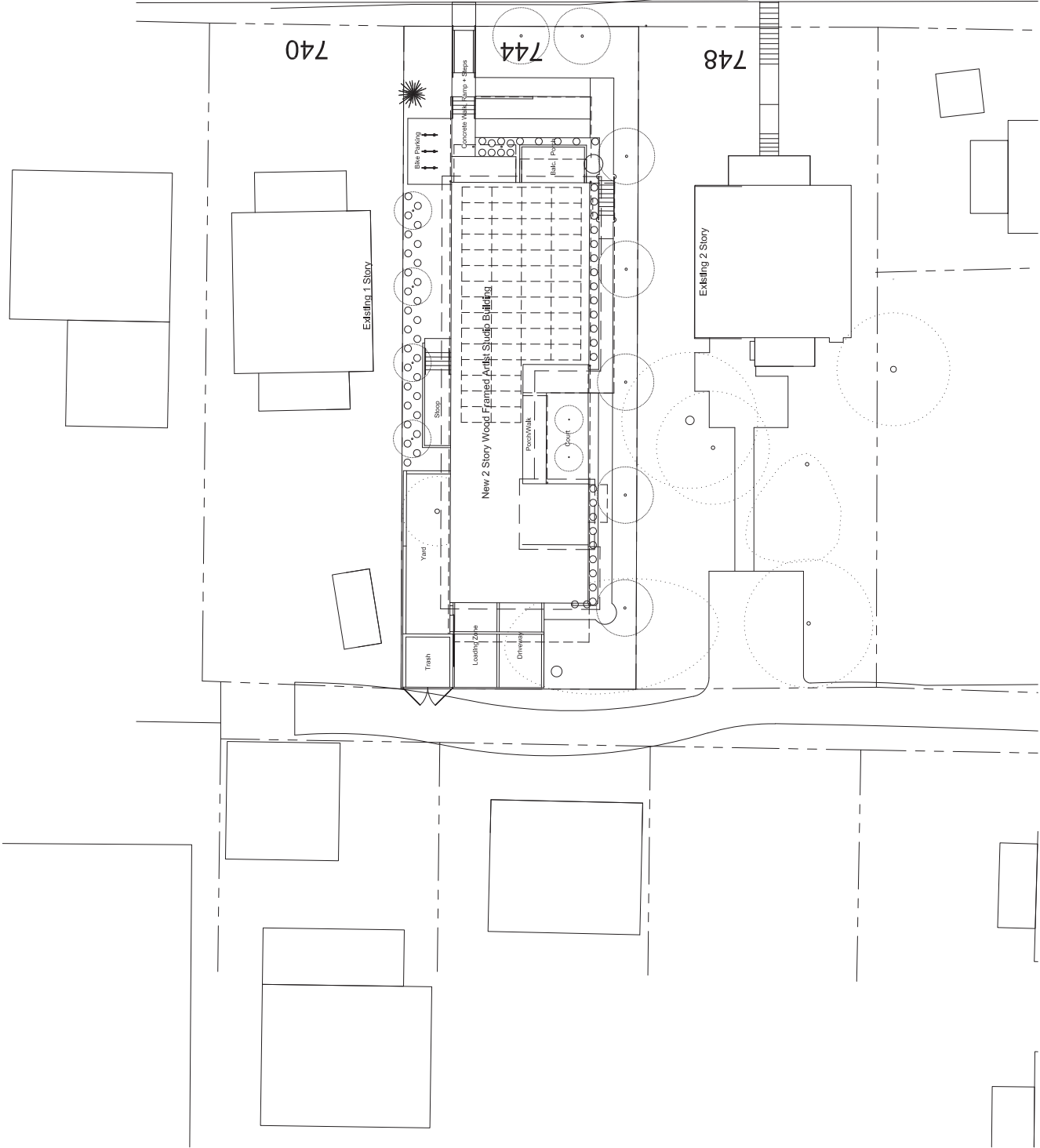












# Line Studio

744 S. Morton Street, Bloomington, IN

Proposed Site Plan

1/32" = 1'-0"

17 July 2023



Sam DeSollar architect  
731 E. University Street  
Bloomington, IN 47401  
510.207.1588

0 16' 32'



150 **B Line Studio Building**  
744 South Morton Street  
Bloomington Indiana

July 17, 2023 - BHPC COA 21-35 Renewal Application

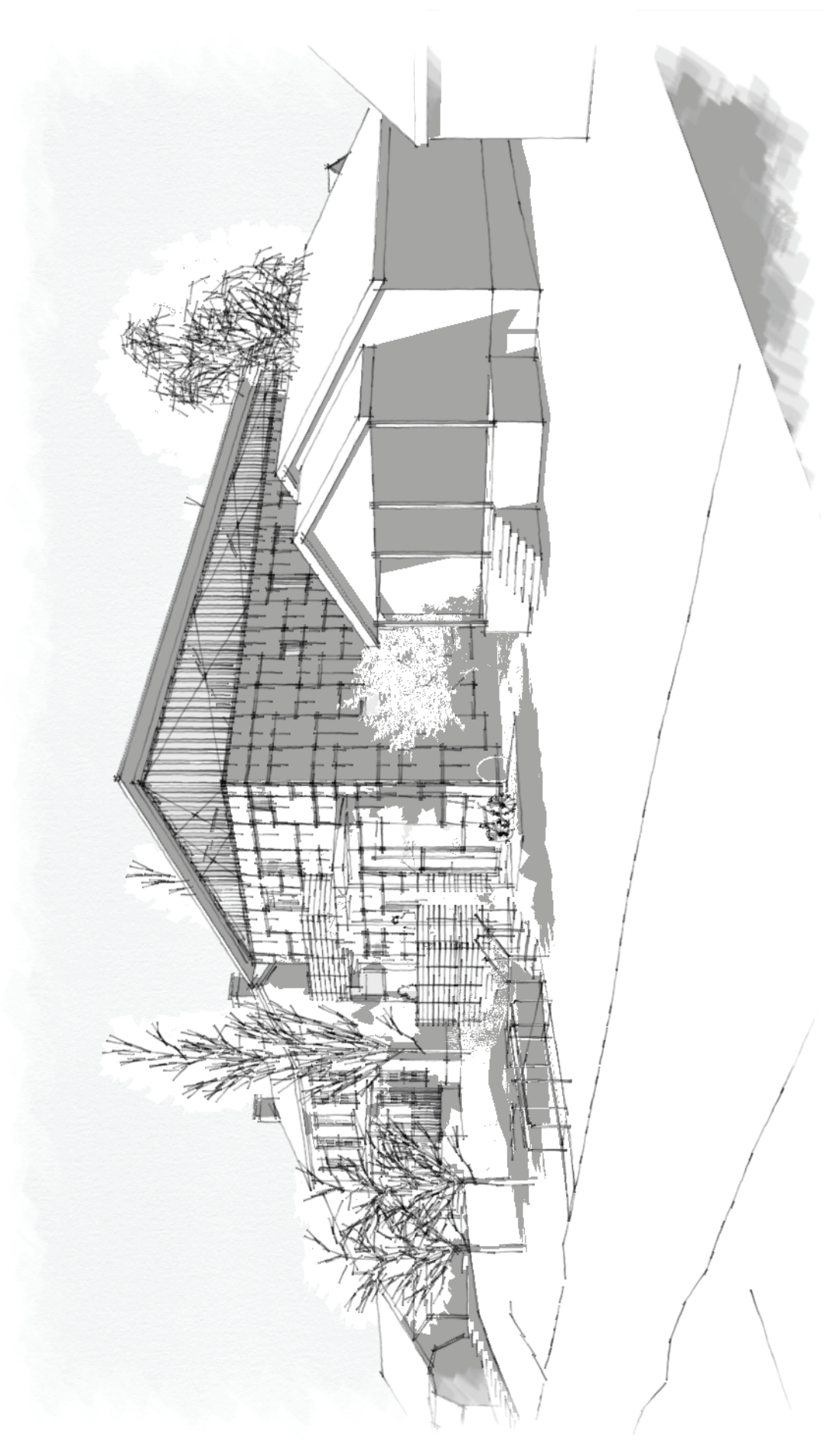
from Dodds Street



from East / B-Line Trail

151  
B Line Studio Building  
744 South Morton Street  
Bloomington Indiana

July 17, 2023 - BHPC COA 21-35 Renewal Application

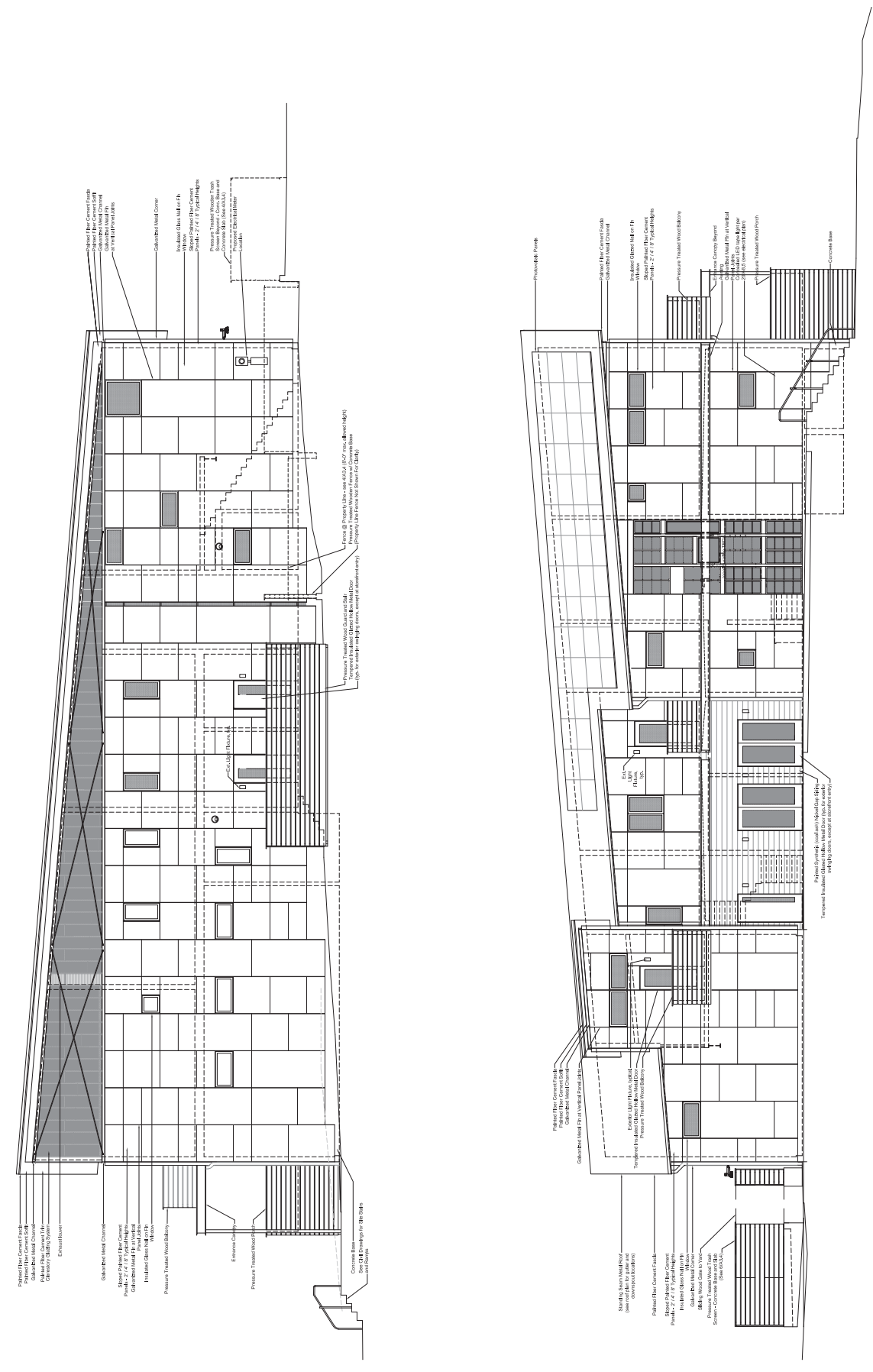


from northeast on B-Line

**152** B Line Studio Building  
744 South Morton Street  
Bloomington Indiana

July 17, 2023 - BHPC COA 21-35 Renewal Application

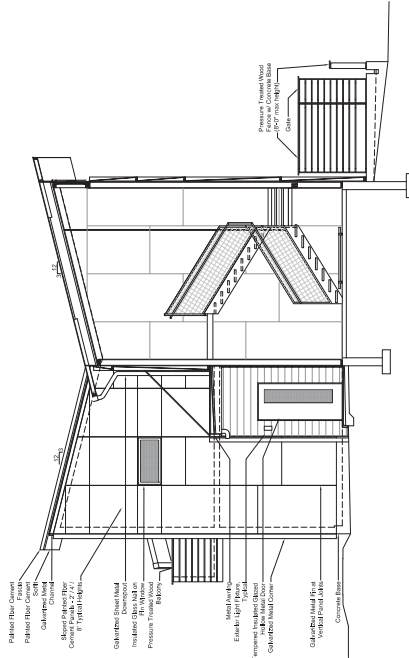
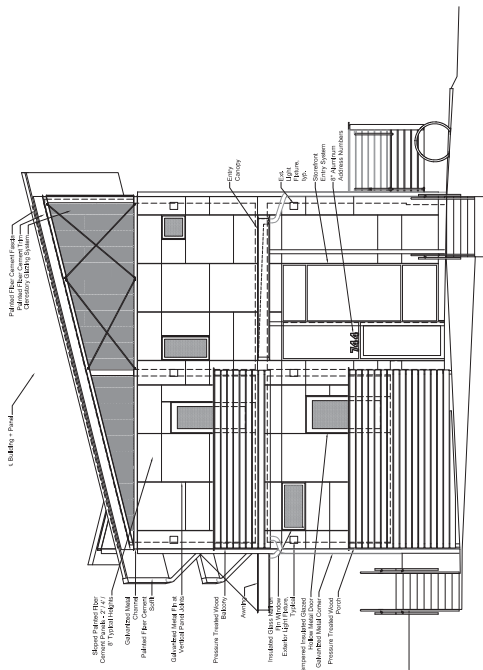
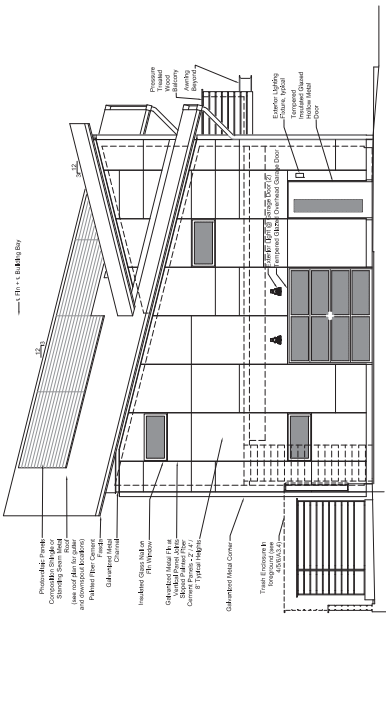
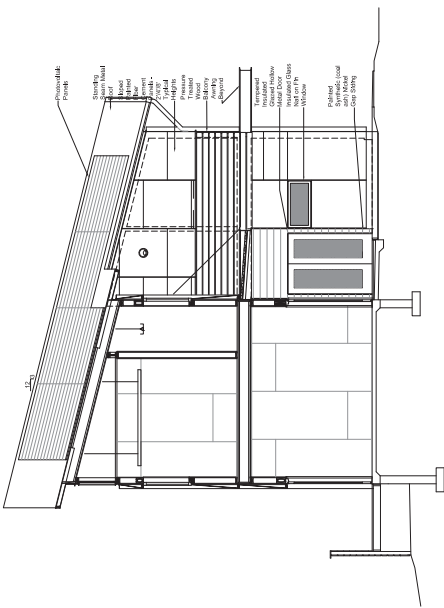




**B<sub>3</sub>Line Studio**  
744 S. Morton Street, Bloomington, IN  
Proposed North + South Elevations  
1/16" = 1'-0"

Sam DeSolar architect  
731 E. University Street  
Bloomington, IN 47401  
510.207.1588

17 July 2023

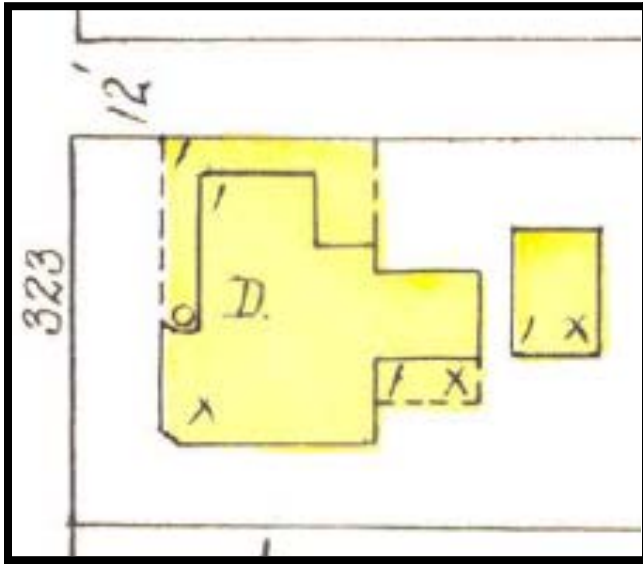


Sam DeSollar architect  
 731 E. University Street  
 Bloomington, IN 47401  
 510.207.1588

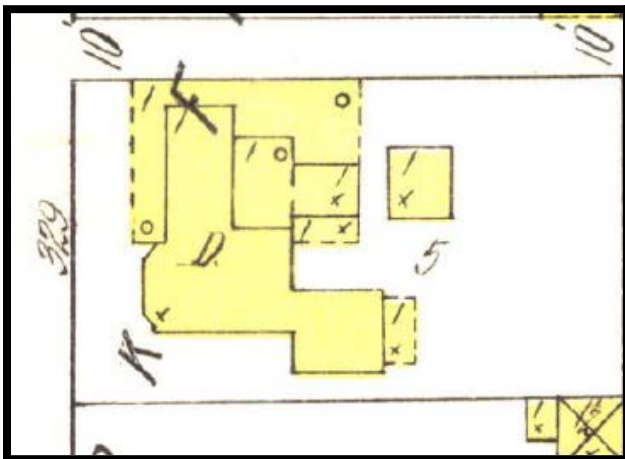


<b>STAFF RECOMMENDATIONS</b>	Address: 329 S Maple St.
<b>COA 23-52 329 S Maple St.</b>	Petitioner: Dennis Burch and Marc Cornett
<b>Application Date: 7/27/2023</b>	Parcel: 53-08-05-107-001.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1900, L-Plan Cottage
	
<b>Background: Greater Prospect Hill Historic District</b>	
<b>Request:</b> Partial demolition, new addition to existing building, extensive alteration to the facade and yard	
<b>Neighborhood Comments:</b> Pending	
<b>Guidelines: Greater Prospect Hill Historic District Guidelines</b> Setbacks (pg 17), Building outline and massing (pg 19), Fenestration (pg 20), Additions (pg 23)	
<b>Staff Recommends approval for COA 23-52</b>	
<ul style="list-style-type: none"> <li>● The house was drastically altered soon after its construction according to both SHAARD documents and the Sanborn maps from 1907 to 1913. It is speculated that the house was converted from a central-passage house to an L-plan cottage.</li> <li>● The proposed siding to be used on all of the building is compatible with the historic district guidelines.</li> <li>● The partial demolition on the back of the house does not visually impact the front of the building.</li> <li>● The addition is compatible with the principles of new construction including scale, placement, and fenestrations, amongst others.</li> </ul>	

- The most impacting change to the front facade would be the front porch, which is designed to emulate the more typical cottage porches in the area. However, the materials and proportions would reflect a more contemporary design.



1907 Sanborn Map (323 S Maple St.)



1913 Sanborn Map



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 329 S. Maple Street

Parcel Number(s): 53-08-05-107-001.000-009

(OFFICE USE ONLY)
Filing Date: <u>7/27/2023</u>
Case Number: <u>COA 23-52</u>
HPC Hearing Date: <u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Dennis G Burch - mca Marc Cornett Architects Email: dgburch58@yahoo.com

Address: 101 E. Kirkwood Ave, Bloomington, IN 47408 Phone: (812) 327-6185

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: Spyridon G Stratigos Email: strats@bluemarble.net

Address: 2216 State Ferry Rd., Solsberry, IN 47459 Phone: (812) 345-0619

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: New covered entry/front porch off of Maple St.
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 7/17/23

## INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M\\_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

## CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)

- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)



329 S. Maple St. Project  
Bloomington, IN 47403

July 17, 2023

---

**Description of Project and Materials:**

1. Required demolition and new construction of an addition (on crawl space) to an existing one-story residential building (partial basement under existing) in the Prospect Hills Historic District/Neighborhood. The project would include a complete exterior renovation of the existing building with replacement of exterior doors and windows, exterior siding and trim, roofing (downspouts, gutters, fascia, soffits, etc...) and construction of a new covered entry/front porch off of the Maple St. side of the residence.

**Floor Area:**

**Existing Floor Area: 1,356 s.f.**

**Proposed Floor Area: 698 s.f.**

**Covered Front Porch: 170 s.f.**

**Covered Side Porch: 160 s.f.**

**Total Floor Area: 2,384 s.f.**

2. The following is a description of the proposed building materials:  
Exterior Siding - James Hardie fiber cement lap siding (6" exposure, smooth finish, painted – typical)  
Exterior Trim – Boral TruExterior Trim (smooth finish, painted – typical)  
Exterior Columns and Beam Trim – Boral TruExterior Trim (smooth finish, painted – typical)  
Exterior Doors – Therma-Tru Fiber Classic Mahogany Collection  
Exterior Windows – Marvin Ultrex/Essential High-Density Fiberglass  
Exterior Wood Deck Flooring – Azek TimberTech Composite Exterior Decking  
Foundation – Split-faced Concrete Masonry Units (running bond pattern)  
Roofing – Owens Corning Fiberglass Roofing Shingles

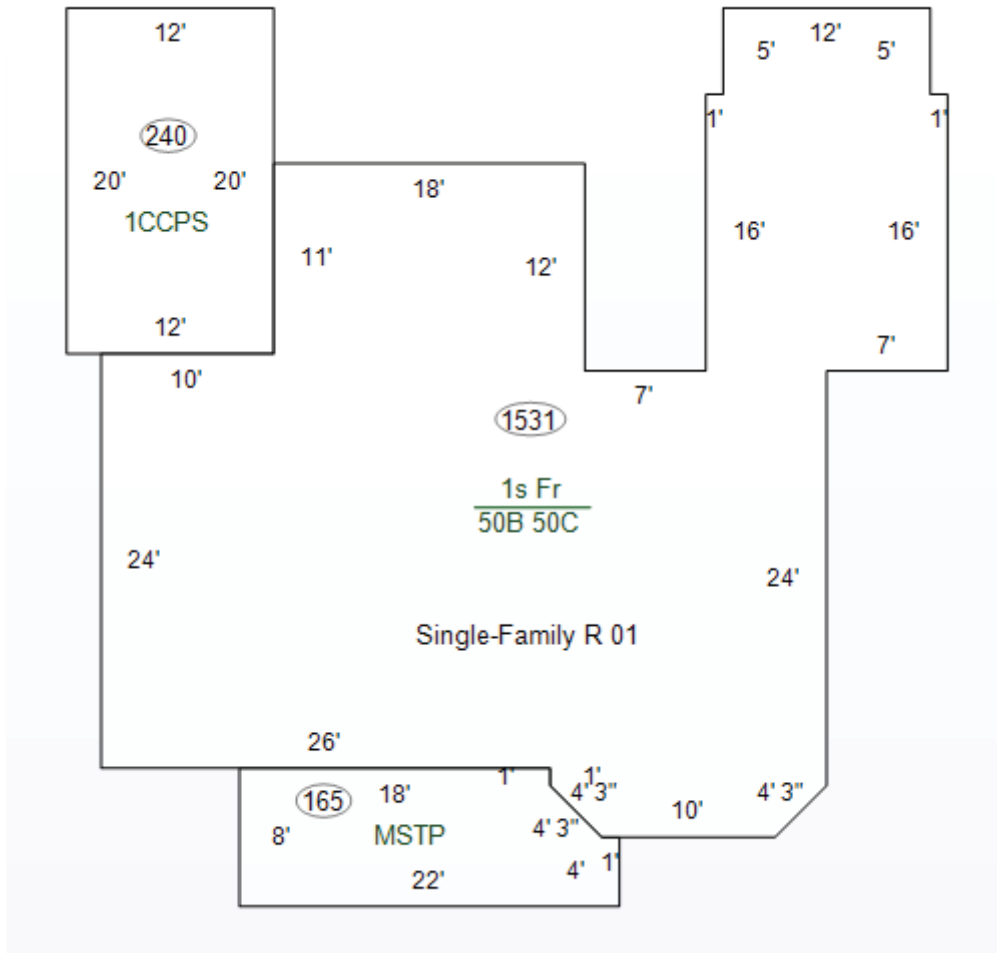
**Estimated Project Construction Schedule:**

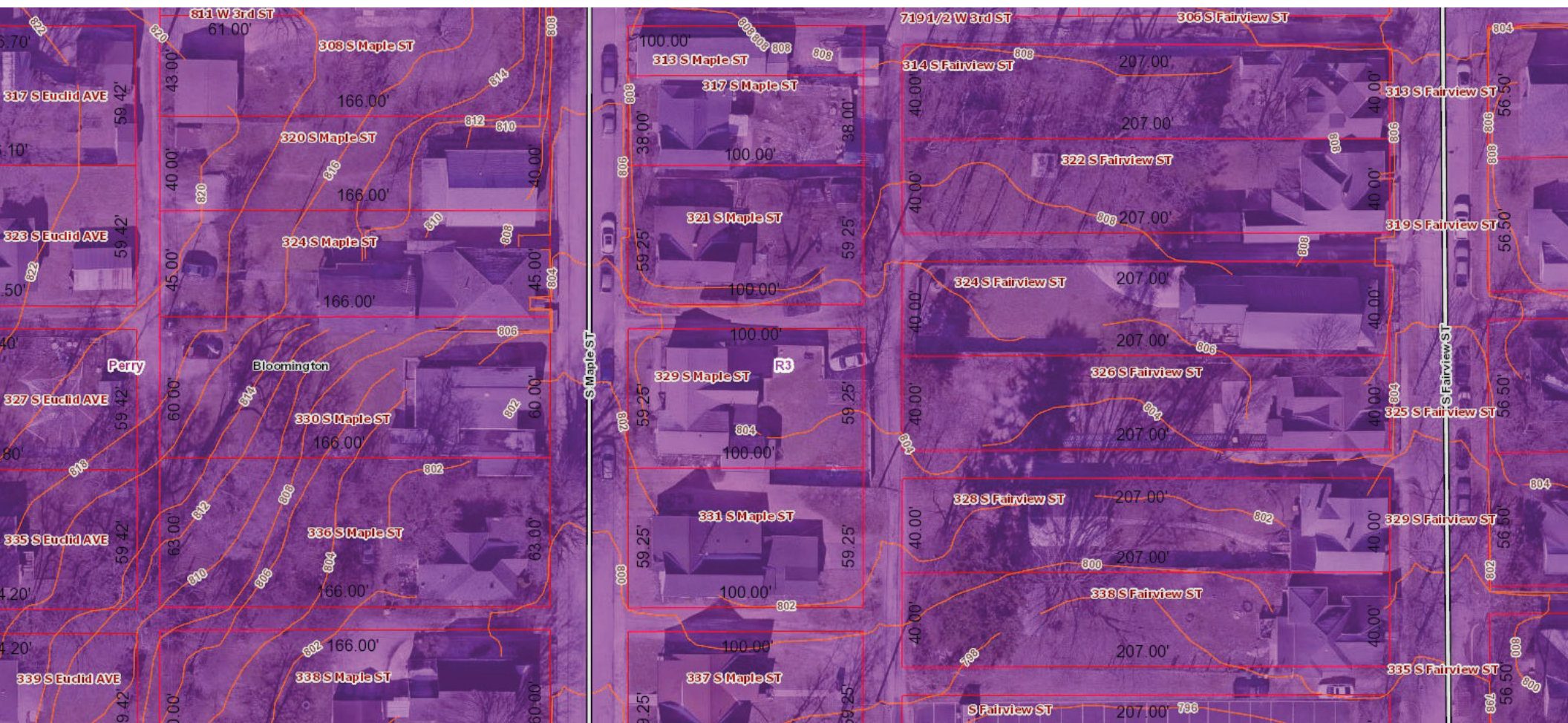
1. Construction begins in the Fall of 2023 with completion/occupancy Spring of 2024.







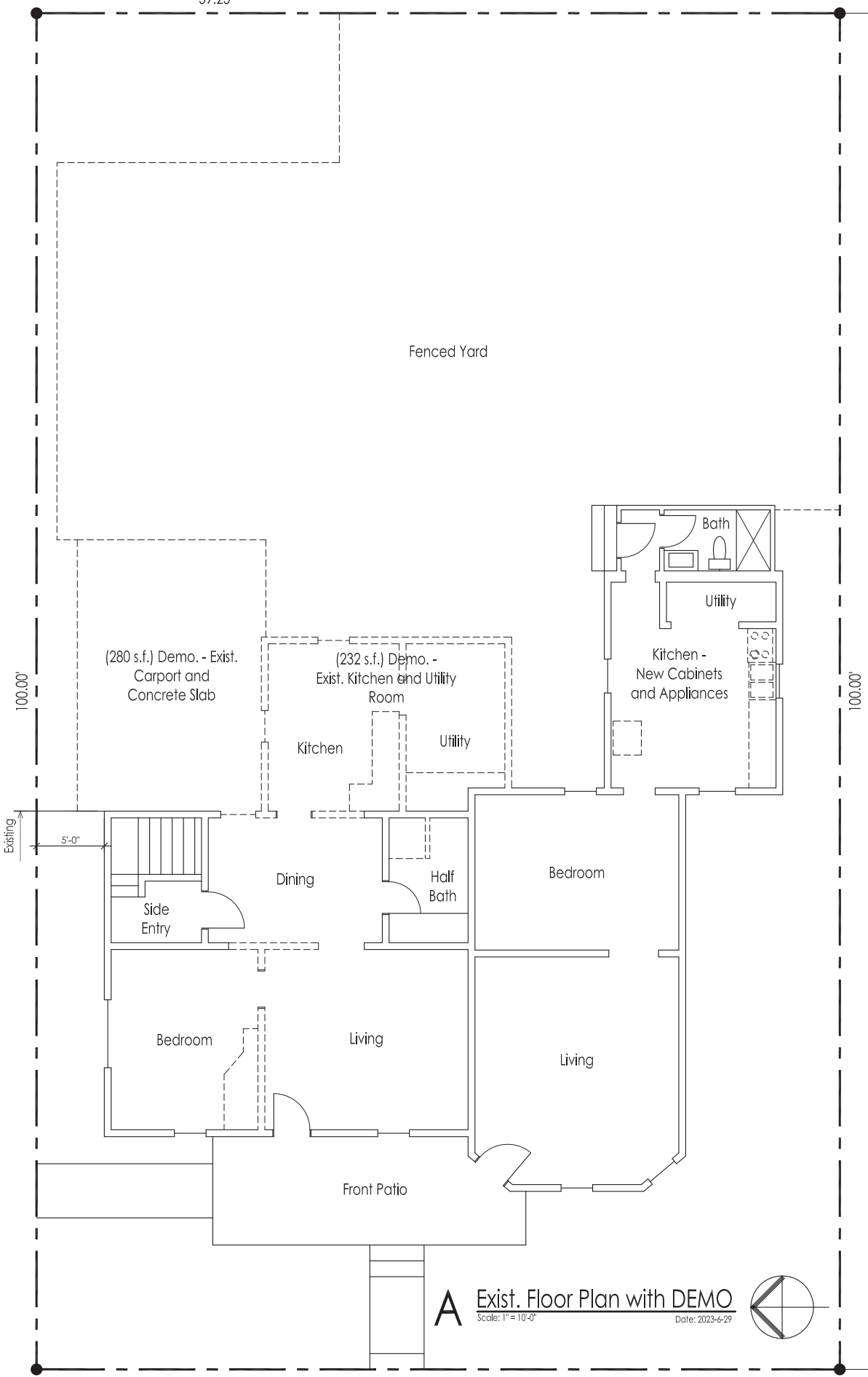




59.25'

12' Alley R.O.W.

12' Alley R.O.W.



100.00'

(280 s.f.) Demo - Exist.  
Carport and  
Concrete Slab

(232 s.f.) Demo -  
Exist. Kitchen and Utility  
Room

Bath  
Utility

Kitchen -  
New Cabinets  
and Appliances

Kitchen

Utility

Existing

5'-0"

Dining

Half  
Bath

Bedroom

Side  
Entry

Bedroom

Living

Living

Front Patio

**A** Exist. Floor Plan with DEMO  
Scale: 1" = 10'-0" Date: 2023-6-29



329 S. Maple St.

59.25'

Demo: 232 s.f. (House) + 280 s.f. (Carport)

59.25'

12' Alley R.O.W.

WINDOW SCHEDULE							
Mark	Manufacturer	Model	Model Number	Type	Rough Opening		Remarks
					width	x height	
A	Marvin	Elevate	ELDH3672 E	Double Hung	3-0-1/2 x 6-0-1/4	1, 2, 3, 4	
B	Marvin	Elevate	ELDH3660 E	Double Hung	3-0-1/2 x 5-0-1/4	1, 2, 3, 4	
C	Marvin	Elevate	ELDH2448	Double Hung	2-0-1/2 x 4-0-1/4	3, 4	
D	Marvin	Essential	ESAWN3020	Awning	3-0 x 1-6	3, 4	
E	Marvin	Essential	ESAWN2620	Awning	2-6 x 1-6	3, 4	
F	Marvin	Elevate	ELDFD6065 XO	Sliding French Door	6-0 x 6-8	2, 3, 4	

REMARKS KEY: 1. Egress, 2. Tempered Glass, 3. Screen, 4. 2 x wall jamb depth

12' Alley R.O.W.

Existing New Addition

100.00'

46'-4 1/2"

12'-0"

5'-0"

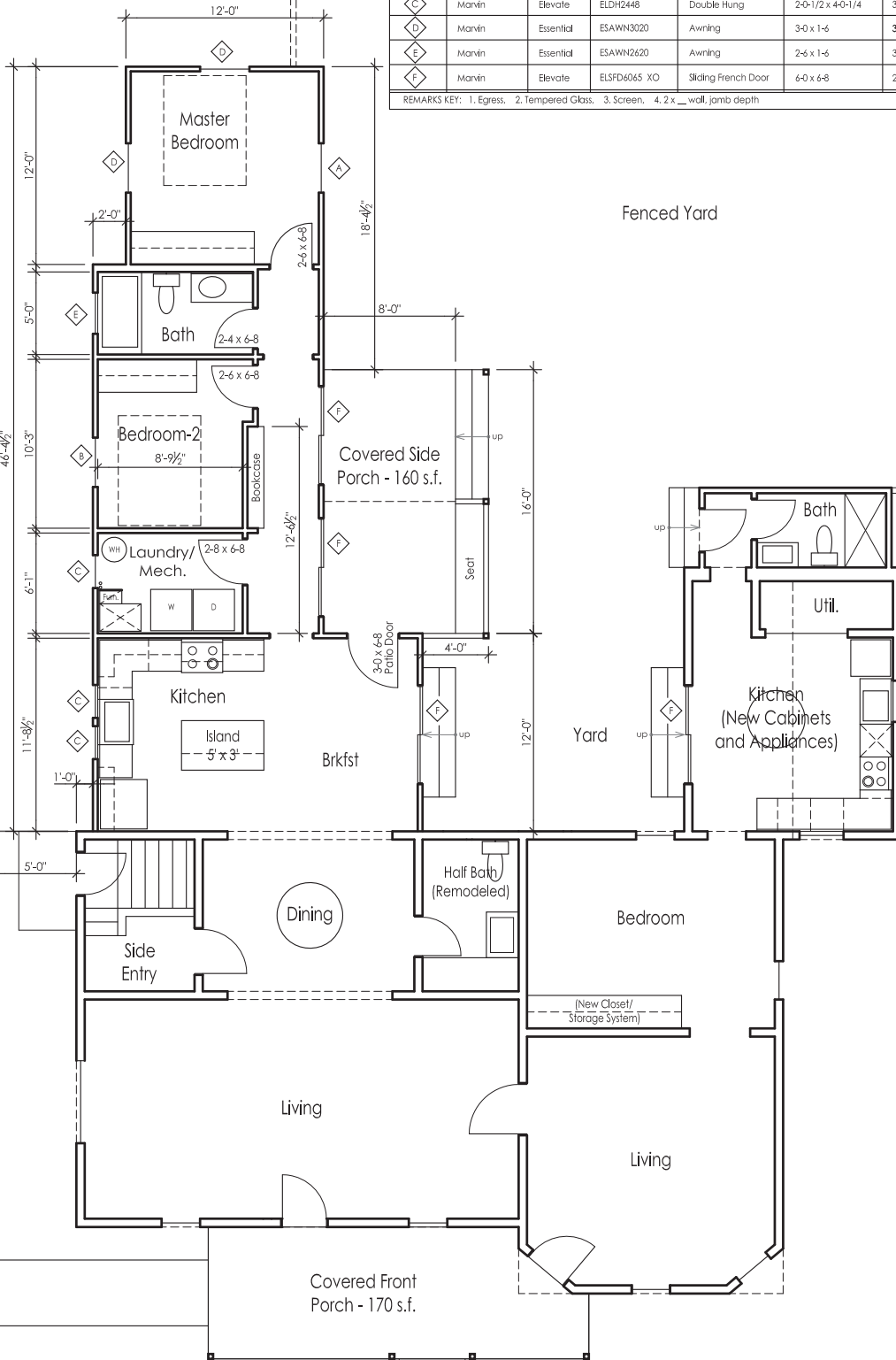
11'-8 1/2"

6'-1"

10'-3"

5'-0"

12'-0"



Fenced Yard

Covered Side Porch - 160 s.f.

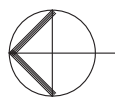
3'-0" x 6'-8" Patio Door

Brkfst

Yard

Kitchen (New Cabinets and Appliances)

**A** Proposed Floor Plan  
Scale: 1" = 10'-0" Date: 2023-6-29



329 S. Maple St.

59.25'

Addition 698 s.f. + 160 s.f. Side Porch + 170 s.f. Front Porch  
Lot Area: 5,925 s.f. Impervious Surface Coverage: 2,536 s.f. (42.8%)  
Impervious Surface Coverage (Maximum - 45%): 2,667 s.f.



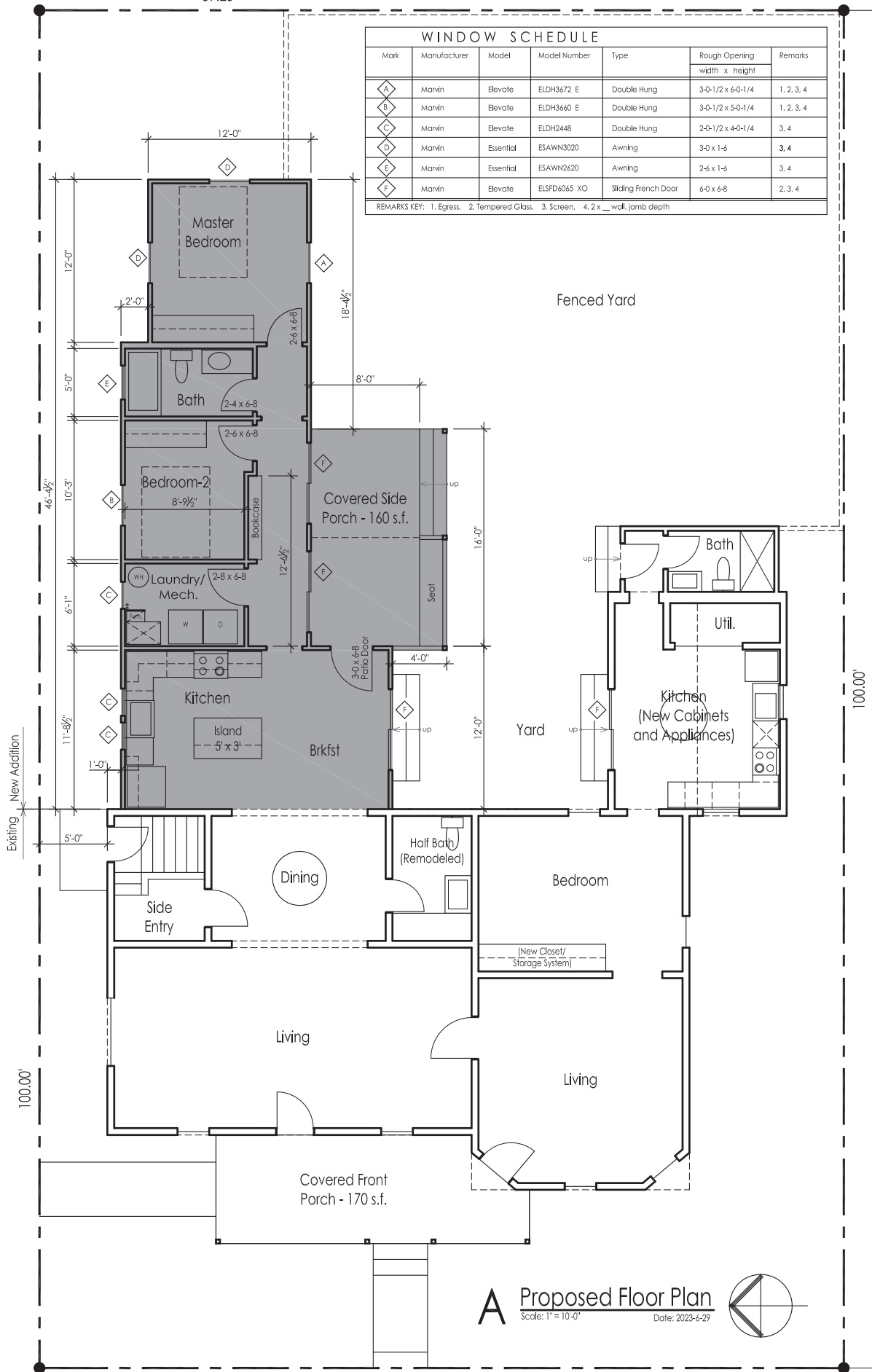
59.25'

12' Alley R.O.W.

WINDOW SCHEDULE							
Mark	Manufacturer	Model	Model Number	Type	Rough Opening		Remarks
					width	x height	
A	Marvin	Elevate	ELDH3672 E	Double Hung	3-0-1/2 x 6-0-1/4	1, 2, 3, 4	
B	Marvin	Elevate	ELDH3660 E	Double Hung	3-0-1/2 x 5-0-1/4	1, 2, 3, 4	
C	Marvin	Elevate	ELDH2448	Double Hung	2-0-1/2 x 4-0-1/4	3, 4	
D	Marvin	Essential	ESAWN3020	Awning	3-0 x 1-6	3, 4	
E	Marvin	Essential	ESAWN2620	Awning	2-6 x 1-6	3, 4	
F	Marvin	Elevate	ELDFD6065 XO	Sliding French Door	6-0 x 6-8	2, 3, 4	

REMARKS KEY: 1. Egress, 2. Tempered Glass, 3. Screen, 4. 2 x wall jamb depth

12' Alley R.O.W.



**A Proposed Floor Plan**  
 Scale: 1" = 10'-0" Date: 2023-6-29

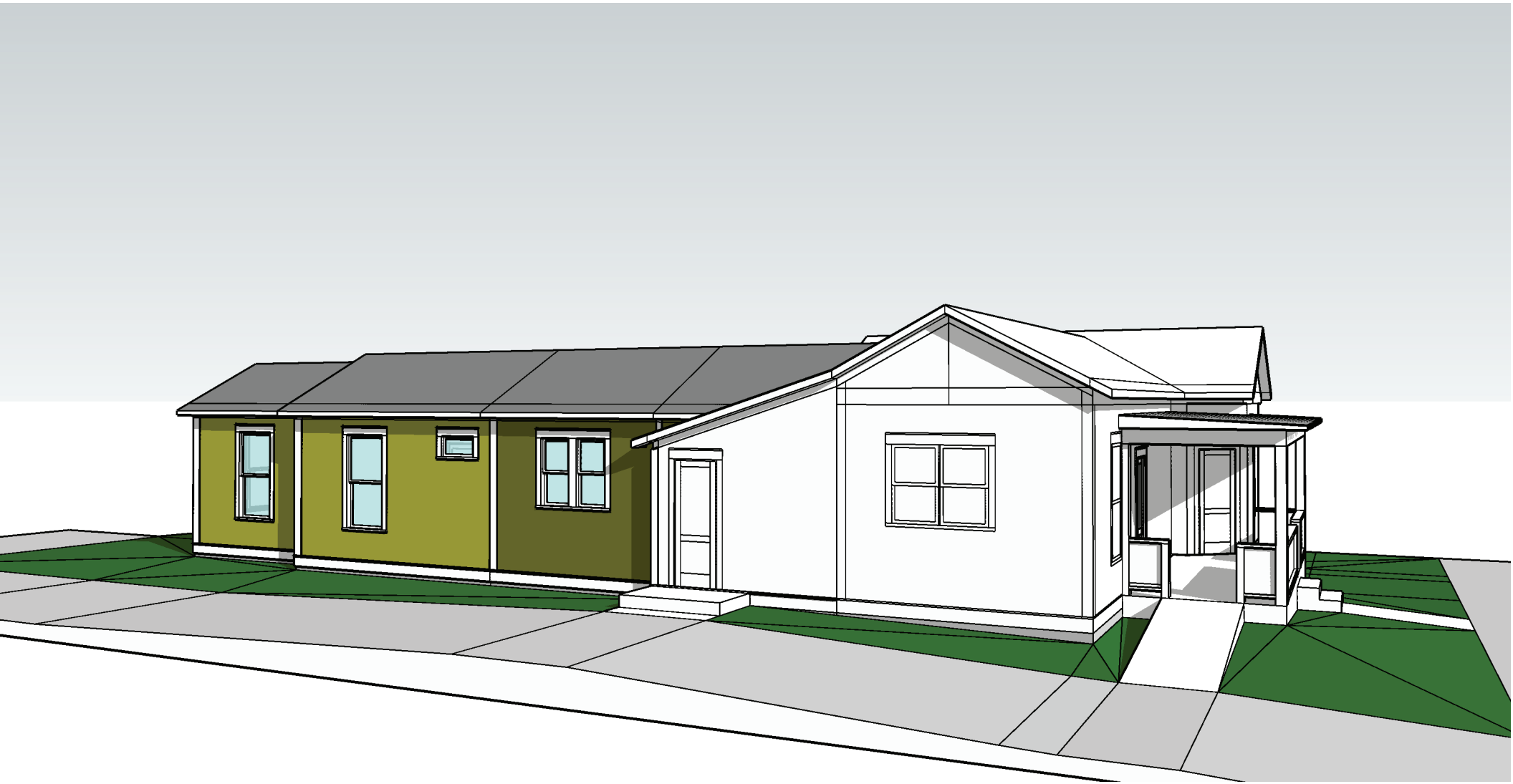


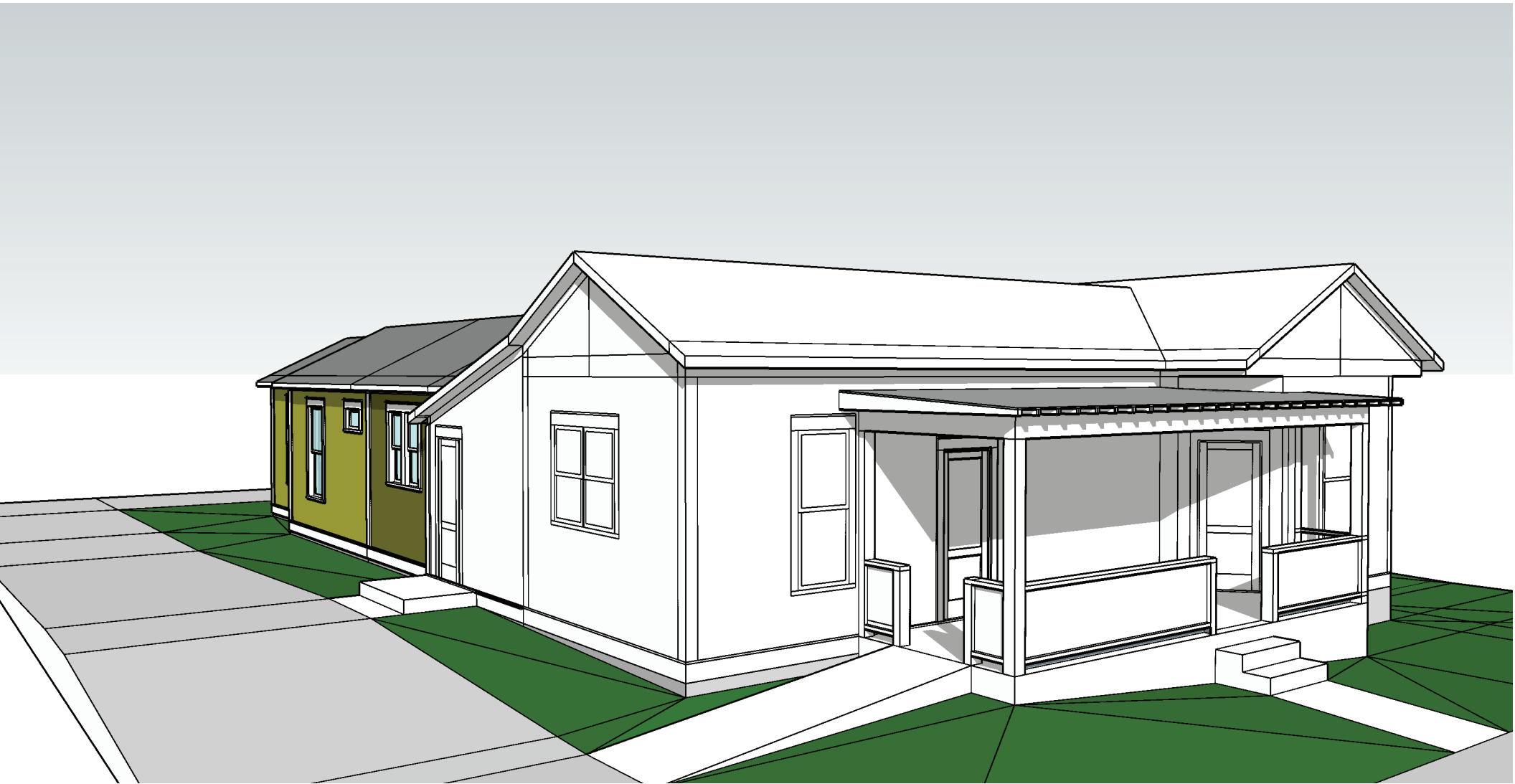
329 S. Maple St.

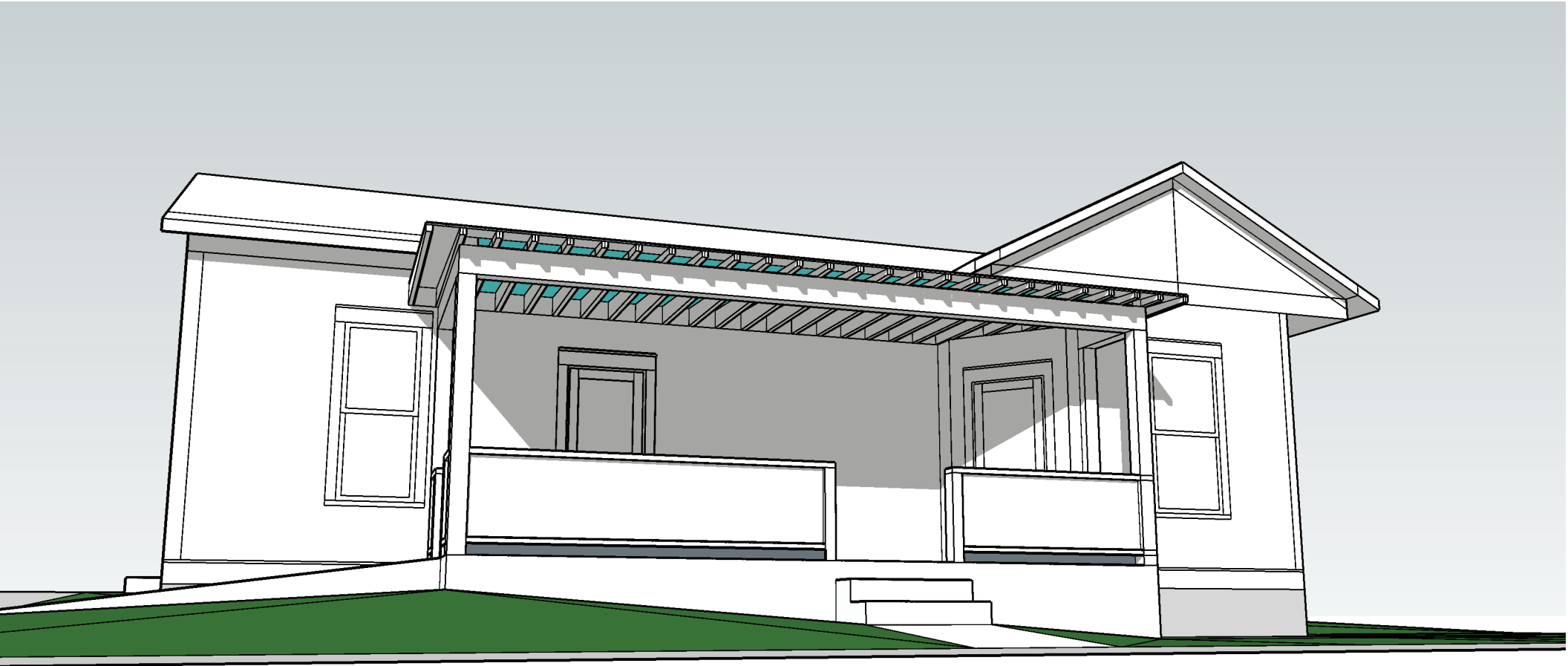
59.25'

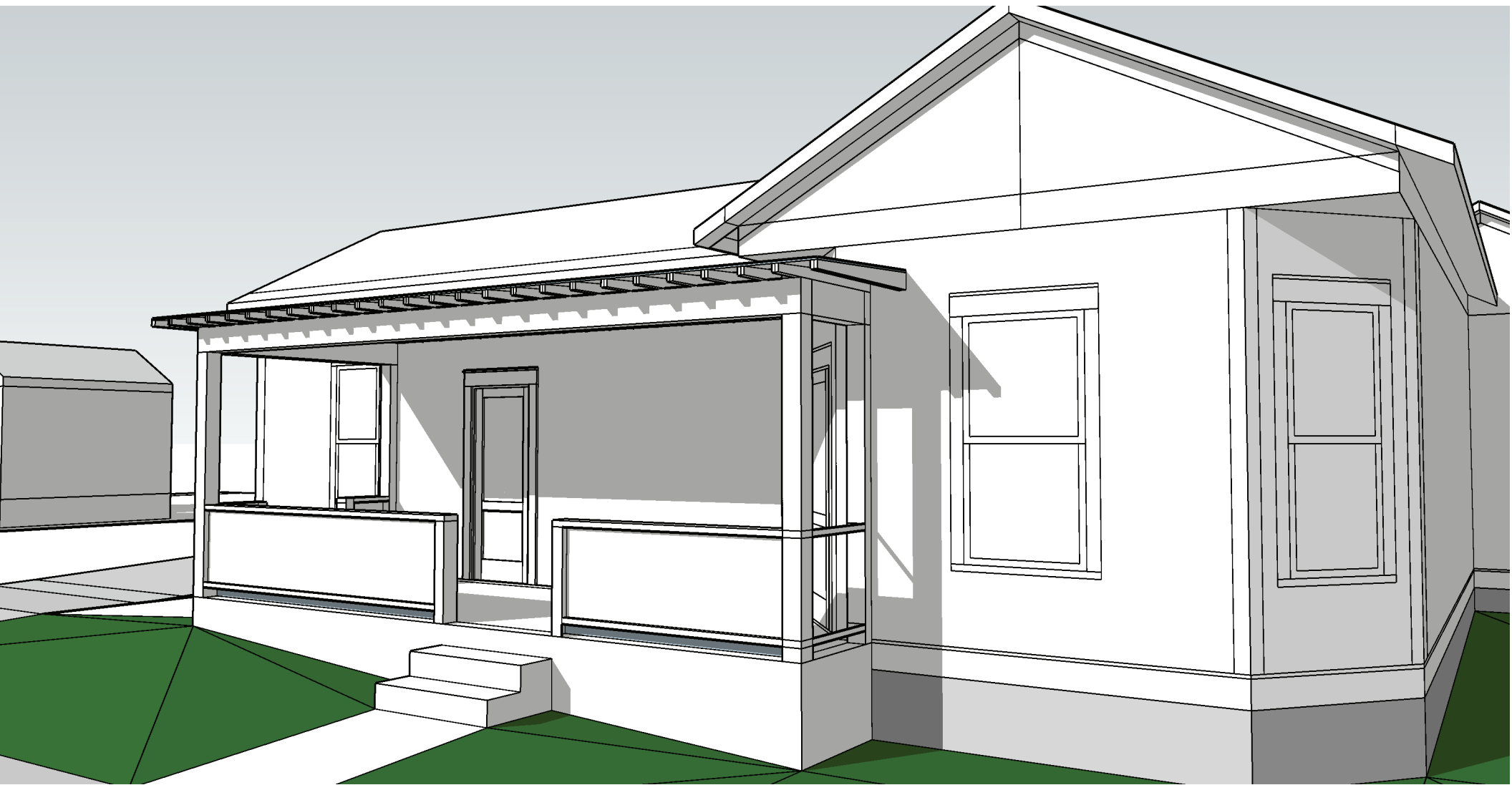
Addition 698 s.f. + 160 s.f. Side Porch + 170 s.f. Front Porch  
 Lot Area: 5,925 s.f. Impervious Surface Coverage: 2,536 s.f. (42.8%)  
 Impervious Surface Coverage (Maximum - 45%): 2,667 s.f. **169**

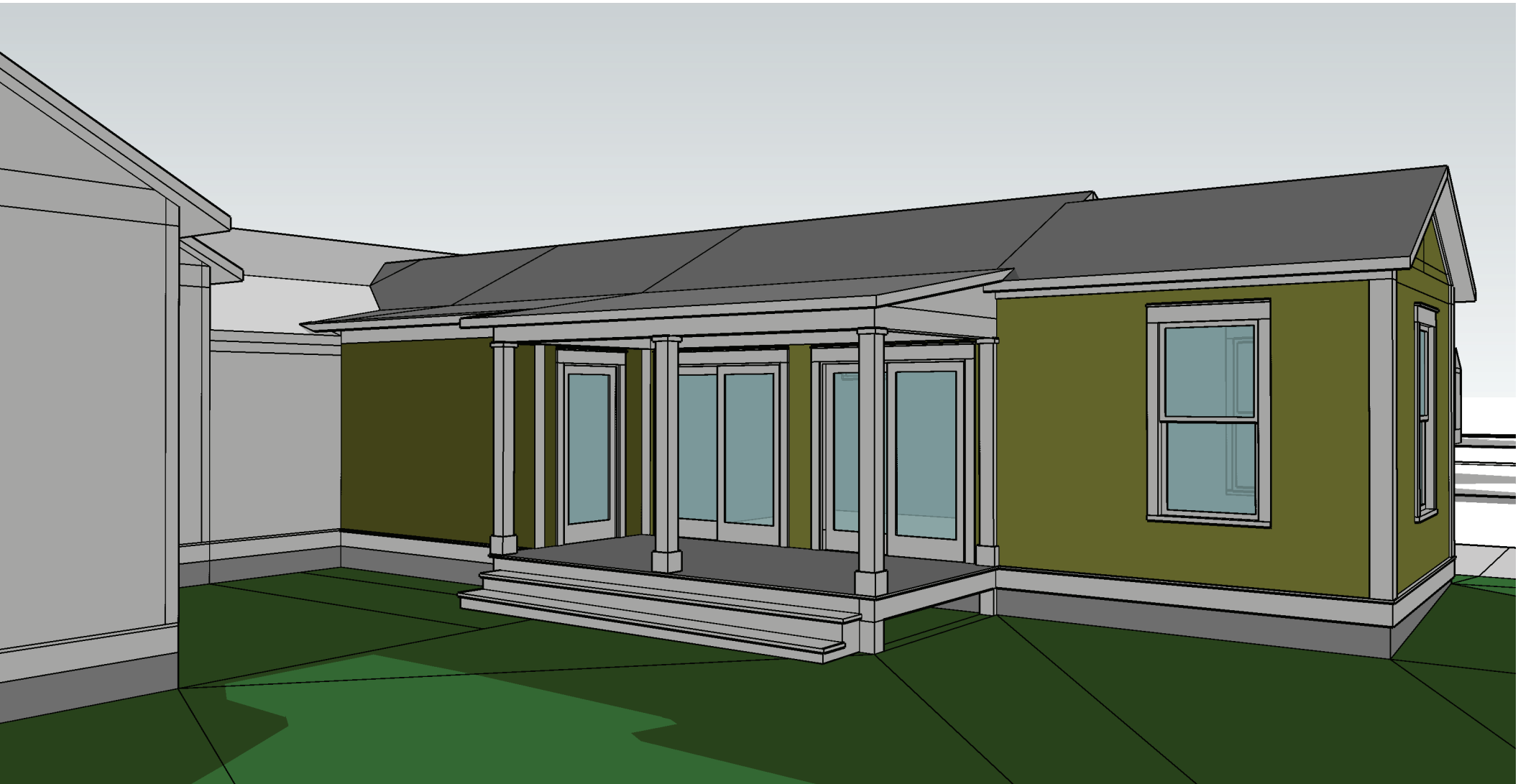


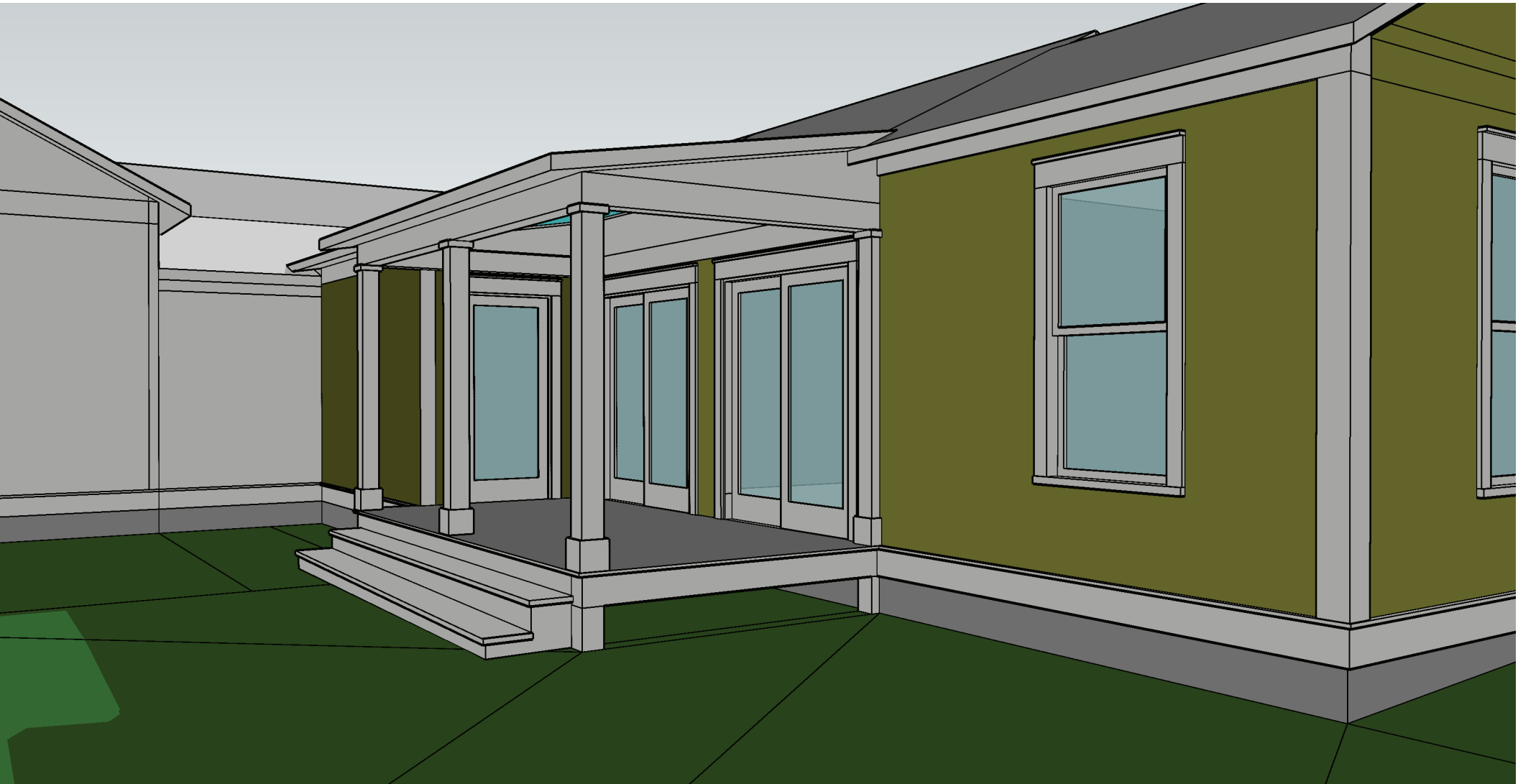




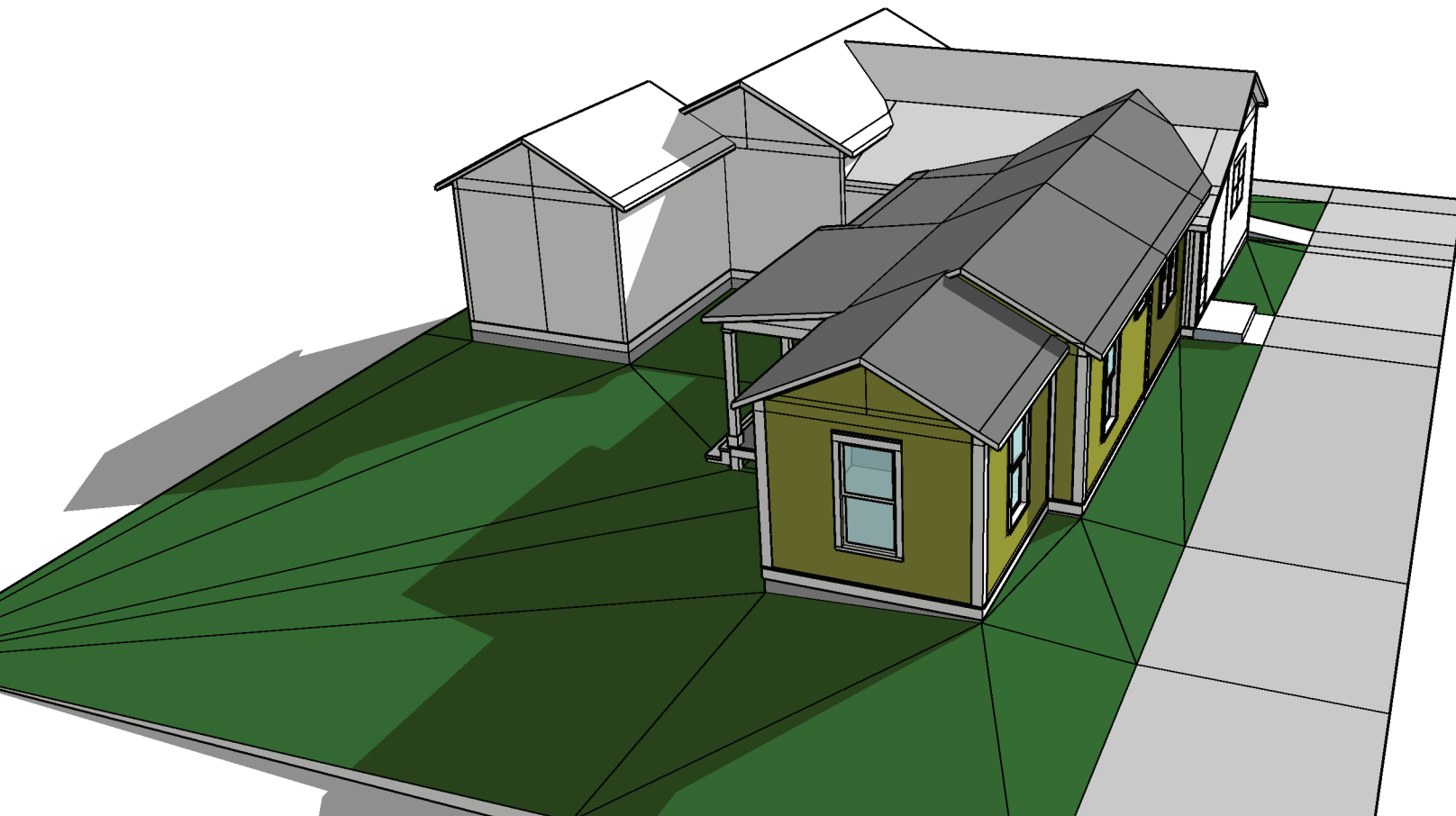


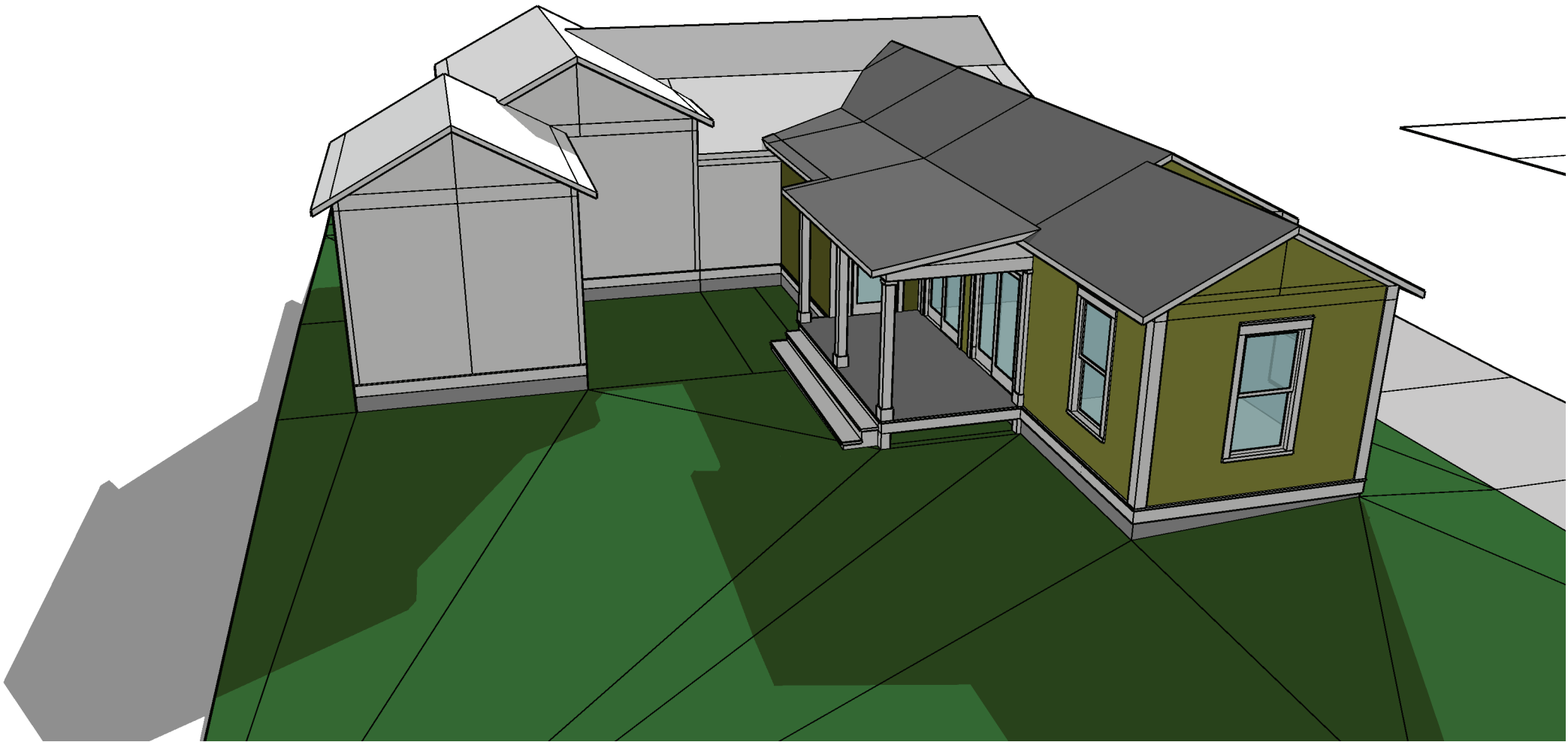


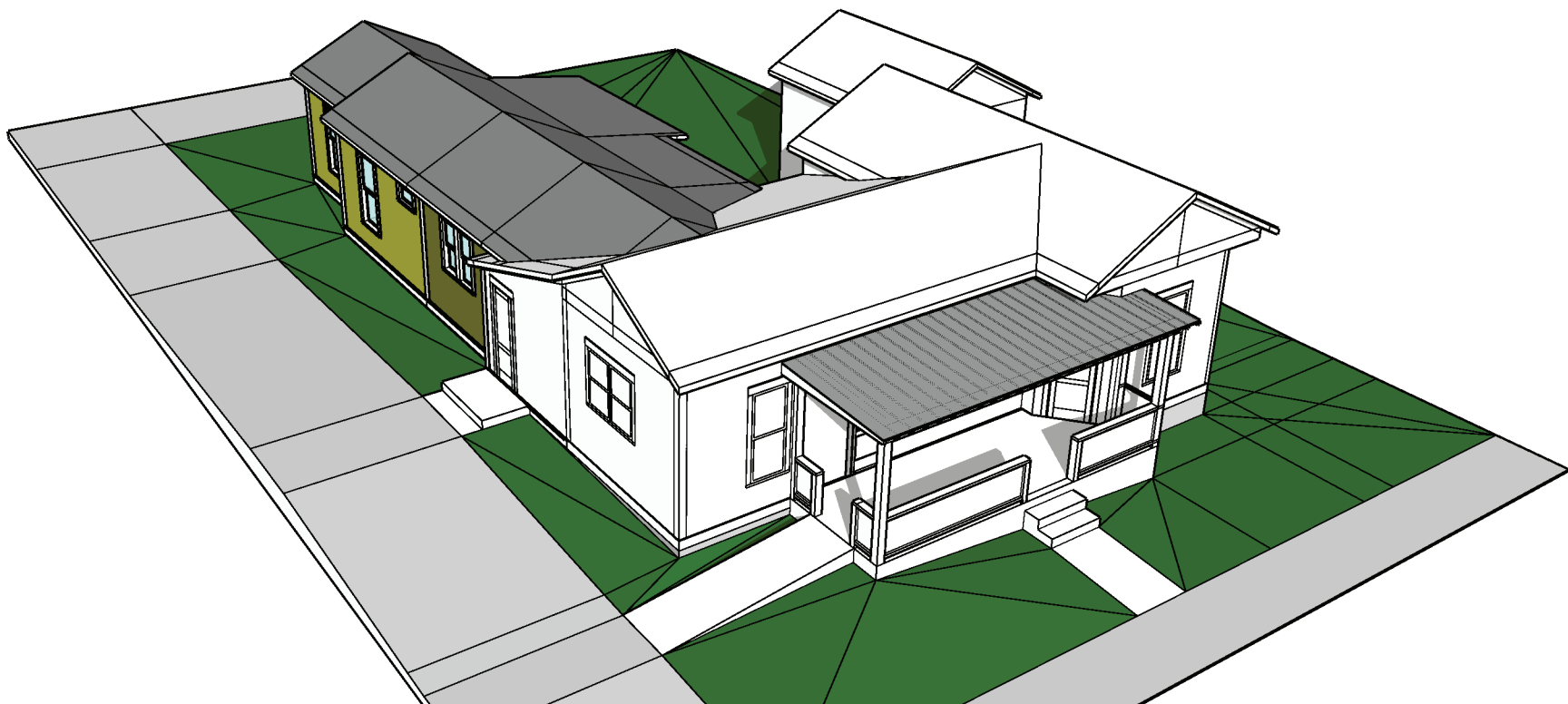












# THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



## ULTIMATE

Most extensive selection of features, options, and product types



## MODERN

Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers



## COASTLINE

Custom windows and doors for high velocity hurricane zones in the coastal Southeast



## ELEVATE

Wide range of options and product types



## ESSENTIAL

Curated options and product types

### MARVIN SIGNATURE® COLLECTION

### MARVIN ELEVATE® COLLECTION

### MARVIN ESSENTIAL™ COLLECTION

INTERIORS	<b>WOOD</b> 6 species options + custom 2 painted or primed options 6 stains + clear coat	<b>EXTRUDED ALUMINUM</b> 5 color options	<b>EXTRUDED ALUMINUM</b> 6 solid colors, 4 woodgrain finishes	<b>WOOD</b> Bare pine, painted Designer Black, painted White, or clear coat	<b>FIBERGLASS</b> 3 color options
EXTERIORS	<b>EXTRUDED ALUMINUM</b> 19 colors + custom <b>OR</b> <b>WOOD</b> 3 species + custom	<b>FIBERGLASS</b> 5 color options	<b>EXTRUDED ALUMINUM</b> 6 solid colors, 4 woodgrain finishes	<b>FIBERGLASS</b> 5 color options	<b>FIBERGLASS</b> 5 color options
SIZING	Standard + custom sizing for replacement, remodeling, or new construction	Custom sizing for remodeling or new construction	Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic	Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles	Available in 6 finish options with 1 door handle style
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products		All products rated for High Velocity Hurricane Zone (IZ4)	Hurricane Impact Zone 3, + PG 50 Products	

# DOUBLE HUNG



Double Hung windows in Stone White

## DOUBLE HUNG

- Two movable sashes with versatility to create ventilation at the top, bottom, or both.
- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate, making tilting and cleaning effortless.
- Up to PG50 performance rating on a majority of sizes.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Factory, reinforced, and field-mulling kits available.
- Available in standard and special sizes up to 4 feet wide by 6 feet 6 inches high.
- Coordinating Picture and Transom windows available in sizes up to 5 feet wide by 6 feet high.



INTERIOR

EXTERIOR



TILT MODE FOR EASY CLEANING

Double Hung windows in Stone White

# INSTALLATION MADE SIMPLE AND EFFICIENT

Marvin Essential windows and doors bring together design, quality, and performance in one streamlined collection. Essential products offer a number of installation options and accessories that make it easy to meet project demands.



**NAILING FIN**  
Snaps out for easy installation.



**CASEMENT/AWNING 3" SASH LIMITER**  
Permanently limits sash movement for safety and security.



**JAMB EXTENSION**  
Allows for easy finishing with traditional molding and trim.



**DOUBLE/SINGLE HUNG SASH LIMITER**  
Permanently limits sash movement for safety and security.



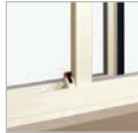
**J-CHANNEL**  
Quickly and easily finishes the exterior.



**NON-OPERABLE LOCK**  
Renders sash inoperable.



**SHEETROCK RETURN**  
Accommodates 1/2"-5/8" drywall installations.



**GLIDER WOOD**  
Limits opening to 4" while providing for full egress. ASTM F2090-10 compliant.



**3/4" RECEIVER**  
Works with thicker installation methods, including box jamba.



**CASEMENT WOOD**  
Limits opening to 4" while providing for full egress. ASTM F2090-10 compliant.



**FRAME EXPANDER**  
Provides installation flexibility.



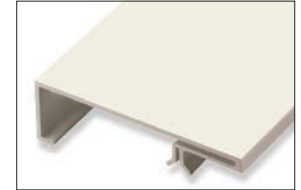
**DOUBLE/SINGLE HUNG WOOD**  
Limits opening to 4" while providing for full egress. ASTM F2090-10 compliant.

## EXTERIOR TRIM

Ultrex® Exterior Trim is offered with all rectangular Marvin Essential products in five exterior finishes. The durability, performance, and look of Essential collection windows and doors can be extended to the trim.



**BRICK MOULD**



**FLAT**

**BRICK MOULD**  
2" Brick Mould is available with or without 2 1/8" sill nosing.

**FLAT**  
3 1/2" Flat Trim is available in Flat and Flat Ranch configurations with or without 2 1/8" sill nosing.



**SILL NOSE**



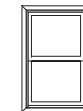
**CONNECTION BARB**

**SILL NOSE**  
2 1/8" Sill Nose provides authentic sill appearance.

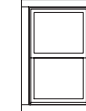
**CONNECTION BARB**  
Barb and receiver attachment method provides for quick, secure installation.

## TRIM CONFIGURATIONS

Multiple configurations are available in lineal lengths and factory pre-cut kits in all five Essential collection exterior colors.



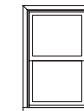
**BRICK MOULD**



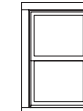
**FLAT**



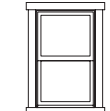
**FLAT RANCH**



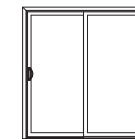
**BRICK MOULD WITH SILL NOSE**



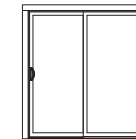
**FLAT WITH SILL NOSE**



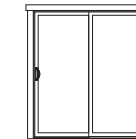
**FLAT RANCH WITH SILL NOSE**



**BRICK MOULD\***



**FLAT\***



**FLAT RANCH\***

\* Brick Mould, Flat, and Flat Ranch profiles are available on doors. Sill profiles are not included for door trim sets.

# HARDWARE STYLES

## WINDOW HARDWARE

Windows feature classic low-profile, durable hardware for clean aesthetics, safety, and security.



**SASH LOCK + KEEPER**  
Double Hung, Single Hung, and Glider



**FOLDING HANDLE**  
Casement and Awning

## DOOR HANDLE

Sliding Patio Doors feature classic profile durable hardware, a perfect blend of safety and security.

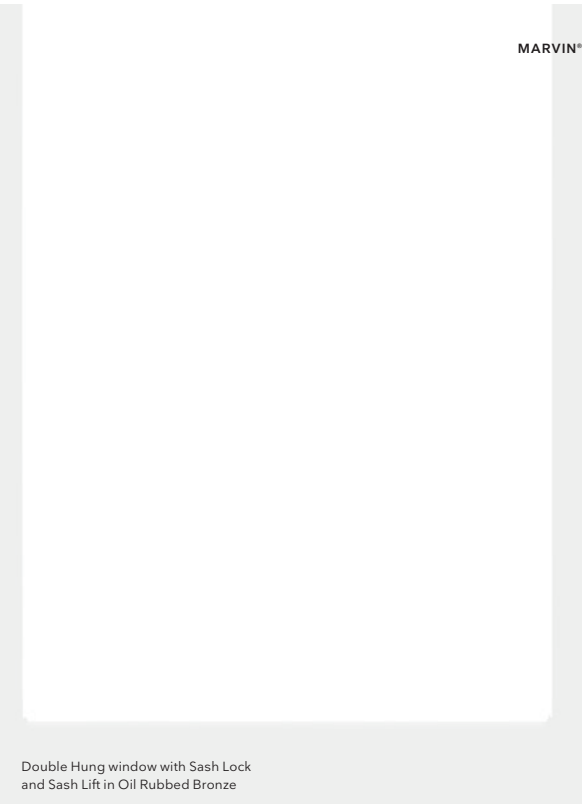
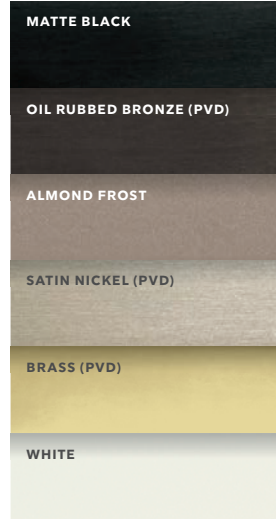


**CAMBRIDGE**

### DOOR HANDLE OPTIONS

- Available keyed-alike option (use one key on multiple locks, with up to 3 different keys on each project).
- Choose a distinct interior and exterior handle finish that matches or complements the interior and exterior color of your door.

## FINISHES



Double Hung window with Sash Lock and Sash Lift in Oil Rubbed Bronze



Essential Direct Glaze in Ebony and Ultimate Sliding Patio door in Designer Black

Choose from a variety of hardware finishes to complement your Essential collection windows and doors.

The Physical Vapor Deposition (PVD) process adds a layer of toughness to hardware exposed to environmental factors like direct sun and humidity. PVD finishes resist fading and discoloration, even in coastal areas. PVD has the highest grade corrosion resistant finish.

PVD finish is available on exterior door hardware in Oil Rubbed Bronze, Satin Nickel, and Brass.



Sliding Patio door with Cambridge hardware in Matte Black

Photo: Brett Youngberg

<b>STAFF RECOMMENDATIONS</b>	Address: 116 W 6th St.
<b>COA 23-54 116 W 6th St.</b>	Petitioner: Leighla Taylor (FAST DESIGNS)
<b>Application Date: 7/27/2023</b>	Parcel: 53-05-33-310-232.000-005
<b>RATING: OUTSTANDING</b>	Survey: c. 1890/1915, Chicago Style



**Background: Courthouse Square Historic District**

**Request: New Sign Placement**

**Guidelines: Courthouse Square Historic District Guidelines**

1. Care should be taken with the attachment of signage to historic buildings.
2. The scale of signage should be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings.
3. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.
4. Use of materials such as wood, stone, iron, steel, glass, and aluminum is encouraged as historically appropriate to the building.
5. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without additional drilling into stone, brick, or even mortar. If signage or signage parts must be attached



directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick. It is encouraged that signage be placed where signage has historically been located.

6. Signage which is out of scale, boxy or detracts from the historic facade is discouraged.
7. Care should be taken to conceal the mechanics of any kind from the public right of way.

**Staff Recommendation: To approve COA 23-54**

- The two signs, the sticker and hanging sign are in keeping with current signs in the building and do not harm the historic building materials.
- The hanging sign reuses the existing hooks and holes.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 116 W 6th St Ste 240, Bloomington, IN 47404

Parcel Number(s): 53-05-33-310-232.000-005

(OFFICE USE ONLY)

Filing Date: 7/27/2023

Case Number: COA 23-54

HPC Hearing Date: 8/10/2023

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Leighla Taylor (FASTSIGNS) Email: leighla.taylor@fastsigns.com

Address: 2454 S Walnut St Bloomington, IN 47401 Phone: 812-318-8029

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: CFC Inc. Email: Janda.Bain@cfcpproperties.com

Address: 320 W. Eighth St., Ste 200, PO Box 0729 Phone: 812.332.0053

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant’s Signature: Leighla Taylor Date: 6/21/2023

## INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M\\_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

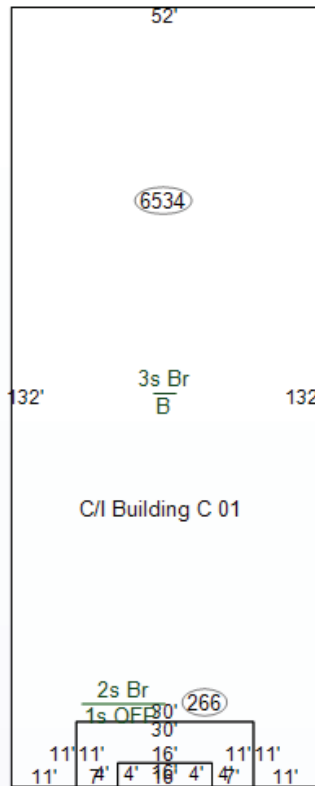
## CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)









SPA  
234 (318)  
LCO-HEAV





est.   
BLOOMING  
YOGA

  
**CARMIN PARKER**  
ATTORNEYS AT LAW

# THE WICKS COMPANY

**CARMIN PARKER**  
ATTORNEYS AT LAW

BLOOMINGTON  
YOGA CO.

**SYNOPSIS**<sup>®</sup>

**VI**  
NAILS  
(812) 333-2  
WALK-INS WEL

ASPEN HEIGHTS at The Wicks Building:  
116 W 6th St Suite 240, Bloomington, IN 47404

16.25" h x 42" w Cut white vinyl window graphics applied to exterior of window.  
21" h x 27.677" w Contour cut acrylic leaf to be hung from the interior ceiling  
behind vinyl text. Leaf will be hind using existing hooks/holes as much as possible

Overall size: 20.5" h x 42" w





**ASPEN  
HEIGHTS**

**MONDAY - FRIDAY**

**10:00AM - 7PM**

**SATURDAY**

**10:00AM - 5PM**

**SUNDAY**

**12:00 PM - 5PM**

*We're always  
open online!*

**ASPENBLOOMINGTON.COM**

**(812) 287-4660**

<b>STAFF RECOMMENDATIONS</b>	Address: 511 S Euclid Ave.
<b>COA 23-56 511 S Euclid Ave.</b>	Petitioner: A'ame Joslin
<b>Application Date: 7/24/2023</b>	Parcel: 53-08-05-113-015.000-009
<b>RATING: CONTRIBUTING</b>	Survey: c. 1920, California Bungalow
	
<b>Background: Greater Prospect Hill Historic District</b>	
<b>Request: Alterations to the detached garage</b>	
<b>Neighborhood Comments: Pending</b>	
<b>Guidelines: Greater Prospect Hill Historic District</b>	
Pg. 26 - Removal of Original Materials	
Definition: In general, original material refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)	
1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end	

shingles.

2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.

**Staff Recommendation: To approve COA 23-56**

- The project proposes to convert the existing detached garage into an accessory dwelling unit by removing the garage door and adding an additional door and windows on the side.
- There is removal of original materials, however, the changes do not impact the front of the building.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 511 S. Euclid Ave.

Parcel Number(s): \_\_\_\_\_

(OFFICE USE ONLY)	
Filing Date: _____	<u>7/27/2023</u>
Case Number: _____	<u>COA 23-56</u>
HPC Hearing Date: _____	<u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: A'ame Joslin Email: aame.joslin@gmail.com

Address: 511 S. Euclid Ave., Bloomington, 47403 Phone: 812-345-3898

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 7-21-2023



**511 S. Euclid**  
Certificate of Appropriateness  
July 21, 2023

**Nature of Proposal**

I purchased my home at 511 S. Euclid Ave. in December 2020 where I am the primary occupant along with my son (age 11) and stepdaughter (age 20). My father (age 70) is no longer able to live on his own and has requested for me to convert my detached garage located in my back yard into an ADU. Given the current city's push for denser neighborhoods and the use of ADUs to support housing initiatives, I am seeking to convert the garage into an ADU.

The exterior of the garage will change in the following ways:

1. The garage door facing south will be removed and a window approximately 2ftX4ft will be installed. The remaining open space left from the garage door will be framed and sided using the existing wood siding (see pictures).
2. The window on the west side of the structure will be removed and replaced with siding.
3. A mini-split and its exterior item will be placed on the west side of the property adjacent to the former window and below the window.
4. A new front door will be placed on the north side of the property with access to the gate leading to the alley on the east side of the property.
5. A wooden cover (awning) approximately 3ftX3ft will be placed on the north side of the structure over the new front door.
6. Two windows will be added to the east side of the structure approximately 2ftX4ft each.
7. A window will be added to the east side of the structure adjacent to the new front door.

**Proposed Materials**

Materials will remain consistent with the current structure's materials (wood). In efforts to use recycled and pre-owned products for sustainability, current examples of windows and doors do not exist. These will be provided once the site is approved and purchases at re-store, etc. can be made. However, the doors and windows will remain consistent with the main home and the surrounding neighbors' homes.



S Maple ST

S Maple ST

W Howe ST

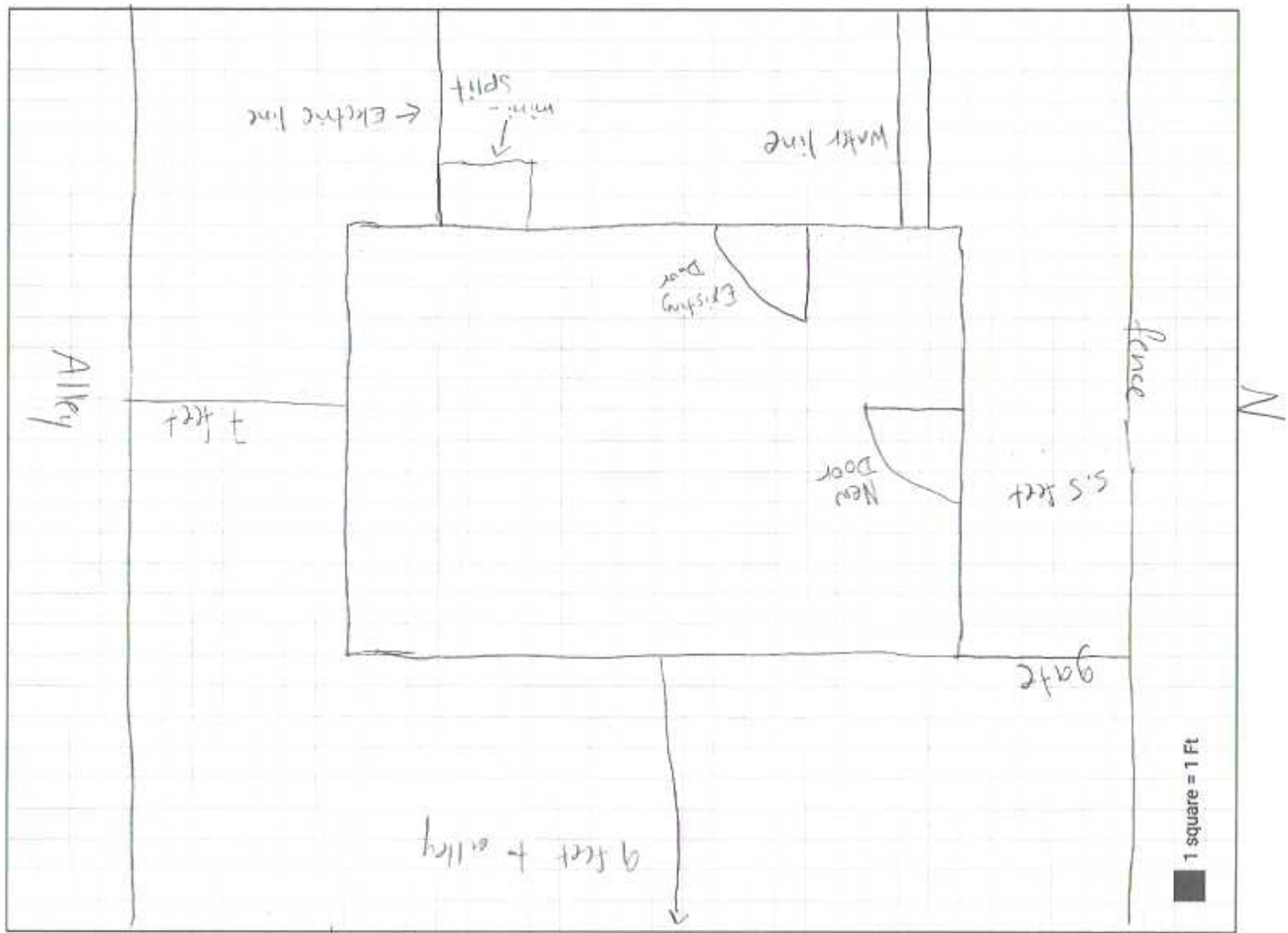
Bloomington

S Euclid AVE

S Euclid AVE

W Howe ST

Perry



1/4 S11 S. Euclid ABU Plan Alley

1 square = 1 Ft

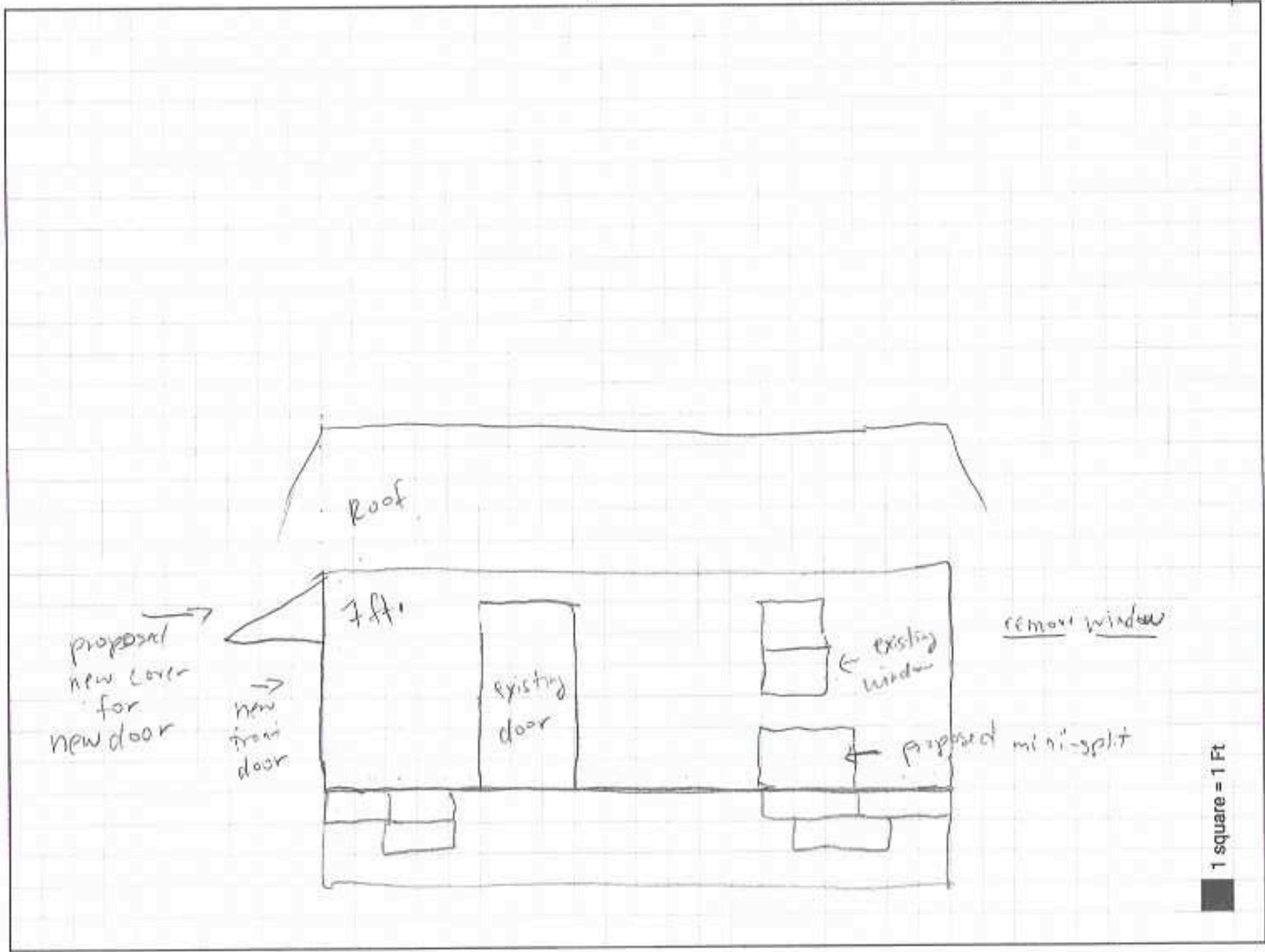
E

511 S. Euclid Ave. 2/4

N

S

W



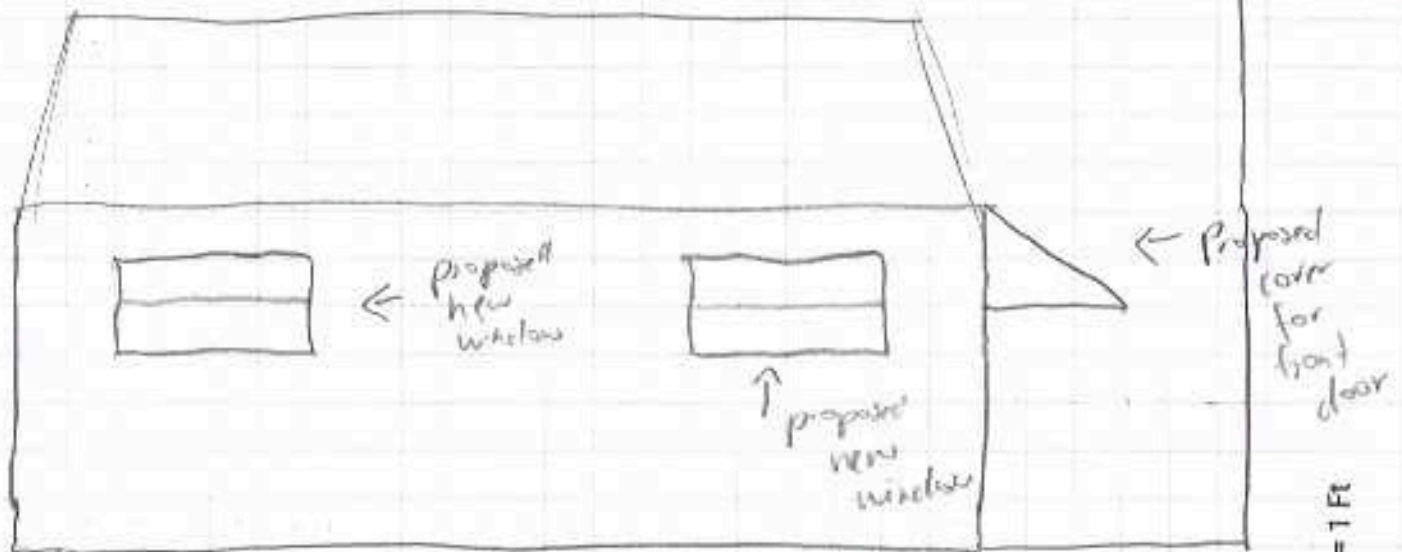
1 square = 1 Ft

W

3/4

S

N



E

Alley

1 square = 1 Ft



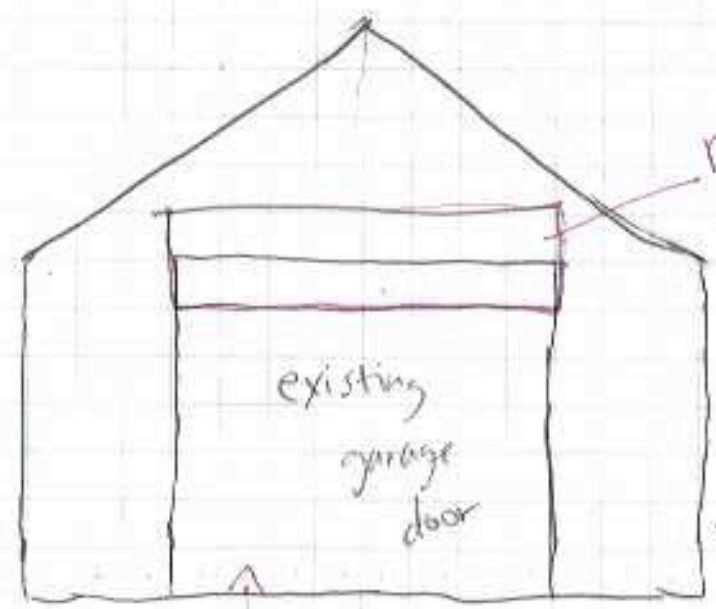
4/4

N

1 square = 1 Ft

W

To main house



new window proposal

existing garage door

replace with siding\* (same as existing)

see photos

- 1. remove garage door
- 2. replace with one large window similar to main home

Alley E

S Alley









Det Garage



<b>STAFF RECOMMENDATIONS</b>	Address: 405 N Oak St.
<b>COA 23-58 401 N Oak St.</b>	Petitioner: Lisa-Marie Napoli
<b>Application Date: 7/27/2023</b>	Parcel: 53-05-32-403-032.000-005
<b>RATING: NONCONTRIBUTING</b>	Survey: 1958, Ranch



**Background: Near West Side Historic District**

**Request: New Addition**

**Neighborhood Comments:** I am pleased to report that the committee found no issues of concern, and expressed no objections to her plans (Karen Duffy, July 17, 2023).

**Guidelines: Near West Side Conservation District Guidelines**

**Staff Recommendation: Approve COA 23-58**

- The addition is compatible in size and scale with the original building.
- It differentiates enough with the use of materials to not confuse onlookers.
- The building is considered Non-Contributing, however, staff has reason to believe that it should be classified as a Contributing ranch style house, as its tax records indicate the building originally built in 1958 instead of 2012 as is recorded in SHAARD.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 405 N. OAK ST.

Parcel Number(s): 67

(OFFICE USE ONLY)	
Filing Date:	<u>7/27/2023</u>
Case Number:	<u>COA 23-58</u>
HPC Hearing Date:	<u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Lisa-Marie Napoli Email: lisa.marie.napoli@gmail.com

Address: 405 N. Oak St. 47404 Phone: 812-219-9310

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal. *email- 7/27/23*
- Written description of all of the proposed materials to be used. *email attachment - 7/20/23*
- Between 3 and 5 photographs of the historic site and/or structure before changes. *email-7/27/23*
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated. *email attach - 7/20/23*  
*email- 7/27/23*

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: *Lisa Marie Dyplic* Date: *7/27/23*

**Below is a description of the nature of the proposal for the addition at 405 N. Oak Street.**

---

After the current back porch wood deck is removed, I plan to have a contractor build an addition that includes a full bath, a storage area, and a screen porch with an outdoor deck attached to it. With a growing teenager and pets in my home, there is a need for more room to accommodate us. You can see the blueprint plans and list of materials in detail in the document drawn up by the architect. Also, please note that I have already received approval from both Bloomington Restorations Inc. and the NWSNA Historic District subcommittee for these plans.

**Near West Side Neighborhood Construction Subcommittee Comments:**

Gloria,

The Near West Side Design Review Committee met today with Lisa-Marie Napoli to consider her proposal for an addition to her property. In Peter's absence, I chaired the meeting.

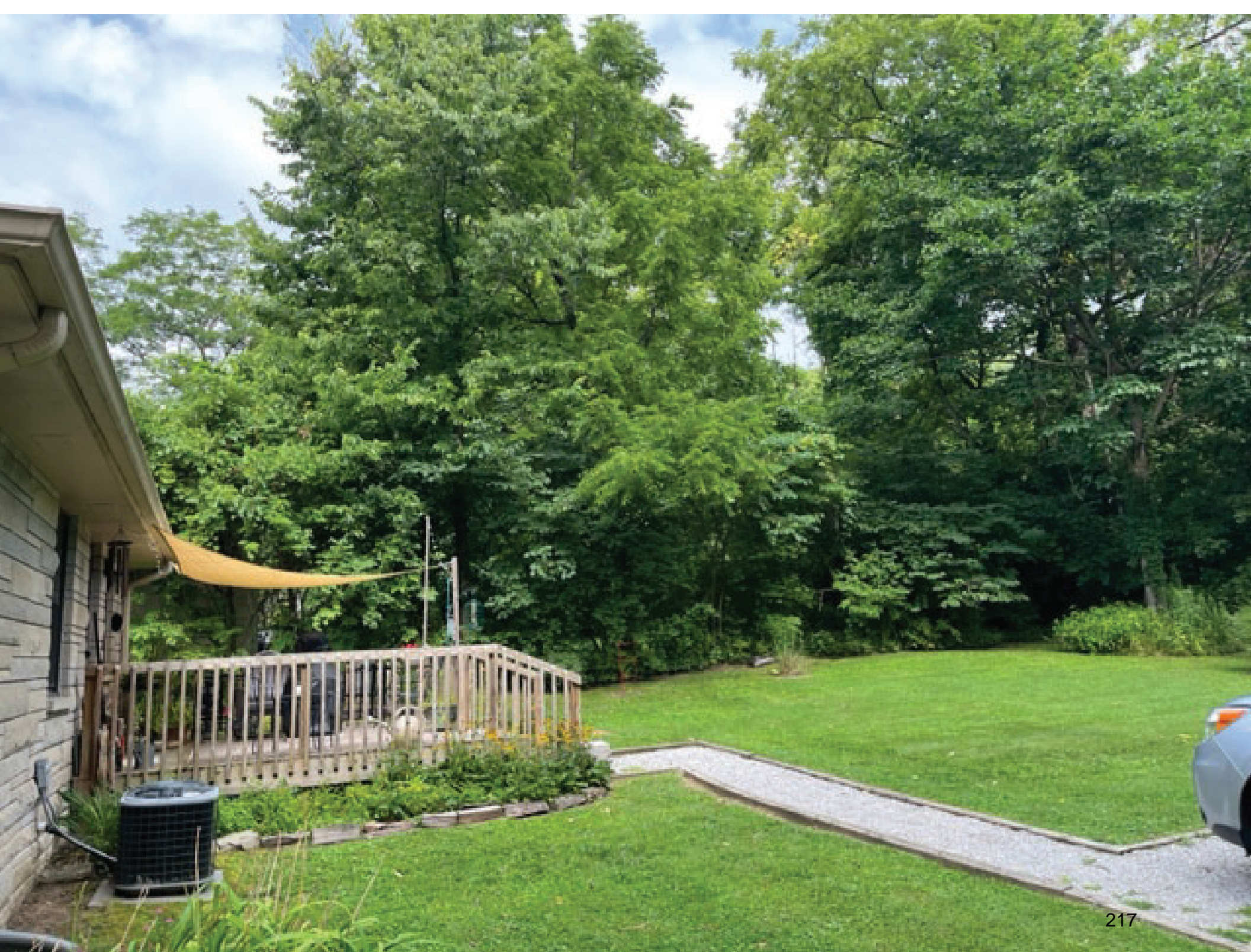
I am pleased to report that the committee found no issues of concern, and expressed no objections to her plans.

Karen Duffy (July 17, 2023)







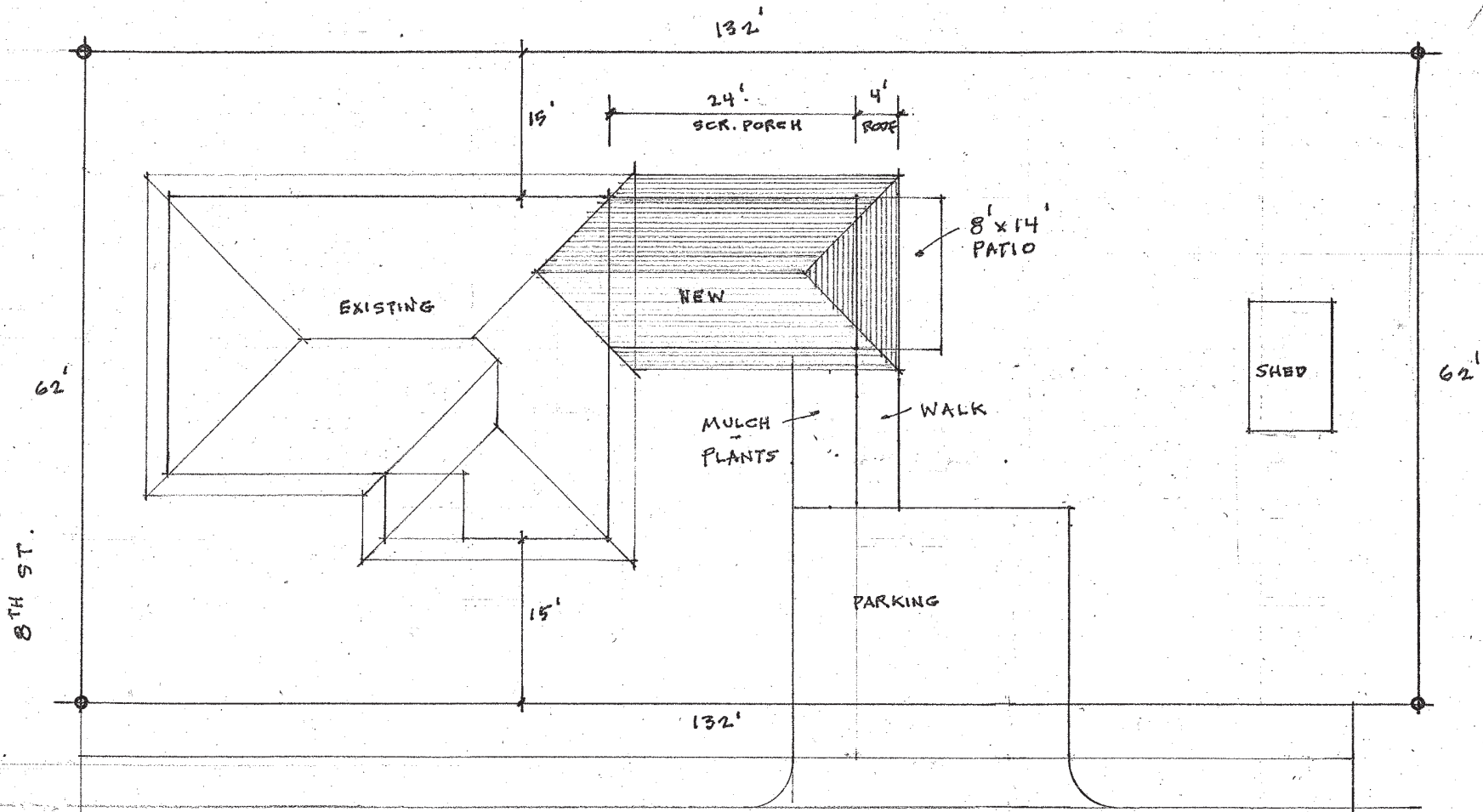


**LISA MARIE NAPOLI ADDITION  
405 N. OAK STREET, BLOOMINGTON, IN**

**Construction List of Materials**

Foundation:	Split-faced block where exposed
Floor framing:	4" Concrete slab, smooth w/ perimeter foam insulation
Subfloor:	¾" Avantech plywood
Finished floor:	Ceramic tile in entry and bath areas
Windows:	Dark brown – Pella Lifestyle – clad wood (1) 25" x 30" awning window in bath
Exterior door:	Pella Lifestyle – dark brown (2) 36" x 82" doors w/ dark aluminum screen
Siding:	L.P. Smart siding horizontal 7" lap Solid color acrylic Cabot stain Color = Cape Cod Gray
Trim:	L.P. Smart trim Color = Dark Gray
Shingle roof:	Match existing house roof and gutters

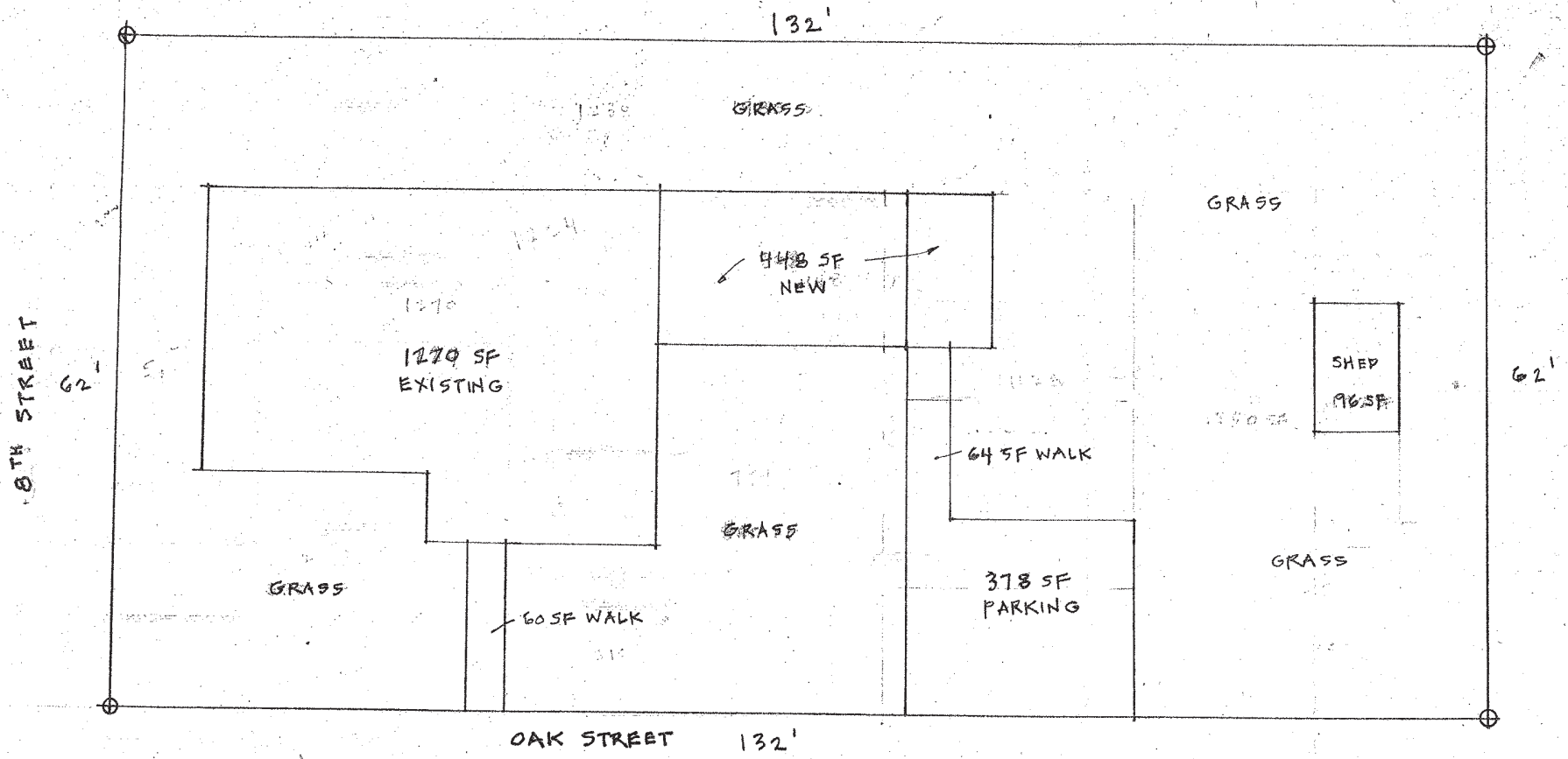




# SITE PLAN

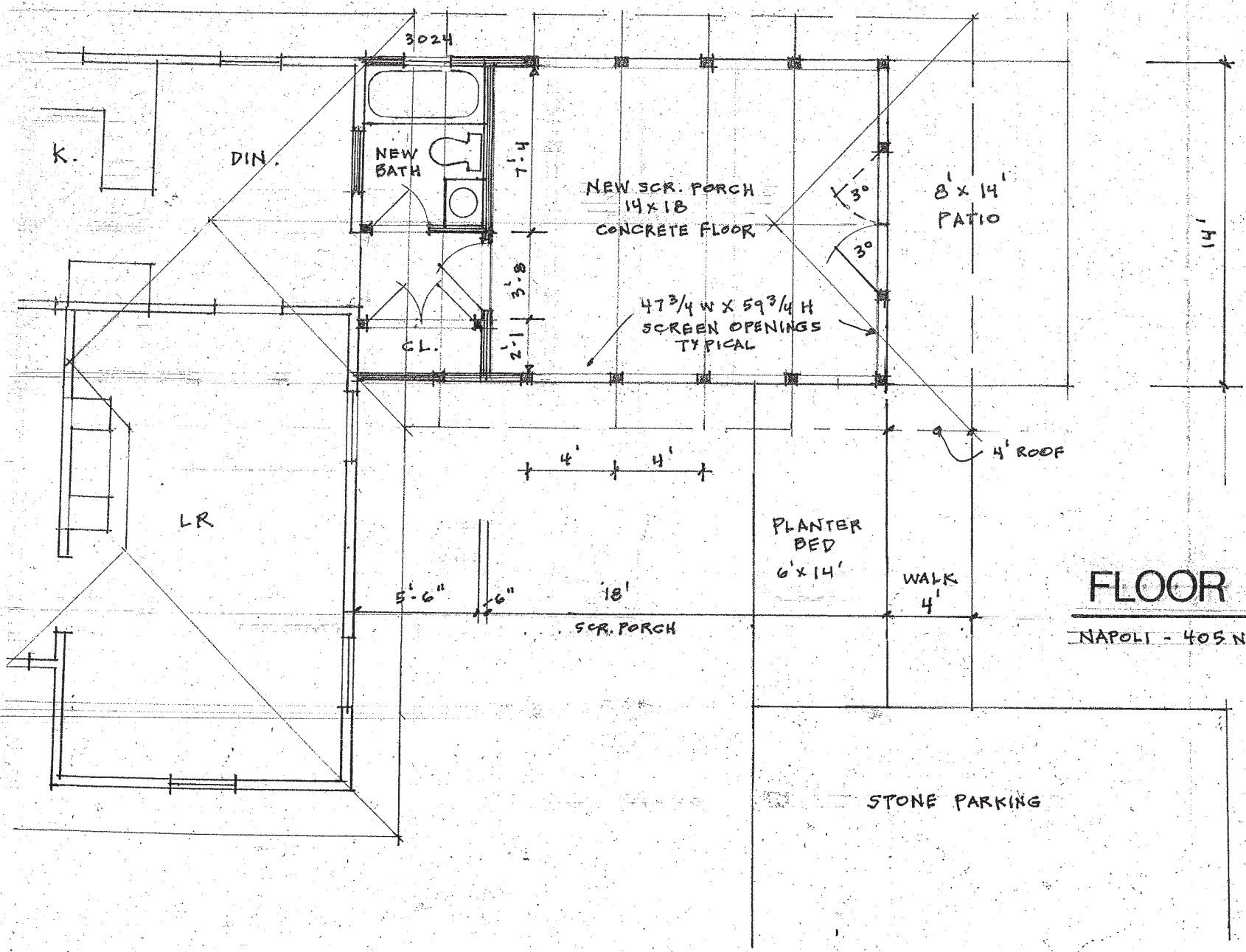
NAPOLI - 405 N. OAK STREET

SCALE 1" = 10'



405 N. OAK ST. - GREEN SPACE

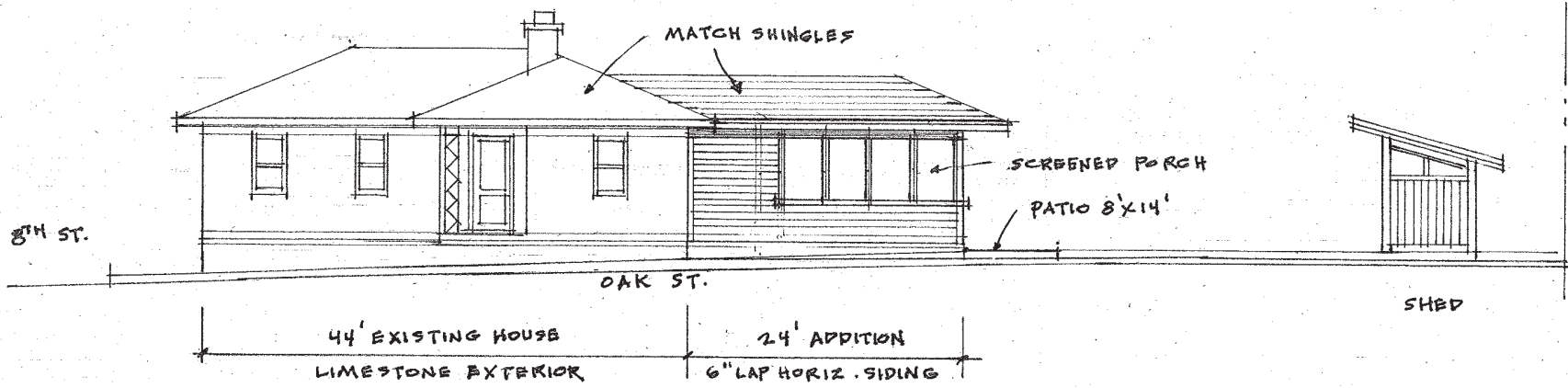
BUILDING = 2316 SF = 28% BUILDING  
 PROPERTY = 8184 SF  
 72% GREEN SPACE



# FLOOR PLAN

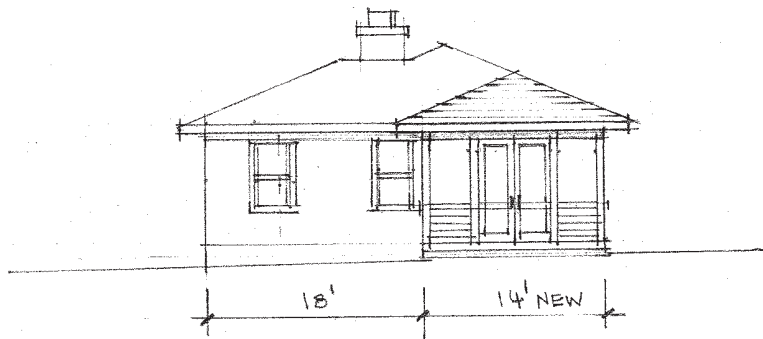
NAPOLI - 405 N. OAK STREET

SC: 1/4" = 12"

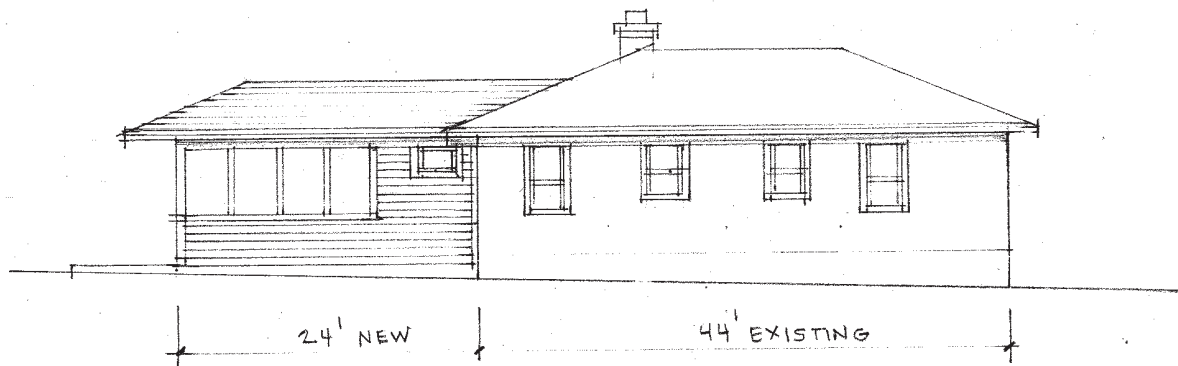


# EAST ELEVATION

NAPOLI - 405 N. OAK STREET



NORTH ELEVATION



WEST ELEVATION



<b>STAFF RECOMMENDATIONS</b>	Address: 712 W 3rd St.
<b>COA 23-61 712 W 3rd St</b>	Petitioner: Dennis Burch and Marc Cornett
<b>Application Date: 7/27/2023</b>	Parcel: 53-05-32-419-008.000-005
<b>RATING: N/A</b>	Survey: c. 1910, Pyramid roof cottage - empty



**Background: Greater Prospect Hill Historic District Guidelines**

**Request: New Construction**

**Guidelines: Greater Prospect Hill Historic District Guidelines**

**Building Materials (pg. 16)**

1. Building materials, whether natural or man-made, should be visually compatible with surrounding historic buildings.
2. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
3. Brick, limestone, clapboard, cement board, wood, shingles, stucco

**SETBACK (pg. 17) RECOMMENDED**

1. A new building’s setback should conform to the setback pattern established by the existing block context. If the development standards for the

- particular zoning district do not allow appropriate setbacks, a variance may be needed
2. On corner sites, the setbacks from both streets must conform to the context
  3. Structures that are much closer or further from the street than the vast majority of houses in a given block should not be used to determine appropriate setback.

**ORIENTATION Definition:** The direction that a building faces.

New buildings should be oriented toward the street in a way that is characteristic of surrounding buildings. (See Introduction for information about the traditional forms in the neighborhood.)

**BUILDING ENTRY Definition:** The actual and visually perceived approach and entrance to a building.

Entrances may characteristically be formal or friendly, recessed or flush, grand or commonplace, narrow or wide. New buildings should reflect a similar sense of entry to that which is expressed by surrounding historic buildings.

**SPACING (PG. 18)**

New construction that reflects and reinforces the spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.

**BUILDING HEIGHT (PG. 18)**

1. Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range.
2. Cornice heights, porch heights and foundation heights in the same block face and opposing block face should be considered when designing new construction.
3. Consider the grade of the lot against the grade of the adjacent sidewalk as well as the grade of the adjacent neighbor.

**MASS (PG. 19)**

1. The total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

**Staff Recommendation: To approve COA 23-61**

- The project is a primary building on a site that is a combination of a developed site and an isolated lot. The new structure faces the alley rather than the main road.
- The proposal in general is to scale with material, fenestration placement, and setbacks similar to the neighboring structures.



# CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

## APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

### INFORMATION ABOUT THE PROPERTY

Address of Property: 712 W. 3rd Street

Parcel Number(s): 53-05-32-420-007.000-005

(OFFICE USE ONLY)
Filing Date: <u>7/27/2023</u>
Case Number: <u>COA 23-61</u>
HPC Hearing Date: <u>8/10/2023</u>

### Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: \_\_\_\_\_

### RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

### APPLICANT INFORMATION:

Name: Dennis G. Burch - mca Marc Cornett Architects Email: dgurch58@yahoo.com

Address: 101 E. Kirkwood Ave., Bloomington, IN 47408 Phone: (812) 327-6185

### PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: Joyce Searls (Gratitude Trust) Email: joyce@searls.com

Address: 712 W. 3rd St., Bloomington, IN 47404 Phone: (805) 570-1042

**PROPOSED WORK (Check all that Apply):**

- New construction
  - Principal building
  - Accessory building or structure
  - Addition to existing building
- Demolition
  - Full Demolition
  - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
  - Window replacement
  - Door replacement
  - Siding
  - Roof material
  - Foundation
  - Other façade element: \_\_\_\_\_
- New Signage
- Alterations to the yard
  - Alteration to fences, walls
  - Tree removal
- Other(s): \_\_\_\_\_

**ADDITIONAL REQUIRED DOCUMENTS**

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 7/26/23

## INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map](https://bton.in/M_pUy) at [https://bton.in/M\\_pUy](https://bton.in/M_pUy) provides the historic district and historic building survey. You need to open the layers and click on "Historic Sites and Survey" to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington's Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

## CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps](https://monroein.elevatemaps.io/) at <https://monroein.elevatemaps.io/> or [Google Maps](https://maps.google.com/) (maps.google.com) are acceptable). In the case that the historic district in which the property is located has a construction subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

Searls W. 3<sup>rd</sup> St. Residence  
Bloomington, IN 47404

July 26, 2023

---

**Description of Project and Materials:**

1. New construction of two-story residential structure (wood framed – 20'-0" x 48'-0" footprint) with partial basement and two car garage consisting of Main Floor living area and kitchen and Second Floor bedrooms/bath areas (with three bedrooms total). The building incorporates covered balconies/porches at Second Floor with exterior covered deck off of Main Floor living area and kitchen.

**Floor Area:**

**Basement: 556 s.f.**

**First Floor:**

**Living Area: 544 s.f.**

**Garage: 400 s.f.**

**Second Floor:**

**Bedrooms/Living Areas: 762 s.f.**

**Exterior Covered Balconies: 112 s.f.**

**Total Floor Area: 2,374 s.f.**

2. The following is a description of the proposed building materials:  
Exterior Siding - James Hardie fiber cement lap siding (smooth finish, painted – typical).  
Exterior Trim – Boral TruExterior Trim (smooth finish, painted – typical).  
Exterior Columns and Beam Trim – Boral TruExterior Trim (smooth finish, painted – typical).  
Exterior Doors – Therma-Tru Fiber Classic Mahogany Collection.  
Exterior Windows – Marvin Ultrex/Essential High-Density Fiberglass.  
Exterior Wood Deck Flooring – Azek TimberTech Composite Exterior Decking.  
Foundation – Reinforced poured concrete footings and foundation.  
Sheathing:  
Flooring – ¾" 'Advantech' OSB subfloor (glued and screwed – typical).  
Exterior Walls – ½" Advantech' OSB wall sheathing and tape (typical).  
Roof – 5/8" 'ZIP' System exterior OSB roof sheathing and tape (typical).  
Roofing:  
Base Bid – Galvalume standing seam metal roofing (with matching 3" dia. galvalume downspouts and 5" half-round galvalume gutters with hangers).  
Alternate Bid - Owens Corning Fiberglass Roofing Shingles (3 tab) with standard residential aluminum downspouts/gutters.  
Insulation:  
Base Bid – Spray foam insulation at box sills, exterior walls, sloped ceilings and attic/flat ceiling areas indicated.  
Alternate Bid – Residential batt insulation at all locations indicated above.
3. Bid shall include costs/pricing for general site excavation and preparation and all required electrical, mechanical and plumbing.
4. All casework, finishes, lighting and plumbing fixtures shall be coordinated with the Owner.
5. Finished site work, landscaping, wood screen fencing and decorative fencing shall be done under separate contract and coordinated with the Owner.

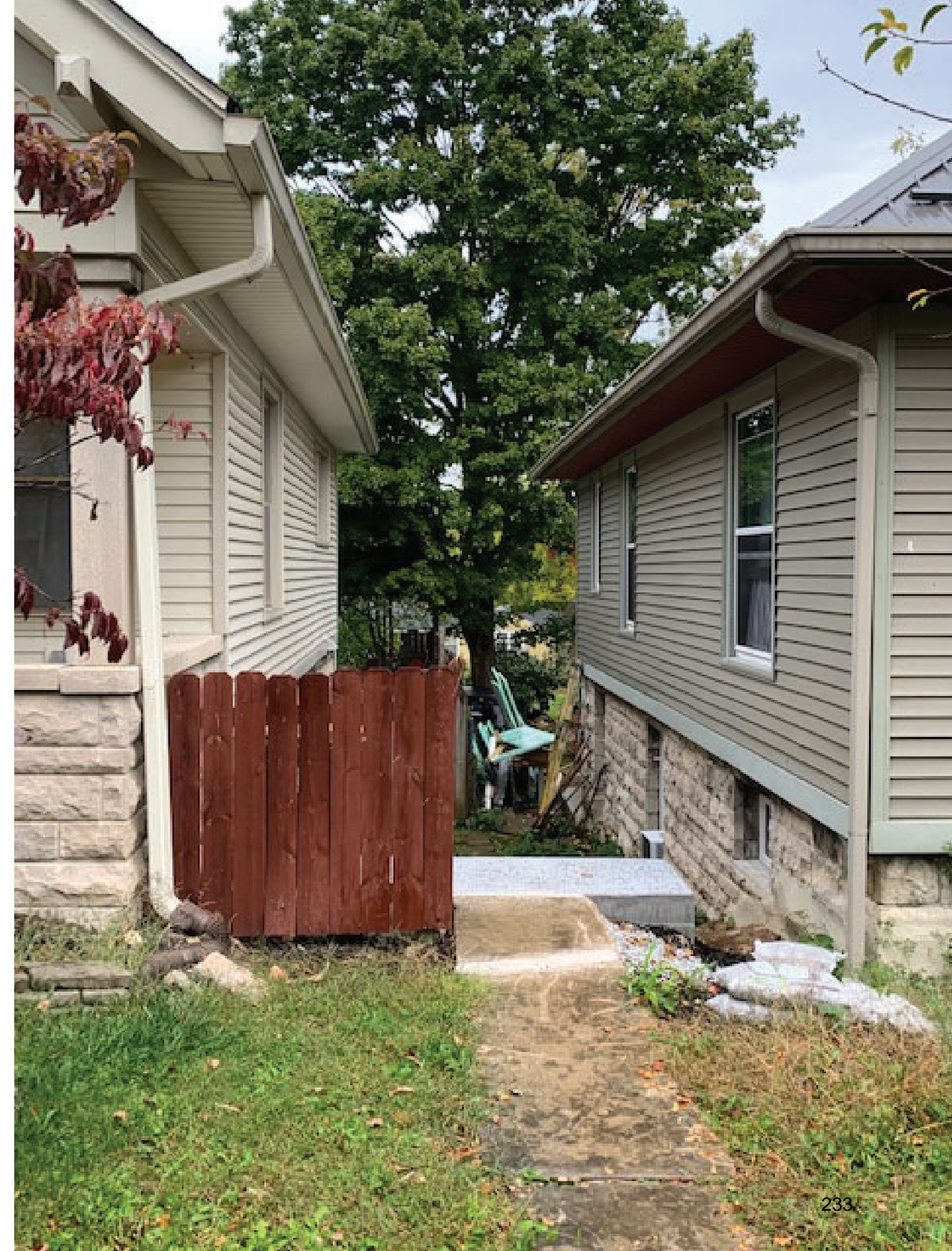
**Estimated Project Construction Schedule:**

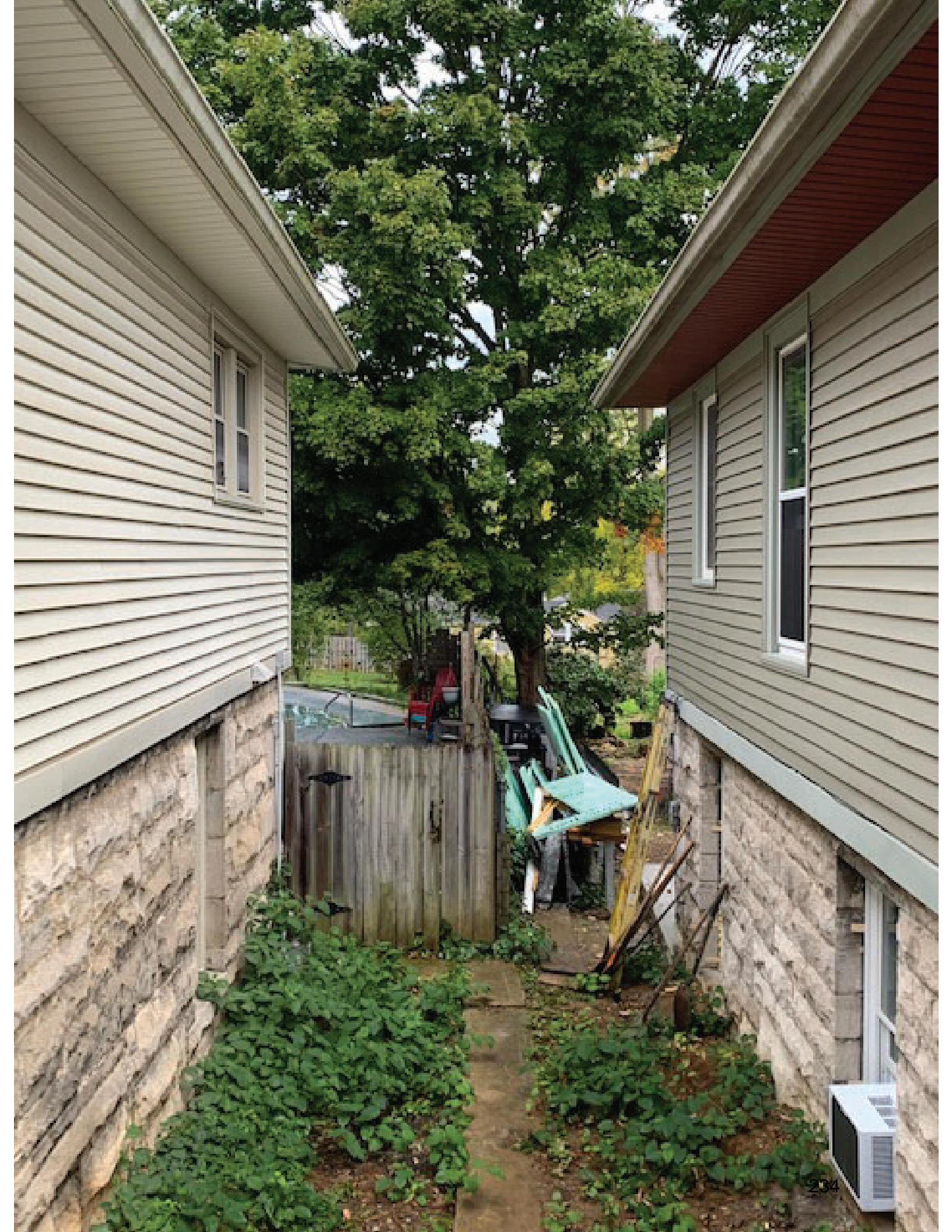
1. Construction to begin in the Fall of 2023 with completion/occupancy by April 1, 2024.





















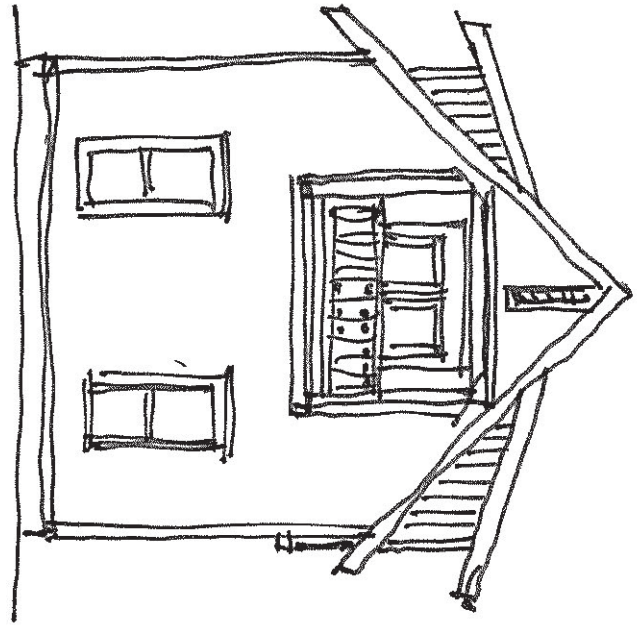










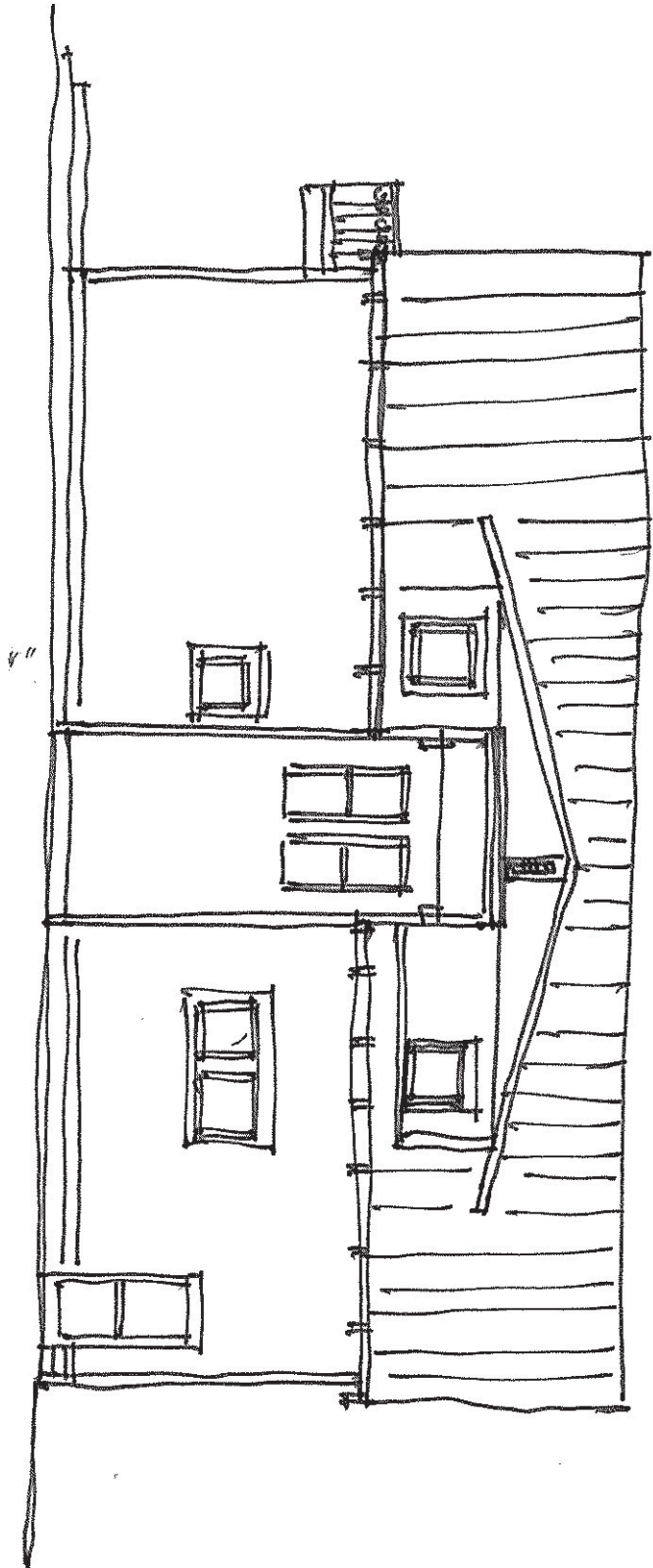


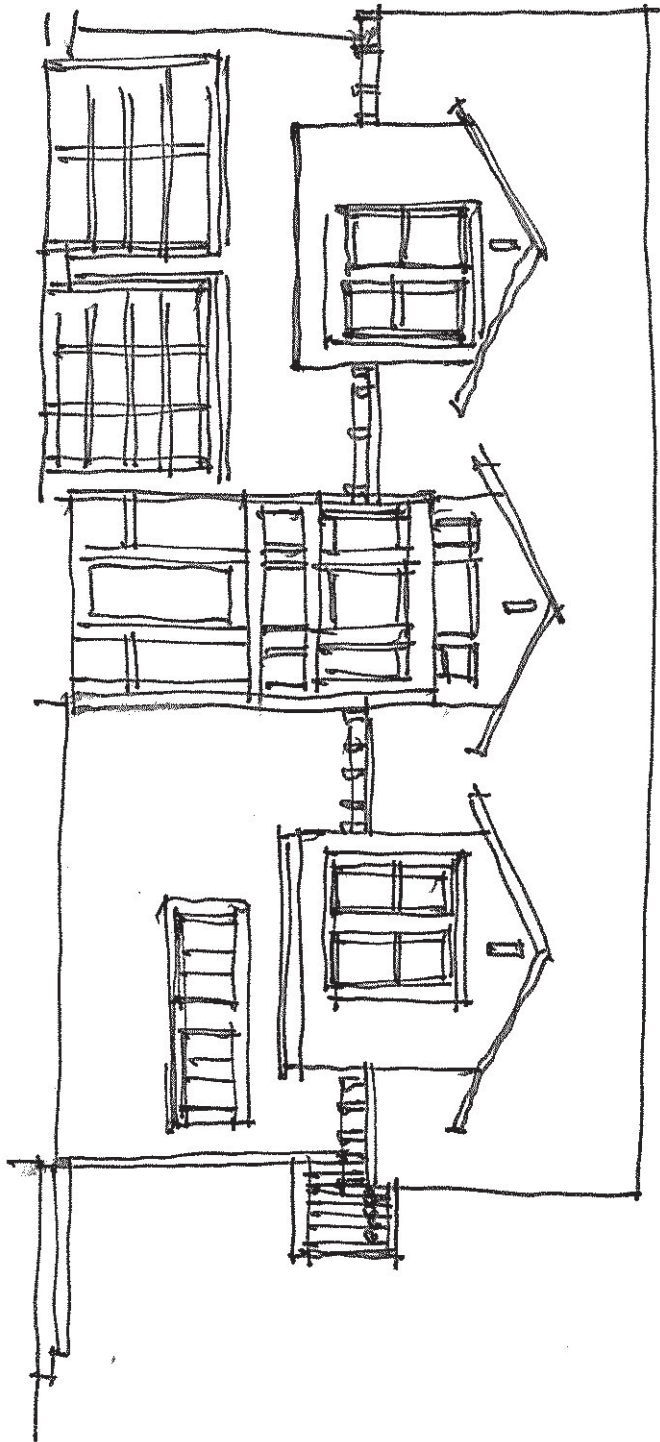
B  
North Elevation  
Scale: 1/8" = 1'-0"



A  
South Elevation  
Scale: 1/8" = 1'-0"

A East Elevation  
Scale: 1/8" = 1'-0"





A  
West Elevation  
Scale 1/8" = 1'-0"









REVISED

Proposed:  
**SEARLS RESIDENCE**  
712 W. Third Street  
Bloomington, Indiana

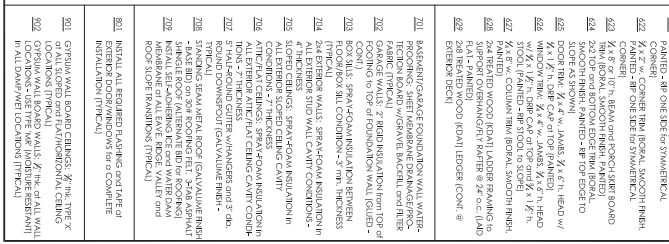
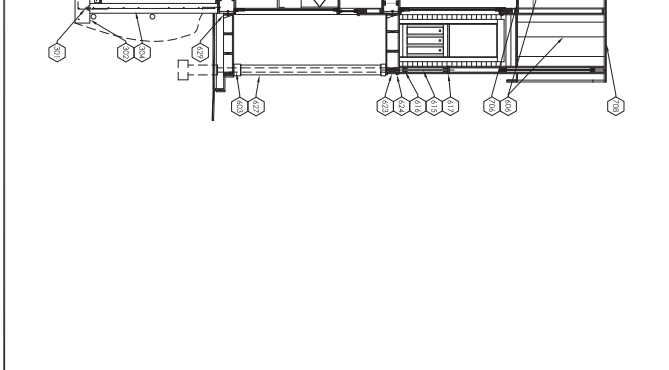
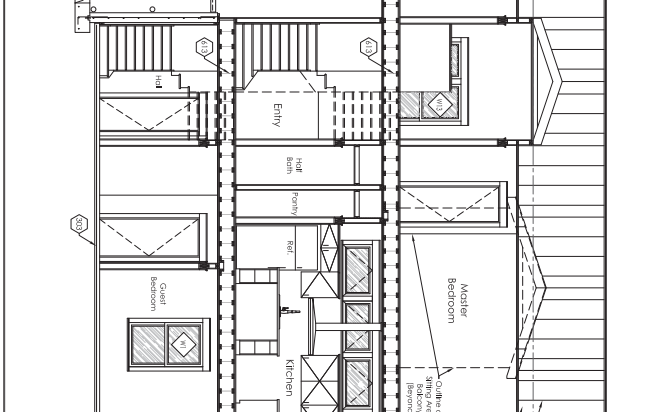
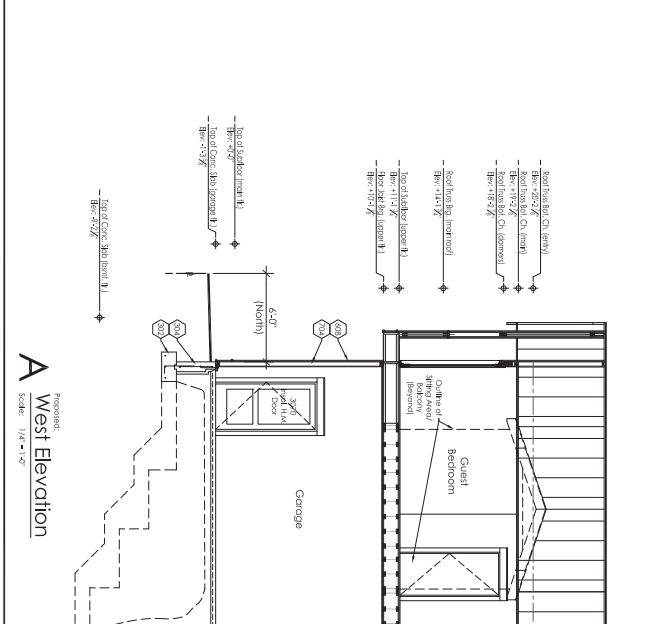
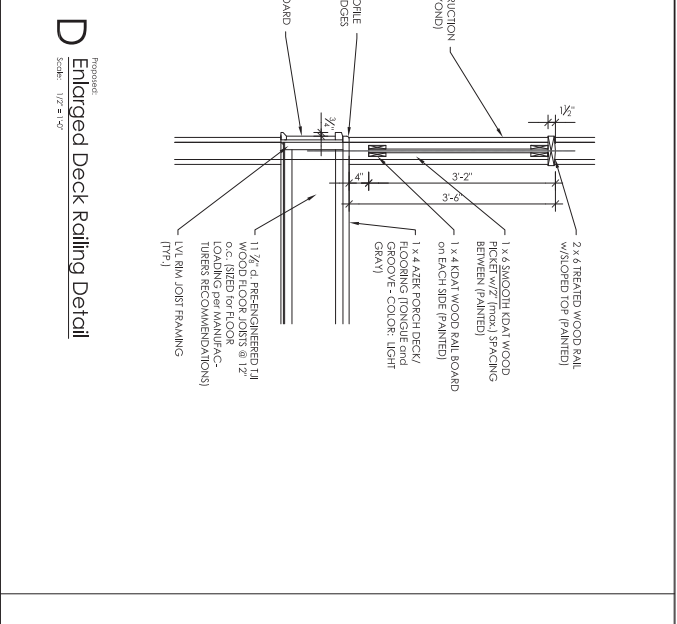
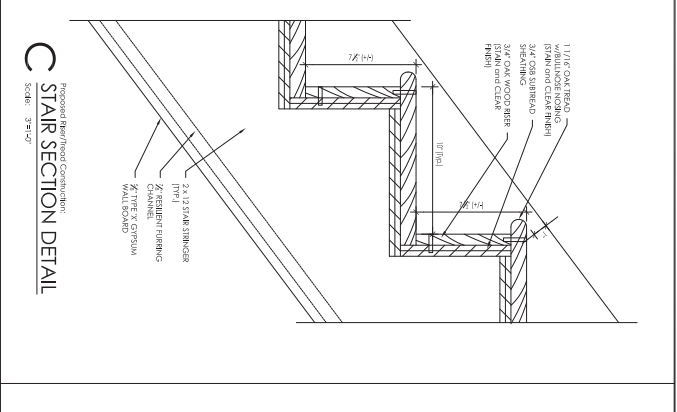
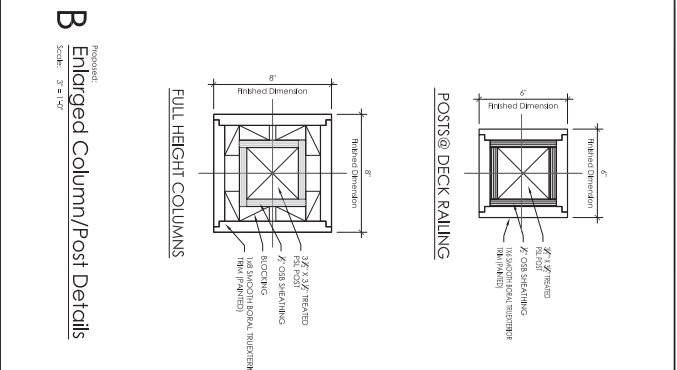
PROJECT NO. 200512  
DATE: 7.10.2005  
DRAWN BY: MHC  
CHECKED BY: MHC

PROPOSED BUILDING SECTION AND DETAILS

**A.302**

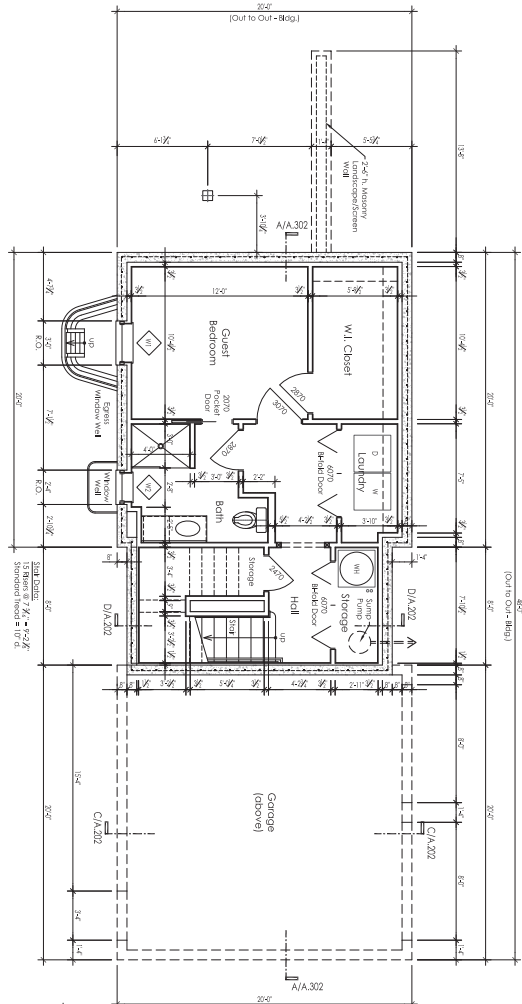
**Drawing Legend:**

- 201. FINISH GRADE (V.E.I.)
- 202. FINISH GRADE (H.A.I.)
- 203. LIQUID APPLIED MEMBRANE WATERPROOFING (S.F.C.T.) WITH FILTER (CLOTH WEAVE (RAIN IS DRAIN))
- 204. 2" POLYURETHANE INSULATION (R-10)
- 205. 4" TYPICAL
- 206. 4" TYPICAL
- 207. 4" TYPICAL
- 208. 4" TYPICAL
- 209. 4" TYPICAL
- 210. 4" TYPICAL
- 211. 4" TYPICAL
- 212. 4" TYPICAL
- 213. 4" TYPICAL
- 214. 4" TYPICAL
- 215. 4" TYPICAL
- 216. 4" TYPICAL
- 217. 4" TYPICAL
- 218. 4" TYPICAL
- 219. 4" TYPICAL
- 220. 4" TYPICAL
- 221. 4" TYPICAL
- 222. 4" TYPICAL
- 223. 4" TYPICAL
- 224. 4" TYPICAL
- 225. 4" TYPICAL
- 226. 4" TYPICAL
- 227. 4" TYPICAL
- 228. 4" TYPICAL
- 229. 4" TYPICAL
- 230. 4" TYPICAL
- 231. 4" TYPICAL
- 232. 4" TYPICAL
- 233. 4" TYPICAL
- 234. 4" TYPICAL
- 235. 4" TYPICAL
- 236. 4" TYPICAL
- 237. 4" TYPICAL
- 238. 4" TYPICAL
- 239. 4" TYPICAL
- 240. 4" TYPICAL
- 241. 4" TYPICAL
- 242. 4" TYPICAL
- 243. 4" TYPICAL
- 244. 4" TYPICAL
- 245. 4" TYPICAL
- 246. 4" TYPICAL
- 247. 4" TYPICAL
- 248. 4" TYPICAL
- 249. 4" TYPICAL
- 250. 4" TYPICAL
- 251. 4" TYPICAL
- 252. 4" TYPICAL
- 253. 4" TYPICAL
- 254. 4" TYPICAL
- 255. 4" TYPICAL
- 256. 4" TYPICAL
- 257. 4" TYPICAL
- 258. 4" TYPICAL
- 259. 4" TYPICAL
- 260. 4" TYPICAL
- 261. 4" TYPICAL
- 262. 4" TYPICAL
- 263. 4" TYPICAL
- 264. 4" TYPICAL
- 265. 4" TYPICAL
- 266. 4" TYPICAL
- 267. 4" TYPICAL
- 268. 4" TYPICAL
- 269. 4" TYPICAL
- 270. 4" TYPICAL
- 271. 4" TYPICAL
- 272. 4" TYPICAL
- 273. 4" TYPICAL
- 274. 4" TYPICAL
- 275. 4" TYPICAL
- 276. 4" TYPICAL
- 277. 4" TYPICAL
- 278. 4" TYPICAL
- 279. 4" TYPICAL
- 280. 4" TYPICAL
- 281. 4" TYPICAL
- 282. 4" TYPICAL
- 283. 4" TYPICAL
- 284. 4" TYPICAL
- 285. 4" TYPICAL
- 286. 4" TYPICAL
- 287. 4" TYPICAL
- 288. 4" TYPICAL
- 289. 4" TYPICAL
- 290. 4" TYPICAL
- 291. 4" TYPICAL
- 292. 4" TYPICAL
- 293. 4" TYPICAL
- 294. 4" TYPICAL
- 295. 4" TYPICAL
- 296. 4" TYPICAL
- 297. 4" TYPICAL
- 298. 4" TYPICAL
- 299. 4" TYPICAL
- 300. 4" TYPICAL
- 301. 4" TYPICAL
- 302. 4" TYPICAL
- 303. 4" TYPICAL
- 304. 4" TYPICAL
- 305. 4" TYPICAL
- 306. 4" TYPICAL
- 307. 4" TYPICAL
- 308. 4" TYPICAL
- 309. 4" TYPICAL
- 310. 4" TYPICAL
- 311. 4" TYPICAL
- 312. 4" TYPICAL
- 313. 4" TYPICAL
- 314. 4" TYPICAL
- 315. 4" TYPICAL
- 316. 4" TYPICAL
- 317. 4" TYPICAL
- 318. 4" TYPICAL
- 319. 4" TYPICAL
- 320. 4" TYPICAL
- 321. 4" TYPICAL
- 322. 4" TYPICAL
- 323. 4" TYPICAL
- 324. 4" TYPICAL
- 325. 4" TYPICAL
- 326. 4" TYPICAL
- 327. 4" TYPICAL
- 328. 4" TYPICAL
- 329. 4" TYPICAL
- 330. 4" TYPICAL
- 331. 4" TYPICAL
- 332. 4" TYPICAL
- 333. 4" TYPICAL
- 334. 4" TYPICAL
- 335. 4" TYPICAL
- 336. 4" TYPICAL
- 337. 4" TYPICAL
- 338. 4" TYPICAL
- 339. 4" TYPICAL
- 340. 4" TYPICAL
- 341. 4" TYPICAL
- 342. 4" TYPICAL
- 343. 4" TYPICAL
- 344. 4" TYPICAL
- 345. 4" TYPICAL
- 346. 4" TYPICAL
- 347. 4" TYPICAL
- 348. 4" TYPICAL
- 349. 4" TYPICAL
- 350. 4" TYPICAL
- 351. 4" TYPICAL
- 352. 4" TYPICAL
- 353. 4" TYPICAL
- 354. 4" TYPICAL
- 355. 4" TYPICAL
- 356. 4" TYPICAL
- 357. 4" TYPICAL
- 358. 4" TYPICAL
- 359. 4" TYPICAL
- 360. 4" TYPICAL
- 361. 4" TYPICAL
- 362. 4" TYPICAL
- 363. 4" TYPICAL
- 364. 4" TYPICAL
- 365. 4" TYPICAL
- 366. 4" TYPICAL
- 367. 4" TYPICAL
- 368. 4" TYPICAL
- 369. 4" TYPICAL
- 370. 4" TYPICAL
- 371. 4" TYPICAL
- 372. 4" TYPICAL
- 373. 4" TYPICAL
- 374. 4" TYPICAL
- 375. 4" TYPICAL
- 376. 4" TYPICAL
- 377. 4" TYPICAL
- 378. 4" TYPICAL
- 379. 4" TYPICAL
- 380. 4" TYPICAL
- 381. 4" TYPICAL
- 382. 4" TYPICAL
- 383. 4" TYPICAL
- 384. 4" TYPICAL
- 385. 4" TYPICAL
- 386. 4" TYPICAL
- 387. 4" TYPICAL
- 388. 4" TYPICAL
- 389. 4" TYPICAL
- 390. 4" TYPICAL
- 391. 4" TYPICAL
- 392. 4" TYPICAL
- 393. 4" TYPICAL
- 394. 4" TYPICAL
- 395. 4" TYPICAL
- 396. 4" TYPICAL
- 397. 4" TYPICAL
- 398. 4" TYPICAL
- 399. 4" TYPICAL
- 400. 4" TYPICAL

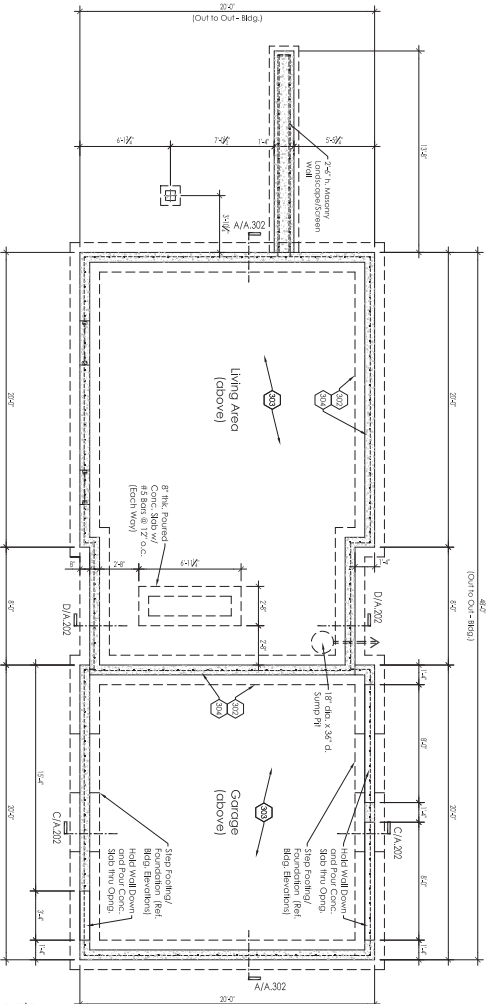


**General Notes:**

- A. GENERAL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY AND STATE REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- C. REFER TO ALL DIMENSIONS AND NOTES FOR COMPLETE CONSTRUCTION INFORMATION.
- D. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD. UNLESS OTHERWISE NOTED.
- E. ALL WORKMANSHIP TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- F. REFER TO ALL DIMENSIONS AND NOTES FOR COMPLETE CONSTRUCTION INFORMATION.
- G. PROVIDE BLOCKING AS REQUIRED FOR ALL CABINETS, TOILET ACCESSORIES, CLOSET RODS, SHELVES, ETC.—REFER TO ALL DIMENSIONS AND NOTES FOR COMPLETE CONSTRUCTION INFORMATION.
- H. PROVIDE WATER RESISTANT GYPSUM BOARD OR ALL SHEETROCK (TYPICAL).
- I. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUDS @ 16" O.C. NUMBERED ON PLAN FOR FOUNDATION TIES (UNLESS OTHERWISE NOTED).
- J. VERIFY AND REVIEW ALL REQUIRED TOILET AND BATH ACCESSORIES WITH OWNER.
- K. PROVIDE CONC. 2" INTERMEDIATE BLOCKING BETWEEN STUDS (TYPICAL) FOR ALL WALLS OVER 10' H.
- L. PROVIDE FLOOR WITH 2" POLYETHYLENE MEMBRANE OVER ALL EXTERIOR WALLS AND FLOOR JOISTS.
- M. PROVIDE SLOPED TERRACE AT ALL EXTERIOR WALLS AND FLOOR JOISTS.
- N. PROVIDE SQUARE TERMINATION AT ALL EXTERIOR STUD WALLS (TYPICAL).



**B** Basement Floor Plan  
Scale: 1/4" = 1'-0"



**A** Foundation Plan  
Scale: 1/4" = 1'-0"

- Basement Floor Area: 556 s.f.**  
**First Floor Area: 544 s.f.**  
**Second Floor Area: 400 s.f.**  
**Basement Floor Area: 556 s.f.**  
**First Floor Area: 544 s.f.**  
**Second Floor Area: 400 s.f.**  
**Basement Floor Area: 556 s.f.**  
**First Floor Area: 544 s.f.**  
**Second Floor Area: 400 s.f.**

- Basement Floor Area: 556 s.f.**  
**First Floor Area: 544 s.f.**  
**Second Floor Area: 400 s.f.**  
**Basement Floor Area: 556 s.f.**  
**First Floor Area: 544 s.f.**  
**Second Floor Area: 400 s.f.**

**Drawing Legend:**

201. FINISH GRADE (V.E.I.)
202. FINISH GRADE (V.E.I.)
203. FINISH GRADE (V.E.I.)
204. FINISH GRADE (V.E.I.)
205. FINISH GRADE (V.E.I.)
206. FINISH GRADE (V.E.I.)
207. FINISH GRADE (V.E.I.)
208. FINISH GRADE (V.E.I.)
209. FINISH GRADE (V.E.I.)
210. FINISH GRADE (V.E.I.)
211. FINISH GRADE (V.E.I.)
212. FINISH GRADE (V.E.I.)
213. FINISH GRADE (V.E.I.)
214. FINISH GRADE (V.E.I.)
215. FINISH GRADE (V.E.I.)
216. FINISH GRADE (V.E.I.)
217. FINISH GRADE (V.E.I.)
218. FINISH GRADE (V.E.I.)
219. FINISH GRADE (V.E.I.)
220. FINISH GRADE (V.E.I.)
221. FINISH GRADE (V.E.I.)
222. FINISH GRADE (V.E.I.)
223. FINISH GRADE (V.E.I.)
224. FINISH GRADE (V.E.I.)
225. FINISH GRADE (V.E.I.)
226. FINISH GRADE (V.E.I.)
227. FINISH GRADE (V.E.I.)
228. FINISH GRADE (V.E.I.)
229. FINISH GRADE (V.E.I.)
230. FINISH GRADE (V.E.I.)
231. FINISH GRADE (V.E.I.)
232. FINISH GRADE (V.E.I.)
233. FINISH GRADE (V.E.I.)
234. FINISH GRADE (V.E.I.)
235. FINISH GRADE (V.E.I.)
236. FINISH GRADE (V.E.I.)
237. FINISH GRADE (V.E.I.)
238. FINISH GRADE (V.E.I.)
239. FINISH GRADE (V.E.I.)
240. FINISH GRADE (V.E.I.)
241. FINISH GRADE (V.E.I.)
242. FINISH GRADE (V.E.I.)
243. FINISH GRADE (V.E.I.)
244. FINISH GRADE (V.E.I.)
245. FINISH GRADE (V.E.I.)
246. FINISH GRADE (V.E.I.)
247. FINISH GRADE (V.E.I.)
248. FINISH GRADE (V.E.I.)
249. FINISH GRADE (V.E.I.)
250. FINISH GRADE (V.E.I.)
251. FINISH GRADE (V.E.I.)
252. FINISH GRADE (V.E.I.)
253. FINISH GRADE (V.E.I.)
254. FINISH GRADE (V.E.I.)
255. FINISH GRADE (V.E.I.)
256. FINISH GRADE (V.E.I.)
257. FINISH GRADE (V.E.I.)
258. FINISH GRADE (V.E.I.)
259. FINISH GRADE (V.E.I.)
260. FINISH GRADE (V.E.I.)
261. FINISH GRADE (V.E.I.)
262. FINISH GRADE (V.E.I.)
263. FINISH GRADE (V.E.I.)
264. FINISH GRADE (V.E.I.)
265. FINISH GRADE (V.E.I.)
266. FINISH GRADE (V.E.I.)
267. FINISH GRADE (V.E.I.)
268. FINISH GRADE (V.E.I.)
269. FINISH GRADE (V.E.I.)
270. FINISH GRADE (V.E.I.)
271. FINISH GRADE (V.E.I.)
272. FINISH GRADE (V.E.I.)
273. FINISH GRADE (V.E.I.)
274. FINISH GRADE (V.E.I.)
275. FINISH GRADE (V.E.I.)
276. FINISH GRADE (V.E.I.)
277. FINISH GRADE (V.E.I.)
278. FINISH GRADE (V.E.I.)
279. FINISH GRADE (V.E.I.)
280. FINISH GRADE (V.E.I.)
281. FINISH GRADE (V.E.I.)
282. FINISH GRADE (V.E.I.)
283. FINISH GRADE (V.E.I.)
284. FINISH GRADE (V.E.I.)
285. FINISH GRADE (V.E.I.)
286. FINISH GRADE (V.E.I.)
287. FINISH GRADE (V.E.I.)
288. FINISH GRADE (V.E.I.)
289. FINISH GRADE (V.E.I.)
290. FINISH GRADE (V.E.I.)
291. FINISH GRADE (V.E.I.)
292. FINISH GRADE (V.E.I.)
293. FINISH GRADE (V.E.I.)
294. FINISH GRADE (V.E.I.)
295. FINISH GRADE (V.E.I.)
296. FINISH GRADE (V.E.I.)
297. FINISH GRADE (V.E.I.)
298. FINISH GRADE (V.E.I.)
299. FINISH GRADE (V.E.I.)
300. FINISH GRADE (V.E.I.)
301. FINISH GRADE (V.E.I.)
302. FINISH GRADE (V.E.I.)
303. FINISH GRADE (V.E.I.)
304. FINISH GRADE (V.E.I.)
305. FINISH GRADE (V.E.I.)
306. FINISH GRADE (V.E.I.)
307. FINISH GRADE (V.E.I.)
308. FINISH GRADE (V.E.I.)
309. FINISH GRADE (V.E.I.)
310. FINISH GRADE (V.E.I.)
311. FINISH GRADE (V.E.I.)
312. FINISH GRADE (V.E.I.)
313. FINISH GRADE (V.E.I.)
314. FINISH GRADE (V.E.I.)
315. FINISH GRADE (V.E.I.)
316. FINISH GRADE (V.E.I.)
317. FINISH GRADE (V.E.I.)
318. FINISH GRADE (V.E.I.)
319. FINISH GRADE (V.E.I.)
320. FINISH GRADE (V.E.I.)
321. FINISH GRADE (V.E.I.)
322. FINISH GRADE (V.E.I.)
323. FINISH GRADE (V.E.I.)
324. FINISH GRADE (V.E.I.)
325. FINISH GRADE (V.E.I.)
326. FINISH GRADE (V.E.I.)
327. FINISH GRADE (V.E.I.)
328. FINISH GRADE (V.E.I.)
329. FINISH GRADE (V.E.I.)
330. FINISH GRADE (V.E.I.)
331. FINISH GRADE (V.E.I.)
332. FINISH GRADE (V.E.I.)
333. FINISH GRADE (V.E.I.)
334. FINISH GRADE (V.E.I.)
335. FINISH GRADE (V.E.I.)
336. FINISH GRADE (V.E.I.)
337. FINISH GRADE (V.E.I.)
338. FINISH GRADE (V.E.I.)
339. FINISH GRADE (V.E.I.)
340. FINISH GRADE (V.E.I.)
341. FINISH GRADE (V.E.I.)
342. FINISH GRADE (V.E.I.)
343. FINISH GRADE (V.E.I.)
344. FINISH GRADE (V.E.I.)
345. FINISH GRADE (V.E.I.)
346. FINISH GRADE (V.E.I.)
347. FINISH GRADE (V.E.I.)
348. FINISH GRADE (V.E.I.)
349. FINISH GRADE (V.E.I.)
350. FINISH GRADE (V.E.I.)
351. FINISH GRADE (V.E.I.)
352. FINISH GRADE (V.E.I.)
353. FINISH GRADE (V.E.I.)
354. FINISH GRADE (V.E.I.)
355. FINISH GRADE (V.E.I.)
356. FINISH GRADE (V.E.I.)
357. FINISH GRADE (V.E.I.)
358. FINISH GRADE (V.E.I.)
359. FINISH GRADE (V.E.I.)
360. FINISH GRADE (V.E.I.)
361. FINISH GRADE (V.E.I.)
362. FINISH GRADE (V.E.I.)
363. FINISH GRADE (V.E.I.)
364. FINISH GRADE (V.E.I.)
365. FINISH GRADE (V.E.I.)
366. FINISH GRADE (V.E.I.)
367. FINISH GRADE (V.E.I.)
368. FINISH GRADE (V.E.I.)
369. FINISH GRADE (V.E.I.)
370. FINISH GRADE (V.E.I.)
371. FINISH GRADE (V.E.I.)
372. FINISH GRADE (V.E.I.)
373. FINISH GRADE (V.E.I.)
374. FINISH GRADE (V.E.I.)
375. FINISH GRADE (V.E.I.)
376. FINISH GRADE (V.E.I.)
377. FINISH GRADE (V.E.I.)
378. FINISH GRADE (V.E.I.)
379. FINISH GRADE (V.E.I.)
380. FINISH GRADE (V.E.I.)
381. FINISH GRADE (V.E.I.)
382. FINISH GRADE (V.E.I.)
383. FINISH GRADE (V.E.I.)
384. FINISH GRADE (V.E.I.)
385. FINISH GRADE (V.E.I.)
386. FINISH GRADE (V.E.I.)
387. FINISH GRADE (V.E.I.)
388. FINISH GRADE (V.E.I.)
389. FINISH GRADE (V.E.I.)
390. FINISH GRADE (V.E.I.)
391. FINISH GRADE (V.E.I.)
392. FINISH GRADE (V.E.I.)
393. FINISH GRADE (V.E.I.)
394. FINISH GRADE (V.E.I.)
395. FINISH GRADE (V.E.I.)
396. FINISH GRADE (V.E.I.)
397. FINISH GRADE (V.E.I.)
398. FINISH GRADE (V.E.I.)
399. FINISH GRADE (V.E.I.)
400. FINISH GRADE (V.E.I.)

250

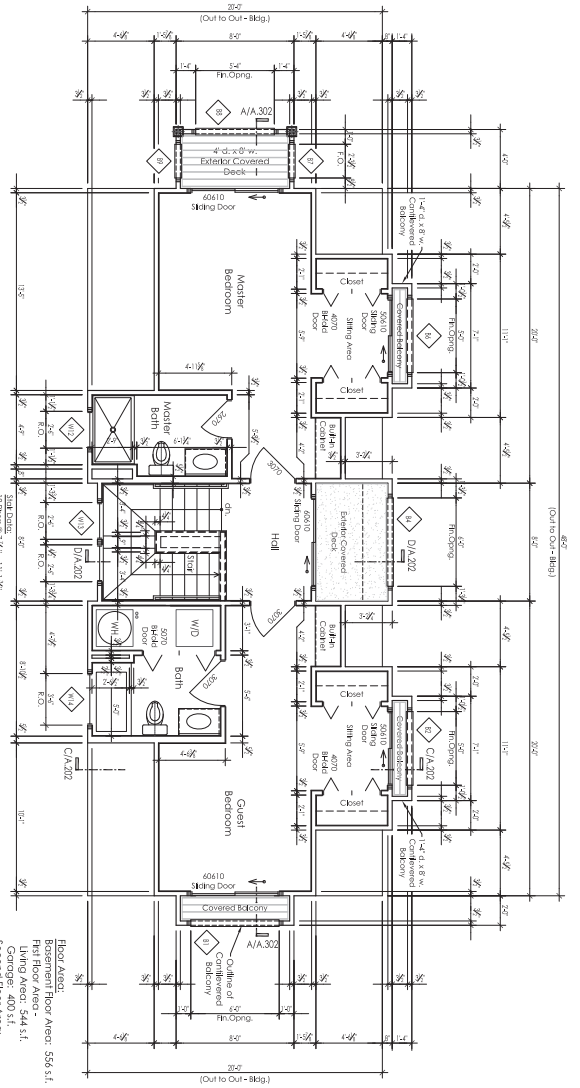
**mca** MARC CORNETT ARCHITECTS  
 101 EAST BIRWOOD AVE.  
 BLOOMINGTON, INDIANA 47408  
 P 812.225.5964 E: MAIL:mccorneh@yahoo.com

**SEARCHS RESIDENCE**  
 712 W. Third Street  
 Bloomington, Indiana

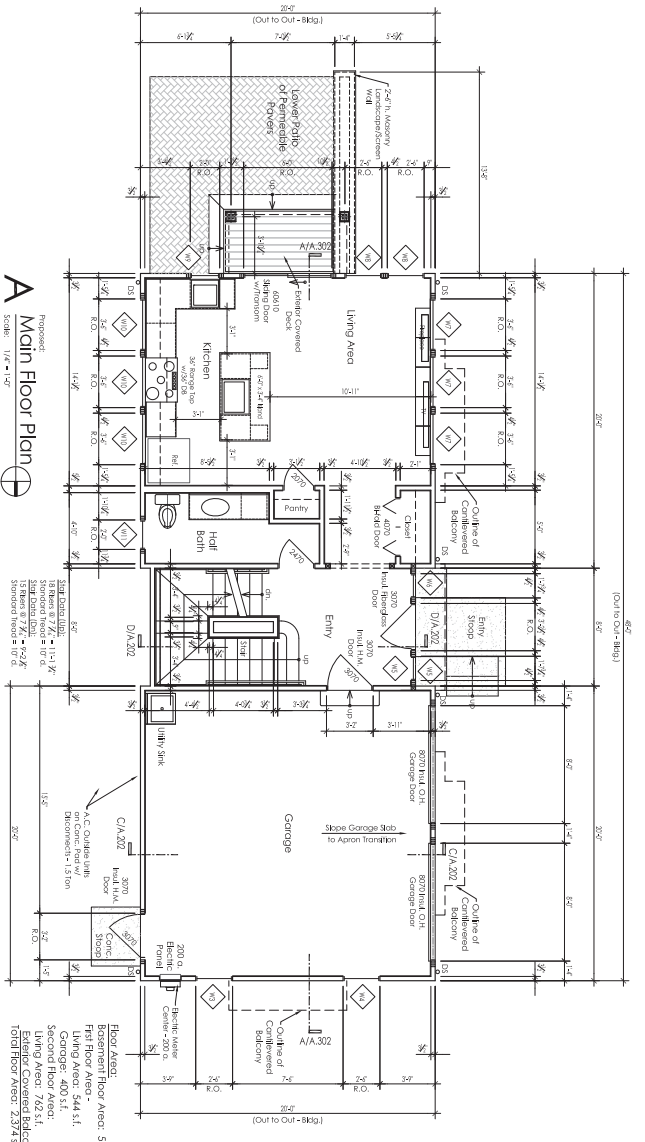
**A.101**  
 PROJECT NO.: 200212  
 DATE: 7.19.2023  
 DRAWN BY: MHC  
 CHECKED BY: MHC  
 PROJECT FOUNDATION AND BASEMENT FLOOR PLANS

**General Notes:**

- 1. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ALL MATERIALS AND LABORER TO BE RESPONSIBLE FOR ALL TO ARCHITECT BEFORE WORKING.
- 2. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH ARCHITECT BEFORE WORKING TOGETHER WITH DRAWINGS FOR CLARIFICATION AND CORRECTIONS TO BE MADE BEFORE COMMENCEMENT OF WORK.
- 3. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD. UNLESS NOTED OTHERWISE.
- 4. ALL WORKMAN TO BE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 5. REFER TO ARCHITECT FOR ALL DIMENSIONS AND SPECIFICATIONS.
- 6. PROVIDE PROTECTIVE WORKING SURFACES TO ALL WORKING TOILET ACCESSORIES, CLOSET ROSS, SHELVES, ETC.
- 7. PROVIDE WATER RESISTANT GYPSUM BOARD TO ALL BATHROOMS (TYPICAL).
- 8. ALL BATHROOM WALLS TO BE 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES (TYPICAL).
- 9. ALL BATHROOM WALLS TO BE 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES (TYPICAL).
- 10. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 11. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 12. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 13. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 14. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 15. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 16. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 17. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 18. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 19. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).
- 20. PROVIDE CONCRETE FLOOR ON ALL BATHROOMS (TYPICAL).



**B**  
Second Floor Plan  
Scale: 1/4" = 1'-0"



**A**  
Main Floor Plan  
Scale: 1/4" = 1'-0"

**Drawing Legend:**

- 201. FINISH GRADE (V.I.)
- 202. FINISH GRADE (V.I.)
- 203. FINISH GRADE (V.I.)
- 204. FINISH GRADE (V.I.)
- 205. FINISH GRADE (V.I.)
- 206. FINISH GRADE (V.I.)
- 207. FINISH GRADE (V.I.)
- 208. FINISH GRADE (V.I.)
- 209. FINISH GRADE (V.I.)
- 210. FINISH GRADE (V.I.)
- 211. FINISH GRADE (V.I.)
- 212. FINISH GRADE (V.I.)
- 213. FINISH GRADE (V.I.)
- 214. FINISH GRADE (V.I.)
- 215. FINISH GRADE (V.I.)
- 216. FINISH GRADE (V.I.)
- 217. FINISH GRADE (V.I.)
- 218. FINISH GRADE (V.I.)
- 219. FINISH GRADE (V.I.)
- 220. FINISH GRADE (V.I.)
- 221. FINISH GRADE (V.I.)
- 222. FINISH GRADE (V.I.)
- 223. FINISH GRADE (V.I.)
- 224. FINISH GRADE (V.I.)
- 225. FINISH GRADE (V.I.)
- 226. FINISH GRADE (V.I.)
- 227. FINISH GRADE (V.I.)
- 228. FINISH GRADE (V.I.)
- 229. FINISH GRADE (V.I.)
- 230. FINISH GRADE (V.I.)
- 231. FINISH GRADE (V.I.)
- 232. FINISH GRADE (V.I.)
- 233. FINISH GRADE (V.I.)
- 234. FINISH GRADE (V.I.)
- 235. FINISH GRADE (V.I.)
- 236. FINISH GRADE (V.I.)
- 237. FINISH GRADE (V.I.)
- 238. FINISH GRADE (V.I.)
- 239. FINISH GRADE (V.I.)
- 240. FINISH GRADE (V.I.)
- 241. FINISH GRADE (V.I.)
- 242. FINISH GRADE (V.I.)
- 243. FINISH GRADE (V.I.)
- 244. FINISH GRADE (V.I.)
- 245. FINISH GRADE (V.I.)
- 246. FINISH GRADE (V.I.)
- 247. FINISH GRADE (V.I.)
- 248. FINISH GRADE (V.I.)
- 249. FINISH GRADE (V.I.)
- 250. FINISH GRADE (V.I.)
- 251. FINISH GRADE (V.I.)
- 252. FINISH GRADE (V.I.)
- 253. FINISH GRADE (V.I.)
- 254. FINISH GRADE (V.I.)
- 255. FINISH GRADE (V.I.)
- 256. FINISH GRADE (V.I.)
- 257. FINISH GRADE (V.I.)
- 258. FINISH GRADE (V.I.)
- 259. FINISH GRADE (V.I.)
- 260. FINISH GRADE (V.I.)
- 261. FINISH GRADE (V.I.)
- 262. FINISH GRADE (V.I.)
- 263. FINISH GRADE (V.I.)
- 264. FINISH GRADE (V.I.)
- 265. FINISH GRADE (V.I.)
- 266. FINISH GRADE (V.I.)
- 267. FINISH GRADE (V.I.)
- 268. FINISH GRADE (V.I.)
- 269. FINISH GRADE (V.I.)
- 270. FINISH GRADE (V.I.)
- 271. FINISH GRADE (V.I.)
- 272. FINISH GRADE (V.I.)
- 273. FINISH GRADE (V.I.)
- 274. FINISH GRADE (V.I.)
- 275. FINISH GRADE (V.I.)
- 276. FINISH GRADE (V.I.)
- 277. FINISH GRADE (V.I.)
- 278. FINISH GRADE (V.I.)
- 279. FINISH GRADE (V.I.)
- 280. FINISH GRADE (V.I.)
- 281. FINISH GRADE (V.I.)
- 282. FINISH GRADE (V.I.)
- 283. FINISH GRADE (V.I.)
- 284. FINISH GRADE (V.I.)
- 285. FINISH GRADE (V.I.)
- 286. FINISH GRADE (V.I.)
- 287. FINISH GRADE (V.I.)
- 288. FINISH GRADE (V.I.)
- 289. FINISH GRADE (V.I.)
- 290. FINISH GRADE (V.I.)
- 291. FINISH GRADE (V.I.)
- 292. FINISH GRADE (V.I.)
- 293. FINISH GRADE (V.I.)
- 294. FINISH GRADE (V.I.)
- 295. FINISH GRADE (V.I.)
- 296. FINISH GRADE (V.I.)
- 297. FINISH GRADE (V.I.)
- 298. FINISH GRADE (V.I.)
- 299. FINISH GRADE (V.I.)
- 300. FINISH GRADE (V.I.)
- 301. FINISH GRADE (V.I.)
- 302. FINISH GRADE (V.I.)
- 303. FINISH GRADE (V.I.)
- 304. FINISH GRADE (V.I.)
- 305. FINISH GRADE (V.I.)
- 306. FINISH GRADE (V.I.)
- 307. FINISH GRADE (V.I.)
- 308. FINISH GRADE (V.I.)
- 309. FINISH GRADE (V.I.)
- 310. FINISH GRADE (V.I.)
- 311. FINISH GRADE (V.I.)
- 312. FINISH GRADE (V.I.)
- 313. FINISH GRADE (V.I.)
- 314. FINISH GRADE (V.I.)
- 315. FINISH GRADE (V.I.)
- 316. FINISH GRADE (V.I.)
- 317. FINISH GRADE (V.I.)
- 318. FINISH GRADE (V.I.)
- 319. FINISH GRADE (V.I.)
- 320. FINISH GRADE (V.I.)
- 321. FINISH GRADE (V.I.)
- 322. FINISH GRADE (V.I.)
- 323. FINISH GRADE (V.I.)
- 324. FINISH GRADE (V.I.)
- 325. FINISH GRADE (V.I.)
- 326. FINISH GRADE (V.I.)
- 327. FINISH GRADE (V.I.)
- 328. FINISH GRADE (V.I.)
- 329. FINISH GRADE (V.I.)
- 330. FINISH GRADE (V.I.)
- 331. FINISH GRADE (V.I.)
- 332. FINISH GRADE (V.I.)
- 333. FINISH GRADE (V.I.)
- 334. FINISH GRADE (V.I.)
- 335. FINISH GRADE (V.I.)
- 336. FINISH GRADE (V.I.)
- 337. FINISH GRADE (V.I.)
- 338. FINISH GRADE (V.I.)
- 339. FINISH GRADE (V.I.)
- 340. FINISH GRADE (V.I.)
- 341. FINISH GRADE (V.I.)
- 342. FINISH GRADE (V.I.)
- 343. FINISH GRADE (V.I.)
- 344. FINISH GRADE (V.I.)
- 345. FINISH GRADE (V.I.)
- 346. FINISH GRADE (V.I.)
- 347. FINISH GRADE (V.I.)
- 348. FINISH GRADE (V.I.)
- 349. FINISH GRADE (V.I.)
- 350. FINISH GRADE (V.I.)
- 351. FINISH GRADE (V.I.)
- 352. FINISH GRADE (V.I.)
- 353. FINISH GRADE (V.I.)
- 354. FINISH GRADE (V.I.)
- 355. FINISH GRADE (V.I.)
- 356. FINISH GRADE (V.I.)
- 357. FINISH GRADE (V.I.)
- 358. FINISH GRADE (V.I.)
- 359. FINISH GRADE (V.I.)
- 360. FINISH GRADE (V.I.)
- 361. FINISH GRADE (V.I.)
- 362. FINISH GRADE (V.I.)
- 363. FINISH GRADE (V.I.)
- 364. FINISH GRADE (V.I.)
- 365. FINISH GRADE (V.I.)
- 366. FINISH GRADE (V.I.)
- 367. FINISH GRADE (V.I.)
- 368. FINISH GRADE (V.I.)
- 369. FINISH GRADE (V.I.)
- 370. FINISH GRADE (V.I.)
- 371. FINISH GRADE (V.I.)
- 372. FINISH GRADE (V.I.)
- 373. FINISH GRADE (V.I.)
- 374. FINISH GRADE (V.I.)
- 375. FINISH GRADE (V.I.)
- 376. FINISH GRADE (V.I.)
- 377. FINISH GRADE (V.I.)
- 378. FINISH GRADE (V.I.)
- 379. FINISH GRADE (V.I.)
- 380. FINISH GRADE (V.I.)
- 381. FINISH GRADE (V.I.)
- 382. FINISH GRADE (V.I.)
- 383. FINISH GRADE (V.I.)
- 384. FINISH GRADE (V.I.)
- 385. FINISH GRADE (V.I.)
- 386. FINISH GRADE (V.I.)
- 387. FINISH GRADE (V.I.)
- 388. FINISH GRADE (V.I.)
- 389. FINISH GRADE (V.I.)
- 390. FINISH GRADE (V.I.)
- 391. FINISH GRADE (V.I.)
- 392. FINISH GRADE (V.I.)
- 393. FINISH GRADE (V.I.)
- 394. FINISH GRADE (V.I.)
- 395. FINISH GRADE (V.I.)
- 396. FINISH GRADE (V.I.)
- 397. FINISH GRADE (V.I.)
- 398. FINISH GRADE (V.I.)
- 399. FINISH GRADE (V.I.)
- 400. FINISH GRADE (V.I.)

Proposed:

# SEARLS RESIDENCE

712 W. Third Street  
Bloomington, Indiana

DATE: 7/15/2012

PROJECT NO.: 200012

DESIGNED BY: MCA

PROPOSED MAIN FLOOR AND SECOND FLOOR PLANS

# A.102

CREATED:

REVISED:

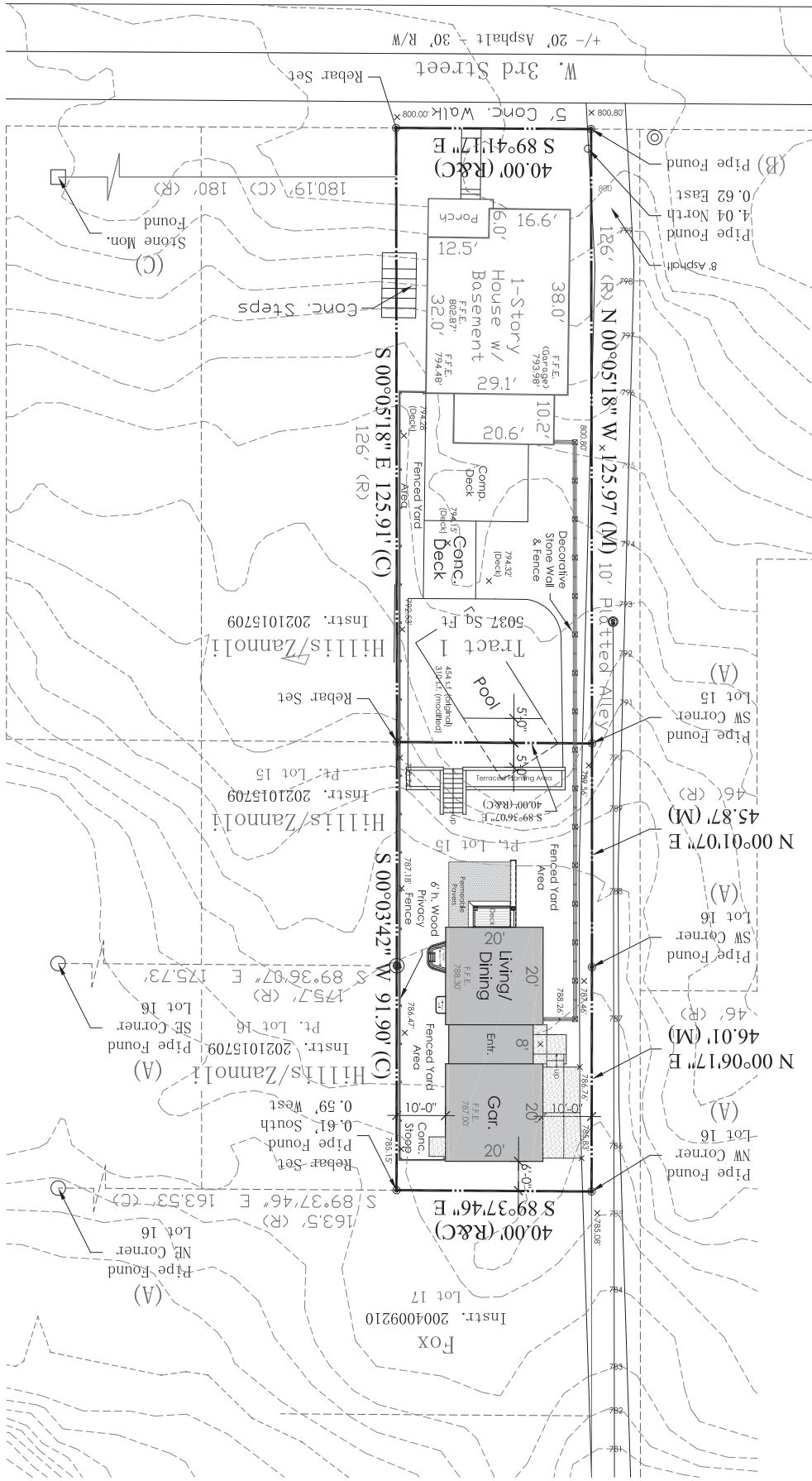
**mca** MARC CORNET ARCHITECTS

101 EAST BIRKWOOD AVE  
BLOOMINGTON, INDIANA 47408  
P 812.325.5944 E: mail@mccornerth@yahoo.com

# 251

NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION or ELEVATION of ANY UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. CONTRACTOR TO CONTRACTOR FOR UTILITY DESTRUCTION or UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

Prepared  
**A**  
 Scale: 1" = 100'  
 Site Plan



C.101

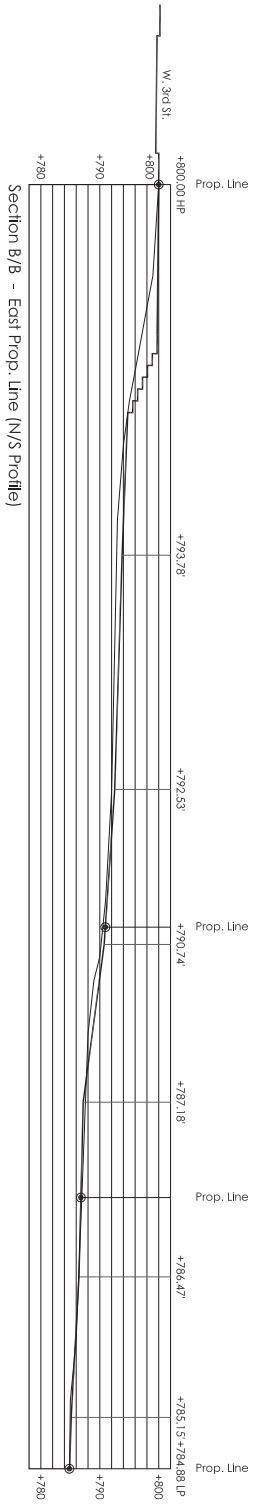
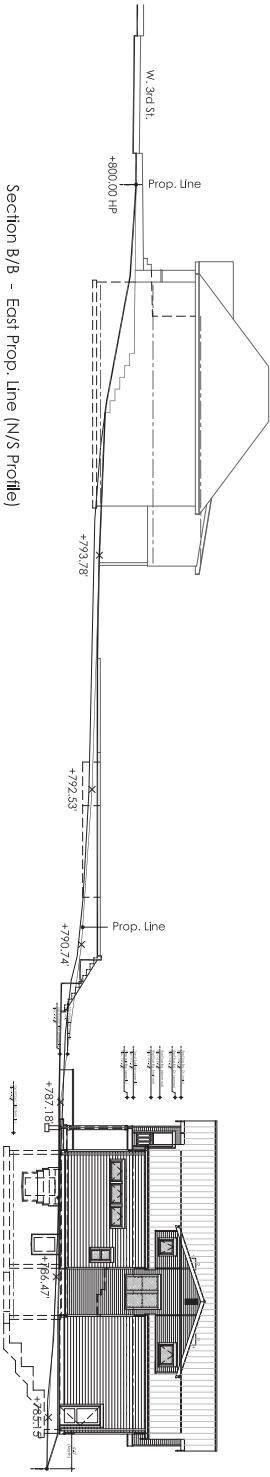
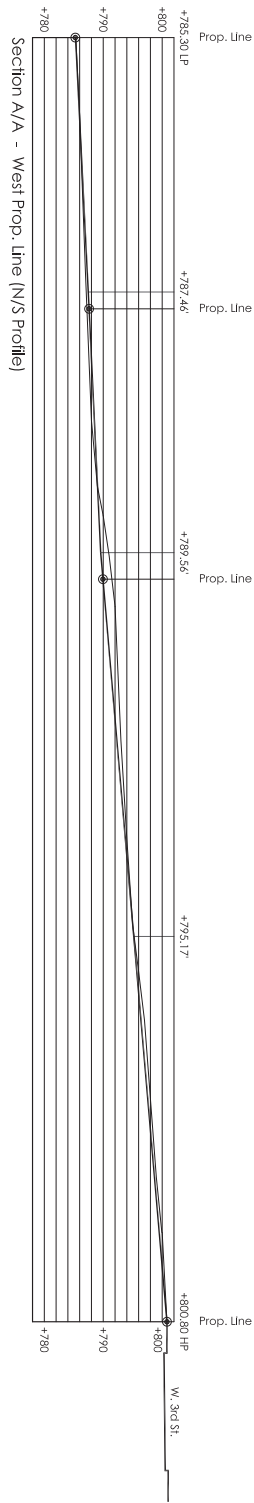
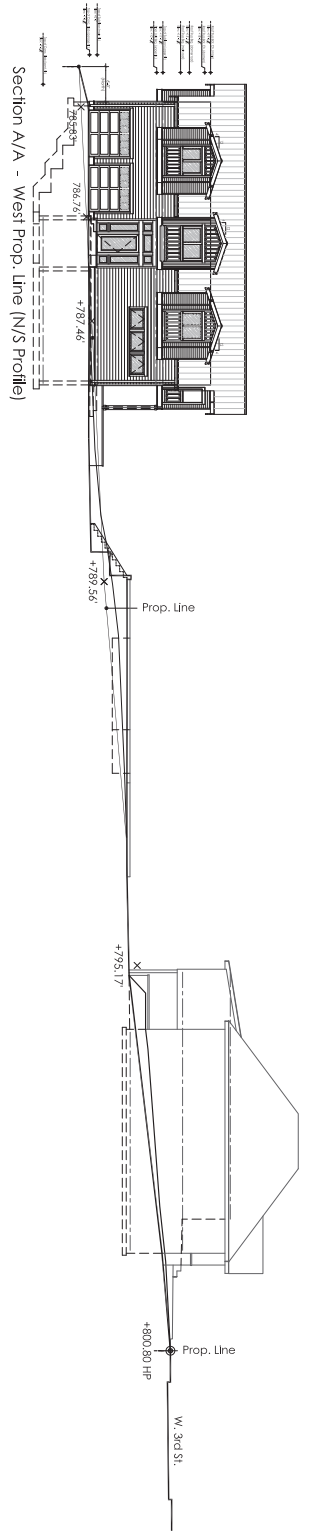
PROJECT NO.: 202012  
 DATE: 7.10.2023  
 DRAWN BY: JMC  
 CHECKED BY: JMC  
 PROJECTED BY: JMC

Proposed:  
**SEARLS RESIDENCE**  
 712 W. Third Street  
 Bloomington, Indiana



**mca** MARC CORNETT ARCHITECTS  
 101 EAST KIRKWOOD AVE.  
 BLOOMINGTON, INDIANA 47408  
 P 812.325.5964 EMAIL: marcconnett@yahoo.com

252



NOTE: CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS and DEPTHS and NOTIFY ENGINEER of ANY INACCURACIES IN LOCATION or ELEVATION of ANY UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES REQUIRED DUE TO CONFLICTING ELEVATIONS.

EMBERS  
A  
Grade Profiles  
SCALE: 1" = 10'