

CITY OF BLOOMINGTON



August 16, 2023 @ 2:00 p.m.
Kelley Conference Room #155 and Zoom

Virtual Link:

<https://bloomington.zoom.us/j/88225451589?pwd=SkQxQmQvTnBXc202M0ZPano1eW9rdz09>

Meeting ID: 882 2545 1589

Passcode: 897298

CITY OF BLOOMINGTON
HEARING OFFICER (Hybrid Meeting)
August 16, 2023 at 2:00 p.m.

City Hall, 401 N. Morton Street
Kelly Conference Room #155

❖Virtual Link:

<https://bloomington.zoom.us/j/88225451589?pwd=SkQxQmQvTnBXc202M0ZPano1eW9rdz09>

Meeting ID: 882 2545 1589

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Petition Map: <https://arcg.is/G9aXG1>

PETITIONS:

CU-23-23 Craft Construction
229 South Grant St
Request: Conditional use approval to allow a standardized business in the Mixed-Use Downtown zoning district within the University Village downtown character overlay (MD-UV). Case Manager: Gabriel Holbrow

****Next Meeting: August 30, 2023**

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**BLOOMINGTON HEARING OFFICER
STAFF REPORT
Location: 229 South Grant Street**

**CASE #: CU-23-23 / USE2023-07-0024
DATE: August 16, 2023**

PETITIONER: Craft Construction
P.O. Box 159
Westfield, IN

OWNER: Annex of Bloomington, LLC
409 Massachusetts Avenue, Suite 300
Indianapolis, IN

REQUEST: Conditional use approval to allow a standardized business in the Mixed-Use Downtown zoning district within the University Village downtown character overlay (MD-UV).

REPORT: The property is located at the northeast corner of South Grant Street and East 3rd Street in the University Village downtown character overlay of the Mixed-Use Downtown zoning district (MD-UV). The property was recently redeveloped as the east building of the Annex of Bloomington, a mixed-use development containing ground-floor commercial spaces with dwelling units on upper floors. 229 South Grant Street is the address assigned to the recently developed building on the property, although the property itself is also associated with the address 403 East 3rd Street.

All surrounding properties are also in the MD zoning district. Of these, properties to the north, east, and west are also within the University Village downtown character overlay (MD-UV), while properties to the south across 3rd Street are within the Downtown Edges downtown character overlay (MD-DE). Properties to the north across the adjacent alley as well as properties to the northwest across Grant Street are located in the Greater Restaurant Row Historic District. Properties to the north contain restaurants and some retail uses. The property adjacent to the west across Grant Street has been developed as the west building of the Annex of Bloomington, including a ground-floor commercial space with dwelling units on upper floors. The property adjacent to the east contains Colstone Square, a mixed-use development with ground-floor commercial uses and dwelling units on the upper story. The property to the south contains commercial uses and the property to the southwest is a mixed-use development including commercial uses on the ground-floor and dwelling units on upper floors.

The petitioner is proposing to build out the ground-floor commercial tenant space for use as a restaurant under the Bru Burger Bar brand. Cunningham Restaurant Group operates approximately 14 Bru Burger Bar locations in Indiana, Ohio, and Kentucky. The proposed use meets the definition of a standardized business in the City of Bloomington Unified Development Ordinance (UDO), which is allowed by conditional use approval and is subject to specific standards.

UDO compliance for the site and the building has already been reviewed and approved by major site plan SP-15-20 (approved by the Plan Commission on July 13, 2020), grading permit C20-430 (issued July 2, 2021), and certificate of zoning compliance (CZC) C21-392 (issued October 8, 2021).

As part of the build-out of the Bru Burger Bar space, the petitioner is proposing some modifications to the exterior. Specially, the petitioner is proposing one wall sign on the west facade, one projecting sign on the south facade near the southwest corner of the building, and a pergola in front of the west facade near the southwest corner of the building.

The proposed signage is compliant with the dimensional standards for wall signs and projecting signs in the Mixed-Use Downtown (MD) district. The petitioner has submitted photographs of existing signage at other Bru Burger Bar locations to demonstrate that the proposed signage for this location is distinct from the brands typical signage. The petition has stated that these differences include:

Wall sign on west facade

- Color changed to white
- Stacked vertically and read from bottom up
- Only the three letters with no tag line for a clean look

Projecting sign on south facade (blade sign)

- Eliminated the vertical portion of the blade
- Substantially smaller than other blade signs
- Attachment reduced to a single point for sleek appearance due to size
- Moved blade to under the canopy as an accent to the design versus others that are high on the facade and prominent

The proposed pergola is approximately 38 feet long by 13 feet 5 inches deep by 10 feet 8 inches tall. The pergola construction is composed of aluminum posts and beams set approximately eight feet apart. The open spaces between the roof beams are outfitted with louvered metal slats in an “S” shape that can be opened in clear weather and closed during rain. The open spaces on the west side and south end are outfitted with retractable clear vinyl drops that can be rolled up along the top beam in clear weather and brought down during rain or cold weather. The north end is transparent glass with a door for ingress, egress, and security. The east side of the pergola is the west exterior wall of the building. The pergola is compliant with general exterior facade standards in the UDO as well as specific exterior facade standards for the University Village downtown character overlay.

The proposed pergola location is within the public right-of-way of Grant Street. On the approved site plan SP-15-20, the location was shown as an outdoor patio seating area. The addition of a pergola is a minor change to the approved site plan, approvable by the Planning and Transportation Director per UDO section 20.06.070(c)(3)(E)ii.3.[a]. The approved site plan also showed awnings, retaining walls, and other encroachments into the public right-of-way. As right-of-way encroachments, these features including the pergola must obtain encroachment agreements with the City of Bloomington Board of Public Works. The petitioner has begun the encroachment agreement process with the Public Improvements Manager in the Engineering Department.

STANDARDIZED BUSINESS STANDARDS: UDO 20.03.010(e)(2) lists the following use specific standards for standardized businesses.

In the MD-CS and MD-UV character areas a standardized business shall require conditional use permit review in accordance with Section 20.06.050(b) (Conditional Use Permit), and shall comply with the following standards:

- (A) *The proposed standardized business shall be designed and constructed in a style that visually complements its surroundings, especially the existing buildings on both sides of the same block the business is to be located, as well as the character of the particular overlay district. Visual complementation shall include, but may not be limited to:

 - i. *Architecture;*
 - ii. *Scale;*
 - iii. *Facade; and*
 - iv. *Signage.**
- (B) *If the use is proposed for a site that contains an existing building of special historical, cultural, or architectural significance, with or without official historic designation, the proposed use shall seek to preserve and reuse as much of the existing building as possible, particularly the building's facade.*
- (C) *Visual complementation may also include interior décor. Elements of interior décor such as displays of public art, photos or memorabilia of Bloomington or Indiana University, may be considered.*

STAFF COMMENT: This petition meets the criteria for a standardized business, as detailed below in the proposed finding for 20.06.040(d)(6)(B) General Compliance Criteria.

CRITERIA AND FINDINGS FOR CONDITIONAL USE PERMIT

20.06.040(d)(6) Approval Criteria

(B) General Compliance Criteria: All petitions shall be subject to review and pursuant to the following criteria and shall only be approved if they comply with these criteria.

- i. *Compliance with this UDO*
- ii. *Compliance with other applicable regulations*
- iii. *Compliance with Utility, Service, and Improvement Standards*
- iv. *Compliance with prior approvals*

PROPOSED FINDING: The petition complies with the UDO, including the criteria for a standardized business. The proposed pergola is compliant with exterior facade standards. The pergola visually complements the context of existing outdoor seating porches and pergolas, some in the public right-of-way, along 4th Street Restaurant Row and other downtown locations. The signage visually complements the signage and facade architecture in the surrounding area and is distinct from signage at other existing Bru Burger Bar locations. The existing building is not of special historic, cultural, or architectural significance. The petitioner's statement includes an intent to "cater to the region with art and furnishing" in the interior décor. Features in the public right-of-way, including the pergola, are in the process of obtaining approval as right-of-way encroachments in compliance with other applicable regulations. The recently constructed building complies with utility, service, and improvement standards. The petitioner will comply with City of Bloomington Utilities (CBU) regulations for the restaurant use. The petition contains approvable minor changes to the approved site plan and is otherwise compliant with prior site plan approval.

(C) Additional Criteria Applicable to Conditional Uses

- i. *Consistency with Comprehensive Plan and Other Applicable Plans*
The proposed use and development shall be consistent with and shall not interfere with the achievement of the goals and objectives of the Comprehensive Plan and any other applicable adopted plans and policies.

PROPOSED FINDING: This proposal is in line with the goals of the Comprehensive Plan. The Comprehensive Plan identifies this area as “Downtown.” The Downtown district is meant to be a commercial hub that offers a variety of businesses and uses. The proposed restaurant is located near the restaurants of Restaurant Row as well as other retail and commercial uses. The MD-UV district and standardized business criteria ensures that businesses in this district will maintain the character of the district while still allowing for new growth and development.

- ii. *Provides Adequate Public Services and Facilities*
Adequate public service and facility capacity shall exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, streets, potable water, sewer, stormwater management structures, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.

PROPOSED FINDING: Adequate public service capacity exists. Approval from CBU is required before issuance of a building permit for the proposed interior remodel work.

- iii. *Minimizes or Mitigate Adverse Impacts*
1. *The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.*
 2. *The proposed development shall not cause significant adverse impacts on surrounding properties nor create a nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights.*
 3. *The hours of operation, outside lighting, and trash and waste collection shall not pose a hazard, hardship, or nuisance to the neighborhood.*
 4. *The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.*

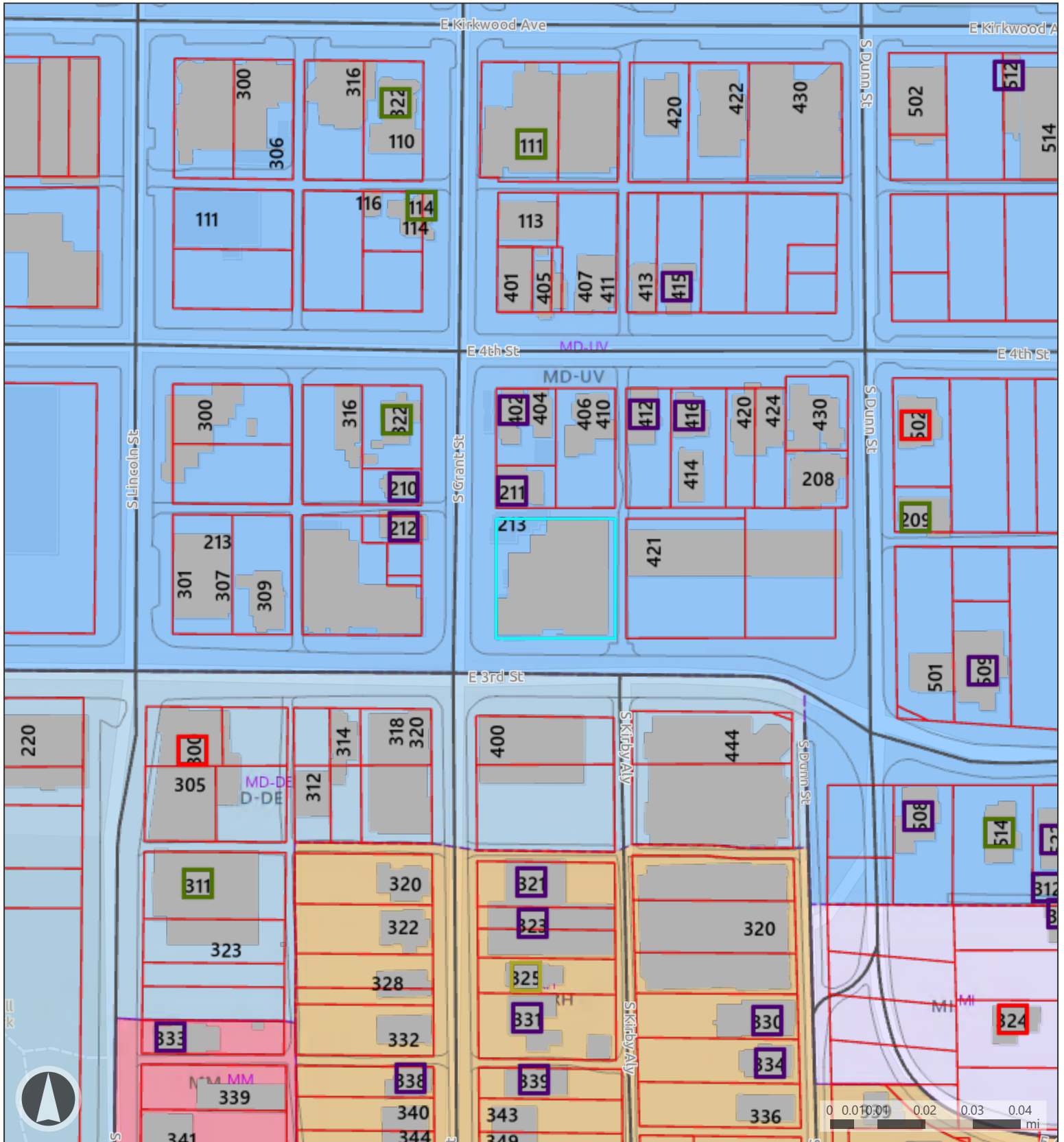
PROPOSED FINDING: No destruction, loss, or damage of any natural, scenic, or historic features is found. No nuisance regarding noise, smoke, odors, vibrations, lighting, or hours of operation is found. The proposed signage will be required to meet lighting requirements and sign regulations. No pre-submittal neighborhood meeting is required.

- iv. *Rational Phasing Plan*
If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project’s cumulative development to date and shall not depend upon subsequent phases for those improvements.








PROPOSED FINDING: There is no phasing plan for this proposal.

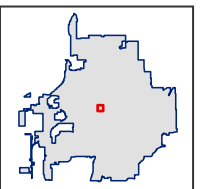
RECOMMENDATION: Based upon the report and written findings of fact above, the Department recommends that the Hearing Officer adopt the proposed findings and approve CU-23-23 / USE2023-07-0024 with the following conditions:

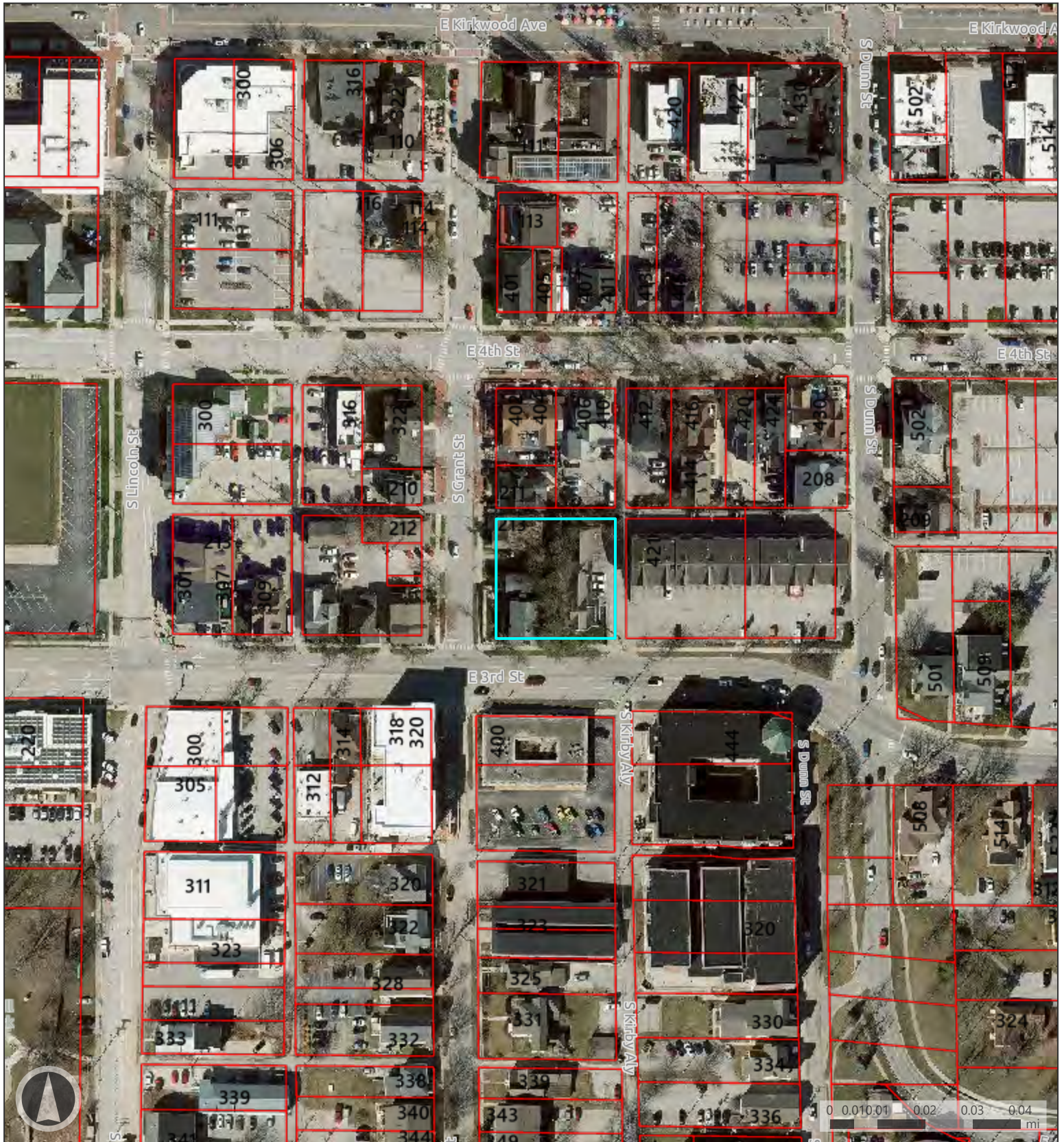
1. This conditional use approval is limited to the proposed design and use as a standardized business that also meets the definition of a restaurant. No other facade design or use is approved. Minor changes to the facade design, such as refacing of signs or change of sign graphics within the allowed signage area, can be approved as consistent with this conditional use approval, subject to sign standards and other relevant regulations.
2. A sign permit is required, and the design of all exterior signage shall conform to the designs shown in this approval.
3. The petitioner shall obtain an encroachment agreement with the Board of Public Works for the pergola prior to final occupancy.



Map Legend

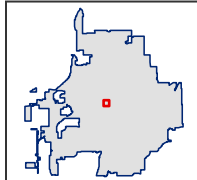
-  Outstanding
-  Contributing
-  Parcels
-  Notable
-  Non-Contributing
-  Buildings
-  Edge of Pavement





Map Legend

- Outstanding
- Notable
- Contributing
- Non-Contributing
- Parcels



Petitioner's Statement
BRU Burger Bar
229 S Grant St
Bloomington, IN 47408

To Whom It May Concern,

We are requesting approval for Bru Burger Bar. BRU will bring an additional amenity to the neighborhood and complement the diverse restaurants and shops in Bloomington, on 4th Street, and beyond. We are a neighborhood restaurant that takes on the character of its location.

BRU is wholly owned by Cunningham Restaurant Group of Indianapolis. We are not contractually or otherwise obligated to maintain a standardized format. We are not a franchise, nor a one size fits all establishment. We do add local menu variations based on the location of the business. We also include beverage options based on local wants and availability. Our buildings range from historic to modern, our logos and signage are designed around the building, and we always cater to the region with art and furnishings.

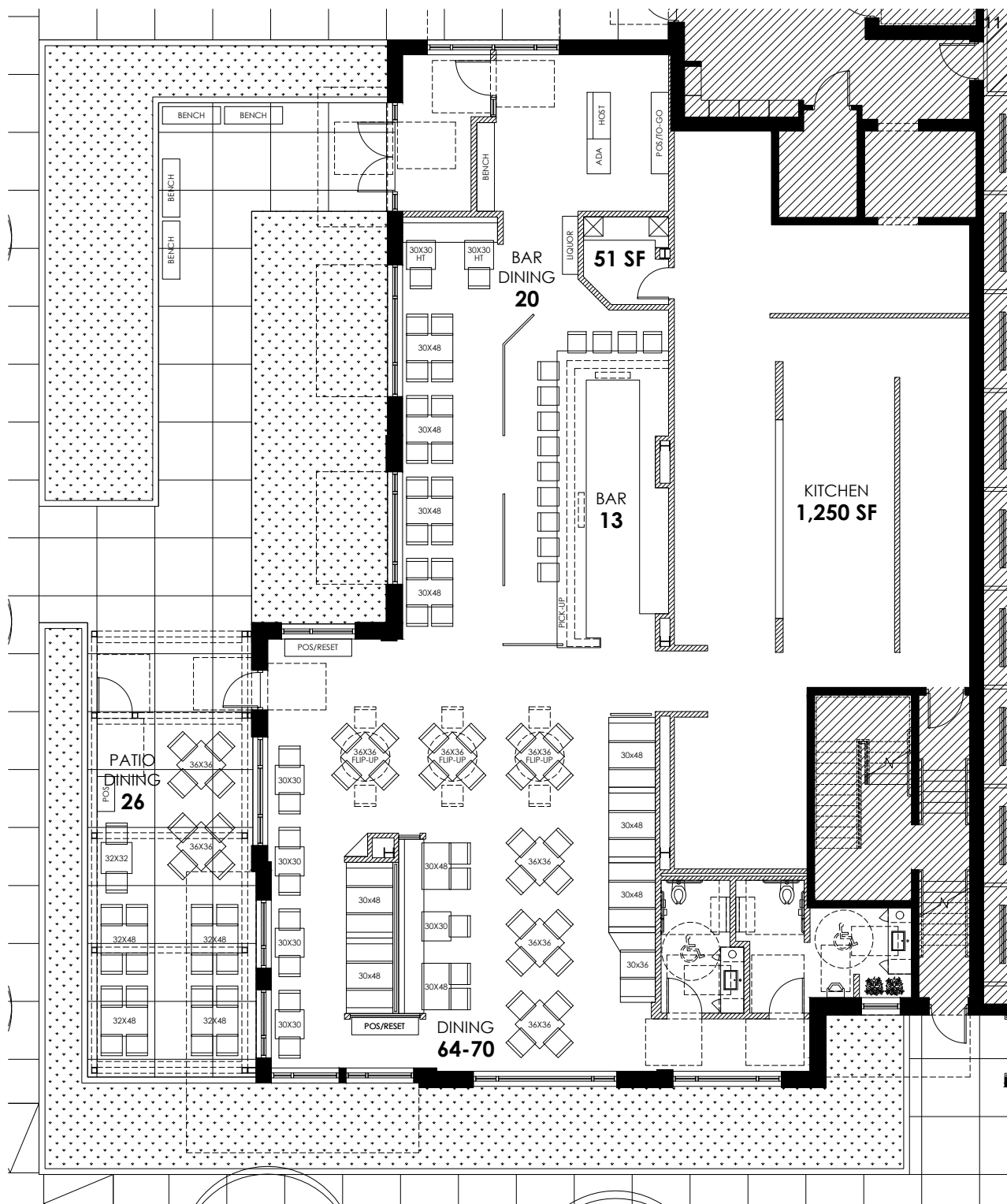
The restaurant is being added to a building already approved by the city and will not bring any additional drainage or environmental concerns and is consistent with the designed use of the space. In design, construction, and operation, we use natural materials and source locally as much as possible. Solid stained wood tabletops, upholstered furniture, linen napkins, and art from the local community all add up to a welcoming environment everyone will enjoy. A family friendly neighborhood restaurant that connects and supports the communities we serve.

Thank you for your consideration. We look forward to being a beneficial and worthwhile addition to the residents and community.

Sincerely,

Robert Gannaway
Cunningham Restaurant Group

Patrick Heitz
Craft Construction

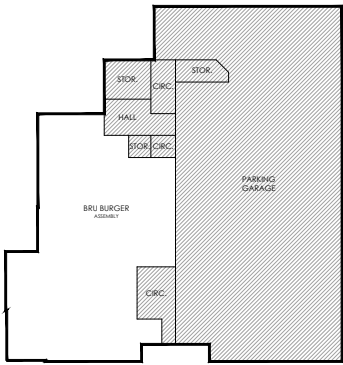


SPACE PLAN F
07.25.2023

SCALE: 3/32" = 1'-0"

BRU BURGER BAR
CUNNINGHAM RESTAURANT GROUP
Bloomington, IN





LIFE SAFETY PLAN LEGEND

ROOM #	ROOM NAME	AREA/LOAD FACTOR	OCCUPANT CAPACITY
EM1	EXIT		
EM2	EXIT		
EM3	EXIT		
EM4	EXIT		
EM5	EXIT		
EM6	EXIT		
EM7	EXIT		
EM8	EXIT		
EM9	EXIT		
EM10	EXIT		
EM11	EXIT		
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EM100	EXIT		

WALL TYPE NOTES

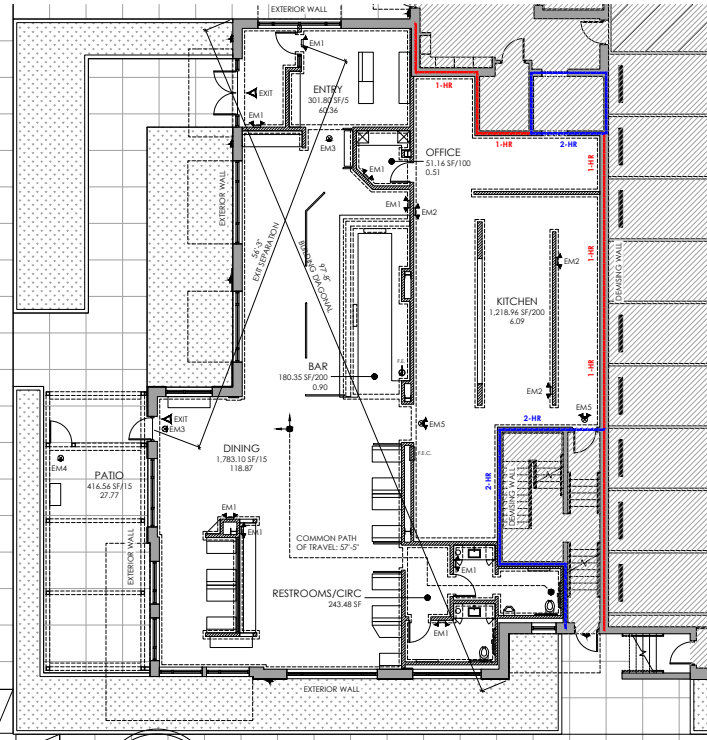
- IN LIEU OF GYPSUM BOARD, PROVIDE CEMENT BOARD AT TOILET ROOMS, KITCHENS, JANITOR CLOSETS, SINKS, OTHER SIMILAR LOCATIONS, AND ANY WALL WHICH IS TO RECEIVE A TILE FINISH.
- METAL STUD CONTRACTOR TO DETERMINE GAUGE AND RELATED ENGINEERING OF METAL STUDS, TRACIS, BRIDGING, BLOCKING, JOCKERS, FURRING, AND OTHER METAL FRAMING COMPONENTS.
- PROVIDE FIRE SAVING AS REQUIRED AT PENETRATIONS IN FIRE-RATED ASSEMBLIES.
- WALL TYPES DO NOT INDICATE WALL FINISH MATERIALS IN ALL CASES. SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFO.
- PROVIDE ADDITIONAL LAYERS OF GYPSUM BOARD, BLOCKING, OR FRAMING AS NEEDED TO ACCOUNT FOR ASSEMBLY OF WALL TYPES OR FINISH CONDITIONS.
- WALL FRAMING, SHEATHING, AND INSULATION TO EXTEND FROM TOP OF SLAB TIGHT TO UNDERSIDE OF DECK, UNLESS NOTED OTHERWISE. REFER TO WALL TYPES.
- VERIFY FIRE RATINGS OF WALLS WITH FIRE RATING TABLE, LIFE SAFETY PLANS, AND OTHER NOTATIONS THROUGHOUT THE DRAWING SET.
- PROVIDE IN-WALL BLOCKING FOR TENANT PROVIDED FF&E ITEMS. COORDINATE WITH TENANT.
- REFER TO FINISH PLAN TO COORDINATE AREAS OF PLYWOOD SHEATHING REQUIRED FOR WOOD PANELING.
- REFER TO ARCHITECTURAL FLOOR PLAN TO COORDINATE AREAS OF PLYWOOD SHEATHING REQUIRED FOR BLOCKING AND MOUNTING OF EQUIPMENT.
- ALL SHEATHING FOR WALLS AND CEILINGS TO BE FIRE RETARDANT TREATED.

CODE SUMMARY

PROJECT SCOPE:	EXIT ANALYSIS:
THE PROJECT INCLUDES THE INTERIOR BUILD-OUT OF A NEW TENANT SPACE FOR USE AS A RESTAURANT. THE EXISTING BUILDING SHELL WAS SEPARATELY SUBMITTED AND IS OUTSIDE THE SCOPE OF THESE DOCUMENTS.	3,785.03 SF (TYPE "A-2" OCCUPANCY) WITH A TOTAL OCCUPANT LOAD OF 187, PER IBC 1015.1. SHALL HAVE A MINIMUM OF TWO (2) EXITS. TWO (2) EXITS HAVE BEEN PROVIDED.
BUILDING DESCRIPTION: IBC 303.3	MAXIMUM COMMON PATH OF TRAVEL DISTANCE: 75 FT
CONSTRUCTION TYPE CLASSIFICATION: IBC 303.2.1.2	MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 200 FT (SPRINKLERED)
TYPE I-A "SPRINKLERED"	
FIRE RESISTANCE DATE REQUIREMENTS: IBC TABLE 601	
STRUCTURAL FRAME: 3 HR (EXISTING)	
EXTERIOR BEARING WALLS: 3 HR (EXISTING)	
NON-BEARING INTERIOR WALLS: 0 HR	
FIRE SEPARATION REQUIREMENTS: IBC TABLE 508.4	
MIXED OCCUPANCY WITH I-2: 1 HR (EXISTING), 0 HR (REQUIRED)	
HORIZONTAL SEPARATION WITH R-2: 1 HR (EXISTING)	
OCCUPANCY	
ACTUAL FLOOR AREA: 3,985.03 SF	
DINING: ASSEMBLY UNCONCENTRATED: 1,783.10 SF/15 = 118.87 OCC.	
ENTRY: ASSEMBLY UNCONCENTRATED: 301.80 SF/5 = 60.36 OCC.	
OFFICE: BUSINESS: 51.16 SF/10 = 5.12 OCC.	
BAR: KITCHEN COMMERCIAL: 180.35 SF/200 = 0.90 OCC.	
KITCHEN: KITCHEN COMMERCIAL: 1,218.94 SF/200 = 6.09 OCC.	
RESTROOMS/CIRC: 243.48 SF	
TOTAL MAX. OCCUPANCY: 186.73 = 187 OCCUPANTS (CALCULATED)	
PATIO: ASSEMBLY UNCONCENTRATED: 416.56 SF/15 = 27.77 = 28 OCC.	
EGRESS ANALYSIS:	
187 OCCUPANTS x 0.15 (PER IBC 1005.2.2) = 28.05 MIN. REQUIRED WIDTH. 108' PROVIDED.	
PATIO: 28 OCCUPANTS x 0.15 = 4.2' MIN. REQUIRED WIDTH. 36' PROVIDED.	
RESTROOM ANALYSIS:	
ANTICIPATED OCCUPANCY: 149	
INTERIOR OCCUPANCY: 103	
PATIO OCCUPANCY: 26	
(STAFF: 20)	
ANTICIPATED MALE OCCUPANCY: ≤ 74.5	
ANTICIPATED FEMALE OCCUPANCY: ≤ 74.5	
PER IBC TABLE 2902.1: 1 PER 75 FOR MALE AND 1 PER 75 FOR FEMALE	
WATER CLOSETS REQUIRED: 1 MALE AND 1 FEMALE	
1 WATER CLOSET AND 1 URINAL PROVIDED FOR MALE	
1 WATER CLOSET PROVIDED FOR FEMALE	
PER IBC TABLE 2902.1: 1 PER 200	
LAVATORIES REQUIRED: 1 MALE AND 1 FEMALE	
1 LAVATORY PROVIDED FOR MALE	
1 LAVATORY PROVIDED FOR FEMALE	

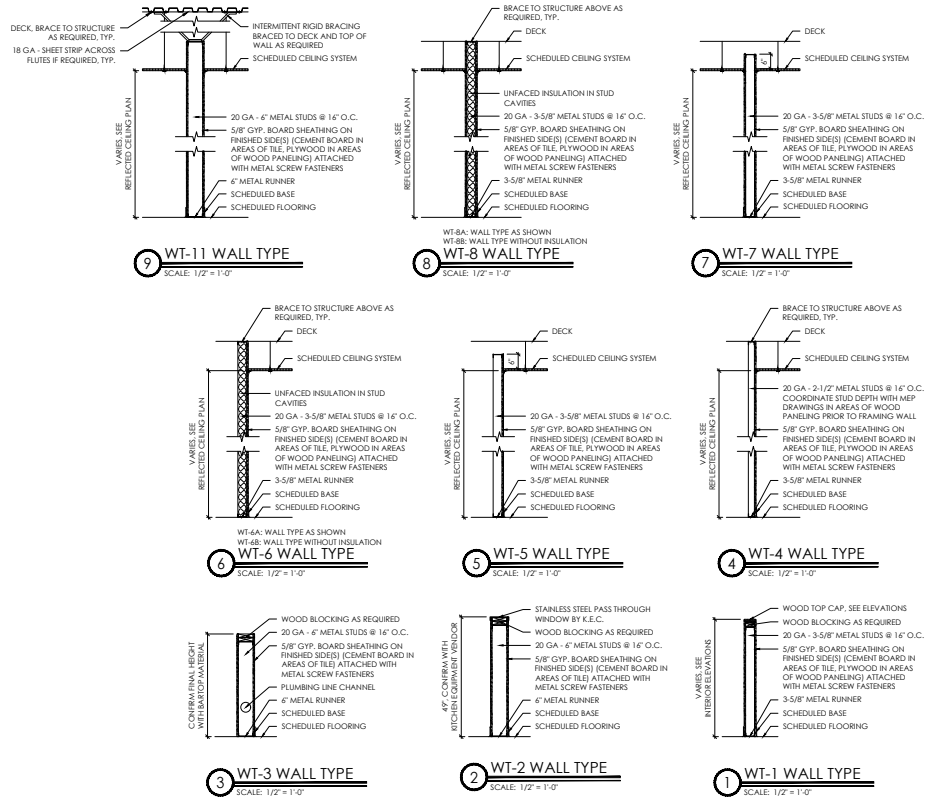
13 BUILDING PLAN

SCALE: NOT TO SCALE



12 LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



Certified By:
BRETT ALLEN ROBERTS
ARCHITECT
STATE OF INDIANA
LICENSED ARCHITECT
AH1600118

DATE: AS NOTED
DATE: 04.28.2023
SCALE: 1/8" = 1'-0"

BRU BURGER BAR
403 E. 3RD ST.
BLOOMINGTON, IN 47401

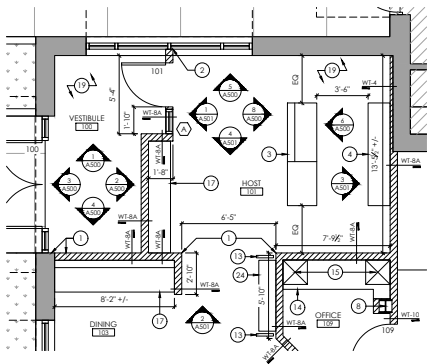


Revisions:

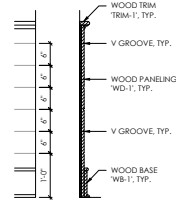
Job Number:

Drawing Name:
LIFE SAFETY PLAN &
WALL TYPES

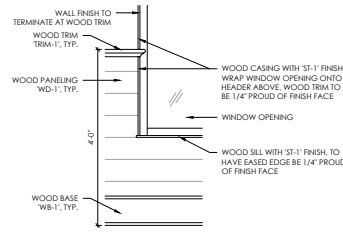
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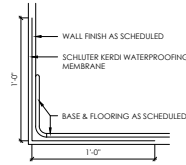
6 ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 TYP. WOOD PANELING MILLWORK DETAIL
SCALE: 3/4" = 1'-0"



4 TYP. WINDOW CASING MILLWORK DETAIL
SCALE: 3/4" = 1'-0"



3 TYP. WATERPROOFING SECTION DETAIL
SCALE: 3" = 1'-0"

WALL TYPE SYMBOLS LEGEND

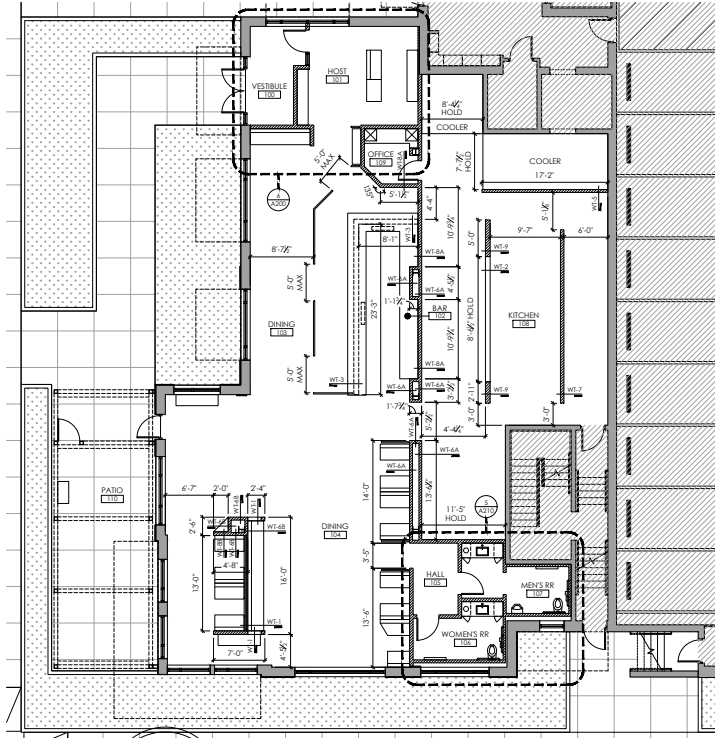
- EXISTING WALL CONSTRUCTION TO REMAIN
- NEW INTERIOR WALL CONSTRUCTION, REFER TO WALL TYPE FOR FURTHER DETAILS
- NEW PARTIAL HEIGHT WALL CONSTRUCTION, REFER TO WALL TYPE FOR FURTHER DETAILS
- NEW UNDER-COUNTER PARTIAL HEIGHT WALL CONSTRUCTION, REFER TO WALL TYPE FOR FURTHER DETAILS
- WALL TYPE TAG, REFER TO WALL TYPE FOR FURTHER DETAILS
- GLASS/WINDOW TAG, REFER TO WINDOW SCHEDULE FOR FURTHER DETAILS

ARCHITECTURAL NOTES

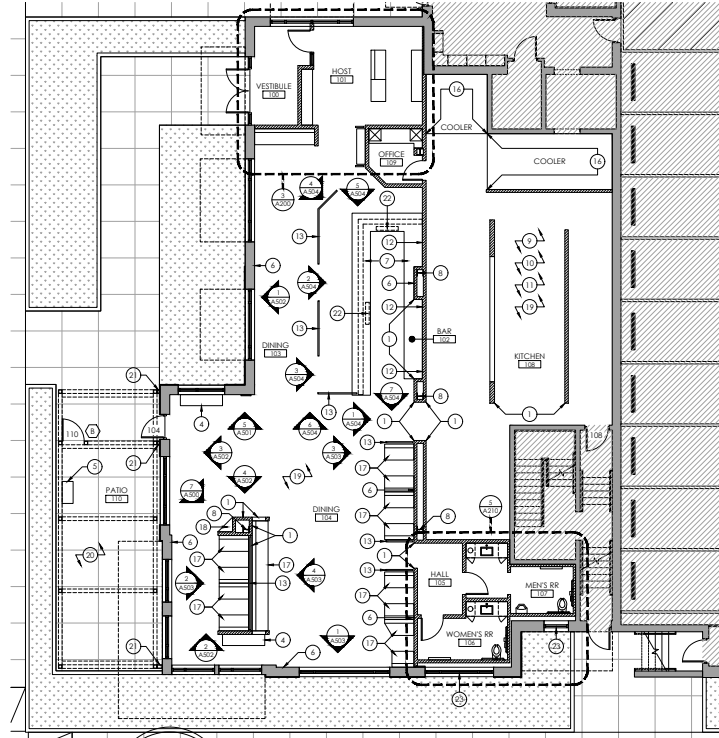
- PROVIDE BLOCKING IN WALLS TO ACCOMMODATE ALL CASEWORK, WALL-MOUNTED EQUIPMENT, AND ACCESSORIES. ALL BLOCKING MUST MEET ALL APPLICABLE FIRE CODES.
- FINISHED DOOR OPENINGS IN ALL NEW PARTITIONS SHALL BE SET 6" FROM ADJACENT PERPENDICULAR PARTITION, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO THE FINISHED FACE OF WALLS AND CENTERLINES OF COLUMNS.
- ALL FINISH MILLWORK/CASEWORK IS TO BE COMPLETED IN STRICT ACCORDANCE WITH AIA STANDARDS, PREMIUM GRADE. SHOP DRAWINGS SHALL BE SUPPLIED TO ARCHITECT PRIOR TO FABRICATION.
- STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. VERIFY EACH ELEMENT WITH ENGINEERING DRAWINGS. NOTIFY ARCHITECT OF ANY CONFLICTS.
- PROVIDE FIRE RATING AT EACH FLOOR LEVEL BETWEEN THE EDGE OF THE SLAB AND INSIDE FACE OF EXTERIOR WALL.
- METAL STUD CONTRACTOR IS RESPONSIBLE FOR GAUGING AND RELATED ENGINEERING OF METAL STUD FRAMED WALL, UNLESS NOTED OTHERWISE ON ENGINEERING DRAWINGS.
- WALL FRAMING, SHEATHING, AND INSULATION EXTEND FROM TOP OF SLAB TIGHT TO UNDERSIDE OF DECK, UNLESS NOTED OTHERWISE.
- EXISTING BUILDING ELEMENTS THAT ARE DAMAGED OR MODIFIED DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO MATCH THEIR EXISTING ADJACENT CONDITIONS.
- PROVIDE SOUND GASKET AND NON-COMBUSTIBLE STONE OR METAL THRESHOLD AT UNIT ENTRY DOORS.

KEYED ARCHITECTURAL NOTES

- ALIGN FINISH FACES.
- ALIGN NEW WALL WITH CENTER OF WINDOW MULLION. REFER TO 13/A610 FOR FURTHER DETAILS.
- CONTRACTOR TO PROVIDE AND INSTALL HOST STATION. COORDINATE ELECTRICAL AND DATA WITH FINAL DESIGN.
- CONTRACTOR TO PROVIDE AND INSTALL P.O.S. AND RESET STATION. PROVIDE DATA ACCESS. COORDINATE ELECTRICAL AND DATA WITH FINAL DESIGN.
- EXTERIOR P.O.S. STATION PROVIDED BY PHANOMEN. PROVIDE DATA ACCESS. COORDINATE ELECTRICAL AND DATA WITH FINAL DESIGN.
- CONTRACTOR INSTALL WALL-MOUNTED TENANT PROVIDED TV. PROVIDE BLOCKING AND COORDINATE POWER/DATA AS REQUIRED. CONFIRM MOUNTING HEIGHT WITH TENANT PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE AND INSTALL BAR AND BACK BAR IN LOCATION AS SHOWN.
- DESTING STEEL STRUCTURAL COLUMN TO REMAIN. VERIFY LOCATIONS IN FIELD. PROVIDE MINIMAL COLUMN SURROUND AS REQUIRED, UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT/DESIGNER OF ANY CONFLICTS.
- AT KITCHEN AREAS: CONFIRM LOCATIONS AND REQUIREMENTS WITH KITCHEN EQUIPMENT VENDOR AND TENANT PRIOR TO INSTALLATION OF 3/4" EXTERIOR GRADE PLYWOOD SHEATHING AT 48" A.F.F. TO 96" A.F.F. AND/OR 24" A.F.F. TO 48" A.F.F. AT HAND SINKS BEHIND FRP WALL FINISH.
- AT KITCHEN AREAS: COORDINATE LOCATION OF WALLS WITH KITCHEN EQUIPMENT VENDOR BEFORE FRAMING.
- PROVIDE AND INSTALL SCHLUTER (KERDI OR EQUAL) WATERPROOFING MEMBRANE 12" UP WALL AND 12" AT FLOOR IN ALL WET LOCATIONS. COORDINATE EXTENTS WITH THE ARCHITECT/DESIGNER. REFER TO 3/A600 FOR FURTHER DETAILS.
- CONTRACTOR TO PROVIDE BLOCKING IN CEILING TO ACCOMMODATE BACK BAR HANGING SHELVES. CONFIRM LOCATIONS WITH FINAL DESIGN.
- CONTRACTOR TO PROVIDE AND INSTALL DECORATIVE METAL SCREEN. CONFIRM LOCATIONS WITH FINAL DESIGN.
- CONTRACTOR TO PROVIDE AND INSTALL BLACK LAMINATE WORK COUNTER AND WALL-MOUNTED SHELVING.
- CONTRACTOR TO INSTALL TENANT PROVIDED DATA RACKS. PROVIDE BLOCKING AS NECESSARY. PROVIDE AND CONNECT ELECTRICAL AND DATA AS NECESSARY.
- CONFIRM INSTALLATION OF FURRING AND WALL SUBSTRATE IN AREAS CONCEALED BY WALK-IN COOLER WITH THE KITCHEN EQUIPMENT VENDOR AND THE TENANT.
- BOOTHES PROVIDED BY PHANOMEN. COORDINATE EXTENTS OF BASE AND WOOD PANELING WITH BOOTH LOCATIONS.
- BUILT-IN WOOD SHELVES. REFER TO 5/A610 FOR FURTHER DETAILS.
- PROVIDE SUBSTRATE ON PERIMETER WALLS, UNLESS NOTED OTHERWISE. VERIFY LOCATIONS IN FIELD. REFER TO THE FINISH PLAN TO COORDINATE APPROPRIATE SUBSTRATE.
- TENANT PROVIDED AND INSTALLED PERGOLA STRUCTURE. THE DESIGN AND SCOPE OF THE PERGOLA IS OUTSIDE THE SCOPE OF THESE DRAWINGS. COORDINATE FOOTINGS REQUIRED FOR STRUCTURAL COLUMNS AND ELECTRICAL CONNECTIONS WITH MANUFACTURER.
- PROVIDE AND INSTALL BREAK METAL WRAPPED DECORATIVE COLUMN TO FILL GAP BETWEEN THE PERGOLA COLUMNS AND THE BUILDING AS REQUIRED.
- COORDINATE THE INSTALLATION AND LOCATION OF THE TENANT PROVIDED DROP-IN DRINK RAIL WITH KITCHEN EQUIPMENT VENDOR AND THE TENANT.
- CONTRACTOR TO PROVIDE AND INSTALL FROSTED WHITE SPANDREL FILM ON STOREFRONT WINDOWS AT THIS LOCATION ONLY. UNLESS NOTED OTHERWISE, CONTRACTOR TO COORDINATE LOCATIONS AND SUBMIT A SAMPLE/SPEC. TO THE ARCHITECT/DESIGNER FOR APPROVAL.
- CONTRACTOR TO PROVIDE AND INSTALL METAL LIQUOR CABINET.



2 DIMENSIONED FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 ANNOTATED FLOOR PLAN
SCALE: 1/8" = 1'-0"



Certified By:
Allen Roberts
Professional Engineer
State of Indiana
No. AH1600118

DATE: AS NOTED
DATE: 04.28.2023
SHEET #: 3.5
CHECKED BY: BAW/UC

BRU BURGER BAR
403 E. 3RD ST.
BLOOMINGTON, IN 47401



Revisions:

Job Number:

Drawing Name:
FLOOR PLANS

Drawing Number:
A200

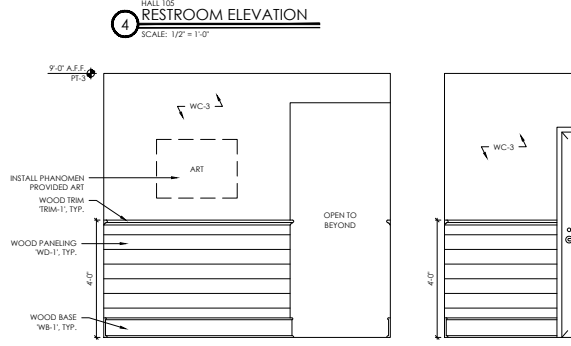
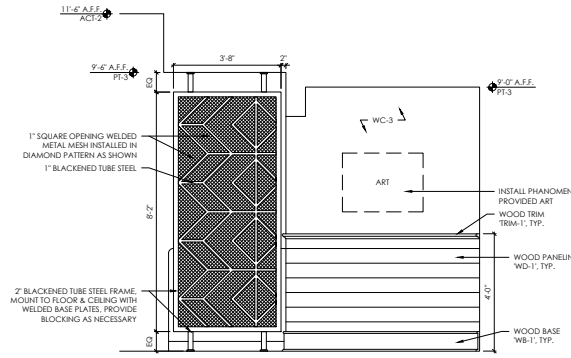
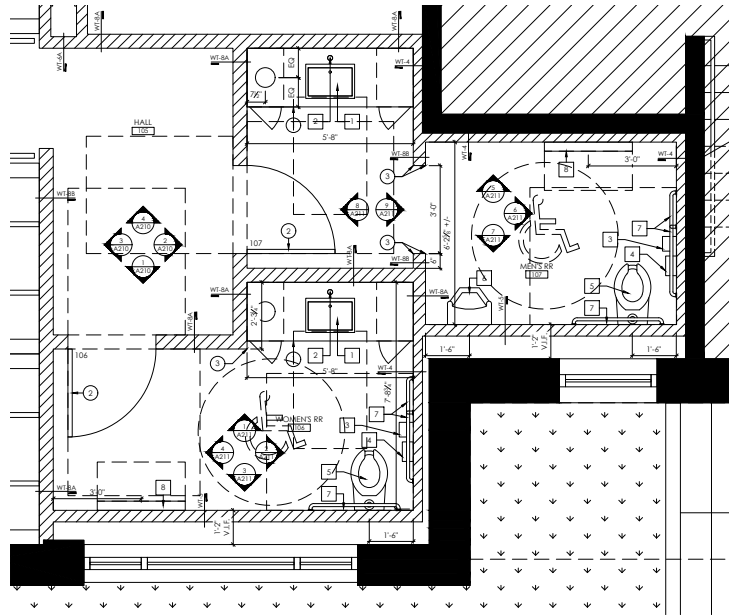
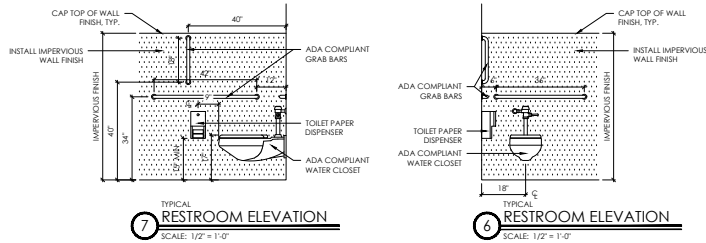
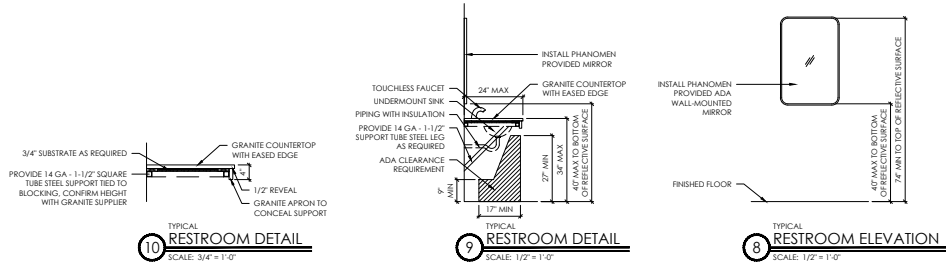
ACCESSIBILITY NOTES

- A. AT ALL ADA RESTROOM STALLS PROVIDE SPECIFIED GRAB BARS. REFERENCE ELEVATIONS FOR DIMENSIONS.
- B. PROVIDE BLOCKING FOR ALL WALL MOUNTED TOILET ACCESSORIES.
- C. RESTROOMS SHALL CONFORM TO ALL HANDICAP ACCESSIBILITY REQUIREMENTS, INCLUDING THE FOLLOWING:
 1. ELONGATED WATER CLOSET SEAT HEIGHT: 17"-19" A.F.F. URINAL RIM HEIGHT 17" MAX A.F.F.
 2. CENTER LINE OF WATER CLOSET: 18" FROM SIDE WALL, GRAB BAR BEHIND WATER CLOSET: 36" LONG, 34" A.F.F.
 3. GRAB BAR AT SIDE OF WATER CLOSET: 42" LONG, 34" A.F.F.
 4. VERTICAL GRAB BAR: 15" LONG: 48" A.F.F.
 5. GRAB BAR DIAMETER: 1 1/4" TO 1 1/2"
 6. SPACE BETWEEN WALL AND GRAB BAR: 1-1/2"
 7. TOILET PAPER DISPENSER: 19" A.F.F.
 8. KNEE CLEARANCE AT LAVATORY APRON: 29" A.F.F. MIN HEIGHT, 8" MIN DEPTH.
 9. LAVATORY DEPTH: 17" MIN.
 10. LAVATORY W/W AND DRAIN PIPES INSULATED WHERE EXPOSED.
 11. LAVATORY RIM SURFACE: 34" MAX A.F.F.
 12. MIRROR BOTTOM EDGE: 48" MAX A.F.F.
 13. FAUCETS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING OR TWISTING OF WRISTS. THE FORCE TO ACTIVATE SHALL NOT EXCEED 5 POUNDS.
 14. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS AND SHALL BE DESIGNED FOR A 250 POUND LOAD.
 15. LIGHT SWITCH SHALL BE MOUNTED LESS THAN 48" A.F.F.
 16. DOOR HARDWARE SHALL BE "LEVER-ARM" TYPE.
 17. FAUCET HANDLES SHALL BE "LEVER-ARM" TYPE.

KEYED ARCHITECTURAL NOTES

1. INSTALL GR-1 GRANITE LAVATORY COUNTERTOP. CONTACT PHANOMEN FOR THE FINAL SPEC. 8" GROUND IN COUNTERTOP TO TRASH BIN BELOW.
 2. PROVIDE AND INSTALL DARK BRONZE COAT HOOK ON THE WATER CLOSET FACING SIDE OF THE DOOR PER MANUFACTURER RECOMMENDATION. HOOK MOUNTING HEIGHT NOT TO EXCEED 48" A.F.F. MAX AND NOT TO PROJECT MORE THAN 4" FROM THE MOUNTING SURFACE.
 3. PROVIDE AND INSTALL SCHLUTER TRIM TRIM-2 AT ALL OUTSIDE TILE CORNERS, TYP.
- ACCESSORY & FIXTURE LEGEND
CONTRACTOR TO PROVIDE CUT SHEETS FOR DESIGNER & TENANT APPROVAL PRIOR TO ORDER

1. PROVIDE & INSTALL ADA COMPLIANT LAVATORY:
MANUFACTURER: TOIO
TYPE: RECTANGULAR UNDERCOUNTER LAVATORY, LT221
FINISH: COTTON
2. PROVIDE & INSTALL ADA COMPLIANT FAUCET:
MANUFACTURER: TOIO
TYPE: STANDARD EC-COCHER FAUCET, TEL101 SERIES
FINISH: POLISHED CHROME
3. PROVIDE & INSTALL SURFACE-MOUNTED TOILET TISSUE DISPENSER:
MANUFACTURER: BOBRICK
TYPE: SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER, B-2888
FINISH: SATIN STAINLESS STEEL
4. PROVIDE & INSTALL SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL:
MANUFACTURER: BOBRICK
TYPE: SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL, B-35139
FINISH: SATIN STAINLESS STEEL
5. PROVIDE & INSTALL ADA COMPLIANT WALL-HUNG TOILET:
MANUFACTURER: TOIO
TYPE: COMMERCIAL FLUSHMETER TOP SPUD WALL-HUNG TOILET, CT708UG
FINISH: COTTON
NOTE: PROVIDE FLUSH VALVE PER MANUFACTURER RECOMMENDATION
6. PROVIDE & INSTALL ADA COMPLIANT WALL-HUNG URINAL:
MANUFACTURER: TOIO
TYPE: LOW CONSUMPTION WASHOUT URINAL, UT447E
FINISH: COTTON
NOTE: PROVIDE FLUSH VALVE PER MANUFACTURER RECOMMENDATION
7. PROVIDE & INSTALL ADA COMPLIANT GRAB BARS:
MANUFACTURER: ELCOMA
TYPE: 1 1/4" PREMIUM GRAB BARS, KNURLED
FINISH: OIL RUBBED BRONZE, DARK
NOTE: PROVIDE BLOCKING IN WALL AS REQUIRED
8. PROVIDE & INSTALL WALL-MOUNTED BABY CHANGING STATION:
MANUFACTURER: YOKALA KAZE
TYPE: HORIZONTAL WALL-MOUNTED BABY CHANGING STATION, KB200-0155
FINISH: STAINLESS STEEL & GREY
NOTE: PROVIDE BLOCKING IN WALL & MOUNT AT ADA HEIGHT PER MANUFACTURER RECOMMENDATION



AS NOTED
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CHECKED BY: SAK/ACE

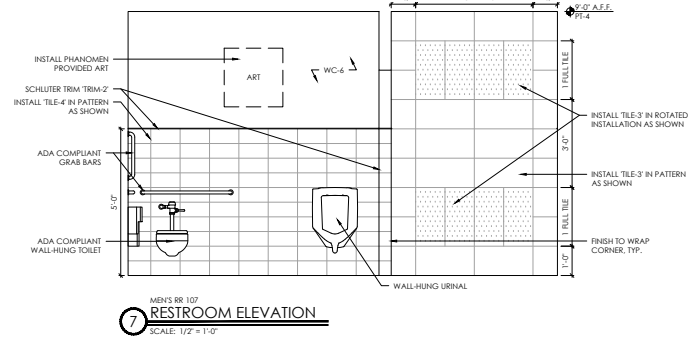
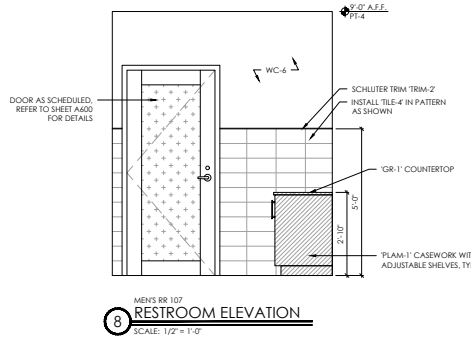
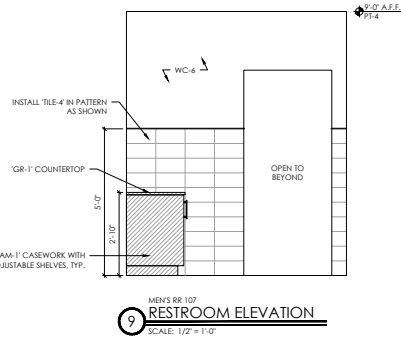
BRU BURGER BAR
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BLOOMINGTON, IN 47401



Revisions:
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Drawing Name:
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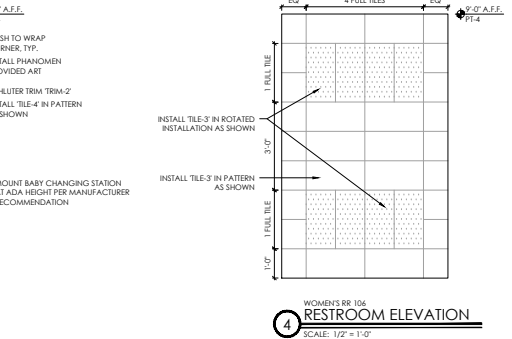
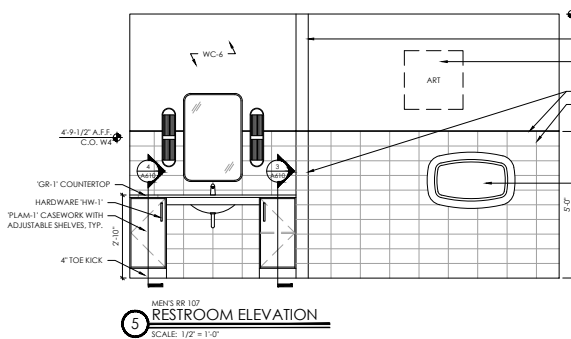
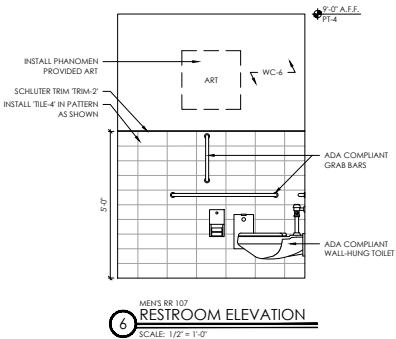
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9
MEN'S RR 107
RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"

8
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RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"

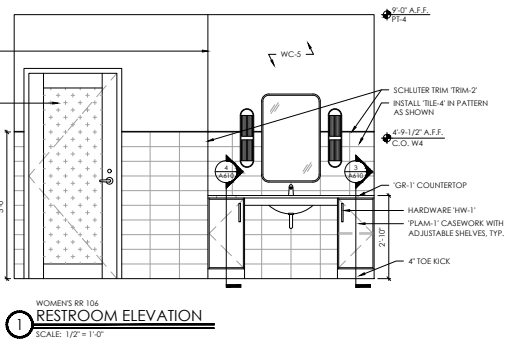
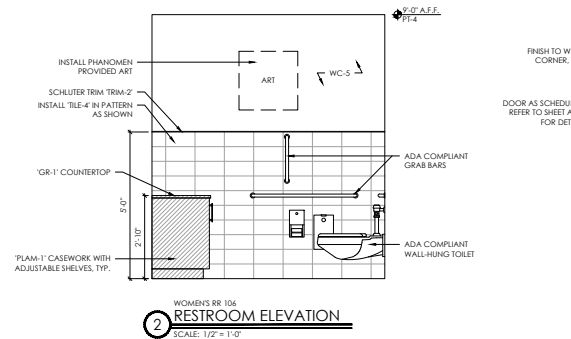
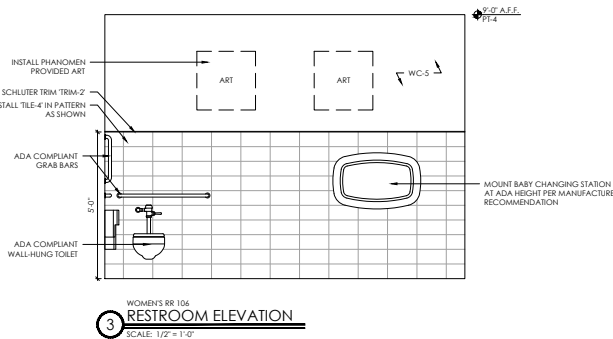
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RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



6
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SCALE: 1/2" = 1'-0"

5
MEN'S RR 107
RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"

4
WOMEN'S RR 106
RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



3
WOMEN'S RR 106
RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"

2
WOMEN'S RR 106
RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"

1
WOMEN'S RR 106
RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



AS NOTED
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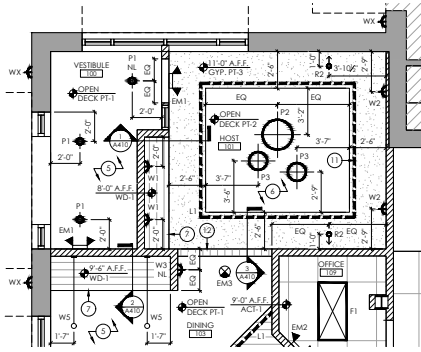
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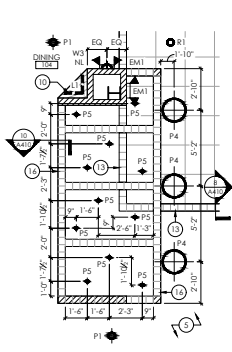
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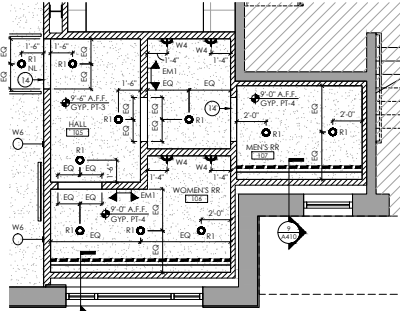
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4 ENLARGED RCP
SCALE: 1/4" = 1'-0"



5 ENLARGED RCP
SCALE: 1/4" = 1'-0"



2 ENLARGED RCP
SCALE: 1/4" = 1'-0"

FIXTURE LEGEND

NOTE: FIXTURES BELOW TO BE PROVIDED & INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE SPECS FOR DESIGNER APPROVAL.

- R1:** RECESSED PANEL LIGHT: AURA LUMINARIA AN STANDARD, PFS11462, 2 x 4, 50W LED, 3000K LAMPING.
- L1:** LINEAR TAPE TASK LIGHT: NODRA LIGHTING, 1.5W/FT LED, 2700K LAMPING; CONTRACTOR TO VERIFY QUANTITY TO FILL ENTIRE LENGTH OF LIQUOR SHELF, WALL CAP, CEILING COVE, OR BAR TOP OVERHANG; AND DIMMING REQUIREMENTS PRIOR TO ORDER; FIXTURE TO BE WET-RATED AT ALL BAR AREAS & LIQUOR SHELVES
- R2:** MEDIUM BASE RECESSED CAN LIGHT FIXTURE: 6" DIA., BLACK TRIM, DIMMABLE, 15W LED, 2700K LAMPING
- R3:** PERGOLA RECESSED CAN LIGHT FIXTURE: PERGOLA MANUFACTURER, 4.2" DIA., DARK BRONZE TRIM, 15 DEGREE SPOT, DIMMABLE, 5W LED, 2700K LAMPING
- P1:** MEDIUM BASE SUSPENDED CAN LIGHT FIXTURE: 6" DIA., BLACK TRIM, DIMMABLE, 15W LED, 2700K LAMPING
- EM1:** EMERGENCY LIGHT: SURE-LITES, APEL SERIES IN BLACK FINISH
- EM2:** EMERGENCY LIGHT: SURE-LITES, APEL SERIES IN WHITE FINISH
- EM3:** EMERGENCY EXIT SIGN: EMERGIT-LITE W/4-FEN-20M, EDGE-LIT EMERGENCY EXIT SIGN WITH RED LETTERS ON MARRON FINISH
- EM4:** EXTERIOR WET-RATED EXIT SIGN WITH EMERGENCY LIGHTS: DUAL EYE SERIES WITH RED LETTERS, SINGLE FACED, NO ARROWS, IN BLACK FINISH
- EM5:** CONTRACTOR STANDARD SURFACE MOUNTED EXIT SIGN WITH RED LETTERS IN WHITE FINISH
- HT1:** EXTERIOR RADIANT PATIO HEATER. REFER TO MECHANICAL DRAWINGS FOR DETAILS. PROVIDE BRACKET TO FASTEN TO PERGOLA BEAM. COORDINATE WITH LETTERS REQUIREMENTS WITH TOM GEORGELOS (tgeorge@bruhindustries.net)

REFLECTED CEILING LEGEND

NOTE: CONTRACTOR TO COORDINATE & VERIFY ALL DIMMING REQUIREMENTS WITH LIGHT FIXTURE MANUFACTURER

- HEIGHT INDICATION ABOVE FINISHED FLOOR
- NL NIGHT LIGHT FIXTURE
- EM EMERGENCY BATTERY BACK-UP LIGHT FIXTURE
- + XX" MOUNTING HEIGHT TO CENTER ABOVE FINISHED FLOOR
- ACT-1:** NEW 2 x 4' SUSPENDED CEILING SYSTEM. REFER TO THE REFLECTED CEILING PLAN FOR FURTHER DETAILS
- ACT-2:** NEW 2 x 2' SUSPENDED CEILING SYSTEM. REFER TO THE REFLECTED CEILING PLAN FOR FURTHER DETAILS
- GYP:** NEW METAL STUD AND GYPSUM BOARD CEILING. REFER TO THE REFLECTED CEILING PLAN FOR FURTHER DETAILS
- WD-1:** NEW WOOD CEILING. REFER TO THE REFLECTED CEILING PLAN FOR FURTHER DETAILS

NOTE: FIXTURES BELOW TO BE PROVIDED & INSTALLED BY CONTRACTOR

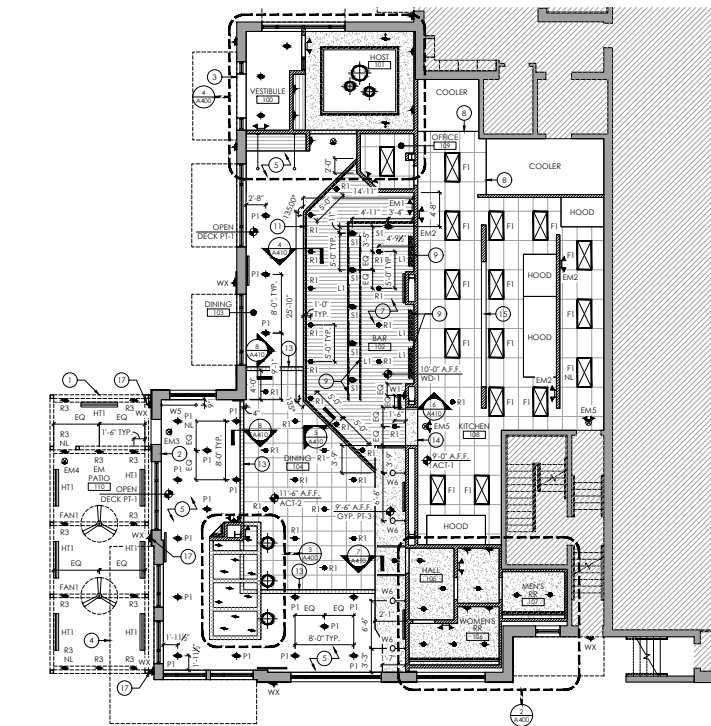
- WK:** EXTERIOR WALL SCONCE: ON BATTERY BACK-UP, CONFORM WITH LANDINGS

NOTE: FIXTURES BELOW TO BE PROVIDED BY PHANOMEN & INSTALLED BY CONTRACTOR

- P2:** PENDANT LIGHT FIXTURE: 25.5" DIA., BROWN FINISH, DIMMABLE, 100W/120V LED, 1x A19/MEDIUM (E26) LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- P3:** PENDANT LIGHT FIXTURE: 15.75" DIA., BROWN FINISH, DIMMABLE, 75W/120V LED, 1x A19/MEDIUM (E26) LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- P4:** PENDANT LIGHT FIXTURE: 19.7" DIA., BRONZE FINISH, DIMMABLE, 150W/120V, 1x MEDIUM (E26) LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- P5:** PENDANT LIGHT FIXTURE: 2.75" DIA., BLACK MESH & TEXTURED BLACK FINISH, DIMMABLE, 60W/120V INCANDESCENT, 1x EDISON TUBE/MEDIUM (E26) LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- S1:** CEILING FLUSH MOUNT LIGHT FIXTURE: 7" DIA., WHITE & OXIDE RED FINISH, DIMMABLE, 5W/120V LED, 1x LED/G24 2700K LAMPING
- W1:** PICTURE LIGHT WALL SCONCE: BLACK FINISH, DIMMABLE, 8.5W/120V LED, 1x LED 2700K LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- W2:** WALL SCONCE: CHEMICAL BRONZE FINISH, DIMMABLE, 75W/120V LED, 2x T10/MEDIUM (E26) LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- W3:** WALL SCONCE: OIL RUBBED BRONZE FINISH, DIMMABLE, 10W/120V LED, 4x LED 2700K LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- W4:** WALL SCONCE: CLEAR RIBBED GLASS & URBAN BRONZE FINISH, DIMMABLE, 26W/120V LED, 1x LED 3000K LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- W5:** SWING ARM WALL SCONCE: BLACK FINISH, DIMMABLE, 12W/120-277V LED, 1x LED 3000K LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- W6:** SWING ARM WALL SCONCE: FRENCH BLACK FINISH, DIMMABLE, 5W/120V LED, 1x G13/CANDILABRA (E12) LAMPING; CONFORM MOUNTING HEIGHT WITH DESIGNER PRIOR TO ROUGH-IN
- FAN1:** EXTERIOR CEILING FAN: 60" DIA., BLACK FINISH, NO LIGHT KIT, WET-RATED; CEILING FAN MUST BE ATTACHED TO A SECURELY ANCHORED JUNCTION BOX CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 35 LBS

- ### REFLECTED CEILING NOTES
- A. PROVIDE FIRE DAMPERS AT FIRE-RATED PARTITIONS.
 - B. THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING HEIGHT AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, LIGHTING, AND OTHER OBSTRUCTIONS TO ASSURE THE FINISHED CEILING HEIGHT INDICATED. ANY DISCREPANCY SHALL BE BROUGHT TO THE ARCHITECT/DESIGNER'S ATTENTION IMMEDIATELY, PRIOR TO THE COMMENCEMENT OF ANY WORK.
 - C. CEILING IN ALL AREAS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, AND STATE AND LOCAL BUILDING CODES.
 - D. ALL DIMENSIONS ARE FROM CENTERLINE TO CENTERLINE OF FIXTURES.
 - E. ALL GYPSUM BOARD WALLS, CEILINGS, AND BULKHEADS SHALL BE A SMOOTH LEVEL FINISH AS OUTLINED IN GYPSUM ANNOTATION GA-214.
 - F. REFER TO ELECTRICAL DRAWINGS FOR SWITCHING INTENT, MOUNT CENTER OF SWITCH 6" FROM EDGE OF DOOR FRAME, UNLESS NOTED OTHERWISE. CONFIRM ALL NEW SWITCH LOCATIONS WITH OWNER PRIOR TO ROUGH-IN. STACK SWITCHES AS NECESSARY.
 - G. ALL MATERIALS EXPOSED WITHIN THE PLENUM MUST BE NON-COMBUSTIBLE OR SHALL COMPLY WITH LABELING, FLAME, AND SMOKE DEVELOPMENT RATINGS AS SPECIFIED IN THE CURRENT EDITION OF THE APPLICABLE MECHANICAL CODE.
 - H. ALL EXISTING CEILINGS AND CEILING HEIGHTS TO REMAIN, UNLESS NOTED OTHERWISE.
 - I. MEANS OF EGRESS ILLUMINATION SHALL BE LOCATED IN ACCORDANCE WITH SECTION 1008.08C.
 - J. PAINT ALL GRILLES, DIFFUSERS, ETC., TO MATCH SURFACE ON WHICH THEY OCCUR.
 - K. DRYWALL CEILING TO HAVE CONCEALED SPRINKLER HEADS, EXPOSED CEILING AND COOLER AREAS TO HAVE BLACK UPRIGHT SPRINKLER HEADS.

- ### KEYED REFLECTED CEILING NOTES
1. TENANT PROVIDED AND INSTALLED PERGOLA STRUCTURE. THE DESIGN AND SCOPE OF THE PERGOLA IS OUTSIDE THE SCOPE OF THESE DRAWINGS. COORDINATE FOOTINGS REQUIRED FOR STRUCTURAL COLUMNS AND ELECTRICAL CONNECTIONS WITH MANUFACTURER.
 2. LOCATION OF PERGOLA CONTROL BOX AND HEATER SWITCHES. COORDINATE WITH PERGOLA AND HEATER MANUFACTURER.
 3. COORDINATE ELECTRICAL AND POWER REQUIREMENTS FOR THE INSTALLATION OF TENANT PROVIDED SIGN. CONFORM MOUNTING HEIGHT OF SIGN PRIOR TO ROUGH-IN.
 4. LINE OF AWNING, COORDINATE HEIGHT OF PERGOLA WITH EXISTING AWNING.
 5. OPEN TO DECK ABOVE. PAINT ALL VISIBLE AREAS OF EXPOSED DESK 'PT-1', ALL EXPOSED DUCTWORK, GRILLES, ETC., TO BE PAINTED TO MATCH.
 6. OPEN TO DECK ABOVE. PAINT ALL VISIBLE AREAS OF EXPOSED DESK 'PT-2', ALL EXPOSED DUCTWORK, GRILLES, ETC., TO BE PAINTED 'PT-1' AS WELL.
 7. INSTALL 'WD-1' WOOD CEILING IN PATTERN AS SHOWN. REFER TO FINISH SPECIFICATIONS FOR FURTHER DETAILS.
 8. KITCHEN CEILING: ACT-1 TO OVERLAP COOLERS BY 12", TYPICAL.
 9. INSTALL TAPE LIGHT 'L1' AT BAR FRONT AND BACK BAR SHELVING LOCATIONS. REFER TO 10(A)10, 11(A)10, AND 12(A)10 FOR FURTHER DETAILS.
 10. INSTALL TAPE LIGHT 'L1' IN BUILT-IN WOOD SHELVES. REFER TO 5(A)10 FOR FURTHER DETAILS.
 11. INSTALL TAPE LIGHT 'L1' AT BULKHEAD.
 12. FINISH HEADER TO BE 9'-6" A.F.F.
 13. FINISH HEADER TO BE 11'-0" A.F.F.
 14. FINISH HEADER TO BE 7'-0" A.F.F.
 15. FINISH HEADER TO BE 8'-1" FOR KITCHEN PASS-THRU WINDOW. CONFIRM WITH KITCHEN EQUIPMENT VENDOR AND TENANT.
 16. FINISH HEIGHT OF THE BOOTH MILLWORK STRUCTURE TO BE 10'-4" A.F.F.
 17. REMOVE EXISTING EXTERIOR LED SCONCE AND REPLACE WITH BLANK PLATE.



1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

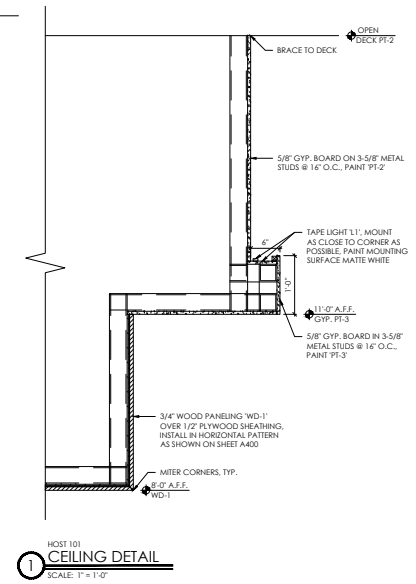
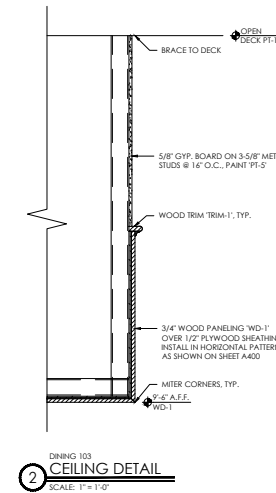
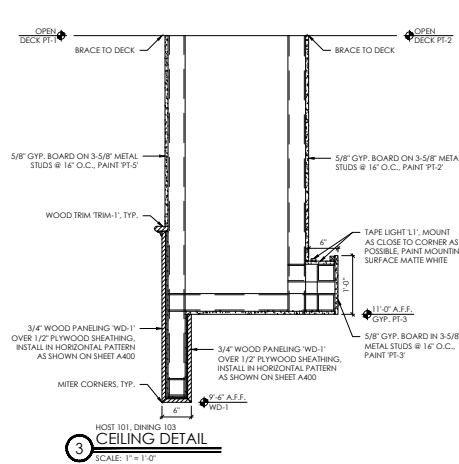
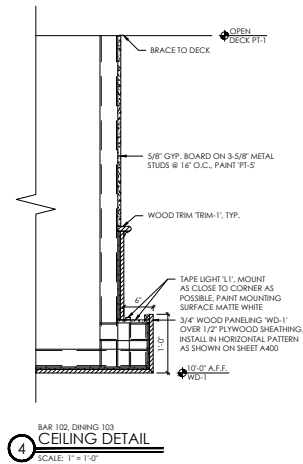
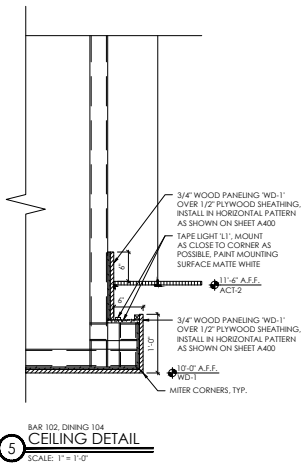
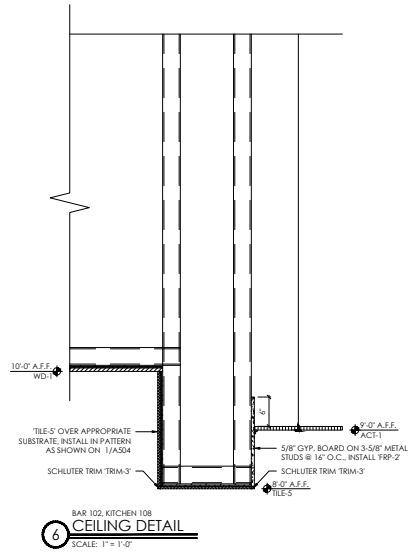
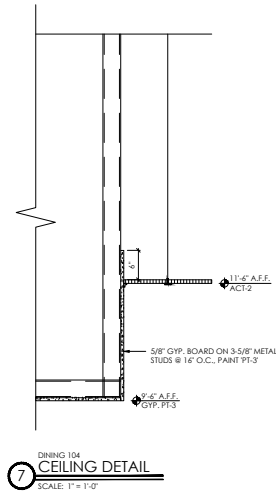
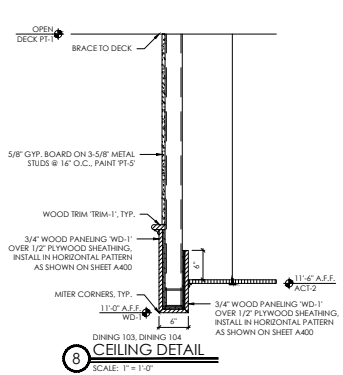
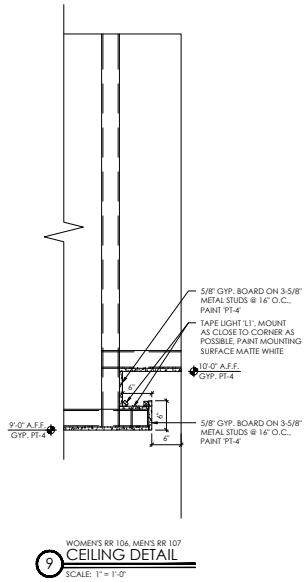
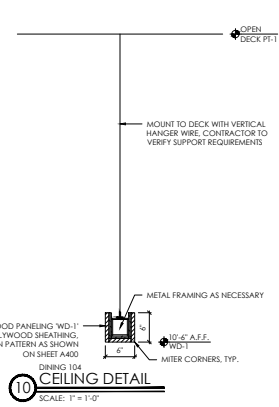


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Date: 04/28/2023
Sheet #: 3.5
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Revisions:
Job Number:
Drawing Name: REFLECTED CEILING PLAN
Drawing Number: A400



Certified By:
PHYLIS M. HESTER
Professional Engineer
No. AH16600118
STATE OF INDIANA
ARCHITECT

DATE: AS NOTED
Scale: 04.28.2023
Sheet #: 19
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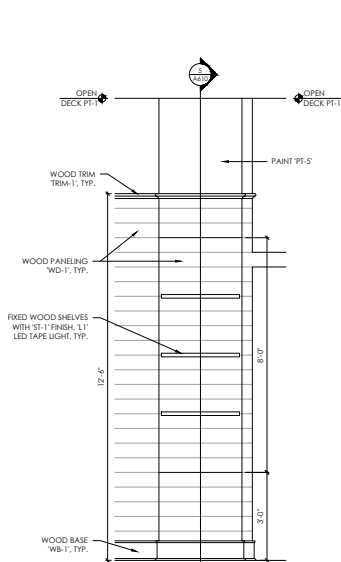


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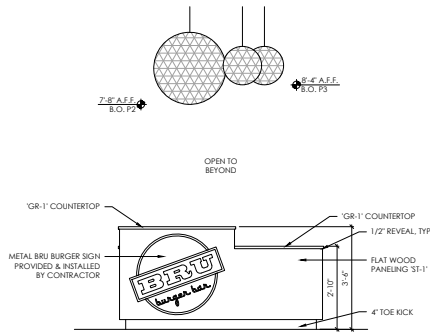
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Drawing Name:
CEILING DETAILS

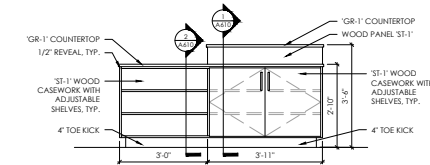
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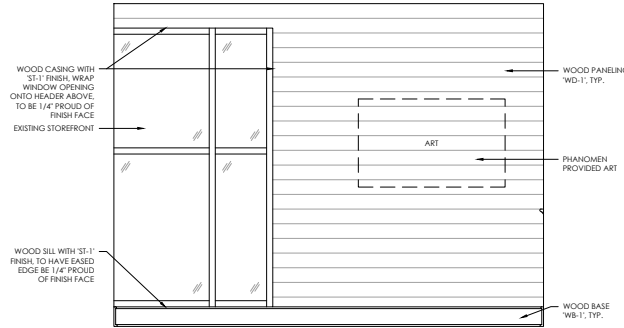
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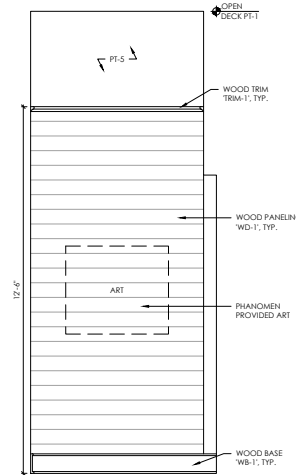
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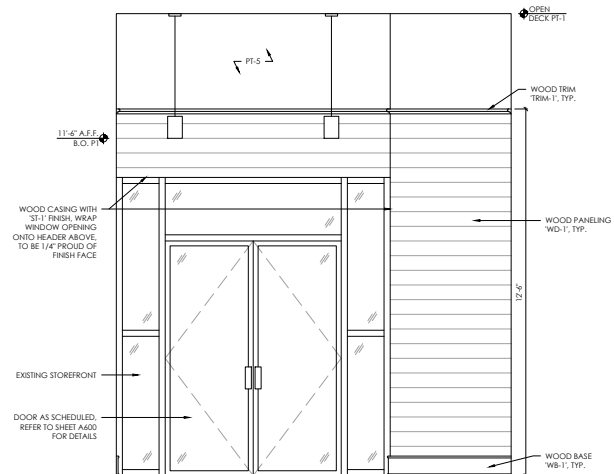
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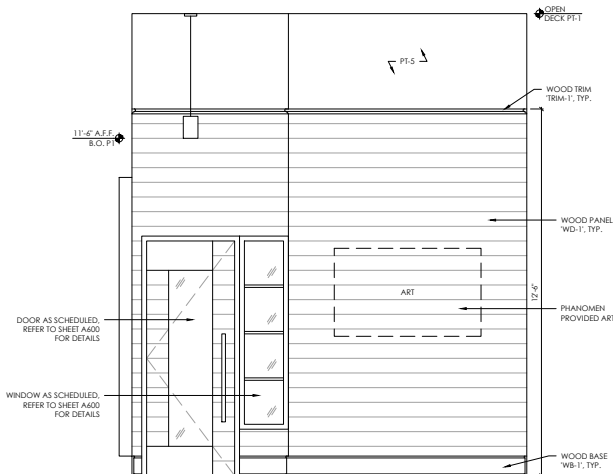
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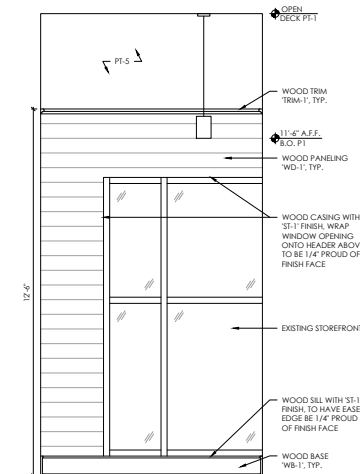
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SCALE: 1/2" = 1'-0"



3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



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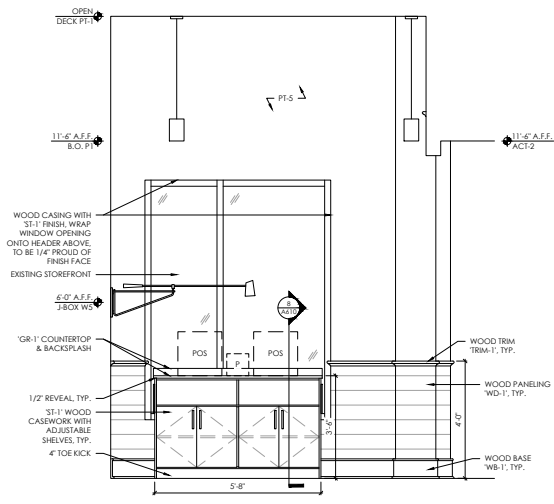
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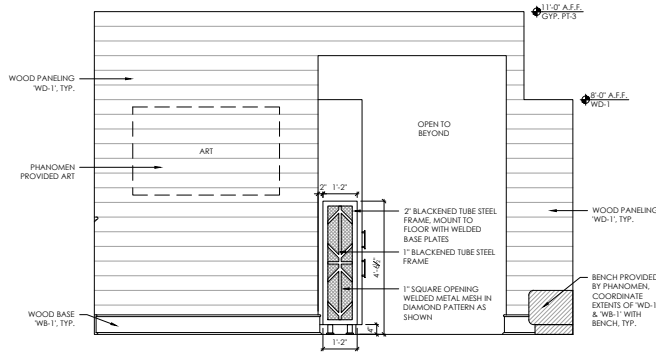
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Drawing Name:
INTERIOR ELEVATIONS

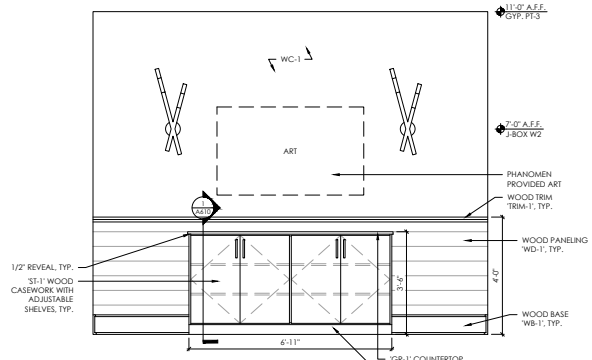
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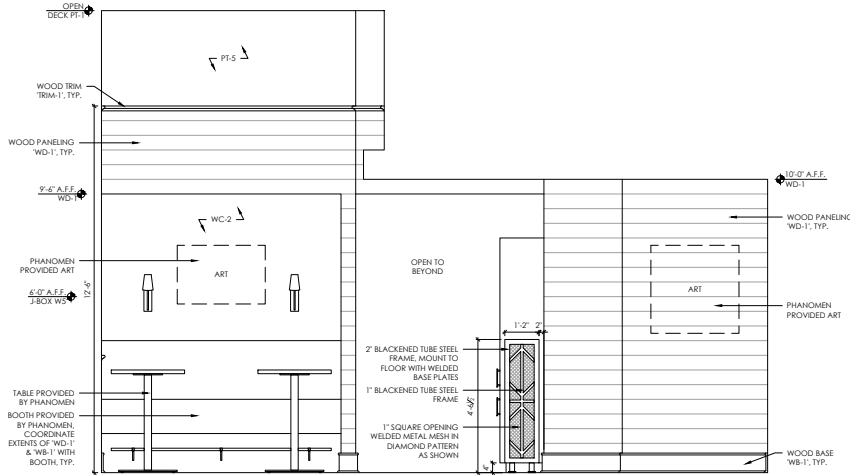
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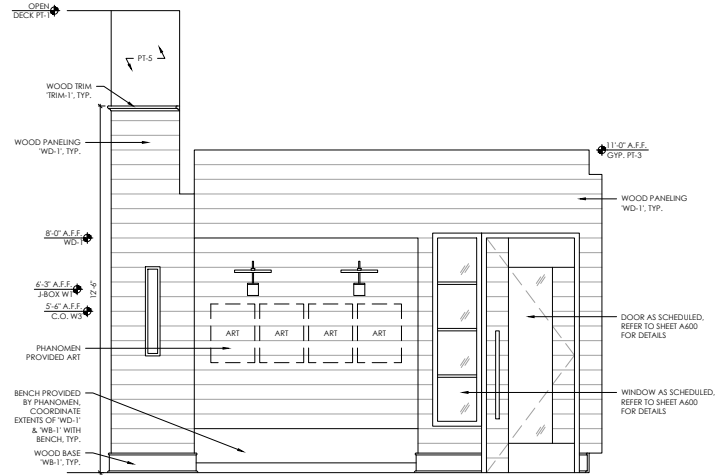
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3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



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Brett Allen Roberts
Professional Engineer
State of Indiana
License No. AR10600118

DATE: 04.28.2023
SCALE: 1/2" = 1'-0"
DRAWN BY: S.B.
CHECKED BY: B.A./J.C.

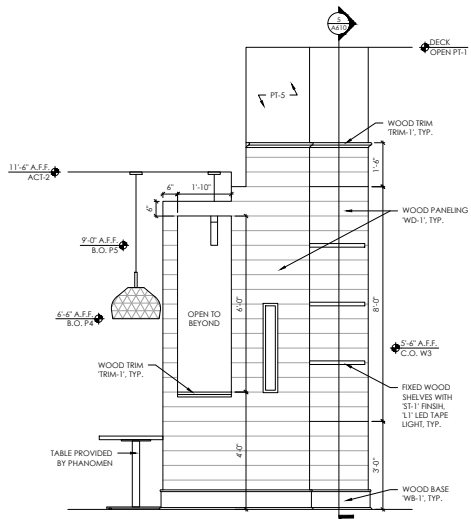
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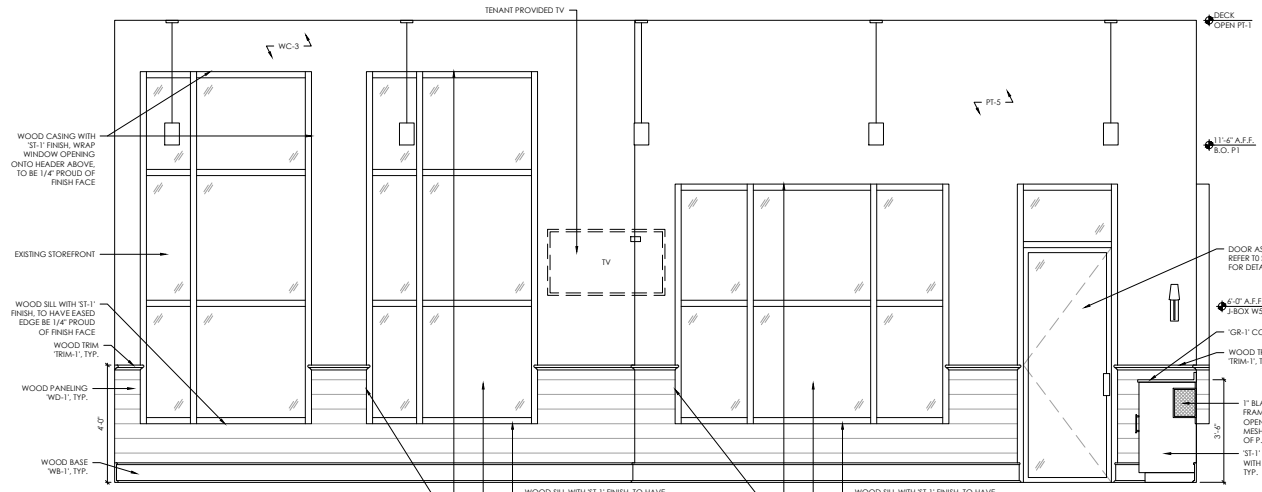
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Drawing Name:
INTERIOR ELEVATIONS

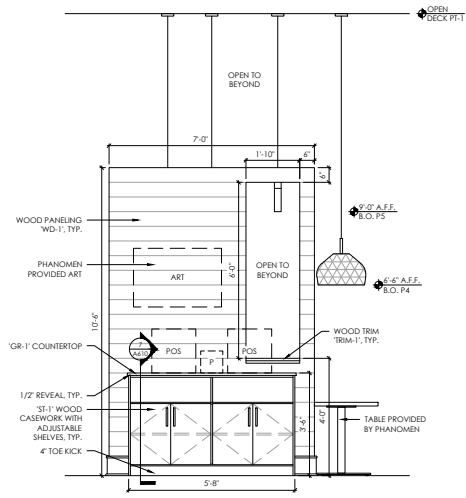
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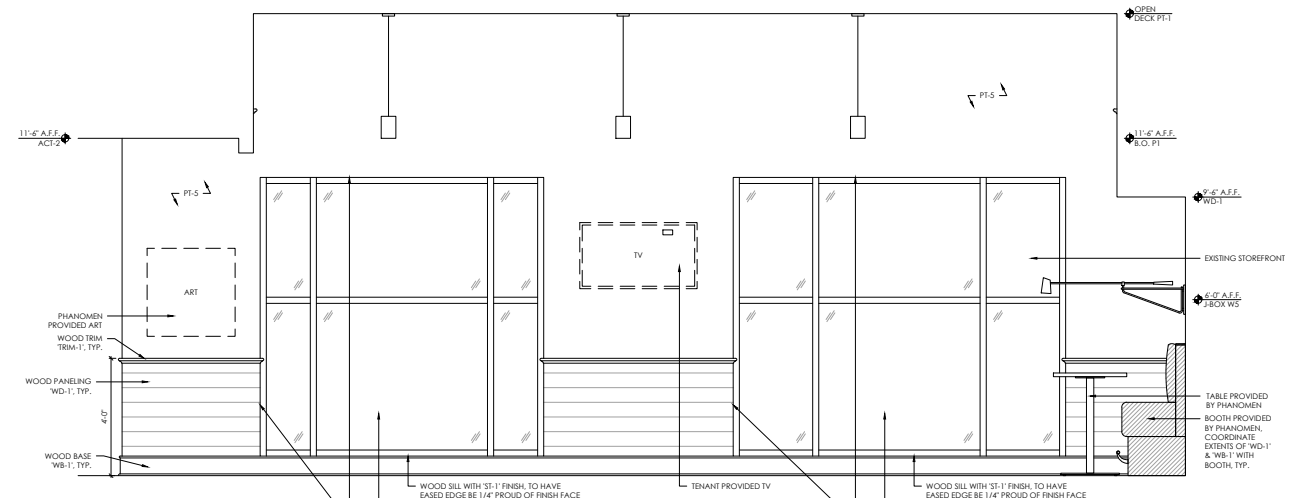
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3 INTERIOR ELEVATION
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2 INTERIOR ELEVATION
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1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



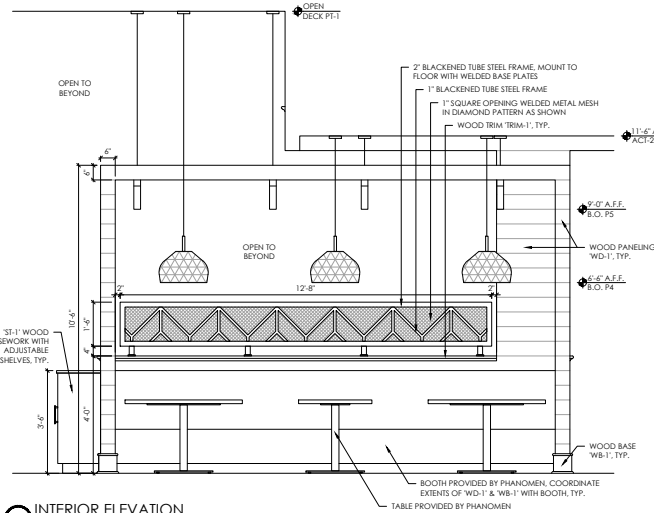
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Date: 04.28.2023
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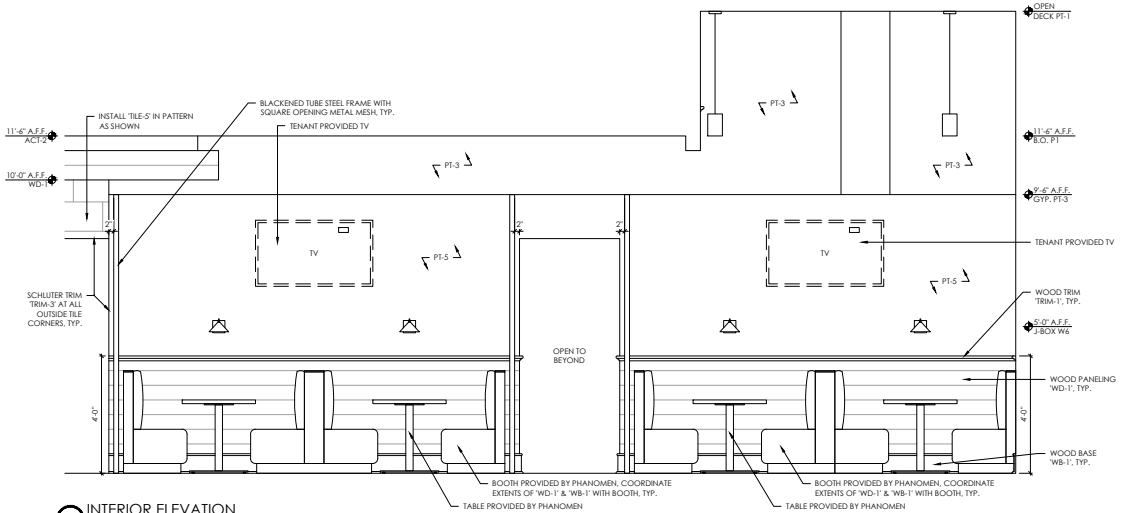


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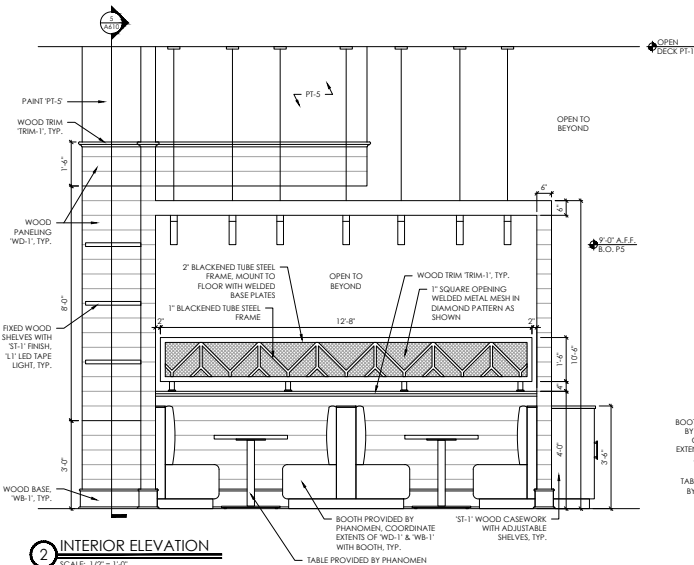
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INTERIOR ELEVATIONS
Drawing Number:
A502



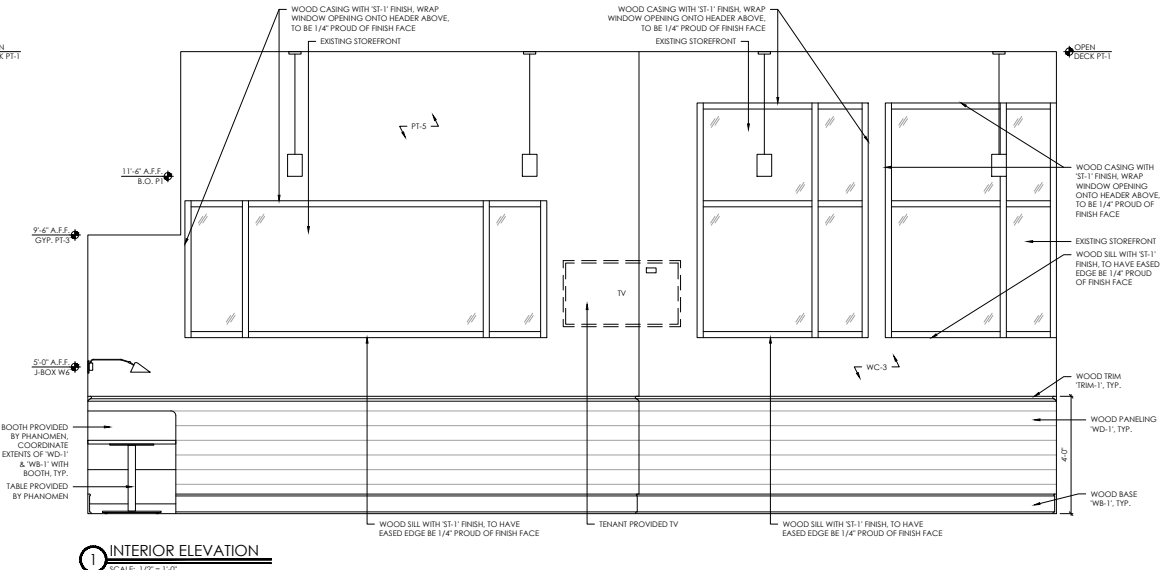
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3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



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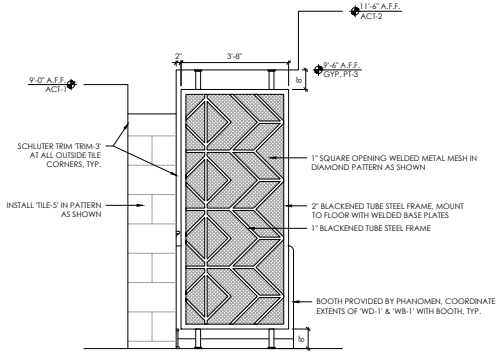
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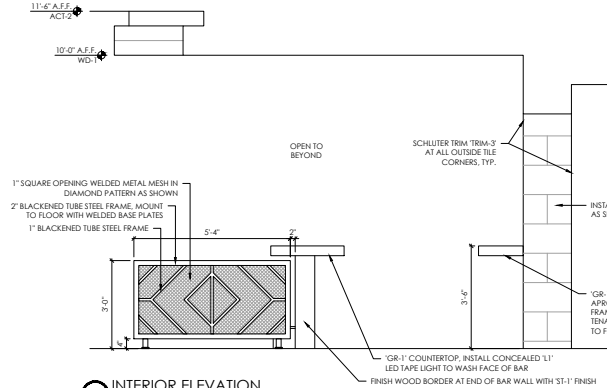
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INTERIOR ELEVATIONS

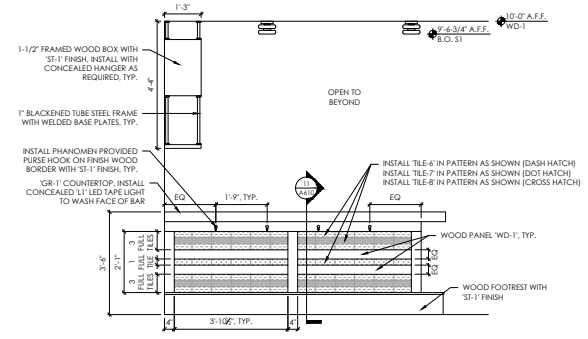
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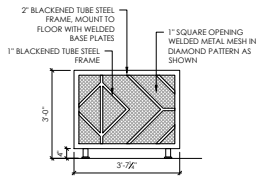
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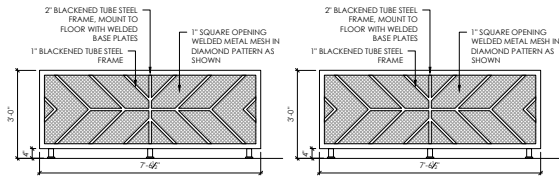
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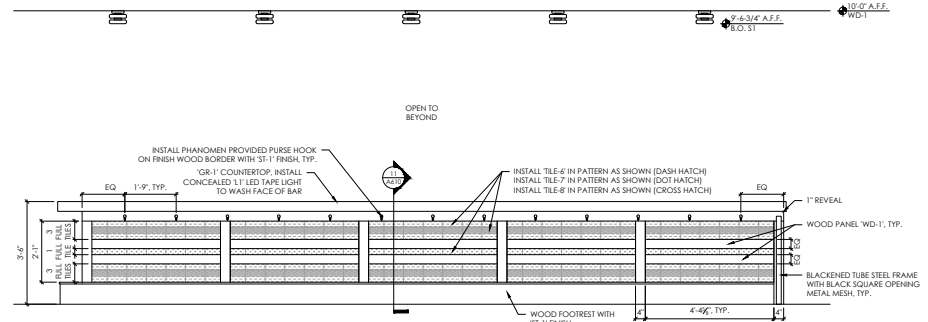
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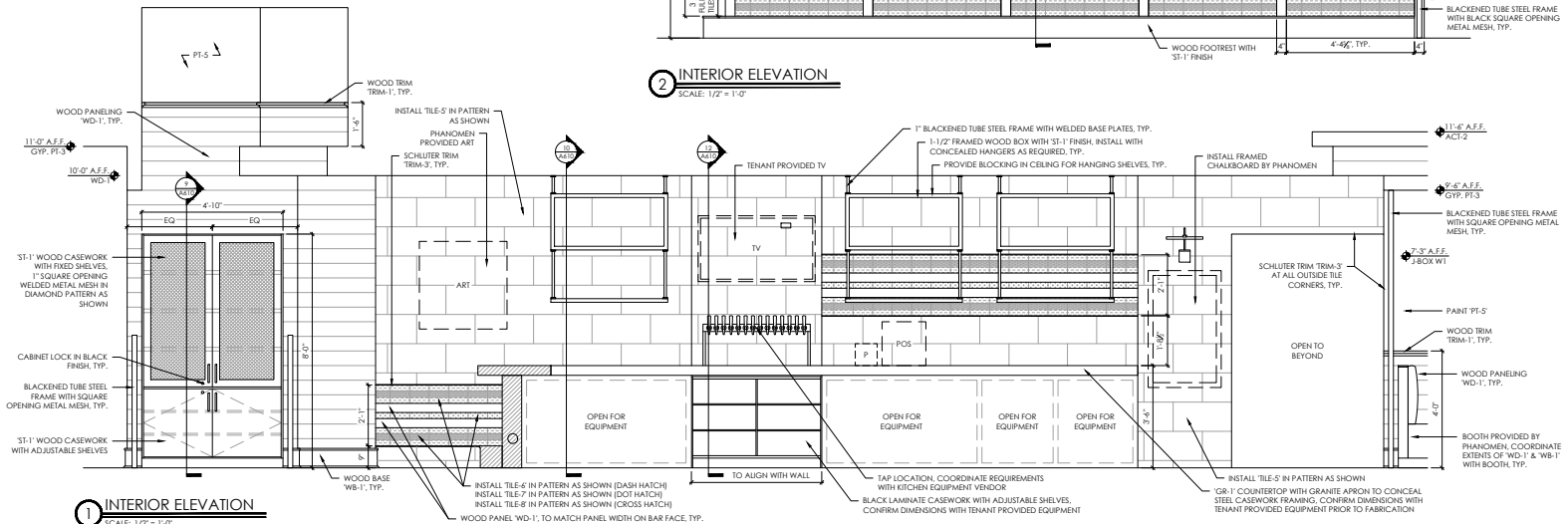
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3 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



1 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



Certified By:
Green Allen Roberts
Professional Engineer
No. AH10600118
State of Indiana
Expires 12/31/2023

Drawn By:
S.B. S
Checked By:
B.A. VOICE

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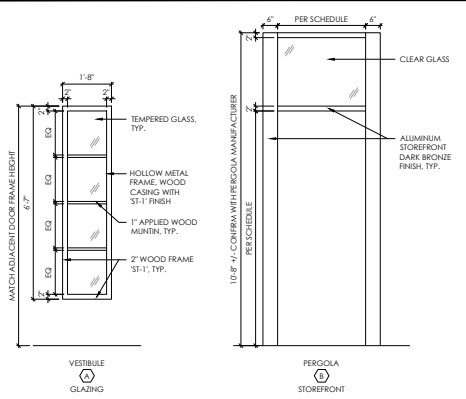


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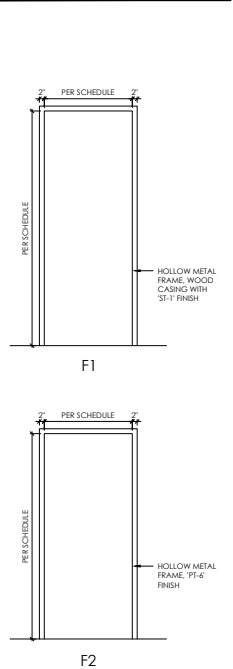
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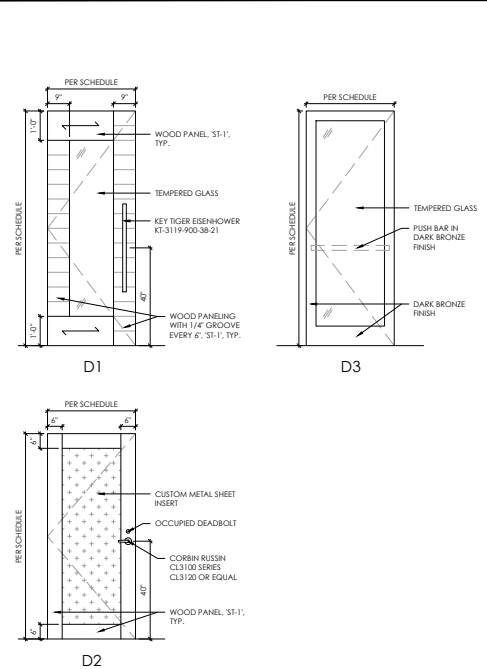
WINDOW TYPES



FRAME TYPES



DOOR TYPES



DOOR & WINDOW NOTES

- A. ALL DOORS SHALL BE FACTORY MACHINED FOR FINISH HARDWARE IN ACCORDANCE WITH HARDWARE REQUIREMENTS AND DIMENSIONS. DO NOT MACHINE FOR SURFACE MOUNTED HARDWARE.
- B. ADJUST DOORS FOR SMOOTH AND BALANCED DOOR MOVEMENT. ADJUST CLOSERS FOR FULL CLOSURE.
- C. PROVIDE STANDARD GLASS MEETING ASTM C1036 REQUIREMENTS AND HEAT TREATED GLASS MEETING ASTM C1048 REQUIREMENTS.
- D. SECURITY SYSTEM, INCLUDING CARD READERS, TO BE COORDINATED WITH OWNER'S SUPPLIER.
- E. INSTALL ALL HARDWARE ACCORDING TO MANUFACTURER'S REQUIREMENTS ONLY AFTER VERIFYING THAT DOORS AND FRAMES ARE READY TO RECEIVE THE WORK AND DIMENSIONS ARE AS INDICATED ON SHOP DRAWINGS, USING TEMPLATES PROVIDED BY HARDWARE MANUFACTURER.
- F. ALL STIKES FOR WOOD JAMBS SHALL HAVE LONG LIPS TO PREVENT CATCH CONTACTING WITH DOOR FRAMING AND CASING.
- G. ALL DOOR SIZE DIMENSIONS GIVEN ARE APPROXIMATE. DOOR SUPPLIER SHALL VERIFY EXACT REQUIREMENTS.
- H. COAT HOOK(S) TO BE MOUNTED ON WATER CLOSET FACING SIDE OF DOOR.
- I. UNDERCUT DOORS AS REQUIRED BY FLOOR FINISH.
- J. PROVIDE SEALANT BETWEEN HOLLOW METAL FRAMES AND ADJACENT WALL MATERIAL.
- K. SPOT GROUT NEW HOLLOW METAL DOOR FRAMES IN GYPSUM BOARD WALL CONSTRUCTION.
- L. DOOR HINGES AND ACCESSORY HARDWARE TO MATCH HARDWARE FINISH.
- M. CONTRACTOR TO PROVIDE DOOR AND DOOR HARDWARE SUBMITTAL TO PHANOMEN FOR REVIEW PRIOR TO ORDERING DOORS. CONTRACTOR TO VERIFY LEAD TIMES.
- N. CONTRACTOR TO PROVIDE WINDOW AND WINDOW HARDWARE SUBMITTAL TO PHANOMEN FOR REVIEW PRIOR TO ORDERING WINDOWS. CONTRACTOR TO VERIFY LEAD TIMES.
- O. ALL HARDWARE IS LEVER TYPE, UNLESS NOTED OTHERWISE.
- P. COUNTER SINK AND FILL FINISH NAIL HOLES IN WOOD CASING TRIM. FINISH COLOR TO MATCH WOOD CASING.
- Q. ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- R. PANIC HARDWARE TO BE PROVIDED AT ALL LATCHED EGRESSES.
- S. METAL DOOR FRAMES WITH WOOD CASING TO HAVE NAIL HOLES AND CYAL SLOTS ONLY. NO CASING RETAINER CLIP IS REQUIRED. FINISH NAILS SHOT INTO STEEL STUDS ARE INSTALLED AT A SLIGHT ANGLE TO PROVIDE SECURE ATTACHMENT.
- T. PROVIDE AND INSTALL SILENCERS FOR ALL DOORS AS APPLICABLE.

HARDWARE SET #1

QTY	DESCRIPTION	MANUF./MODEL	FINISH
3	HINGES	BY CONTRACTOR	DARK BRONZE
2	DOOR PULL	BY CONTRACTOR KEY TIGER ESSEXHOWER KT3119-900-38-21	BRUSHED ALUMINUM
1	OVERHEAD CLOSER	BY CONTRACTOR	DARK BRONZE
1	DOOR STOP	BY CONTRACTOR	DARK BRONZE
1	SILENCER	BY CONTRACTOR	BLACK

HARDWARE SET #3

QTY	DESCRIPTION	MANUF./MODEL	FINISH
3	HINGES	BY CONTRACTOR	BLACK
1	OFFICE LOCKSET	BY CONTRACTOR CORBIN RUSSIN CL3100 SERIES CL3141 OR EQUAL	FLAT BLACK 422
1	OVERHEAD CLOSER	BY CONTRACTOR	BLACK
1	DOOR STOP	BY CONTRACTOR	BLACK

HARDWARE SET #2

QTY	DESCRIPTION	MANUF./MODEL	FINISH
3	HINGES	BY CONTRACTOR	DARK BRONZE
1	PRIVACY SET	BY CONTRACTOR CORBIN RUSSIN CL3100 SERIES CL3100 OR EQUAL	DARK BRONZE 413E
1	OCCUPIED DEADBOLT	BY CONTRACTOR	DARK BRONZE
1	OVERHEAD CLOSER	BY CONTRACTOR	DARK BRONZE
1	DOOR STOP	BY CONTRACTOR	DARK BRONZE
1	SILENCER	BY CONTRACTOR	BLACK

HARDWARE SET #4

QTY	DESCRIPTION	MANUF./MODEL	FINISH
3	HINGES	BY PERGOLA MANUF.	DARK BRONZE
1	PUSH BAR & PULL	BY PERGOLA MANUF.	DARK BRONZE
1	OVERHEAD CLOSER	BY PERGOLA MANUF.	DARK BRONZE

DOOR SCHEDULE

REMARKS:
 1. INSTALL CUSTOM DOOR. CONTACT WOODBURY MILLS, INC. FOR PRICING.
 2. SIGN TO BE PLACED ADJACENT TO DOOR TO READ: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".
 3. VERIFY EXISTING HARDWARE AND ENTRY LOCKSET WITH TENANT.
 4. DOOR PROVIDED BY PERGOLA MANUFACTURER. CONTACT ROSS AT ross@thecompanypergola.com TO COORDINATE.
 5. NO DOOR STOP AT THIS LOCATION.
 6. PROVIDE AND INSTALL DOOR VIEWER.
 7. DOOR 101 TO HAVE KEY TIGER ESSEXHOWER KT-3119-900-38-21 ON PULL SIDE AND BRUSHED ALUMINUM PUSH PLATE ON PUSH SIDE.

DOOR NO.	ROOM NAME	DIMENSIONS			DOOR ELEV.	MATERIAL	FINISH	HARDWARE SET	FRAME	REMARKS
		WIDTH	HEIGHT	THICK.						
100	VESTIBULE	EXISTING			---	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	2, 3
101	HQST	3'-0"	8'-0"	1-3/4"	D1	WD/GL	ST-1	1	F1 (ST-1)	1, 7
104	DINING	EXISTING			---	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	2, 3
106	WOMEN'S RR	3'-0"	7'-0"	1-3/4"	D2	WD/ML	ST-1	2	F2 (PT-6)	1
107	MEN'S RR	3'-0"	7'-0"	1-3/4"	D2	WD/ML	ST-1	2	F2 (PT-6)	1
108	KITCHEN	EXISTING			---	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	REFER TO SHELL DRAWING SET	3, 6
109	OFFICE	3'-0"	7'-0"	1-3/4"	---	HM	PT-4	3	F2 (PT-6)	---
110	PATIO	3'-0"	8'-0"	---	D3	AL/GL	DARK BRONZE	4	STOREFRONT	4, 5



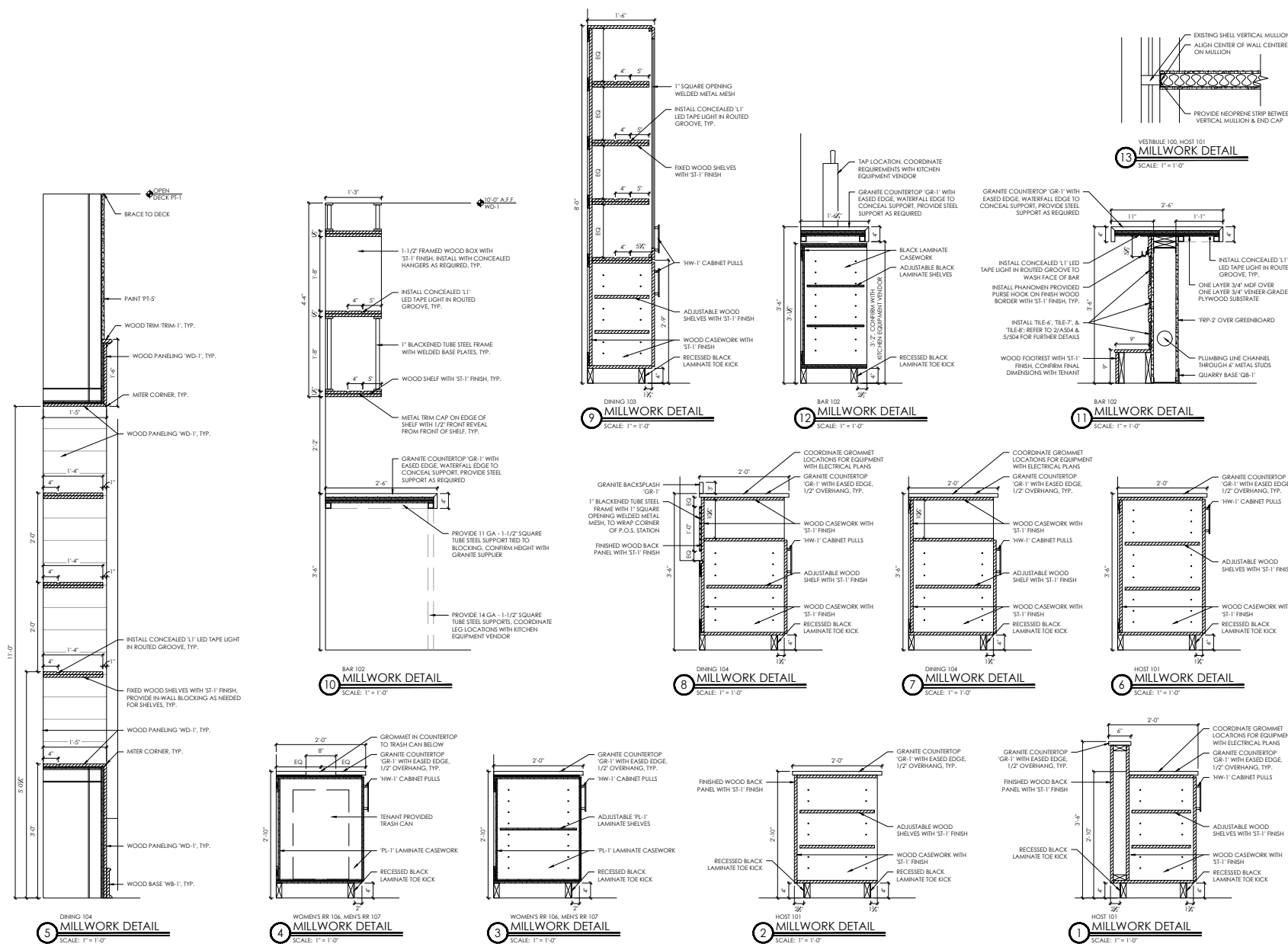
Certified By:
 Date: 04/28/2023
 Sheet #: 35
 Checked By: BA/ALICE

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 403 E. 3RD ST.
 BLOOMINGTON, IN 47401



Revision:
 Job Number:

Drawing Name:
 DOOR & WINDOW SCHEDULES
 Drawing Number:
 A600



Certified By:
Date: 04/28/2023
Sheet No.: 26
Checked By: BAA/UC

AS NOTED
DATE: 04/28/2023
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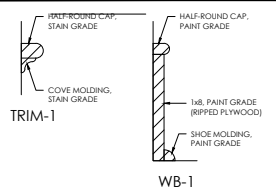


Revisions:
Job Number:

Drawing Name:
MILLWORK DETAILS

Drawing Number:
A610

TRIM PROFILES



FINISH SPECIFICATIONS PROVIDED & INSTALLED BY GENERAL CONTRACTOR

CEILING

- ACT-1 MANUFACTURER: BY CONTRACTOR
STYLE: SUSPENDED CEILING SYSTEM
SIZE: 2 x 4
COLOR: WHITE NON-POROUS VINYL
LOCATION: KITCHEN 108, OFFICE 109
NOTE: 15/16 WHITE GRID
- ACT-2 MANUFACTURER: ARMSTRONG
STYLE: CALA CEILING SYSTEM
SIZE: 2 x 2
COLOR: BLACK REGULAR EDGE ACOUSTIC
LOCATION: DINING 103, DINING 104
NOTE: 15/16 BLACK GRID

FLOORS

- CPF-1 MANUFACTURER: PATCORAFT
STYLE: PABLO
SIZE: 24" x 24"
COLOR: OBSIDIAN
LOCATION: VESTIBULE 100
- CPF-2 MANUFACTURER: MILUKEN
STYLE: LOUDSPEAKER TWEETER
SIZE: 25cm x 1m
COLOR: BLUE CHROMA
LOCATION: DINING 104
- QT-1 MANUFACTURER: METROPOLITAN CERAMICS
STYLE: QUARRY BASICS
SIZE: 8" x 8"
COLOR: PURTAN GRAY ABRASIVE
LOCATION: BAR 102, KITCHEN 108, OFFICE 109
- TLE-1 MANUFACTURER: LOUISVILLE TILE
STYLE: MILESTONE LOFT
SIZE: 24" x 24"
COLOR: MULTI-COLOR
GROUT: TBO
LOCATION: HOST 101, DINING 103, DINING 104, HALL 105

BASE & TRIM

- QB-1 MANUFACTURER: METROPOLITAN CERAMICS
STYLE: QUARRY BASICS
SIZE: 8" x 8"
COLOR: PURTAN GRAY ABRASIVE
GROUT: TBO
LOCATION: BAR 102, KITCHEN 108, OFFICE 109
- TRM-1 MANUFACTURER: BY CONTRACTOR
STYLE: POPLAR
SIZE: TBO
COLOR: GENERAL WOOD TRIM, UNLESS NOTED OTHERWISE
- TRM-2 MANUFACTURER: SCHLUTER
STYLE: JOLLY ALUMINUM
SIZE: AS NEEDED
COLOR: BRUSHED GRAPHITE ANODIZED
LOCATION: WOMEN'S RR 106, MEN'S RR 107
- TRM-3 MANUFACTURER: SCHLUTER
STYLE: JOLLY ALUMINUM
SIZE: AS NEEDED
COLOR: SATIN ANODIZED
LOCATION: BAR 102
- TRM-4 MANUFACTURER: SCHLUTER
STYLE: SCHEME ALUMINUM
SIZE: AS NEEDED
COLOR: SATIN ANODIZED
LOCATION: GENERAL FLOORING TRIM, UNLESS NOTED OTHERWISE

WALLS & FLOORS

- TLE-3 MANUFACTURER: LOUISVILLE TILE
STYLE: ATLAS CONCORDE FORGE
SIZE: 12" x 24"
COLOR: SMOKE
GROUT: TBO
LOCATION: WOMEN'S RR 106, MEN'S RR 107

WALLS

- FRP-1 MANUFACTURER: BY CONTRACTOR
STYLE: SMOOTH
SIZE: N/A
COLOR: WHITE
LOCATION: KITCHEN 108
- FRP-2 MANUFACTURER: BY CONTRACTOR
STYLE: SMOOTH
SIZE: N/A
COLOR: BLACK
LOCATION: BAR 102

MILLWORK

- GR-1 MANUFACTURER: CUSTOM STONE
STYLE: SUIDE GRANITE WITH EASED EDGE
SIZE: 1 1/4" THICK
COLOR: BLACK PEARL
LOCATION: GENERAL GRANITE, UNLESS NOTED OTHERWISE
NOTE: PROVIDED & INSTALLED BY TENANT
- HW-1 MANUFACTURER: SIGNATURE HARDWARE
STYLE: COVILLO SOLID BRASS CABINET PULL
SIZE: 6" CENTER
COLOR: MATTE BLACK
LOCATION: GENERAL HARDWARE, UNLESS NOTED OTHERWISE

FINISH SPECIFICATIONS INSTALLED BY PHANOMEN CONTRACTOR

- WC-1 MANUFACTURER: PHANOMEN PROVIDED
STYLE: TBO
REPEAT: TBO
WIDTH: TBO
COLOR: TBO
LOCATION: HOST 101
- WC-2 MANUFACTURER: PHANOMEN PROVIDED
STYLE: TBO
REPEAT: TBO
WIDTH: TBO
COLOR: TBO
LOCATION: DINING 103
- WC-3 MANUFACTURER: PHANOMEN PROVIDED
STYLE: TBO
REPEAT: TBO
WIDTH: TBO
COLOR: TBO
LOCATION: DINING 104
- WC-4 MANUFACTURER: PHANOMEN PROVIDED
STYLE: TBO
REPEAT: TBO
WIDTH: TBO
COLOR: TBO
LOCATION: DINING 104, HALL 105
- WC-5 MANUFACTURER: PHANOMEN PROVIDED
STYLE: TBO
REPEAT: TBO
WIDTH: TBO
COLOR: TBO
LOCATION: WOMEN'S RR 106
- WC-6 MANUFACTURER: PHANOMEN PROVIDED
STYLE: TBO
REPEAT: TBO
WIDTH: TBO
COLOR: TBO
LOCATION: MEN'S RR 107

FINISH NOTES

- PROCEEDING WITH THE INSTALLATION OF FINISHES WILL BE CONSIDERED THAT THE INSTALLER AND/OR FINISHER HAS INSPECTED AND ACCEPTED THE SUBSTRATE FOR RECEIVING THE WORK. NO CHANGE ORDER WILL BE ISSUED TO RECTIFY CONCEALED, UNKNOWN CONDITIONS OR UNSATISFACTORY SUBSTRATE ONCE THE FINISH WORK HAS PROCEEDED.
- USE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS AND MATERIALS FOR ALL FINISHES.
- FLOORING CONTRACTOR TO INSTALL A GEMBITOUS UNDERLAMENT SEMI COAT TO LEVEL EXISTING SUBSTRATE AS NECESSARY TO ACCEPT NEW FLOORING MATERIAL AND TO SMOOTH/WINIMIZE HEIGHT TRANSITIONS FROM CARPET TO TILE. PROVIDE STAIRING DIAGRAM FOR TILE LAYOUT FOR DESIGNER APPROVAL PRIOR TO INSTALLATION.
- PAINT ALL GRILLES, ACCESS PANELS, ETC. TO MATCH SURFACE THEY OCCUR ON.
- CONTRACTOR TO IMMEDIATELY NOTIFY DESIGNER IF A SPECIFIED FINISH BECOMES UNAVAILABLE.
- CONTRACTOR TO SUBMIT CUTS/SAMPLES OF ALL FINISHES TO DESIGNER FOR APPROVAL PRIOR TO ORDERING.
- USE MINIMAL BLACK TRANSITIONS (SCHLUTER OR EQUAL, HEIGHT AS REQUIRED) WHERE FLOORING TRANSITIONS OCCUR AT THRESHOLDS. CENTER TRANSITION STRIP UNDER CENTERLINE OF DOOR OR CENTERLINE OF OPENING, WHICHEVER APPLIES.
- TENANT'S KITCHEN EQUIPMENT VENDOR TO INSTALL BRUSHED ALUMINUM CORNER PROTECTORS FLOOR TO CEILING AT ALL OUTSIDE CORNERS AT KITCHEN.
- ALL NATURAL STONE TILE AND/OR SLABS TO BE CLEANED AND/OR SEALED PER STONE SUPPLIER'S RECOMMENDATIONS.
- ALL PAINTED SURFACES SHALL RECEIVE A MINIMUM OF ONE BASE COAT AND TWO FINISH COATS.
- ALL KITCHEN AREAS TO RECEIVE STAINLESS STEEL SHALL HAVE CEMENT BOARD BACKER.
- IF ANY SURFACE FINISH (WALLS, CEILING, FLOORS, ETC.) IS NOT SHOWN IN PLAN OR SPEC, CONTRACTOR SHALL CLARIFY INTENT FOR FINISH WITH DESIGNER/ARCHITECT PRIOR TO BID AND SHALL UNDER NO CIRCUMSTANCES ASSUME NO FINISH IS REQUIRED.

MILLWORK NOTES

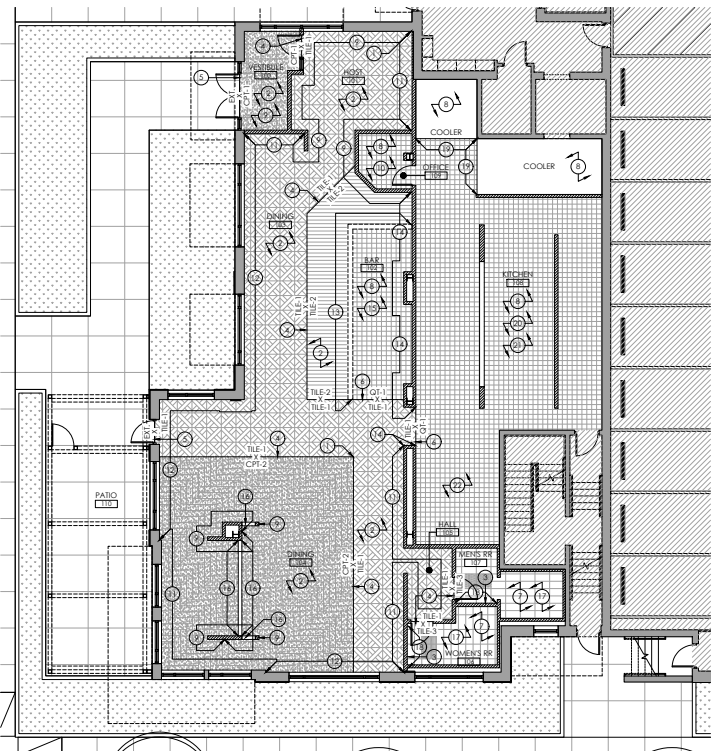
- ALL WOODWORK/MILLWORK SHALL CONFORM TO THE QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI) PREMIUM GRADE FOR ALL APPLICABLE SECTIONS. FABRICATOR SHALL BE FAMILIAR WITH AWI STANDARDS.
- FABRICATE WOODWORK/MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS. CONTRACTORS SHALL SUBMIT SHOP DRAWINGS, SAMPLES, OR MANUFACTURER'S LITERATURE FOR ALL ITEMS. SHOP DRAWINGS SHALL SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH QUALITY STANDARDS AND DESIGN INTENT.
- PROVIDE ALL NECESSARY FURRING AND GROUNDS FOR WOODWORK, AND FINISH ITEMS. COORDINATE LOCATION OF BLOCKING WITHIN PARTITIONS FOR ITEMS TO BE SECURED TO SURFACE. ALL FASTENERS SHALL BE CONCEALED.

PAINT NOTES

- PAINT SPECIFIED UNDER FINISH SPECIFICATIONS TO INDICATE COLOR ONLY.
- CONTRACTOR TO PROVIDE APPROPRIATE LATEX PAINT SPECIFICATION FOR INTENDED SUBSTRATE(S), UNLESS NOTED OTHERWISE, AND MATCH DESIGNER SPECIFIED SHEEN AND COLOR.

KEYED FINISH NOTES

- START FLOOR FINISH WITH FULL TILE AT THIS LOCATION.
- INSTALL FLOOR FINISH IN PATTERN AS SHOWN.
- ALIGN RESTROOM FLOOR TILE PATTERN WITH WALL TILE PATTERN ALONG THIS WALL.
- INSTALL SCHLUTER TRIM TRIM-4 ALONG FLOOR FINISH IN AREAS OF CHANGE IN MATERIAL AND/OR DIRECTION.
- INSTALL ADA COMPLIANT ALUMINUM THRESHOLD TRANSITION BETWEEN INTERIOR FINISH AND EXTERIOR FINISH.
- INSTALL TILE HEIGHT TRANSITION AS REQUIRED BETWEEN TILE-1 AND QT-1 AS REQUIRED.
- INSTALL TILE-3 IN PATTERN AS SHOWN WITH FOUR (4) ROTATED AT LOCATION SHOWN. NOTIFY DESIGNER IF FLOOR DRAINS CONFLICT WITH THIS PLACEMENT.
- INSTALL TILE-5 IN PATTERN AS SHOWN WITH FOUR (4) ROTATED AT LOCATION SHOWN. NOTIFY DESIGNER IF FLOOR DRAINS CONFLICT WITH THIS PLACEMENT.
- INSTALL TILE-6 TO 40" A.F.F. IN PATTERN AS SHOWN. INSTALL SCHLUTER TRIM TRIM-2 AT ALL OUTSIDE TILE CORNERS. INSTALL WALLCOVERING ABOVE. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- INSTALL TILE-7 FULL HEIGHT OF WALL IN PATTERN AS SHOWN WITH EIGHT (8) ROTATED AT LOCATION SHOWN. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- STAINLESS STEEL FILLER PANEL PROVIDED BY KITCHEN EQUIPMENT VENDOR.
- AT KITCHEN AREAS: INSTALL FRP-1 FULL HEIGHT OF WALL, EXCEPT AREAS WITH STAINLESS STEEL PANELING. AREAS WITH STAINLESS STEEL TO RECEIVE CEMENT BOARD BACKER. CONFIRM FINAL LOCATIONS WITH KITCHEN EQUIPMENT VENDOR.
- AT KITCHEN AREAS: INSTALL 60% STAINLESS STEEL CORNER GUARDS PROVIDED BY KITCHEN EQUIPMENT VENDOR. CONTRACTOR TO PROVIDE ADDITIONAL CORNER GUARDS ABOVE 60%.
- AT KITCHEN AREAS: INSTALL WATERPROOFING SEALER (AQUAGUARD OR SIMILAR) BEHIND FRP-1 AT DISHWASH WALL AREAS. CONFIRM FINAL LOCATIONS WITH KITCHEN EQUIPMENT VENDOR AND TENANT.



FINISH PLAN
SCALE: 1/8" = 1'-0"



AS NOTED
Date: 04/28/2023
Sheet No: 3.5
Checked by: BA/UCF

BRU BURGER BAR
403 E. 3RD ST.
BLOOMINGTON, IN 47401

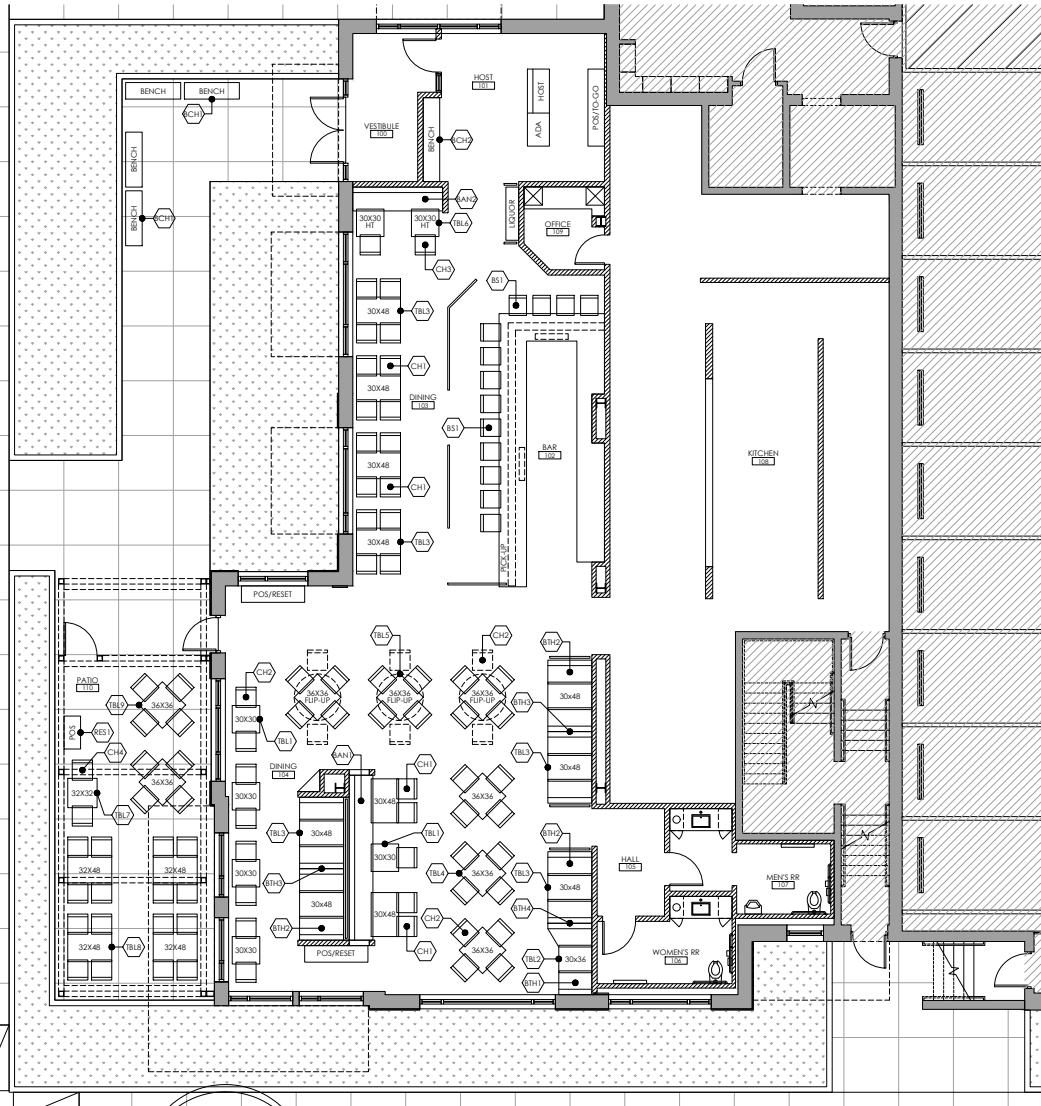


Revisions:

Job Number:

Drawing Name:
FINISH PLAN & SPECIFICATIONS

Drawing Number:
A700



FURNITURE PLAN
SCALE: 1/8" = 1'-0"

FURNITURE INDEX					
TAG	LOCATION	QTY	DIMENSIONS	DESCRIPTION	REMARKS
BANI	DINING 104	1	26" x 180" V.J.F.	BANQUETTE	SINGLE-SIDED
BANG	DINING 103	1	26" x 98" V.J.F.	BANQUETTE	SINGLE-SIDED BAR HEIGHT
BCHI	EXTERIOR WALKWAY	4	18" x 60"	BENCH	FREE-STANDING
BCH2	HOST 101	1	18" x 91.5" V.J.F.	BENCH	BUILT-IN
BST	BAR 102	13	---	BARSTOOL	---
BTH1	DINING 104	1	26" x 36" V.J.F.	BOOTH	SINGLE-SIDED
BTH2	DINING 104	5	26" x 48" V.J.F.	BOOTH	SINGLE-SIDED
BTH3	DINING 104	2	52" x 48" V.J.F.	BOOTH	DOUBLE-SIDED
BTH4	DINING 104	1	52" x 48" V.J.F.	BOOTH	DOUBLE-SIDED WITH ANGLED SEAT
CH1	DINING 103 & DINING 104	21	---	DINING CHAIR	---
CH2	DINING 104	38	---	DINING CHAIR	---
CH3	DINING 103	2	---	DINING CHAIR	BAR HEIGHT
CH4	PATIO 110	26	---	DINING CHAIR	---
RES1	PATIO 110	1	18" x 36"	RESET	---
TBL1	DINING 104	5	30" x 30"	DINING TABLE	---
TBL2	DINING 104	1	30" x 36"	DINING TABLE	---
TBL3	DINING 103 & DINING 104	11	30" x 48"	DINING TABLE	---
TBL4	DINING 104	3	36" x 36"	DINING TABLE	---
TBL5	DINING 104	3	36" x 36"	DINING TABLE	---
TBL6	DINING 103	2	30" x 30"	DINING TABLE	BAR HEIGHT
TBL7	PATIO 110	1	32" x 32"	DINING TABLE	---
TBL8	PATIO 110	4	32" x 48"	DINING TABLE	---
TBL9	PATIO 110	2	36" x 36"	DINING TABLE	---



Certified By:

DATE: AS NOTED
 DATE: 04.28.2023
 SHEET #1: 3.5
 CHECKED BY: BA/JOE

BRU
BURGER BAR
 403 E. 3RD ST.
 BLOOMINGTON, IN 47401



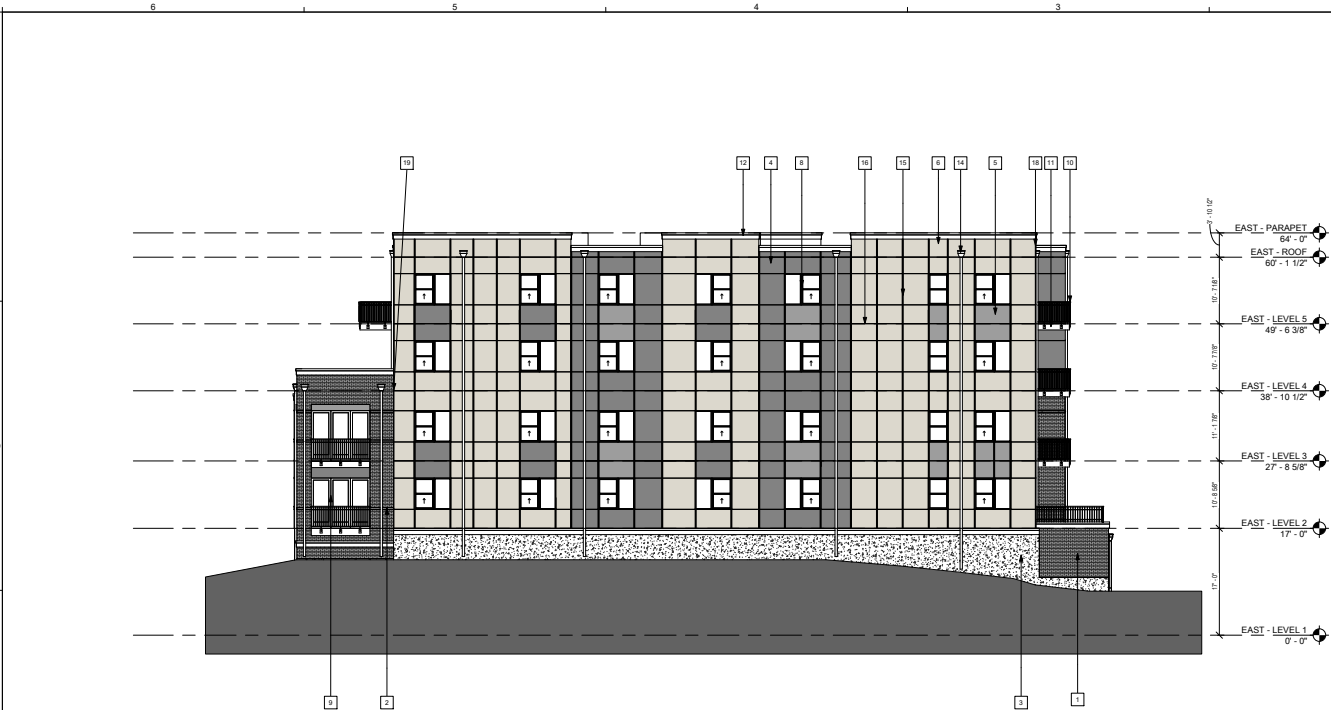
Revisions:

Job Number:

Drawing Name:
FURNITURE PLAN

Drawing Number:
A800

PERMIT SET 04.28.2023



EAST ELEVATION - BUILDING A SCALE: 1/8" = 1'-0"

ELEVATION LEGEND

	BRICK VENEER - BROWN		FIBER CEMENT PANEL, LT. GRAY
	THIN STONE VENEER - SANDSTONE		FIBER CEMENT PANEL, MD. GRAY
	PAINTED MASONRY		FIBER CEMENT PANEL, DK. GRAY
	PAINTED CONCRETE		FIBER CEMENT PANEL, RED

ELEVATION KEYNOTES

1	THIN BRICK VENEER - BROWN
2	THIN STONE VENEER - SANDSTONE
3	PAINTED MASONRY
4	FIBER CEMENT - DARK GRAY
5	FIBER CEMENT PANEL - MEDIUM GRAY
6	FIBER CEMENT - LIGHT GRAY
7	FIBER CEMENT - RED
8	VINYL WINDOW - BRONZE FINISH
9	SLIDING VINYL DOOR & PANEL - BRONZE FINISH
10	SIDE MOUNTED ALUMINUM RAILING
11	BALCONY FASCIA
12	TRIM BOARD WITH PREFINISHED ALUMINUM COPIING - MEDIUM GRAY
13	FIBER CEMENT TRIM BOARD - MEDIUM GRAY
14	PREFINISHED ALUMINUM DOWNSPOUT & LEADER BOX - TO MATCH ADJACENT FINISH
15	PREFINISHED ALUMINUM TRIM - VERTICAL REVEAL
16	PREFINISHED ALUMINUM TRIM - HORIZONTAL REVEAL
17	PREFINISHED ALUMINUM TRIM - INSIDE CORNER REVEAL
18	PREFINISHED ALUMINUM TRIM - OUTSIDE CORNER REVEAL
19	PREFINISHED ALUMINUM TRIM - ANGLE
20	ALUMINUM STOREFRONT SYSTEM
21	Clear Anodized

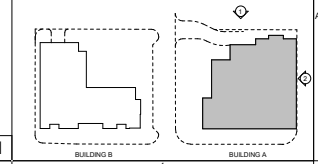
ELEVATION NOTES

1. PROVIDE HORIZONTAL, PRE-FINISHED ALUM THRU WALL FLASHING MATCH COLOR OF WALL FINISH MATERIAL AT ALL CHANGE OF MATERIALS EVERY 2 FLOORS, OR AS INDICATED ON THE DRAWINGS. TYPE SEAL THRU WALL FLASHING TO WEATHER BARRIER SYSTEM.
2. CALL K PERIMETER OF ALL PENETRATIONS THROUGH THE EXTERIOR WALL SURFACE FINISH.
3. WHERE REVEALS ARE SHOWN THEY AND THEIR ASSOCIATED WALL FINISH ARE TO CONTINUE AROUND THE OUTSIDE CORNER CONDITION AND TERMINATE AT THE NEAREST INSIDE CORNER, UNLESS NOTED OTHERWISE.
4. AT OUTSIDE CORNERS WHERE THIN BRICK OCCURS, PROVIDE CORNER PROFILE PIECE.
5. RE ELECTRICAL FOR LIGHT FIXTURE SELECTION.
6. SIGNAGE SHOWN FOR LOCATION REPRESENTATION ONLY. SIGNAGE TIED PER TENANT. A BUILDING AND UNIT IDENTIFICATION SIGNAGE MUST BE WELL-LET FROM CURB, TIL DOWN AND WEST AND AT 1' SECTION TO STANDARDS.
6. MOUNT SIGN WITH BRICK OR STONE COLUMNS AND LIGHTING REQUIRED AT ALL PROPERTY ENTRANCES.
7. PER SECT. AREA & PROVIDE BATTERY GLAZING.
 - A. AT FIXED AND OPERABLE GLASS PANELS IN DOOR ASSEMBLIES.
 - B. IN ALL FIXED OR OPERABLE PANELS OF THE FOLLOWING CONDITIONS:
 - 1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 3 SQUARE FEET.
 - 2. EXPOSED BOTTOM EDGE OF PANELS LESS THAN 3' ABOVE THE FLOOR.
 - 3. EXPOSED TOP EDGE GREATER THAN 3' ABOVE THE FLOOR AND.
 - 4. WHEN ONE OR MORE WALKING SURFACES ARE WITHIN 30' HORIZONTALY OF THE PLANE OF THE GLAZING.



NORTH ELEVATION - BUILDING A SCALE: 1/8" = 1'-0"

SITE KEY PLAN



ktgy
Architecture + Planning
 217 N. Jefferson St.
 Suite 400
 Chicago, IL 60661
 ktgy.com
 312.545.4900
 @ktgy.com

Ktgy Project No.: 2019-0934
 Project Contact: CHARLES DITCHMAN
 Email: cditchman@ktgy.com
 Principal: CRAIG FRYDE
 Project Designer: DEMETRIOS STAVRIANOS

Developer
ANNEX GROUP
 THE ANNEX GROUP
 409 MASSACHUSETTS AVE.
 SUITE 300
 INDIANAPOLIS, IN 46204
 1.317.584.8442

3RD & GRANT
 321 & 403 E. 3RD STREET
 BLOOMINGTON, IN 47401

No.	Date	Description
1	05.25.2021	ISSUE FOR DD
2	06.18.2021	ISSUE FOR CD 50%
3	07.12.2021	ISSUE FOR PERMIT

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor, through its knowledge with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractor proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

07/12/2021

BUILDING A-NORTH, EAST ELEVATIONS

A3-A10



WEST ELEVATION - BUILDING A SCALE: 1/8" = 1'-0" 2

ELEVATION LEGEND

	BRICK VENEER - BROWN		FIBER CEMENT PANEL, LK GRAY
	THIN STONE VENEER - SANDSTONE		FIBER CEMENT PANEL, MD GRAY
	PAINTED MASONRY		FIBER CEMENT PANEL, RED
	FIBER CEMENT PANEL - MEDIUM GRAY		
	FIBER CEMENT - DARK GRAY		
	FIBER CEMENT - LIGHT GRAY		
	FIBER CEMENT - RED		
	PAINTED CONCRETE		

ELEVATION KEYNOTES

- 1 THIN BRICK VENEER - BROWN
- 2 THIN STONE VENEER - SANDSTONE
- 3 PAINTED MASONRY
- 4 FIBER CEMENT - DARK GRAY
- 5 FIBER CEMENT PANEL - MEDIUM GRAY
- 6 FIBER CEMENT - LIGHT GRAY
- 7 FIBER CEMENT - RED
- 8 VINYL WINDOW - BRONZE FINISH
- 9 SLIDING VINYL DOOR & PANEL - BRONZE FINISH
- 10 SIDE MOUNTED ALUMINUM RAILING
- 11 BALCONY FASCIA
- 12 TRIM BOARD WITH PREFINISHED ALUMINUM COPING - MEDIUM GRAY
- 13 1/4" FIBER CEMENT TRIM BOARD - MEDIUM GRAY
- 14 PREFINISHED ALUMINUM DOWNSPOUT & LEADER BOX - TO MATCH ADJACENT FINISH
- 15 PREFINISHED ALUMINUM TRIM - VERTICAL REVEAL
- 16 PREFINISHED ALUMINUM TRIM - HORIZONTAL REVEAL
- 17 PREFINISHED ALUMINUM TRIM - INSIDE CORNER REVEAL
- 18 PREFINISHED ALUMINUM TRIM - OUTSIDE CORNER REVEAL
- 19 PREFINISHED ALUMINUM TRIM - ANGLE
- 20 ALUMINUM STOREFRONT SYSTEM
- 21 Clear Anodized

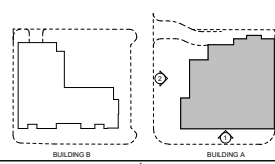
ELEVATION NOTES

1. PROVIDE HORIZONTAL PREFINISHED ALUM THRU WALL FLASHING MATCH COLOR OF WALL FINISH MATERIAL AT ALL CHANGE OF MATERIALS EVERY 2 FLOORS, OR AS INDICATED ON THE DRAWINGS. TYPE SEAL THRU WALL FLASHING TO WEATHER BARRIER SYSTEM.
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7. PER SECTON AREA & PROVIDE BATTERY GLAZING.
 - A. AT FIXED AND OPERABLE GLASS PANELS IN DOOR ASSEMBLIES.
 - B. IN ALL FIXED OR OPERABLE PANELS OF THE FOLLOWING CONDITIONS:
 - i. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 3 SQUARE FEET.
 - ii. EXPOSED BOTTOM EDGE OF PANELES LESS THAN 18" ABOVE THE FLOOR.
 - iii. EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR AND.
 - iv. WHERE ONE OR MORE WALKING SURFACES ARE WITHIN 30" HORIZONTALY OF THE PLANE OF THE GLAZING.



SOUTH ELEVATION - BUILDING A SCALE: 1/8" = 1'-0" 1

SITE KEY PLAN



ktgy
Architecture + Planning
 217 N. Jefferson St.
 Suite 400
 Chicago, IL 60661
 ktgy.com
 312.545.4900
 @ktgy.com

Ktgy Project No.: 2019-0934
 Project Contact: CHARLES DITCHMAN
 Email: cditchman@ktgy.com
 Principal: CRAIG PRYDE
 Project Designer: DEMETRIOS STAVRIANOS

Developer

 THE ANNEX GROUP
 409 MASSACHUSETTS AVE.
 SUITE 300
 INDIANAPOLIS, IN 46204
 1.317.584.8442

3RD & GRANT
 321 & 408 E. 3RD STREET
 BLOOMINGTON, IN 47401

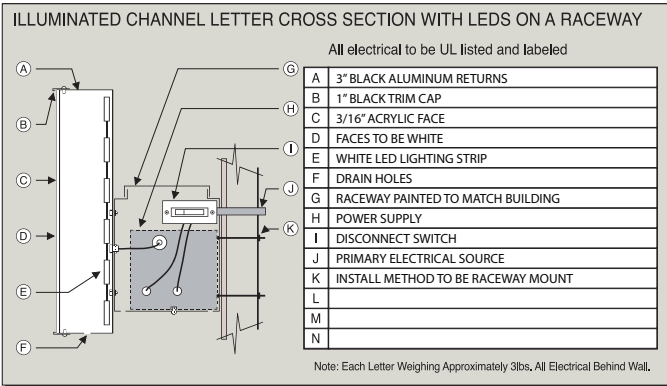
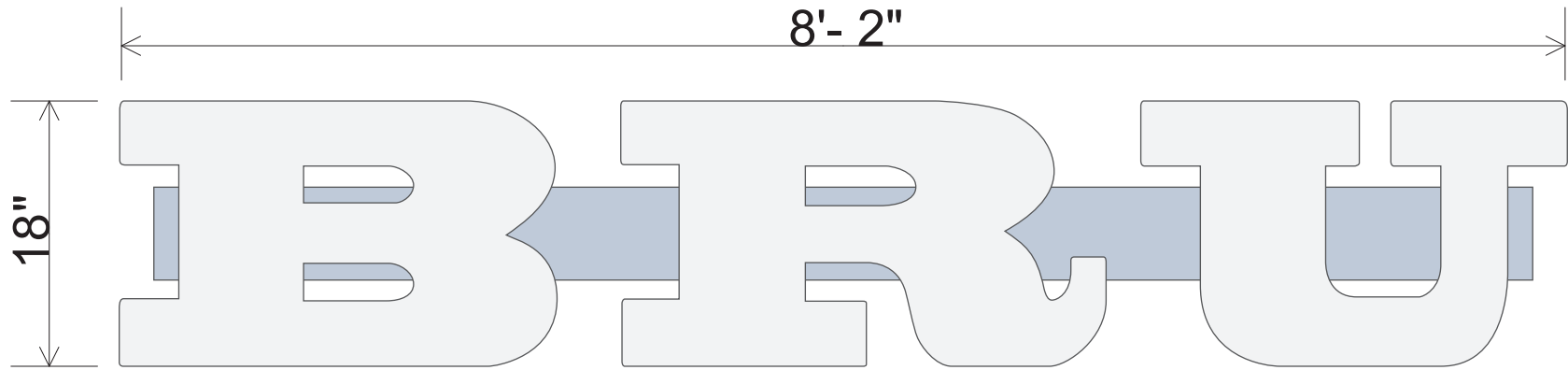
No.	Date	Description
1	05.25.2021	ISSUE FOR DD
2	06.18.2021	ISSUE FOR CD 50%
3	07.12.2021	ISSUE FOR PERMIT

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor, through its knowledge with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractor proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

07/12/2021

BUILDING A-SOUTH, WEST ELEVATIONS

A3-A11



A SIGN BY DESIGN IS NOT RESPONSIBLE FOR RUNNING THE MAIN ELECTRICAL LINE TO THE SIGN.
 A SIGN BY DESIGN WILL CONNECT TO ELECTRICAL IF IT IS LOCATED WITHIN 5' OF THE INSTALLED SIGNAGE.

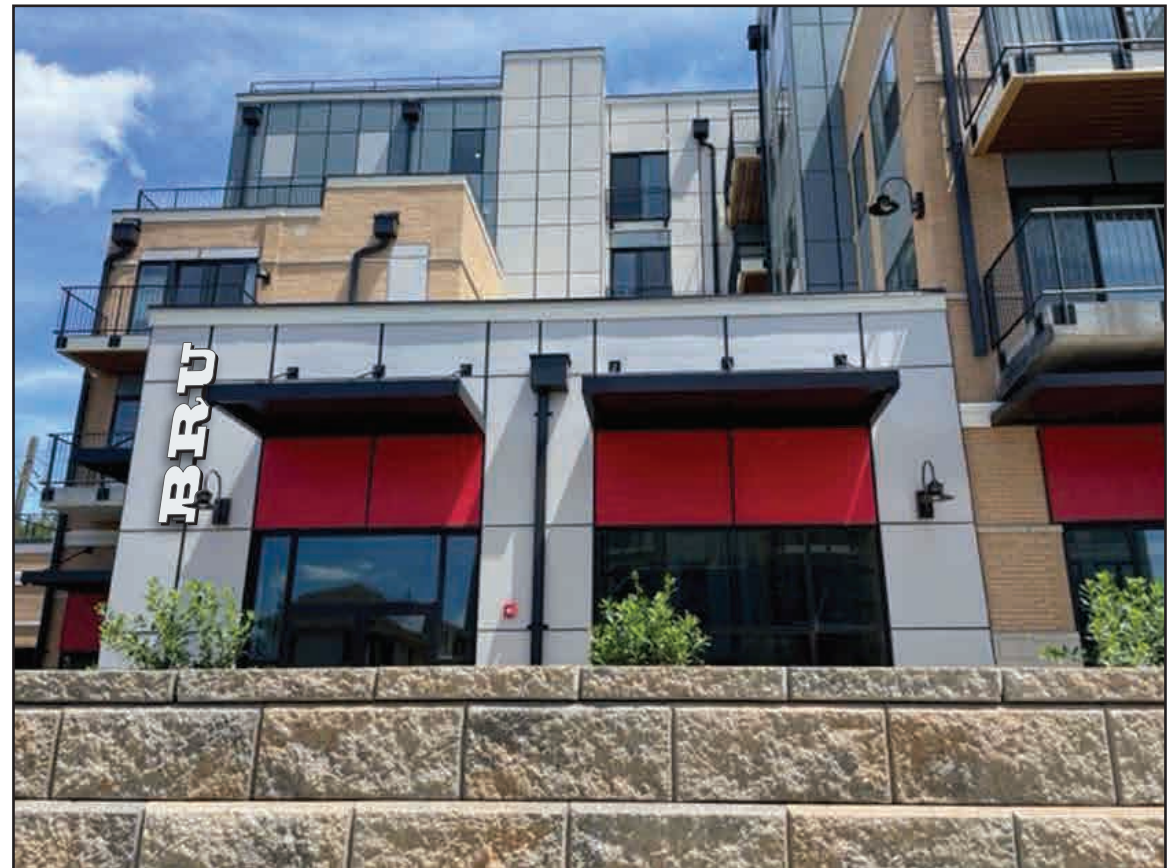
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Signs By Design
"A Quality Sign Says It All"

THE BLUE CHIP
 BUSINESS AWARD WINNER

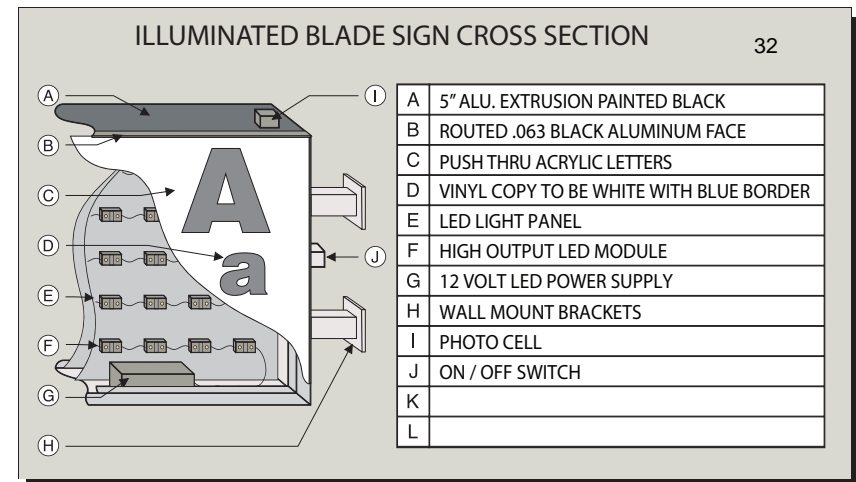
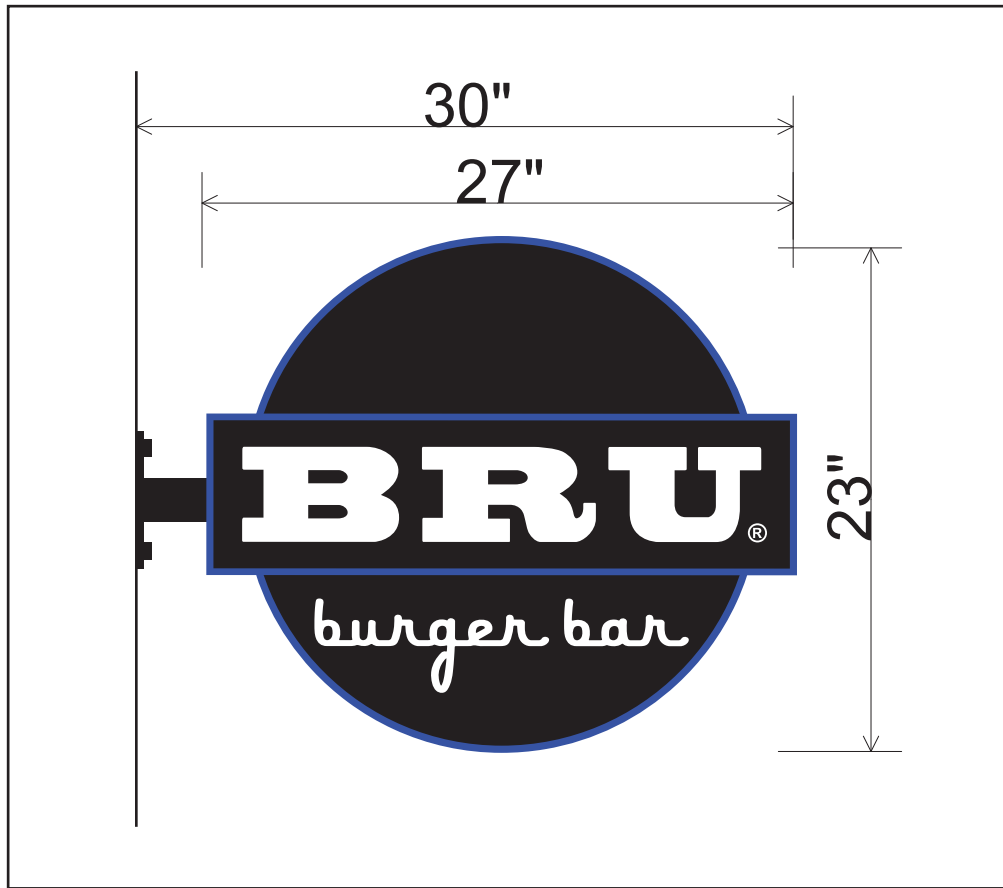
501 W. Noble St. Lebanon, IN 46052
 PHONE: 317-876-7900
 FAX: 317-802-5670
 www.asignbydesign.com
 EMAIL: sbd@asignbydesign.com

CLIENT NAME BRU BURGER		ACCNT. REP KRISTEN
FILE NAME BRU_BLDSIGN WEST3D.PDF		DRAWN BY AA
DATE 8/09/2023	PRODUCTION FILE BRU_BLDSIGN WEST3.FS	FILE LOCATION JULY-2023
LOCATION BLOOMINGTON, IN.	ART <input checked="" type="checkbox"/>	



X _____ DATE _____

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THERE COULD BE A COLOR DIFFERENCE FROM THIS DRAWING TO THE FINAL PRODUCT



A SIGN BY DESIGN IS NOT RESPONSIBLE FOR RUNNING THE MAIN ELECTRICAL LINE TO THE SIGN.
 A SIGN BY DESIGN WILL CONNECT TO ELECTRICAL IF IT IS LOCATED WITHIN 5' OF THE INSTALLED SIGNAGE.

A SIGN BY DESIGN, INC.

Signs By Design

"A Quality Sign Says It All"

THE BLUE CHIP
 BUSINESS AWARD WINNER

501 W. Noble St. Lebanon, IN 46052
 PHONE: 317-876-7900
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 www.asignbydesign.com
 EMAIL: sbd@assignbydesign.com

CLIENT NAME BRU BURGER		ACCNT. REP KRISTEN
FILE NAME BRU_BLADE WEST3B.PDF		DRAWN BY AA
DATE 7/27/2023	PRODUCTION FILE BRU_BLADE WEST3.FS	FILE LOCATION JULY-2023
LOCATION BLOOMINGTON, IN.	ART ✓	



X _____ DATE _____

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THERE COULD BE A COLOR DIFFERENCE FROM THIS DRAWING TO THE FINAL PRODUCT



Gabriel Holbrow <gabriel.holbrow@bloomington.in.gov>

Fwd: BRU Signs

Robert Gannaway <rgannaway@crgdining.com>

Fri, Aug 11, 2023 at 12:19 PM

To: Gabriel Holbrow <gabriel.holbrow@bloomington.in.gov>

Cc: Patrick Heitz <patrickheitz@gmail.com>, Sheryl Clifford <sherylclifford.craft@gmail.com>

Hi Gabriel,

Attached please find two new renderings for the two BRU Signs. We are doing some substantially different things from our other BRU restaurants.

- Building sign
 - Color changed to white
 - Stacked vertically and read from bottom up
 - Only the three letters with no tag line for a clean look
- Blade sign
 - Eliminated the vertical portion of the blade
 - Substantially smaller than other blade signs
 - Attachment reduced to a single point for sleek appearance due to size
 - Moved blade to under the canopy as an accent to the design versus others that are high on the facade and prominent

Let me know if you have any questions.

Thanks,
Rob

[Quoted text hidden]

[Quoted text hidden]

2 attachments

 **Bru_BldSign West3D.pdf**
2358K

 **Bru_Blade West3B.pdf**
2126K






693 N Cleveland Ave

2 years ago · [See more dates](#) >

Photo of existing sign at another Bru Burger Bar location



 Like

GENERAL NOTES

- GENERAL**
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
 2. THE ARCHITECTURAL AND/OR PERGOLA DRAWINGS BY OTHERS SHALL BE REFERENCED FOR ALL DIMENSIONS NOT SHOWN INCLUDING SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS, PARTITION WALLS, DERESSED SLAB AREAS, FLOOR AND ROOF OPENINGS, SLEEVES, CURBS ETC.
 3. THE STRUCTURAL DRAWINGS ARE NOT TO BE SCALED FOR THE DETERMINATION OF QUANTITIES, LENGTHS OF FIT OR MATERIALS.
 4. THE CONTRACTOR STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS NOTED OTHERWISE, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND ALL OTHER PERSONS DURING CONSTRUCTION.
 5. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING OF ALL STRUCTURAL WORK AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
 6. ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO THE STRUCTURE OR ANY PART OF THE STRUCTURE SHOWN ON THESE DRAWINGS SHALL BE SUBMITTED IN WRITING TO THE STRUCTURAL ENGINEER OF RECORD FOR REVIEW.

- EXISTING CONSTRUCTION**
1. VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE PROCEEDING WITH NEW CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK IN THE AREA UNDER QUESTION.
 2. PREVENT UNDERMINING OF THE FOUNDATIONS OF EXISTING STRUCTURES, AS REQUIRED, TAKING PROTECTIVE MEASURES TO PREVENT DAMAGE TO THE EXISTING BUILDING.
 3. THE EXISTING BUILDING HAS NOT BEEN EVALUATED TO DETERMINE COMPLIANCE WITH THE CURRENT BUILDING CODE.

- FOUNDATIONS**
1. SOIL CONDITIONS HAVE BEEN ASSUMED TO BE ADEQUATE TO PROVIDE AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. THE OWNER SHALL EMPLOY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY TO VERIFY ACTUAL CONDITIONS. NOTIFY THE ENGINEER IF 2,000 PSF ALLOWABLE BEARING PRESSURE CAN NOT BE ACHIEVED.
 2. THE OWNER/CONTRACTOR SHALL EMPLOY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY TO VERIFY THAT ALL EXCAVATION AND BACKFILL OPERATIONS MEET THE CRITERIA OF THESE NOTES.
 3. PROOF ROLL THE EXPOSED SUBGRADE WITH A MEDIUM-WEIGHT ROLLER TO DETERMINE IF ANY POCKETS OF SOFT, UNSUITABLE MATERIAL EXIST BENEATH THE EXPOSED SUBGRADE. REMOVE ANY UNSUITABLE MATERIAL ENCOUNTERED AND REPLACE WITH A PROPERLY COMPACTED GRANULAR MATERIAL.
 4. GRANULAR FILL MATERIAL SHALL BE A "PIT RUN GRAVEL" AS IT OCCURS IN A NATURAL STATE WITH NO LUMPS OF CLAY OR ROCKS LARGER THAN 2" IN DIAMETER. IT MUST CONFORM TO THE FOLLOWING GRADATIONS: 10 TO 40 PERCENT SAND, 40 TO 80 PERCENT GRAVEL, AND 0 TO 15 PERCENT CLAY. OBTAIN FROM A BORROW PIT APPROVED BY THE OWNER AND THE TESTING AGENCY.
 5. ALL BACKFILL PLACED AGAINST CONCRETE WALLS SHALL BE A WELL-GRADED, FREE-DRAINING, GRANULAR MATERIAL APPROVED BY THE TESTING AGENCY.
 6. PLACE ALL GRANULAR FILL MATERIAL IN LAYERS NOT EXCEEDING 8" IN LOOSE THICKNESS. MECHANICALLY COMPACT EACH LAYER TO AT LEAST THE REQUIRED MINIMUM DRY DENSITY.
 7. FOOTINGS NOT SUPPORTED BY ENGINEER FILL SHALL BEAR ON FIRM, UNDISTURBED MATERIAL. IF UNSUITABLE MATERIAL IS ENCOUNTERED REESTABLISH THE BEARING ELEVATION OF THE FOOTING BY LOCALIZED UNDERDIGGING AND FILLING WITH SUITABLE ENGINEERED FILL OR CONCRETE AS RECOMMENDED BY THE TESTING AGENCY.
 8. ENGINEER FILL SHALL BE CLEAN, WELL GRADED, AND FREE DRAINING IN ITS COMPACTED STATE.
 9. COMPACT ALL GRANULAR FILL BENEATH SLABS ON GRADE AND OVER FOOTINGS TO 95 PERCENT MODIFIED MAXIMUM DRY DENSITY, ASTM D-1557. INCREASE THE COMPACTION REQUIREMENTS FOR ENGINEERED FILL SUPPORTING FOOTINGS TO 98 PERCENT MODIFIED MAXIMUM DRY DENSITY, ASTM D-1557. COMPACT ALL BACKFILL, NOT SUPPORTING SLABS, PAVEMENT, OR FOOTINGS TO 90 PERCENT MODIFIED MAXIMUM DRY DENSITY, ASTM D-1557. PLACEMENT AND COMPACTION OF FILL SHALL BE CONTROLLED BY THE TESTING AGENCY.
 10. PLACE FOOTINGS THE SAME DAY EXCAVATIONS ARE OPENED. IF THIS IS NOT POSSIBLE, ADEQUATELY PROTECT THE EXPOSED MATERIAL IN THE BASES OF THE FOOTING EXCAVATIONS FROM ANY DETRIMENTAL CHANGE IN CONDITION SUCH AS FROM DISTURBANCE, RAIN, OR FREEZING. SURFACE RUNOFF SHALL NOT BE ALLOWED TO ENTER THE EXCAVATIONS.
 11. PREPARE ALL AREAS OF THE SITE SUPPORTING THE STRUCTURE BY REMOVING ALL TOPSOIL, EXISTING FILL, ORGANIC MATERIAL, OR FROZEN WET, SOFT, LOOSE OR OTHERWISE UNSUITABLE MATERIALS.

- CONCRETE**
1. THE MIXING, HANDLING, PLACING, AND CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH THE ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318).
 2. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 306. DO NOT PLACE DURING RAIN, SLEET, OR SNOW WITHOUT ADEQUATE PROTECTION. NOT WEATHER PROTECTION SHALL BE IN ACCORDANCE WITH ACI 306.
 3. CONTRACTOR SHALL FURNISH A MIX DESIGN FOR EACH CLASS OF CONCRETE SPECIFIED.
 4. PROVIDE 3/4" CHAMBERS ON ALL EXPOSED CORNERS OF CONCRETE EXCEPT THOSE ABUTTING MASONRY.
 5. FLY ASH MEETING ASTM C618 TYPE II WITH MAXIMUM LOSS ON IGNITION OF 1.5 PERCENT AND THE MAXIMUM AMOUNT RETAINED WHEN WET-SIEVED ON NO. 325 SIEVE OF 30 PERCENT MAY BE USED AS A FINE-POUND SUBSTITUTE FOR CEMENT WITH A MAXIMUM OF 20 PERCENT BY WEIGHT.
 6. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINMENT EXCEPT SLABS WITH A TROCKLEED FINISH.

CONCRETE SCHEDULE

CLASS	28 DAY COMPRESSIVE STRENGTH	AIR CONTENT	CONCRETE PLACEMENT
A	3000 PSI	6% ± 1%	FOOTINGS

- CONCRETE MIX PROPORTIONING**
- A. COMPRESSIVE STRENGTH AT 28 DAYS: 3000 PSI.
 - B. MINIMUM CEMENT CONTENT: 423 LB/CU YD.
 - C. MAXIMUM WATER-CEMENT RATIO: 0.56.
 - D. AIR CONTENT: 6 ± 1 PERCENT.

- REINFORCING STEEL**
1. ALL REINFORCING STEEL BENDS, HOOKS, LAP SPLICES, AND MINIMUM CONCRETE COVER SHALL CONFORM TO THE ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) UNLESS OTHERWISE INDICATED.
 2. ALL REINFORCING STEEL SHALL BE SUPPORTED AND SECURED AGAINST DISPLACEMENT IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE'S "MANUAL OF STANDARD PRACTICE". OVERHANGING TAILS SHALL BE SUPPORTED BY TOP SLAB BARS. EACH SUPPORT BAR, OF PROPER LENGTH, MAY REPLACE A TEMPERATURE BAR IN THE PARALLEL DIRECTION.
 3. DETAILS OF FABRICATION AND PLACING OF REINFORCEMENT NOT SHOWN ON THESE PLANS SHALL FOLLOW THE CURRENT ISSUE OF THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" AS ADOPTED BY THE AMERICAN CONCRETE INSTITUTE. ANCHOR ALL TOP BARS EITHER BY STANDARD EMBEDMENT OR BY 90 DEGREE HOOKS UNLESS OTHERWISE DETAILED.
 4. ALL CONCRETE REINFORCEMENT MATERIALS SHALL BE NEW, FREE FROM RUST, AND COMPLYING WITH THE FOLLOWING REFERENCE STANDARDS:
 - A. ALL REINFORCING BARS (EXCEPT AS NOTED BELOW) ASTM A-615, GRADE 60
 - B. WELDED WIRE FABRIC: ASTM A-185
 5. CONCRETE REINFORCING SHALL HAVE THE FOLLOWING PROTECTION UNLESS NOTED OTHERWISE ON DRAWINGS:
 - A. CONCRETE POURED AGAINST FORMS: 1/2" CLEAR
 - B. CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND:
 1. FOOTINGS: 2" CLEAR
 6. SPREAD REINFORCING STEEL AROUND SMALL OPENINGS AND SLEEVES IN SLABS AND WALLS WHERE POSSIBLE AND WHERE BAR SPACING WILL NOT EXCEED 1.5 TIMES THE NORMAL SPACING. DISCONTINUE BARS AT OPENINGS WHERE NECESSARY AND PROVIDE AN AREA OF REINFORCEMENT EQUAL TO THE INTERRUPTED REINFORCEMENT, IN FULL LENGTH BARS DISTRIBUTING ONE-HALF TO EACH SIDE OF THE OPENING. WHERE TEMPORARY REINFORCING IS INTERRUPTED, ADD (2) #6 X 4'-0" DIAGONAL BARS IN BOTH FACES AT EACH CORNER OF OPENINGS LARGER THAN 12" IN ANY DIRECTION. (HOOK IF REQUIRED).
 7. SLAB BOLSTERS, HIGH CHAIRS, BEAM BOLSTERS, AND ALL OTHER ACCESSORIES IN CONTACT WITH THE FORMS FOR EXPOSED CONCRETE, BOTH INTERIOR AND EXTERIOR, SHALL BE PLASTIC TYPED. SUCH ACCESSORIES SHALL HAVE TURNED-UP LEGS.

- STRUCTURAL ALUMINUM**
1. STRUCTURAL ALUMINUM CONSTRUCTION SHALL CONFORM TO THE ALUMINUM ASSOCIATION ALUMINUM DESIGN MANUAL: PART 1-A SPECIFICATION FOR ALUMINUM STRUCTURES.
 2. ALL STRUCTURAL ALUMINUM COMPONENTS SHALL BE PROVIDED IN THE FOLLOWING GRADES: 6063-T6 SQUARE AND RECTANGULAR TUBES, ANGLES, BARS, CHANNELS AND PLATES.
 3. MECHANICAL CONNECTIONS TO USE STAINLESS STEEL SCREWS OF THE SIZE INDICATED ON THE DRAWINGS. ALL STAINLESS STEEL SCREWS TO HAVE A MINIMUM ULTIMATE STRENGTH OF: $F_u = 90ksi$.
 4. WHERE ALUMINUM IS IN CONTACT WITH OR FASTENED TO THE DISSIMILAR MATERIALS, DIRECT CONTACT BETWEEN THE ALUMINUM AND OTHER MATERIAL SHALL BE PREVENTED AS SPECIFIED IN ALUMINUM DESIGN MANUAL, 2012 PART 1: SPECIFICATION FOR ALUMINUM STRUCTURES - SECTIONS M7.1 THROUGH M7.3 OR BY PLACING A COMPATIBLE, NONPOROUS ISOLATOR BETWEEN THE ALUMINUM AND OTHER MATERIAL.
 5. CUTTING OR BURNING OF HOLES, NOTCHES OR OTHER PENETRATIONS IN ALUMINUM SHALL NOT BE ALLOWED WITHOUT THE APPROVAL OF THE ENGINEER, UNLESS NOTED OR SHOWN ON THE DRAWINGS.

DESIGN DATA

WIND LOADS

BASEL WIND SPEED	115 MPH
IMPORTANCE FACTOR	1.0
EXPOSURE	B
BUILDING CATEGORY	II
Q _{NET}	± 0.18
MIN WIND FORCE RESISTING SYSTEM DESIGN WIND PRESSURE	+24.5 psf

SNOW LOADS

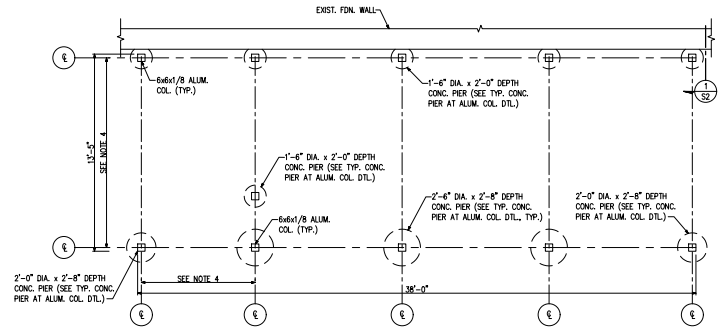
GROUND SNOW LOAD	P _g = 20 PSF
FLAT-ROOF SNOW LOAD	P _f = 15.1 PSF
SNOW EXPOSURE FACTOR	C _e = 0.9
SNOW LOAD IMPORTANCE FACTOR	I _s = 1.0
THERMAL FACTOR	C _t = 1.2

PERGOLA FOUNDATION PLAN

1/4" = 1'-0"

PLAN NOTES

1. SEE GENERAL NOTES ON ON THIS SHEET FOR ADDITIONAL INFORMATION. SEE TYPICAL DETAILS ON SHEET S2 FOR ADDITIONAL INFORMATION.
2. SEE DRAWINGS AS PREPARED BY THE SMART PERGOLA FOR ADDITIONAL INFORMATION.
3. FIELD VERIFY ALL DIMENSIONS TO EXISTING COMPONENTS PRIOR TO FABRICATING NEW MATERIALS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING IN THE AREA IN QUESTION.
4. FIELD VERIFY PERGOLA COLUMN LOCATIONS WITH RESPECT TO EXISTING BUILDING. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

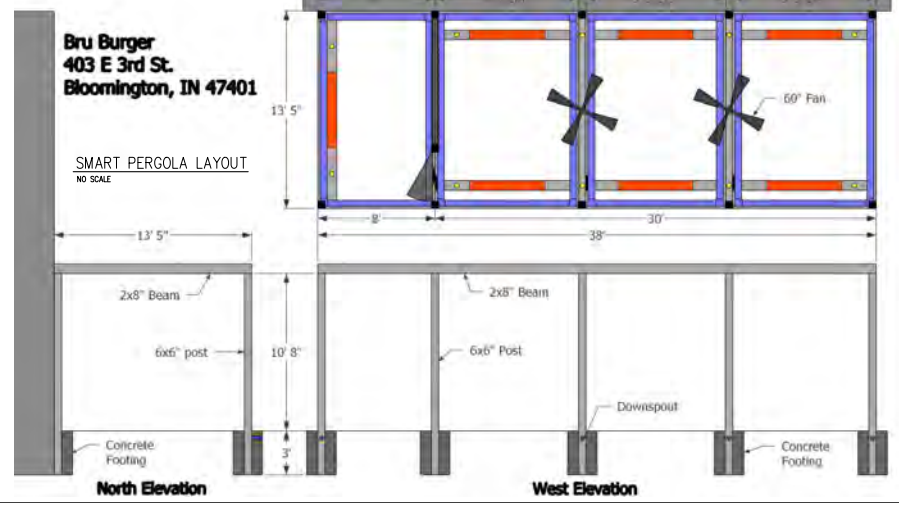
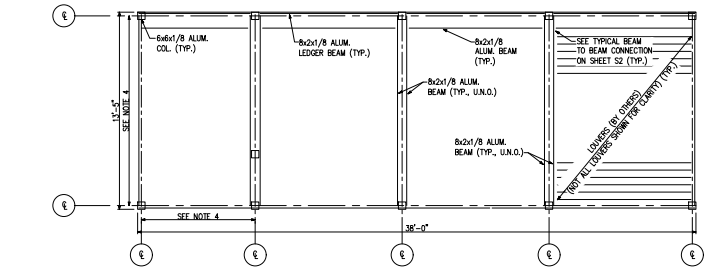


PERGOLA ROOF PLAN

1/4" = 1'-0"

PLAN NOTES

1. SEE GENERAL NOTES ON ON THIS SHEET FOR ADDITIONAL INFORMATION. SEE TYPICAL DETAILS ON SHEET S2 FOR ADDITIONAL INFORMATION.
2. SEE DRAWINGS AS PREPARED BY THE SMART PERGOLA FOR ADDITIONAL INFORMATION.
3. FIELD VERIFY ALL DIMENSIONS TO EXISTING COMPONENTS PRIOR TO FABRICATING NEW MATERIALS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING IN THE AREA IN QUESTION.
4. FIELD VERIFY PERGOLA COLUMN LOCATIONS WITH RESPECT TO EXISTING BUILDING. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. SICE IS NOT RESPONSIBLE FOR THE EVALUATION, DESIGN, OR ANALYSIS OF THE EXISTING STRUCTURE TO ASSURE IT IS CAPABLE OF SUPPORTING THE PERGOLA. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTING STRUCTURE AND ITS CAPACITY TO SUPPORT THE PERGOLA.



PROJECT FOR:
 THE SMART PERGOLA
 12958 BRIGHTON AVENUE
 CARMEL, INDIANA 46032

REVISIONS

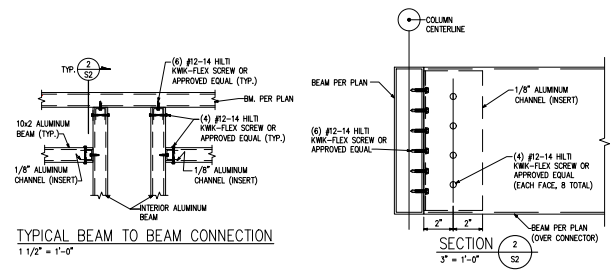
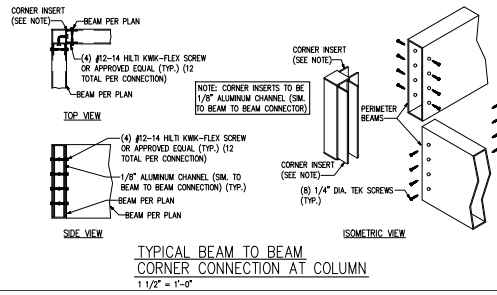
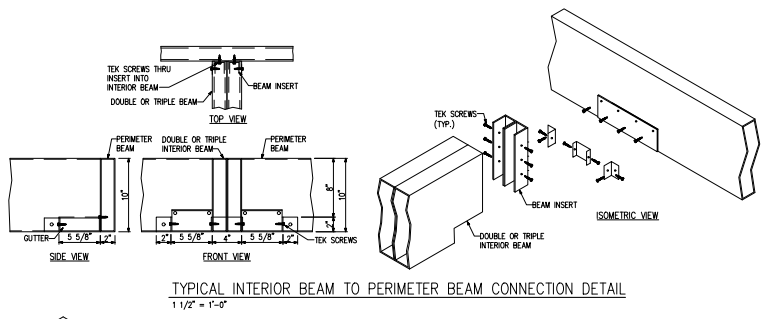
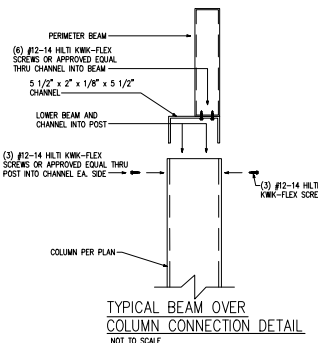
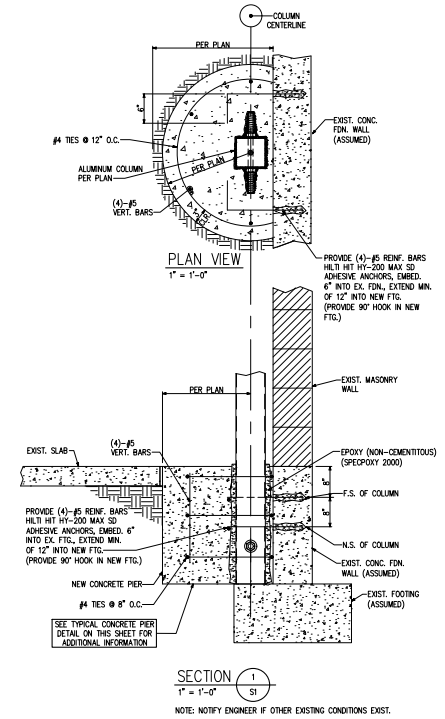
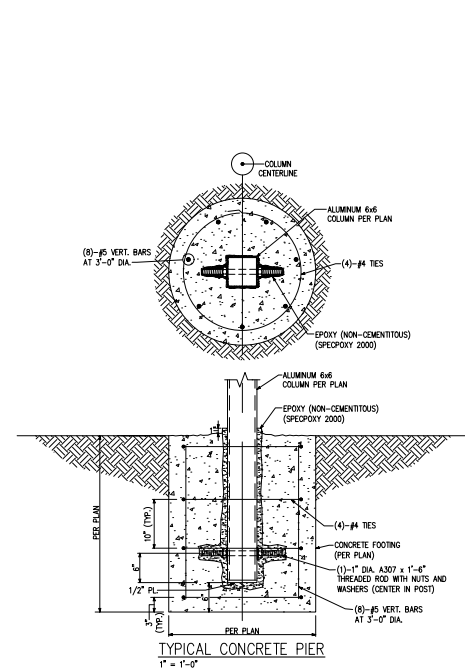
NO.	DATE	REMARKS

DRAWING TITLE

BRU BURGER
 403 E 3RD ST.
 BLOOMINGTON, IN 47401
 FOUNDATION PLAN, ROOF FRAMING PLAN,
 AND GENERAL NOTES

DRAWN BY: NPM
DESIGNED BY: NPM
CHECKED BY: SJS
DATE: 06-05-23
SCALE: AS NOTED

SHEET NUMBER
S1



Street Creek Engineering, Inc.
7225 MIDWAY DRIVE, SUITE 200
BLOOMINGTON, IN 47408
TEL: (317) 397-5000
FAX: (317) 397-5842
www.streetcreek.com

CERTIFIED BY:

BRUCE BURGER
6-6-23

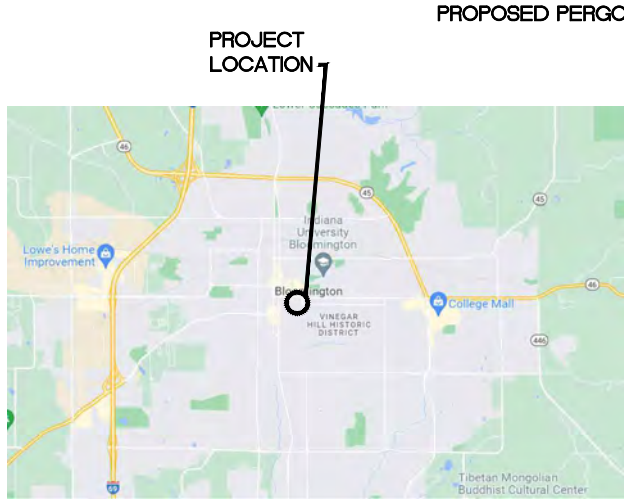
PROJECT FOR
THE SMART PERGOLA
12959 BRIGHTON AVENUE
CARMEL, INDIANA 46032

NO.	DATE	REVISIONS	REMARKS

DRAWN BY: NPM
DESIGNED BY: MM
CHECKED BY: SJS
DATE: 06-05-23
SCE JOB NO.: 23193
SCALE: AS NOTED

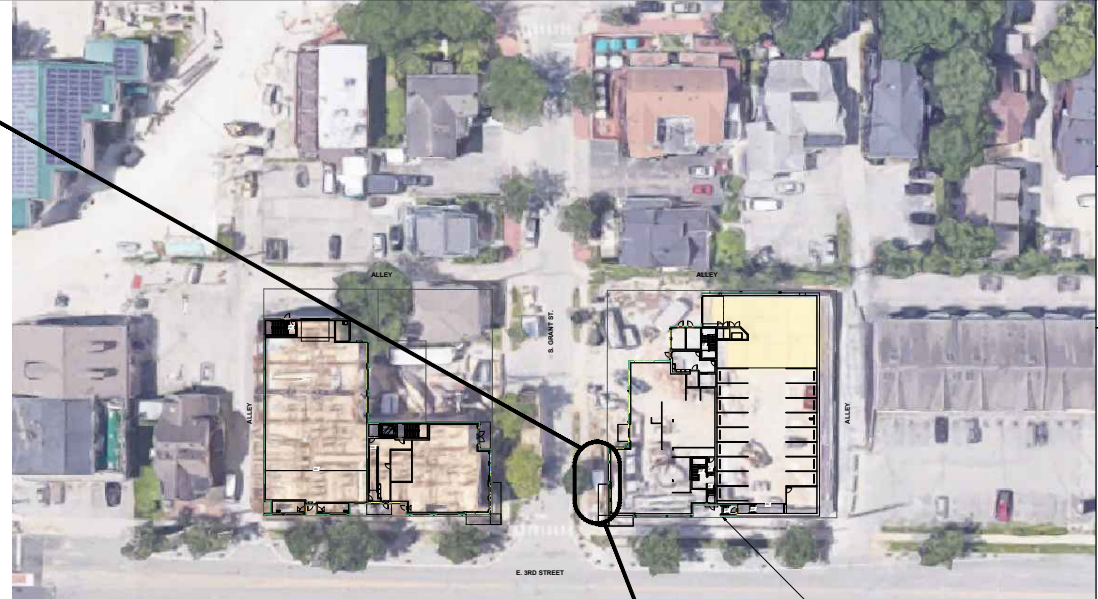
DRAWING TITLE:
BRU BURGER
403 E 3RD ST.
BLOOMINGTON, IN 47401
SECTIONS AND DETAILS

SHEET NUMBER
S2



PROJECT LOCATION

PROPOSED PERGOLA



SITE PLAN NOTES
1" = 1/32"

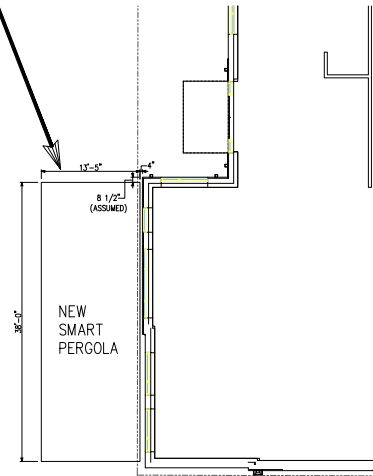


- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH ANY WORK. IF A UTILITY IS LOCATED WHERE NEW FOUNDATIONS ARE PROPOSED THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK IN THE AREA UNDER QUESTION.
- CONTRACTOR SHALL RECOGNIZE RESPECTIVE WORK AND SHALL BE RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, PRIOR TO THE START OF CONSTRUCTION.



PROJECT LOCATION

PERGOLA FOOTPRINT
1/8" = 1'-0"



Street Creek Engineering, Inc.
7725 WOODLAKE DRIVE, SUITE 200
BLOOMINGTON, IN 47414
TEL: (317) 397-5000
FAX: (317) 397-2982
www.sceinc.com

CERTIFIED BY:

S. J. Smith
6-6-23

PROJECT FOR
THE SMART PERGOLA
12958 BRIGHTON AVENUE
CARMEL, INDIANA 46032

NO.	DATE	REVISIONS	REMARKS

DRAWN BY: NPM	DESIGNED BY: MM
CHECKED BY: SJS	DATE: 06-05-23
SCE JOB NO. 23193	SCALE: AS NOTED

DRAWING TITLE
BRU BURGER
403 E 3RD ST.
BLOOMINGTON, IN 47401
SITE PLAN

SHEET NUMBER
C1

































































Photos of same pergola design at a different existing location



Photos of same pergola design at a different existing location



Photos of same pergola design at a different existing location

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