

CITY OF BLOOMINGTON



August 30, 2023 @ 2:00 p.m.
Kelley Conference Room #155 and Zoom

Virtual Link:

<https://bloomington.zoom.us/j/88225451589?pwd=SkQxQmQvTnBXc202M0ZPano1eW9rdz09>

Meeting ID: 882 2545 1589

Passcode: 897298

CITY OF BLOOMINGTON
HEARING OFFICER (Hybrid Meeting)
August 30, 2023 at 2:00 p.m.

City Hall, 401 N. Morton Street
Kelly Conference Room #155

❖Virtual Link:

<https://bloomington.zoom.us/j/88225451589?pwd=SkQxQmQvTnBXc202M0ZPano1eW9rdz09>

Meeting ID: 882 2545 1589

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Petition Map: <https://arcg.is/1TK5P4>

PETITIONS:

CU-25-23

Annex of Bloomington LLC

321 E. 3rd Street / 228 S. Grant Street

Request: Conditional use approval to allow a standardized business in the Mixed-Use Downtown zoning district within the University Village downtown character overlay (MD-UV). Case Manager: Katie Gandhi

****Next Meeting: September 13, 2023**

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**BLOOMINGTON HEARING OFFICER
STAFF REPORT**

**CASE #: CU-25-23 / USE2023-08-0026
DATE: August 30, 2023**

LOCATION: 321 E 3rd/228 South Grant Street (parcel #53-05-33-310-073.000-005)

PETITIONER: Annex of Bloomington LLC
409 Massachusetts Ave, Suite 300
Indianapolis IN 46204

OWNER: Annex of Bloomington, LLC
409 Massachusetts Avenue, Suite 300
Indianapolis, IN 46204

REQUEST: Conditional use approval to allow a standardized business in the Mixed-Use Downtown zoning district within the University Village downtown character overlay (MD-UV).

REPORT: The property is located at the northwest corner of the intersection of South Grant Street and East 3rd Street in the University Village downtown character overlay of the Mixed-Use Downtown zoning district (MD-UV). The property was recently redeveloped as the west building of the Annex of Bloomington, a mixed-use development containing ground-floor commercial spaces with dwelling units on upper floors. 228 South Grant Street is the new address assigned to the recently developed building on the property, although the property itself is also associated with the address 321 East 3rd Street.

UDO compliance for the site and the west building of the Annex was reviewed and approved as major site plan SP-15-20 (approved by the Plan Commission on July 13, 2020) and grading permit C20-430 (issued July 2, 2021), and all surrounding properties are also in the certificate of zoning compliance (CZC) C21-392 (issued October 8, 2021).

All surrounding properties are also in the MD zoning district. Of these, properties to the north, east, and west are also within the University Village downtown character overlay (MD-UV), while properties to the south across 3rd Street are within the Downtown Edges downtown character overlay (MD-DE). Properties on the same block and to the north across the adjacent alley, as well as properties to the northeast across Grant Street are located in the Greater Restaurant Row Historic District. Adjacent surrounding properties and their uses include the following:

- to the north and northeast: multi-family residential housing, restaurants, retail and office uses;
- to the east, across Grant Street: the east building of the Annex of Bloomington, which includes a ground-floor commercial space with dwelling units on upper floors;
- to the southeast: multi-tenant property with commercial uses;
- to the south and southwest: restaurants and a mixed-use development including commercial uses on the ground-floor and dwelling units on upper floors;
- to the west: multi-family residential housing, restaurants, and retail uses.

Annex of Bloomington, LLC, project owner and developer, is proposing to build out the ground-floor commercial tenant space of the West Building at Annex of Bloomington for use as a restaurant under both the Coffee Beanery & Cold Stone Creamery brands.

Annex of Bloomington has entered into a lease with franchisee and small business owner Asra Khan. Khan is expanding Coffee Beanery into Indiana with Bloomington being one of the first to open in Indiana. Khan has also facilitated the first partnership with Cold Stone Creamery to offer ice cream sales at this location, in addition to Coffee Beanery products. Bloomington, Indiana will be the first and only location in the country to offer both coffee and ice cream within Coffee Beanery.

Both the Coffee Beanery and Cold Stone Creamery proposed uses meet the [definition of a standardized business](#) in the City of Bloomington Unified Development Ordinance (UDO), which, if located in the MD-CS and MD-UV zoning districts, requires conditional use approval and is subject to use specific standards. Coffee Beanery, established in the United States in 1976 in Michigan, has over 100 locations throughout the U.S. and 20 locations internationally. Cold Stone Creamery, an American international ice cream parlor chain founded in 1988 in Arizona, has almost 100 locations throughout the U.S.

The petitioner is requesting two identical, internally illuminated signs for this use – one sign facing south, the other facing east. The proposed signage is compliant with the dimensional standards for wall signs in the Mixed-Use Downtown (MD) district. Both signs will be flag-mounted to aluminum and attached to the existing canopy, sitting no more than 8 inches from the wall facades.

Coffee Beanery/Cold Stone Creamery also proposes to provide an outdoor patio seating area directly east of the east façade of the building and property line, along Grant Street. Patio seating accommodations would consist of recycled plastic furniture and aluminum umbrellas covered with red fabric.

STANDARDIZED BUSINESS STANDARDS

20.03.010(e)(2) Standardized Business

In the MD-CS and MD-UV character areas a standardized business shall require conditional use permit review in accordance with Section 20.06.050(b) (Conditional Use Permit), and shall comply with the following standards: The proposed standardized business shall be designed and constructed in a style that visually complements its surroundings, especially the existing buildings on both sides of the same block the business is to be located, as well as the character of the particular overlay district. Visual complementation shall include, but may not be limited to:

- i. Architecture;*
 - ii. Scale;*
 - iii. Façade; and*
 - iv. Signage.*
- (A) *If the use is proposed for a site that contains an existing building of special historical, cultural, or architectural significance, with or without official historic designation, the proposed use shall seek to preserve and reuse as much of the existing building as possible, particularly the building's façade.*
- (B) *Visual complementation may also include interior décor. Elements of interior décor*

such as displays of public art, photos or memorabilia of Bloomington or Indiana University, may be considered.

STAFF COMMENTS: The architecture, scale and façade of this petition is compliant with prior site plan approval. The proposed outdoor patio seating furniture complements the contemporary architecture of the building using clean lines and minimalist aesthetic. The use of red color accents in the umbrellas was selected in honor of Indiana University. The petitioner has submitted a Right-Of-Way Seating and Merchandising Encroachment Application and begun the encroachment agreement process with the Public Improvements Manager in the Engineering Department. The petitioner has worked to create an exterior sign design that will be unique to this location, different than the typical franchise sign package, and complementary to existing surrounding signage. Because Bloomington will be the only location in the country to offer this particular combination of businesses, the proposed combination of these two business logos is unique. The placement of “Bloomington” underneath the logos connects these businesses to this community. The signage complements the modern building façade and the block lettering style is complementary to signage in the surrounding area. The existing building is not historic and is not located within a historic district. No specific interior décor or signage is being proposed.

CRITERIA & FINDINGS

20.06.040(d)(6) Approval Criteria (B) General Compliance Criteria - All petitions shall be subject to review and pursuant to the following criteria and shall only be approved if they comply with these criteria.

- i. *Compliance with this UDO*
- ii. *Compliance with other applicable regulations*
- iii. *Compliance with Utility, Service, and Improvement Standards*
- iv. *Compliance with prior approvals*

PROPOSED FINDING: The proposed use of the property, the exterior design of the building, and the size of the associated proposed sign meet UDO requirements. The recently constructed building complies with utility, service, and improvement standards. Any changes to utility service would be reviewed with a building permit. The utilities specifically related to this building permit for this proposed interior remodel work is currently under review by City of Bloomington Utilities (CBU). The petitioner will comply with City of Bloomington Utilities (CBU) regulations for the restaurant use. There are no changes to the exterior of the previously approved building that are proposed with this use. Only the addition of new signage and interior remodeling is being proposed.

20.06.040(d)(6) Approval Criteria (C) Additional Criteria Applicable to Conditional Uses

- i. *Consistency with Comprehensive Plan and Other Applicable Plans - The proposed use and development shall be consistent with and shall not interfere with the achievement of the goals and objectives of the Comprehensive Plan and any other applicable adopted plans and policies.*

PROPOSED FINDING: This proposal is in line with the goals of the Comprehensive Plan and does not interfere with the achievement of the goals and objectives of the Comprehensive Plan. The Comprehensive Plan identifies this area as “Downtown.” The Downtown district is meant to be a commercial hub that offers a variety of businesses and uses. The proposed restaurant is

located near the restaurants of Restaurant Row as well as other retail and commercial uses.

- ii. *Provides Adequate Public Services and Facilities - Adequate public service and facility capacity shall exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, streets, potable water, sewer, storm water management structures, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.*

PROPOSED FINDING: Adequate public service capacity exists. Access to the ground floor of Coffee Beanery/Cold Stone in the West Building was evaluated and approved as part of the site plan for Annex of Bloomington.

- iii. *Minimizes or Mitigate Adverse Impacts -*
1. *The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.*
 2. *The proposed development shall not cause significant adverse impacts on surrounding properties nor create a nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights.*
 3. *The hours of operation, outside lighting, and trash and waste collection shall not pose a hazard, hardship, or nuisance to the neighborhood.*
 4. *The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.*

PROPOSED FINDING: No destruction, loss, or damage of any natural, scenic, or historic features is found. No nuisance regarding noise, smoke, odors, vibrations, lighting, or hours of operation is found. The proposed signage will be required to meet lighting requirements and sign regulations. No pre-submittal neighborhood meeting was required for this petition. Adjoining property owners were notified about this petition by both mailing notice and signage placed on the property.

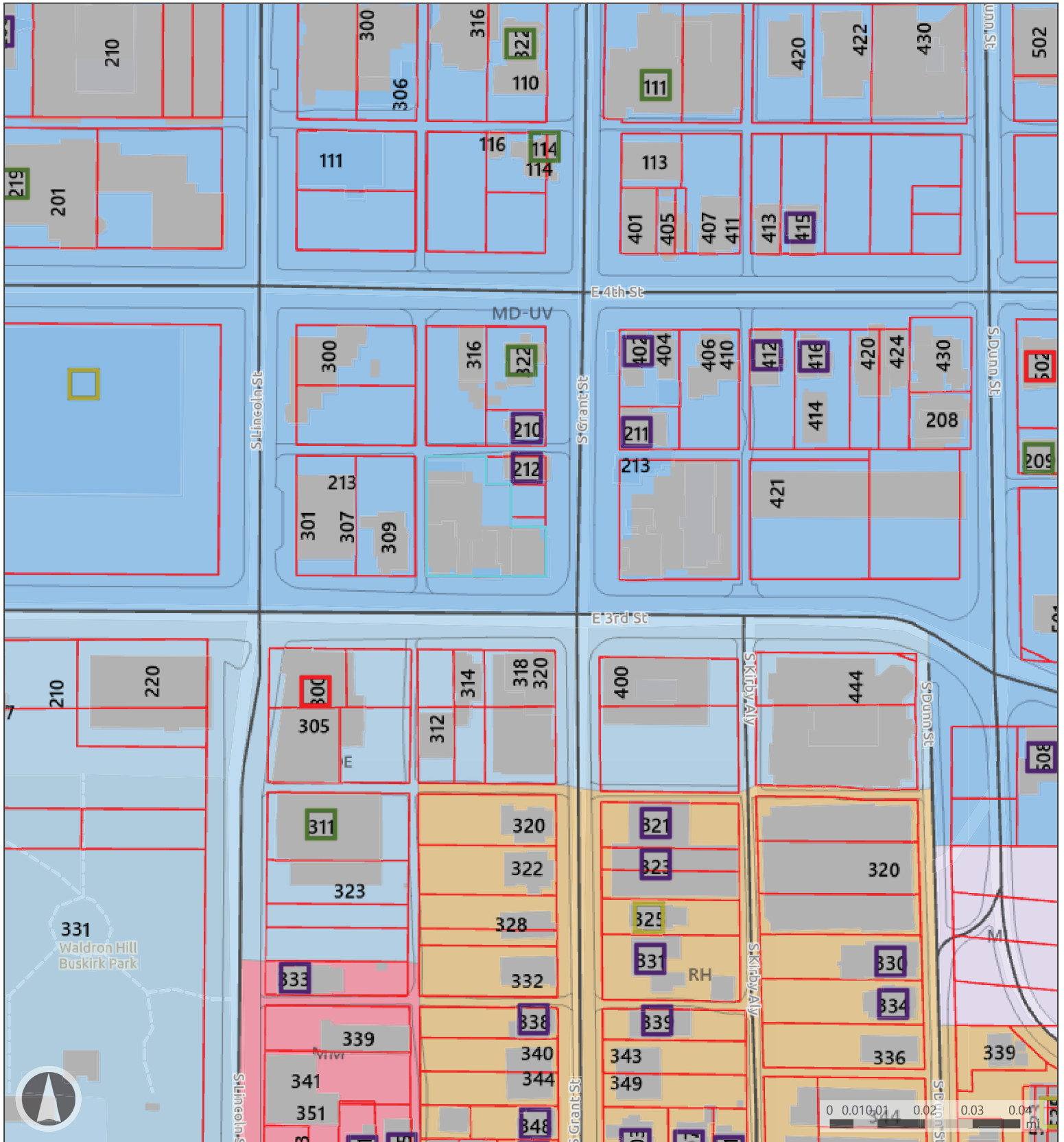
- iv. *Rational Phasing Plan - If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements.*

PROPOSED FINDING: There is no phasing plan for this proposal. The petitioner will be utilizing an existing tenant space and all work will be completed at one time.

RECOMMENDATION

The Department recommends that the Hearing Officer adopt the proposed findings and approve CU-25-23 / USE2023-08-0026 with the following conditions:




1. This conditional use approval is limited to the proposed design and use as a standardized business for the particular businesses in this petition. No other facade design or use is approved. Minor changes to the facade design, such as re-facing of signs or change of sign graphics within the allowed signage area, can be approved as consistent with this conditional use approval, subject to sign standards and other relevant regulations.
2. Sign permit is required, and the design of all exterior signage shall conform to the designs shown in this approval.
3. The petitioner shall obtain an encroachment agreement with the Board of Public Works for any encroachments prior to final occupancy.

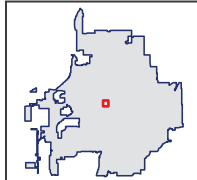


Map Legend

-  Outstanding
-  Notable

-  Contributing
-  Non-Contributing

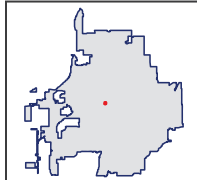
-  Parcels
-  Buildings
-  Edge of Pavement





Map Legend

- Outstanding
- Contributing
- Addresses
- Notable
- Non-Contributing
- Parcels





Petitioner's Statement
The Annex Group – Annex of Bloomington LLC
August 23rd, 2023

Annex of Bloomington, LLC, project owner and developer, is requesting permission to allow Coffee Beanery, defined as a standardized business, into the first floor of Annex of Bloomington at 228 S Grant Street.

Annex of Bloomington has entered into a lease with Coffee Beanery to occupy the entire first floor of the West Building at Annex of Bloomington. Asra Khan, franchisee and small business owner, is expanding Coffee Beanery into Indiana with Bloomington being one of the first to open in Indiana. In addition to selling Coffee, Ms. Khan was also able to facilitate the first partnership with Cold Stone Creamery to also offer ice cream sales. Bloomington will be the only location in the country to offer both coffee and ice cream within Coffee Beanery.

Coffee Beanery opened its first stores in the United States in 1976, before the American public knew the term “specialty coffee.” In the years that have followed, Coffee Beanery continues to build its brand and franchise organization on the principles of time-tested and honored traditions and values. Exceptional coffee, a warm relaxing environment, and a corporate culture that embraces its franchisees with every opportunity to succeed and exemplify these values. Today, Coffee Beanery has over 100 locations throughout the U.S., 20 locations internationally, and is recognized as an industry leader for its unique family business approach, corporate culture and commitment to quality.

There are no proposed modifications to the previously approved façade of the building. However, the façade design of the building allows for signage to be placed on the building canopies rather than standard wall signage at most Coffee Beanery and general retail locations. Several options of signage were reviewed with staff to ultimately provide the unique sign proposed. Since this is first ever combination Coffee Beanery/Cold Stone Creamery, there is no other signage like this in the Country. Coffee Beanery has removed their logo and instead added Cold Stone’s logo along with adding “Bloomington” under both. No other signage for either business has incorporated the name of the City into the signage.

COFFEE BEANERY INTERIOR BUILD-OUT

321 E 3RD ST, BLOOMINGTON, IN 47401

OFFICIAL SEAL
 CLIENT:
 NAME: ASRA KHAN
 PH: 224.875.1304
 EMAIL: ASRAKHAN.DUNKINBASKIN@GMAIL.COM



CONSULTANT

CONSULTANT

COFFEE BEANERY INTERIOR BUILD-OUT

321 E 3RD ST, BLOOMINGTON, IN 47401

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REV	REV DESCRIPTION	DATE
	ISSUED FOR PERMIT	06/12/23



DESIGN PROFESSIONAL SEAL
 THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF KP&J ARCHITECTS & ENGINEERS, LLC AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE PERMISSION OF KP&J ARCHITECTS & ENGINEERS.

Drawn / Designed MS
 Reviewed JT
 Project Number: KPJ-23-0028

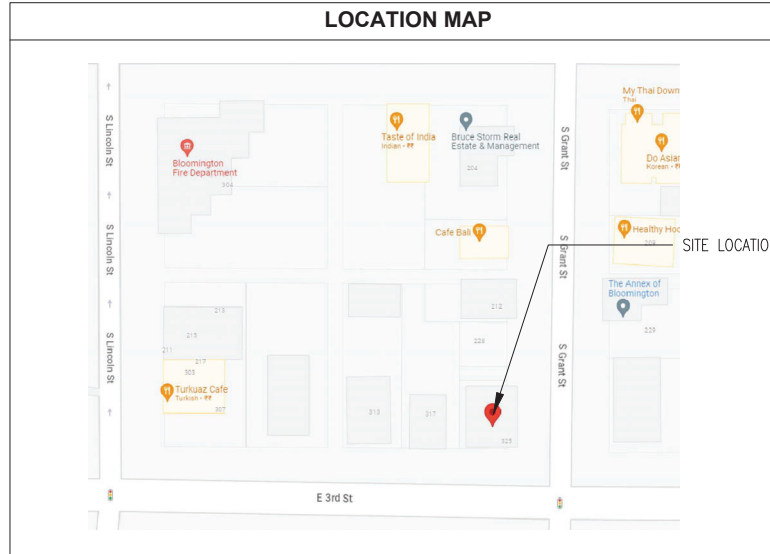
SHEET NAME:
COVER SHEET

SHEET NUMBER:
G-100

APPLICABLE CODES	
BUILDING CODE	2012 INTERNATIONAL BUILDING CODE W/INDIANA AMENDMENTS
ELECTRICAL CODE	2008 NATIONAL ELECTRICAL CODE W/INDIANA AMENDMENTS
PLUMBING CODE	2006 INTERNATIONAL PLUMBING CODE W/INDIANA AMENDMENTS
FIRE CODE	2012 INTERNATIONAL FIRE CODE W/INDIANA AMENDMENTS
ENERGY CODE	2012 INDIANA ENERGY CONSERVATION CODE
MECHANICAL CODE	2012 INTERNATIONAL MECHANICAL CODE W/INDIANA AMENDMENTS
ACCESSIBILITY CODE	2010 INDIANA ACCESSIBILITY CODE

PROJECT CONTACTS	
ARCHITECT / STRUCTURAL ENGINEER	KP&J ARCHITECTS & ENGINEERS, LLC 960 RAND ROAD, SUITE 220 DES PLAINES, IL-60018
ARCHITECT'S CONTACT INFO:	JOLLY THULASEEDAS, AIA, LEED AP BD+C PH: 224-499-0992 EMAIL: jolly@kpenr.com
OWNER	ASRA KHAN PH: 224.875.1304 EMAIL: ASRAKHAN.DUNKINBASKIN@GMAIL.COM

WORK AREA SCHEDULE		
FLOOR	AREA	BUILDING CONSTRUCTION
COMMERCIAL SPACE	2191 SQ.FT	TYPE III B
SCOPE OF WORK		
INTERIOR BUILD-OUT FOR COFFEE BEANERY		



SHEET NO.	SHEET NAME	ISSUED FOR PERMIT	06/12/23
G-100	COVER SHEET	X	
G-101	GENERAL NOTES	X	
	LIFE SAFETY		
LS-201	LIFE SAFETY PLAN	X	
	ARCHITECTURAL		
A-201	FLOOR PLAN	X	
A-202	FLOOR FINISH PLAN	X	
A-401	DETAILS	X	
A-601	EQUIPMENT PLAN	X	
A-602	EQUIPMENT SCHEDULES	X	
A-701	REFLECTED CEILING PLAN	X	
A-702	LIGHTING FIXTURE SCHEDULE	X	
	MEP		
M-201	MECH. PLAN RETAIL SPACE	X	
M-202	MECH. EQUIPMENT SCHEDULE	X	
M-203	MECH. GROUND FLOOR PLAN	X	
M-204	MECH. ROOF PLAN	X	
E-201	ELECTRICAL POWER PLAN	X	
E-202	ELECTRICAL PANEL SCHEDULE	X	
E-203	ELECTRICAL LIGHTING PLAN	X	
P-201	MECH. ROOF PLAN	X	
P-202	MECH. ROOF PLAN	X	

GENERAL NOTES

INTENT OF THESE CONSTRUCTION DOCUMENTS

A. PROVIDE AND INSTALL ALL REQUIRED EXCAVATING, CONCRETE, FOUNDATIONS, MASONRY, CARPENTRY, PLUMBING, ELECTRICAL AND HVAC WORK AS INDICATED ON THE DRAWINGS. TO DO ALL NECESSARY DEMOLITION WORK. TO PROVIDE AND INSTALL REQUIRED WINDOWS, DOORS AND FINISHES AS INDICATED.

SECTION 01000 CODES, PERMITS AND SAFETY

A. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY BUILDING PERMITS AND CERTIFICATES REQUIRED FROM THE LOCAL BUILDING INSPECTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PEOPLE ON OR NEAR THE CONSTRUCTION SITE DURING THE CONSTRUCTION PERIOD. IMPLEMENTATION OF ALL NECESSARY AND PRUDENT SAFETY PRECAUTIONS SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR. METHODS OF CONSTRUCTION AND ERECTION OF MATERIALS AND ASSEMBLIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

SECTION 01001 PLANS AND SPECIFICATIONS

- A. THESE SPECIFICATIONS AND THE ACCOMPANYING DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PLACE OF WORK. THEY ARE INTENDED TO BE COOPERATIVE AND WHAT IS CALLED FOR BY EITHER SHALL BE AS BINDING AS IF CALLED FOR BY BOTH. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, NOT WITHSTANDING EVERY ITEM NECESSARILY INVOLVED IS NOT SPECIFICALLY MENTIONED, AND THE CONTRACTOR WILL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESIRED, AND SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL ERROR OR EMISSION SHOULD SUCH EXIST. SHOULD ANY ERROR OR INCONSISTENCY APPEAR IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR, BEFORE PROCEEDING WITH THE WORK, SHALL MAKE MENTION OF THE SAME TO THE OWNER'S PROJECT MANAGER IN WRITING FOR PROPER ADJUSTMENT, AND IN NO CASE SHALL HE PROCEED WITH THE WORK IN UNCERTAINTY.
- B. TITLES TO CHAPTERS AND PARAGRAPHS IN THESE SPECIFICATIONS ARE INDICATED MERELY FOR CONVENIENCE AND SHALL NOT BE CONSTRUED AS A CORRECT OR COMPLETE SEGREGATION OF THE SEVERAL UNITS OF MATERIALS AND LABOR. NO RESPONSIBILITY, EITHER DIRECT OR IMPLIED, IS ASSUMED BY THE OWNER FOR OMISSIONS OR DUPLICATIONS BY THE CONTRACTOR OR HIS SUBCONTRACTORS, DUE TO REAL OR ALLEGED ERROR IN ARRANGEMENT OF MATTER IN THESE SPECIFICATIONS.
- C. IT SHALL BE THE DUTY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS GIVEN ON THE DRAWINGS AND TO REPORT ANY ERRORS OR INCONSISTENCIES TO THE OWNER'S PROJECT MANAGER BEFORE COMMENCING THE WORK. IN SUBMITTING A PROPOSAL, IT WILL BE CONSTRUED BY THE OWNER THAT THE BIDDER HAS EXAMINED AND FAMILIARIZED HIMSELF WITH THE SITE AND HAS CAREFULLY CHECKED ALL THE DETAILS AND ASSURED HIMSELF THAT THEY CONFORM IN EVERY RESPECT WITH BOTH LOCAL AND STATE REQUIREMENTS. IGNORANCE OR FAILURE ON THE PART OF THE CONTRACTOR OR SUBCONTRACTOR TO EXAMINE OR FAMILIARIZE THEMSELVES WITH THE SITE WILL NOT BE ACCEPTED AS AN EXCUSE FOR CLAIMS TO EXTRA OR ADDITIONAL PAYMENT ABOVE CONTRACT PRICE.
- D. THE OWNER'S PROJECT MANAGER SHALL WITHIN A REASONABLE TIME MAKE DECISIONS ON ALL POINTS BROUGHT UP BY THE CONTRACTOR, ON MATTERS RELATING TO THE INTERPRETATION OF THE PLANS, THE SPECIFICATIONS AND THE EXECUTION, AND THE PROGRESS OF THE WORK.
- E. SHOULD ANY DISPUTE ARISE AS TO THE QUALITY OR FITNESS OF MATERIALS OR WORKMANSHIP OR INTERPRETATION OF THE PLANS AND SPECIFICATIONS, THE DECISION SHALL REST WITH THE OWNER'S PROJECT MANAGER AND SHALL BE BASED ON THE REQUIREMENTS THAT ALL WORK DONE AND ALL MATERIALS FURNISHED SHALL BE IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND WHAT IS USUAL, CUSTOMARY, AND STANDARD PRACTICE IN ERECTING BUILDINGS OF SIMILAR TYPE.
- F. WHERE NECESSARY FOR FIELD WORK, OR PROPER INTERPRETATION OF THE GENERAL PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT WITH SUCH PROMPTNESS AS TO CAUSE NO DELAY IN HIS OR ANY OTHER CONTRACTOR'S WORK, THREE COPIES OF AMPLIFIED DETAILS AND SCHEDULES FOR THE APPROVAL OF THE OWNER'S PROJECT MANAGER AND SHALL FURNISH THE PROJECT MANAGER THREE COPIES OF THE FINAL DETAILS, ONE TO BE RETURNED TO THE CONTRACTOR APPROVED AND TWO TO REMAIN IN THE PROJECT MANAGER'S FILES.
- G. FIGURED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALED MEASUREMENTS. IN CASE OF ANY DOUBT ON THE PART THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE OWNER'S PROJECT MANAGER FOR AN INTERPRETATION BEFORE PROCEEDING WITH HIS WORK.
- H. SHOULD DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION FROM THE OWNER'S PROJECT MANAGER BEFORE PROCEEDING WITH THE WORK. IF THE CONTRACTOR FAILS TO MAKE SUCH REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED FOR FAILURE TO CARRY OUT WORK IN THE REQUIRED MANNER OR PROVIDE REQUIRED GUARANTEE, WARRANTIES, OR BONDS. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON BETTER QUALITY AND LARGER QUANTITY OF WORK, UNLESS HE SHALL HAVE REQUESTED AND OBTAINED WRITTEN DECISION FROM THE OWNER'S PROJECT MANAGER BEFORE SUBMISSION OF BID AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- I. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, SPECIFICATIONS, OTHER INSTRUCTIONS. WHERE DIMENSIONS ARE GOVERNED BY EXISTING CONDITIONS OR BY CONDITIONS ALREADY ESTABLISHED, CONTRACTOR SHALL TAKE ACTUAL MEASUREMENTS HIMSELF AND SHALL REPORT IN WRITING TO THE OWNER'S PROJECT MANAGER, FOR EXPLANATION OR ADJUSTMENT, ANY ERRORS, DISAGREEMENTS OR INCONSISTENCIES IN THE DRAWINGS AND SPECIFICATIONS OR FIGURED DIMENSIONS OF THE DRAWINGS WHICH MAY EXIST OR APPEAR TO EXIST, BEFORE PROCEEDING TO EXECUTE THAT PART OF THE WORK AFFECTED. THEREBY, THIS FIELD VERIFICATION SHALL BE DONE WITHIN TEN DAYS OF THE RECEIPT OF THE DRAWINGS, SPECIFICATIONS AND INSTRUCTIONS. FAILURE TO DO SO SHALL CONSTITUTE A WAIVER OF ALL RIGHT TO OR CLAIM FOR EXTRA WORK ON SUCH ACCOUNT.
- J. NO DEVIATION FROM SPECIFICATIONS, DRAWINGS OR INSTRUCTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE OWNER'S PROJECT MANAGER.

SECTION 01002 MATERIAL, LABOR, APPLIANCES

- A. UNLESS OTHERWISE STIPULATED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, WATER, TOOLS, EQUIPMENT, LIGHT AND POWER, TRANSPORTATION AND OTHER FACILITIES NECESSARY FOR THE EXECUTION OF THE WORK.
- B. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THESE RESPECTIVE KINDS. THE CONTRACTOR SHALL IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS.
- C. ONLY SKILLED, THOROUGHLY TRAINED AND EXPERIENCED FOREMAN AND WORKMEN SHALL BE EMPLOYED ON THE WORK, AND WHEN REQUIRED BY THE OWNER, THE CONTRACTOR SHALL DISCHARGE AND SHALL NOT RE-EMPLOY ON THE WORK, ANY PERSON WHO COMMITS TRESPASS, OR WHO IS IN THE OPINION OF THE OWNER, DISORDERLY, DANGEROUS, INSUBORDINATE, INCOMPETENT, OR OTHERWISE OBJECTIONABLE, NOR SHALL HE EMPLOY ANY PERSON WHO HAS BEEN DISCHARGED BY ANOTHER CONTRACTOR UPON THE ORDER OF THE OWNER'S PROJECT MANAGER. D. UNLESS OTHERWISE STIPULATED, NO ALLOWANCE OR COMPENSATION WHATSOEVER SHALL BE DUE OR PAID TO THE CONTRACTOR FOR ANY TEMPORARY ROADS, EXCAVATIONS, EMBANKMENTS, OR OTHER WORK OR STRUCTURES THAT HE MAY MAKE TO FACILITATE HIS WORK, NOR FOR ANY CONSTRUCTION PLANT, TOOLS OR EQUIPMENT WHICH MAY BE REQUIRED IN THE PERFORMANCE OF THE WORK.
- E. ALL WORK AND MATERIALS DELIVERED ON THE PREMISES SHALL BE INTENDED TO FORM PART OF THE WORK AND SHALL NOT BE REMOVED WITHOUT CONSENT OF THE OWNER. THE CONTRACTOR SHALL HAVE THE RIGHT TO REMOVE ALL SURPLUS MATERIALS AFTER THE COMPLETION OF ALL WORK INCLUDED IN HIS CONTRACT.
- F. IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUBCONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.

SECTION 01003 PROTECTION OF WORK AND PROPERTY

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF HIS WORK; FOR OBSTRUCTION OF STREETS, SIDEWALKS, ALLEYS AND PAVEMENTS AND SHALL IN ALL CASES MAKE GOOD ANY DAMAGE TO ANY STREETS, SIDEWALKS, ALLEYS AND PAVEMENTS.
- B. CONTRACTOR SHALL USE EVERY PRECAUTION TO BRACE AND OTHERWISE SUPPORT AND SECURE THE STRUCTURAL FRAME, WALLS, FLOORS AND ROOF DURING THE CONSTRUCTION OF THE WORK; AND SHALL PROVIDE DURING THE PROGRESS OF HIS WORK EVERY AND ALL SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, JURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJOINING PROPERTY.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND EVERY PART THEREOF, AND FOR ALL MATERIALS, TOOLS APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.

SECTION 01005 SUPERVISOR

- A. THE CONTRACTOR SHALL GIVE PERSONAL SUPERVISION TO THE WORK, USING HIS BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE JOBSITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY HIM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATIONS DELIVERED TO THE FOREMAN BY OWNER'S PROJECT MANAGER SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.
- B. THE CONTRACTOR SHALL LAYOUT ALL WORK AND SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS AND DIMENSIONS.

SECTION 01007- CUTTING & PATCHING

- A. EACH CONTRACTOR SHALL LEAVE ALL CHASES, HOLES OR OPENINGS IN WALLS AND PARTITIONS STRAIGHT, TRUE AND OF PROPER SIZE. IN HIS OWN WORK OR CUT SAME IN EXISTING WORK AS MAY BE NECESSARY FOR THE PROPER INSTALLATION OF HIS OWN OR ANOTHER CONTRACTOR'S WORK. EACH CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR REGARDING PROPER LOCATION AND SIZE OF SAME. IN CASE OF HIS FAILURE TO LEAVE OR CUT SAME IN THE PROPER PLACE, HE SHALL CUT THEM AFTERWARDS AT HIS OWN EXPENSE. NO EXCESSIVE CUTTING WILL BE PERMITTED, NOR SHALL ANY STRUCTURAL MEMBERS BE CUT.
- B. AFTER ALL WORK HAS BEEN INSTALLED IN CHASES, HOLES OR OPENINGS, EACH CONTRACTOR SHALL CAREFULLY FIT AROUND, CLOSE UP, REPAIR, PATCH AND POINT UP SAME AS DIRECTED, TO THE COMPLETE SATISFACTION OF THE OWNER'S PROJECT MANAGER. ALL WORK SHALL BE DONE WITH PROPER TOOLS AND BY THE SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE PARTICULAR TRADE TO WHICH SUCH WORK BELONGS, AND SHALL BE DONE WITHOUT EXTRA CHARGE TO THE OWNER.

SECTION 01008 CLEANING

- A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE AND FLAMMABLE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES OR OTHERS DURING THE PROGRESS OF THE WORK. AT THE COMPLETION OF THE WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, CLEAR AWAY AND REMOVE FROM THE PREMISES AND FROM PUBLIC AND PRIVATE ROADS ALL PLANT DEBRIS, RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIALS, AND EXCESS EXCAVATED MATERIALS DUE TO HIS OPERATIONS, AND SHALL LEAVE THE PREMISES AND THE WORK IN PERFECT ORDER AND REPAIR, AND THE BUILDING BROOM CLEAN AND READY TO USE.

WARRANTY LIMITATION OF ARCHITECT'S WORK PRODUCT:

THE ARCHITECT AND THEIR CONSULTANTS DO NOT GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT HEREIN BEYOND REASONABLE DILIGENCE. THE ARCHITECT SHALL BE NOTIFIED OF ANY ERRORS AND OMISSIONS FOUND WITHIN THE WORK PRODUCT IN ORDER TO TAKE THE NECESSARY ACTIONS OF RESOLUTION. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH ERRORS AND OMISSIONS SHALL ABSOLVE THE ARCHITECT OF ANY RESPONSIBILITY FOR THE CONSEQUENCE OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE CONSENT OF THE ARCHITECT, OR IN CONTRADICTION TO THE ARCHITECT'S WORK OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR SUCH ACTIONS.

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COFFEE BEANERY INTERIOR BUILD-OUT

321 E 3RD ST.
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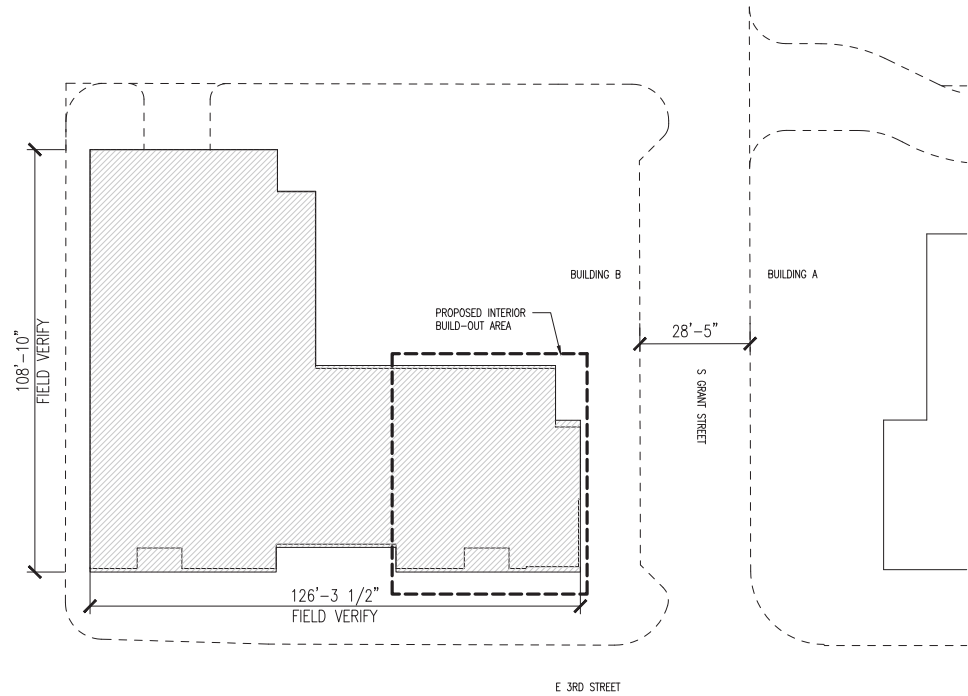
Drawn / Designed MS
 Reviewed JT
 Project Number: KP&J-23-0028

SHEET NAME:

GENERAL NOTES

SHEET NUMBER:

G-101



1 SITE PLAN
SCALE: 1/32" = 1'-0"

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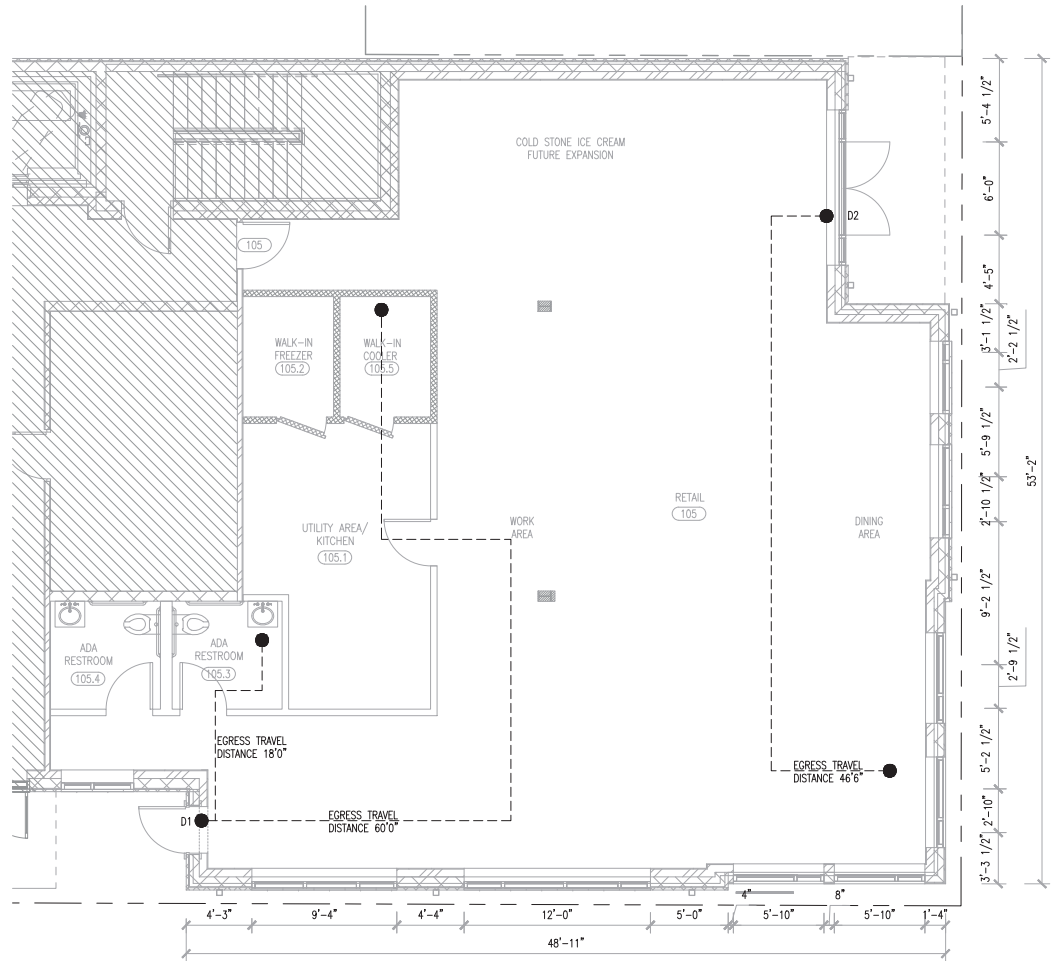
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Drawn / Designed MS
Reviewed JT
Project Number: KP&J-23-0028

SHEET NAME: SITE PLAN

SHEET NUMBER:

A-100



- NOTES:
 1. ALL DIMENSIONS TO BE VERIFIED IN FIELD.
 2. ALL WALLS TO BE PREPARED TO RECEIVE NEW FINISHES.

DOOR CAPACITY			
DOOR	DOOR WIDTH	ALLOWED CAPACITY	ACTUAL CAPACITY
DOOR 1	36"	180 OCCUPANTS	14 OCCUPANTS
DOOR 2	72"	360 OCCUPANTS	14 OCCUPANTS

NOTE: THE EGRESS CAPACITY VALUE USED TO DETERMINE THE DOOR CAPACITY IS 0.2 INCHES PER OCCUPANT, AS INDICATED BY THE INTERNATIONAL BUILDING CODE (IBC) 2012.

NOT IN CONTRACT

1 LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



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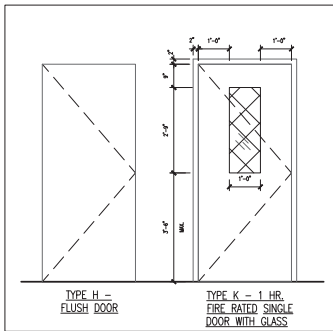
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 Project Number: KP&J-23-0028

SHEET NAME:

LIFE SAFETY PLAN

SHEET NUMBER:

LS-201



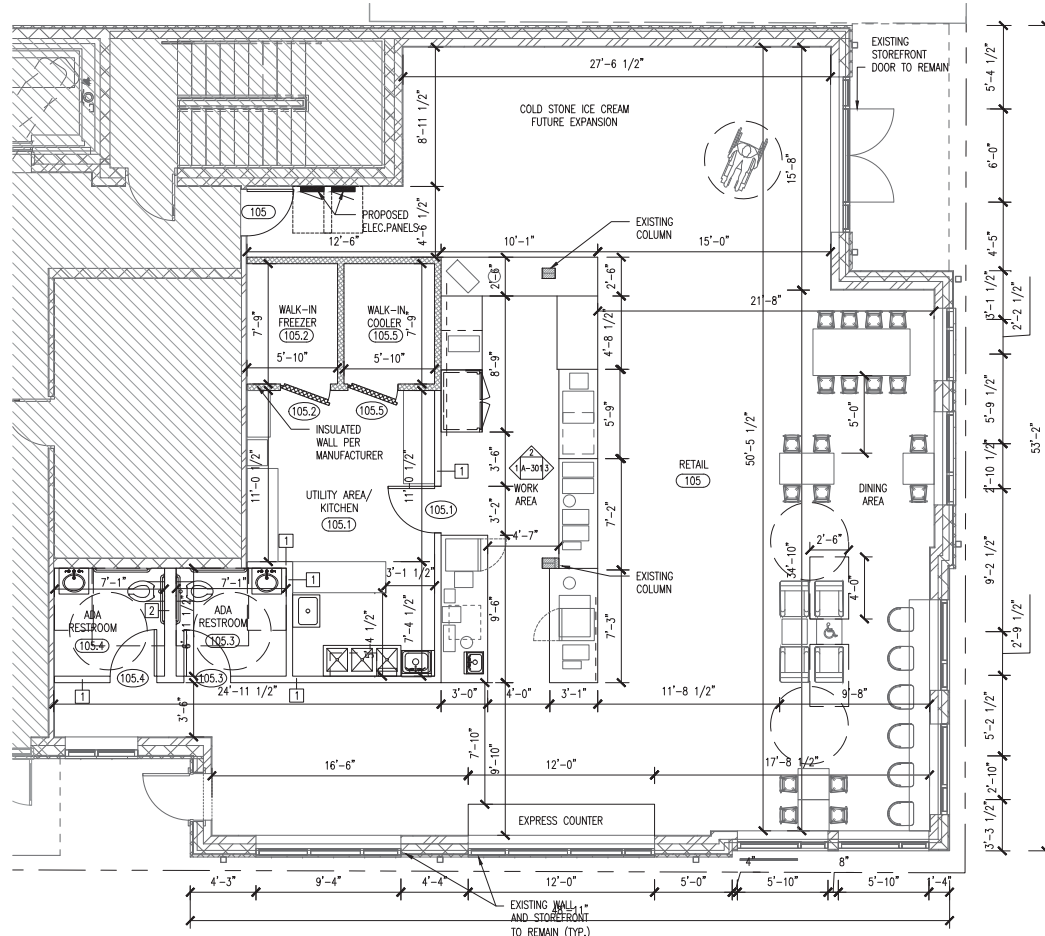
NOTES:
1. CONTRACTOR TO COMPLY WITH INTERNATIONAL BUILDING CODE 2012 FOR THE WALK-IN COOLER/FREEZER DOORS.

DOOR SCHEDULE

FLOOR	DOOR MARK	DOOR					TYPE MARK	FRAME	
		WIDTH	HEIGHT	THICK	MAT'L	FINISH		MAT'L	FINISH
1ST FLOOR	105.1	5'-10"	7'-0"	1 3/4"	SCWD	STAIN	H	ALUM	PTD
	105.2	3'-2"	7'-0"	1 3/4"	HML	PTD	K	HML	PTD
	105.3	2'-10"	7'-0"	1 3/4"	SCWD	STAIN	H	SCWD	STAIN
	105.4	2'-10"	7'-0"	1 3/4"	SCWD	STAIN	H	SCWD	STAIN
	105.5	3'-2"	7'-0"	1 3/4"	HML	PTD	K	HML	PTD
	105	2'-10"	7'-0"	1 3/4"	SCWD	STAIN	K	SCWD	STAIN

OCCUPANCY LOAD (2012 IBC)

OCCUPANCY	ROOM NAME	AREA (SQ.FT.)	UNIT	OCCUPANCY LOAD FACTOR	UNIT	NO. OF OCCUPANTS	MIN. NUMBER OF EXITS
ASSEMBLY - GROUP A-2 (UNCONCENTRATED TABLES & CHAIRS)	DINING AREA	346	/GSF	15	NET	23	1
KITCHENS, COMMERCIAL	WORK AREA	267	/GSF	200	/GSF	1	1
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	UTILITY	192	/GSF	300	/GSF	2	1
MERCANTILE - STORAGE	ICE-CREAM (FUTURE EXPANSION)	172	/GSF	300	/GSF	2	1
	TOTAL					28	1



NOT IN CONTRACT

1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

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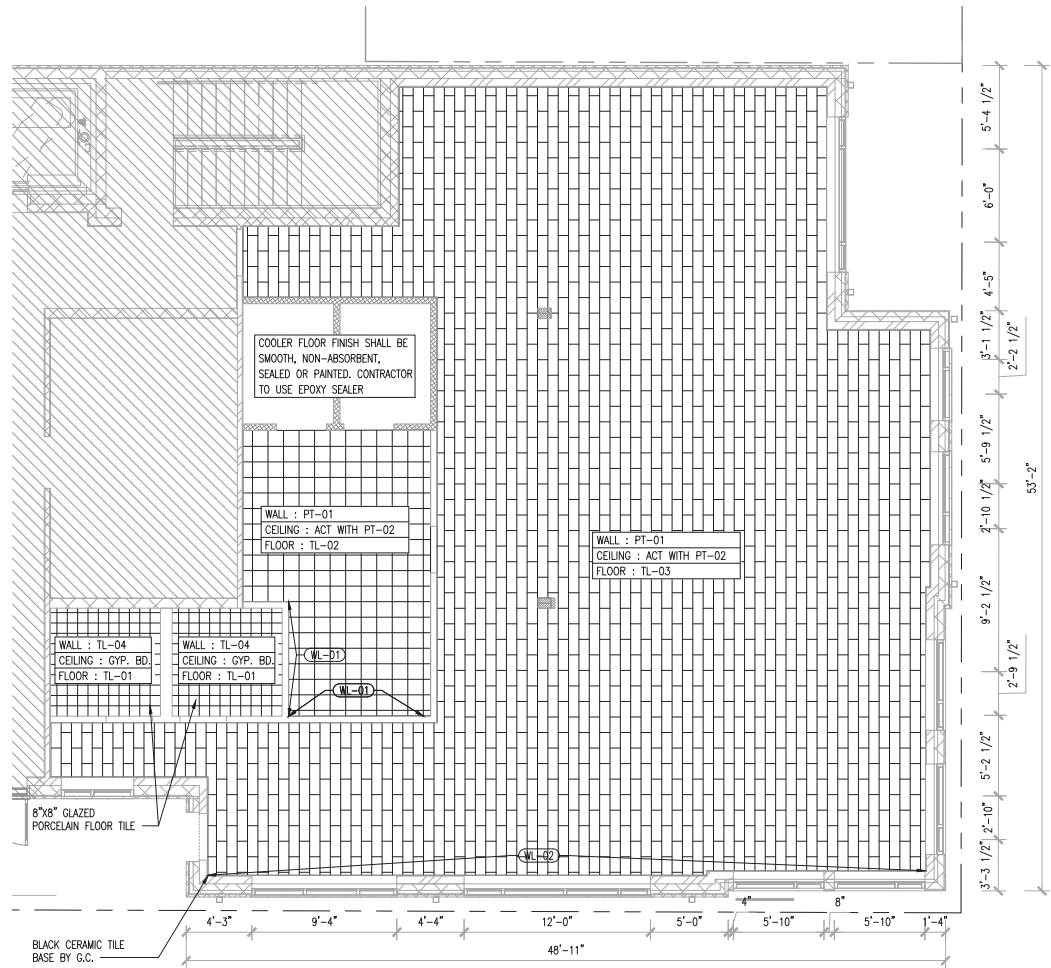
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Reviewed JT
Project Number: KPJA-23-0028

INTERIOR FLOOR PLAN

SHEET NUMBER:

A-201



- NOTE:
1. FLOOR GROUT COLOR: POLYBEND ALABASTER SANDED GROUT
 2. G.C. TO INSTALL BLACK CERAMIC TILE BASE EVERYWHERE

MATERIAL LEGENDS		
	PT-01	COFFEE BEANERY VANILLA LATTE OFB-VL FINISH 485
	TL-01	8'x8" MENZA GRAY ENCAUSTIC GLAZED PORCELAIN FLOOR TILE
	TL-02	1'x1" LAGUNA BAY CREAM CERAMIC FLOOR TILE
	TL-03	VINYL TILE IN THE COLOR ROOT
	TL-04	12'x24" SEDONA GLAZED FLOOR AND WALL TILE
	WL-01	4'x8" WHITE 0.090 FRP WALL BOARD
	WL-02	COFFEE BEANERY CUSTOM PRINT WALL PAPER

NOT IN CONTRACT

1 FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"

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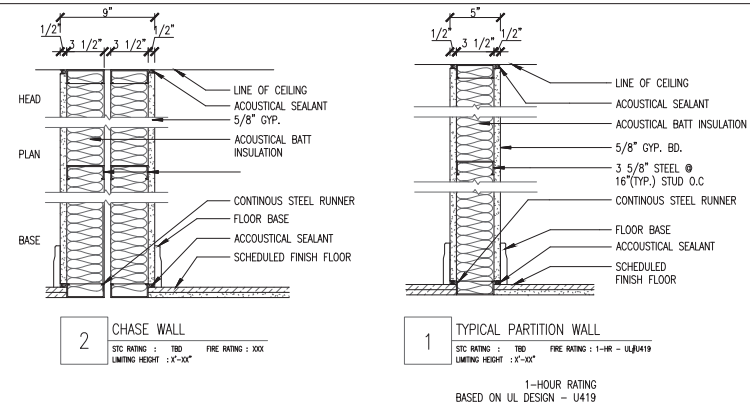


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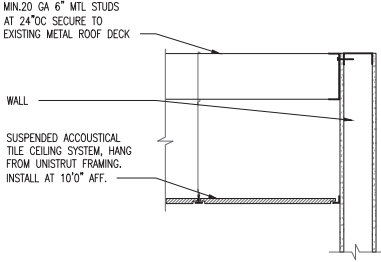
Drawn / Designed MS
 Reviewed JT
 Project Number: KPJ-23-0028

SHEET NAME:
FINISH PLAN

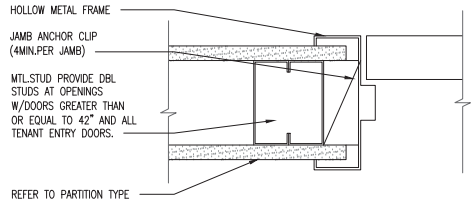
SHEET NUMBER:
A-202



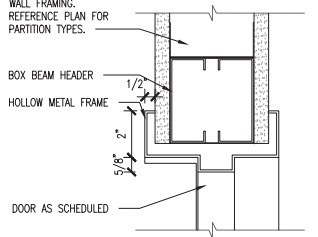
10 PARTITION WALL TYPE
SCALE: 1" = 1'-0"



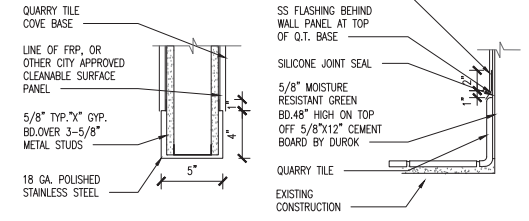
9 HUNG CLG. DETAIL
SCALE: 3/8" = 1'-0"



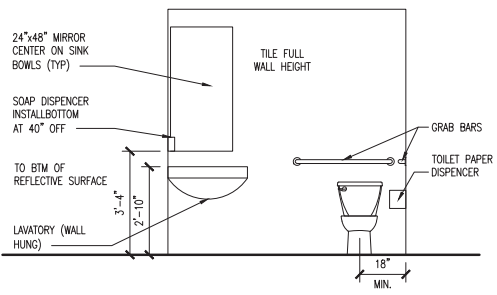
8 TYP. DOOR JAMB DETAIL
SCALE: 3/8" = 1'-0"



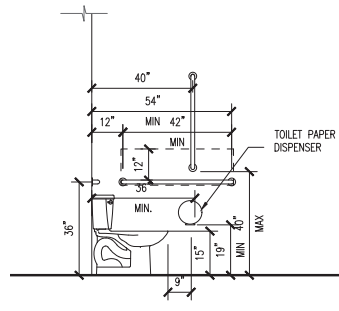
7 TYP. DOOR HEAD DETAIL
SCALE: 3/8" = 1'-0"



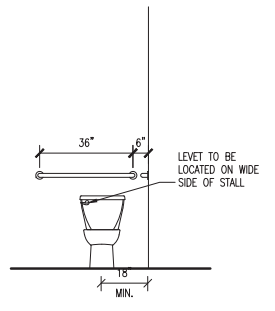
6 CORNER GUARD DETAIL SCALE: 3/8" = 1'-0"
5 WALL BASE DETAIL @ QUARRY TILE SCALE: 3/8" = 1'-0"



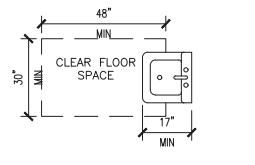
4 LAV FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 W.C. SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 W.C. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



1 LAV. CLEAR FLOOR SPACE
SCALE: 1/4" = 1'-0"

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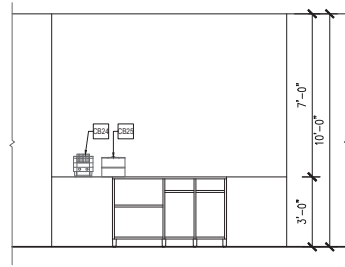
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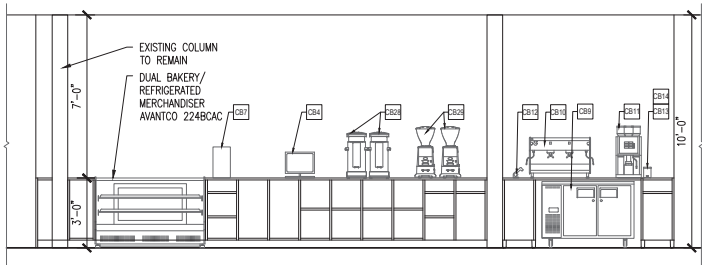
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Reviewed: JT
Project Number: KPJ-23-0028

SHEET NAME:
DETAILS

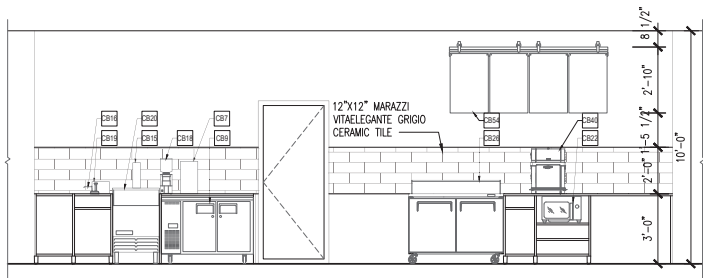
SHEET NUMBER:
A-401



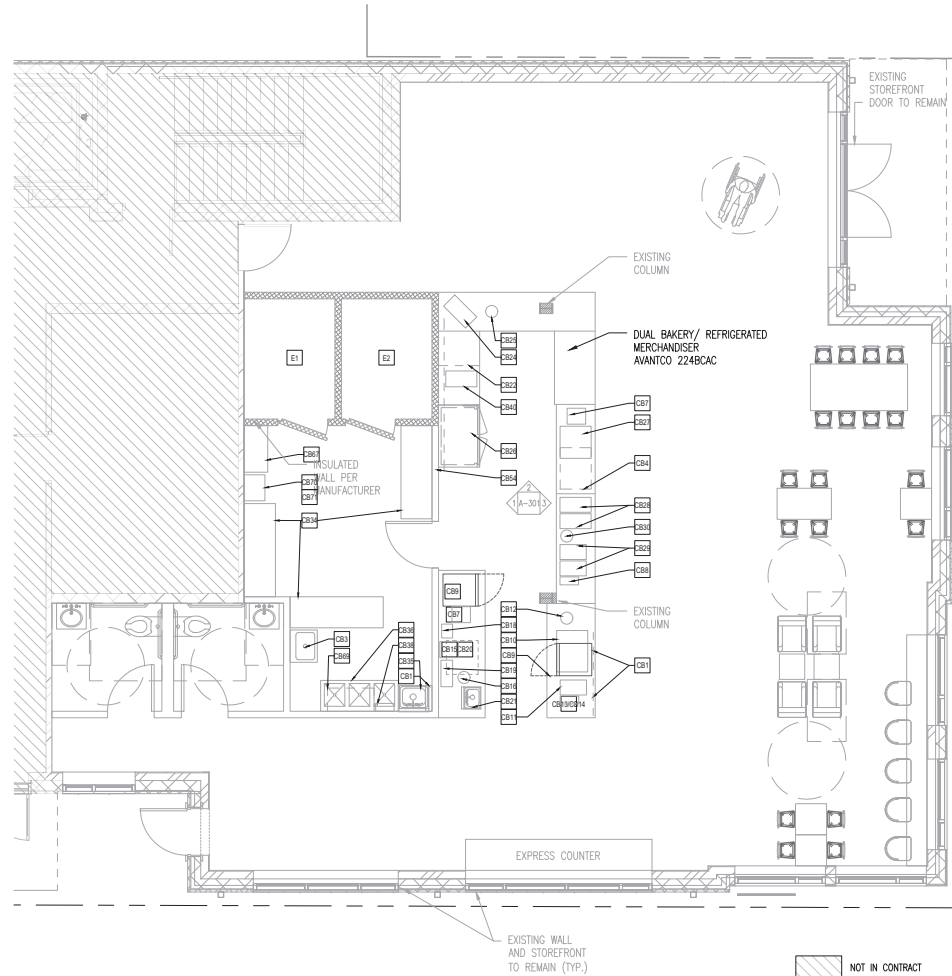
3 ELEVATION 03
SCALE: 3/16" = 1'-0"



2 ELEVATION 02
SCALE: 3/16" = 1'-0"



1 ELEVATION 01
SCALE: 3/16" = 1'-0"



1 EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

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Drawn/Designed: MS
Reviewed: JT
Project Number: KPJ-23-0028

SHEET NAME: EQUIPMENT PLAN

SHEET NUMBER:
A-601

COFFEE BEANERY WORK AREA EQUIPMENT SCHEDULE - PART 2														
ITEM	QTY	DESCRIPTION	NEW/ EXIST	MAKE&MODEL	DIMENSION			VOLT	PH.	LOAD				TOT-LB.
					H	W	D			AMP	HZ	HP.	WATTS	
CB24	1	CONVEYOR TOASTER	NEW	VOLLRATH CT2-120350	13-1/8"	14.5"	11-5/16"	120	1	13.3	60		1600	
CB25		SOUP WARMER	NEW	VOLLRATH CAYENNE72009	9-5/8"	12-5/8"		120	NA	6.7	NA	NA	804	
CB26		PREP REFRIGERATOR	NEW	TURBO AIR MST-48-N	37"	48-1/4"	30"	115/60/1		4.4				
CB27		AIRPOT RACK LARGE HOLDS 6	NEW	BUNN 35728.0005	14"	22.9"	24.9"	NA	NA	NA	NA	NA	NA	
CB28		AIRPOT BREWERS	NEW	BUNN 35728.0005	23.6"	9"	18.5"	240		15	60		3550	
CB29		BEAN GRINDER	NEW	BUNN-O-MATIC 22102	26.5"	7.3"	16"	120	1	100		3/4	1320	
CB34		WIRE SHELVING	NEW	OLYMPIC J2472C	74"	72"	24"							
CB35		HAND SINK	NEW	GREEN WOLD TSS-1-H	14"	17"	15"							
CB35A		HAND SINK FAUCET	NEW	GREEN WOLD CD-804L										
CB36		3 COMPARTMENT SINK	NEW	BK RESOURCES BKS-3-18-12-18TS	43-3/4"	90"	23-13/16"							
CB36A		BKF-AF-12-G OPTIFLOW	NEW	BK RESOURCES BKF-AF-12-G										
CB38		WALL MOUNT FAUCET WITH SPRAYER HOSE	NEW	T&S BRASS AND BRONZE PC-BWQAN-10										
CB40		PANINI MAKER	NEW	TURBO CHEF THE ECO EL BANDIDO	21.5"	18"	23.5"	208/240 VAC		20	60			
CB54		MENU BOARDS	NEW	COFFEE BEANERY										
CB67		SS WORK TABLE	NEW	REGENCY	34"	18"	36"							
CB69		18" X 36" CHROME WIRE WALL MOUNT SHELF	NEW	EAGLE GROUP QWB1836C		36"	18"							
CB70		18" X 13" SPEED BAKING OVEN	NEW	SPEED.PRO XASW-03HS-03HS-EDDS	31"	21"	18"	240V	3PH+PE	17	60		6500	
CB71		WIDE SERIES MULTI-COOK OVEN	NEW	VECTOR VMC-H3HW	39"	23"	39"	240	3	33	60		13600	

COFFEE BEANERY WORK AREA EQUIPMENT SCHEDULE - PART 1														
ITEM	QTY	DESCRIPTION	NEW/EXIST	MAKE&MODEL	DIMENSION			VOLT	PH.	LOAD				REMARKS
					H	W	D			AMP	HZ	HP.	WATTS	
CB1	1	PURIFICATION MODEL-WHOLE STORE COMBINATION SYSTEM	NEW	3M HIGH FLOW CSR TRIPLE-MC2SYSTEM	25.59"	30"	6.74"	NA	NA	NA	NA	NA	NA	
CB3	1	MOP SINK	NEW	BK RESOURCES BKMS-1620-6	11"	24-1/2"	19-3/8"							
CB4	1	EMAGNE POS	NEW	EMAGNE HARDWARE STARTER KIT		15"		110	NA			NA	24	
CB7	2	CLASSIC CUP / LID ORGANIZER WITH HOT CUP SLEEVE DISPENSER SLO	NEW	CAL-MIL 2045	16-3/4"	9-1/4"	19-1/4"							
CB8	1	BULK TEA JAR DISPLAY RACK	NEW											
CB9	2	CLASSIC CUP / LID ORGANIZER WITH HOT CUP SLEEVE DISPENSER SLO	NEW	EVEREST ETR2	29.25"	47-1/2"	31.5"	115/60/1		3.5		1/4+		
CB10	1	ESPRESSO MACHINE	NEW	NUOVA SIMONELLI AURELIA II 2 GROUP	22"	32"	24"	220	1	22	50/60	NA	4700	
CB11	1	ESPRESSO GRINDER	NEW	NUOVA SIMONELLI MYTHOS	25"	20"	8"	110	1	8		1/2	800	
CB12	1	DIPPERWELL AND FAUCET	NEW	KROWNE 16-150 & 16-151L	6-3/16"			NA	NA	NA	NA	NA	NA	
CB13	1	KNOCK BOX	NEW	RATTLEWEAR 25620	6"	5.5"	4"	NA	NA	NA	NA	NA	NA	
CB14	1	TAMPING STAND WITH RUBBER BASE	NEW	BARISTA BASICS EP_TMPSTDL	6"	12"	8"							
CB15	2	2 TIER SYRUP RACK	NEW	MONIN P585	13"	4"	15.5"	NA	NA	NA	NA	NA	NA	
CB16	1	PUMP SERVER FROM #10 CAN	NEW	SERVER SP82000	5-9/16"	6-5/16"		NA	NA	NA	NA	NA	NA	
CB18	1	COUNTERTOP BLENDER	NEW	VITAMIX 36019	24.5"	8.5"	10.7"	120		15	50-60	3.8	1800	
CB19	1	BLENDER RINSER	NEW	BLENDETEC JRE-612	6.25"	9"	20.5"	120	NA	NA	NA	NA	NA	
CB20	1	ICE MACHINE	NEW	ICE-O-MATIC ICEU220HA	39"	24.54"	26.27"	115/60/1		11.9			1265	
CB21	1	DROP IN HAND SINK	NEW	BK RESOURCES BK-DIS-1014-10-P-G	10"	14"	9"	NA	NA	NA	NA	NA	NA	
CB22	1	COMMERCIAL MICROWAVE	NEW	AMANA RMS10TSA	12-1/4"	20-1/8"	15-7/8"	120		15	60		1500	

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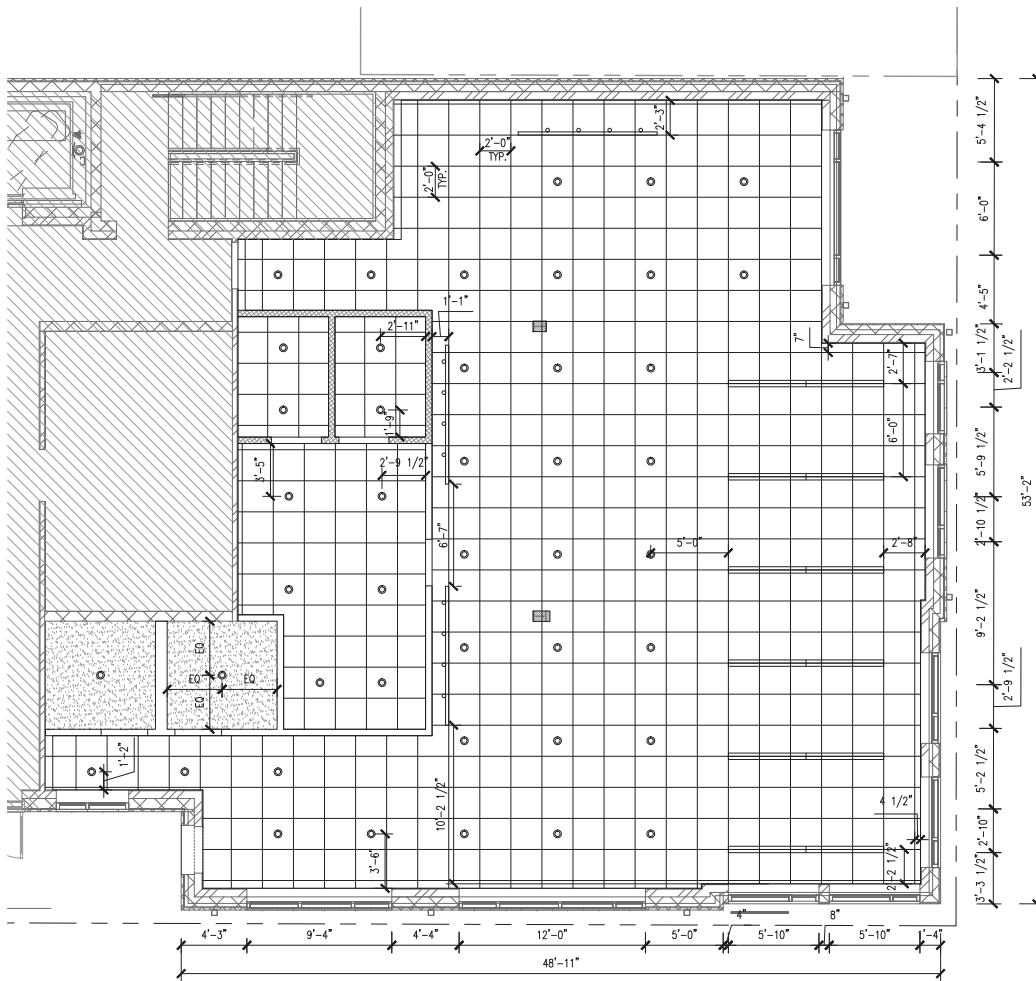
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Drawn / Designed MS
Reviewed JT
Project Number: KPJ-23-0028

EQUIPMENT SCHEDULE

SHEET NUMBER:

A-602



LEGENDS	
	TRACK LIGHT
	5' SUSPENDED LINEAR LIGHT FIXTURE
	RECESSED CEILING LIGHT
	2'X2' BLACK VINYL CEILING TILE
	GYPSUM BOARD CEILING

NOT IN CONTRACT **1** REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



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Drawn/Designed MS
Reviewed JT
Project Number: KP&J-23-0028

SHEET NAME:
REFLECTED CEILING PLAN

SHEET NUMBER:
A-701

OFFICIAL SEAL

CLIENT:
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CONSULTANT

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**COFFEE
 BEANERY
 INTERIOR
 BUILD-OUT**

321 E 3RD ST,
 BLOOMINGTON, IN 47401

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REV	REV DESCRIPTION	DATE
	ISSUED FOR PERMIT	05/12/23



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Drawn / Designed MS
 Reviewed JT
 Project Number: KP&J-23-0028

SHEET NAME:

**LIGHTING
 FIXTURE
 SCHEDULE**

SHEET NUMBER:

A-702

LIGHT FIXTURE SCHEDULE								
TYPE	SYMBOL	DESCRIPTION	MOUNTING	VOLTAGE	LAMP		TOTAL WATTAGE PER FIXTURE	MANUFACTURER
					WATTS	ORDER#		
INTERIOR LIGHTING								
F1		6" TRACK LIGHTING W/ 3-5 HEADS EA. TRACK	SURFACE	120V	LED	26W40KLED	130W	OSSI #WPDLED 14DSKZ (OR EQUAL)
F2		NEW PENDANT LIGHT CEILING HUNG, TO BE SELECTED BY OWNER	SURFACE	120V	TBD	TBD	TBD	TBD
F3		SURFACE MOUNTED LIGHT FIXTURE	SURFACE	TBD	TBD	TBD	TBD	TBD
F4		RECESSED CEILING 2'X2' GRID TROFFER. FLUORESCENT FIXTURE 2-T8 LAMPS	RECESSED	120V	2-17W	T8		COLUMBIA #JT822-217G-FSA12.125-EU (OR EQUAL)
F5		RECESSED CEILING 2'X4' GRID TROFFER. FLUORESCENT FIXTURE 2-T8 LAMPS	RECESSED	120V	4-17W	T8		COLUMBIA #JT842-217G-FSA12.125-EU (OR EQUAL)
F6		HIGH INTENSITY LED EXIT SIGN SINGLE OR DOUBLE FACE ARROWS AS INDICATED ON PLANS WITH BUILT IN 1.5 HOUR BATTERY PACK	CEILING OR WALL	120V	2-8W	LED		RZR #LXTCH1-RW-U (OR EQUAL)
F7		EMERGENCY BATTERY PACK WITH SEALED BATTERY AND TWO HEADS	SURFACE MTD. ON WALL	120V	2-12W	PAR36		RZR #EMCH (OR EQUAL)

NOTES

1. ALL FLUORESCENT LIGHTING FIXTURES SHALL HAVE ENERGY-EFFICIENT ELECTRONIC INSTANT START BALLAST WITH HIGH POWER FACTOR.
2. ALL LIGHTING FIXTURES INSTALLED IN PLENUM SHALL BE PLENUM APPROVED.
3. EXIT SIGNS CONSTRUCTION SHALL MEET INDIANA CODE REQUIREMENTS.

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Drawn/Designed: MS
 Reviewed: JT
 Project Number: KPJ-23-0028

SHEET NAME:
MECH. PLAN RETAIL SPACE

SHEET NUMBER:
M-201

MECHANICAL NOTES

- ALL MECHANICAL WORK TO CONFORM TO THE REQUIREMENTS OF THE 2014 INDIANA MECHANICAL CODE (2012 IMC WITH STATE OF INDIANA AMENDMENTS) AND REFERENCED STANDARDS
- ALL EQUIPMENT AND ACCESSORIES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS
- IF A CONFLICT EXISTS BETWEEN THE 2014 INDIANA MECHANICAL CODE AND THE CONDITIONS OF THE LISTING OR MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE MORE STRINGENT PROVISION SHALL APPLY.
- ALL APPLIANCES REGULATED BY THE BUILDING CODE SHALL BE LISTED AND LABELED BY THE UNDERWRITER LABORATORIES, THE CANADIAN STANDARD ASSOCIATION OR THE AMERICAN GAS ASSOCIATION
- AIR REMOVED BY EVERY MECHANICAL VENTILATION EXHAUST SYSTEM SHALL BE DISCHARGED OUTSIDE AT A POINT WHERE IT WILL NOT CAUSE A NUISANCE, AND FROM WHICH IT CANNOT AGAIN BE READILY DRAWN IN BY A VENTILATING SYSTEM
- AIR INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES. OPENINGS IN LOUVERS, GRILLES AND SCREENS SHALL BE GREATER THAN 1/4" AND NOT GREATER THAN 1"
- METALLIC DUCTS SHALL BE CONSTRUCTED AS SPECIFIED IN THE SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE
- FLEXIBLE AIR CONNECTORS, BOTH METALLIC AND NONMETALLIC SHALL BE TESTED IN ACCORDANCE WITH UL 181. SUCH CONNECTORS SHALL BE LISTED AND LABELED AS CLASS 0 OR CLASS 1 FLEXIBLE AIR CONNECTORS. FLEXIBLE AIR CONNECTORS SHALL BE LIMITED IN LENGTH TO 10 FEET. FLEXIBLE AIR CONNECTORS SHALL NOT PASS THROUGH ANY WALL, FLOOR OR CEILING.
- ALL LONGITUDINAL AND TRANSVERSE JOINTS, SEAMS AND CONNECTIONS IN METALLIC AND NONMETALLIC DUCTS SHALL BE CONSTRUCTED AS SPECIFIED IN SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE. ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED WITH WELDS, GASKETS, MASTICS, MASTIC-PLUS EMBEDDED FABRIC SYSTEMS, LIQUID SEALANTS OR TAPES. TAPES AND MASTICS USED TO SEAL METALLIC AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED "181B-FX" FOR PRESSURE-SENSITIVE TAPE OR "181B-M" FOR MASTICS. DUCT CONNECTION TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT SHALL BE SEALED AND MECHANICALLY FASTENED.
- DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE. FLEXIBLE AND OTHER FACTORY MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- DUCT REGISTERS, GRILLES AND DIFFUSERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. VOLUME DAMPERS OR OTHER MEANS OF SUPPLY AIR ADJUSTMENT SHALL BE PROVIDED IN THE BRANCH DUCTS OR AT EACH INDIVIDUAL DUCT REGISTER, GRILLE OR DIFFUSER. EACH VOLUME DAMPER OR OTHER MEANS OF SUPPLY AIR ADJUSTMENT USED IN BALANCING SHALL BE PROVIDED WITH ACCESS.

HVAC EQUIPMENT SEQUENCE OF OPERATION

TE-1 & TE-2 (MEN'S & WOMEN'S TOILET ROOM) OPERATES INTERMITTENTLY, CONTROLLED BY TOILET ROOM OCCUPANCY SENSOR

DURING OCCUPANCY:
 VENTILATION DAMPERS CONNECTED TO AHU-1 & AHU-2 OPEN AND OPERATE CONTINUOUSLY TO PROVIDE 930 CFM VENTILATION AIR HEAT OR COOLING OPERATES UPON REQUEST BY THERMOSTAT ONLY SUPPLEMENTARY ELECTRIC HEAT (EH-1 & EH-2) OPERATES ONLY WHEN HEAT PUMP ALONE IS UNABLE TO PROVIDE ADEQUATE HEAT

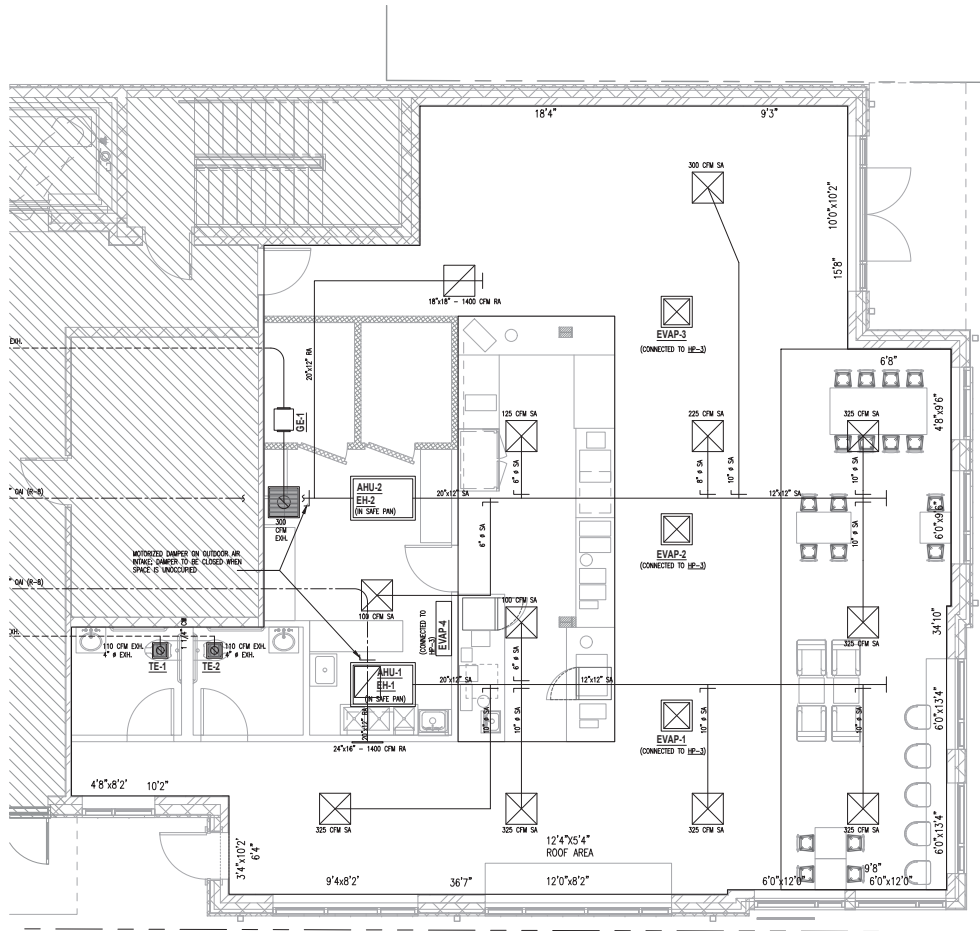
HP-3 AND EVAP-1, EVAP-2, EVAP-3 & EVAP-4 OPERATE UPON REQUEST BY THERMOSTAT ONLY

GE-1 OPERATES CONTINUOUSLY

WHEN SPACE IS UNOCCUPIED:
 VENTILATION DAMPERS CONNECTED TO AHU-1 & AHU-2 CLOSE AND UNITS OPERATE UPON REQUEST BY THERMOSTAT ONLY. SUPPLEMENTARY ELECTRIC HEAT OPERATES WHEN HEAT PUMP ALONE IS UNABLE TO PROVIDE ADEQUATE HEAT

HP-3 AND EVAP-1, EVAP-2, EVAP-3 & EVAP-4 OPERATE UPON REQUEST BY THERMOSTAT ONLY

GE-1 DOES NOT OPERATE.



NOT IN CONTRACT

1 MECH. PLAN RETAIL SPACE
 SCALE: 1/8" = 1'-0"



NEED 45,530 COOLING
 NEED 33,687 COOLING
 NEED 13,496 COOLING
 ADD 12000 TO
 FOOD PREP AREA
 8,915 EXCESS COOLING
 19,538 EXCESS COOLING

MECHANICAL EQUIPMENT SCHEDULE

EQUIPMENT TAG	AREA SERVED	MANUFACTURER	MODEL	TYPE	REMARKS	HP / WATTS
HP-1 / HP-2	ENTIRE RESTAURANT	BRYANT	GH5SAB44200	HEAT PUMP UNIT	EXISTING HEAT PUMP LOCATED AT ROOF; 42 MBTU/H COOLING CAPACITY (32.3 BTU/H SENSIBLE & 9.7MBTU/H LATENT), 18.4 MBTU/H HEATING CAPACITY @ 5° OAT	3 1/2 TON (2 EXISTING)
AHU-1 / AHU-2	ENTIRE RESTAURANT	BRYANT	FJRDNC42L00	AIR HANDLER	EXISTING AIR HANDLER SUSPENDED ABOVE CEILING, 1,400 CFM SUPPLY AIR, 465 OUTSIDE AIR	1/2 HP (2 EXISTING)
EH-1 / EH-2	ENTIRE RESTAURANT	BRYANT	KFFE2401C05	ELECTRIC HEAT COIL	3.8 KW @ 208V (12,970 BTU/H) - FIELD INSTALLED ACCESSORY TO AHU-1	5.0 KW NOMINAL 3.8 KW @ 208 V
GE-1	FOOD PREPARATION AREA	CAPTIVE AIRE	SIF10DD	INLINE EXHAUST FAN	300CFM EXHAUST @ 0.25" W.C., 4" Ø EXH. DUCT CONNECTION	1/6 HP
TE-1 / TE-2	TOILET ROOMS	BROAN	AE110K	CEILING MOUNTED EXHAUST FAN	TOILET ROOM EXHAUST FAN, 110 CFM EXHAUST @ 0.10" W.C., 4" Ø EXH. DUCT CONNECTION	24 WATTS
HP-3	ENTIRE RESTAURANT	LG	LMU601HV	HEAT PUMP UNIT	OUTDOOR UNIT, 60 MBTU/H NOMINAL COOLING CAPACITY, 64 MBTU/H NOMINAL HEATING CAPACITY	--
EVAP-1, EVAP-2, EVAP-3	ENTIRE RESTAURANT	LG	LCN188HVR	EVAPORATOR	INDOOR UNIT; CONNECTED TO HP-2, 14.12 MBTU/H COOLING CAPACITY (10.93 MBTU/H SENSIBLE & 3.19 MBTU/H LATENT), 12.75 MBTU/H HEATING CAPACITY @ 5°F OAT	--
EVAP-4	ENTIRE RESTAURANT	LG	LSN120HSV5	EVAPORATOR	INDOOR UNIT; CONNECTED TO HP-2, NOMINAL 9.35 MBTU/H COOLING CAPACITY (7.26 MBTU/H SENSIBLE & 2.09 MBTU/H LATENT), 8.43 MBTU/H HEATING CAPACITY @ 3°F OAT	--

ALSO AVAILABLE IN 7,9,12 AND 18 CAPACITIES
 0.25 AMPS PER CASSETTE

HEAT LOSS & VENTILATION SCHEDULE - 2012 IMC

SPACE NAME	SPACE USE	OCCUPANTS / FLOOR AREA (SQ. FT.)	BREATHING ZONE OUTDOOR AIRFLOW (Vbz)	ZONE AIR DISTRIBUTION EFFECTIVENESS (Ev)	ZONE OUTDOOR AIRFLOW (Vo2)	REQUIRED VENTILATION (CFM)		PROVIDED VENTILATION (CFM)		SPACE AIRFLOW	EQUIPMENT		
						OUTDOOR AIR	EXHAUST	OUTDOOR AIR	EXHAUST				
15/7.5/0.12/0	COFFEE SERVICE AREA	RETAIL STORES - SALES	4 / 276	63	0.8	79		N.R.		0	225	AHU-1, HP-1, EH-1, AHU-2, HP-2, EH-2	0.35
15/7.5/0.12/0	FUTURE ICE CREAM SERVICE AREA	RETAIL STORES - SALES	3 / 215	48	0.8	60		N.R.		0	300	AHU-2, HP-2, EH-2	0.20
-/-/-/0.7	FOOD PREPARATION AREA	KITCHENS - COOKING	0 / 201	N.R.	0.8	0	MAX Zp = 0.35 Ev = 0.80	141	930 CFM TOTAL	300	100	AHU-2, HP-2, EH-2, HP-3, EVAP-4, GE-1	0
70/7.5/0.18/0	DINING AREA	DINING ROOMS	27 / 376	270	0.8	338	928 CFM REQUIRED	N.R.	465 CFM AT AHU-1	0	975	AHU-1, HP-1, EH-1, AHU-2, HP-2, EH-2, HP-3, EVAP-1, EVAP-2, EVAP-3	.347
15/7.5/0.12/0	ORDER AREA	RETAIL STORES - SALES	14 / 890	212	0.8	265		N.R.	465 CFM AT AHU-2	0	1200	AHU-1, HP-1, EH-1, AHU-2, HP-2, EH-2, HP-3, EVAP-1	0.221
0/0/70	TOILET ROOM #1	TOILET ROOMS	1 WC	N.R.	0.8	0		70		110	0	TE-1	0
0/0/70	TOILET ROOM #2	TOILET ROOMS	1 WC	N.R.	0.8	0		70		110	0	TE-2	0

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COFFEE BEANERY INTERIOR BUILD-OUT

321 E 3RD ST. BLOOMINGTON, IN 47401

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REV	REV DESCRIPTION	DATE
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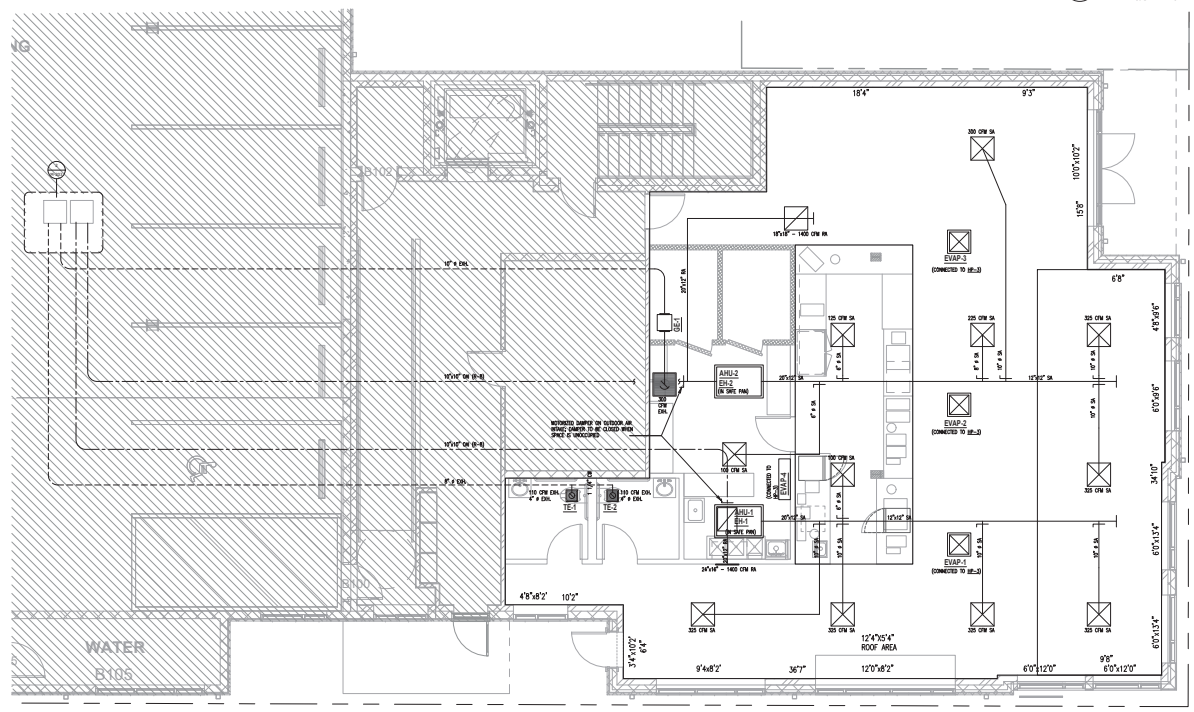
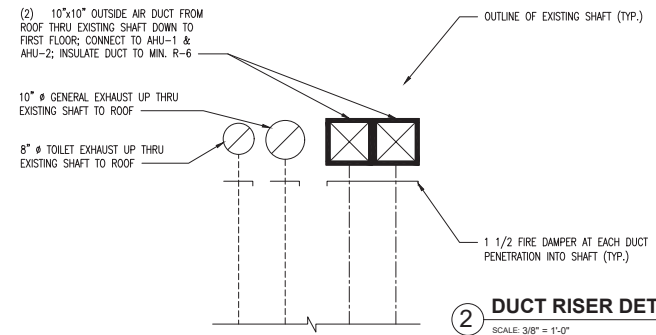


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Drawn / Designed MS
 Reviewed JT
 Project Number: KP&J-23-0028

SHEET NAME:
MECH. EQUIP. SCHEDULE

SHEET NUMBER:
M-202



1 MECH. GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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 321 E 3RD ST., BLOOMINGTON, IN 47401
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REV	REV DESCRIPTION	DATE
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Drawn: Designed MS
 Reviewed: JT
 Project Number: KPJA-23-0028

SHEET NAME:
MECH. GROUND FLOOR PLAN

SHEET NUMBER:
M-203

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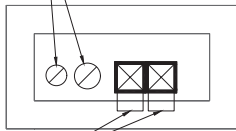
Drawn / Designed MS
 Reviewed JT
 Project Number: KP&J-23-0028

**SHEET NAME:
 MECH. ROOF PLAN**

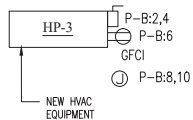
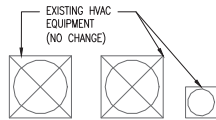
SHEET NUMBER:

M-204

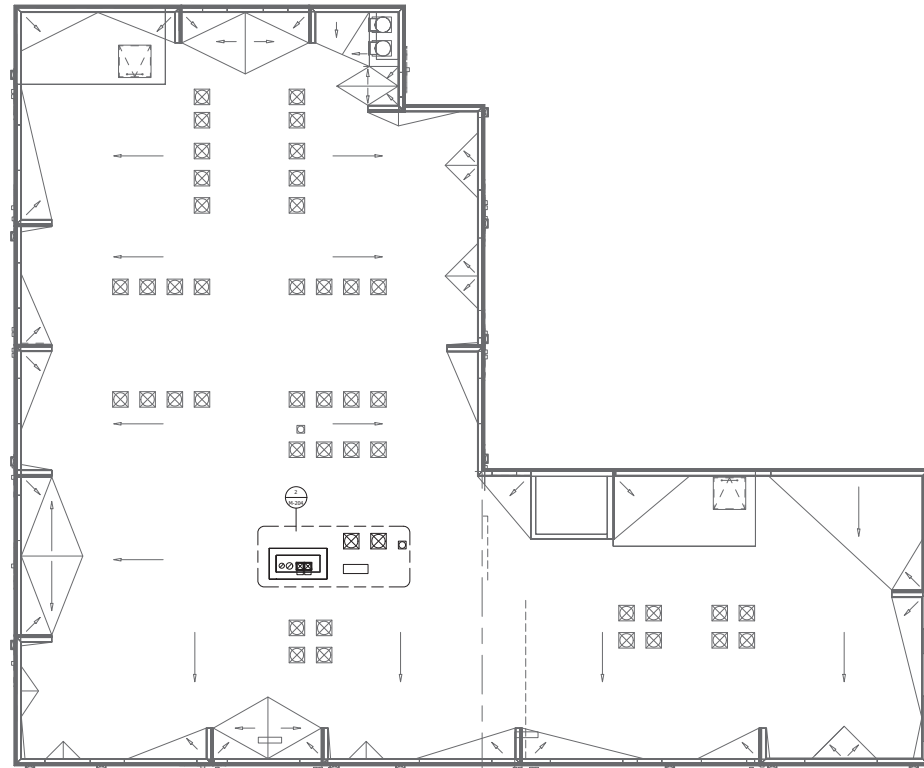
EXHAUST TERMINATION (TOILET & GENERAL EXHAUST); EXTEND MIN. 3' ABOVE OUTSIDE AIR INTAKES LOCATED WITHIN 10' OF THE EXHAUST LOCATION; PROVIDE RAIN CAP AND PROTECT WITH 1/4" TO 1/2" SCREEN



OUTSIDE AIR INTAKE; PROVIDE GOOSENECK TERMINATION; PROTECT WITH SCREEN (1/4" TO 1/2" OPENINGS)



2 PARTIAL ROOF PLAN
 SCALE: 3/8" = 1'-0"



NOT IN CONTRACT **1 MECH. ROOF PLAN**
 SCALE: 1/8" = 1'-0"



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SHEET NAME:

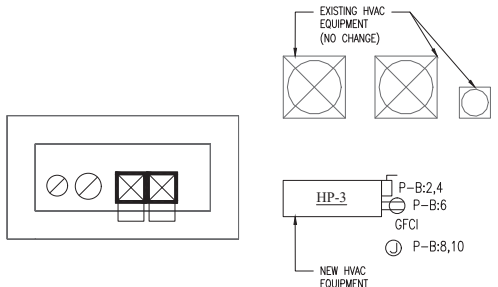
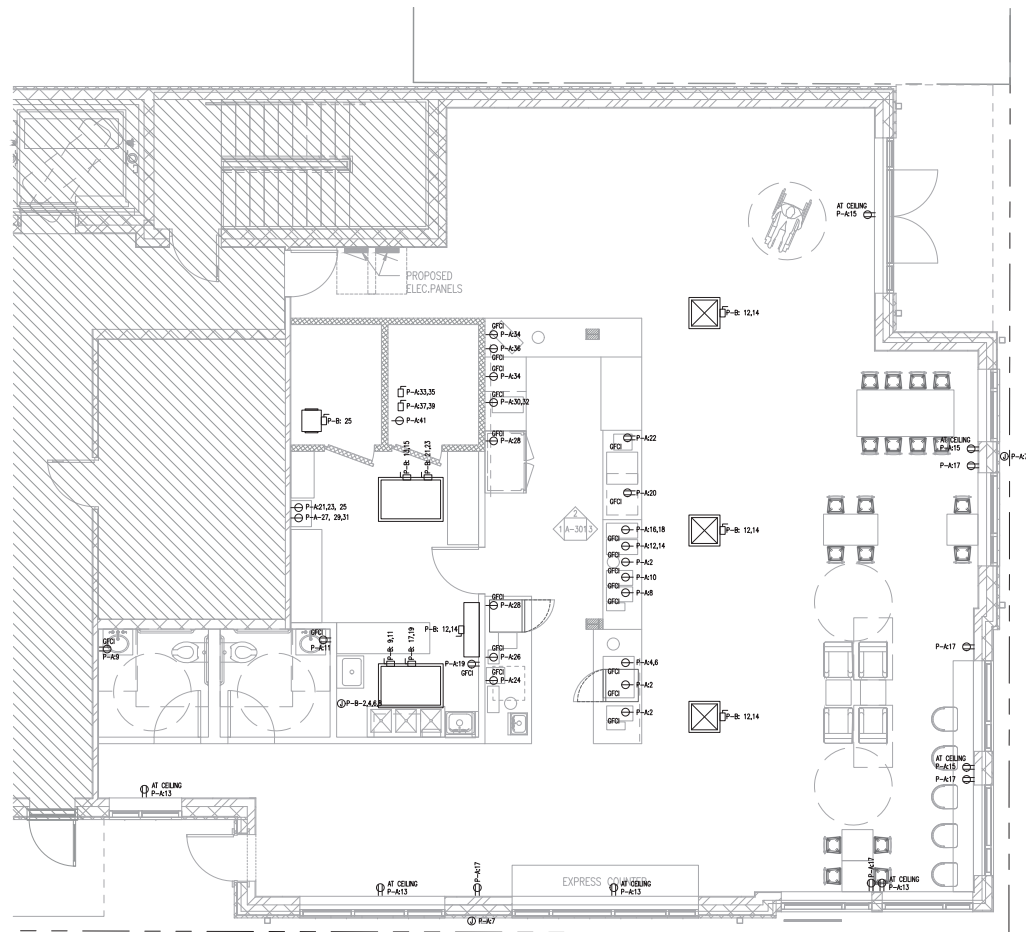
**ELECTRICAL
POWER PLAN**

SHEET NUMBER:

E-201

ELECTRICAL NOTES

- ALL WORK TO COMPLY WITH 2009 INDIANA ELECTRICAL CODE (2008 NEC WITH STATE OF INDIANA AMENDMENTS)
- ALL UNUSED CONDUCTORS & CONDUIT TO BE REMOVED
- A SINGLE RECEPTACLE INSTALLED ON AN INDIVIDUAL BRANCH CIRCUIT SHALL HAVE AN AMPERE RATING OF NOT LESS THAN THAT OF THE BRANCH CIRCUIT
- BRANCH CIRCUIT UNGROUNDED CONDUCTORS RATED 150 VOLTS TO GROUND OR LESS SHALL USE THE FOLLOWING COLOR CODE: BLACK, RED AND BLUE. WHEN RATED OVER 150 VOLTS TO GROUND UNGROUNDED CONDUCTORS SHALL USE THE FOLLOWING COLOR CODE: BROWN, ORANGE AND YELLOW
- ALL SINGLE-PHASE RECEPTABLES RATED 150 VOLTS TO GROUND OR LESS, 50 AMPERES OR LESS, AND THREE PHASE RECEPTABLES RATED 150 VOLTS TO GROUND OR LESS 100 AMPERES OR LESS INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL
 - ** BATHROOMS
 - ** KITCHENS
 - ** ROOFTOPS
 - ** OUTDOORS
- SINKS -- WHERE RECEPTABLES ARE INSTALLED WITHIN 6' FROM THE TOP INSIDE EDGE OF THE BOWL OF THE SINK
- INDOOR WET LOCATIONS
- NO TANDEM, PIGGY BACK OR SPACE SERVER CIRCUIT BREAKERS SHALL BE PERMITTED
- THE FOLLOWING WIRING METHODS ARE PROHIBITED: ARMORED CABLE (AC), FLAT CABLE ASSEMBLIES (FC), FLAT CONDUCTOR CABLE (FCC), INTEGRATED GAS SPACER CABLE (IGS), MINERAL-INSULATED, METAL-SHEATHED CABLE (MI), NONMETALLIC-SHEATHED CABLE (NMC, NMS)
- THE FOLLOWING RACEWAYS ARE PROHIBITED: ELECTRICAL NONMETALLIC TUBING (ENT), NONMETALLIC EXTENSIONS, SURFACE NONMETALLIC RACEWAYS, CONCEALED KNOB-AND-TUBE WIRING, MESSENGER-SUPPORTED WIRING, OPEN WIRING INSULATORS



② **PARTIAL ROOF ELEC.PLAN** N
SCALE: 1/8" = 1'-0"

① **ELECTRICAL POWER PLAN** N
SCALE: 1/8" = 1'-0"

ELECTRICAL PANEL SCHEDULE

DESIGNATION: P-A (EXISTING) MAIN BREAKER: 200 A
 VOLTAGE: 208Y120 MOUNTING: SURFACE
 3 PHASE, 4 WIRE

LOAD	BREAKER	ITEM	CIRCUIT	PHASE	CIRCUIT	ITEM	BREAKER	LOAD
1200	20/1	INTERIOR LIGHTING	1	A	2	ESPRESSO GRINDER & REF., & SCALE	20/1	1,230
800	20/1	INTERIOR LIGHTING	3	B	4	ESPRESSO MACHINE	30/2	2,350
100	20/1	EXIT SIGNS	5	C	6			2,350
800	20/1	EXTERIOR SIGNS	7	A	8	COFFEE GRINDER	20/1	1,320
400	20/1	TOILET ROOM #1	9	B	10	COFFEE GRINDER	20/1	
400	20/1	TOILET ROOM #2	11	C	12	AIRPOT BREWER	20/2	1,775
720	20/1	WINDOW RECEPTACLES	13	A	14			1,775
540	20/1	WINDOW RECEPTACLES	15	B	16	AIRPOT BREWER	20/2	1,775
900	20/1	DINING ROOM RECEPTACLES	17	C	18			1,775
180	20/1	KITCHEN RECEPTACLES	19	A	20	POS SYSTEM	20/1	600
2,170	30/3	MICROWAVE	21	B	22	DISPLAY CASE	20/1	800
2,170			23	C	24	ICE MACHINE	15/1	1,430
2,170			25	A	26	BLENDER	20/1	1,800
4,530	50/3	OVEN	27	B	28	UNDERCOUNTER REF. & PREP REFRIGERATOR	20/1	1,200
4,530			29	C	30	PANINI MAKER	30/2	3,000
4,530			31	A	32			3,000
660	15/2	WALK IN COOLER	33	B	34	MICROWAVE	20/1	1,500
660			35	C	36	TOASTER	20/1	1,700
1,150	15/2	WALK IN FREEZER	37	A	38	SOUP WARMER	15/1	800
1,150			39	B	40	-	-	-
800	20/1	WALK IN BOX ACCESSORIES	41	C	42	-	-	-

DEMAND LOAD CALCULATIONS:

LIGHTING LOAD:
 RESTAURANT - 2,190 SQ. FT. @ 2 VA = 4,380 VA

KITCHEN EQUIPMENT:

55,420 VA @ 65% = 36,023 VA 36,023 VA
 (2) LARGEST EQUIP. = 20,100 VA

SIGN LOAD: 1,200 VA @ 125% = 1,500 VA

RECEPTACLE LOAD: 2,700 VA

1ST 10K VA @ 100% = 2,700 VA 2,700 VA
 OVER 10K @ 0%

EQUIPMENT LOAD: 800 VA @ 100% = 800 VA

TOTAL: 45,403 VA

DEMAND: 126 AMPS

ELECTRICAL PANEL SCHEDULE

DESIGNATION: P-B (EXISTING) MAIN BREAKER: 200 A
 VOLTAGE: 208Y120 MOUNTING: SURFACE
 3 PHASE, 4 WIRE

LOAD	BREAKER	ITEM	CIRCUIT	PHASE	CIRCUIT	ITEM	BREAKER	LOAD
2,970	40/2	HEAT PUMP #1 (HP-1)	1	A	2	HEAT PUMP #3 (HP-3)	40/2	3,920
2,970			3	B	4			3,920
2,970	40/2	HEAT PUMP #2 (HP-2)	5	C	6	ROOFTOP RECEPTACLE	20/1	180
2,970			7	A	8			-
640	15/2	AIR HANDLER #1	9	B	10	SPARE 1" CONDUIT TO ROOF (FOR FUTURE HEAT PUMP)	-	-
640			11	C	12			-
640	15/2	AIR HANDLER #2	13	A	14	EVAPORATORS (EVAP-1, EVAP-2, EVAP-3, EVAP-4)	15/2	140
640			15	B	16			140
1900	30/2	ELECTRIC HEATER (AIR HANDLER #1)	17	C	18	WATER HEATER #1 CIRCUIT #1	50/2	4,500
1900			19	A	20			-
1900	30/2	ELECTRIC HEATER (AIR HANDLER #1)	21	B	22	-	-	-
1900			23	C	24	-	-	-
200	15/1	EXHAUST FAN	25	A	26	-	-	-
-	-	-	27	B	28	-	-	-
-	-	-	29	C	30	-	-	-
-	-	-	31	A	32	-	-	-
-	-	-	33	B	34	-	-	-
-	-	-	35	C	36	-	-	-
-	-	-	37	A	38	-	-	-
-	-	-	39	B	40	-	-	-
-	-	-	41	C	42	-	-	-

DEMAND LOAD CALCULATIONS:

KITCHEN EQUIPMENT: 900 VA @ 100% = 9,000 VA

RECEPTACLE LOAD: 2,520 VA @ 100% = 2,520 VA

HEATING & COOLING:

HEATING - 21,880 VA @ 0% =
 COOLING - 22,560 VA @ 100% = 22,560 VA

MOTOR LOAD: 200 VA @ 100% = 200 VA

LARGEST MOTOR LOAD: 200 VA @ 25% = 50 VA

TOTAL: 34,330 VA

DEMAND: 95 AMPS

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COFFEE BEANERY INTERIOR BUILD-OUT

321 E 3RD ST. BLOOMINGTON, IN 47401

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REV	REV DESCRIPTION	DATE
	ISSUED FOR PERMIT	06/12/23



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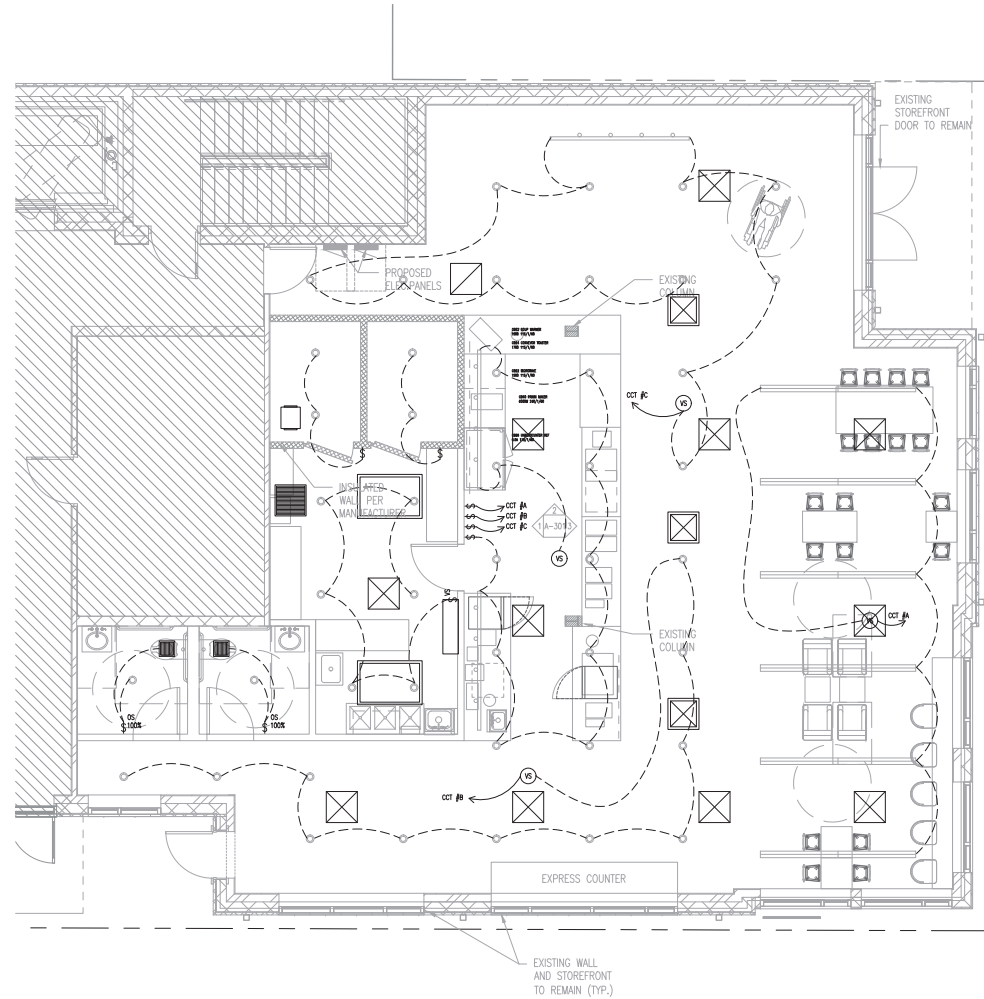
Drawn / Designed MS
 Reviewed JT
 Project Number: KP&J-23-0028

SHEET NAME:

ELECTRICAL PANEL SCHEDULE

SHEET NUMBER:

E-202



- ELECTRICAL ENERGY CONSERVATION NOTES**
- ENERGY CONSERVATION SHALL COMPLY WITH ASHRAE 90.1-2007 AND STATE OF INDIANA AMENDMENTS
 - OCCUPANT SENSORS SHALL AUTOMATICALLY TURN OFF LIGHTS WITHIN 20 MINUTES AFTER ALL OCCUPANTS HAVE LEFT THE SPACE
 - OCCUPANT SENSORS SHALL BE MANUAL-ON OR CONTROLLED TO AUTOMATICALLY TURN ON THE LIGHTING TO NOT MORE THAN 50% POWER (FULL AUTOMATIC-ON CONTROLS ARE PERMITTED TO CONTROL LIGHTING IN PUBLIC CORRIDORS, STAIRWAYS, RESTROOMS, PRIMARY BUILDING ENTRANCE AREAS AND LOBBIES, AND AREAS WHERE MANUAL-ON OPERATION WOULD ENDANGER THE SAFETY OR SECURITY OF THE ROOM OR BUILDING OCCUPANTS)
 - OCCUPANT SENSORS SHALL INCORPORATE A MANUAL CONTROL TO ALLOW OCCUPANTS TO TURN OFF LIGHTS
 - ELECTRICAL CIRCUITS MUST BE SIZED SO THAT THE TOTAL VOLTAGE DROP ACROSS THE COMBINATION OF FEEDERS AND BRANCH CIRCUIT SHALL NOT EXCEED 5%

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 Reviewed JT
 Project Number: KP&J-23-0028

SHEET NAME:

ELECTRICAL LIGHTING PLAN

SHEET NUMBER:

E-203

1 **ELEC. LIGHTING PLAN**
 SCALE: 1/8" = 1'-0"



NOT IN CONTRACT

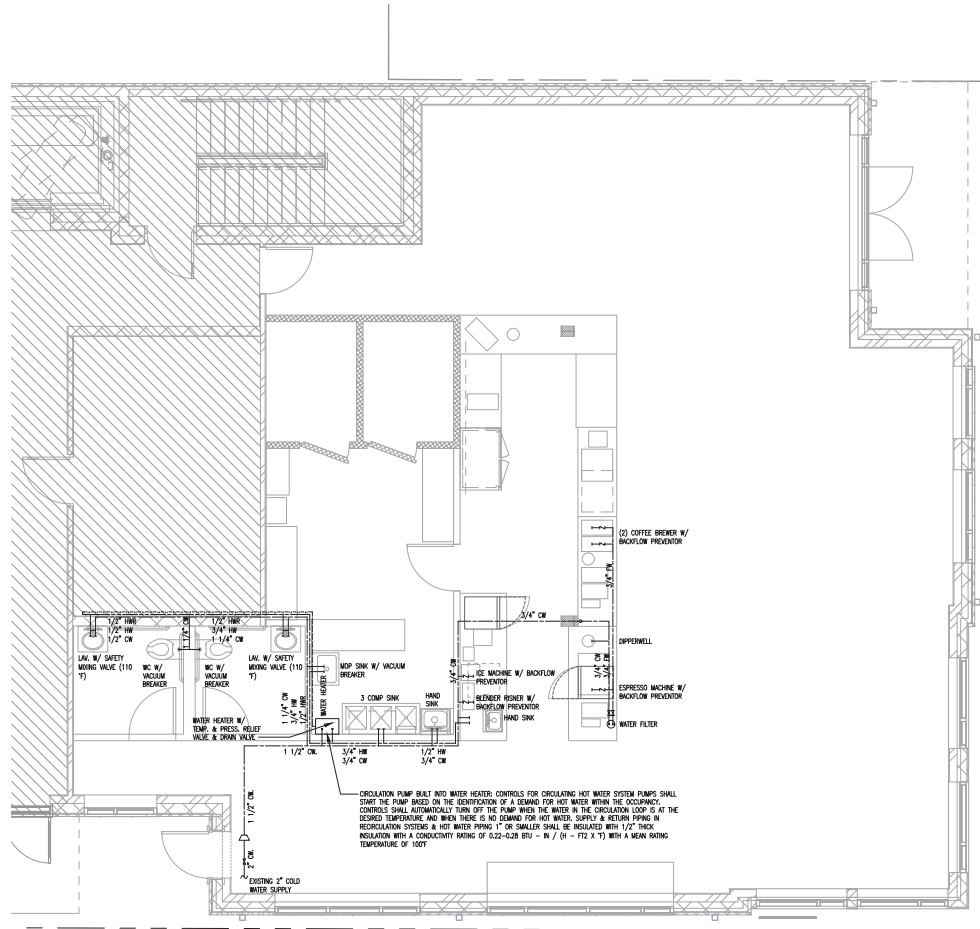
PLUMBING FIXTURE CONNECTION SIZES			
FIXTURE	SUPPLY		DRAIN TRAP
	COLD	HOT	
WATER CLOSET (TANK)	3/8"	--	INTEGRAL
WATER CLOSET (FLUSH VALVE)	1"	--	INTEGRAL
LAVATORY / HAND SINK	3/8"	3/8"	1 1/4"
KITCHEN SINK	1/2"	1/2"	1 1/2"
FLOOR DRAIN	--	--	2"
MOP SINK	1/2"	1/2"	2"

WATER SUPPLY CALCULATIONS			
FIXTURE	QUANTITY	WSFU	TOTAL WSFU
WATER CLOSET (TANK)	2	10	20
LAVATORY / HAND SINK	4	2	8
SERVICE SINK	1	3	3
KITCHEN/PREP SINK	1	4	4
COFFEE BREWERS	3	0.25	0.75
BLENDER RINSE STATION	1	0.25	0.25
DIPPER WELL (NON CONTINUOUS FLOW)	1	0.25	0.25
ICE MACHINE	1	0.25	0.25
TOTAL WSFU			36.5
DEMAND (GPM)			46
REQUIRED SERVICE SIZE			1 1/2"

- NEW DOMESTIC COLD WATER SUPPLY
- NEW DOMESTIC HOT WATER SUPPLY
- NEW DOMESTIC HOT WATER RETURN
- NEW FILTERED WATER SUPPLY

PLUMBING ENERGY CONSERVATION NOTES

- STORAGE TANK TYPE WATER HEATERS AND HOT WATER STORAGE TANKS THAT HAVE VERTICAL WATER PIPES CONNECTING TO THE INLET AND OUTLET OF THE TANK SHALL BE PROVIDED WITH INTEGRAL HEAT TRAPS. AT THOSE INLETS AND OUTLETS OR SHALL HAVE PIPE-CONFIGURED HEAT TRAPS IN THE PIPING CONNECTED TO THOSE INLETS AND OUTLETS
- PIPING FROM A WATER HEATER TO THE TERMINATION OF THE HEATED WATER FIXTURE SUPPLY PIPE SHALL BE INSULATED W/ MIN. 1/2" INSULATION
- BOTH INLET AND OUTLET PIPING OF A STORAGE WATER HEATER, THE PIPING TO A HEAT TRAP OR THE FIRST 8' SHALL BE INSULATED



NOT IN CONTRACT **1** WATER SUPPLY DISTRIBUTION
SCALE: 1/8" = 1'-0"

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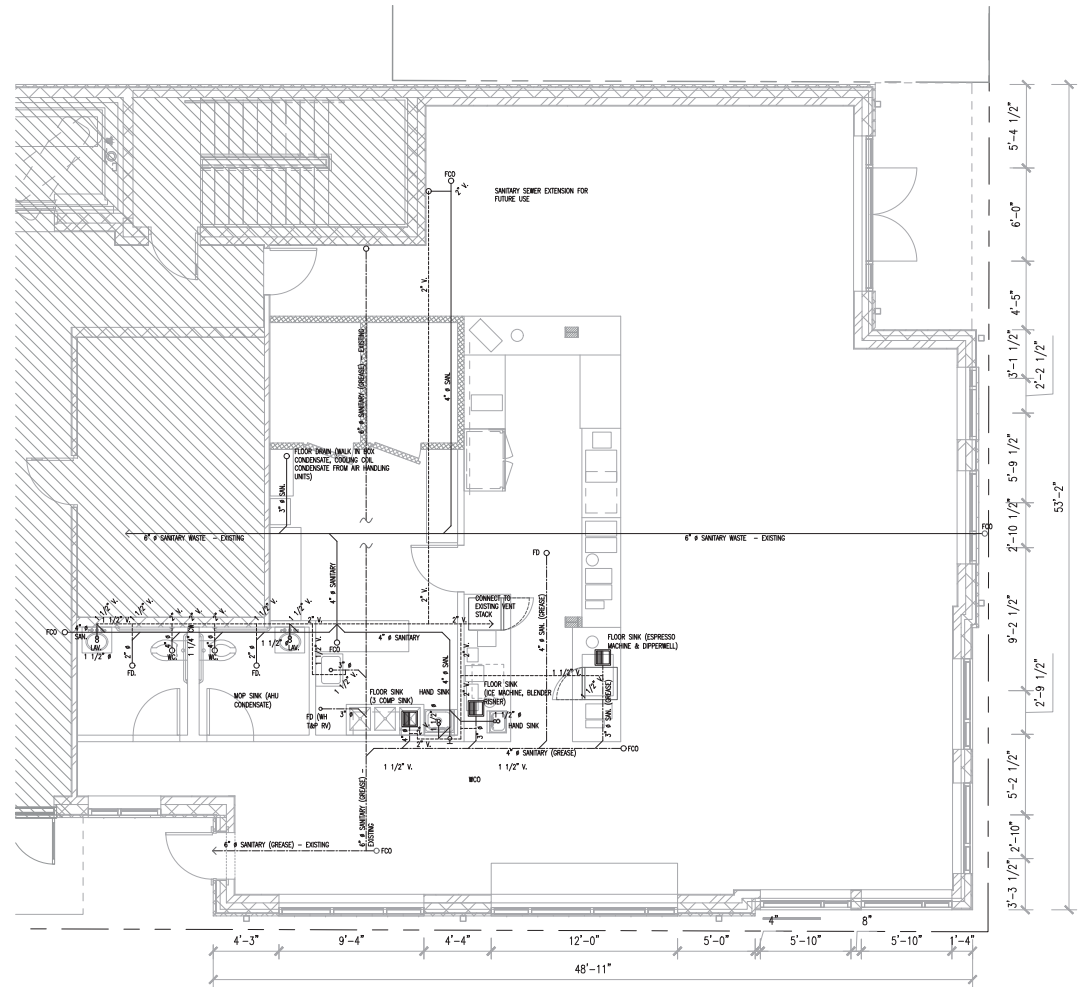
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Reviewed JT
Project Number: KP&J-23-0028

SHEET NAME:
WATER SUPPLY DISTRIBUTION

SHEET NUMBER:

P-201



PLUMBING NOTES

- ALL WORK SHALL COMPLY WITH THE 2012 INDIANA PLUMBING CODE
- PROVIDE SHUT OFF VALVES AT ALL FIXTURES
- ALL PLUMBING FIXTURES TO BE WATERSENSE LABELED WHERE AVAILABLE
- PROVIDE PROTECTIVE SHIELDS FOR CONCEALED PIPING (OTHER THAN GALVANIZED STEEL OR CAST IRON) IF LOCATED WITHIN 1.5" FROM THE NEAREST EDGE OF FRAMING MEMBER
- ALL SUPPLY AND DRAINAGE PIPING TO BE TESTED PRIOR TO BEING PUT INTO USE
- ALL WATER CLOSETS TO HAVE AN OPEN FRONT, ELONGATED SEAT WITH SMOOTH, NON-ABSORBENT, ANTI-MICROBIAL PLASTIC MATERIAL. NO LIDS ARE PERMITTED ON PUBLIC TOILETS
- OPERATING HANDLES FOR ALL LAVATORIES TO BE LEVER TYPE

- EXISTING SANITARY WASTE LINE
- - - EXISTING GREASE WASTE LINE
- NEW SANITARY WASTE LINE
- - - NEW GREASE WASTE LINE
- - - NEW VENT

NOT IN CONTRACT **1** WATER SUPPLY DISTRIBUTION
SCALE: 1/8" = 1'-0"

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Reviewed JT
Project Number: KPJ-23-0028

SHEET NAME:

PLUMBING DRAINAGE PLAN

SHEET NUMBER:

P-202



EAST ELEVATION



SOUTH ELEVATION



Architecture + Planning
 217 N Jefferson Street,
 Suite #400
 Chicago, IL 60661
 888.456.5849
 ktgy.com



ANNEX BLOOMINGTON
 BLOOMINGTON, IN. 190934

FINAL REVISIONS
 JUNE 29, 2020



WEST BLDG ELEVATIONS

A3.1



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ANNEX BLOOMINGTON
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 JUNE 29, 2020



WEST BUILDING PERSPECTIVE
 3RD STREET LOOKING NORTHWEST

A3.3



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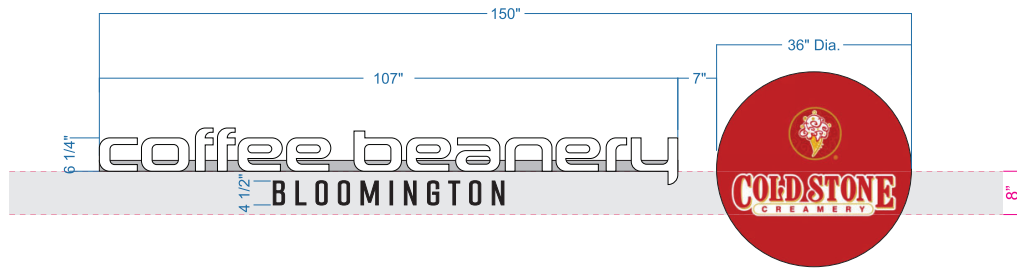
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FINAL REVISIONS
JUNE 29, 2020

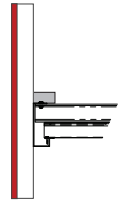


EYE LEVEL PERSPECTIVE
3RD STREET LOOKING EAST

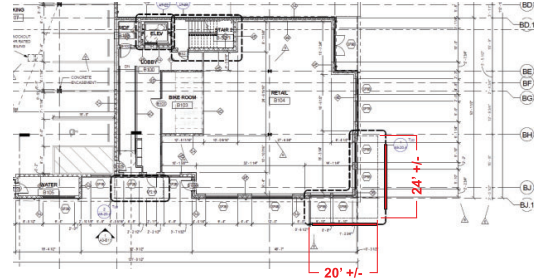
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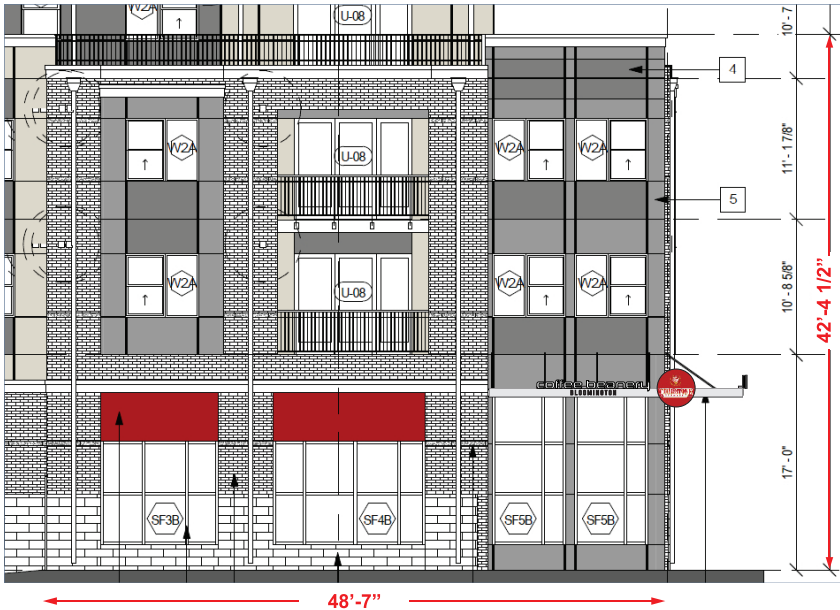
Canopy Sign #1 - Qty. 2
 Coffee Beanery & Logo
 - LED Illuminated Channel Letters
 - White Acrylic Faces w/ Black Vinyl
 - Black Trim Caps & Returns
 - Flag Mounted To Custom Alum. Wireway, Attached To Existing Canopy
 Bloomington
 - Non-Illuminated Dimensional Letters
 - Mounted On Face Of Existing Beam



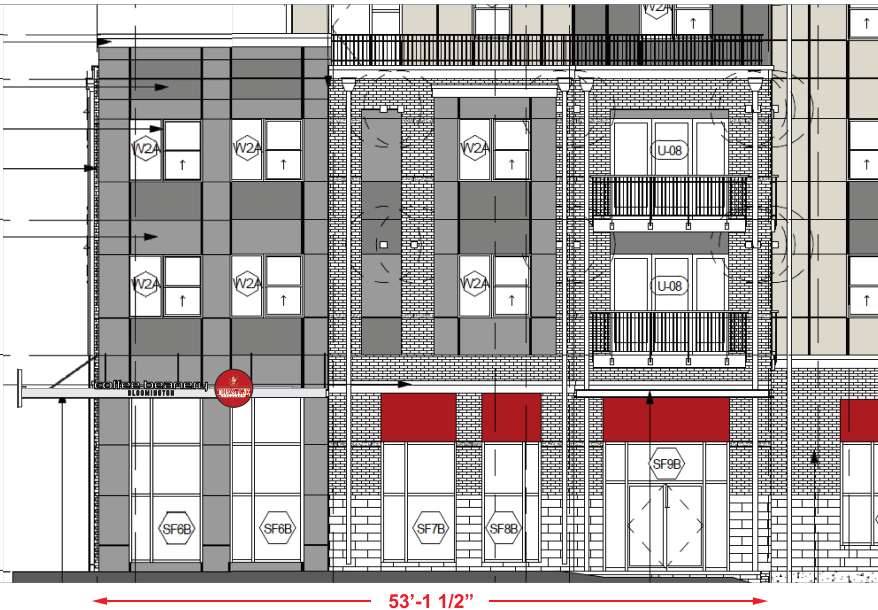
Canopy Sign #2 - Qty. 2
 Cold Logo Circle
 - LED Illuminated Channel Capsule
 - Acrylic Faces w/ Trans. Vinyl
 - Red Trim Caps & White Returns
 - Mounted To Face Of Existing Canopy



Proposed South Sign



Proposed East Sign



SIGN TYPE
 Canopy Sign

SCALE
 1/2"-1'-0"

COLORS

- A** Black
- B** White
- C** 3M 3630-053 Cardinal Red
- D** 3M 3630-25 Sunflower

NOTES
 X

SALESPERSON

Aaron Hinman

FILENAME

CB-BloomingtonIN-Canopy Sign 3

Customer / Address

Coffee Beanery
 Bloomington, IN

DRAWN BY / DATE

G. Alumbaugh 2-3-23
 GA 8-9-23 GA 8-14-23 GA 8-23-23



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