



**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT

BHPC MEETING PACKET

Thursday September 28, 2023

5:00 p.m. EST

Prepared by HAND Staff

In Person: The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

One tap mobile

+13126266799,,95852185508# US (Chicago)

+19292056099,,95852185508# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

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+1 301 715 8592 US (Washington DC)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

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NWS Historic District Guidelines Draft Review

Section 106 Review - Crestmont Park Development

Section 106 Review - Osage Place Development

Section 106 Review - Crown Castle Antenna - 2710 East Discovery Parkway

Historic Preservation Grant Fund letter of support for the Banneker Center

Accessibility Statement

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals.

If you encounter difficulties accessing material in this packet, please contact John Zody at the Housing and Neighborhood Development Department at joh.zody@bloomington.in.gov or 813-349-3582 and provide your name, contact information, and a link to or description of the document or web page you are having problems with.

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Bloomington Historic Preservation Commission Meeting

In Person: 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

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AGENDA

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I. **CALL TO ORDER**

II. **ROLL CALL**

III. **APPROVAL OF MINUTES**

- A. August 24, 2023
- B. September 14, 2023

IV. **CERTIFICATES OF APPROPRIATENESS**

Staff Review

A. **COA 23-71**

131 N College Ave. (Courthouse Square Historic District)

Petitioner: Terry Walden

Modifying the escape ladder.

Commission Review

B. **COA 23-68**

122 S Walnut St. (Courthouse Square Historic District)

Petitioner: Constellation Stage and Screen

New awning for accessible entrance.

C. **COA 23-70**

1302 E 2nd St. (Elm Heights Historic District)

Petitioner: John Wiebke

Roof material change (retroactive COA).

D. **COA 23-72**

200 E Kirkwood Ave. (Bloomington National Savings and Loan Association Historic District)

Petitioner: Tim Cover

Amend COA 22-63 - multiple changes to the design - full east facade and closing of the drive thru.

E. **COA 23-73**

118 N Walnut St. (Courthouse Square Historic District)

Petitioner: Matt Ellenwood, Matte Black Architecture Inc.

Add a rooftop deck with railing and rebuild the stair enclosure.

V. **DEMOLITION DELAY**

A. **DD 23-10**

313 W 17th St. (Contributing)

Petitioner: Caylan Evans

Full Demolition.

VI. **NEW BUSINESS**

A. **NWS Historic District Guidelines Draft Review**

B. **Section 106 Review** - Crestmont Park Development

C. **Section 106 Review** - Osage Place Development

D. **Section 106 Review** - Crown Castle Antenna - 2710 East Discovery Parkway

E. **Historic Preservation Grant Fund letter of support for the Banneker Center**

VII. **OLD BUSINESS**

A. **Following up on violations**

B. **Updates on Commissioner Retreat**

VIII. **COMMISSIONER COMMENTS**

IX. **PUBLIC COMMENTS ANNOUNCEMENTS**

X. **ADJOURNMENT**

Next meeting date is October 12, 2023 at 5:00 P.M. and will be held in a hybrid manner,
both in person and via Zoom.

Posted: 9/25/2023

Bloomington Historic Preservation Commission Meeting

In Person: 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508 **Passcode:** 082945

MINUTES Thursday August 24, 2023, 5:00 P.M.

1. CALL TO ORDER

Meeting was called to order by **Chair John Saunders @ 5:00 p.m**

2. ROLL CALL

Commissioners Present:

John Saunders (Present)
Sam DeSollar (Present)
Elizabeth Mitchell (Present)
Matthew Seddon (Present)
Ernesto Castaneda (Present)
Reynard Cross (Present-entered meeting @ 5:17 p.m.)
Daniel Schlegel (Present)
Allison Chopra (Present)

Advisory Members Present:

Karen Duffy (Present)
Kirsten Hawley (Present)
Chris Sturbaum (Present)

Staff Present:

Gloria Colom, HAND (Present)
John Zody, HAND (Present)
Dee Wills, HAND (Zoom)
Scott Robinson, City Planning and Transportation (Present)
Mike Rouker, City Legal Department (Present)

Guests Present:

Tucker Jarroll (Zoom)
Nate w/Everywhere Signs (Call)
Kevin McWhirter (Present)
CATS

3. APPROVAL OF MINUTES

1. August 10, 2023

Daniel Schlegel made a motion to approve **August 10, 2023 HPC Minutes**.

Ernesto Casaneda seconded.

Motion Carries: 5 Yes (Castaneda, Schlegel, Mitchell, DeSollar, Saunders), 1 Abstain (Chopra),

0 No

4. **NEW BUSINESS**

1. *The Cascades Park - Old Road 37 update from the Department of Planning and Transportation.*

Scott Robinson with **City Planning and Transportation Department** gave updates About the **Cascades Park** and **Old Road 37 Project**.

Questions and discussion ensued. See packet for details. **Gloria Colom** stated that the **National Register Nomination** is currently at the **State** level, and it has not been sent to the **National Park Service** yet for review, but is in process. **Chris Sturbaum** raised concerns about the **Historic Perspective** of the **Park** being left out. More discussion ensued. **Chris Sturbaum** asked about the possibility of putting this on the **HPC's** next **Agenda** for local designation.

John Zody thought the timeline was too ambitious for the next meeting. **Allison Chopra** asked if they could wait until next year and if there was a reason to do this so soon. More discussion ensued. See packet for details.

Elizabeth Mitchell made a motion to put **Cascades Park Designation** on the **October 26, 2023 Historic Preservation Meeting Agenda** for discussion. **Ernesto Castaneda** seconded.

Allison Chopra commented that she thinks this is premature and explained why. See packet for details.

Motion Carries: 6 Yes (Castaneda, Schlegel, DeSollar, Mitchell, Cross, Saunders), 1 No (Chopra), 0 Abstain.

2. 2201 E Moores Pike (Outstanding)
Kevin McWhirter
Consultation on a potential project.

Kevin McWhirter gave presentation. Questions and discussion with **Commissioners**. **Gloria Colom** gave clarification to the **Petitioner** on what options are available.

5. **CERTIFICATES OF APPROPRIATENESS**

Staff Review

1. **COA 23-62**
710 W 3rd St. (Greater Prospect Hill Historic District)
Petitioner: James Hillis
Window and door replacement.

Gloria Coloom gave presentation. See packet for details.

2. **COA 23-63**
819 N Jackson St. (Maple Heights Historic District)
Petitioner: Kate Crum
Concrete Driveway.

Gloria Colom gave presentation. See packet for details.

Commission Review

3. **COA 23-64**
122 W 6TH ST (Courthouse Square Historic District)
Petitioner: Greg Elgar
New Signage.

Gloria Colom gave presentation. See packet for details.

Sam DeSollar asked about the materials of the sign. **Allison Chopra** asked who designed the sign, and highly recommends hiring a professional designer. See packet for details.

Sam DeSollar made a motion to approve **COA 23-64**.

Daniel Schlegel seconded.

Motion Carries: 6 Yes (Castaneda, Schlegel, DeSollar, Mitchell, Cross, Saunders), 1 Abstain (Chopra), 0 No.

4. **COA 23-65**
515 S Hawthorne Dr. (Elm Heights Historic District)
Petitioner: Tucker Jarroll
New Windows.

Gloria Colom gave presentation. See packet for details.

Sam DeSollar asked if the **Petitioner** was matching all the grid patterns of the windows that are currently on the house. **Sam DeSollar** asked what shutters would be used and what materials.

Tucker Jarroll gave details of the project. Discussion ensued. See packet for

details.

Comments from **Commissioners**.

Allison Chopra made a motion to approve **COA 23-26**.

Reynard Cross Seconded.

Motion Carries: 7 Yes (Cross, Chopra, Mitchell, Saunders, DeSollar, Schlegel, Castaneda),

0 No, 0 Abstain.

6. NEW BUSINESS

Elizabeth Mitchell announced her **Presentation** at the **Monroe County Public Library** along with the date and time.

7. OLD BUSINESS

Discussion about Issuing Existing Fines. See packet for details.

8. COMMISSIONER COMMENTS

9. PUBLIC COMMENTS ANNOUNCEMENTS

10. ADJOURNMENT

Meeting was adjourned by John Saunders @ 6:55 p.m.

END OF MINUTES

Video record of meeting available upon request.

Bloomington Historic Preservation Commission Meeting

In Person: 401 N Morton St., Ste. 135, Bloomington, IN 47404

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Meeting ID: 958 5218 5508 **Passcode:** 082945

MINUTES Thursday September 14, 2023, 5:00 P.M.

1. CALL TO ORDER

Meeting was called to order by **Sam DeSollar @ 5:01 p.m.**

2. ROLL CALL

Commissioners Present:

Elizabeth Mitchell (Present)
Reynard Cross (Present)
Ernesto Castaneda (Present)
Sam DeSollar (Present)
Matthew Seddon (Present)

Advisory Members Present:

Kirsten Hawley (Present-entered meeting @ 5:17 p.m.)
Karen Duffy (Present)

Staff Present:

Gloria Colom, HAND (Present)
Dee Wills, HAND (Zoom)
Mike Rouker, City Legal Dept. (Present)

Guests Present:

Robin Reeves (Zoom)
Richard Lewis (Zoom)
Caylan Marshall Evans (Zoom)
CATS (Present)
317-997-7048 (Caller)

3. APPROVAL OF MINUTES

1. August 24, 2023

No Minutes To Approve

4. CERTIFICATES OF APPROPRIATENESS

Staff Review

1. **COA 23-66**

615 W Kirkwood Ave. (Greater Prospect Hill Historic District)
Petitioner: Leighla Taylor (FASTSIGNS)
New Signage hanging from the porch eave.

Gloria Colom gave presentation. See packet for details.

2. **COA 23-68**
1320 E 1st St. (Elm Heights Historic District)
Petitioner: Cynthia Graham
New fencing (Retroactive COA).

Gloria Colom gave presentation. See packet for details.

Commission Review

3. **COA 23-67**
901 W 4th St. (Greater Prospect Hill Historic District)
Petitioner: Robin Reeves
Closing off one of the front doors.

Gloria Colom gave presentation. See packet for details.

Robin Reeves explained the reasons for closing off one of the front doors.

Reynard Cross asked about the idea of walling off the door from the inside of the house, and had the **Petitioner** thought of this. Discussion ensued. See packet for details. **Sam DeSollar** asked if this room would still be used as a bedroom.

Robin Reeves stated that it would still be a bedroom. **Sam DeSollar** asked if the existing windows were the correct size for fire egress. More discussion ensued. See packet for details.

Reynard Cross made a motion to **Deny COA 23- 67**

Matthew Seddon seconded.

Motion Carries: 4 Yes (Castaneda, Seddon, Mitchell, Cross), 1 No (DeSollar), 0 No

5. **DEMOLITION DELAY**

1. **DD 23-10**
313 W 17th St. (Contributing)
Petitioner: Caylan Evans
Full Demolition.

Gloria Colom gave presentation.

Caylan Evans gave the background and history of this property. See packet for details.

Elizabeth Mitchell asked if the **Petitioner** had considered moving the house

somewhere.

Ernesto Castaneda asked the **Petitioner** if he had heard of **Bloomington Restorations**.

Ernesto Castaneda stated that they move house as well as restore houses.

Kirsten Hawley

stated that she was looking at the **History** of the house, and that it had been founded by

Clara Lee Showers Black and that **Showers** if a big family in **Bloomington**.

Matthew Seddon

asked if they had time to delay this and look farther into the **History** details.

Matthew Seddon made a motion to **Table DD 23-10** to the **September 28, 2023**

HPC

Meeting.

Elizabeth Mitchell **Seconded**.

Motion Carries: 5 Yes (Castaneda, Cross, Mitchell, Seddon, DeSollar), 0 No, 0 Abstain

6. NEW BUSINESS

Section 106 Reviews for HUD Funded Projects

1. 410 W Kirkwood Ave.

Gloria Colom gave details. See packet.
Feedback from **Commissioners**.

2. Arlington Park

Gloria Colom gave details. See packet.
Discussion from Commissioners. This is a **Historic Black Neighborhood**.

3. 1020 N Monroe St.

Discussion from **Commissioners**. See packet for details.

7. OLD BUSINESS

1. Notice of Violation Updates

Gloria Colom gave updates of **Violations** being issued.

2. Planning HPC Retreat and continuing education

Gloria Colom gave updates of **Continuing Education**. See packet for details.

8. COMMISSIONER COMMENTS

9. PUBLIC COMMENTS ANNOUNCEMENTS

10. ADJOURNMENT

Meeting was adjourned by Sam DeSollar @ 6:30 p.m.

END OF MINUTES

Video record of meeting available upon request.

STAFF REVIEW	Address: 131 N College Ave.
COA 23-71 131 N College Ave.	Petitioner: Terry Walden
Application Date: 9/7/2023	Parcel: 53-05-33-310-093.000-005
RATING: NOTABLE	Survey: c. 1893, Italianate



Background: Courthouse Square Historic District

Request: *Modifying the escape ladder.*

Guidelines: Courthouse Square Historic District Guidelines

pg. 8 Alterations or additions that may be needed to assure the continued use of the historic structure or site should not radically change, obscure, or destroy character defining spaces, materials, features or finishes. The commission encourages new uses that are compatible with the historic structure or site and that do not require major alterations or additions.

pg. 10 New Materials should, whenever possible, match the materials being replaced in physical properties and should be compatible with the size, scale, color, material, and character of the property and its environment.

New additions or alterations should not disrupt the essential form and integrity of the property and should be compatible with the size, scale, color, material, and color of the property and its surrounding environment.

Staff Approved COA 23-71

The alterations provide stability to the fire escape for the historic building and do not constitute an irreversible change to the historic material.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 131 N College, Bloomington

Parcel Number(s): 013-21400-05

(OFFICE USE ONLY)	
Filing Date:	<u>9/7/2023</u>
Case Number:	<u>COA 23-71</u>
HPC Hearing Date:	<u>9/28/2023</u>

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Terry Walden Email: tchomes6@gmail.com

Address: 5265 W Airport Rd, Bloomington Phone: 812-327-3201

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: College Ave LLC Email: khes@abodes.com

Address: 940 S Clarizz Blvd, Apt 25, Bloomington Phone: 812-333-3333

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): Resupport fire escape stairs

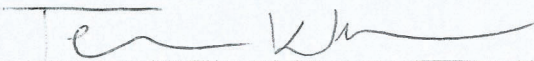
ADDITIONAL REQUIRED DOCUMENTS

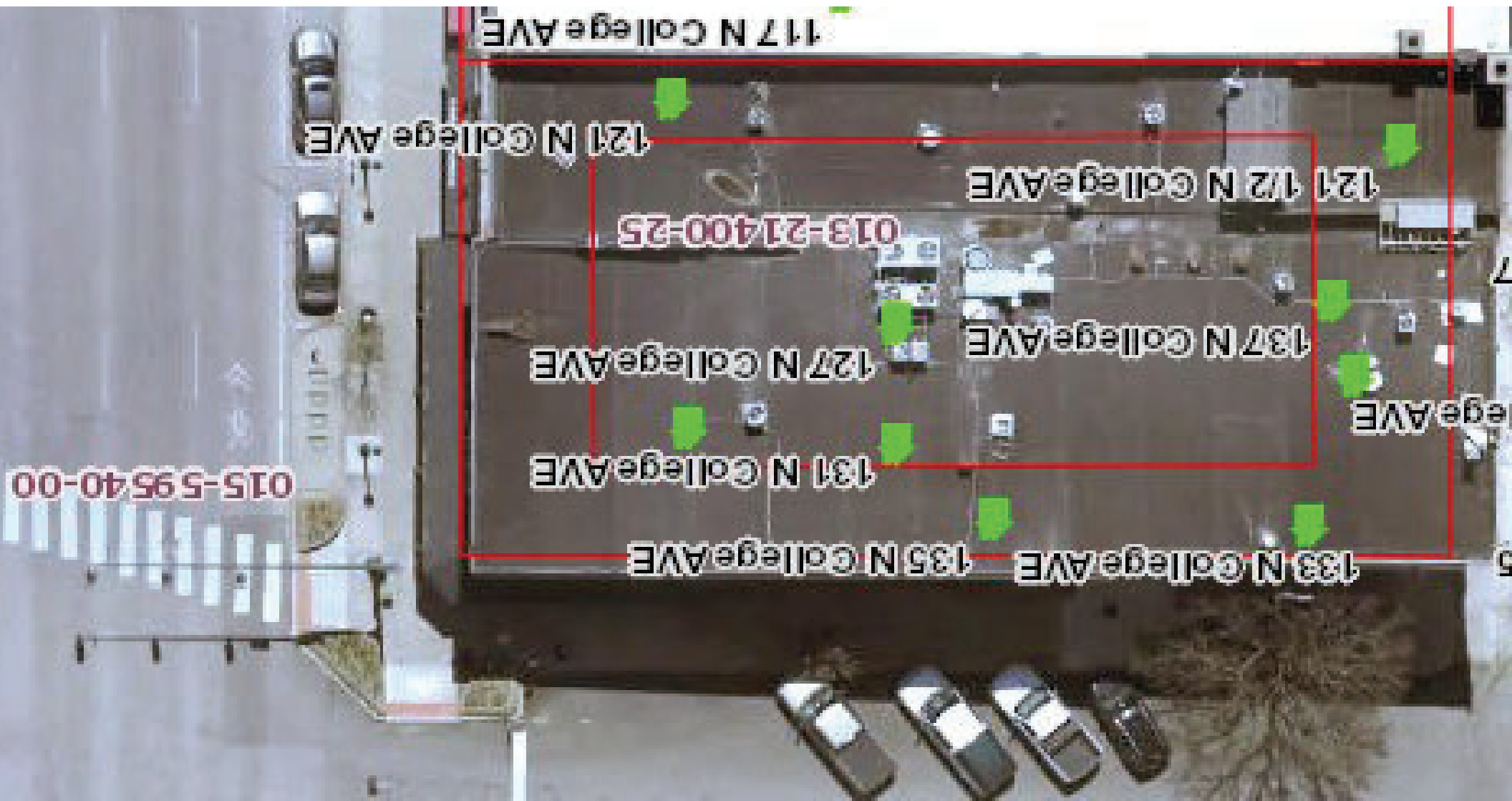
- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 9-7-23



117 N College Ave

121 N College Ave

121 1/2 N College Ave

013-21400-25

127 N College Ave

137 N College Ave

College Ave

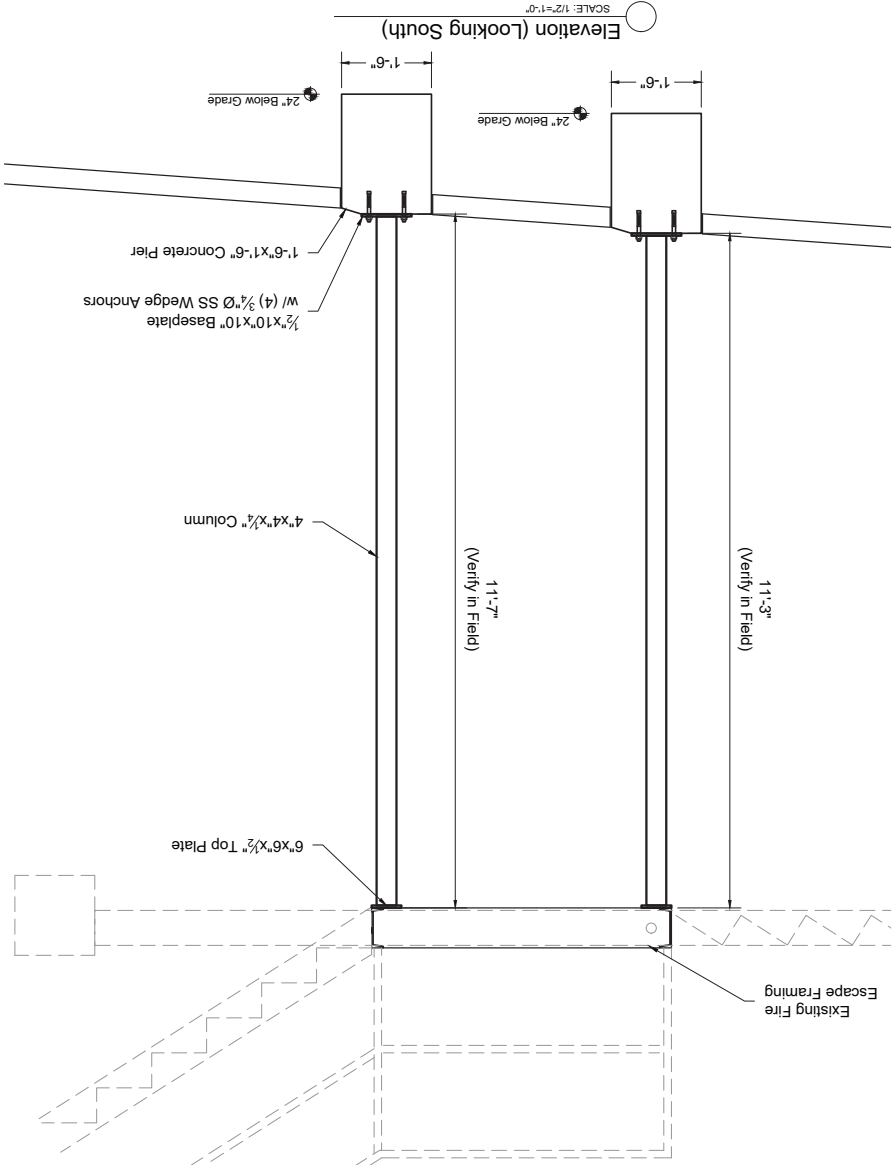
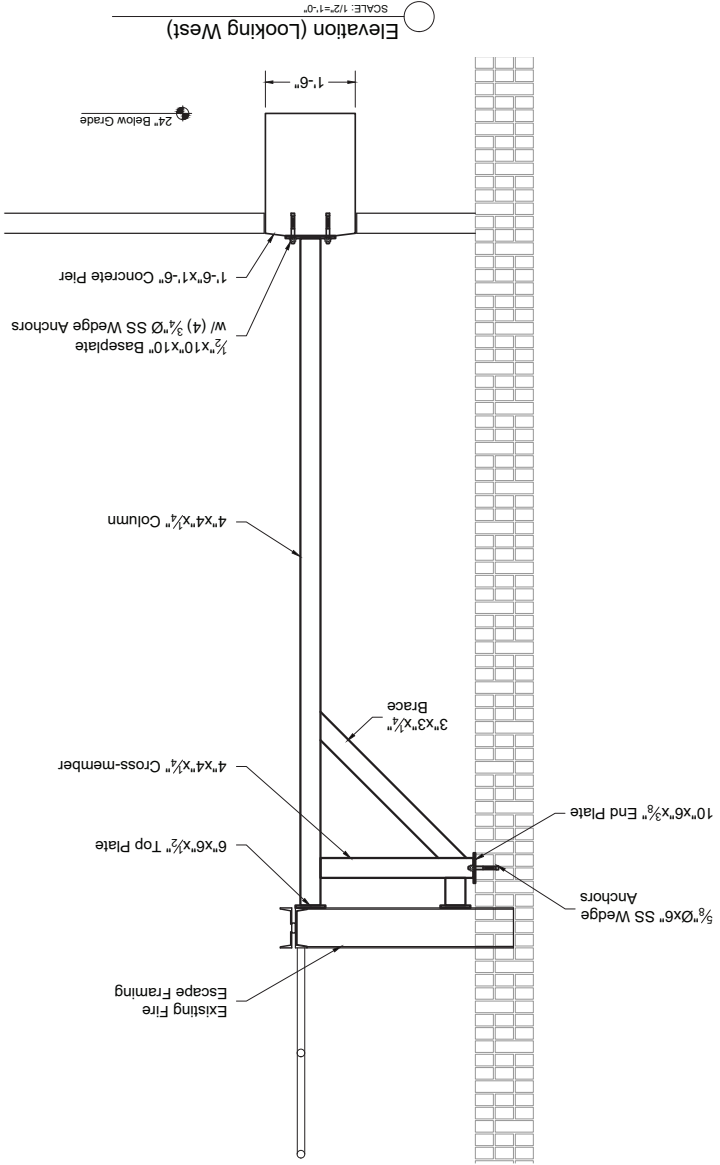
131 N College Ave

135 N College Ave

015-59540-00

Our proposal is to cut 2 - 12" x 12" Squares out of concrete and dig down 2' depth and pour concrete for footings for added support post. THE New support post will be 4" x 4" x 1/4" STEEL with a 4x4x1/4 Steel cross member at Top

This project is to add additional support for fire escape stairs.

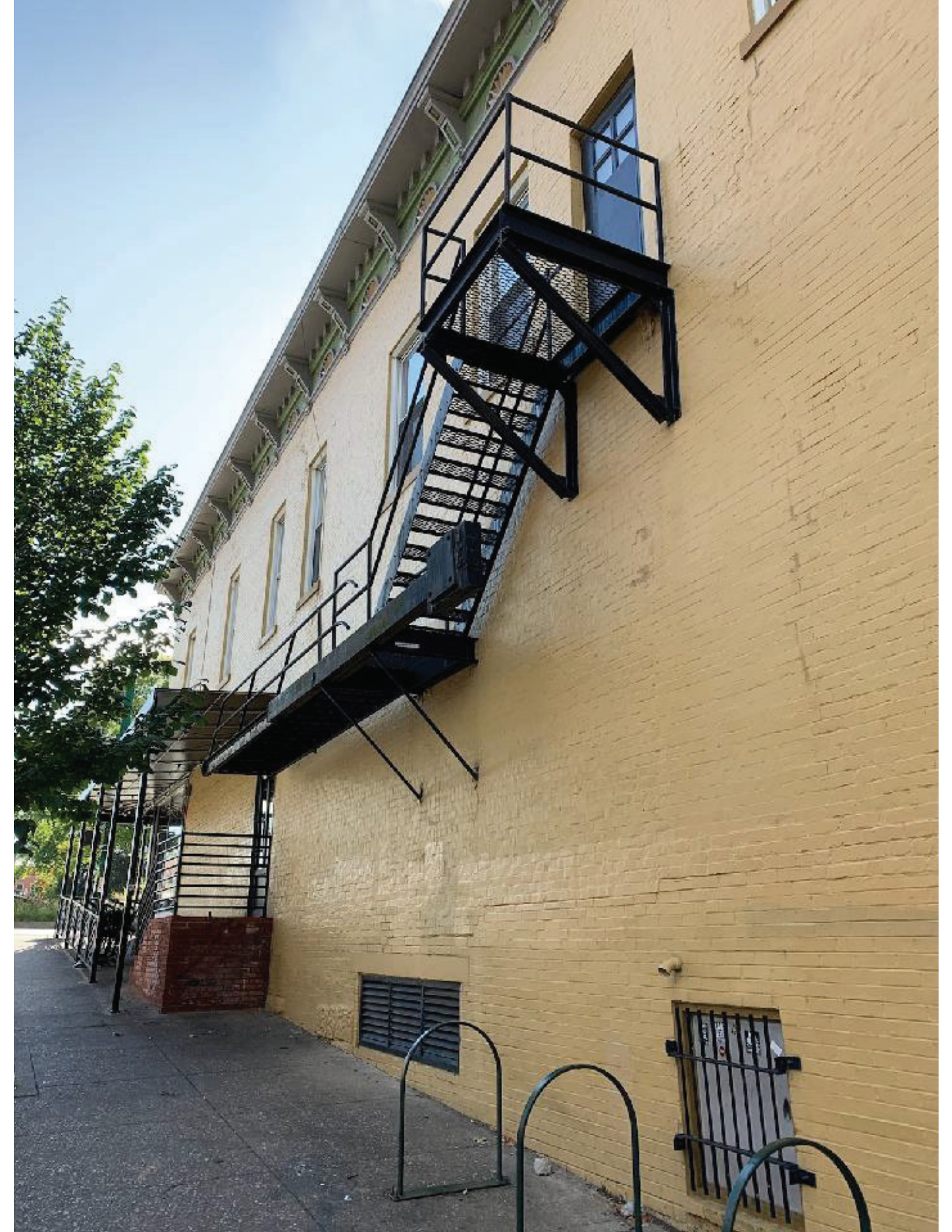



BFW
 BFW Crane, Inc.
 P.O. Box 41
 Clear Creek, IN 47426

Fire Escape - Auxiliary Supports
 Social Cantina
 Bloomington, Indiana
 Date: 8/1/2023
 SK1
 Project No: 702345







STAFF RECOMMENDATIONS	Address: 122 S Walnut St.
COA 23-68 122 S Walnut St.	Petitioner: New awning.
Application Date: 8/31/2023	Parcel: 53-05-33-310-104.000-005
RATING: OUTSTANDING	Survey: c. 1915, Beaux Arts, historic City Hall
	
Background: Courthouse Square Historic District	
Request: New Awning	
Guidelines: Courthouse Square Historic District Guidelines	
Pg. 25	
<ol style="list-style-type: none"> 1. Awnings or canopies should be mounted in a manner which does not damage historic building elements. 2. It is preferable that awning and canopy materials be canvas and in a shape that complements the building's historic character and/or reflects the door or window openings it covers. 3. In the cases where there is evidence of a historic marquee, preference may be given to the reestablishment of the marquee and these will be reviewed on a case-by-case basis. 	
Staff Recommends Conditional Approval of COA 23-68 to finding an installation solution that involves boring into the grout rather than the historic limestone.	
The proposed marquee is consistent with beaux arts marquees and would provide a dignified entrance for visitors who need the accessibility.	
The petitioners have included additional images of local precedents in the area.	

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 23-68

Date Filed: 8/24/2023

Scheduled for Hearing: 9/14/2023

Address of Historic Property: 122 S Walnut St.

Petitioner's Name: Constellation Stage & Screen

Petitioner's Address: 122 S Walnut St.

Phone Number/e-mail: 970-390-0797

Owner's Name: City of Bloomington

Owner's Address: _____

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff at least twelve (12) days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room (meetings are currently held via Zoom until further notice. The link is sent the week before the meeting). The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “Complete Application” consists of the following:

1. A legal description of the lot. John Waldron Arts Center

2. A description of the nature of the proposed modifications or new construction:
An awning over the 4th St door to the building. This is the
handicap accessible entryway and it leads directly to the Firebay
Theater. It also faces the parking garages, so we would like to
treat it as a true entrance.

3. A description of the materials used.
All aluminum awning, painted with Mathews industrial paint. The
exterior doors of the Waldron will be painted black (with gold
accent) to match both the awning and the interior. It will be
installed with awning clips and two turnbuckles. Letters and
stripes will have the capacity to light up. There will also be
lighting on the underside the awning.
Size - 93" x 54"

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

S Walnut St

S Walnut St

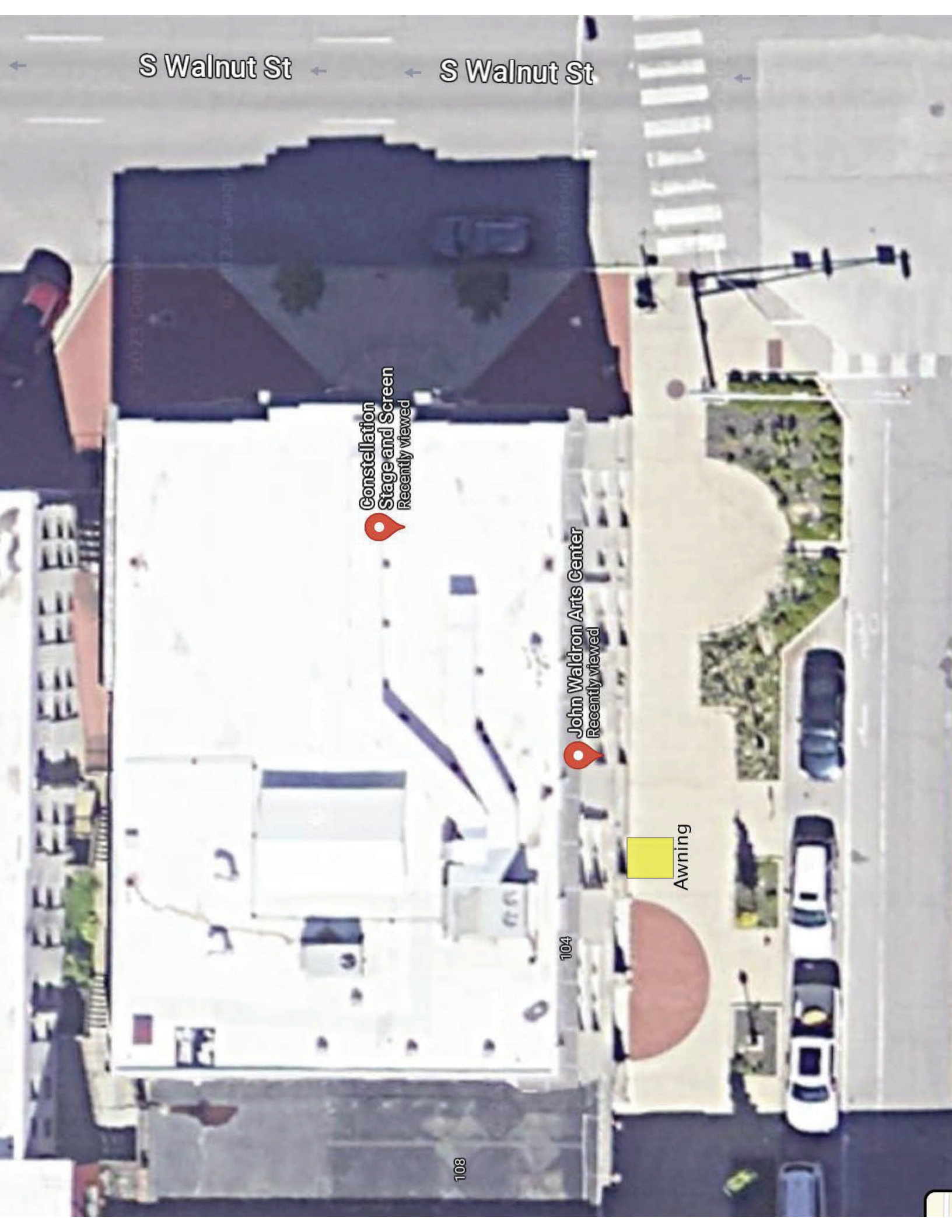
Constellation
Stage and Screen
Recently viewed

John Waldron Arts Center
Recently viewed

Awning

104

108

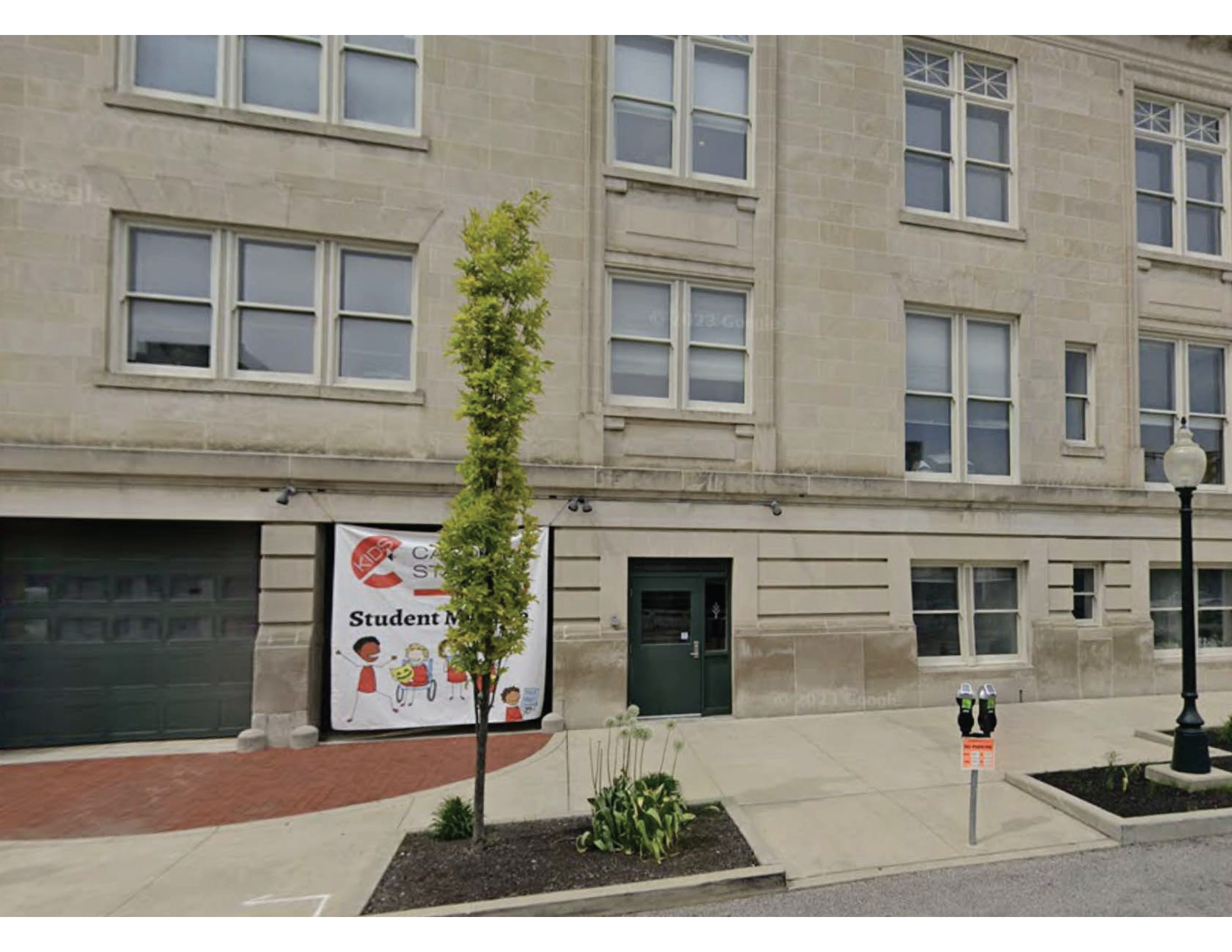


Proposed Design



WALDRON ARTS CENTER

CARDINAL
TAG
Ma'inee



KIDZ CASH ST
Student M



91.3

© 2023 Good

CARDINAL STAGE
Student Matinee

P



ONLY

RIGHT ONLY

100 S Walnut St

WALTON COMMUNITY ART CENTER

WALTON COMMUNITY ART CENTER



IVY TECH JOHN WALDRON ARTS CENTER



Precedent



Precedent



STAFF RECOMMENDATIONS	Address: 1302 E 2nd St.
COA 23-70 1302 E 2nd St.	Petitioner: John Wiebke
Application Date: 9/7/2023	Parcel: 53-08-03-208-054.000-009
RATING: CONTRIBUTING	Survey: c. 1940, Tudor Revival



Background: Elm Heights Historic District

Request: *Roof material change (retroactive COA).*

Neighborhood Comments: “My only concern is - do we have any historical record of a slate roof on that house? I'm looking for something to hang any opinion on.

This material looks sorta lumpy and fake to me but maybe some mold or moss would help? Second point, we don't know how it will age, might fade or look weird in 20 years. Could be the new vinyl siding or fake imprinted concrete siding of the future. This might make a materials test case....

I hate to think of the replacement of this with shingles in that it would be wasteful and really cause resentment. On the other hand how would the Historic District legally function if basic roof materials (or other materials) can be changed at the owner's discretion?” - Jenny Southern

“I second Jenny's comments. Hardly want to rip the new roof off at this stage, whatever was on there originally. This doesn't look like real slate, and who knows how it will age. An opportunity to find out.” -Martha Harsanyi

Guidelines: Elm Heights Historic District Guidelines

A Certificate of Appropriateness (COA) is required for the following bolded, numbered item. The bullet points that follow the numbered item further assist applicants with the COA process.

A change in the appearance, either shape or materials, of a roof or roof feature, including guttering.

- Replace only the deteriorated portion of a historic roof and use substitute materials only if using the original material is not technically feasible. If full replacement is necessary, replace it “in kind,” matching the original in materials, scale, detail, pattern, and design.
- If a historic roof feature is completely missing, replace it with a new feature based on accurate documentation of the original feature or a new design compatible in scale, size, material, and color with the historic building and district.
- If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. For modest postwar roofs, galvanized metal may be an appropriate choice. Retain the shape of traditional half-round gutters and downspouts. Historically, copper guttering is not painted.
- When attempting to introduce new roof features such as skylights, dormers, or vents, locate them so as to minimize damage to the historic roof design, character-defining roof materials, or the character of the historic district.
- Install equipment such as solar collectors or antennae in locations that do not compromise roofs of significant durability (clay or slate) and on roof slopes less visible from the street.

Staff Recommendation approve COA 23-70

- The previous roofing material was asphalt shingle and not slate.
- This material is removable and does not physically negatively impact the building.
- Composite materials are a newer technology and are not referenced in the guidelines.
- The comment received from the neighborhood construction subcommittee raises concern about the long term impact of allowing this roofing material.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 1302 E 2nd St

Parcel Number(s): _____

(OFFICE USE ONLY)	
Filing Date:	<u>9/7/2023</u>
Case Number:	<u>COA 23-70</u>
HPC Hearing Date:	<u>9/28/2023</u>

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: John Wiebke Email: johnwiebke@gmail.com

Address: 1302 E 2nd St, Bloomington Phone: (317) 225-0804

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: _____ Email: _____

Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): _____

ADDITIONAL REQUIRED DOCUMENTS

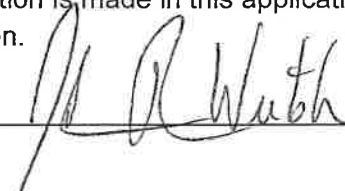
- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: _____



Date: _____

9/04/2023

September 6, 2023

To: Bloomington Housing and Neighborhood Development
Re: Request for retroactive COA for change of roof material

Dear Committee,

In the fall of 2022, I undertook a project to replace the existing asphalt shingle material on my roof with Brava Old World Slate, an artificial slate roofing material. I recently received a notification from HAND, dated 8/29/23, which noted that this change constituted a violation of the historical district code, as it was considered a "change of roofing materials."

I come before the committee now to request a retroactive Certificate of Appropriateness (COA).


I have attached a "before" photo of the roof as well as a picture of the current state of the roof. Also, I have included a brochure from Brava that describes their product.

The need to replace the roof came about after the build out of back porch, as I wanted the roof to match across the entire house. When evaluating roofing materials, my initial preference was for natural slate. However, due to cost constraints and concerns about whether the structure could support the weight of slate, I explored alternative options. During my research, I discovered the Brava product, which not only proved more cost-effective than slate but also possessed the same aesthetic qualities.

I am not a stranger to the Elm Heights Historic Guidelines. Since acquiring the home in August of 2021, I have applied for and received three different approvals for changes to the exterior of the house (tool shed, fence and build out of a porch).

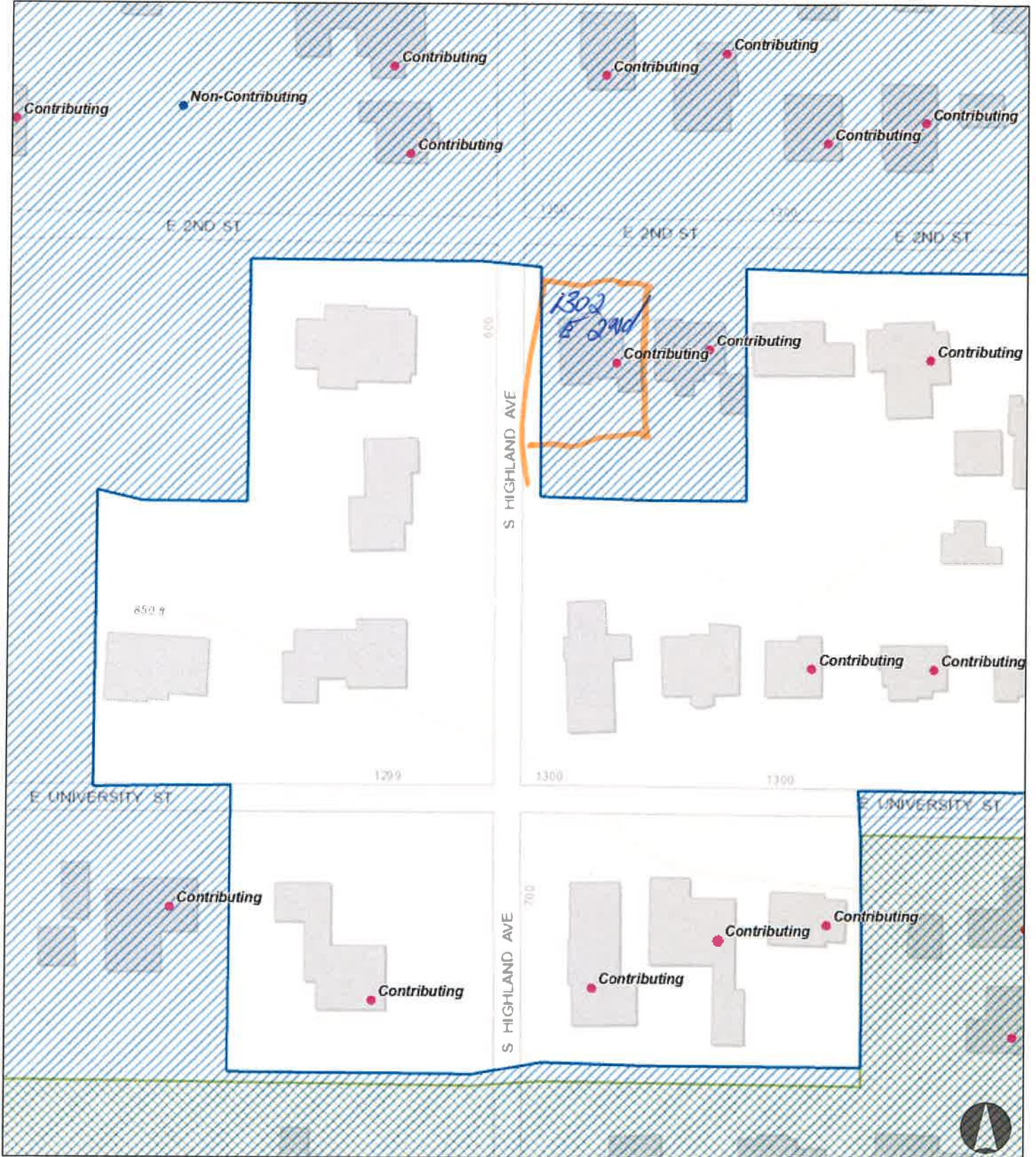
However, prior to proceeding with the roof replacement, when I reviewed the section pertaining to roofing in the guidelines, my interpretation led me to believe that since I was replacing a material of "no historical significance" (asphalt shingles), obtaining a COA would not be necessary. My thought was that replacing the asphalt shingles with a material resembling historical significance, such as the Brava product, would not trigger the COA requirement.

I apologize for the oversight and seek your thoughtful consideration.



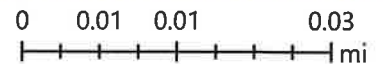
John & Ingrid Wiebke
johnrwiebke@gmail.com
(317) 225-0804
Owner & Occupant: 1302 E 2nd Street (Elm Heights)

Historic Preservation Viewer



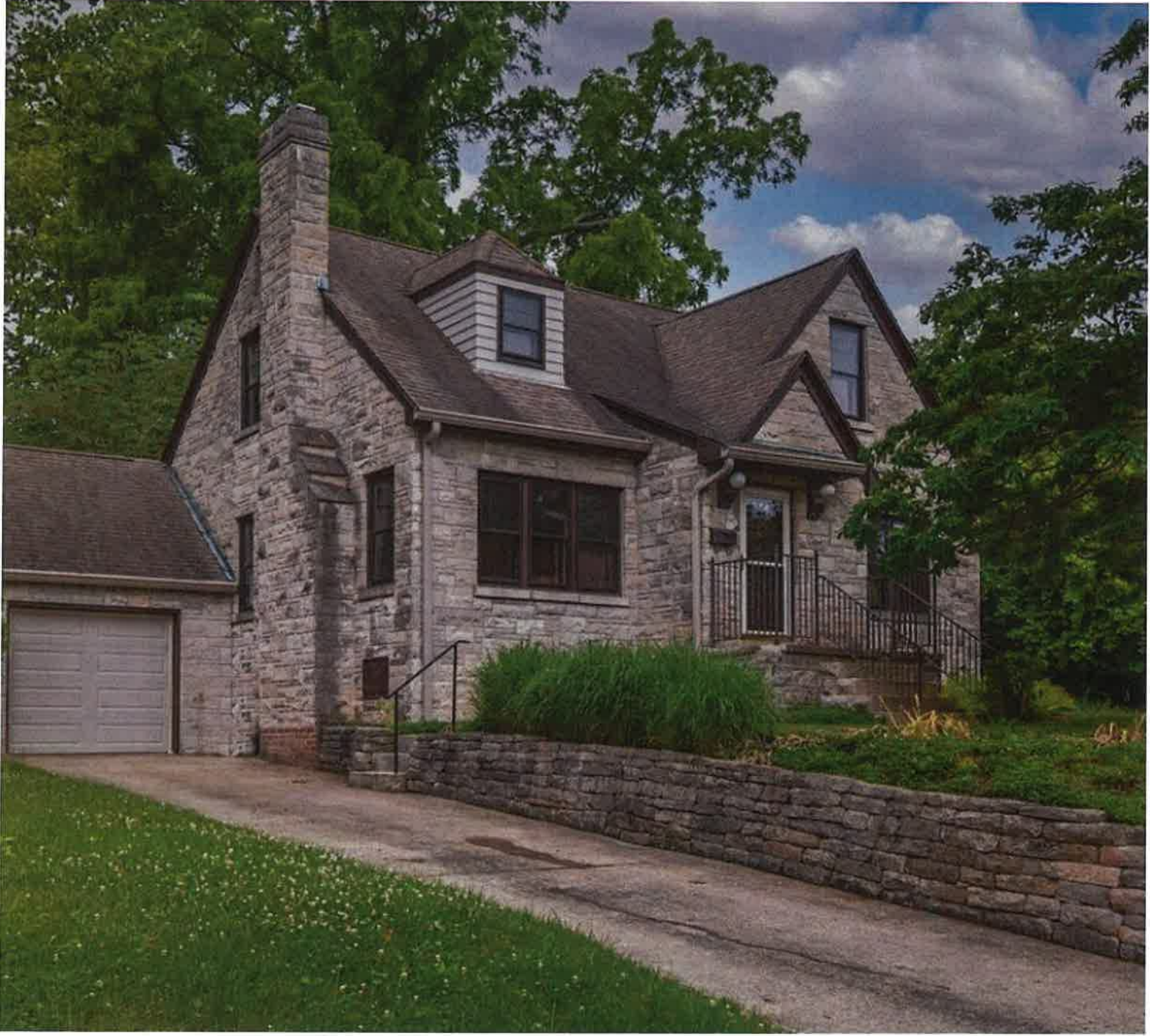
September 6, 2023

- | | | |
|-----------------------------------|--------------------------|--------------------------------|
| State/National Historic Districts | Local Historic Districts | ● Contributing |
| National Historic Register | Local Historic District | ● Non-Contributing |
| | ● Outstanding | □ BloomingtonMunicipalBoundary |



Bloomington Historic Preservation Web Application

City of Bloomington, Indiana. For use as map information only, information is NOT warranted.



Original Reef Asphalt Shingles

1302 E 2nd St. - Photo taken on August 25, 2023



Current Roof

Things to Consider as You Plan

Historic roofs should be preserved using methods for resetting or reinforcing rather than replacement. See Preservation Briefs in Section 7.2 #4 General Information about Roofs, #19 Wood Shingles, #29 Slate Shingles, and #30 Tile Shingles (website <http://www.nps.gov/tps/how-to-preserve/briefs.htm>). Do not walk on roofs made of clay tile or slate. Use scaffolding to distribute weight and prevent damage.

The best way to preserve is always to provide timely maintenance of historic materials. A routine maintenance of regular roof inspections, gutter cleaning, and flashing replacement is advisable. When wind damage occurs, the anchors for shingling should be checked. Adequate ventilation of roof sheathing can prevent premature curling and rippling. The distinctive shape of half-round gutters is typical for exposed gutters and preserves cornice crown molding, although some K-style gutters are original to later homes in the neighborhood.

Although most homes today use asphalt or fiberglass tab shingles, roofs made of historic durable and natural materials can last far longer. The life span for slate or tile roofs, if well maintained, can easily reach 200 years, and they are frequently repairable without wholesale replacement.

Historic roofs create distinctive effects through shapes, materials, or color. Because they usually define an architectural style, the view from the front facade is the most important. This view provides the most public benefit. If existing roofing material must be replaced, and it is a rare or unique type that is not readily available, then a compatible substitute material should be selected that closely resembles the original. Retaining or replacing in kind is important if a roofing material obviously reflects a particular architectural style. Several Elm Heights bungalows illustrate the deep overhanging eaves that were designed to shade the house from direct sunlight and to naturally cool the air. This was a trait of the Craftsman style and it provides real practical utility. The owner of a Craftsman home may be able to manage warmer temperatures just by using the double-hung window system and taking advantage of the shade provided by the deeper eaves.

The vast majority of roofs in Elm Heights are fiberglass or asphalt shingle, and their historic significance is slight so they do not require a COA for replacement. Even the best quality fiberglass shingle roofs will last only 20 to 30 years before going to the landfill. Metal roofs, with proper maintenance, can also last 100 years. The paint coating on metal roofs should be maintained in good condition.

Adding solar collectors that optimize panel efficiency yet are sensitively placed on historic roofs can be a challenge. It is best to first look for roof planes not visible from the street and in areas where historic roof features will not be damaged. See Section 5.5, Sustainability and Energy Retrofits, for more in-depth guidelines on new technology.





Beautifully Authentic High-Performance Roofing

Brava Old World Slate



We wanted to capture the beauty and charm of **natural quarried slate.**



Quarried slate has **unique textures and hues.**



Natural Quarried Slate



Brava Old World Slate Washington

Brava Old World Slate is the only synthetic slate with **subtle authentic nuances of color variation found in Mother Nature.**

Brava Old World Slate



Beautiful appearance that fits your home.



No maintenance costs.

50
YEARS

50-year transferable warranty.

CLASS

A

Class A fire rating.



Highest resistance rating against hail and storm damage.



Lightweight and strong. Does not require any structural changes.



Beautiful appearance that fits your home.



Must be inspected and repaired annually for cracked or slipped tiles, spalling, and fastener failures.



Natural slate is brittle and must be monitored and replaced by a specialist.

CLASS

A

Class A fire rating.



More susceptible to hail and storm damage.

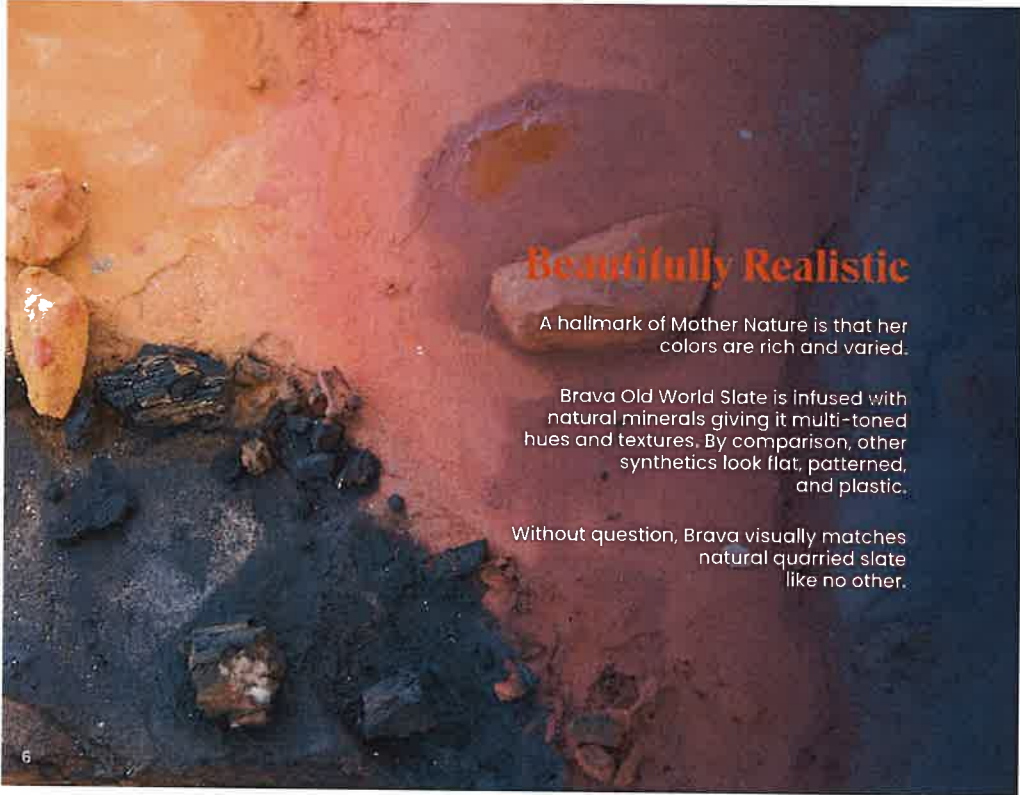


Heavy weight requires additional structural reinforcement.

Traditional Quarried Slate



Brava Old World Slate Only



Beautifully Realistic

A hallmark of Mother Nature is that her colors are rich and varied.

Brava Old World Slate is infused with natural minerals giving it multi-toned hues and textures. By comparison, other synthetics look flat, patterned, and plastic.

Without question, Brava visually matches natural quarried slate like no other.

Brava uses the most advanced UV protection to **guarantee superior long-lasting color.**

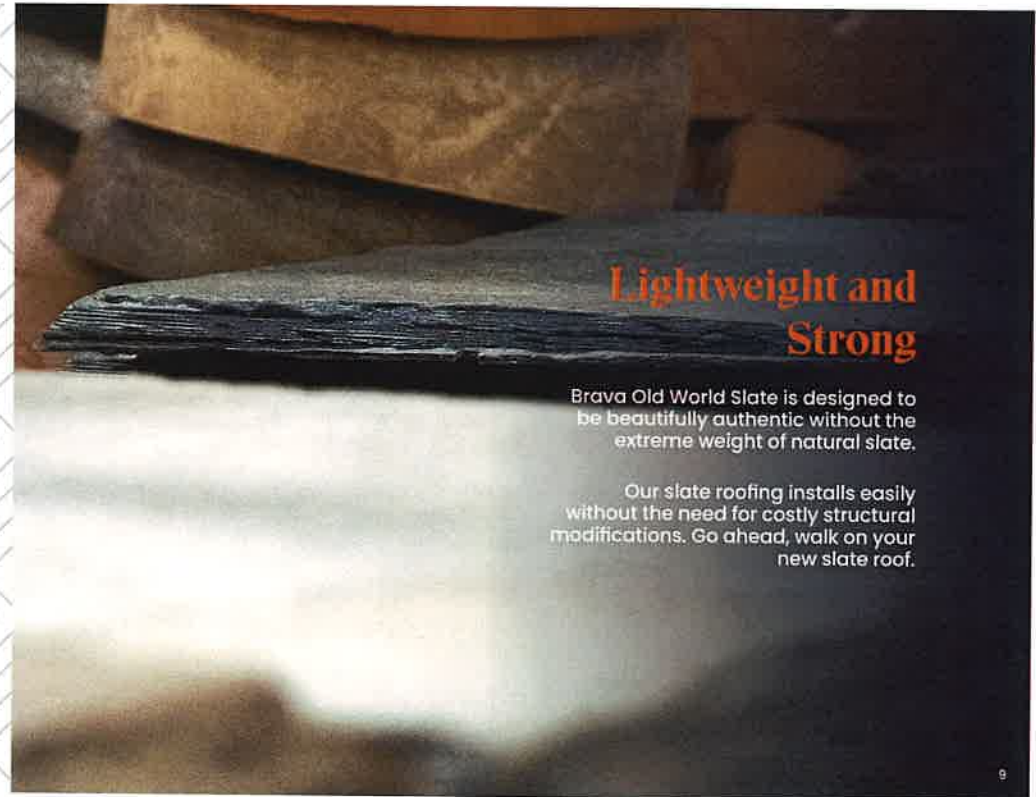


Brava Old World Slate Victorian

Our core collection of 10 Mother Nature-inspired hues.



8 Custom colors available upon request.



Brava uses state-of-the-art compression molding technology. It's this precision of manufacturing that gives Brava Old World Slate its **unparalleled strength.**



Brava Old World Slate Atlantic

Authentic Natural Look

Brava molds are cast from pieces of hand-chiseled slate. Our slates have natural edges and varied depth of color to create an authentic European feel. Old World Slate has a thick profile and deep color exposure throughout the entire tile.



Once you have it in your hand, you'll see for yourself. **There is no comparison.**



Maintenance Free

Natural slate requires ongoing inspection for mold, cracked or slipped tiles, and rust-colored pyrite stains. Brava Old World Slate is maintenance-free, giving owners superior protection and peace of mind.

Brava Old World Slate Light Azendale

Fully Sustainable

We use recycled material in all our products, and we're very proud to share that Brava's Old World Slate is fully recyclable. We are committed to a sustainable future and work hard every day to keep used building materials out of landfills.

"We prefer to use Brava synthetic roofing because it offers the ultimate protection for our homeowners while giving them the traditional natural look they desire."

Lorena Vargas - Contractor



"We get a lot of mold in South Florida. We will never have that issue with Brava. It is close celled. It doesn't consume the water and collect mold."

Steve Barone - Homeowner



BRAVA

Bravarooftile.com

844-290-4196

©2022 BRAVA ROOF TILE

Cover photo: Brava Old World Slate Arendale

OWS.LB.V3.1221

STAFF RECOMMENDATIONS	Address: 200 E Kirkwood Ave.
COA 23-72 200 E Kirkwood Ave.	Petitioner: Tim Cover
Application Date: 9/14/2023	Parcel: 53-05-33-310-227.000-005
RATING: NOTABLE	Survey: c. 1960, Mid-Century Modern, commercial



Background: Bloomington National Savings and Loan Association Historic District

Request: Amend COA 22-63 - multiple changes to the design - full east facade and closing of the drive thru.

Guidelines: The Secretary of the Interior's Standards for the Treatment of Historic Properties

pg. 29 - Protect and Maintain Historic Materials and Features

After identifying those materials and features that are important and must be retained in the process of Preservation work, then protecting and maintaining them are addressed. Protection generally involves the least degree of intervention and is preparatory to other work. Protection includes the maintenance of historic materials and features as well as ensuring that the property is protected before and during preservation work.

Staff Recommendation: Approve COA 23-72 (rework the drive thru fenestrations to evoke its previous use either by altering the color of the mullions or pushing the entrance a few feet inwards.)

- The changes take place mainly on the additions and reflect the changing use of the building.

- The proposal to close the drive thru does change the appearance of the space. However, by keeping a large clear area, there is the opportunity to present an echo of its former use without emulating it.
- Regarding the former drive thru - reconsider the size of the glass and its placement so that it can emulate the former use rather than the front windows.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 200 E. Kirkwood

Parcel Number(s): _____

(OFFICE USE ONLY)

Filing Date: 9/14/2023

Case Number: COA 23-73

HPC Hearing Date: 9/23/2023

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Tim Cover Email: tcover@studio3design.net

Address: 10748 Sky Prairie Dr. Fishers, Indiana 46037 Phone: 317-691-8018

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: Bailey 8, LLC Email: develop@tenthand college.com

Address: 601 N College Ave, Suite 1A, Bloomington In. 47404 Phone: 812-339-8777

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: addition of fabric canopy and balcony on new portion of building.
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): This is a resubmittal of approval COA #22-63, issued 7-28-22. See write up for scope

ADDITIONAL REQUIRED DOCUMENTS

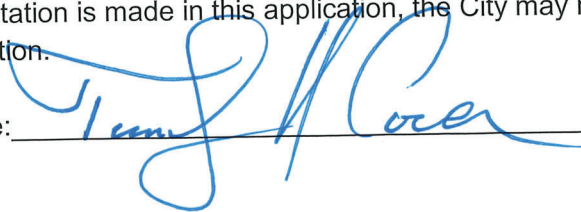
- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformaton.

Applicant's Signature: _____



Date: _____

9/14/23



9-14-2023

City of Bloomington Planning Department
P.O. Box 100
Bloomington, IN 47402

Attn: Gloria Colom

RE: 200 E. Kirkwood Development

PETITIONERS STATEMENT

Gloria,

Studio 3 Design is pleased to submit the attached development for your review.

Since the project was originally approved, the owner has shifted gears in the use of the property from originally looking at an apartment building to now developing site as a boutique hotel. This change is exciting in that the entire property use will now be a commercial use that will add to the street life on Kirkwood and provide a boutique hotel option that fits the character of the area.

As you will find with the renderings, we have not altered the historic building from the previous approval. We have also kept the look of the new building along Kirkwood Ave. and Washington street the same with a few additions that only impact the new construction in order to align with the new interior layouts and use as a hotel.

Below I have outlined the changes to what was previously approved and will have for the meeting with HPC side by side comparisons along with tags outlining the modifications so that the impacts are clear.

Please find attached a COA application, the original filing renderings and new renderings showing the modified exterior finishes.

Project Location

The project is located at 200 E. Kirkwood Ave at the intersection of Kirkwood and Washington Streets. Current building is the Peoples State Bank.

Project approval

COA -22-63, issued 7/28/2022

Proposed modifications:

The owner is requesting a few modifications to the building elevations that were approved with the original building approval in July of 2022 and the material change to a dark brick that was subsequently approved in June of 2023.

Attached you will find the original renderings presented and new renderings with call-outs noting impacts/ requested changes to the new addition façades. Again, no changes are being requested to what was approved in terms of scale, overall height, material use or building step backs.

The greatest impact that is not realized by looking at the elevations is that the original historic building shell construction will have significantly less demolition than originally planned. This has been accomplished with the moving the stair to the exterior of the building so that we do not need to cut a large hole in the east side of the historic building to construct the stair.

The requested edits are as follows:

1. West Elevation (Washington street). We have added a removable fabric canopy from the new hotel lobby entrance out to the curb/ drop off zone for hotel guest. The canopy will connect against the new portion of the building addition and reside primarily in the public right of way. An encroachment is being requested from the city to allow the canopy to be constructed. The canopy will consist of a dark metal (aluminum frame) with a domed fabric canopy over the framework. Low level lighting will likely be incorporated within the canopy to light the sidewalk below.
2. Level 4 building façade above the building entrance. The building setback for a balcony has been removed and the elevation brought out flush with the remainder of the new façade that is setback from the historic building- see renderings. The window patterning and material choices all match the rest of the new building. This modification allows for the creation of a hotel room behind this portion of the façade.
3. Windows at level 1 (south end) of the addition. The window locations, style, material, width and head height are all the same as originally approved. We have lowered the sill to place it 36" above the floor in the (2) hotel rooms that will be at this level. The sills were originally higher (approx. 5' up as the space behind was storage and mechanical spaces.
4. Windows at Level 1 South addition: The center window has been replaced with a brick recess in the proportion of the window to maintain the rhythm of openings across this façade. The new hotel rooms demise wall lands in the center of this brick zone which is what the window has been removed.
5. Level 4 outdoor patio zone: We have removed the wood trellis and have replaced it with a removable fabric canopy (triangular in shape) that will clip off to anchors on the building wall when a covered area is desired for shade. This allows the patio area to be more of a multipurpose space for lounging, outdoor events, exercise classes ect.
6. North Façade (Kirkwood elevation) NE corner of the new construction. We have removed the drive under the building and extended the elevation and same fenestration down to level 1. Along with this, we have added (2) balconies above the original balcony at level 2. The balconies are only attached at the new building portion and do not change or impact anything approved with the historic building façade.
7. North Elevation: We have added a 36" high open railing system at the sidewalk to partially enclose a new outdoor seating area for a retail food vendor we are locating on the first floor of the hotel. The railing will be black aluminum frame that is set up to repeat the simple pattern of the storefront windows. We are submitting for a city encroachment to allow the railing to be placed partially on city property.

8. East Elevation: The East elevation remains hidden by the graduate Hotel. This elevation is where the lion share of changes has occurred with the conversion of the property to a boutique hotel. The previously approved materials remain the same. The elevation shows the removal of the drive lane from level 1 with the building now extending to grade. The previous setback and open-air walkways have been replaced by hotel rooms. The previous windows and doors have been replaced with sliding doors with transoms and a Juliet balcony to allow the rooms to be opened up for fresh air. One significant change with this conversion is that the original historic building shell will not be impacted as much by the new construction. The internal stair has been moved outside of the building and rotated 90 degrees. This modification removes the previous need to remove a large portion of the East wall as well as the level 2 floor system in order to install the original stair. Additionally, the large window openings that were going to be cut into the east façade are now minimized to cutting down existing windows as walk-through locations. All said, the integrity of the existing building shell is remaining much more intact.

9. South Elevation (alley). The SW corner of the elevation has not changed. The massing and materials previously approved have not changed. The impacts are that the drive under the building has been removed and the trash room overhead door has slide to the east. Windows on levels 1,2,3 and 4 on this elevation have changed in location and size to work with the hotel room layouts that reside behind these elevations. Window material has changed from residential style windows to storefront to match the Kirkwood and Washington street style.

10. Kirkwood Ave. Storefront on historic building north elevation is a 2 ¾" profile anodized aluminum frame system. Our originally approved approach was to replace the plywood behind the current fabric canopy with new spandrel glass (originally this zone was spandrel glass panels, and to replace the existing single pain glass with new insulated glass panels and modified back stops for the glass. We would like to request the opportunity to replace the aluminum mullion framework as well. The desire is to provide a better quality fit and finish for the storefront that is less likely to have issues with leaks, be better thermally broken for heating and cooling and serve as a better sound break from the street as well. A typical curtainwall profile is 2 ½" in width which is slightly smaller than the existing system.

11. Washington steer single windows:
Currently, 4 out of the 10 single windows on the historic building have been replaced with a newer 2" profile storefront system with insulated glazing. 6 of the windows still have the original single pane, non-thermally broken windows. We would like to request the ability to replace these 6 openings with an insulated aluminum storefront system and 1" glazing to match the existing 4 windows. This will improve the heating/ cooling and noise transmission of the windows for the hotel rooms. The framing can be set to follow the same pattern of the existing windows or be simplified to match the 6 windows that were modified in the 1980's.

200 E. Kirkwood Development
9-22-2023

While we are pursuing these modifications to assist us in the conversion of the project to a boutique hotel that captures the feel and draws on the amenities of Kirkwood Ave. We feel the overall changes are positive and remain in line with the character of the original approval and serve to maintain the identity and preservation of the original building for the future.

Please see the attached renderings and plans for a clear understanding of the changes outlined above.

Thank you for considering these alterations.
We look forward to getting the project under construction later this summer.

Respectfully submitted,

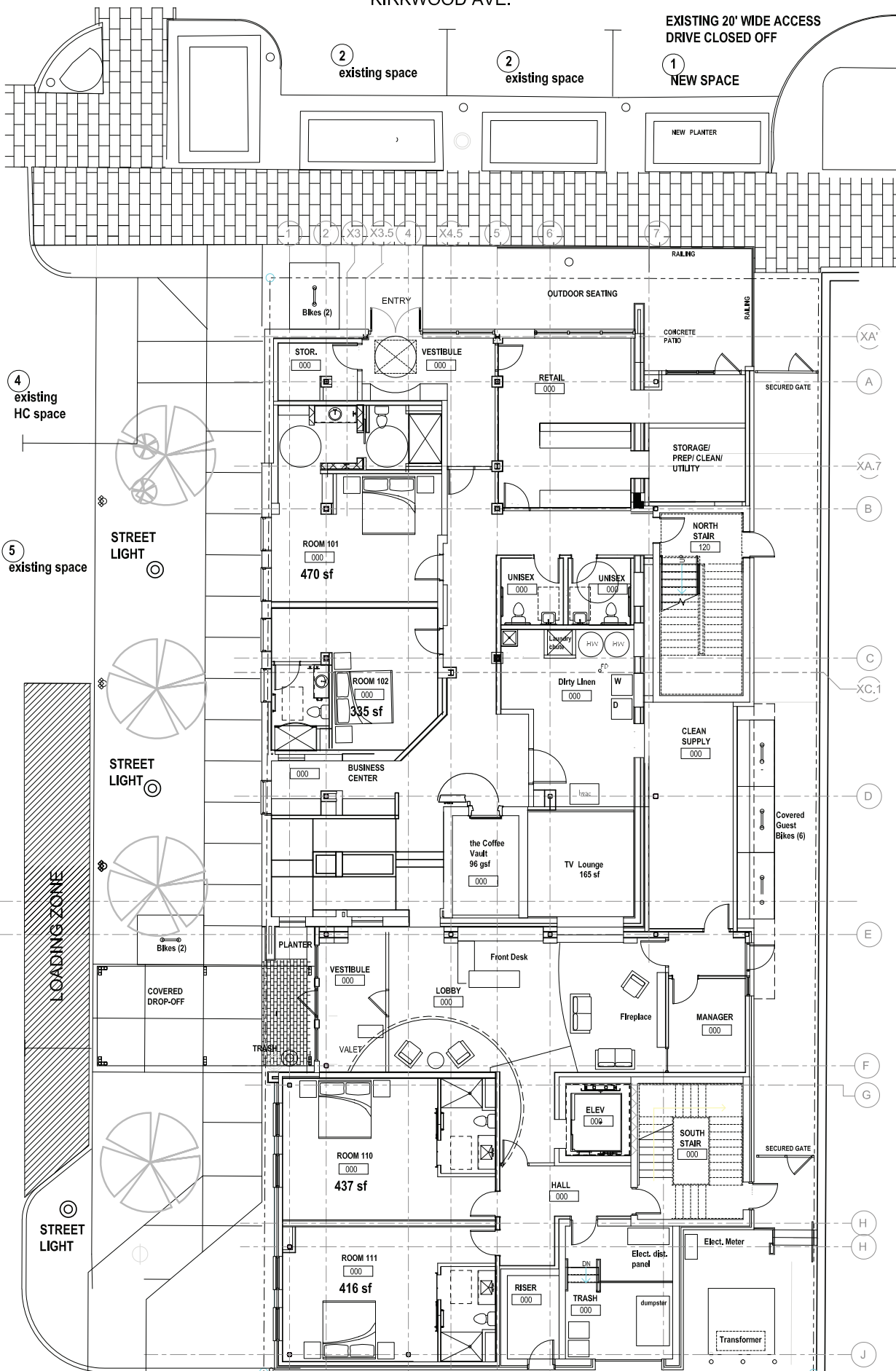
STUDIO 3 DESIGN, INC

A handwritten signature in black ink that reads "Tim Cover". The signature is written in a cursive, flowing style with a large initial "T" and "C".

Tim Cover, Architect

KIRKWOOD AVE.

EXISTING 20' WIDE ACCESS DRIVE CLOSED OFF



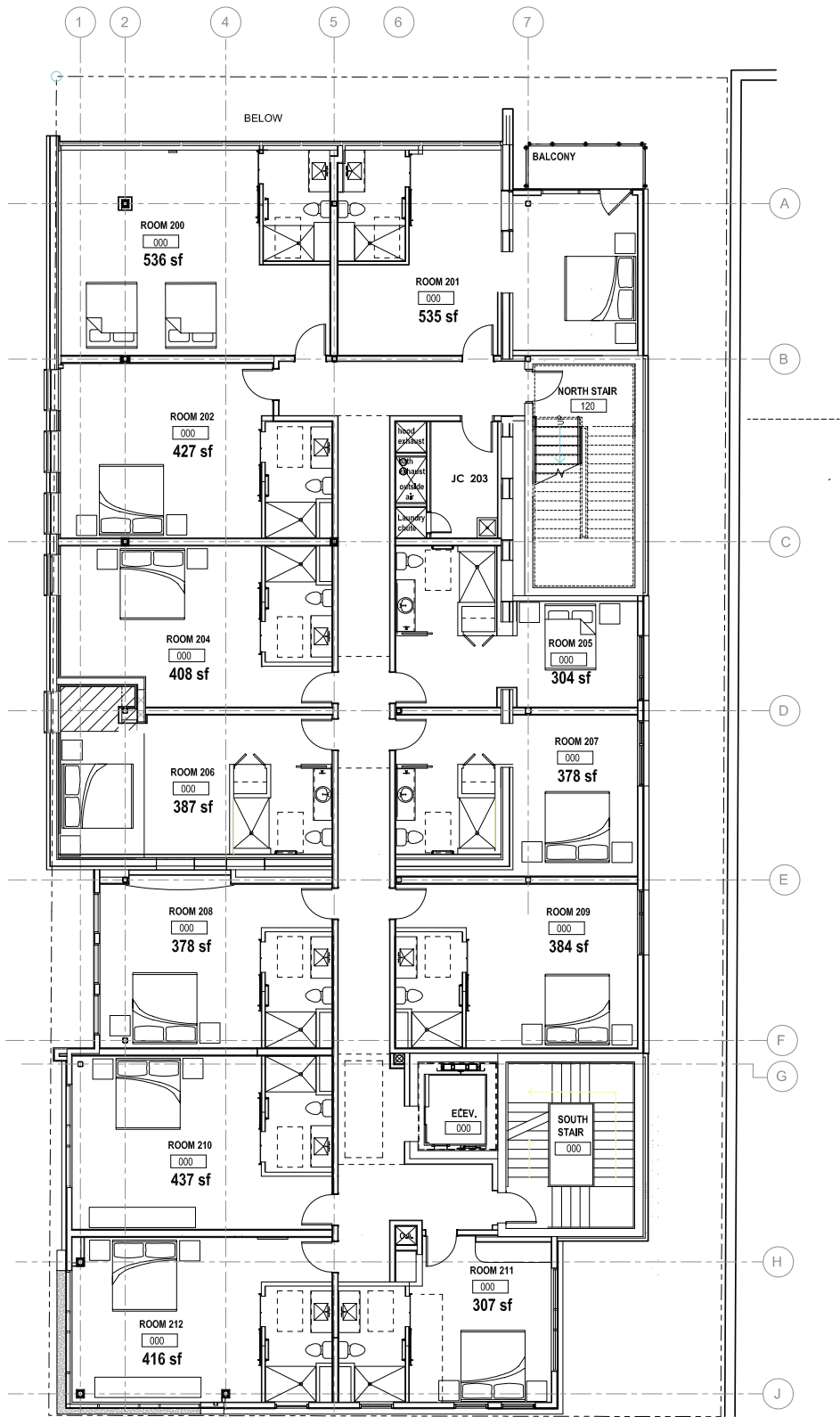
Kirkwood Lofts Hotel opt 2

Level 1

38 rooms

7,072 gsf

09-22-2023



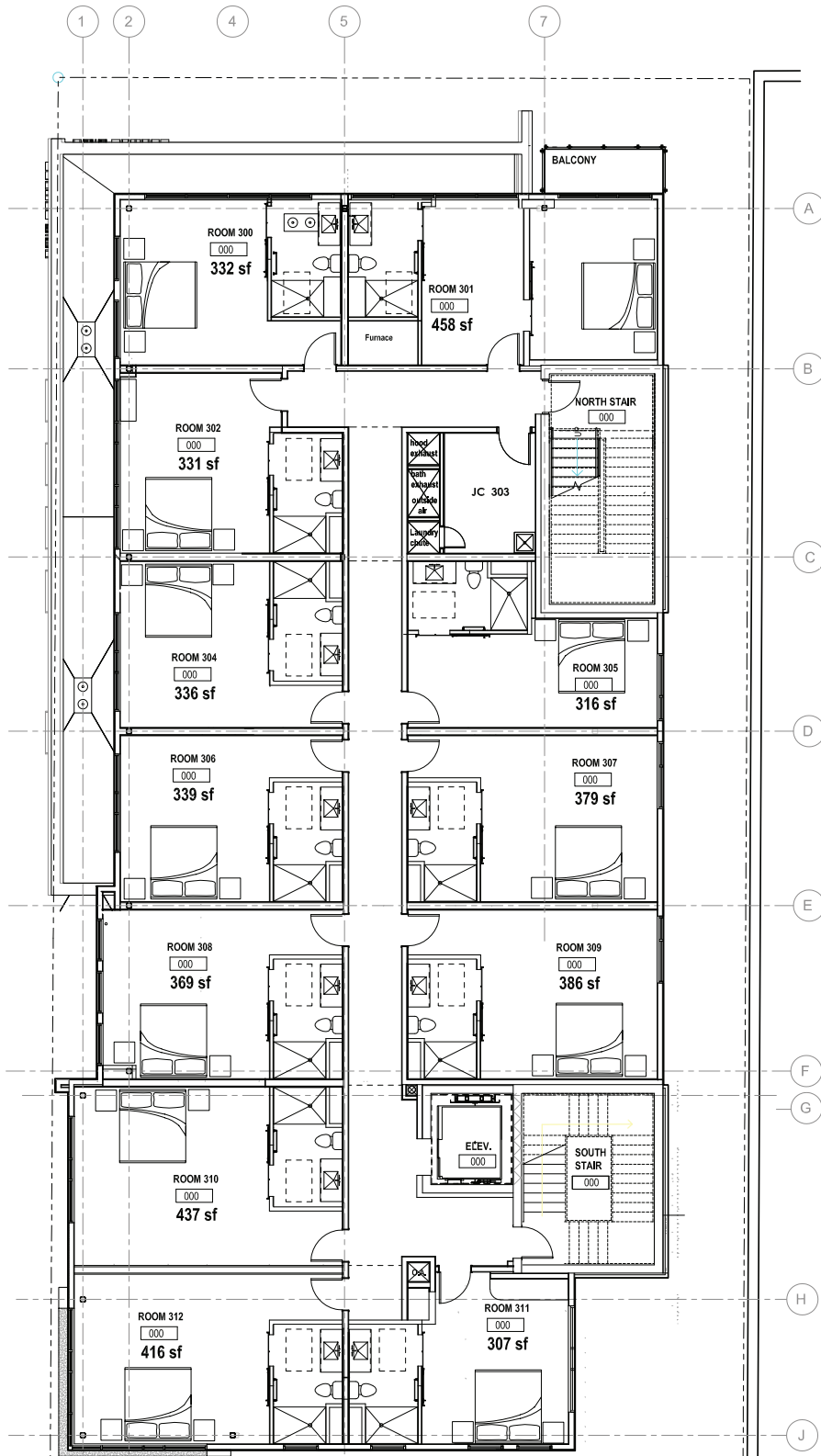
Kirkwood Lofts Hotel

38 rooms

7,032 gsf

Level 2

09-22-2023



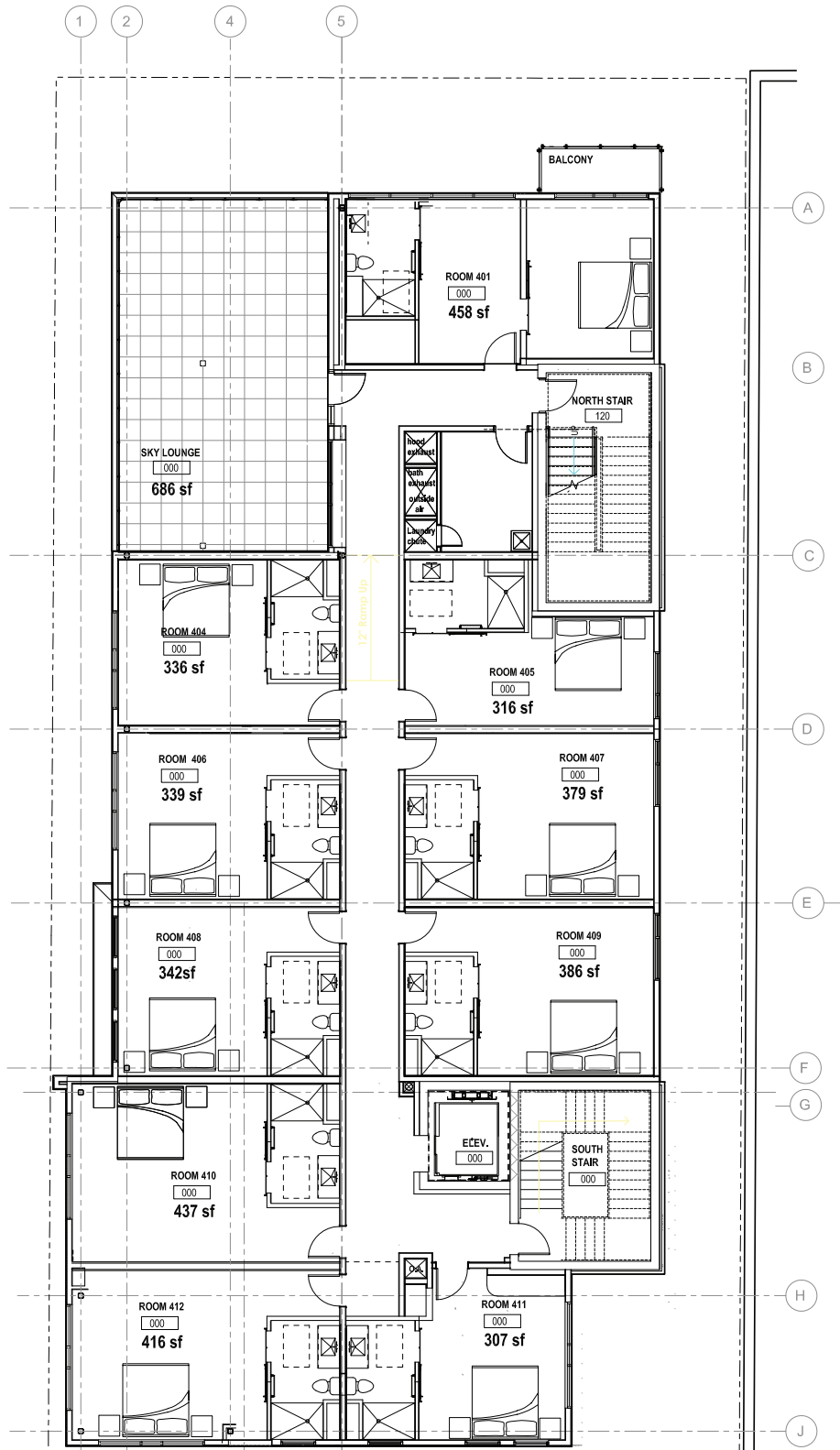
Kirkwood Lofts Hotel

38 rooms

6,390 gsf

Level 3

09-22-2023



Kirkwood Lofts Hotel

38 rooms

5,648 gsf

Level 4

09-22-2023



CORNER VIEW

HOTEL on KIRKWOOD

9/22/2023



AERIAL VIEW

HOTEL on KIRKWOOD

9/22/2023



WASHING STREET VIEW

HOTEL on KIRKWOOD

9/22/2023



WEST VIEW

HOTEL on KIRKWOOD

9/22/2023



KIRKWOOD VIEW

HOTEL on KIRKWOOD

9/22/2023



REMOVED
OPENING & DRIVE
UNDER BUILDING

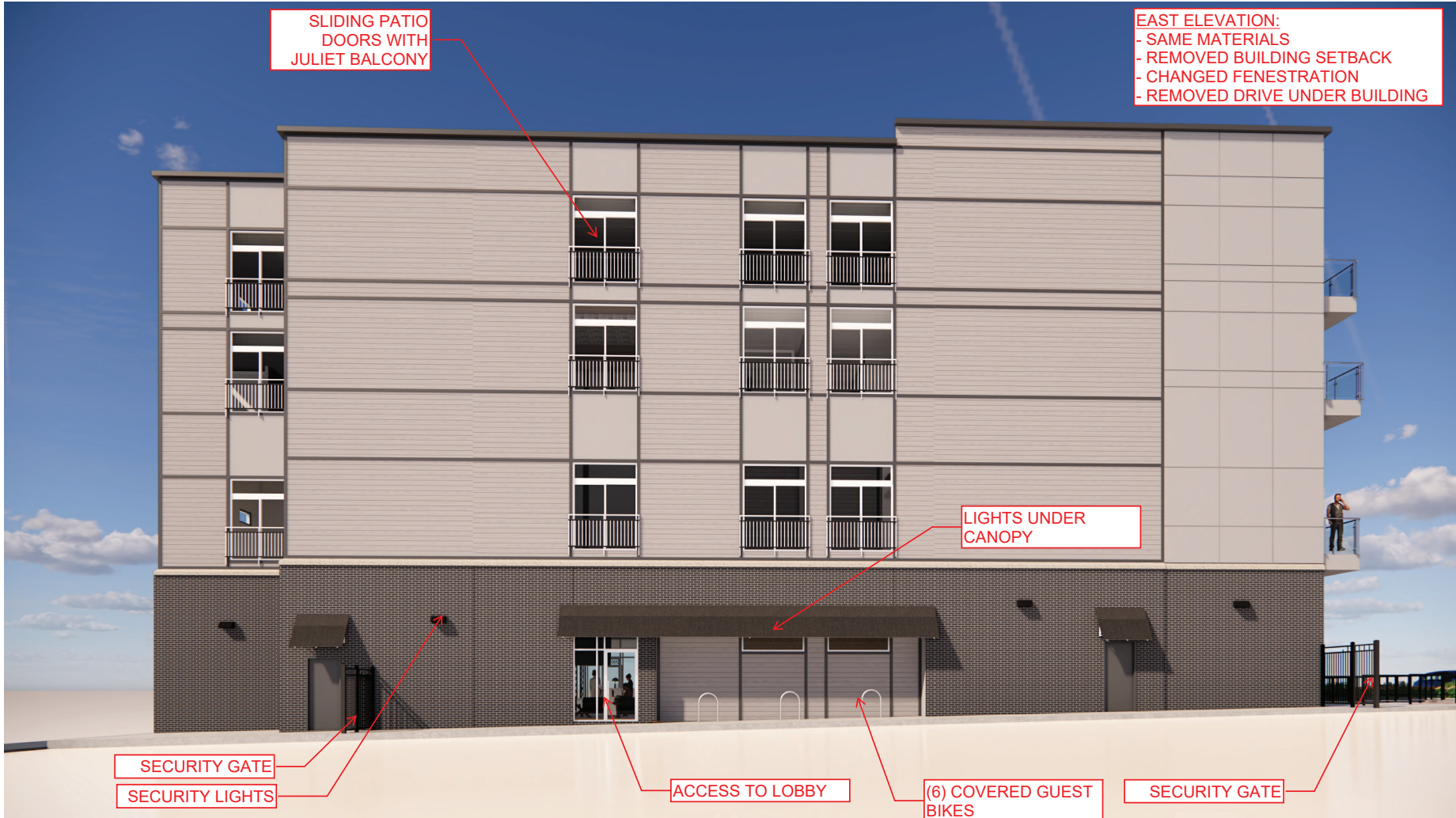
SOUTH ELEVATION:
- SAME MATERIALS
- CHANGED FENESTRATION

MOVED TRASH ROOM
DOOR

SOUTH VIEW

HOTEL on KIRKWOOD

9/22/2023



EAST VIEW

HOTEL on KIRKWOOD

9/22/2023

STAFF RECOMMENDATIONS	Address: 118 N Walnut St.
COA 23-73 118 N Walnut St.	Petitioner: Matt Ellenwood
Application Date: 9/14/2023	Parcel: 53-05-33-310-043.000-005
RATING: CONTRIBUTING	Survey: c. 1900, commercial



Background: Courthouse Square Historic District

Request: Install a deck on the rooftop.

Guidelines: Courthouse Square Historic District Guidelines

pg 24-25

B. Rooftop Additions

1. Rooftop additions may be considered and should respect the character defining features of the site or structure.
2. Where permitted, care should be taken to make it minimally visible from public ways. "Minimally visible" is defined as any rooftop addition which, when viewed from public ways, due to its placement and size, does not call attention to itself nor detract from any significant architectural features.
3. All rooftop additions, including rooftop equipment and utilities, will be carefully reviewed on a case-by-case basis for their appropriateness of location and visibility.

Additionally, the massing, materials, and details will be reviewed for their appropriateness and impact on the character-defining features of the district.

Staff Recommendation: Approval of COA 23-73

- The proposed deck is not visible from across the street and barely visible from the other side of the Courthouse Square. There is a substantial setback from the building's parapet for both visibility and safety.
- The materials are compatible with the district guidelines as they are visually different but do not impact the facade.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 23-73

Date Filed: 9/14/2023

Scheduled for Hearing: 9/28/2023

Address of Historic Property: 118 N Walnut St

Petitioner's Name: Matt Ellenwood, Matte Black Architecture Inc

Petitioner's Address: 2021 E Wexley Rd Bloomington, IN 47401

Phone Number/e-mail: 812.345.6549 mattellenwood@gmail.com

Owner's Name: Hoosier Acres IN LLC, Jeffrey Jones

Owner's Address: 555 N Morton St Bloomington, IN 47404

Phone Number/e-mail: 812.340.4911 jeff.jones@solutiontree.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 013-25940-00 ORIG PLAT PT 229

2. A description of the nature of the proposed modifications or new construction:
Rebuild Rooftop Stair Enclosure & Deck Addition.

3. A description of the materials used.
Stair enclosure to be fiber cement siding (painted to match adjacent brick) with glass door and fixed windows.
Deck to be composite with glass railing (thin brick at partial height wall with glass railing along north side of deck).

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.









KP



CURRENT

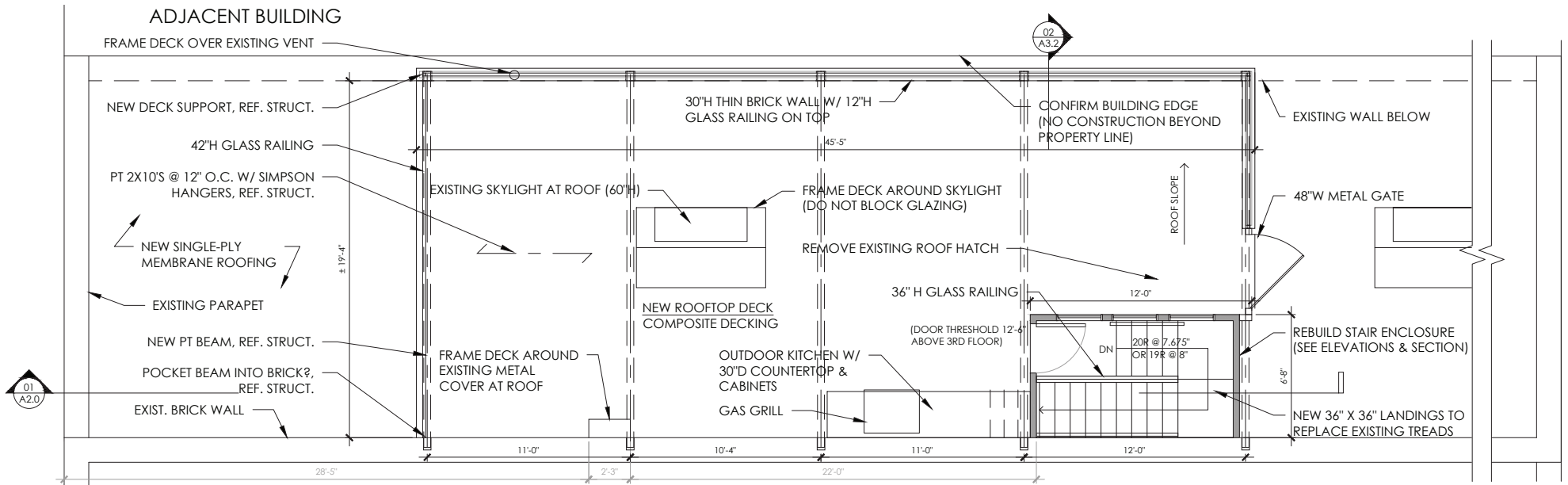
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CAVEAT EMPTOR

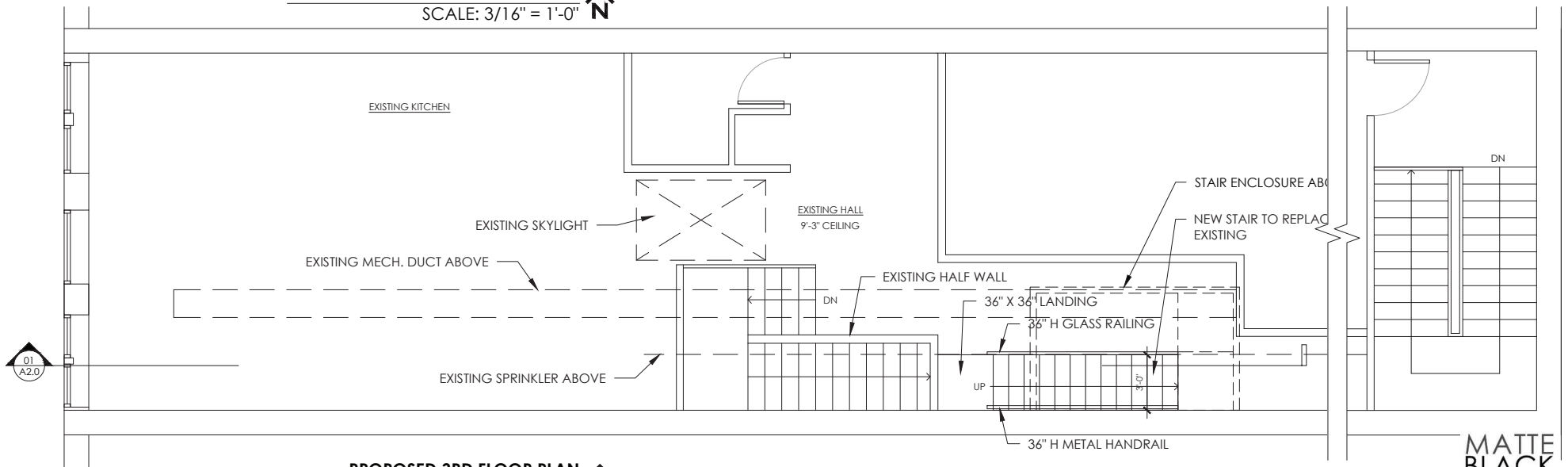
Scott's
TERMITES & PEST CONTROL
812.339.8729
Find us on Google!

124 N. Walker





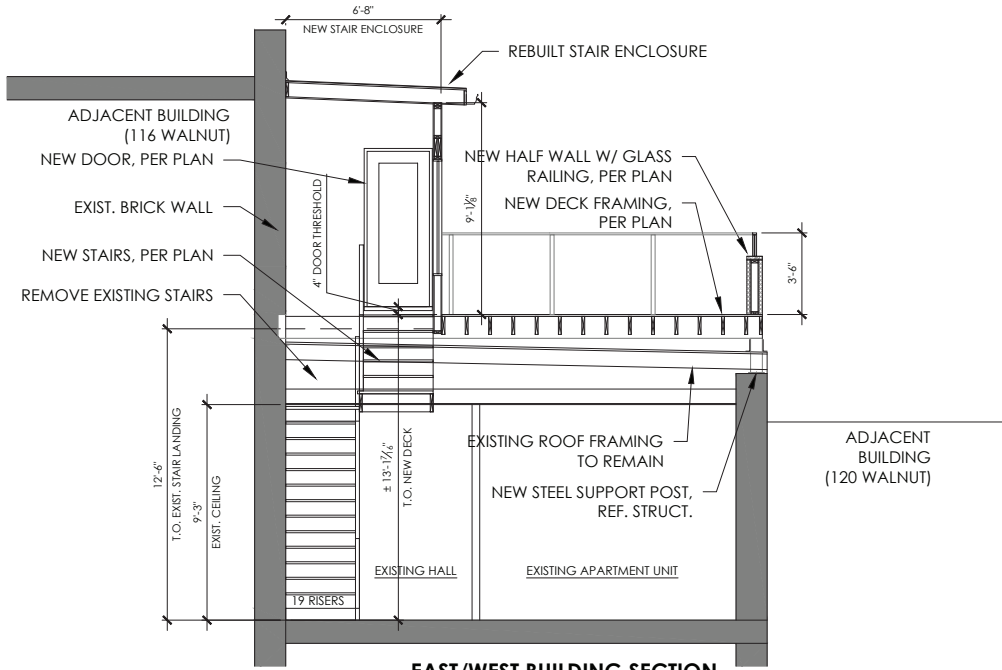
PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0" ↑



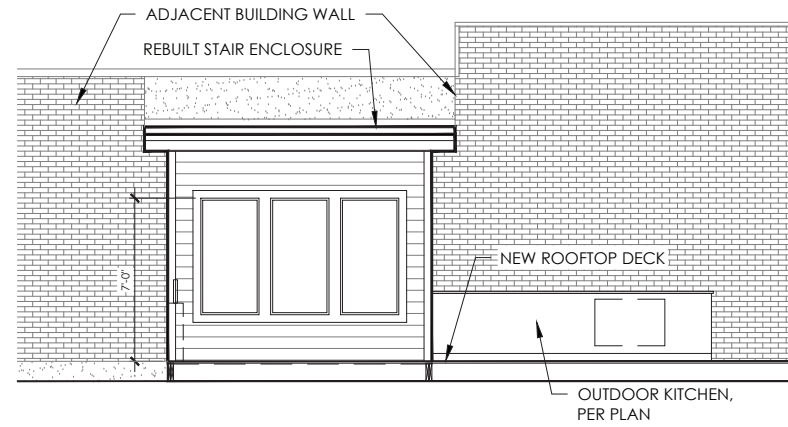
PROPOSED 3RD FLOOR PLAN
SCALE: 3/16" = 1'-0" ↑

118 N WALNUT ROOFTOP DECK

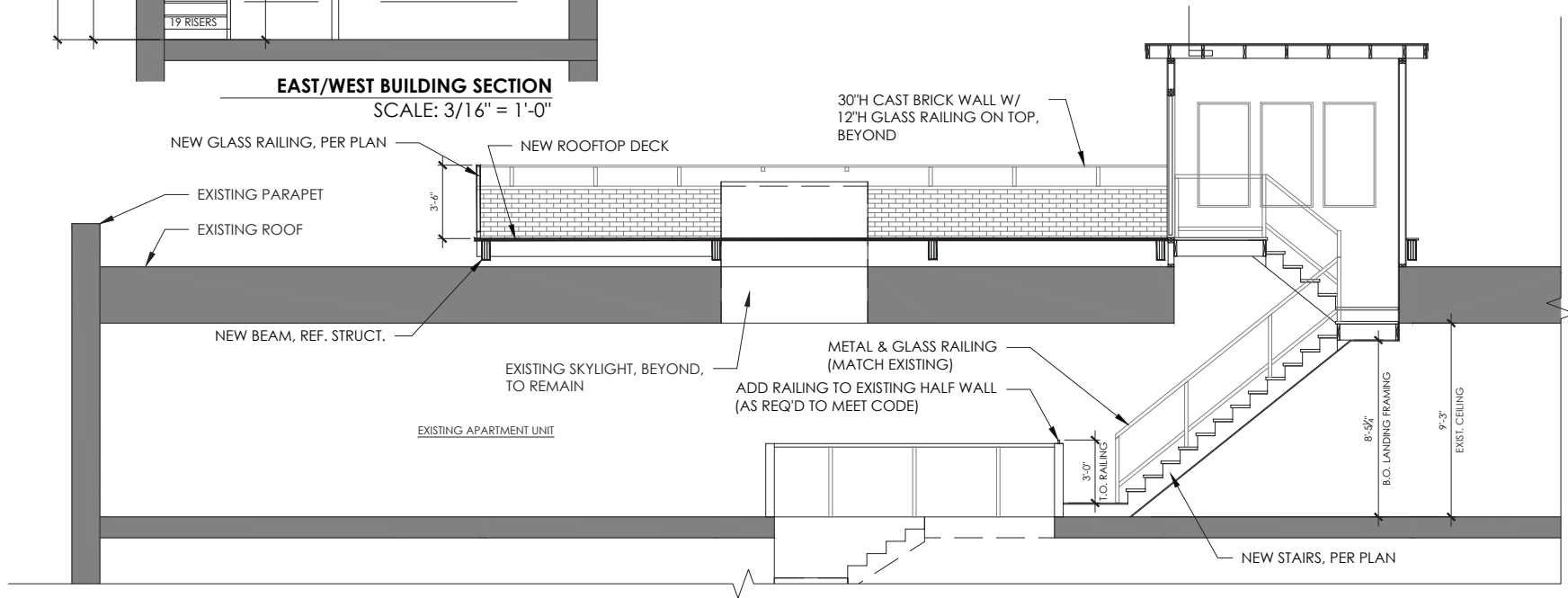
9.12.2023



EAST/WEST BUILDING SECTION
SCALE: 3/16" = 1'-0"



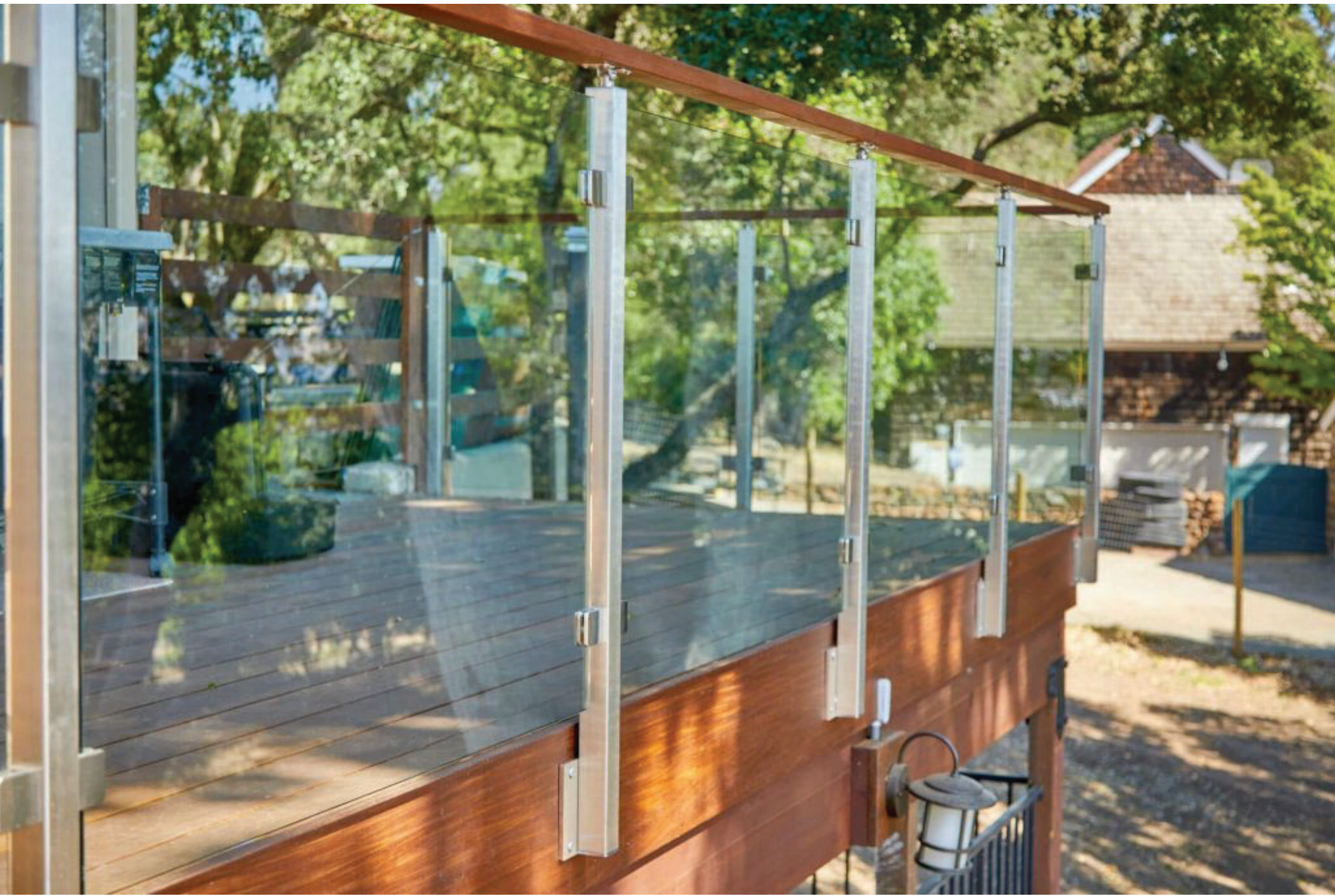
NORTH STAIR ENCLOSURE ELEVATION
SCALE: 3/16" = 1'-0"



NORTH/SOUTH BUILDING SECTION
SCALE: 3/16" = 1'-0"

118 N WALNUT ROOFTOP DECK

9.12.2023



STAFF RECOMMENDATIONS	Address: 313 W 17th St.
DD 23-10 313 W 17th St.	Petitioner: Caylan Evans
Start Date: 8/29/2023	Parcel: 53-05-33-204-077.000-005
RATING: CONTRIBUTING	Survey: c. 1930, Bungalow



Background: From the SHAARD RECORDS: "4/1 double hung windows with metal storms, 3/1 triple, double, and single, double hung wood windows with metal storms, 3 light square wood windows, glazed wood door with glazed metal storm, glazed wood door with screened wood storm.

Architectural Description:

Front porch at front door with gable front pedimented roof, wood frieze, wood columns, wood floor, concrete steps. Side porch on east side with shed roof, wood columns, railing, and floor."

Claralee Showers Black, was born in North Vernon, Jennings County, Indiana in 1940 and passed away in 2017. According to the 1950 census, Claralee was a white woman, daughter of Joseph and Bernice Alice Showers. She married Robert T Black, a white man who was born in Columbus, Indiana in 1939 and passed away in Bloomington in 1993.



Class of 1958 yearbook

"Claralee was the owner and operator of the Wig-Wam Boutique. She was a member of the Eastern Star in North Vernon and the Bloomington Elk's Lodge Ladies Auxiliary. She loved playing slot machines, working in her wig shop and helping cancer patients and their families ([Dignity Memorial Obituary](#) July 2017)."



Family photo ([Dignity Memorial Obituary](#) July 2017)

Request: Full Demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation Release the demolition delay DD 23-10

Staff was not able to find information about this property in the City books or Monroe County History Center archives. The building is from all appearances in relatively good condition and if possible could be moved from this location. However, on its own merits, and from the lack of findings, does not qualify for nomination under Title 8.08.101(e) Historic District Criteria.

IHSSI (County Survey)



Survey Number: 105-055-35985

Rating: Contributing

Historic Name: House

Year Dataset Compiled: 2014

National Register File
Number: -

Survey County

County	Legal Township(s)	Quad Name(s)
Monroe	Bloomington	Bloomington

Address: 313 17th St

City: Bloomington

Location Notes: -

Coordinates

Easting

Northing

540002

4336736

Common Name: -

Category: Building

Visible?:

Historic District?:

Historic District Name: -

Ownership: private

Use: Present

Residence:

Commercial:

Vacant:

Other:

Other:

Use: Past

Residence:

Commercial:

Vacant:

Other:

Other:

Surveys/Legal Protections

National Register:

State Register:

Hoosier Homestead:

National Historic Landmark:

Local Designation:

Protective Covenants:

Other:

Areas of Significance: ARCHITECTURE

Other Significance: -

Endangered: No

Explanation: -

Number of Contributing Resources: 1

Number of Non-contributing Resources: 0

Environment: Urban

Bibliography: -

Structure Type

Bridge:

Cemetery:

Other:

Time Period(s): c. 1930

Condition: Good

Year Demolished: -

Integrity: Slightly Altered
 Date Moved: -
 Alterations: -
 Style: -
 Type/Vernacular: Bungalow

Architect/Builder	Architectural Firm	Affiliation
-	-	-

Replacement

Windows: Roof:
 Other:

Additions

Siding: Wings:
 Other: Description: porch
 Removals: -

Stories

1: 1 1/2: 2: 2 1/2:
 Other:

Plan

Rectangular: Polygonal:
 L: T: X: U:
 Irregular: Other:

Depth

Single-Pile: Double-Pile:
 Irregular/Massed: Other:

Number of Bays: -

Foundation: LIMESTONE

Foundation Description: -

Walls Description: -

Other Walls: -

Roof

Side-Gable: Front-Gable: Cross-Gable:
 Hip: Pyramidal: Mansard:
 Other:

Material: ASPHALT

Features: exterior brick chimney, cornice returns

PorchesFront: Side: Back:

Notes: See #29.

Openings:

4/1 double hung windows with metal storms, 3/1 triple, double, and single, double hung wood windows with metal storms, 3 light square wood windows, glazed wood door with glazed metal storm, glazed wood door with screened wood storm.

Interior:

-

Outbuildings:

-

Notes: -

Statement of Significance: -**Architectural Description:**

Front porch at front door with gable front pedimented roof, wood frieze, wood columns, wood floor, concrete steps. Side porch on east side with shed roof, wood columns, railing, and floor.

Memo

To: Bloomington Historic Preservation Commission (BHPC)

From: Development Services, Planning and Transportation Department (P&T)

cc: Gloria Colom, Historic Preservation Program Manager

Date: September 22, 2023

Re: Proposed Near West Side Historic District Draft Guidelines

Thank you for sending the Draft Guidelines on September 18, 2023 for our review. While this was a short turnaround, we have been able to compile the comments below in order to keep the process on track. We will have a representative at your September 28, 2023 meeting and we look forward to discussing any questions or comments.

1. As we have discussed with other guidelines, some of the proposed guidelines are zoning code restrictions. Restrictions such as setbacks, “spacing”, building height, building height/side setback, and height of accessory structures are all items regulated by Title 20 of the Bloomington Municipal Code, the Unified Development Ordinance. While we understand that those items are related to the establishment of the context that is needed for Certificate of Appropriateness review, we recommend removing those, as they are governed by zoning law. In the current draft, there are a number of instances where the proposed guidelines will not meet UDO requirements.
2. The “Note” on page 30 should be removed.
3. We recommend altering references to zoning variances. The variance process has specific state-mandated criteria, and each site has to be reviewed against those criteria, not solely by whether or not BHPC support for alternative design is present. We do not want the public to be inadvertently misled that BHPC approval will necessitate Board of Zoning Appeals approval.
4. The Rogers & Kirkwood section should name the ‘residential-only’ districts, as that is a misnomer.
5. The ‘partial demolition’ definition in Title 8 references an old location in Title 20 and should be updated if it is going to be used in these guidelines.
6. The third bullet point on page 44 does not align with the definitions in Title 20. How will you track these changes, and P&T staff will be using Title 20 guidelines? We recommend that you align with Title 20.

We are excited to see the elevated neighborhood complete its Design Guidelines. Thank you for the opportunity to collaborate.

Near West Side Historic District Design Guidelines



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CREDITS

City of Bloomington Historic Preservation Commission in 2023:

Duncan Campbell, Ernesto Castaneda, Allison Chopra, Reynard Cross, Sam DeSollar, Karen Duffy, Kirsten Hawley, Elizabeth Mitchell, Marleen Newman, John Saunders, Daniel Schlegel, Matthew Seddon, Chris Sturbaum

Members of Bloomington City Council in 2019 when the Conservation District was created:

Allison Chopra, Dorothy Granger, Isabel Piedmont-Smith, David Rollo, Andy Ruff, Susan Sandburg, Jim Sims, Chris Stubaum, Steve Volan

Design Guidelines Revision Committee 2023:

Neighborhood Members: William Baus, Sandra Clothier, Olivia Dorfman, Peter Dorfman, Karen Duffy, Beth Ellis, Bob Grise, Barb Lund, Robert Meadows, Susan Valentine

Bloomington Historic Preservation Commission Members: Sam DeSollar

City of Bloomington Historic Preservation Program Manager: Gloria M. Colom Braña

FOREWORD

Citizens, developers, workers, and homeowners are interested in living and working in neighborhoods that are distinctive. There is abundant evidence that people are more likely to buy houses in distinctive neighborhoods, more likely to establish new businesses in distinctive neighborhoods, and more likely to work together with their neighbors on community projects in distinctive neighborhoods as well. Distinctiveness is an important amenity, and people are willing to contribute to the economic development of a distinctive city or neighborhood.

One of the things that makes a neighborhood distinctive is its history. The most obvious evidence of a neighborhood's history is the kinds of buildings and structures it contains. The objective of this set of Preservation Guidelines is to preserve the distinctiveness of the Near West Side neighborhood by preserving the architectural evidence of its history and to maintain its affordability. These guidelines regulate demolition, new construction, additions, moving of a structure, and major changes to the facade facing the public right of way except for alleys.

These design guidelines are intended to assist property owners in making informed decisions about their historic homes and properties. The underlying goal is to preserve the elements of the district that create its unique character but also to acknowledge the advantages of reuse, renovation, and repair.

In creating this book of design guidelines, the Committee consulted guidelines used by other neighborhoods in Bloomington, especially Maple Heights and Greater Prospect Hill, as well as neighborhoods and communities in other states.

In addition, the Committee drew on recommendations made by architects Marc Cornett and James Rosenbarger in their 2002 study, “The Plan for West Kirkwood,” prepared in collaboration with the City of Bloomington’s Planning Department, in developing guidelines specific to the major traffic arteries (West Kirkwood Avenue and Rogers Street) bordering the Near West Side.

The Near West Side Historic District Design Review Committee exists to 1) assist our neighbors through the review process, acting as a liaison when necessary to the Housing and Neighborhood Development (HAND) and Bloomington Historic Preservation Commission (BHPC) and providing neighborhood support on design issues; 2) recommend or comment (if necessary) on the homeowner’s design plans before they meet with the BHPC; and 3) help inform the neighborhood about these projects. The Design Review Committee cannot stop a project, only review and provide recommendations before the project goes to the BHPC, which has the authority to approve or deny the request. The neighborhood Design Review Committee is composed of a minimum of 5 members, with a quorum of fifty percent.

The Near West Side Historic District residents volunteer their service on the committee and serve at the discretion of the NWS Neighborhood Association Board of Directors. The Design Review Committee will review items that require BHPC approval [Demolition, New Construction, Additions, Moving of a Structure, and major changes to the facade(s) facing the street(s)]. Other items reviewed by HAND staff [minor changes to the facade(s) facing the street(s) or removal of original materials] do not require review by the Design Review Committee, unless either 1) in the case of denial by HAND, the homeowner wishes to appeal to BHPC – which triggers Design Review Committee review – or 2) HAND staff feel they need extra assistance from the BHPC, at which point either the homeowner or HAND can enlist the Design Review Committee before the “appeal” moves on to BHPC.

On December 04, 2019, the Near West Side became a Conservation District. On December 4, 2022 the Near West Side Conservation District was elevated to a Historic District. The guidelines have been revised to reflect the elevation.

History of the Historic District Designation

The Near West Side became a Historic District on December 4, 2022 but has been on the National Register of Historic Places since 1997. Over the years, the Near West Side Neighborhood Association had discussed applying for some form of local historic designation before formally beginning the process in 2018 with a series of community meetings.

In 2019, the Near West Side Historic Designation Committee (NWSHDC) was formed, consisting of a group of homeowners and landlords, all residents of the Near West Side neighborhood, who came together to explore what historic designation could mean for our Bloomington neighborhood.

The Historic Designation Committee members were: Olivia Dorfman and Karen Duffy, Co-chairs; Alan Balkema, William Baus, Tim Clougher, Peter Dorfman, Christine Lovelace, Frank Marshalek, Steve Mascari, and Lisa-Marie Napoli.

Our committee hosted a series of three informational public meetings in the first half of 2019. The

meeting topics were: Basics of Local Designation, The Historic Value of the Near West Side, and Summary/Open Discussion.

At the end of this series, we held a vote for property owners to indicate whether or not we should apply to the City for some form of local designation, and if so, for which district type (Conservation or Full Historic). Two-thirds of the responses received were in favor of submitting an application, and the majority of voters expressed a preference for a Conservation District.

Following this result, the Co-chairs of the committee prepared and submitted an application on behalf of the neighborhood to the City of Bloomington. The proposal was approved by the Common Council on December 4, 2019. After three years, as per Indiana state law, the City conducted a vote of property owners to determine whether the district would remain a Conservation District or elevate to a full Historic District. As a result of this vote, the neighborhood was elevated to a Historic District on December 4, 2022.

The Near West Side Historic District preserves a neighborhood of historic and architectural significance. It played an important role in the economic and social history of the city of Bloomington, particularly from 1890 to 1930. It contains Bloomington's largest collection of vernacular buildings including the Gabled Ell and Hall and Parlor forms. For more information, see **History and Significance**, page 11.

Purpose of the Design Guidelines

The purpose of the guidelines is to present concepts, alternatives, and approaches that will produce design solutions that recognize the characteristics of the Near West Side Historic District area and promote harmony between new and existing buildings. The guidelines are not meant to restrict creativity, but to set up a framework within which compatible design will occur. It should be noted that within an appropriate framework, different design solutions may be appropriate.

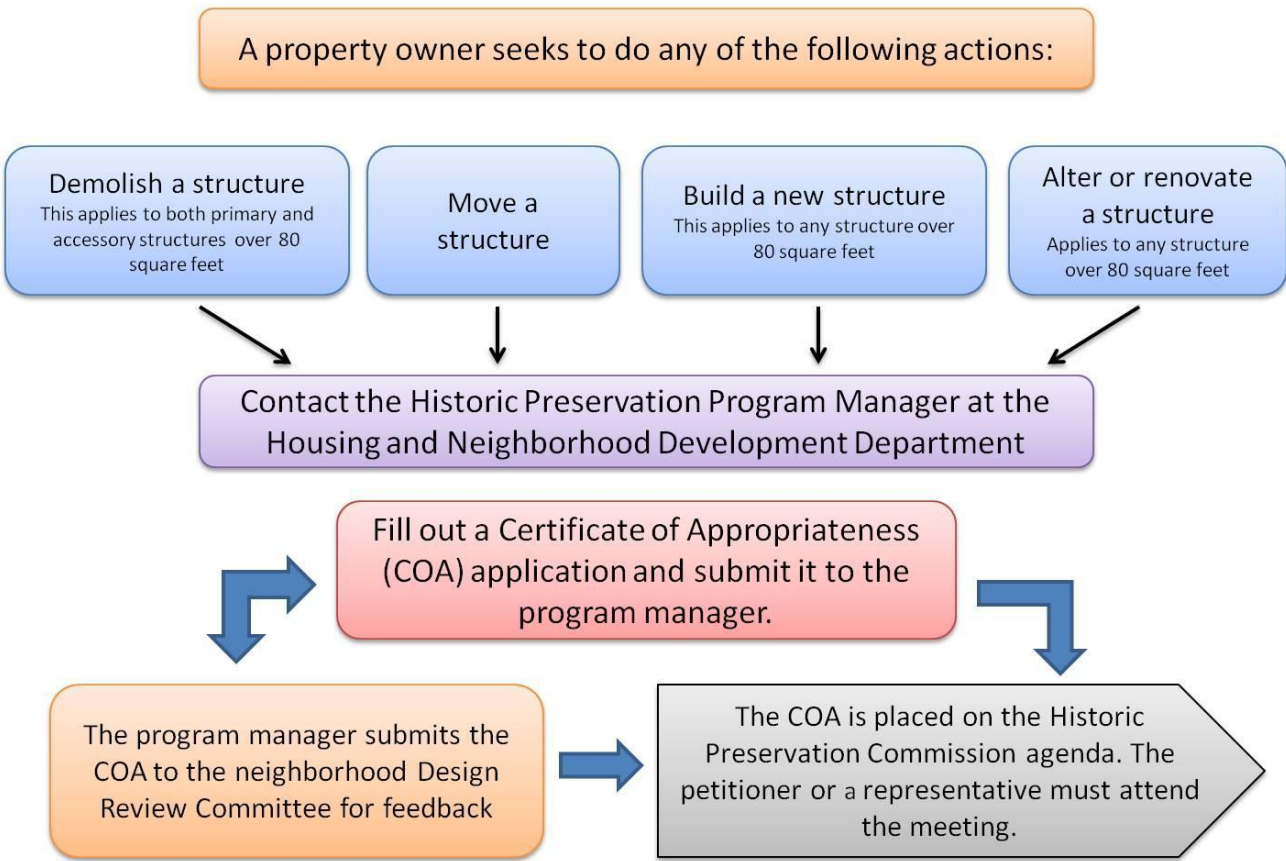
The Near West Side Neighborhood is an historic area unique to Bloomington and represents a specific period in the development of the city. New structures and changes to existing structures (alterations and additions) should be in harmony with the old, yet at the same time be distinguishable from the old, so the evolution of the historic area can be interpreted properly. Projects should clearly indicate, through their design and construction, the period of their integration within the district. They should also reflect the design trends and concepts of the period in which they were created and the technology, construction methods, and materials available at the time. However, precise imitation of "period" buildings in new construction is not appropriate in any historic area, because it dilutes the quality of the existing structures and will threaten the integrity of the district.

At the same time, newly designed buildings and major alterations should not detract from the character of the historic area. Form, scale, mass, and architectural details are all elements that allow classification of a particular building into type and/or style categories. The concentration of a certain style of building, and/or the mixture of types and styles, are the ingredients that give the area its quality. New construction must relate the elements of the new building to the characteristics of the historic district and its individual components.

Explanation of the Design Review Process

A Certificate of Appropriateness (COA) must be issued by the Commission before a permit is issued for, or work is begun on, any of the following:

- 1. The demolition of any building.
- 2. The moving of any building
- 3. Any new construction of a principal structure, or accessory structure larger than 80 square feet, facing the street(s), but not alleys.
- 4. Alterations to the facade of the structure facing the street(s), but not alleys.



Role of the Neighborhood Design Review Committee

While a COA application must be submitted to staff, the petitioner always has the option to first consult with the neighborhood design review committee. This group can be reached at nwsna.btown@gmail.com. The design review committee will provide feedback based on the district design guidelines and will advise the petitioner on the appropriateness of the project. It is important to note that while this is not a required first step, the design review committee will

always be consulted on the appropriateness of a proposed COA. This typically occurs after staff has received the COA application and written a report, but before the Historic Preservation Commission formally discusses the project. Staff will relay any feedback to the Commissioners during discussion of the item at the meeting, although design review committee members sometimes attend the meeting themselves to give their feedback. Please see the above flow chart for further clarification.

Boundary Description

The Near West Side Historic District roughly covers the area bounded on the north by the Indiana Railroad right-of-way and Rev. Ernest D. Butler Park; on the east by Rogers Street; on the south by Kirkwood Avenue; and on the west by Adams Street. The district boundaries were drawn to include the houses deemed of greatest architectural and historic significance. See the attached map for the exact boundaries.

LIST OF MAPS

Figure 1: Near West Side Neighborhood Association Boundaries

Figure 2: West Side National Register District Map

Near West Side Neighborhood Association Boundaries

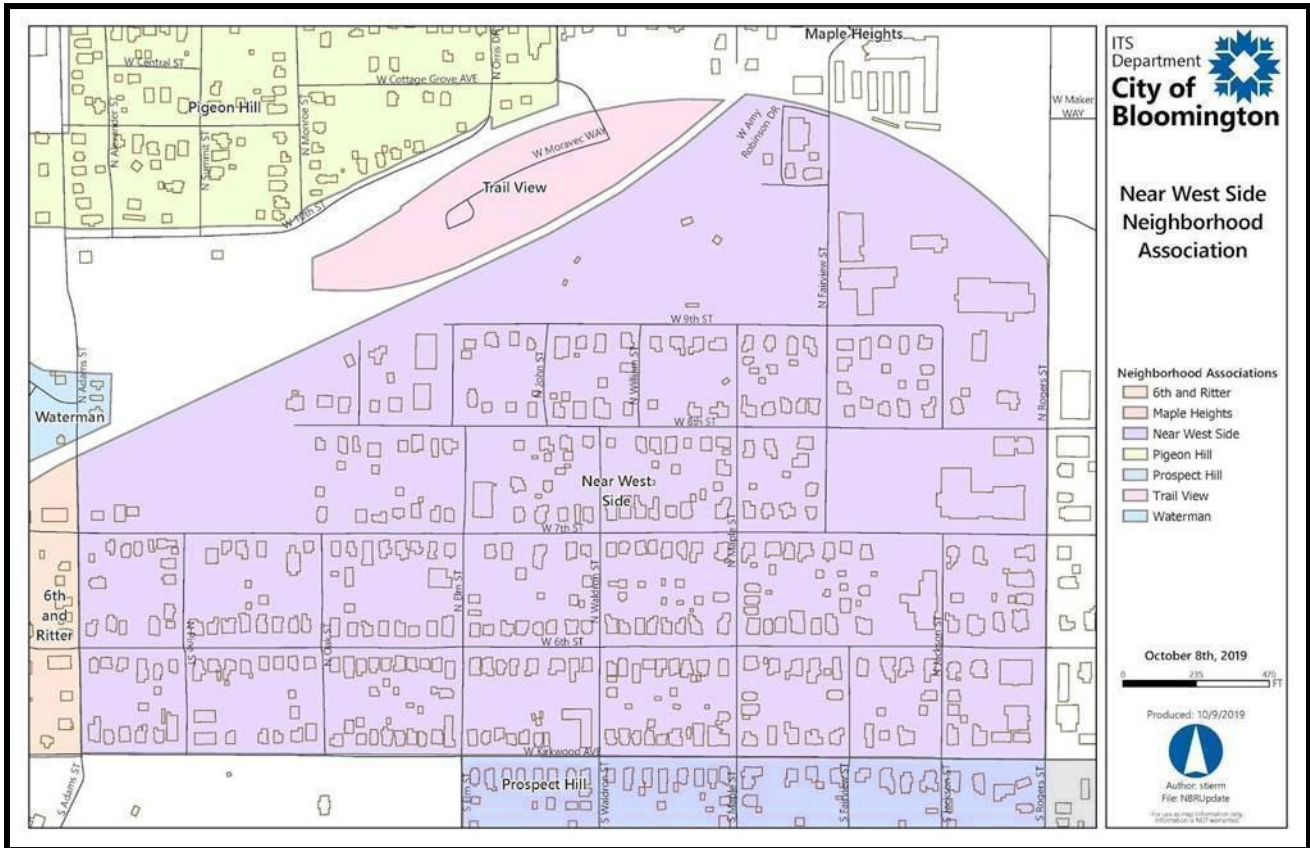


Fig. 1

Near West Side Historic District Map



Map Key





			
Non-Contributing	Contributing	Notable	Outstanding

Fig. 2

HISTORY AND SIGNIFICANCE

The properties that comprise the Near West Side Historic District represent the majority of the properties in the West Side National Register District—which has been on the National Register of Historic Places since 1997. While the West Side National Register District properties are both commercial, industrial and residential in nature, the Near West Side Historic District properties are primarily residential.

The neighborhood and its buildings hold historic and architectural significance summarized as follows:

Historic Significance

The Near West Side neighborhood played a significant role in both the economic development and the social history of the city of Bloomington. Its particular period of significance is 1890 to 1930.

The development of the neighborhood is part of the economic history of the community because it developed adjacent to and concurrent with the industrial and commercial resources in the area, sparked by the mid-nineteenth century arrival of the railroad and reaching its height with the national success of the Showers Brothers furniture company by the 1920s.

The growth of industry on the west side is directly linked to the growth of the Near West Side neighborhood from a quiet rural area (1850–1890) to a densely settled, bustling working class neighborhood (1890–1920). Bloomington’s economy was thriving at the turn of the century, and the Near West Side, because it was adjacent to the railroad, went through a period of rapid growth. Some of the industrial and commercial development included: Dolan Tierman Stave Factory, Field Glove, Bloomington Basket Company, Nurre Mirror Company, Central Oolitic Stone Saw Mill, and Hoadley Stone Company. While outside the boundaries of the Near West Side Historic District, a number of buildings from businesses of this period are still standing, including the Johnson’s Creamery (400 W. 7th Street, 1913), Bloomington Wholesale Foods Warehouse (300 W. 7th Street, 1920), Bloomington Frosted Foods (211 S. Rogers Street, 1927), and several auto-related businesses reflecting the beginning of the automobile’s popularity in the 1920s. These establishments both served the community and attracted more workers to the neighborhood, thereby expanding this diverse working class neighborhood and helping the city to grow.

Although many businesses were located in the area, the Showers Brothers Company would become the biggest driver of Bloomington’s development on its west side. In 1884, following a fire at its earlier site on the city’s east side, Showers relocated to Morton Street beside the railroad. The history of the Showers Company is an important part of the heritage of Bloomington, a fact reflected in the location of our City Hall offices in restored Showers factory buildings. With the factory’s relocation on Morton Street, Showers employees formerly living near the earlier east side site began a gradual migration across town, where they became the homebuilders and residents of the new Near West Side neighborhood.

The development of the Near West Side is part of the social history of the community because it was a racially diverse, working class neighborhood ever since it was platted in the late nineteenth century. The Showers company corporate culture was unusual for its time and employed women and African Americans as well as white men when other industries did not. The company afforded its employees good jobs with excellent benefits including worker's compensation, cultural events, and—most significantly for the development of housing on the Near West Side—home financing. Showers even established a bank “solely for the benefit of its employees.” This is reflected in the greatest period of the neighborhood's growth, from 1890 to 1925, which shows the direct relationship between the relocation of the Showers Factory in 1884 and the consequent migration of Blacks to the west side from other areas of ethnic settlement in Bloomington. Additionally, the establishment of other religious and civic buildings in the neighborhood such as the Banneker School and Bethel A.M.E. Church, utilized primarily by the Black community, are indicative of this migration and serve as important markers for understanding Black history in Bloomington.

Architectural Significance

The Near West Side presents a range of once common architectural styles that are now in serious danger of being lost through demolition or neglect. As Bloomington's largest collection of historic vernacular house types, the Near West Side includes multiple recognizable examples of shotgun, double pen, saddlebag, central passage, hall and parlor, and other traditional house forms that are becoming increasingly rare in Bloomington. The fact that this architecturally significant group of structures could easily succumb to development pressure in the future and be lost to history motivated neighborhood property owners to secure local historic designation as a distinct district in the city.

The platted subdivisions of the neighborhood are characterized by relatively narrow city streets, densely sited houses, and a network of alleys running both east and west, and north and south. Limestone retaining walls, brick sidewalks, and the mature trees that line the streets add much to the Near West Side's sense of place. The main thoroughfare, Kirkwood, retains its residential character with an increasing number of businesses in converted houses. The smaller homes that constitute the majority of housing stock in the Near West Side neighborhood represent historic forms and styles that provide a visual link back to the early twentieth century.

Most of the houses in the Near West Side were built in the years shortly before and after the turn of the twentieth century as working class housing. Before the advent of the railroad, the west side was sparsely settled, with gentleman farms and their associated grand houses, mostly of the I-house architectural type. Examples include the Cochran–Helton–Lindley House (504 N. Rogers Street, 1850), the Elias Abel House (317 N. Fairview, c. 1850)—both of which are locally designated historic properties—and the Hendrix House (726 W. 6th Street, c. 1875). Closer to the turn of the century, as the downtown area developed, several prosperous merchants built large Victorian homes in the Near West Side area, many with Queen Anne detailing. Examples include the Griffin House (621 W. 7th Street, c. 1890, and the Flanigan House (714 W. 7th Street, c. 1895), both located in the Fairview Historic District, which the Near West Side Historic District surrounds.

With the coming of the railroad and the subsequent industrialization of the area, the west side's open spaces were subdivided and platted into small lots to house the new working class residents

drawn to the neighborhood by the many suddenly available employment opportunities. Small single-story wood-frame houses soon became the majority in the neighborhood, and continue to characterize the neighborhood as it exists today. Built by and for the common working people of Bloomington, most of these houses are modest. These residences were built by local carpenters, and many homeowners assisted in the construction of their own homes.

The most distinctive architectural style of these workers' homes is the gabled ell, although pyramidal roof, foursquare, bungalow, and Victorian house forms are also common. Many of these homes have had few modifications over the years so original details abound such as decorative rafter tails and attic vents, limestone foundations and retaining walls, and late nineteenth century windows, doors, and porches. The neighborhood has remained relatively intact for the past century and still conveys the distinct architectural character from their period of construction.

TRADITIONAL HOUSE FORMS

The area included in the Near West Side Historic District displays housing forms and styles that were commonly constructed from the 1890s through the 1930s. These forms are not unique to the Near West Side but are illustrative of early working-class residential neighborhoods in Bloomington generally. It is the architectural fabric created by these many small houses which make this neighborhood distinctive and which we seek to protect through the guidelines.

The dominant styles of houses in the neighborhood are gabled ell cottages and pyramidal roof houses. However, there are also important, increasingly rare examples of older vernacular houses— notably, double pens, shotgun houses, hall and parlor houses, and I-houses—and numerous examples of bungalows and foursquares, both popular forms of their era. Many of these late nineteenth and early twentieth century structures are intact and maintain their historic integrity.

Sample Styles of Houses Found in the District

- Double Pen – among the earliest styles found in Monroe County
- Shotgun House – common between the mid 1800s and 1930
- Hall and Parlor – common between 1890 and 1920
- I-House – common in the mid to late 19th century
- Gabled Ell – common between 1890 and 1920
- Pyramidal Roof Cottage – common between 1900 and 1930
- T-plan Cottage – common between 1890 and 1910
- Bungalow – common between 1905 and 1939
- Foursquare – common between 1905 and 1930

Double Pen

Double pens are an early vernacular form that first appeared in rural areas. The house is side gabled and symmetrical from the front elevation. The front porch covers paired front doors that open to equal-sized rooms.

Shotgun House

A vernacular form, the shotgun house is visibly narrower than any other form. It is a single room wide and two to three rooms deep. The gables always face the street, and the small shed-roof porch stretches across the narrow front facade. As a result of their characteristically small width, shotgun houses have minimal mass.

These distinctive habitations originated in the Caribbean and diffused throughout the American South from their entry point, New Orleans. Their presence in Bloomington is evidence of Southern migration here in the late nineteenth and early twentieth centuries, particularly by African Americans.

Hall and Parlor

The hall and parlor is an older vernacular house-type that persisted into the early twentieth century. Rectangular in shape, it consists of two rooms, one large and the other small, placed side by side. A single front door opens into the large room—the hall—which serves as a multipurpose living space. The smaller parlor is more private, usually used for sleeping. The two-room form may be supplemented by front or rear porches or even small additions behind the basic floor plan.

I-House

Grand in style, I-houses generally feature gables to the sides and are at least two rooms in width, one room deep, and two full stories in height. They also often have a rear wing or ell for a kitchen or additional space. The facade of an I-house tends to be symmetrical, and they were constructed in a variety of materials, including logs, wood frame, brick, or stone.

Pre-dating the Near West Side's worker housing, I-houses reflect the area's original settlement pattern of rural estates owned by gentlemen farmers. The Cochran-Helton-Lindley House, built by James Cochran in 1850, is a fine example of the I-houses in the Near West Side.

Gabled Ell

The gabled ell form has a cross-gabled plan with a front porch stretched across the intersecting gables. The house is usually placed with the long side of the house parallel to the street. The entrance is double-sided with doors on each of the wings facing one another. The houses convey a horizontal plane much like a ranch, but shorter.

Pyramidal Roof Cottage

A variant of the gabled ell, the pyramidal roof cottage is common throughout the Near West Side. Although the plan of the house is similar to the gabled ell, the entire structure is covered by a hipped or pyramidal roof, so the massing and height are different. A pyramidal roof house is generally taller and appears more massive than the gabled ell, even when the lot coverage is similar. This form retains the facing front doors and the front porch, although sometimes the porch is recessed or cut-in beneath the principal roof.

T-plan Cottage

Another variant of the gabled ell, the T-plan cottage is essentially a gabled ell with a second side wing. The projecting front gable section of the house is centered between the two recessed, side gabled wings, each with its own porch and pair of doors.

Bungalow

The bungalow form is also a single story but can have living space on the second floor with dormer windows providing light. The front porches are large and comfortable and stretch entirely across

the front facade. They can be covered by a gable or a hipped roof. The roof shapes are simple and the houses are small and compact in scale compared with pyramidal roof cottages.

Foursquare

The foursquare house is typically two and one-half stories high, with four rooms on each of the main floors and a small attic above. It has a pyramidal roof that may be punctuated by dormer windows, and a large, covered front porch.

Notes on Photographs of Traditional House Forms:

Architectural Styles are from the IHSSI Interim Report, completed 2001/published 2004, and from the SHAARD Database, compiled 2014. Clarity, simplicity, and familiarity have guided the selection of style terms used here.

Estimated construction dates are from the IHSSI Interim Report and the SHAARD Database; in some cases, these were supplemented by research in historical records and oral histories. Generally, the sources agreed; when they varied, however, best judgment was used to arrive at the dates given here.

Unless otherwise noted, all photographs were taken by Karen Duffy in September 2019.

Examples of Traditional House Forms in the Near West Side

 <p>Double Pen: 513 W. 7th Street, c. 1900</p>	 <p>Shotgun House: 904 W. 7th Street, c. 1925</p>	 <p>Hall and Parlor: 418 N. Maple Street, c. 1915</p>
 <p>I-House: Old Boarding House (now Recovery Engagement Center; with side and rear additions clearly visible), 221 N. Rogers Street, c. 1850</p>	 <p>Gabled Ell: 1125 W. 7th Street, c. 1900</p>	 <p>Pyramidal Roof Cottage: 1101 W. 8th Street, c. 1905</p>
 <p>T-plan Cottage: 722 W. 8th Street, c. 1905</p>	 <p>Bungalow: 722 W. 6th Street, c. 1925</p>	 <p>Foursquare: 210 N. Elm Street, c. 1920</p>

GUIDELINES FOR ALTERATIONS, ADDITIONS, AND NEW CONSTRUCTION

PRINCIPAL STRUCTURE GUIDELINES

Definition: Principal structure means the primary or predominant structure on any lot or parcel. For residential parcels or lots, the principal structure is the primary dwelling.

Note: These Guidelines, per state law regarding historic preservation, apply equally to both contributing and non-contributing structures (principal or accessory) within the Historic District, for new construction, additions, renovations, moves or demolitions.

The following guidelines relate to the construction of any new principal building. They are enforceable by the Bloomington Historic Preservation Commission (BHPC) and are subject to its “Review and Approval” by application for a certificate of appropriateness.

SUBJECT TO REVIEW AND APPROVAL:

- All construction of principal buildings and accessory buildings larger than 80 square feet.
- Alterations or additions to building exteriors facing the street(s).
- Full or partial demolition of principal or accessory structures.
- Moving of principal or accessory structures.

Construction or alterations should be appropriately scaled to be compatible with the historic fabric of the district. Construction may incorporate traditional materials and features found on historic homes.

Construction or alterations should be somehow identifiable as being from their own period of construction, but should not be so different from the other buildings in the district that they detract or visually compete with them. **Compatibility is more important than differentiation.**

NOT SUBJECT TO REVIEW AND APPROVAL

- Paint colors on exteriors of principal or accessory structures.
- Maintenance
- Alterations to the interior of the building
- Replacement “in kind” (with like design and materials)
- Additions under 80 square feet
- Sidewalk maintenance

The following table is intended to clarify the level of review required in the Near West Side Historic District for various types of projects. Exceptions may be considered in individual cases by staff, commissioners or the neighborhood Design Review Committee. (Staff review generally will be done by the HAND Historic Preservation Program Manager.)

Item	No Review	Staff	HPC	Neighborhood
<i>Maintenance (repair)</i>				
Replacement with new but the same materials – wood, replace with wood, etc. no COA	X			
Replacement or addition of new type of material (replacing wood with plastic, for instance)		X	X*	X*
<i>Additions/Renovations/Moves/Demolitions</i>				
Additions, on the back of the building, less than 80 sq feet		X		
Accessory Structure less than 80 sq feet - build, move, demolish	X			
Demolition of any part of the building, including Non-Contributing structures			X	X
Moving any structure on the property			X	X
Siding - Maintenance	X			
Any substantial removal of original material and replacement with different material (see current guidelines)		X	X*	X*
Exterior paint color (Exception: No branded coloring/patterning/lettering including IU Cream and Crimson is recommended)	X			
Doors and Windows - Replacement with same size, configuration, and operation	X			
Doors and Windows replacement - changing size, configuration, and/or operation (see current guidelines).		X	X*	X*
Gutter replacement	X			
Installing a porch, deck or patio - front façade or street-facing side			X	X
Installing a porch, deck or patio - not on street-facing side		X		
Installing a porch, deck, or patio on back of building		X		
Replacement of the roof with new type of roofing material		X	X*	X*
Adding new sidewalk (may be mandated by the city)		X	X*	X*
Repair/replacement of sidewalk		X	X*	X*

Item	No Review	Staff	HPC	Neighborhood
Changing steps to house- change to configuration of steps			X	X
Changing steps to house- replacement with same material, shape and size	X			
Fencing, new		X		
Placement of temporary or removable structures such as sheds or playground equipment (staff review in front yard)		X		
Adding rooftop solar panels (generally OK)		X		
Adding ground level solar panels (in backyard, forbidden in front yard)			X	X
Removal of mature tree (street facing yards)		X	X*	X*
Exterior mechanicals or reception devices		X		
Paving materials		X		
Seasonal gardening fence	X			
Screening in a porch		X	X	X

* If deemed necessary by HAND staff.

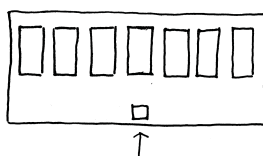
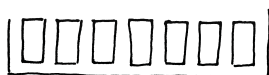
CONTEXT

Standards and guidelines serve as aids in designing new construction that reacts sensitively to the existing context. Therefore, the most important first step in designing new construction in any conservation district is to determine just what the context is.

Every site will possess a unique context. Context includes “Outstanding”, “Notable”, or “Contributing” buildings in the nearby area (often the surrounding block), the unique sub-area within the district, and the district as a whole.

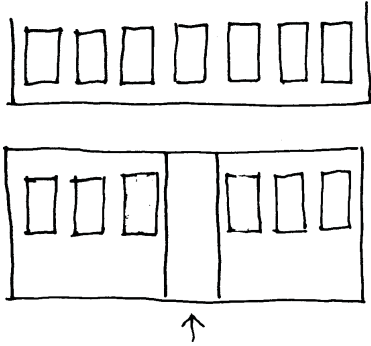
Generally, new construction will occur on sites that fall into the following categories. For each one described below, there is an indication of the context to which new construction must be primarily related.

1. DEVELOPED SITE. This is usually a site upon which there already exists a historic structure. New construction usually involves the construction of an accessory building such as a garage.



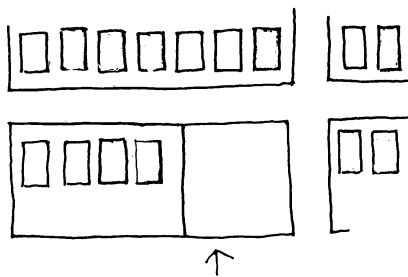
Context. New construction must use the existing historic building as its most important, perhaps only, context.

2. ISOLATED LOT. This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.



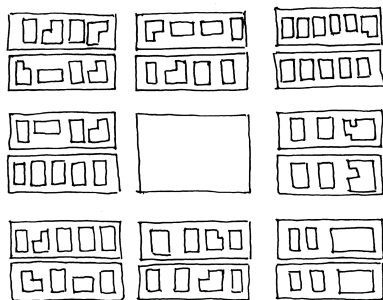
Context. The existing contributing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.

3. LARGE SITE. This is usually a combination of several vacant lots, often the result of previous demolition.



Context. Its surrounding context has been weakened by its very existence. However, context is still of primary concern. In such a case, a somewhat larger area than the immediate environment must also be looked to for context, especially if other vacant land exists in the immediate area.

4. REDEVELOPMENT SITE. This site may consist of four or more contiguous vacant lots. Often there is much vacant land surrounding the site.



Context. The context of adjacent buildings is often very weak or non-existent. In this case, the surrounding area provides the primary context to the extent that it exists. Beyond that, the entire historic area is the available context for determining character. This type of site often offers the greatest design flexibility. Where the strength of the context varies at different points around a site, new design should be responsive to the varying degrees of contextual influence.

SIDING MATERIALS

Definition: The protective material attached to the exterior side of a building wall.

SIDING RECOMMENDED

1. Clapboard, fiber cement board, wood, decorative wood shingles, or brick when there is another brick structure on the block.
2. When cement fiber siding such as Hardie board is used to simulate wood clapboard siding, it should reflect the directional and dimensional characteristics found historically in the neighborhood. Products imitating the “grain” of wood are discouraged.
3. Efforts to maintain original materials are encouraged.

NOT RECOMMENDED

1. Asphalt shingles for walls.
2. Vinyl siding.
3. Siding products that imitate the “grain” of wood.
4. Vertically-oriented siding.
5. Metal siding



Recommended: Cement board lap siding



Not Recommended: Vertically-oriented siding.

FOUNDATION

Definition: Part of a structural system that supports and anchors the superstructure of a building and transmits its loads directly to the earth. The foundation forms the base of a building.

Foundations in the Historic District consist primarily of limestone, although historic rock faced blocks are also found on some homes within the district. Most limestone foundations are hand cut, rather than sawn, and often consist of large blocks of stone, roughly hand cut to size; several have articulations, or are “dressed” by use of pecking or cobbling.

RECOMMENDED

1. Limestone
2. Split faced concrete block to mimic rusticated limestone
3. Ground face block (gray/tan)
4. Rock face block

NOT RECOMMENDED

1. Non-textured concrete block

ROOF MATERIAL

Definition: The material which makes up the outermost layer on the roof of a building.

For the primary structure, historically appropriate roof materials include asphalt composition shingle or metal roofing, such as standing seam metal. Some synthetic materials can be substituted for asphalt shingles. Other historical roof materials, such as clay tiles, may have long traditions of use but are uncharacteristic for the Near West Side. Roof colors are characteristically gray, brown, or tan. Muted green and red roofs are also found. Exceptions may be allowed for secondary structures or for small portions of the main structure not prominently visible.

RECOMMENDED

1. Asphalt shingle
2. Standing seam metal
3. Each roof material should be one color.

NOT RECOMMENDED

1. Concrete shingle
2. Corrugated metal
3. Southwestern clay tile
4. Bright primary colors

ROOF SHAPES

The following illustrations identify roof forms that are historically found in the neighborhood. The following are recommended for new construction and additions:



Cross Gable



Front Gable



Side Gable



Pyramidal



Complex

RECOMMENDED

1. The basic outline of a new building should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.
3. The outline of any new addition should be compatible with the outline and directional orientations of the existing building.

NOT RECOMMENDED

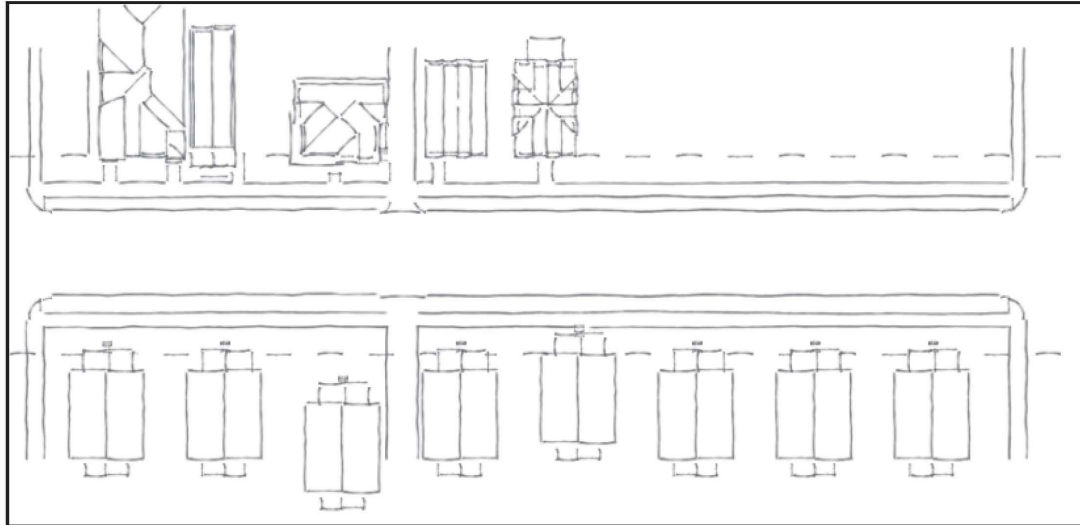
1. Roof shapes that create uncharacteristic shapes, slopes, and patterns.
2. Flat, shed, butterfly, gambrel, or mansard style roofs.

SETBACK

Definition: The distance a building is set back from a street, alley, or property line.

RECOMMENDED

1. A new building's setback should conform to the setback pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.
2. On corner sites, the setbacks from both streets must conform to the context.
3. Structures that are much closer to or further from the street than the vast majority of houses in a given block should not be used to determine appropriate setback.



✘
Building setback
is too far

✘
Not enough setback
from the street

NOT RECOMMENDED

1. Home is situated towards the rear of the lot with a substantial front setback.

ORIENTATION



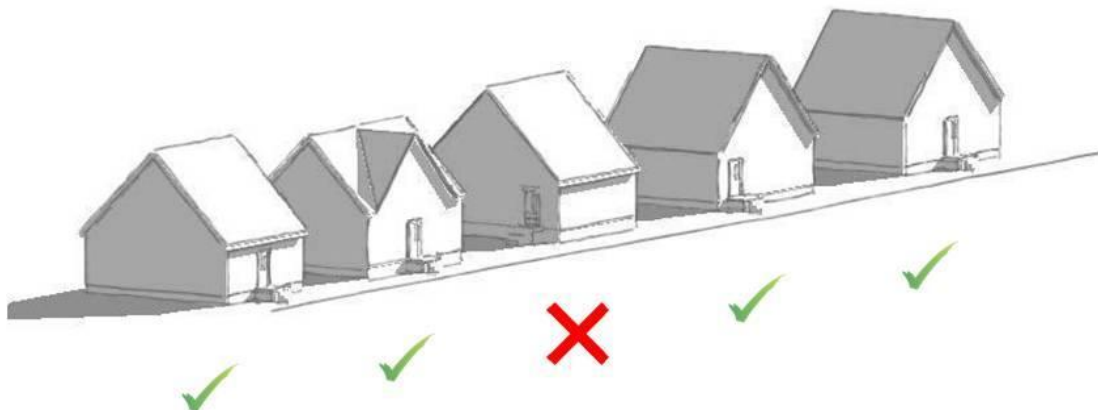
Definition: The direction that the front of a building faces.

RECOMMENDED

1. New buildings should be oriented toward the street in a way that is characteristic of surrounding buildings. (See Introduction for information about the traditional forms in the neighborhood.)

NOT RECOMMENDED

1. New buildings at angles to the street that are not characteristic within the building or neighborhood context.
2. Buildings or building groupings that turn away from the street and give the appearance that the street facade is not the front facade.



BUILDING ENTRY

Definition: The actual and visually perceived approach and entrance to a building.

RECOMMENDED

1. The front entry should face the street of its designated legal address. New buildings should reflect a similar sense of entry to that expressed by surrounding historic buildings.
2. Many of the early 20th century houses in the Near West Side have side facing doors that open onto the porches.
3. Accessibility for all new buildings is encouraged (see “Accessibility” guidelines for New Construction).

NOT RECOMMENDED

1. Entrances that are hidden, obscured, ambiguous, or missing from the street facing side.
2. Designing approaches to buildings that are uncharacteristic within the area.
3. Entrance to any residence (including an accessory dwelling unit) from an alley.
4. Creating a primary entrance to a commercial/public building that is not accessible for persons with disabilities.



Recommended: Two front doors that open onto the porch



Not Recommended: Entry door missing from street facing side.

FENCES/RETAINING WALLS

Definition: A fence is a structure that encloses an area, typically outdoors, and is usually constructed from posts that are connected by boards, wire, rails, or netting. A fence differs from a wall in not having a solid foundation along its whole length.

Front yard fences are not characteristic of the district because of the small front setbacks. Backyard and side yard fences are common and are usually made from wood in a vertically oriented design.

Original retaining walls, usually made from limestone, are found throughout the Near West Side and are a distinctive landscape feature that contributes to the district's historic character.

RECOMMENDED

1. Maintaining original limestone retaining walls
2. New retaining walls are limestone
3. Wood or wire fencing is appropriate
4. Front yard fencing 4' or lower in height
5. Picket fences
6. Vertical board privacy fence behind the front building wall

NOT RECOMMENDED:

1. Chain link fences in front of the front building wall
2. Plastic or vinyl fencing
3. Decorative wrought iron

PORCHES

Definition: A raised, usually unenclosed and roofed platform attached to one or more sides of a building and used primarily as a sitting area, outdoor living space, or covered access to a doorway.

Many houses in the Near West Side Historic District have a prominent front porch. Some porches wrap around one side of the house.

RECOMMENDED

1. Inclusion of a front porch is recommended.
2. Porch height should not exceed a single story.
3. Solid masonry foundation
4. Lattice or visual barrier below porch.
5. Columns and posts should be appropriately sized for the porch roof they are supporting and for the base on which they rest. Slender posts, with large roofs and massive bases, are

visually out of balance.

6. Columns and posts should be an appropriate type for the style of house. For example, turned or square posts. Note that square posts (which historically were handmade) may be especially suitable for the plain-style houses that abound in the neighborhood.
7. Enclosed porches are preferable in the rear of the home. If enclosing the front porch, use of screens rather than walls is encouraged.

Wood turned and square posts, both of which are recommended in the district.



NOT RECOMMENDED

1. Porch elements that use more than one architectural style.
2. Porch elements that differ from the architectural style of the principal structure.
3. Ornamental metal porch columns and railings.
4. Enclosed front porches.



Not Recommended: Porch is enclosed and limestone is used for siding on a wood frame structure originally clad with wood clapboards.

Not recommended: Using ornamental metal porch columns.

SPACING

Definition: Spacing refers to the side yard distances between buildings

RECOMMENDED

1. New construction that reflects and reinforces the spacing found in its block. It should maintain the perceived regularity or lack of regularity of spacing on the block.

NOT RECOMMENDED

1. The creation of large open spaces where none existed historically. Such spacing is uncharacteristic and establishes holes in the traditional pattern and rhythm of the street.

BUILDING HEIGHT

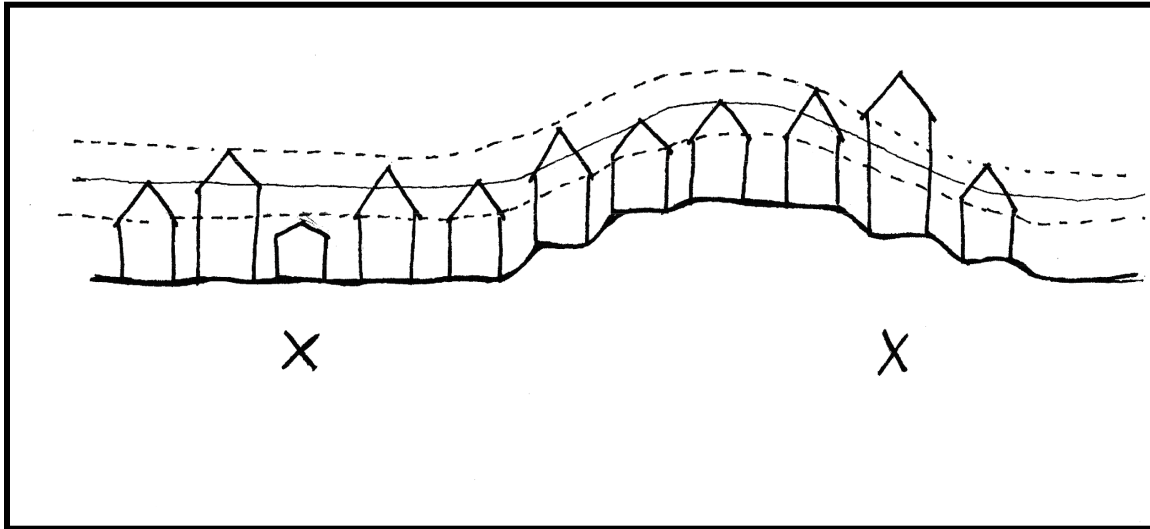
Definition: The actual height of buildings and their various components as measured from the ground at the foundation and from the grade of the sidewalk that the building faces.

NOTE: In areas governed by this plan, building height should be determined using these guidelines rather than those noted in the zoning ordinance.

1. A zoning variance may be required to accommodate an appropriate height.
2. Consideration should be given to historic structures that previously occupied the site.
3. Varied building heights may be appropriate depending upon the context of a particular area or zone.
 - a. 30 feet and two story height maximum.
 - b. New construction at the end of a block should take into account building heights on adjacent blocks.
 - c. Cornice heights, porch heights, and foundation heights in the same block face and opposing block face should be considered when designing new construction.
 - d. New construction at the end of a block should also take into account building heights on adjacent blocks.
 - e. If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed.
 - f. Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.
 - g. Foundation and floor line heights should be consistent with contiguous properties.

NOT RECOMMENDED

1. Any building height that appears either diminutive or overscale in relation to its context.



BUILDING HEIGHT/SIDE SETBACK

Definition: The relationship between the height of the house and the distance between houses.

RECOMMENDED

1. A new house of the same height as existing houses may be as close to them as they are to each other.
2. A new house that is taller than the house next to it must be set back further from the side property line than existing houses.

MASS

Definition: The three-dimensional outline of a building, including the perception of the general shape and form as well as size of a building. See the architectural description of traditional forms provided in the introduction for guidance. The overall massing of a building relates to the organization and relative size of the building sections or pieces of a building.

RECOMMENDED

1. The perceived total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

FOUNDATION/ FIRST FLOOR ELEVATION

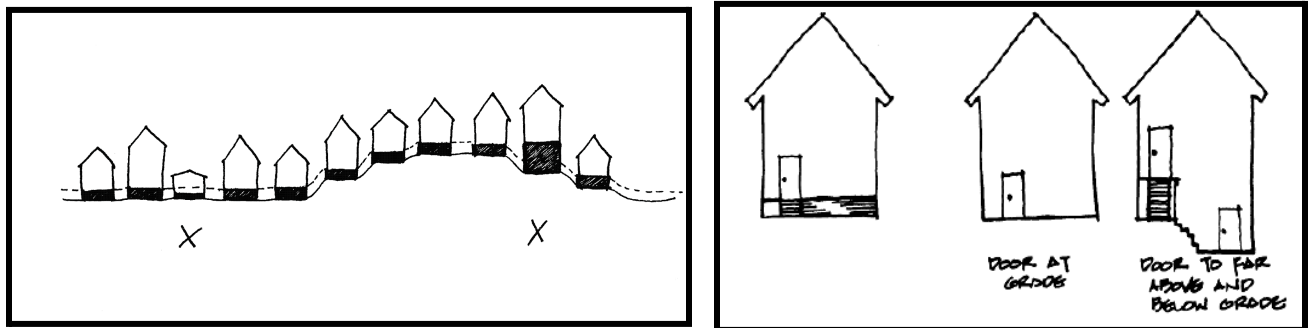
Definition: The supporting base upon which a building sits and the finished elevation of the living space.

RECOMMENDED

1. New construction first-floor elevation and foundation height should be consistent with contiguous buildings.

NOT RECOMMENDED

1. High, raised entrances if surrounding buildings are raised only two or three steps off the ground.
2. Designs that appear to hug the ground if surrounding buildings are raised on high foundations.



FENESTRATION

Definition: The arrangement, proportioning, and design of windows, doors, and openings.

RECOMMENDED

1. Creative ornamentation with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions and distribution of glass to solid found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.



NOT RECOMMENDED

1. Window openings that conflict with the proportions and directionality of those typically found on surrounding historic buildings.
2. Window pane configurations that conflict with those on surrounding buildings.
3. Certain window types such as casement, jalousie, or Palladian windows that are not traditionally found on surrounding historic buildings.

ACCESSIBILITY

The City of Bloomington recognizes the need to accommodate and include persons with disabilities to the greatest extent possible. With regards to historic areas, the goal is to facilitate universal access for all persons.

When designing new structures, the guidelines below should be considered.

RECOMMENDED

1. Building elements and site design intended to provide accessibility should be designed as integral parts of the building and/or site. This is best accomplished if such elements receive the same level of design consideration as all other elements of the building. Such elements should:
 - be integrated into the architectural design and expression of the building,
 - reflect the same attention to detail and finish as the rest of the building, and
 - be constructed of the same quality of materials as the rest of the building.

2. Innovative design is encouraged as a way to achieve accessibility in new construction. Accessibility may be a challenge when it conflicts with established, traditional design principles. An example is a street where all the historic houses and porches are many steps above ground level. However, new construction allows the ability to design from scratch using innovative methods to achieve visual compatibility with the surroundings and also provide practical, first-class accessibility.

NOT RECOMMENDED

Site development and building design for accessibility should not result in the appearance that accessibility is simply “accommodated” rather than consciously designed in an integrated manner. Such elements should not appear to be “after-thoughts.” To accomplish this, the following should be avoided:

- materials that are of poorer quality than those used elsewhere in the building,
- design that visually conflicts with the site and the building,
- accessible paths and entrances that are awkward, not readily usable, or add excessive travel time to use.

SUSTAINABILITY

Good preservation practice is often synonymous with sustainability. There are numerous treatments—traditional as well as new technological innovations—that may be used to upgrade a historic building to help it operate even more efficiently.

When designing new structures, the guidelines below should be considered.

RECOMMENDED

- Locate solar panels on the house roof at the same pitch as the existing roof. Position close to the roof surface and as inconspicuous as possible. Alternatively, place solar panels in the backyard or on the garage roof. Creative use and placement of alternative energy sources is encouraged.
- If necessary, install at elevations not significantly above the roof surface. Install so as to be as inconspicuous as possible while still functional.

ACCESSORY STRUCTURE GUIDELINES

Definition: An accessory structure is any structure occupying the lot that is secondary to the principal building on the lot.

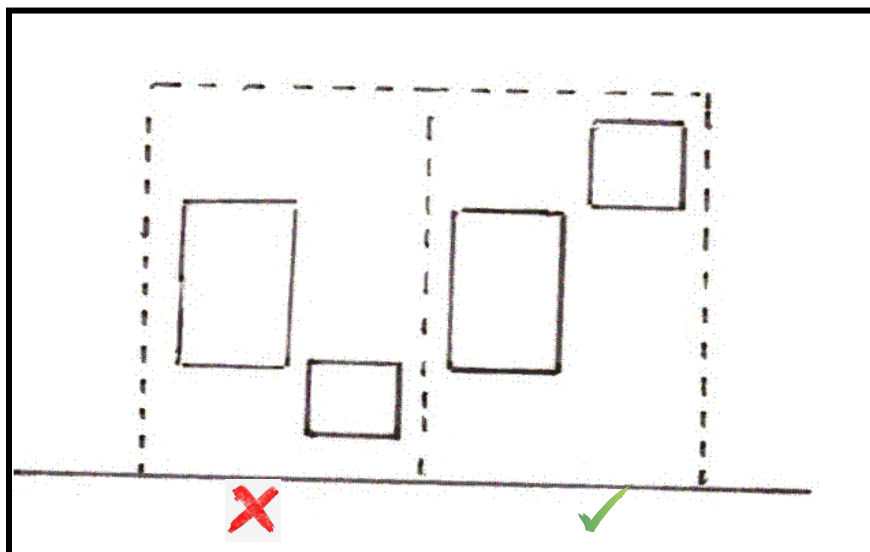
When designing a new accessory building such as a garage, accessory dwelling unit (ADU), or storage building, the context to which the designer must relate is usually defined by the principal structure on the site. For the most part, the guidelines pertaining to new construction of principal structures (see previous section) are applicable to accessory buildings as long as it is remembered that there is always a closer and more direct relationship with an existing building in this case. The following guidelines are specific to accessory buildings and are particularly important when undertaking such a project.

SUBJECT TO REVIEW AND APPROVAL:

- Construction of accessory buildings with an area **greater than 80 square feet** are subject to review and approval by the Bloomington Historic Preservation Commission (BHPC).
- Buildings 80 square feet or less and no taller than 10 feet do not need approval.

RECOMMENDED

1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.
2. The setback of a new accessory structure should relate to the setback pattern established by the existing accessory structures on the alley.
3. The scale, height, size, and mass of an accessory structure should be subordinate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.



OTHER ISSUES

UTILITIES AND EQUIPMENT

Definition: Any utilities that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as air-conditioning equipment).

RECOMMENDED

- Mechanical equipment, such as permanent air conditioning equipment and meters, should be placed in locations that have the least impact on the character of the structure and site and the neighboring buildings, generally not on a street-facing side of the house.

NOT RECOMMENDED

- Playground equipment, barbecue pits, and other yard entertainment equipment in the front yard.

PARKING

Definition: Locations for overnight storage of vehicles.

RECOMMENDED

1. Where possible, parking should be accessed by the existing alleys in the rear of the building.
2. Where alleys do not exist, then on-street parking is a legitimate alternative.

STYLE AND DESIGN

Definition: The creative and aesthetic expression of the designer.

RECOMMENDED

1. Surrounding buildings should be studied for their characteristic design elements. The relationship of those elements to the character of the area should then be assessed. Significant elements define compatibility.
2. Look for characteristic ways in which buildings are roofed, entered, divided into stories, and set on foundations. Look for character-defining elements such as chimneys, dormers, gables, overhanging eaves, and porches. These are described in the introduction.
3. A wide range of compatible styles is theoretically possible but styles that incorporate highly decorative and ornamental features are not recommended.

SPECIAL GUIDELINES FOR MAJOR ARTERIES (Rogers & Kirkwood)

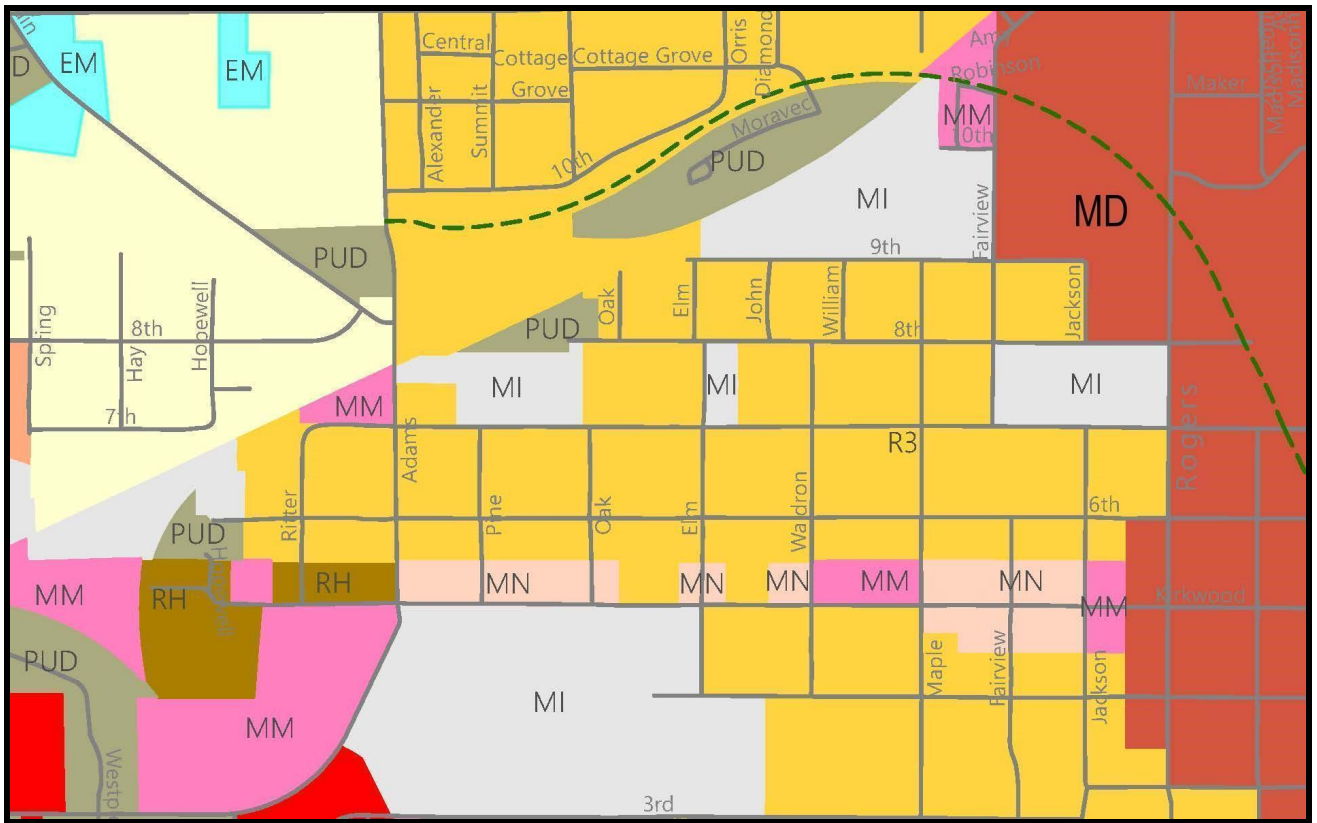
The Near West Side has major traffic arteries on its eastern and southern boundaries: Rogers Street and West Kirkwood Avenue, respectively. These streets impose conditions for owners, landlords, tenants, and business proprietors, different from those characteristic of the interior streets in the neighborhood. These conditions include:

- Higher-volume and faster-moving through traffic;
- Higher noise volumes, day and night; and
- The need to accommodate a different mix of allowable property uses, including various business uses, and the need to accommodate parking for those uses.

Most of the Near West Side Historic District consists of small, single-family detached houses on small lots, on a dense grid of narrow streets dating from the period from 1900 to the 1930s. In the 1990s it was zoned for single-family housing. The neighborhood also includes some duplex and triplex houses dating from the period before zoning, as well as a few multi-family residential buildings on its perimeter.

The portion of Rogers Street that abuts the neighborhood is a mix of residential and mixed-use structures, including the Salvation Army property (West Kirkwood to West 6th St.) and the properties north of West 9th St., as well as the Fairview School. Some of the neighborhood's existing multiplex residential houses are on the block between 6th and 7th Streets.

The southern boundary of the Historic District is West Kirkwood from Adams St. east to Rogers St. The street is zoned for mixed-use from Adams to a segment east of Pine St.; on both sides of the corner of Elm St.; on the west side of the corner at Waldron St.; and between Maple and Jackson Streets. West Kirkwood is zoned to allow "medium-scale" mixed uses between Waldron and Maple Streets and in the section between Jackson and Rogers Streets not occupied by the Salvation Army property.



For the purpose of these Guidelines, lots zoned for residential-only uses that are located on either Rogers or Kirkwood should follow the principles presented in the “Alterations, Additions and New Construction” section of this document.

The goal of these Guidelines for these zones is to accommodate non-residential uses not supported in the interior of the Historic District while maintaining a scale, pedestrian orientation, and architectural character consistent with the District’s preservation aims.

West Kirkwood features an eclectic mix of structures. The section from Adams Street to Pine Street is principally older, affordable rental housing, both single-family and multiplex, the latter mostly non-contributing structures. East of Pine, houses are mostly small, of various vernacular types, none predominating, and front setbacks are notably variable but narrower than on most of the neighborhood’s interior streets. Retail uses start at the corner of Oak Street heading east, including the Rose Hill Farm Stop (former Morrison’s Appliance) property (902 West Kirkwood). East of Maple Street, houses become larger and more ornate, and business uses frequently feature off-street parking behind the house.

The following guidelines are intended to outline exceptional considerations for properties in the MD-, MM, MN, or MI-zoned sections of the west side of Rogers Street and the north side of West Kirkwood Avenue, which are within the boundaries of the Near West Side Historic District. The Committee drew on recommendations made by architects Marc Cornett and James Rosenbarger in their 2002 study, “The Plan for West Kirkwood,” prepared in collaboration with the City of

Bloomington's Planning Department.

That study proposed, as goals for development, to “[p]rotect and enhance the West Kirkwood Corridor” through:

- Promoting compatible, traditional-style development that supports mixed uses, small business opportunity, and neighborhood coherence
- Balancing the preservation of a pedestrian friendly environment with the need to move traffic through the neighborhood
- Implementing targeted public infrastructure improvements that preserve the traditional neighborhood character of the corridor

The Committee has adopted these goals as appropriate for both West Kirkwood and Rogers.

Further priorities include:

- Emphasize reuse and restoration of existing historic structures.
- Protect valuable on-street parking.
- Preserve the quiet, lane-like alleys. Ban new curb cuts.

DEVELOPMENT OPPORTUNITIES WITHIN THE CORRIDORS:

The goal is to encourage new commercial and residential development in the forms of the traditional neighborhood patterns.

Both residential and non-industrial business uses are allowed on West Kirkwood and Rogers.

ALTERATIONS, ADDITIONS AND NEW CONSTRUCTION on KIRKWOOD & ROGERS

CONTEXT

Given the diversity of zoning, uses, and architecture in the West Kirkwood and Rogers corridors, the context to be used in evaluating the appropriateness of new projects should be narrower than in the interior of the neighborhood. New construction should be considered in the context of the immediately neighboring properties on the adjacent blocks on both sides and across the street.

RECOMMENDED

1. Draw context from the immediate block including structures across the street.

MATERIALS

RECOMMENDED

1. Use exterior building materials in character with surrounding structures in the immediate context.

NOT RECOMMENDED

1. Shiny metal, plastic, or laminate materials on exterior surfaces.
2. Logo or trademark exterior designs for franchise businesses, especially exteriors featuring primary colors or trademark lighted features (e.g., McDonalds arches).

SETBACK

RECOMMENDED

1. Narrower front setback than in the neighborhood's interior streets is allowed, in keeping with surrounding structures in the immediate context.

NOT RECOMMENDED

1. Setback out of context with adjacent structures.

SIGNAGE

RECOMMENDED

1. Wood or metal signage attached to building exteriors with exterior lighting.
2. Internally-lighted signage attached to building exteriors with exterior lighting but not covering more than 20% of the facade.

NOT RECOMMENDED

1. Freestanding signage occupying sidewalk space or within 10 feet of the sidewalk.

BUILDING ENTRY

All structures should have the main entry facing the street with the greatest traffic (West Kirkwood or Rogers).

BUILDING HEIGHTS

The maximum height of any new structure shall be 35 feet.

DIRECTIONAL ORIENTATION

The front facade of any new structure should be oriented parallel to the main street (West Kirkwood or Rogers).

FENESTRATION

Ground floor, street front fenestration associated with non-residential uses need not adhere to the fenestration guidelines on page 32.

ACCESSIBILITY

Any new residential construction should respect the Guidelines applicable to the interior of the District. Any nonresidential use along West Kirkwood or Rogers St. is likely to be regarded as a public accommodation and will be subject to the requirements mandated in the Americans With Disabilities Act (ADA).

As in the interior of the District, Building elements and site design intended to provide accessibility should be designed as integral parts of the building and/or site. This is best accomplished if such elements receive the same level of design consideration as all other elements of the building. Such elements should:

- be integrated into the architectural design and expression of the building,
- reflect the same attention to detail and finish as the rest of the building, and
- be constructed of the same quality of materials as the rest of the building.

SUSTAINABILITY

Sustainability guidelines are the same as in the interior of the District, regardless of whether the use is residential or business and regardless of the size of the structure.

UTILITIES AND EQUIPMENT

Electric meters, gas meters, solar panels, air conditioning condensers, and all other exterior utility equipment should be placed on the rear of the building or rooftop so that they are out of view from the public right of way.

PARKING

RECOMMENDED

1. Retain on-street parking where possible
2. Parking lots should be constructed in the rear of the lots and should be screened with fencing or landscaping.

NOT RECOMMENDED

1. Any new curb cut.
2. Demolition of buildings to create space for parking lots

GUIDELINES FOR MOVING BUILDINGS

The moving of a historic structure should only be done as a last resort to save a building. It may be considered when its move is necessary to accomplish development so critical to the neighborhood's revitalization that altering the historic context is justified. Moving a building strips it of a major source of its historic significance: its location and relationship to other buildings in the district. The existence of relocated buildings, especially in significant numbers, confuses the history of the district. The following guidelines are meant to assist in determining the appropriateness of moving a building.

SUBJECT TO REVIEW AND APPROVAL:

- Moving any building within the Historic District.
- Moving any building into or out of the Historic District.

The following guidelines are enforceable by the BHPC and are less comprehensive and less restrictive than for a Historic District.

RECOMMENDED

1. The building to be moved should be compatible with the contributing architecture surrounding its new site relative to style, scale, and era.
2. Small non-contributing storage buildings (under 200 square feet) in backyards may be moved without review. Contributing accessory buildings require review according to guidelines for compatible new construction.

GUIDELINES FOR DEMOLITION

A Certificate of Appropriateness must be issued by the Bloomington Historic Preservation Commission before a demolition permit is issued by other agencies of the city and work is begun on the demolition of any building in the Near West Side Historic District. This section explains the type of work considered in this plan to be demolition as well as the criteria to be used when reviewing applications for Certificates of Appropriateness that include demolition.

Definition: Demolition shall be defined as the complete or substantial removal of any historic structure which is located within a historic district. This specifically excludes partial demolition as defined by [Title 8 of the Bloomington Municipal Code “Historic Preservation and Protection.”](#)

SUBJECT TO REVIEW AND APPROVAL:

- Demolition of principal structures within the boundaries of the conservation district.
- Demolition of contributing accessory buildings.
- A significant alteration or removal of a portion of a structure which, according to staff, jeopardizes the structure's individual eligibility for listing in the National Register of Historic Places OR its status as a contributing structure in the local district. **Such removals may include, but are not limited to, items such as removing front porches, altering the window shape and size on facades that are seen from the street, removing historic trim from the front facade, and removing original retaining walls and other hardscape features.**

The following guidelines relate to the above actions and they are enforceable by the BHPC.

When considering a proposal for demolition, the BHPC shall consider the following criteria for demolition as guidelines for determining appropriate action. The BHPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter only if it finds one or more of the following:

1. The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.
2. The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition. A finding that the structure or property cannot be adapted to the specific use the applicant has applied for may or may not be acceptable as a rationale to approve demolition.
3. The structure is accidentally damaged by storm, fire, or flood. In this case, it may be rebuilt to its former configuration and materials without requiring a Certificate of Appropriateness if work is commenced within 6 months.
4. A Certificate of Appropriateness is required for the demolition of any building within the historic district including accessory structures and Non-Contributing buildings.

Demolition is discouraged when new construction is not intended for the lot.

All replacement of demolished properties should follow new construction guidelines. The BHPC may ask interested individuals or organizations for assistance in seeking an alternative to demolition. The process for this is described in Title 8.

In approving an application for demolition of a structure or property, the BHPC should evaluate separate site features that are of characteristic historical interest within the District, including historic retaining walls and limestone steps. The BHPC should recommend retention of these features notwithstanding an approval for demolition of the building.

PROCEDURES FOR REVISING THE HISTORIC DISTRICT DESIGN GUIDELINES

It may become necessary to revise sections of the Near West Side Historic District Design Guidelines within the context of the state enabling legislation. In this event:

1. Any resident of the Near West Side may propose a change to the Guidelines, by submitting it to the Board of the Near West Side Neighborhood Association (NWSNA). Upon consideration and agreement by the Design Review Committee of the NWSNA, the Committee will draft the change to the Guidelines language.
2. If a majority of the Board agrees to the change, it will be advertised through the NWSNA's traditional information methods: email, the NWSNA website, and the neighborhood's Facebook page.
3. After advertisement, the Board will conduct a vote on the change among the voting members of the NWSNA. Approval by a majority of members is required to ratify the change.
4. If ratified, the Board will submit the change to the Bloomington Historic Preservation Commission meeting for a public hearing and approval.

For more information and assistance call the Historic Preservation Program Manager in the City of Bloomington's Housing and Neighborhood Development office at **812-349-3507**.

A Certificate of Appropriateness application form is available to download at <https://bloomington.in.gov/neighborhoods/preservation/certificate-of-appropriateness>

GLOSSARY

accessibility: Measures taken to accommodate and include persons with disabilities to the greatest extent possible. In historic areas, the goal is to facilitate universal access for all persons.

accessory structure: Any structure occupying the lot that is secondary to the principal building on the lot.

alley: A public right-of-way owned by the city, typically providing rear access to parking or utility easements.

- **Improved alley:** A secondary public thoroughfare either paved or graveled.
- **Unimproved alley:** A city-owned alley that appears on plat maps but is unpaved/ungraveled.
- **Vacated alley:** An alley that is no longer owned by the city and that has been sold or given to private owners.

Bloomington Historic Preservation Commission (BHPC): Statutory commission charged with preservation of historic buildings, structures, sites and objects within the city limits.

building entry: The actual and visually perceived approach and entrance to a building.

building height/ side setback: The relationship between the height of the house and the distance between them*

building height: The actual height of buildings and their various components as measured from the ground at the foundation and from the grade of the sidewalk that the building faces*

building outline: The silhouette of a building as seen from the street.

clapboard: Narrow, horizontal wooden boards used as siding on wood frame buildings. Each board overlaps the one below it.

Certificate of Appropriateness (COA): An authorization by the Historic Preservation Commission to be attached to the building permit when work is done in historic and conservation districts.

column: A supporting pillar usually consisting of a round shaft, a capital and a base.

Conservation District: A district in which neighborhood and Historic Preservation Commission review is required for new construction, demolition, or relocation of a structure. A conservation district may elevate to a full historic district by the vote of its owners after three years.

context: The specific characteristics of the unique sub-area within the district, and the district as a whole, where a lot or structure is located, including the historic classifications of surrounding structures, mass, spacing, setbacks, etc.

Contributing (building classification): A “C” rating means the property is at least forty years old, but does not meet the criteria for an “O” or “N” rating. Such resources are important to the density or continuity of the area’s historic fabric. Contributing structures can be listed on the National Register only as part of a historic district.

cornice: A molded and projecting horizontal member that crowns an architectural composition, often marking the junction of the wall and the roof.

demolition: Complete or substantial removal of any structure.

developed site: A site upon which there already exists a historic structure.

dormer: A window set vertically in a structure projecting through a sloping roof*

eave: The lower projecting edge of a sloping roof.

elevation: A side, front, or rear view of a structure as in an architectural drawing. Or, the height above ground of the entry or first floor of a structure.

façade: External wall or “face” of a structure as seen from a given angle such as street, front, rear, etc.

- **Primary façade:** An exterior wall facing a primary street, frequently including the main entrance to a building and its most elaborate structural features.
- **Secondary façade:** A building side of lesser importance that can face either a secondary street or an alley.

fence: A structure that encloses an area, typically outdoors, and is usually constructed from posts that are connected by boards, wire, rails, or netting. A fence differs from a wall in not having a solid foundation along its whole length.

fenestration: The arrangement, proportioning, and design of windows, doors and openings.

foundation: Part of a structural system that supports and anchors the superstructure of a building and transmits its loads directly to the earth. The foundation forms the base of a building.

front yard: The yard facing the street corresponding to the postal address of the lot.

gable: The vertical triangular end of a building from cornice or eaves to ridge.

glazing: Setting glass, as in a window (e.g., double-glazing indicates windows with two layers of glass). Or, the pattern or arrangement of glass in a window.

Indiana Historic Sites and Structures Inventory: A continually updated list of properties that are deemed architecturally or historically significant to the community.

in-kind: Using exactly matching materials in the repair of a feature.

isolated lot: A single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.

large site: A combination of several vacant lots, often the result of previous demolition.

local Historic District: A single site or group of resources that requires design review and approval for all exterior changes including demolition.

major arteries: Broad, heavily trafficked streets on the periphery of the historic district, distinguished by high traffic volume and faster traffic flow, higher noise levels and the need to accommodate a different mix of allowable property uses, including various business uses, and the need to accommodate parking for those uses.

mass: Three dimensional outline of a building.

materials: Building products identified by their functional, visual, structural, and performance characteristics on a building

muntins: Wood, metal or other elements that separate and hold panes of glass in a window.

National Register of Historic Places: A nationwide compilation of buildings with historic and/or architectural value. It does not provide protection against demolition or design changes, unless the changes are funded with federal money.

Non-contributing (building classification): Property rated “NC” is not included in an inventory unless it is located within the boundaries of a historic district. Such properties may be less than fifty years old, or they may be older structures that have been altered in such a way that they have lost their historic character, or they may be otherwise incompatible with their historic surroundings. These properties are not eligible for the National Register.

Notable (building classification): A rating of “N” means that the property does not merit the outstanding rating, but it is still above average in its importance. A notable structure may be eligible for the National Register.

orientation: The direction the front of a building faces; generally this will correspond with the façade including the principal entrance, although there are older structures that are exceptions.

original materials: The material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

Outstanding (building classification): The “O” rating means that the property has sufficient historic or architectural significance that it is already listed, or is eligible for individual listing, in the National Register of Historic Places. Outstanding resources can be of local, state, or national importance.

parking: Locations for overnight storage of vehicles.

platted: Arranged according to a plan or mapping for proposed construction of a development or neighborhood.

porch: A raised, usually unenclosed and roofed platform attached to one or more sides of a building and used primarily as a sitting area, outdoor living space, or covered access to a doorway.

preservation: The taking of measures to maintain the form, integrity, and materials of a building structure or site in its existing condition.

principal structure: The primary or predominant structure on any lot or parcel. For residential parcels or lots, the principal structure is the primary dwelling.

public way façade: The side of the house that faces the street on which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façade.

rafter tails: Exposed ends of roof rafters, often with decorative embellishments, a common period feature of Near West Side houses.

recommended: A preferred course of action or design decision; for the purpose of the historic preservation mission of a historic district, an alternative deemed consistent with the language and intention of these Neighborhood Guidelines.

rehabilitation: Returning a property to a former state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural, and cultural values. This emphasizes the removal of materials that detract from the overall character of the building or neighborhood.

repair: Restoring a feature or an object to its original character using like or substantially similar materials.

replacement in kind: Repairs that do not visibly change the materials or appearance of a historic building or site.

restoration: Accurately recovering the form and details of a property and its setting as they appeared at a particular period of time through the removal of later work or by the replacement of missing earlier work.

retaining wall: A wall constructed on a slope to hold back earth.

roof material: The material which makes up the outermost layer on the roof of a building.

setback: The distance a building is set back from a street, alley, or property line; the minimum allowable distance from a property line at which a building must be constructed (according to current city code).

should: Direction that a particular action is to be taken with the understanding that there may be valid reasons in particular circumstances to take a different course of action.

siding material: The protective material attached to the exterior side of a building wall.

spacing: The distance between contiguous buildings along a block face.

State Register of Historic Places: A compilation of historic buildings recognized by the state of Indiana. It does not provide protection against changes or demolition unless accomplished with state funds.

style and design: The creative and aesthetic expression of the designer

sustainability: Treatments—traditional as well as new technological innovations—that may be used to upgrade a historic building to help it operate energy-efficiently and consistently with environmental impact goals.

utilities/equipment: Any mechanical or functional equipment that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as an air-conditioning unit).

vernacular: In architecture, local or regional construction, using traditional materials and resources from the area where the building is located, often built without the involvement of a professional architect.

Visible from the public right-of-way: Typically a designation for a historic district to identify exterior alterations to a house are subject to review, by the neighborhood Design Review Committee or the Historic Preservation Commission. In the Near West Side, the standard is alteration to a street-facing façade.



September 18, 2023

John Saunders
Chair
Bloomington Historic Preservation
401 N Morton St, Suite 130
Bloomington, IN 47404

Re: Crestmont Bike Pod Installation Project at Crestmont Community, Bloomington, Monroe County, Indiana using a CDBG Physical Improvement Grant

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Crestmont Community is a fully developed neighborhood located along and between N Lindbergh Dr., W 15th St, N Illinois St, 12th St., 13th St., N Summit St., and N Monroe ST. in Bloomington, Monroe County, Indiana. CDBG funds are being proposed for the installation of bike pods, accessibility ramps, and other physical improvements to the site that involve ground breaking ground in front and behind many of the existing structures. The project will have an impact on grading and underground utilities will be impacted throughout the site. The engineering plans have been attached for your convenience.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

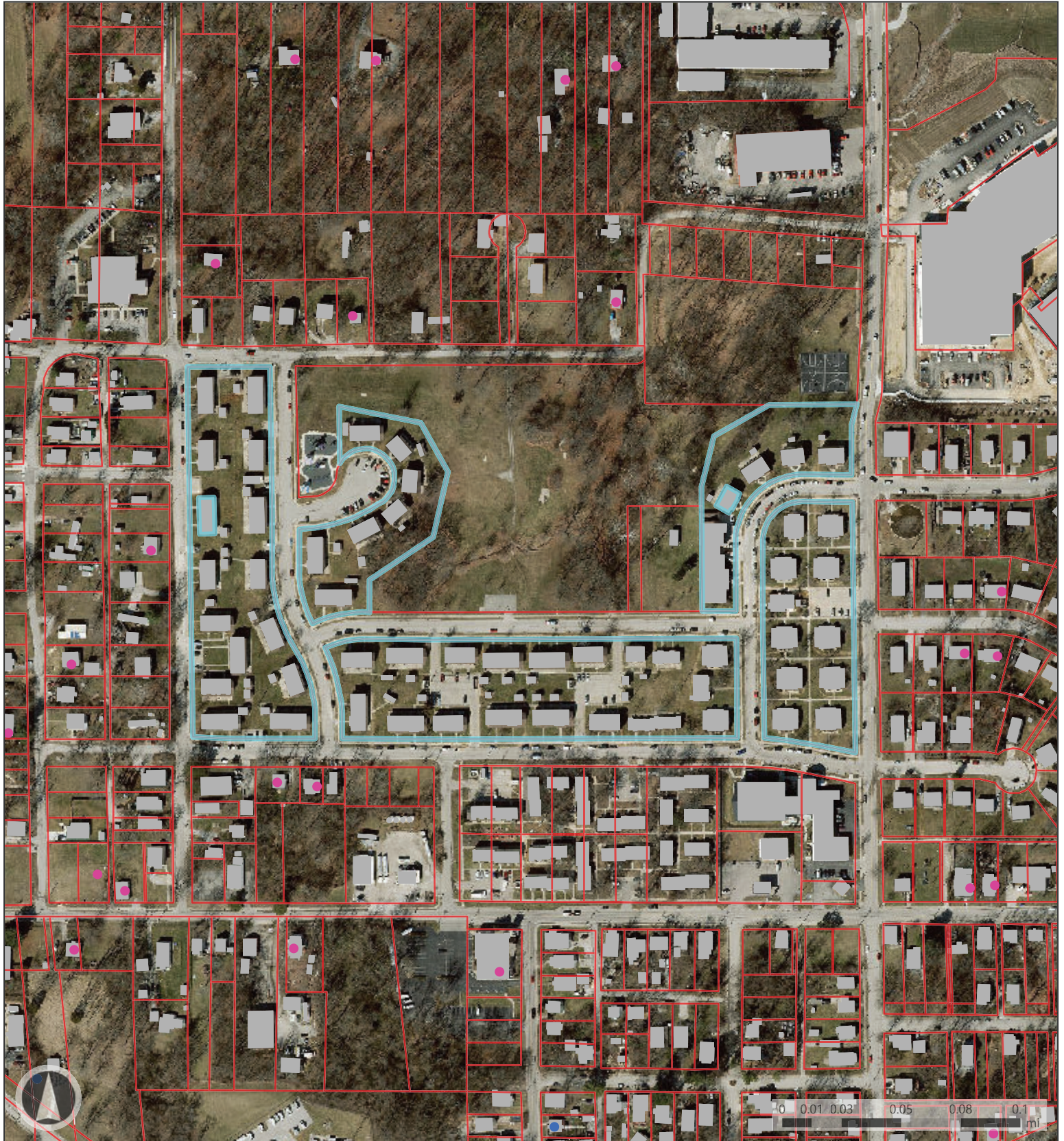
Sincerely,



Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

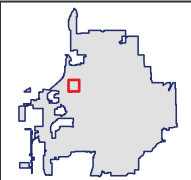
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources,
Indiana

Attachments



Map Legend

- Contributing
- Non-Contributing
- ▭ Monroe County Parcels
- ▭ Building Areas





Crestmont Community (1007 N Summit St., Bloomington, IN)

Photo 1

Site Visit September 5, 2023

12th street facing west





Crestmont Community (1007 N Summit St., Bloomington, IN)

Photo 2

Site Visit September 5, 2023

12th street facing north





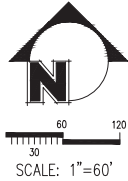
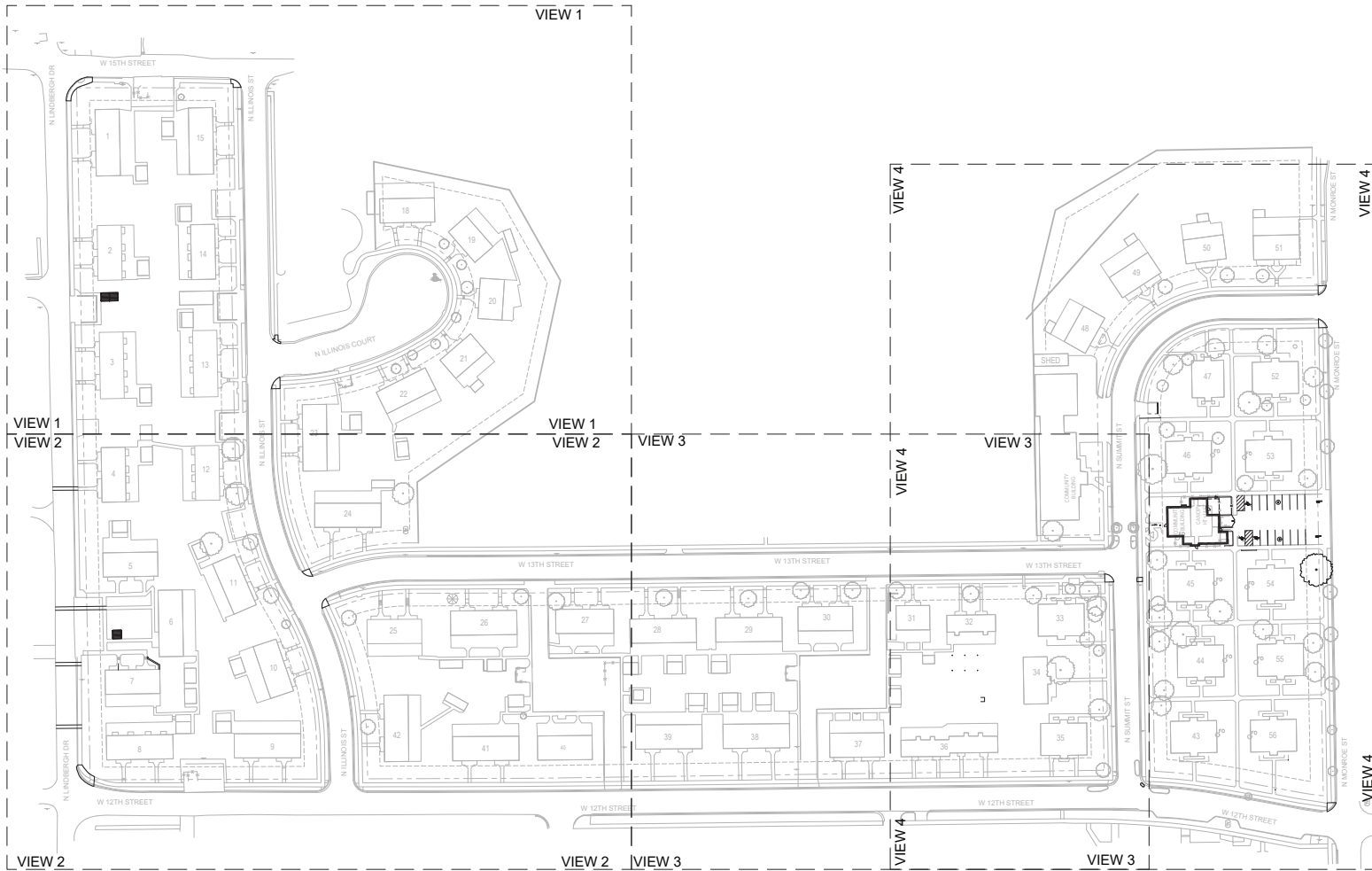
Crestmont Community (1007 N Summit St., Bloomington, IN)
Photo 3
Site Visit September 5, 2023
12th street facing south



Crestmont Community (1007 N Summit St., Bloomington, IN)
Photo 4
Site Visit September 5, 2023
12th street facing north



Crestmont Community (1007 N Summit St., Bloomington, IN)
Photo 5
Site Visit September 5, 2023
13th street facing east



CRESTMONT COMMUNITY
 BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE

REVISIONS	BY	DATE

6107
 SHEET
2 OF 46
 DATE: 10/21/2022
 KEY MAP

GENERAL NOTES

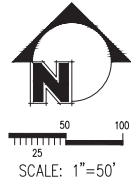
1. SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
2. CONTRACTOR SHALL CONTACT WITH CITY PLANNING AND TRANSPORTATION ENGINEERING AND CITY OF BLOOMINGTON UTILITIES FOR PRE CONSTRUCTION MEETING TO COORDINATE CONSTRUCTION SCHEDULES AND MAINTENANCE OF TRAFFIC.
3. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
4. TOP OF CANTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RIM ELEVATION
INLETS: GUTTER ELEVATION

DEMOLITION NOTES

1. ALL SIDEWALKS TO BE REMOVED TO THE NEAREST CONSTRUCTION JOINT.
2. CALL IN UTILITY LOCATES AT LEAST 7 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM THE LOCATION OF THE EXISTING UTILITIES PRIOR TO DIGGING.
3. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITY, CONTRACTOR SHALL COORDINATE AN ON-SITE MEETING WITH CITY PLANNING, ENGINEERING AND GUL TO REVIEW SCOPE OF WORK, ABANDONMENT, AND/OR REMOVAL OF PRIVATE UTILITIES WITH RESPECTIVE UTILITY SERVICE PROVIDER.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DISCONNECTION, RELOCATION, ABANDONMENT, AND/OR REMOVAL OF PRIVATE UTILITIES WITH RESPECTIVE UTILITY SERVICE PROVIDER.
5. ANY SIGNS WITHIN THE RIGHT-OF-WAY REQUIRING REMOVAL TO EXECUTE THE WORK SHALL BE REMOVED, STORED AND RE-SET UP UPON COMPLETION OF CONSTRUCTION.
6. USE OF THE PUBLIC ROW REQUIRES PRIOR APPROVAL FROM CITY BWP. APPROVAL SHALL BE COORDINATED BY THE CONTRACTOR.
7. WORK WITHIN THE ROW REQUIRES A CITY ROW ELEVATION PERMIT AND BOND. APPROVAL AND BOND SHALL BE COORDINATED BY THE CONTRACTOR.
8. FOR PUBLIC ROADS, SIDEWALK CLOSURE SIGNS IS REQUIRED AT THE NEAREST STREET CROSSING LOCATION IN ADVANCE OF THE SIDEWALK CLOSURE. PLAN AND APPROVAL SHALL BE COORDINATED BY THE CONTRACTOR.
9. BURNING OF DEMOLITION MATERIALS ON SITE IS NOT PERMITTED. ALL MATERIAL REMOVED SHALL BE PROPERLY DISPOSED OFF-SITE AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS IN AN APPROVED LANDFILL.
10. TRACKING ONTO PUBLIC ROADWAYS IS NOT PERMITTED HOWEVER, IF TRACKING OF MATERIAL ONTO ADJACENT PUBLIC ROADWAYS OCCURS, TRACKED MATERIAL SHALL BE CLEANED ONLY IMPROVED RESULTS IN A CHANGE OF PLAN ARE DISCOVERED, CONTACT ENGINEER IF ADDITIONAL IMPROVEMENTS ARE REQUIRED.
11. CLEAR EXISTING SIGNS AND UNDERGROUND UTILITIES.
12. PROTECT ALL UTILITIES NOT CALLED OUT TO BE REMOVED.
13. ANY DISCREPANCIES IN THE DEMOLITION PLAN SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO ANY PROCEEDING WITH DEMOLITION ACTIVITIES.

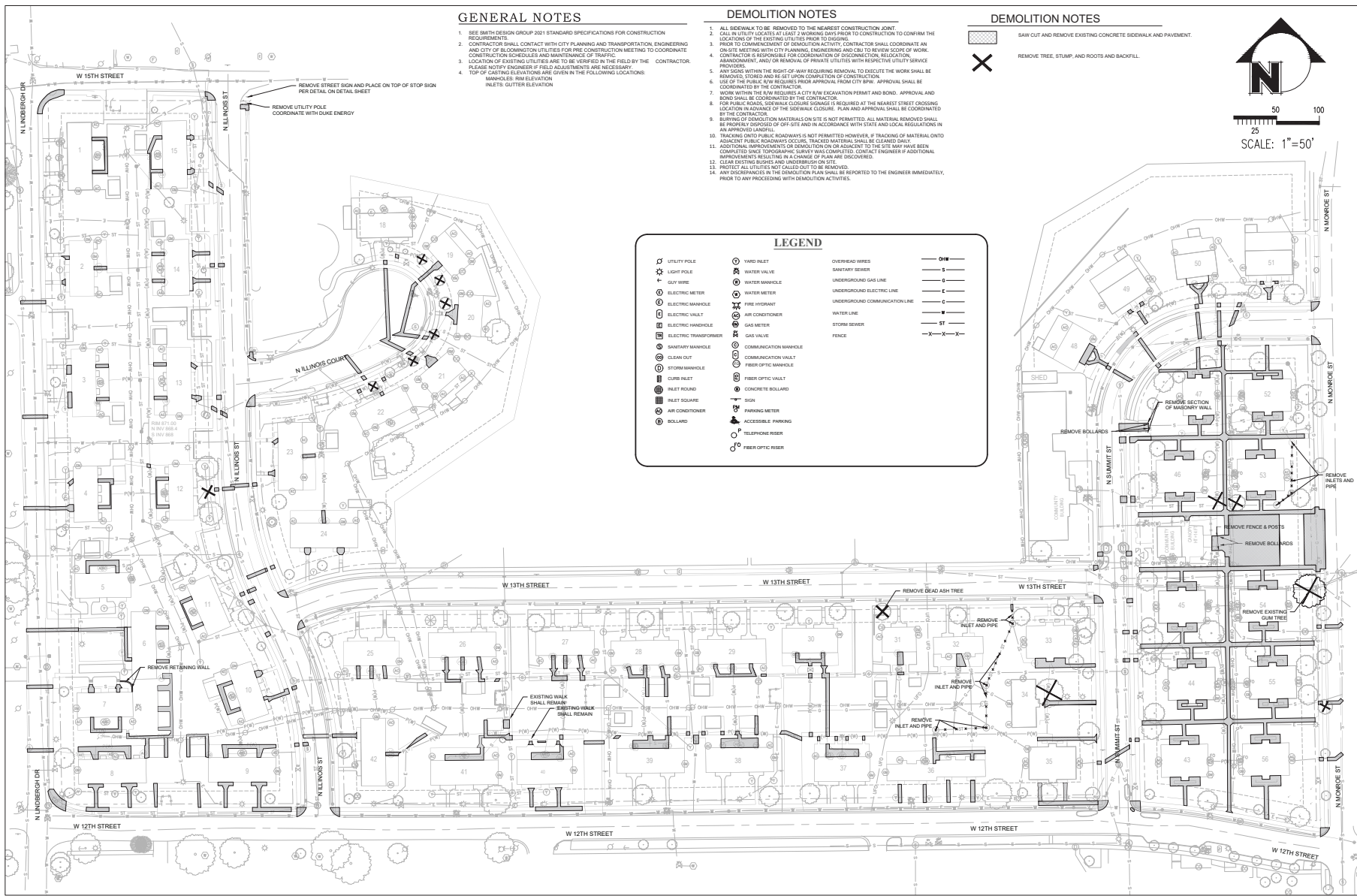
DEMOLITION NOTES

- SAW CUT AND REMOVE EXISTING CONCRETE SIDEWALK AND PAVEMENT.
- REMOVE TREE, STUMP, AND ROOTS AND BACKFILL.



LEGEND

⊙ UTILITY POLE	○ VARD INLET	— OVERHEAD WIRES	— OHW
⊙ LIGHT POLE	⊙ WATER VALVE	— SANITARY SEWER	— S
⊙ GUY WIRE	⊙ WATER MANDREL	— UNDERGROUND GAS LINE	— G
⊙ ELECTRIC METER	⊙ WATER METER	— UNDERGROUND ELECTRIC LINE	— E
⊙ ELECTRIC MANHOLE	⊙ FIRE HYDRANT	— UNDERGROUND COMMUNICATION LINE	— C
⊙ ELECTRIC VAULT	⊙ AIR CONDITIONER	— WATER LINE	— W
⊙ ELECTRIC MANHOLE	⊙ GAS METER	— STORM SEWER	— ST
⊙ ELECTRIC TRANSFORMER	⊙ GAS VALVE	— FENCE	— X-X-X
⊙ SANITARY MANHOLE	⊙ COMMUNICATION MANHOLE		
⊙ CLEAN OUT	⊙ COMMUNICATION VAULT		
⊙ STORM MANHOLE	⊙ FIBER OPTIC MANHOLE		
⊙ CURB INLET	⊙ FIBER OPTIC VAULT		
⊙ INLET ROAD	⊙ CONCRETE BOLLARD		
⊙ INLET SQUARE	⊙ SIGN		
⊙ AIR CONDITIONER	⊙ PARKING METER		
	⊙ ACCESSIBLE PARKING		
	⊙ TELEPHONE RISER		
	⊙ FIBER OPTIC RISER		



02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE
FOR THE RECORD ONLY	DK	4-23-22
ADDED SECTION FOR COMMUNITY BUILDING WORK	DK	1-26-22
ADDED SECTION FOR COMMUNITY BUILDING PARKING	DK	5-23-22
STORMWATER BUILDING SIDEWALK REVISIONS	DK	5-23-22
COMMUNITY BUILDING DRAINAGE AND GRADING REVISIONS	DK	5-23-22

DESIGNED BY: **KES**
CHECKED BY: **WJW**
DATE: **10/21/2022**

SHEET NO: **6107**
3 OF 46

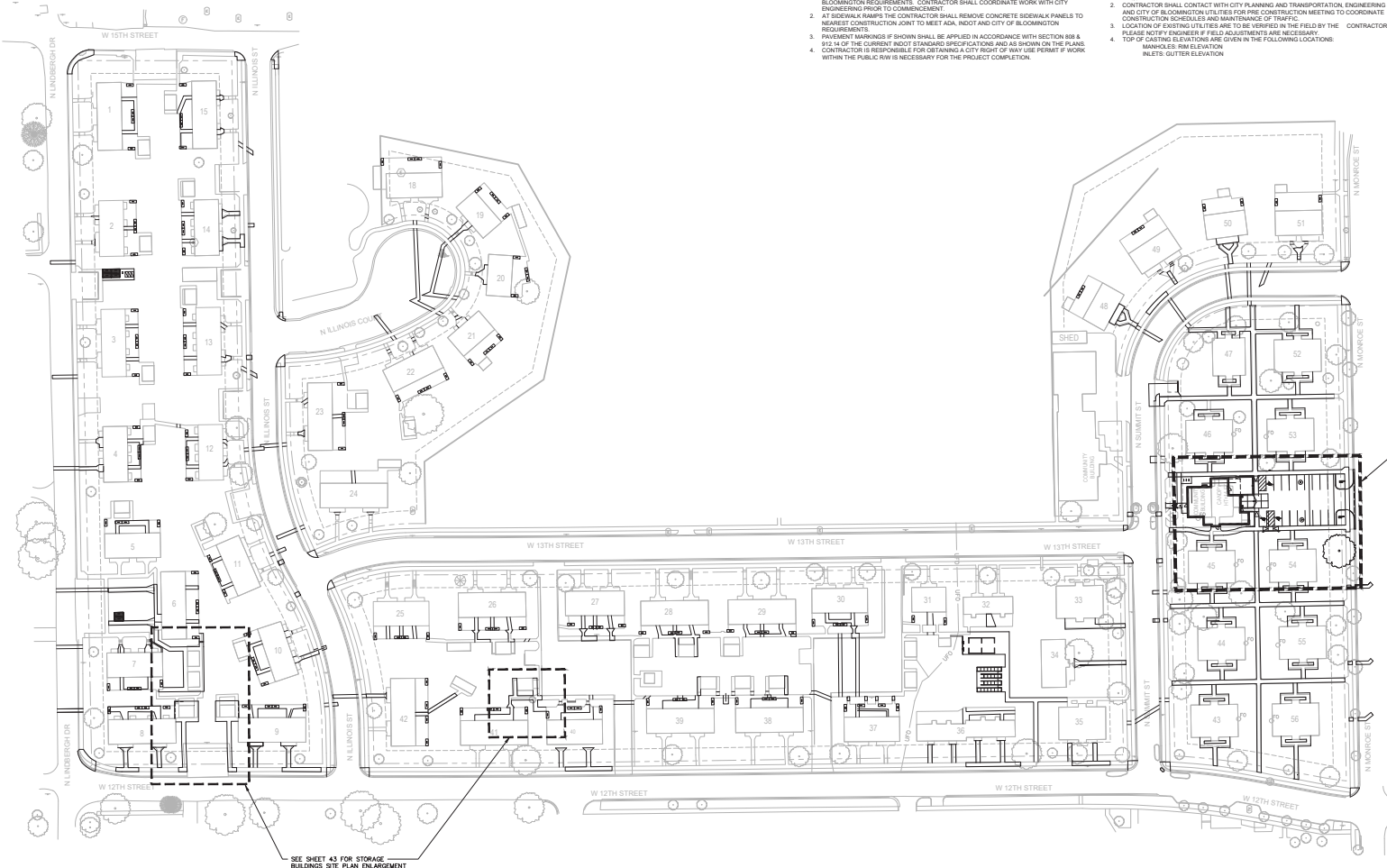
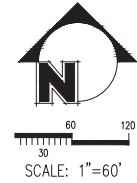
PROJECT: **DEMOLITION PLAN**

SITE PLAN NOTES

1. SIDEWALK RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
2. AT SIDEWALK RAMPS THE CONTRACTOR SHALL REMOVE CONCRETE SIDEWALK PANELS TO NEAREST CONSTRUCTION JOINT TO MEET ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS.
3. PAVEMENT MARKINGS IF SHOWN SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 912.14 OF THE CURRENT INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY RIGHT OF WAY USE PERMIT IF WORK WITHIN THE PUBLIC RW IS NECESSARY FOR THE PROJECT COMPLETION.

GENERAL NOTES

1. SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
2. CONTRACTOR SHALL CONTACT WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND CITY OF BLOOMINGTON UTILITIES FOR PRE CONSTRUCTION MEETING TO COORDINATE CONSTRUCTION SCHEDULED AND MAINTENANCE OF TRAFFIC.
3. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
4. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLE: RM ELEVATION
INLETS: GUTTER ELEVATION



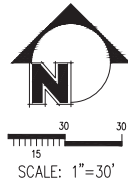
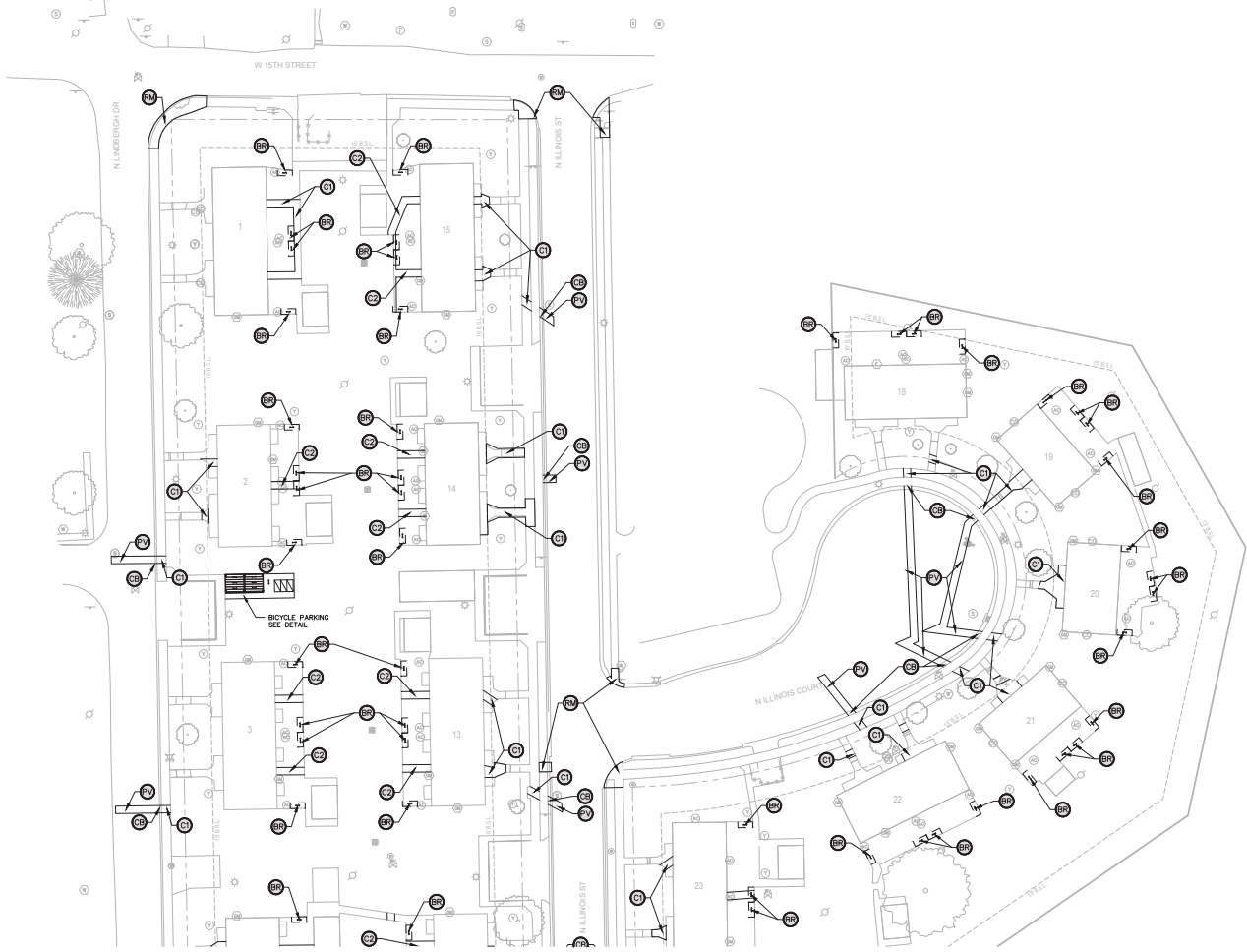
02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE
CREATED PER PLANS	DK	9-22-21
ADDED COMMUNITY BUILDING ENLARGEMENT CALLOUT	DK	9-22-21
STORAGE BUILDINGS REDRAWN PER REVISIONS	DK	9-22-21
COMMUNITY BUILDING DRAWING AND OPENING REVISIONS	DK	9-22-21

DESIGNED BY	DK
CHECKED BY	DK
DATE	02/11/2022

SHEET NUMBER
6107
 SHEET
4 OF 46
 DATE
 10/21/2022
 OVERALL SITE PLAN



SITE PLAN NOTES

1. SIDEWALK RAMP SHALL BE IN ACCORDANCE WITH THE LATEST ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
2. AT SIDEWALK RAMP THE CONTRACTOR SHALL REMOVE CONCRETE SIDEWALK PANELS TO NEAREST CONSTRUCTION JOINT TO MEET ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS.
3. PAVEMENT MARKINGS IF SHOWN SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 902.14 OF THE CURRENT INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY RIGHT OF WAY USE PERMIT IF WORK WITHIN THE PUBLIC R/W IS NECESSARY FOR THE PROJECT COMPLETION.

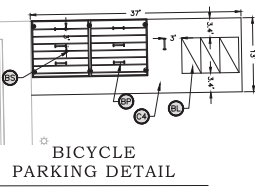
MATERIALS LEGEND

- (C1) 5' CONCRETE SIDEWALK
4" THICK, 3500 PSI CONCRETE
4" COMPACTED AGGREGATE BASE #53
- (C2) MATCH EXISTING CONCRETE PATIO
- (C3) 6" THICK, 4000 PSI CONCRETE
8" COMPACTED AGGREGATE BASE #53
- (C4) 4" THICK, 3500 PSI CONCRETE ON
4" COMPACTED AGGREGATE BASE #53
- (BR) BICYCLE RACK BY OTHERS. SEE DETAIL ON DETAIL SHEET. FINAL LOCATION PER OWNER.
- (PV) PAVEMENT PATCH PER CITY OF BLOOMINGTON DETAIL. SEE DETAIL SHEET.
- (CB) MATCH EXISTING CURB
- (LR) CURB RAMP BY OTHERS PER INDOT DETAILS AND SPECIFICATIONS. SEE DETAIL SHEET.
- (SH) SHELTER SEE ARCHITECTURAL SHEETS
- (CG) COMMUNITY GARDEN. SEE ARCHITECTURAL SHEETS
- (W) REPLACE SECTION OF MASONRY WALL
- (BD) REPLACE CONCRETE BOLLARDS
- (BP) BICYCLE PARKING. SEE DETAILS
- (BL) DERO 302 MODEL BIKE LOCKERS OR EQUIVALENT
- (BS) BIKE SHELTER, SEE ARCHITECTURAL PLANS

BICYCLE PARKING

WEST PARCEL
 TOTAL BEDS - 04 BEDS
 REQUIRED BICYCLE SPACES = 1 SPACES BEDS - 25 SPACES
 # CLASS 1 COVERED - 13 SPACES
 # CLASS 1 SECURE - 4

PROVIDED (EACH RACK = 2 SPACES)
 CLASS 1 COVERED - 13 SPACES
 CLASS 1 SECURE - 4 SPACES
 CLASS 2 - 2 SPACES
 TOTAL = 28 SPACES



BICYCLE PARKING DETAIL
1"=12'



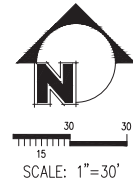
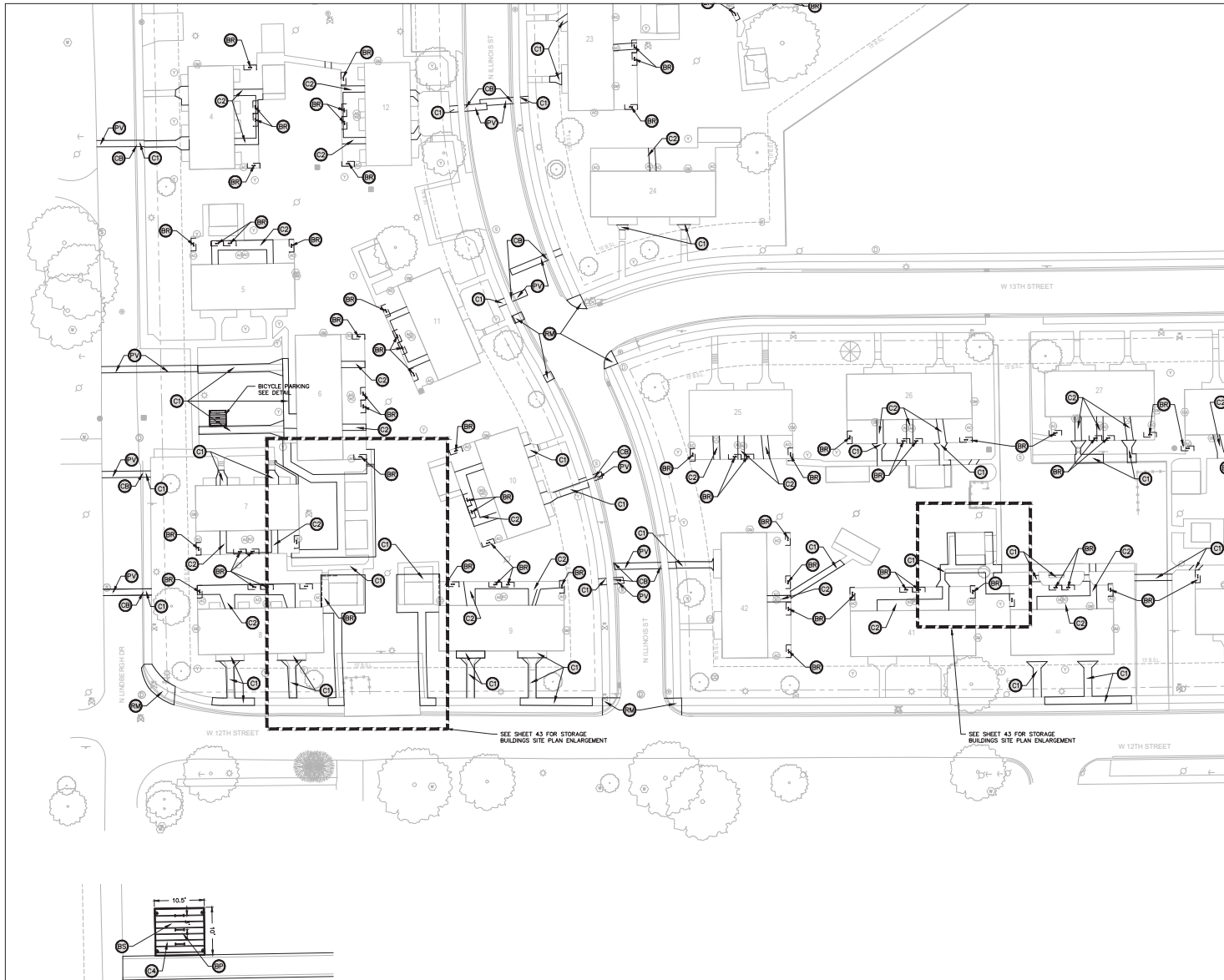
02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE

REVISIONS	BY	DATE

6107
 SHEET
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 DATE: 10/21/2022
 SITE PLAN VIEW 1



SITE PLAN NOTES

1. SIDEWALK RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
2. AT SIDEWALK RAMPS THE CONTRACTOR SHALL REMOVE CONCRETE SIDEWALK PANELS TO NEAREST CONSTRUCTION JOINT TO MEET ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS.
3. PAVEMENT MARKINGS IF SHOWN SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 815.4 OF THE CURRENT INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY RIGHT OF WAY USE PERMIT IF WORK WITHIN THE PUBLIC ROW IS NECESSARY FOR THE PROJECT COMPLETION.

MATERIALS LEGEND

- (C1) 3" CONCRETE SIDEWALK
- (C2) 4" THICK, 3500 PSI CONCRETE
- (C3) 4" THICK, 4000 PSI CONCRETE
- (C4) 4" THICK, 3500 PSI CONCRETE ON 4" COMPACTED AGGREGATE BASE #53
- (C5) 4" THICK, 4000 PSI CONCRETE ON 4" COMPACTED AGGREGATE BASE #53
- (C6) MATCH EXISTING CONCRETE PATIO
- (C7) MATCH EXISTING CURB
- (C8) CURB RAMP BY OTHERS PER INDOT DETAILS AND SPECIFICATIONS. SEE DETAIL SHEET.
- (SH) SHELTER - SEE ARCHITECTURAL SHEETS
- (CG) COMMUNITY GARDEN. SEE ARCHITECTURAL SHEETS
- (W) REPLACE SECTION OF MASONRY WALL
- (BD) REPLACE CONCRETE BOLLARDS
- (BP) BICYCLE PARKING. SEE DETAILS
- (BL) DERO 302 MODEL BIKE LOCKERS OR EQUIVALENT
- (BS) BIKE SHELTER, SEE ARCHITECTURAL PLANS

BICYCLE PARKING

WEST PARCEL
 TOTAL BEDS - 128 BEDS
 REQUIRED BICYCLE SPACES - 1 SPACES/ BEDS - 25 SPACES
 2 CLASS I COVERED - 18 SPACES
 2 CLASS II SECURE - 8 SPACES
 PROVIDED (EACH RACK = 2 SPACES)
 CLASS I COVERED = 18 SPACES
 CLASS II SECURE = 8 SPACES
 CLASS I = 2 SPACES
 TOTAL = 26 SPACES



02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE
DESIGN BASED ON COMMUNITY PLAN	DK	10/20/22
STORAGE BUILDING EXCHANGE INCREASE	DK	10/20/22
COMMUNITY BUILDING EXCHANGE AND GREENHOUSE	DK	10/20/22

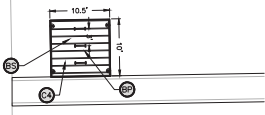
REVISIONS	BY	DATE
KES	DK	10/20/22
WJW	DK	10/20/22

SHEET NUMBER
6107

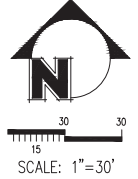
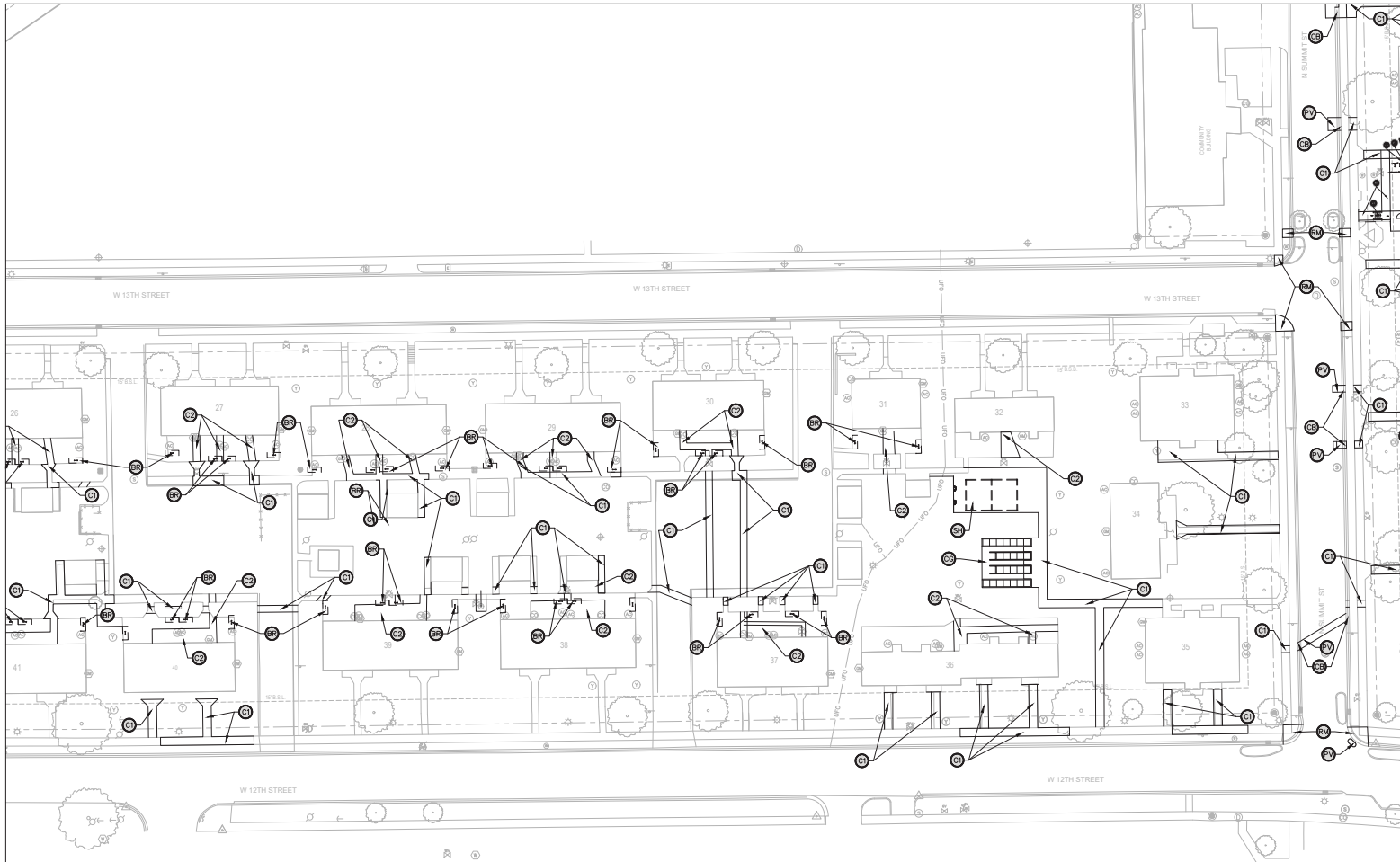
SHEET
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SITE PLAN VIEW 2



BICYCLE PARKING DETAIL
 1"=10'



02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

MATERIALS LEGEND

- ① 5' CONCRETE SIDEWALK
4" THICK, 3500 PSI CONCRETE
4" COMPACTED AGGREGATE BASE #53
- ② MATCH EXISTING CONCRETE PATIO
- ③ 6" THICK, 4000 PSI CONCRETE
8" COMPACTED AGGREGATE BASE #53
- ④ 4" THICK, 3500 PSI CONCRETE ON
4" COMPACTED AGGREGATE BASE #53
- ⑤ BICYCLE RACK BY OTHERS. SEE DETAIL ON DETAIL SHEET. FINAL
LOCATION PER OWNER
- ⑥ PAVEMENT PATCH PER CITY OF BLOOMINGTON DETAIL. SEE DETAIL
SHEET
- ⑦ MATCH EXISTING CURB
- ⑧ CURB RAMP BY OTHERS PER INDOT DETAILS AND SPECIFICATIONS.
SEE DETAIL SHEET.
- ⑨ SHELTER SEE ARCHITECTURAL SHEETS
- ⑩ COMMUNITY GARDEN SEE ARCHITECTURAL SHEETS
- ⑪ REPLACE SECTION OF MASONRY WALL
- ⑫ REPLACE CONCRETE BOLLARDS
- ⑬ BICYCLE PARKING. SEE DETAILS
- ⑭ DERO 302 MODEL BIKE LOCKERS OR EQUIVALENT
- ⑮ BIKE SHELTER, SEE ARCHITECTURAL PLANS

SITE PLAN NOTES

1. SIDEWALK RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
2. AT SIDEWALK RAMPS THE CONTRACTOR SHALL REMOVE CONCRETE SIDEWALK PANELS TO NEAREST CONSTRUCTION JOINT TO MEET ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS.
3. PAVEMENT MARKINGS IF SHOWN SHALL BE APPLIED IN ACCORDANCE WITH SECTION 806 & 912.14 OF THE CURRENT INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY RIGHT OF WAY USE PERMIT IF WORK WITHIN THE PUBLIC RW IS NECESSARY FOR THE PROJECT COMPLETION.

REVISIONS	BY	DATE

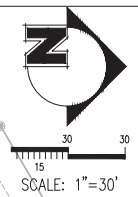
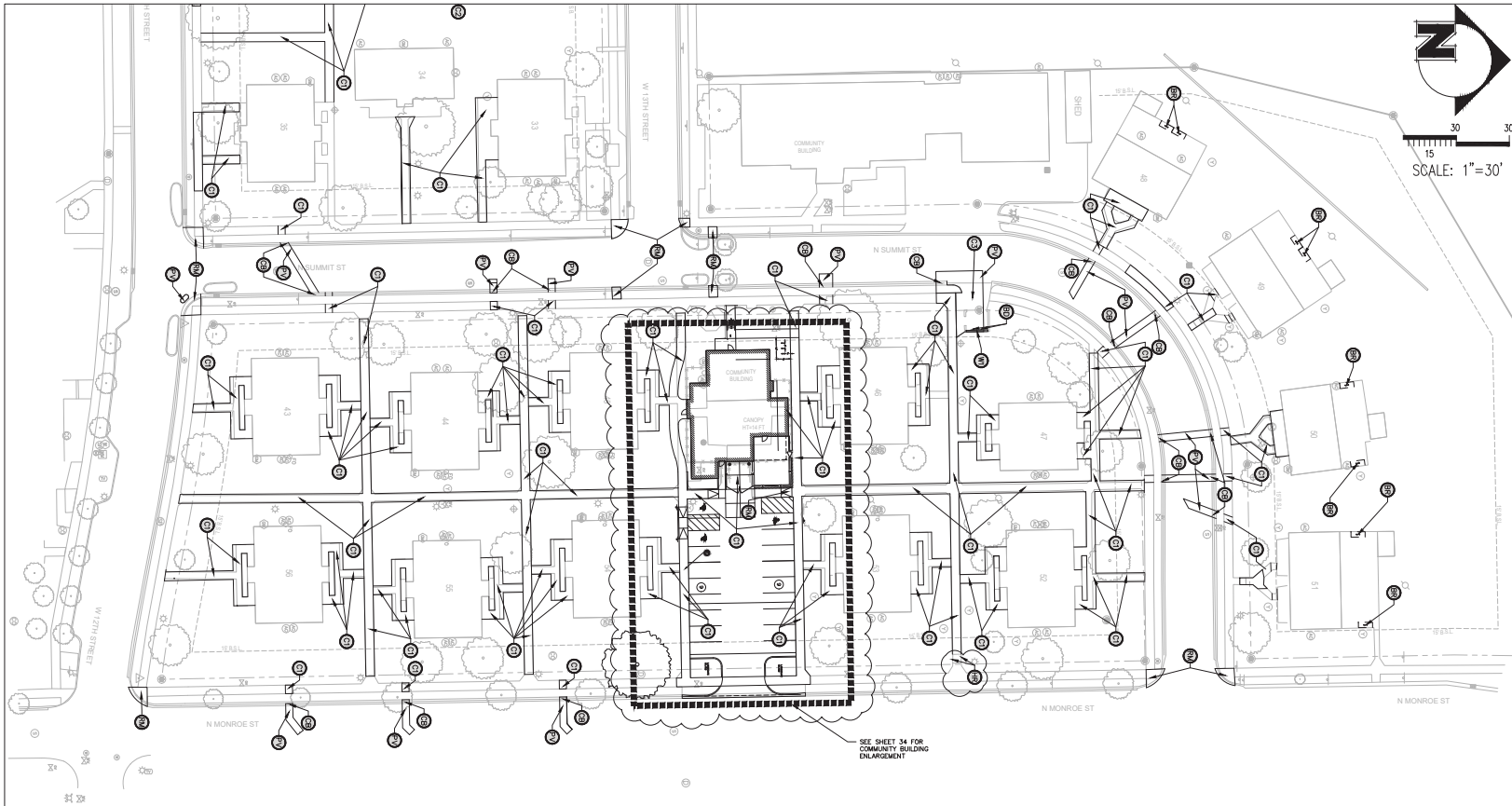
REVISIONS	KEY	W/O	DATE

OUR NUMBER
6107

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DATE
10/21/2022

SITE PLAN VIEW 3



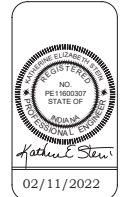
SEE SHEET 34 FOR
COMMUNITY BUILDING
ENLARGEMENT

SITE PLAN NOTES

1. SIDEWALK RAMP SHALL BE IN ACCORDANCE WITH THE LATEST ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WORK WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
2. AT SIDEWALK RAMP THE CONTRACTOR SHALL REMOVE CONCRETE SIDEWALK PANELS TO NEAREST CONSTRUCTOR JOINT TO MEET ADA, INDOT AND CITY OF BLOOMINGTON REQUIREMENTS.
3. PAVEMENT MARKINGS IF SHOWN SHALL BE APPLIED IN ACCORDANCE WITH SECTION 808 & 912.14 OF THE CURRENT INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY RIGHT OF WAY USE PERMIT IF WORK WITHIN THE PUBLIC ROW IS NECESSARY FOR THE PROJECT COMPLETION.

MATERIALS LEGEND

- (S1) 5' CONCRETE SIDEWALK
4" THICK, 3000 PSI CONCRETE
4" COMPACTED AGGREGATE BASE #53
- (S2) MATCH EXISTING CONCRETE PATIO
- (S3) 6" THICK, 4000 PSI CONCRETE
8" COMPACTED AGGREGATE BASE #53
- (S4) 4" THICK, 3500 PSI CONCRETE ON
4" COMPACTED AGGREGATE BASE #53
- (B1) BICYCLE RACK BY OTHERS. SEE DETAIL ON DETAIL SHEET. FINAL
LOCATION PER OWNER
- (P1) PAVEMENT PATCH PER CITY OF BLOOMINGTON DETAIL. SEE DETAIL
SHEET
- (S5) MATCH EXISTING CURB
- (R1) CURB RAMP BY OTHERS PER INDOT DETAILS AND SPECIFICATIONS. SEE
DETAIL SHEET.
- (S6) SHELTER SEE ARCHITECTURAL SHEETS
- (S7) COMMUNITY GARDEN. SEE ARCHITECTURAL SHEETS
- (W1) REPLACE SECTION OF MASONRY WALL
- (B2) REPLACE CONCRETE BOLLARDS
- (B3) BICYCLE PARKING. SEE DETAILS
- (B4) DERO 302 MODEL BIKE LOCKERS OR EQUIVALENT
- (B5) BIKE SHELTER, SEE ARCHITECTURAL PLANS
- (H1) HANDRAILS



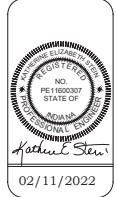
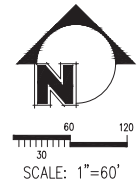
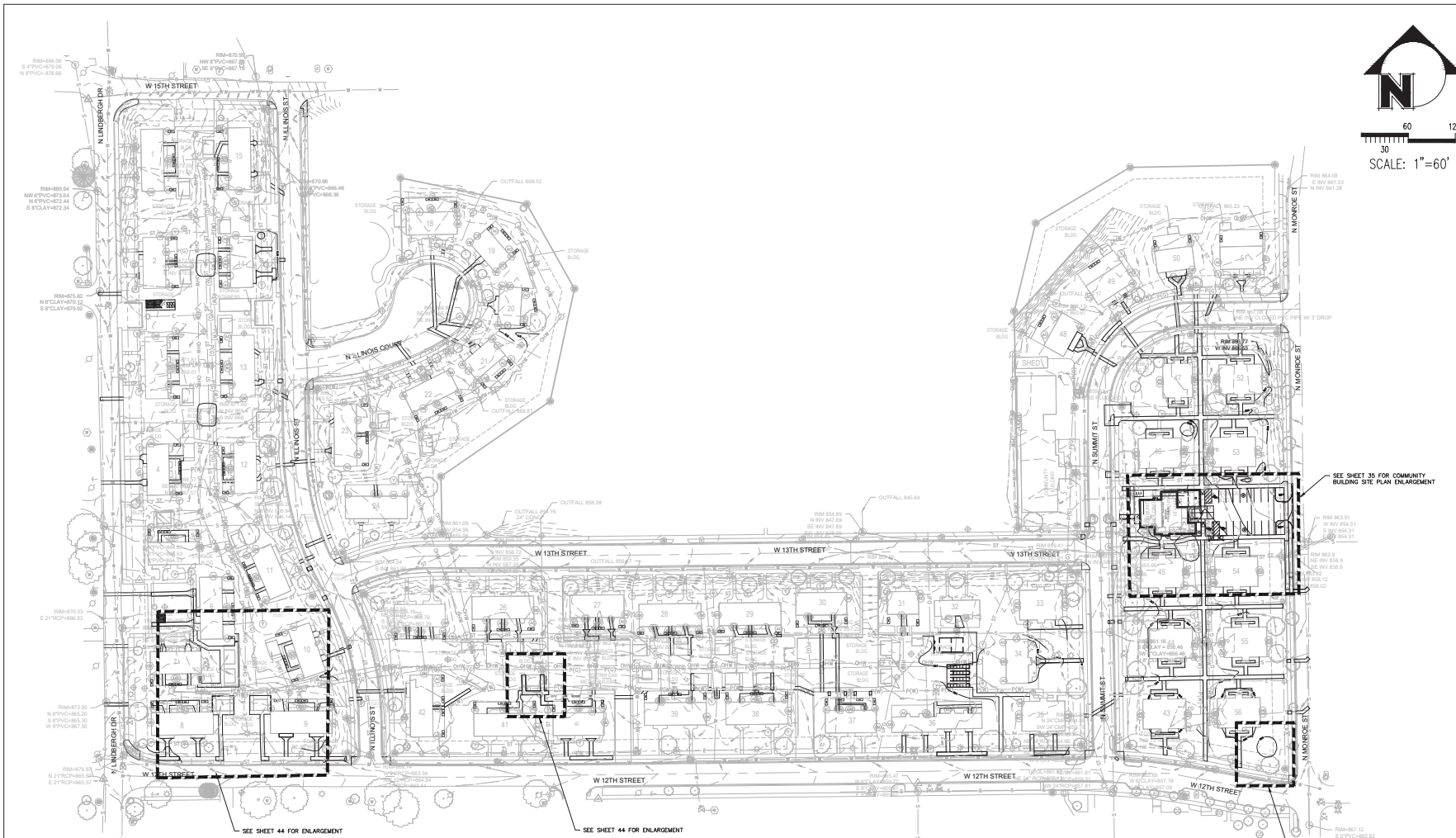
CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE
PROJECT CONSTRUCTION PERMITS AND PERMITS CALCULATED		
ADDED HANDRAILS AND BOLLARDS		

REVISIONS	BY	DATE
KES		
WJW		
CONTRACTOR		
OWNER		

DATE PLOTTED: **6 10 7**
SHEET
8 OF 46
DATE: **10/21/2022**

SITE PLAN VIEW 4



**CRESTMONT COMMUNITY
BUILDING, INDIANA**
Section 32, T-9-N, R-1-W

GENERAL NOTES

- SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- CONTRACTOR SHALL CONTACT WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND CITY OF BLOOMINGTON UTILITIES FOR PRE CONSTRUCTION MEETING TO COORDINATE CONSTRUCTION SCHEDULES AND MAINTENANCE OF TRAFFIC.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLE RISER ELEVATION
INLETS, GUTTER ELEVATION

GRADING LEGEND

EXISTING MINOR CONTOUR	----
EXISTING MAJOR CONTOUR	-----
PROPOSED MINOR CONTOUR	-----
PROPOSED MAJOR CONTOUR	-----
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP + XXX.XX
TOP OF CURB ELEVATION	TC + XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF + XXX.XX
TOP OF RETAINING WALL	TR XXX.XX
BOTTOM OF RETAINING WALL	BR XXX.XX
TOP OF RAMP	TR XXX.XX
BOTTOM OF RAMP	BR XXX.XX
MATCH EXISTING GRADE	ME
PROPOSED DIRECTION OF FLOW	→

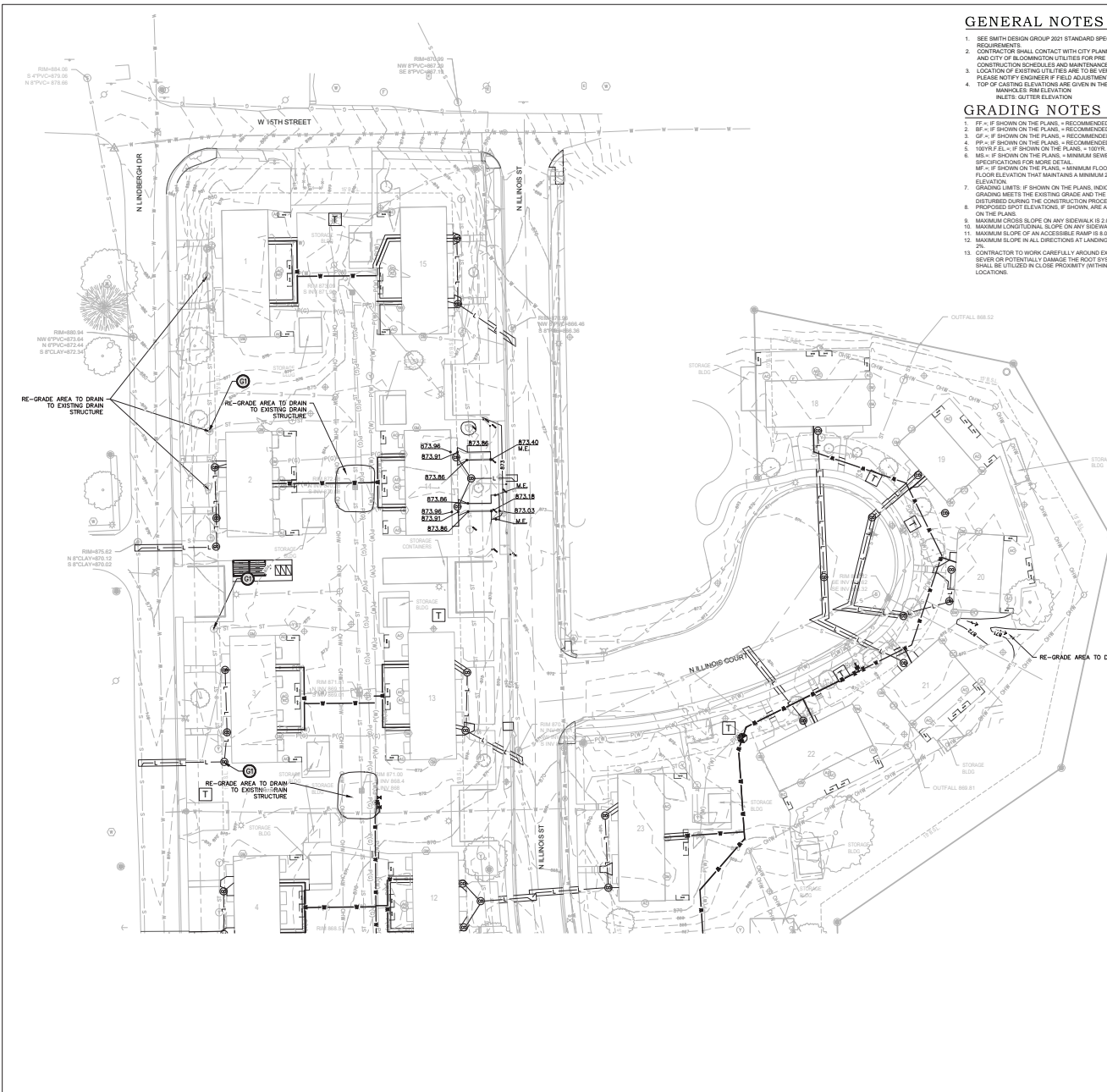
GRADING NOTES

- FF = IF SHOWN ON THE PLANS = RECOMMENDED FINISH FLOOR ELEVATION.
- EP = IF SHOWN ON THE PLANS = RECOMMENDED BASEMENT FLOOR ELEVATION.
- GP = IF SHOWN ON THE PLANS = RECOMMENDED GARAGE FLOOR ELEVATION.
- 100YR.F.FL = IF SHOWN ON THE PLANS, + 100YR. FLOOD ELEV.
- MP = IF SHOWN ON THE PLANS = RECOMMENDED PERMANENT POND ELEVATION.
- MIN = IF SHOWN ON THE PLANS = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- GRADING LIMITS IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- PROPOSED SPOT ELEVATIONS IF SHOWN ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
- MAXIMUM CROSS SLOPE ON ANY SIDEWALK IS 2.00%.
- MAXIMUM LONGITUDINAL SLOPE ON ANY SIDEWALK IS 5.00%.
- MAXIMUM SLOPE OF AN ACCESSIBLE RAMP IS 8.00%.
- MAXIMUM SLOPE IN ALL DIRECTIONS AT LANDINGS AND 90 DEGREE CHANGE IN DIRECTION IS 2%.
- WHERE SECTIONS OF CONCRETE ARE REMOVED, NEW CONCRETE SHALL MATCH EXISTING CONCRETE WIDTH AND SLOPE.
- CONTRACTOR TO WORK CAREFULLY AROUND EXISTING TREES AS MUCH AS POSSIBLE TO NOT SEVER OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR HAND WORK SHALL BE UTILIZED IN CLOSE PROXIMITY (WITHIN 10 FT OF THE DRIP LINE) TO EXISTING TREE LOCATIONS.

REVISIONS	BY	DATE
ADDED COMMUNITY BUILDING ENLARGEMENT CALCULAT	KES	8-25-22
STORAGE BUILDINGS, SIDEWALKS, REVISIONS	DR	8-25-22
COMMUNITY BUILDING DRAINAGE AND LANDSCAPE REVISIONS	DR	8-25-22

JOB NUMBER
6107
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9 OF 46
DATE
10/21/2022

OVERALL
GRADING PLAN



GENERAL NOTES

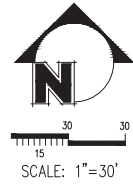
1. SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
2. CONTRACTOR SHALL CONTACT WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND CITY OF BLOOMINGTON UTILITIES FOR PRE CONSTRUCTION MEETING TO COORDINATE CONSTRUCTION SCHEDULES AND MAINTENANCE OF TRAFFIC.
3. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
4. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RM ELEVATION
INLETS: GUTTER ELEVATION

GRADING NOTES

1. FF = IF SHOWN ON THE PLANS = RECOMMENDED FINISH FLOOR ELEVATION.
2. EP = IF SHOWN ON THE PLANS = RECOMMENDED BASEMENT FLOOR ELEVATION.
3. GF = IF SHOWN ON THE PLANS = RECOMMENDED GARAGE FLOOR ELEVATION.
4. FP = IF SHOWN ON THE PLANS = RECOMMENDED FOREMANET POND ELEVATION.
5. 100YR EL = IF SHOWN ON THE PLANS = 100YR FLOOD ELEV.
6. ME = IF SHOWN ON THE PLANS = MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
7. ME = IF SHOWN ON THE PLANS = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
7. GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
8. PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
9. MAXIMUM CROSS SLOPE ON ANY SIDEWALK IS 2.00%.
10. MAXIMUM LONGITUDINAL SLOPE ON ANY SIDEWALK IS 5.00%.
11. MAXIMUM SLOPE OF AN ACCESSIBLE RAMP IS 8.33%.
12. MAXIMUM SLOPE IN ALL DIRECTIONS AT LANDINGS AND 90 DEGREE CHANGE IN DIRECTION IS 2%.
13. CONTRACTOR TO WORK CAREFULLY AROUND EXISTING TREES AS MUCH AS POSSIBLE TO NOT SEVERE OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR HAND WORK SHALL BE UTILIZED IN CLOSE PROXIMITY (WITHIN 10 FT OF THE DRIP LINE) TO EXISTING TREE LOCATIONS.

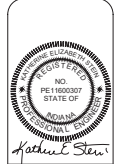
GRADING LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- EDGE OF PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- HIGH POINT
- LOW POINT
- FINISH FLOOR ELEVATION
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- TOP OF RAMP
- BOTTOM OF RAMP
- MATCH EXISTING GRADE
- PROPOSED DIRECTION OF FLOW



GRADING KEY NOTES

- ① CLEAN MATERIALS STORM SEWER STRUCTURES AND PIPES. EXISTING SEDIMENT AND DEBRIS SHALL BE COMPLETELY AND DISPOSED OF OFF SITE.
- ② SCARRIFY EXISTING SOIL. PLACE CLEAN FILL AND FINE GRADE. SEED AND INSTALL EROSION CONTROL BLANKET.



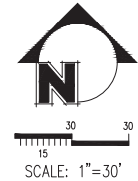
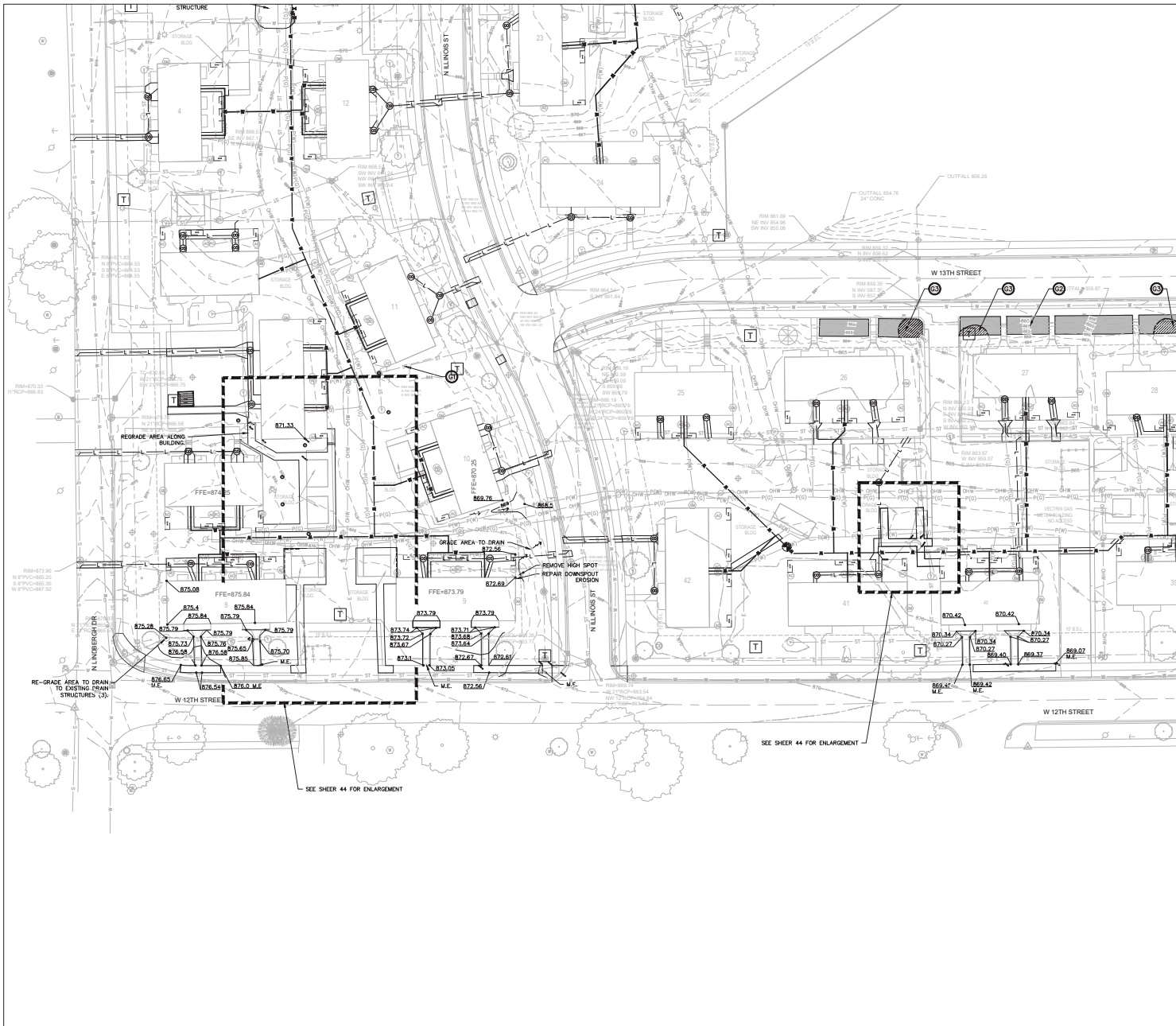
02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE

DESIGNED BY: KES
CHECKED BY: WDW
DATE: 02/11/2022

JOB NUMBER: 6107
SHEET: 10 OF 46
DATE: 10/21/2022
GRADING PLAN
VIEW 1



GRADING LEGEND

EXISTING MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP + XXX.XX
TOP OF CURB ELEVATION	TC + XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF + XXX.XX
TOP OF RETAINING WALL	TRWXXX.XX
BOTTOM OF RETAINING WALL	BRWXXX.XX
TOP OF RAMP	TRXXX.XX
BOTTOM OF RAMP	BRXXX.XX
MATCH EXISTING GRADE	ME
PROPOSED DIRECTION OF FLOW	→

GENERAL NOTES

- SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RM ELEVATION
ALLEYS: GUTTER ELEVATION

GRADING NOTES

- FF = F SHOWN ON THE PLANS - RECOMMENDED FINISH FLOOR ELEVATION.
- BF = F SHOWN ON THE PLANS - RECOMMENDED BASEMENT FLOOR ELEVATION.
- GF = F SHOWN ON THE PLANS - RECOMMENDED GARDEN FLOOR ELEVATION.
- PF = F SHOWN ON THE PLANS - RECOMMENDED PERMANENT POND ELEVATION.
- 10YR F.F.L. = F SHOWN ON THE PLANS - 10YR FLOOD ELEV.
- MS = F SHOWN ON THE PLANS - MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
- MF = F SHOWN ON THE PLANS - MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- GRADING LIMITS IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISCLOSED DURING THE CONSTRUCTION PROCESS.
- PROPOSED SPOT ELEVATIONS, IF SHOWN ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
- MAXIMUM CROSS SLOPE ON ANY SIDEWALK IS 2.0%.
- MAXIMUM LONGITUDINAL SLOPE ON ANY SIDEWALK IS 0.0%.
- MAXIMUM SLOPE OF AN ACCESSIBLE RAMP IS 8.0%.
- MAXIMUM SLOPE IN ALL DIRECTIONS AT LANDINGS AND 90 DEGREE CHANGE IN DIRECTION IS 2%.
- CONTRACTOR TO WORK CAREFULLY AROUND EXISTING TREES AS MUCH AS POSSIBLE TO NOT SEVER OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR HAND WORK SHALL BE UTILIZED IN CLOSE PROXIMITY (WITHIN 1 FT. OF THE DAP LINE) TO EXISTING TREE LOCATIONS.

GRADING KEY NOTES

- ⊙ CLEAN EXISTING STORM SEWER STRUCTURES AND PIPES. EXISTING SEDIMENT AND DEBRIS SHALL BE COMPLETELY AND DROPPED OFF OF SITE.
- ⊙ SCAFFY EXISTING SOIL. PLACE CLEAN FILL AND FINE GRADE. SEED AND INSTALL EROSION CONTROL BARRIERS.
- ⊙ LIGHTLY SCAFFY EXISTING SOIL WITH HAND TOOLS UNDER TREE CANOPY. PLACE CLEAN FILL AND FINE GRADE WITH HAND TOOLS. SEED AND PLACE STRAW MULCH OVER TOP.



02/11/2022

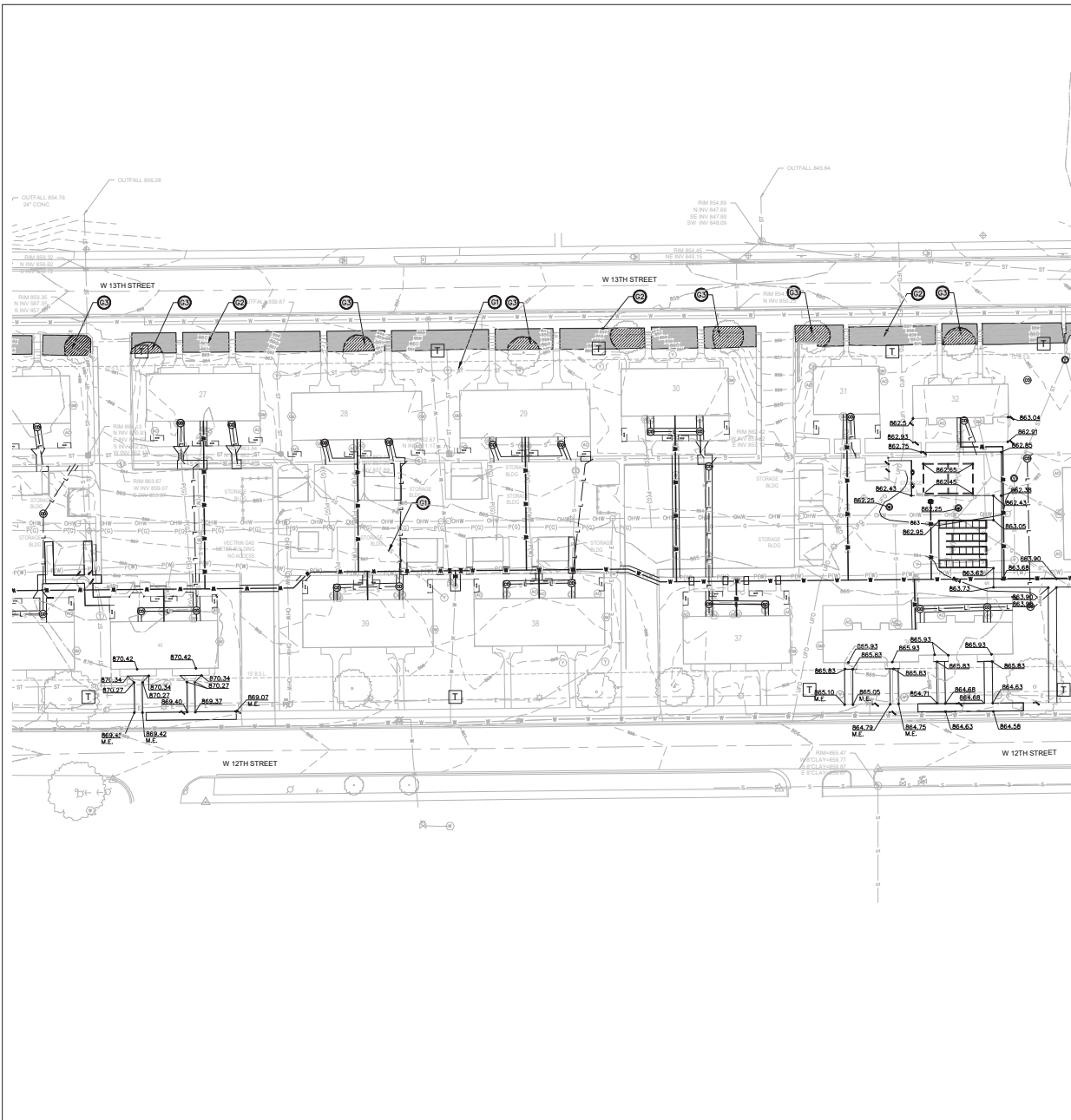
CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

BY	DATE
SP	12-21-21
DK	9-22-21
DK	9-22-21

REVISIONS
REVISED NOTES FOR WORK MARKET REZONING EXISTING BUILDINGS SEPARATE REVISIONS
COMMUNITY BUILDING DEPARTMENT AND CONSTRUCTION DEPARTMENT

JOB NUMBER
6107
SHEET
11 OF 46

DATE
10/21/2022
DRAWN BY
GRADING PLAN
VIEW 2



GENERAL NOTES

- SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLE, RM ELEVATION
INLET, GUTTER ELEVATION

GRADING NOTES

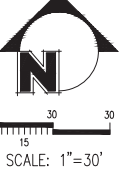
- FF = IF SHOWN ON THE PLANS = RECOMMENDED FINISH FLOOR ELEVATION.
- BF = IF SHOWN ON THE PLANS = RECOMMENDED BASEMENT FLOOR ELEVATION.
- GF = IF SHOWN ON THE PLANS = RECOMMENDED GARAGE FLOOR ELEVATION.
- RF = IF SHOWN ON THE PLANS = RECOMMENDED REMAINING FLOOR ELEVATION.
- 100% F.F. = IF SHOWN ON THE PLANS = 100% FLOOD ELEVATION.
- SE = IF SHOWN ON THE PLANS = MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
- MF = IF SHOWN ON THE PLANS = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
- MAXIMUM CROSS SLOPE ON ANY SIDEWALK IS 2.00%.
- MAXIMUM LONGITUDINAL SLOPE ON ANY SIDEWALK IS 5.00%.
- MAXIMUM SLOPE OF AN ACCESSIBLE RAMP IS 8.00%.
- MAXIMUM SLOPE IN ALL DIRECTIONS AT LANDINGS AND 90 DEGREE CHANGE IN DIRECTION IS 2%.
- CONTRACTOR TO WORK CAREFULLY AROUND EXISTING TREES AS MUCH AS POSSIBLE TO NOT SEVER OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR HAND WORK SHALL BE UTILIZED IN CLOSE PROXIMITY (WITHIN 10 FT OF THE DRIP LINE) TO EXISTING TREE LOCATIONS.

GRADING KEY NOTES

- ① CLEAN EXISTING STORM SEWER STRUCTURES AND PIPES. EXISTING SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED OR OFF SITE.
- ② SCARIFY EXISTING SOIL. PLACE CLEAN FILL AND FINE GRADE. SEED AND INSTALL EROSION CONTROL BLANKETS.
- ③ LIGHTLY SCARIFY EXISTING SOIL WITH HAND TOOLS UNDER TREE CANOPY. PLACE CLEAN FILL AND FINE GRADE WITH HAND TOOLS. SEED AND PLACE STRAW MULCH OVER TOP.

GRADING LEGEND

EXISTING MINOR CONTOUR	---	EX XXX.XX
EXISTING MAJOR CONTOUR	---	XXX.XX
PROPOSED MINOR CONTOUR	---	EP + XXX.XX
PROPOSED MAJOR CONTOUR	---	TC + XXX.XX
EXISTING ELEVATION	---	XXX.XX HP
PROPOSED ELEVATION	---	XXX.XX LP
EDGE OF PAVEMENT ELEVATION	---	FF + XXX.XX
TOP OF CURB ELEVATION	---	TW+XXX.XX
LOW POINT	---	TR+XXX.XX
FINISH FLOOR ELEVATION	---	BR+XXX.XX
TOP OF RETAINING WALL	---	ME
BOTTOM OF RETAINING WALL	---	ME
TOP OF RAMP	---	ME
BOTTOM OF RAMP	---	ME
MATCH EXISTING GRADE	---	ME
PROPOSED DIRECTION OF FLOW	---	ME



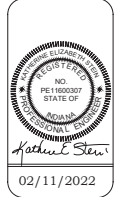
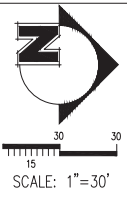
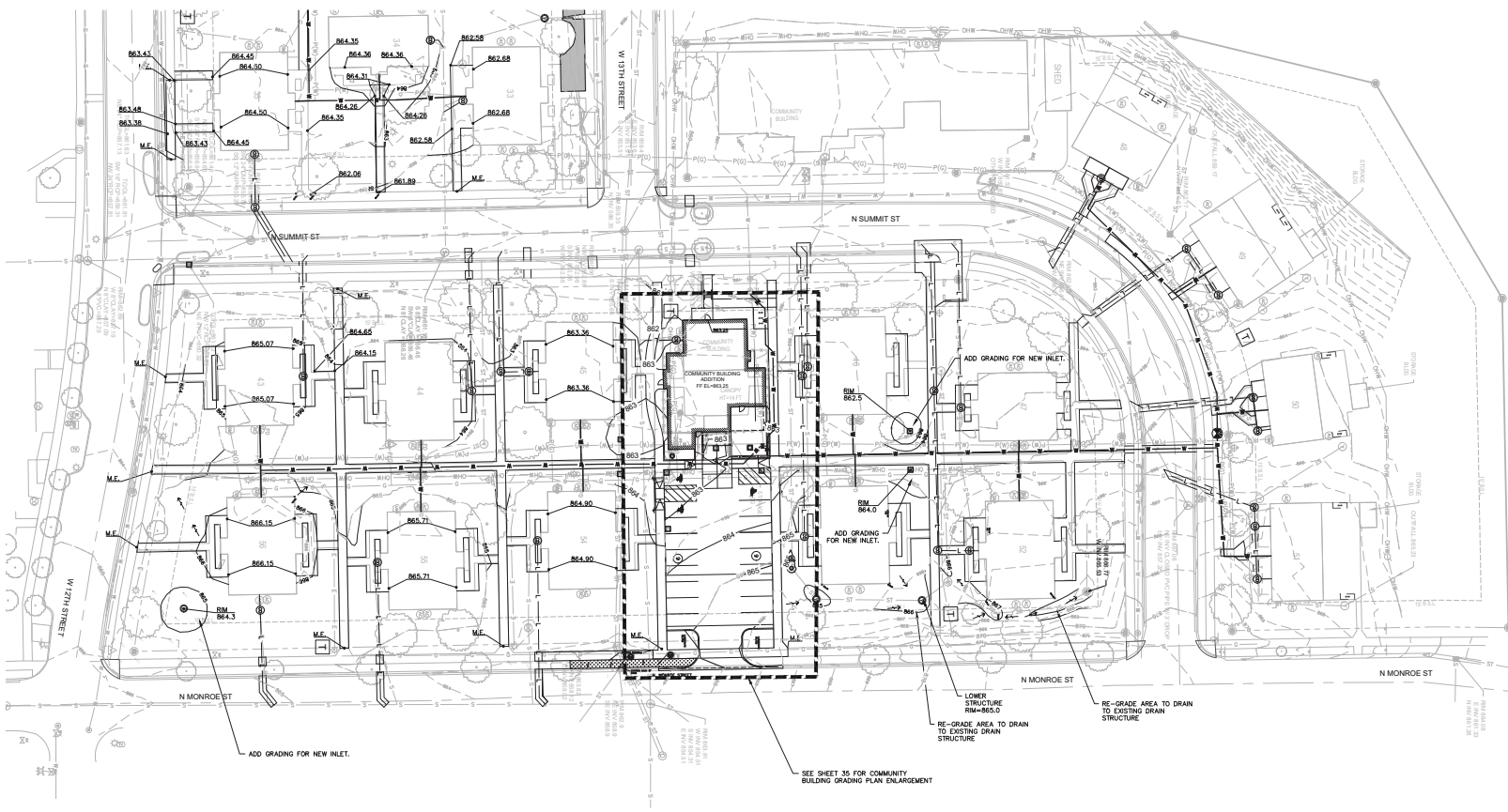
02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

REVISIONS	BY	DATE
REVIEWED NOTES FOR WORK IN FIELD. THESE	SP	02/21

PROJECT: KES
 DRAWN BY: WDW
 CHECKED BY: WDW
 DATE: 02/21/2022

JOB NUMBER: 6107
 SHEET: 12 OF 46
 DATE: 10/21/2022
 GRADING PLAN
 VIEW 3



CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

GRADING KEY NOTES

- ① CLEAN EXISTING STORM STRUCTURES AND FILL EXISTING SEDIMENT AND DEBRIS SHALL BE COMPLETELY AND DISPOSED OF OFF SITE.
- ② SCARIFY EXISTING SOIL, PLACE CLEAN FILL AND FINE GRADE. SEED AND INSTALL EROSION CONTROL BLANKET.
- ③ LIGHTLY SCARIFY EXISTING SOIL WITH HAND TOOLS UNDER TREE CANOPY. PLACE CLEAN FILL AND FINE GRADE WITH HAND TOOLS. SEED AND PLACE STORM MOUND OVER TOP.

GENERAL NOTES

1. SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
2. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
3. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
 MANHOLES: RISE ELEVATION
 INLETS: GUTTER ELEVATION

GRADING NOTES

1. FF = IF SHOWN ON THE PLANS = RECOMMENDED FINISH FLOOR ELEVATION.
2. EF = IF SHOWN ON THE PLANS = RECOMMENDED BASEMENT FLOOR ELEVATION.
3. SP = IF SHOWN ON THE PLANS = RECOMMENDED SPARSE FLOOR ELEVATION.
4. PP = IF SHOWN ON THE PLANS = RECOMMENDED PERMANENT POND ELEVATION.
5. MIN F.E.L. = IF SHOWN ON THE PLANS = 10% RISE FLOOR ELEVATION.
6. MS = IF SHOWN ON THE PLANS = MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
7. GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
8. PROPOSED SPOT ELEVATIONS: IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
9. MAXIMUM CROSS SLOPE ON ANY SIDEWALK IS 2.0%.
10. MAXIMUM LONGITUDINAL SLOPE ON ANY SIDEWALK IS 5.0%.
11. MAXIMUM SLOPE OF AN ACCESSIBLE RAMP IS 8.0%.
12. MAXIMUM SLOPE IN ALL DIRECTIONS AT LANDINGS AND 90 DEGREE CHANGE IN DIRECTION IS 2%.
13. CONTRACTOR TO WORK CAREFULLY AROUND EXISTING TREES AS MUCH AS POSSIBLE TO NOT SEVER OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR HAND WORK SHALL BE UTILIZED IN CLOSE PROXIMITY (WITHIN 3 FT OF THE DRIP LINE) TO EXISTING TREE LOCATIONS.

GRADING LEGEND

EXISTING MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP + XXX.XX
TOP OF CURB ELEVATION	TC + XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF + XXX.XX
TOP OF RETAINING WALL	TR+XXX.XX
BOTTOM OF RETAINING WALL	BR+XXX.XX
TOP OF RAMP	TR+XXX.XX
BOTTOM OF RAMP	BR+XXX.XX
MATCH EXISTING GRADE	ME
PROPOSED DIRECTION OF FLOW	→

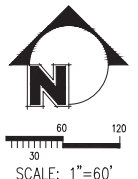
REVISIONS	BY	DATE
ADDED COMMUNITY BUILDING ENVIRONMENT CALLOUT	DR	9-22-20
EXTENDED BUILDING SEWERS AND REVISIONS	DR	9-22-20
COMMUNITY BUILDING ENVIROMENT AND LANDING PROVISIONS	DR	9-22-20

DATE: 10/21/2022
 SHEET: 13 OF 46
 GRADING PLAN
 VIEW 4

UTILITY NOTES

- 1) CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RECORD THEM TO THE LOCATION OF ALL EXISTING UTILITIES. UNLESS OTHERWISE SPECIFIED AS NOTED ON THE PLANS.
- 2) ALL SANITARY LATERALS CONNECTING TO THE MAIN LINE SHALL BE 4" OR LARGER AND SHALL BE 4" OR LARGER.
- 3) ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (317) 349-3833 TO SCHEDULE THE MEETING.
- 4) CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CITY INSPECTOR MUST HAVE NOTICE 24 HOURS CAN BE INSPECTED, DOCUMENTED, AND A PROJECT ABANDONED. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CITY DESIGNATED HOLIDAY OR BEYOND NORMAL 9:00 AM TO 5:00 PM CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (317) 349-3833. PLEASE CONTACT THE INSPECTOR'S OFFICE TIME FOR OFFICE HOURS AND HOLIDAY INFORMATION. PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (317) 349-3833.
- 5) SEE "IF SPONGE ON THE PLANS - MINIMUM SEWER ELEVATION" INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKWATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWERS MUST BE ABOVE THE RIM ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEC. 909.04 OF THE INTERNATIONAL PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- 6) ON ALL EXISTING SANITARY MAINS, WIRES SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT NANCY ANDERSON AT (317) 349-3836 FOR MORE INFORMATION.
- 7) WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORRECTIONED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT FOR 3" OR 4" OR A FLEXIBLE CONNECTOR OR APPROVED EQUAL. TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
- 8) IN ACCORDANCE WITH SECTION 4.2.3.1.1.1 OF THE CITY CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 90 FEET. ALL CLEAN-OUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2975 OR NEENAH CATALOGUE NO. R-1974-A. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 18" THICK AND SHALL EXTEND AT LEAST 6" BEYOND THE OUTSIDE OF THE CASTING ON ALL SURROUNDING PAVEMENT. THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 2" BELOW THE TOP OF THE CASTING. A #10 INSULATED BRASS COPPER LOCATOR WIRE SHALL BE BURIED AROUND ALL NON-METAL LATERALS. THE ONE REVOLUTION MADE AT LEAST EVERY PIPE JOINT. SLICES ARE TO BE MADE WITH AN APPROVED

- 9) CONNECTOR, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CITY CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- 10) WHEREVER 2" OR PIPE IS USED FOR SEWER, ALL WIRES SHALL BE HARDCO SIZED FOR C900 ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM C900 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARDCO C900 TO SDR-35 ADAPTER WIRES.
- 11) ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS AS PER SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- 12) ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASUREMENT SLEEVES AND SHALL BE 3" MINIMUM LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASUREMENT OR 4" MIN. HIGH-DENSITY CROSS-LINKED POLYETHYLENE ENCASUREMENT MATERIAL, INCLUDING OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FINISHED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C1500-02.5. USING PLASTIC. THE STRAPS OR CIRCUMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
- 13) ALL GRATES AND CASTINGS WITHIN THE PUBLIC RIGHT OF WAY MUST BE E1 FORMERLY EAST ASSOCIATION WORKS.
- 14) ALL DRAINS MUST HAVE THE PHRASE "DUMP NO WASTE - DRAINS TO STREAM" OR SIMILAR STAMPED ON THEM.
- 15) CONTRACTOR TO AVOID TREES WITH ROUTE OF WATER LINES AND SEWER LATERALS WHEREVER POSSIBLE.



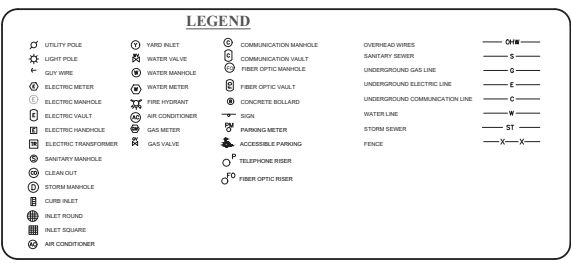
CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

BY	DATE	REVISIONS
DESIGNED	02/11/2022	1. REVISIONS
DRAWN	02/11/2022	
CHECKED	02/11/2022	
IN CHARGE	02/11/2022	
PROJECT MANAGER	02/11/2022	
CLIENT	02/11/2022	

REVISIONS	DATE	DESCRIPTION
1	02/11/2022	ISSUE FOR PERMIT
2	02/11/2022	ISSUE FOR PERMIT
3	02/11/2022	ISSUE FOR PERMIT
4	02/11/2022	ISSUE FOR PERMIT
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DATE: 02/11/2022
SHEET: 14 OF 46
DATE: 10/21/2022
OVERALL UTILITY PLAN

- ### GENERAL NOTES
1. SEE SMITH DESIGN GROUP 2021 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
 2. CONTRACTOR SHALL CONTACT WITH CITY PLANNING AND TRANSPORTATION, ENGINEERING AND CITY OF BLOOMINGTON UTILITIES FOR PRE-CONSTRUCTION MEETING TO COORDINATE CONSTRUCTION SCHEDULES AND MAINTENANCE OF TRAFFIC.
 3. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTE ENGINEER'S FIELD ADJUSTMENTS ARE NECESSARY.
 4. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: MANHOLES, RIM ELEVATION, INLETS, GUTTER ELEVATION.



UTILITY NOTES

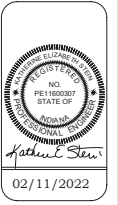
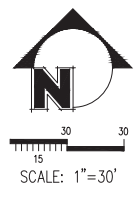
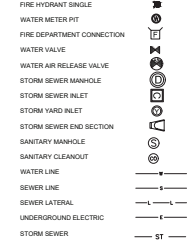
1. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING ALL FEES.
2. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES DEPARTMENT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR'S ENGINEER/DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812) 346-3633 TO SCHEDULE THE MEETING.
3. CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CITY INSPECTOR MUST HAVE NOTICE OF WORKING HOURS, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEDNESDAYS, A CITY DESIGNATED HOLIDAY, OR BEYOND NORMAL CITY WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CITY WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 346-3633.
4. MSL - IF SHOWN ON THE PLAN - MINIMUM SEWER ELEVATION. IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKFLOW VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE RIM ELEVATION OF THE LIFT/STAGNANT MANHOLE. IF NOT A BACKFLOW VALVE, IT MUST BE INSTALLED ACCORDING TO THE AREA OF THE UNDERGROUND PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
5. ON ALL EXISTING SANITARY MAINS, MANHOLES SHALL BE CUT AND SERVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL AND SURFACE REPAIR. PLEASE CONTACT NANCY AUSTIN AT (812) 346-3636 FOR MORE INFORMATION.
6. WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRILLED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT (FOR 18" OR 24" FLEXIBLE CONNECTOR OR APPROVED EQUAL). TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION PIPE SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
7. IN ACCORDANCE WITH SECTION 5.5.1.1 OF THE CITY CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 90 FEET. ALL CLEAN-OUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2975 OR NEENAH CATALOGUE NO. R-1974-A. IN GRASSY AREAS, THE CASTING SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 1/2" THICK AND SHALL EXTEND AT LEAST 18" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 18" BELOW THE TOP OF THE CASTING. A #10 INSULATED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT ONE REVOLUTION IS MADE AT LEAST EVERY JOINT. BRACES ARE TO BE MADE WITH AN APPROVED CONNECTOR, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CITY CONSTRUCTION SPECIFICATIONS FOR THE STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19.
8. WHEREVER 2000 PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARGREAVES FOR COW ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM C600 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARGREAVES JOINT ON THE BRANCH.
9. ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 40 MILS, AND SHALL BE PROTECTED AGAINST CORROSION BY AN INHERENTLY PROTECTIVE COATING. WYES FOR D.I.P. SHALL BE HARGREAVES JOINTS. ALL D.I.P. SHALL BE HARGREAVES JOINTS.
10. ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE 8 MILS LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASEMENT OR 4 MILS HIGH-DENSITY CROSS-LINKED POLYETHYLENE ENCASEMENT (MATERIAL, INDEPENDENT OF VALVES AND FITTINGS). THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANSII/AWWA C900.4.1 USING PLANTS TO THE STRAP OR CIRCUMFERENTIAL OR ADHESIVE TAP PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
11. ALL GRATES AND CASTINGS WITHIN THE PUBLIC RIGHT OF WAY MUST BE EJ FORMERLY EAST JORDAN IRON WORKS.
12. ALL GRATES MUST HAVE THE PHRASE "DUMP NO WASTE - DRAINS TO STREET" OR SIMILAR STAMPED ON THEM.
13. CONTRACTOR TO AVOID TREES WITH ROUTE OF WATER LINES AND SEWER LATERALS WHEREVER POSSIBLE.

14. CONNECT TO EXISTING 4" WATER METER PER CITY REQUIREMENTS. CONTRACTOR TO EXCAVATE AROUND THE METER AND PROVIDE PROTECTION OF THE METER PER CITY REQUIREMENTS. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, SURFACE REPAIR. SCHEDULE THIS CONNECTION WITH THE CITY INSPECTOR THAT IS ASSIGNED TO THIS JOB.
15. 4" GATE VALVE.
16. 4" C900 PVC 24" WATER LINE WITH LOCATE WIRE. BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN. PROVIDE 18" SEPARATION BETWEEN WATER LINE AND OTHER UTILITIES.
17. DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "N" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWMA 901 (PSTAL, ASTM D2737, CTS 5080 PC200 R01 G1). BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MFP.
18. DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "N" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWMA 901 (PSTAL, ASTM D2737, CTS 5080 PC200 R01 G1). BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN.
19. PROOF FLOOD HOSE BB.

UTILITY KEY NOTES

- WATER LINE NOTES (W)**
1. CONNECT TO EXISTING 4" WATER METER PER CITY REQUIREMENTS. CONTRACTOR TO EXCAVATE AROUND THE METER AND PROVIDE PROTECTION OF THE METER PER CITY REQUIREMENTS. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, SURFACE REPAIR. SCHEDULE THIS CONNECTION WITH THE CITY INSPECTOR THAT IS ASSIGNED TO THIS JOB.
 2. 4" GATE VALVE.
 3. 4" C900 PVC 24" WATER LINE WITH LOCATE WIRE. BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN. PROVIDE 18" SEPARATION BETWEEN WATER LINE AND OTHER UTILITIES.
 4. DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "N" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWMA 901 (PSTAL, ASTM D2737, CTS 5080 PC200 R01 G1). BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MFP.
 5. DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "N" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWMA 901 (PSTAL, ASTM D2737, CTS 5080 PC200 R01 G1). BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN.
 6. PROOF FLOOD HOSE BB.
- SANITARY SEWER NOTES (S)**
1. 4" SDR-35 SANITARY SEWER LATERAL (SLOPE @ 0.20% MIN). BACKFILL PER CITY DETAIL 11 (SEE DETAIL ON DETAILS SHEET).
 2. CONNECT TO BUILDING SANITARY WASTE LINE (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 6" MINIMUM DIAMETER OUTSIDE OF BUILDING.
 3. SANITARY CLEANOUT PER CITY STANDARD DETAIL 19 (SEE DETAIL ON DETAILS SHEET).
 4. CONNECT SANITARY LATERAL TO 8" SANITARY MAIN WITH WYE.
- STORM SEWER NOTES (ST)**
1. 4" SDR-35 PVC STORM SEWER PIPE (SLOPE @ 0.20% MIN).
 2. CONNECT TO BUILDING FLOOR DRAIN.
 3. STORM CLEANOUT PER DETAIL ON DETAILS SHEET.
 4. 12" INFLUENT STORM STRUCTURE.
 5. 4" SDR-35 PVC STORM CLEANOUT @ 0.20% MIN.
 6. CONNECT TO EXISTING ALIET.
 7. FIELD VERIFY INVERTS OF EXISTING PIPE BEFORE ORDERING STRUCTURES.
 8. INSPECT AND CLEAN OUT STORM INFRASTRUCTURE AS NEEDED.

UTILITY LEGEND

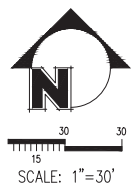
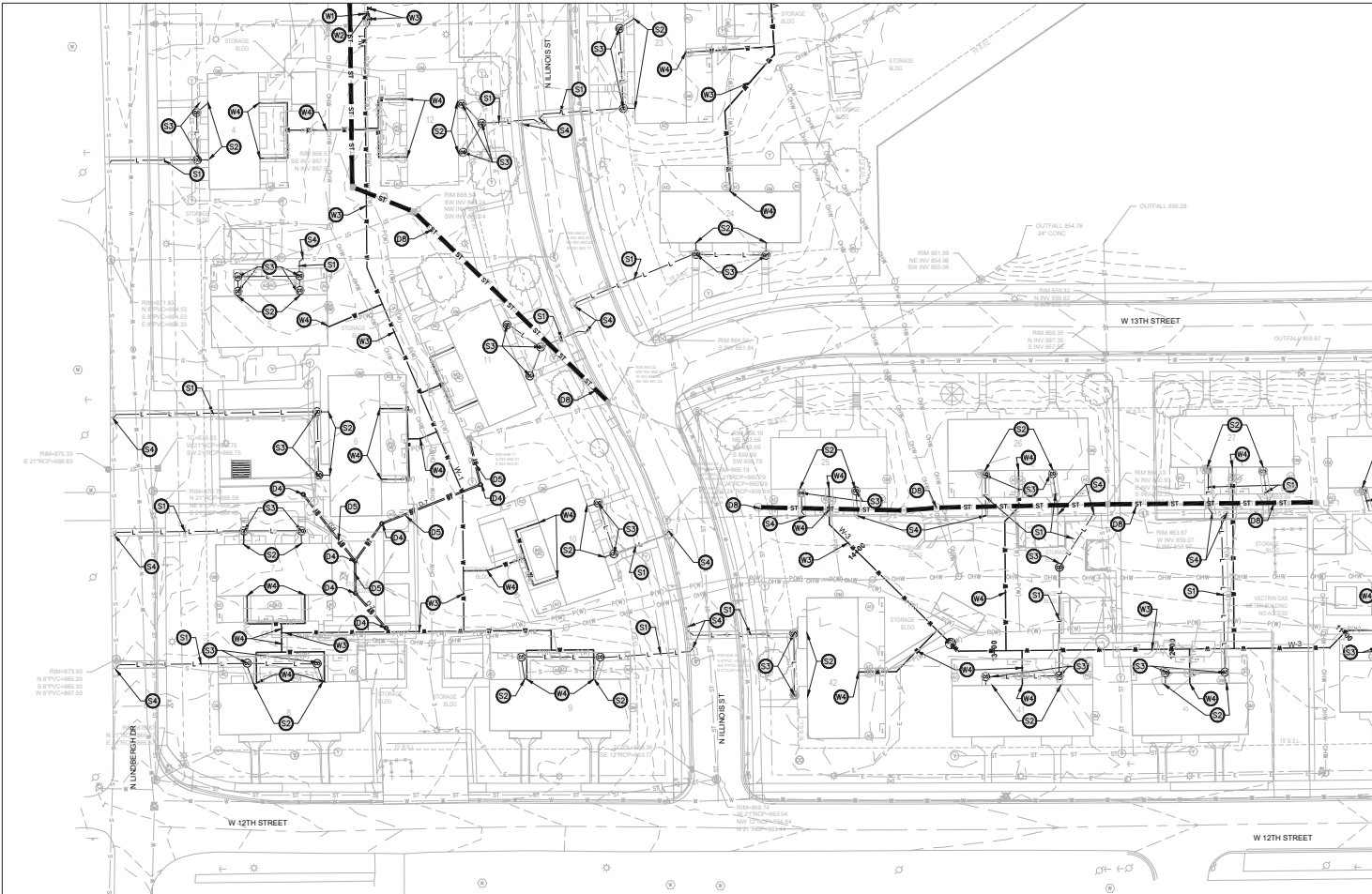


CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
Section 32, T-9-N, R-1-W

BY	DATE
MES	2/22
REVISIONS	
CHANGED (DATE, NOTE AND REVISION NUMBER)	

REVISIONS	KEYS	W/W
	CONTRACTOR	OWNER

SHEET NO. 6107
SHEET 15 OF 46
DATE 10/21/2022
UTILITY PLAN VIEW 1



UTILITY KEY NOTES

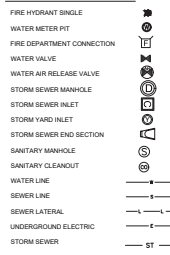
- WATER LINE NOTES (W)**
- CONNECT TO EXISTING 4" WATER METER PER CBU REQUIREMENTS. CONTRACTOR TO EXCAVATE AROUND THE METER PIT TO PROVIDE INSPECTION OF THE METER PIT. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, SURFACE REPAIR. SCHEDULE THE CONNECTION WITH THE CBU INSPECTOR THAT IS ASSIGNED TO THIS JOB.
 - 4" GATE VALVE.
 - 4" C900 PVC DR-14 WATER LINE WITH LOCATOR WIRE. BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEETS). 48" OF COVER MIN. PROVIDE 3" SEPARATION BETWEEN WATER LINE AND OTHER UTILITIES.
 - 2" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "C" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWANA 903 PE4703, ASTM D2737, CTS SDR9 PE230 (NOF 63). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEETS). 48" OR COVER MIN. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MFP.
 - 1" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "C" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWANA 903 PE4703, ASTM D2737, CTS SDR9 PE230 (NOF 63). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEETS). 48" OR COVER MIN.
 - FROST PROOF HOSE BIB.
- SANITARY SEWER NOTES (S)**
- 6" SDR-35 PVC SANITARY SEWER LATERAL (SLOPE @ 1.00% MIN). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEETS).
 - CONNECT TO BUILDING SANITARY INSET LINE (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 6" MINIMUM DIAMETER OUTSIDE OF BUILDING.
 - SANITARY CLEANOUT PER CBU STANDARD DETAIL 19 (SEE DETAIL ON DETAILS SHEET).
 - CONNECT SANITARY LATERAL TO 8" SANITARY MAIN WITH NEW WYE.
- STORM SEWER NOTES (S)**
- 6" SDR-35 PVC STORM SEWER PIPE (SLOPE @ 0.50% MIN).
 - CONNECT TO BUILDING FLOOR DRAIN.
 - STORM CLEANOUT PER DETAIL ON DETAILS SHEET.
 - 12" HYDROLAST STORM STRUCTURE.
 - 8" SDR-35 PVC STORM (SLOPE @ 0.50% MIN).
 - CONNECT TO EXISTING INLET.
 - FIELD VERIFY ANCHOR OF EXISTING PIPES BEFORE CHANGING STRUCTURES.
 - INSPECT AND CLEAN OUT STORM INFRASTRUCTURE AS NEEDED.

UTILITY NOTES

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
- YARD INLETS DRAINAGE STRUCTURES AND CONNECTING PIPES TO BE CLEANED OUT AND INSPECTED AS NOTED AS SHOWN ON PLANS.
- ALL SANITARY LATERAL CONNECTIONS TO CITY MAIN WILL REQUIRE NEW WYE AND TAPPING FEE.
- ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (317) 88-9800 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE 80 WORK CAN BE REQUESTED, DOCUMENTED, AND A PROPER AS-BUILT TAKING. WHEN A CONTRACTOR WORKS ON UNDERGROUND A SERVICE LATERAL, CLEANOUT OR BEYOND NORMAL CBU WORKING HOURS, THE CONTRACTOR WILL BE FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (317) 88-9800.
- MIN. 4" SHOWN ON PLANS. MINIMUM SEWER ELEVATION. IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKWATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE MIN. ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEC. 408(A) OF THE UNIFORM PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- ON ALL EXISTING SANITARY MAINS, WYES SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT. MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT MANNY AXSON AT (317) 88-9800 FOR MORE INFORMATION.
- WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE DRILLED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT OR A SEAL, OR 2 FLEXIBLE CONNECTOR OR APPROVED EQUAL. TUBES AND TROUSERS SHALL BE MOORED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
- IN ACCORDANCE WITH SECTION 4.2.1.1.1 OF THE CBU CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEANOUT AT LEAST EVERY 90 FEET. ALL CLEANOUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE BUILT SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS CAST IRON OR ALUMINUM. 20% OF NEW SANITARY CASTINGS SHALL BE IN GRASSY AREAS. THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 8" THICK AND SHALL BE AT LEAST 8" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 7" BELOW THE TOP OF THE CASTING. A #10 INSULATED

- SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NONMETALLIC PIPES SO THAT ONE REVOLUTION IS MADE AT LEAST EVERY PIPE JOINT. SPICES ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #17.
- WHenever C900 PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARDCO. SIZED FOR C900 ON THE RUN AND SIZES ON THE BRANCH. TRANSITION FROM C900 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARCO C900 TO SDR-35 ADAPTER WYE.
 - ALL 4" O.D. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 40 MILS, AND SHALL BE PROTECTED 40". AS MANUFACTURED BY INDIANON PROTECTIVE COATINGS. WYES FOR 4" O.D. SHALL BE HARCO O.D.P. TO SDR-35 ADAPTER WYES.
 - ALL SUCCLE (NON PIPE) FITTINGS WILL REQUIRE 15% POLYETHYLENE ENCASEMENT OR 4 MIL HIGH-DENSITY CROSS-LINKED POLYETHYLENE ENCASEMENT MATERIAL, INCLUSIVE OF WELDS AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANSIAWMA C1318.1. USING PLASTIC TIE STRIPS OR ORGMENTAL NON-ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
 - ALL GRATES AND COATINGS WITH THE PUBLIC RIGHT OF WAY MUST BE E/J, JOSEPHLY EAST JORDAN IRON WORKS.
 - CONTRACTOR TO AVOID TREES WITH ROUTE OF WATER LINES AND SEWER LATERALS WHEREVER POSSIBLE.

UTILITY LEGEND

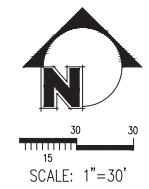
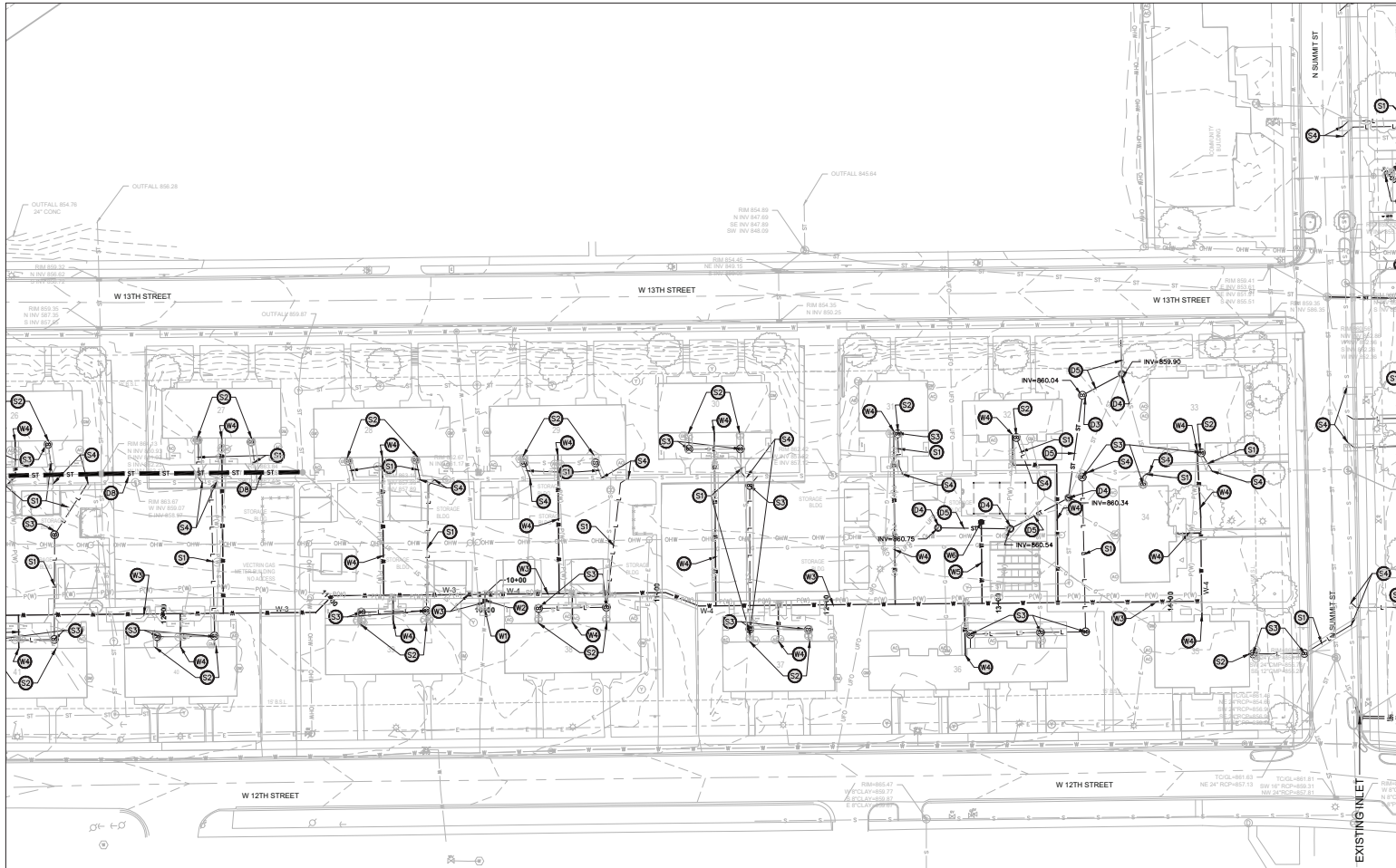


CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

REVISIONS	DATE	BY

DESIGNED BY	KES
CHECKED BY	WYW
DATE	

DATE PLOTTED: 6/10/2022
 SHEET 16 OF 46
 DATE: 10/21/2022
 UTILITY PLAN VIEW 2



UTILITY KEY NOTES

- WATER LINE NOTES (N)**
- CONNECT TO EXISTING 4" WATER METERS PER CBU REQUIREMENTS. CONTRACTOR TO EXCAVATE AROUND THE METER FIT TO PROVIDE INSPECTION OF THE METER FIT. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, SURFACE REPAIR. SCHEDULE THE CONNECTOR WITH THE CBU INSPECTOR THAT IS ASSIGNED TO THIS JOB.
 - 4" GATE VALVE.
 - 4" 1500 PVC OR 24 WATER LINE WITH LOCATE WIRE. BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 48" OF COVER MAN. PROVIDE 18" SEPARATION BETWEEN WATER LINE AND OTHER UTILITIES.
 - 2" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "C" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PR4730, ASTM D2757, CTS 5089 PCD50 (P6) 62). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 48" OF COVER MAN. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MAP.
 - 1" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "C" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PR4730, ASTM D2757, CTS 5089 PCD50 (P6) 62). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEETS). 48" OF COVER MAN.
 - FROST PROOF HOSE BIB.
- SANITARY SEWER NOTES (S)**
- 4" 1500 PVC SANITARY SEWER LATERAL (SLOPE @ 1.00% MIN). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEETS).
 - CONNECT TO BUILDING SANITARY WASTE LINE (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 6" MINIMUM DIAMETER OUTSIDE OF BUILDING.
 - SANITARY CLEANOUT FOR CBU (STANDARD) SHALL BE 30' FROM THE END OF DETAILS SHEETS).
 - CONNECT SANITARY LATERAL TO 8" SANITARY MAIN WITH NEW WIRE.
- STORM SEWER NOTES (O)**
- 4" 1500 PVC STORM OVERHEAD PIPE (SLOPE @ 0.50% MIN).
 - CONNECT TO BUILDING ROOF DRAINS.
 - STORM CLEANOUT PER DETAIL ON DETAILS SHEET.
 - 12" NYLOPLAST STORM STRUCTURE.
 - 4" 1500 PVC STORM (SLOPE @ 0.50% MIN).
 - CONNECT TO EXISTING INLET.
 - FIELD VERIFY INVERT OF EXISTING PIPES BEFORE ORDERING STRUCTURES.
 - INSPECT AND CLEAN OUT STORM INFRASTRUCTURE AS NEEDED.



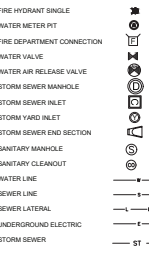
02/11/2022

CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

UTILITY NOTES

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THIS DRAWING IS A GENERAL INDICATION OF THE LOCATION OF UTILITIES TO BE CLEARED OR TO BE RELOCATED AS NECESSARY FOR THE PROJECT. CONTRACTOR TO VERIFY THE LOCATION OF UTILITIES BY FIELD SURVEY AND TO PROVIDE THE CITY WITH A UTILITY LOCATIONS MAP. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES DEPARTMENT. CONTRACTOR TO SCHEDULE THE MEETING AND CONTACT THE UTILITIES TECHNICIAN AT (317) 448-3853 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE 50 WORK HOURS BEFORE INSPECTION, DOCUMENTATION AND PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CBU DESIGNATED HOLIDAY OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (317) 448-3853.
- MANHOLE ELEVATION SHALL BE MINIMUM SEWER ELEVATION. IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY FLOW. CONTRACTOR SHALL VERIFY THE SEWER ELEVATION THAT WILL BE SERVED BY GRAVITY FLOW. SEWER ELEVATION MUST BE ABOVE THE FIN FLOOR ELEVATION OF THE LIFETIME SANITARY MANHOLE. IF NOT, A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEC. 400A OF THE UNIFORM PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- ON ALL EXISTING SANITARY MAINS, WYES SHALL BE CUT AND BLEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT WANDA ASBON AT (317) 448-3889 FOR MORE INFORMATION.
- WHEN CONNECTING NEW PIPES TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRESSED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT KORN-SEAL 1 OR 2 (RELEASE CONNECTION OR APPROVED EQUAL). TIE-BARS AND TIE-RODS SHALL BE INSTALLED AS NECESSARY TO DIRECT THE TOWN FROM THE SERVICE INVERT OF CONNECTION TO THE MANHOLE. MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
- IN ACCORDANCE WITH SECTION 4.2.3.1 OF THE CBU CONSTRUCTION SPECIFICATIONS, ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 90 FEET. ALL CLEAN-OUTS, WEATHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE 3/8" SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2815 OR NEENAH CATALOGUE NO. R-1024A. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 6" THICK AND SHALL EXTEND AT LEAST 6" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 1" BELOW THE TOP OF THE CASTING. A 1/2" INSULATED SHALL COPPER LOCATOR WIRE SHALL BE (WRAPPED AROUND ALL NOMMET ALL PIPES) THAT ONE REVOLUTION IS MADE AT LEAST EVERY PIPE JOINT. SPICES ARE TO BE MADE WITH AN APPROVED CONNECTOR AND WIRE TO BE SURFACE PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- WHEREVER CDMO PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARDCO. SIZED FOR CDMO ON THE RUN AND SOLID ON THE BRANCH. TRANSITION FROM CDMO TO 3/8" S-P PIPE SHALL BE MADE BY USE OF A HARDCO CDMO TO 3/8" S-P ADAPTER WYES.
- ALL D.I.P. LINES FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 4/8 MILS, AND SHALL BE PROTECTO-41, AS MANUFACTURED BY INDRON PROTECTIVE COATINGS. WYES FOR D.I.P. SHALL BE HARDCO CLIP TO 3/8" ADAPTER WYES.
- ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE LABELED IN ACCORDANCE WITH POLYETHYLENE ENCASEMENT OR 4 MIL HIGH-DENSITY CROSS-LAMINATED HDPE). POLYETHYLENE ENCASEMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS, THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANIRAWWA C-1062-1. USING PLASTIC TIE STRAPS OR CIRCUMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SUFFICIENT PROTECTIVE ENVELOPE.
- ALL GRATES AND CASTINGS WITHIN THE PUBLIC RIGHT OF WAY MUST BE E.I. FORMERLY EAST JORDAN IRON WORKS.
- ALL DRAINS MUST HAVE THE PHRASE "DRAIN TO STREAM" OR SIMILAR STAMPED ON THEM.
- CONTRACTOR TO AVOID TREES WITH ROUTE OF WATER LINES AND SEWER LATERALS WHEREVER POSSIBLE.

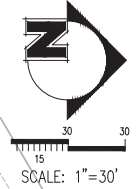
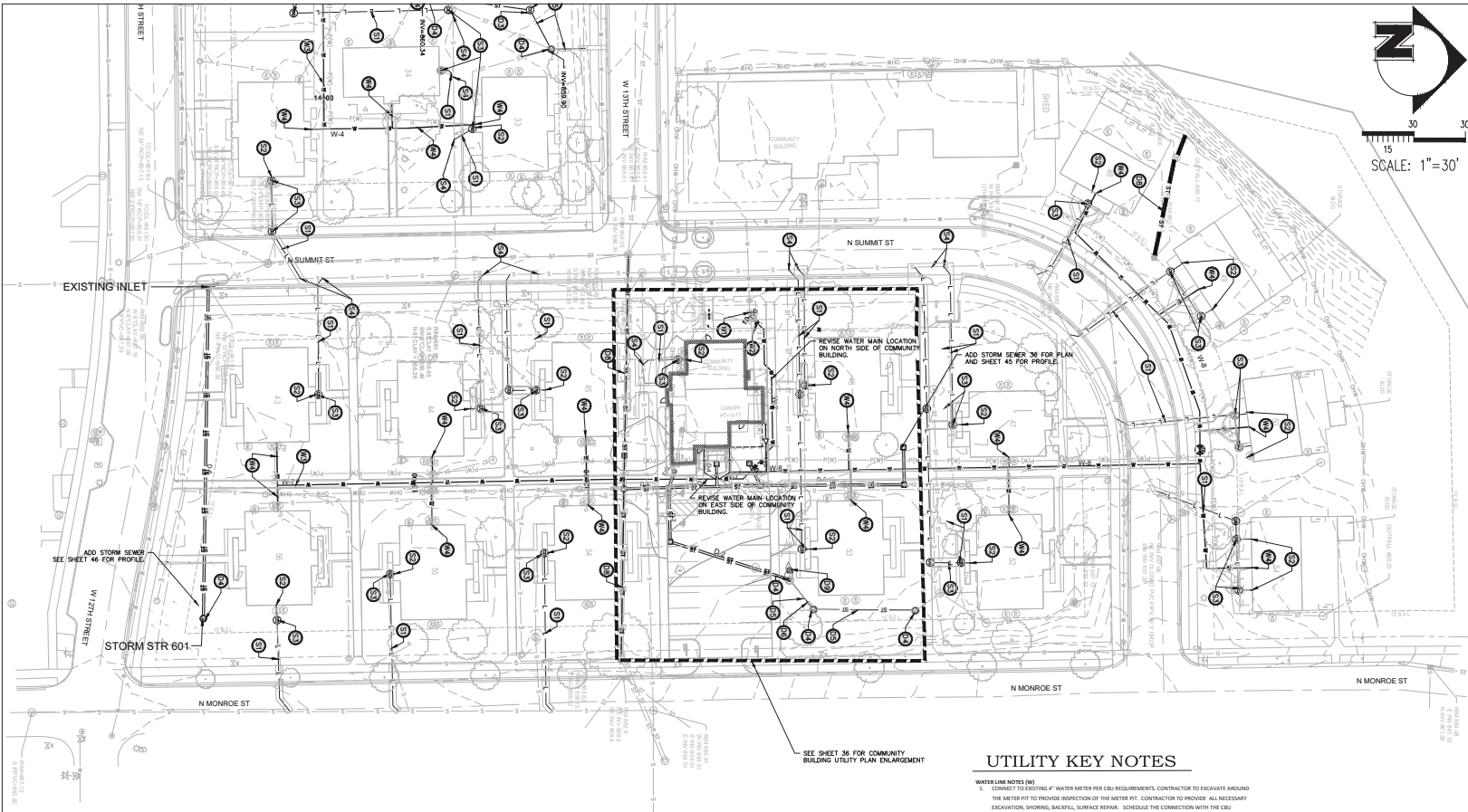
UTILITY LEGEND



REVISIONS	BY	DATE
1. REVOLUTIONARY NOTES AND ADDD CHANGE NOTES	KES	2-22-22
2. STORM BUILDING PERMANENCE AND DRAINING REVISIONS	DK	2-22-22
3. COMMUNITY BUILDING PERMANENCE AND DRAINING REVISIONS	DK	2-22-22

REVISIONS	BY	DATE
1. KES	WJW	2-22-22
2. WJW	WJW	2-22-22

DATE: 01/10/2022
 SHEET 17 OF 46
 DATE: 10/21/2022
 UTILITY PLAN VIEW 3



UTILITY NOTES

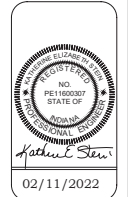
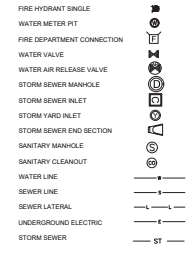
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
- ALL FUTURE LATERAL CONNECTIONS TO CITY MAIN WILL REQUIRE NEW WYE AND TAPPING FEE. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES DEPARTMENT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812) 346-3813 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CITY INSPECTOR MUST HAVE NOTICE OF WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CITY DESIGNATED HOLDOUT OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 346-3868.
- MS-A, IF SHOWN ON THE PLANS, MINIMUM SEWER ELEVATION IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKWATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE RIM ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEC. 600(A) OF THE UNIFORM PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- ON ALL EXISTING SANITARY MAINS, WYES SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES SUPPLYING ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT NANCY ADKINS AT (812) 346-3868 FOR MORE INFORMATION.
- WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRILLED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT KORN SEAL, OR 2 FLEXIBLE CONNECTOR OR APPROVED EQUAL. TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. WEIGHT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
- IN ACCORDANCE WITH SECTION 8.2.5.1.2 OF THE CBU CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 90 FEET. ALL CLEAN-OUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2915 OR NEENAH CATALOGUE NO. R61274A. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED ON A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 1/2" THICK AND SHALL EXTEND AT LEAST 4" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 1" BELOW THE SURFACE OF THE CASTING. A FINISHED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT ONE RECOGNITION IS MADE AT LEAST EVERY PIPE JOINT. SPLICES ARE TO BE MADE WITH AN APPROVED

- CONNECTOR, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #11".
- WHEREVER CBSU PIPE IS USED FOR SEWER, ALL WYES SHALL BE MARCO. USED FOR CBSU ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM CBSU TO SDR-35 PIPE SHALL BE MADE BY USE OF A MARCO ADAPTER.
 - ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 45 MILS AND SHALL BE PROTECTED BY POLYURETHANE PROTECTIVE COATING. WYES FOR D.I.P. SHALL BE MARCO D.I.P. TO SDR-35 ADAPTER WYES.
 - ALL CAST IRON PIPE SHALL BE POLYURETHANE ENCASUREMENT SLEEVES AND SHALL BE RAIL LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASUREMENT OR 4 MIL HIGH-DENSITY CROSS-LINKED (HD) POLYETHYLENE ENCASUREMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C500-11. USING PLASTIC TIE STRAPS OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
 - ALL GRATES AND CASTINGS WITHIN THE PUBLIC RIGHT OF WAY MUST BE E/F FORMERLY EAST (JORDAN ROW WORKS).
 - ALL GRATES MUST HAVE THE PHRASE "DUMP NO WASTE - DRAINS TO STREET" OR SIMILAR STAMPED ON THEM.
 - CONTRACTOR TO AVOID TREES WITH ROUTE OF WATER LINES AND SEWER LATERALS WHEREVER POSSIBLE.

UTILITY KEY NOTES

- WATER LINE NOTES (W)**
- CONNECT TO EXISTING 4" WATER METER PER CBU REQUIREMENTS. CONTRACTOR TO EXCAVATE AROUND THE METER PIT TO PROVIDE INSPECTION OF THE METER PIT. CONTRACTOR TO PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, SURFACE REPAIR. SCHEDULE THE CONNECTION WITH THE CBU INSPECTOR THAT IS ASSIGNED TO THIS JOB.
 - 4" GATE VALVE.
 - 4" 1500 PVC ON-SH WATER LINE WITH LOCATED WYE. BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN. PROVIDE 3" SEPARATION BETWEEN WATER LINE AND OTHER UTILITIES.
 - 2" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "C" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4718, ASTM D2733, CTS 5089 PC250 TOP 611. BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MFP.
 - 1" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "C" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4718, ASTM D2733, CTS 5089 PC250 TOP 611. BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET). 4" OF COVER MIN.
 - PROOF HOSE BIB.
- SANITARY SEWER NOTES (S)**
- 6" SDR-35 PVC SANITARY SEWER LATERAL (SLOPE @ 1.00% MIN). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET).
 - CONNECT TO BUILDING SANITARY WASTE LINE (SEE PLUMBING PLANS). SANITARY SEWER PIPE TO BE 6" MINIMUM DIAMETER OUTSIDE OF BUILDING.
 - SANITARY CLEANOUT PER CBU STANDARD DETAIL 10 (SEE DETAIL ON DETAILS SHEET).
 - CONNECT SANITARY LATERAL TO 6" SANITARY MAIN WITH NEW WYE.
- STORM SEWER NOTES (O)**
- 6" SDR-35 PVC STORM SEWER PIPE (SLOPE @ 0.50% MIN).
 - CONNECT TO BUILDING ROOF DRAINS.
 - STORM CLEANOUT PER DETAIL ON DETAILS SHEET.
 - 12" NYLONLAST STORM STRUCTURE.
 - 6" SDR-35 PVC STORM (SLOPE @ 0.50% MIN).
 - CONNECT TO EXISTING MAIN.
 - FIELD VERIFY INVERT OF EXISTING PIPES BEFORE ORDERING STRUCTURES.
 - FIELD AND CLEAN OUT STORM INFRASTRUCTURE AS NEEDED.

UTILITY LEGEND



CRESTMONT COMMUNITY
BLOOMINGTON, INDIANA
 Section 32, T-9-N, R-1-W

BY	DATE	REVISIONS
KES	10/21/2022	ISSUE FOR PERMITTING
KES	10/21/2022	REVISE UTILITY NOTES AND ADD DRAINAGE NOTES
DK	10/21/2022	REVISE WATER MAIN LOCATION AND LAST SIDE OF COMMON BLDG
DK	10/21/2022	STORM SEWER INLET AND END SECTION
DK	10/21/2022	COMMUNITY BUILDING EXHAUST AND GRADING REVISIONS

OUR PROJECT NO. **6107**
 SHEET **18** OF **46**
 DATE **10/21/2022**
 UTILITY PLAN
 VIEW 4

September 19, 2023

John Saunders
Chair
Bloomington Historic Preservation
401 N Morton St, Suite 130
Bloomington, IN 47404

Re: Osage Place Multi-House Development, Habitat for Humanity, Monroe County, Indiana – HOME, SHOP, Community Development Block Grants

Dear Mr. Saunders,

The City of Bloomington, Indiana is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Bloomington has assumed HUD's environmental review responsibilities for the project, including consulting with interested parties related to historic properties. Historic properties include archeological sites and structures.

City of Bloomington will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have local historical significance and to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Osage Place consists of 12.5 acres on the southwest side of Bloomington. Habitat for Humanity (HFH) currently owns 12.5 acres to the northwest of 700 W. Guy Avenue, west of the intersection of Rockport Road and Rogers Street, Bloomington, Monroe County, Indiana (39.14505, -86.54485). Once fully built, this neighborhood will accommodate 69 Habitat homes. HOME funding will pay for home construction. SHOP and CDBG funding will pay for land and infrastructure expenses. An archaeological review was conducted in 2015 when the first of three parcels of land was purchase by HFH in a first phase of a larger development.

The development has since then commenced on the portion that had been submitted and studied and on one of the newer parcels. The site is currently the final size that had been

envisioned from the start. Ground disturbance has already taken place where the streets have been laid out, utilities have been installed, and the construction of seven houses has been completed with four additional houses started on the southwest corner of the site. These are all contemplated to be slab on grade based on a series of pre-designed templates.

Streets have already been laid throughout the entire site. However, construction has been halted until the NEPA process has been completed on the entirety of the site, including an expansion of the Section 106 Review process. There are currently seven houses completed on the south side of the lot and four that have been started.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

If you do not wish to consult on this project, no reply to this letter is needed. Thank you very much. We value your assistance and look forward to consulting further if there are historic properties that may be affected by this project.

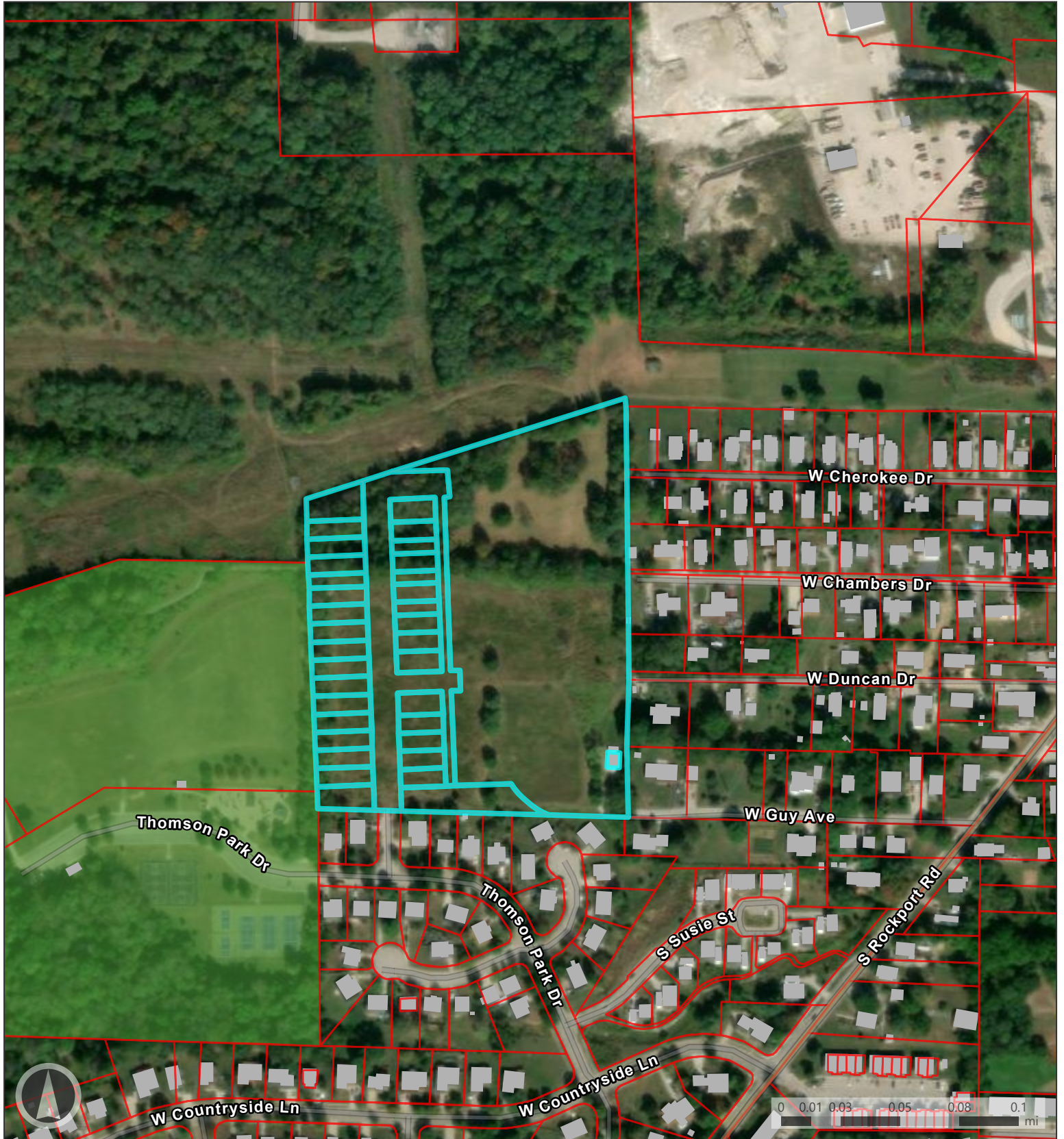
Sincerely,



Gloria M. Colom Braña
Historic Preservation Program Manager
City of Bloomington, Indiana

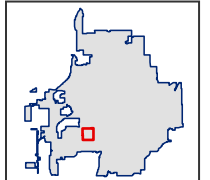
Cc: Department of Historic Preservation and Archeology, Department of Natural Resources, Indiana

Attachments

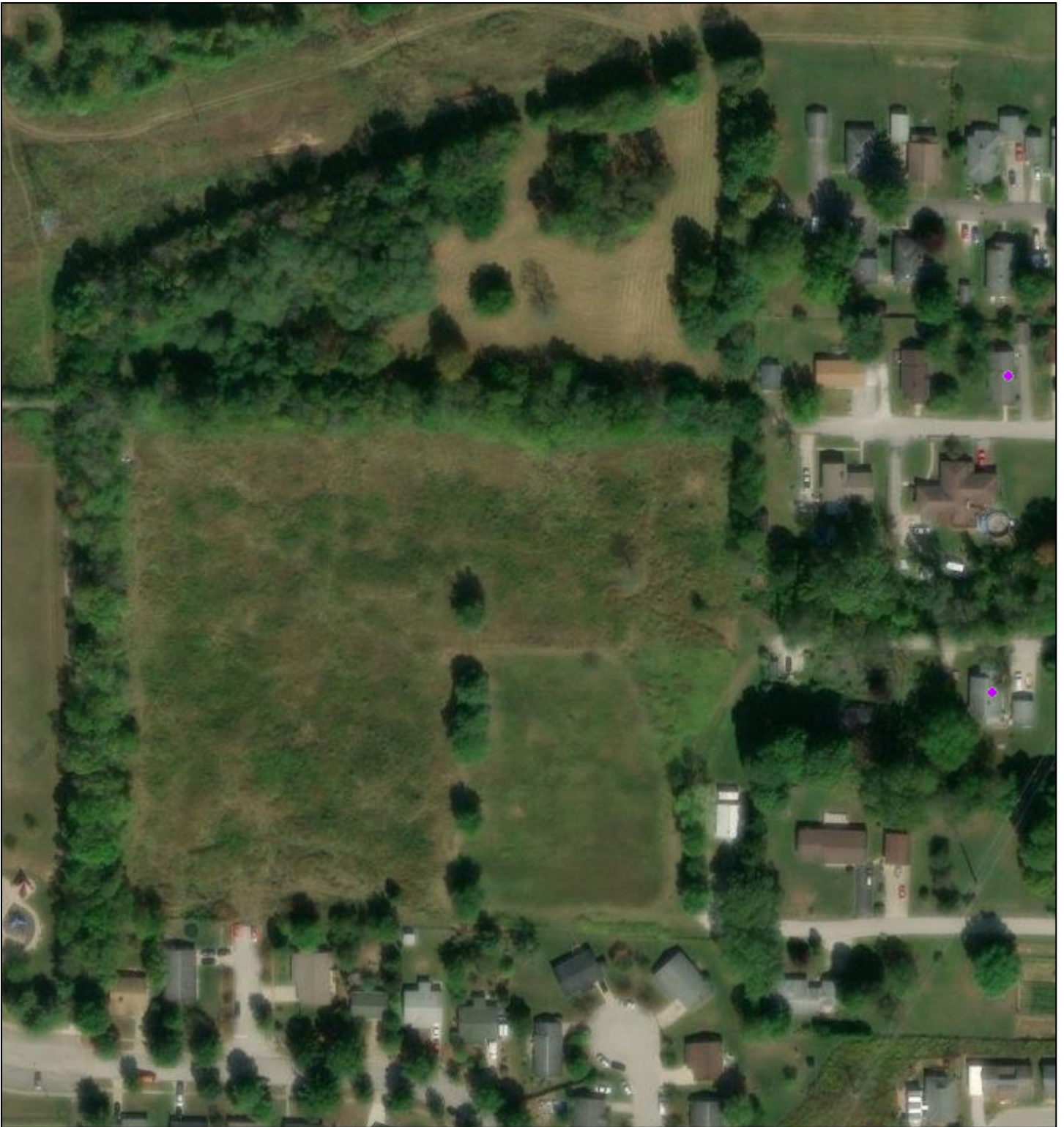


Map Legend

- Monroe County Parcels
- Building Areas
- Park Boundary



Osage Place Habitat For Humanity - SHAARD Map

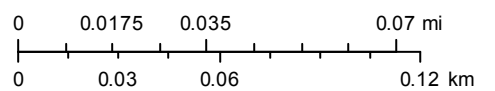


9/18/2023, 3:12:17 PM

County Survey Sites

● Contributing

1:2,257



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



Figure 1. Location of Monroe County within the State.

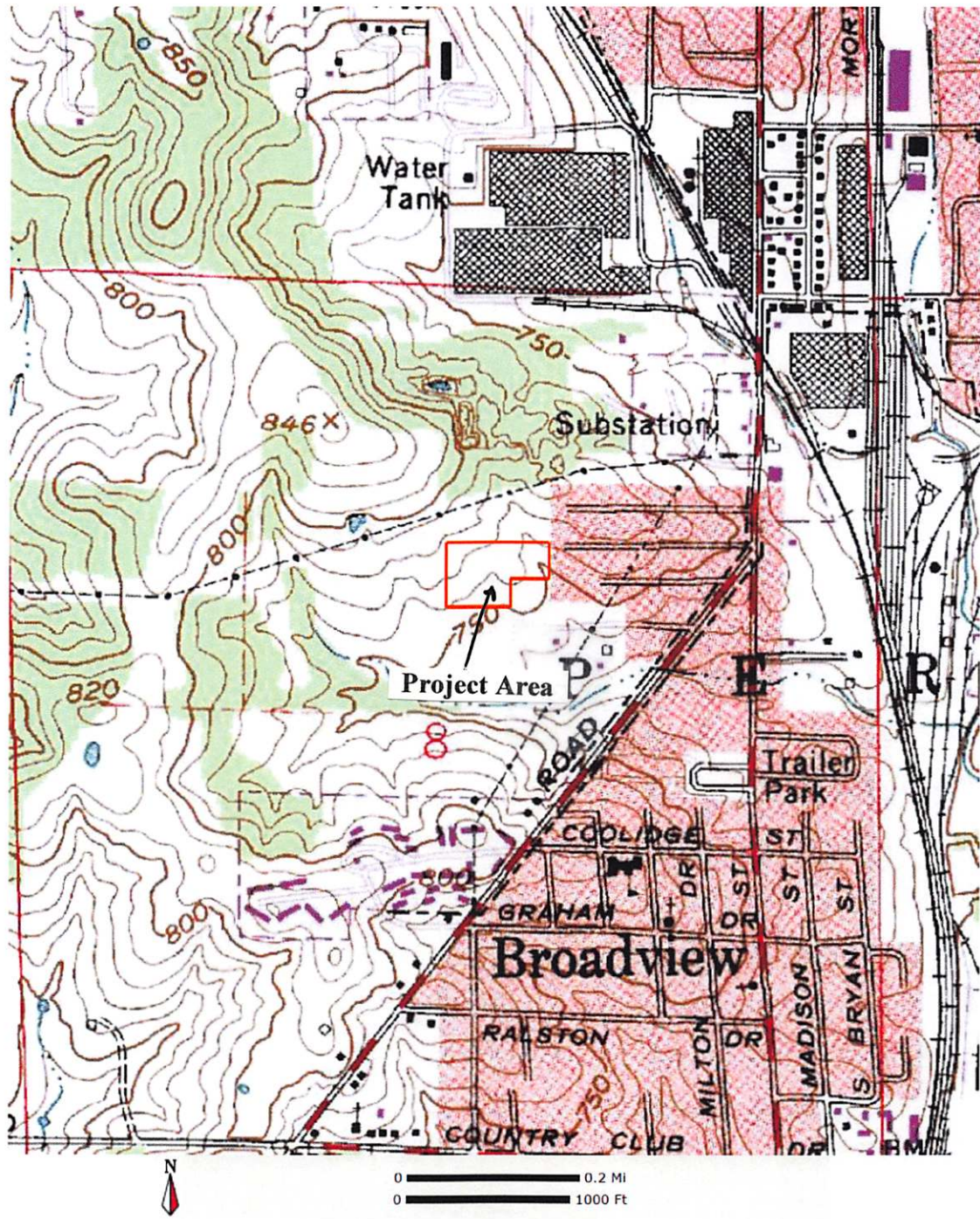


Figure 2. Portion of USGS 7.5' Bloomington, Indiana Quadrangle showing the project area.



Osage Place, Habitat for Humanity, Bloomington, Monroe County, Indiana
Photo 1
Site Visit September 5, 2023
Facing north west from S. Bernard Drive.



Osage Place, Habitat for Humanity, Bloomington, Monroe County, Indiana
Photo 2
Site Visit September 5, 2023
Standing on the west side of S Bernard Dr. facing east



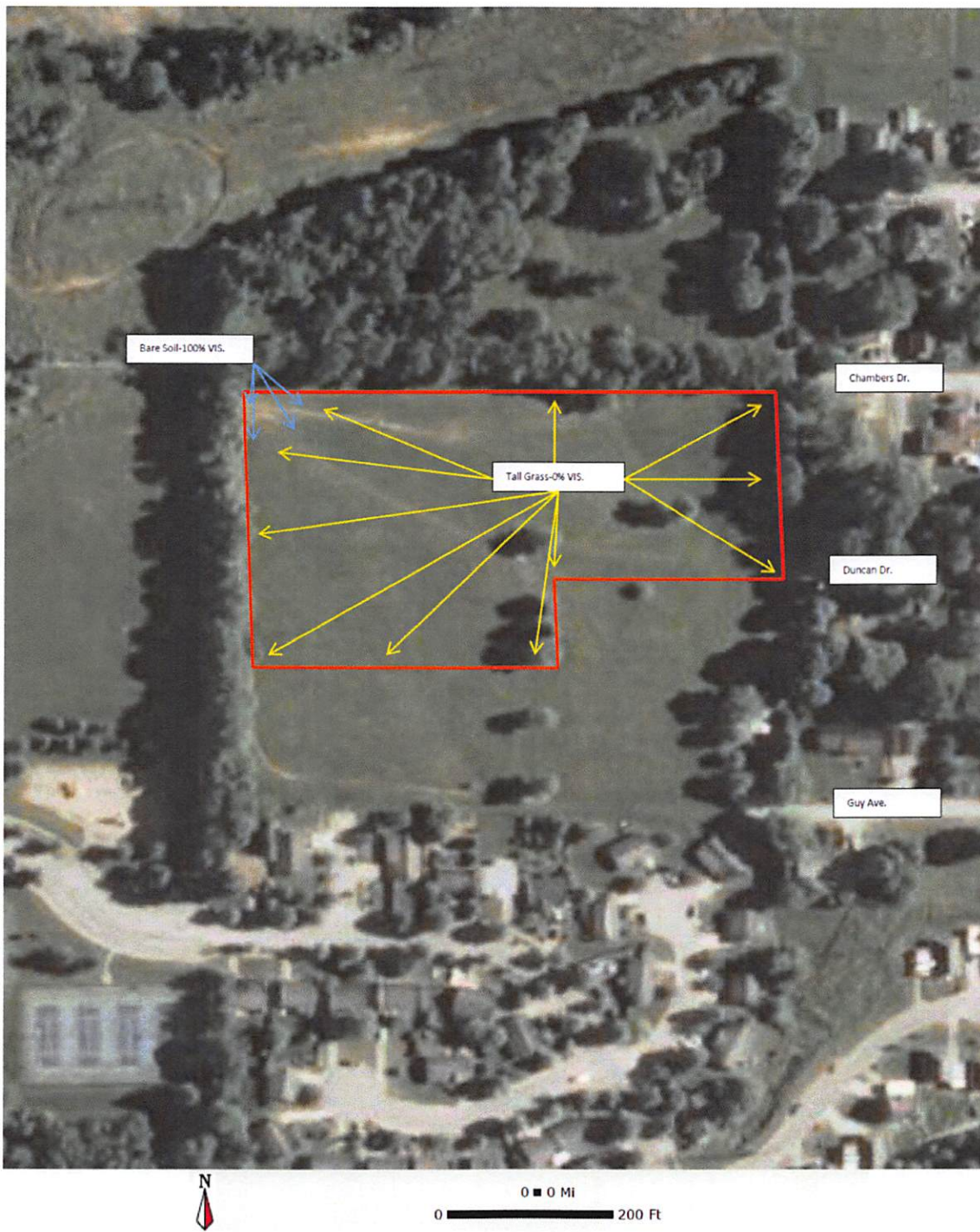
Osage Place, Habitat for Humanity, Bloomington, Monroe County, Indiana
Photo 3
Site Visit September 5, 2023
Standing towards the north edge of the lot looking northeast.



Osage Place, Habitat for Humanity, Bloomington, Monroe County, Indiana
Photo 4
Site Visit September 5, 2023
Standing on the corner of S Bernard and Cherokee Drive facing northwest



Osage Place, Habitat for Humanity, Bloomington, Monroe County, Indiana
Photo 5
Site Visit September 5, 2023
Standing on the north side of S Bernard Dr. facing south



Map from the first DHPA study in 2015.

Figure 3. Aerial Map of the Project.

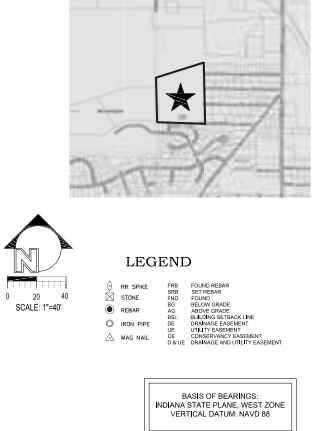
Osage Place status 2023

- HOMES UNDER CONSTRUCTION permits issued 4/2023
- COMPLETED HOMES



OSAGE PLACE SUBDIVISION PHASE 2 FINAL PLAT

PERRY TOWNSHIP
SECTION 8 TOWNSHIP 8 NORTH
RANGE 1 WEST



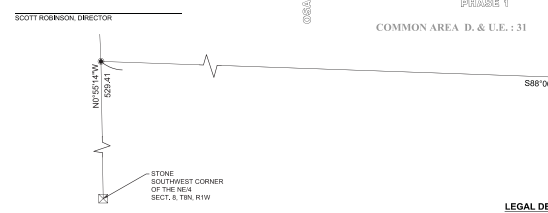
LOT #	ADDRESS
32	S. GUY AVENUE
33	S. GUY AVENUE
34	S. GUY AVENUE
35	S. GUY AVENUE
36	S. GUY AVENUE
37	S. GUY AVENUE
38	S. GUY AVENUE
39	S. GUY AVENUE
40	S. GUY AVENUE
41	S. GUY AVENUE
42	S. GUY AVENUE
43	S. GUY AVENUE
44	S. GUY AVENUE
45	S. GUY AVENUE
46	S. GUY AVENUE
47	S. GUY AVENUE
48	S. GUY AVENUE
49	S. GUY AVENUE
50	S. GUY AVENUE
51	S. GUY AVENUE
52	S. GUY AVENUE
53	S. GUY AVENUE
54	S. GUY AVENUE
55	S. GUY AVENUE
56	S. GUY AVENUE
57	S. GUY AVENUE
58	S. GUY AVENUE
59	S. GUY AVENUE
60	W. DUNCAN DRIVE
61	W. DUNCAN DRIVE
62	W. CHAMBERS DRIVE
63	W. CHAMBERS DRIVE
64	W. CHAMBERS DRIVE
65	W. CHAMBERS DRIVE
66	W. CHEROKEE DRIVE
67	W. CHEROKEE DRIVE
68	W. CHEROKEE DRIVE
69	W. CHEROKEE DRIVE
70	W. CHEROKEE DRIVE

- GENERAL NOTES
- 1. BASED UPON A SCALED INTERPRETATION OF THE FLOOD INSURANCE RATE MAP (FIRM) ISSUED FOR MONROE COUNTY, INDIANA, DATED DECEMBER 17, 2010, THE SUBJECT PROPERTY IS LOCATED WITHIN (UNSHADED) ZONE X.
- 2. ALL MONUMENTS FOUND IN PERFORMANCE OF THIS SURVEY WERE FOUND FLUSH WITH THE EXISTING GROUND UNLESS OTHERWISE NOTED, AND THE AGE AND ORIGIN OF 840 FOOT MONUMENTS ARE UNKNOWN UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE LABELED.
- 4. ALL SET REBAR IS A 2" REBAR WITH A YELLOW CAP STAMPED "SDC INC FIRM 0101"
- 5. REFERENCE IS MADE TO THE FOLLOWING SURVEYS OR PLATS:
 - A. AUTUMN VIEW SUBDIVISION PLAT CABINET C, ENVELOPE 80.
 - B. DRAGON SURVEY ELEGANT TAPP & REDGERT, INSTRUMENT 1990022132.
 - C. LUTES SUBDIVISION PLAT CABINET D, ENVELOPE 81.
 - D. PLEASANT VIEW ADDITION.
 - E. BLOOMINGTON INDUSTRIAL COMPLEX SURVEY BY TH SCHINDLER CORP. DATED JULY 26, 2002.
 - F. THOMPSON BOUNDARY SURVEY BY THIS FIRM JOB #4478 DATED JANUARY 19, 2009.
 - G. OSAGE PLACE PHASE 1 FINAL PLAT, INSTRUMENT 2022007569.

Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	222.32	15000	84° 55' 12"	S44° 56' 20"E	202.52
C2	56.31	30000	2° 41' 19"	N88° 51' 55"E	56.30
C3	58.11	30000	11° 05' 56"	N78° 25' 42"E	58.02
C4	91.50	30000	17° 28' 33"	N61° 37' 01"E	91.15

PLANNING AND TRANSPORTATION
UNDER THE INDIANA CODE CODE 36-2-4-200 SERIES, ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE CITY OF BLOOMINGTON AS FOLLOWS:
APPROVED PER TERMS AND CONDITIONS OF PLAN COMMISSION CASE #PUD-1049 AND SP04-2420
APPROVED BY THE CITY PLANNING AND TRANSPORTATION AT A MEETING HELD _____, 2023.

- UTILITY EASEMENT
- PEDESTRIAN EASEMENT
- CONSERVANCY EASEMENT
- DRAINAGE EASEMENT
- SHALL PROHIBIT ANY ALTERATION WITHIN THE EASEMENT THAT WOULD INHIBIT OR REDIRECT FLOW.
- SHALL PROVIDE THAT THE OWNER OF THE LOT ON WHICH THE EASEMENT IS PLACED SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FEATURES WITHIN SUCH EASEMENT.
- SHALL BE ENFORCEABLE BY THE CITY UTILITIES DEPARTMENT AND ANY OWNERS OF PROPERTIES THAT ARE ADVERSELY AFFECTED BY CONDITIONS WITHIN THE EASEMENT.
- SHALL ALLOW THE CITY UTILITIES DEPARTMENT TO ENTER UPON THE EASEMENT FOR THE PURPOSE OF MAINTENANCE, TO CHANGE THE COATES OF SUCH MAINTENANCE TO THE RESPONSIBLE PARTIES, TO CONSTRUCT DRAINAGE FACILITIES WITHIN THE EASEMENT, AND TO ASSUME RESPONSIBILITY FOR THE DRAINAGE FEATURES WITHIN THE EASEMENT.
- PROHIBITS THE PLACEMENT OF ANY UNAUTHORIZED OBSTRUCTION WITHIN THE EASEMENT AREA UNLESS AUTHORIZED BY THE CITY UTILITIES DEPARTMENT AND THE EASEMENT HOLDERS.
- UTILITIES EASEMENT
- SHALL ALLOW WITH PRIVATE AND PUBLIC UTILITY PROVIDERS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF UTILITY FACILITIES.
- PROHIBITS THE PLACEMENT OF ANY UNAUTHORIZED OBSTRUCTION WITHIN THE EASEMENT AREA UNLESS AUTHORIZED BY THE CITY UTILITIES DEPARTMENT AND THE EASEMENT HOLDERS.
- PEDESTRIAN EASEMENT
- GRANTS THE GENERAL PUBLIC THE RIGHT TO ACCESS THE PEDESTRIAN EASEMENT FOR PURPOSES OF WALKING, RUNNING, BICYCLING, SKATING, OR USING SMALL MOTORIZED AND NONMOTORIZED VEHICLES APPROVED BY THE CITY.
- GRANTS THE CITY THE RIGHT TO CONSTRUCT, ALTER, REPAIR, MAINTAIN, OR REMOVE IMPROVEMENTS WITHIN THE EASEMENT AREA.
- PROHIBITS THE PLACEMENT OF ANY OBSTRUCTION WITHIN THE PEDESTRIAN EASEMENT.
- CONSERVANCY EASEMENT
- SHALL ALLOW WITH PRIVATE AND PUBLIC UTILITY PROVIDERS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF UTILITY FACILITIES.
- PROHIBITS THE PLACEMENT OF ANY OBSTRUCTION WITHIN THE EASEMENT AREA UNLESS AUTHORIZED BY THE CITY UTILITIES DEPARTMENT AND THE EASEMENT HOLDERS.
- ALL CONSERVANCY EASEMENTS SHALL BE IDENTIFIED WITH PUBLIC BOUNDS LOCATED ALONG THE BOUNDARY OF THE EASEMENT. PUBLIC BOUNDS SHALL BE PLACED AT INTERVALS OF NO MORE THAN 200 FEET, AND EACH PUBLIC BOUND SHALL BE A MINIMUM OF ONE INCH HALF SQUARE FEET IN AREA. A MINIMUM OF ONE PUBLIC BOUND IS REQUIRED, REGARDLESS OF EASEMENT SIZE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING REQUIRED SIGNAGE.
- ALLS IN CASES WHERE REMOVAL OF EXISTING OR INACTIVE SPECIES IS PROPOSED, THE RESTORATION OF DETRIED AREAS WITH NATIVE PLANT MATERIAL, WRITTEN APPROVAL FROM THE PLANNING AND TRANSPORTATION DEPARTMENT IS REQUIRED PRIOR TO ANY PROPOSED RESTORATION.



LEGAL DESCRIPTION
A PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 8 NORTH, RANGE 1 WEST, MONROE COUNTY, INDIANA, DESCRIBED AS FOLLOWS:
COMMENCING AT A STONE MARKING THE SOUTHWEST CORNER OF SAID QUARTER, THENCE NORTH 00 DEGREES 55 MINUTES 14 SECONDS WEST INDIANA STATE PLANE, WEST ZONE, ALONG THE WEST LINE OF AUTUMN VIEW PLAT CABINET "C", ENVELOPE 80, 528.41 FEET TO THE SOUTHWEST CORNER OF OSAGE PLACE SUBDIVISION PHASE 1 INSTRUMENT NUMBER 2022007569; THENCE SOUTH 88 DEGREES 50 MINUTES 31 SECONDS EAST ALONG THE SOUTH LINE THEREOF 517.98 FEET TO THE SOUTHWEST CORNER OF COMMON LOT 31 IN SAID PHASE 1 AND TO THE POINT OF BEGINNING; THE NEXT (11) COURSES ARE ALONG SAID PHASE 1: (1) THENCE NORTH 07 DEGREES 11 MINUTES 15 SECONDS EAST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 51 DEGREES 38 MINUTES 45 SECONDS WEST AND A DISTANCE OF 118.00 FEET; (2) THENCE NORTH 07 DEGREES 31 MINUTES 15 SECONDS EAST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 51 DEGREES 38 MINUTES 45 SECONDS WEST AND A DISTANCE OF 118.00 FEET; (3) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (4) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (5) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (6) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (7) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (8) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (9) THENCE NORTH 02 DEGREES 28 MINUTES 44 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.20 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 88 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.80 FEET; (10) THENCE SOUTH 16 DEGREES 17 MINUTES 16 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 270.00 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 68 DEGREES 44 MINUTES 38 SECONDS WEST AND A DISTANCE OF 163.69 FEET; (11) THENCE SOUTH 67 DEGREES 31 MINUTES 16 SECONDS WEST 105.92 FEET TO THE SOUTH LINE OF THE ELECTRIC TRANSMISSION LINE EASEMENT, BECK, 120, PAGE 609; THENCE NORTH 72 DEGREES 07 MINUTES 44 SECONDS EAST ALONG SAID SOUTH LINE 543.64 FEET TO THE EAST LINE OF LAND CONTAINED IN INSTRUMENT 201910477; THENCE SOUTH 07 DEGREES 04 MINUTES 15 SECONDS EAST ALONG SAID EAST LINE 300.33 FEET TO THE SOUTH LINE OF 174 DEGREES 11 MINUTES 15 SECONDS WEST ALONG SAID EAST LINE 236.49 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 31 SECONDS WEST CONTINUING ON SAID EAST LINE 314.00 FEET TO THE NORTH LINE OF THE AFORESAID AUTUMN VIEW SUBDIVISION; THENCE ALONG SAID NORTH LINE NORTH 88 DEGREES 00 MINUTES 31 SECONDS WEST ALONG SAID NORTH LINE 161.09 FEET TO THE POINT OF BEGINNING, CONTAINING 7.56 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATE
THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF HAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 866 AC. 1.12 FOR THE STATE OF INDIANA.
DATED JULY 07, 2023
TODD M. BORGMAN
REGISTERED LAND SURVEYOR NO. 2120001
STATE OF INDIANA
I AFFIRM UNDER THE PENALTIES FOR PERJURY THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW, (TODD BORGMAN)

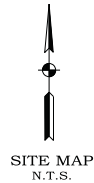
OWNER/SUBDIVIDER
HABITAT FOR HUMANITY OF MONROE COUNTY, INC.
213 E KIRKWOOD AVE.
BLOOMINGTON, IN 47408
INST 2019107484
53-08-00-100-115-000-009

SETBACKS
FRONT YARD SETBACK = 15 FT
CORNER/REAR YARD SETBACKS (BEHIND FRONT WALL OF RESIDENCE) = 10 FT
REAR YARD SETBACKS = 10 FT
SIDE YARD SETBACK = 5 FT MIN.
ALL LOTS ARE FOR SINGLE-FAMILY USE AND ZONED THOMPSON PUD.
COMMON AREAS ARE NON-ALIENABLE LOTS OF RECORD.

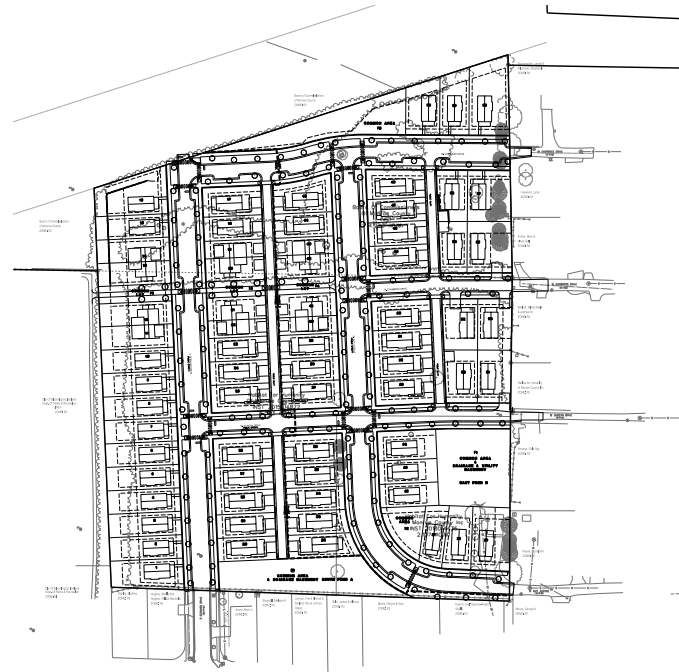


OSAGE PLACE

PHASE 1 BLOOMINGTON, INDIANA HABITAT FOR HUMANITY



PLAN SET IS FOR PHASE 1 ONLY
PHASE 2 IS SHOWN FOR REFERENCE ONLY
AND IS NOT FOR CONSTRUCTION



PROJECT LOCATION



LOCATION MAP
NTS

SHEET INDEX

SHEET #	DESCRIPTION
1	TITLE SHEET
2	PRIMARY PLAT
3-4	SITE PLAN
5-6	GRADING PLAN
7-8	UTILITY PLAN
9-11	ROAD & WATER PROFILES
12-13	SANITARY PROFILES
14-17	STORM PROFILES
18	SWPP INDEX
19-20	SWPP PLAN
21	SWPP SPECIFICATIONS
22	INTERSECTION DETAILS
23	WALL DETAILS
24-26	MISCELLANEOUS DETAILS

NOTE: SANITARY SEWER AND WATER UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE CITY OF BLOOMINGTON UTILITIES CONSTRUCTION SPECIFICATIONS. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE 2021 SMITH DESIGN GROUP, INC. STANDARD SPECIFICATIONS.

SHEET #	REVISIONS	BY	DATE
7-8	REV. #3 SIZE, ADDED GATE VALVE ON W-1 AT STA 16+14	MM	2/19/21
9-10	REV. ROAD PROFILE GRADE, W-3 SIZE, ALL WATER MAIN MATERIAL, ADDED GATE VALVE W-1	MM	2/19/21
12-13	REV. TOP OF CASTING ELEV.	MM	2/19/21
14-17	REV. PIPE LENGTHS AND TOP OF CASTING ELEV.	MM	2/19/21
22	ADDED ADDITIONAL SPOT GRADES TO INTERSECTION DETAILS	MM	2/19/21
7-8	ADDED STREET LIGHT LOCATIONS	RES	2/19/21
9-10	ADDED SIGN RESTRAINTS TO WATER PROFILES, REV. W-3 8" DIA TO 12" DIA	RES	2/25/21
7	REVISED PAVEMENT SECTION TO MATCH MATERIALS ON SHEET 3 & 4.	RES	3/22/21
5	REV. GRADING AROUND R-1 AT STA 16+00 TO 00	RES	4/10/21
24	REV. CURB TRANSITION TO CURB ON REARWARD, REV. PAVEMENT TIE IN ALONG DUNKAN AND GOY	RES	4/10/21
3,3,3,7,3,10,412	REV. NORTH END OF R-1, SITE, GRADING AND ADJ. W. #14	PC/M	8/23/21



JOB NUMBER: 5254

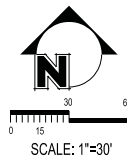
MATERIALS LEGEND

- 1.5" HMA SURFACE ON 2.5" HMA INTERMEDIATE ON 6" COMPACTED AGGREGATE BASE #53, TYPE "0" WITH INDOT SUBGRADE TREATMENT 1C
- 1.25" HMA SURFACE ON 6" COMPACTED AGGREGATE BASE #53, TYPE "0" WITH SUBGRADE TREATMENT 111
- 2" CURB & GUTTER
- 6" CONCRETE SIDEWALK
- 4" THICK, 3500 PSI CONCRETE 4' COMPACTED AGGREGATE BASE #53
- 2" ROLL CURB
- 6" STANDING CURB
- 6" THICK, 3500 PSI CONCRETE 6" COMPACTED AGGREGATE BASE #53
- TRANSITION FROM 2" CURB AND GUTTER TO MATCH EX. 2" ROLL CURB
- LINE, THERMOPLASTIC, SOLID, WHITE, 24" CROSSWALK
- LINE, THERMOPLASTIC, SOLID, WHITE, 24" STOP BAR
- BLUE RETROREFLECTORS FOR SNOWPLOWABLE RAISED PAVEMENT MARKERS TO DENOTE LOCATIONS OF FIRE HYDRANTS
- ACCESSIBLE RAMP, PERPENDICULAR WITH CAST IRON DETECTABLE WARNING ELEMENT PER INDOT REQUIREMENTS AND CITY OF BLOOMINGTON APPROVED MATERIAL
- ACCESSIBLE RAMP, PERPENDICULAR, DETECTABLE WARNING ELEMENT ARE NOT REQUIRED AT ALLEY CROSSINGS
- ACCESSIBLE RAMP, CORNER WITH CAST IRON DETECTABLE WARNING ELEMENT PER INDOT REQUIREMENTS AND CITY OF BLOOMINGTON APPROVED MATERIAL

- 17 CONSERVATION SIGN, SEE DETAIL
- 18 TRAFFIC CONTROL SIGN, R2-1, "SPEED LIMIT 25" 24" X 30" WITH TYPE 1 POST PER CITY OF BLOOMINGTON REQUIREMENTS
- 19 TRAFFIC CONTROL SIGN, DM-1, OBJECT MARKER SIGN WITH TYPE 1 POST PER CITY OF BLOOMINGTON REQUIREMENTS
- 20 TRAFFIC CONTROL SIGN, W1-15, CROSSWALK SIGN 30" X 30" AND W16-7P, DOWNWARD ARROW, 24" X 12" WITH TYPE 1 POST PER CITY OF BLOOMINGTON REQUIREMENTS
- 21 TRAFFIC CONTROL SIGN, R8-3A, "NO PARKING" 24" X 30" WITH TYPE 1 POST PER CITY OF BLOOMINGTON REQUIREMENTS
- 22 TRAFFIC CONTROL SIGN, R1-1, "STOP" 36" X 36" AND R1-3P, "ALL-WAY" 18" X 6" WITH STANDARD METAL SQUARE POST WITH SLEEVE PER CITY OF BLOOMINGTON REQUIREMENTS
- 23 TRAFFIC CONTROL SIGN, R1-1, "STOP" 36" X 36" AND R1-3P, "ALL-WAY" 18" X 6" WITH STANDARD METAL SQUARE POST WITH SLEEVE PER CITY OF BLOOMINGTON REQUIREMENTS
- 24 CITY STREET NAME SIGN
- 25 MODULAR BLOCK WALL WITH FENCE CONTRACTOR TO SUBMIT CERTIFIED SHOP DRAWINGS TO ENGINEER.

CURVE DATA TABLE

NAME	P.C. STATION	P.T. STATION	TANGENT	LENGTH	RADIUS	DELTA	DEG. OF CURVE
C2-1	15+96.14 "R-2"	18+18.46 "R-2"	17+53.40 "R-2"	222.32'	150.00'	84°55'10.83" (L1)	38°11'49.87"
C3-1	11+42.39 "R-3"	12+19.05 "R-3"	11+80.93 "R-3"	38.54'	300.00'	14°38'31.20" (L1)	19°05'54.94"
C3-2	12+19.05 "R-3"	12+81.66 "R-3"	12+50.47 "R-3"	31.42'	62.40'	11°57'22.52" (R1)	19°05'54.94"
C3-3	12+81.66 "R-3"	13+10.56 "R-3"	12+96.12 "R-3"	14.46'	28.90'	09°57'10.07" (R1)	19°05'54.94"
C3-4	14+01.84 "R-3"	14+20.00 "R-3"	14+10.92 "R-3"	9.08'	18.16'	09°52'01.58" (R1)	04°46'28.73"
C3-2	14+20.00 "R-3"	14+58.15 "R-3"	14+39.08 "R-3"	19.08'	38.15'	01°49'17.30" (R1)	04°46'28.73"



PLAN SET IS FOR PHASE 1 ONLY
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AND IS NOT FOR CONSTRUCTION



DATE: 02/05/21

JOB TITLE: OSAGE PLACE PHASE 1
BLOOMINGTON, INDIANA
HABITAT FOR HUMANITY

SITE LEGEND

- 10' EASEMENT
- 10' EASEMENT
- 10' EASEMENT
- 10' EASEMENT
- 2" ROLL CURB
- 2" CURB AND GUTTER
- 6" STANDING CURB
- CONCRETE SIDEWALK
- HANDICAPPED RAILING
- RET. WALL (CONCRETE)
- RET. WALL (MASONRY)
- RET. WALL (STONE)
- RET. WALL (WOOD)
- FENCE (SMOOTH WIRE)
- FENCE (CHAIN LINK)
- FENCE (SMOOTH WIRE)
- FENCE (POST & RAIL)
- FENCE (WOOD SLAT)
- GUARD RAIL
- PROPOSED STREET TREE
- SOILLAND
- DUMPER (WOOD)
- DUMPER (MASONRY)

GENERAL NOTES

- 1. SEE SMITH DESIGN GROUP 2014 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- 2. TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: A) MANHOLE'S RIM ELEVATION B) INLETS/GUTTER ELEVATION
- 3. LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.

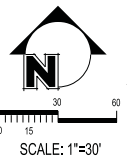
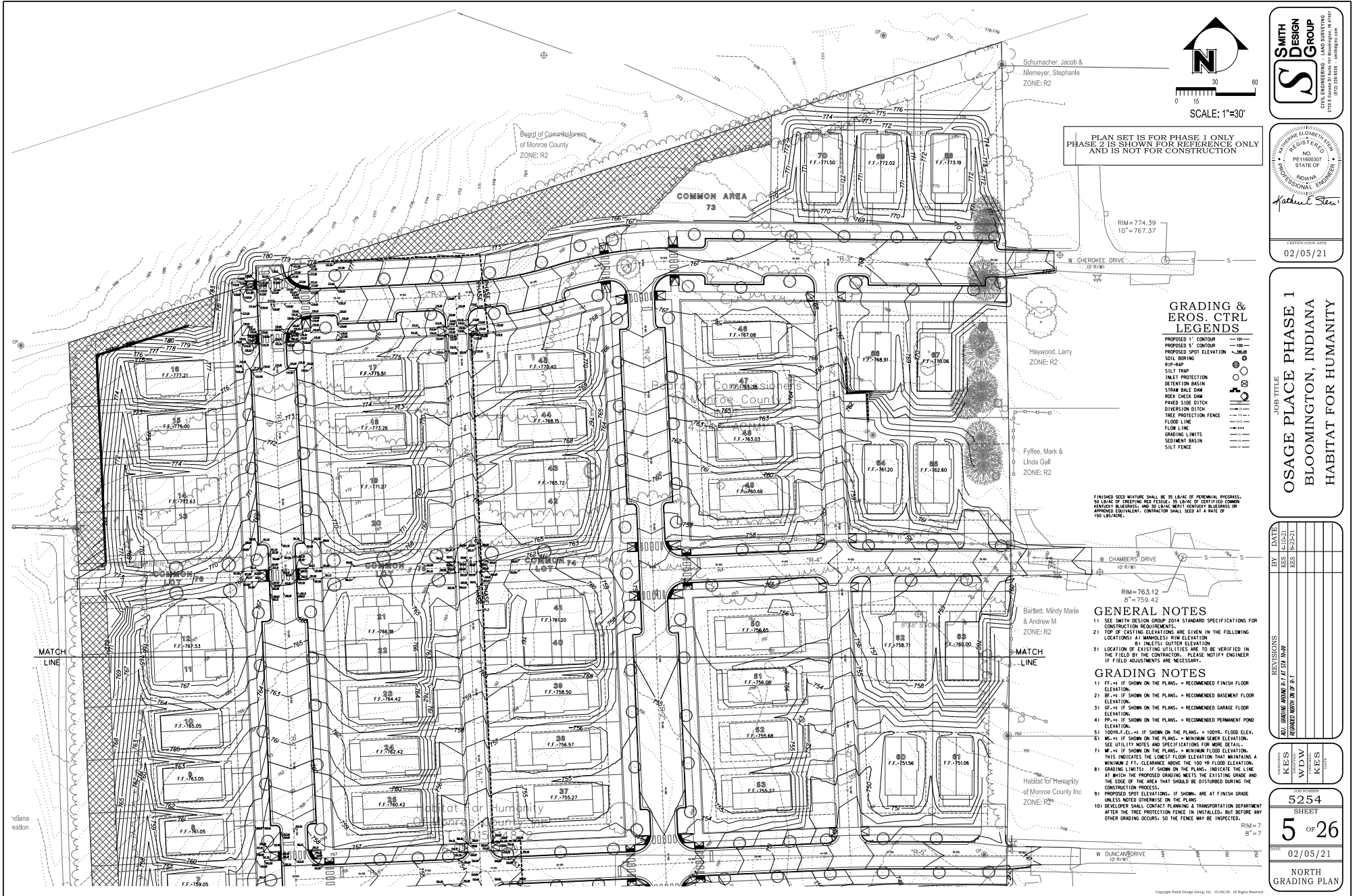
SITE PLAN NOTES

- 1. SIDEWALK RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA AND CITY OF BLOOMINGTON REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH CITY ENGINEERING PRIOR TO COMMENCEMENT.
- 2. STANDARD MARKINGS, IF SHOWN, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 804 & 912.14 OF THE 2014 INDOT STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLAN.
- 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY CUR ELEVATION PERMIT IF WORK WITHIN THE PUBLIC R/W IS NECESSARY FOR THE PROJECT COMPLETION.
- 4. CONTRACTOR SHALL REMOVE ALL EXISTING "DEAD END" SIGNS ON CONNECTING STREETS WHEN THEY ARE COMPLETED.

DATE	BY	REVISIONS
02/05/21	KES	REV. 01: 10' EASEMENT
02/05/21	WVW	REV. 02: 10' EASEMENT
02/05/21	KES	REV. 03: 10' EASEMENT

5254
SHEET
3 OF 26

DATE: 02/05/21
NORTH
SITE PLAN



PLAN SET IS FOR PHASE 1 ONLY
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 AND IS NOT FOR CONSTRUCTION



REGISTERED PROFESSIONAL ENGINEER
 NO. PE160007
 STATE OF INDIANA
 Kurt E. Smith
 EXPIRES 02/05/21

JOB TITLE
OSAGE PLACE PHASE 1
BLOOMINGTON, INDIANA
HABITAT FOR HUMANITY

GRADING & EROS. CTRL LEGENDS

- PROPOSED 1" CONTOUR
- PROPOSED 5" CONTOUR
- PROPOSED SPOT ELEVATION
- SOIL BORING
- RIP-RAP
- SILT TRAP
- INLET PROTECTION
- DETENTION BASIN
- STRAW BALE DAM
- ROCK CHECK DAM
- PAVED SIDE DITCH
- DIVERSION DITCH
- TREE PROTECTION FENCE
- FLOOD LINE
- GRADING LIMITS
- SEDIMENT BASIN
- SILT FENCE

FINISHED SEED MIXTURE SHALL BE 35 LB/AC OF PERENNIAL GRASSES, 50 LB/AC OF CREATING REED FENCES, 20 LB/AC OF CERTIFIED COMMON KENTUCKY BLUEGRASS, AND 20 LB/AC WHITE KENTUCKY BLUEGRASS OR APPROVED EQUIVALENT. CONTRACTOR SHALL SEAL AT A RATE OF 150 LBS/AC/AC.

GENERAL NOTES

- 1) SEE SMITH DESIGN GROUP 2014 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- 2) TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: A) MANHOLES: RIM ELEVATION. B) INLETS: GUTTER ELEVATION.
- 3) LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.

GRADING NOTES

- 1) FF-1: IF SHOWN ON THE PLANS, = RECOMMENDED FINISH FLOOR ELEVATION.
- 2) BF-1: IF SHOWN ON THE PLANS, = RECOMMENDED BASEMENT FLOOR ELEVATION.
- 3) GF-1: IF SHOWN ON THE PLANS, = RECOMMENDED GARAGE FLOOR ELEVATION.
- 4) PF-1: IF SHOWN ON THE PLANS, = RECOMMENDED PERMANENT POND ELEVATION.
- 5) 100%-F.F.L.-1: IF SHOWN ON THE PLANS, = 100% FLOOD ELEV.
- 6) 1%-F.F.L.-1: IF SHOWN ON THE PLANS, = MINIMUM SPILL ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAILS.
- 7) 10'-1: IF SHOWN ON THE PLANS, = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2'-0" CLEARANCE ABOVE THE 100% FLOOD ELEVATION.
- 8) GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE FIELD OF THE ELEVATIONS. THIS SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- 9) PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
- 10) DEVELOPER SHALL CONTRACT PLANNING & TRANSPORTATION DEPARTMENT AFTER THE TREE PROTECTION FENCE IS INSTALLED, BUT BEFORE ANY OTHER GRADING OCCURS, SO THE FENCE MAY BE INSPECTED.

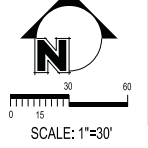
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5254
 SHEET
5 OF 26
 02/05/21
 NORTH GRADING PLAN

UTILITY LEGEND

WATER MAIN	STORM MANHOLE	STORM CATCH BASIN
WATER SERVICE LINE	STORM CURB INLET	STORM CATCH BASIN
WATER VALVE	STORM HARD INLET	STORM DOWNSPUT
WATER HYDRANT	STORM TRENCH DRAIN	STORM PIPE END SECTION
FRESH HYDRANT	STORM TV	PROPOSED GAS LINE
WATER MAIN WATER METER	UNDERGROUND FIBER OPTIC	OVERHEAD TELEPHONE
WATER AIR RELEASE VALVE	OVERHEAD TELEPHONE	UNDERGROUND TELEPHONE
WATER AND CAP	UNDERGROUND ELECTRIC	OVERHEAD ELECTRIC
SANITARY MAIN LINE	UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
SANITARY FORCE MAIN	ELECTRIC CONDUIT	ELECTRIC CONDUIT
LOW PRESSURE SEWER	ELECTRIC SERVICE LINE	PRIMARY SWITCHING ENCLOSURE
SANITARY LATERAL	UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
SANITARY MANHOLE	PANORAMIC TRANSFORMER	SECONDARY PROTECTIVE ENCLOSURE
SANITARY CLEANOUT	ELECTRIC POWER POLE	ELECTRIC POWER POLE
GREASE TRAP		
STORM PIPE		
ROOF DRAIN PIPE		
UNDERDRAIN PIPE		

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GENERAL NOTES

- SEE SMITH DESIGN GROUP 2014 STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS: A) MANHOLES: RIM ELEVATION B) INLETS: GUTTER ELEVATION
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PROVIDE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.

UTILITY NOTES

- ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812) 349-3633 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CDD INSPECTOR MUST HAVE NOTICE 50% COMPLETE, INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEDS, A CDD DESIGNATED HOLIDAY OR BEYOND NORMAL CDD WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CDD WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 349-3660.
- SEE SPECIFICATIONS FOR SIZES OF WATER SERVICE LINES AND SEWER LATERALS NOT SPECIFICALLY NOTED ON THE PLANS.
- MS-10 IF SHOWN ON THE PLANS, IS MINIMUM SEWER ELEVATION. IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKWATER VALVE. AN FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE RIM ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE IS FIRST INSTALLED ACCORDING TO SEC. 409.14 OF THE UNIFORM PLUMBING CODE. SEE SPECIFICATIONS TABLE FOR MORE DETAIL.
- ON ALL EXISTING SANITARY MAINS, FITES SHALL BE CUT AND SLEAVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIALS, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHIELDING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT NANCY ANSON AT (812) 349-3669 FOR MORE INFORMATION.
- WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRILLED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEETABLE BOOT OR SPIGON. IF DR 2 FLEETABLE CONNECTOR OF APPROVED EQUAL. TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW OF THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE. IN ACCORDANCE WITH SECTION 4.5.2.1.1.5.1 OF THE CDD CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE CLEANOUT AT LEAST EVERY 30 FEET. ALL CLEANOUTS, WHETHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING. SEE SPECIFICATIONS CATALOGUE NO. 2975 OR NEMAH CATALOGUE NO. 9-1974-4. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A RINGULAR CONCRETE COLLAR FLASH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 6" THICK AND SHALL SET AT LEAST 4" BELOW THE TOP OF THE CASTING. ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FRESH WITH THE SUBJACENT PAVEMENT. TOP OF CLEANOUT SHALL BE NO MORE THAN 3" BELOW THE TOP OF THE CASTING. A #10 INSULATED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT ONE REVOLUTION IS MADE AT LEAST EVERY PIPE JOINT. SPLICES ARE TO BE MADE WITH AN APPROVED CONNECTION, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CDD CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- WHENEVER CDD PIPE IS USED FOR SEWER, ALL FITES SHALL BE HANDED, SIZED FOR CDD ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM CDD TO SDR-35 PIPE SHALL BE MADE BY USE OF A HANDED CDD TO SDR-35 ADAPTER FITES.
- ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPDM LINING. MINIMUM THICKNESS 40 MILS. AND SHALL BE PROTECTED #01. AS MANUFACTURED BY INHIBITOR PROTECTIVE CO. FITES FOR D.I.P. SHALL BE HANDED D.I.P. TO SDR-35 ADAPTER FITES.
- THE OWNERSHIP OF THE WATER AND SANITARY SEWER MAINS IN THIS DEVELOPMENT WILL BE OWNED AND MAINTAINED BY THE CITY OF BLOOMINGTON UTILITIES. OWNERSHIP WILL TAKE EFFECT AFTER FINAL BULK-THROUGH. WHEN EXCAVATED, THE RECORDS AND FINAL ACCEPTANCE IS GIVEN. ANY EXCEPTS SHALL BE INDICATED WITH SYMBOLS ON THE PLANS, ADDRESS BY LETTER AND APPROVED IN WRITING BY THE UTILITIES ENGINEER.
- A PERMANENT IDENTIFYING CONTR. VALVE SHALL BE INSTALLED ON THE FIRE LINE 12" ABOVE THE FLOOR AT THE TERMINATION POINT. THIS VALVE SHALL BE USED TO HYDROTEST THE SYSTEM AND SHALL REMAIN AS A PART OF THE SYSTEM. ONCE ALL TESTING IS COMPLETE, THE LINE WILL NOT BE VALVED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. PLEASE CONTACT NANCY ANSON (812) 349-3669 FOR ADDITIONAL INFORMATION.
- ALL DUCTILE IRON PIPE (DIP) SHALL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE 3/4" WALL LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASEMENT MATERIAL. INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH UNDERLAMB C-109(2)1-5, USING PLASTIC THE STRAPS OR CONCENTRICITY OF THE PIPE PROVIDES THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
- BACKFLOW PREVENTER CONDUIT REQUIREMENTS:
 - RADIO HEAD EQUIPMENT MUST BE PLACED ON THE OUTSIDE OF THE BUILDING.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE RADIO HEAD DEVICE FROM CDD.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLING CONDUIT AND WIRING FROM THE WIRE LOCATION THROUGH THE BUILDING WALL AND ATTACHING THE DEVICE TO THE WALL AT A POINT HIGH ENOUGH TO KEEP IT OUT OF REACH FROM UNDESIRABLE AND UNLICENSED ACCESS WITH A LADDER.
 - CDD WILL MAKE THE WIRING CONNECTIONS AT THE END POINTS.



REGISTERED PROFESSIONAL ENGINEER
NO. PE160007
STATE OF INDIANA
Kurt Stew

EMPLOYMENT DATE
02/05/21

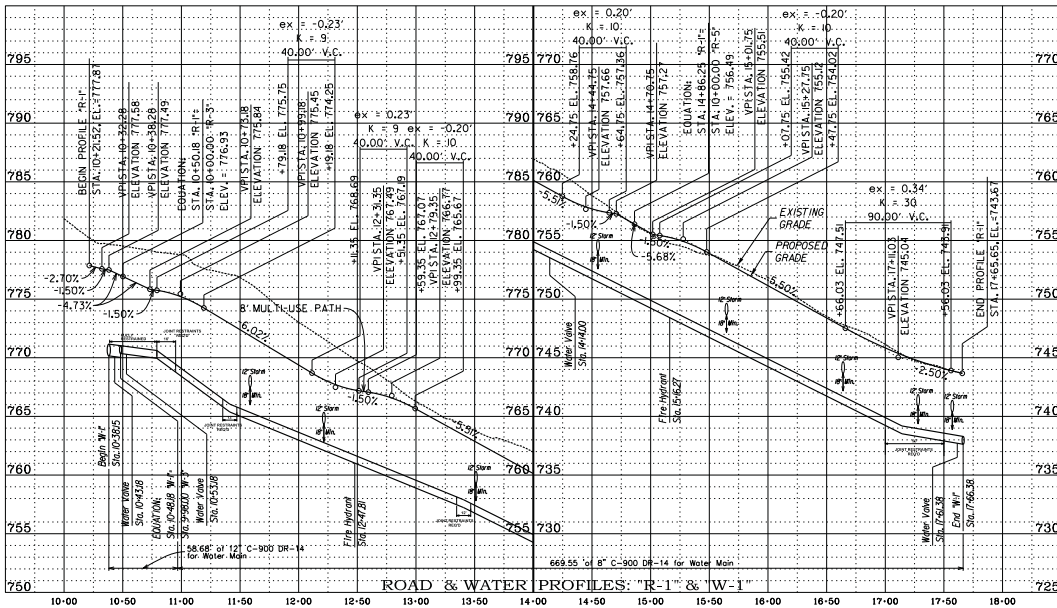
JOB TITLE
OSAGE PLACE PHASE 1
BLOOMINGTON, INDIANA
HABITAT FOR HUMANITY

DATE:	BY:
02/03/21	MS
02/03/21	MS
02/03/21	MS
02/03/21	MS

REVISIONS:	DATE:	BY:
NO. 1	02/03/21	MS
NO. 2	02/03/21	MS
NO. 3	02/03/21	MS

5254
SHEET

7 OF 26
02/05/21
NORTH UTILITY PLAN

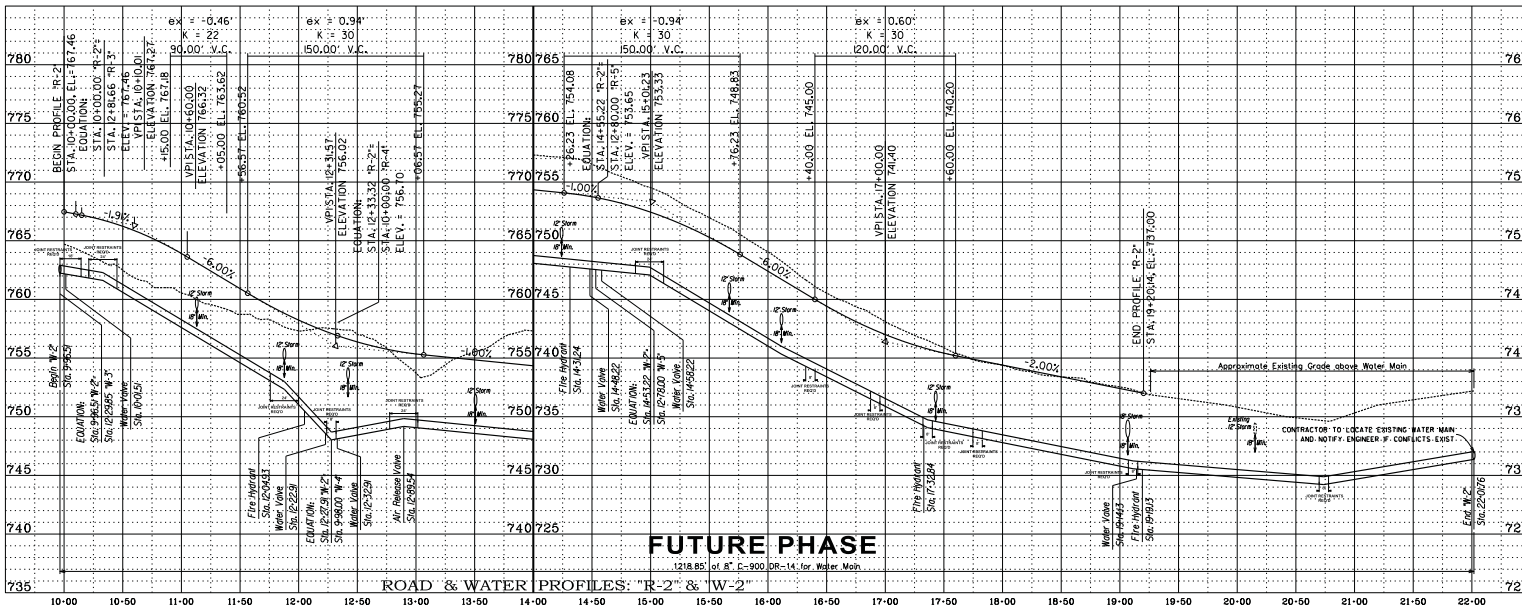


SCALE:
 Horizontal: 1"=50'
 Vertical: 1"=5'

PROFILE NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES IN THE FIELD AND NOTIFY THE ENGINEER IF THERE ARE CONFLICTS PRIOR TO ORDERING STRUCTURES.

PLAN SET IS FOR PHASE 1 ONLY
 PHASE 2 IS SHOWN FOR REFERENCE ONLY
 AND IS NOT FOR CONSTRUCTION



DATE: 02/05/21

JOB TITLE
 OSAGE PLACE PHASE 1
 BLOOMINGTON, INDIANA
 HABITAT FOR HUMANITY

REVISIONS	DATE	BY
REVISED AND REVISED PER COMMENTS	02/05/21	WDM
ADDED WATER MAIN AT 10+00 & 10+25	02/05/21	WDM
ADDED WATER MAINS TO WATER PROFILES	02/05/21	WDM
REV. STARTING STA AT 10+00 TO 10+25	02/05/21	WDM

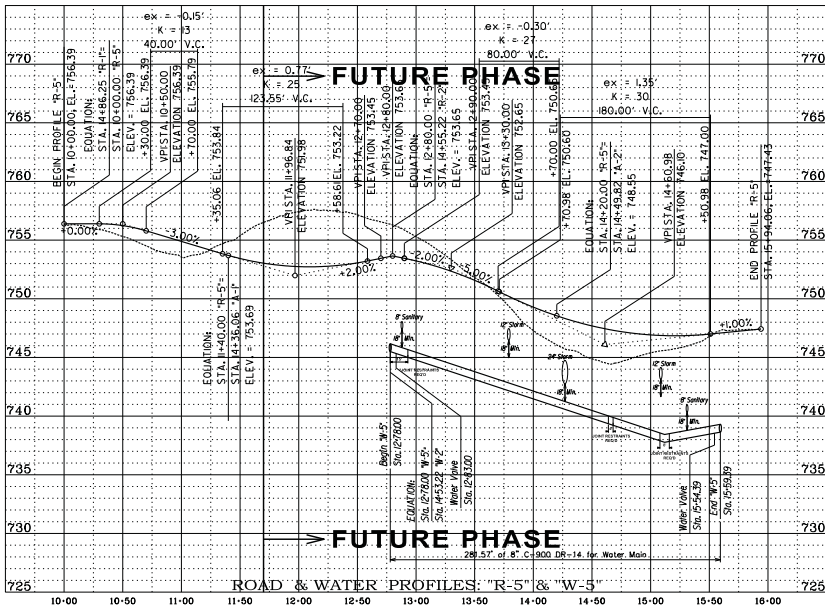
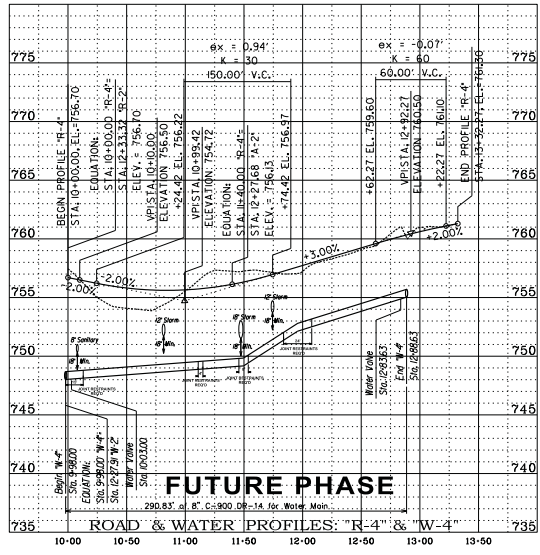
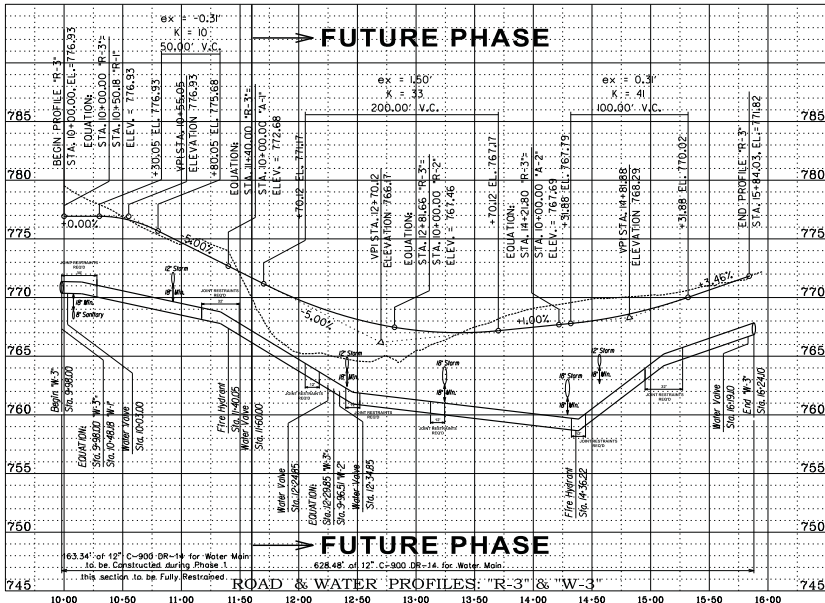
WDM	DATE
WDM	02/05/21
KES	DATE
KES	02/05/21

5254
 SHEET

9 OF 26

DATE: 02/05/21

ROAD AND WATER PROFILES



PLAN SET IS FOR PHASE 1 ONLY
PHASE 2 IS SHOWN FOR REFERENCE ONLY
AND IS NOT FOR CONSTRUCTION

SCALE:
Horizontal: 1"=50'
Vertical: 1"=5'

PROFILE NOTES

1) CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES
IN THE FIELD AND NOTIFY THE ENGINEER IF THERE ARE CONFLICTS
PRIOR TO ORDERING STRUCTURES.



REGISTERED PROFESSIONAL ENGINEER
Kurtel Steu

02/05/21

OSAGE PLACE PHASE 1
BLOOMINGTON, INDIANA
HABITAT FOR HUMANITY

REVISIONS	BY	DATE
REVISED AND SCALE ONLY, PIPE MATERIAL & SIZE	W/DW	01/29/21
ADDED EXISTING MANE	W/DW	02/05/21
ADDED DRAINAGE ESTIMATES TO WATER PROFILES, REV #3 & 5A TO 5C	K/S	02/05/21
PHASE 1 & 2 TO BE FULLY RESTORED	W/DW	02/23/21

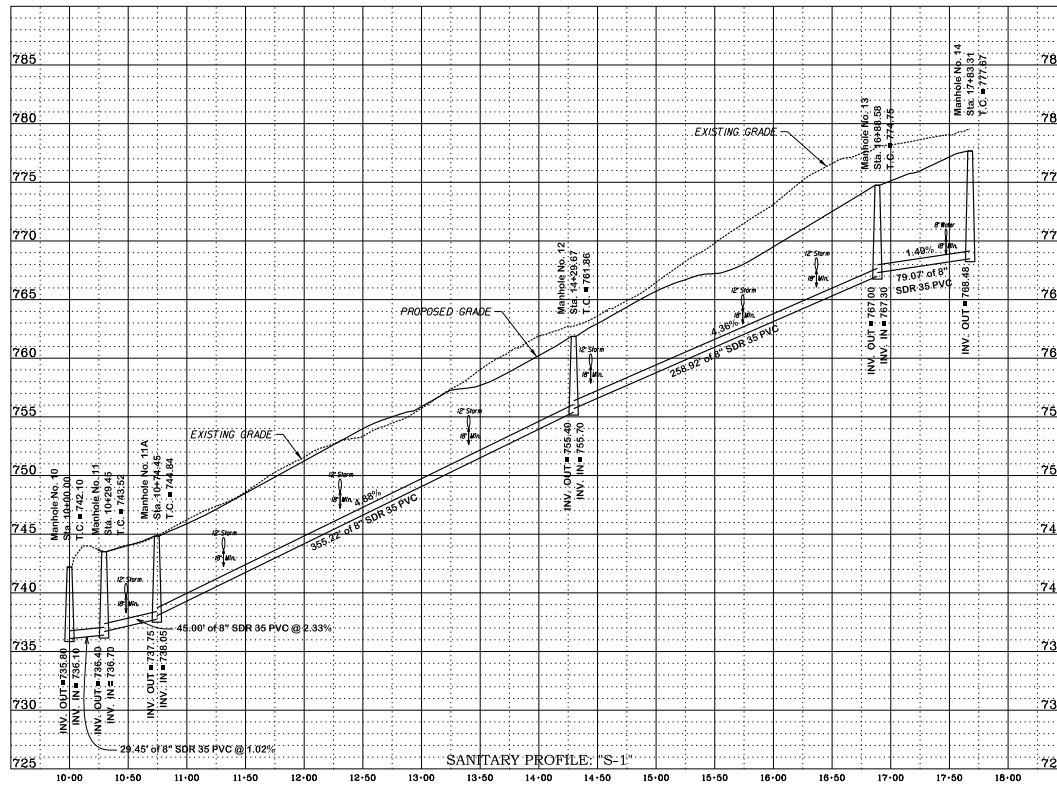
W/DW
K/S

5254
SHEET

10 OF 26

02/05/21

ROAD AND WATER PROFILES

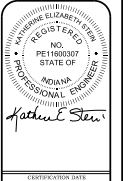


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 AND IS NOT FOR CONSTRUCTION

PROFILE NOTES

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02/05/21

JOB TITLE
 OSAGE PLACE PHASE 1
 BLOOMINGTON, INDIANA
 HABITAT FOR HUMANITY

REVISIONS	DATE	BY	CHKD.
1. AS SHOWN	02/21	WDR	WDR

DESIGNED BY	WDR
CHECKED BY	KES

5254
 SHEET

12 OF 26

02/05/21

SANITARY PROFILES

September 18, 2023

Housing and Neighborhood Development
Ms. Gloria Colom Brana, Program Manager - Historic Preservation
City of Bloomington
P.O. Box 100
Bloomington, Indiana 47404
812-349-3507
gloria.colom@bloomington.in.gov

Subject: Invitation to Comment
CC_Bloomington_0011
2710 East Discovery Parkway, Bloomington, Monroe County, Indiana
EBI Project #6122009134

Dear Gloria Colom Brana:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc., on behalf of Crown Castle USA, Inc., provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI previously submitted letter to your office on September 29, 2022. We have subsequently received revised project information. Please refer to the attached updated plans for additional details.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 6876 Susquehanna Trail South, York, PA 17403, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days.

Note that this project will be entered into the Federal Communication Commission's e106 System, which will send notifications of the project throughout the Section 106 process.

Respectfully Submitted,



Makenzie Bandstra
Senior Architectural Historian
T: (717) 472-3070
mbandstra@ebiconsulting.com

Attachments – Location Mapping



EBI GIS, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

Date: 9/9/2022

Figure 1: Site Location Map

CC_BLOOMINGTON_0011 CC_BLOOMINGTON_0011
2710 E. DISCOVERY PARKWAY
BLOOMINGTON, IN 47408





Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and ½ mile

USGS 24K Quad: Bloomington, IN 1986, Unionville, IN 1983

Date: 9/9/2022

Figure 2 - Topographic Map

CC_BLOOMINGTON_0011 CC_BLOOMINGTON_0011
2710 E. DISCOVERY PARKWAY
BLOOMINGTON, IN 47408

PN: 6122009134



EBI Consulting
 environmental | engineering | design



SMALL CELL NODE INFORMATION

SITE NAME: CC_BLOOMINGTON-0011-C
POLE TYPE: METAL
NEAREST ADDRESS: 2710 E. DISCOVERY PKWY. BLOOMINGTON, IN 47408
SITE LATITUDE: 39.17572°
SITE LONGITUDE: -86.50114°
NODE SCU: 510462
PSLC CODE: 695077

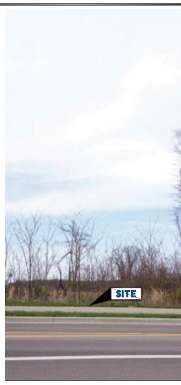


Fullerton
 DESIGN DEVELOP CONSTRUCT
 1100 E. WOODFIELD ROAD, SUITE 500
 SCHAUMBURG, ILLINOIS 60173
 TEL: 847-908-8400
 www.FullertonEngineering.com

PROJECT INFORMATION

POWER PROVIDER: DUKE ENERGY
FIBER PROVIDER: CROWN CASTLE
 CRAIG WHEELER
 (614) 506-2846
 108 INTERNATIONAL BLVD.
 CINCINNATI, OH 45246
JURISDICTION: CITY OF BLOOMINGTON
OCCUPANCY: UNINHABITED
CONSTRUCTION TYPE: PROPOSED METAL POLE
POLE OWNER: CROWN CASTLE
APPLICANT: CROWN CASTLE
 15565 NEO PKWY
 GARFIELD HTS, OH
 44128
CONSTRUCTION MANAGER: KEITH STORSIN
REAL ESTATE SPECIALIST: RENEE GUIDER

SITE PHOTO



IMAGERY DATE: 01/20/22

CODES AND STANDARDS

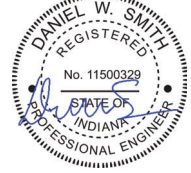
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.
ELECTRICAL CODE:
 • 2017 NATIONAL ELECTRICAL SAFETY CODE
 • 2017 NATIONAL ELECTRICAL CODE
 • FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
 • THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE

REV	DATE	DESCRIPTION	BY
A	05/23/22	90% REVIEW	CS
B	06/20/22	90% REVIEW	RC
0	07/21/22	100% FINAL	FK
1	11/03/22	REVISED	LB
2	06/02/23	100% REVISION	LB
3	07/24/23	100% REVISION	LB

DRAWING INDEX

SHEET NUMBER	SHEET NAME
T-1	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	VERIZON RFDS
C-1	SITE PLAN
C-2	ENLARGED SITE PLAN ELEVATIONS
A-1	ELEVATIONS
D-1	DETAILS
E-1	ELECTRICAL & GROUNDING DETAILS
E-2	PLUMBING DIAGRAM
TCP-1	TRAFFIC CONTROL PLAN
TCP-2	TRAFFIC CONTROL PLAN

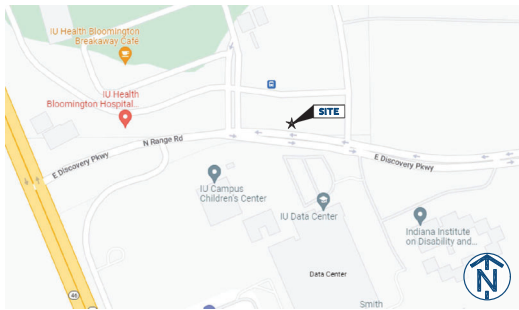
I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.



CONSULTANT INFORMATION

PROJECT CONSULTANTS: FULLERTON ENGINEERING CONSULTANTS, LLC
 RHONDA DAUGHERTY
 1100 E. WOODFIELD ROAD, SUITE 500
 SCHAUMBURG, IL 60173
 708-548-5524
 RDAUGHERTY@FULLERTONENGINEERING.COM
SITE ACQUISITION: CROWN CASTLE
 RENEE GUIDER
 2000 CORPORATE DR.,
 CANONSBURG, PA 15317
 RENEE.GUIDER@CROWNCastle.COM
STRUCTURAL ANALYSIS: FULLERTON ENGINEERING CONSULTANTS, LLC
 PARAS KAVAR
 1100 E. WOODFIELD ROAD, SUITE 500
 SCHAUMBURG, IL 60173
 630-452-4921
 PKAWAR@FULLERTONENGINEERING.COM
POLE DESIGN: FULLERTON ENGINEERING CONSULTANTS, LLC
 PARAS KAVAR
 1100 E. WOODFIELD ROAD, SUITE 500
 SCHAUMBURG, IL 60173
 630-452-4921
 PKAWAR@FULLERTONENGINEERING.COM

SITE LOCATION MAP



NO SCALE

SCOPE OF WORK

THE SCOPE OF WORK CONSISTS OF:
 (1) PROPOSED SMALL CELL INSTALLATION ON PROPOSED METAL POLE.
 (1) PROPOSED LOAD CENTER/DISCONNECT SWITCH
 (1) PROPOSED QUAZITE BOX FOR FIBER
 (1) PROPOSED QUAZITE BOX FOR POWER
 (2) PROPOSED 5G ANTENNAS
 (1) PROPOSED COMMSCOPE FIBER ACCESS TERMINAL
 (1) PROPOSED MODIFIED HOFFMAN BOX
 PROPOSED FIBER AND GROUNDING CABLES
 PROPOSED POWER SERVICE & CONDUCTORS

CONTRACTOR SHALL FURNISH ALL MATERIAL WITH THE EXCEPTION OF VERIZON SUPPLIED MATERIAL.
 ALL MATERIAL SHALL BE INSTALLED BY THE CONTRACTOR, UNLESS STATED OTHERWISE.



SITE NAME

CC_BLOOMINGTON-0011-C

SITE LATITUDE, LONGITUDE:

39.17572°, -86.50114°

SITE ADDRESS (NEAREST)
 2710 E. DISCOVERY
 PKWY. BLOOMINGTON,
 IN 47408

SHEET NAME
 TITLE SHEET

SHEET NUMBER
 T-1

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES SET FORTH BY FEDERAL, STATE, AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE PROJECT. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.
2. ALL WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS, PROJECT SPECIFICATIONS, AND THE CONSTRUCTION CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL HAVE AND MAINTAIN A VALID CONTRACTOR'S LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE TRADES SHALL BE LICENSED.
4. FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND STATE LAW AS DEFINED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT.
5. PRIOR TO THE SUBMISSION OF THE BID, THE CONTRACTOR SHALL VISIT THE JOB SITE, VERIFY ALL DIMENSIONS AND BECOME FAMILIAR WITH THE FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CLIENT.
6. DRAWING PLANS SHALL NOT BE SCALED.
7. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK NOT CLEARLY IDENTIFIED ON THE DRAWINGS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CLIENT.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE NOTED.
9. ALL MEANS AND METHODS OF CONSTRUCTION DEALING WITH CONSTRUCTION AND SAFETY, STRUCTURAL ERECTION, EXCAVATIONS, TRENCHING, SCAFFOLDING, FORMWORK, ELECTRICAL, AND WORK IN CONFINED SPACES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. WHEN THE CONTRACTOR ACTIVITIES IMPEDE OR OBSTRUCT TRAFFIC FLOW, CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DEVICES, SIGNS, AND FLAGMEN IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, DOT AND LOCAL REQUIREMENTS.
11. THE CONTRACTOR SHALL COORDINATE SITE ACCESS AND SECURITY WITH THE PROPERTY OWNER AND THE CLIENT PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITIES.
13. THE CONTRACTOR SHALL CALL THE LOCAL PUBLIC UTILITY LOCATING PROVIDER (811) A MINIMUM OF THREE BUSINESS DAYS PRIOR TO EXCAVATING IN THE PUBLIC RIGHT OF WAY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES.
15. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY UTILITIES OR FACILITIES IT DEEMS NECESSARY TO COMPLETE THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, HEAT, LIGHTING OR SECURITY.
16. WHEN EXCAVATING IN THE AREA OF EXISTING UTILITIES, THE CONTRACTOR SHALL USE REASONABLE CARE IN PROTECTING SUCH UTILITIES. CONTRACTOR SHALL NOTIFY THE CLIENT IMMEDIATELY OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION.
17. DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHALL BE REPORTED TO THE CLIENT AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE RESULTING FROM CONTRACTORS NEGLIGENCE OR FAILURE TO ACT WITH DUE REGARD SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
18. UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL ASSUME ALL SURFACE FEATURES SUCH AS BUT NOT LIMITED TO BUILDINGS, PAVEMENTS, LANDSCAPING FEATURES, PLANTS, ETC. ARE TO BE SAVED AND PROTECTED FROM DAMAGE. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SITE CONDITIONS AND UPON COMPLETION OF WORK REPAIR BACK TO ORIGINAL CONDITIONS ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION.
19. KEEP THE CONSTRUCTION SITE CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND SHALL BE SUBJECT TO APPROVAL BY THE PROPERTY OWNER AND THE CLIENT.
20. THE CONTRACTOR SHALL PROVIDE ON-SITE TRASH RECEPTACLES FOR COLLECTION OF NON-TOXIC DEBRIS. ALL TRASH SHALL BE COLLECTED ON A DAILY BASIS.
21. ALL TOXIC AND ENVIRONMENTALLY HAZARDOUS SUBSTANCES SHALL BE USED AND DISPOSED OF IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. UNDER NO CIRCUMSTANCES SHALL RINSING OR DUMPING OF THESE SUBSTANCES OCCUR ON-SITE.
22. THE CONTRACTOR SHALL MAINTAIN AND SUPPLY THE CLIENT WITH AS-BUILT PLANS UPON COMPLETION OF THE PROJECT.
23. ALL EQUIPMENT LOGOS, OTHER THAN THOSE REQUIRED BY REGULATION (E.G. NODE IDENTIFICATION) SHALL BE PAINTED OVER OR REMOVED, RAISE OR DEPRESSED TEXT ON RRUS OR OTHER EQUIPMENT, IF PRESENT, SHALL BE SANDED OFF OR SIMILARLY REMOVED/ FILLED.
24. CONTRACTORS TO INCLUDE A FOUR (4) INCH BY SIX (6) INCH PLATE WITH WIRELESS PROVIDER'S NAME, LOCATION IDENTIFYING INFORMATION, AND EMERGENCY TELEPHONE NUMBER SHALL BE PERMANENTLY FIXED TO THE SMALL WIRELESS FACILITY EQUIPMENT ENCLOSURE OR SHROUD.

RF WARNING TAG DETAILS:

1. SEE RF COMPLIANCE SIGNAGE DEMARCATION FOR REQUIRED SIGNAGE FOR THIS SITE
2. THE READABLE TEMPLATE IS DESIGNED TO SMALLEST POSSIBLE SIZE. THE MINIMUM LETTER HEIGHT INCHES FOR MESSAGE TEXT .20" MINIMUM LETTER HEIGHT INCHES FOR SIGNAL TEXT .44"
3. ALL RF NOTICE TAGS TO BE MOUNTED ON STREET SIDE OF POLE, LEGIBLE AND READILY VIEWABLE AT A MINIMUM DISTANCE OF FIVE FT. (1.52M)
- 3.1. THE EXAMPLES ARE PROVIDED FOR THE ALERT VERBIAGE TEXT.
- 3.2. THESE SPECIAL SIGNS CAN USE THE 6" X 7.5"
- 3.3. TEMPLATE (HORIZONTAL OR VERTICAL) VERTICAL TEMPLATE PROVIDES AREA FOR ARROWS ON SIDES OF RF ENERGY ADVISORY SYMBOL



1100 E. WOODFIELD ROAD, SUITE 500
 SCHAUMBURG, ILLINOIS 60173
 TEL: 847-908-8400
 www.FullertonEngineering.com

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SITE NAME
CC_BLOOMINGTON-0011-C

SITE LATITUDE, LONGITUDE:
39.17572°, -86.50114°

SITE ADDRESS (NEAREST)
**2710 E. DISCOVERY
 PKWY. BLOOMINGTON,
 IN 47408**

SHEET NAME
GENERAL NOTES

SHEET NUMBER
GN-I

GENERAL NOTES

11'x17' SCALE: NTS
 24'x36' SCALE: NTS

I



EAST > Great Lakes > Michigan/Indiana/KY > Indianapolis > WS Bloomington 0011 - C

RF Submit by: Grimaldo, Alfredo - alfredo.cgrimaldo@verizonwireless.com - 6/25/2023, 10:12:10 AM

EE Submit by: , - -

Project Details	
FUZE Project ID:	17135943
Project Name:	WS Bloomington 0011
Project Alt Name:	WS Bloomington 0011 - New Build
Project Type:	Initial Build
Modification Type:	
Designed Sector Carrier 4G:	N/A
Designed Sector Carrier 5G:	16
Additional Sector Carrier 4G:	N/A
Additional Sector Carrier 5G:	N/A
FP Solution Type & Tech Type:	SC;5G_28GHz
Carrier Aggregation:	false
MPT Id:	
eCIP-O:	false
Suffix:	

Location Information	
Site ID:	617210407
E-NodeB ID:	2310025,2310024
MDG Location ID:	5000878345
PSLC:	695077
Switch Name:	
Tower Owner:	
Tower Type:	Public Lighting Structure (free standing)
Site Type:	SMALL-CELL
Site Sub Type:	CRAN
Street Address:	2710 E Discovery Pkwy
City:	Bloomington
State:	IN
Zip Code:	47408
County:	Monroe
Latitude:	39.175735 / 39° 10' 32.646" N
Longitude:	-86.501152 / 86° 30' 4.1472" W

RFDS Project Scope: Crown New Build 5G (28GHz) node.

Antenna Summary

Added										
28 GHz	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity	Item ID
5G	Ericsson	SM6705	0.0	0.6	115(0001) 225(0002)		false	PHYSICAL	2	

Removed										
28 GHz	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity	Item ID
No data available.										

Retained										
28 GHz	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity	Item ID
No data available.										

Added: 2 Removed: 0 Retained: 0

Equipment Summary

Added										
Equipment Type	Location	28 GHz	Make	Model	Cable Length	Cable Size	Install Type	Quantity	Item ID	
RRU	Tower	5G	Ericsson	SM6705_28_AC			PHYSICAL	0		

Removed										
Equipment Type	Location	28 GHz	Make	Model	Cable Length	Cable Size	Install Type	Quantity	Item ID	
No data available.										

Retained										
Equipment Type	Location	28 GHz	Make	Model	Cable Length	Cable Size	Install Type	Quantity	Item ID	
No data available.										



1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

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SITE NAME
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39.17572°, -86.50114°

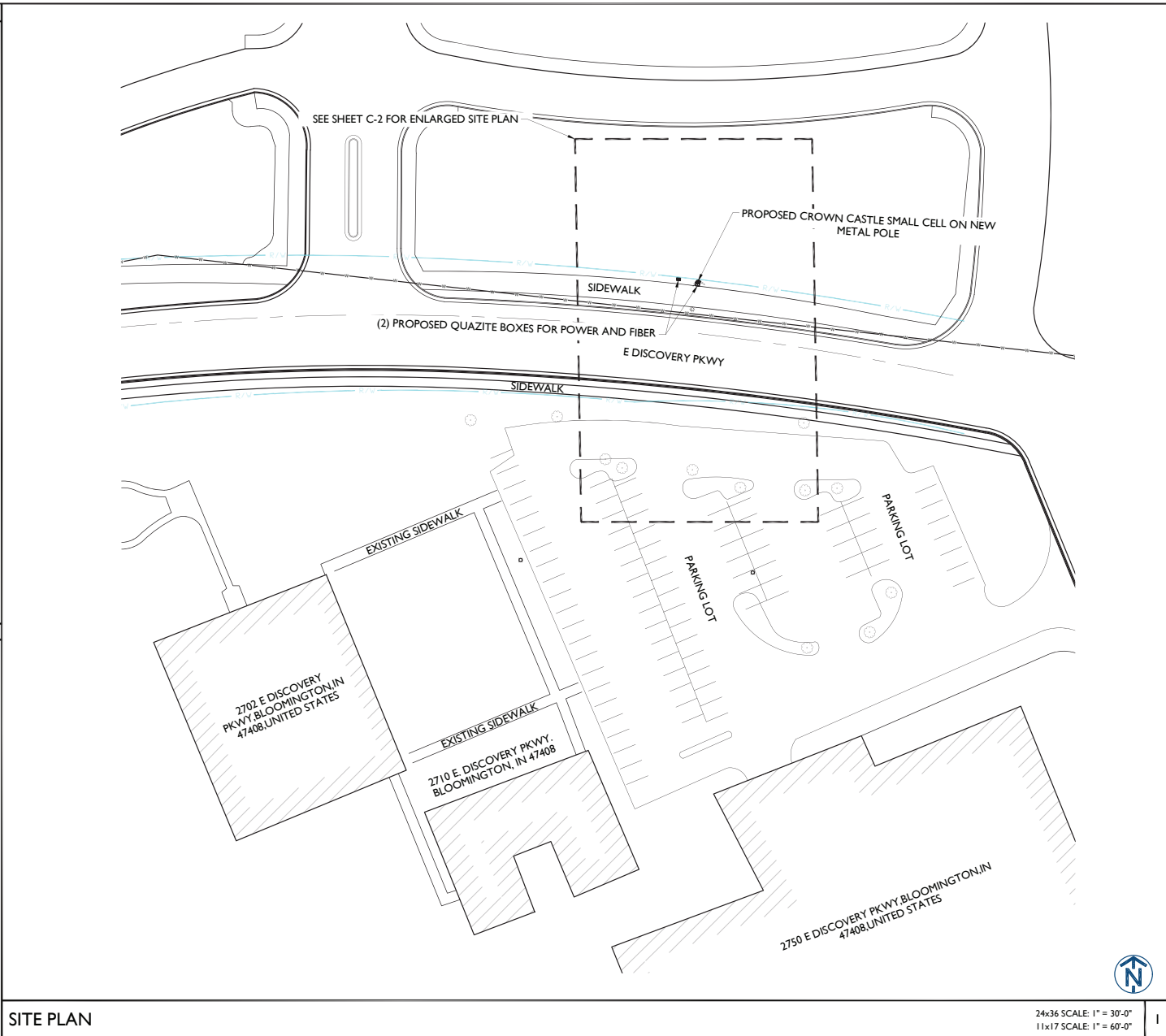
SITE ADDRESS (NEAREST)
2710 E. DISCOVERY
PKWY. BLOOMINGTON,
IN 47408

SHEET NAME
GENERAL NOTES

SHEET NUMBER
GN-2

ABBREVIATIONS	
2C	2ND CARRIER
3C	3RD CARRIER
4C	4TH CARRIER
AFB	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AGL	ABOVE GROUND LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BBU	BASE BAND UNIT
CL	CENTERLINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
CSR	CROSS SECTOR REDUNDANCY FEATURE
DWG	DRAWING
FT	FOOT(FEET)
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
ENT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
FF	FACILITY INTERFACE FRAME
GA	GALVE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
GSM	GLOBAL SYSTEM FOR MOBILE COMMUNICATION
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MCPA	MULTI-CARRIER POWER AMPLIFIER
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
MTS	MANUAL TRANSFER SWITCH
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PPC	POWER PROTECTION CABINET
PL	PROPERTY LINE
RBS	RADIO BASED STATION
RH	REMOTE RADIO HEAD
RGS	RIGID GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S), #	POUND(S)
SF	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UMTS	UNIVERSAL MOBILE TELECOMMUNICATION SYSTEM
VIF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

SYMBOLS	
	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	FENCE
	CHAINLINK
	WOOD
	WROUGHT IRON
	ELECTRIC
	OVERHEAD
	UNDERGROUND
	FIBER
	OVERHEAD
	UNDERGROUND
	TELEPHONE
	OVERHEAD
	UNDERGROUND
	DC POWER
	SECTION REFERENCE



Fullerton
DESIGN DEVELOP CONSTRUCT

1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

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SITE NAME
CC_BLOOMINGTON-001 I-C

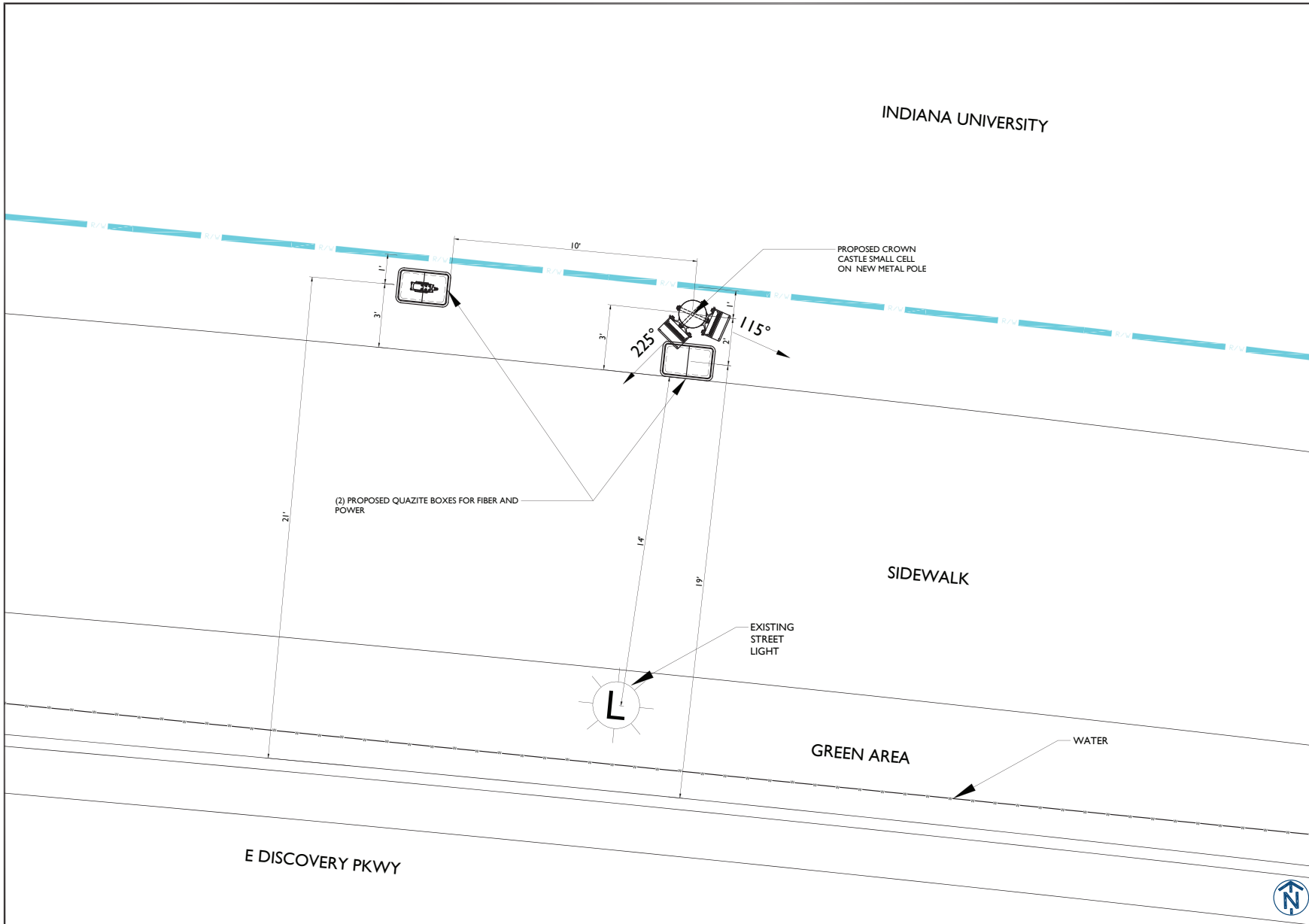
SITE LATITUDE, LONGITUDE:
39.17572°, -86.50114°

SITE ADDRESS (NEAREST)
2710 E. DISCOVERY PKWY. BLOOMINGTON, IN 47408

SHEET NAME
SITE PLAN

SHEET NUMBER
C-1

24x36 SCALE: 1" = 30'-0"
11x17 SCALE: 1" = 60'-0"



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 PKWY. BLOOMINGTON,
 IN 47408**

SHEET NAME
ENLARGED SITE PLAN

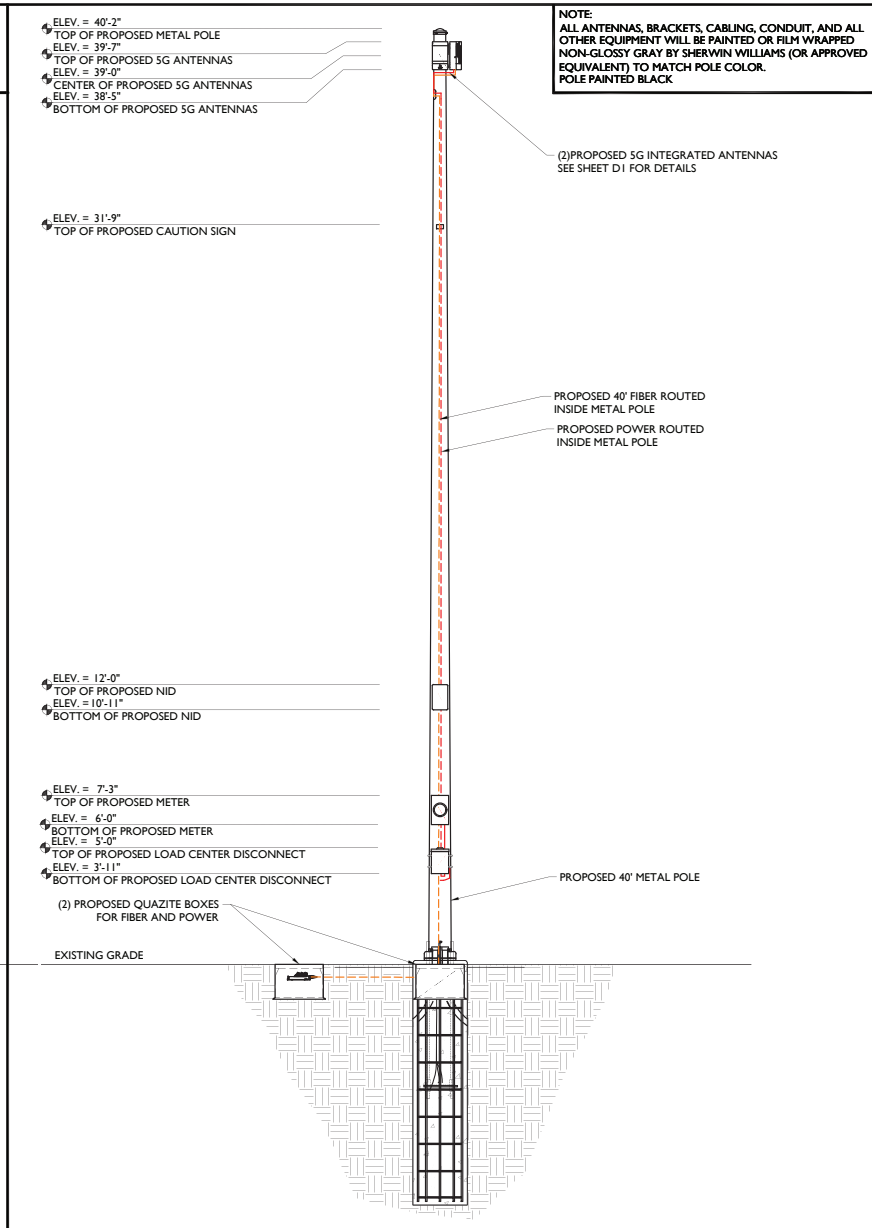
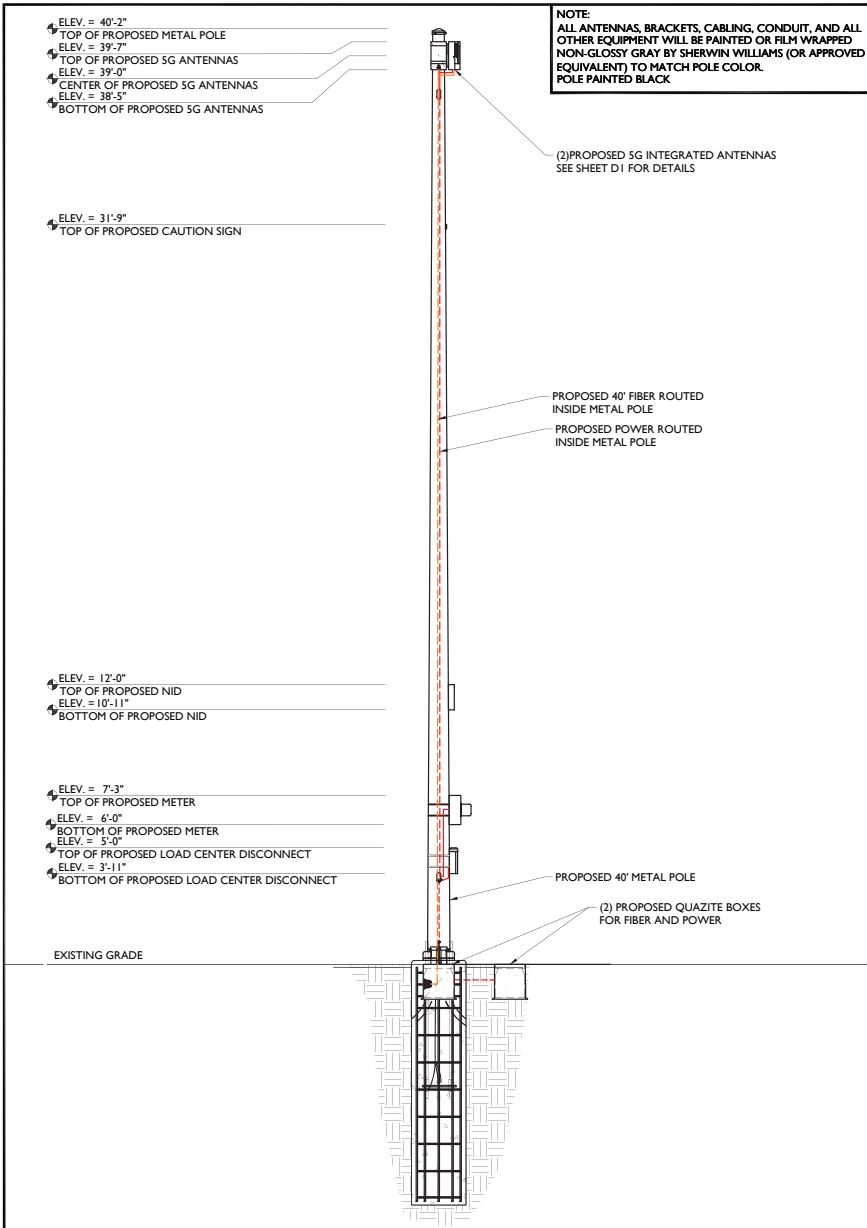
SHEET NUMBER
C-2

ENLARGED SITE PLAN

24x36 SCALE: 1/2" = 1'-0"
 11x17 SCALE: 1/4" = 1'-0"



PROJECT#: 2022.0075.0011



PROPOSED ELEVATION SIDE VIEW 24x36 SCALE: 3/8" = 1'-0" 1 11x17 SCALE: 3/16" = 1'-0"

PROPOSED ELEVATION FRONT VIEW 24x36 SCALE: 3/8" = 1'-0" 2 11x17 SCALE: 3/16" = 1'-0"

CROWN CASTLE

Fullerton
DESIGN DEVELOP CONSTRUCT

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SHEET NAME
ELEVATIONS

SHEET NUMBER
A-1

SQUARE-D LOAD CENTER
 MFR. MODEL # Q0816L1008B
 DIMENSIONS HxWxD: 12.6"x8.9"x4.4"
 NEMA ENCLOSURE TYPE: 3R
 VOLTAGE: 120/240VAC
 AMPS: 100A
 SPACES: 8
 PHASE: 1 PHASE
 VOLUME: 0.28 ft³

PLAN VIEW **SIDE VIEW** **FRONT VIEW**

NOTE:
 MAINTAIN 18" MIN. CLEARANCE FROM POLE
 MINIMUM SPACING BETWEEN (2) GROUND
 ROD IS 6'-0" PER G.O. 95 SECTION 59.4.A.2.f

NOTICE
POLE WORKERS
 There is an antenna operation high on this pole. Please follow guidance on signs near the antenna or call the number below.
 Site ID # **CC0001 888-632-0931** Rev. A

CAUTION
 Keep Back, 6' FT From this Antenna. FCC RF Public Exposure Limits May Be Exceeded Within This Distance. Call 888-632-0931 for Instructions. Qualified Workers: FCC Occupational Limits May Be Exceeded Within This Distance.
 Site ID # _____ Rev. A

OWNER/OPERATOR NOTES:
 SITE ID LABEL TO BE AFFIXED AT OR NEAR THE POINT OF POWER CONNECTION WITH 1/2" (3/4") LABELING TAPE OR EQ. BLACK ON WHITE LABELING TAPE OF AT LEAST 1/2" (3/4") HEIGHT WITH EXTRA STRENGTH ADHESIVE. USE ANY COMPATIBLE PITCH LABEL MAKER. TEXT SHOULD BE PRINTED IN ALL CAPS WITH MINIMUM HEIGHT OF .12".
 NOTE:
 SITE ID SHALL MATCH SITE ID IN PERMIT PLANS.

LOAD CENTER SPECS 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 1

GROUND ROD DETAIL 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 2

EMERGENCY CONTACT/ CAUTION SIGN 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 3

ERICSSON 6705 ANTENNA
 MODEL: STREETMACRO 6705 MECHANICAL
 DIMENSIONS HxWxD: 14.4"x7.9"x5.9"
 WEIGHT: 31.0 LBS
 MANUFACTURER: ERICSSON

PLAN VIEW **SIDE VIEW** **FRONT VIEW**

FRONT VIEW **SIDE VIEW** **TOP VIEW**

CLEARFIELD FIBER NID
 MODEL: W2W-34F-Q1Z-ZZZ-02
 DIMENSIONS HxWxD: 13"x8"x3"
 WEIGHT: N/A
 MANUFACTURER: CLEARFIELD

Features:		Basic Dimensions:		MFR: 4000-20666	
• Designed to be interchangeable with any 4G & 5G radio configuration up to 50lbs.		Length: 9.00"		Pricing	
• NYM supplied trench pin radio brackets allows for easy removal of an existing radio without changing the original bracket assembly or tilt angle.		Width: 2.875"	Qty: 1-20	\$154.00	
• Radio brackets are fully adjustable, 120° azimuth and 40° tilt angle.		Height: 5.75"	Qty: 21-40	\$142.00	
• Can be attached from 3" diameter schedule pipe and up to 20" diameter pole.		Weight: 6 lbs.	Qty: 41+	\$144.50	
• Slipped gripping surface for a non-slip grip of wood or composite pole.			Qty: 100+ pricing negotiable		
• Staging 3/8" lag bolt holes for fast positioning before through bolts are installed.					
• Material: Hot rolled steel, galvanized					

SINGLE RADIO BRACKET
 Single Bracket

CONTRACTOR SHALL FIELD VERIFY BRACKET CONFIGURATION TO SUIT THROUGH BOLTING WITHIN 4" OF CENTER LINE HOLE LOCATIONS.

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ERICSSON 6705 ANTENNA 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 4

CLEARFIELD FIBER NID 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 5

NYM ANTENNA BRACKET MOUNT 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 6

Features:		Basic Dimensions:		MFR: 4000-19804	
• Designed for mounting the Samsung AJU AT1901 radio to NYM's trench-pin interchangeable radio mounting brackets.		Length: 4.25"		Pricing	
• Once mounted, provides a radius of 30° at the ball joint of the bracket to angle radios up or down.		Width: 4.0"	Qty: 1-20	\$55.00	
• Galvanized steel		Height: 2.0"	Qty: 21-40	\$50.00	
		Weight: 2.5 lbs.	Qty: 41+	\$45.00	
			Qty: 100+ pricing negotiable		

STAINLESS STEEL BANDING
 MATERIAL: 201 STAINLESS STEEL
 BAND: 3/4"
 HARDWARE: 5/8"

NOT USED 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 9

SITE NAME
 CC_BLOOMINGTON-0011-C

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SHEET NAME
 DETAILS

SHEET NUMBER
 D-1

NYM ANTENNA DOWN-TILT BRACKET 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 7

STAINLESS STEEL BANDING 11"x17" SCALE: NTS
 24"x36" SCALE: NTS 8

PROJECT#: 2022.0075.0011

APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE
- AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS FIRST EDITION 2015 (ASHTO LRDLTS-1)

GENERAL

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES SET FORTH BY FEDERAL, STATE, AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE PROJECT. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION, OR RULE IS MENTIONED IN THESE SPECIFICATIONS.
2. ALL WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS, PROJECT SPECIFICATIONS, AND THE CONSTRUCTION CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND STATE LAW AS DEFINED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
5. THE CONTRACTOR SHALL HAVE AND MAINTAIN A VALID CONTRACTOR'S LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE TRADES SHALL BE LICENSED.
6. THE CONTRACTOR SHALL PROVIDE THE NECESSARY CERTIFICATIONS OF ALL WORKERS ON THE TOWER TO THE OWNER OR THE PROJECT MANAGER UPON REQUEST.
7. THE CONTRACTOR SHALL BE EXPERIENCED IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY AND THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED.
8. PRIOR TO THE SUBMISSION OF THE BID, THE CONTRACTOR SHALL VISIT THE JOB SITE, VERIFY ALL DIMENSIONS, POTENTIAL SAFETY HAZARDS, AND BECOME FAMILIAR WITH THE FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
9. DO NOT SCALE DRAWINGS. USE DIMENSIONS.
10. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE NOTED.
11. ALL MATERIALS SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE DRAWINGS. ANY AND ALL SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROJECT MANAGER AND THE ENGINEER OF RECORD PRIOR TO PROCUREMENT.
12. ALL MEANS AND METHODS OF CONSTRUCTION DEALING WITH TOWER CONSTRUCTION AND SAFETY, STEEL ERECTION, EXCAVATIONS, SCAFFOLDING, FORMWORK, AND WORK IN CONFINED SPACES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. THE CONTRACTOR SHALL PROVIDE SUFFICIENT TEMPORARY BRACING AND/OR SHORING OF ALL STRUCTURAL AND NON-STRUCTURAL ELEMENTS DURING CONSTRUCTION UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN PROPERLY INSTALLED.
14. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER IF ANY WIRELESS CARRIER DOWNTIME WILL BE REQUIRED FOR THE PROJECT. DO NOT PERFORM ANY WORK ON THE TOWER UNTIL ALL NECESSARY DOWNTIME HAS BEEN APPROVED.
15. WORK IS TO BE CONTAINED TO THE SITE COMPOUND AREA ONLY. ANY OUTSIDE OR ADJACENT PROPERTY NEEDED FOR ACCESS OR TO COMPLETE THE WORK SHALL BE COORDINATED WITH THE PROJECT MANAGER PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL COORDINATE SITE ACCESS AND SECURITY WITH THE PROPERTY OWNER AND THE PROJECT MANAGER PRIOR TO CONSTRUCTION.
17. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SITE CONDITIONS AND UPON COMPLETION OF WORK REPAIR BACK TO ORIGINAL CONDITIONS ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION, SUBJECT TO APPROVAL BY THE PROPERTY OWNER AND THE PROJECT MANAGER.
19. THE CONTRACTOR SHALL PROVIDE ON-SITE TRASH RECEPTACLES FOR COLLECTION OF NON-TOXIC DEBRIS. ALL TRASH SHALL BE COLLECTED ON A DAILY BASIS.
20. ALL TOXIC AND ENVIRONMENTALLY HAZARDOUS SUBSTANCES SHALL BE USED AND DISPOSED OF IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. UNDER NO CIRCUMSTANCES SHALL RINSING OR DUMPING OF THESE SUBSTANCES OCCUR ON-SITE.
21. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS NECESSARY FOR CONSTRUCTION.
22. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS SHALL BE REPORTED TO THE PROJECT MANAGER AND ENGINEER, AND SHALL REQUIRE APPROVAL PRIOR TO PERFORMING ANY REMEDIAL OR CORRECTIVE ACTION.
23. THE PROJECT MANAGER MAY RETAIN THE SERVICES OF A TESTING LABORATORY TO PERFORM QUALITY ASSURANCE TESTING ON VARIOUS PORTIONS OF THE CONTRACTOR'S WORK. WHEN REQUESTED, THE CONTRACTOR SHALL INFORM THE TESTING LABORATORY AND ASSIST THEM IN COMPLETING THE TESTS.
24. THE CONTRACTOR SHALL MAINTAIN AND SUPPLY THE PROJECT MANAGER WITH AS-BUILT PLANS UPON COMPLETION OF THE PROJECT.

CONCRETE

1. MEET OR EXCEED THE FOLLOWING CODES AND STANDARDS:
 - DESIGN ACI 318
 - CONSTRUCTION ACI 301
 - HOT WEATHER PLACEMENT ACI 305
 - COLD WEATHER PLACEMENT ACI 306
 - CEMENT ASTM C-150 (TYPE I)
 - REINFORCING BARS ASTM A-615
 - WIRE MESH ASTM A-185
 - NORMAL WT AGGREGATE ASTM C-33
 - MIXING ASTM C-94
 - ADMIXTURES ASTM C-494
 - AIR ENTRAINMENT ASTM C-260
 - WATER POTABLE
 - DETAILING CRSI MANUAL OF STANDARD PRACTICE
2. CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI.
3. ALL REINFORCING STEEL SHALL BE GRADE 60.
4. MINIMUM CONCRETE COVER FOR REINFORCING BARS:
 - A. CAST AGAINST AND EXPOSED TO EARTH: 3"
 - B. EXPOSED TO EARTH OR WEATHER (NO. 5 AND SMALLER): 1 1/2"
 - C. EXPOSED TO EARTH OR WEATHER (NO. 6 AND LARGER): 2"
5. NO ADMIXTURE SHALL CONTAIN CALCIUM CHLORIDE.
6. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT.

FOUNDATION

1. FOUNDATION INSTALLATION SHALL BE IN ACCORDANCE WITH ACI 336, "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF DRILLED PIERS", LATEST EDITION.
2. MAXIMUM AGGREGATE SIZE SHALL NOT EXCEED 3/4 INCH, SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED, OR 3/8 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCEMENT. CONCRETE SHALL HAVE A MAXIMUM WATER/ CEMENT RATIO OF 0.44. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE.
3. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL, AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION. FREE FALL CONCRETE MAY BE USED PROVIDED FALL IS VERTICAL WITHOUT HITTING THE SIDES OF THE EXCAVATION. FORM-WORK, REINFORCING BARS, FORM TIES, CAGE BRACING, OR OTHER OBSTRUCTIONS. IF GROUNDWATER CAN NOT BE CONTROLLED WITH TEMPORARY CASING, CONCRETE MUST BE PLACED BY TREMIE METHODS. UNDER NO CIRCUMSTANCES IS CONCRETE TO FALL THROUGH WATER. CONCRETE SLUMP SHALL BE BETWEEN 5 TO 7 INCHES FOR FREE FALL PLACEMENT AND 7 TO 9 INCHES FOR TREMIE PLACEMENT. CONCRETE SHALL BE PLACED IN A CONTINUOUS OPERATION WITHOUT CONSTRUCTION OR COLD JOINTS.
4. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED. REINFORCING CAGES SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE. WHEN TEMPORARY CASING IS UTILIZED, BRACING SHALL BE ADEQUATE TO RESIST FORCES OCCURRING FROM FLOWING CONCRETE DURING CASING EXTRACTION.
5. LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.
6. FOUNDATION DESIGN ASSUMES CASING WILL BE REMOVED. EQUIPMENT, PROCEDURES, AND PROPORTIONS OF CONCRETE MATERIALS SHALL INSURE CONCRETE WILL NOT BE ADVERSELY DISTURBED UPON CASING REMOVAL. FULL DEPTH CASING IS REQUIRED.
7. THE CONTRACTOR SHALL COME TO THE SITE PREPARED TO USE TEMPORARY CASING, AS NECESSARY, TO SEAL OFF GROUNDWATER AND MAINTAIN A STABLE EXCAVATION. IF GROUNDWATER CAN NOT BE CONTROLLED WITH TEMPORARY CASING, CONCRETE MUST BE PLACED BY TREMIE METHODS. DRILLED PIER EXCAVATIONS SHALL BE EXCAVATED AND CONCRETE PLACED ON THE SAME DAY. UNDER NO CIRCUMSTANCES SHALL A DRILLED PIER EXCAVATION REMAIN OPEN OVERNIGHT.
8. FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA OBTAINED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED. THE FOUNDATION DEPTH INDICATED IS BASED ON REFERENCES LISTED IN NOTES. FOUNDATION MODIFICATIONS MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.
9. COORDINATE ANCHOR RODS PLACEMENT AND PROJECTION ABOVE THE FINISH GRADE WITH LIGHT POLE MANUFACTURER SPECIFICATION.
10. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE MINIMUM COVER REQUIREMENTS. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 6 INCHES NOR BE LESS THAN 3 INCHES.
11. CONCRETE SHALL HAVE A STRENGTH OF F_c=4500 PSI AT 28 DAYS. AT THE DISCRETION OF THE CONTRACTOR, HIGH EARLY STRENGTH CONCRETE MAY BE SUBSTITUTED. IF HIGH EARLY STRENGTH CONCRETE IS USED, IT SHALL ATTAIN A MINIMUM STRENGTH OF 3000 PSI AT 3 DAYS AND 4500 PSI AT 7 DAYS

SITE WORK

1. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE WELL DRAINED AT ALL TIMES.
2. PERFORM ALL SURVEY, LAYOUT, STAKING AND MARKING TO ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
3. LOCATE AND CLEARLY FLAG TREES, VEGETATION AND EXISTING SITE CONDITIONS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER TO ESTABLISH INSPECTIONS AND APPROVAL PROCESS FOR ALL SITE WORK.
5. PERFORM ALL FINISHED GRADING TO PROVIDE SMOOTH, EVEN SURFACE AND SUBSURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES.
7. WHEN EXCAVATING IN THE AREA OF EXISTING UTILITIES, THE CONTRACTOR SHALL USE REASONABLE CARE IN PROTECTING SUCH UTILITIES. THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER IMMEDIATELY OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION.
8. DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHALL BE REPORTED TO THE PROJECT MANAGER AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S NEGLIGENCE OR FAILURE TO ACT WITH DUE REGARD SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

GEOTECHNICAL DESIGN DATA					
Depth (ft)		Soil Type	Estimated Cohesion (psf)	Estimated Angle of Internal Friction	Estimated Effective Unit Weight (pounds/ft ³)
From	To				
+0'-2"	-9'-0"	Silty Clay (*)	418	0'	110

(*) PER USDA WEB SOIL SURVEY NOTIFY THE ENGINEER OF RECORD IF CONDITIONS VARY FROM DESIGN DATA

MAXIMUM DESIGN REACTIONS (ASD)

MOMENT : 17870 FT-LBS
 SHEAR : 655.45 LBS
 AXIAL : 1853.9 LBS

NOTES

11'x17 SCALE: NTS
 24'x36' SCALE: NTS

NOTES

11'x17 SCALE: NTS
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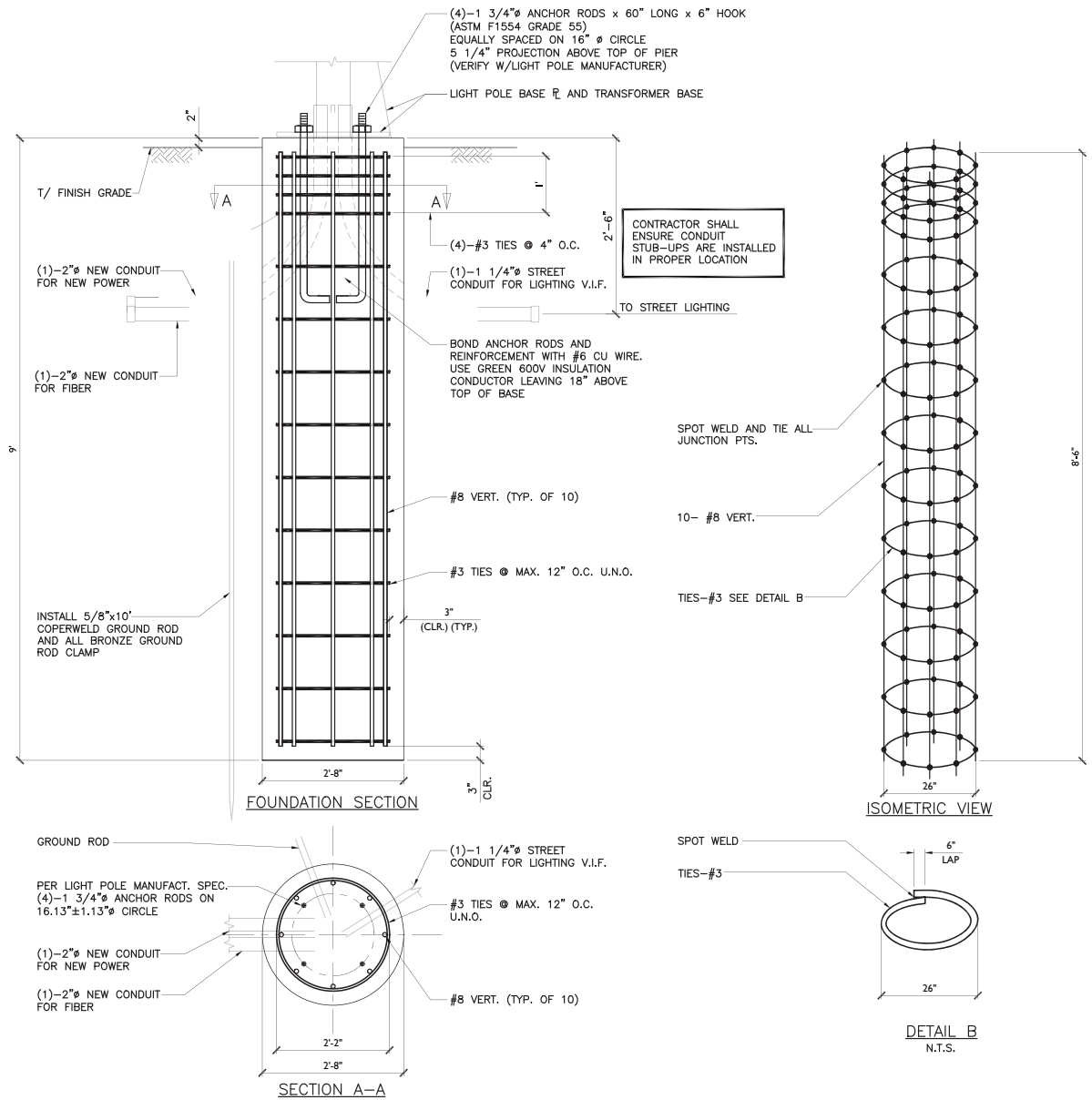
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SHEET NAME
 DETAILS

SHEET NUMBER
 S-2

FOUNDATION DETAIL

11'x17' SCALE: NTS
 24'x36' SCALE: NTS

I

REV	DATE	DESCRIPTION	BY
A	05/23/22	90% REVIEW	CS
B	06/20/22	90% REVIEW	RC
0	07/21/22	100% FINAL	FK
1	11/03/22	REVISED	LB
2	06/02/23	100% REVISION	LB
3	07/24/23	100% REVISION	LB

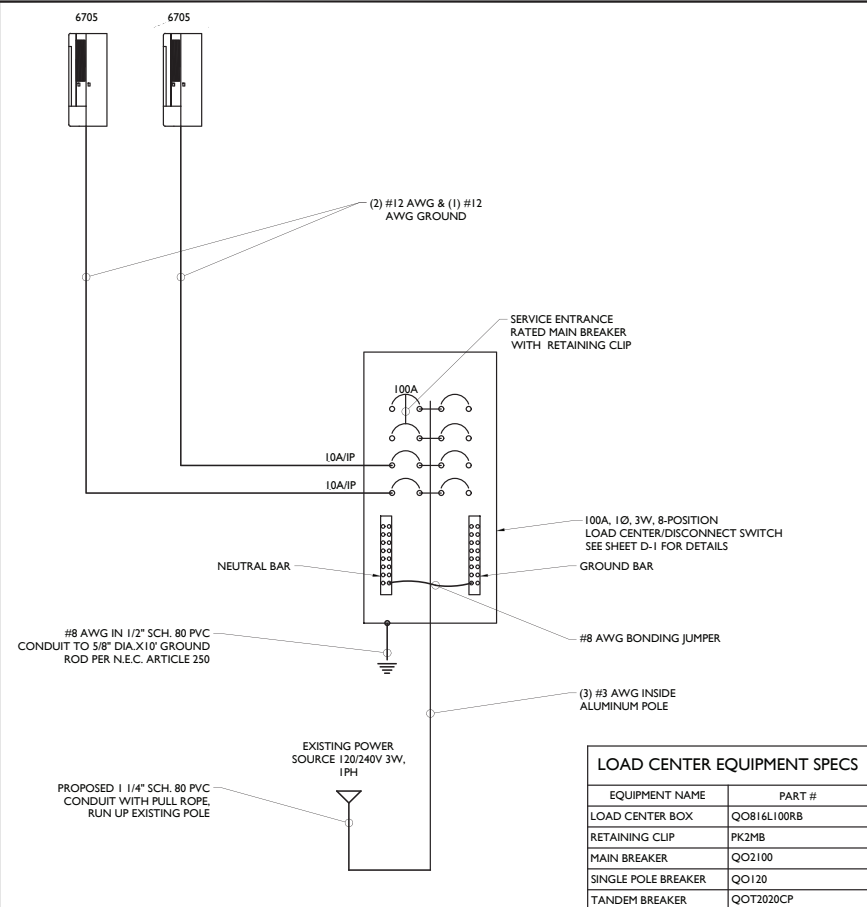
SITE NAME
CC_BLOOMINGTON-001 I-C

SITE LATITUDE, LONGITUDE:
39.17572°, -86.50114°

SITE ADDRESS (NEAREST)
2710 E. DISCOVERY PKWY. BLOOMINGTON, IN 47408

SHEET NAME
ELECTRICAL & GROUNDING DETAILS

SHEET NUMBER
E-1



SITE:		PANEL NAME:		LOAD CENTER	
VOLTAGE:	120/240 Vac	PANEL STATUS:	NEW		
PHASE:	1	ENCLOSURE TYPE:	NEMA 3R		
WIRE:	3W	MOUNT:	SURFACE		
BUSS RATING:	100	AIC:	10KA		
MAIN BREAKER:	MLO	PANEL POSITIONS:	8		

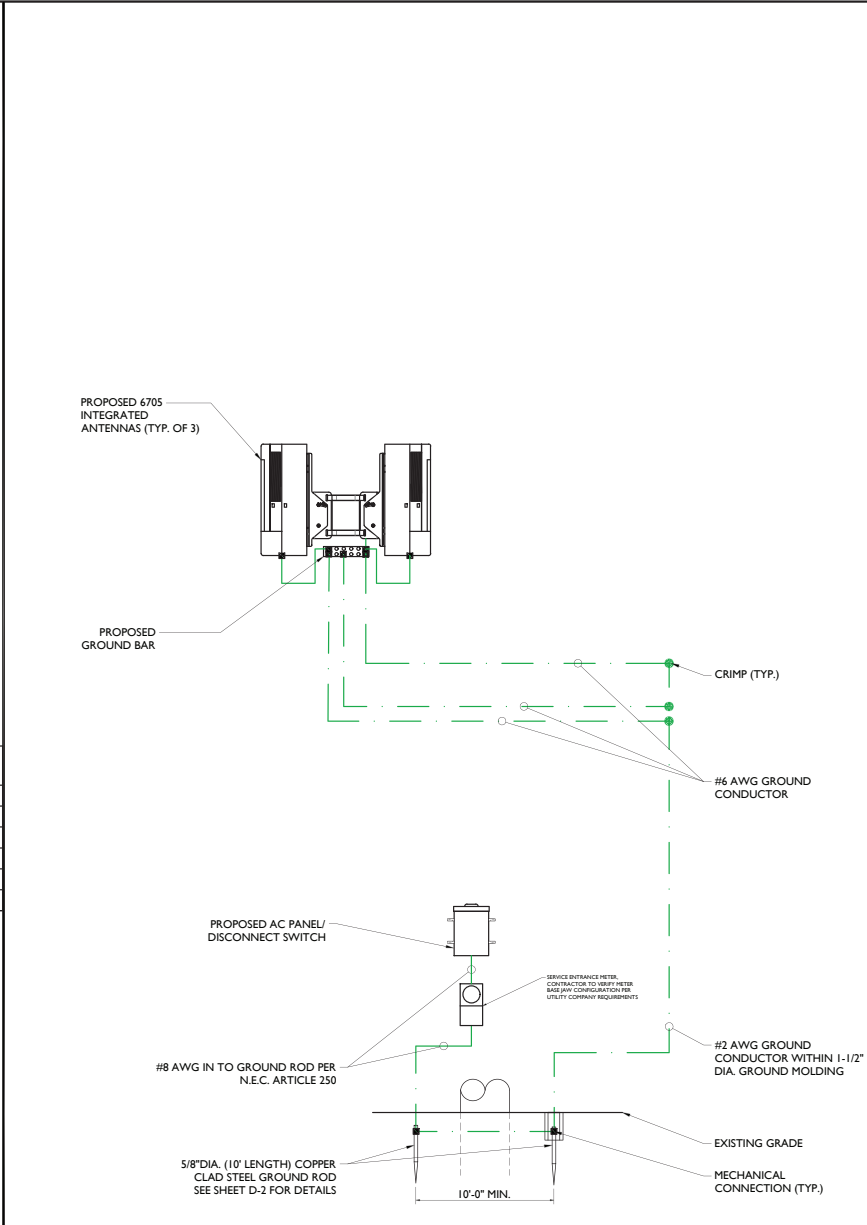
Total kVA	0.41
Total AMPS	1.71

CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	SERVICE LOAD	USAGE FACTOR	Phase A (VA) 1.73kA	Phase B (VA) 1.73kA	USAGE FACTOR	SERVICE LOAD	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT
1	MAIN BREAKER W/RETAINING CLIP	100	2	ON		1	0	0							2
3						1	0	0							4
5	NR ANTENNAS	20	1	ON	205	1	205	0							6
7	NR ANTENNAS	20	1	ON	205	1	0	205							8

11x17 SCALE: NTS
24x36 SCALE: NTS

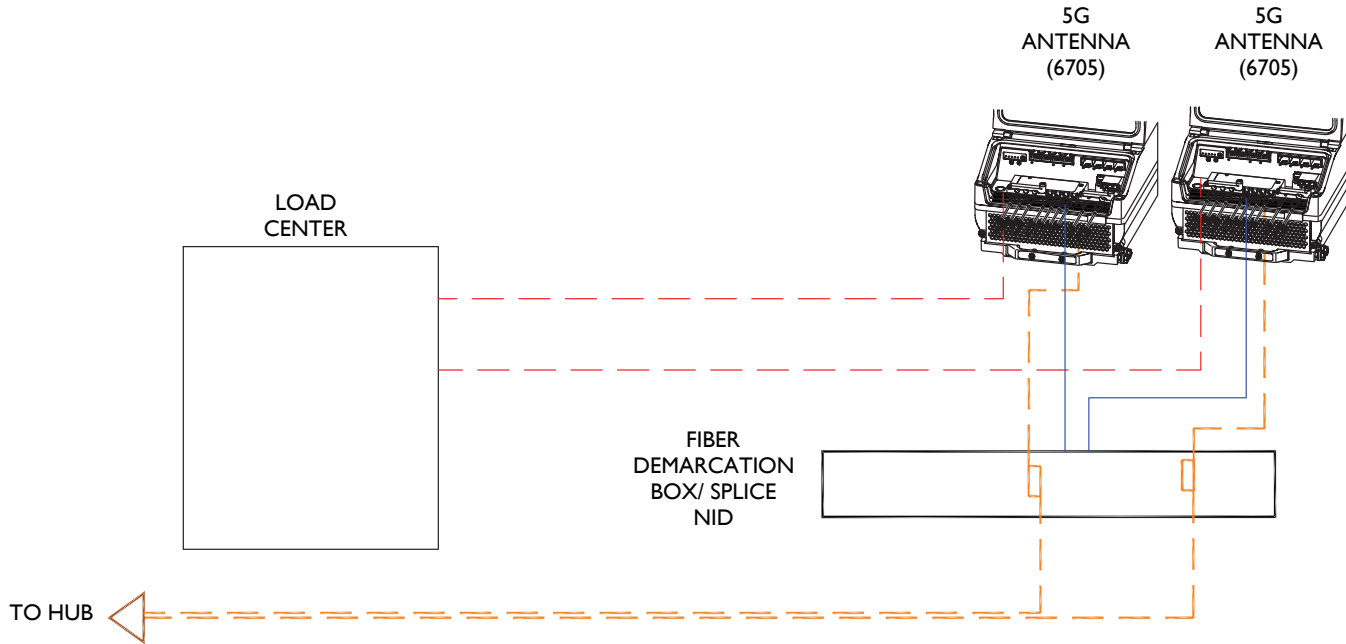
GROUNDING DIAGRAM

11x17 SCALE: NTS
24x36 SCALE: NTS



GROUNDING DIAGRAM

CABLE TYPE	COLOR CODE
POWER CABLE	RED
FIBER CABLE	ORANGE
GROUND CABLE	GREEN
CAT7	BLUE



NOTE: EXACT PLUMBING DIAGRAM TO BE DETERMINED

PLUMBING DIAGRAM

11'x17" SCALE: NTS
24'x36" SCALE: NTS



1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

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SITE NAME
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SITE ADDRESS (NEAREST)
2710 E. DISCOVERY
PKWY. BLOOMINGTON,
IN 47408

SHEET NAME
PLUMBING DIAGRAM

SHEET NUMBER
E-2

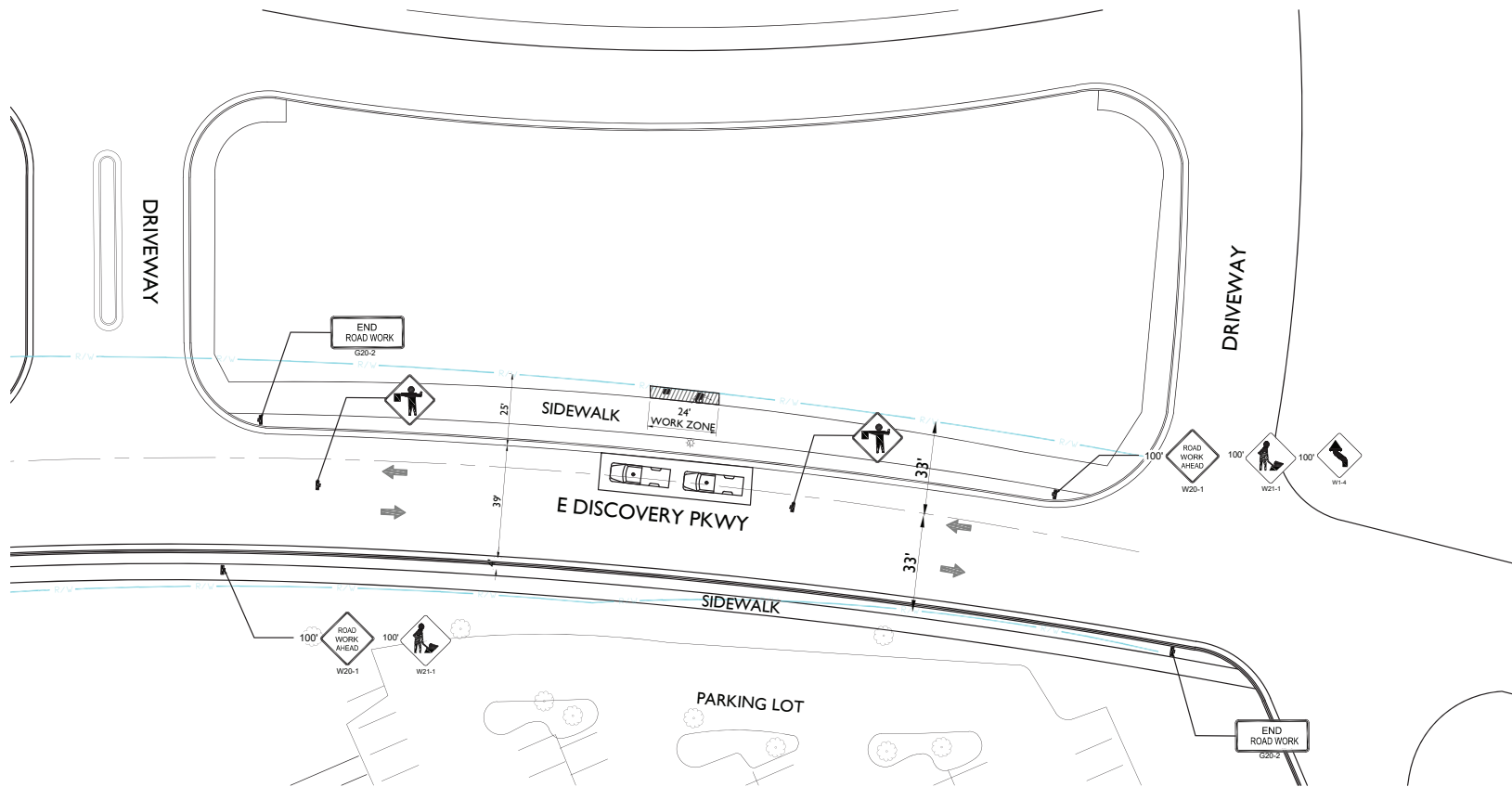
NOTES:

1. TRAFFIC CONTROL FOR THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH "INDIANA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES"
2. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF TRAFFIC AND SHALL PROVIDE MATERIALS AND SIGNS TO INFORM AND PROTECT PEDESTRIANS
3. ALL TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO WORK COMMENCING.
5. A 7 FOOT CLEARANCE FROM THE BOTTOM OF THE SIGN TO THE TOP OF PAVEMENT IS REQUIRED FOR SIGNS THAT WILL BE IN PLACE FOR MORE THAN 4 DAYS, AND SHALL BE POST MOUNT IN THE GROUND WHENEVER POSSIBLE.
6. CONTRACTOR TO RESTORE ALL LANES OF TRAFFIC TO NORMAL TRAFFIC PATTERN AT THE COMPLETION OF EACH WORK DAY UNLESS OTHERWISE NOTED.

LEGEND

- EXISTING TRAFFIC DIRECTION
- PROPOSED TRAFFIC DIRECTION
- TRAFFIC SIGN
- CONSTRUCTION DRUM
- WORK AREA
- TYPE 3 BARRICADE
- DRUM WITH STEADY BURNING LIGHT AT 20' ON CENTER (TYP)
- DRUM OR BARRICADE WITH FLASHING LIGHT
- TYPE III BARRICADE WITH 2 FLASHING LIGHT
- TEMPORARY TRAFFIC BARRIER
- TEMPORARY CONCRETE BARRIER
- TEMPORARY IMPACT ATTENUATOR
- ARROW BOARD

NOTE:
CONTRACTOR IS TO ALWAYS MAINTAIN
EMERGENCY ACCESS



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SITE ADDRESS (NEAREST)
2710 E. DISCOVERY PKWY. BLOOMINGTON, IN 47408

SHEET NAME
TRAFFIC CONTROL PLAN

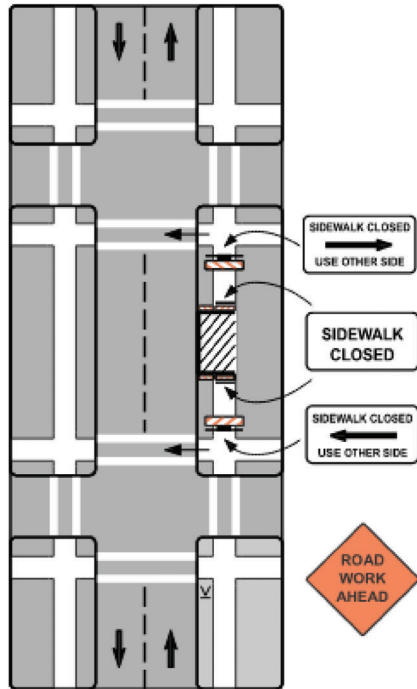
SHEET NUMBER
TCP-I

TRAFFIC CONTROL PLAN

24x36 SCALE: 1" = 20'-0"
11x17 SCALE: 1" = 40'-0"

PROJECT#: 2022.0075.0011

Sidewalk Closure
(Pedestrian Detour)

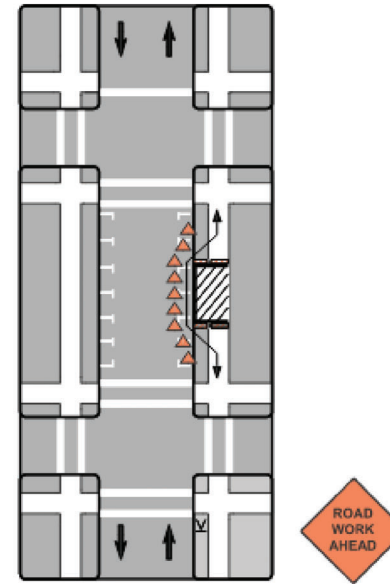


Notes:

1. Additional advance warning may be necessary.
2. Only the traffic control devices controlling pedestrian flows are shown. Other devices may be needed to control traffic on the streets. Use lane closure signing, ROAD NARROWS or LANE NARROWS signs as needed.
3. For nighttime closures, Type A flashing warning lights may be used on barricades supporting signs and closing walkways.

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Sidewalk Closure
(Pedestrian Walkway Provided)



Notes:

1. Additional advance warning may be necessary.
2. Only the traffic control devices controlling pedestrian flows are shown. Other devices may be needed to control traffic on the streets. Use lane closure signing, ROAD NARROWS or LANE NARROWS signs, as needed.
3. For nighttime closures, Type A flashing warning lights may be used on barricades supporting signs and closing walkways. Type C steady-burn lights may be used on channelizing devices separating the temporary walkway from vehicular traffic.
4. Where high speeds are anticipated, use a barrier to separate the temporary walkway from vehicular traffic. Refer to Section 6D-1 of Part VI of the IMUTCD for information on barriers.
5. Signs may be placed along a temporary walkway to guide or direct pedestrians; for example, KEEP RIGHT or KEEP LEFT signs.

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SITE ADDRESS (NEAREST)

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PKWY. BLOOMINGTON,
IN 47408

SHEET NAME

TRAFFIC CONTROL
PLAN

SHEET NUMBER

TCP-2

September 28, 2023

Malia D. Vanaman
Associate Grants Manager
Division of Historic Preservation and Archaeology
Department of Natural Resources

RE: Support for the restoration of the Banneker Center, Bloomington, Monroe County, Indiana using the Historic Preservation Fund Grant

Dear Ms. Vanaman,

The Bloomington Historic Preservation Commission wholeheartedly endorses the use of the Historic Preservation Fund Grant for the restoration of the limestone steps on the front of the Banneker Center. The City of Bloomington's Department of Parks and Recreation is the current custodian of this Outstanding rated structure located at 930 W 7th St., Bloomington, Monroe County Indiana. The Banneker Center was originally built in 1915 and used as the Banneker School for Bloomington's African American children until desegregation in 1951. This structure, nestled in the heart of the West Side Historic District has borne witness to Bloomington's history for over 100 years and continues to serve Bloomington's residents in full capacity as a community center.

The building's front steps are some of the most impacted and used features on the structure, but they are also an integral and highly visible part of the building's fabric. Thank you for your consideration regarding this vital structure to Bloomington's African American built legacy and landscape.

Sincerely,

John Saunders
Chair
Bloomington Historic Preservation Commission