



**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT

BHPC MEETING PACKET

Thursday October 26, 2023

5:00 p.m. EST

Prepared by HAND Staff

In Person: The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: <https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

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Accessibility Statement

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals.

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Bloomington Historic Preservation Commission Meeting

In Person: 401 N Morton St., Ste. 135, Bloomington, IN 47404

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AGENDA

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- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **APPROVAL OF MINUTES**
 - A. September 28, 2023
- IV. **Vote on reinstating hybrid meeting system for voting Commissioners**
- V. **Near West Side Guidelines**
- VI. **CERTIFICATES OF APPROPRIATENESS**

Staff Review

- A. **COA 23-75**
600 W Kirkwood Ave. (Near West Side Historic District)
Petitioner: Chris Smith
Changing veneer material for retaining wall and the building foundation.

Commission Review

- B. **COA 23-68**
122 S Walnut St. (Courthouse Square Historic District)
Petitioner: Constellation Stage and Screen Jennifer Lloyd
New Awning.
- C. **COA 23-74**
346 S Buckner St. (Greater Prospect Hill Historic District)
Petitioner: Chris Valliant
Addition to an existing building.
- D. **COA 23-77**
703 E 7th St. (University Courts Historic District)
Petitioner: Avi Grossbaum
Various alterations including a new egress door, new gooseneck exhaust NE corner of the building, new patio on corner, new condensing unit and a 42" fence to screen outdoor units.

- E. **COA 23-78**
322 W 2nd St. (Henley House Historic District)
Petitioner: Gina Lovell
Full window replacement.
- F. **COA 23-79**
118 N Walnut St. (Courthouse Square Historic district)
Petitioner: Matt Ellenwood
Deck on the rooftop.
- G. **COA 23-80**
934 W 2nd St. (Greater Prospect Hill Historic District)
Petitioner: Don and Lisa Weiler
Full demolition and new construction.
- H. **COA 23-81**
2920 E 10th St. (Garton Farm Historic District)
Petitioner: Steve Wyatt (Bloomington Restorations Inc.)
New fence and a shed.
- VII. **NEW BUSINESS**
 - A. **The Cascades Nomination Update**
 - B. **The Graduate Hotel**
 - C. **Commissioners' Retreat**
- VIII. **OLD BUSINESS**
- IX. **COMMISSIONER COMMENTS**
- X. **PUBLIC COMMENTS ANNOUNCEMENTS**
- XI. **ADJOURNMENT**

Next meeting date is November 9, 2023 at 5:00 P.M. and will be held in a hybrid manner,
both in person and via Zoom.

Posted: 10/23/2023

MINUTES August 24, 2023

Bloomington Historic Preservation Commission Meeting

Thursday September 28, 2023, 5:00 P.M.

AGENDA

I. CALL TO ORDER

Meeting was called to order by **Vice Chair Sam DeSollar @ 5:07 p.m.**

II. ROLL CALL

Commissioners Present:

Ernesto Castaneda (Present)
Elizabeth Mitchell (Present)
Reynard Cross (Present)
Daniel Schlegel (Present)
Sam DeSollar (Present)
Matthew Seddon (Present)

Advisory Members Present:

Chris Sturbaum (Present)
Karen Duffy (Present)

Staff Present:

Gloria Colom, HAND (Present)
John Zody, HAND (Zoom)
Dee Wills, HAND (Zoom)
Mike Rouker, City Legal Department (Present)
Jackie Scanlan, City Planning Department (Present)
Gabriel Holbrow, City Planning Department (Present)
Tim Street, City Parks & Rec. Department (Present)
Jonas Chang, Parks & Rec. Department (Present)

Guests Present:

Banneker (Present)
Barb Lund (Zoom)
Caylan Marshall Evans (Zoom)
Eric Ost (Zoom)

Matt Ellenwood (Zoom)
John Wiebke (Present)
Tim Cover (Present)
Peter & Olivia Dorfman (Present)
Peter Rice (Present)
Sandra Clothier (Present)
Bob Grise (Present)
Chad Rabinovitz (Present)
CATS (Present)

III. APPROVAL OF MINUTES

A. August 24, 2023

Matthew Seddon made a motion to **Approve August 24, 2023 Minutes.**

Elizabeth Mitchell seconded.

Motion Carries: 6 Yes (Castaneda, Schlegel, DeSollar, Mitchell, Cross, Seddon), 0 No, 0 Abstain

B. September 14, 2023

Mathew Seddon made a motion to **Approve September 14, 2023 Minutes.**

Elizabeth Mitchell seconded.

Motion Carries: 6 Yes (Castaneda, Schlegel, DeSollar, Mitchell, Cross, Seddon) 0 No, 0 Abstain.

NEW BUSINESS:

Historic Preservation Grant Fund letter of support for the Banneker Center

Tim Street with the **Parks and Recreations Department** gave brief presentation. See packet for details.

Matthew Seddon made a motion to **Approve sending the September 28, 2023 letter** from **John Saunders** to **Malia D. Vanamen** regarding the **Banneker Center Project** and **Historic Preservation Fund Grant.**

Daniel Schlegel seconded.

Motion Carries: 6 Yes (Cross, Mitchell, Seddon, DeSollar, Schlegel, Castaneda), 0 No, 0 Abstain.

IV. CERTIFICATES OF APPROPRIATENESS

Staff Review

A. COA 23-71

131 N College Ave. (Courthouse Square Historic District)
Petitioner: Terry Walden
Modifying the escape ladder.

Gloria Colom gave presentation. See packet for details.

Commission Review

B. COA 23-68

122 S Walnut St. (Courthouse Square Historic District)
Petitioner: Constellation Stage and Screen
New awning for accessible entrance.

Gloria Colom gave presentation. See packet for details.

Chad Rabinovitz gave presentation with details of the project.

Questions and Comments from **Commissioners**. See packet for details.

Daniel Schlegel made a motion to continue **COA 23-68 to the October 12, 2023 HPC Meeting.**

Reynard Cross seconded.

Motion Carries: 6 Yes (Cross, Mitchell, Seddon, DeSollar, Schlegel, Castaneda), 0 No, 0 Abstain

C. COA 23-70

1302 E 2nd St. (Elm Heights Historic District)
Petitioner: John Wiebke
Roof material change (retroactive COA).

Gloria Colom gave presentation. See packet for details.

John Wiebke spoke to the **Commission** about the process of the roof change and why this **COA** is coming to the **Board** after the change was made. **John Wiebke** stated that he thought this was an upgrade and an investment in his home, and apologized that he is before the board retroactively.

Questions and Comments from the **Commissioners**. See packet for details.

Reynard Cross made a motion to **Deny COA 23-70**

Sam DeSollar seconded.

Motion Denied: 2 Yes (Cross, DeSollar), 4 No (Castaneda, Schlegel, Seddon, Mitchell), 0 Abstain

Matthew Seddon made a motion to **approve COA 23-70.**

Ernesto Castaneda seconded.

Motion Carries: 4 Yes (Castaneda, Schlegel, Seddon, Mitchell), 2 No (Cross, DeSollar), 0 Abstain.

D. COA 23-72

200 E Kirkwood Ave. (Bloomington National Savings and Loan Association Historic District)

Petitioner: Tim Cover

Amend COA 22-63 - multiple changes to the design - full east facade and closing of the drive thru.

Gloria Colom gave presentation. See packet for details.

Tim Cover gave presentation. See packet for details.

Questions and Comments from **Commissioners**. See packet for details.

Reynard Cross made a motion to continue **COA 23-72 to the October 12, 2023 HPC Meeting.**

Daniel Schlegel seconded.

Motion Carries: 5 Yes (Castaneda, Schlegel, DeSollar, Mitchell, Cross), 0 No, 0 Abstain.

E. COA 23-73

118 N Walnut St. (Courthouse Square Historic District)

Petitioner:

Add a rooftop deck with railing and rebuild the stair enclosure.

Gloria Colom gave presentation. See packet for details.

Questions and Comments from **Commissioners**. See packet for details.

Reynard Cross stated that there are a lot of unanswered questions about dimensions and boreholes and there seems to be a lot that the Property Owner needs to speak with the Engineer about.

Reynard Cross made a motion to **Continue COA 23-73 to the October 12, 2023 HPC Meeting.**

Elizabeth Mitchell seconded.

Motion Carries: 5 yes (Cross, Mitchell, DeSollar, Schlegel, Castaneda), 0 No, 0 Abstain

V. DEMOLITION DELAY

A. DD 23-10

313 W 17th St. (Contributing)

Petitioner: Caylan Evans

Full Demolition.

Gloria Colom gave presentation. See packet for details.

Caylan Evans gave more details about the **COA** and answered questions from **Commissioners**. See packet for details.

Sam DeSollar read the **Demolition Delay Resolution to Release DD 23-10**.

Motion Carries: 5 Yes (Cross, Mitchell, DeSollar, Schlegel, Castaneda), 0 No, 0 Abstain

VI. NEW BUSINESS

John Zody gave a follow up on an issue from earlier in the spring about the **Princess Theater** at **204 N Walnut Street**. **John Zody** stated that there will soon be scaffolding up at the façade. **HAND** issued an unsafe order last **March**. See packet for details.

A. NWS Historic District Guidelines Draft Review

Gloria Colom apologized for not being able to vote on the guidelines at this time due to losing the **Quorum**.

Peter Dorfman, Sandy Clothier, Bob Grise and **Olivia Dorfman** spoke to the Board about the new guidelines. See packet for details.

Comments from **Commissioners**. See packet for details.

B. Section 106 Review - Crestmont Park Development

C. Section 106 Review - Osage Place Development

- D. Section 106 Review - Crown Castle Antenna - 2710 East Discovery Parkway**
- E. Historic Preservation Grant Fund letter of support for the Banneker Center**

VII. OLD BUSINESS

A. Following up on violations

B. Updates on Commissioner Retreat

Gloria Colom gave an update about the Retreat.

VIII. COMMISSIONER COMMENTS

IX. PUBLIC COMMENTS ANNOUNCEMENTS

X. ADJOURNMENT

Meeting was adjourned by Sam DeSollar @ 8:18 p.m.

END OF MINUTES

Video record of meeting available upon request.

NEAR WEST SIDE HISTORIC DISTRICT GUIDELINES - DRAFT 2.0

Near West Side Historic District Design Guidelines



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CREDITS

City of Bloomington Historic Preservation Commission in 2023:

Duncan Campbell, Ernesto Castaneda, Allison Chopra, Reynard Cross, Sam DeSollar, Karen Duffy, Kirsten Hawley, Elizabeth Mitchell, Marleen Newman, John Saunders, Daniel Schlegel, Matthew Seddon, Chris Sturbaum

Members of Bloomington City Council in 2019 when the Conservation District was created:

Allison Chopra, Dorothy Granger, Isabel Piedmont-Smith, David Rollo, Andy Ruff, Susan Sandburg, Jim Sims, Chris Stubaum, Steve Volan

Design Guidelines Revision Committee 2023:

Neighborhood Members: William Baus, Sandra Clothier, Olivia Dorfman, Peter Dorfman, Karen Duffy, Beth Ellis, Bob Grise, Barb Lund, Robert Meadows, Susan Valentine

Bloomington Historic Preservation Commission Members: Sam DeSollar

City of Bloomington Historic Preservation Program Manager: Gloria M. Colom Braña

FOREWORD

Citizens, developers, workers, and homeowners are interested in living and working in neighborhoods that are distinctive. There is abundant evidence that people are more likely to buy houses in distinctive neighborhoods, more likely to establish new businesses in distinctive neighborhoods, and more likely to work together with their neighbors on community projects in distinctive neighborhoods as well. Distinctiveness is an important amenity, and people are willing to contribute to the economic development of a distinctive city or neighborhood.

One of the things that makes a neighborhood distinctive is its history. The most obvious evidence of a neighborhood's history is the kinds of buildings and structures it contains. The objective of this set of Preservation Guidelines is to preserve the distinctiveness of the Near West Side neighborhood by preserving the architectural evidence of its history and to maintain its affordability. These guidelines regulate demolition, new construction, additions, moving of a structure, and major changes to the facade facing the public right of way except for alleys.

These design guidelines are intended to assist property owners in making informed decisions about their historic homes and properties. The underlying goal is to preserve the elements of the district that create its unique character but also to acknowledge the advantages of reuse, renovation, and repair.

In creating this book of design guidelines, the Committee consulted guidelines used by other neighborhoods in Bloomington, especially Maple Heights and Greater Prospect Hill, as well as neighborhoods and communities in other states.

In addition, the Committee drew on recommendations made by architects Marc Cornett and James Rosenbarger in their 2002 study, “The Plan for West Kirkwood,” prepared in collaboration with the City of Bloomington’s Planning Department, in developing guidelines specific to the major traffic arteries (West Kirkwood Avenue and Rogers Street) bordering the Near West Side.

The Near West Side Historic District Design Review Committee exists to 1) assist our neighbors through the review process, acting as a liaison when necessary to the Housing and Neighborhood Development (HAND) and Bloomington Historic Preservation Commission (BHPC) and providing neighborhood support on design issues; 2) recommend or comment (if necessary) on the homeowner’s design plans before they meet with the BHPC; and 3) help inform the neighborhood about these projects. The Design Review Committee cannot stop a project, only review and provide recommendations before the project goes to the BHPC, which has the authority to approve or deny the request. The neighborhood Design Review Committee is composed of a minimum of 5 members, with a quorum of fifty percent.

The Near West Side Historic District residents volunteer their service on the committee and serve at the discretion of the NWS Neighborhood Association Board of Directors. The Design Review Committee will review items that require BHPC approval [Demolition, New Construction, Additions, Moving of a Structure, and major changes to the facade(s) facing the street(s)]. Other items reviewed by HAND staff [minor changes to the facade(s) facing the street(s) or removal of original materials] do not require review by the Design Review Committee, unless either 1) in the case of denial by HAND, the homeowner wishes to appeal to BHPC – which triggers Design Review Committee review – or 2) HAND staff feel they need extra assistance from the BHPC, at which point either the homeowner or HAND can enlist the Design Review Committee before the “appeal” moves on to BHPC.

On December 04, 2019, the Near West Side became a Conservation District. On December 4, 2022 the Near West Side Conservation District was elevated to a Historic District. The guidelines have been revised to reflect the elevation.

History of the Historic District Designation

The Near West Side became a Historic District on December 4, 2022 but has been on the National Register of Historic Places since 1997. Over the years, the Near West Side Neighborhood Association had discussed applying for some form of local historic designation before formally beginning the process in 2018 with a series of community meetings.

In 2019, the Near West Side Historic Designation Committee (NWSHDC) was formed, consisting of a group of homeowners and landlords, all residents of the Near West Side neighborhood, who came together to explore what historic designation could mean for our Bloomington neighborhood.

The Historic Designation Committee members were: Olivia Dorfman and Karen Duffy, Co-chairs; Alan Balkema, William Baus, Tim Clougher, Peter Dorfman, Christine Lovelace, Frank Marshalek, Steve Mascari, and Lisa-Marie Napoli.

Our committee hosted a series of three informational public meetings in the first half of 2019. The

meeting topics were: Basics of Local Designation, The Historic Value of the Near West Side, and Summary/Open Discussion.

At the end of this series, we held a vote for property owners to indicate whether or not we should apply to the City for some form of local designation, and if so, for which district type (Conservation or Full Historic). Two-thirds of the responses received were in favor of submitting an application, and the majority of voters expressed a preference for a Conservation District.

Following this result, the Co-chairs of the committee prepared and submitted an application on behalf of the neighborhood to the City of Bloomington. The proposal was approved by the Common Council on December 4, 2019. After three years, as per Indiana state law, the City conducted a vote of property owners to determine whether the district would remain a Conservation District or elevate to a full Historic District. As a result of this vote, the neighborhood was elevated to a Historic District on December 4, 2022.

The Near West Side Historic District preserves a neighborhood of historic and architectural significance. It played an important role in the economic and social history of the city of Bloomington, particularly from 1890 to 1930. It contains Bloomington's largest collection of vernacular buildings including the Gabled Ell and Hall and Parlor forms. For more information, see **History and Significance**, page 11.

Purpose of the Design Guidelines

The purpose of the guidelines is to present concepts, alternatives, and approaches that will produce design solutions that recognize the characteristics of the Near West Side Historic District area and promote harmony between new and existing buildings. The guidelines are not meant to restrict creativity, but to set up a framework within which compatible design will occur. It should be noted that within an appropriate framework, different design solutions may be appropriate.

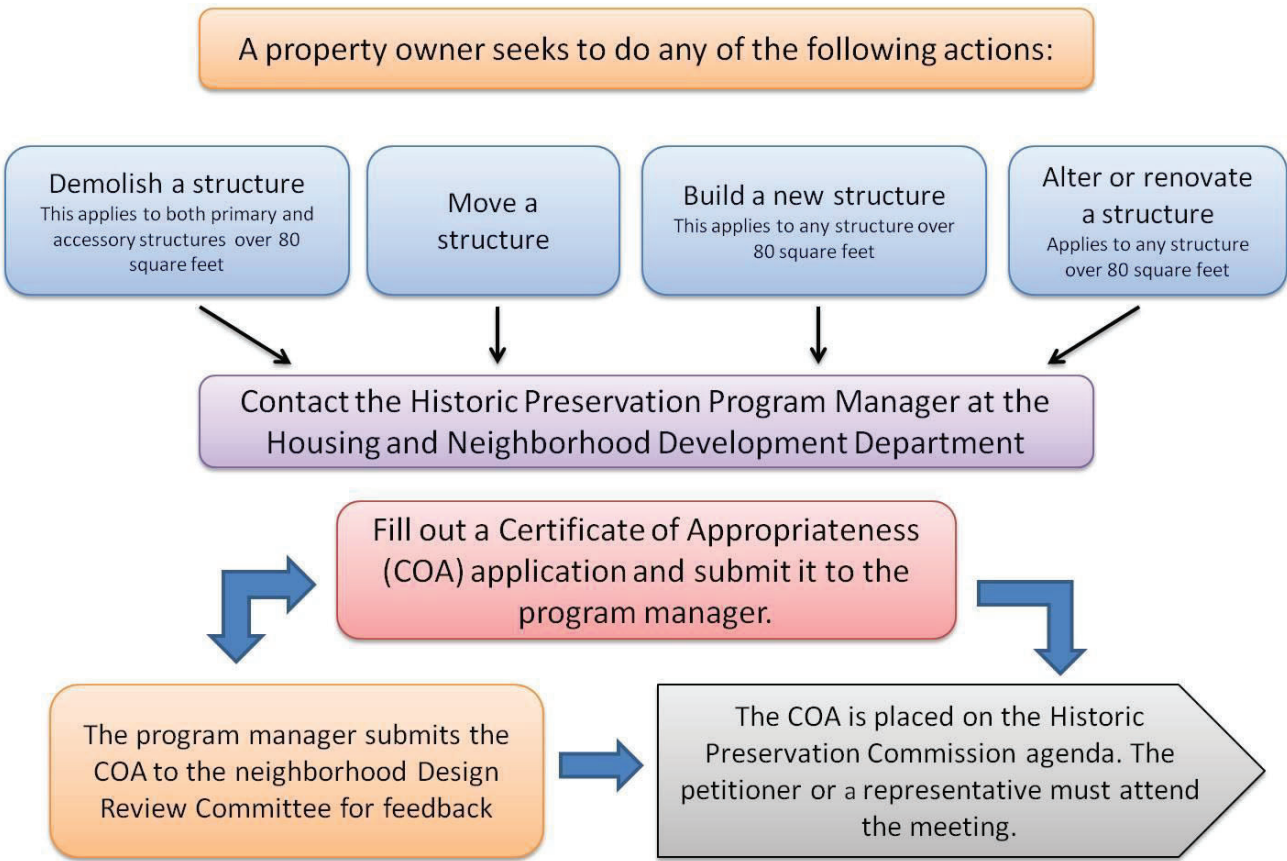
The Near West Side Neighborhood is an historic area unique to Bloomington and represents a specific period in the development of the city. New structures and changes to existing structures (alterations and additions) should be in harmony with the old, yet at the same time be distinguishable from the old, so the evolution of the historic area can be interpreted properly. Projects should clearly indicate, through their design and construction, the period of their integration within the district. They should also reflect the design trends and concepts of the period in which they were created and the technology, construction methods, and materials available at the time. However, precise imitation of "period" buildings in new construction is not appropriate in any historic area, because it dilutes the quality of the existing structures and will threaten the integrity of the district.

At the same time, newly designed buildings and major alterations should not detract from the character of the historic area. Form, scale, mass, and architectural details are all elements that allow classification of a particular building into type and/or style categories. The concentration of a certain style of building, and/or the mixture of types and styles, are the ingredients that give the area its quality. New construction must relate the elements of the new building to the characteristics of the historic district and its individual components.

Explanation of the Design Review Process

A Certificate of Appropriateness (COA) must be issued by the Commission before a permit is issued for, or work is begun on, any of the following:

1. The demolition of any building.
2. The moving of any building
3. Any new construction of a principal structure, or accessory structure larger than 80 square feet, facing the street(s), but not alleys.
4. Alterations to the facade of the structure facing the street(s), but not alleys.



Role of the Neighborhood Design Review Committee

While a COA application must be submitted to staff, the petitioner always has the option to first consult with the neighborhood design review committee. This group can be reached at nwsna.btown@gmail.com. The design review committee will provide feedback based on the district design guidelines and will advise the petitioner on the appropriateness of the project. It is important to note that while this is not a required first step, the design review committee will

always be consulted on the appropriateness of a proposed COA. This typically occurs after staff has received the COA application and written a report, but before the Historic Preservation Commission formally discusses the project. Staff will relay any feedback to the Commissioners during discussion of the item at the meeting, although design review committee members sometimes attend the meeting themselves to give their feedback. Please see the above flow chart for further clarification.

Boundary Description

The Near West Side Historic District roughly covers the area bounded on the north by the Indiana Railroad right-of-way and Rev. Ernest D. Butler Park; on the east by Rogers Street; on the south by Kirkwood Avenue; and on the west by Adams Street. The district boundaries were drawn to include the houses deemed of greatest architectural and historic significance. See the attached map for the exact boundaries.

LIST OF MAPS

Figure 1: Near West Side Neighborhood Association Boundaries

Figure 2: West Side National Register District Map

Near West Side Neighborhood Association Boundaries

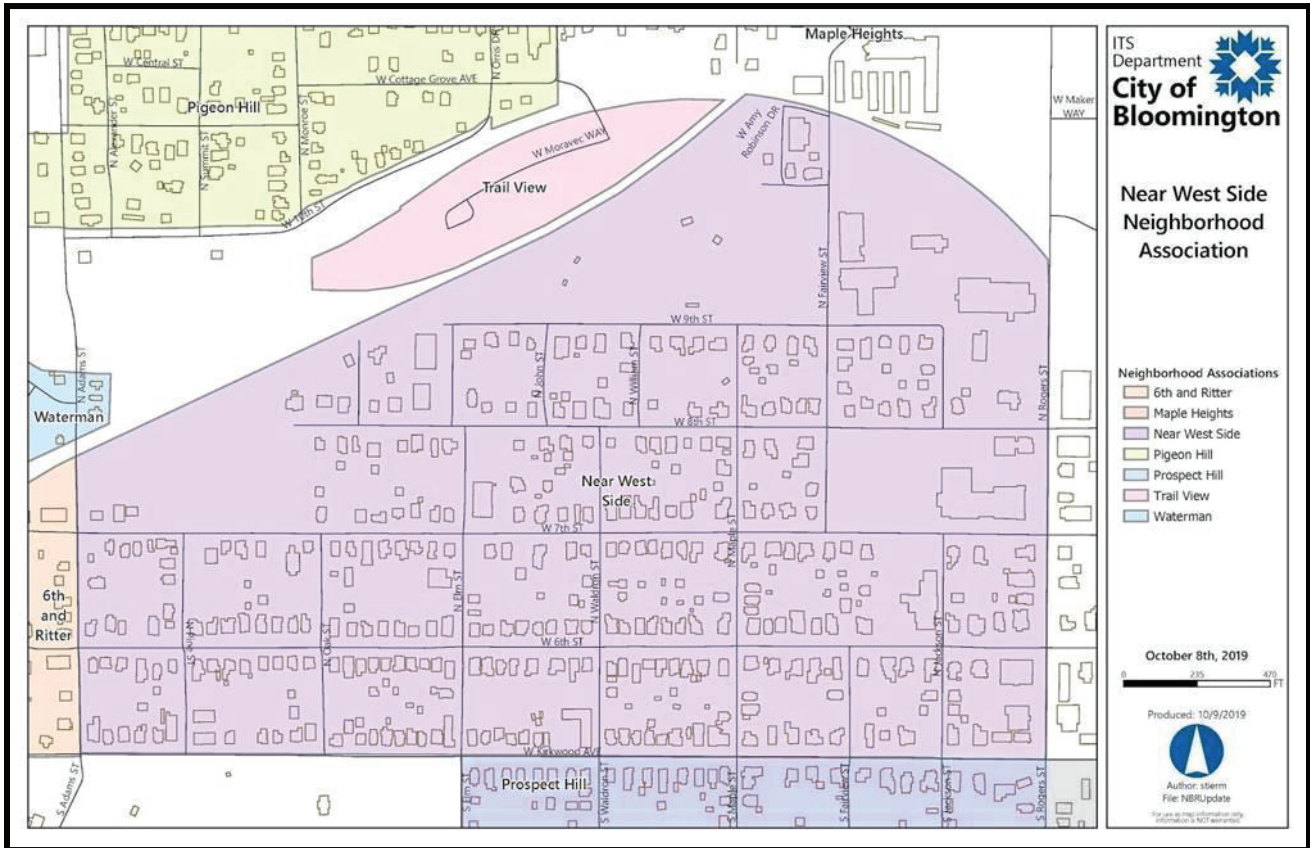


Fig. 1

Near West Side Historic District Map



Map Key





			
Non-Contributing	Contributing	Notable	Outstanding

Fig. 2

HISTORY AND SIGNIFICANCE

The properties that comprise the Near West Side Historic District represent the majority of the properties in the West Side National Register District—which has been on the National Register of Historic Places since 1997. While the West Side National Register District properties are both commercial, industrial and residential in nature, the Near West Side Historic District properties are primarily residential.

The neighborhood and its buildings hold historic and architectural significance summarized as follows:

Historic Significance

The Near West Side neighborhood played a significant role in both the economic development and the social history of the city of Bloomington. Its particular period of significance is 1890 to 1930.

The development of the neighborhood is part of the economic history of the community because it developed adjacent to and concurrent with the industrial and commercial resources in the area, sparked by the mid-nineteenth century arrival of the railroad and reaching its height with the national success of the Showers Brothers furniture company by the 1920s.

The growth of industry on the west side is directly linked to the growth of the Near West Side neighborhood from a quiet rural area (1850–1890) to a densely settled, bustling working class neighborhood (1890–1920). Bloomington’s economy was thriving at the turn of the century, and the Near West Side, because it was adjacent to the railroad, went through a period of rapid growth. Some of the industrial and commercial development included: Dolan Tierman Stave Factory, Field Glove, Bloomington Basket Company, Nurre Mirror Company, Central Oolitic Stone Saw Mill, and Hoadley Stone Company. While outside the boundaries of the Near West Side Historic District, a number of buildings from businesses of this period are still standing, including the Johnson’s Creamery (400 W. 7th Street, 1913), Bloomington Wholesale Foods Warehouse (300 W. 7th Street, 1920), Bloomington Frosted Foods (211 S. Rogers Street, 1927), and several auto-related businesses reflecting the beginning of the automobile’s popularity in the 1920s. These establishments both served the community and attracted more workers to the neighborhood, thereby expanding this diverse working class neighborhood and helping the city to grow.

Although many businesses were located in the area, the Showers Brothers Company would become the biggest driver of Bloomington’s development on its west side. In 1884, following a fire at its earlier site on the city’s east side, Showers relocated to Morton Street beside the railroad. The history of the Showers Company is an important part of the heritage of Bloomington, a fact reflected in the location of our City Hall offices in restored Showers factory buildings. With the factory’s relocation on Morton Street, Showers employees formerly living near the earlier east side site began a gradual migration across town, where they became the homebuilders and residents of the new Near West Side neighborhood.

The development of the Near West Side is part of the social history of the community because it was a racially diverse, working class neighborhood ever since it was platted in the late nineteenth century. The Showers company corporate culture was unusual for its time and employed women and African Americans as well as white men when other industries did not. The company afforded its employees good jobs with excellent benefits including worker's compensation, cultural events, and—most significantly for the development of housing on the Near West Side—home financing. Showers even established a bank “solely for the benefit of its employees.” This is reflected in the greatest period of the neighborhood's growth, from 1890 to 1925, which shows the direct relationship between the relocation of the Showers Factory in 1884 and the consequent migration of Blacks to the west side from other areas of ethnic settlement in Bloomington. Additionally, the establishment of other religious and civic buildings in the neighborhood such as the Banneker School and Bethel A.M.E. Church, utilized primarily by the Black community, are indicative of this migration and serve as important markers for understanding Black history in Bloomington.

Architectural Significance

The Near West Side presents a range of once common architectural styles that are now in serious danger of being lost through demolition or neglect. As Bloomington's largest collection of historic vernacular house types, the Near West Side includes multiple recognizable examples of shotgun, double pen, saddlebag, central passage, hall and parlor, and other traditional house forms that are becoming increasingly rare in Bloomington. The fact that this architecturally significant group of structures could easily succumb to development pressure in the future and be lost to history motivated neighborhood property owners to secure local historic designation as a distinct district in the city.

The platted subdivisions of the neighborhood are characterized by relatively narrow city streets, densely sited houses, and a network of alleys running both east and west, and north and south. Limestone retaining walls, brick sidewalks, and the mature trees that line the streets add much to the Near West Side's sense of place. The main thoroughfare, Kirkwood, retains its residential character with an increasing number of businesses in converted houses. The smaller homes that constitute the majority of housing stock in the Near West Side neighborhood represent historic forms and styles that provide a visual link back to the early twentieth century.

Most of the houses in the Near West Side were built in the years shortly before and after the turn of the twentieth century as working class housing. Before the advent of the railroad, the west side was sparsely settled, with gentleman farms and their associated grand houses, mostly of the I-house architectural type. Examples include the Cochran–Helton–Lindley House (504 N. Rogers Street, 1850), the Elias Abel House (317 N. Fairview, c. 1850)—both of which are locally designated historic properties—and the Hendrix House (726 W. 6th Street, c. 1875). Closer to the turn of the century, as the downtown area developed, several prosperous merchants built large Victorian homes in the Near West Side area, many with Queen Anne detailing. Examples include the Griffin House (621 W. 7th Street, c. 1890, and the Flanigan House (714 W. 7th Street, c. 1895), both located in the Fairview Historic District, which the Near West Side Historic District surrounds.

With the coming of the railroad and the subsequent industrialization of the area, the west side's open spaces were subdivided and platted into small lots to house the new working class residents

drawn to the neighborhood by the many suddenly available employment opportunities. Small single-story wood-frame houses soon became the majority in the neighborhood, and continue to characterize the neighborhood as it exists today. Built by and for the common working people of Bloomington, most of these houses are modest. These residences were built by local carpenters, and many homeowners assisted in the construction of their own homes.

The most distinctive architectural style of these workers' homes is the gabled ell, although pyramidal roof, foursquare, bungalow, and Victorian house forms are also common. Many of these homes have had few modifications over the years so original details abound such as decorative rafter tails and attic vents, limestone foundations and retaining walls, and late nineteenth century windows, doors, and porches. The neighborhood has remained relatively intact for the past century and still conveys the distinct architectural character from their period of construction.

TRADITIONAL HOUSE FORMS

The area included in the Near West Side Historic District displays housing forms and styles that were commonly constructed from the 1890s through the 1930s. These forms are not unique to the Near West Side but are illustrative of early working-class residential neighborhoods in Bloomington generally. It is the architectural fabric created by these many small houses which make this neighborhood distinctive and which we seek to protect through the guidelines.

The dominant styles of houses in the neighborhood are gabled ell cottages and pyramidal roof houses. However, there are also important, increasingly rare examples of older vernacular houses— notably, double pens, shotgun houses, hall and parlor houses, and I-houses—and numerous examples of bungalows and foursquares, both popular forms of their era. Many of these late nineteenth and early twentieth century structures are intact and maintain their historic integrity.

Sample Styles of Houses Found in the District

- Double Pen – among the earliest styles found in Monroe County
- Shotgun House – common between the mid 1800s and 1930
- Hall and Parlor – common between 1890 and 1920
- I-House – common in the mid to late 19th century
- Gabled Ell – common between 1890 and 1920
- Pyramidal Roof Cottage – common between 1900 and 1930
- T-plan Cottage – common between 1890 and 1910
- Bungalow – common between 1905 and 1939
- Foursquare – common between 1905 and 1930

Double Pen

Double pens are an early vernacular form that first appeared in rural areas. The house is side gabled and symmetrical from the front elevation. The front porch covers paired front doors that open to equal-sized rooms.

Shotgun House

A vernacular form, the shotgun house is visibly narrower than any other form. It is a single room wide and two to three rooms deep. The gables always face the street, and the small shed-roof porch stretches across the narrow front facade. As a result of their characteristically small width, shotgun houses have minimal mass.

These distinctive habitations originated in the Caribbean and diffused throughout the American South from their entry point, New Orleans. Their presence in Bloomington is evidence of Southern migration here in the late nineteenth and early twentieth centuries, particularly by African Americans.

Hall and Parlor

The hall and parlor is an older vernacular house-type that persisted into the early twentieth century. Rectangular in shape, it consists of two rooms, one large and the other small, placed side by side. A single front door opens into the large room—the hall—which serves as a multipurpose living space. The smaller parlor is more private, usually used for sleeping. The two-room form may be supplemented by front or rear porches or even small additions behind the basic floor plan.

I-House

Grand in style, I-houses generally feature gables to the sides and are at least two rooms in width, one room deep, and two full stories in height. They also often have a rear wing or ell for a kitchen or additional space. The facade of an I-house tends to be symmetrical, and they were constructed in a variety of materials, including logs, wood frame, brick, or stone.

Pre-dating the Near West Side's worker housing, I-houses reflect the area's original settlement pattern of rural estates owned by gentlemen farmers. The Cochran-Helton-Lindley House, built by James Cochran in 1850, is a fine example of the I-houses in the Near West Side.

Gabled Ell

The gabled ell form has a cross-gabled plan with a front porch stretched across the intersecting gables. The house is usually placed with the long side of the house parallel to the street. The entrance is double-sided with doors on each of the wings facing one another. The houses convey a horizontal plane much like a ranch, but shorter.

Pyramidal Roof Cottage

A variant of the gabled ell, the pyramidal roof cottage is common throughout the Near West Side. Although the plan of the house is similar to the gabled ell, the entire structure is covered by a hipped or pyramidal roof, so the massing and height are different. A pyramidal roof house is generally taller and appears more massive than the gabled ell, even when the lot coverage is similar. This form retains the facing front doors and the front porch, although sometimes the porch is recessed or cut-in beneath the principal roof.

T-plan Cottage

Another variant of the gabled ell, the T-plan cottage is essentially a gabled ell with a second side wing. The projecting front gable section of the house is centered between the two recessed, side gabled wings, each with its own porch and pair of doors.

Bungalow

The bungalow form is also a single story but can have living space on the second floor with dormer windows providing light. The front porches are large and comfortable and stretch entirely across

the front facade. They can be covered by a gable or a hipped roof. The roof shapes are simple and the houses are small and compact in scale compared with pyramidal roof cottages.

Foursquare

The foursquare house is typically two and one-half stories high, with four rooms on each of the main floors and a small attic above. It has a pyramidal roof that may be punctuated by dormer windows, and a large, covered front porch.

Notes on Photographs of Traditional House Forms:

Architectural Styles are from the IHSSI Interim Report, completed 2001/published 2004, and from the SHAARD Database, compiled 2014. Clarity, simplicity, and familiarity have guided the selection of style terms used here.

Estimated construction dates are from the IHSSI Interim Report and the SHAARD Database; in some cases, these were supplemented by research in historical records and oral histories. Generally, the sources agreed; when they varied, however, best judgment was used to arrive at the dates given here.

Unless otherwise noted, all photographs were taken by Karen Duffy in September 2019.

Examples of Traditional House Forms in the Near West Side

 <p>Double Pen: 513 W. 7th Street, c. 1900</p>	 <p>Shotgun House: 904 W. 7th Street, c. 1925</p>	 <p>Hall and Parlor: 418 N. Maple Street, c. 1915</p>
 <p>I-House: Old Boarding House (now Recovery Engagement Center; with side and rear additions clearly visible), 221 N. Rogers Street, c. 1850</p>	 <p>Gabled Ell: 1125 W. 7th Street, c. 1900</p>	 <p>Pyramidal Roof Cottage: 1101 W. 8th Street, c. 1905</p>
 <p>T-plan Cottage: 722 W. 8th Street, c. 1905</p>	 <p>Bungalow: 722 W. 6th Street, c. 1925</p>	 <p>Foursquare: 210 N. Elm Street, c. 1920</p>

GUIDELINES FOR ALTERATIONS, ADDITIONS, AND NEW CONSTRUCTION

PRINCIPAL STRUCTURE GUIDELINES

Definition: Principal structure means the primary or predominant structure on any lot or parcel. For residential parcels or lots, the principal structure is the primary dwelling.

Note: These Guidelines, per state law regarding historic preservation, apply equally to both contributing and non-contributing structures (principal or accessory) within the Historic District, for new construction, additions, renovations, moves or demolitions.

The following guidelines relate to the construction of any new principal building. They are enforceable by the Bloomington Historic Preservation Commission (BHPC) and are subject to its “Review and Approval” by application for a certificate of appropriateness.

SUBJECT TO REVIEW AND APPROVAL:

- All construction of principal buildings and accessory buildings larger than 80 square feet.
- Alterations or additions to building exteriors facing the street(s).
- Full or partial demolition of principal or accessory structures.
- Moving of principal or accessory structures.

Construction or alterations should be appropriately scaled to be compatible with the historic fabric of the district. Construction may incorporate traditional materials and features found on historic homes.

Construction or alterations should be somehow identifiable as being from their own period of construction, but should not be so different from the other buildings in the district that they detract or visually compete with them. **Compatibility is more important than differentiation.**

NOT SUBJECT TO REVIEW AND APPROVAL

- Paint colors on exteriors of principal or accessory structures.
- Maintenance
- Alterations to the interior of the building
- Replacement “in kind” (with like design and materials)
- Additions under 80 square feet
- Sidewalk maintenance

The following table is intended to clarify the level of review required in the Near West Side Historic District for various types of projects. Exceptions may be considered in individual cases by staff, commissioners or the neighborhood Design Review Committee. (Staff review generally will be done by the HAND Historic Preservation Program Manager.)

Item	No Review	Staff	HPC	Neighborhood
<i>Maintenance (repair)</i>				
Replacement with new but the same materials – wood, replace with wood, etc. no COA	X			
Replacement or addition of new type of material (replacing wood with plastic, for instance)		X	X*	X*
<i>Additions/Renovations/Moves/Demolitions</i>				
Additions, on the back of the building, less than 80 sq feet		X		
Accessory Structure less than 80 sq feet - build, move, demolish	X			
Demolition of any part of the building, including Non-Contributing structures			X	X
Moving any structure on the property			X	X
Siding - Maintenance	X			
Any substantial removal of original material and replacement with different material (see current guidelines)		X	X*	X*
Exterior paint color (Exception: No branded coloring/patterning/lettering including IU Cream and Crimson is recommended)	X			
Doors and Windows - Replacement with same size, configuration, and operation	X			
Doors and Windows replacement - changing size, configuration, and/or operation (see current guidelines).		X	X*	X*
Gutter replacement	X			
Installing a porch, deck or patio - front façade or street-facing side			X	X
Installing a porch, deck or patio - not on street-facing side		X		
Installing a porch, deck, or patio on back of building		X		
Replacement of the roof with new type of roofing material		X	X*	X*
Adding new sidewalk (may be mandated by the city)		X	X*	X*
Repair/replacement of sidewalk		X	X*	X*

Item	No Review	Staff	HPC	Neighborhood
Changing steps to house- change to configuration of steps			X	X
Changing steps to house- replacement with same material, shape and size	X			
Fencing, new		X		
Placement of temporary or removable structures such as sheds or playground equipment (staff review in front yard)		X		
Adding rooftop solar panels (generally OK)		X		
Adding ground level solar panels (in backyard, forbidden in front yard)			X	X
Removal of mature tree (street facing yards)		X	X*	X*
Exterior mechanicals or reception devices		X		
Paving materials		X		
Seasonal gardening fence	X			
Screening in a porch		X	X	X

* If deemed necessary by HAND staff.

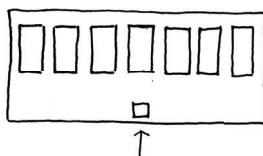
CONTEXT

Standards and guidelines serve as aids in designing new construction that reacts sensitively to the existing context. Therefore, the most important first step in designing new construction in any conservation district is to determine just what the context is.

Every site will possess a unique context. Context includes “Outstanding”, “Notable”, or “Contributing” buildings in the nearby area (often the surrounding block), the unique sub-area within the district, and the district as a whole.

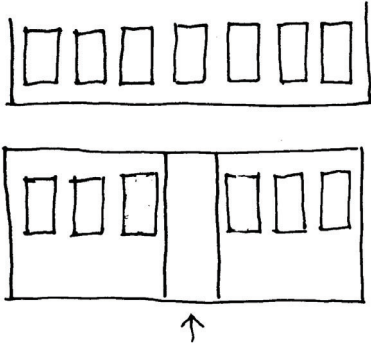
Generally, new construction will occur on sites that fall into the following categories. For each one described below, there is an indication of the context to which new construction must be primarily related.

1. DEVELOPED SITE. This is usually a site upon which there already exists a historic structure. New construction usually involves the construction of an accessory building such as a garage.



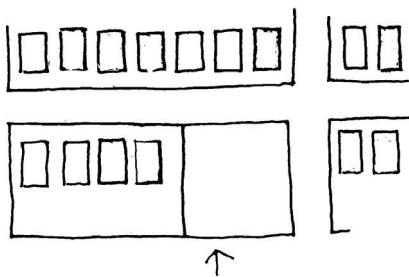
Context. New construction must use the existing historic building as its most important, perhaps only, context.

2. ISOLATED LOT. This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.



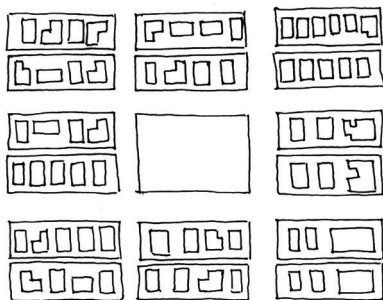
Context. The existing contributing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.

3. LARGE SITE. This is usually a combination of several vacant lots, often the result of previous demolition.



Context. Its surrounding context has been weakened by its very existence. However, context is still of primary concern. In such a case, a somewhat larger area than the immediate environment must also be looked to for context, especially if other vacant land exists in the immediate area.

4. REDEVELOPMENT SITE. This site may consist of four or more contiguous vacant lots. Often there is much vacant land surrounding the site.



Context. The context of adjacent buildings is often very weak or non-existent. In this case, the surrounding area provides the primary context to the extent that it exists. Beyond that, the entire historic area is the available context for determining character. This type of site often offers the greatest design flexibility. Where the strength of the context varies at different points around a site, new design should be responsive to the varying degrees of contextual influence.

SIDING MATERIALS

Definition: The protective material attached to the exterior side of a building wall.

SIDING RECOMMENDED

1. Clapboard, fiber cement board, wood, decorative wood shingles, or brick when there is another brick structure on the block.
2. When cement fiber siding such as Hardie board is used to simulate wood clapboard siding, it should reflect the directional and dimensional characteristics found historically in the neighborhood. Products imitating the “grain” of wood are discouraged.
3. Efforts to maintain original materials are encouraged.

NOT RECOMMENDED

1. Asphalt shingles for walls.
2. Vinyl siding.
3. Siding products that imitate the “grain” of wood.
4. Vertically-oriented siding.
5. Metal siding



Recommended: Cement board lap siding



Not Recommended: Vertically-oriented siding.

FOUNDATION

Definition: Part of a structural system that supports and anchors the superstructure of a building and transmits its loads directly to the earth. The foundation forms the base of a building.

Foundations in the Historic District consist primarily of limestone, although historic rock faced blocks are also found on some homes within the district. Most limestone foundations are hand cut, rather than sawn, and often consist of large blocks of stone, roughly hand cut to size; several have articulations, or are “dressed” by use of pecking or cobbling.

RECOMMENDED

1. Limestone
2. Split faced concrete block to mimic rusticated limestone
3. Ground face block (gray/tan)
4. Rock face block

NOT RECOMMENDED

1. Non-textured concrete block

ROOF MATERIAL

Definition: The material which makes up the outermost layer on the roof of a building.

For the primary structure, historically appropriate roof materials include asphalt composition shingle or metal roofing, such as standing seam metal. Some synthetic materials can be substituted for asphalt shingles. Other historical roof materials, such as clay tiles, may have long traditions of use but are uncharacteristic for the Near West Side. Roof colors are characteristically gray, brown, or tan. Muted green and red roofs are also found. Exceptions may be allowed for secondary structures or for small portions of the main structure not prominently visible.

RECOMMENDED

1. Asphalt shingle
2. Standing seam metal
3. Each roof material should be one color.

NOT RECOMMENDED

1. Concrete shingle
2. Corrugated metal
3. Southwestern clay tile
4. Bright primary colors

ROOF SHAPES

The following illustrations identify roof forms that are historically found in the neighborhood. The following are recommended for new construction and additions:



Cross Gable



Front Gable



Side Gable



Pyramidal



Complex

RECOMMENDED

1. The basic outline of a new building should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.
3. The outline of any new addition should be compatible with the outline and directional orientations of the existing building.

NOT RECOMMENDED

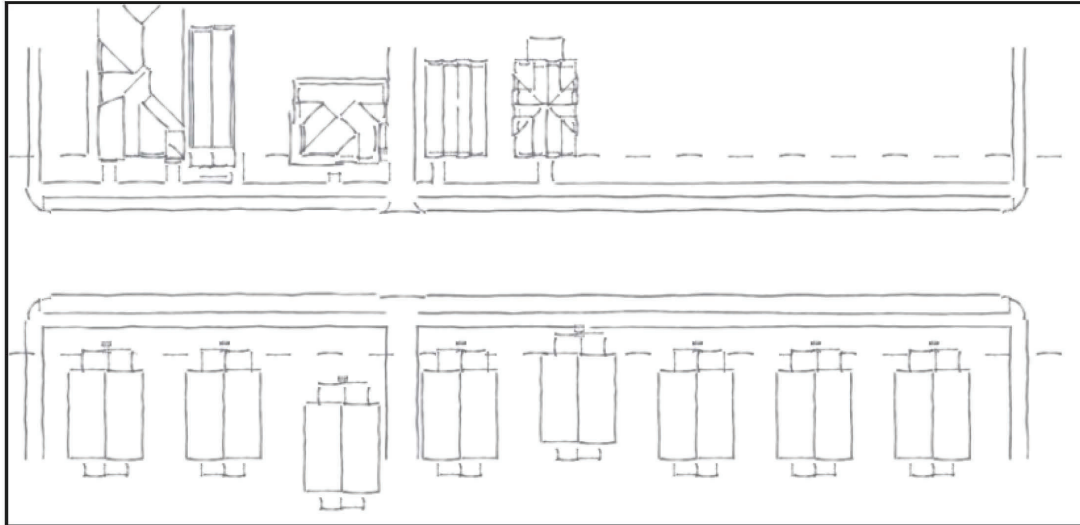
1. Roof shapes that create uncharacteristic shapes, slopes, and patterns.
2. Flat, shed, butterfly, gambrel, or mansard style roofs.

SETBACK

Definition: The distance a building is set back from a street, alley, or property line.

RECOMMENDED

1. A new building's setback should conform to the setback pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.
2. On corner sites, the setbacks from both streets must conform to the context.
3. Structures that are much closer to or further from the street than the vast majority of houses in a given block should not be used to determine appropriate setback.



X
Building setback
is too far

X
Not enough setback
from the street

NOT RECOMMENDED

1. Home is situated towards the rear of the lot with a substantial front setback.

ORIENTATION



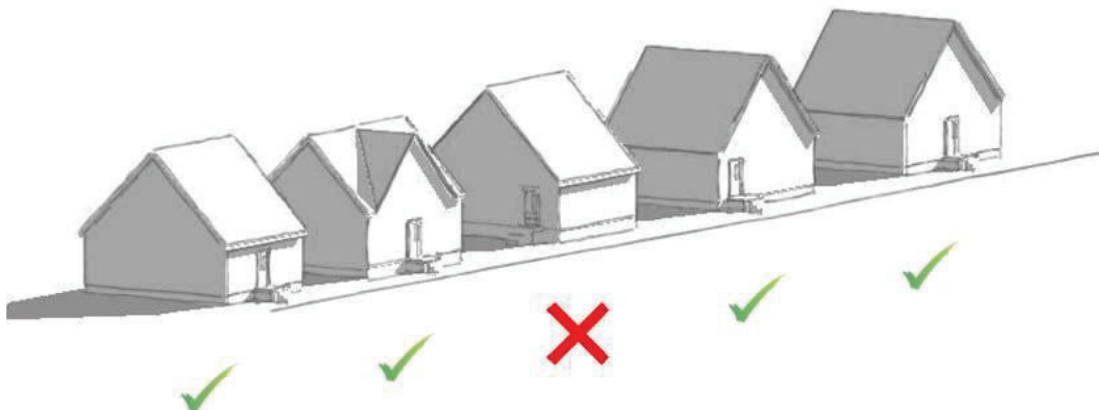
Definition: The direction that the front of a building faces.

RECOMMENDED

1. New buildings should be oriented toward the street in a way that is characteristic of surrounding buildings. (See Introduction for information about the traditional forms in the neighborhood.)

NOT RECOMMENDED

1. New buildings at angles to the street that are not characteristic within the building or neighborhood context.
2. Buildings or building groupings that turn away from the street and give the appearance that the street facade is not the front facade.



BUILDING ENTRY

Definition: The actual and visually perceived approach and entrance to a building.

RECOMMENDED

1. The front entry should face the street of its designated legal address. New buildings should reflect a similar sense of entry to that expressed by surrounding historic buildings.
2. Many of the early 20th century houses in the Near West Side have side facing doors that open onto the porches.
3. Accessibility for all new buildings is encouraged (see “Accessibility” guidelines for New Construction).

NOT RECOMMENDED

1. Entrances that are hidden, obscured, ambiguous, or missing from the street facing side.
2. Designing approaches to buildings that are uncharacteristic within the area.
3. Entrance to any residence (including an accessory dwelling unit) from an alley.
4. Creating a primary entrance to a commercial/public building that is not accessible for persons with disabilities.



Recommended: Two front doors that open onto the porch



Not Recommended: Entry door missing from street facing side.

FENCES/RETAINING WALLS

Definition: A fence is a structure that encloses an area, typically outdoors, and is usually constructed from posts that are connected by boards, wire, rails, or netting. A fence differs from a wall in not having a solid foundation along its whole length.

Front yard fences are not characteristic of the district because of the small front setbacks. Backyard and side yard fences are common and are usually made from wood in a vertically oriented design.

Original retaining walls, usually made from limestone, are found throughout the Near West Side and are a distinctive landscape feature that contributes to the district's historic character.

RECOMMENDED

1. Maintaining original limestone retaining walls
2. New retaining walls are limestone
3. Wood or wire fencing is appropriate
4. Front yard fencing 4' or lower in height
5. Picket fences
6. Vertical board privacy fence behind the front building wall

NOT RECOMMENDED:

1. Chain link fences in front of the front building wall
2. Plastic or vinyl fencing
3. Decorative wrought iron

PORCHES

Definition: A raised, usually unenclosed and roofed platform attached to one or more sides of a building and used primarily as a sitting area, outdoor living space, or covered access to a doorway.

Many houses in the Near West Side Historic District have a prominent front porch. Some porches wrap around one side of the house.

RECOMMENDED

1. Inclusion of a front porch is recommended.
2. Porch height should not exceed a single story.
3. Solid masonry foundation
4. Lattice or visual barrier below porch.
5. Columns and posts should be appropriately sized for the porch roof they are supporting and for the base on which they rest. Slender posts, with large roofs and massive bases, are

visually out of balance.

6. Columns and posts should be an appropriate type for the style of house. For example, turned or square posts. Note that square posts (which historically were handmade) may be especially suitable for the plain-style houses that abound in the neighborhood.
7. Enclosed porches are preferable in the rear of the home. If enclosing the front porch, use of screens rather than walls is encouraged.

Wood turned and square posts, both of which are recommended in the district.



NOT RECOMMENDED

1. Porch elements that use more than one architectural style.
2. Porch elements that differ from the architectural style of the principal structure.
3. Ornamental metal porch columns and railings.
4. Enclosed front porches.



Not Recommended: Porch is enclosed and limestone is used for siding on a wood frame structure originally clad with wood clapboards.

Not recommended: Using ornamental metal porch columns.

SPACING

Definition: Spacing refers to the side yard distances between buildings

RECOMMENDED

1. New construction that reflects and reinforces the spacing found in its block. It should maintain the perceived regularity or lack of regularity of spacing on the block.

NOT RECOMMENDED

1. The creation of large open spaces where none existed historically. Such spacing is uncharacteristic and establishes holes in the traditional pattern and rhythm of the street.

BUILDING HEIGHT

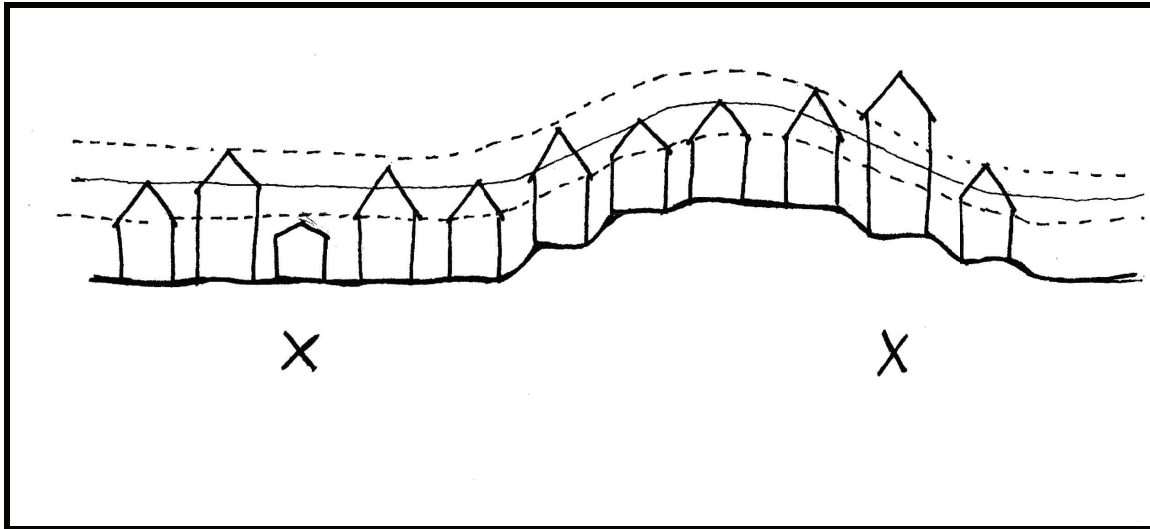
Definition: The actual height of buildings and their various components as measured from the ground at the foundation and from the grade of the sidewalk that the building faces.

NOTE: In areas governed by this plan, building height should be determined using these guidelines rather than those noted in the zoning ordinance.

1. A zoning variance may be required to accommodate an appropriate height.
2. Consideration should be given to historic structures that previously occupied the site.
3. Varied building heights may be appropriate depending upon the context of a particular area or zone.
 - a. 30 feet and two story height maximum.
 - b. New construction at the end of a block should take into account building heights on adjacent blocks.
 - c. Cornice heights, porch heights, and foundation heights in the same block face and opposing block face should be considered when designing new construction.
 - d. New construction at the end of a block should also take into account building heights on adjacent blocks.
 - e. If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed.
 - f. Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.
 - g. Foundation and floor line heights should be consistent with contiguous properties.

NOT RECOMMENDED

1. Any building height that appears either diminutive or overscale in relation to its context.



BUILDING HEIGHT/SIDE SETBACK

Definition: The relationship between the height of the house and the distance between houses.

RECOMMENDED

1. A new house of the same height as existing houses may be as close to them as they are to each other.
2. A new house that is taller than the house next to it must be set back further from the side property line than existing houses.

MASS

Definition: The three-dimensional outline of a building, including the perception of the general shape and form as well as size of a building. See the architectural description of traditional forms provided in the introduction for guidance. The overall massing of a building relates to the organization and relative size of the building sections or pieces of a building.

RECOMMENDED

1. The perceived total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

FOUNDATION/ FIRST FLOOR ELEVATION

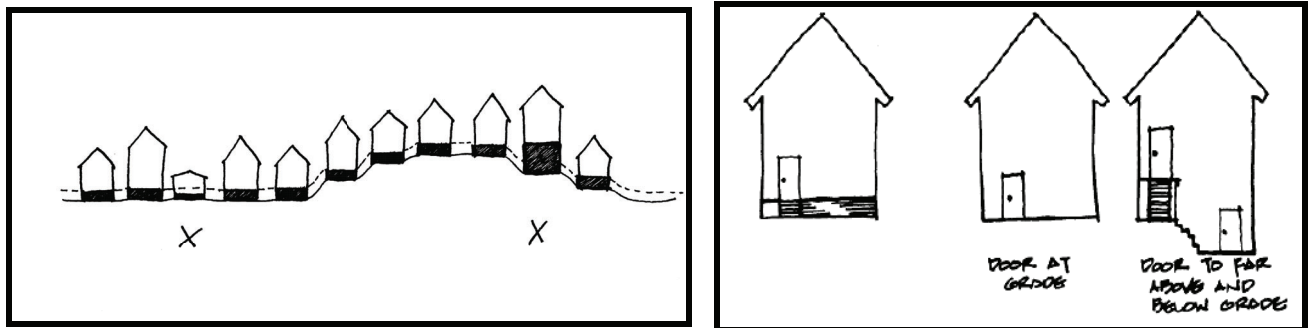
Definition: The supporting base upon which a building sits and the finished elevation of the living space.

RECOMMENDED

1. New construction first-floor elevation and foundation height should be consistent with contiguous buildings.

NOT RECOMMENDED

1. High, raised entrances if surrounding buildings are raised only two or three steps off the ground.
2. Designs that appear to hug the ground if surrounding buildings are raised on high foundations.

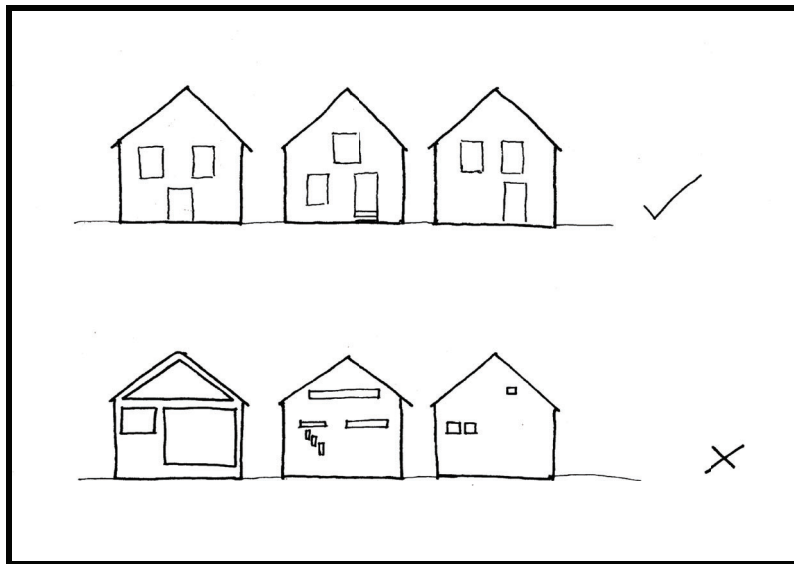


FENESTRATION

Definition: The arrangement, proportioning, and design of windows, doors, and openings.

RECOMMENDED

1. Creative ornamentation with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions and distribution of glass to solid found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.



NOT RECOMMENDED

1. Window openings that conflict with the proportions and directionality of those typically found on surrounding historic buildings.
2. Window pane configurations that conflict with those on surrounding buildings.
3. Certain window types such as casement, jalousie, or Palladian windows that are not traditionally found on surrounding historic buildings.

ACCESSIBILITY

The City of Bloomington recognizes the need to accommodate and include persons with disabilities to the greatest extent possible. With regards to historic areas, the goal is to facilitate universal access for all persons.

When designing new structures, the guidelines below should be considered.

RECOMMENDED

1. Building elements and site design intended to provide accessibility should be designed as integral parts of the building and/or site. This is best accomplished if such elements receive the same level of design consideration as all other elements of the building. Such elements should:
 - be integrated into the architectural design and expression of the building,
 - reflect the same attention to detail and finish as the rest of the building, and
 - be constructed of the same quality of materials as the rest of the building.

2. Innovative design is encouraged as a way to achieve accessibility in new construction. Accessibility may be a challenge when it conflicts with established, traditional design principles. An example is a street where all the historic houses and porches are many steps above ground level. However, new construction allows the ability to design from scratch using innovative methods to achieve visual compatibility with the surroundings and also provide practical, first-class accessibility.

NOT RECOMMENDED

Site development and building design for accessibility should not result in the appearance that accessibility is simply “accommodated” rather than consciously designed in an integrated manner. Such elements should not appear to be “after-thoughts.” To accomplish this, the following should be avoided:

- materials that are of poorer quality than those used elsewhere in the building,
- design that visually conflicts with the site and the building,
- accessible paths and entrances that are awkward, not readily usable, or add excessive travel time to use.

SUSTAINABILITY

Good preservation practice is often synonymous with sustainability. There are numerous treatments—traditional as well as new technological innovations—that may be used to upgrade a historic building to help it operate even more efficiently.

When designing new structures, the guidelines below should be considered.

RECOMMENDED

- Locate solar panels on the house roof at the same pitch as the existing roof. Position close to the roof surface and as inconspicuous as possible. Alternatively, place solar panels in the backyard or on the garage roof. Creative use and placement of alternative energy sources is encouraged.
- If necessary, install at elevations not significantly above the roof surface. Install so as to be as inconspicuous as possible while still functional.

ACCESSORY STRUCTURE GUIDELINES

Definition: An accessory structure is any structure occupying the lot that is secondary to the principal building on the lot.

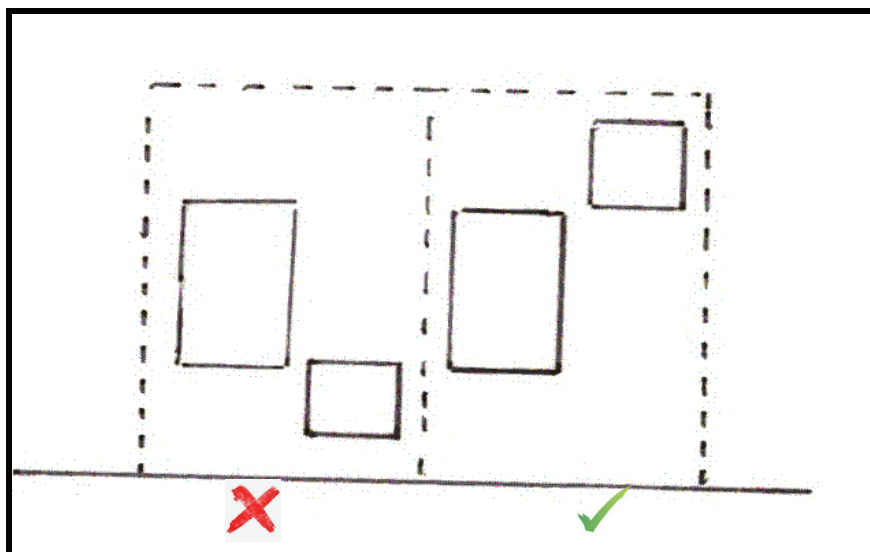
When designing a new accessory building such as a garage, accessory dwelling unit (ADU), or storage building, the context to which the designer must relate is usually defined by the principal structure on the site. For the most part, the guidelines pertaining to new construction of principal structures (see previous section) are applicable to accessory buildings as long as it is remembered that there is always a closer and more direct relationship with an existing building in this case. The following guidelines are specific to accessory buildings and are particularly important when undertaking such a project.

SUBJECT TO REVIEW AND APPROVAL:

- Construction of accessory buildings with an area **greater than 80 square feet** are subject to review and approval by the Bloomington Historic Preservation Commission (BHPC).
- Buildings 80 square feet or less and no taller than 10 feet do not need approval.

RECOMMENDED

1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.
2. The setback of a new accessory structure should relate to the setback pattern established by the existing accessory structures on the alley.
3. The scale, height, size, and mass of an accessory structure should be subordinate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.



OTHER ISSUES

UTILITIES AND EQUIPMENT

Definition: Any utilities that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as air-conditioning equipment).

RECOMMENDED

- Mechanical equipment, such as permanent air conditioning equipment and meters, should be placed in locations that have the least impact on the character of the structure and site and the neighboring buildings, generally not on a street-facing side of the house.

NOT RECOMMENDED

- Playground equipment, barbecue pits, and other yard entertainment equipment in the front yard.

PARKING

Definition: Locations for overnight storage of vehicles.

RECOMMENDED

1. Where possible, parking should be accessed by the existing alleys in the rear of the building.
2. Where alleys do not exist, then on-street parking is a legitimate alternative.

STYLE AND DESIGN

Definition: The creative and aesthetic expression of the designer.

RECOMMENDED

1. Surrounding buildings should be studied for their characteristic design elements. The relationship of those elements to the character of the area should then be assessed. Significant elements define compatibility.
2. Look for characteristic ways in which buildings are roofed, entered, divided into stories, and set on foundations. Look for character-defining elements such as chimneys, dormers, gables, overhanging eaves, and porches. These are described in the introduction.
3. A wide range of compatible styles is theoretically possible but styles that incorporate highly decorative and ornamental features are not recommended.

SPECIAL GUIDELINES FOR MAJOR ARTERIES (Rogers & Kirkwood)

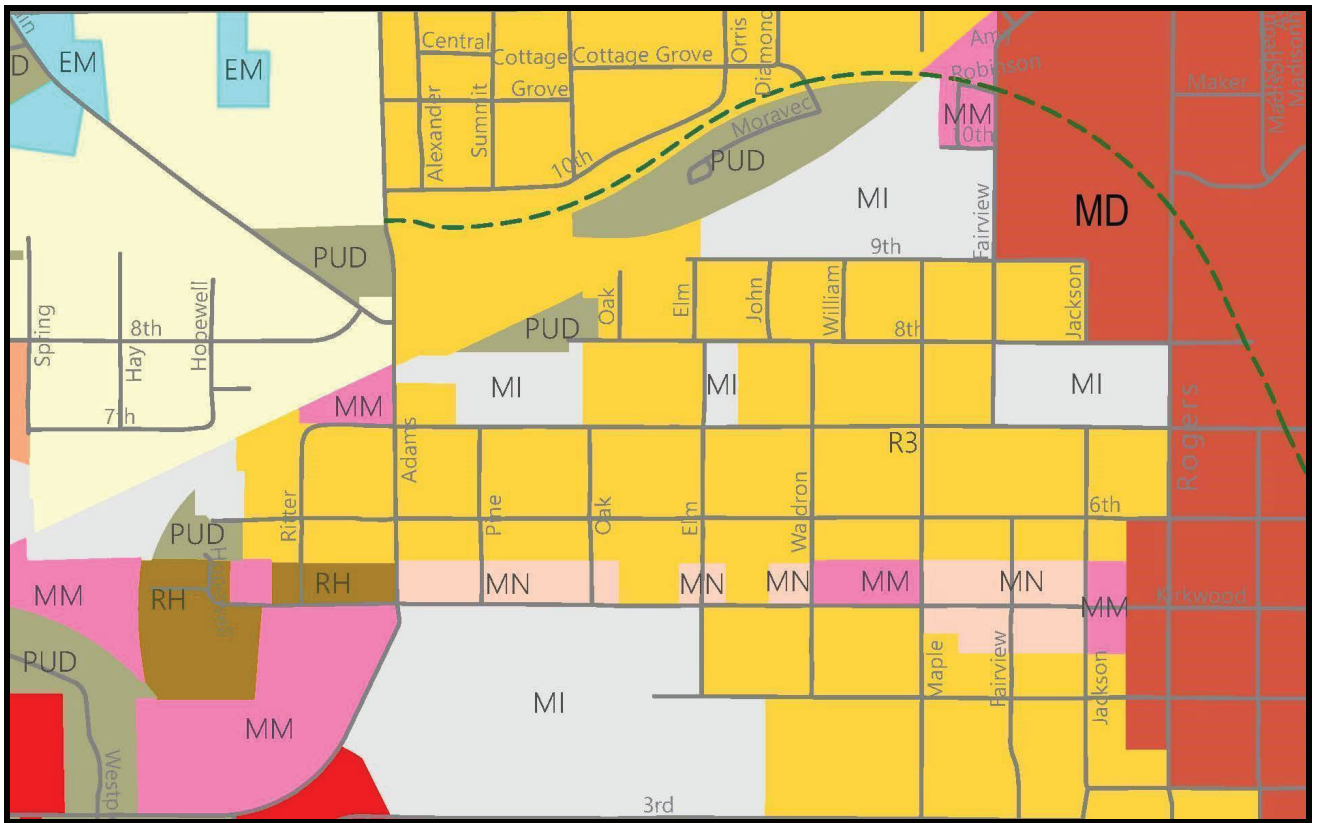
The Near West Side has major traffic arteries on its eastern and southern boundaries: Rogers Street and West Kirkwood Avenue, respectively. These streets impose conditions for owners, landlords, tenants, and business proprietors, different from those characteristic of the interior streets in the neighborhood. These conditions include:

- Higher-volume and faster-moving through traffic;
- Higher noise volumes, day and night; and
- The need to accommodate a different mix of allowable property uses, including various business uses, and the need to accommodate parking for those uses.

Most of the Near West Side Historic District consists of small, single-family detached houses on small lots, on a dense grid of narrow streets dating from the period from 1900 to the 1930s. In the 1990s it was zoned for single-family housing. The neighborhood also includes some duplex and triplex houses dating from the period before zoning, as well as a few multi-family residential buildings on its perimeter.

The portion of Rogers Street that abuts the neighborhood is a mix of residential and mixed-use structures, including the Salvation Army property (West Kirkwood to West 6th St.) and the properties north of West 9th St., as well as the Fairview School. Some of the neighborhood's existing multiplex residential houses are on the block between 6th and 7th Streets.

The southern boundary of the Historic District is West Kirkwood from Adams St. east to Rogers St. The street is zoned for mixed-use from Adams to a segment east of Pine St.; on both sides of the corner of Elm St.; on the west side of the corner at Waldron St.; and between Maple and Jackson Streets. West Kirkwood is zoned to allow "medium-scale" mixed uses between Waldron and Maple Streets and in the section between Jackson and Rogers Streets not occupied by the Salvation Army property.



For the purpose of these Guidelines, R3-zoned lots that are located on either Rogers or Kirkwood should follow the principles presented in the “Alterations, Additions and New Construction” section of this document.

The goal of these Guidelines for these zones is to accommodate non-residential uses not supported in the interior of the Historic District while maintaining a scale, pedestrian orientation, and architectural character consistent with the District’s preservation aims.

West Kirkwood features an eclectic mix of structures. The section from Adams Street to Pine Street is principally older, affordable rental housing, both single-family and multiplex, the latter mostly non-contributing structures. East of Pine, houses are mostly small, of various vernacular types, none predominating, and front setbacks are notably variable but narrower than on most of the neighborhood’s interior streets. Retail uses start at the corner of Oak Street heading east, including the commercial structure (former Morrison’s Appliance) at 902 West Kirkwood. East of Maple Street, houses become larger and more ornate, and business uses frequently feature off-street parking behind the house.

The following guidelines are intended to outline exceptional considerations for properties in the MD-, MM, MN, or MI-zoned sections of the west side of Rogers Street and the north side of West Kirkwood Avenue, which are within the boundaries of the Near West Side Historic District. The Committee drew on recommendations made by architects Marc Cornett and James Rosenbarger in their 2002 study, “The Plan for West Kirkwood,” prepared in collaboration with the City of

Bloomington's Planning Department.

That study proposed, as goals for development, to “[p]rotect and enhance the West Kirkwood Corridor” through:

- Promoting compatible, traditional-style development that supports mixed uses, small business opportunity, and neighborhood coherence
- Balancing the preservation of a pedestrian friendly environment with the need to move traffic through the neighborhood
- Implementing targeted public infrastructure improvements that preserve the traditional neighborhood character of the corridor

The Committee has adopted these goals as appropriate for both West Kirkwood and Rogers.

Further priorities include:

- Emphasize reuse and restoration of existing historic structures.
- Protect valuable on-street parking.
- Preserve the quiet, lane-like alleys. Ban new curb cuts.

DEVELOPMENT OPPORTUNITIES WITHIN THE CORRIDORS:

The goal is to encourage new commercial and residential development in the forms of the traditional neighborhood patterns.

Both residential and non-industrial business uses are allowed on West Kirkwood and Rogers.

ALTERATIONS, ADDITIONS AND NEW CONSTRUCTION on KIRKWOOD & ROGERS

CONTEXT

Given the diversity of zoning, uses, and architecture in the West Kirkwood and Rogers corridors, the context to be used in evaluating the appropriateness of new projects should be narrower than in the interior of the neighborhood. New construction should be considered in the context of the immediately neighboring properties on the adjacent blocks on both sides and across the street.

RECOMMENDED

1. Draw context from the immediate block including structures across the street.

MATERIALS

RECOMMENDED

1. Use exterior building materials in character with surrounding structures in the immediate context.

NOT RECOMMENDED

1. Shiny metal, plastic, or laminate materials on exterior surfaces.
2. Logo or trademark exterior designs for franchise businesses, especially exteriors featuring primary colors or trademark lighted features (e.g., McDonalds arches).

SETBACK

RECOMMENDED

1. Narrower front setback than in the neighborhood's interior streets is allowed, in keeping with surrounding structures in the immediate context.

NOT RECOMMENDED

1. Setback out of context with adjacent structures.

SIGNAGE

RECOMMENDED

1. Wood or metal signage attached to building exteriors with exterior lighting.
2. Internally-lighted signage attached to building exteriors with exterior lighting but not covering more than 20% of the facade.

NOT RECOMMENDED

1. Freestanding signage occupying sidewalk space or within 10 feet of the sidewalk.

BUILDING ENTRY

All structures should have the main entry facing the street with the greatest traffic (West Kirkwood or Rogers).

BUILDING HEIGHTS

The maximum height of any new structure shall be 35 feet.

DIRECTIONAL ORIENTATION

The front facade of any new structure should be oriented parallel to the main street (West Kirkwood or Rogers).

FENESTRATION

Ground floor, street front fenestration associated with non-residential uses need not adhere to the fenestration guidelines on page 32.

ACCESSIBILITY

Any new residential construction should respect the Guidelines applicable to the interior of the District. Any nonresidential use along West Kirkwood or Rogers St. is likely to be regarded as a public accommodation and will be subject to the requirements mandated in the Americans With Disabilities Act (ADA).

As in the interior of the District, Building elements and site design intended to provide accessibility should be designed as integral parts of the building and/or site. This is best accomplished if such elements receive the same level of design consideration as all other elements of the building. Such elements should:

- be integrated into the architectural design and expression of the building,
- reflect the same attention to detail and finish as the rest of the building, and
- be constructed of the same quality of materials as the rest of the building.

SUSTAINABILITY

Sustainability guidelines are the same as in the interior of the District, regardless of whether the use is residential or business and regardless of the size of the structure.

UTILITIES AND EQUIPMENT

Electric meters, gas meters, solar panels, air conditioning condensers, and all other exterior utility equipment should be placed on the rear of the building or rooftop so that they are out of view from the public right of way.

PARKING

RECOMMENDED

1. Retain on-street parking where possible
2. Parking lots should be constructed in the rear of the lots and should be screened with fencing or landscaping.

NOT RECOMMENDED

1. Any new curb cut.
2. Demolition of buildings to create space for parking lots

GUIDELINES FOR MOVING BUILDINGS

The moving of a historic structure should only be done as a last resort to save a building. It may be considered when its move is necessary to accomplish development so critical to the neighborhood's revitalization that altering the historic context is justified. Moving a building strips it of a major source of its historic significance: its location and relationship to other buildings in the district. The existence of relocated buildings, especially in significant numbers, confuses the history of the district. The following guidelines are meant to assist in determining the appropriateness of moving a building.

SUBJECT TO REVIEW AND APPROVAL:

- Moving any building within the Historic District.
- Moving any building into or out of the Historic District.

The following guidelines are enforceable by the BHPC and are less comprehensive and less restrictive than for a Historic District.

RECOMMENDED

1. The building to be moved should be compatible with the contributing architecture surrounding its new site relative to style, scale, and era.
2. Small non-contributing storage buildings (under 200 square feet) in backyards may be moved without review. Contributing accessory buildings require review according to guidelines for compatible new construction.

GUIDELINES FOR DEMOLITION

A Certificate of Appropriateness must be issued by the Bloomington Historic Preservation Commission before a demolition permit is issued by other agencies of the city and work is begun on the demolition of any building in the Near West Side Historic District. This section explains the type of work considered in this plan to be demolition as well as the criteria to be used when reviewing applications for Certificates of Appropriateness that include demolition.

Definition: Demolition shall be defined as the complete or substantial removal of any historic structure which is located within a historic district. This specifically excludes partial demolition as defined by [Title 8 of the Bloomington Municipal Code “Historic Preservation and Protection.”](#)

SUBJECT TO REVIEW AND APPROVAL:

- Demolition of principal structures within the boundaries of the conservation district.
- Demolition of contributing accessory buildings.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

When considering a proposal for demolition, the BHPC shall consider the following criteria for demolition as guidelines for determining appropriate action. The BHPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter only if it finds one or more of the following:

1. The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.
2. The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition. A finding that the structure or property cannot be adapted to the specific use the applicant has applied for may or may not be acceptable as a rationale to approve demolition.
3. The structure is accidentally damaged by storm, fire, or flood. In this case, it may be rebuilt to its former configuration and materials without requiring a Certificate of Appropriateness if work is commenced within 6 months.
4. A Certificate of Appropriateness is required for the demolition of any building within the historic district including accessory structures and Non-Contributing buildings.

Demolition is discouraged when new construction is not intended for the lot.

All replacement of demolished properties should follow new construction guidelines. The BHPC may ask interested individuals or organizations for assistance in seeking an alternative to demolition. The process for this is described in Title 8. In approving an application for demolition of a structure or property, the BHPC should evaluate separate site features that are of characteristic historical interest within the District, including historic retaining walls and limestone steps. The BHPC should recommend retention of these features notwithstanding an approval for demolition of the building.

PROCEDURES FOR REVISING THE HISTORIC DISTRICT DESIGN GUIDELINES

It may become necessary to revise sections of the Near West Side Historic District Design Guidelines within the context of the state enabling legislation. In this event:

1. Any resident of the Near West Side may propose a change to the Guidelines, by submitting it to the Board of the Near West Side Neighborhood Association (NWSNA). Upon consideration and agreement by the Design Review Committee of the NWSNA, the Committee will draft the change to the Guidelines language.
2. If a majority of the Board agrees to the change, it will be advertised through the NWSNA's traditional information methods: email, the NWSNA website, and the neighborhood's Facebook page.
3. After advertisement, the Board will conduct a vote on the change among the voting members of the NWSNA. Approval by a majority of members is required to ratify the change.
4. If ratified, the Board will submit the change to the Bloomington Historic Preservation Commission meeting for a public hearing and approval.

For more information and assistance call the Historic Preservation Program Manager in the City of Bloomington's Housing and Neighborhood Development office at **812-349-3507**.

A Certificate of Appropriateness application form is available to download at <https://bloomington.in.gov/neighborhoods/preservation/certificate-of-appropriateness>

GLOSSARY

accessibility: Measures taken to accommodate and include persons with disabilities to the greatest extent possible. In historic areas, the goal is to facilitate universal access for all persons.

accessory structure: Any structure occupying the lot that is secondary to the principal building on the lot.

alley: A public right-of-way owned by the city, typically providing rear access to parking or utility easements.

- **Improved alley:** A secondary public thoroughfare either paved or graveled.
- **Unimproved alley:** A city-owned alley that appears on plat maps but is unpaved/ungraveled.
- **Vacated alley:** An alley that is no longer owned by the city and that has been sold or given to private owners.

Bloomington Historic Preservation Commission (BHPC): Statutory commission charged with preservation of historic buildings, structures, sites and objects within the city limits.

building entry: The actual and visually perceived approach and entrance to a building.

building height/ side setback: The relationship between the height of the house and the distance between them*

building height: The actual height of buildings and their various components as measured from the ground at the foundation and from the grade of the sidewalk that the building faces*

building outline: The silhouette of a building as seen from the street.

clapboard: Narrow, horizontal wooden boards used as siding on wood frame buildings. Each board overlaps the one below it.

Certificate of Appropriateness (COA): An authorization by the Historic Preservation Commission to be attached to the building permit when work is done in historic and conservation districts.

column: A supporting pillar usually consisting of a round shaft, a capital and a base.

Conservation District: A district in which neighborhood and Historic Preservation Commission review is required for new construction, demolition, or relocation of a structure. A conservation district may elevate to a full historic district by the vote of its owners after three years.

context: The specific characteristics of the unique sub-area within the district, and the district as a whole, where a lot or structure is located, including the historic classifications of surrounding structures, mass, spacing, setbacks, etc.

Contributing (building classification): A “C” rating means the property is at least forty years old, but does not meet the criteria for an “O” or “N” rating. Such resources are important to the density or continuity of the area’s historic fabric. Contributing structures can be listed on the National Register only as part of a historic district.

cornice: A molded and projecting horizontal member that crowns an architectural composition, often marking the junction of the wall and the roof.

demolition: Complete or substantial removal of any structure.

developed site: A site upon which there already exists a historic structure.

dormer: A window set vertically in a structure projecting through a sloping roof*

eave: The lower projecting edge of a sloping roof.

elevation: A side, front, or rear view of a structure as in an architectural drawing. Or, the height above ground of the entry or first floor of a structure.

façade: External wall or “face” of a structure as seen from a given angle such as street, front, rear, etc.

- **Primary façade:** An exterior wall facing a primary street, frequently including the main entrance to a building and its most elaborate structural features.
- **Secondary façade:** A building side of lesser importance that can face either a secondary street or an alley.

fence: A structure that encloses an area, typically outdoors, and is usually constructed from posts that are connected by boards, wire, rails, or netting. A fence differs from a wall in not having a solid foundation along its whole length.

fenestration: The arrangement, proportioning, and design of windows, doors and openings.

foundation: Part of a structural system that supports and anchors the superstructure of a building and transmits its loads directly to the earth. The foundation forms the base of a building.

front yard: The yard facing the street corresponding to the postal address of the lot.

gable: The vertical triangular end of a building from cornice or eaves to ridge.

glazing: Setting glass, as in a window (e.g., double-glazing indicates windows with two layers of glass). Or, the pattern or arrangement of glass in a window.

Indiana Historic Sites and Structures Inventory: A continually updated list of properties that are deemed architecturally or historically significant to the community.

in-kind: Using exactly matching materials in the repair of a feature.

isolated lot: A single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.

large site: A combination of several vacant lots, often the result of previous demolition.

local Historic District: A single site or group of resources that requires design review and approval for all exterior changes including demolition.

major arteries: Broad, heavily trafficked streets on the periphery of the historic district, distinguished by high traffic volume and faster traffic flow, higher noise levels and the need to accommodate a different mix of allowable property uses, including various business uses, and the need to accommodate parking for those uses.

mass: Three dimensional outline of a building.

materials: Building products identified by their functional, visual, structural, and performance characteristics on a building

muntins: Wood, metal or other elements that separate and hold panes of glass in a window.

National Register of Historic Places: A nationwide compilation of buildings with historic and/or architectural value. It does not provide protection against demolition or design changes, unless the changes are funded with federal money.

Non-contributing (building classification): Property rated “NC” is not included in an inventory unless it is located within the boundaries of a historic district. Such properties may be less than fifty years old, or they may be older structures that have been altered in such a way that they have lost their historic character, or they may be otherwise incompatible with their historic surroundings. These properties are not eligible for the National Register.

Notable (building classification): A rating of “N” means that the property does not merit the outstanding rating, but it is still above average in its importance. A notable structure may be eligible for the National Register.

orientation: The direction the front of a building faces; generally this will correspond with the façade including the principal entrance, although there are older structures that are exceptions.

original materials: The material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

Outstanding (building classification): The “O” rating means that the property has sufficient historic or architectural significance that it is already listed, or is eligible for individual listing, in the National Register of Historic Places. Outstanding resources can be of local, state, or national importance.

parking: Locations for overnight storage of vehicles.

platted: Arranged according to a plan or mapping for proposed construction of a development or neighborhood.

porch: A raised, usually unenclosed and roofed platform attached to one or more sides of a building and used primarily as a sitting area, outdoor living space, or covered access to a doorway.

preservation: The taking of measures to maintain the form, integrity, and materials of a building structure or site in its existing condition.

principal structure: The primary or predominant structure on any lot or parcel. For residential parcels or lots, the principal structure is the primary dwelling.

public way façade: The side of the house that faces the street on which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façade.

rafter tails: Exposed ends of roof rafters, often with decorative embellishments, a common period feature of Near West Side houses.

recommended: A preferred course of action or design decision; for the purpose of the historic preservation mission of a historic district, an alternative deemed consistent with the language and intention of these Neighborhood Guidelines.

rehabilitation: Returning a property to a former state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural, and cultural values. This emphasizes the removal of materials that detract from the overall character of the building or neighborhood.

repair: Restoring a feature or an object to its original character using like or substantially similar materials.

replacement in kind: Repairs that do not visibly change the materials or appearance of a historic building or site.

restoration: Accurately recovering the form and details of a property and its setting as they appeared at a particular period of time through the removal of later work or by the replacement of missing earlier work.

retaining wall: A wall constructed on a slope to hold back earth.

roof material: The material which makes up the outermost layer on the roof of a building.

setback: The distance a building is set back from a street, alley, or property line; the minimum allowable distance from a property line at which a building must be constructed (according to current city code).

should: Direction that a particular action is to be taken with the understanding that there may be valid reasons in particular circumstances to take a different course of action.

siding material: The protective material attached to the exterior side of a building wall.

spacing: The distance between contiguous buildings along a block face.

State Register of Historic Places: A compilation of historic buildings recognized by the state of Indiana. It does not provide protection against changes or demolition unless accomplished with state funds.

style and design: The creative and aesthetic expression of the designer

sustainability: Treatments—traditional as well as new technological innovations—that may be used to upgrade a historic building to help it operate energy-efficiently and consistently with environmental impact goals.

utilities/equipment: Any mechanical or functional equipment that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as an air-conditioning unit).

vernacular: In architecture, local or regional construction, using traditional materials and resources from the area where the building is located, often built without the involvement of a professional architect.

Visible from the public right-of-way: Typically a designation for a historic district to identify exterior alterations to a house are subject to review, by the neighborhood Design Review Committee or the Historic Preservation Commission. In the Near West Side, the standard is alteration to a street-facing façade.

STAFF APPROVAL	Address: 600 W Kirkwood Ave.
COA 23-75 600 W Kirkwood Ave.	Petitioner: Chris Smith
Application Date: 9/26/2023	Parcel: 53-05-32-416-007.000-005
RATING: Non-Contributing	Survey: New building



Background: Near West Side Historic District
Request: Changing veneer material for retaining wall and the building foundation.
Guidelines: Near West Side Historic District Guidelines
Staff Approved COA 23-75
The material was appropriate for the historic district.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 600 W Kirkwood

Parcel Number(s): 5305 32416 007000005

(OFFICE USE ONLY)	
Filing Date:	<u>9/26/2023</u>
Case Number:	<u>COA 23-75</u>
HPC Hearing Date:	<u>10/12/2023</u>

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Chris SMith Email: cdsmith3030@gmail.com

Address: 3702 E Devonshire Lane Phone: 8122193030

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: _____ Email: _____

Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): Change in material for ~~brick~~ wall and foundation to 1' by 2' limestone

ADDITIONAL REQUIRED DOCUMENTS

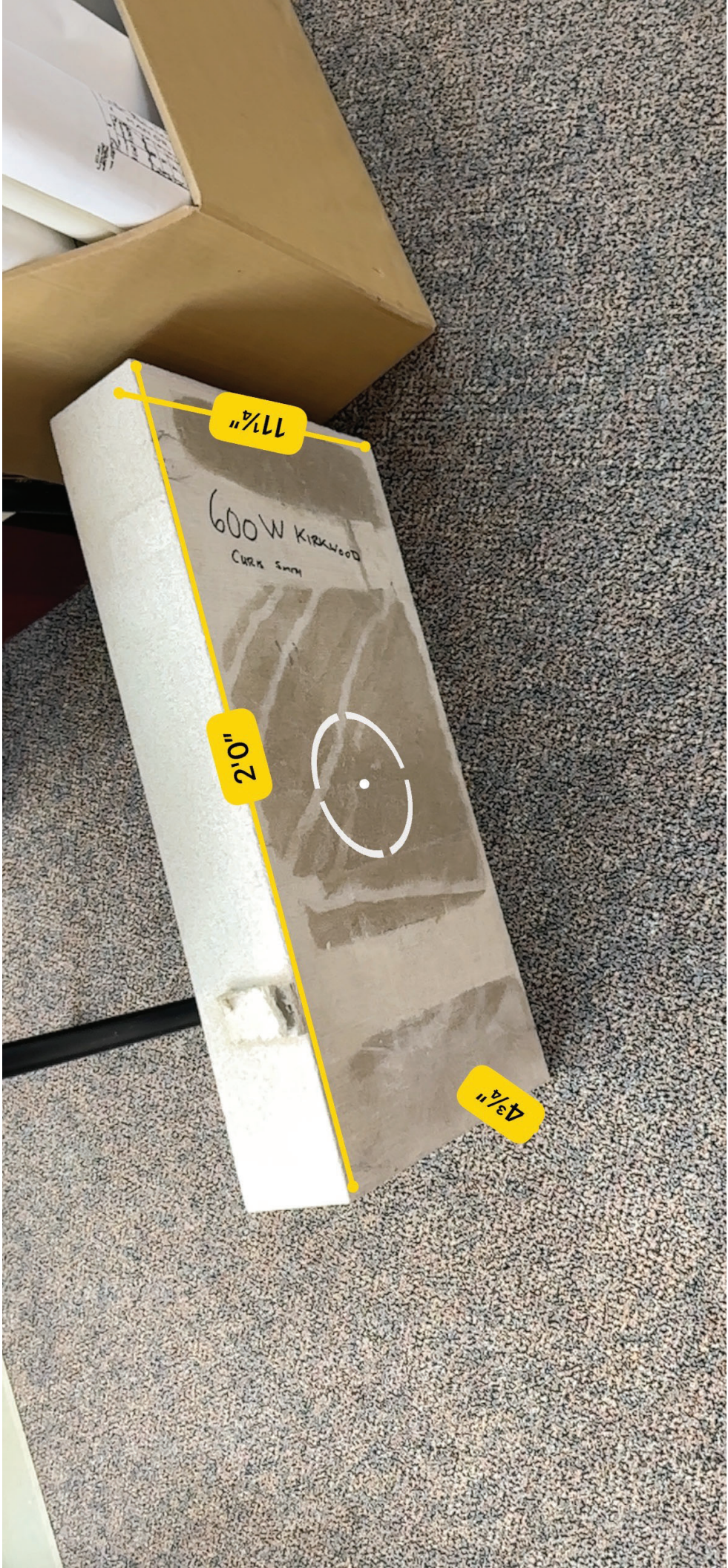
- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 7/26/23



17 1/4"

600W KIRKWOOD
CURR 5mm

2'0"

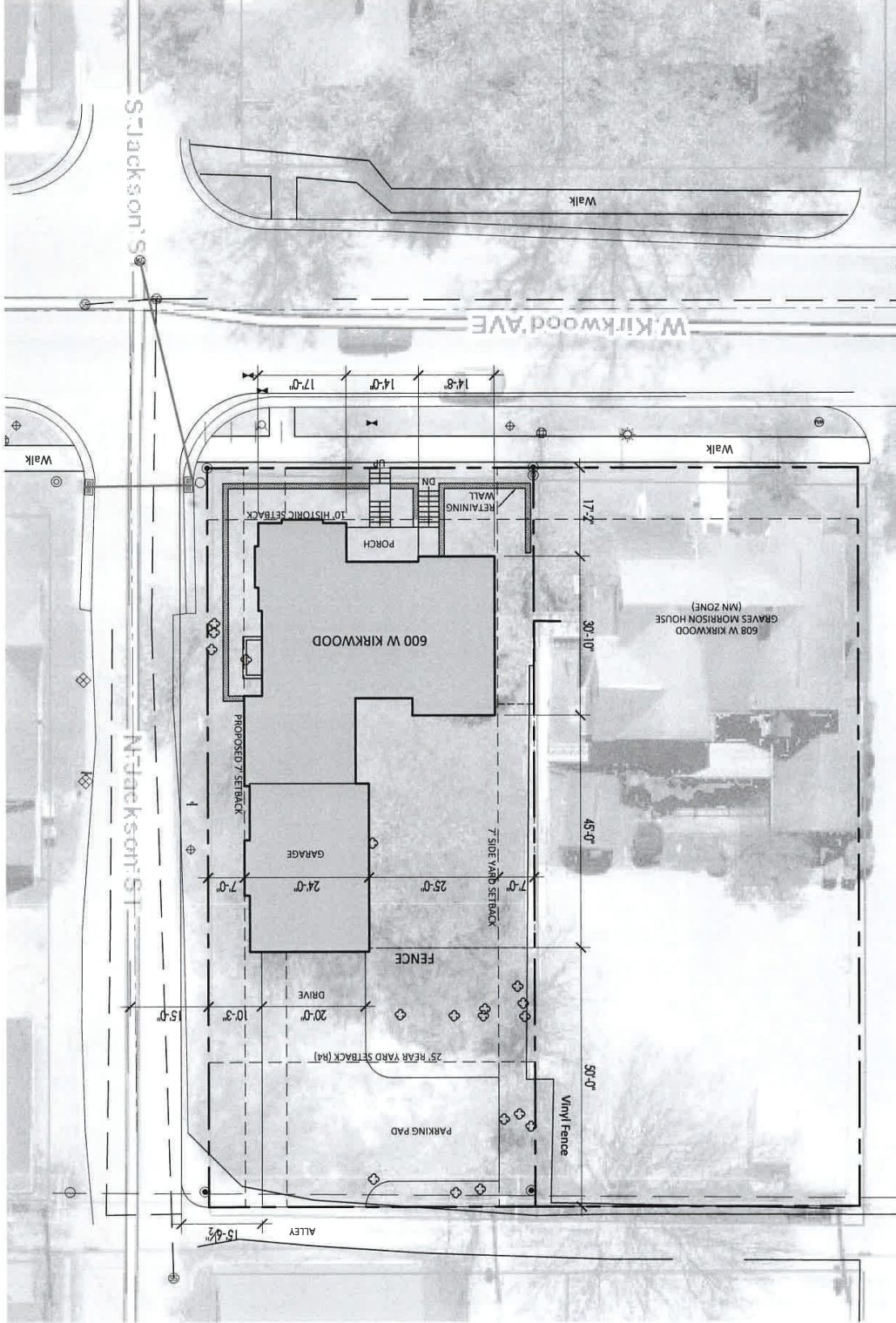


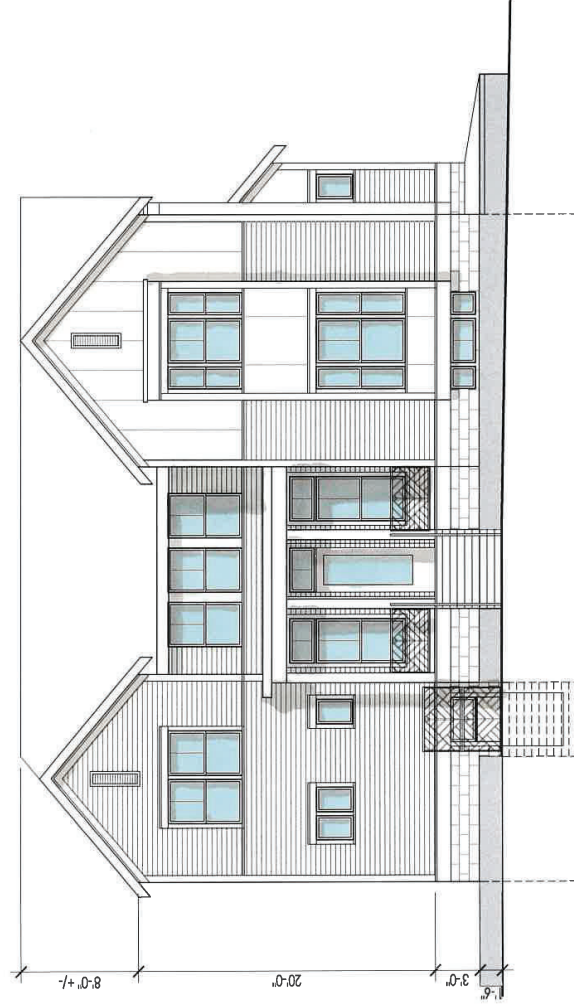
4 3/4"

SMITH RESIDENCE 600 WEST KIRKWOOD

MARCH 30, 2022

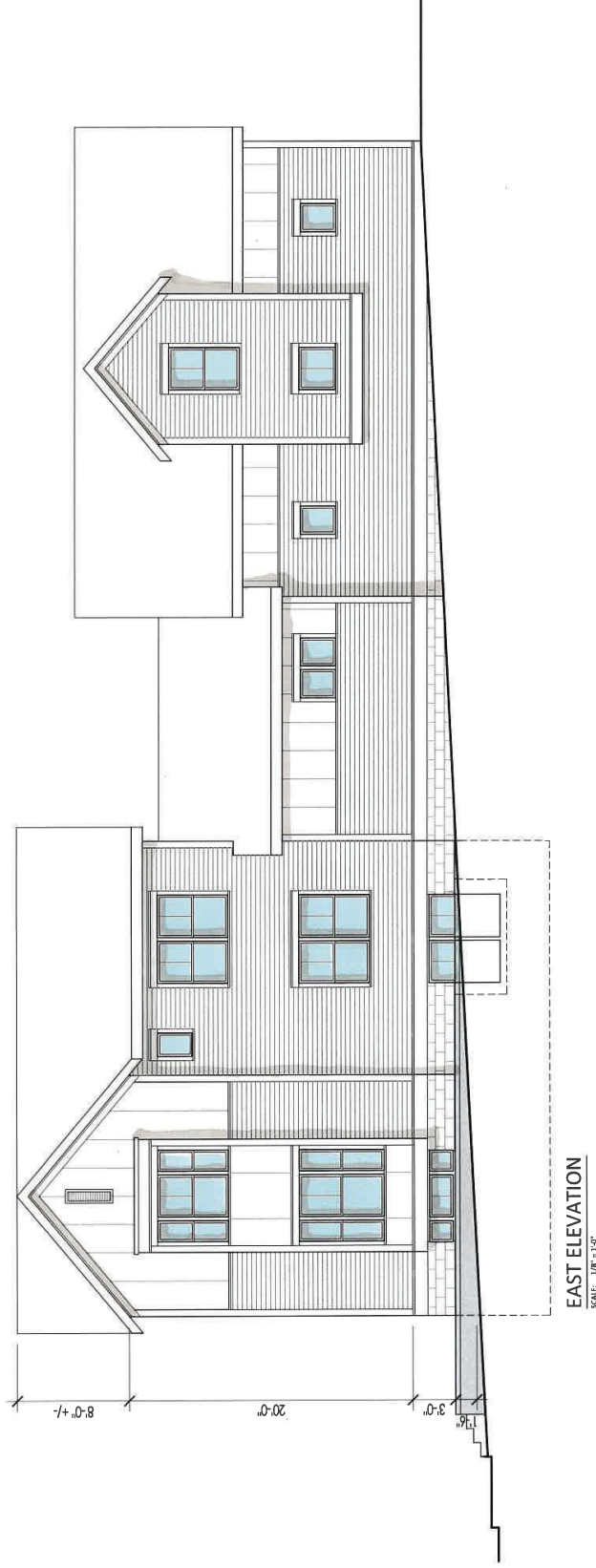
SITE PLAN SCALE: 1"=20'





SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SMITH RESIDENCE
600 WEST KIRKWOOD



SMITH RESIDENCE
600 WEST KIRKWOOD

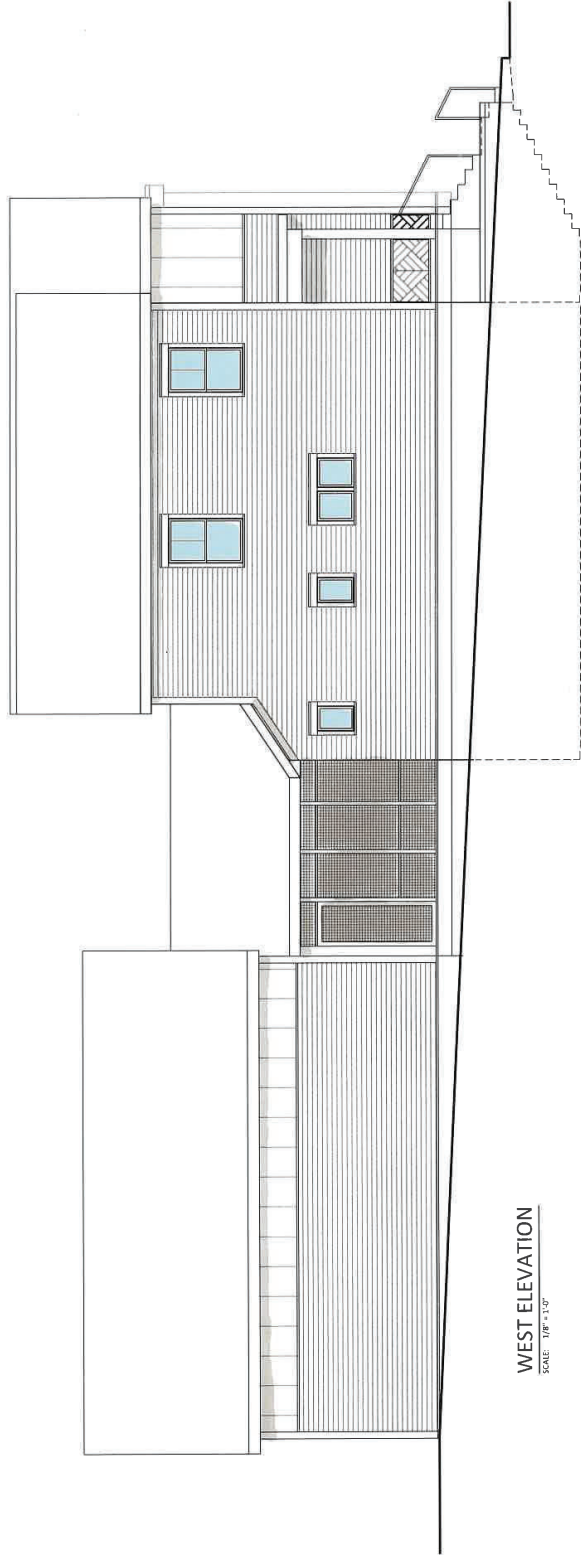
MARCH 30, 2022



NORTH ELEVATION
SCALE: 1/8" = 1'-0"


MARCH 30, 2022

SMITH RESIDENCE
600 WEST KIRKWOOD



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SMITH RESIDENCE
600 WEST KIRKWOOD

STAFF RECOMMENDATIONS	Address: 122 S Walnut St.
COA 23-68 122 S Walnut St.	Petitioner: New awning.
Application Date: 8/31/2023	Parcel: 53-05-33-310-104.000-005
RATING: OUTSTANDING	Survey: c. 1915, Beaux Arts, historic City Hall
	
Background: Courthouse Square Historic District	
Request: New Awning	
Guidelines: Courthouse Square Historic District Guidelines	
Pg. 25	
<ol style="list-style-type: none"> 1. Awnings or canopies should be mounted in a manner which does not damage historic building elements. 2. It is preferable that awning and canopy materials be canvas and in a shape that complements the building's historic character and/or reflects the door or window openings it covers. 3. In the cases where there is evidence of a historic marquee, preference may be given to the reestablishment of the marquee and these will be reviewed on a case-by-case basis. 	
Staff Recommends Approval of COA 23-68	
The proposed marquee is consistent with beaux arts marquees and would provide a dignified entrance for visitors who need the accessibility.	
The petitioners has included additional information for the proposed anchoring of the awning that are consistent with careful practices in historic preservation.	

Junction box / power from existing light



Install anchors and turnbuckles into mortar joints

with poles

Black or white bottom pans with sophet lights

without poles



ALL ALUMINUM AWNING PAINTED WITH MATHEWS INDUSTRIAL PAINT
 SIDE STRIPES CAN BE LIT OR NON-LIT
 SOPHET LIGHTS UNDERNEATH
 INSTALLED WITH AWNING CLIPS AND TWO TURNBUCKLES
 LETTERS CAN BE METAL OR ACRYLIC
 LETTERS CAN LIGHT UP AS WELL

STAFF RECOMMENDATIONS	Address: 118 N Walnut St.
COA 23-73 118 N Walnut St.	Petitioner: Matt Ellenwood
Application Date: 9/14/2023	Parcel: 53-05-33-310-043.000-005
RATING: CONTRIBUTING	Survey: c. 1900, commercial



Background: Courthouse Square Historic District

Request: Install a deck on the rooftop.

Guidelines: Courthouse Square Historic District Guidelines

pg 24-25

B. Rooftop Additions

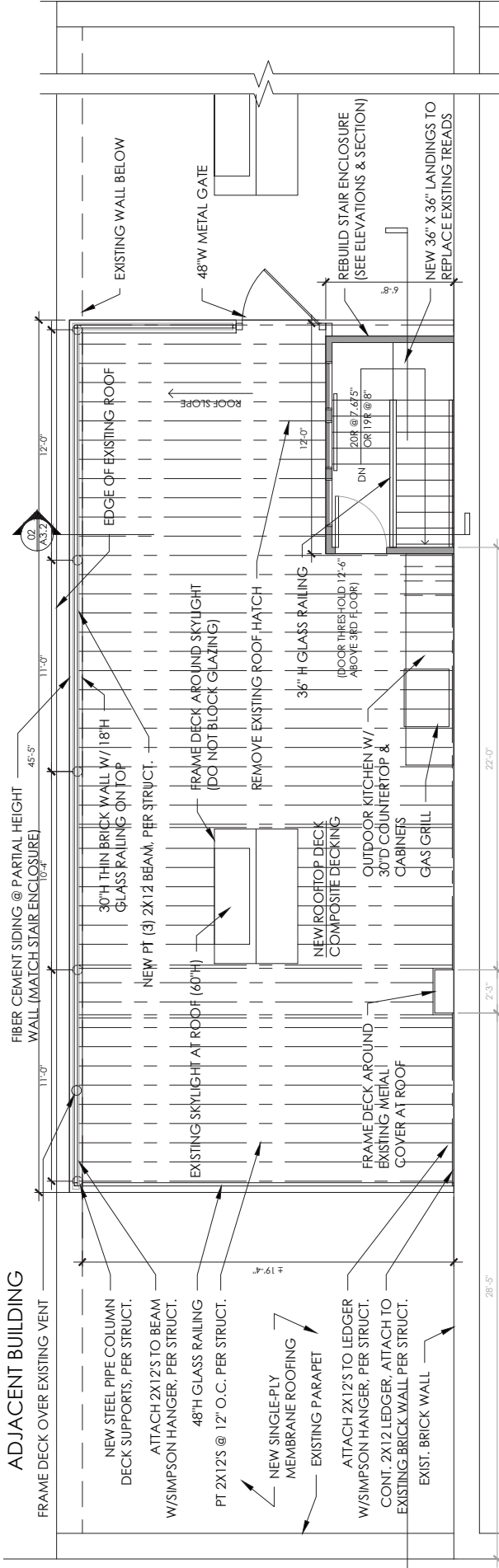
1. Rooftop additions may be considered and should respect the character defining features of the site or structure.
2. Where permitted, care should be taken to make it minimally visible from public ways. "Minimally visible" is defined as any rooftop addition which, when viewed from public ways, due to its placement and size, does not call attention to itself nor detract from any significant architectural features.
3. All rooftop additions, including rooftop equipment and utilities, will be carefully reviewed on a case-by-case basis for their appropriateness of location and visibility.

Additionally, the massing, materials, and details will be reviewed for their appropriateness and impact on the character-defining features of the district.

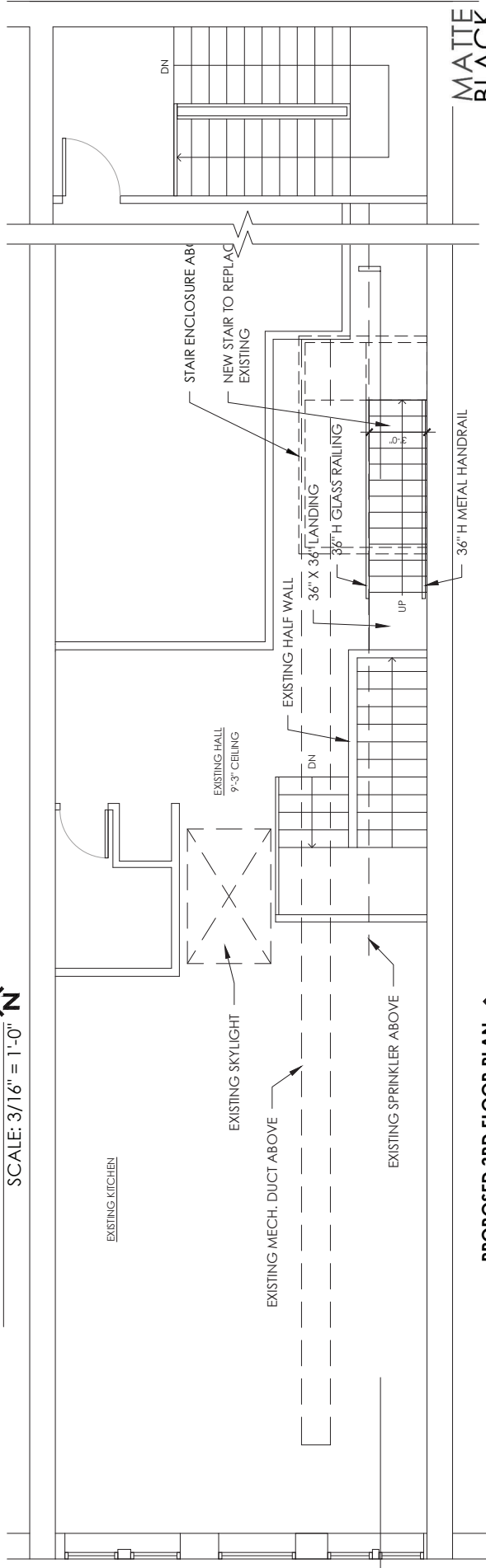
Staff Recommendation:

- Additional drawings provide clarity to the structural system for the deck and stair enclosure. However, concerns remain regarding the anchoring of the structures to the neighboring building. How are the roof and existing floors currently anchored?
- The proposed deck is not visible from across the street and barely visible from the other side of the Courthouse Square. There is a substantial setback from the building's parapet for both visibility and safety.
- The materials are compatible with the district guidelines as they are visually different but do not impact the facade.

ADJACENT BUILDING



PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

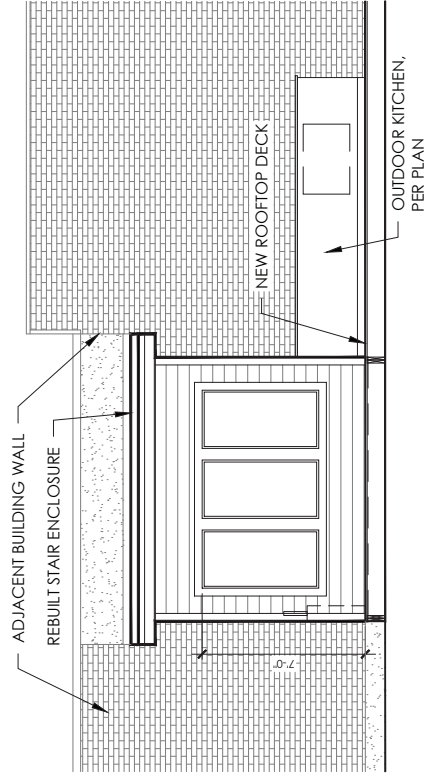
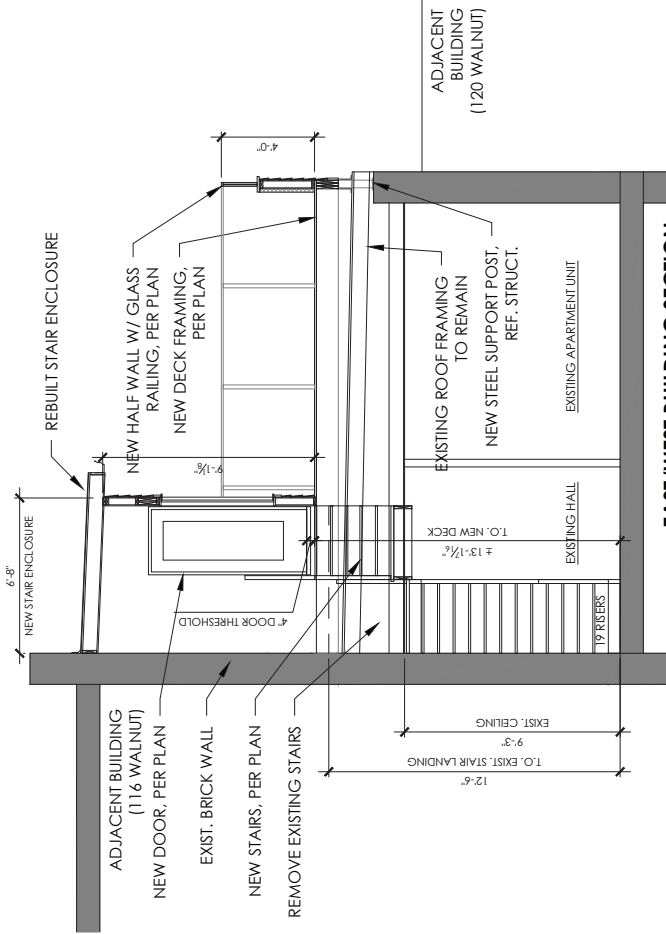


PROPOSED 3RD FLOOR PLAN
SCALE: 3/16" = 1'-0"

118 N WALNUT ROOFTOP DECK

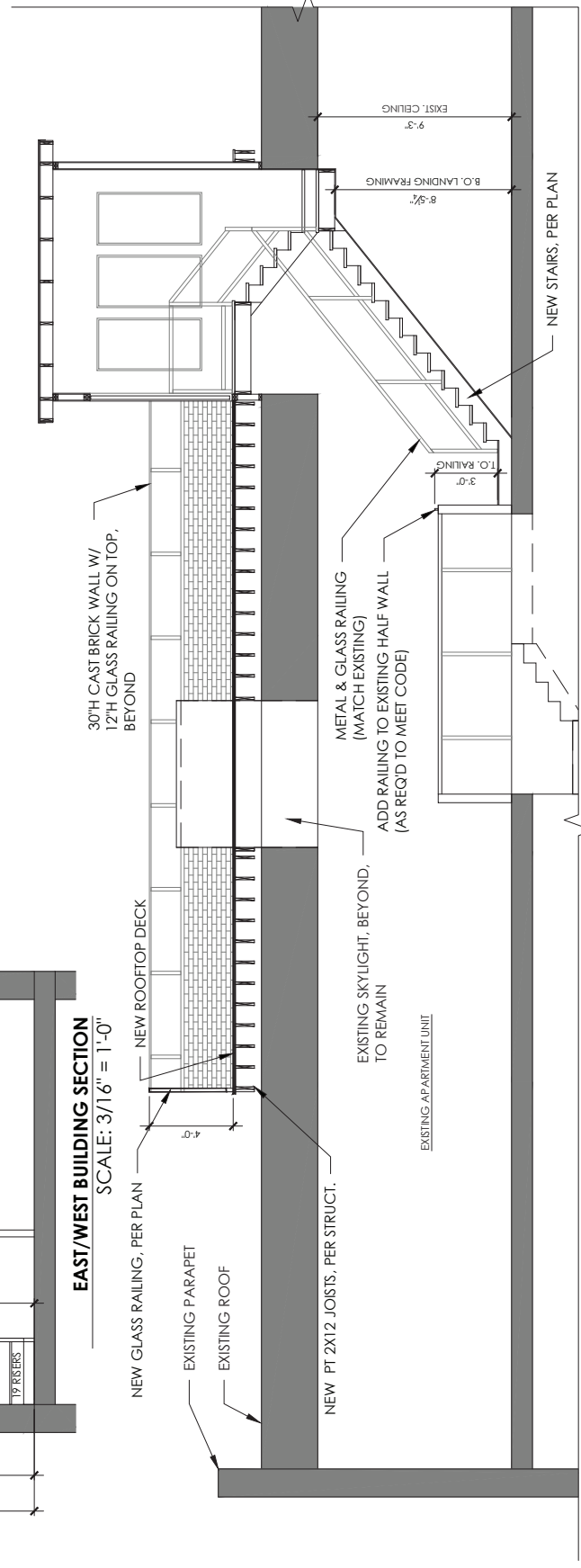
118 N WALNUT ROOFTOP DECK

NORTH/SOUTH BUILDING SECTION SCALE: 3/16" = 1'-0"



NORTH STAIR ENCLOSURE ELEVATION
SCALE: 3/16" = 1'-0"

EAST/WEST BUILDING SECTION SCALE: 3/16" = 1'-0"



NORTH/SOUTH BUILDING SECTION SCALE: 3/16" = 1'-0"

118 N WALNUT ROOFTOP DECK

STAFF RECOMMENDATIONS	Address: 346 S Buckner St.
COA 23-74 346 S Buckner St.	Petitioner: Chris Valliant
Application Date: 9/18/2023	Parcel: 53-08-05-110-009.000-009
RATING: NON-CONTRIBUTING	Survey: New construction



Background: Greater Prospect Hill Historic District

Request: Addition to an existing building.

Guidelines: Greater Prospect Hill Historic District Guidelines

Committee Comments:

As you all may know, since this is a corner lot (Buckner and Smith), per our guidelines both those street views are considered public-way facades. The new structures face Smith Ave.

I will say that I appreciate very much the work this owner has done with the house at this address; I think it has been a real asset on that street and a definite improvement to the previous run-down structure.

As far as the garage and the covered porch/breezeway, for me (and possibly for members of the HPC) it would be helpful to have a more detailed elevation/rendering of the Smith Ave. façade that reflects the written description. Right now we have an overhead elevation with rooflines and a very generalized south elevation lacking most

of the defining details. It's hard for me to reach a conclusion about appropriateness when I can't see how the newly covered porch would interact with the breezeway and garage. In addition, there is a grade change from porch downward to garage. I believe the porch is elevated over a basement walk-out, and the point of access from there to the garage is not clearly defined in the elevations provided.

Staff Recommends approval of COA 23-74

- The proposed addition matches the existing building in scale and materials.
- It does not detract from the historic district.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 346 S Buckner Street
Parcel Number(s): 53-08-05-110-018.000-009

(OFFICE USE ONLY)	
Filing Date:	<u>9/20/2023</u>
Case Number:	<u>COA 23-73</u>
HPC Hearing Date:	<u>10/12/2023</u>

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: CHRIS VALLIANT Email: CHRIS.VALLIANT23@COMCAST.NET
Address: 346 S. BUCKNER ST. Phone: 812-320-2139

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: _____ Email: _____
Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): _____


ADDITIONAL REQUIRED DOCUMENTS

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 9/17/2023

346 South Buckner Street

Proposed attached garage addition and covered porch at rear of house. Space above for a future ADU.

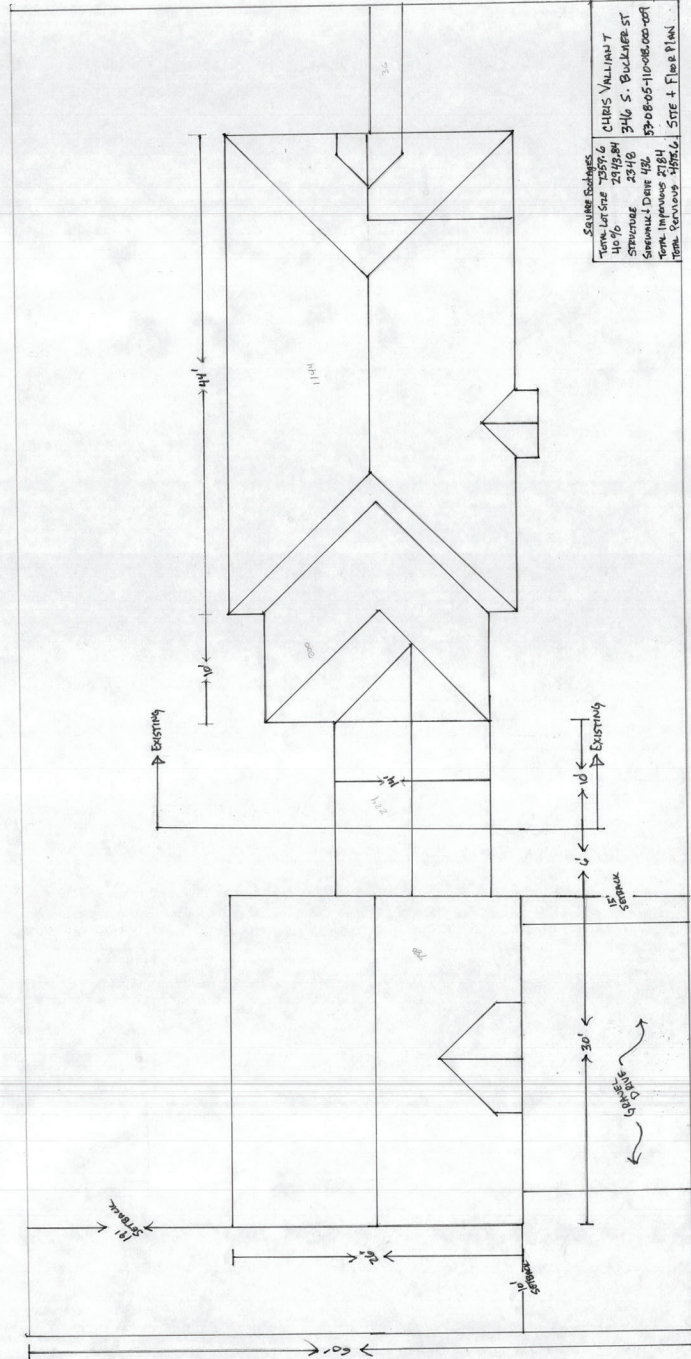
Materials

Split face limestone on south foundation facade to match house foundation. Split face concrete block on remaining above grade foundation area.

Smooth fiber cement siding to match existing house.

Pella 3 over 1 double hung windows to match existing house

S. BUCKNER ST



SEALING EXCHANGES	1987.6	CHRIS VALLIANT
TRAILER LOTS	2019.81	346 S. BUCKNER ST
STRUCTURE	2018	19208-05-1008.000-01
STRUCTURE	198	19208-05-1008.000-01
TRAILER LOTS	2019.81	346 S. BUCKNER ST
TRAILER LOTS	1987.6	346 S. BUCKNER ST

SMITH ST

122.66

44'

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

EXISTING

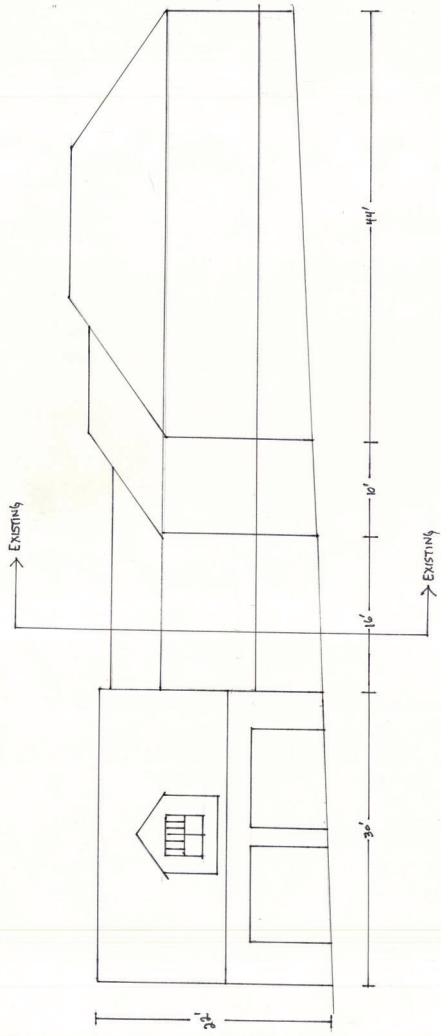
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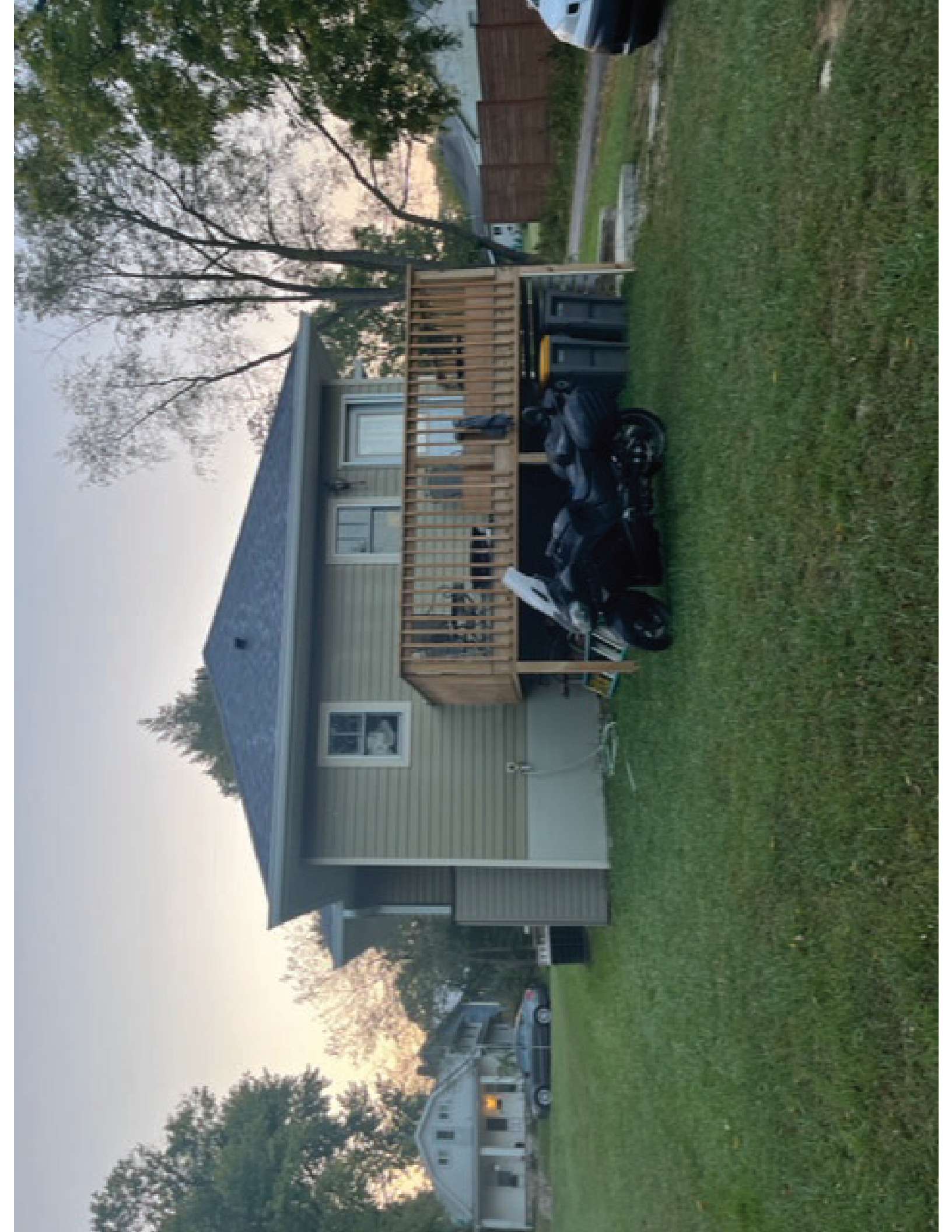
CHRIS VALLANT
346 S. BUCKNER ST.
BOSTON, MA 02116-0800-004
South Elevation











STAFF RECOMMENDATIONS	Address: 703 E 7th St.
COA 23-77 703 E 7th St.	Petitioner: Avi Grossbaum
Application Date: 9/27/2023	Parcel: 53-05-33-403-043.000-005
RATING: CONTRIBUTING	Survey: c. 1915, bungalow/craftsman



Background: University Courts Historic District

Request: Various alterations including a new egress door, new gooseneck exhaust NE corner of the building, new patio on corning, new condensing unit and a 42" fence to screen outdoor units.

Guidelines: University Courts Historic District Guidelines

I. Removal of any window or door or its unique features outlined above and visible from the public right-of-way.

- If original windows, doors, and hardware can be restored and reused, they should not be replaced.

II. Restoration, replacement, or installation of new windows or doors and their character-defining features that are visible from the public right-of-way, including sashes, lintels, sills, shutters, awnings, transoms, pediments, molding, hardware, muntins, or decorative glass.

- Replace missing elements based on accurate documentation of the original.
- Consider salvage or custom-made windows or doors to ensure compatibility with original openings and style.
- New units or materials will be considered for non-character-defining features and when the use of the original units or materials has been determined to be inadvisable or unfeasible.

Staff Recommends conditional approval of COA 23-77:

- The alley between 7th and 8th Street constitutes a public right-of-way. However, the proposed door in the back does not detract from the principle facades of the historic building and would comply with egress requirements.
- Staff has concerns regarding the design of the front door. Whether an option to replace the front door to comply with egress rather than the entire storefront might be explored. More details are required to understand what the proposed storefront would look like.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 703 E. 7th Street, Bloomington, IN 47408

Parcel Number(s): 53-08-05-102-039.000-009

(OFFICE USE ONLY)

Filing Date: 9/27/2023

Case Number: COA 23-77

HPC Hearing Date: 10/12/2023

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Avi Grossbaum Email: rabbi@chabadindiana.org

Address: 2640 West 96th Street, Indianapolis, IN 46268 Phone: 317-251-5573

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: Merkos L' Inyonei Chinuch, Lubavitch of Indiana Inc. Email: rabbi@chabadindiana.org

Address: 1037 Golf Lane, Indianapolis, IN 46260 Phone: 317-251-5573

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: Addition of code compliant Egress door, New Gooseneck Exhaust NE corner of building
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): New patio at NE corner to hold religious events, Addition of condensing unit and 42" fence to screen outdoor units

ADDITIONAL REQUIRED DOCUMENTS

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature:  Date: 9/26/2023

INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map](https://bton.in/M_pUv) at https://bton.in/M_pUv provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
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- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps](https://monroein.elevatemaps.io/) at <https://monroein.elevatemaps.io/> or [Google Maps](https://maps.google.com/) (maps.google.com) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

Address: 703 E. 7th Street
Applicant: Avi Grossbaum
Parcel #: 53-08-05-102-039.000-009
Rating: Contributing
Structure: Craftsman Bungalow c. 1915

Background: This building is being converted from student offices to a Jewish Center. Occupancy class is changing from B to A-3, which increases the occupancy load above 250 people.

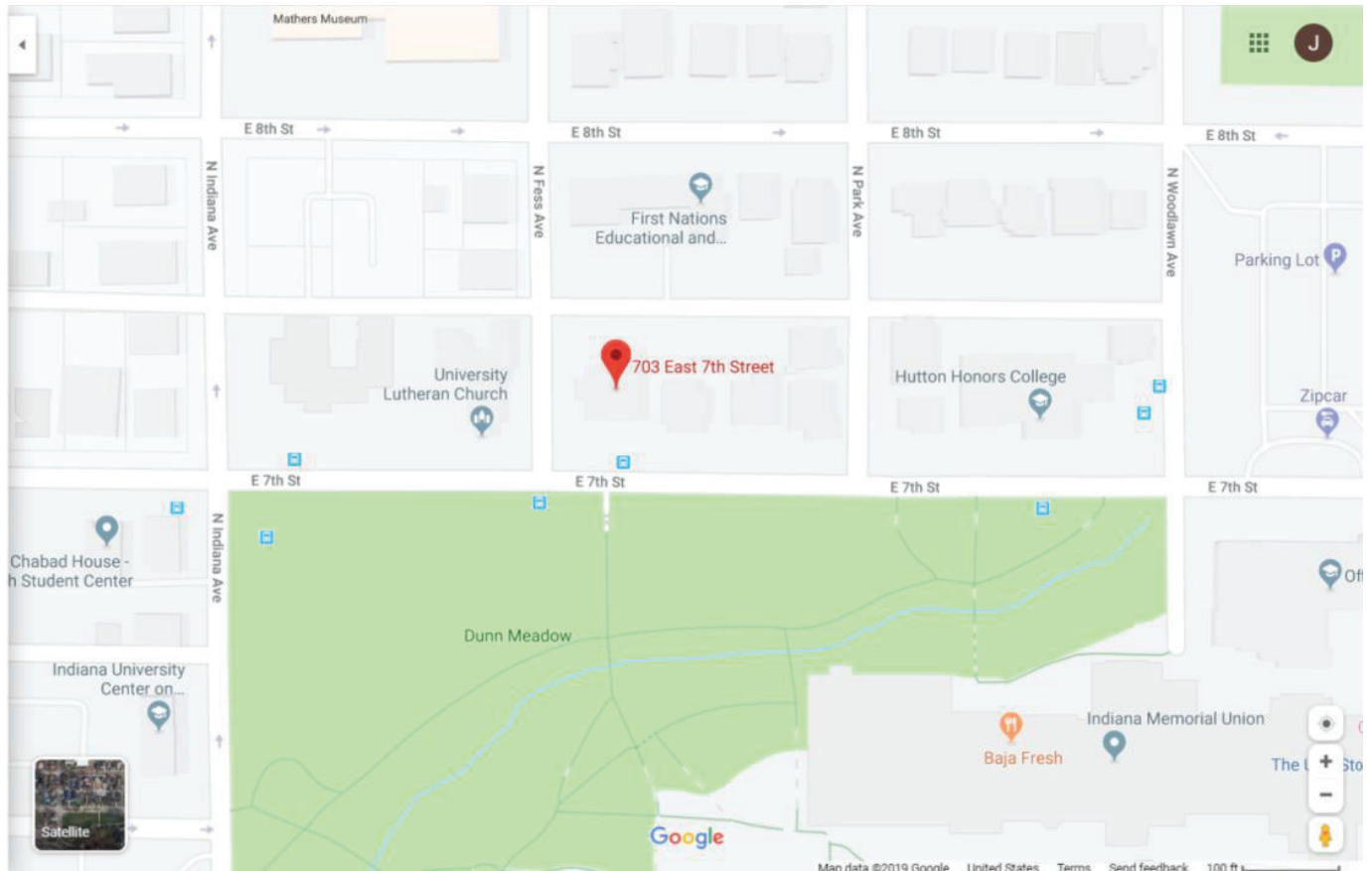


Figure 1 Area Map

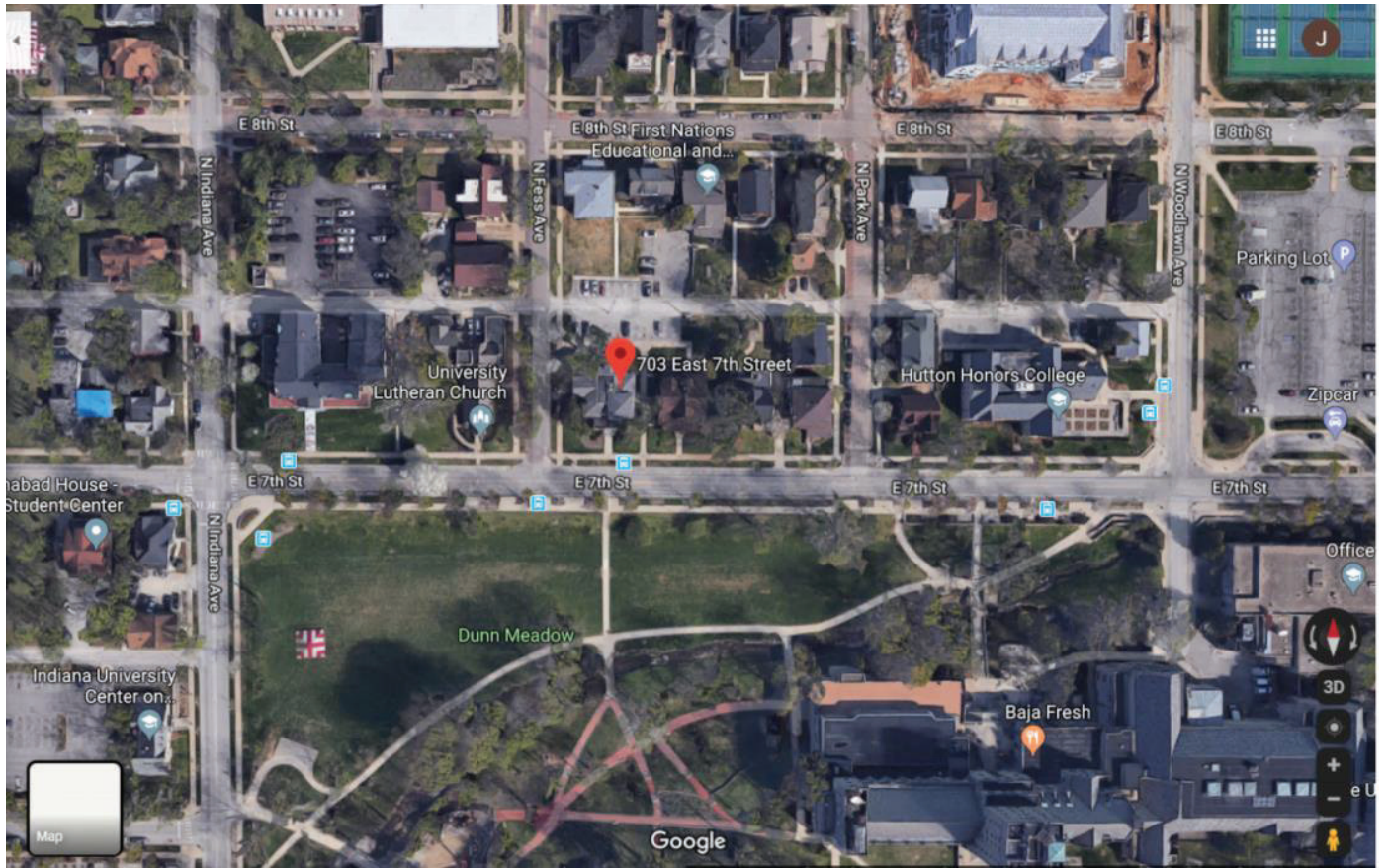


Figure 2 Vicinity Map

Description of Proposed modifications:

1. Creation of new single door opening on the NE corner of the building. The new egress door will copy the horizontally split pane style on upper half of the door, copy limestone header style from adjacent window. This was previously approved by HPC and issued a certificate of appropriateness on April 13, 2020. The work was deferred due to insufficient funds. Fundraising levels have been met and the funds are now available for this phase of the project.



Figure 3 Elevation of Proposed exit door

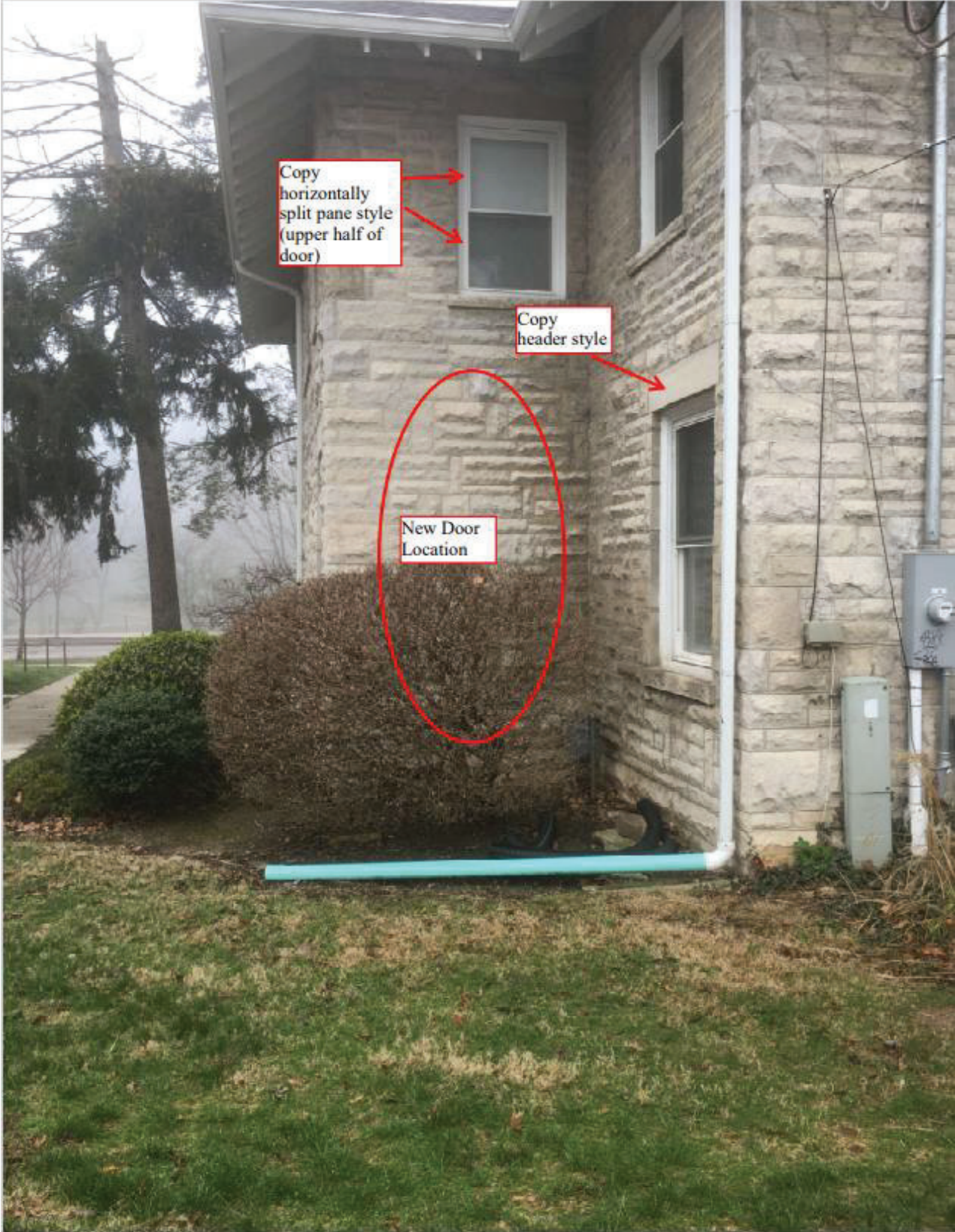


Figure 4 Design concept of Exit door



Figure 5 Proposed Elevation on Exit Door

2. Front Door Replacement: The code change requires that the front door must now swing out, it currently swings inward. The front storefront will be removed and replaced with a 8'-0" X 8-9" wooden storefront with centrally located 3' X 7' door panel that will open outwards. The storefront will have 6" x 6" chases on either side to run power conduits and recesses the light switch, alarm controls, and horn strobe. Currently these are exposed on the interior and are visible through the window. The unit will be painted white and will have a similar design as the existing.

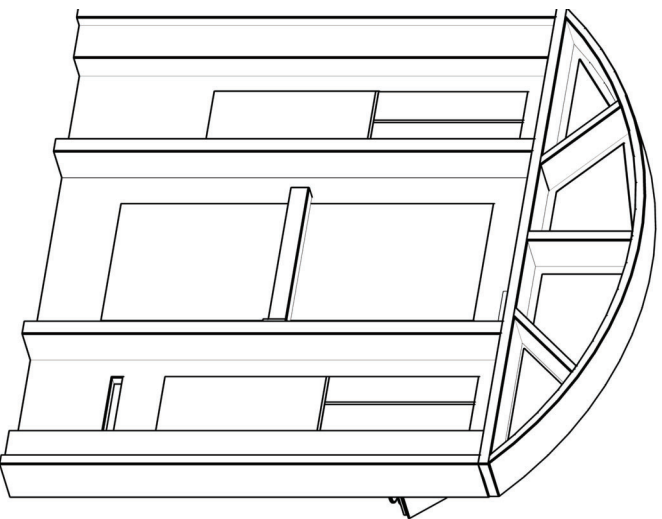
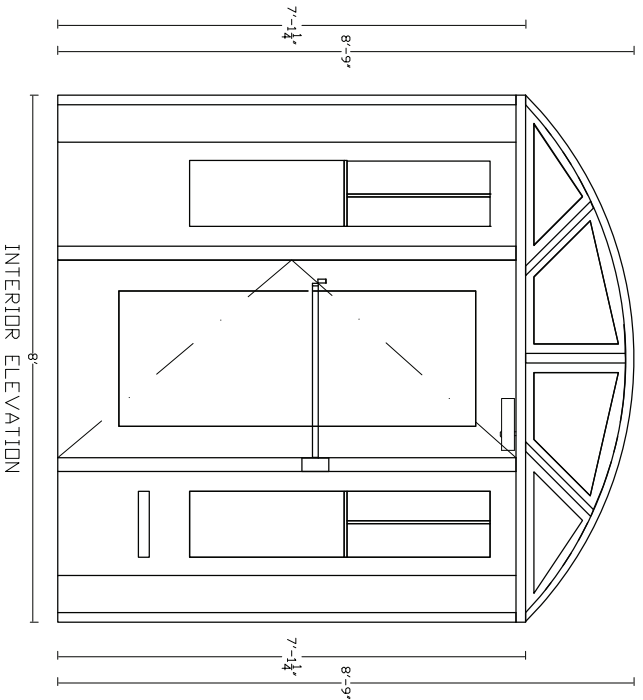
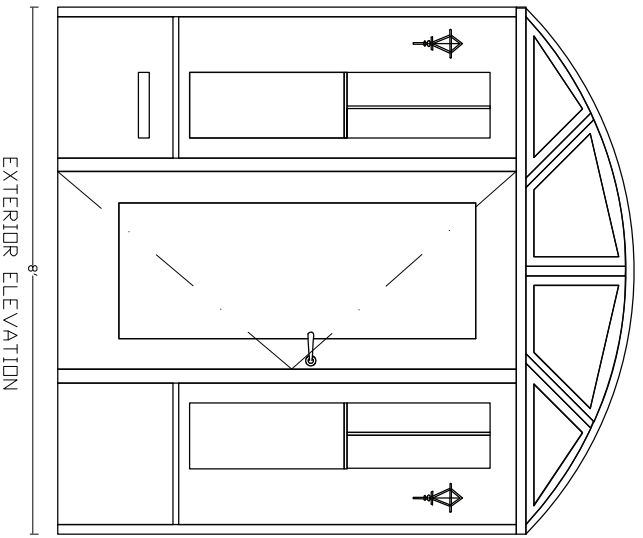
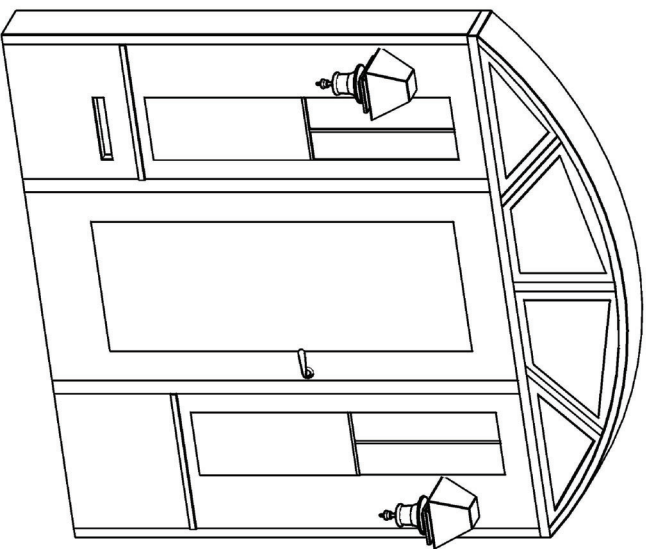
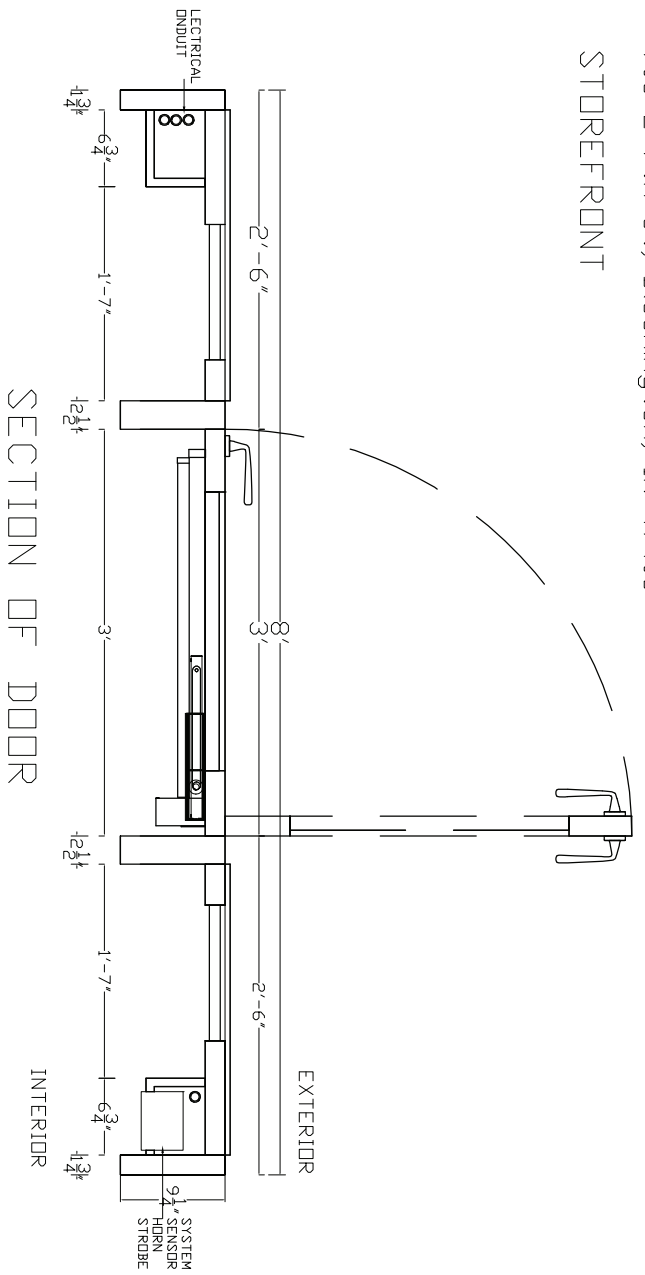


Figure 6 Existing Front Door of the Building



Figure 7 Exterior Elevation of Proposed Front Door

CHABAD HOUSE OF BLOOMINGTON
 703 E 7th St, Bloomington, IN 47408
 STOREFRONT



3. New patio at NE corner to hold religious events, Patio will be concrete - will require a steel 2-line rail (black) at stairs and ramp. This was previously approved by HPC and issued a certificate of appropriateness on April 13, 2020. The work was deferred due to insufficient funds. Fundraising levels have been met and the funds are now available for this phase of the project.
4. Extending Basement egress to replace steep stairs with code compliant shallower steps.

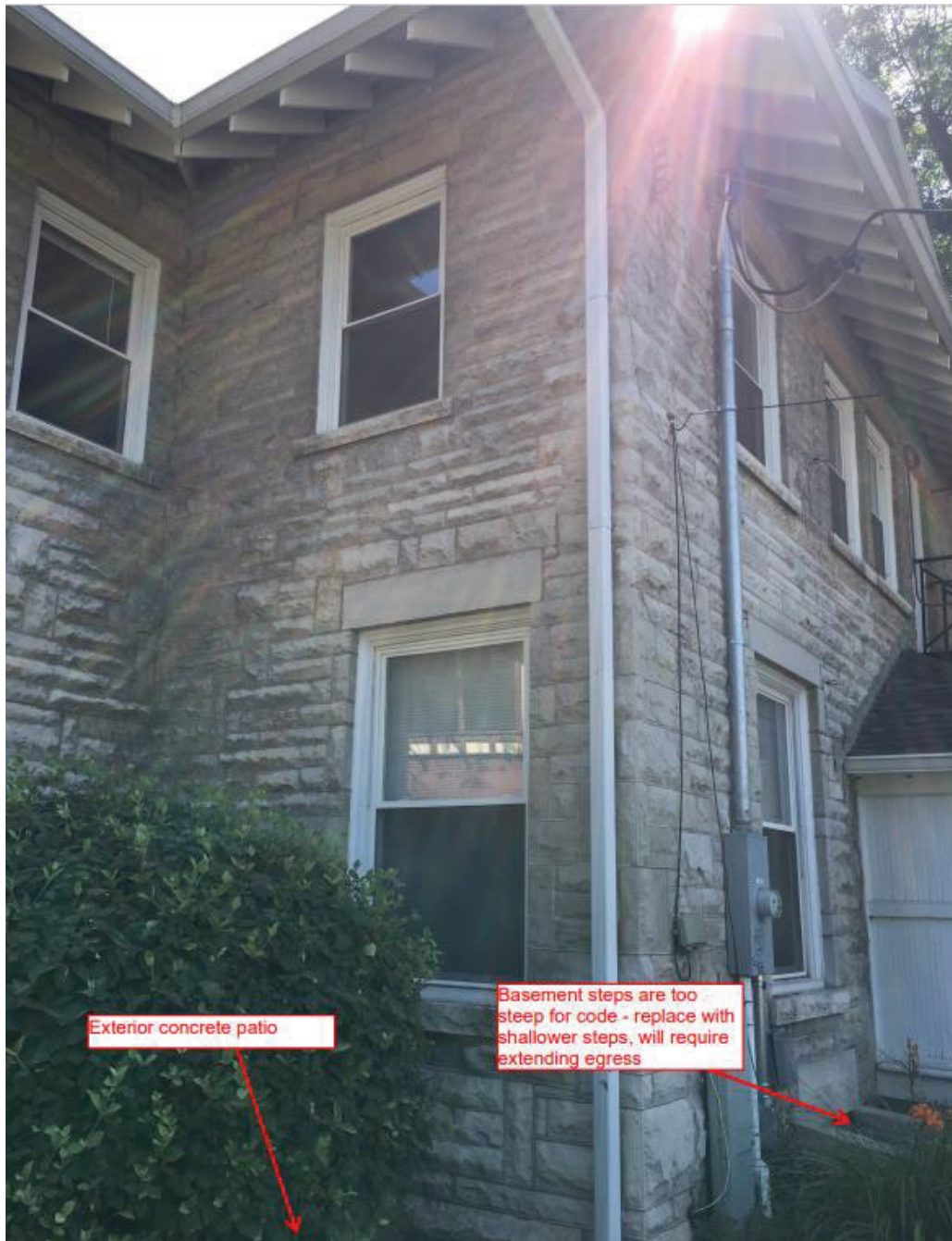


Figure 8 Location for proposed Patio and basement egress



Figure 9 Proposed exit door area with porch

5. Exhaust: Addition of a gooseneck exhaust to the existing commercial upblast exhaust fan. We will lower the vent on the roofline moving it out further from the wall. Paint the fan black in color and add a black colored gooseneck exhaust, maintain other code provisions.
6. Addition of 5 Ton condensing unit and small fence to screen outdoor units. The fence will be a wooden fence of height of 42" with gate for access.



Figure 10 NW of the building

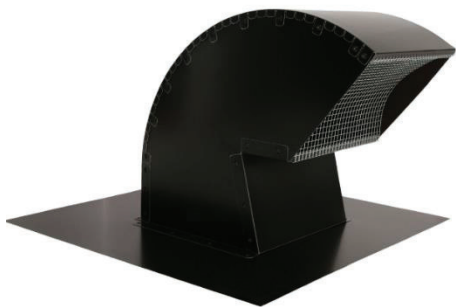


Figure 11 Proposed Gooseneck vent.







703

STAFF RECOMMENDATIONS	Address: 322 W 2nd St.
COA 23-78 322 W 2nd St.	Petitioner: Gina Lovell, Amethyst House
Application Date: 10/9/2023	Parcel: 53-08-05-100-064.000-009
RATING: NOTABLE	Survey: c. 1900, Free Classic



Background: Henley House Historic District

Request: Window Change (17 windows, 2 on the first floor, 15 on the second floor)

Guidelines: Secretary of the Interior's Standards for Rehabilitation

pg 29-33 "Identifying, retaining, and preserving windows and their functional and decorative features that are important in defining the overall historic character of the building. Such features can include frames, sash, muntins, glazing, sills, heads, hood, molds, paneled or decorated jambs and moldings, and interior and exterior shutters and blinds."

"Protecting and maintaining architectural metals from corrosion by providing proper drainage so that water does not stand on flat, horizontal surfaces or accumulate in curved, decorative features."

"Protecting and maintaining the wood and architectural metal which comprise the window frame, sash, muntins, and surrounds through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems."

Replace

"Replacing in kind an entire window that is too deteriorated to repair using the same sash and pane configuration and other design details. If using the same kind of material is not technically or economically feasible when replacing windows deteriorated beyond repair, then a compatible substitute material may be considered. For example, on certain types of large buildings, particularly high-rises, aluminum windows may be a suitable replacement for historic wooden sash provided wooden replacements are not practical and the design detail of the historic windows can be matched. Historic color duplication, custom contour panning, incorporation of either an integral muntin or 5/8" deep trapezoidal exterior muntin grids, where applicable, retention of the same glass to frame ratio, matching of the historic reveal, and duplication of the frame width, depth, and such existing decorative details as arched tops should all be components in aluminum replacements for use on historic buildings."

Not Recommended:

"Removing or radically changing windows which are important in defining the historic character of the building so that, as a result, the character is diminished."

"Replacing windows solely because of peeling paint, broken glass, stuck sash, and high air infiltration. These conditions, in themselves, are no indication that windows are beyond repair."

Staff Recommends Denial of COA 23-78:

Staff recommends that the petitioners restore the historic windows using techniques such as weather stripping and retrofitting them for a longer duration. Staff understands that storm windows complicate opening and closing the historic windows, but this is something that can be addressed.

Clarifying that the Henley House is listed as Notable and is not located in the Greater Prospect Hill Historic District but rather is a district in its own right.

The bungalow located at 515 S Madison St., is rated as Contributing. However it is not located in any historic district, therefore the Historic Preservation Commission does not have purview over window changes in said property.

The windows have been identified and a careful in-depth survey of the existing windows has been done, indicating that they can all be restored, some requiring more repair than others.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 322 W. 2nd St., Bloomington, IN 47403

Parcel Number(s): 53-08-05-100-064.000-009

(OFFICE USE ONLY)	
Filing Date:	<u>10/9/2023</u>
Case Number:	<u>COA 23-78</u>
HPC Hearing Date:	<u>10/26/2023</u>

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
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- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: Ordinance # 95-20

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Amethyst House, Inc Email: glovell@amethysthouse.org

Address: PO Box 11, Bloomington, IN 47402 Phone: 812-336-3570

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: _____ Email: _____

Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
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2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant’s Signature: _____ Date: 10/9/2023

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CHECKLIST OF REQUIRED DOCUMENTS

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- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps](https://monroein.elevatemaps.io/) at <https://monroein.elevatemaps.io/> or [Google Maps](https://maps.google.com/) (maps.google.com) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)



Historic Window Assessment Report

Amethyst House

SUMMER 2023

 **Strengthening
nonprofits and
the communities
they serve.**

INTRODUCTION

Intent

IFF visited and assessed¹ the historic house now owned and used as Amethyst House, in Bloomington Indiana, on June 22, 2023, to assess the historic original windows as part of a potential program to replace the windows and to achieve increased energy efficiency in the building.

The House is actually two houses, an Italianate and a Bungalow, joined by a stepped connector built in 2000. The Italianate is listed as the Henley House and is contributing within the Greater Prospect Hill Historic District; the Bungalow is also shown as part of the District but is not listed as contributing. Changes to the exterior of the building will need to be approved with a Certificate of Compliance by the Historic Preservation Commission.

Background

Windows were assessed according to the United States Department of General Services (GSA) Technical Preservation Guidelines for Upgrading Historic Building Windows by Caroline Alderson April 2009 and include the following frame and sash Value Explanations:

- **Repair Class 1:** Window component needs only normal routine maintenance to upgrade a window to “like new” condition. This includes: some degree of interior and exterior paint removal, simple repairs to the frame, weather stripping and reglazing of the sash, and repainting. No removal of components is needed.
- **Repair Class 2:** The window shows some additional degree of physical deterioration than repair type 1. If the window is not operationally sound, half a point is added. Includes removal and repair of sash (including reglazing where necessary). Components can be repaired using simple processes, such as patching or consolidation, and then painted to achieve a sound condition, good appearance, and greatly extended life.
- **Repair Class 3:** Components are so badly deteriorated that they cannot be stabilized. Repair would involve replacing the deteriorated parts with new matching pieces, or splicing new wood into existing members. Most cases could involve removal of the sash and/or the affected parts of the frame and reproduction of damaged or missing parts by a carpenter or woodworking mill.

The windows were evaluated on eight points (A-H) and assigned scores for each element with total scores for Repair Class being somewhere between 8 (best condition) and 24 (worst condition). Interior frames and adjacent wall surfaces were not assessed.

The Technical Bulletin includes the following text relevant to historic building windows:

¹ This Facility Assessment represents the best of IFF’s knowledge regarding observed conditions at the site. Opinions expressed regarding the facility’s conformance to any and all building codes, accessibility rules and regulations, and other life safety structural standards are preliminary only. IFF recommends that prior to making significant changes to the building the services of licensed professionals be engaged for final determination of code and life safety related issues and construction changes needed.

Original frames should be repaired and retained, replacing only window sash, whenever possible. In addition to meeting DOI standards giving preference to retaining historic materials, reuse has lifecycle, cost, performance, and sustainability benefits. Some historic materials, such as old growth wood, are no longer available and offer superior durability, compared to new materials. Retaining original window sash and frames reduces material waste by eliminating a substantial volume of construction debris, reduces the risk of damage to adjacent materials such as brick or terra-cotta masonry and eliminates the time, cost, and tenant disturbance associated with removing and installing replacement window units.

And the following paragraph particularly related to storm windows and thermal control:

Among the most discrete high-performance alternatives for addressing both security and energy conservation goals are storm panels of safety glass, acrylic, or synthetic clear glazing that can be added to existing window systems. Polycarbonate panels may be also appropriate as a low-cost retrofit solution for windows containing period glazing. Blast resistant laminated glass storm windows offer the energy saving advantage of reducing heat loss and gain. The demountable units are structurally anchored to the frame, relying on a flexible connection and cable between sash and sub frame to absorb, rather than resist impact, much as a tree bends with the wind, then returns to its normal position. Large, fixed glass expanses common in modern-era buildings and multi-leaf doors not actively used can be secured using steel cables anchored into the building structure. Patented systems address a variety of facade configurations and are visible at close range, but are not noticeable from exterior grade level view.

Locally, the City of Bloomington provides the following guidelines in the Bloomington Historic Preservation Commission's Greater Prospect Hill Historic District Book of Guidelines:

Guidelines for Existing Structures:

CHANGES TO THE PUBLIC WAY FAÇADE Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house.

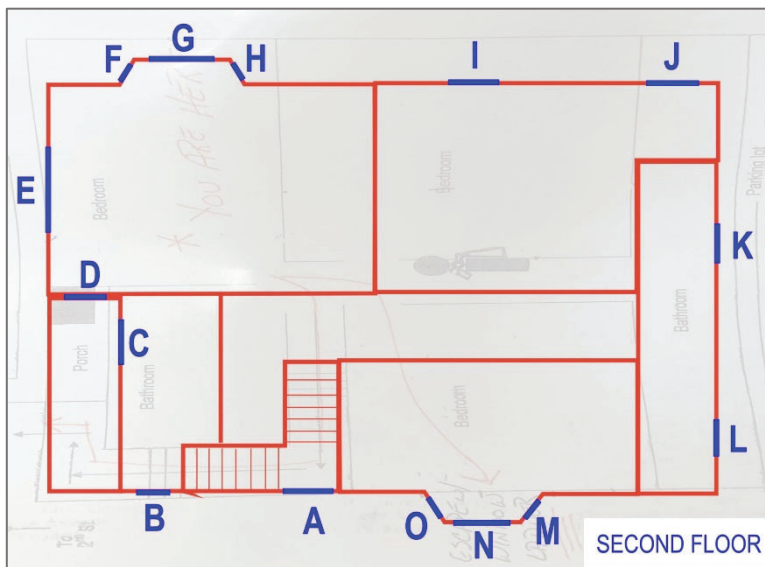
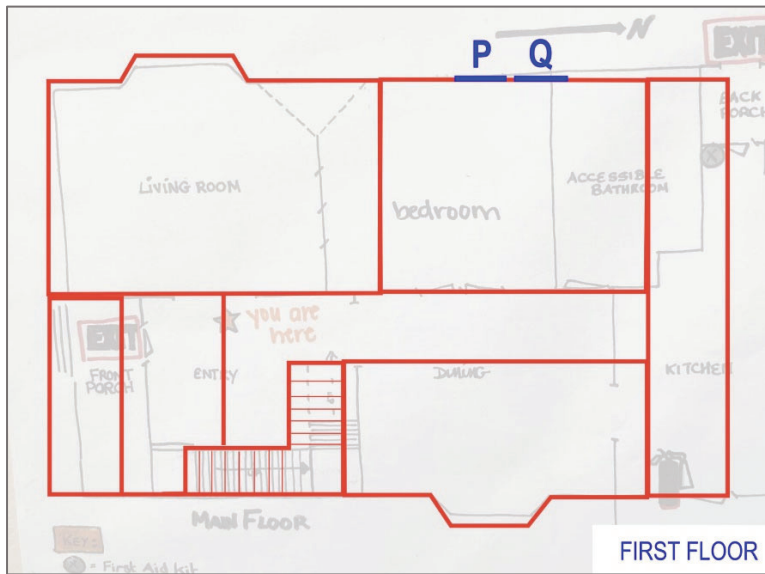
REMOVAL OF ORIGINAL MATERIALS Removal of original materials shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. 1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. 2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.

WINDOW ASSESSMENT

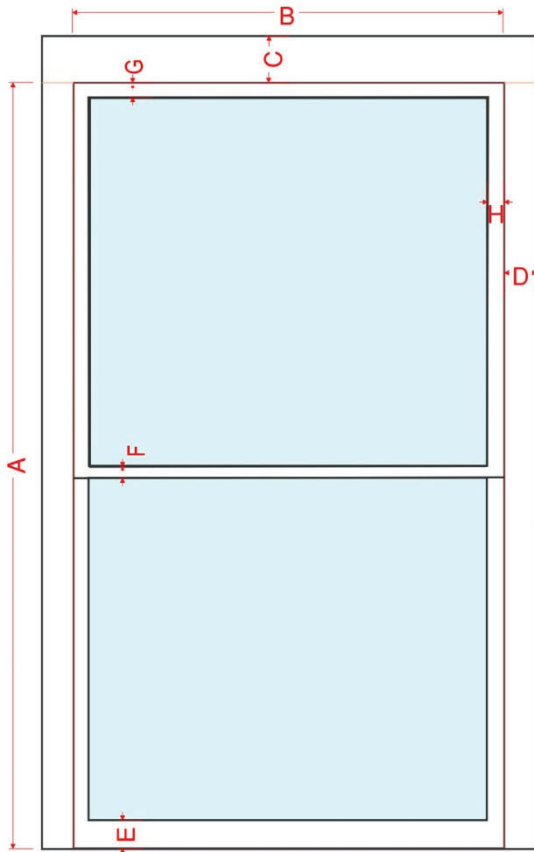
House:

The scope of the assessment includes the bedroom windows, the windows in the second floor bathrooms, and the large window at the stairwell landing. Each window was assigned a letter, shown in picture and plan views below. Individual reports for each window follow.





Window A



Operation: Single hung
 Lift mechanism: Rope pulls and weights
 Hardware: Historic fitch fastener and sash lift, engraved
 Glazing: Single
 Weatherstripping: None

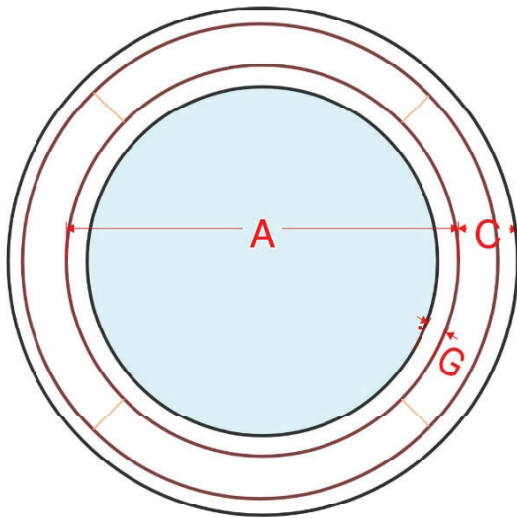


	PIECE	SIZE	NOTES	CLASS
A	Sash height	7'-0"	Both lites rattle in the frame	2
B	Sash width	3'-11"	Upper sash putty severely dried and missing	2
C	Top trim (exterior)	6"	1/8" gap left and right stile/rail.	1
D	Side trim (exterior)	5"	Paint discoloration lower area	1
E	Bottom rail	2-3/8"	1/4" gap at left frame. 1/16" gap at stile/rail left.	2
F	Meeting rail	3/4"	1/16" gap at stile/rail bottom sash left. 3/32" gap stile/rail upper sash left and right. Bottom rail of upper sash wood deterioration.	2.5
G	Head rail	2"		2
H	Side stile	2"		2
			Total Repair Class	14.5

Window A is located at the landing of the front stair of the entry hall. It is the only original window that remains unpainted. It is very large and because of its location it requires a safety railing at the lower lite.

Window B

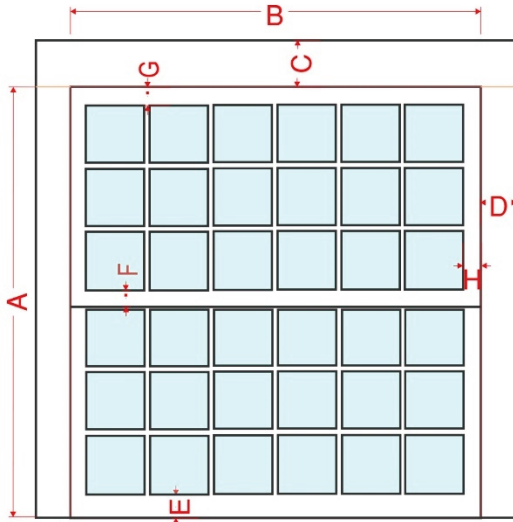
Operation: Fixed
 Hardware: None
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	2'-3"	Putty severely dry and missing, lite rattles	2
B	Sash width	-	1/16" gaps in all sandwiched round members	2
C	Top trim (exterior)	4"	Significant paint damage but wood appears stable	1
D	Side trim (exterior)	-		1
E	Bottom rail	-	1/8" separation bottom	2.5
F	Meeting rail	-		2
G	Head rail	1-1/2"		2
H	Side stile	-	1/16" gap both sides. 1/16" crack between sash rail and frame	2.5
Total Repair Class				15

Window B is located in a shower in one of the second floor bathrooms. It is an important historic feature of the house, and does not contribute significantly to heat loss or gain.

Window C



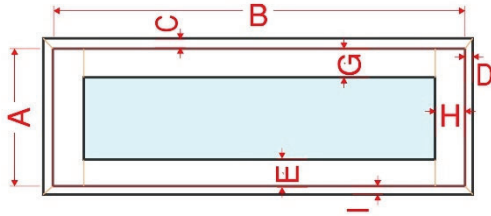
Operation: Single hung
 Hardware: Fitch fastener and two sash handles
 Lift mechanism: Aluminum channel
 Glazing: Single, multi lite (18 over 18)
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	7'-0"	Sash channels bent, non-operational	2
B	Sash width	3'-11"	Putty severely dried and missing, several rattling lites	2.5
C	Top trim (exterior)	6"		1
D	Side trim (exterior)	5"		1
E	Bottom rail	2-3/8"	1/32" gap stile/rail left	2
F	Meeting rail	3/4"	1/16" gap upper sash right.	2
G	Head rail	2"	1/8" gap across head rail from frame stop	2
H	Side stile	2"		2
-	Muntin	5/8"	All needs reglazed w/existing lites	-
Total Repair Class				14.5

Window C is in the second floor south restroom. It is a significant historic feature, due to the multiple small lites, and faces the address street of the property, but it is mostly obscured from view due to the deep front patio and balcony on the front of the house.

Window D



Operation: Fixed transom
 Hardware: None
 Lift mechanism: None
 Glazing: Single
 Weatherstripping: None

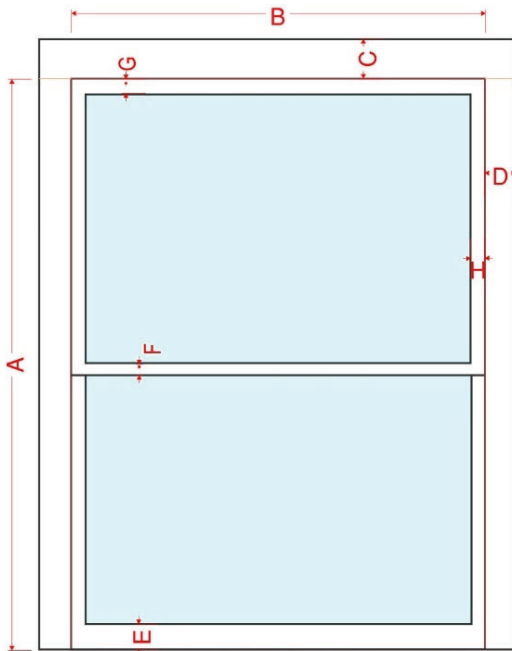


	PIECE	SIZE	NOTES	CLASS
A	Sash height	3'-0"	Putty dried	1
B	Sash width	1'-0"		1
C	Top trim (exterior)	3/4"		1
D	Side trim (exterior)	3/4"		1
E	Bottom rail	2-3/8"	3/32" gap stile/rail both sides	1
F	Meeting rail	-	(From A-H 1 is the lowest score allowed)	1
G	Head rail	2-3/8"		1
H	Side stile	2-3/8"	1/16" gap stile/frame left	1
Total Repair Class				8

Window D is a transom above the door to the front balcony. The door is not operable. The transom above the Kitchen side door has already been replaced with a new wood transom and is nearly indistinguishable for this historic transom, however Window D is single pane glass while the Kitchen door is thermal double pane.

Window E

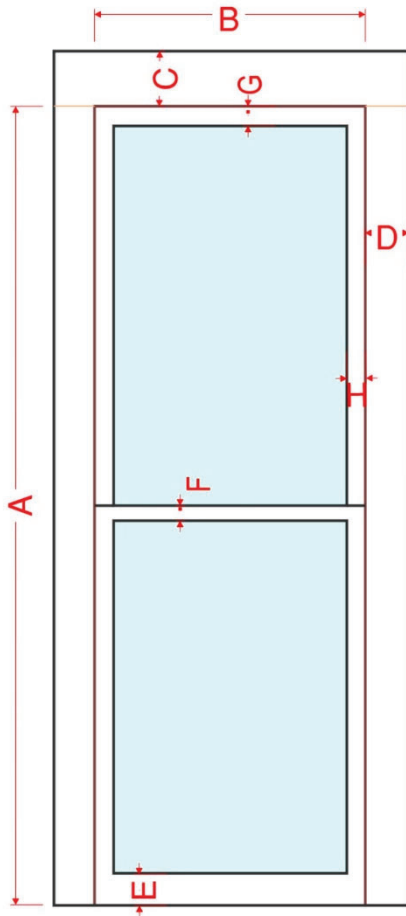
Operation: Single hung
 Hardware: Fitch fastener and two sash handles
 Lift mechanism: Aluminum channel
 Glazing: Single, bottom sash acrylic
 Weatherstripping: None



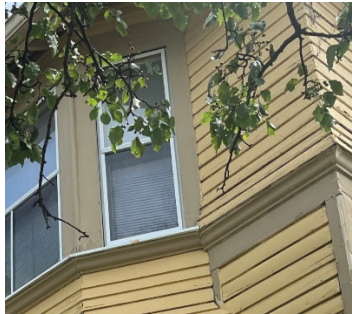
	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Sash channels bent, non-operational. Putty dried.	2
B	Sash width	3'-11"	Bottom needs reglazed with new glass.	2.5
C	Top trim (exterior)	6"	1/16" gap stile/rail both sides	1
D	Side trim (exterior)	5"	Nail holes need filling when painted	1
E	Bottom rail	2-3/8"	1/16" gap stile/rail both sides.	1
F	Meeting rail	3/4"	3/32" gap stile/rail left lower sash. Gouge 1/2"x1/2" left lower sash. 1/8" gap stile/rail both sides upper sash. Significant wood deterioration upper sash.	2.5
G	Head rail	2"	1/8" gap stile/rail right.	1.5
H	Side stile	2"	Gouge 2"x1/2" left lower sash.	1.5
			Total Repair Class	13

Window E matches Window I. Window E is on the address street of the house, while I is on the side street.

Window F



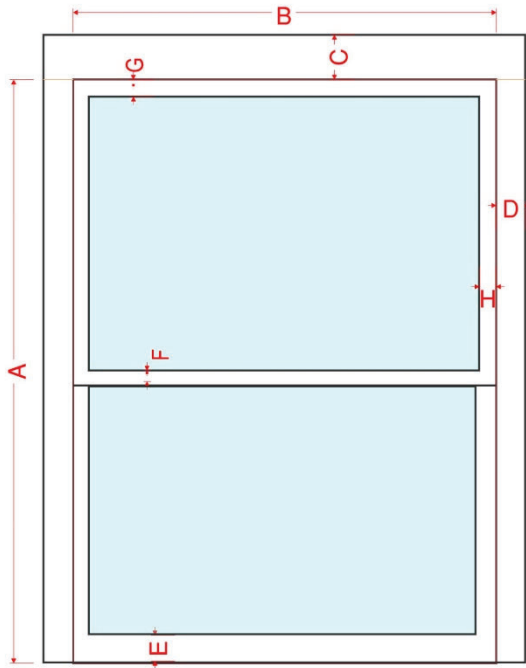
Operation: Single hung
 Hardware: Locking fitch fastener and one lift handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Non-operational. Putty dried.	2
B	Sash width	1'-10"	Bad rattle both sash	2.5
C	Top trim (exterior)	7"		1
D	Side trim (exterior)	6"	Minor wood deterioration starting bottom both sides.	1.5
E	Bottom rail	2-3/8"	1/8" gap stile/rail both sides. Wood deterioration.	2
F	Meeting rail	3/4"	Missing wood and gap stile/rail left lower sash. 1/16" gap stile/rail upper sash right	2
G	Head rail	2"	Hairline crack stile/rail left	1
H	Side stile	2"	Wood gouge 1/4"x1" lower sash right.	1
			Total Repair Class	13

Windows F, H, M, and O are all identical and are the small angled windows on the bays. The bay with F, G, and H faces the side street.

Window G



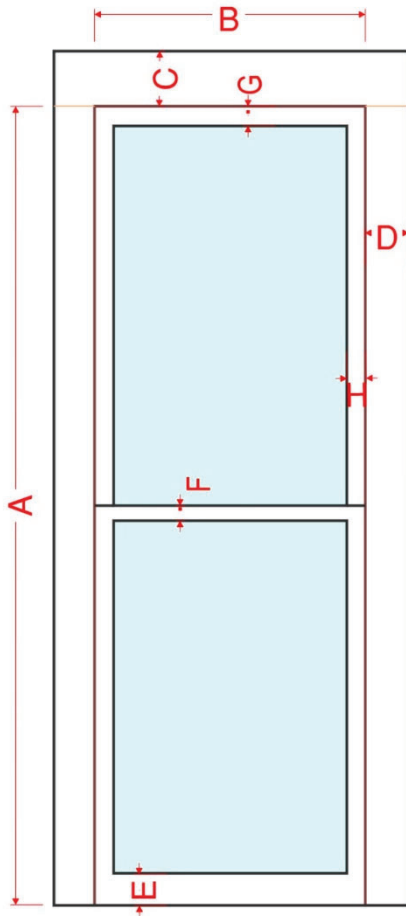
Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Non-operational. Putty dried.	2
B	Sash width	3'-11"	Bad rattle both sashes. Lower sash 1/2" gap.	2.5
C	Top trim (exterior)	7"	Typical paint	1
D	Side trim (exterior)	6"	Minor wood deterioration starting bottom both sides.	1.5
E	Bottom rail	2-3/8"	1/16" gap stile/rail both sides	2
F	Meeting rail	3/4"	1/16" L-gap left lower sash.	2.5
G	Head rail	2"	1/2" round gouge at upper frame head. 1/8" gap across head rail from frame stop.	2
H	Side stile	2"	Paint cracking, swelling, non-operational	2
Total Repair Class				15.5

Windows G and N are identical; these are the large center bay windows. Window G faces the side street while Window N is difficult to see in the tight side yard.

Window H



Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None

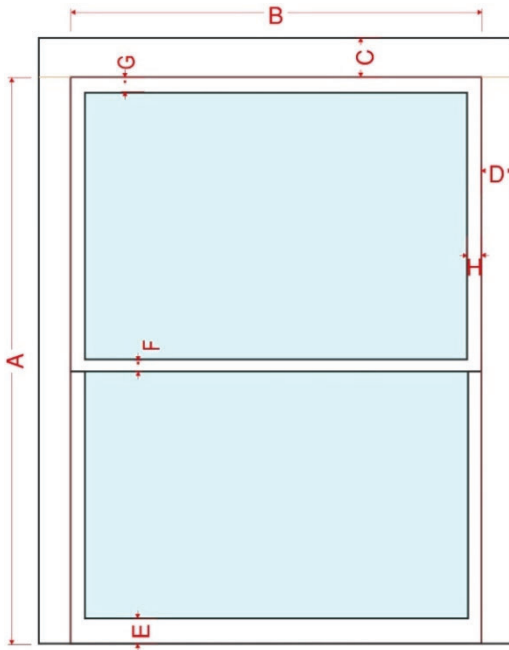


	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Non-operational. Putty dried and gapped.	2
B	Sash width	1'-10"	Upper sash rattles.	2
C	Top trim (exterior)	7"	Typical paint	1
D	Side trim (exterior)	6"	Minor wood deterioration starting bottom both sides.	1.5
E	Bottom rail	2-3/8"	Hairline crack lower sash both sides.	2
F	Meeting rail	3/4"	3/32" gap stile/rail both sides upper sash. Hairline crack lower sash both sides.	2
G	Head rail	2"		1
H	Side stile	2"		1
Total Repair Class				12.5

Windows F, H, M, and O are all identical and are the small, angled windows on the bays. The bay with F, G, and H faces the side street.

Window I

Operation: Single hung
 Hardware: Fitch fastener and two sash handles
 Lift mechanism: Aluminum channel
 Glazing: Single, bottom lite acrylic
 Weatherstripping: None

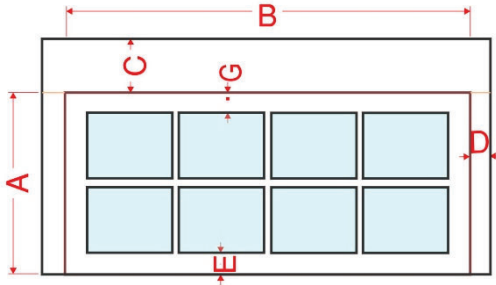


	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Sash channels painted, non-operational. Putty dried.	2
B	Sash width	3'-11"	Rattles, bottom needs reglazed with new glass.	2.5
C	Top trim (exterior)	6"	Typical paint	1
D	Side trim (exterior)	5"	Minor wood deterioration starting bottom both sides.	1.5
E	Bottom rail	2-3/8"	1/4" gap stile/rail right (picture above) & 1/16" gap left, wood deterioration present.	2.5
F	Meeting rail	3/4"	1/16" gap and missing wood/damaged T&G left lower sash (picture above). Hairline crack stile/rail both sides upper sash. T&G joint center missing wood, right lower sash.	2.5
G	Head rail	2"	Hairline cracks stile/rail both sides.	1
H	Side stile	2"	Lower sash wood deterioration in track.	2.5
			Total Repair Class	15.5

Window I matches Window E. Window I is on the side street of the house, while E is on the address street.

Window J

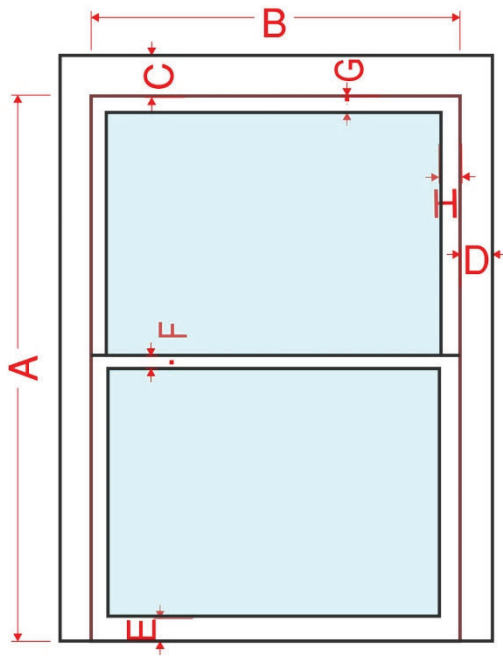
Operation: Fixed
 Hardware: None
 Lift mechanism: None
 Glazing: Single, multi lite (4 over 4)
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	1'-7"	Some lites rattle, putty dried	1
B	Sash width	3'-0"	Painted shut, no drafts.	1
C	Top trim (exterior)	7"	Small area of paint peeling, left	1
D	Side trim (exterior)	5"	Small area of paint peeling, left upper	1
E	Bottom rail	2"		1
F	Meeting rail	-		1
G	Head rail	2"		1
H	Side stile	2"		1
	Muntin	5/8"	Some lites rattle, putty dried	-
Total Repair Class				8

Window J is fixed and although it's single pane glass it is not a significant contributor to thermal comfort because it is in a closet. Its real significance is as a contributor to the street image of the house, although the storm window obscures it.

Window K



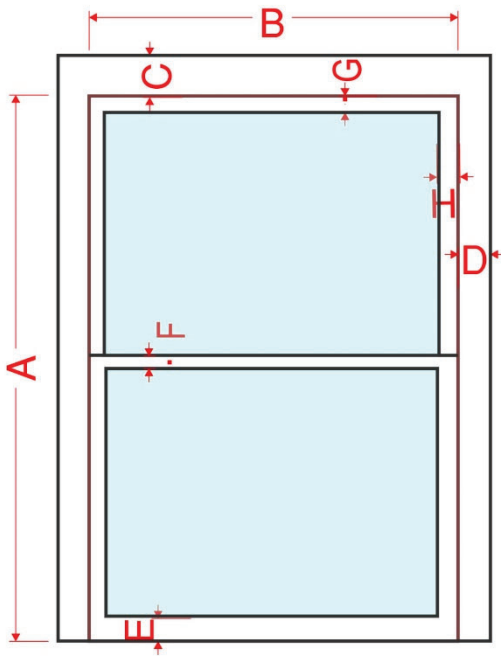
Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



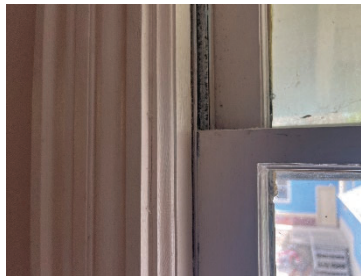
	PIECE	SIZE	NOTES	CLASS
A	Sash height	3'-1"	Operable. Bottom sash bad rattle. Putty dried and missing.	2
B	Sash width	2'-1"	Channels corroded and painted.	2
C	Top trim (exterior)	6"	Typical paint	1
D	Side trim (exterior)	5"	Appears fine but wall paint both sides is peeling badly, possible water intrusion.	1
E	Bottom rail	2-3/8"	1/16" gap stile/rail & water deterioration both sides. Missing wood bottom. Water damage.	3
F	Meeting rail	3/4"	1/16" gap stile/rail both sides & wood deterioration upper sash. Hairline gaps stile/rail & T&G both sides lower sash.	2
G	Head rail	2"	Stop missing.	1
H	Side stile	2"		1
			Total Repair Class	13

Window K and L are matching, but K is in a shower and subject to major humidity. These windows face the back yard of the house and are barely visible above the first floor sloped roof.

Window L



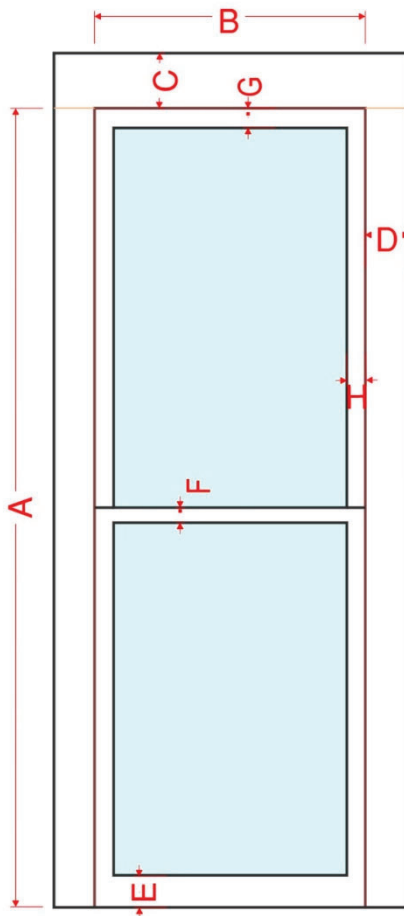
Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	3'-1"	Non-operable. Putty dried and missing.	2
B	Sash width	2'-1"	Channels corroded and gapped from frame.	2
C	Top trim (exterior)	6"	Hairline gap stile/rail both sides	1
D	Side trim (exterior)	5"	Wall paint both sides is peeling badly, possible water intrusion.	1
E	Bottom rail	2-3/8"	1/16" gap stile/rail right, hairline left.	2
F	Meeting rail	3/4"		2
G	Head rail	2"		1
H	Side stile	2"	Non-operable likely due to swelling.	2
Total Repair Class				13

Window K and L are matching. These windows face the back yard of the house and are barely visible above the first floor sloped roof.

Window M



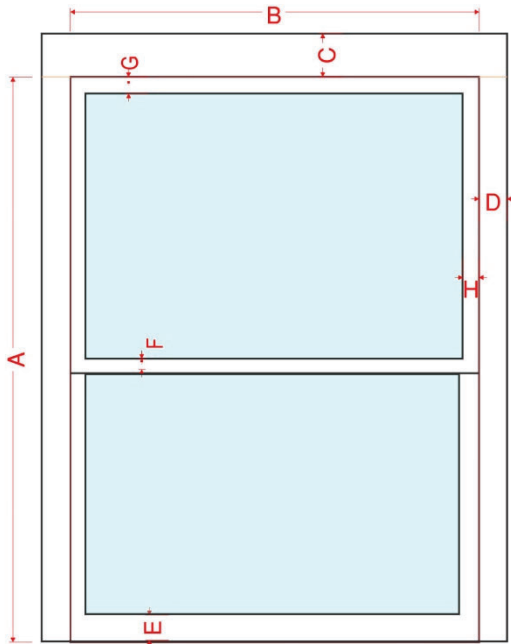
Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Non-operable. Putty dried.	2
B	Sash width	1'-10"	Channels corroded and painted.	2
C	Top trim (exterior)	7"	Gap at stile/rail: 1/16" left, 1/8" right	1.5
D	Side trim (exterior)	6"	Minor wood deterioration starting bottom both sides.	1.5
E	Bottom rail	2-3/8"	Lite broken and rattles. 3/32" gap stile/rail both sides. 1/4" gap at seat.	2
F	Meeting rail	3/4"	1/16" gap stile/rail both sides upper sash.	2
G	Head rail	2"		1
H	Side stile	2"		1
			Total Repair Class	13

Windows F, H, M, and O are all identical and are the small, angled windows on the bays. The bay with M, N, and O faces the small side yard and is barely visible from the street.

Window N



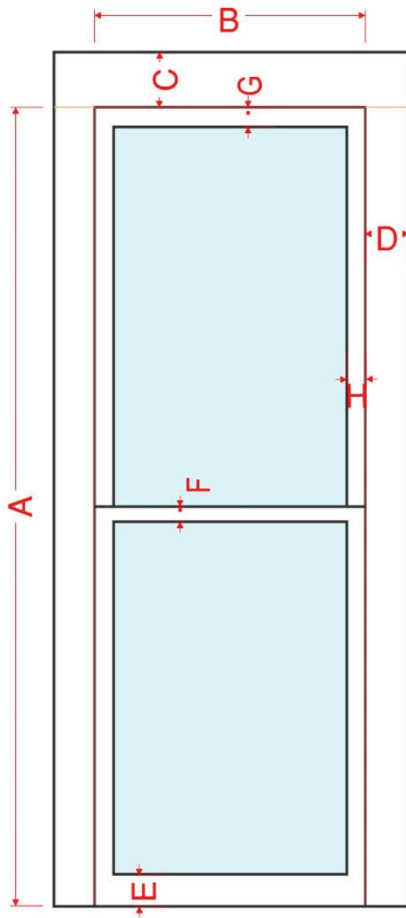
Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Non-operable. Putty dried. Upper sash bad rattle.	2
B	Sash width	3'-11"	Channels corroded and painted.	2
C	Top trim (exterior)	7"	Minor gap stile/rail both sides.	1
D	Side trim (exterior)	6"	Minor wood deterioration starting bottom both sides.	1.5
E	Bottom rail	2-3/8"	Mold & wood deterioration evident across rail. 3/32" gap stile/rail both sides.	2.5
F	Meeting rail	3/4"	1/16" gap stile/rail & T&G right lower sash. 1/16" gap stile/rail upper sash.	2
G	Head rail	2"	Hairline crack stile/rail both sides.	1
H	Side stile	2"		1
			Total Repair Class	13

Windows G and N are identical; these are the large center bay windows. Window G faces the side street while Window N is difficult to see in the tight side yard.

Window O



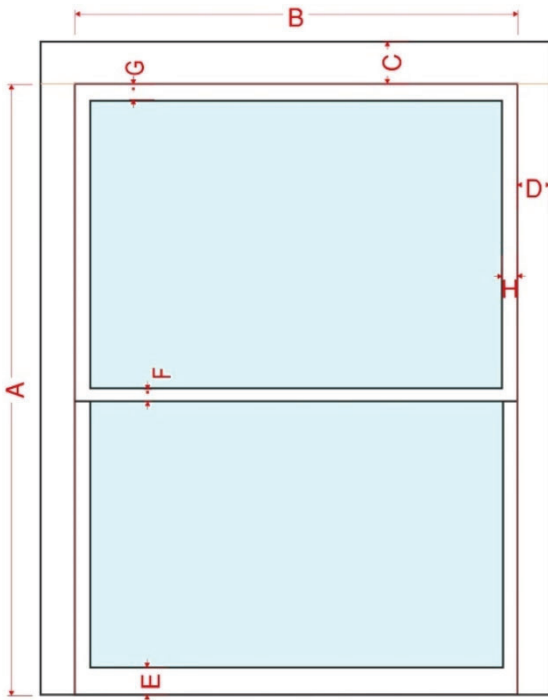
Operation: Single hung
 Hardware: Fitch fastener and one sash handle
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Putty dried & mostly missing. Both sashes rattle.	2.5
B	Sash width	1'-10"	Channels corroded. Non-operable.	2
C	Top trim (exterior)	7"	Minor gap stile/rail both sides.	1
D	Side trim (exterior)	6"	Typical paint. Minor wood deterioration lower.	1
E	Bottom rail	2-3/8"	Wood deterioration. 1/16" gap stile/rail both sides.	2
F	Meeting rail	3/4"	T&G deteriorated left lower sash. 1/16" gap stile/rail both sides upper sash.	2
G	Head rail	2"		1
H	Side stile	2"	Wood deterioration right side upper sash.	1.5
			Total Repair Class	13

Windows F, H, M, and O are all identical and are the small, angled windows on the bays. The bay with M, N, and O faces the small side yard and is barely visible from the street.

Window P



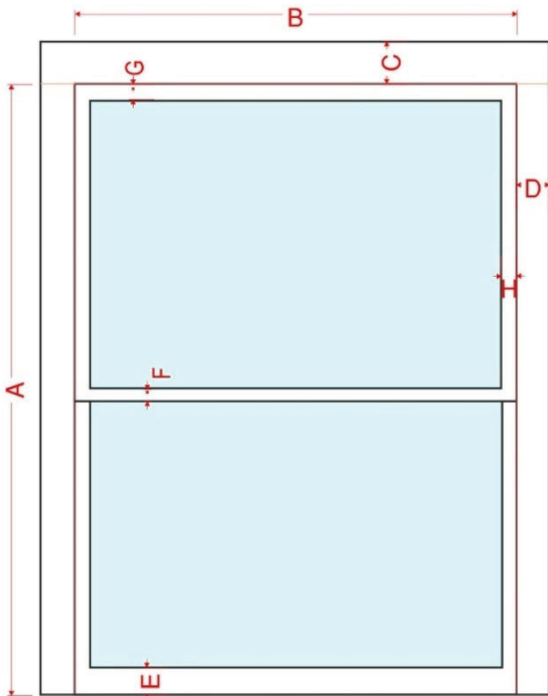
Operation: Single hung
 Hardware: Fitch fastener and two sash handles, peg locks
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



PIECE	SIZE	NOTES	CLASS	
A	Sash height	5'-5"	Operable with wide gaps. Putty dried.	2
B	Sash width	3'-11"	Broken glass bottom sash. Rattles.	2
C	Top trim (exterior)	6"	Minor gap stile/rail center, some wood deterioration	1.5
D	Side trim (exterior)	5"	Minor gap stile/rail top.	1.5
E	Bottom rail	2-3/8"	Stile/rail separation right. 3/32" gap stile/rail left.	2.5
F	Meeting rail	3/4"	1/16" gap stile/rail & T&G left.	2
G	Head rail	2"	Slight gap at stop.	2
H	Side stile	2"	Wood deterioration.	2
			Total Repair Class	15.5

Window P-Q is a ganged version of Window I. It faces the side street.

Window Q



Operation: Single hung
 Hardware: Fitch fastener and two sash handles
 Lift mechanism: Aluminum channel
 Glazing: Single
 Weatherstripping: None



	PIECE	SIZE	NOTES	CLASS
A	Sash height	5'-5"	Lite rattles bottom sash.	2
B	Sash width	3'-11"	Tracks corroded.	2
C	Top trim (exterior)	6"	Minor gap stile/rail center, some wood deterioration	1.5
D	Side trim (exterior)	5"	Typical paint	1
E	Bottom rail	2-3/8"	Separation stile/rail left. 1/8" gap stile rail right. Wood deterioration.	3
F	Meeting rail	3/4"	T&G missing wood (see picture above)	3
G	Head rail	2"	Stop coming loose	2
H	Side stile	2"	Split stile, left lower.	3
Total Repair Class				17.5

Window P-Q is a ganged version of Window I. It faces the side street.

September 5, 2023

Gina Lovell
Amethyst House
322 W. 2nd Street
Bloomington IN 47403

Dear Ms. Lovell:

IFF has been pleased to have the opportunity to work with Amethyst House through the City of Bloomington's Sustainable Bloomington SEEL program to improve energy efficiency in buildings owned by nonprofits in the city. We completed an overall Facility Assessment of your building in 2022, one recommendation of which was to replace or repair the single pane windows in the house, which are very drafty and provide minimal thermal efficiency. This summer we completed an assessment specifically of the windows in the sleeping rooms of the house and herein make the following observations and recommendations:

1. The house is listed as contributing within a local historic district. It was built in 1900. The current windows are all single glazed wood covered by old exterior aluminum storm windows. In addition to the thermal inefficiency of single pane glazing, you report the sleeping room windows as being significantly drafty. On both of our site visits the windows were covered on the interior with plastic film to prevent drafts.
2. You have received a quote to replace the windows with double-pane Andersen 400 Series windows, Energy Star rated with SHGC of .32 and U-factor of .3. The windows proposed by Andersen will fit the existing opening sizes within 3/8" maximum (3/16" both sides). The stiles and rails are within 5/16" of the original widths, and the meeting rail is within 3/4". Only one window has muntins; they are 5/8" wide and the replacement would have the same lite pattern with 3/4" simulated divided lite applied grilles. Historic interior and exterior wood trims will remain.
3. The quote for this Andersen window package is \$20,736. The purpose of the Window Assessment report was to ascertain a cost comparison for replacing the windows compared to rebuilding the windows.
4. We found that the windows proposed to be replaced all fit into Repair Class 2 of the US-GSA Technical Preservation Guidelines. Most of the windows are not operational and repairing them would require removing the sash and frames for off-site restoration.
5. Based on recent comparative projects we estimate the following costs:

a. Remove existing storm windows	\$600 - \$1,000
b. Repair existing windows (remove to offsite)	\$10,000 - \$15,000
c. <u>Provide and install interior storm panels</u>	<u>\$13,000 - \$16,000</u>
Total:	\$23,600 - \$32,000
6. Both proposed window projects will allow for removal of the exterior storm windows, which will greatly enhance the historic appearance of the house.

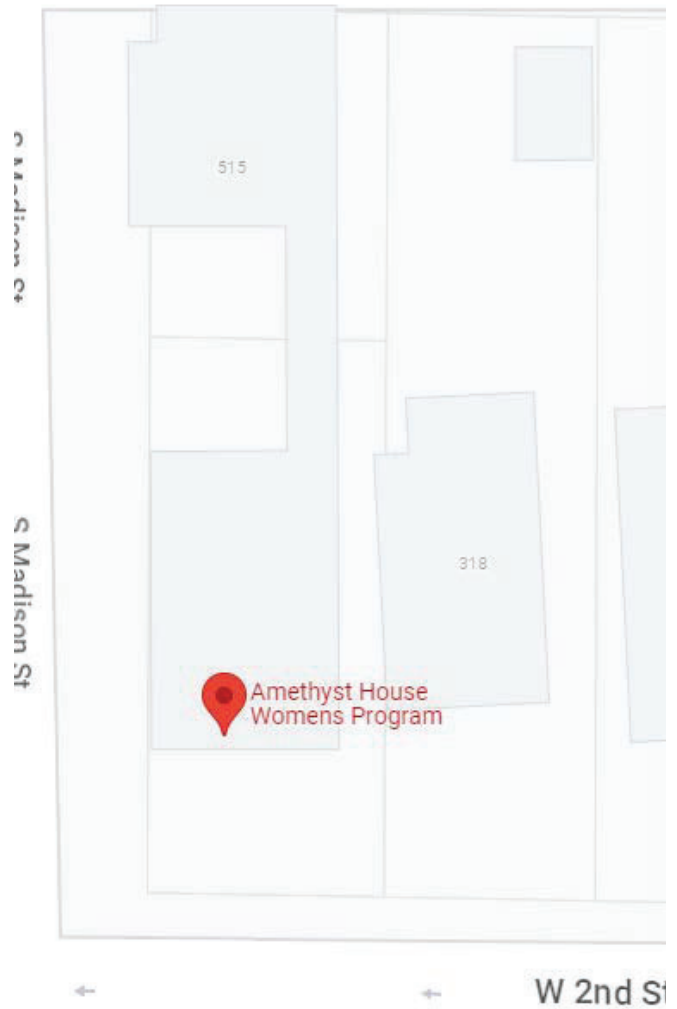
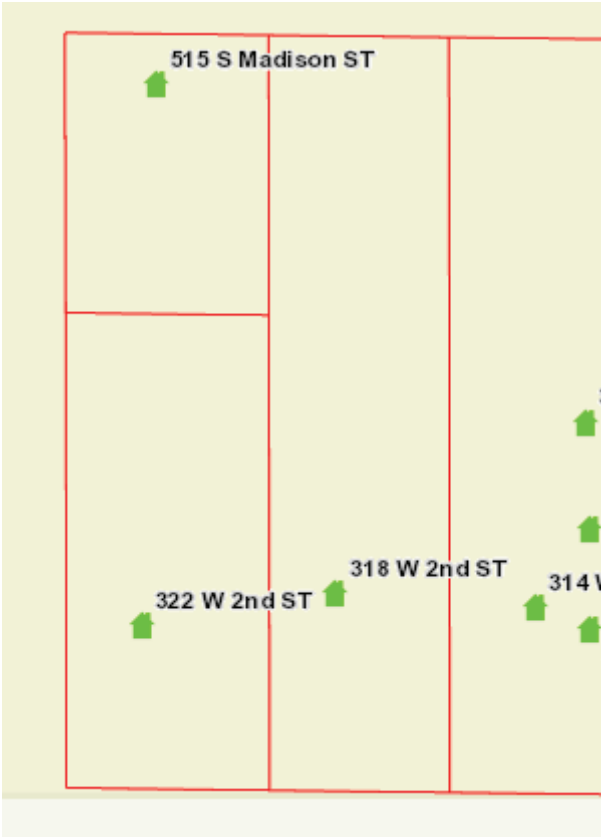
7. While interior storm panels reduce draftiness, they are not operational. Fully operational windows are important for egress safety in sleeping rooms, and while interior storm panels are removable it is not clear if they meet the building code for operable windows as required in sleeping rooms.

Our recommendation is that Amethyst House replace the existing windows with new Andersen windows as proposed. This will contribute to thermal efficiency, comfort, and safety for residents, while also significantly improving the appearance of the historic house.

Please contact me with any further questions,

A handwritten signature in black ink, appearing to read 'Donna Sink', with a long horizontal line extending to the right.

Donna Sink, AIA
IFF Real Estate Solutions



Item Qty Operation Location Unit Price Ext. Price

200 ~~5~~ 2 AA Main Level Big Windows (Width Restriction) \$1,116.16 \$5,580.80

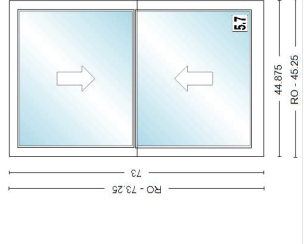
P-Q

RO Size = 45 1/4" x 73 1/4" Unit Size = 44 7/8" x 73"

TWI 3' 8 7/8"X6' 1", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 44.875 x 73 8 Degrees - Moderate Full Screen Aluminum White ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft) Comments:

A1	0.3	0.32	YES	A1	41.0770	31.5790	9.00810
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Item Qty Operation Location Unit Price Ext. Price

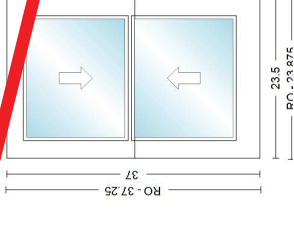
300 1 AA Main Level Bath \$682.95 \$682.95

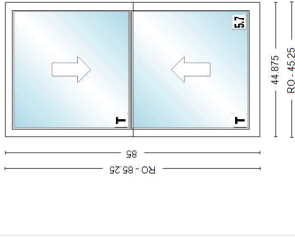
RO Size = 23 1/2" x 37" Unit Size = 23 1/2" x 37"

TWI 1' 11 1/2"X3' 1", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 23.5 x 37 8 Degrees - Moderate Full Screen Aluminum White ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft) Comments:

A1	0.3	0.32	YES	A1	19.7020	13.5790	1.85790
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Item Qty Operation Location Unit Price Ext. Price
600 **1** **AA** **Upper Stairwell** **\$1,412.11** **\$1,412.11**

****Tempered** (Width Restriction)**

A

Unit Size = 44 7/8" x 85"

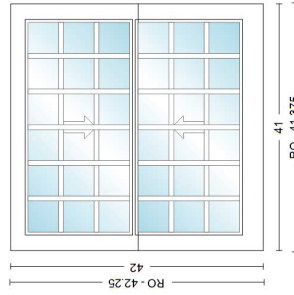
RO Size = 45 1/4" x 85 1/4"

TWI 3' 8 7/8"X7' 1", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Tempered Argon Fill Stainless Glass / Grille Spacer, Traditional, 2 Sash Locks Stone (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 44.875 x 85 8 Degrees - Moderate Full Screen Aluminum White

Unit # U-Factor SHGC ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft) **Comments:**

A1 0.31 0.31 NO A1 41.0770 37.5790 10.7197



Item Qty Operation Location Unit Price Ext. Price
700 **1** **AA** **Upstairs Bath** **\$1,820.66** **\$1,820.66**

C

Unit Size = 41 3/8" x 42 1/4"

TWI 3' 5"X3' 6", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 6 Wide, 3 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 41 x 42 8 Degrees - Moderate Full Screen Aluminum White

Unit # U-Factor SHGC ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft) **Comments:**

A1 0.3 0.28 YES A1 37.2020 16.5790 4.28310

Item Qty Operation Location Unit Price Ext. Price
800 4 AA Upstairs Big Windows (Width Restriction) \$1,116.16 \$4,464.64

E-G-I-N

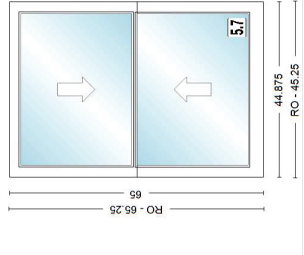
Unit Size = 44 7/8" x 65"

TWI 3' 8 7/8"X5' 5", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 44.875 x 65 8 Degrees - Moderate Full Screen Aluminum White

Unit # SHGC U-Factor Energy STAR Clear Opening/Unit # Width Height Area (Sq. Ft) Comments:

A1 0.3 0.32 YES A1 41.0770 27.5790 7.86710



Item Qty Operation Location Unit Price Ext. Price
900 4 AA Upstairs Bumpout Sides \$899.88 \$3,599.52

F-H-M-O

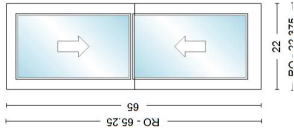
Unit Size = 22 3/8" x 65 1/4"

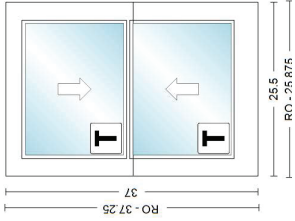
TWI 1' 10"X5' 5", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 22 x 65 8 Degrees - Moderate Full Screen Aluminum White

Unit # SHGC U-Factor Energy STAR Clear Opening/Unit # Width Height Area (Sq. Ft) Comments:

A1 0.3 0.32 YES A1 18.2020 27.5790 3.48610



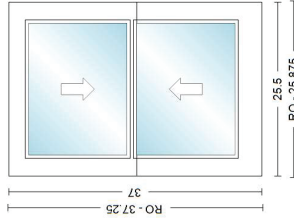


Item Qty Operation Location Unit Price Ext. Price
 1000 1 AA Upstairs Shower **Tempered** \$803.47 \$803.47

RO Size = 25 7/8" x 37 1/4" Unit Size = 25 1/2" x 37"

Unit # SHGC U-Factor A1 0.31 0.31
 Insect Screen 1: 400 Series Double-Hung-Insert, TWI 25.5 x 37 8 Degrees - Moderate Full Screen Aluminum White
 ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft) Comments:
 NO A1 21.7020 13.5790 2.04650

K



Item Qty Operation Location Unit Price Ext. Price
 1100 1 AA Upstairs Bath \$682.95 \$682.95

RO Size = 25 7/8" x 37 1/4" Unit Size = 25 1/2" x 37"

Unit # SHGC U-Factor A1 0.32 0.32
 Insect Screen 1: 400 Series Double-Hung-Insert, TWI 25.5 x 37 8 Degrees - Moderate Full Screen Aluminum White
 ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft) Comments:
 YES A1 21.7020 13.5790 2.04650

L

Item Qty Operation Location Unit Price Ext. Price
1200 **14** **None Assigned** **None Assigned** **\$375.00** **\$5,250.00**

Labor to install single pocket windows, border wrap exterior

Comments:

Item Qty Operation Location Unit Price Ext. Price
1300 **10** **None Assigned** **None Assigned** **\$425.00** **\$4,250.00**

Labor to install bigger windows, will need to fill in a

Comments:

UNIT	COST	INFILL LABOR	STANDARD LABOR
A	\$ 1,412.11	\$ 425.00	
B	\$ -		
C	\$ 1,820.66		\$ 375.00
D	\$ -		
E	\$ 1,116.16	\$ 425.00	
F	\$ 899.88		\$ 375.00
G	\$ 1,116.16	\$ 425.00	
H	\$ 899.88		\$ 375.00
I	\$ 1,116.16	\$ 425.00	
J	\$ -		
K	\$ 803.47		\$ 375.00
L	\$ 803.47		\$ 375.00
M	\$ 899.88		\$ 375.00
N	\$ 1,116.16	\$ 425.00	
O	\$ 899.88		\$ 375.00
P	\$ 1,116.16	\$ 425.00	
Q	\$ 1,116.16	\$ 425.00	
SUMS	\$15,136.19	\$ 2,975.00	\$ 2,625.00
	TOTAL		\$20,736.19

SUB-TOTAL:	\$34,291.22
FREIGHT:	\$0.00
LABOR:	\$0.00
TAX:	\$1,735.39
TOTAL:	\$36,026.61

CUSTOMER SIGNATURE _____

DATE _____

* All graphics as viewed from the exterior. ** Rough opening dimensions are based on drawings. *** All dimensions are in feet unless otherwise noted. All dimensions are to be used for use of building wraps

STAFF RECOMMENDATIONS	Address: 934 W 2nd St.
COA 23-80 934 W 2nd St.	Petitioner: Don and Lisa Weiler
Application Date: 10/12/2023	Parcel: 53-08-05-111-009.000-009
RATING: CONTRIBUTING	Survey: c. 1910, Gabled ell



Background: Greater Prospect Hill Historic District

Request: Full demolition and new construction.

Committee Comments:

Jeff Goldin: "I was in this residence in 1999. Based on my visit to the property, the improvements were in poor condition at that time, and I believe that there is nothing worth saving.

Given that Mr. Weiler's plan for new improvements fits the GPHHD guidelines, I support razing the current improvements and constructing a new residence that within the guidelines."

Guidelines: Greater Prospect Hill Historic District Guidelines

DEMOLITION:

When considering a proposal for demolition, the BHPC shall consider the following criteria for demolition as guidelines for determining appropriate action. The HPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter only if it finds one or more of the following:

1. The structure poses an immediate and substantial threat to public safety as interpreted from the state of deterioration, disrepair, and structural stability of the structure. The condition of the building resulting from neglect shall not be considered grounds for demolition.
2. The historic or architectural significance of the structure is such that, upon further consideration by the Commission, it does not contribute to the historic character of the district.
3. The demolition is necessary to allow development which, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
4. The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition.
5. The structure is accidentally damaged by storm, fire or flood. In this case, it may be rebuilt to its former configuration and materials without regard to these guidelines if work is commenced within 6 months.

NEW CONSTRUCTION

pg 16: (MATERIALS) When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used.

pg 17: (SETBACK) A new building's setback should conform to the setback pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed

Staff Recommendation:

- It is always preferable to save a building when it can be saved. It is also the responsibility of the property owner to maintain their property.
- This property is in a highly deteriorated state. However, the same owner has kept it over the last 20 years and had ample time to maintain, restore, and rehabilitate the building in this time.
- The Greater Prospect Hill Historic District Construction Subcommittee member who commented referenced a poor state of deterioration before the current owner purchased the building and supports the project.
- The proposed building is of a more contemporary style that calls back to the craftsman bungalow and complies with the new building parameters



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 934 W 2nd St

Parcel Number(s): 53-08-05-111-009.000-009

(OFFICE USE ONLY)

Filing Date: 10/12/2023

Case Number: COA 23-80

HPC Hearing Date: 10/26/2023

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: _____

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Don & Lisa Weiler Email: don@myweiler.com

Address: PO Box 3134, Bloomington, IN 47402 Phone: 812-325-6384

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: _____ Email: _____

Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): _____

ADDITIONAL REQUIRED DOCUMENTS

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: Don Weiler Date: 10/12/2023

INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map at https://bton.in/M_pUv](https://bton.in/M_pUv) provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps at https://monroein.elevatemaps.io/](https://monroein.elevatemaps.io/) or [Google Maps \(maps.google.com\)](https://maps.google.com/) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

Certificate of Appropriateness

Supplemental Information

Address: 934 W. 2nd St, Bloomington, IN 47403

Property Owner: Don and Lisa Weiler

Nature of proposal: My wife Lisa and I recently signed a purchase agreement on the property. Our goal is to construct a bungalow that meets or exceeds the criteria outlined in the Greater Prospect Hill Guidelines and return the parcel to its prior use as a residential property.

The existing structure has not had a person living there for about 30 years. A structural engineer inspected the property and, unfortunately, the roof and floor systems are collapsing, the windows are rotted and there is not much that is salvageable for reuse.

Two trees on the property have significant dieback which has previously caused damage to the house and adjoining property. Our plan is to remove these dying trees and replace them with native shade trees.

The current concrete block, detached garage on the property is not historically appropriate and does not meet the current setback guidelines. Our plan is to build a detached garage that corrects both current conditions.

Proposed design and materials:

- Gabled-ell-inspired front façade
- Alignment of front façade with neighboring properties
- Classic unenclosed front porch with thick support columns
- Smooth, fiber cement lap siding
- Craftsman style 3-over-1 windows
- Dimensional asphalt shingled roof
- Trim elements common in period bungalows - e.g., horizontal facade break, detailed soffit millwork



Quintessential Windows

While Craftsman Bungalow homes utilize a variety of window types, some themes remain consistent within the style.

Double-hung windows with stained wood interiors are predominant, but casement windows are also common. The windows are typically vertical in proportion, although single opening accent windows do not always follow this rule (see page 11 for more on accent windows).

Grilles are used in the upper windows and are vertically proportioned or square. Grilles are never horizontal, even in accent windows.



Casement exterior



Casement interior

Quintessential Doors

Craftsman Bungalow homes typically have one main entry door, although there can be numerous auxiliary doors leading to patios, decks, the backyard or a side yard. Both main entry and auxiliary doors are rectangular.

The appearance of main entry doors ranges from plain to fancy and does not necessarily correspond to the overall elaborateness of the home. The main entry is most often a single inswing door. For an opening that is wider than standard dimensions, a single door is widened within buildable limits. Double doors are appropriate only in auxiliary locations, never on the front facade, and are typically hinged.

Due to the reverence for wood in the Arts & Crafts movement, Craftsman Bungalow doors typically feature stained wood and are rarely painted. Stained wood also helps accentuate any use of art glass, which is common to doors of this style.



Main entry door exterior



Auxiliary patio door exterior

Sash & Grille Design

Craftsman Bungalow style windows offer rich character that greatly contributes to the overall look of the home.

The sash thickness is traditionally 1 $\frac{3}{8}$ " with a deep glass setback placed near the middle of that measurement. Additionally, grille profiles are alike on the interior and the exterior respectively.

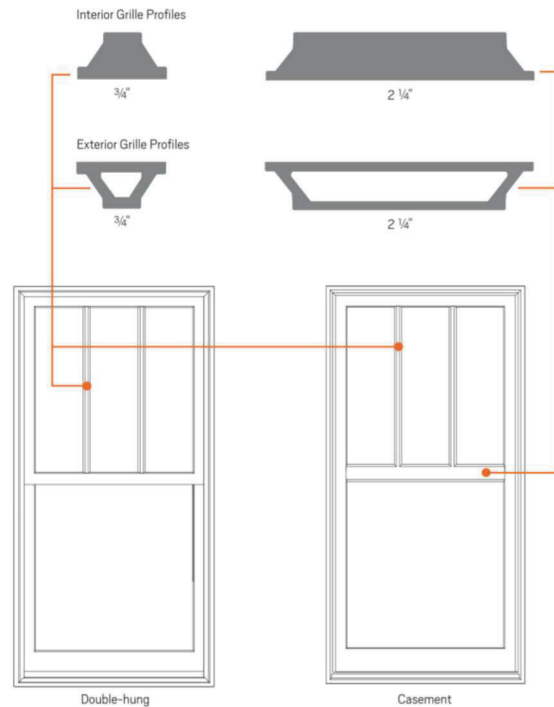
For double-hung windows, the top rail of the sash should be the same width as the stiles. Also, the bottom rail should be wider than the stiles and the top rail.

• ANDERSEN AUTHENTICITY •

Andersen® A-Series windows were designed in conjunction with leading architects. As such, double-hung, casement and picture windows feature these sash and grille details for architectural authenticity:

- Bottom rail of the sash is wider than the stiles and top rail
- A deep glass setback for historical accuracy
- Grille profile faces that are flush with the sash face to simulate traditional wood muntins
- Exterior grille profiles accurately simulate the look of putty glazing on a historic window

Andersen products allow you to specify custom grille patterns, making it easy to create an exact match in historical applications.



Our 2 $\frac{1}{4}$ " wide grille can be positioned horizontally across a casement window to simulate the look of a double-hung window.

Specifications: LP® SmartSide® Lap Siding

SMOOTH FINISH LAP

SMOOTH APPEARANCE, ADVANCED DURABILITY OF ENGINEERED WOOD

- Holds up in extreme weather, including moisture, hail, freeze/thaw cycles, and up to 200 mph wind gusts
- Treated with the SmartGuard® process for superior protection against the weather, fungal decay and termites
- 16' length can result in faster installation and fewer seams
- Pre-primed for exceptional paint adhesion
- Backed by an industry-leading 5/50-year limited warranty
- APA-certified lap siding
- Treated engineered wood strand substrate



Smooth Finish

POTTER ENGINEERING
Structural Engineering
P.O. Box 5563
Bloomington, IN 47407
Phone (812) 331-7981
EMAIL- kevinbpotter@gmail.com

June 26, 2023

Don Weiler
don@bailey-weiler.com

Re: 934 West 2nd Street, Bloomington, IN

Per your request, we recently performed a structural inspection for the residential structure located at 934 West 2nd Street, Bloomington, IN. This home is vacant and has fallen into a state of disrepair.

In our opinion, the following repairs would be required to bring this residence in compliance with the International Residential Code and to make the structure habitable.

1. The roof has failed over the northeast room with large holes in the roof and extremely damaged roof sheathing. (See attached photo #3) The roof leakage has caused the floor structure to fail as shown on photos #6 and #7) The two exterior walls for this room are also in poor condition.

Repair of this room would require complete demolition of the floor structure, exterior walls, and roof structure. The foundation may also need to be replaced under the two exterior walls. The entire room would need to be re-framed including the floor structure, walls, and roof structure. New siding, roof sheathing, roof shingles, exterior siding, and interior wall finish materials would also be required.

2. The roof has multiple shingle layers and damaged wood decking due to failure of the shingles. Water damage to the shingles has occurred in two locations as shown on photos #8 and #9.

A complete tear-off of the roof shingles is required. Substantial areas of replacement of the roof sheathing will also be required. Roof rafter repair will also be required. In particular, the exterior ends of the rafters have visible damage. New roof underlayment, shingles, fascia boards, and soffits will be required.

3. All interior wall finish materials will need to be removed and replaced. There has been substantial damage to the wood paneling and ceiling as shown on photos 8, 9, 10, and 11. All interior finishes will need to be removed down to the wall studs and ceiling joists. Some wood stud repair and ceiling joist repair may be required

depending on conditions found. Floor structural reinforcement will be required in some areas to correct sagging conditions.

4. The exterior siding is vinyl siding. The siding is very dirty and stained with missing siding sections. (see photos 2, 3, 4, and 5) All existing siding will need to be removed and replaced with new vinyl siding or cement board siding.
5. The existing windows and exterior doors are dated and damaged with poor energy performance. (see photos 1, 2, 3, 4, and 5) All new energy efficient windows and exterior doors are recommended.
6. The limestone railing on the front side of the porch is missing. A portion of the original stone railing on the east side of the porch still exists. (See photo 1) Unfinished wood posts are now supporting the roof since the railing has been removed.

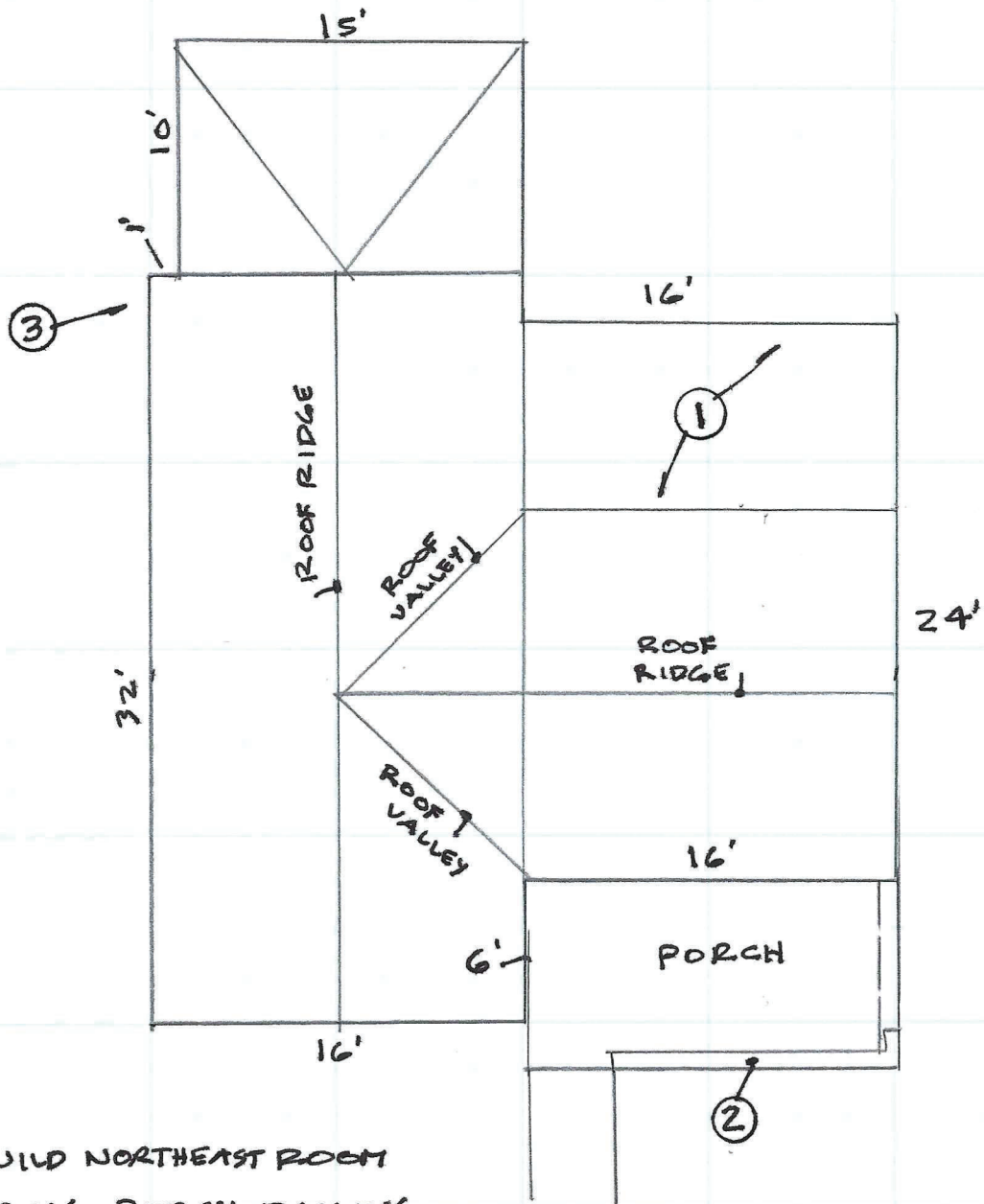
A new limestone railing would be required in the missing sections along the entire south side of the porch and at the south end of the east side with the new railing matching the existing railing section. If historic preservation would approve, it would be less expensive to remove the remaining limestone railing and install a new wood or vinyl railing system. New porch roof support posts would also be required for either type of railing.

7. In addition to the structural repairs as described above, additional upgrades are required as follows:
 - a. New electrical wiring, electric panel, wall outlets, ceiling lighting, and switches.
 - b. New plumbing supply lines, plumbing drain lines, bathroom fixtures, and kitchen sink.
 - c. New complete HVAC system
 - d. Ceiling insulation, wall insulation, and perimeter foundation wall insulation.
 - e. New kitchen cabinets and bathroom cabinets
8. Kevin B. Potter Additional repairs beyond the listed repairs may also need to be performed depending on conditions found after removal of finish materials and inspection of structural members now concealed by finish materials.

Please contact us if there are questions.



Kevin B. Potter
Structural Engineer/ Inspector



- ① REMOVE/REBUILD NORTHEAST ROOM
- ② REBUILD MISSING PORCH RAILING
- ③ MISSING VINYL SIDING

934 W. 2ND STREET
 BLOOMINGTON, IN 47403



STAFF RECOMMENDATIONS	Address: 2920 E 10th St.
COA 23-80 2920 E 10th St.	Petitioner: Steve Wyatt (Bloomington Restorations Inc.)
Application Date: 10/12/2023	Parcel: 53-05-35-300-040.000-005
RATING: OUTSTANDING	Survey: c. 1892, Queen Anne



Background: Garton Farmstead Historic District

Request: New garden fence and stand alone shed

Guidelines: Secretary of the Interior's Standards

Staff Recommends Approval of COA 23-80

- Farmsteads have historically consisted of a combination of the main house accompanied by accessory structures.
- Staff believes that the proposed accessory structure would not compete in size, scale, or location with the existing house.
- The proposed fence would not negatively impact the historic district.



CITY OF BLOOMINGTON

HOUSING AND NEIGHBORHOOD DEVELOPMENT

Bloomington Historic Preservation Commission

APPLICATION FORM FOR CERTIFICATE OF APPROPRIATENESS

INFORMATION ABOUT THE PROPERTY

Address of Property: 2920 E. Tenth St.

Parcel Number(s): 53-05-35-300-040.000-005

(OFFICE USE ONLY)

Filing Date: _____

Case Number: _____

HPC Hearing Date: _____

Bloomington Historic District:

- Courthouse Square Historic District
- Elm Heights Historic District
- Fairview Historic District
- Garden Hill Historic District
- Greater Prospect Hill Historic District
- Maple Heights Historic District
- Matlock Heights Historic District
- McDoel Historic District
- Near West Side Historic District
- Prospect Hill Historic District
- Restaurant Row Historic District
- Showers Brothers Furniture Factory Historic District
- University Courts Historic District
- Other: Hinkle-Garton Farmstead

RATING (City of Bloomington Survey of Historic Sites and Structures)

- Outstanding
- Notable
- Contributing
- Non-Contributing

APPLICANT INFORMATION:

Name: Bloomington Restorations, Inc. Email: bri@bloomingtonrestorations.org

Address: 2920 E. Tenth St. Phone: 812-336-0909

PROPERTY OWNER INFORMATION:

Check if the Applicant is the property owner

Name: _____ Email: _____

Address: _____ Phone: _____

PROPOSED WORK (Check all that Apply):

- New construction
 - Principal building
 - Accessory building or structure
 - Addition to existing building
- Demolition
 - Full Demolition
 - Partial Demolition
- Moving a building
- Alterations to the façade or exterior spaces of the property
 - Window replacement
 - Door replacement
 - Siding
 - Roof material
 - Foundation
 - Other façade element: _____
- New Signage
- Alterations to the yard
 - Alteration to fences, walls
 - Tree removal
- Other(s): _____

ADDITIONAL REQUIRED DOCUMENTS

- Written description of the nature of the proposal.
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer's brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction.
- A map of the site with the site boundaries indicated.

CERTIFICATION

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, occupancy, and historic preservation.
3. Any changes made to the project proposal shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.

Applicant's Signature: _____  Date: Oct. 12 2023

INSTRUCTIONS TO PETITIONERS

1. No fee is required for submittal.
2. The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. This can be done in person, via the phone, or teleconference.
3. **Application form:** The [Bloomington Historic Preservation Map](https://bton.in/M_pUv) at https://bton.in/M_pUv provides the historic district and historic building survey. You need to open the layers and click on “Historic Sites and Survey” to find the historic ratings which are color coded.
4. Communicate with the Monroe County Building Department and the City of Bloomington’s Planning and Transportation Department in order to verify if there are additional requirements.
5. In the historic districts listed on the bottom of the page, the petitioner should contact the historic district construction subcommittee and acquire their feedback as early in the process as possible.
6. The petitioner must file a complete application that includes all of the required documents with Housing and Neighborhood Department Staff no later than fourteen days before a scheduled regular meeting.
7. The petitioner, owner or a delegated representative must attend the Bloomington Historic Preservation Commission (BHPC) Meeting. The BHPC meets the second and fourth Thursday of each month at 5:00 P.M. in a hybrid fashion, at the McCloskey Room (401 N Morton St., Room 135) and via Zoom (with a link to be provided). The petitioner will be notified of the Commission’s decision and a Certificate of Appropriateness will be issued to them. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If the petitioner feels uncertain of the merits of the petition, they also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

CHECKLIST OF REQUIRED DOCUMENTS

- Filled and signed Application for the Certificate of Appropriateness
- Written description of the nature of the proposal
- Written description of all of the proposed materials to be used.
- Between 3 and 5 photographs of the historic site and/or structure before changes.
- Scaled drawings or sketches, manufacturer’s brochures, and/or photographic precedents showing the proposed alterations to the exterior, additions, changes, or new construction. **(All images must be clear and submitted either in a physical format or as 150-300 dpi jpg, png, or pdf.)**
- A map of the site with the site boundaries indicated (GIS imagery from sites such as the [Elevate Tax Maps](https://monroein.elevatemaps.io/) at <https://monroein.elevatemaps.io/> or [Google Maps](https://maps.google.com/) (maps.google.com) are acceptable). In the case that the historic district in which the property is located has a construction
- subcommittee, it is highly advisable to contact and review your project with said committee before submitting the application. Contact information for the committee representatives is available upon request from the Historic Preservation Program Manager.

- [Elm Heights Historic District](#)
- [Greater Prospect Hill Historic District](#)
- [Matlock Heights Historic District](#)
- [McDoel Gardens Historic District](#)
- [Near West Side Historic District](#)
- [Maple Heights Historic District](#)

COA Request for flower garden at the Hinkle Garton Farmstead

Bloomington Restorations, Inc. would like to turn the garden space between the farmhouses into a cut flower garden. Rubia Hagans and her Backyard Petals LLC will operate the flower garden, growing seasonal specialty flowers including dahlias.

To grow the flowers, Hagans plans to install deer fencing around the perimeter of the approximately 1/6 of an acre area. She would also build a 120 square foot studio shed.



Aerial photo of the proposed garden space, perimeter in black. The studio shed would go in the 15 foot wide bump out at the bottom of the perimeter line. The fence would follow the black line except for at the bottom of the perimeter line. Then fencing would start 75 feet from the northwest corner extend east 55 feet before resuming the black line.



Garden area from southeast looking northwest



Garden area from northeast looking southwest



Garden area from the northwest looking east



Garden area from the southwest looking northeast



Garden area from the south looking north

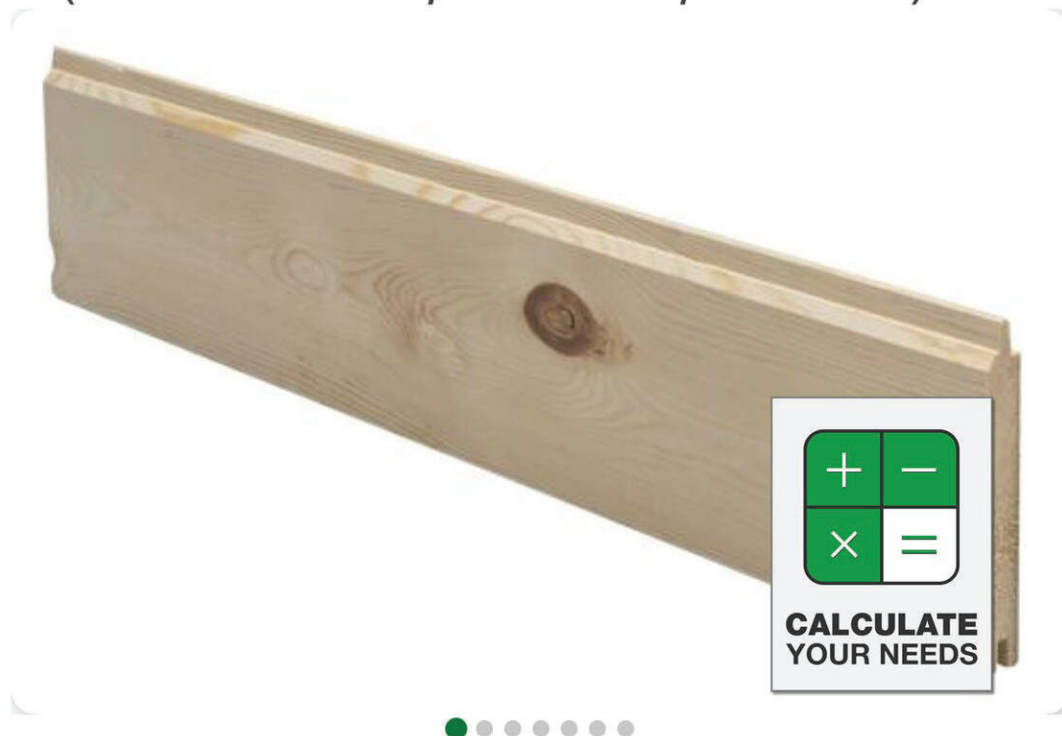


Garden area from the southeast looking northwest

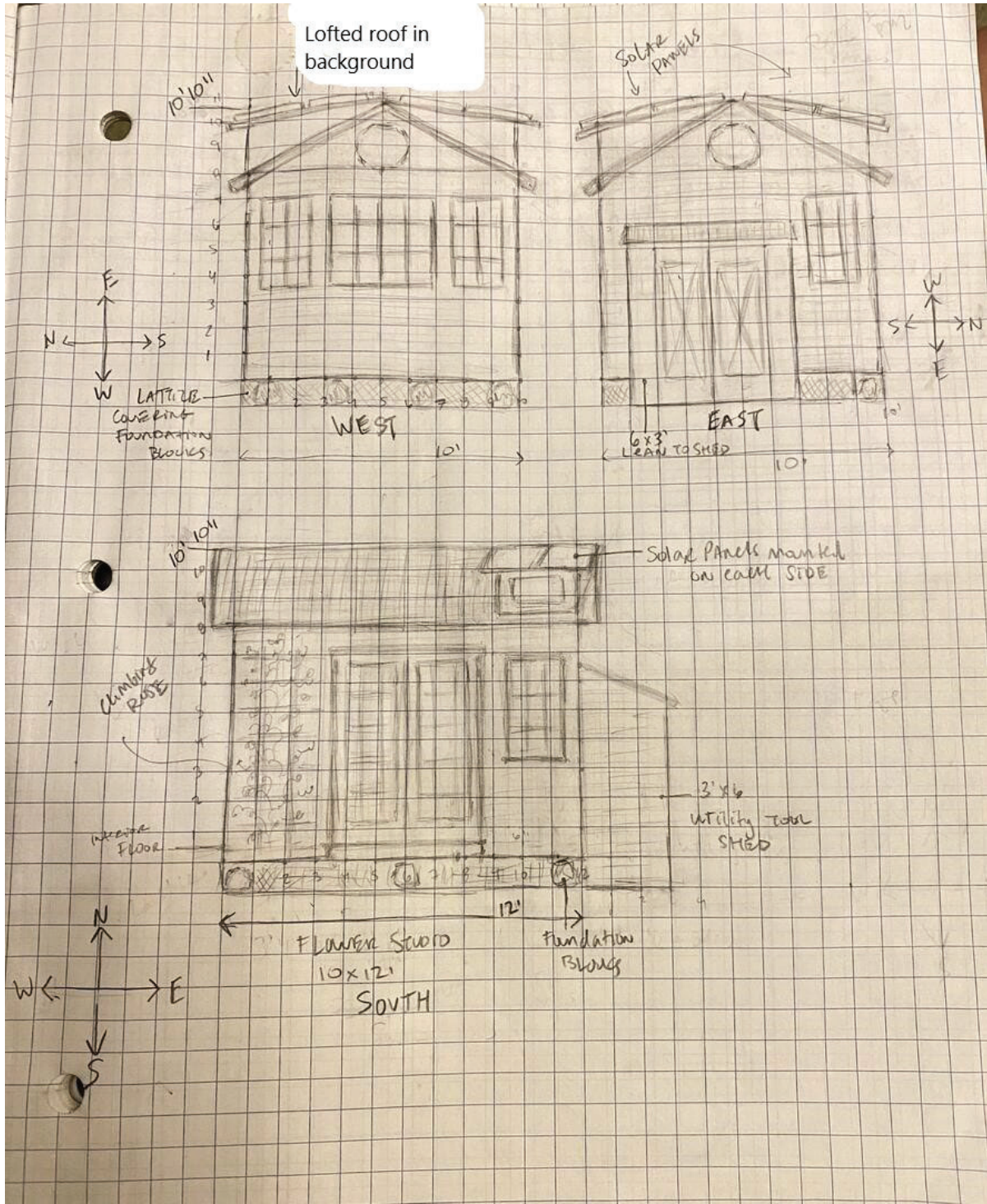
The studio shed would be 12' 10" long, 9' 4" wide, and 10' 10" tall. There will be a small storage loft along the east wall and the loft's north and south walls will be extended to create a lower pitched roof over the loft. Two 28-inch-wide solar panels will be mounted side by side on the lower pitched portion of the roof allowing them to be less visible. The flower studio will have 1x6x14 cedar car siding painted white, with earth-toned asphalt shingles, French doors (60" x 80") with double paned glass windows and exterior grilles, nine white wooden barn sash windows (22" x 42" each) with grilles (most will be operable with casement window hardware), two 20" octagon windows, two 16" x 10" rectangular loft windows, white lattice at the base to cover the foundation blocks and to prevent animals from entering the fenced growing area, and two wooden trellises for climbing roses. There will also be a matching 3' x 6' x 6.5' - 7.5' lean-to utility tool shed against the east wall constructed with the same materials.

1 x 6 x 14' Unfinished Tongue & Groove Carsiding

(Actual Size 23/32" x 5-5/16" x 14')



Shed siding



Studio shed

**Northview Fixed 22"W x
41-5/16"H Ready-to-Finish Pine
Barn Sash with 6-Lite Single Pane
Glass**



Flower shed window



Flower shed window



Flower shed doors

The fencing will be 7' black PVC coated welded wire deer fence. This should be nearly invisible from 20ft away.

7' x 100' Welded Wire-16 ga. galvanized steel core; 14 ga after Black PVC-Coating, Graduated Mesh

In Stock & Ready To Ship!

User Rating Avg. ☆☆☆☆☆ Write a review

MSRP: ~~\$367.95~~
\$329.95
(You save \$38.00)
USUALLY SHIPS WITHIN ONE BUSINESS DAY

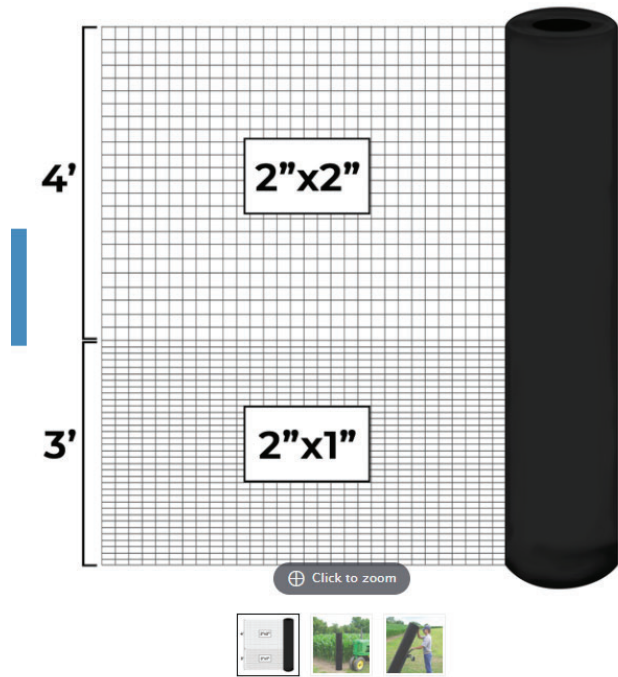
— + **ADD TO CART**

Features and Benefits

- Constructed of 16-gauge galvanized steel wire with black PVC coating for long-lasting durability (14-gauge after PVC coating)
- Graduated horizontal spacing with smaller openings at the bottom to protect plants from smaller wild animals
- Easy DIY Installation around plants and gardens
- Virtually invisible from 20' away
- Dig-resistant and chew resistant

Don't let small critters destroy your plants or vegetable...

[Read More](#)



It will be buried 4"- 6" into the ground (ideally 12"- 24") to make it dig/critter proof. This will result in the fence standing only 6' 6" or so. Fifty 8' T-posts have been purchased to install the fence. Fence gates will be made from treated 2x2 lumber as the frame with fencing wire attached. Gates will be aligned with T-posts and fence in a manner that ensures there are no gaps.

STAFF REPORT - Nomination to a Historic District	Address: 210 E Kirkwood Ave.
HD 23-01 210 E Kirkwood Ave.	Petitioner: Bose McKinney & Evans LLP
	Parcel: 53-05-33-310-229.000-005
RATING: N/A	Survey: c. 2017, Contemporary



Title 8 of the City of Bloomington Ordinances

1. Historic:
 - a. Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation; or is associated with a person who played a significant role in local, state, or national history; or
 - b. Is the site of an historic event; or
 - c. Exemplifies the cultural, political, economic, social, or historic heritage of the community.
2. Architectural:
 - a. Embodies distinguishing characteristics of an architectural or engineering type; or

- b. Is the work of a designer whose individual work has significantly influenced the development of the community; or
- c. Is the work of a designer of such prominence that such work gains its value from the designer's reputation; or
- d. Contains elements of design, detail, materials, or craftsmanship which represent a significant innovation; or
- e. Contains any architectural style, detail, or other element in danger of being lost; or
- f. Owing to its unique location or physical characteristics, represents an established and familiar visual feature of the city; or
- g. Exemplifies the built environment in an era of history characterized by a distinctive architectural style

Staff does not recommend local designation for HD 23-01.

- The application emphasizes the interior features of the building. A historic designation only protects the exterior components of a building as Certificates of Appropriateness are not required for interior alterations.
- A building is generally considered historical when it is 50 years or older with rare exceptions. The Graduate Hotel was built in 2017 and falls well below the age to be considered for historic designation.
- Finally, staff does not believe that the application meets any of the criteria for designation. The building is not historic as of now, that may change in fifty years or so when its impact on the community has been better established.

APPLICATION FORM
Historic Designation
Historic Preservation Commission of the City of Bloomington

Case Number: _____

Date Filed: _____

Date of Commission Hearing: _____

Request: Conservation or Historic District: Historic District

Address of proposed district or description of boundaries:

210 E. Kirkwood Ave., Bloomington, IN 47408

Petitioner's Name: Graduate Bloomington Owner LLC by Bose McKinney & Evans LLP

Petitioner's Address: 111 Monument Circle, Suite 2700, Indianapolis, IN 46204 **Phone Number:** 317-684-5302

Owner's Name: Graduate Bloomington Owner LLC

Owner's Address: 133 N. Jefferson St., 4th Floor, Chicago, IL 60661 **Phone Number:** 312-843-6215

Preparer's Name: Alex C. Intermill

Preparer's Address: 111 Monument Circle, Suite 2700, Indianapolis, IN 46204 **Phone Number:** 317-684-5302

Instructions to Petitioners

The petitioner must attend a preliminary meeting with the staff of the Bloomington Historic Preservation Commission in the Housing and Neighborhood Department during which the petitioner will be advised as to the appropriateness of the designation. **Petitioner, at the time of filing, must present a list of property owners and adjacent property owners to the Commission.** Notice, by first class mail must be postmarked 10 days before the public hearing at which the action is taken. Upon receiving a complete application, the Commission will appoint an Ad Hoc Historic District Committee. If the petitioner is other than the Historic Commission or the district larger than one structure and its accessory buildings, then the Committee will appoint property owners within the proposed district and the Common Council member in that jurisdiction to a special committee which will coordinate required public meetings concerning the designation. The Ad Hoc Committee will determine if secondary and primary areas will be assigned to the district and will categorize each building on the basis of merit.

A vote will be taken at the next regular meeting of the Bloomington Historic Preservation Commission after appropriate educational meetings have taken place. The Commission meets every other Thursday at 5:00 P.M. in the McCloskey Room of Showers City Hall on Morton Street. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting materials. If you feel uncertain of the merits of designation, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action by the Commission must occur within ninety days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys, as requested.

1. A legal description of the proposed district.
2. Provide photographs of the structure(s) proposed for designation. If the district contains several structures, provide a representative sampling.
3. Provide a zoning map and a geographic information system map showing the proposed boundaries of the district. This material may be obtained from staff.
4. Provide copies of any listing on a state or national registry or historic survey information pertinent to the property(s).
5. If the designation is proposed on grounds other than architectural significance, supply evidence of the historic linkages described. Such evidence as deed transfers, Sanborn maps, City Directories and Atlases, written histories, when available, or oral histories may be used.

An historic district must be ruled to meet one of two following criteria by the Historic Preservation Commission:

Historic:

- a) Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, nation; or is associated with a person who played a significant role in local, state, or national history; or
- b) Is the sight of an historic event; or
- c) Exemplifies the cultural, political, economical, social, or historical heritage of the community.

Architecturally worthy:

- a) Embodies distinguishing characteristics of an architectural or engineering type; or
- b) Is the work of a designer whose individual work has significantly influenced the development of the community; or
- c) Is the work of a designer of such prominence that such work gains its value from the designer's reputation; or
- d) Contains elements of design. Detail, materials, or craftsmanship which represents a significant innovation; or
- e) Contains any architectural style, detail or element in danger of being lost; or

GIS Boundary Map

210 E. Kirkwood Avenue



210 E. Kirkwood Avenue

Adjacent Property Owners

1. 200 E. Kirkwood Ave. – Bailey 8 LLC
2. 219 E. 4th St. – First United Methodist Church of Bloomington Inc.
3. 111 S. Lincoln St. – GP-GMS Bloomington LLC
4. 303 E. Kirkwood Ave. – Monroe County Public Library
5. 300 E. Kirkwood Ave. – GP-GMS Bloomington LLC
6. 221 E. Kirkwood Ave. – ERL Combo 12 LLC
7. 205 E. Kirkwood Ave. – ZZ First Christian Church

Graduate
HOTELS



Welcome to

GRADUATE BLOOMINGTON

On Kirkwood Ave, tucked between Courthouse Square and IU's iconic Sample Gates, sits Graduate Bloomington — a locally inspired hotel honoring the town's rich history and that famous Hoosier spirit.



Sharing Bloomington's Story

The story of Bloomington is told throughout our spaces, with unique design details inspired by local history and campus legends.

At the Front Desk:

Crossword floor: The lobby's black and white tile floor pays homage to NYT crossword puzzle editor Will Shortz, IU's first and only enigmatology major.

Front desk art: A specially commissioned painting behind the front desk celebrates the 1952-53 Indiana Hoosiers men's basketball team, who famously defeated defending champs Kansas to win their second NCAA title.

Hoop chandeliers: Vintage basketball hoops were used to create the hotel's unique, custom chandeliers.



In the Lobby:

Gallery wall: More than 60 pieces of custom art come together to tell the story of Bloomington, with paintings, photos and video installations inspired by the town's music, art and agricultural history.

Bleacher seats: Sourced from local gyms, authentic vintage wood bleachers provide seating in the Lobby.

Corridor carpet: Specially designed for the hotel, our carpet brings together icons of Indiana, including the state seal, peonies (the state flower) and a few basketball references for good measure.





Poindexter:

At our Poindexter café, an extensive collection of cookie jars celebrates Granny's Cookie Jars & Ice Cream in nearby Metamora, Indiana. The shop's owner Edith Eva Fuchs holds the Guinness World Record for "largest collection of cookie jars," with more than 2,650 on display in her petite shop.

We sourced Poindexter's cookie jars from across the state of Indiana, for an authentic Midwestern experience.

Meeting Spaces:

Custom bicycle wheel light fixtures in our Hoagy Carmichael Room are a nod to IU's famous Little 500 bike race.



Guestrooms:

Throw blanket: A nod to the song "Pink Houses" by Indiana's own John Mellencamp.

Nightstand lamp: Decorated with a custom peony print to celebrate Indiana's state flower.

Wood headboards: Inspired by the iconic Hoosier cabinet, introduced in 1898.

Bathroom wallcovering: The hand-drawn pattern of people biking is another nod to "The World's Greatest College Weekend," Little 500.



Guestroom Art:

"Stardust" sheet music: Honoring the inventive and influential composer Hoagy Carmichael, who was born and raised in Bloomington.

Dr. Kinsey cartoons: The groundbreaking Kinsey Institute for Research in Sex, Gender and Reproduction was founded at IU in 1947, by pioneering sexologist Dr. Alfred C. Kinsey.

Dalai Lama portrait: Bloomington is home to two of the largest Buddhist centers in the Midwest. His Holiness the 14th Dalai Lama has visited numerous times, and his older brother, Professor Thubten Jigme Norbu, lived in town until his death in 2008.

Jane Pauley portrait: Jane Pauley, the famed IU alum, Indianapolis native and influential journalist, is one of the most respected women in television news.

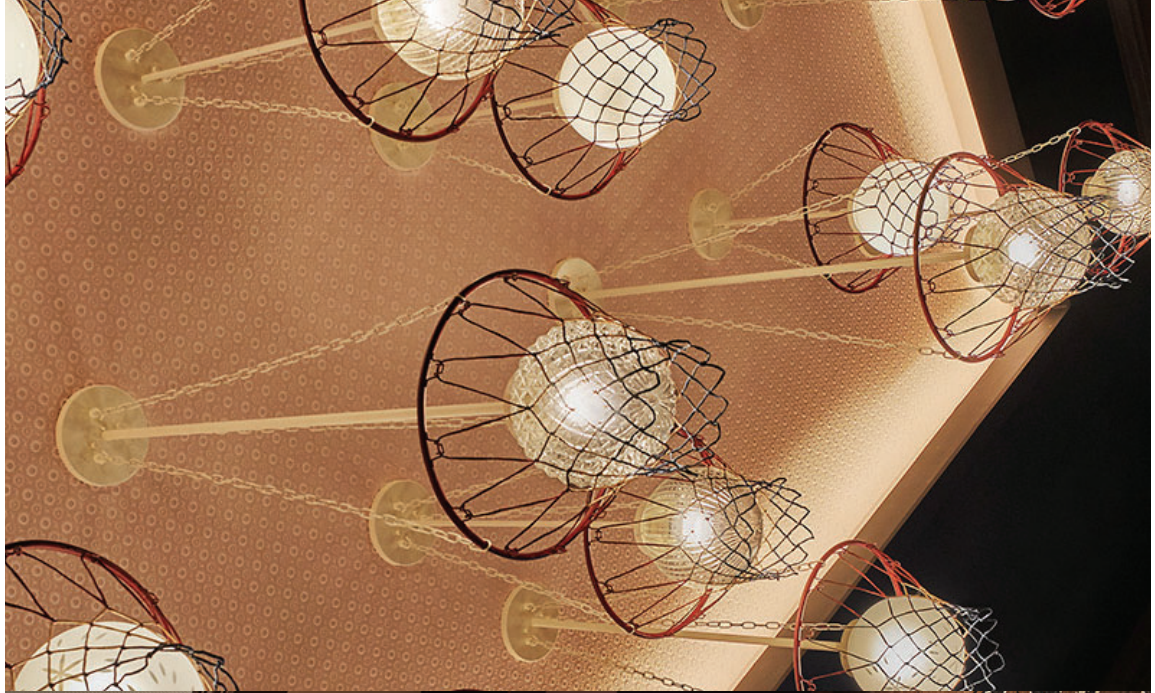


Stranger Things Suite:

Our Stranger Things Suite brings Hawkins, Indiana to Bloomington, immersing guests in the show. Find Joyce Byers' living room, complete with floral wallpaper, a pull-out sofa bed and, of course, Christmas lights, and the Wheeler's basement, classic wood-paneled and all. To create this pop-culture experience, our team rigorously analyzed the show, diving deep into set production and the creators' inspiration.

A collage of interior design photos. The background is a grid of various room photos. The top-left photo shows a wall with dark wood paneling, a framed picture of a sports team, and a wooden cabinet. The top-right photo shows a leather tufted sofa, a wooden coffee table with books and a plant, and a patterned rug. The bottom-left photo shows a wall with floral wallpaper and a track lighting fixture. The bottom-right photo shows a wall with wood paneling and a patterned rug. In the center, there is a white rectangular box with a red border containing the text "Additional Photos" in a cursive font.

Additional Photos







Zoning Map

210 E. Kirkwood Avenue

