

# CITY OF BLOOMINGTON



## PLAN COMMISSION

April 15, 2024      5:30 p.m.  
Council Chambers, Room #115  
Hybrid Zoom Link:

<https://bloomington.zoom.us/j/82362340978?pwd=ZnExeVNaSUNGVGdZQTJHNjBBb3M0UT09>

Meeting ID: 823 6234 0978      Passcode: 622209

**CITY OF BLOOMINGTON  
PLAN COMMISSION (Hybrid Meeting)**

❖City Council Chambers, 401 N Morton Street Bloomington – Room #115  
April 15, 2024 at 5:30 p.m.

❖Virtual Link:

<https://bloomington.zoom.us/j/82362340978?pwd=ZnExeVNaSUNGVGdZQTJHNjBBb3M0UT09>

Meeting ID: 823 6234 0978      Passcode: 622209

Petition Map: <https://arcg.is/mzuCf>

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**ROLL CALL**

**MINUTES TO BE APPROVED:** February 12, 2024 and March 11, 2024

**REPORTS, RESOLUTIONS AND COMMUNICATIONS:**

**RS-18-24**      Resolution for David Hittle as Director of Planning and Transportation

**PETITIONS TABLED:**

**SP-24-22      Cutters Kirkwood 123 LLC**

115 E Kirkwood Ave

Parcel: 53-05-33-310-062.000-005

Request: Major site plan approval to construct a 4-story building with 3 floors of residential units over a ground floor parking garage and retail space in the MD-CS zoning district. The upper floors will consist of 15 dwelling units for a total of 38 beds. Case Manager: Karina Pazos

**ZO-34-23      City of Bloomington Planning and Transportation**

Text Amendment

Request: Text amendment related to Sign Standards and request for waiver of second hearing. Case Manager: Jackie Scanlan

*\*\*Next Meeting April 15, 2024*

**Last Updated: 4/15/2024**

**Auxiliary aids for people with disabilities are available upon request with adequate notice.**

**Please call [812-349-3429](tel:812-349-3429) or e-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).**

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact the **Melissa Hirtzel** at [hirtzelm@bloomington.in.gov](mailto:hirtzelm@bloomington.in.gov) and provide your name, contact information, and a link to or description of the document or web page you are having problems with.

## **PETITIONS CONTINUED TO MAY 13, 2024**

**ZO-45-23**     **Indiana Center for Recovery, LLC**  
1003, 1005, 1007, 1008, 1010, 1018 West 1<sup>st</sup>, 649 & 651 S Walker  
Parcel: 53-08-05-100-036.000-009; 53-08-05-100-033.000-009;  
53-08-05-100-096.000-009  
Request: Rezone 1.66 acres from Residential Small Lot (R3) to Mixed Use Healthcare (MH) Case Manager: Eric Greulich

### **PETITIONS:**

**SP-09-24**     **Beacon INC.**  
1201 W 3<sup>rd</sup> ST  
Parcel: 53-08-05-201-001.000-009  
Request: Site plan approval to allow the construction of a 48,000 sq ft “supported housing, large” facility with 20 supportive housing units and 5 dwelling units in the Mixed-Use Medium Scale (mm) zoning district. Case Manager: Eric Greulich

**SP-11-24**     **Core Bloomington Lincoln, LLC**  
208 ½ E 19<sup>th</sup> ST  
Parcel: 53-05-28-300-025.000-005, 53-05-28-300-179.000-005, 53-05-28-300-008.000-005, 53-05-28-317-006.000-005, 53-05-28-300-091.000-005, 53-05-28-317-005.000-005, 53-05-28-317-004.000-005, 53-05-28-317-010.000-005, 53-05-28-300-087.000-005, 53-01-30-438-002.000-005, 53-05-28-300-175.000-005, 53-05-28-300-071.000-005, 53-05-28-300-101.000-005, 53-05-28-300-102.000-005, 53-05-28-300-107.000-005, 53-05-28-300-172.000-005, 53-05-28-300-183.000-005, 53-05-28-300-009.000-005, 53-05-28-300-022.000-005, 53-05-28-300-188.000-005, 53-05-28-300-189.000-005  
Request: Site plan approval to allow a “Student Housing for Dormitory” use for the construction of 441 units with 1,143 bedrooms in the Mixed-Use Student Housing (MS) zoning district. Case Manager: Eric Greulich

**MP-15-24:**     **Amendment to the City of Bloomington's Comprehensive Plan**  
In order to incorporate one new goal, and three new policies related to accessible transportation and mobility principles. As directed by the Common Council in Resolution 23-14. Case Manager: Ryan Robling

*\*\*Next Meeting April 15, 2024*

**Last Updated: 4/15/2024**

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CITY OF BLOOMINGTON  
PLAN COMMISSION  
RS-18-24

WHEREAS, the Common Council of the City of Bloomington, Indiana, has established a Planning & Transportation Department under Bloomington Municipal Code § 2.14.000; and,

WHEREAS, on April 1, 2024, Mayor Kerry Thomson appointed David Hittle as Director of the Planning & Transportation Department of the City of Bloomington, Indiana; and,

WHEREAS, Indiana Code § 36-4-9-2(a)(4) states that appointment of the head of the Planning & Transportation Department is subject to the approval of the City's Plan Commission; and,

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY OF BLOOMINGTON PLAN COMMISSION, MONROE COUNTY, INDIANA, THAT:

1. The City of Bloomington Plan Commission hereby confirms Mayor Kerry Thomson's appointment of David Hittle as Director of the Planning & Transportation Department of the City of Bloomington, Indiana.
2. This Resolution shall be effective upon its adoption.

PASSED AND ADOPTED by the City of Bloomington Plan Commission, Monroe County, Indiana, upon this 15<sup>th</sup> day of April, 2024.

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Brad Wisler, President  
Bloomington Plan Commission

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 1201 W. 3<sup>rd</sup> Street**

**CASE #: SP-09-24  
DATE: April 15, 2024**

**PETITIONER:** Beacon Inc./Gratus Development  
PO Box 451/620 S. Walnut Street  
Bloomington, IN

**CONSULTANT:** Springpoint Architects  
522 W. 2<sup>nd</sup> Street, Bloomington

Smith Design Group  
1467 W. Arlington Road, Bloomington

**REQUEST:** The petitioner is requesting major site plan to allow the construction of a 48,000 square foot “supportive housing, large” facility with 20 supportive housing units and 5 dwelling units in the Mixed-Use Medium Scale (MM) zoning district.

**BACKGROUND:**

**Area:** 4.22 acres  
**Zoning:** Mixed-Use Medium Scale (MM)  
**Comp Plan Designation:** Neighborhood Residential  
**Existing Land Use:** Vacant  
**Proposed Land Use:** Supportive Housing, Large  
**Surrounding Uses:** North – Rose Hill Cemetery  
 West – Multifamily dwelling units  
 East – Office (Womens Shelter)  
 South – Office (Duke)

**REPORT:** The property is located at 1205 W. 3<sup>rd</sup> Street and is zoned Mixed-Use Medium Scale (MM). Surrounding uses include Rose Hill Cemetery to the north, offices to the east, and multi-family residences to the west. The property currently contains two commercial buildings and surface parking areas previously used by Weddle Brothers. The West Branch of Clear Creek and associated floodplain runs along the west property line. A portion of the west side of the overall property is encumbered by the 100-year floodway and floodway fringe. No disturbance within the floodplain is proposed or permitted with this project. A Conditional Use approval (CU-34-23) was approved for this location to allow the proposed use of the site as “supportive housing, large”. A final plat (DP-10-24) was approved to allow a 3 lot subdivision to create two buildable lots and a common area lot, to allow for the proposed construction of this new facility. The petitioner is carrying forward with the development plans for this site through this site plan approval request.

The petitioner is proposing to remove all of the existing buildings and parking areas to construct a two-story, 48,000 square foot facility that will include a day center, a 50-bed overnight shelter, 20 one-bed dwelling units, and 5 work-to-live units for on-site staff. The portions of the site that contain the floodplain and first two tiers of the riparian buffer were placed in a common area lot and there will not be any disturbance within those areas. There will be one drivecut on 3<sup>rd</sup> Street to access the parking area with 43 parking spaces proposed. A new 5’ wide tree plot with street trees and 6’ wide sidewalk are required along the 3<sup>rd</sup> Street frontage and have been shown. A 6’ tall fence and access gate are proposed around the site to control access to the site and building.

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**MAJOR SITE PLAN REVIEW 20.06.050(a)(2)(C)(ii):** Major site plan approval is required for developments that contain more than 20,000 square feet of new nonresidential space. This proposed site plan will involve the construction of a 48,000 square foot building and therefore triggers major site plan review.

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**DEVELOPMENT STANDARDS & INCENTIVES 20.04:** The following UDO standards are required to be reviewed for all activities that require New Development approval.

**MM Dimensional Standards:**

**Building setbacks:** The MM zoning district has a 15-25 foot build-to range (45-55' from centerline). The building is shown with a 15' front setback and therefore falls within the build-to-range and is compliant.

**Front parking setback (minimum):** The minimum front parking setback is 20 feet behind the primary structure's front building wall. The proposed parking area is shown to be 20' behind the front building wall and is compliant.

**Side/Rear parking setback (minimum):** The side and rear yard parking setback requirement is 8 feet. The parking area is shown to be approximately 8' from the south (rear) property line and 20' from the east (side) property lines and are compliant.

**Minimum Landscape Area:** The minimum landscape area requirement is 40% and they are proposing 40%, which meets this minimum standard and is compliant.

**Primary structure height:** The maximum height allowed in the MM district is four (4) stories not to exceed 40 feet. The proposed building is two stories with a maximum height of approximately 37 and therefore does not exceed the four story or maximum 40' height allowance and is compliant.

**Environment:**

**Steep Slopes:** There are no naturally occurring steep slopes present.

**Siltation and erosion prevention:** An erosion control plan has been submitted as part of the proposal and will be approved with the grading permit. A grading permit will be required before development can begin on the property. There are no expected unique siltation or erosion control issues expected with this proposal.

**Drainage:** A grading and drainage plan have been submitted. Stormwater detention is proposed by a detention area in the center of the site that will be designed as a rain garden as well as two interior bio-retention islands within the parking area. A copy of the stormwater management plan and associated utility plans have also been submitted to City of Bloomington Utilities for their review. There are no drainage issues expected with this proposal. Final approval from CBU is required prior to issuance of a grading permit.

**Riparian Buffer:** The West Branch of Clear Creek runs along the west side of this property and requires a 75' buffer. The first two zones of the riparian buffer were required to be placed in Common Area and this was fulfilled through the recently approved secondary plat. The proposed site plan shows grading with the third zone of the riparian buffer for the stormwater detention pond and this is listed as an allowed disturbance activity within Zone 3. The proposed landscape plan also shows the installation of new plantings to establish a vegetative zone within the three riparian zones along the entire length of the west property line adjacent to the stream.

**Karst Geology:** There are no known karst features on the site.

**Wetlands:** No wetlands were identified on the site.

**Tree and forest preservation:** There is no closed canopy on the site.

**Lake Watershed:** There are no watershed issues on the site.

**Floodplain:** The floodplain of the West Branch of Clear Creek is located adjacent to this property and the floodplain was placed entirely within Common Area with the previous plat. There is no work within the floodplain that is proposed or approved with this approval. The lowest finished floor of the building will be set at 794.54', which is 14' above the adjacent 100-year flood elevation of 780.54'.

#### **Access and Connectivity:**

**Driveways and access:** There will be one drivecut on 3<sup>rd</sup> Street to access the parking area with 43 parking spaces proposed. The drivecut is located approximately 55' from the closest adjacent drive to the east and meets the 50' separation requirement from another driveway entrance.

**Bicycle and Pedestrian Facilities:** The property has direct frontage on 3<sup>rd</sup> Street which has Neighborhood Residential typology. This typology requires a 6' sidewalk and 5' tree plot which have been shown. Due to the presence of existing utilities in the proposed tree plot the required street trees must be placed behind the sidewalk and have been shown.

The UDO requires a minimum of 6 bicycle parking spaces to be required for the nonresidential use and 6 bicycle parking spaces for the residential uses for a total of 12 bicycle parking spaces. Since the building is larger than 20,000 square feet, all of the required bicycle parking spaces must be covered. The proposed floor plan shows 6 parking spaces within the building, 20 spaces by the main (north) entrance of the building, and 6 parking spaces adjacent to the driveway. The 6 spaces adjacent to the drive do not appear to be covered and must be covered, a condition of approval has been included.

**Public Transit:** A bus stop was not desired by Bloomington Transit at this location. The closest bus stop is to the northwest of this site at Adams and 3<sup>rd</sup> Street.

**Parking and Loading:** There is no minimum parking requirement for this use. Based on the proposed bedroom count and nonresidential space, the maximum number of spaces allowed is 120 spaces. The petitioner is proposing 43 parking spaces does not exceed the maximum. No electric vehicle charging stations are required. A minimum of one van accessible ADA parking space is required and the petitioner has shown 6 van accessible ADA spaces.

#### **Site and Building Design:**

**Material:** The building exterior features a masonry base with fiber cement panels for the upper portions. These are both allowed as primary building façade materials.

**Exterior Facade:** The petitioner has incorporated a series of recessed modules, changes in module and roof heights, awnings and canopies, and transparent glass throughout the four facades to achieve compliance with the architectural standards. The proposed façade elevations all meet the requirements of the UDO. Compliance with the architectural standards of the UDO has been outlined on page A202 of the petitioner's exhibits.

**Patterns:** A series of different elements and finishing materials have been incorporated within the modules to provide horizontal and vertical design elements and patterns. There are three different colors used on the facades.

**Eaves & Roof:** The building will utilize a pitched roof along the front with a flat roof and parapet along the rear, both of these roof types are allowed.

**360-Degree Architecture:** All four sides of the building show similar architecture and design elements. The building therefore meets the 360-degree architecture requirements.

**Pedestrian Entry:** A main pedestrian entry has been shown on the north side of the building that features the incorporation of distinct façade module projection, recessed entry at least 3 feet in depth, and prominent building name, address, and lighting to meet the required design elements for a pedestrian entry.

**Windows on Primary Facades:** All proposed windows on the building are shown to be transparent and therefore are in compliance.

**Anti-monotony Standards:** There is only one buildings proposed for this lot, so the anti-monotony standards don't apply. These standards only apply if there are more than three buildings proposed.

**Landscape, Buffering, and Fences:** The petitioner has submitted a landscape plan for the property showing compliance with the UDO standards. All proposed species are listed in the UDO and are allowed. As mentioned previously the petitioner will be doing substantial plantings within the three riparian zones to establish the required vegetative zone. Final review of these plantings will be completed with the grading permit.

**Outdoor Lighting:** A lighting and photometric plan will have to be submitted which shows that the site meets UDO requirements for maximum light trespass and fixture types. No deviations from the lighting code are expected. A condition of approval has been added.

**Utilities:** As mentioned previously, there will be a large detention pond interior to the site that will also collect rainwater from two, bio-retention islands shown within the parking area. Sewer and water service lines are available along 3<sup>rd</sup> Street and no problems have been identified in providing utility service to this property. Final acceptance and approval from City of Bloomington Utilities will be required prior to the issuance of any permits.

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**SITE PLAN REVIEW:** The Plan Commission shall review the major site plan petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision ), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).

#### **20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** The proposed site plan is compliant with all of the standards of the UDO. There is no work proposed or approved within the adjacent 100-year floodplain. The proposed site plan is consistent with the approved plat and related easements and restrictions. There are no other prior approvals for this property or other known applicable regulations. Final acceptance and approval from City of Bloomington Utilities is required prior to the issuance of any permits.

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**CONCLUSION:** The proposed site plan meets all of the requirements of the Unified Development Ordinance. The development of this property with a supportive housing use will provide several

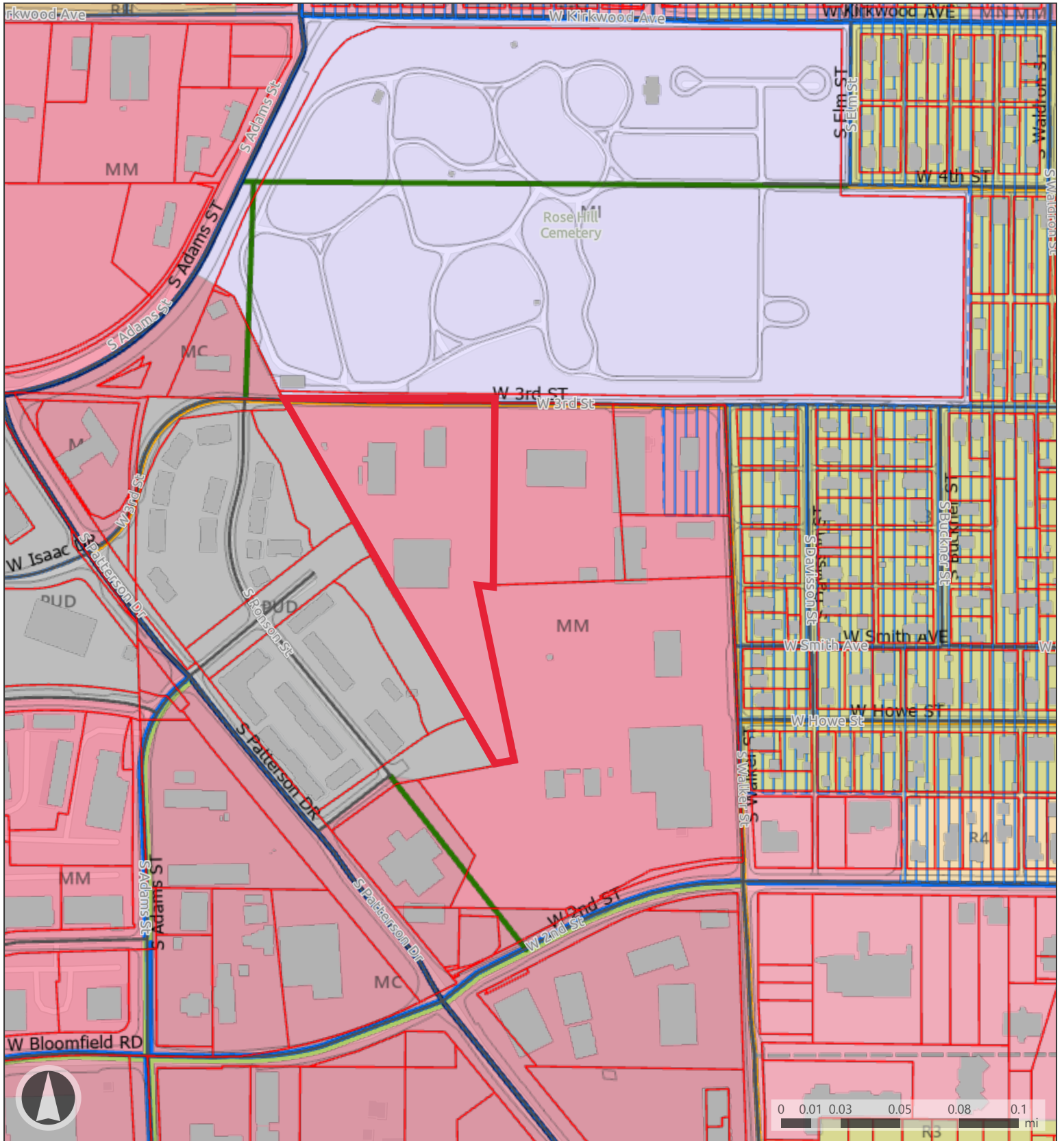


highly needed social services and additional dwelling units. This project will also restore the riparian buffer and allow a property that is currently not in compliance with UDO standards to be brought into compliance. In addition, there will be a new sidewalk and street trees along the frontage to further public improvements in this area. This project will also result in an increase in the City's ability to provide affordable housing to those in need.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plan Commission adopt the proposed findings and approve SP-09-24 with the following conditions:

1. A lighting and photometric plan must be submitted and approved before issuance of the grading permit.
2. All exterior bicycle parking spaces must be covered.
3. No disturbance or work within the floodplain is approved with this approval.
4. The proposed fence can not be taller than 4' between the building and street.



**Map Legend**

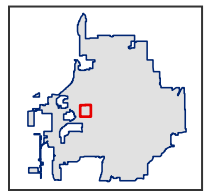
- Parcels
- Buildings
- Local Historic Districts

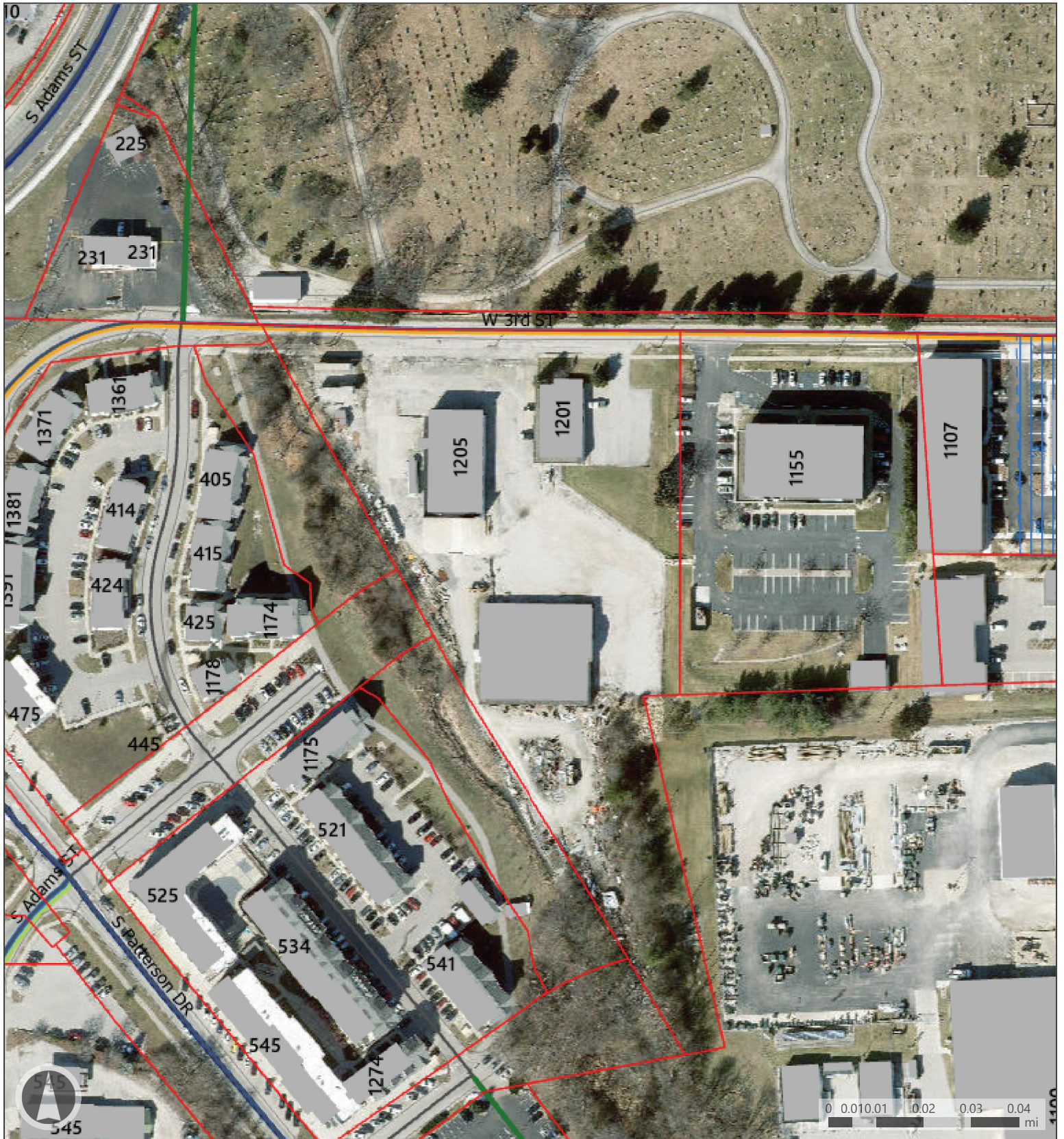
- Edge of Pavement
- Current
- City Maintained Streets

**Street Typology**

- General Urban
- Neighborhood Connector

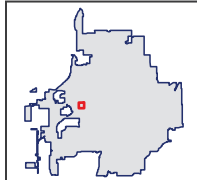
- Neig
- Functional**
- Prim





**Map Legend**

- |                          |                         |                          |                                  |
|--------------------------|-------------------------|--------------------------|----------------------------------|
| Parcels                  | Edge of Pavement        | <b>Street Typology</b>   | <b>Functional Classification</b> |
| Buildings                | Current                 | General Urban            | Primary Arterial                 |
| Local Historic Districts | City Maintained Streets | Neighborhood Residential | Secondary Arterial               |





Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

March 4, 2024

Eric Greulich  
City Planning and Transportation Department  
401 N. Morton Street  
Bloomington, IN. 47404

RE: Beacon, Inc – Major Site Plan

Dear Eric,

On behalf of our client, Beacon, Inc., we respectfully request to be placed on the April 2024 agenda for the City of Bloomington Plan Commission for consideration of a Major Site Plan approval.

Beacon, Inc is proposing development at 1201 W 3<sup>rd</sup> Street for the new Beacon Center. This site is currently 4.22 acres and is in the process of being subdivided. Beacon Center will be located on Lot 1A , which will be 2.14 ac. Beacon Center will be the home to five of Beacon's six programs including Shalom Center, Rapid Re-Housing, Phil's Kitchen, Street Outreach and Friends Place Overnight shelter as well as expansion of Beacon's housing first program to provide (20) supportive housing units and five 'live-to-work' units. Beacon Center will be a two-story, 48,000 sf facility with the day center, overnight shelter and supportive programs located on the first floor and the supportive housing and administration offices located on the second floor.

We look forward to working with the City of Bloomington to make this a successful project for our community.

Attached with this application letter are the civil and architectural plans, application and filing fee.

Sincerely,

A handwritten signature in black ink that reads 'Katherine E. Stein'.

Katherine E. Stein, P.E.  
Smith Design Group, Inc.



Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

## **Petitioner's Statement Beacon Center Site Plan**

### **Location**

The site is located at 1201 W Third Street.

### **Size**

The parent tract is 4.035 acres. The parcel will be subdivided into 3 lots, two of which will be buildable for purposes of approved uses within the MM zoning district, and one will be common area. Beacon center will be located on Lot 1A (2.14 ac) and Lot 1B (0.58 ac) will be vacant.

### **Access**

Access to this property will be directly from W Third Street. Access to Lot 1B will be by an access easement.

### **Vehicle Parking**

Two on-site surface parking areas will provide 43 parking spaces for volunteers, clients, visitors and staff of Beacon Center. On-street public parking will be included in front of the Beacon Center

### **Bicycle Parking**

Exterior bicycle parking will be provided for clients, staff and volunteers of the Beacon Center. An interior bicycle parking room will be provided for use by the residents.

### **Fencing**

Perimeter fencing is proposed around the property with various access points for pedestrians and vehicles.

### **Amenities**

An entry court at the northwest public entrance, a private courtyard for guests at the south side of the facility, and bicycle parking will be provided.

### **Architecture**

The proposed building will be two-stories in height above the grade plane with a mix of gable and flat roof forms. Exterior materials consist of masonry veneer, fiber-cement board siding, vinyl windows, aluminum storefront systems, metal awnings,



Todd M. Borgman, P.L.S.

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Stephen L. Smith, Founder

asphalt shingle roofing, and membrane roofing. The first floor will contain the day center, emergency shelter, service offices, restrooms, showers, and a commercial kitchen. The second floor will contain twenty (20), one-bedroom apartments and five (5) efficiency apartments.

### **Stormwater**

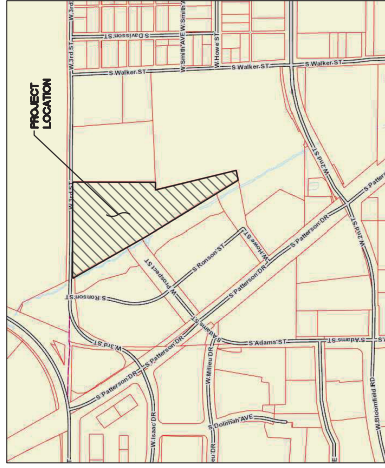
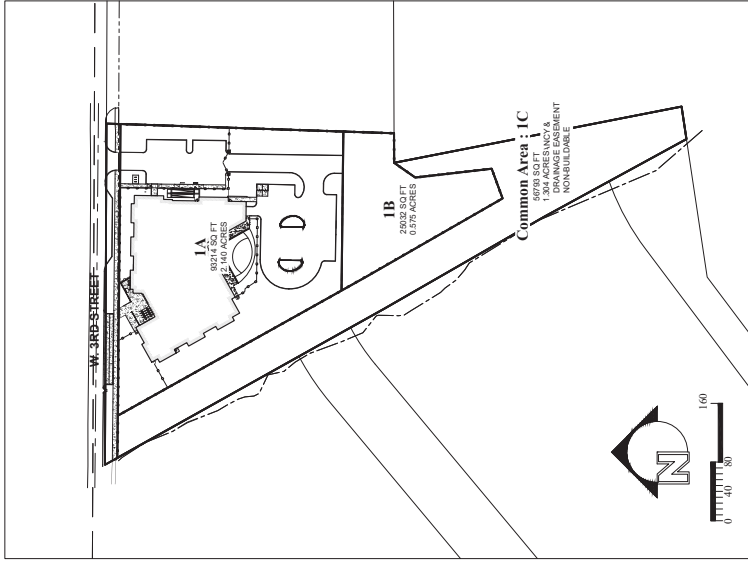
Stormwater management both quality and quantity will be provided in an onsite detention pond.

### **Environmental Areas**

Riparian Buffers will be improved along the adjacent creek on the west side of the site. Existing improvements will be removed and replanted with native vegetation. These areas will be in conservation and drainage easements. The Common Area lot, which include floodplain will have most of the riparian buffers areas.

# BEACON CENTER 1201 W 3RD STREET BLOOMINGTON INDIANA

Sheet Number	Sheet Title
1	TITLE SHEET
2	EXISTING CONDITIONS DEMOLITION PLAN
3	NORTH SITE PLAN
4	SOUTH SITE PLAN
5	Grading Plan
6	UTILITY PLAN
7	PROFILES
8	SWPP Index
9	SWPP Plan
10	SWPP Specs
11	DETAILS 1
12	DETAILS 2
13	DETAILS 3
14	DETAILS 4



**LOCATION MAP**  
NTS

BLOOMINGTON TOWNSHIP  
SECTION 5  
TOWNSHIP 8 NORTH  
RANGE 1 WEST

**LEGAL DESCRIPTION**  
LOT 1 WEDDLE PARK

**DEVELOPERS**  
SMITH DESIGN GROUP  
1487 W ARLINGTON ROAD  
BLOOMINGTON, IN 47401  
(812) 336-6536

**DESIGNER(S) & SURVEYOR(S)**  
SMITH DESIGN GROUP  
1487 W ARLINGTON ROAD  
BLOOMINGTON, IN 47401  
(812) 336-6536

**OWNERS**  
SMITH DESIGN GROUP, INC.  
602 S WALNUT STREET  
BLOOMINGTON, IN 47401



**CIVIL ENGINEERING - LAND SURVEYING**  
1487 W Arlington Road Bloomington, IN 47401  
(812) 336-6536 - smithdgroup.com

**JOB NUMBER: 6778**



**NOTE :** WATER, AND SANITARY SEWER ITEMS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE CITY OF BLOOMINGTON UTILITIES CONSTRUCTION SPECIFICATIONS. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE 2021 SMITH DESIGN GROUP, INC. STANDARD SPECIFICATIONS.

SHEET NO.	REVISIONS	BY	DATE



BEACON CENTER  
1201 W 3rd Street  
BLOOMINGTON, IN

04/05/2024

NO.	DATE	BY	DATE

DESCRIPTION	DATE	BY
KS/SP		
KS/SP		
KS/SP		

6778  
SHEET  
**2 OF 14**  
DATE: 04/05/2024  
EXISTING DEMOLITION PLAN

**DEMOLITION NOTES**

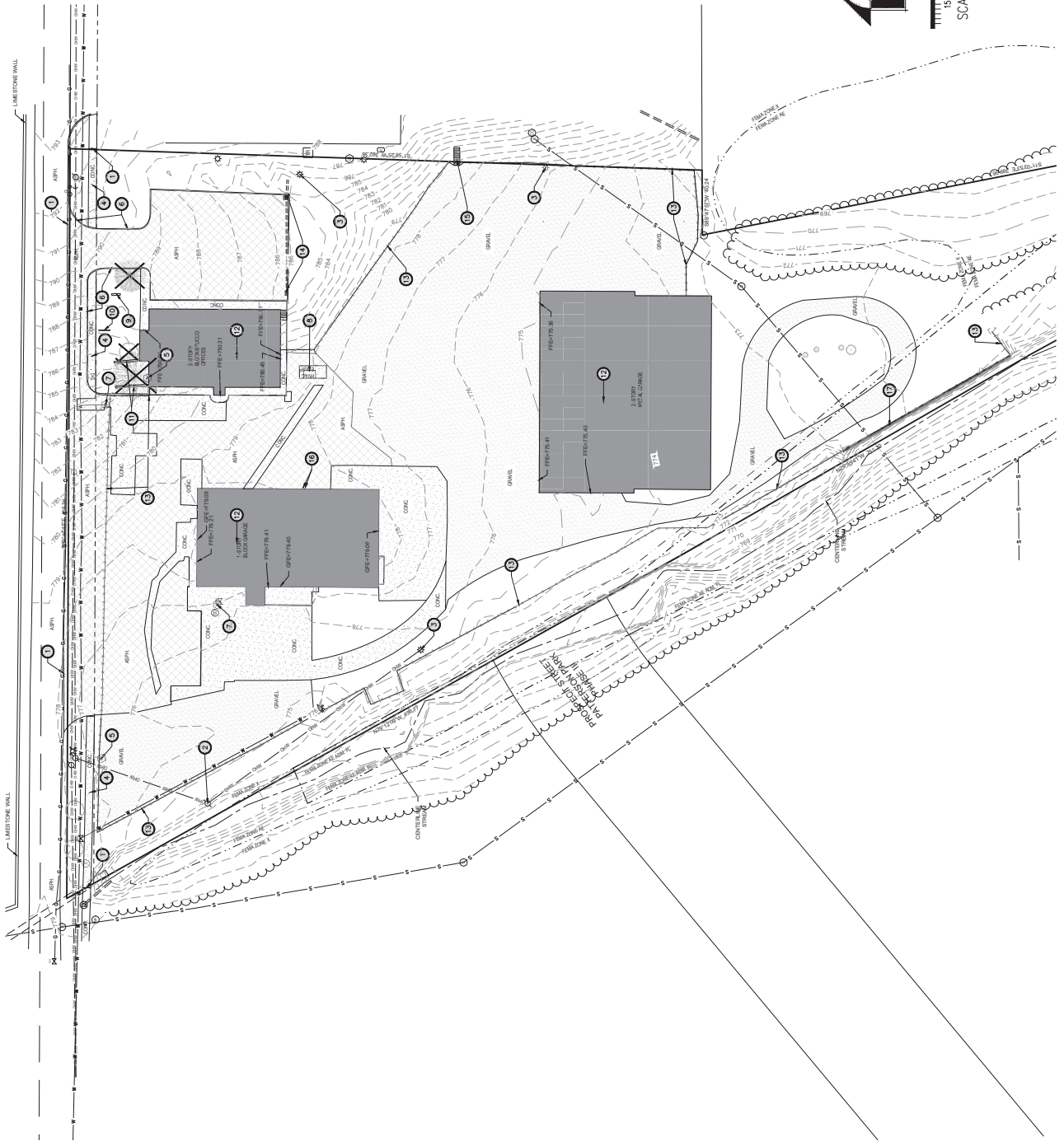
- REMOVE EXISTING TREE, STUMP, AND ROOTS
- REMOVE EXISTING WOODS, TREES, BRUSH, STUMPS AND ROOTS
- REMOVE EXISTING GRAVEL PAVEMENT AND GRAVEL BASE
- REMOVE EXISTING CONCRETE, FOOTINGS AND FOUNDATIONS
- REMOVE EXISTING CONCRETE AND GRAVEL BASE
- REMOVE GRAVEL PAVEMENT

**DEMOLITION KEY NOTES**

- 1 SAWCUT AND REMOVE PAVEMENT
- 2 REMOVE EXISTING UTILITY POLE AND LINES, COORDINATE WITH DUNE ENERGY.
- 3 REMOVE EXISTING LIGHT POLE AND LINES, COORDINATE WITH DUNE ENERGY.
- 4 REMOVE EXISTING CONCRETE SIDEWALK AND PAVEMENT
- 5 REMOVE EXISTING CONCRETE CURB
- 6 REMOVE EXISTING GAS SERVICE AND METEOR COORDINATE WITH CENTERPOINT ENERGY.
- 7 REMOVE EXISTING GAS SERVICE AND METEOR COORDINATE WITH CENTERPOINT ENERGY. RECONNECT WITH THE APPROPRIATE GAS SERVICE PROVIDER.
- 8 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 9 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 10 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 11 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 12 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 13 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 14 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 15 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 16 REMOVE EXISTING CONCRETE CURB AND SIDEWALK
- 17 REMOVE EXISTING CONCRETE CURB AND SIDEWALK

**DEMOLITION NOTES**

- 1. CALL UTILITY LOCATOR PRIOR TO CONSTRUCTION TO OBTAIN THE LOCATIONS OF ALL EXISTING UTILITIES.
- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE STATE OF INDIANA.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE STATE OF INDIANA.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE STATE OF INDIANA.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE STATE OF INDIANA.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND THE STATE OF INDIANA.
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04/05/2024

BEACON CENTER  
1201 W 3rd Street  
BLOOMINGTON, IN

NO.	DATE	BY	DATE

DESCRIPTION	DATE	BY

6778  
3 OF 14  
04/05/2024  
NORTH SITE PLAN

- SITE PLAN NOTES**
1. PARKING MARKINGS & SIGNAL SHALL BE AS PER CITY OF BLOOMINGTON SPECIFICATIONS.
  2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**SITE PLAN NOTES**

USE SUPPLEMENTARY HOURLING LARGE

PARKING: 100 SPACES (100' x 20' x 5' = 10,000 SF) - 48 SPACES @ 2.0 SPACES/1000' = 96 SPACES  
 REQUIRED FOR 100 SPACES: 100' x 20' x 5' = 10,000 SF

REQUIRED FOR 48 SPACES: 48' x 20' x 5' = 4,800 SF

REQUIRED FOR 52 SPACES: 52' x 20' x 5' = 5,200 SF

REQUIRED FOR 56 SPACES: 56' x 20' x 5' = 5,600 SF

REQUIRED FOR 60 SPACES: 60' x 20' x 5' = 6,000 SF

REQUIRED FOR 64 SPACES: 64' x 20' x 5' = 6,400 SF

REQUIRED FOR 68 SPACES: 68' x 20' x 5' = 6,800 SF

REQUIRED FOR 72 SPACES: 72' x 20' x 5' = 7,200 SF

REQUIRED FOR 76 SPACES: 76' x 20' x 5' = 7,600 SF

REQUIRED FOR 80 SPACES: 80' x 20' x 5' = 8,000 SF

REQUIRED FOR 84 SPACES: 84' x 20' x 5' = 8,400 SF

REQUIRED FOR 88 SPACES: 88' x 20' x 5' = 8,800 SF

REQUIRED FOR 92 SPACES: 92' x 20' x 5' = 9,200 SF

REQUIRED FOR 96 SPACES: 96' x 20' x 5' = 9,600 SF

REQUIRED FOR 100 SPACES: 100' x 20' x 5' = 10,000 SF

**SETBACKS**

REAR: 15' (2' FROM ROAD TO BANK) + 13' FROM PROPERTY LINE

FRONT: 7' FROM PROPERTY LINE

SIDE: 5' FROM FRONT WALL OF THE PRIMARY

FRONT: 5' FROM PROPERTY LINE

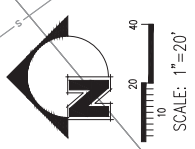
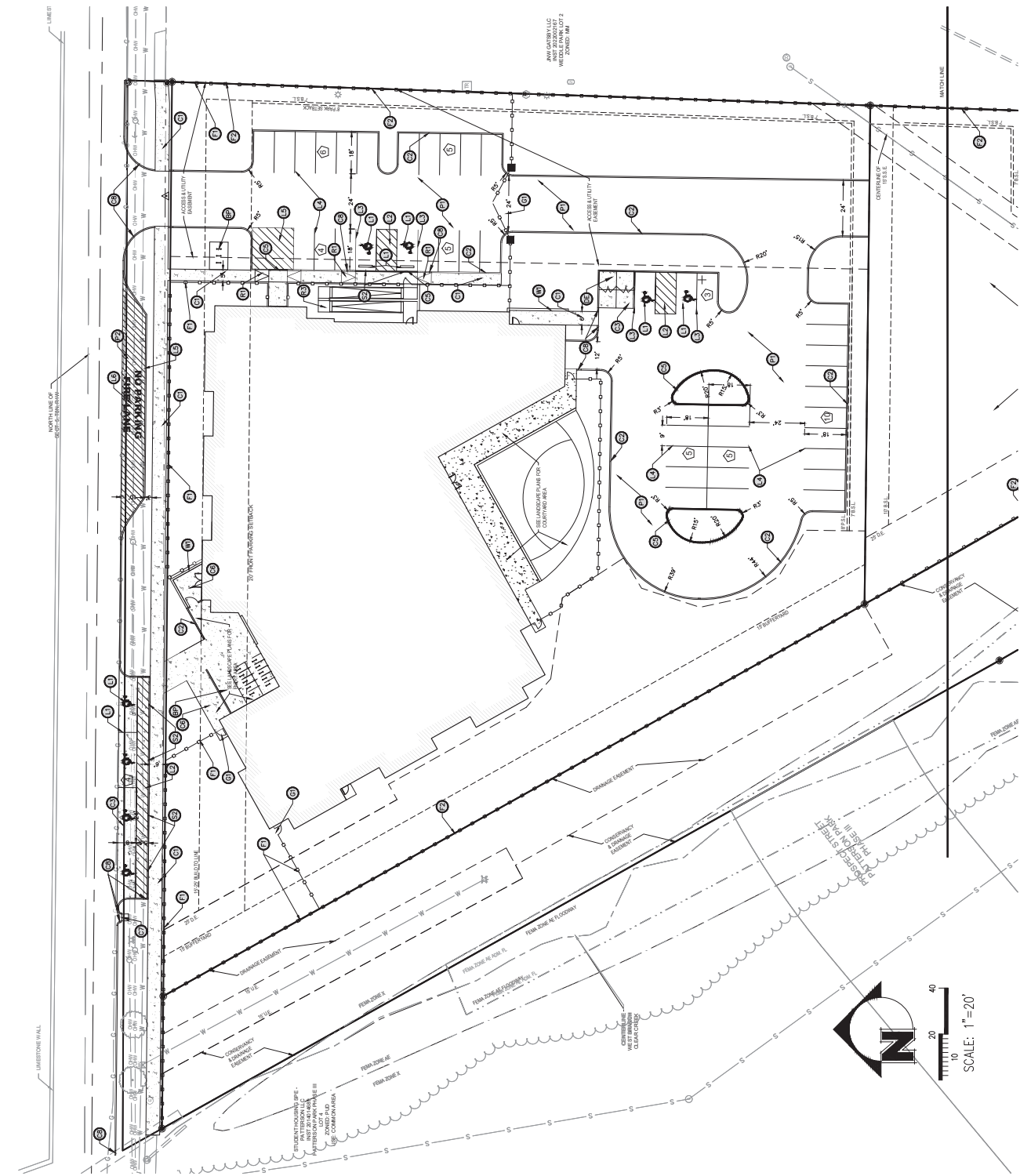
REAR: 5' FROM PROPERTY LINE

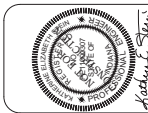
FRONT: 5' FROM PROPERTY LINE

REAR: 5' FROM PROPERTY LINE

**SITE MATERIALS**

- (1) CONCRETE SIDEWALK (SEE DETAIL ON DETAILS SHEET)
- (2) 4" COMPACTED AGGREGATE BASE #3
- (3) 8" STANDING CONCRETE CURB (SEE DETAIL ON DETAILS SHEET)
- (4) CONCRETE IN PAVEMENT
- (5) 1" THICK CONCRETE, 4000 PSI
- (6) 8" FOOT #3 COMPACTED AGGREGATE BASE
- (7) NOT LISTED
- (8) FLUSH 4" CONCRETE CURB
- (9) CONCRETE SIDEWALK
- (10) 4" COMPACTED AGGREGATE BASE #3
- (11) CONCRETE CURB TURNOUT (SEE DETAIL ON DETAILS SHEET)
- (12) TRANSITION FROM 8" CURB TO FLUSH WITH PAVEMENT (SEE GRADING SHEET)
- (13) PARALLEL CURB RAMP (SEE DETAIL ON DETAILS SHEET)
- (14) RAMP WITH HANDRAIL
- (15) ASPHALT PAVEMENT
- (16) 2.5" THICK CONCRETE, 4000 PSI
- (17) 2.5" THICK CONCRETE, 4000 PSI
- (18) 2.5" THICK CONCRETE, 4000 PSI
- (19) ASPHALT PAVEMENT, CITY ROW
- (20) 1.5" THICK SURFACE COURSE ON
- (21) 1" HMA INTERMEDIATE COURSE ON
- (22) 8" FOOT #3 COMPACTED AGGREGATE BASE ON
- (23) 8" FOOT #3 COMPACTED AGGREGATE BASE ON
- (24) 8" FOOT #3 COMPACTED AGGREGATE BASE ON
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- (100) 8" FOOT #3 COMPACTED AGGREGATE BASE ON





04/05/2024

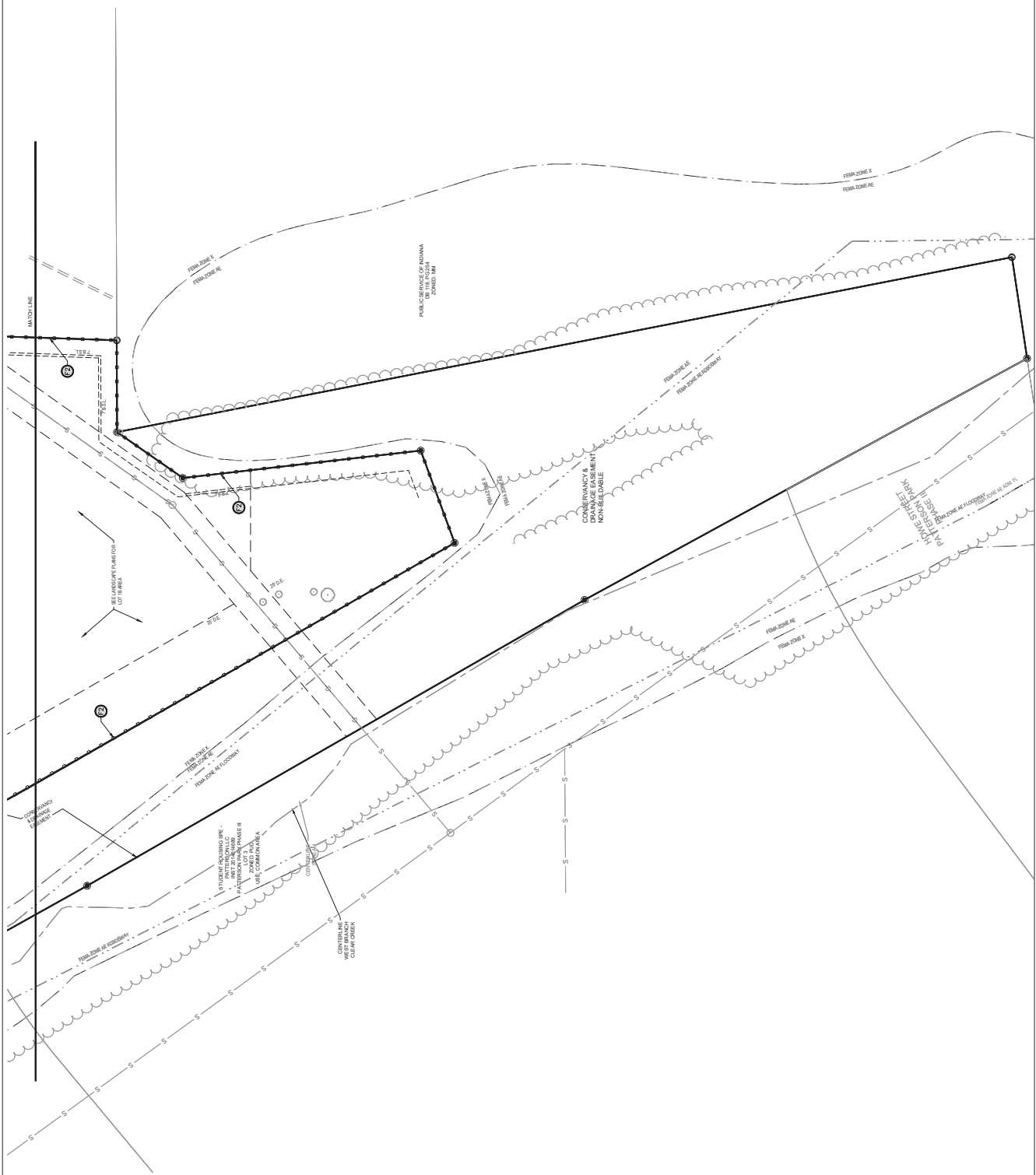
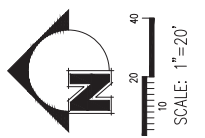
BEACON CENTER  
1201 W 3rd Street  
BLOOMINGTON, IN

BY	DATE

6778  
KS/SP  
KS/SP  
KS/SP

6778  
SHEET  
4 OF 14  
DATE: 04/05/2024

SOUTH SITE PLAN



NO.	DATE	BY	REVISIONS

**GRADING LEGEND**

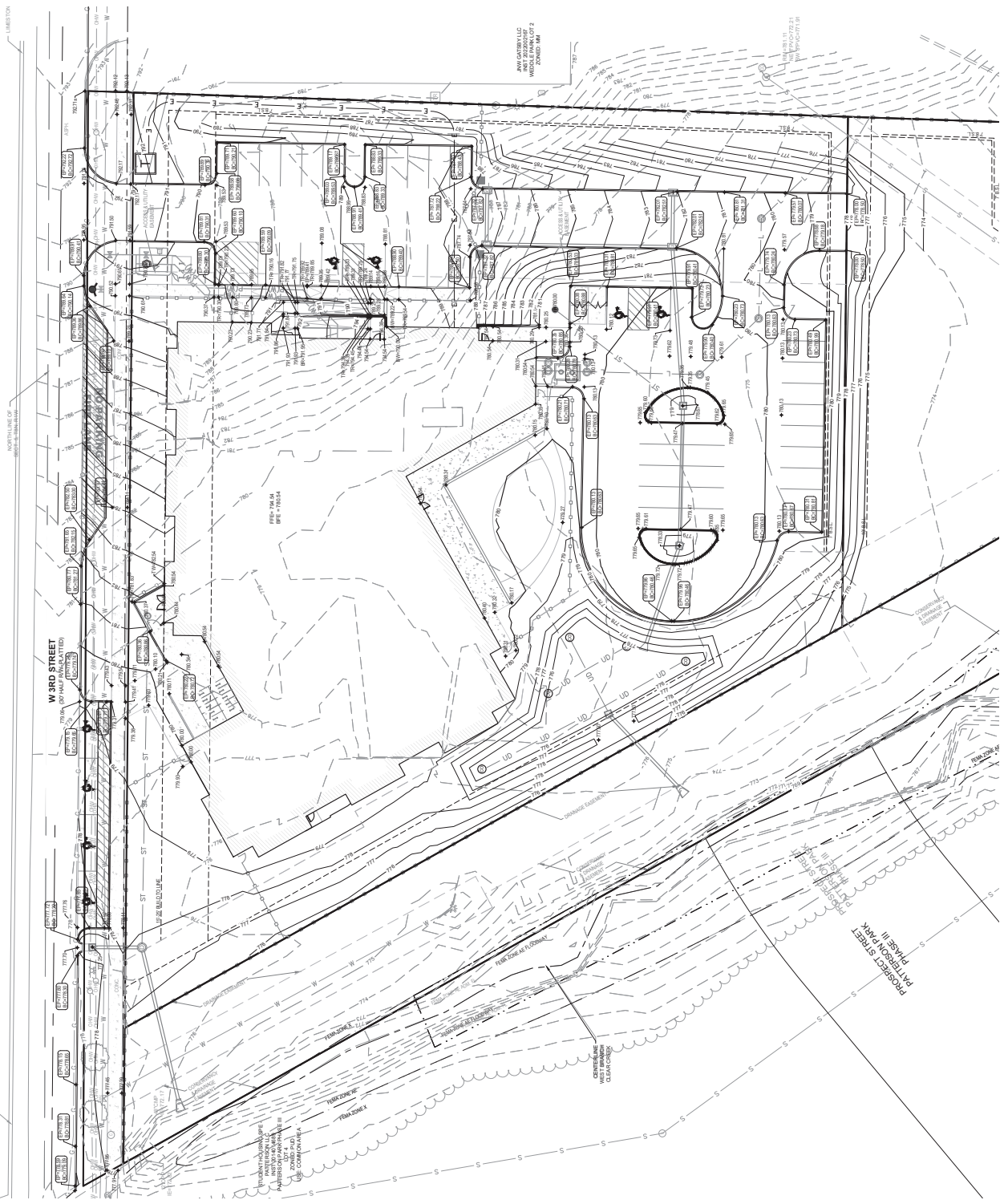
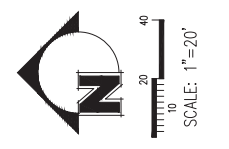
EXISTING HATCH CONTOUR	---
PROPOSED HATCH CONTOUR	---
PROPOSED DRAINAGE CONTOUR	---
EXISTING ELEVATION	XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	XXX.XX
EDGE OF CURB ELEVATION	XXX.XX
BACK OF CURB ELEVATION	XXX.XX
ROADWAY FINISH	XXX.XX
LOW POINT	XXX.XX
FINISH FLOOR ELEVATION	FF + XXX.XX
TOP OF RETAINING WALL	TW + XXX.XX
BOTTOM OF RETAINING WALL	BW + XXX.XX
TOP OF RAMP	TR + XXX.XX
BOTTOM OF RAMP	BR + XXX.XX
FLOOD HOUSING	↑
FLASH CURB	↑

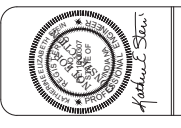
**LEGEND**

①	SANITARY SEWER MANHOLE
②	SANITARY SEWER LINE
③	SANITARY SEWER CLEANOUT
④	SANITARY CLEANOUT
⑤	WATER VALVE
⑥	WATER VALVE
⑦	WATER AIR RELEASE VALVE
⑧	WATER METER
⑨	WATER LINE
⑩	STORM MANHOLE
⑪	STORM INLET
⑫	STORM YARD INLET
⑬	ABANDONED WATER MAIN

**GENERAL NOTES**

- ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IMMEDIATELY IN WRITING IF ANY UNEXPECTED UTILITIES ARE FOUND.
- OFF-STREET PAVEMENTS SHALL BE CONSTRUCTED TO THE FINISH ELEVATION SHOWN ON THIS PLAN. ALL PAVEMENT SHALL BE CONSTRUCTED TO THE FINISH ELEVATION SHOWN ON THIS PLAN.
- SEE SMITH GROUP, INC. 201 STANDARD SPECIFICATIONS FOR PAVEMENTS AND RELATED UTILITIES.
- CONTACT THE CITY OF BLOOMINGTON PLANNING DEPARTMENT AT (317) 334-3423 FOR THE LATEST CITY OF BLOOMINGTON STANDARD SPECIFICATIONS FOR PAVEMENTS AND RELATED UTILITIES.
- TOP OF CURB ELEVATION ARE GIVEN IN THE FOLLOWING LOCATIONS:
  - INLETS TO STORM SEWER
  - INLETS TO SEWER





04/05/2024

BEACON CENTER  
1201 W 3rd Street  
BLOOMINGTON, IN

Table with columns for REVISIONS, BY, and DATE.

Table with columns for DRAWING NO., SHEET NO., DATE, and UTILITY PLAN.

6778 SHEET 6 OF 14  
04/05/2024  
UTILITY PLAN

UTILITY KEY NOTES

- 1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON, INDIANA FOR THE INSTALLATION OF ALL UTILITIES UNDER THE REQUIREMENTS OF THE CITY OF BLOOMINGTON, INDIANA. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO. THE CITY OF BLOOMINGTON, INDIANA UTILITY DEPARTMENT SHALL BE NOTIFIED IN WRITING AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE CITY OF BLOOMINGTON, INDIANA UTILITY DEPARTMENT SHALL BE NOTIFIED IN WRITING AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE CITY OF BLOOMINGTON, INDIANA UTILITY DEPARTMENT SHALL BE NOTIFIED IN WRITING AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
- 2. FUTURE WORK
- 3. 8" SAND FOR 18" DIA. DUCT BANKS AND 12" SAND FOR 12" DIA. DUCT BANKS. ALL SAND SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 4. 6" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 36" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 5. 8" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 48" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 6. 12" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 72" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 7. 18" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 96" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 8. 24" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 120" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 9. 30" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 144" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 10. 36" DIA. SANITARY SEWER LINES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 168" BELOW FINISHED GRADE. ALL SANITARY SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 11. THE EXISTING CHECK VALVE AS SHOWN SHALL BE MAINTAINED OR REPLACED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.

SANITARY SEWER NOTES (S)

- 1. 6" DIA. 3" PVC SANITARY SEWER LINES, 1% SLOPE, MAXIMUM PER FOR DETAIL 111
- 2. CONNECT TO EXISTING SANITARY WASTE LINE USE PLUMBING STANDARDS SANITARY SEWER PIPE TO BE 6" MINIMUM DIAMETER OUTSIDE OF BUILDING.
- 3. SANITARY SEWER PIPE PER STANDARD DETAIL 1308 DETAIL ON DETAILS SHEET.
- 4. GREASE TRAP TO BE USED AND SIZED BY AMP
- 5. WASTE FROM GREASE TRAP TO BUILDING WASTE SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.

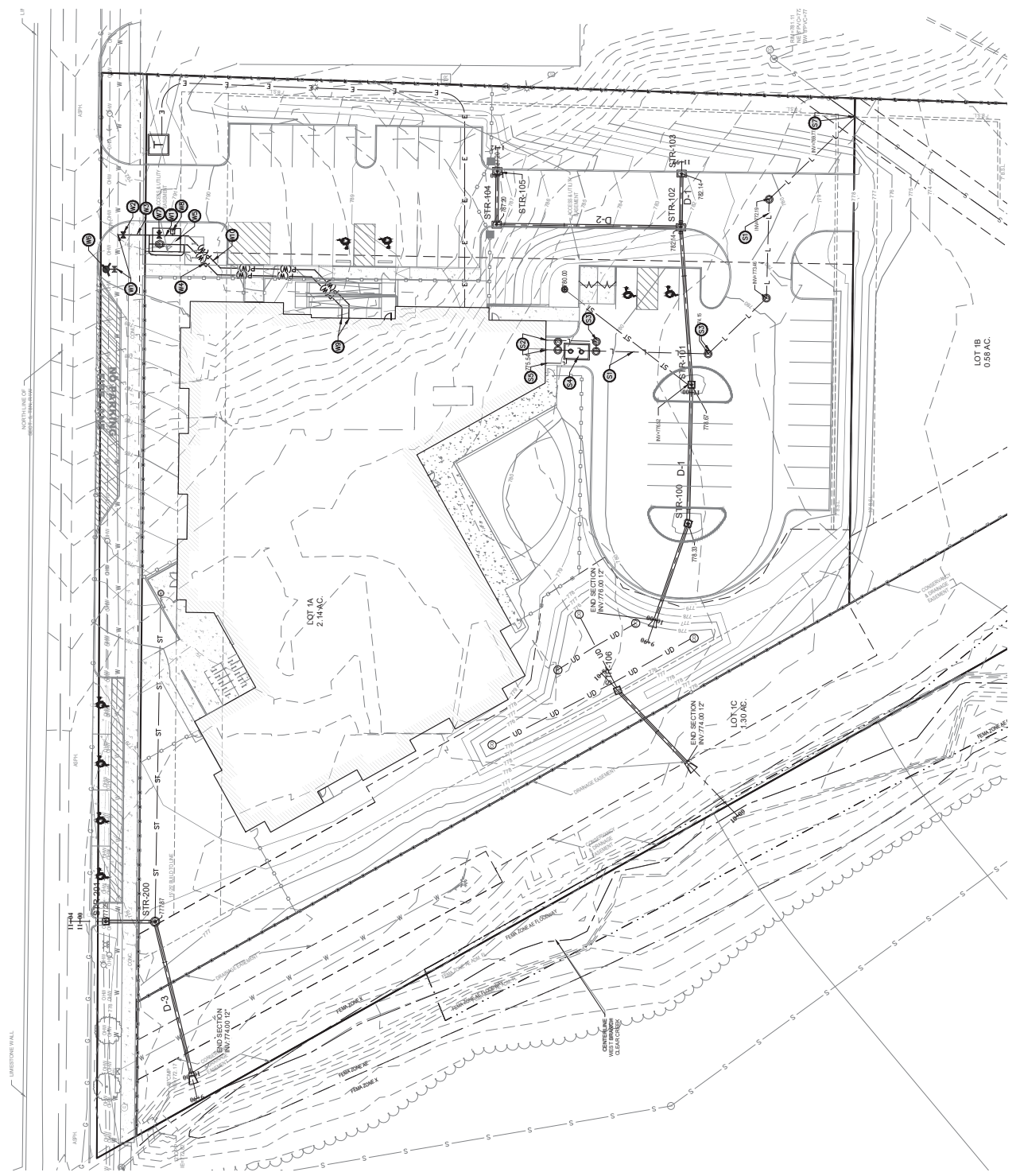
STORMS SEWER NOTES (D)

- 1. 12" DIA. 3" PVC STORMS SEWER LINES (SLOPE @ 3.00 MIN)
- 2. PUBLIC STORMS SEWER. ADJUST UP 3RD STREET. ALL OTHER STORMS SEWER IS PRIVATE.
- 3. DOWNSPROUT PER DETAIL ON DETAILS SHEET.
- 4. REMOVE END SECTION AND SET NEW CATCH BASIN AT END OF EXISTING PIPE.
- 5. FILTER DRAIN SEE DETAIL ON DETAILS SHEET.
- 6. CONE DRILL EXISTING STRUCTURE TO RECEIVE 12" DIAM PIPE

UTILITY NOTES

- 1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON, INDIANA FOR THE INSTALLATION OF ALL UTILITIES UNDER THE REQUIREMENTS OF THE CITY OF BLOOMINGTON, INDIANA. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON, INDIANA FOR THE INSTALLATION OF ALL UTILITIES UNDER THE REQUIREMENTS OF THE CITY OF BLOOMINGTON, INDIANA. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, INDIANA UTILITY ORDINANCES AND ANY AMENDMENTS THERE TO.
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UTILITY LEGEND



CITY OF BLOOMINGTON, INDIANA  
ENGINEERING - LAND SURVEYING  
SD Smith Design  
(317) 326-6633

LOT 1A  
2.14 AC.

LOT 1B  
0.58 AC.

LOT 1C  
1.30 AC.

LOT 1D  
0.58 AC.

LOT 1E  
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04/05/2024  
 BEACON CENTER  
 1201 W 3rd Street  
 BLOOMINGTON, IN

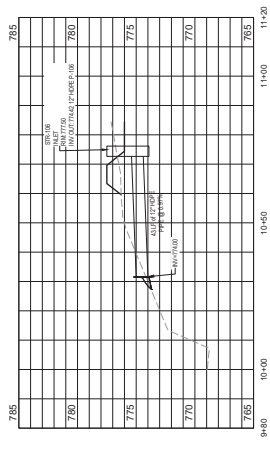
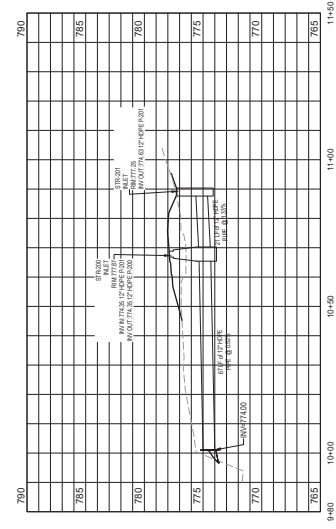
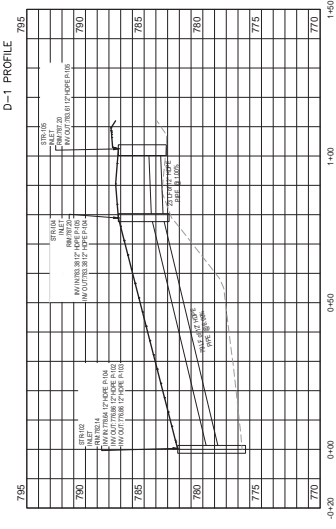
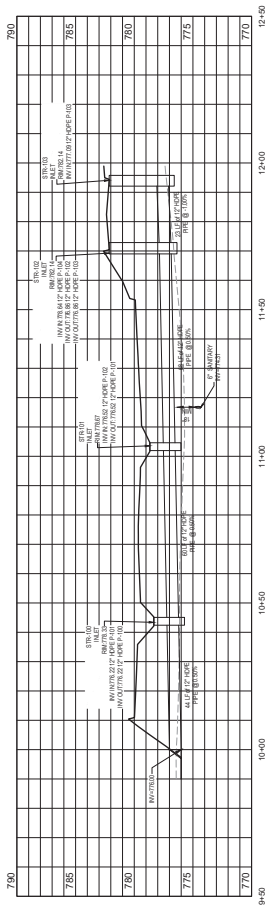
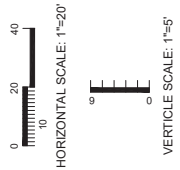
NO.	DATE	BY	REVISIONS

DESIGNED	SSS
CHECKED	SSS
DRAWN	SSS
DATE	04/05/2024

6778  
 SHEET  
 7 OF 14  
 DATE: 04/05/2024  
 PROFILES

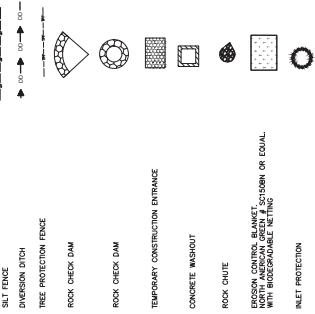
**UTILITY NOTES**

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. BROOMINGTON UTILITIES PROVIDED TO THE PARTY OF CONTRACTORS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING.
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# EROSION CONTROL LEGEND



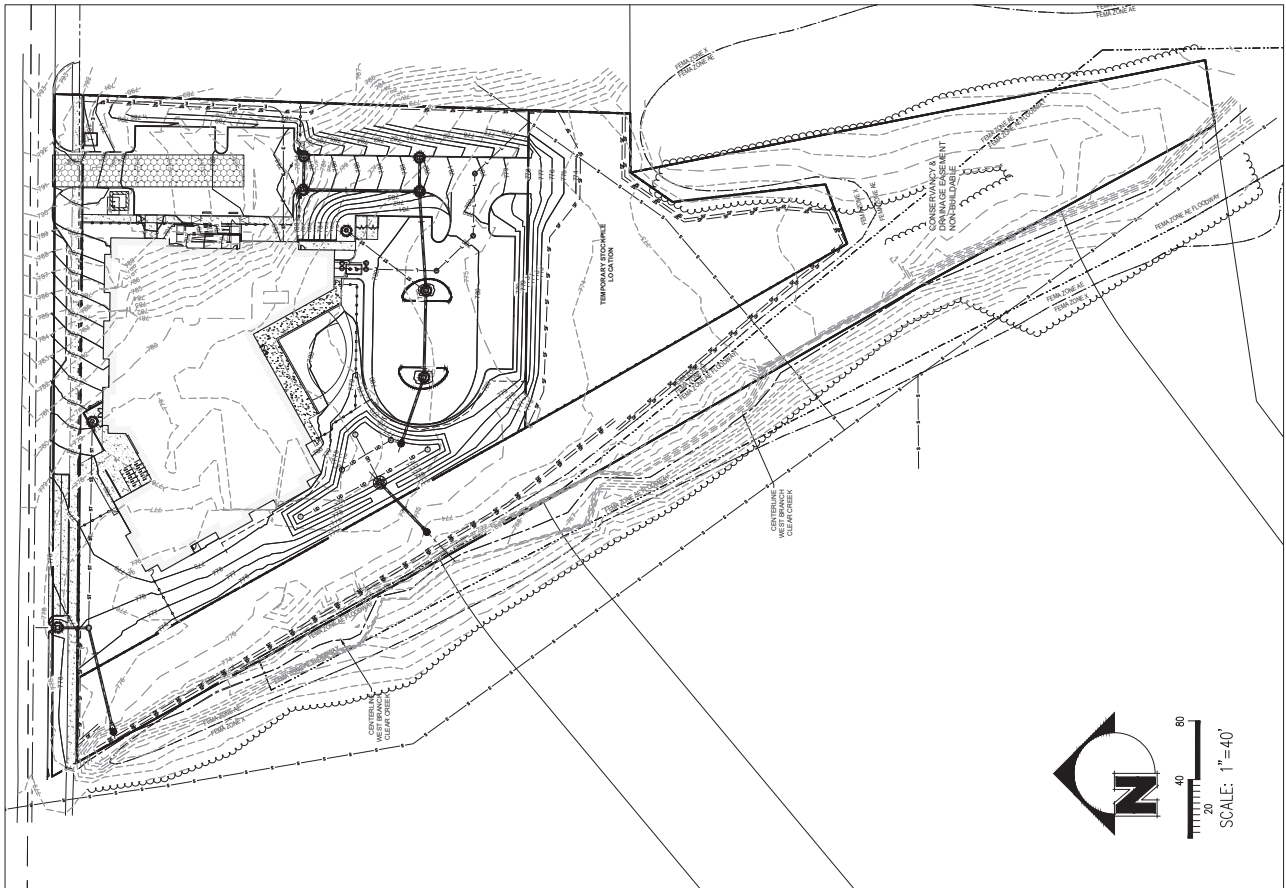
## GENERAL CONSTRUCTION SEQUENCE

1. MARK TO OWNER OF CONSTRUCTION CONTRACTOR SHALL ADVISE AND IN PLACE METHODS WITH CITY OF BLOOMINGTON PLANNING AND TRANSPORTATION AND GO TO REVIEW SCHEDULE AND SEQUENCE OF CONSTRUCTION PRIOR TO ANY EARTH DISTURBANCE.
2. POST THE TOP AND NOTICE OF SUFFICIENCY OF PLANS, CONTACT FRAME NUMBER FOR PRINTED PLAN SET LOCATION, SHEET #1 LOCATION, SBT MONITORING INSPECTIONS SHEETS LOCATION AND CONTRACTOR TRUCKING ITEMS ON A BOARD AT THE JOB SITE.
3. INSTALL TEMPORARY SILT FENCES TO PREVENT EROSION AND STANDING WATER.
4. INSTALL TEMPORARY SILT FENCES TO PREVENT EROSION AND STANDING WATER ON THE EROSION CONTROL BLANKET PER DETAIL ON DETAILS SHEET.
5. CLEAN AND GRAD FOR DETENTION AREA TO SERVE AS TEMPORARY SEDIMENT BASIN DURING.
6. INSTALL TEMPORARY SEDIMENT BASIN.
7. ONCE INITIAL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, CONTRACTOR TO COMMENCE CONSTRUCTION WITH CITY OF BLOOMINGTON MAY BEGIN.
8. STOP TOP SOIL AND SHALL OFF TOPSOIL OR STOCK PILE ON SITE, TEMPORARY SEED ESTABLISHMENT.
9. CONSTRUCT BARRIERS.
10. INSTALL UTILITY INFRASTRUCTURE (NOT POUD UNDERWAY).
11. PLACE AGGREGATE BASE FOR DRIVE AND PARKING AREAS.
12. REPLACE TOPSOIL AND THE GRADE SITE.
13. INSTALL LANDSCAPING.
14. PERMANENTLY SEED LAWN AREAS.
15. EROSION CONTROL MEASURES SHALL REMAIN UNTIL SITE IS STABILIZED WITH VEGETATION.
16. PERMANENTLY SEED SLOPE AREAS, THE GRADE DETENTION POND.
17. PERMANENTLY SEED SLOPE OF DETENTION POND.
18. INSTALL ANCHORED SLOES AND UNDERDRAIN ONCE SITE HAS BEEN STABILIZED.
19. DO NOT REMOVE EROSION CONTROL MEASURES UNTIL DECIDED BY CITY COORDINATOR.
20. ANY DISTURBANCE FROM REMOVAL OF EROSION CONTROL MEASURES SHALL BE RESEEDED AND STABILIZED.
21. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES ON SITE AND SUPERVISING AS NECESSARY TO KEEP THE SITE IN FULL CONSTRUCTION.
22. DAMPER OR TRAP RECEIPTS TO BE COVERED AT THE END OF EACH WORK DAY.
23. ALL TRASH SHALL BE PLACED IN PROPER RECEPTACLE AT THE END OF EACH WORK DAY.
24. ALSO SEED IN ACCORDANCE WITH TABLE BELOW AND COMPLETED WITH 14 DAYS.
25. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
26. CONTRACTOR SHALL NOTIFY AND STAKE AS NECESSARY, ALL EROSION CONTROL PLACES PRIOR TO AND IMMEDIATELY FOLLOWING ANY PAINT EVENT. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A LOG BOOK OF ALL PAINT EVENTS, INSPECTIONS, LOG BOOK SHALL BE AVAILABLE TO ALL CITY INSPECTORS AND STAKEHOLDERS FOR REVIEW. CONTRACTOR SHALL BE AVAILABLE FOR REVIEW REQUEST FOR THE LOCAL BSA AND ASSISTANT WITH 48 HOURS.
27. ALL EROSION CONTROL BARRIERS TO REMAIN IN PLACE UNTIL DIRECTED BY THE CITY OF BLOOMINGTON.
28. IF FUELING IS NECESSARY, CONTRACTOR TO UPDATE THE SWMP PLAN, EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC. SHALL BE PERFORMED AWAY FROM THE EROSION CONTROL MEASURES AND STAKEHOLDERS FOR REVIEW AND STAKEHOLDERS RESPONSE.
29. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HRS. OF A OIL SPILL OR CONTAMINATION. THESE AREAS MUST BE AVAILABLE FOR REVIEW REQUEST FOR CONTAMINATION STORM WATER.

## TEMPORARY EROSION CONTROL MEASURES

ITEM	QUANTITY	UNIT	PRICE
1. SILT FENCE	100	LINEAL FEET	9.50 TO 10.00
2. DIVERSION DITCH	100	LINEAL FEET	3.75 TO 4.75
3. TREE PROTECTION FENCE	100	LINEAL FEET	2.00 TO 3.00
4. ROCK CHECK DAM	40	LINEAL FEET	2.75 TO 3.75
5. TEMPORARY CONSTRUCTION ENTRANCE	40	LINEAL FEET	1.75 TO 2.75
6. CONCRETE WASHOUT	40	LINEAL FEET	2.75 TO 3.75
7. ROCK CHUTE	40	LINEAL FEET	2.75 TO 3.75
8. EROSION CONTROL BLANKET WITH IRREVERSIBLE NETTING	40	SQUARE YARDS	1.75 TO 2.75
9. INLET PROTECTION	40	LINEAL FEET	2.75 TO 3.75

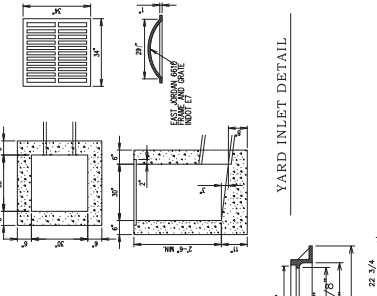
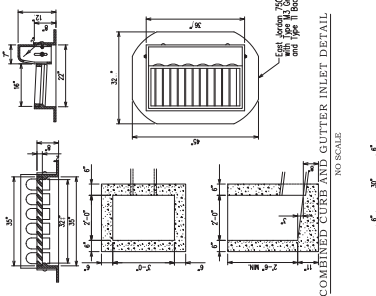
\* PRICES ARE BASED ON A STANDARD CONTRACT AND SHALL BE SUBJECT TO THE CITY OF BLOOMINGTON'S STANDARD CONTRACT AND SHALL BE SUBJECT TO THE CITY OF BLOOMINGTON'S STANDARD CONTRACT.









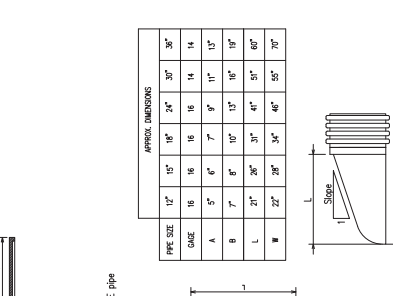
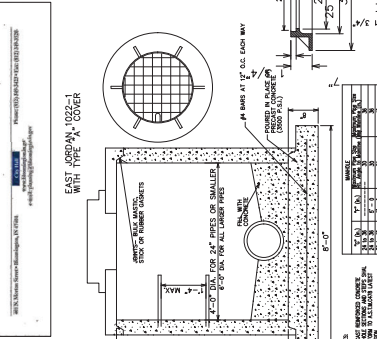


City of Bloomington  
Planning and Engineering Department  
Engineering Division

Approved/Prepared/Checked  
August 23, 2020

NO.	DESCRIPTION	DATE	BY	CHKD
1	DESIGN	08/23/20	J. J. [Name]	[Name]
2	REVISION	08/23/20	J. J. [Name]	[Name]
3	REVISION	08/23/20	J. J. [Name]	[Name]
4	REVISION	08/23/20	J. J. [Name]	[Name]
5	REVISION	08/23/20	J. J. [Name]	[Name]
6	REVISION	08/23/20	J. J. [Name]	[Name]
7	REVISION	08/23/20	J. J. [Name]	[Name]
8	REVISION	08/23/20	J. J. [Name]	[Name]
9	REVISION	08/23/20	J. J. [Name]	[Name]
10	REVISION	08/23/20	J. J. [Name]	[Name]

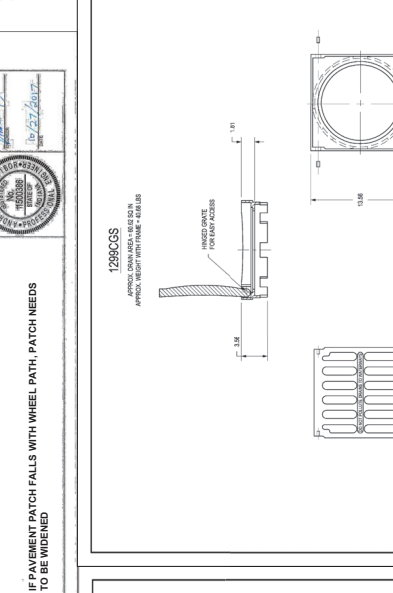
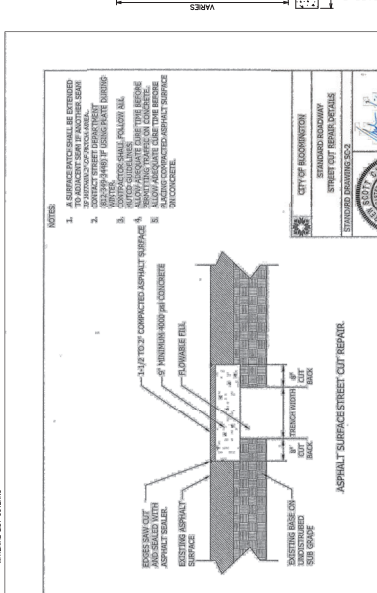
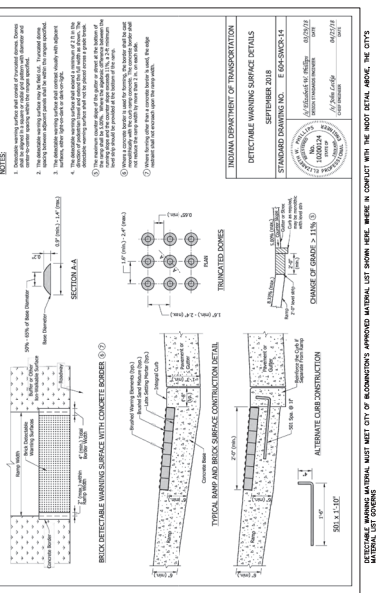
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APPROX. DIMENSIONS

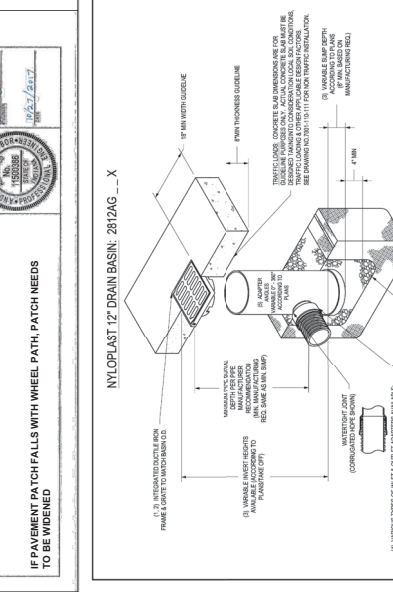
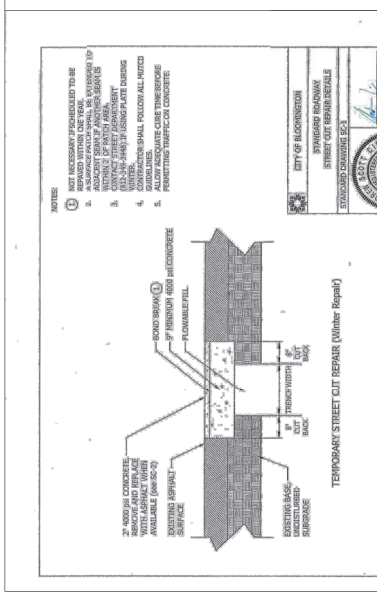
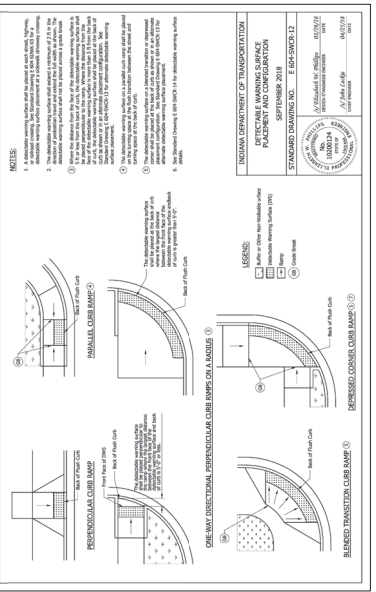
PIPE SIZE	12"	15"	18"	24"	30"	36"
GAZE	18	18	18	18	14	14
A	5	6	7	9	11	13
B	7	8	10	13	16	18
L	21	26	31	41	51	60
M	22	28	34	44	55	70

NOES  
 1. END SECTIONS ARE TO BE GALVANIZED STEEL OR ALUMINUM  
 2. 1/2" THREADED ROD TO BE USED FOR CONNECTION TO PIPE.  
 3. SUBSTITUTIONS TO BE SUBMITTED TO ENGINEER FOR APPROVAL.



1289CCS  
APPROX. DIMENSIONS WITH FRAME 4.0x1.8x1.8

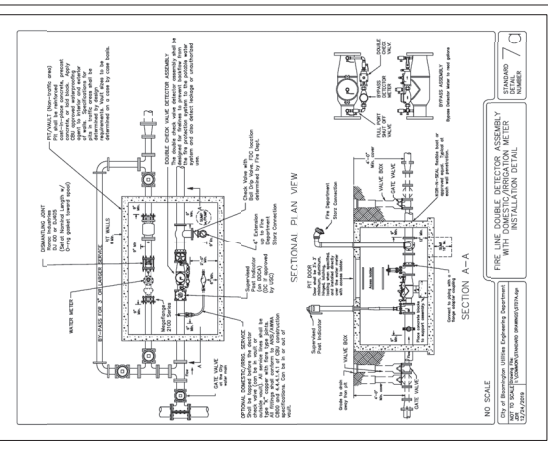
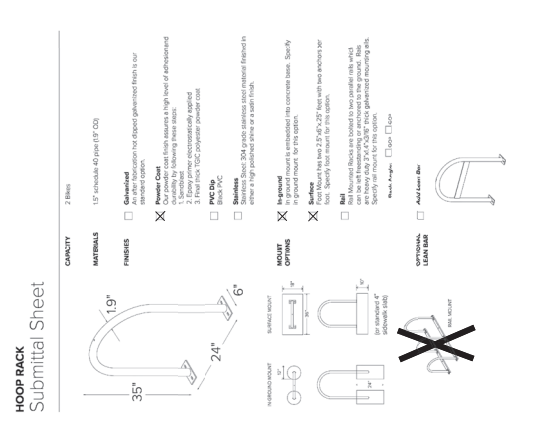
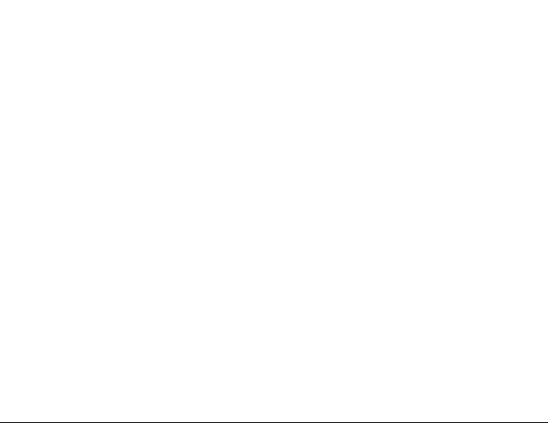
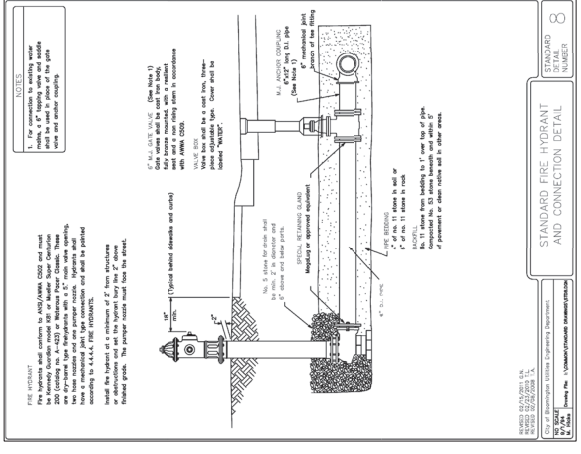
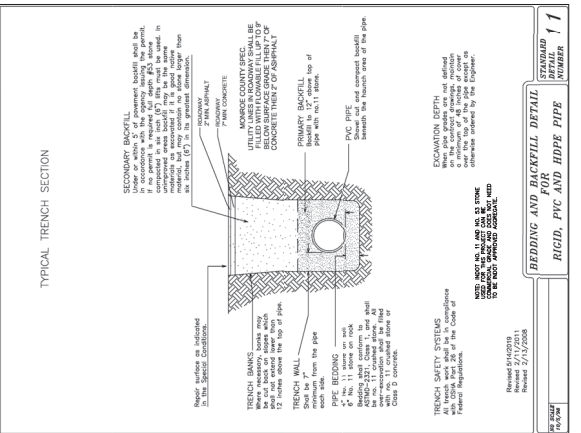
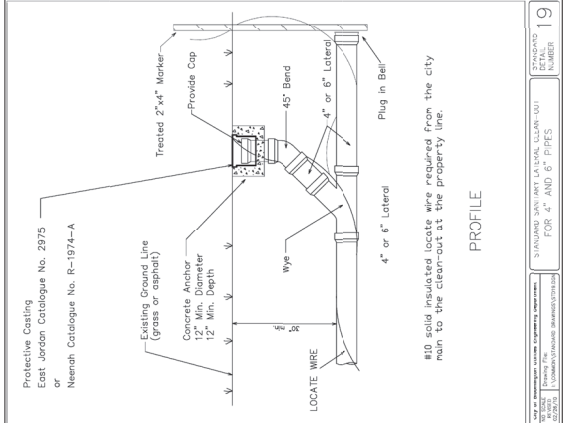
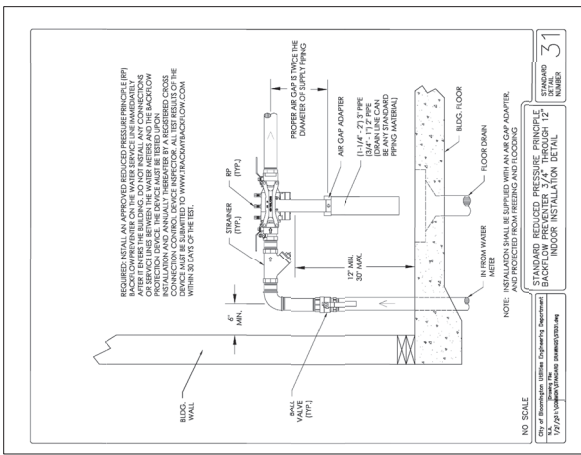
ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE
1	HEADED GRATE FOR RAIN ACCESS	1	EA	150.00
2	CONCRETE	1	CU YD	120.00
3	REBAR	1	LB	0.50
4	FORMWORK	1	SQ YD	10.00
5	LABOR	1	HR	25.00
6	EQUIPMENT	1	HR	100.00
7	TRUCK	1	HR	50.00
8	PERMITS	1	EA	100.00
9	INSURANCE	1	EA	100.00
10	TOTAL			670.00



INTIOPLAST 12\"/>

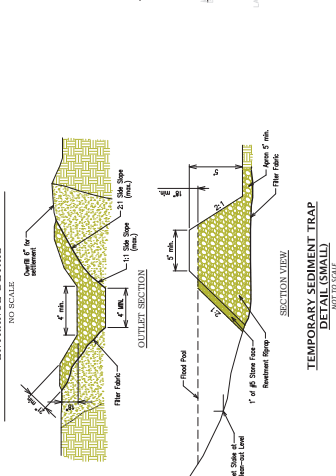
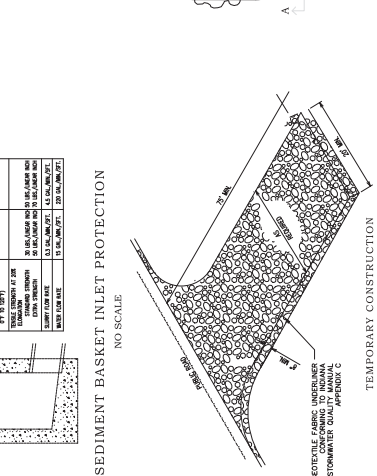
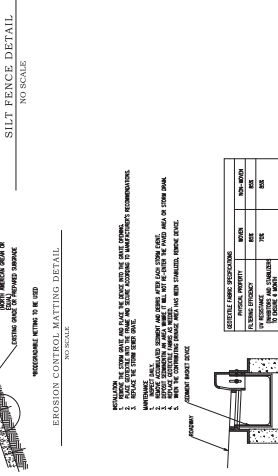
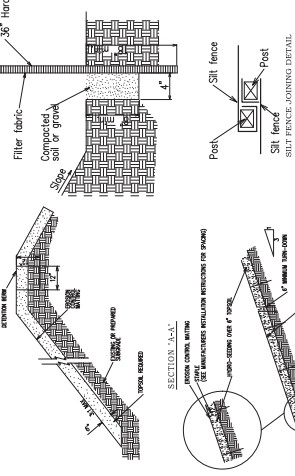
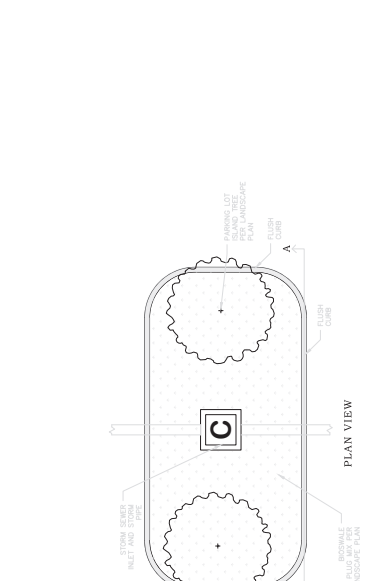
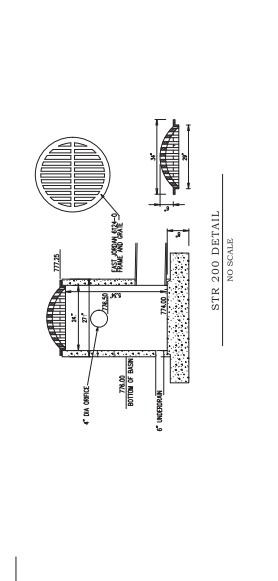
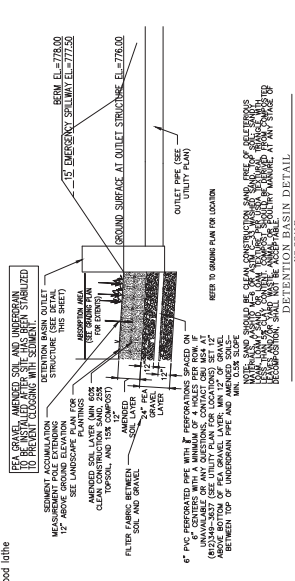
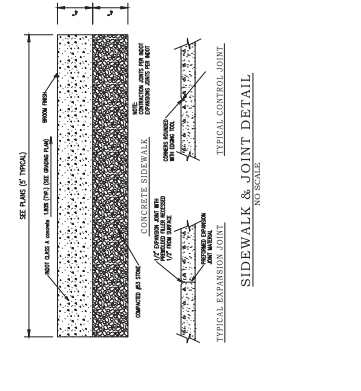
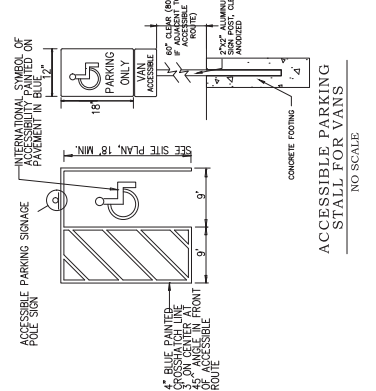
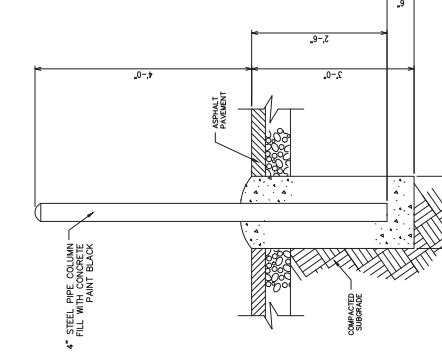
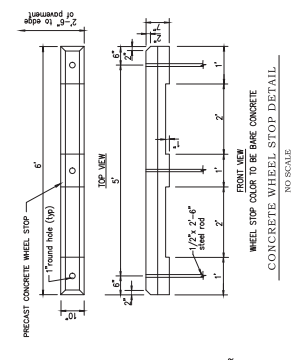
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1	INTIOPLAST 12\"/>			

NO.	REVISIONS	BY	DATE

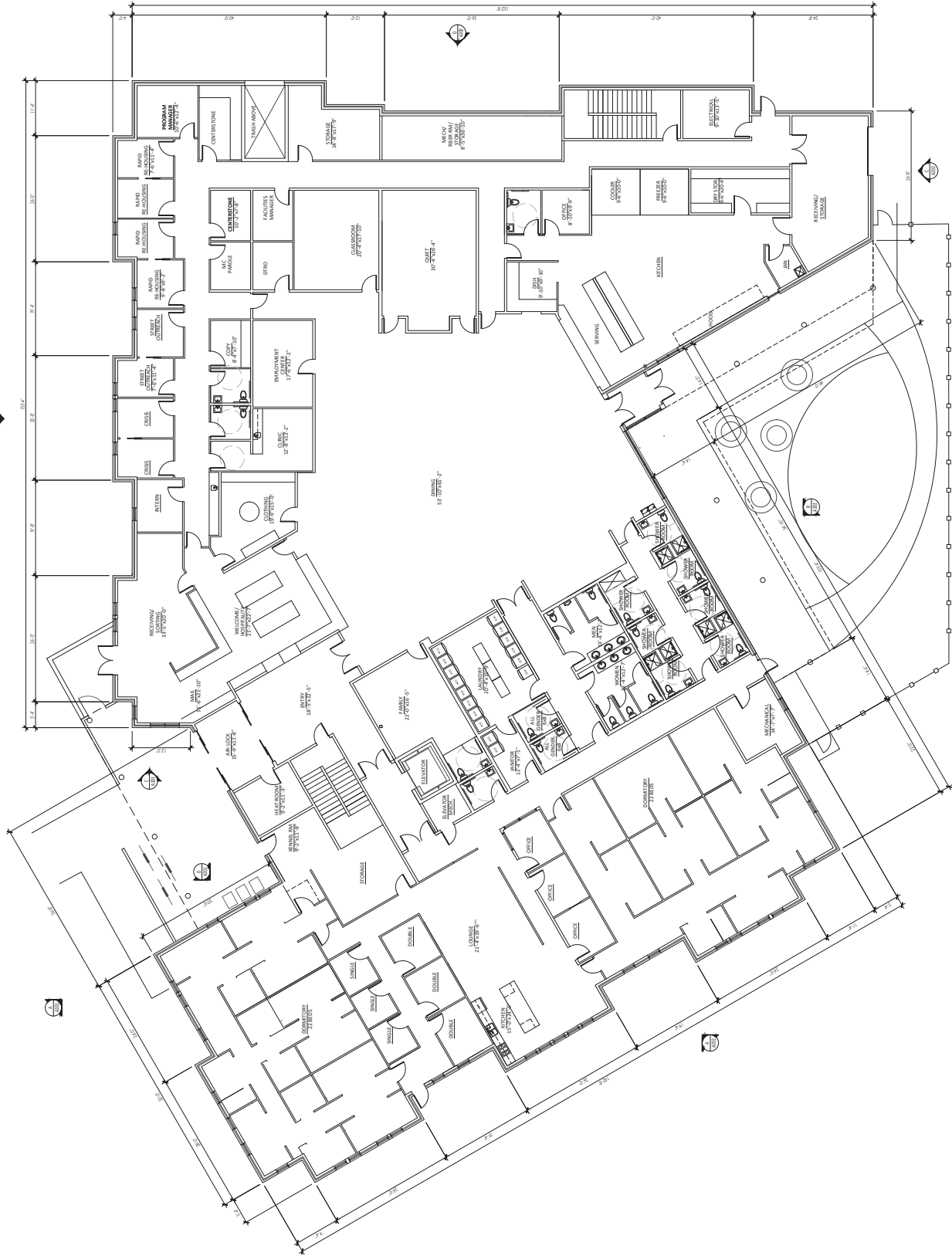


NO.	REVISIONS	BY	DATE

NO.	DESCRIPTION



BEACON CENTER  
SUPPORTIVE HOUSING & SHELTER



OPTION A  
FIRST FLOOR PLAN ↑  
SCALE: 1/8" = 1'-0"



A SECOND FLOOR PLAN ↑  
SCALE: 1/8" = 1'-0"



# BEACON CENTER SUPPORTIVE HOUSING & SHELTER

1201 WEST 3RD STREET

PROJECT INFORMATION  
ARCHITECT PROJECT No. 08-26  
ISSUE DATE 03/25/14  
REVISION/DATE

PLANTING  
DETAILS

32  
L102

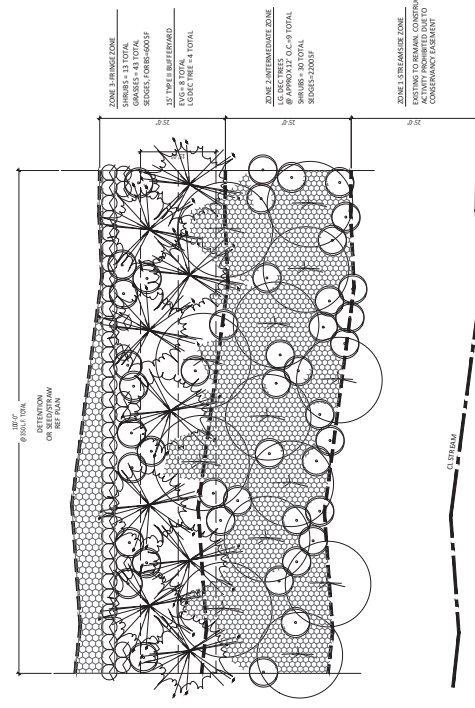
A SECTION  
SCALE: 1/8"=1'-0"

B PLAN  
SCALE: 1/32"=1'-0"

E DETAIL  
SCALE: 1/4"=1'-0"

D DETAIL  
SCALE: 1/4"=1'-0"

C DETAIL  
SCALE: 1/4"=1'-0"



**ZONE 1. EMERGENCY ZONE**  
TREES = 20 TOTAL  
SHRUBS = 15 TOTAL  
GRASSES = 45 TOTAL  
ROCKS = 4000-6000 SF

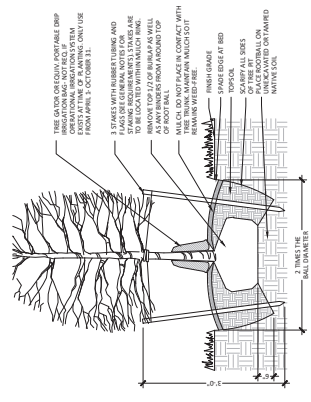
**ZONE 2. INTERMEDIATE ZONE**  
TREES = 45 TOTAL  
SHRUBS = 30 TOTAL  
GRASSES = 10000 SF

**ZONE 3. RELEASE ZONE**  
TREES = 30 TOTAL  
SHRUBS = 15 TOTAL  
GRASSES = 4000-6000 SF

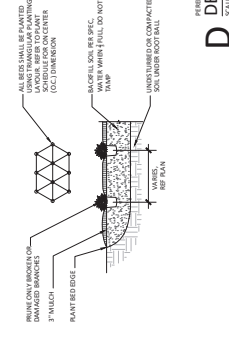
**EXISTING TO REMAIN CONSTRUCTION ACTIVITY PROHIBITED DUE TO CONCERNING FINDINGS**

12'-0" TOTAL DISTANCE FROM DISTURBANCE TO REF PLAN

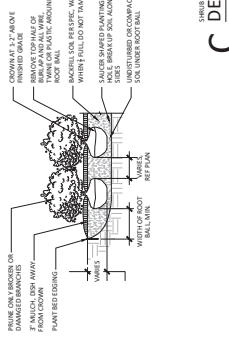
CL. 11'-0"



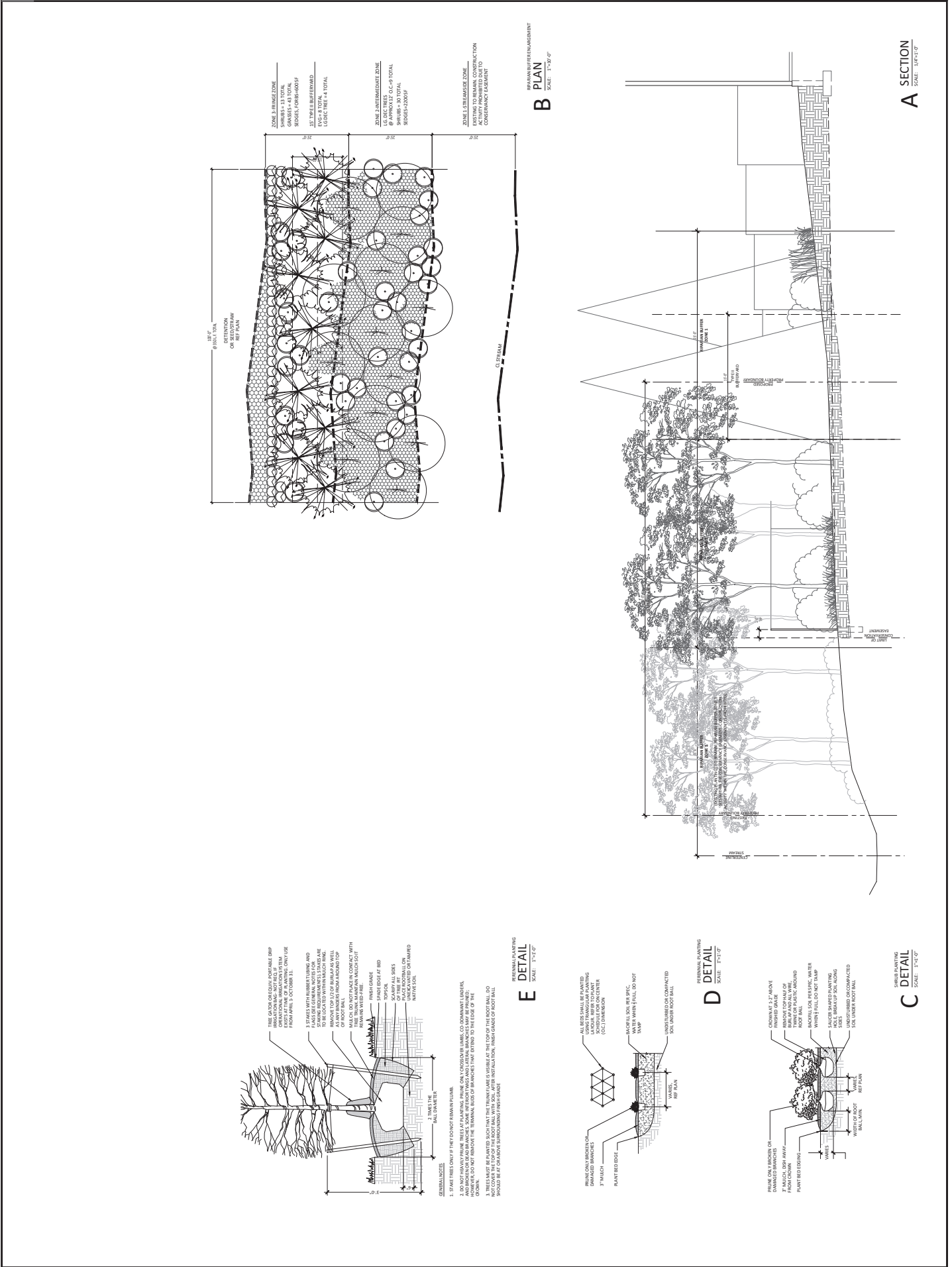
- GENERAL NOTES**
1. STAKE TREES ONLY IF THEY DO NOT REMAIN PLUMB.
  2. DO NOT HEAVILY PRUNE TREES AT PLANTING. PRUNE ONLY CROSS OR BR BRANCHES CO-DOMINANT LEAKERS.
  3. DO NOT REMOVE BRANCHES OR TWIGS OF TREES THAT ARE DAMAGED OR DISEASED.
  4. HOWEVER, DO NOT REMOVE THE BRANCHES OR TWIGS OF TREES THAT ARE DAMAGED OR DISEASED.
  5. DO NOT REMOVE BRANCHES OR TWIGS OF TREES THAT ARE DAMAGED OR DISEASED.
  6. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL. AFTER INSTALATION, FERTILIZER OR SOIL BALL SHOULD BE AT GARDENS SURROUNDING PROTECTION.



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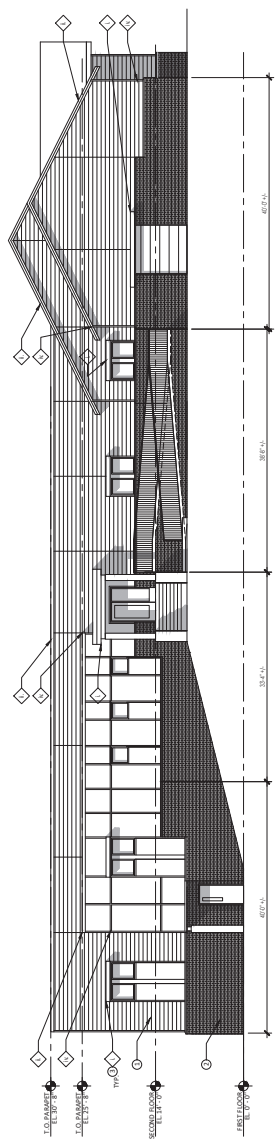




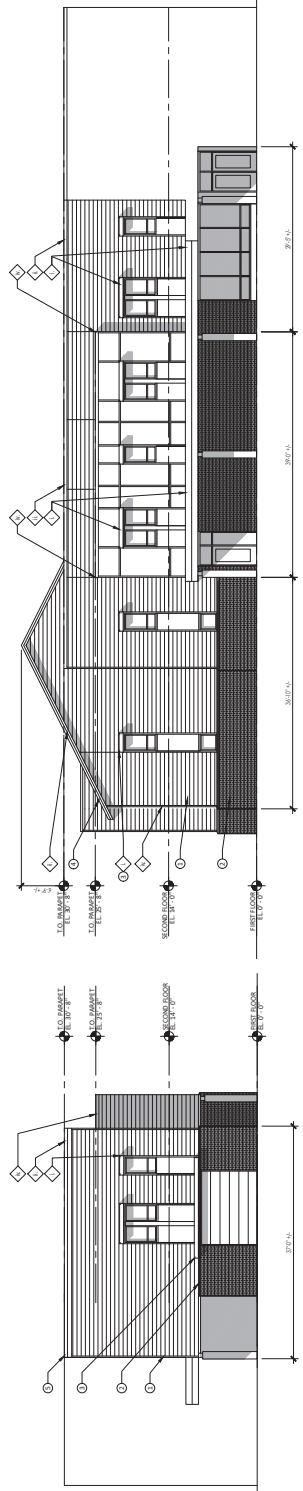
**ELEVATION GENERAL NOTES**

- ELEVATION KEY NOTES**
- ① FIBER CEMENT BOARD SIDING, PAINT
  - ② METAL CANOPY
  - ③ ASPHALT SHINGLE ROOFING SYSTEM
  - ④ MEMBRANE ROOF SYSTEM

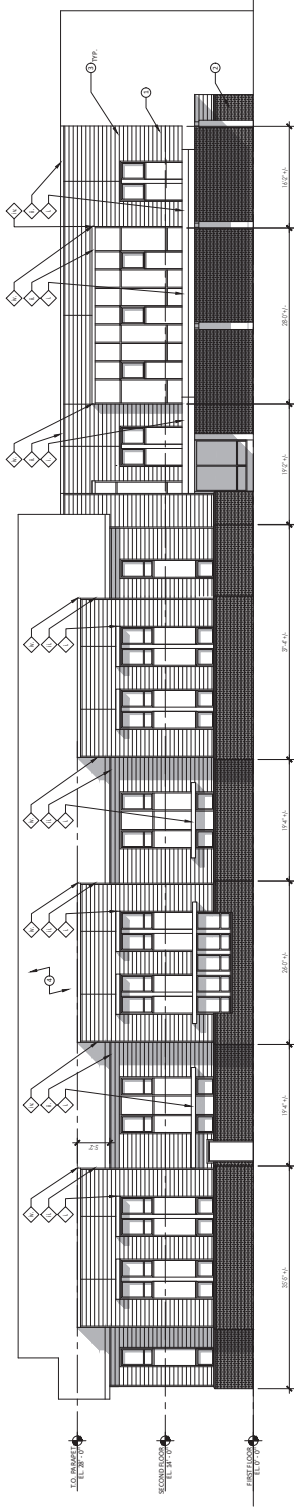
- LUDO FACADE REQUIREMENTS**
- ① MINIMUM CANOPY THAT EXTENDS 24" FROM BUILDING
  - ② MINIMUM HEIGHT CHANGE IN RELATION TO ADJACENT BUILDING
  - ③ REGULAR PATTERNS OF GLASS ON FIRST FLOOR FACADE FROM A STREET LEVEL MIN.
  - ④ MINIMUM WINDOW HEIGHTS, MINIMUM WINDOW DEPTHS AT LEAST 75% OF HORIZONTAL WIDTH



**D EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**B SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**A WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BEACON CENTER**





NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



BIRDS EYE VIEW



**SMITH DESIGN GROUP**  
CIVIL ENGINEERING & LAND SURVEYING



**GRATIUS**  
DEVELOPMENT

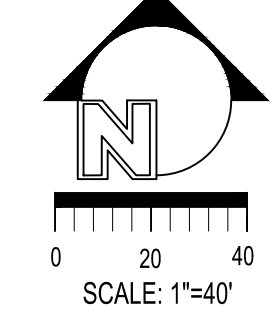


SOLUTIONS FOR  
PEOPLE IN POVERTY



LEGEND

- RR SPIKE
STONE
REBAR
IRON PIPE
MAG NAIL
CONSERVANCY & DRAINAGE EASEMENT
M MEASURED
P PLATTED
R RECORD
FRB FOUND REBAR
SRB SET REBAR
FIP FOUND IRON PIPE
FRS FOUND RAILROAD SPIKE
FMAG FOUND MAG NAIL
SMAG SET MAG NAIL
BC BUILDING CORNER
FND FOUND
P.D.O. POSSIBLE DEED OVERLAP
P.D.G. POSSIBLE DEED GAP
B.G. BELOW GRADE
A.G. ABOVE GRADE
RWM RIGHT OF WAY MONUMENT
B.S.L. BUILDING SETBACK LINE
S.S.E. SANITARY SEWER EASEMENT
D.E. UTILITY EASEMENT
D.U.E. DRAINAGE EASEMENT
D.A.U.E. DRAINAGE AND UTILITY EASEMENT
ADM. FL. ADMINISTRATIVE FLOODWAY
BFE BASE FLOOD ELEVATION



BASIS OF BEARINGS: INDIANA STATE PLANE, WEST ZONE

LOT ADDRESS TABLE
LOT ADDRESS
1A 1211 W 3RD STREET
1B 1221 W 3RD STREET

EASEMENT NOTES

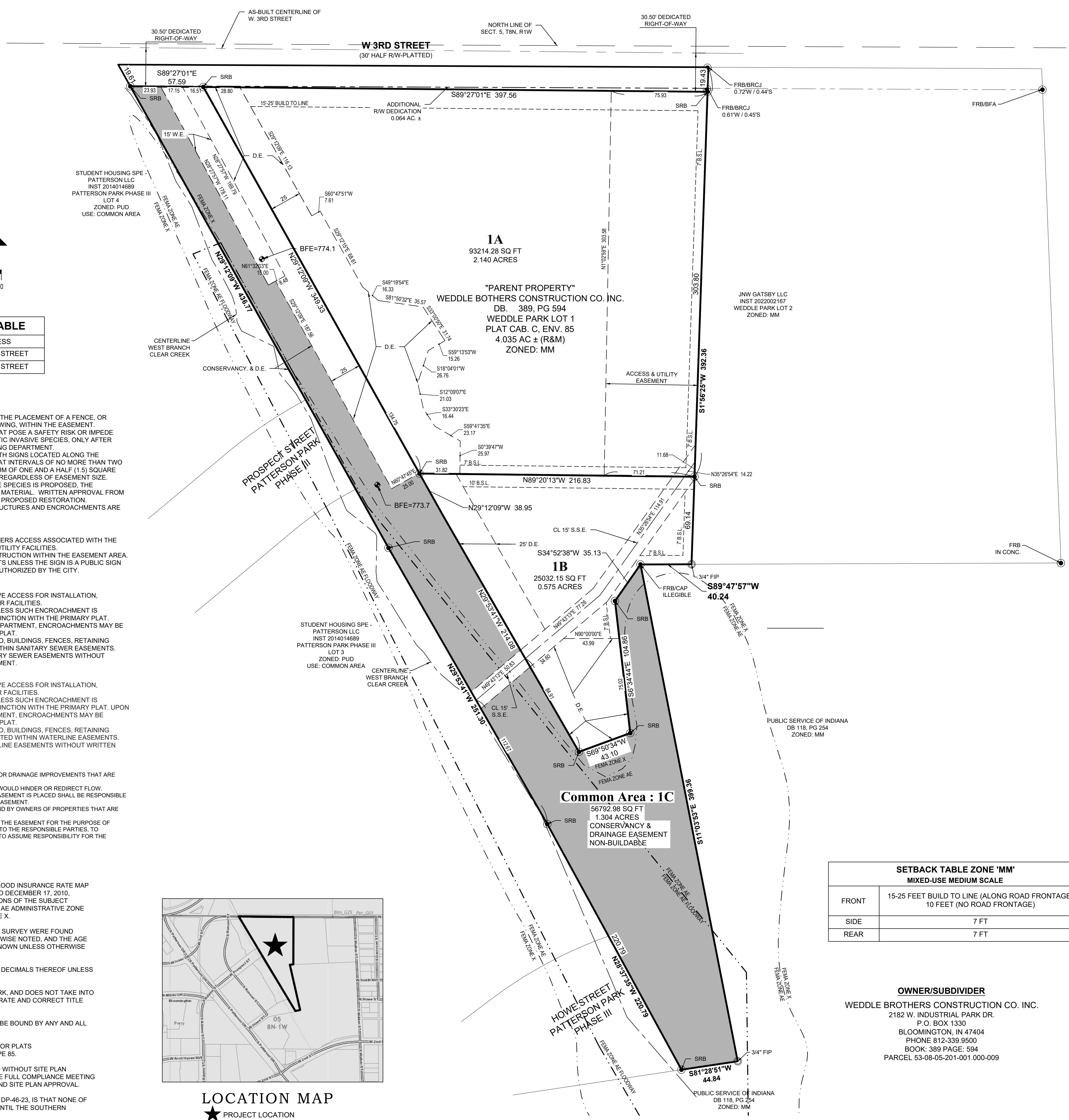
- CONSERVANCY EASEMENT (CE)
(A) PROHIBITS ANY LAND-DISTURBING ACTIVITIES INCLUDING THE PLACEMENT OF A FENCE, OR ALTERATION OF ANY VEGETATIVE COVER, INCLUDING MOWING, WITHIN THE EASEMENT.
(B) ALLOWS THE REMOVAL OF DEAD OR DISEASED TREES THAT POSE A SAFETY RISK OR IMPEDE DRAINAGE AS WELL AS ALLOWING THE REMOVAL OF EXOTIC INVASIVE SPECIES, ONLY AFTER FIRST OBTAINING WRITTEN APPROVAL FROM THE PLANNING DEPARTMENT.
(C) ALL CONSERVANCY EASEMENTS SHALL BE IDENTIFIED WITH SIGNS LOCATED ALONG THE BOUNDARY OF THE EASEMENT. SIGNS SHALL BE PLACED AT INTERVALS OF NO MORE THAN TWO HUNDRED (200) FEET, AND EACH SIGN SHALL BE A MAXIMUM OF ONE AND A HALF (1.5) SQUARE FEET IN AREA. A MINIMUM OF ONE (1) SIGN IS REQUIRED, REGARDLESS OF EASEMENT SIZE.
(D) ALLOWS, IN CASES WHERE REMOVAL OF EXOTIC INVASIVE SPECIES IS PROPOSED, THE RESTORATION OF DISTURBED AREAS WITH NATIVE PLANT MATERIAL. WRITTEN APPROVAL FROM THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO ANY PROPOSED RESTORATION.
(E) DISTURBANCE AND ACTIVITIES TO REMOVE EXISTING STRUCTURES AND ENCROACHMENTS ARE ALLOWED.
UTILITY EASEMENT (UE)
(A) SHALL ALLOW BOTH PRIVATE AND PUBLIC UTILITIES PROVIDERS ACCESS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF UTILITY FACILITIES.
(B) PROHIBITS THE PLACEMENT OF ANY UNAUTHORIZED OBSTRUCTION WITHIN THE EASEMENT AREA.
(C) SIGNS SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS UNLESS THE SIGN IS A PUBLIC SIGN AUTHORIZED BY SECTION 20.05.079(f)(1) OR IS FURTHER AUTHORIZED BY THE CITY.
SANITARY SEWER EASEMENT (SSE)
(A) SHALL ALLOW THE CITY UTILITIES DEPARTMENT EXCLUSIVE ACCESS FOR INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF SANITARY SEWER FACILITIES.
(B) ENCROACHMENT BY OTHER UTILITIES IS PROHIBITED, UNLESS SUCH ENCROACHMENT IS APPROVED BY THE CITY UTILITIES DEPARTMENT IN CONJUNCTION WITH THE PRIMARY PLAT.
(C) UPON WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT, ENCROACHMENTS MAY BE PERMITTED AFTER THE RECORDING OF THE SECONDARY PLAT.
(D) TREES AND STRUCTURE INCLUDING, BUT NOT LIMITED TO, BUILDINGS, FENCES, RETAINING WALLS, AND LIGHT FIXTURES, SHALL NOT BE LOCATED WITHIN SANITARY SEWER EASEMENTS.
(E) GRADING ACTIVITY SHALL BE PROHIBITED WITHIN SANITARY SEWER EASEMENTS WITHOUT WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT.
WATERLINE EASEMENT (WE)
(A) SHALL ALLOW THE CITY UTILITIES DEPARTMENT EXCLUSIVE ACCESS FOR INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF POTABLE WATER FACILITIES.
(B) ENCROACHMENT BY OTHER UTILITIES IS PROHIBITED, UNLESS SUCH ENCROACHMENT IS APPROVED BY THE CITY UTILITIES DEPARTMENT IN CONJUNCTION WITH THE PRIMARY PLAT. UPON WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT, ENCROACHMENTS MAY BE PERMITTED AFTER THE RECORDING OF THE SECONDARY PLAT.
(C) TREES AND STRUCTURES INCLUDING, BUT NOT LIMITED TO, BUILDINGS, FENCES, RETAINING WALLS, SIGNS, AND LIGHT FIXTURES, SHALL NOT BE LOCATED WITHIN WATERLINE EASEMENTS.
(D) GRADING ACTIVITY SHALL BE PROHIBITED WITHIN WATERLINE EASEMENTS WITHOUT WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT.
DRAINAGE EASEMENT (DE)
(A) SHALL BE REQUIRED FOR ANY SURFACE SWALES OR OTHER MINOR DRAINAGE IMPROVEMENTS THAT ARE INTENDED TO SERVE THE LOTS ON WHICH THEY ARE LOCATED.
(B) SHALL PROHIBIT ANY ALTERATION WITHIN THE EASEMENT THAT WOULD HINDER OR REDIRECT FLOW.
(C) SHALL PROVIDE THAT THE OWNER OF THE LOT ON WHICH THE EASEMENT IS PLACED SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FEATURES WITHIN SUCH EASEMENT.
(D) SHALL BE ENFORCEABLE BY THE CITY UTILITIES DEPARTMENT AND BY OWNERS OF PROPERTIES THAT ARE ADVERSELY AFFECTED BY CONDITIONS WITHIN THE EASEMENT.
(E) SHALL ALLOW THE CITY UTILITIES DEPARTMENT TO ENTER UPON THE EASEMENT FOR THE PURPOSE OF MAINTENANCE, TO CHARGE THE COSTS OF SUCH MAINTENANCE TO THE RESPONSIBLE PARTIES, TO CONSTRUCT DRAINAGE FACILITIES WITHIN THE EASEMENT, AND TO ASSUME RESPONSIBILITY FOR THE DRAINAGE FEATURES AT ITS DISCRETION.

NOTES

- 1. BASED UPON A SCALED INTERPRETATION OF THE FLOOD INSURANCE RATE MAP 18105C0141D FOR MONROE COUNTY, INDIANA, DATED DECEMBER 17, 2010, INCLUDING LOMR 15-05-2536P EFF. 2/11/2016. PORTIONS OF THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE AE, AND ZONE AE ADMINISTRATIVE ZONE AS SHOWN, THE REMAINDER IS IN (UNSHADED) ZONE X.
2. ALL MONUMENTS FOUND IN PERFORMANCE OF THIS SURVEY WERE FOUND FLUSH WITH THE EXISTING GROUND UNLESS OTHERWISE NOTED, AND THE AGE AND ORIGIN OF SAID FOUND MONUMENTS ARE UNKNOWN UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE LABELED.
4. SURVEY DONE WITHOUT THE BENEFIT OF TITLE WORK, AND DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE AND CORRECT TITLE SEARCH AND/OR EXAMINATION MIGHT DISCLOSE.
5. THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE BOUND BY ANY AND ALL EASEMENTS OR RESTRICTIONS OF RECORD.
6. REFERENCE IS MADE TO THE FOLLOWING SURVEYS OR PLATS
A. WEDDLE PARK ADDITION, PLAT CABINET C, ENVELOPE 85.
7. NO EXPANSION OR IMPROVEMENTS ARE PERMITTED WITHOUT SITE PLAN APPROVAL. ANY SITE MODIFICATIONS WILL REQUIRE FULL COMPLIANCE MEETING THE CITY OF BLOOMINGTON UDO REQUIREMENTS AND SITE PLAN APPROVAL.
8. A CONDITION OF PRIMARY PLAT APPROVAL, CASE #: DP-46-23, IS THAT NONE OF THE 3 LOTS CAN BE SOLD TO SEPARATE OWNERS UNTIL THE SOUTHERN BUILDING HAS BEEN DEMOLISHED.



LOCATION MAP
PROJECT LOCATION



SETBACK TABLE ZONE 'MM'
MIXED-USE MEDIUM SCALE
FRONT 15-25 FEET BUILD TO LINE (ALONG ROAD FRONTAGE) 10 FEET (NO ROAD FRONTAGE)
SIDE 7 FT
REAR 7 FT

OWNER/SUBDIVIDER
WEDDLE BROTHERS CONSTRUCTION CO. INC.
2182 W. INDUSTRIAL PARK DR.
P.O. BOX 1330
BLOOMINGTON, IN 47404
PHONE 812-339-9500
BOOK- 389 PAGE: 594
PARCEL 53-08-05-201-001.000-009

WEDDLE PARK LOT 1, AMENDMENT ONE SECONDARY PLAT

OWNER CERTIFICATION

WEDDLE BROTHERS CONSTRUCTION COMPANY LLC, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY LAYOFF, PLAT AND SUBDIVIDE THE SAME INTO PARCELS IN ACCORDANCE WITH THIS PLAT. THE WITHIN PLAT SHALL BE KNOWN AS WEDDLE PARK LOT 1, AMENDMENT ONE, SECONDARY PLAT.

THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF COVENANTS AND RESTRICTIONS SHOWN ON THE PLAT OF WEDDLE PARK FINAL PLAT.

ALL ADDITIONAL ROAD RIGHTS-OF-WAY SHOWN AND NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO PUBLIC USE.

THERE ARE STRIPS OF GROUND SHOWN ON THE PLAT AND MARKED "EASEMENT". BUILDINGS OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR MAINTAINED IN THESE STRIPS.

THERE ARE BUILDING SETBACKS LINES ESTABLISHED BY THIS PLAT. BUILDINGS OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR MAINTAINED BETWEEN SAID LINES AND THE PROPERTY LINES.

WITNESS OUR HANDS THIS \_\_\_ DAY OF \_\_\_, 2024.

STATE OF INDIANA:
COUNTY OF

BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF INDIANA AND MONROE COUNTY, PERSONALLY APPEARED PERSONALLY KNOWN TO ME TO BE THE OWNERS OF THE DESCRIBED REAL ESTATE, AND WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING SUBDIVISION OF THE REAL ESTATE AS SHOWN AS A VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AN NOTARIAL SEAL THIS \_\_\_ DAY OF \_\_\_, 2024.

MY COMMISSION EXPIRES: \_\_\_\_\_

A RESIDENT OF \_\_\_\_\_, NOTARY PUBLIC

PLAT COMMITTEE
UNDER THE AUTHORITY PROVIDED BY CHAPTER 174, ACTS OF 1947, ENACTED BY GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCE ADAPTED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE CITY OF BLOOMINGTON AS FOLLOWS:

APPROVED PER TERMS AND CONDITIONS OF PLAT COMMITTEE CASE #DP-46-23
APPROVED BY THE CITY PLAT COMMITTEE AT A MEETING HELD:
JANUARY 8, 2024

DIRECTOR OF PLANNING AND TRANSPORTATION

SURVEYOR'S REPORT

JOB NUMBER: 6778
TYPE OF SURVEY: RETRACEMENT SURVEY
CLASS OF SURVEY: URBAN SURVEY (865 IAC 1-12)
FIELD WORK COMPLETED: OCTOBER 15, 2023
LOCATION OF SURVEY: 1201 W 3RD STREET, BLOOMINGTON, INDIANA

IN ACCORDANCE WITH TITLE 865, ARTICLE 1, CHAPTER 12 (RULE 12) OF THE INDIANA ADMINISTRATIVE CODE (IAC), THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE UNCERTAINTY IN THE POSITION OF THE LINES AND CORNERS ESTABLISHED AND/OR REESTABLISHED ON THIS SURVEY AS A RESULT OF:

- 1) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS.
2) CLARITY AND/OR AMBIGUITY OF THE RECORD DESCRIPTION(S) USED AND/OR THE ADJOINER'S DESCRIPTIONS.
3) OCCUPATION OR POSSESSION LINES
4) MEASUREMENTS (RELATIVE POSITIONAL ACCURACY)
NOTE: THERE MAY EXIST UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES.

- 1) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS
MONUMENTS USED IN PERFORMANCE OF THIS SURVEY ARE LABELED HEREON. UP TO 0.72 FEET OF UNCERTAINTY.
2) CLARITY AND/OR AMBIGUITY OF THE RECORD DESCRIPTION(S)
NONE
3) OCCUPATION OR POSSESSION LINES
POSSESSION LINES AT THE TIME OF THE SURVEY ARE LABELED HEREON. UP TO 26.6 FEET OF UNCERTAINTY.
4) MEASUREMENTS (RELATIVE POSITIONAL ACCURACY)
URBAN SURVEY (+/- 0.07 FOOT PLUS 50 PARTS PER MILLION) AS DEFINED IN 865 IAC 1-12, EFFECTIVE MAY 4, 2006.
THEORY OF LOCATION
THE FOUND MONUMENTS IN WEDDLE PARK SUBDIVISION SHOWN HEREON WERE HELD AS THEIR RESPECTIVE CORNERS AND USED TO RECREATE LOT 1 AT RECORD ANGLE AND DISTANCES.

LEGAL DESCRIPTION
LOT NUMBER 1 IN WEDDLE PARK AS SHOWN BY THE RECORDED PLAT THEREOF, RECORDED IN PLAT CABINET C, ENVELOPE 85, IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

SURVEYOR'S CERTIFICATE
THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 865 IAC 1-12 FOR THE STATE OF INDIANA.

DATED JANUARY 26, 2024

SCOTT P. PARDUE
REGISTERED LAND SURVEYOR NO. 22300016
STATE OF INDIANA



I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. (SCOTT PARDUE)



**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT**

**CASE #: SP-11-24  
DATE: April 15, 2024**

**Location:** 1303-1403 N. Lincoln Street; 216-220 E. 19<sup>th</sup> Street;  
1310-1334 N. Washington Street; 121-205 E. 17<sup>th</sup> Street

**PETITIONER:** Core Bloomington Lincoln, LLC  
1643 N. Milwaukee Ave, Chicago, IL

**CONSULTANTS:** DLR Group  
333 Wacker Drive, Chicago, IL

**REQUEST:** The petitioner is requesting major site plan approval to allow a “student housing or dormitory” use to allow for the construction of 441 units with 1,143 bedrooms in the Mixed-Use Student Housing (MS) zoning district. Also requested is approval of the use of the Sustainable Development incentives and Affordable Housing incentives.

**BACKGROUND:**

**Area:** 5.715 acres  
**Zoning:** Mixed-Use Student Housing (MS)  
**Comp Plan Designation:** Neighborhood Residential  
**Existing Land Use:** Single and Multifamily dwelling units  
**Proposed Land Use:** Student Housing or Dormitory  
**Surrounding Uses:** North – Single and Multifamily dwelling units  
West – Single and Multifamily dwelling units  
East – Single and Multifamily dwelling units  
South – Single and Multifamily dwelling units

**REPORT:** The petition site is located at 1303-1403 N. Lincoln Street; 216-220 E. 19<sup>th</sup> Street; 1310-1334 N. Washington Street; and 121-205 E. 17<sup>th</sup> Street and all properties within this site are zoned Mixed-Use Student Housing (MS). The overall petition site has frontage on 17<sup>th</sup> Street to the south, Lincoln Street to the east, 19<sup>th</sup> Street to the north, and Washington Street to the west. Surrounding properties are all zoned Mixed-Use Student Housing (MS) and have been developed with a mix of single and multifamily dwelling units. The properties within the site contain a mix of single and multifamily dwelling units. A demolition permit has been issued to demolish all of the existing buildings. Some of the buildings within the petition site were noted as Contributing historic structures, which were approved for demolition through the Demolition Delay process. There are no known sensitive or regulated environmental features within the petition site.

The petitioner is requesting major site plan approval to allow the construction of two, five-story residential buildings with a total of 441 dwelling units and 1,143 bedrooms. There will be a total of 114 studios, 22 one-bedroom units, 127 two-bedroom units, 27 three-bedroom units, 59 four-bedroom units, and 92 five-bedroom units within the two buildings. A total of 651 parking spaces will be provided on-site within a parking garage attached to the southern building. On-site parking also includes 26 electric vehicle charging stations and 230 bicycle parking stalls. This site has frontage on four surrounding streets and new pedestrian facilities will be installed along Washington Street, 19<sup>th</sup> Street, and Lincoln Street. A new multiuse path was recently installed by the City along the 17<sup>th</sup> Street corridor and included this property frontage, so no new facilities are required along 17<sup>th</sup> Street.

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The petitioner is requesting to be able to utilize the Sustainable Development Incentives outlined in Section 20.04.110(d)(2)(B) by meeting the requirements of the USGBC's LEED certification at a Silver Level. The petitioner is also requesting to utilize the Affordable Housing Incentives through the "Payment-in-Lieu" option and has outlined compliance with that requirement in their petitioner statement. The approval of both incentives would also allow the petitioner to not be restricted in the size of the floor plate allowed.

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**MAJOR SITE PLAN REVIEW 20.06.050(a)(2)(C)(ii):** Major site plan approval is required for developments that contain more than 50 dwelling units. This proposed site plan will involve the construction of 441 dwelling units and therefore triggers major site plan review.

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**DEVELOPMENT STANDARDS & INCENTIVES 20.04:** The following UDO standards are required to be reviewed for all activities that require New Development approval.

**MS Dimensional Standards:**

**Building setbacks:** The minimum front building setback is 58' from the centerline of 17<sup>th</sup> Street and 15' from the property lines along Washington Street, 19<sup>th</sup> Street, and Lincoln Street. The proposed building meets all of the setback requirements. There are no side or rear yard setbacks for this overall site.

**Front parking setback (minimum):** The minimum front parking setback is 20 feet behind the primary structure's front building wall or for parking within a building, the parking area must be 20' back from the front facade. All of the parking within the building has been shown to be set back 20' from the front building wall and there are no surface parking lots.

**Side/Rear parking setback (minimum):** There are no exterior parking lots and there are no setbacks from side or rear property lines applicable for parking within a building.

**Minimum Landscape Area:** The minimum landscape area required is 30% and they are proposing 30%, which meets this minimum standard.

**Primary structure height:** The maximum height allowed in the MS district is six (6) stories not to exceed 75 feet. Although the petitioner is proposing to utilize the Sustainable Development incentives and Affordable Housing incentives and would be allowed two additional stories, the proposed building is only 5 stories and is within the allowable height for the district.

**Environment:** There are no known sensitive or regulated environmental features within the site.

**Steep Slopes:** No naturally occurring steep slopes are present.

**Siltation and erosion prevention:** An erosion control plan has been submitted as part of the proposal and will be approved with the grading permit. A grading permit will be required before development can begin on the property. There are no unique siltation or erosion control issues expected with this proposal.

**Drainage:** A grading and drainage plan have been submitted. Storm water detention is proposed through a series of catch basins and piping to direct storm water to an underground detention area at the northwest corner of the site. A copy of the storm water management plan and overall utility plans have been submitted to City of Bloomington Utilities for their review. At this time, there are no drainage issues expected with this proposal. Final approval from CBU is required prior to issuance of a grading permit.

**Riparian Buffer:** There are no riparian buffers on the site.

**Karst Geology:** There are no known karst features on the site.

**Wetlands:** No wetlands were identified on the site.

**Tree and forest preservation:** There is no closed canopy on the site.

**Lake Watershed:** There are no watershed issues on the site.

**Floodplain:** The property is not within a regulated 100-year floodplain.

#### **Access and Connectivity:**

**Driveways and access:** There is only one vehicular access point proposed for the site and that will be from the stub of Washington Street into the parking garage. There are several pedestrian access points into the buildings along all four of the street frontages. In addition, there is an emergency access path shown between the buildings with a rolled curb provided along both the Washington Street and Lincoln Street frontages for emergency fire truck access.

**Bicycle and Pedestrian Facilities:** 17th Street is classified as a General Urban typology and requires a 10' wide concrete sidewalk with an 8' tree plot. The City recently installed an 8' multi-use path along the entire north side of 17<sup>th</sup> Street, including this property frontage, so no pedestrian improvements are required along that frontage. Washington Street and Lincoln Street are both classified as a Neighborhood Residential typology and require a 6' sidewalk and 5' tree plot. These required facilities have been shown along both frontages. 19<sup>th</sup> Street is classified as a Neighborhood Residential typology and as a Neighborhood Greenway and also requires a 6' sidewalk and 5' tree plot, which have been shown. Due to the location of Washington Street not centered within the right-of-way and the limited right-of-way along Washington Street, there are portions of the proposed sidewalks along Washington Street that are not located within the right-of-way, any sidewalks not located within the right-of-way must be placed in pedestrian easements. Crosswalks and ramps from Lincoln and Washington Street need to be shown along the 19<sup>th</sup> Street frontage to align with adjacent crosswalks. There are also crosswalks and ramps missing at the Lincoln Street crossing adjacent to 18<sup>th</sup> Street that need to be shown. A condition of approval has been included for those crossings.

Based on the 1,143 bedrooms, the UDO requires one bicycle parking space per 5 bedrooms which equals 229 bicycle parking spaces required. Since there are more than 25 dwelling units, a minimum of one quarter of the bicycle spaces must be long-term spaces. Since the buildings are more than 20,000 square feet, any exterior bicycle parking spaces must also be covered. There will be bicycle parking areas provided within each building to meet the bicycle parking requirement with 114 stalls provided in the northern building and 116 stalls provided in the southern building for a total of 230 stalls, which meets the minimum requirement. In addition, bicycle parking areas will be provided along the exterior of the buildings adjacent to the entrances. The spaces shown on the exterior of the building must be covered spaces and a condition of approval has been included.

**Public Transit:** A bus stop has been requested by Bloomington Transit along 17<sup>th</sup> Street for this project and has been shown on the plans.

**Parking and Loading:** Based on the proposed bedroom count and utilization of incentives, the minimum number of on-site parking spaces required is 372 spaces and the maximum is 857 spaces. The petitioner is proposing 651 parking spaces inside the building which meets the minimum number of spaces required and does not exceed the maximum. Since there are more than 50 parking spaces, the UDO requires a minimum of 1 electric vehicle charging station for every 25 spaces, therefore a minimum of 26 electric vehicle charging stations are required and have been included.

### **Site and Building Design:**

**Material:** The building exterior is predominantly masonry and precast concrete, with a mix of metal panels and cementitious panels used as secondary materials. All of the materials shown are allowed as either primary or secondary materials.

**Exterior Facade:** The petitioner has incorporated a series of recessed modules, raised parapets, awnings and canopies, and transparent glass throughout the four facades. The proposed façade elevations all meet the requirements of the UDO. Compliance with the architectural standards of the UDO has been outlined on pages A2-4 through A2-9 of the petitioner's exhibits.

In regards to the parking garage exteriors, the Department is concerned about the lack of diversity of building materials and design elements that create a monotonous façade of the northern and western portions of the facade of the parking garage. Although the petitioner has met the Use Specific standards for the exterior design of the garage, the incorporation of different materials, colors, or design elements would substantially improve the look of those facades by breaking up the uniform design. A condition of approval has been included regarding those facades for the petitioner to continue to work with staff on those two façades.

**Patterns:** A series of different elements and finishing materials have been incorporated within the modules to provide horizontal and vertical design elements and pattern. There are three different colors used on the facades.

**Eaves & Roof:** The buildings will utilize a flat roof with parapets which is allowed.

**360-Degree Architecture:** All four sides of the building show similar architecture and design elements. The building therefore meets the 360-degree architecture requirements.

**Pedestrian Entry:** Pedestrian entrances have been shown along all of the street frontages of both buildings with sidewalk connections shown from the buildings to the adjacent street. However, the Department is concerned with the location of the pedestrian entrance into the building that is shown on 17<sup>th</sup> Street and believes that locating that entrance more predominantly in the center of the building would better highlight that entry and improve the building interaction with the pedestrian experience along the street. While the Department has been working with the petitioner on adjusting the location of the entrance to be more visible, more easily identified, and centrally located, at the time of the preparation of the staff report we were unable to resolve that item. A condition of approval has been included to require the petitioner to continue to work with staff on adjusting the location and design of that entry point.

**Windows on Primary Facades:** All proposed windows on the building are shown to be transparent and therefore are in compliance.

**Anti-monotony Standards:** There are only two buildings proposed for this lot, so the anti-monotony standards don't apply. These standards only apply if there are more than three buildings proposed.

**Landscape, Buffering, and Fences:** The petitioner has submitted a landscape plan for the property showing compliance with the UDO standards. In general the proposed landscape plan meets the UDO requirements except for three areas- 1) The street trees shown along 17<sup>th</sup> Street are directly under overhead electric lines and the species must be changed to a small tree species, this will also result in additional trees required. 2) There are street trees missing along the Washington Street frontage to the north of the parking garage entrance. 3) Landscaping is required along the sides of the transformers to buffer those from the street. A condition of approval has been included

for both of these aspects.

**Outdoor Lighting:** A lighting and photometric plan will have to be submitted which shows that the site meets UDO requirements for maximum light trespass and fixture types. No deviations from the lighting code are expected. A condition of approval has been added.

**Incentives:** The proposal is seeking Tier I Affordable Housing incentives through the ‘payment-in-lieu’ option. The petitioner will contribute \$20,000 each for 15% of the total bedrooms proposed at the site. For 1,143 beds, that equals a total of \$3,440,000 required contribution. That number will be adjusted if the bed count changes. The proposal is also seeking Sustainable Development Bonus, and proposes to achieve the requirements of the USGBC’s LEED certification at a Silver Level. The incorporation of both of these incentives allows for no maximum floor plate.

**Utilities:** An underground detention area is proposed on the north side of the site as well as rain gardens on the south side of the building to meet storm water detention requirements. The City of Bloomington Utilities Department is still reviewing the proposed storm water management plan and utility plan. It is expected that the sanitary sewer line serving this project will need to be replaced and upgraded along 19<sup>th</sup> Street. Existing water service lines are anticipated to be adequate, but final acceptance and approval is required from CBU prior to issuance of any permits.

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**SITE PLAN REVIEW:** The Plan Commission shall review the major site plan petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision ), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).

#### **20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** The proposed site plan is compliant with all of the standards of the UDO with the exception of the changes outlined for the landscape plan. Items related to improvements within the right-of-way for crosswalks have also been addressed through conditions of approval. There are no prior approvals for this property or other known applicable regulations. Although there are some improvements anticipated to provide sanitary sewer service to the property, in general the existing utility infrastructure is expected to adequately serve this development.

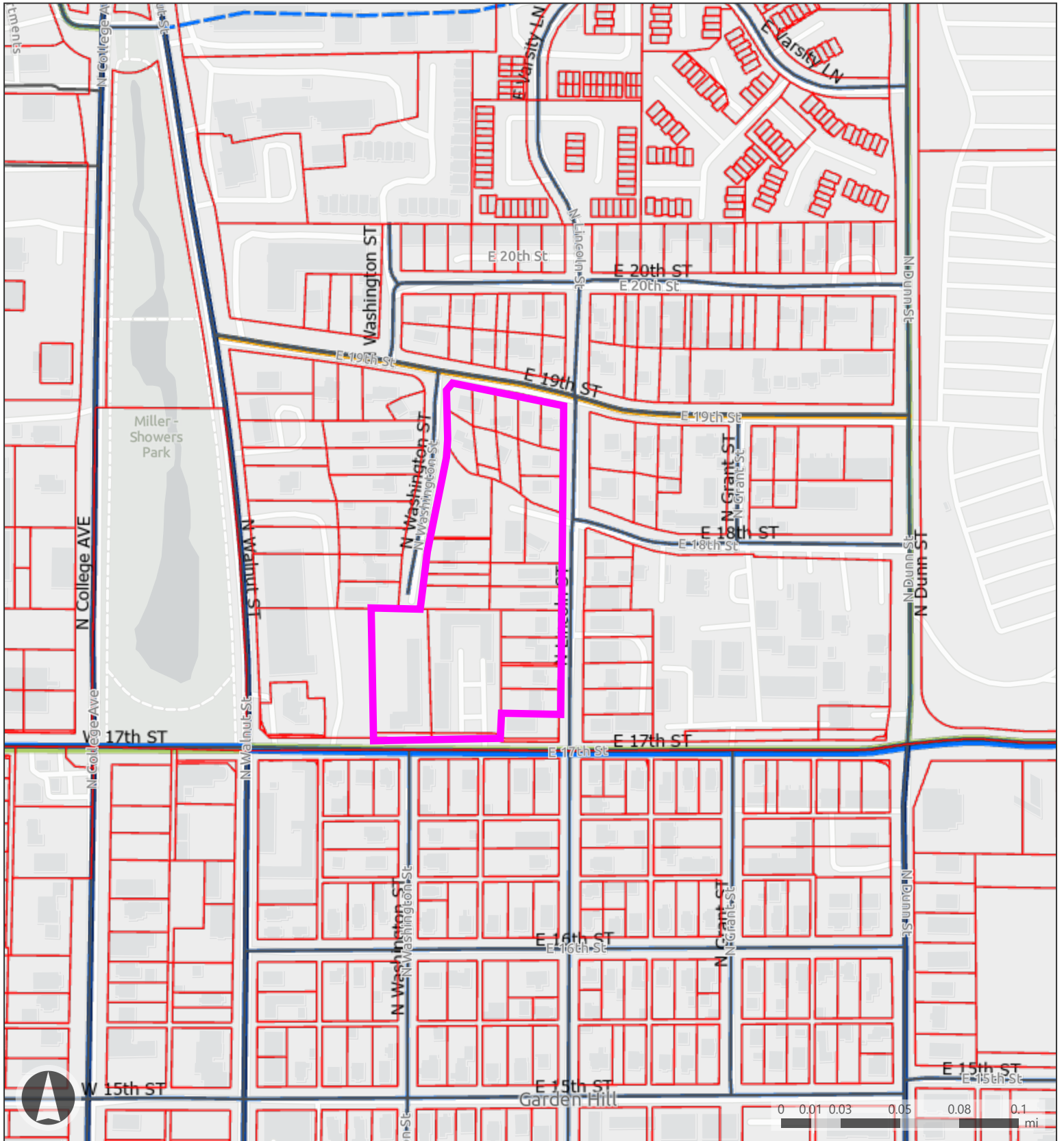
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**CONCLUSION:** The proposed site plan meets all of the requirements of the Unified Development Ordinance, if Incentives for both Affordable Housing and Sustainable Development are allowed. The redevelopment of this property will allow an opportunity to bring a property that is currently not in compliance with many current standards to come into compliance for a large area. This project will also add dwelling units to the City and result in an increase in the City’s ability to provide affordable housing through the contribution to the Affordable Housing Fund. There will also be improvements to all four surrounding street frontages and a sustainable building designed to a Silver level certification.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plan Commission approve the use of the Sustainable Development and Affordable Housing Incentives and adopt the proposed findings and approve SP-11-24 with the following conditions:

1. Silver level certification with the USGBC's rating system is required prior to recommendation of issuance of final occupancy.
2. A pedestrian easement is required for any portions of the sidewalk not located in the right-of-way and must be recorded prior to recommendation of issuance of final occupancy.
3. The Payment-In-Lieu contribution must be received prior to recommendation of issuance of final occupancy.
4. A lighting and photometric plan must be submitted and approved before issuance of the grading permit.
5. Washington, Lincoln, and 19<sup>th</sup> Street must be replaced per Engineering Department Standards. Any portions of a public road must be located within right-of-way.
6. All exterior bicycle parking spaces must be covered.
7. Petitioner will continue to work with staff on adjusting the location and design of the pedestrian entry on 17<sup>th</sup> Street.
8. Missing street trees must be shown along Washington Street adjacent to the garage entrance as required. Street trees are required along all public street frontages within the required tree plot.
9. Street trees shown along 17<sup>th</sup> Street that are under the overhead electric lines must be changed to a small species.
10. Crosswalks and ramps must be shown along all street intersections and cross walks as required.
11. Petitioner will continue to work with staff on the north and west facades of the parking garage to increase architectural diversity.
12. Transformer and mechanical boxes must be screened from public view.
13. Transit stop must be installed per Bloomington Transit specifications.



**Map Legend**

- Parcels
- Current
- City Maintained Streets

**Street Typology**

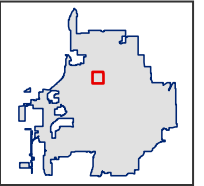
- General Urban
- Main Street

**Street Typology**

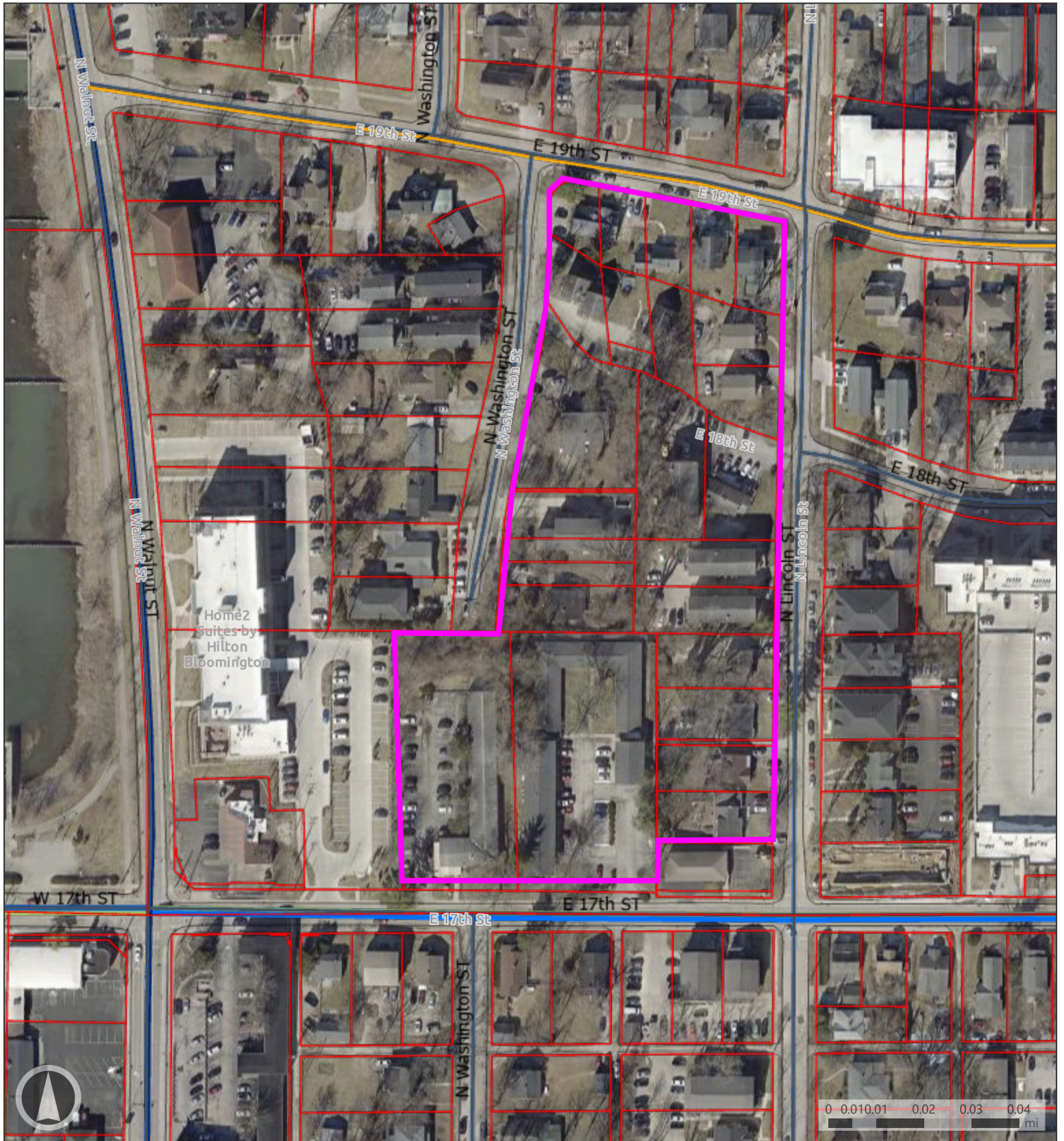
- Neighborhood Connector
- Neighborhood Residential

**Functional Classification**

- Primary Arterial
- Secondary Arterial



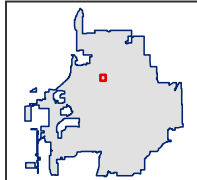




**Map Legend**

- Parcels
- Pavement
- Alley

- Bridge; Footbridge; Driveway-Bridge; Railroad-Bridge
  - Current
  - City Maintained Streets
- Street Typology**
- General Urban
  - Main Street





DLR Group inc.  
an Indiana corporation  
6457 Frances Street, Suite 200  
Omaha, NE 68106

March 25, 2024

Mr. Eric Greulich  
Senior Zoning Planner  
City of Bloomington Planning and Transportation Department  
812-349-3526

Re: 218 ½ East 19<sup>th</sup> Street – Hub Bloomington II  
DLR Group Project No. 23-24103-00

Subj: Plan Commission Submission Petitioner's Statement

Mr. Greulich,

Thank you for your assistance through the preliminary phases of the submission process. Based on our previous meeting with the Development Review Committee and the meetings we have had to review the project with you, we are pleased to formally submit the proposed multi-residential housing project at 218 ½ East 19<sup>th</sup> Street.

DLR Group is collaborating with Core Spaces, LLC to provide a new state-of-the-art student oriented mixed-use residential development located mere blocks from the Indiana University Bloomington campus. The development will consist of two residential buildings and one parking structure, containing approximately 441 units and 651 parking stalls. The new buildings will house a creative mix of approximately 114 studios, 22 one-bedroom, 127 two-bedroom, 27 three-bedroom, 59 four-bedroom and 92 five-bedroom student apartments with approximately 44 units on a typical residential floor level in each building. The impressive amenity areas will be located near the development's main entry and at the rooftop. The roof terrace of the building will house a pool, hot tub, and other exterior amenity spaces. An extraordinary lobby will be developed on the ground floor of the north building, along with a leasing office and spa.

The new development is bordered by Washington Street to west, 19<sup>th</sup> Street to the north, the Lincoln Street to the east and 17<sup>th</sup> Street to the south. The site itself is approximately 5.715 acres and has a grade change of approximately 47'-0" from north to south and 20' from east to west along the nearly 780' x 425' site. Due to the shallow depth of bedrock, excavations are being kept to a minimum due to construction cost considerations, and the residential building construction type will be primarily wood stud construction on grade. Currently, several residences are located on the site. Please find included the overall preliminary drainage plan summary from Kimley Horn regarding both the existing site conditions and proposed conditions.

The design of the building is inspired by the local context of Bloomington and its region within Indiana. The building facades are inspired by the natural landscapes of Southern Indiana, specifically the numerous caves, local limestone and dense forests of the region. The verticality and trees and stalagmites influenced the rhythms and modularity of the forms and modulation of materials. Furthermore, the design, articulation, materials, and patterns are derived from the local

Core Spaces – Hub Bloomington II  
March 25, 2024  
Page 2

zoning design guideline requirements.

The project is pursuing the Tier 1 Affordable Incentive by the “Payment in Lieu” process, with a payment amount estimated at \$3,440,000 based on 15% of 1,143 bedrooms. The final payment amount will adjust based on the final number of bedrooms. The project will also pursue the Sustainable Developments Incentive by means of Option 2 certifications. The third-party review program will meet the requirements of USGBC’s LEED Certification at the Silver Level. The project aims to provide a highly sustainable development that is a harmonious addition to the community of Bloomington.

Sincerely,

**DLR Group**

A handwritten signature in black ink, appearing to read "Nathan Casteel", written over a light gray rectangular background.

Nathan L. Casteel, AIA, LEED AP BD+C  
Principal



# HUB BLOOMINGTON II

## PLANNING COMMISSION REVIEW

218 1/2 EAST 19TH STREET,  
BLOOMINGTON, INDIANA 47407  
MONROE COUNTY

MARCH 25TH, 2024

**PROJECT TEAM**

**DEVELOPER:** CORE SPACES  
 CONTACT: OLIVIA PARAS PAPRECK  
 P: 847.287.4169  
 E: oparas@corespaces.com

**ARCHITECT:** DLR GROUP  
 323 WILDER DRIVE, SUITE 850  
 CHICAGO, IL 60606  
 CONTACT: NATHAN CASTEEL  
 P: 312.330.0320  
 E: ncasteel@dlrgrp.com

**LANDSCAPE ARCHITECT:** SITE DESIGN GROUP  
 888 S MICHIGAN AVE, UNIT PH1  
 CHICAGO, IL 60605  
 CONTACT: SUZANNE VINCENT  
 P: 312.427.7346/145  
 E: suzanne.vincent@site-design.com

**CIVIL ENGINEER:** KIMLEY-HORN  
 250 EAST 80TH ST., SUITE 580  
 INDIANAPOLIS, IN 46240  
 CONTACT: JARED WILKERSON  
 P: 317.228.5210  
 E: jared.wilkinson@kimley-horn.com

**PROJECT DATA**

**ADDRESS:** 218 1/2 EAST 18TH STREET  
 BLOOMINGTON, IN 47408

**APR:** 015-XXXX-00

**EXISTING USE:** RESIDENTIAL

**PROPOSED USE:** HIGH DENSITY RESIDENTIAL

**ZONING:** MS: MIXED-USE STUDENT HOUSING

**TYPE OF CONSTRUCTION PROPOSED:** TYPE I SPRINKLERED, NFPA-13 (PARKING GARAGE)  
 TYPE IIA SPRINKLERED, NFPA-13 (RESIDENTIAL)

**OCCUPANCY CLASSIFICATION:** R-2: RESIDENTIAL UNITS  
 S-2: GARAGE  
 B: LEASING OFFICE  
 A, A-2: RESIDENTIAL AMENITIES

**GROSS SITE AREA:** 248,946 SF; 5.715 ACRES

**FAR:** 2.99

**AREA OF DISTURBANCE:** 100% AREA OF DISTURBANCE (6,715 ACRES)

**ZONING COMPLIANCE**

BASE PROJECT ZONING COMPLIANCE TABLE					
ZONING	BASE ZONING ALLOWABLE/REQUIRED	ALLOWABLE W/ INCENTIVES	CODE SECTION	BASE PROJECT	ZONING COMPLIANCE
MS - MIXED-USE STUDENT HOUSING					
DIMENSIONAL STANDARDS (MINIMUM)					
TOTAL LOT SIZE	SQUARE FEET: 5,000 SF ACRES: 0.115			SQUARE FEET: 248,946 ACRES: 5.715	
LOT WIDTH	50 FEET				
LOT COVERAGE				100%	
BUILDING SETBACKS					
FRONT (BULD-TO-RANGE)	NONE		TABLE 04-3	VARIES - 17'-9" TO 18'-8"	COMPLIES
FRONT (FAÇADE @ BUILT-TO-RANGE)	NONE		TABLE 04-3	VARIES - 17'-9" TO 18'-8"	COMPLIES
FRONT			TABLE 04-3	VARIES - 17'-9" TO 18'-8"	COMPLIES
SIDE	15 FEET		TABLE 04-3	VARIES - SEE ARCHITECTURAL SITE PLAN	COMPLIES
REAR			TABLE 04-3	VARIES - SEE ARCHITECTURAL SITE PLAN	COMPLIES
OTHER STANDARDS					
FRONT PARKING	30 FFFT REFINED PRIMARY STRUCTURES'S FRONT BUILDING WALL		TABLE 04-3	127'-0"	COMPLIES
SIDE PARKING	REAR PARKING	8 FEET	TABLE 04-3	VARIES - SEE ARCHITECTURAL SITE PLAN	COMPLIES
IMPERVIOUS SURFACE COVERAGE (MAXIMUM)	70%		TABLE 04-3	SEE IMPERVIOUS SURFACE DIAGRAM	COMPLIES
LANDSCAPE AREA (MINIMUM)	30%		TABLE 04-3	SEE IMPERVIOUS SURFACE DIAGRAM	COMPLIES
AREA OF ANY INDIVIDUAL COMMERCIAL TENANT (MAX)	NONE		TABLE 04-3	0	COMPLIES
THREAT PROJECTS					
PRIMARY STRUCTURE HEIGHT (MAX)	6 STORIES, NOT TO EXCEED 75 FEET		TABLE 04-3	5 STORIES, NOT TO EXCEED 75'-0"	COMPLIES
STANDARDS MAY INCREASE THE PRIMARY STRUCTURE HEIGHT BY ONE FLOOR OF BUILDING HEIGHT, NOT TO EXCEED 12 FEET BEYOND THE MAX PRIMARY STRUCTURE HEIGHT ESTABLISHED FOR THE ZONING DISTRICT					
SUSTAINABLE DEVELOPMENT BONUS					
ALLOWS FOR ONE ADDITIONAL FLOOR OF BUILDING HEIGHT, NOT TO EXCEED 12 FEET. ADDITIONAL FLOOR SHALL BE LIMITED TO 50% OF BUILDING FOOTPRINT AREA OF PRIMARY STRUCTURE AND FLOOR SHALL SET BACK TO AT LEAST 30 FEET FURTHER THAN THAT OF LOWER FLOORS OF BUILDING					
ACCESSORY STRUCTURE HEIGHT	20 FEET		TABLE 04-3		
FLOOR AREA					
RESIDENTIAL FLOOR AREA				590,143 SF	
COMMERCIAL FLOOR AREA				0 SF	
FLOOR AREA RATIO				3.13 FAR	
BUILDING FLOORPLATE	10,000 SF		Section 20.04.110(c) AND THE SUSTAINABLE DEVELOPMENT INCENTIVE (Section 20.04.110(d))	NORTH BUILDING: 54,655 SF SOUTH BUILDING: 100,145 SF	COMPLIES
UNITS					
DWELLING UNITS				SEE UNIT MATRIX	
RESIDENTIAL BEDROOMS				SEE UNIT MATRIX	
PARKING					
BIKE PARKING (SEE TABLE)	RESIDENTIAL USE: 10% OF ONE SPACES PER 5 BEDROOMS, WHICHEVER IS MORE	N/A	TABLE 04-13	SEE BIKE PARKING TABLE	COMPLIES
AFFORDABLE AND SENIOR HOUSING					
PARKING (SEE TABLE)	STUDENT HOUSING OR DORMITORY: AT 11 BEDROOMS OR MORE: 0.5 SPACES PER BEDROOM	THE MINIMUM NUMBER OF REQUIRED VEHICLE PARKING SPACES FOR MULTIFAMILY RESIDENTIAL STRUCTURES SHALL BE REDUCED BY 25% IF THE MULTIFAMILY RESIDENTIAL STRUCTURE QUALIFIES FOR THE AFFORDABLE HOUSING INCENTIVES PURSUANT TO SECTION 20.04.110 (INCENTIVES)	TABLE 04-9	SEE PARKING TABLE	COMPLIES
PARKING DIMENSIONS					
PARKING DIMENSIONS	ANGLE: 90 DEGREE			ANGLE: 90 DEGREE	
	STALL SIZE: 16' X 8'-6"			STALL SIZE: 16' X 8'-6"	
	TWO WAY AISLE: 20'-0"			TWO WAY AISLE: 22'-0"	COMPLIES
	ONE WAY AISLE: 20'-0"	STACKED PARKING ARRANGEMENTS ARE PERMITTED	TABLE 04-11	ONE WAY AISLE: N/A	

**PARKING SUMMARY**

**PARKING REQUIRED:** AT 11 OR MORE BEDROOMS: 0.5 SPACES PER BEDROOM **572 STALLS** (@ 1:143 BEDROOMS)

**PARKING REQUIRED W/ INCENTIVE:** AFFORDABLE AND SENIOR HOUSING: MINIMUM # OF REQUIRED VEHICLE PARKING SPACES SHALL BE REDUCED BY 25% **372 STALLS** (50% LESS STALLS)

**ACCESSIBLE PARKING REQUIRED:** FOR 501-1000 SPACES: 2% ACCESSIBLE PARKING SPACES REQUIRED; AT LEAST ONE OF EVERY 6 ACCESSIBLE SPACES ARE TO BE VAN ACCESSIBLE **13 STANDARD STALLS**  
**3 VAN STALLS**

**ELECTRIC VEHICLE CHARGING:** AT 50 OR MORE PARKING SPACES: PROVIDE ONE DESIGNATED TO ELECTRIC VEHICLES FOR EVERY 25 PARKING SPACES PROVIDED **26 STALLS**

**PARKING PROVIDED:**  
 LEVEL 04: 161 STALLS  
 LEVEL 03: 166 STALLS  
 LEVEL 02: 166 STALLS  
 LEVEL 01: 158 STALLS  
 LOWER LEVEL 01: 25 STALLS  
**TOTAL: 651 STALLS**

**BIKE PARKING SUMMARY**

**BIKE PARKING REQUIRED:** 10% OR ONE SPACE PER 5 BEDROOMS, WHICHEVER IS MORE

**NORTH BUILDING:** 113 STALLS (@ 1 PER 5 OF 594 BEDROOMS)  
**97 STALLS** (@ 10% OF 564 BEDROOMS)

**SOUTH BUILDING:** 116 STALLS (@ 1 PER 5 OF 579 BEDROOMS)  
**88 STALLS** (@ 10% OF 579 BEDROOMS)

**BIKE PARKING PROVIDED:**  
 NORTH BUILDING LOWER LEVEL 02: 114 STALLS  
 SOUTH BUILDING LOWER LEVEL 01: 116 STALLS  
**TOTAL: 230 STALLS**

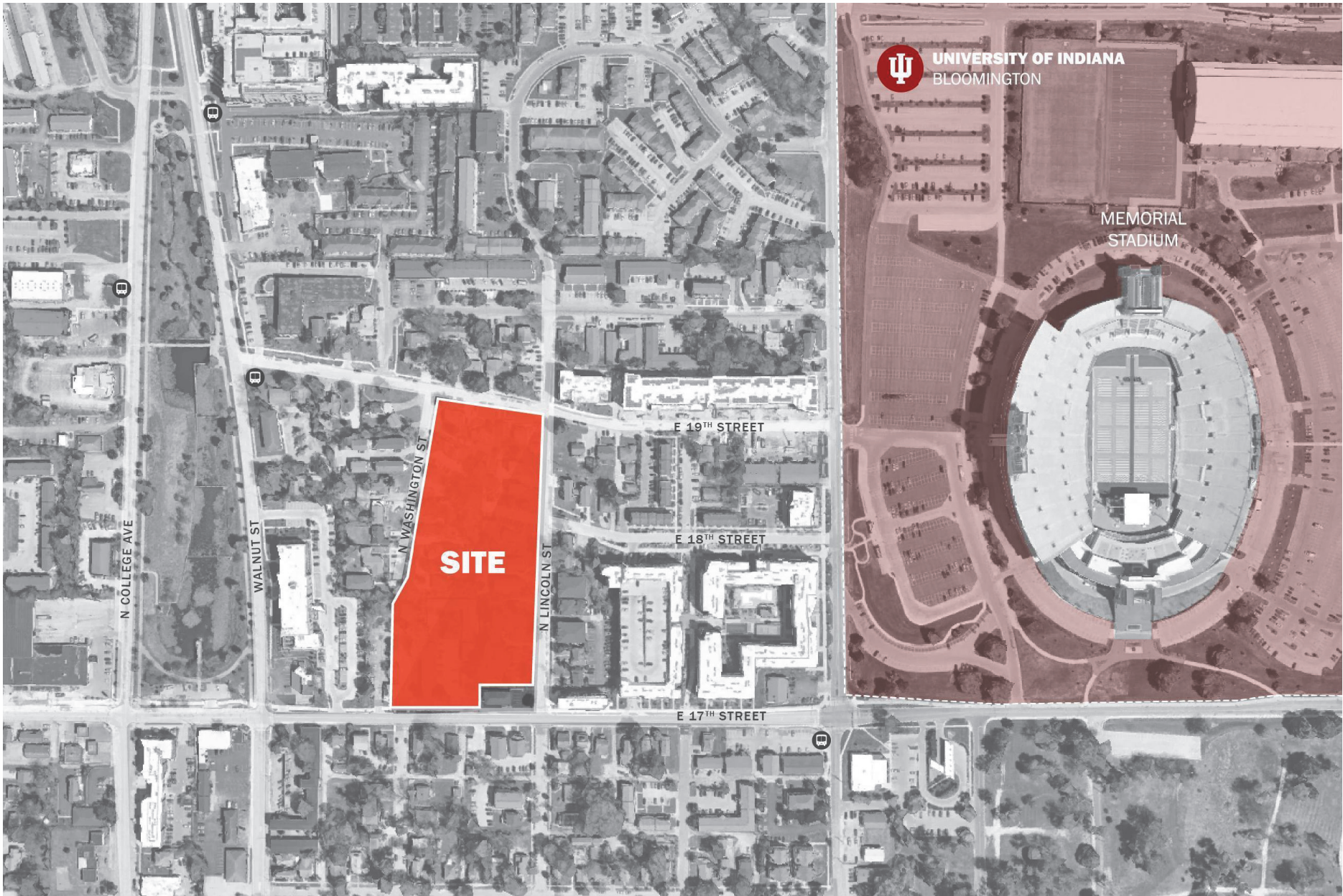
**UNIT MATRIX**

**NORTH BUILDING:** 221 UNITS  
**TOTAL UNITS:** 664 BEDROOMS

**SOUTH BUILDING:** 250 UNITS  
**TOTAL UNITS:** 579 BEDROOMS

**SHEET LIST - DRC SUBMISSION**

Sheet Number	Sheet Name
G-1	BUILDING INFORMATION
G-2	SITE CONTEXT DIAGRAM
G-3	SITE PHOTOS
G-4	DEMOLITION PLAN
G-5	IMPERVIOUS SURFACE DIAGRAM
CS-0	OVERALL SITE PLAN
CS-0	OVERALL GRADING AND DRAINAGE PLAN
CS-0	OVERALL UTILITY PLAN
L-106	LANDSCAPE PLAN
AS-1	ARCHITECTURAL SITE PLAN
AT-03	LOWER LEVEL 3
AT-02	LOWER LEVEL 2
AT-01	LOWER LEVEL 1
AT-1	LEVEL 1
AT-2	LEVEL 2
AT-3	LEVEL 3
AT-4	LEVEL 4
AT-5	LEVEL 5
AS-9	ARCH STANDARDS DIAGRAM
AS-4	ARCH STANDARDS DIAGRAM
AS-5	ARCH STANDARDS DIAGRAM
AS-6	ARCH STANDARDS DIAGRAM
AS-8	ARCH STANDARDS DIAGRAM
AS-7	ARCH STANDARDS DIAGRAM
AS-1	BUILDING ELEVATIONS
AS-2	BUILDING ELEVATIONS
AS-3	BUILDING ELEVATIONS
AS-10	ARCH STANDARDS DIAGRAM
AS-11	ARCH STANDARDS DIAGRAM
AS-1	PERSPECTIVE VIEW - SE CORNER
AS-5	PERSPECTIVE VIEW - SW CORNER
AS-4	PERSPECTIVE VIEW - N. LINCOLN ST. ENTRY
AS-2	PERSPECTIVE VIEW - NE CORNER
AS-3	PERSPECTIVE VIEW - EAST
AS-4	PERSPECTIVE VIEW - WASHINGTON ST. ENTRY



CORE

DLRGROUP

Kimley»Horn

site  
landscape  
architecture  
urban design

G-2  
PLANNING COMMISSION  
03.25.2024

SITE CONTEXT DIAGRAM

HUB AT BLOOMINGTON II

23-24103-00

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NOT FOR CONSTRUCTION

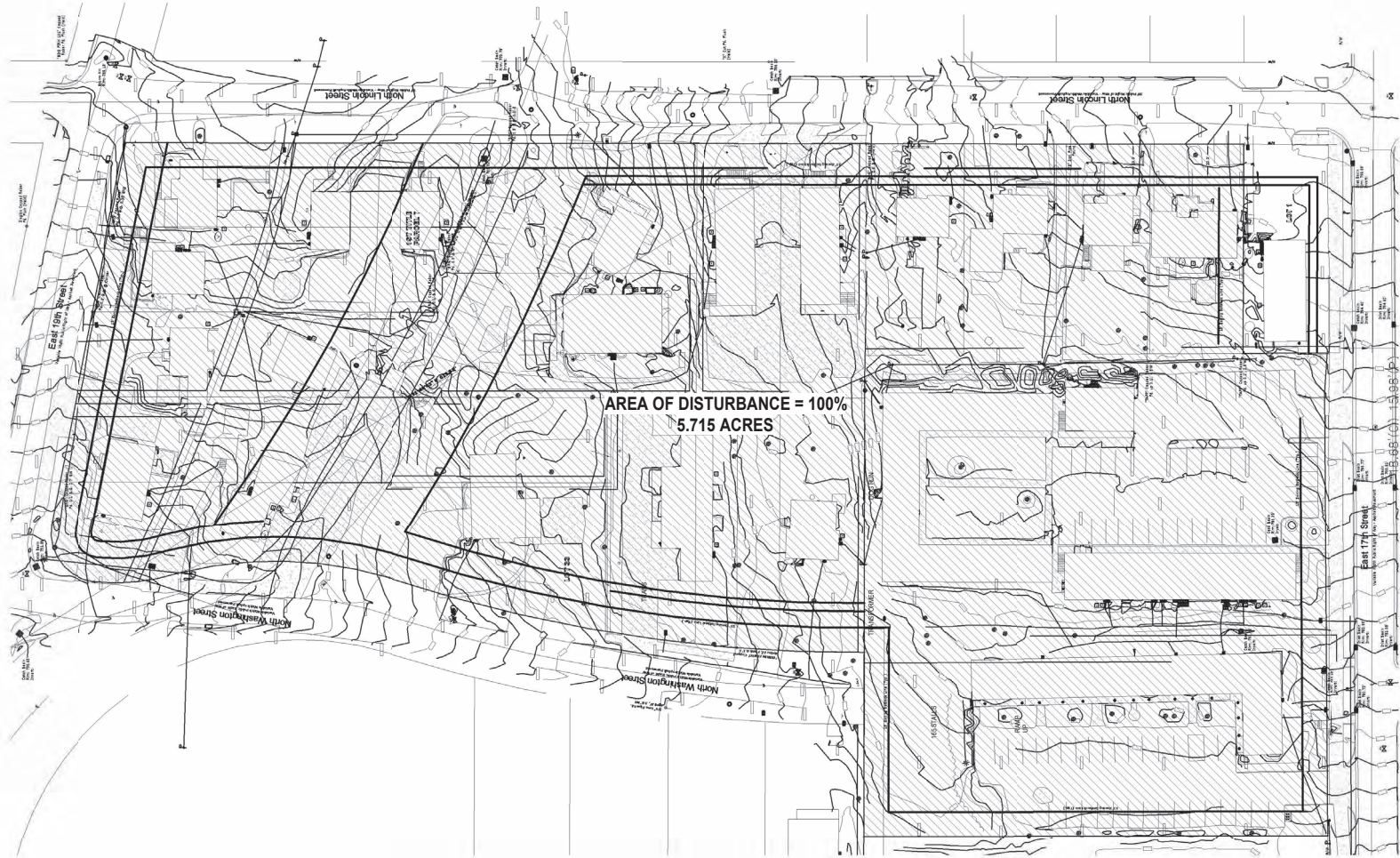


NE CORNER



NW CORNER






**DEMO PLAN**  
 SCALE: 1/32" = 1'-0"

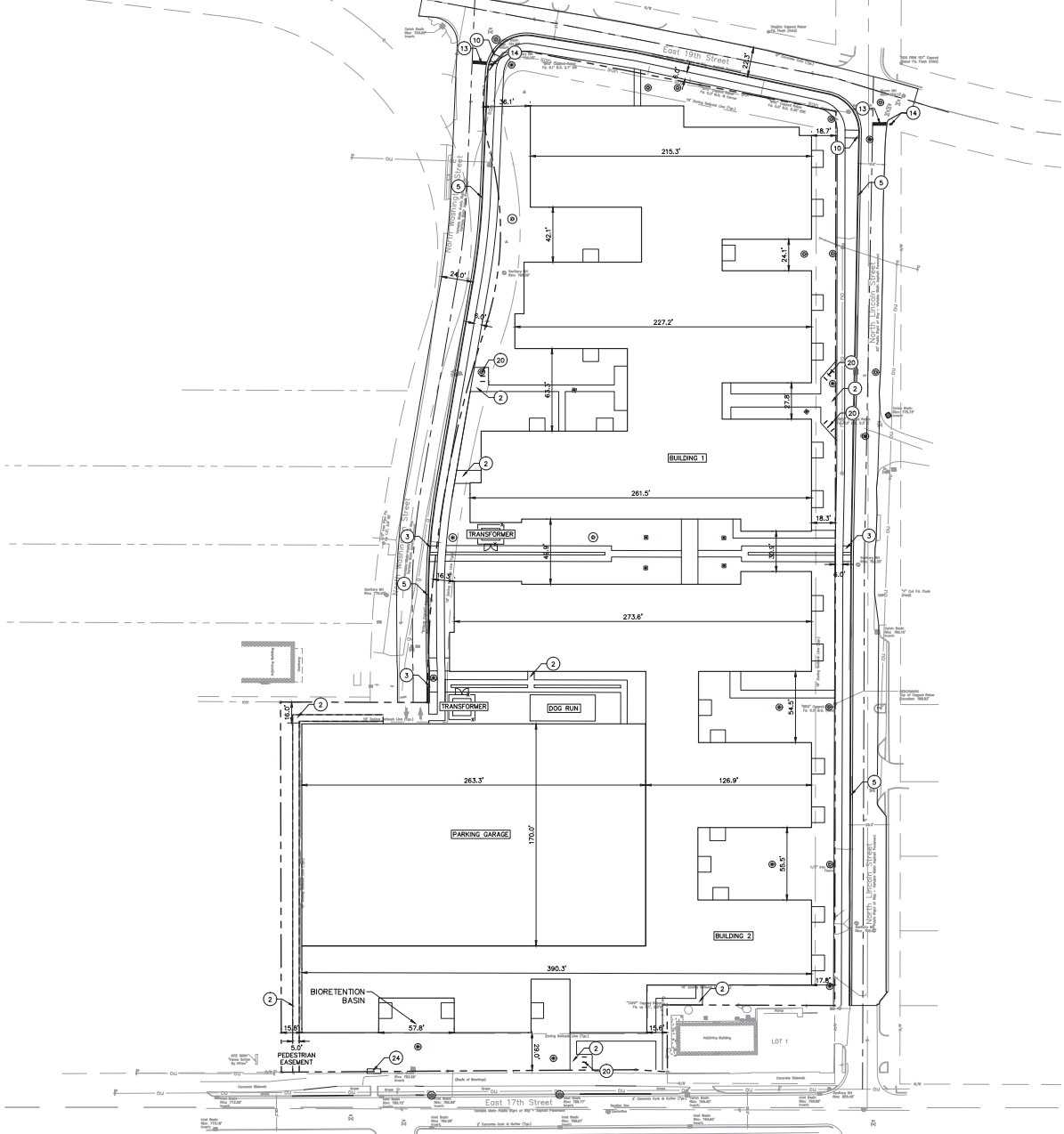
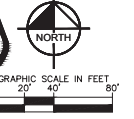




IMPERVIOUS VS. LANDSCAPE SURFACE	
IMPERVIOUS SURFACE MAXIMUM:	70% OF OVERALL SITE @ 248,946 SQFT = 174,262.2 SF MAX
LANDSCAPE SURFACE MINIMUM:	30% OF OVERALL SITE @ 248,946 SQFT = 74,684 SF MIN
SURFACE PROVIDED:	LANDSCAPE IMPERVIOUS
(AT GRADE)	76,400 SF 172,546 SF
	30.6% 69.4%

IMPERVIOUS SURFACE DIAGRAM  
SCALE: 1/32" = 1'-0"

Indiana Utilities Protection Service  
**Call 811**  
 before you dig



### EXISTING LEGEND

○ BOLLARD	○ MISC LID	◇ YARD LIGHT
● CONTROL BENCHMARK	○ MONITOR WELL	○ SANITARY CLEANOUT
⊕ ROW MONUMENT	⊕ GAS METER	○ SANITARY MANHOLE
⊕ FLAG POLE	⊕ GAS VALVE	○ VENT PIPE
⊕ MAIL BOX	⊕ AC UNIT	○ STORM CURB INLET
○ UTILITY POLE	⊕ AREA LIGHT	○ STORM INLET
○ POST	⊕ ELECTRICAL BOX	○ STORM ROOF DRAIN
⊕ SOIL BORING	⊕ ELECTRICAL HAND HOLE	○ STORM DRAIN MANHOLE
⊕ HANDICAP SYMBOL	⊕ ELECTRICAL METER	○ STORM YARD DRAIN
⊕ SIGN	⊕ ELECTRICAL MANHOLE	○ FIRE DEPT CONNECTION
⊕ CABLE MANHOLE	⊕ ELECTRICAL MARKER	⊕ FIRE HYDRANT
⊕ CABLE PEDESTAL	⊕ ELECTRICAL TRANSFORMER	⊕ IRRIGATION VALVE
⊕ TELEPHONE PEDESTAL	⊕ GUY POLE/WIRE	⊕ POST INDICATOR VALVE
⊕ TELEPHONE HAND HOLE	⊕ POWER POLE	○ WELL
⊕ TELEPHONE MARKER	⊕ TRAFFIC SIGNAL POLE	○ WATER METER
⊕ TELEPHONE MANHOLE	⊕ TRAFFIC SIGNAL POLE	○ WATER VALVE
⊕ FIBER OPTIC MAKER	⊕ TRAFFIC SIGNAL POLE	○ TREE / STUMP
⊕ FENCE LINE	⊕ TRAFFIC SIGNAL POLE	○ TREE / STUMP
⊕ SINGLE	⊕ TOP OF SLOPE	○ UNDERGROUND FIBER OPTIC
⊕ FENCE LINE	⊕ TOP OF BANK	○ OVERHEAD ELECTRICAL
⊕ SANITARY SEWER	⊕ UNDERGROUND FIBER OPTIC	○ UNDERGROUND GAS
⊕ STORM DRAIN	⊕ UNDERGROUND ELECTRICAL	○ UNDERGROUND TELEPHONE
⊕ WATER LINE	⊕ UNDERGROUND GAS	
⊕ TREE LINE	⊕ UNDERGROUND TELEPHONE	

### PAVING LEGEND

	RIGHT-OF-WAY ASPHALT PAVEMENT SEE CITY OF BLOOMINGTON SPECIFICATIONS
	CONCRETE SIDEWALK SEE CITY OF BLOOMINGTON SPECIFICATIONS
	BUILDING PAD COORDINATE WITH ARCHITECTURE PLANS

### SITE SUMMARY

SITE ZONING	= MS
SITE AREA	= 5.72 AC-B
BUILDING 1 HEIGHT (5 STORES)	= 55'-4"
BUILDING 2 HEIGHT (5 STORES)	= 52'-4"
PARKING GARAGE (5 STORES)	= 63'-0"
TOTAL PARKING SPACES PROVIDED	= 651 SPACES

### BENCHMARKS

SITE BENCHMARKS (LOCATIONS SHOWN ON SURVEY)

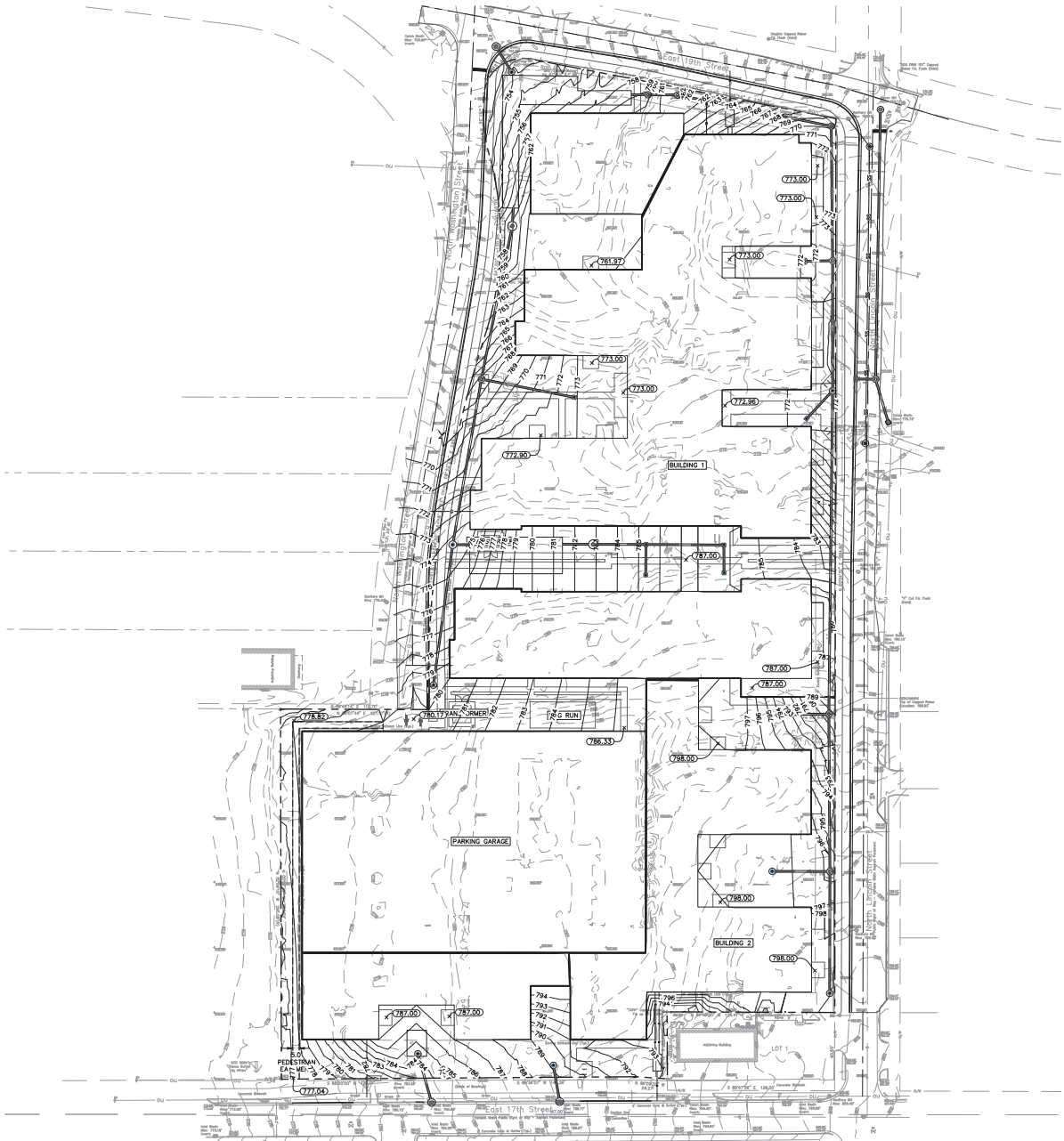
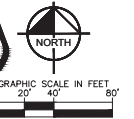
SBM #1 DESCRIPTION	ELEVATION=###.##
SBM #2 DESCRIPTION	ELEVATION=###.##
SBM #3 DESCRIPTION	ELEVATION=###.##
SBM #4 DESCRIPTION	ELEVATION=###.##
SBM #5 DESCRIPTION	ELEVATION=###.##

- ### KEY NOTES
- CONCRETE CURB, TYP. (SEE DETAILS)
  - CONCRETE SIDEWALK, TYP. (SEE DETAILS)
  - CONCRETE ROLL CURB AND GUTTER (SEE DETAILS)
  - COMBINED CURB AND WALK (SEE DETAIL) (5' FROM FACE OF CURB)
  - CONCRETE CURB AND GUTTER (SEE DETAILS)
  - CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
  - CONCRETE PARKING BUMPER TYP. (SEE DETAILS)
  - ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
  - ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
  - ACCESSIBLE RAMP (SEE DETAILS)
  - 2" WIDE TACTILE WARNING STRIP
  - 4" WIDE PAVEMENT MARKING, WHITE SOLID LINE, TYP.
  - 24" WIDE STOP BAR, TYP. (SEE DETAILS)
  - STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
  - CONCRETE BOLLARD, TYP. (SEE DETAILS)
  - TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - TRANSFORMER PAD (REFER TO UTILITY PROVIDER)
  - MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
  - BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS)
  - RETAINING WALL (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - 2" CURB TURNOUT (SEE DETAILS)
  - 3'-FT TRANSITION CURB (SEE DETAILS)
  - TRANSIT STOP

### GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

Indiana Utilities Protection Service



### EXISTING LEGEND

○ ROLLARD	○ MISC LID	◇ YARD LIGHT
⊕ CONTROL BENCHMARK	⊕ MONITOR WELL	⊕ SANITARY CLEANOUT
⊕ ROW MONUMENT	⊕ GAS METER	⊕ SANITARY MANHOLE
⊕ FLAG POLE	⊕ GAS VALVE	⊕ VENT PIPE
⊕ MAIL BOX	⊕ AC UNIT	⊕ STORM CURB INLET
⊕ UTILITY POLE	⊕ AREA LIGHT	⊕ STORM INLET
⊕ POST	⊕ ELECTRICAL BOX	⊕ STORM ROOF DRAIN
⊕ SIDE BORING	⊕ ELECTRICAL METER	⊕ STORM DRAIN MANHOLE
⊕ HANDICAP SYMBOL	⊕ ELECTRICAL HAND HOLE	⊕ STORM YARD DRAIN
⊕ SIGN	⊕ ELECTRICAL TRANSFORMER	⊕ FIRE DEPT CONNECTION
⊕ CABLE MANHOLE	⊕ ELECTRICAL MANHOLE	⊕ FIRE HYDRANT
⊕ CABLE PEDESTAL	⊕ ELECTRICAL MARKER	⊕ IRRIGATION VALVE
⊕ TELEPHONE PEDESTAL	⊕ ELECTRICAL TRANSFORMER	⊕ POST INDICATOR VALVE
⊕ TELEPHONE HAND HOLE	⊕ DUFFY POLE/WIRE	⊕ WELL
⊕ TELEPHONE MARKER	⊕ POWER POLE	⊕ WATER METER
⊕ TELEPHONE MANHOLE	⊕ TRAFFIC SIGNAL POLE	⊕ WATER VALVE
⊕ FIBER OPTIC MARKER	⊕ TRAFFIC MANHOLE	⊕ TREE / STUMP
--- SWALE	--- TS	○ TOP OF SLOPE
--- FENCE LINE	--- TB	--- TOP OF BANK
--- SS SANITARY SEWER	--- FB UNDERGROUND FIBER OPTIC	
--- SD STORM DRAIN	--- SHE OVERHEAD ELECTRICAL	
--- W WATER LINE	--- GAS UNDERGROUND GAS	
--- TREE LINE	--- TEL UNDERGROUND TELEPHONE	

### GRADING LEGEND

--- (with elevation)	FINISHED GRADE SPOT ELEVATION
--- (with elevation)	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
--- (with elevation)	FLOW LINE SPOT ELEVATION
--- (with elevation)	MATCH EXISTING SPOT ELEVATION
--- (with elevation)	FINISHED FLOOR SPOT ELEVATION
--- (with elevation)	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
--- (with elevation)	TOP OF WALL SPOT ELEVATION
--- (with elevation)	BOTTOM OF WALL SPOT ELEVATION
--- (with elevation)	RIM ELEVATION
--- (with elevation)	STRUCTURE ID & RIM ELEVATION
--- (with elevation)	STRUCTURE ID & INVERT ELEVATION
--- (with elevation)	PROPOSED CONTOUR
--- (with elevation)	RIDGE LINE
--- (with arrow)	SLOPE AND FLOW DIRECTION
--- (with arrow)	100-YEAR OVERLAND OVERFLOW ROUTE
--- (with arrow)	DETENTION BASIN 100-YEAR EMERGENCY
--- (with arrow)	PROPOSED SWALE
--- (with arrow)	PROPOSED STORM SEWER
--- (with arrow)	PROPOSED STORM STRUCTURES
--- (with arrow)	PROPOSED SANITARY MANHOLE
--- (with arrow)	PROPOSED STORM/SANITARY CLEANOUT
--- (with arrow)	PROPOSED WATER STRUCTURES
--- (with arrow)	PROPOSED LIGHT POLES
--- (with arrow)	PROPOSED TRANSFORMER PAD

### BENCHMARKS

**SITE BENCHMARKS (LOCATIONS SHOWN ON SURVEY)**

SBM #1 DESCRIPTION  
ELEVATION=###.##

SBM #2 DESCRIPTION  
ELEVATION=###.##

SBM #3 DESCRIPTION  
ELEVATION=###.##

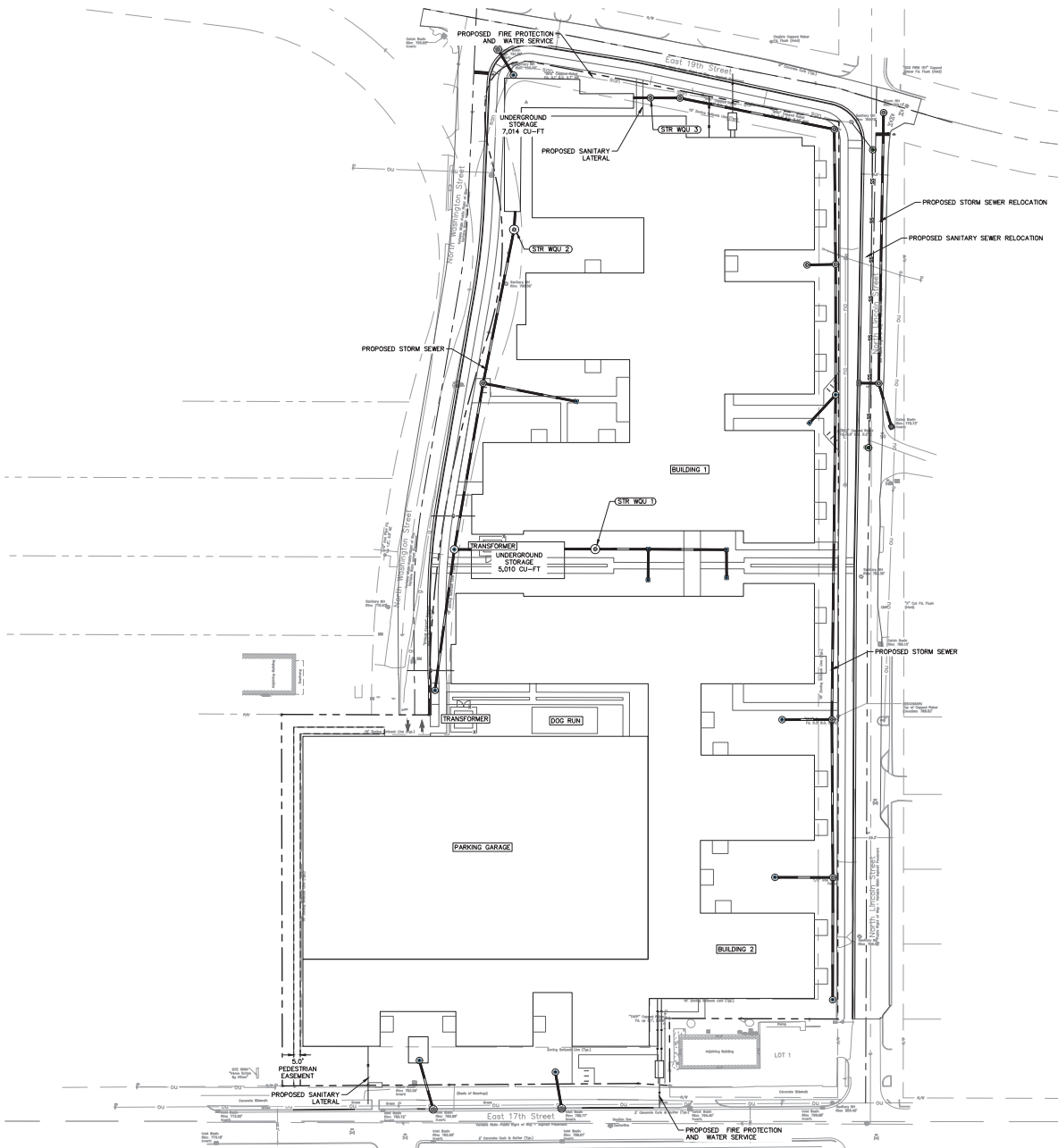
SBM #4 DESCRIPTION  
ELEVATION=###.##

SBM #5 DESCRIPTION  
ELEVATION=###.##

### GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

Indiana Utilities Protection Service  
**Call 811**  
 before you dig



### UTILITY LEGEND

	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED ROOF DRAIN LINE
	PROPOSED UNDERDRAIN
	PROPOSED STORM SEWER LINE
	STRUCTURE ID
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY LATERAL LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED FIRE PROTECTION LINE
	PROPOSED WATER VALVE BOX, P.V., METER, FIRE HYDRANT, FIRE DEPT CONN. & VAULT
	PROPOSED WATER BENDS & TEE
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (BY OTHERS)

### EXISTING LEGEND

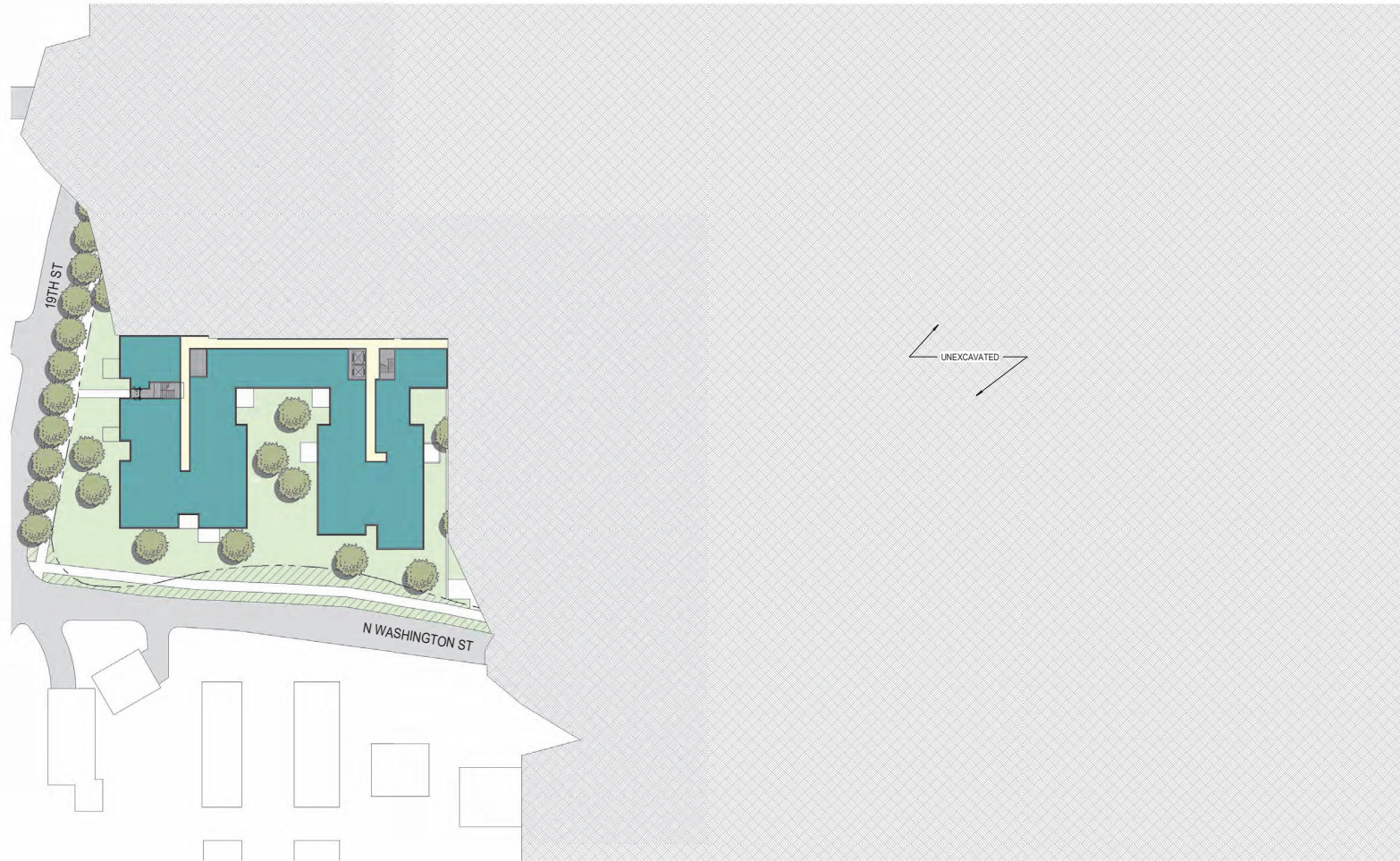
	BOLLARD		MISC LID		YARD LIGHT
	CONTROL BENCHMARK		MONITOR WELL		SANITARY CLEANOUT
	CON MONUMENT		GAS MANHOLE		SANITARY MANHOLE
	FLAG POLE		GAS METER		VENT PIPE
	MAIL BOX		GAS VALVE		STORM CURB INLET
	UTILITY POLE		AC UNIT		STORM INLET
	POST		AREA LIGHT		STORM ROOF DRAIN
	SOIL BORING		ELECTRICAL BOX		STORM DRAIN MANHOLE
	HANDICAP SYMBOL		ELECTRICAL HAND HOLE		STORM YARD DRAIN
	SIGN		ELECTRICAL METER		FIRE DEPT CONNECTION
	CABLE MANHOLE		ELECTRICAL MANHOLE		FIRE HYDRANT
	TELEPHONE PEDESTAL		ELECTRICAL MARKER		IRRIGATION VALVE
	TELEPHONE HAND HOLE		ELECTRICAL TRANSFORMER		POST INDICATOR VALVE
	TELEPHONE MARKER		48V POLE/HOLE		WELL
	TELEPHONE MANHOLE		POWER POLE		WATER METER
	FIBER OPTIC MARKER		TRAFFIC SIGNAL POLE		WATER VALVE
	FENCE LINE		TRAFFIC MANHOLE		TREE / STUMP
	SANITARY SEWER		TREE OF SLOPE		TOP OF BANK
	STORM DRAIN		UNDERGROUND FIBER OPTIC		OVERHEAD ELECTRICAL
	WATER LINE		UNDERGROUND GAS		UNDERGROUND ELECTRICAL
	TREE LINE		UNDERGROUND TELEPHONE		

### GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)



ARCHITECTURAL SITE PLAN  
SCALE: 1/32" = 1'-0"




**LOWER LEVEL 03**  
 SCALE: 1/32" = 1'-0"

**CORE**

**DLRGROUP**

**Kimley»Horn**

**site** landscape architecture urban design

**A1-LL3**

PLANNING COMMISSION  
03.25.2024

**LOWER LEVEL 3**

HUB AT BLOOMINGTON II

23-24103-00

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NOT FOR CONSTRUCTION




**LOWER LEVEL 02**  
 SCALE: 1/32" = 1'-0"

**CORE**

**DLRGROUP**

**Kimley»Horn**


**site**  
 landscape  
 architecture  
 urban design

**A1-LL2**  
 PLANNING COMMISSION  
 03.25.2024

**LOWER LEVEL 2**  
 HUB AT BLOOMINGTON II  
 23-24103-00

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LOWER LEVEL 01  
SCALE: 1/32" = 1'-0"

CORE

DLRGROUP

Kimley»Horn

site  
landscape  
architecture  
urban design

A1-LL1

PLANNING COMMISSION  
03.25.2024

LOWER LEVEL 1

HUB AT BLOOMINGTON II

23-24103-00

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**LEVEL 01**  
 SCALE: 1/32" = 1'-0"

**CORE**

**DLRGROUP**

**Kimley»Horn**


**site**  
 landscape  
 architecture  
 urban design

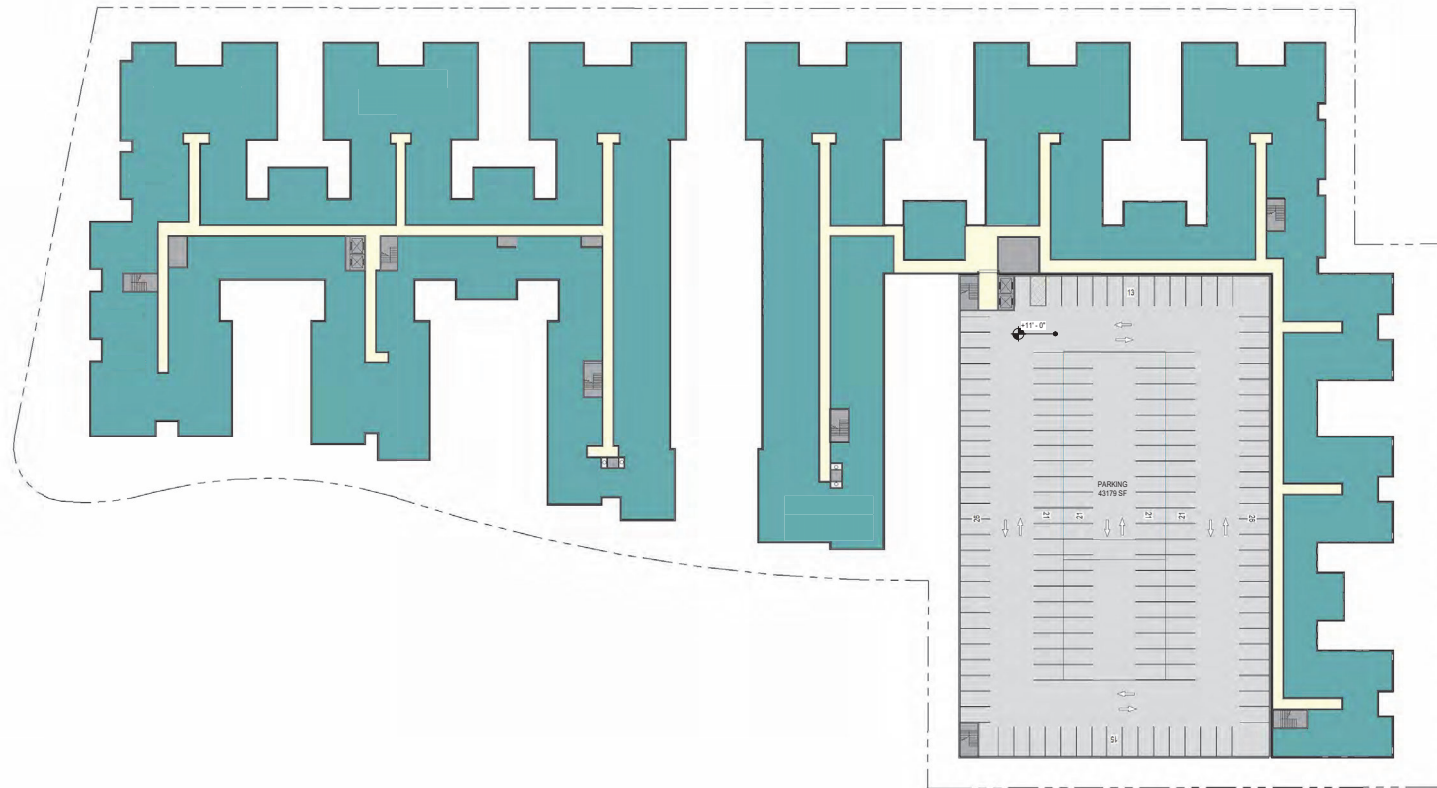
**A1-1**  
 PLANNING COMMISSION  
 03.25.2024

**LEVEL 1**  
 HUB AT BLOOMINGTON II

23-24103-00

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LEVEL 02  
SCALE: 1/32" = 1'-0"

CORE

DLRGROUP

Kimley»Horn

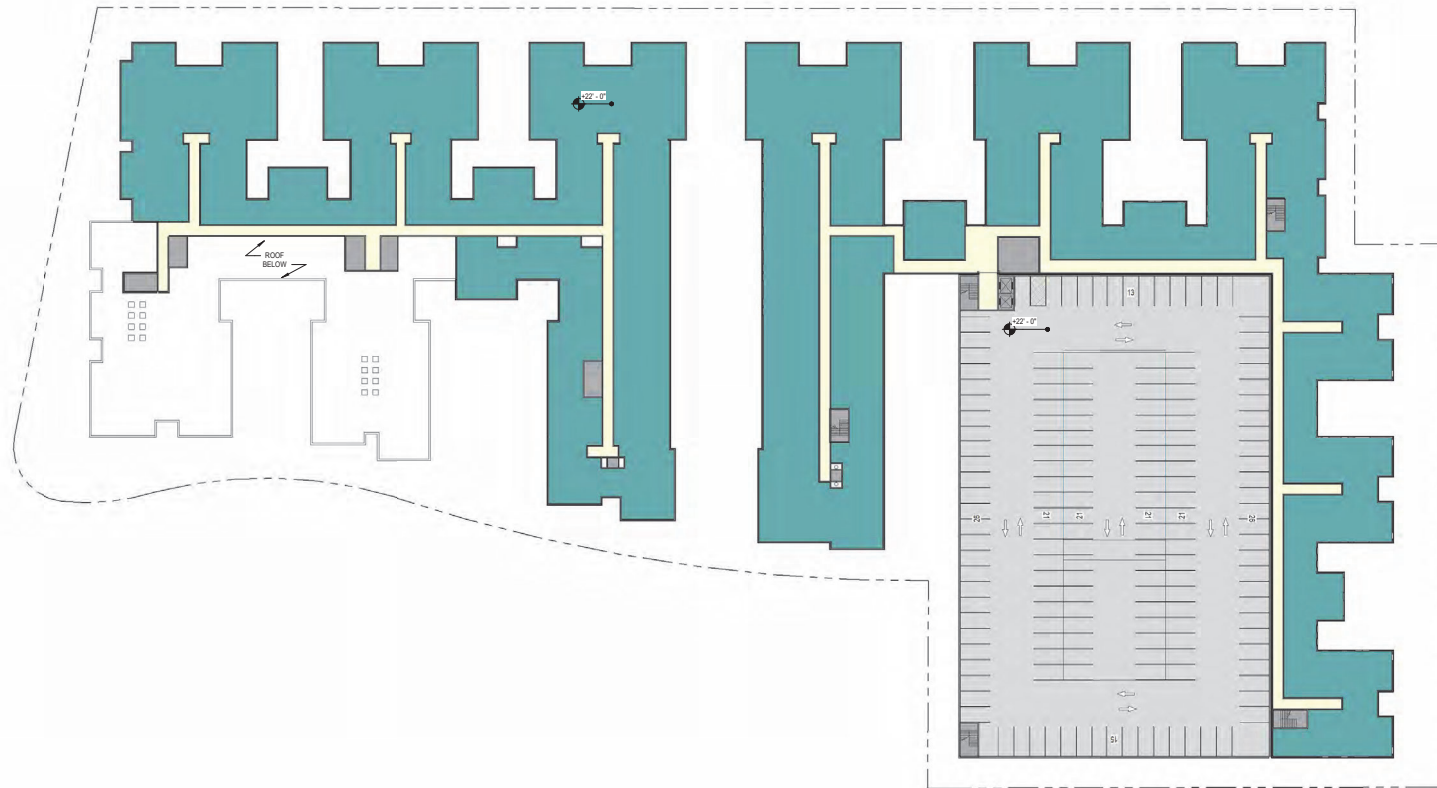
site  
landscape  
architecture  
urban design

A1-2  
PLANNING COMMISSION  
03.25.2024

LEVEL 2  
HUB AT BLOOMINGTON II

23-24103.00

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LEVEL 03  
SCALE: 1/32" = 1'-0"

CORE

DLRGROUP

Kimley»Horn

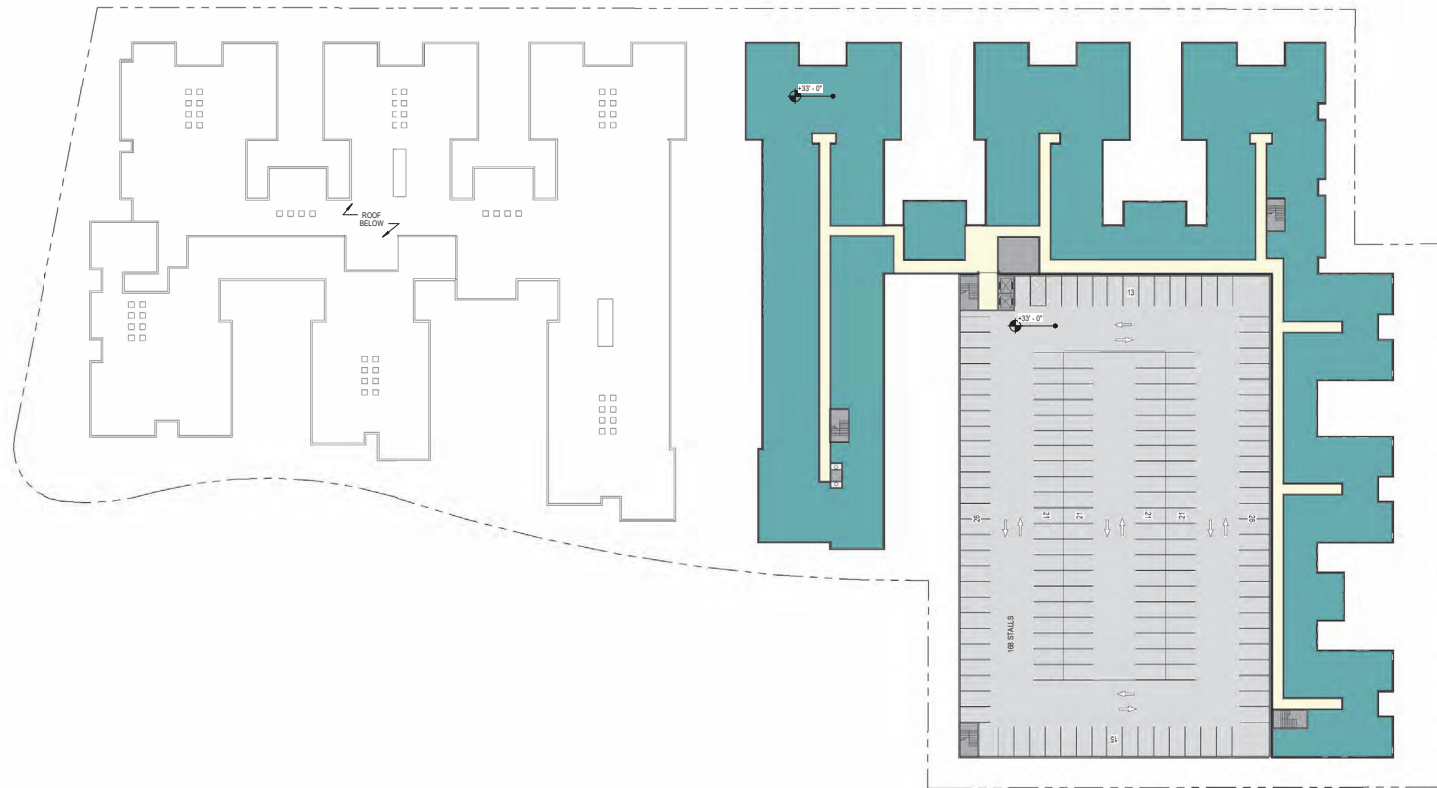
site  
landscape  
architecture  
urban design

A1-3  
PLANNING COMMISSION  
03.25.2024

LEVEL 3  
HUB AT BLOOMINGTON II

23-24103.00

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LEVEL 04  
SCALE: 1/32" = 1'-0"

CORE

DLRGROUP

Kimley»Horn

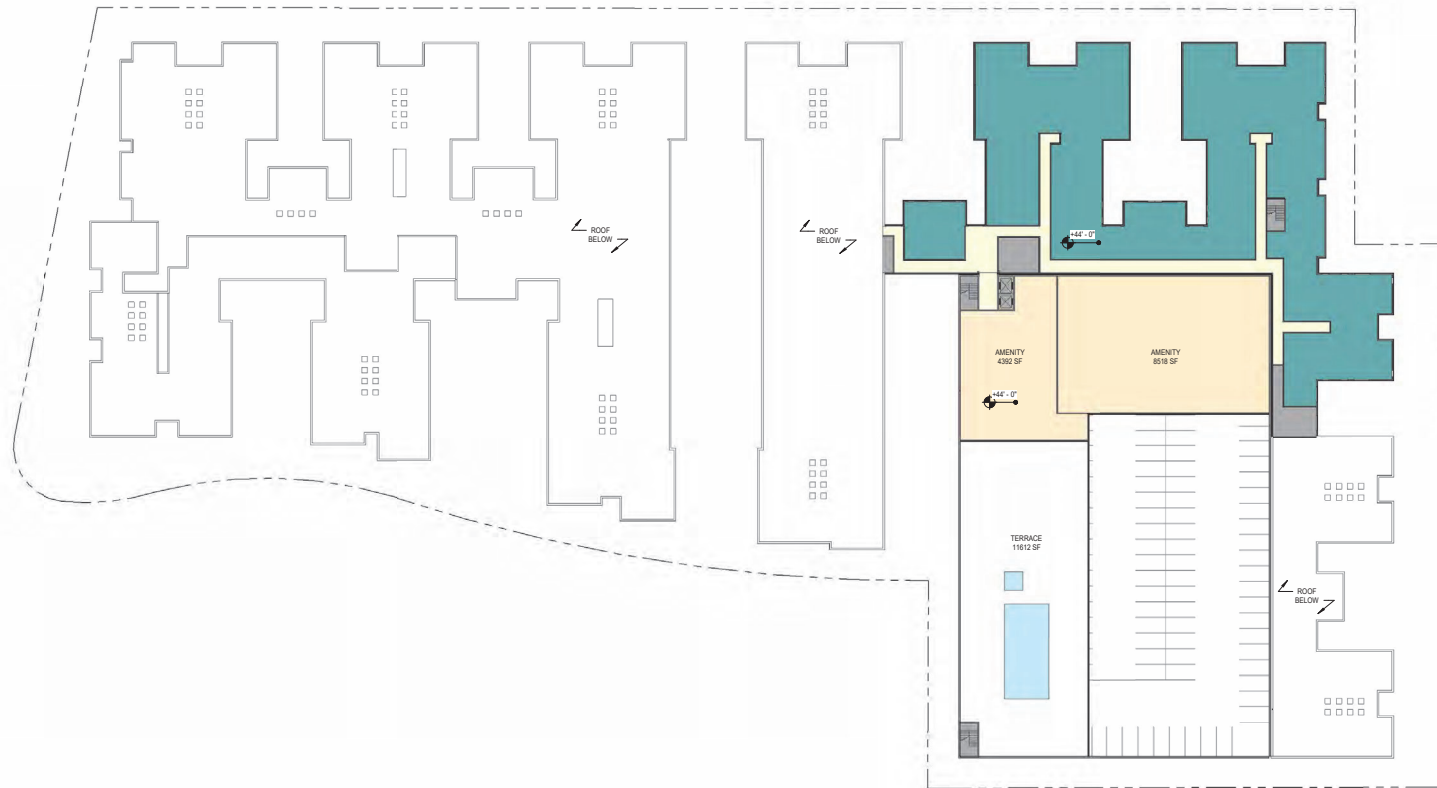
site  
landscape  
architecture  
urban design

A1-4  
PLANNING COMMISSION  
03.25.2024

LEVEL 4  
HUB AT BLOOMINGTON II

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**LEVEL 05**  
 SCALE: 1/32" = 1'-0"

**CORE**

**DLRGROUP**

**Kimley»Horn**


 landscape  
 architecture  
 urban design

**A1-5**  
 PLANNING COMMISSION  
 03.25.2024

**LEVEL 5**  
 HUB AT BLOOMINGTON II

23-24103-00

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 KIND ARE GIVEN OR IMPLIED BY THE ARCHITECT.  
 NOT FOR CONSTRUCTION

EXTERIOR MATERIALS	
BR-01	BRICK
MTL-01	METAL PANEL SYSTEM
PL-01	PLYWOOD FACADE
PL-02	PERFORATED GLAZING WOODS
PL-03	PERFORATED GLAZING LIGHT GRAY
PL-04	PERFORATED GLAZING DARK GRAY



1 OVERALL BUILDING ELEVATION - SOUTH  
A2-1 SCALE: 1/16" = 1'-0"



2 OVERALL BUILDING ELEVATION - NORTH  
A2-1 SCALE: 1/16" = 1'-0"

EXTERIOR MATERIALS	
BR-01	BRICK
BR-02	BRICK PANEL SYSTEM
PL-01	ALUMINUM PANEL SYSTEM
PL-02	ALUMINUM PANEL SYSTEM
PL-03	ALUMINUM PANEL SYSTEM
MTL-01	ALUMINUM PANEL SYSTEM
BR-01	ALUMINUM PANEL SYSTEM



1 OVERALL BUILDING ELEVATION - EAST (SOUTH BUILDING)  
A2-2 SCALE: 1/8" = 1'-0"



2 OVERALL BUILDING ELEVATION - EAST (NORTH BUILDING)  
A2-2 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS	
BR-01	BRICK
BR-02	BRICK PANEL SYSTEM
PC-01	CONCRETE
PC-02	CONCRETE CLADDING
PC-03	CONCRETE CLADDING
PC-04	CONCRETE CLADDING
PC-05	CONCRETE CLADDING
PC-06	CONCRETE CLADDING
PC-07	CONCRETE CLADDING
PC-08	CONCRETE CLADDING
PC-09	CONCRETE CLADDING
PC-10	CONCRETE CLADDING
PC-11	CONCRETE CLADDING
PC-12	CONCRETE CLADDING
PC-13	CONCRETE CLADDING
PC-14	CONCRETE CLADDING
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PC-99	CONCRETE CLADDING
PC-100	CONCRETE CLADDING

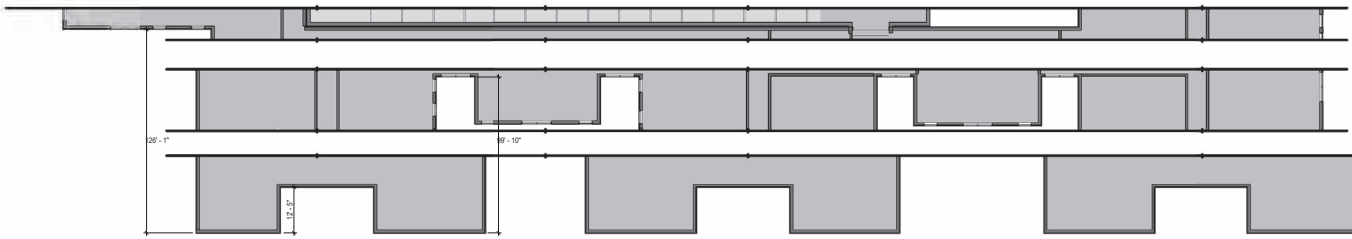


2 OVERALL BUILDING ELEVATION - WEST (SOUTH BUILDING)  
 A2-3 SCALE: 1/8" = 1'-0"



1 OVERALL BUILDING ELEVATION - WEST (NORTH BUILDING)  
 A2-3 SCALE: 1/8" = 1'-0"





2 OVERALL FLOOR PLAN - EAST (S BUILDING) - L1

A2-4 SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - OVERALL BUILDING ELEVATION - EAST (SOUTH BUILDING)

A2-4 SCALE: 1/16" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1** Awning or Canopy  
Canopies provided no more than 40' apart around street facades.
- D2** Change in Building Facade Height (maximum of 5 feet of difference, 5'-0" change in facade provided no more than 40'-0" apart)
- D3** A regular pattern of transparent glass constituting a minimum of 50% of the total wall/facade area of the first-floor facade/elevation facing a street.  
A minimum of 50% glass is provided at the main entry only
- D4** Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1** Facades shall consist of at least one primary and one secondary color  
Multiple colors provided
- E2** At least one of these elements, either texture or color, shall repeat horizontally across the facade  
Textures and colors repeat around all facades
- E3** Variations in texture and color elements shall repeat vertically a minimum of every 30 feet  
Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architecture detailing.

**IMPORTANT DEFINITIONS**

**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTIAN ENTRY**

- H1** One primary pedestrian entrance shall be provided for every facade facing a street.  
Entries are provided on each street facing facade
- H2** On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, A-9 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade
- H3:** The pedestrian entrance shall contain at least three of the following architectural details:
  - H3.1** Pilasters of facade module  
Facade module included to frame entrance
  - H3.2** Public Art Display  
Public art included with sculptures and murals
  - H3.3** Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
  - H3.4** Railed, canopied entryway parapet or recessed/framed sheltered element of at least 2 feet in depth  
Protected overhangs at entry way
  - H3.5** Buttress and arched entry  
Not Applicable

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1** Street address displays shall consist of Arabic numerals (e.g. 1,2,3...) no less than 12" in height. For multifamily uses, the address display shall a minimum of five inches and a maximum of 10" in height.  
Street address complies
- K2** Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances
- K3** All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street address complies

**DESIGN GUIDELINES LEGEND**

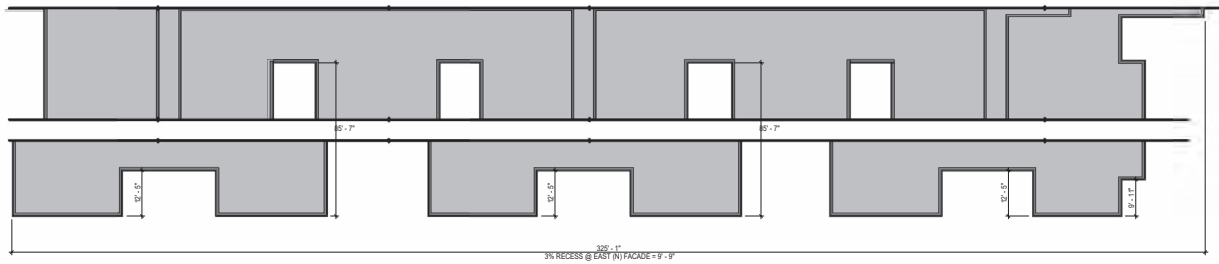
- D1** CANOPY
- D2** 5'-0" STEP IN BUILDING MASSING
- D3** 50% OF MODULE GLASS
- D4** 3% RECESS OF OVERALL FACADE

**16. VEHICLE PARKING GARAGE**

**A.** In the MD-CG, MD-OS, MD-SV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.06.05(b) (Conditional Use Permit).

**B.** In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

- 16.A** A. Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material than adjacent facade.  
Punched openings provided with 2' spacing between
- 16.B** B. The building shall be designed so that the presence of parked vehicles is not visible.  
Parked vehicles are not visible from exterior
- 16.C** C. A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D** D. A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes, or similar elements  
Public art on street facing facades



2 OVERALL FLOOR PLAN -EAST (N BUILDING) - L1  
A2.5 SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - OVERALL BUILDING ELEVATION - EAST (NORTH BUILDING)  
A2.5 SCALE: 1/16" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1 Awning or Canopy
- D2 Change in Building Facade height (minimum of 5 feet of difference), 8'-0" change in facade provided no more than 40'-0" apart
- D3 A regular pattern of transparent glass constituting a minimum of 50% of the total wall/facade area of the first-floor facade/elevation facing a street
- D4 A minimum of 50% glass is provided at the main entry only

Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1 Facades shall consist of at least one primary and one secondary color
- E2 Multiple colors provided
- E3 At least one of these elements, either texture or color, shall repeat horizontally across the facade
- E4 Textures and colors repeat around all facades
- E5 Variations in texture and color elements shall repeat vertically a minimum of every 30 feet
- E6 Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet or supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architectural detailing.

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**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTRIAN ENTRY**

- H1 One primary pedestrian entrance shall be provided for every facade facing a street. Entries are provided on each street facing facade
- H2 On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, H3 shall not be used as the higher classified street. Primary entrance is located on North Lincoln Street facade
- H3: The pedestrian entrance shall contain at least three of the following architectural details:
  - H3.1 Pilasters of facade modules
  - H3.2 Public Art Display
  - H3.3 Placement building address, building name, and lighting
  - H3.4 Raised covered entryway canopy or recessed/framed sheltered element of at least 3 feet in depth
  - H3.5 Buttress and arched entry

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1 Street address display shall consist of Arabic numerals (e.g. 1, 2, 3...) no less than 8" in height. For multifamily uses, the address display shall a minimum of five inches and a maximum of 10" in height. Street address complies
- K2 Street address display shall be placed above all exterior entrances visible from a public street, private drive, or parking lot. Street address is located above all entrances
- K3 All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street. Street address complies

**DESIGN GUIDELINES LEGEND**

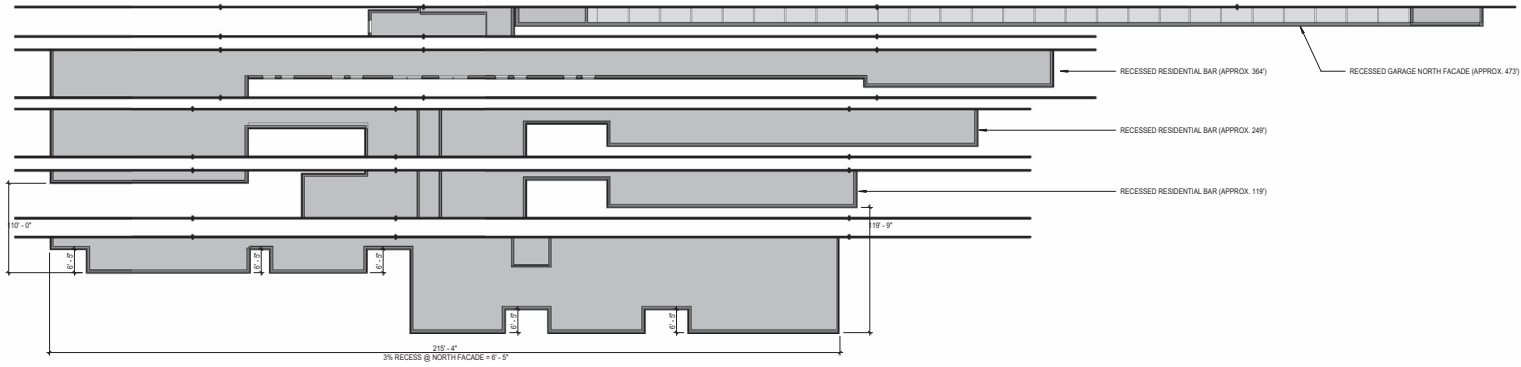
- D1 CANOPY
- D2 5'-0" STEP IN BUILDING MASSING
- D3 50% OF MODULE GLASS
- D4 3% RECESS OF OVERALL FACADE

**16. VEHICLE PARKING GARAGE**  
A. In the MD-CS, MD-OC, MD-UV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.06.05(b) (Conditional Use Permit).  
B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall be included:  
16.A. Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined bents and sills that utilize different finishing material than adjacent facade. Punched openings provided with Z spacing between  
16.B. The building shall be designed so that the presence of parked vehicles is not visible.  
16.C. A minimum of one pedestrian entrance with required entrance detailing is required per street frontage. A pedestrian entrance is provided at each street frontage  
16.D. A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes, or similar elements  
Public art on street facing facades

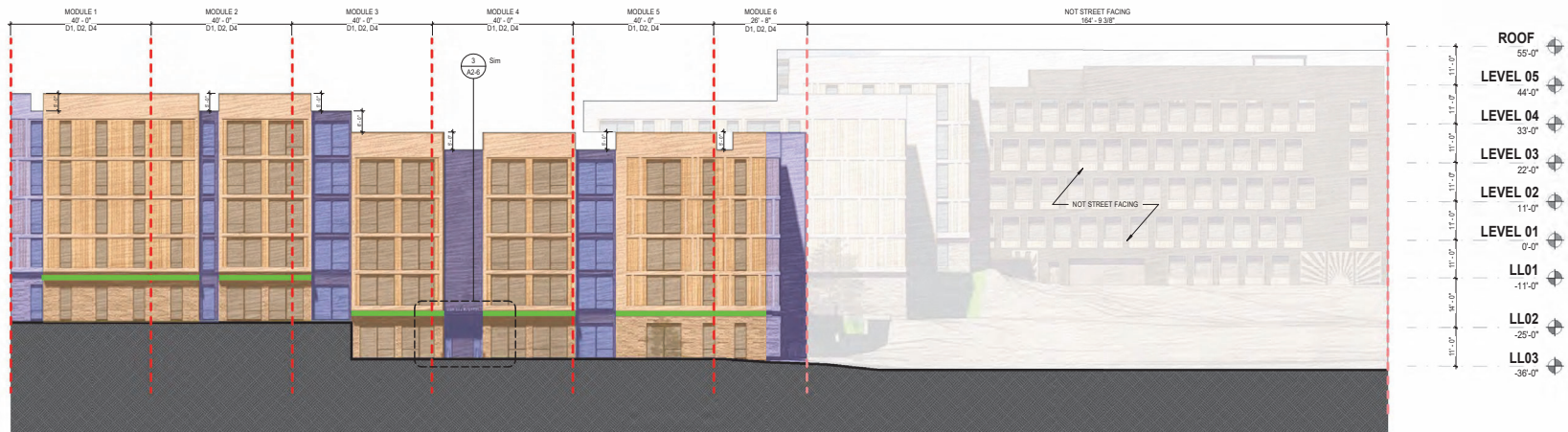
GLASS AREA PER MODULE - MAIN ENTRY			
MODULE	2	3	4
TOTAL WALL AREA (SF)	296	477	294
TOTAL GLASS AREA (SF)	258	328	240
PERCENTAGE OF GLASS	89%	69%	85%



3 EAST ELEVATION - MAIN ENTRY  
A2.5 SCALE: 1/4" = 1'-0"



2 OVERALL FLOOR PLAN - NORTH - L1  
SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - OVERALL BUILDING ELEVATION - NORTH  
SCALE: 1/16" = 1'-0"

D. EXTERIOR FACADES

All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1 Awning or Canopy  
Canopies provided no more than 40' apart around street facades.
- D2 Change in Building Facade Height (maximum of 5 feet differential, 9'-0" change in facade provided no more than 40'-0" apart)
- D3 A regular pattern of transparent glass constituting a minimum of 50% of the total wall/facade area of the first floor facade/elevation facing a street.  
A minimum of 50% glass is provided at the main entry only
- D4 Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width.

E. PATTERNS

All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1 Facades shall consist of at least one primary and one secondary color.  
Multiple colors provided
- E2 At least one of these elements, either texture or color, shall repeat horizontally across the facade  
Textures and colors repeat around all facades
- E3 Variations in texture and color elements shall repeat vertically a minimum of every 30 feet  
Textures and colors repeat vertically 30'-0"

F. EAVES AND ROOFS

Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

- Not Applicable
- G. 360 DEGREE ARCHITECTURE  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architectural detailing.  
All sides of the building have consistent materials and finish

IMPORTANT DEFINITIONS

**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

H. PRIMARY PEDESTRIAN ENTRY

H1 One primary pedestrian entrance shall be provided for every facade facing a street.  
Entries are provided on each street facing facade

H2 On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, H3 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade

H3: The pedestrian entrance shall contain at least three of the following architectural details:

- H3.1 Pilasters of facade modules  
Facade module included to frame entrance
- H3.2 Public Art Display  
Public art included with sculptures and murals
- H3.3 Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
- H3.4 Recessed canopy entryway parapet or recessed/framed sheltered overhangs at entry way  
Protected overhangs at entry way
- H3.5 Buttress and arched entry  
Not Applicable

I. WINDOWS ON PRIMARY FACADES

All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

K. STREET ADDRESSES

K1 Street address displays shall consist of Arabic numerals (e.g. 1, 2, 3...) no less than 12" in height. For multifamily uses, the address display shall be a minimum of five inches and a maximum of 12" in height.  
Street addresses comply

K2 Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances

K3 All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street addresses comply

DESIGN GUIDELINES LEGEND

- D1 CANOPY
- D2 9'-0" STEP IN BUILDING MASSING
- D3 50% OF MODULE GLASS
- D4 3% RECESS OF OVERALL FACADE

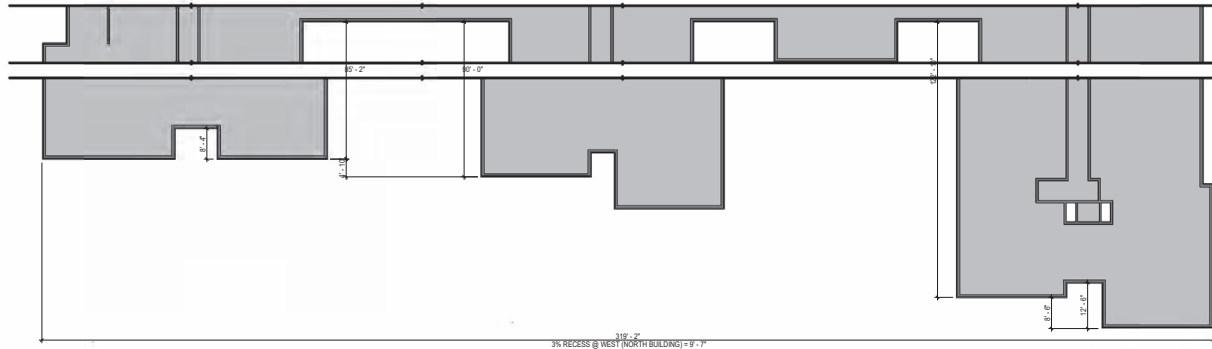
16. VEHICLE PARKING GARAGE

A. In the MD-CO, MD-OLY, MD-DG, and MD-ST Downtown Character Overlay, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.06.05(b) (Conditional Use Permit).  
B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

- 16.A Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material from adjacent facade.  
Punched openings provided with 2' spacing between
- 16.B The building shall be designed so that the presence of parked vehicles is not visible.  
Parked vehicles are not visible from exterior
- 16.C A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes or similar elements  
Public art on street facing facades



3 NORTH ELEVATION - 19TH ST. ENTRY  
SCALE: 1/4" = 1'-0"



2 OVERALL FLOOR PLAN - WEST (N) - L1  
SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - OVERALL BUILDING ELEVATION - WEST (NORTH BUILDING)  
SCALE: 1/16" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1 Awning or Canopy  
Canopies provided no more than 40' apart around street facades.
- D2 Change in Building Facade Height (minimum of 5 feet of difference, 5'-0" change in facade provided no more than 40'-0" apart)
- D3 A regular pattern of transparent glass constituting a minimum of 50% of the total wall/facade area of the first-floor facade/elevation facing a street.  
A minimum of 50% glass is provided at the main entry only
- D4 Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width.

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1 Facades shall consist of at least one primary and one secondary color  
Multiple colors provided
- E2 At least one of these elements, either texture or color, shall repeat horizontally across the facade  
Textures and colors repeat around all facades
- E3 Variations in texture and color elements shall repeat vertically a minimum of every 30 feet  
Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architecture detailing.

**IMPORTANT DEFINITIONS**

**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTRIAN ENTRY**

- H1 One primary pedestrian entrance shall be provided for every facade facing a street.  
Entries are provided on each street facing facade
- H2 On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, H5 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade
- H3: The pedestrian entrance shall contain at least three of the following architectural details:
  - H3.1 Pilasters of facade modules  
Facade module included to frame entrance
  - H3.2 Public Art Display  
Public art included with sculptures and murals
  - H3.3 Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
  - H3.4 Raised, canopied entryway/garage or recessed/framed sheltered element of at least 3 feet in depth  
Protected overhangs at entry way
  - H3.5 Buttress and arched entry  
Not Applicable

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1 Street address displays shall consist of Arabic numerals (e.g. 1, 2, 3...) no less than 18" in height. For multifamily uses, the address display shall a minimum of five inches and a maximum of 12" in height.  
Street address complies
- K2 Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances
- K3 All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street address complies

**DESIGN GUIDELINES LEGEND**

- D1 CANOPY
- D2 5'-0" STEP IN BUILDING MASSING
- D3 50% OF MODULE GLASS
- D4 3% RECESS OF OVERALL FACADE

**16. VEHICLE PARKING GARAGE**

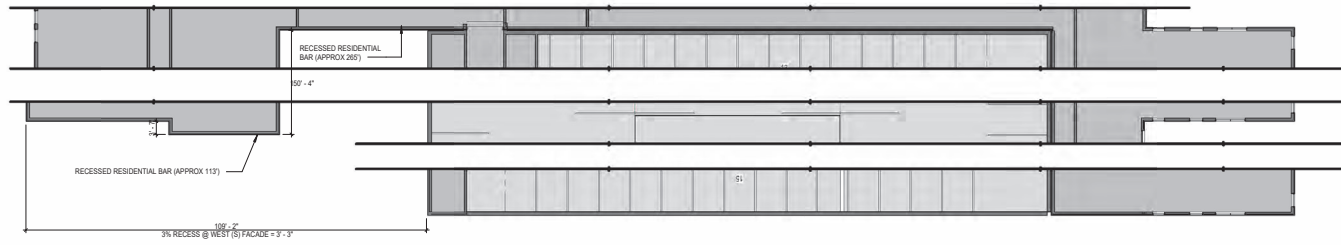
A. In the MD-CG, MD-OC, MD-SV, MD-DG, and MD-ST Downtown Character Overlay, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.04.05(b) (Conditional Use Permit).

B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

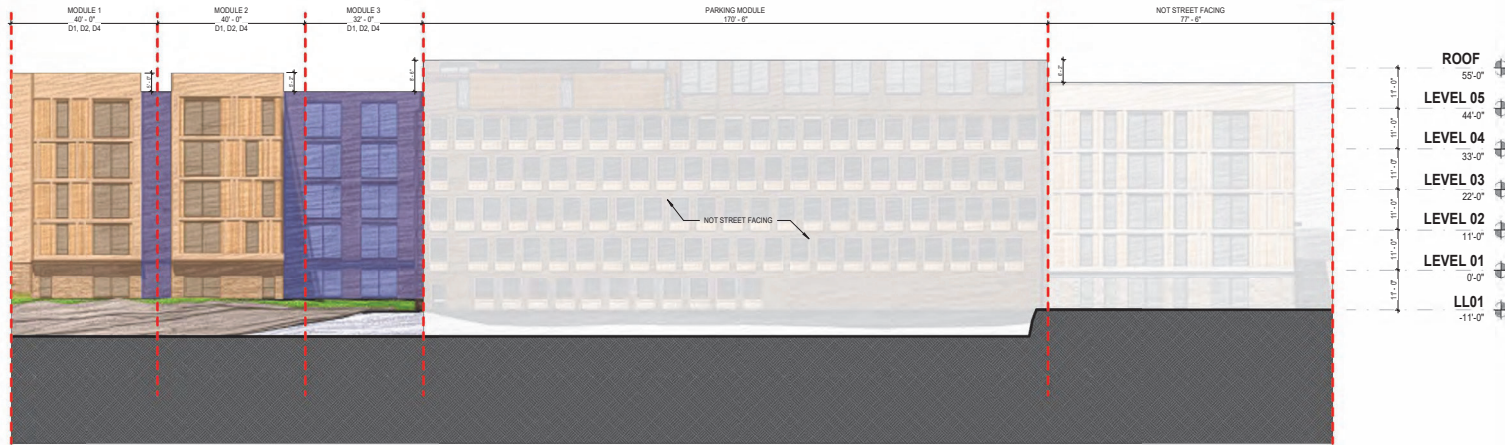
- 16.A A. Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material than adjacent facade.  
Punched openings provided with 2' spacing between
- 16.B B. The building shall be designed so that the presence of parked vehicles is not visible.  
Parked vehicles are not visible from exterior
- 16.C C. A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D D. A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes or similar elements  
Public art on street facing facades



3 WEST ELEVATION - WASHINGTON ST. ENTRY  
SCALE: 1/4" = 1'-0"



2 OVERALL FLOOR PLAN - WEST (S) - L1  
SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - OVERALL BUILDING ELEVATION - WEST (SOUTH BUILDING)  
SCALE: 1/16" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1** Awning or Canopy  
Canopies provided no more than 40' apart around street facades.
- D2** Change in Building Facade Height (minimum of 5 feet of differential, 9'-0" change in facade provided no more than 40'-0" apart)
- D3** A regular pattern of transparent glass constituting a minimum of 50% of the total wall/facade area of the first floor facade/elevation facing a street.  
A minimum of 50% glass is provided at the main entry only
- D4** Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width.

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1** Facades shall consist of at least one primary and one secondary color.  
Multiple colors provided
- E2** At least one of these elements, either texture or color, shall repeat horizontally across the facade  
Textures and colors repeat around all facades
- E3** Variations in texture and color elements shall repeat vertically a minimum of every 30 feet  
Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architecture detailing.

**IMPORTANT DEFINITIONS**

**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTRIAN ENTRY**

- H1** One primary pedestrian entrance shall be provided for every facade facing a street.  
Entries are provided on each street facing facade
- H2** On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, H2 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade
- H3:** The pedestrian entrance shall contain at least three of the following architectural details:
  - H3.1** Pilasters of facade modules  
Facade module included to frame entrance
  - H3.2** Public Art Display  
Public art included with sculptures and murals
  - H3.3** Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
  - H3.4** Railed, canopied entryway parapet or recessed/framed sheltered element of at least 2 feet in depth  
Protected overhangs at entry way
  - H3.5** Buttress and arched entry  
Not Applicable

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1** Street address displays shall consist of Arabic numerals (e.g. 1,2,3...) no less than 8" in height. For multifamily uses, the address display shall be a minimum of five inches and a maximum of 12" in height.  
Street address complies
- K2** Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances
- K3** All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street address complies

**DESIGN GUIDELINES LEGEND**

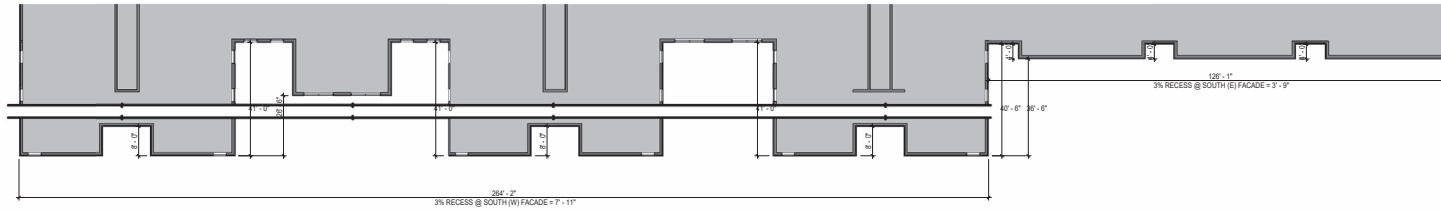
- D1** CANOPY
- D2** 9'-0" STEP IN BUILDING MASSING
- D3** 50% OF MODULE GLASS
- D4** 3% RECESS OF OVERALL FACADE

**16. VEHICLE PARKING GARAGE**

A. In the MD-CO, MD-OS, MD-SV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.08.05(b) (Conditional Use Permit).

B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

- 16.A** A. Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material than adjacent facade.  
Punched openings provided with 2' spacing between
- 16.B** B. The building shall be designed so that the presence of parked vehicles is not visible.  
Parked vehicles are not visible from exterior
- 16.C** C. A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D** D. A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes, or similar elements  
Public art on street facing facades



2 OVERALL FLOOR PLAN - SOUTH - L1  
A2.6 SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - OVERALL BUILDING ELEVATION - SOUTH  
A2.6 SCALE: 1/16" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1** **Awning or Canopy**  
Canopies provided no more than 40' apart around street facades.
- D2** **Change in Building Facade Height** (maximum of 5 feet of differential, 0'-0" change in facade provided no more than 40'-0" apart)
- D3** **Regular pattern of transparent glass** constituting a minimum of 50% of the total wall/facade area of the first-floor facade/elevation facing a street.  
A minimum of 50% glass is provided at the main entry only
- D4** **Wall elevation recesses and/or projections**, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width.

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1** **Facades shall consist of at least one primary and one secondary color**  
Multiple colors provided
- E2** **At least one of these elements, either texture or color, shall repeat horizontally across the facade**  
Textures and colors repeat around all facades
- E3** **Variations in texture and color elements shall repeat vertically a minimum of every 30 feet**  
Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architecture detailing.

**IMPORTANT DEFINITIONS**

**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTRIAN ENTRY**

- H1** One primary pedestrian entrance shall be provided for every facade facing a street.  
Entries are provided on each street facing facade
- H2** On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, A69 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade

**H3: The pedestrian entrance shall contain at least three of the following architectural details:**

- H3.1** Pilasters of facade modules  
Facade module included to frame entrance
- H3.2** Public Art Display  
Public art included with sculptures and murals
- H3.3** Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
- H3.4** Railed, colonnaded entryway parapet or recessed/framed sheltered element of at least 2 feet in depth  
Protected overhangs at entry way
- H3.5** Buttress and arched entry  
Not Applicable

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1** Street address displays shall consist of Arabic numerals (e.g. 1, 2, 3...) no less than 10" in height. For multifamily uses, the address display shall be a minimum of five inches and a maximum of 10" in height.  
Street address complies
- K2** Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances
- K3** All street addresses shall contrast with the color of the surface on which they are mounted; shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street address complies

**DESIGN GUIDELINES | LEGEND**

- D1** CANOPY
- D2** 5'-0" STEP IN BUILDING MASSING
- D3** 50% OF MODULE GLASS
- D4** 3% RECESS OF OVERALL FACADE

**16. VEHICLE PARKING GARAGE**

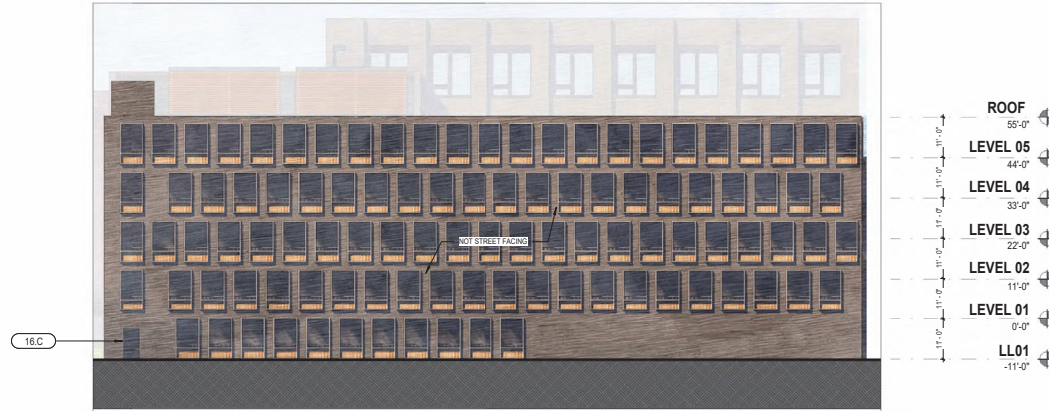
A. In the MD-CG, MD-OC, MD-UV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.08.05(b) (Conditional Use Permit).

B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

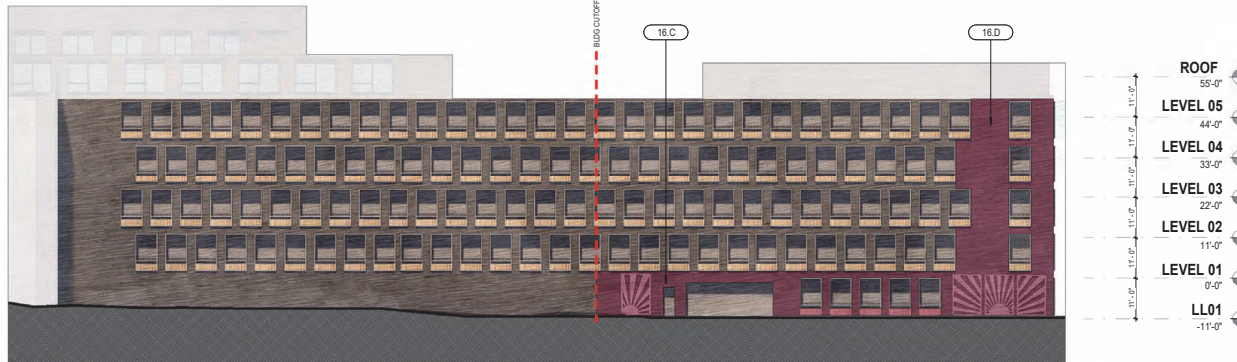
- 16.A** Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material than adjacent facade.  
Punched openings provided with 2' spacing between
- 16.B** The building shall be designed so that the presence of parked vehicles is not visible.  
Parked vehicles are not visible from exterior
- 16.C** A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D** A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes, or similar elements  
Public art on street facing facades



3 SOUTH ELEVATION - 17TH ST. ENTRY  
A2.6 SCALE: 1/4" = 1'-0"



2 ARCHITECTURE STANDARDS DIAGRAM - GARAGE NORTH  
SCALE: 1/16" = 1'-0"



1 ARCHITECTURE STANDARDS DIAGRAM - GARAGE NORTH  
SCALE: 1/16" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1** **Awning or Canopy**  
Canopies provided no more than 40' apart around street facades.
- D2** **Change in Building Facade Height** (minimum of 5 feet of difference)  
5'-0" change in facade provided no more than 40'-0" apart
- D3** **Regular pattern of transparent glass** constituting a minimum of 50% of the total wall/facade area of the first-floor facade/elevation facing a street.  
A minimum of 50% glass is provided at the main entry only
- D4** **Wall elevation recesses and/or projections**, the depth that are at least three percent of the horizontal width of the building facade  
3% recesses are provided in accordance to each building width.

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1** **Facades shall consist of at least one primary and one secondary color**  
Multiple colors provided
- E2** **At least one of these elements, either texture or color, shall repeat horizontally across the facade**  
Textures and colors repeat around all facades
- E3** **Variations in texture and color elements shall repeat vertically a minimum of every 30 feet**  
Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet or supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architecture detailing.

**IMPORTANT DEFINITIONS**  
**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.  
**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTRIAN ENTRY**

- H1** One primary pedestrian entrance shall be provided for every facade facing a street.  
Entries are provided on each street facing facade
- H2** On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, A69 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade
- H3:** The pedestrian entrance shall contain at least three of the following architectural details:
  - H3.1** Pilasters of facade modules  
Facade module included to frame entrance
  - H3.2** Public Art Display  
Public art included with sculptures and murals
  - H3.3** Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
  - H3.4** Railed cornice entryway parapet or recessed/framed sheltered overhangs at entry way
  - H3.5** Buttress and arched entry  
Not Applicable

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1** Street address displays shall consist of Arabic numerals (e.g. 1, 2, 3, ...) no less than 10" in height. For multifamily uses, the address display shall be a minimum of five inches and a maximum of 10" in height.  
Street address complies
- K2** Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances
- K3** All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street address complies

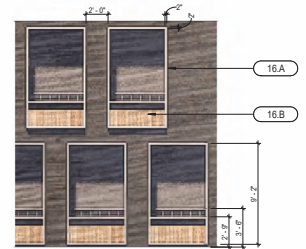
**DESIGN GUIDELINES LEGEND**

- D1** CANOPY
- D2** 5'-0" STEP IN BUILDING MASSING
- D3** 50% OF MODULE GLASS
- D4** 3% RECESS OF OVERALL FACADE

**16. VEHICLE PARKING GARAGE**  
A. In the MD-CO, MD-OL, MD-SV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.08.05(b) (Conditional Use Permit).  
B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

- 16.A** A. Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material than adjacent facade.  
Punched openings provided with 2" spacing between
- 16.B** B. The building shall be designed so that the presence of parked vehicles is not visible.  
Parked vehicles are not visible from exterior
- 16.C** C. A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D** D. A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes, or similar elements.  
Public art on street facing facades

ART & PLANTER REQUIREMENT	
TOTAL SF ART & PLANTER REQ. (>20%)	7,383 SF
CURRENT ART & PLANTER SF	1941 SF



3 GARAGE - WINDOW DIAGRAM  
SCALE: 3/16" = 1'-0"



1 MATERIAL STUDY - TYP. FACADE FRONT  
A2-11 SCALE: 1/8" = 1'-0"



3 MATERIAL STUDY - TYP. FACADE SIDE  
A2-11 SCALE: 1/8" = 1'-0"

**D. EXTERIOR FACADES**  
All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- D1** Awnings or Canopies  
Canopies provided no more than 40' apart around street facades.
- D2** Change in Building Facade Height (minimum of 5 feet difference)  
5'-0" change in facade provided no more than 40'-0" apart
- D3** A regular pattern of transparent glass constituting a minimum of 50% of the total wall/facade area of the first-floor facade/elevation facing a street  
A minimum of 50% glass is provided at the main entry only
- D4** Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building facade  
2% recesses are provided in accordance to each building width

**E. PATTERNS**  
All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- E1** Facades shall consist of at least one primary and one secondary color  
Multiple colors provided
- E2** At least one of these elements, either texture or color, shall repeat horizontally across the facade  
Textures and colors repeat around all facades
- E3** Variations in texture and color elements shall repeat vertically a minimum of every 30 feet  
Textures and colors repeat vertically 30'-0"

**F. EAVES AND ROOFS**  
Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

**G. 360 DEGREE ARCHITECTURE**  
Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architectural detailing.

**IMPORTANT DEFINITIONS**

**MATERIAL, PRIMARY**  
An exterior finish material that covers more than 20% of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**MATERIAL, SECONDARY**  
An exterior finish material that covers 20% or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**H. PRIMARY PEDESTRIAN ENTRY**

- H1** One primary pedestrian entrance shall be provided for every facade facing a street  
Entries are provided on each street facing facade
- H2** On corner or through lots, the facade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, K9 shall not be used as the higher classified street.  
Primary entrance is located on North Lincoln Street facade
- H3:** The pedestrian entrance shall contain at least three of the following architectural details:
  - H3.1** Pilasters of facade modules  
Facade module included to frame entrance
  - H3.2** Public Art Display  
Public art included with sculptures and murals
  - H3.3** Prominent building address, building name, and lighting  
Building name, address and lighting provided at each entry
  - H3.4** Railed, canopied entryway garage or recessed/framed sheltered element of at least 2 feet in depth  
Protected overhangs at entry way
  - H3.5** Buttress and arched entry  
Not Applicable

**I. WINDOWS ON PRIMARY FACADES**  
All first-story windows on the primary facade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

All windows are transparent without dark tinting or reflective glass.

**K. STREET ADDRESSES**

- K1** Street address displays shall consist of Arabic numerals (e.g. 1, 2, 3...) no less than 12" in height. For multifamily uses, the address display shall be a minimum of five inches and a maximum of 12" in height.  
Street address complies
- K2** Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.  
Street address is located above all entrances
- K3** All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials and shall be clearly visible and identifiable from the street.  
Street address complies

**16. VEHICLE PARKING GARAGE**  
A. In the MD-CO, MD-DC, MD-LV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.08.05(b) (Conditional Use Permit).  
B. In all districts, if exterior facades of a parking garage structure are not covered with residential or commercial spaces, then the following design elements shall all be included:

- 16.A** A. Exterior facades shall utilize a punched-out window design with a minimum of 2' solid space between openings and defined lintels and sills that utilize different finishing material than adjacent facade.  
Punched openings provided with 2" spacing between
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Parked vehicles are not visible from exterior
- 16.C** C. A minimum of one pedestrian entrance with required entrance detailing is required per street frontage.  
A pedestrian entrance is provided at each street frontage
- 16.D** D. A minimum of 20% of each facade facing a public street shall incorporate public art, planter boxes or similar elements  
Public art on street facing facades

**FRONT FACADE - PRIMARY VS. SECONDARY MATERIALS**

TOTAL SF	3,139 SF
SECONDARY REQ. (>20%)	529 SF
CURRENT SECONDARY SF	92 SF
PRIMARY SF	3,047 SF

**SIDE FACADE - PRIMARY VS. SECONDARY MATERIALS**

TOTAL SF	4,160 SF
SECONDARY REQ. (>20%)	638 SF
CURRENT SECONDARY SF	103 SF
PRIMARY SF	3,454 SF







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site  
landscape  
architecture  
urban design

A3-1  
PLANNING COMMISSION  
03.25.2024

PERSPECTIVE VIEW - SE CORNER

HUB AT BLOOMINGTON II

23-24103-00

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A3-2 PLANNING COMMISSION 03.25.2024

PERSPECTIVE VIEW - NE CORNER

HUB AT BLOOMINGTON II

23-24103-00

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A3-3 PLANNING COMMISSION 03.25.2024

PERSPECTIVE VIEW - EAST

HUB AT BLOOMINGTON II 23-24103-00

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A3-4 PLANNING COMMISSION 03.25.2024

PERSPECTIVE VIEW - N LINCOLN ST. ENTRY

HUB AT BLOOMINGTON II

23-24103.00

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A3-5 PLANNING COMMISSION 03.25.2024

PERSPECTIVE VIEW - SW CORNER

HUB AT BLOOMINGTON II

23-24103-00

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A3-6 PLANNING COMMISSION 03.25.2024

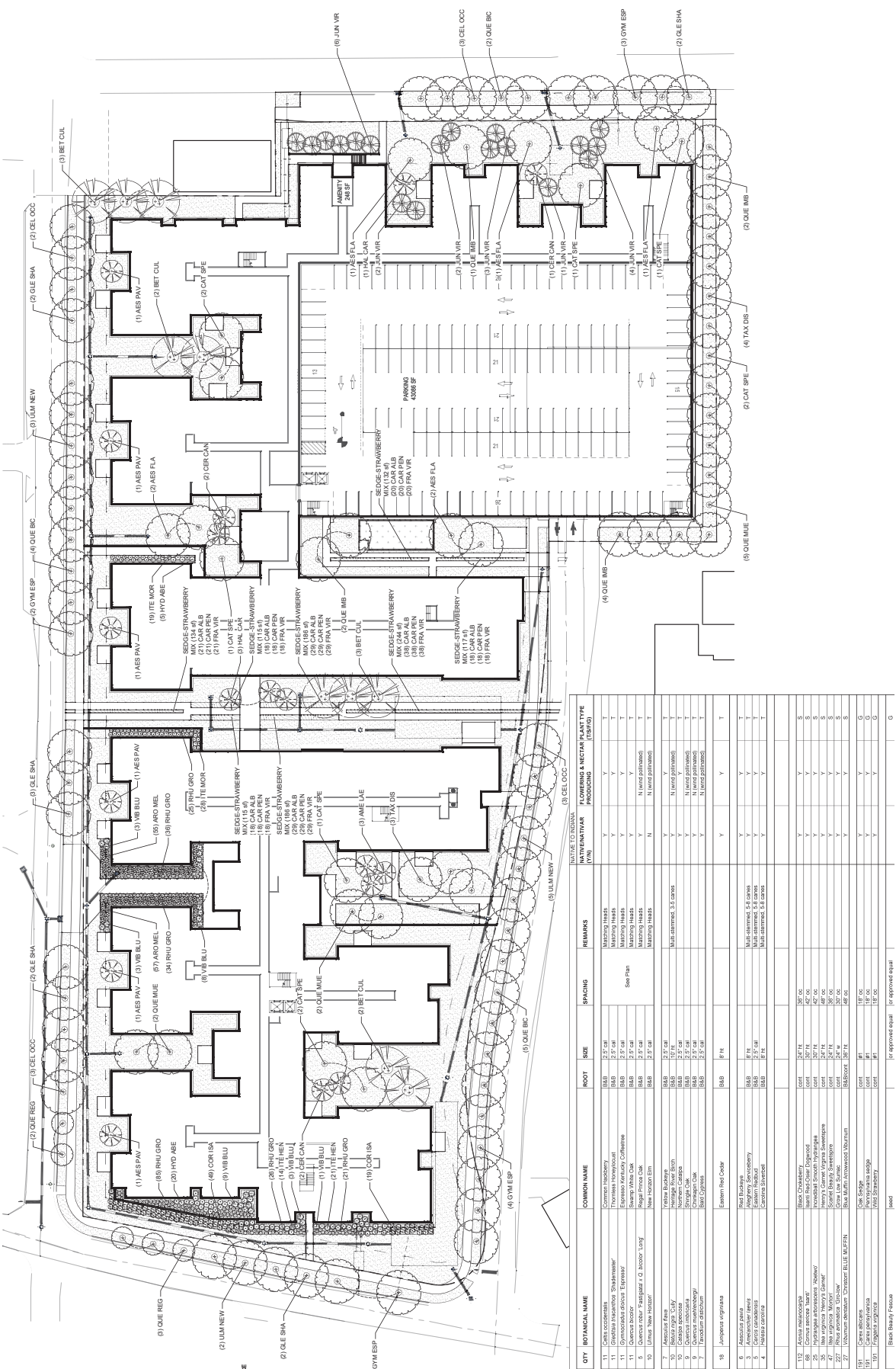
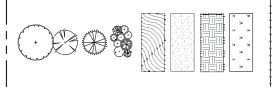
PERSPECTIVE VIEW - WASHINGTON ST. ENTRY

HUB AT BLOOMINGTON II

23-24103-00

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### LEGEND



L-106 LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



1/4" = 1' 0"

POINT SCHEDULE / GROUND LEVEL	REQUIREMENT	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	SPACING	REMARKS	FLOWERING & NECTAR PLANT TYPE (LOG/NT)	NATIVE TO INDIANA	INVASIVE/TOXIC	PROCESSED
LARGE AND MEDIUM STREET TREES	11. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	11 11 11 11	Quercus bicolor Gymnocladia dioica Fraxinus americana Nyssa sylvatica	Common Hackberry Spotted Locust White Ash Sweetgum	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Matching trees Matching trees Matching trees Matching trees	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
LARGE AND MEDIUM WATER EDGE TREES	12. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	12 12 12 12	Salix nigra Ilex verticillata Rosa pratincola Rosa pratincola	Black Willow Winterberry Rose Rose	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
SMALL INTERIOR TREES	13. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	13 13 13 13	Quercus bicolor Gymnocladia dioica Fraxinus americana Nyssa sylvatica	Common Hackberry Spotted Locust White Ash Sweetgum	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
SHRUBS	14. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	14 14 14 14	Hamamelis virginica Cornus rugosa Cornus rugosa Cornus rugosa	Witch Hamamel Dogwood Dogwood Dogwood	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
PERENNIALS	15. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	15 15 15 15	Asplenium platyneuron Saxifraga hypnoides Saxifraga hypnoides Saxifraga hypnoides	Common Spleenwort Saxifrage Saxifrage Saxifrage	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
TURF SEED	16. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	16 16 16 16	Festuca arvensis Festuca arvensis Festuca arvensis Festuca arvensis	Common Fescue Common Fescue Common Fescue Common Fescue	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
MULCH	17. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	17 17 17 17	Quercus bicolor Gymnocladia dioica Fraxinus americana Nyssa sylvatica	Common Hackberry Spotted Locust White Ash Sweetgum	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
ARTIFICIAL TURF	18. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	18 18 18 18	Quercus bicolor Gymnocladia dioica Fraxinus americana Nyssa sylvatica	Common Hackberry Spotted Locust White Ash Sweetgum	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T
ORNAMENTAL METAL FENCE	19. Core/contouring E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing E 7th St. 200 LF @ 15' Spacing N Washington St. 516 LF @ 17' Trees	19 19 19 19	Quercus bicolor Gymnocladia dioica Fraxinus americana Nyssa sylvatica	Common Hackberry Spotted Locust White Ash Sweetgum	36" DB 36" DB 36" DB 36" DB	25' x 25' 25' x 25' 25' x 25' 25' x 25'	Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx Multi-stemmed, 3.3' calyx	Y Y Y Y	Y Y Y Y	Y Y Y Y	T T T T



Eric Greulich <greulice@bloomington.in.gov>

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## Fwd: Core Bloomington Lincoln, LLC

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**Sherri Hillenburg** <sherri.hillenburg@elkinsapartments.com>  
To: Eric Greulich <greulice@bloomington.in.gov>

Fri, Apr 5, 2024 at 5:00 PM

Eric,

We have a few concerns based on the drawings you provided and would like for our concerns to be included in the commission packet.

1. We would like to see trees planted on the Northside of our building to help obstruct views into our rental units. Windows in our building were quite large in order to meet egress requirements and I can imagine that our residents would feel a little uncomfortable with so many being able to peer into their windows anytime they opened their blinds.
2. We want to ensure that there are adequate drainage plans so that runoff doesn't go directly to our building.
3. The plans that I have do not show exterior lighting. Given the height of the project we would want to ensure that lighting does not have a negative impact on our residents....
4. We need to emphasize that access to our parking areas must not be blocked. .

We may have more comments once we see the full plan.

On another note, we are supposed to plant 4 trees this spring in front of 219 E.17th. The demo plan looked like they may be working in the area where our trees go, which may affect the sustainability of the plantings. Can you confirm that we should proceed with planting or wait?

Thanks!

Sherri

[Quoted text hidden]



## Case # MP-15-24 Memo

**To:** Bloomington Plan Commission

**From:** Ryan Robling, Planning Services Manager

**Date:** April 19, 2024

**RE:** Amendment to the City of Bloomington's Comprehensive Plan in order to incorporate one new goal, and three new policies related to accessible transportation and mobility principles. As directed by the Common Council in Resolution 23-14.

---

The Common Council initiated a proposal to amend the Comprehensive Plan through Resolution 23-14. The resolution directs that a Comprehensive Plan amendment be prepared by the Plan Commission to reflect additional accessible transportation and mobility principles. The resolution calls for the inclusion of new policies consistent with four principles from the Accessible Transportation and Mobility Principles for the City of Bloomington (ATM) adopted in 2022.

The four principles identified are as follows:

1. Involve people with disabilities in decision-making. Establish a transparent, equitable public process that includes people with low vision, mobility challenges, and other disabilities in the full range of transportation decisions from design to operations.
2. Develop equitable access. Connect people with disabilities meaningfully to essential needs and services, including housing, grocery stores, health care facilities, jobs, schools, mass transit stops, parks, and other places to live, work, and play.
3. Provide safe and functional mobility. Prioritize transportation safety for the most vulnerable users over and above access and speed for cars and trucks, through funding for infrastructure such as well-maintained sidewalks, readily-available ramps, and accessible transit stops.
4. Ensure accountability. Document and evaluate progress on implementation of the municipality's ADA Transition Plan by updating the Plan's data and revising its goals at least biennially.

The Planning and Transportation Department has drafted an amendment to the Comprehensive Plan for review by the Plan Commission. This amendment incorporates the principles outlined in the resolution, introducing one new goal and three new policies to Chapter 6: Transportation of the Comprehensive Plan. The goal and policies from the resolution were included as written to ensure alignment with the principles outlined in the ATM, and to ensure coherence and consistency between the ATM and the Comprehensive Plan. The new goal, identified as Goal

6.8: Development of Equitable Access, includes the new policies Policy 6.8.1: Involve people with disabilities in decision making, 6.8.2: Provide safe and functional mobility, and Policy 6.8.3: Ensure accountability.

## Goals & Policies

*Policies in this chapter most closely respond to the adopted 2013 Vision Statement objective to:*

*16. Provide a safe, efficient, accessible, and connected system of transportation that emphasizes public transit, walking, and biking to enhance options to reduce our overall dependence on the automobile*

*The policies in this chapter also respond to the following 2013 Vision Statement objective:*

*3. Meet basic needs and ensure self-sufficiency for all residents*

*4. Fortify our progress toward improving public safety and civility*

*5. Invest in diverse high quality economic development that provides equitable job opportunities to our residents, supports an entrepreneurial small business climate, enhances the community's role as a regional hub, and is responsive towards larger concerns of sustainability*

*6. Enhance the community's role as a regional economic hub*

*11. Ensure all land development activity makes a positive and lasting community contribution*

### **Goal 6.1 Increase Sustainability:** Improve the sustainability of the transportation system.

**Policy 6.1.1:** Maintain a local Master Thoroughfare Plan, as required by state law, that plans for all modes of transportation.

**Policy 6.1.2:** Balance economic, environmental, accessibility, and equity issues in local transportation decisions.

**Policy 6.1.3:** In land use decisions, require sufficient density through infill, redevelopment, and reuse of vacant or under-utilized parcels to support multimodal transportation and discourage urban sprawl.

**Policy 6.1.4:** Locate transit and multimodal facilities near higher-density developments and employment and retail centers, social services, and community facilities.

**Policy 6.1.5:** Encourage the concept of streets as not merely for transportation, but as important public spaces where community thrives.

**Policy 6.1.6:** Ensure City transportation and land use decisions are coordinated with anticipated developments in automated/autonomous vehicles, to ensure safety and increase mobility.

**Policy 6.1.7:** Prioritize safety and accessibility over capacity in transportation planning, design, construction, and maintenance decisions.

**Policy 6.1.8:** Evaluate city roads, sidewalks, paths, trails, ramps, and traffic devices regularly and implement an adequately funded maintenance program.

### **Goal 6.2 Improve Public Transit:** Maintain, improve, and expand an accessible, safe, and efficient public transportation system.

**Policy 6.2.1:** Support public transit access to regional destinations.

**Policy 6.2.2:** Encourage the provision of seating, lighting, and signage (including real-time arrival information) at transit stops to increase rider comfort, safety, and convenience.

**Policy 6.2.3:** Support the adoption and use of technologies that reduce emissions of greenhouse gases and pollutants from vehicles.

### **Goal 6.3 Improve the Bicycle and Pedestrian Network:** Maintain, improve, and expand an accessible, safe, and efficient network for pedestrians, and attain platinum status as a Bicycle Friendly Community, as rated by the League of American Bicyclists.

**Policy 6.3.1:** Prioritize pedestrian and bicycle infrastructure within Bloomington and to connect with surrounding communities.

**Policy 6.3.2:** Encourage and require (where legally feasible) new private developments to dedicate easements or right of way and provide improvements for pedestrian and bicycle facilities to complete the connectivity in the networks.

**Policy 6.3.3:** Enhance the pedestrian and bicycle network with benches, pedestrian-scaled lighting, bicycle parking, street trees and landscaping, interpretive stations, public art, and/or other features to further improve the physical conditions that support walking and biking.

**Policy 6.3.4:** Require pedestrian-friendly design features.

**Policy 6.3.5:** Require provision of covered bicycle parking in new construction.

### **Goal 6.4 Prioritize Non-Automotive Modes:**

Continue to integrate all modes into the transportation network and to prioritize bicycle, pedestrian, public transit, and other non-automotive modes to make our network equally accessible, safe, and efficient for all users.

**Policy 6.4.1:** Consider all ages, all abilities, and all modes, including pedestrians, bicyclists, transit vehicles, emergency responders, and freight when planning, designing, modifying, and constructing transportation facilities.

**Policy 6.4.2:** As capacity needs increase, focus on multimodal improvements and optimization of the existing transportation system rather than adding more lanes for passenger vehicles.

**Goal 6.5 Protect Neighborhood Streets:** Protect neighborhood streets that support residential character and provide a range of local transportation options.

**Policy 6.5.1:** Implement traffic calming measures where safety concerns exist to manage motor vehicle traffic on residential streets.

**Policy 6.5.2:** Balance vehicular circulation needs with the goal of creating walkable and bike-friendly neighborhoods.

**Policy 6.5.3:** Continue to improve connectivity between existing neighborhoods, existing and proposed trails, and destinations such as commercial areas and schools.

### **Goal 6.6 Optimize Public Space for Parking:**

Plan and develop parking for cars and bicycles with a focus on efficiency and equity.

**Policy 6.6.1:** Implement creative parking strategies to minimize inefficiencies and facilitate equitable use of public space, including potential adaptive reuse of structures as needs may evolve.

**Policy 6.6.2:** Encourage attractive and environmentally sensitive parking areas.

**Policy 6.6.3:** Prioritize on-street parking spaces for equitable and environmentally conscious uses, such as for people with physical handicaps, or spaces set aside for carpools or car sharing.

**Policy 6.6.4:** Encourage provision of covered bicycle parking.

**Goal 6.7 Educate the Public:** Increase residents' safe use of transportation options that minimize negative environmental and infrastructure impacts.

**Policy 6.7.1:** Educate drivers, bicyclists, and pedestrians on sharing the public right-of-way safely.

**Policy 6.7.2:** Collaborate with community organizations to educate residents about using public transit and bicycling.

**Policy 6.7.3:** Utilize enforcement programs to support desired motorist and active transportation user behavior.

**Policy 6.7.4:** Educate the public about the multiple entry points to the city's parking system, including its menu of options for where to park, how to use the system, and wherever feasible, real-time space availability.

**Goal 6.8 Develop Equitable Access:** Connect people with disabilities meaningfully to essential needs and services, including housing, grocery stores, health care facilities, jobs, schools, mass transit stops, parks, and other places to live, work, and play.

**Policy 6.8.1:** Involve people with disabilities in decision-making. Establish a transparent, equitable public process that includes people with low vision, mobility challenges, and other disabilities in the full range of transportation decisions from design to operations.

**Policy 6.8.2:** Provide safe and functional mobility. Prioritize transportation safety for the most vulnerable users over and above access and speed for cars and trucks, through funding for infrastructure such as well-maintained sidewalks, readily-available ramps, and accessible transit stops.

**Policy 6.8.3:** Ensure accountability. Document and evaluate progress on implementation of the municipality's ADA Transition Plan by updating the Plan's data and revising its goals at least biennially.