

# CITY OF BLOOMINGTON



May 13, 2024 @ 4:00 p.m.

401 N. Morton Street  
Kelly Conference Room #155 & via Zoom:

<https://bloomington.zoom.us/j/86714253039?pwd=SXJ2bmNwRFhLeVZSRW44TVl0T3hZUT09>

Meeting ID: 867 1425 3039

Passcode: 064896

CITY OF BLOOMINGTON  
PLAT COMMITTEE  
May 13, 2024 at 4:00 p.m.

401 N. Morton Street, City Hall  
Kelly Conference Room #155

**HYBRID MEETING:**

<https://bloomington.zoom.us/j/86714253039?pwd=SXJ2bmNwRFhLeVZSRW44TVI0T3hZUT09>

Meeting ID: 867 1425 3039      Password: 064896

PETITION MAP: <https://arcg.is/0j5zDH>

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**ROLL CALL**

**MINUTES TO BE APPROVED:**

**REPORTS, RESOLUTIONS, AND COMMUNICATIONS:**

**PETITIONS:**

- DP-19-24      Michael Cordaro**  
400 W. 7<sup>th</sup> Street  
Parcel: 53-01-32-379-000.000-005  
Request: Primary plat approval of a two-lot subdivision of 1.12 acres in the Mixed-Use Downtown within the Downtown Core Overlay (MD-DC) zoning district. *Case Manager: Eric Greulich*
- DP-20-24      Habitat for Humanity of Monroe Co., Inc.**  
650 W. Guy Avenue  
Parcel: 53-08-08-100-115.000-009  
Request: Secondary plat approval for Osage Place, Phase 2, for a subdivision of 7.16 acres for 39 residential lots and 4 common area lots in a Planned Unit Development (PUD). *Case Manager: Eric Greulich*

\*\*Next Meeting Date: June 10, 2024

Updated: 5/10/2024

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***Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or e-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).***

**BLOOMINGTON PLAT COMMITTEE**  
**STAFF REPORT**  
**Location: 400 W. 7<sup>th</sup> Street**

**CASE #: DP-19-24 / PLAT2023-12-0015**  
**DATE: May 13, 2024**

**PETITIONER:** Michael Cordaro (Johnson Creamery)  
 400 W. 7<sup>th</sup> Street, Bloomington

**CONSULTANTS:** Ratio Architects, LLC.  
 101 S. Pennsylvania St., Indianapolis

Smith Design Group  
 1467 W. Arlington Road, Bloomington

**REQUEST:** The petitioner is requesting primary plat approval to allow a two-lot subdivision of 1.241 acres in the Mixed-Use Downtown (MD) within the Downtown Core Overlay (DCO) zoning district. The petitioner is also requesting secondary plat approval to be delegated to staff.

**BACKGROUND:**

**Area:** 1.241 acres  
**Current Zoning:** Mixed Use Downtown (MD) – Downtown Core Overlay  
**Comp Plan Designation:** Downtown  
**Existing Land Use:** Dwelling, Multifamily/Office  
**Proposed Land Use:** Dwelling, Multifamily/Office  
**Surrounding Uses:** North – Office  
 West – Office  
 East – Showers Building/B-Line Trail  
 South – Office

**REPORT:** The property is located on the north side of 7th Street and extends north to 8<sup>th</sup> Street and is zoned Mixed-Use Downtown (MD), in the Downtown Core Downtown Character Overlay. Surrounding land uses include offices to the north, west, and east with the Showers office building and B-Line Trail to the east. The northern part of the property is currently under construction and the southern portion contains the Johnson Creamery office building that fronts on 7<sup>th</sup> Street. There is a 12' wide platted alley along the west side of this property that runs north/south and connects 7<sup>th</sup> Street to 8<sup>th</sup> Street. There is an underground culvert and 15' wide easement that runs through the northeast corner of this property that contains a 48" storm water pipe that serves the overall storm water drainage system for the portions of the City upstream of this area.

The petitioner received site plan approval (SP-27-21) to allow for the construction of a new residential building on the north side of the site with 60 dwelling units, 74 bedrooms, and an interior parking area with 17 spaces. The interior parking garage would be accessed from a drive cut on the alley on the west side and by an entrance on the south side of the building. The building will feature a 1,000 square foot fitness area along the ground floor of the 8<sup>th</sup> Street frontage and a large outdoor plaza area, two dwelling units, and lobby along the ground floor facing the B-Line. The site also features the Johnson Creamery office building on the south side of the site with 7 surface parking spaces.

The petitioner is proposing to subdivide the property to place the under construction residential building and surface parking spaces on one lot and the Johnson Creamery building on a second

lot. With the subdivision request, right-of-way is required to be dedicated in accordance with the Transportation Plan. Although the new multifamily building met all of the building setback requirements at the time of site plan approval, since the petitioner must dedicate approximately 5' of additional right-of-way along 8<sup>th</sup> Street, a portion of the northwest corner of the building is located in the proposed right-of-way. A reduction in the amount of right-of-way to be dedicated at that area has been requested to accommodate the location of the new building. There are existing pedestrian facilities, street lights and street trees along both frontages. A new street tree and grate have been requested by the City Urban Forester along 7<sup>th</sup> Street and have been shown in the proposed plat documents. A new pedestrian crosswalk will be included on 7<sup>th</sup> Street to connect to Madison to the south.

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**20.06.060(b)(3)(E) PRIMARY PLAT REVIEW:** The Plan Commission or Plat Committee shall review the primary plat subdivision petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6) (Approval Criteria) and the following standards:

- i. All subdivision proposals shall be consistent with the need to minimize flood damage.
- ii. All subdivision proposals shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
- iii. All subdivision proposals shall have adequate drainage provided to reduce exposure to flood hazards
- iv. Base flood elevation data shall be provided for subdivision proposals and other proposed development (including manufactured home parks and subdivisions), which is greater than the lesser of 50 lots or five acres.
- v. All subdivision proposals shall minimize development in the SFHA and/or limit intensity of development permitted in the SFHA
- vi. All subdivision proposals shall ensure safe access into/out of SFHA for pedestrians and vehicles (especially emergency responders).

**PROPOSED FINDING:** Underground stormwater detention is provided on this site and was required with the site plan approval. In addition, there is a large underground stormwater culvert that runs through the northeast corner of the site and accommodates upstream stormwater through this site. Utility connections for the residential building will be through existing facilities along 8<sup>th</sup> Street and utilities for the Johnson Creamery building are located along 7<sup>th</sup> Street. This subdivision does not involve more than 50 lots or 5 acres so base flood elevation data is not required to be shown.

**20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** With the approval of a reduction in the amount of right-of-way required along a portion of 8<sup>th</sup> Street, the primary plat complies with all of the requirements of the UDO and the Transportation Plan. There are no other known applicable regulations that would apply to this subdivision. A grading permit has been issued for the site and approval from City of Bloomington Utilities has been given. Although a subdivision line was not shown or approved

with the site plan approval, the location of the new lot line between the proposed lots does conform to the UDO requirements in regards to setbacks and all other applicable development standards.

**20.06.040(d)(6)(D) Additional Criteria Applicable to Primary Plats and Zoning Map Amendments (Including PUDs)**

- i. Consistency with Comprehensive Plan and Other Applicable Plans
 

The proposed use and development shall be consistent with and shall not interfere with the achievement of the goals and objectives of the Comprehensive Plan and any other adopted plans and policies.
- ii. Consistent with Intergovernmental Agreements
 

The proposed use and development shall be consistent with any adopted intergovernmental agreements and shall comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this UDO.
- iii. Minimization or Mitigation of Adverse Impacts
  1. The proposed use and development shall be designed to minimize negative environmental impacts and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise, stormwater management, wildlife habitat, soils, and native vegetation.
  2. The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.
  3. The proposed use and development shall not result in significant adverse fiscal impacts on the city.
  4. The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.
- iv. Adequacy of Road Systems
  1. Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed use and development shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services.
  2. The proposed use and development shall neither cause undue traffic congestion nor draw significant amounts of traffic through residential streets.
- v. Provides Adequate Public Services and Facilities
 

Adequate public service and facility capacity shall exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, streets, potable water, sewer, stormwater management structures, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.
- vi. Rational Phasing Plan
 

If the petition involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date and shall not depend upon subsequent phases for those improvements

**PROPOSED FINDING:** The proposed plat and use of the property as a “Dwelling, Multifamily and Office” use is consistent with Comprehensive Plan designation of the property as Downtown. Although there are not any Interlocal Agreements that would pertain to this subdivision, the construction of the new residential building did involve some improvements and encroachments along the B-Line Trail. An Encroachment Agreement with the Parks Board was approved for these encroachments which must be recorded and referenced on the plat. A Condition of approval has been included to that regard. There are no expected adverse impacts as a result of this plat. The proposed plat allows the creation of 2 new lots that are consistent with the requirements of the UDO with access to existing road system, public services, and public facilities, including existing pedestrian facilities. There are no known regulated environmental features that must be addressed with the plat. All adjacent facilities and infrastructure are adequate to support the proposed use. No phasing of the plat is expected or approved.

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**PLAT REVIEW:** The proposed subdivision is following the Commercial/Employment Subdivision (C1) design standards.

**Subdivision Standards:**

**Parent tract size:** No minimum parent tract size.

**Open space required:** Not required.

**Lots served by alleys:** Not required.

**Block length:** 1,320 square feet. No new blocks are created by the proposal.

**Cul-de-sac length:** The minimum cul-de-sac length allowed is 200’ and the maximum is 600’, however no new culs-de-sac are proposed.

**Transportation facilities:** The property has frontage on 8<sup>th</sup> Street which has a Neighborhood Residential typology and 7<sup>th</sup> Street which has a Neighborhood Connector typology. The Neighborhood Residential typology requires a 6’ sidewalk and 5’ tree plot which were shown and approved with the site plan approval. There is an existing pedestrian zone along the 7<sup>th</sup> Street frontage that accommodates an existing sidewalk, angled parking spaces, and street trees in tree grates. The City Urban Forester has identified a location for an additional street tree and tree grate along 7<sup>th</sup> Street and that has been shown. A new pedestrian crosswalk will be included on 7<sup>th</sup> Street to connect to Madison to the south.

**On-street parking:** There will be two angled parking spaces removed along 7<sup>th</sup> Street to accommodate a new crosswalk to connect to the sidewalk along the west side of Madison Street. There will also be new metered parking spaces installed along the south side of 8<sup>th</sup> Street along this frontage.

**Tree plot width:** The minimum tree plot width required for the Neighborhood Residential typology is 5’ and was shown and approved with the site plan and grading permit. As mentioned previously, an additional street tree has been requested along 7<sup>th</sup> Street as well as the replacement of an existing dead street tree. All of the existing tree grates along 7<sup>th</sup> Street will be increased in size to 5’x5’ tree wells with grates.

**Lot Establishment Standards:**

**Lot area and lot width:** There are no minimum lot area or lot width requirements within the Mixed-Use Downtown.

**Lot shape:** All lots meet the UDO requirement for regular lot size and a depth-to-width ratio not to exceed four to one.

**Lot access:** Although both lots have frontage on public streets, all vehicular access to the lots will come from the north/south alley that is located west of the site.

**Stormwater Standards:** A stormwater management plan was approved with the site plan approval. There is an underground detention area shown under the parking area on Lot #1 that serves that lot. An access, drainage, and utility easement has been shown for that area. There is also an underground storm culvert that runs through the northeast corner of the site that serves the overall stormwater management system for the areas upstream of this site and was previously placed in an easement, which is referenced on the plat. There are no common detention facilities proposed.

**Right-of-Way Standards:**

**ROW width:** No new public streets are proposed. The Transportation Plan requires a 60-foot-wide right-of-way (30' from centerline) for 8<sup>th</sup> Street and this has been shown on the proposed plat, with the exception of a portion of the west side of the property where a portion of the newly constructed building is located partially in the proposed right-of-way. The Transportation Plan allows for deviations from the standards contained within it, including the amount of right-of-way required to be dedicated. As mentioned previously, although the new multifamily building met all of the building setback requirements at site plan approval, since the petitioner must dedicate approximately 5' of additional right-of-way along 8<sup>th</sup> Street, a portion of the northwest corner of the building is located in the proposed right-of-way. A reduction in the amount of right-of-way to be dedicated at that area has been requested to not require the full dedication at the northwest corner of the site. The Department has analyzed the request for a reduction in the amount of right-of-way at the northwest corner and found that right-of-way should be dedicated to the maximum extent possible without placing any portions of the building within right-of-way and shall correspond to dedicating right-of-way consistent with the face and finishing material of the building. This has been shown on the proposed plat.

The Transportation Plan requires a 74 foot wide right-of-way (37' from centerline) for 7<sup>th</sup> Street and there is currently 82.5' (45' from centerline), so no additional right-of-way is required along 7<sup>th</sup> Street.

**Environmental Considerations:** There are no known steep slopes, karst features, or wetlands on the site.

**Utilities:** Utility service and facilities are located along 7<sup>th</sup> and 8<sup>th</sup> Street and connections to those facilities was reviewed and approved with previous approvals.

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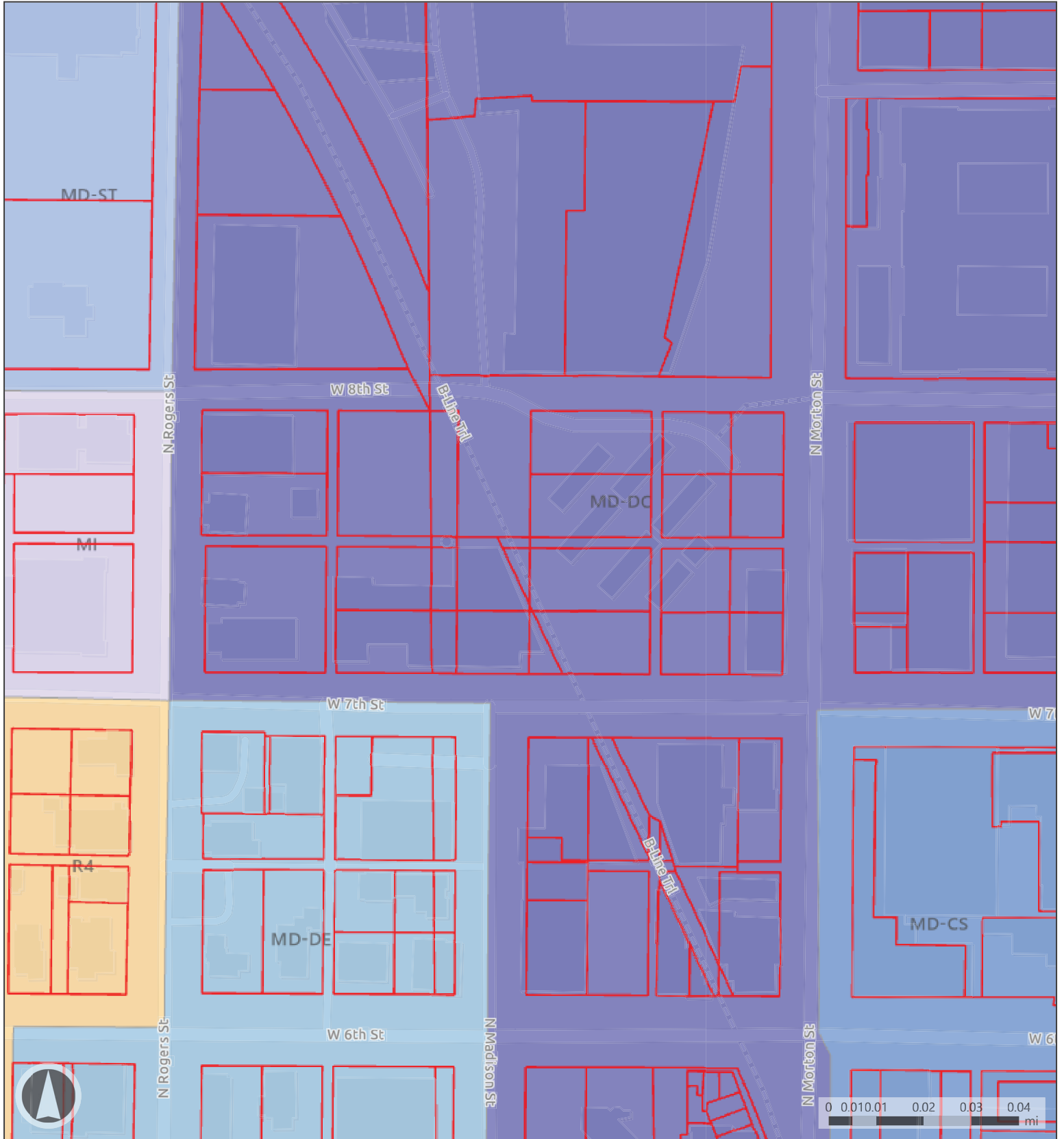
**CONCLUSION:** This proposed subdivision meets all of the requirements of the UDO with no waivers requested.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plat Committee adopt the proposed findings and approve the primary plat of DP-19-24 with the following conditions:

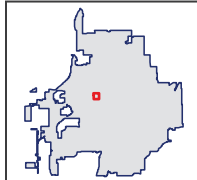
1. Secondary plat approval is delegated to staff.
2. The Encroachment Agreement with the Parks Board must be recorded and referenced on the secondary plat.
3. One new street tree in an approved tree well and tree grate is required along 7<sup>th</sup> Street. Replacement of one dead tree on 7<sup>th</sup> Street is required. Existing tree wells and grates will be modified according to the City Urban Forester guidelines.
4. The addition of a pedestrian ramp on 7<sup>th</sup> Street is required.
5. Addresses for both developable lots must be shown on the secondary plat.





**Map Legend**

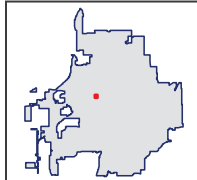
- Parcels
- Bloomington Municipal Boundary
- Mixed-Use Downtown Courthouse Square
- Mixed-Use Downtown Downtown Core
- Mixed-Use Downtown Downtown Edges
- Mixed-Use Downtown Showers Technology
- Mixed-Use Institutional
- Residential Urban





**Map Legend**

- Addresses
- Parcels
- Bloomington Municipal Boundary





Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

March 20, 2024

Eric Greulich  
City Planning and Transportation Department  
401 N. Morton Street  
Bloomington, IN. 47404

RE: Johnsons Creamery Subdivision request

Dear Eric,

On behalf of our client, 400 W. 7<sup>th</sup> LLC, we respectfully request to be placed on the April 2024 agenda for the City of Bloomington Plat Committee for consideration of a Primary Plat for subdivision of a property located at 400 W. 7<sup>th</sup> Street, the Johnson's Creamery Building property.

The purpose of this primary plat is to subdivide the existing lot into two lots. Each new lot would have a single building on it once the construction of the new multifamily building is complete on the north side of the property.

A site plan was approved in 2023 and the new building and site improvements are being installed now.

We would also like to request with the Primary Plat approval that secondary plat approval be delegated to staff. We appreciate your consideration in this matter.

Attached with this application letter is the Primary Plat, application and filing fee.

Sincerely,

A handwritten signature in blue ink that reads 'Don Kocarek'.

Don Kocarek  
Smith Design Group, Inc.



Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

## **Petitioner's Statement Johnsons Creamery Primary Plat**

### **Location**

The site is located at 400 W. 7<sup>th</sup> Street. The property is bounded by 8<sup>th</sup> Street on the north, 7<sup>th</sup> Street on the south, the B line trail on the east, and an existing alley on the west side of the property. On the south side of the property is the existing Johnsons Creamery building. A new multifamily building is currently under construction on the north side of the property along 8<sup>th</sup> Street.

### **Size**

The existing site is 1.12 acres. The parcel will be subdivided into 2 lots with the north lot being 0.55 acres and the south lot will be 0.57 acres in size.

### **Access**

Vehicular access to this property is from the alley along the west side of the property. The existing alley connects 7<sup>th</sup> and 8<sup>th</sup> Street. Pedestrian access can come from sidewalks along 7<sup>th</sup> Street, 8<sup>th</sup> Street and the B-line trail.

### **Utility, Access, and Parking Easement**

A utility, access, and parking easement is located on the surface parking lot between the two buildings and is shown on this plat. This will allow the Johnsons Creamery office building fronting on 7<sup>th</sup> to park and access the building from the surface parking between the two buildings.

### **Environmental features**

There are no environmental features on the site.

### **Drainage Easement**

Drainage easements are being located between the 2 buildings for access and maintenance to common drainage facilities. Several roof drains, surface drains and subsurface drainage facilities are located between the two buildings. These drainage facilities drain to the east into an existing underground drainage tunnel.



**MATERIALS LEGEND**

- (1) CONCRETE INDOT VERTICAL STANDING CURB
- (2) CONCRETE SIDEWALK
- (3) GRANITE PAVING PATCH AS REQUIRED SEE PATCH DETAIL ON SHEET
- (4) CURB TAPER
- (5) LINE THERMOPLASTIC SOLID WHITE 24" CROSSWALK
- (6) ACCESSIBLE RAMP PERPENDICULAR WITH CAST IRON GRATE AND CITY OF BLOOMINGTON APPROVED MATERIALS AND CITY OF BLOOMINGTON APPROVED MATERIALS
- (7) TRAFFIC CONTROL SIGN V1-114 CROSSWALK SIGN 30" X 30" WITH W16-70 DOWNWARD ARROW 24" X 12" WITH TYPE I POST PER CITY OF BLOOMINGTON REQUIREMENTS
- (8) # 4 OF TOPSOIL AND LAWN LAWN SHALL BE KENTUCKY BLUE GRASS MIX, NO FESCUE PERMITTED
- (9) REMOVE EXISTING CONCRETE CURB AND PAVEMENT FOR NEW EXISTING CONCRETE CURB AND PAVEMENT FOR
- (10) SAWCUT AND REPAVE EXISTING CONCRETE CURB AROUND TREE PROVIDE 4.5' FLUSH PLANTER AREA
- (11) SAWCUT AND REMOVE EXISTING 6" BY 6" SIDEWALK AND STONE BASE UNDERNEATH. INSTALL 1/4" MINIMUM OF PLANTING SOIL IN PLANTER AND NEW TREE.
- (12) REMOVE EXISTING STREET TREE
- (13) NEW STREET TREE SPECIES TO BE SELECTED BY CITY URBAN FORESTER
- (14) METAL TREE GRATE

NOT FOR CONSTRUCTION

XX/XX/20XX

**JOHNSONS CREAMERY BUILDING 7TH STREET IMPROVEMENTS 400 W. 7TH STREET**

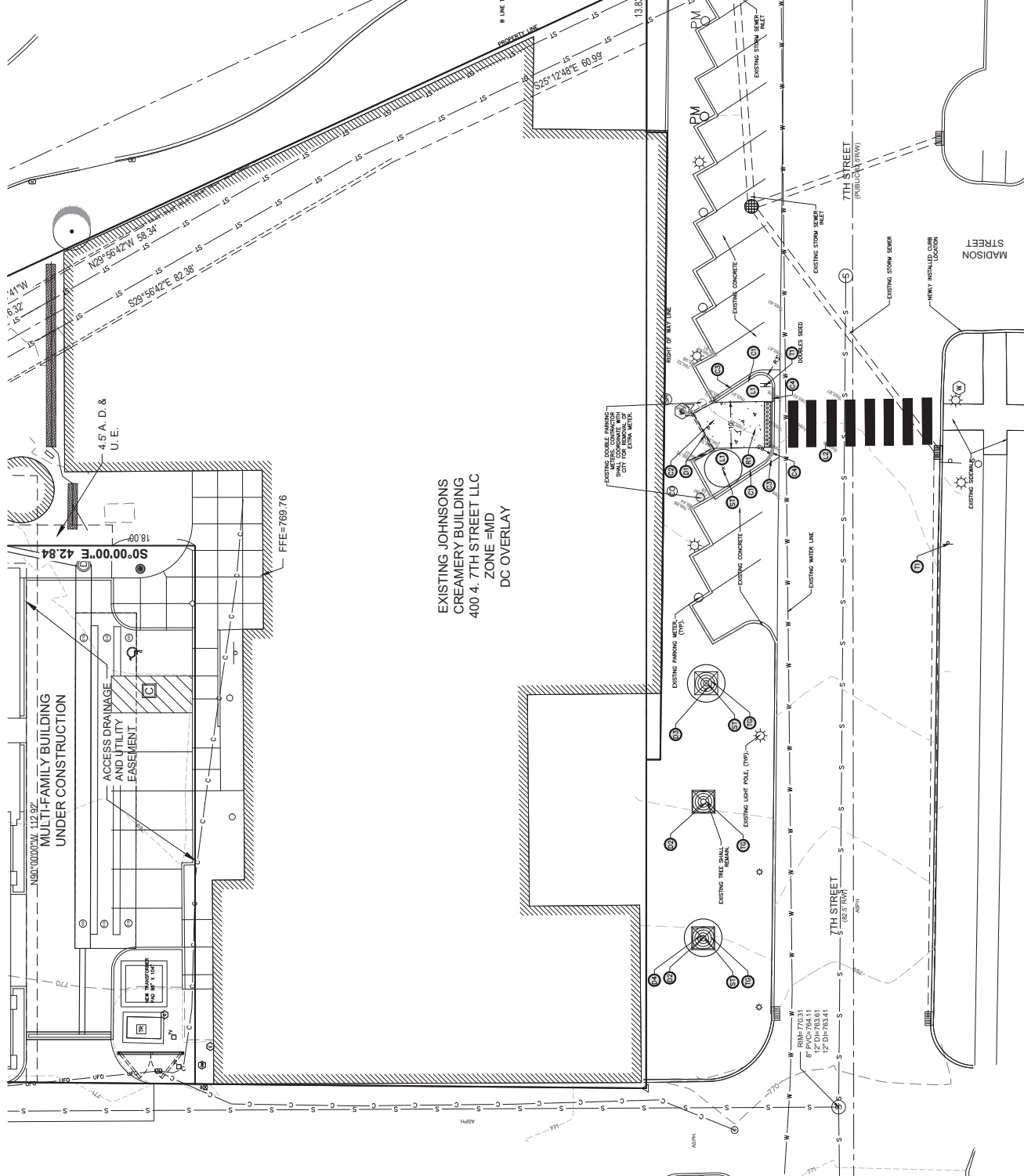
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|     |      |    |      |

DATE: 04/29/2024

PROJECT: 7TH STREET IMPROVEMENTS

SHEET: 1 OF 2

SCALE: 1" = 10'



**SITE PLAN NOTES**

- 1) SEE THE CITY OF BLOOMINGTON'S STREET DESIGN MANUAL FOR THE LATEST AND CITY OF BLOOMINGTON REQUIREMENTS AND NOT EXCEEDING CITY OF BLOOMINGTON'S REQUIREMENTS FOR CURB AND SIDEWALK CONSTRUCTION.
- 2) PAVEMENT IMPROVEMENTS SHALL BE APPLIED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON'S REQUIREMENTS AND NOT EXCEEDING CITY OF BLOOMINGTON'S REQUIREMENTS FOR CURB AND SIDEWALK CONSTRUCTION.
- 3) PAVEMENT IMPROVEMENTS SHALL BE APPLIED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON'S REQUIREMENTS AND NOT EXCEEDING CITY OF BLOOMINGTON'S REQUIREMENTS FOR CURB AND SIDEWALK CONSTRUCTION.
- 4) CONTRACTOR SHALL REMOVE ALL EXISTING "ROAD FOOT" DRUGS ON CONCERNING STREETS PER CITY OF BLOOMINGTON'S REQUIREMENTS.

**GENERAL NOTES**

- 1) STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- 2) LOCATION OF EXISTING UTILITIES SHALL BE USED IN FIELD BY CONTRACTOR. THESE NOTES ENGINEER HAS CONDUCTED FIELD SURVEY.
- 3) LOCATION OF EXISTING UTILITIES SHALL BE USED IN FIELD BY CONTRACTOR. THESE NOTES ENGINEER HAS CONDUCTED FIELD SURVEY.
- 4) LOCATION OF EXISTING UTILITIES SHALL BE USED IN FIELD BY CONTRACTOR. THESE NOTES ENGINEER HAS CONDUCTED FIELD SURVEY.

EXISTING JOHNSONS CREAMERY BUILDING 400 W. 7TH STREET LLC ZONE = MID DC OVERLAY







KEYNOTES (SPEC BASED)

1. SEE PROJECT MANUAL SECTION 05100 FOR FINISHES

335 W 8th Street  
335 W 8th Street  
Bloomington, Indiana  
47404

Owner: PERLESS DEVELOPMENT  
200 W. Madison Street  
Chicago, Illinois 60604

Architect: PERLESS DEVELOPMENT  
101 South Pennsylvania Street  
Indianapolis, Indiana 46204  
317.423.4474

Structural Engineer: CULINE DESIGN & ENGINEERING, INC.  
5503 Westpark Avenue  
Indianapolis, Indiana 46220  
317.423.1424

Mechanical/Electrical Engineer: CULINE DESIGN & ENGINEERING, INC.  
5503 Westpark Avenue  
Indianapolis, Indiana 46220  
317.423.1424

Civil Engineer: SWINNEY GROUP  
2705 East Columbus Drive, Suite 101  
Indianapolis, Indiana 46219  
812.238.4500

Professional Engineer: ENGINEERING PLUS  
9818 Heritage Parkway, Suite 1000  
Indianapolis, Indiana 46227  
800.769.4300

Structural Designer: CULINE DESIGN  
125 N. Huntington St  
Indianapolis, Indiana 46203  
704.325.7272

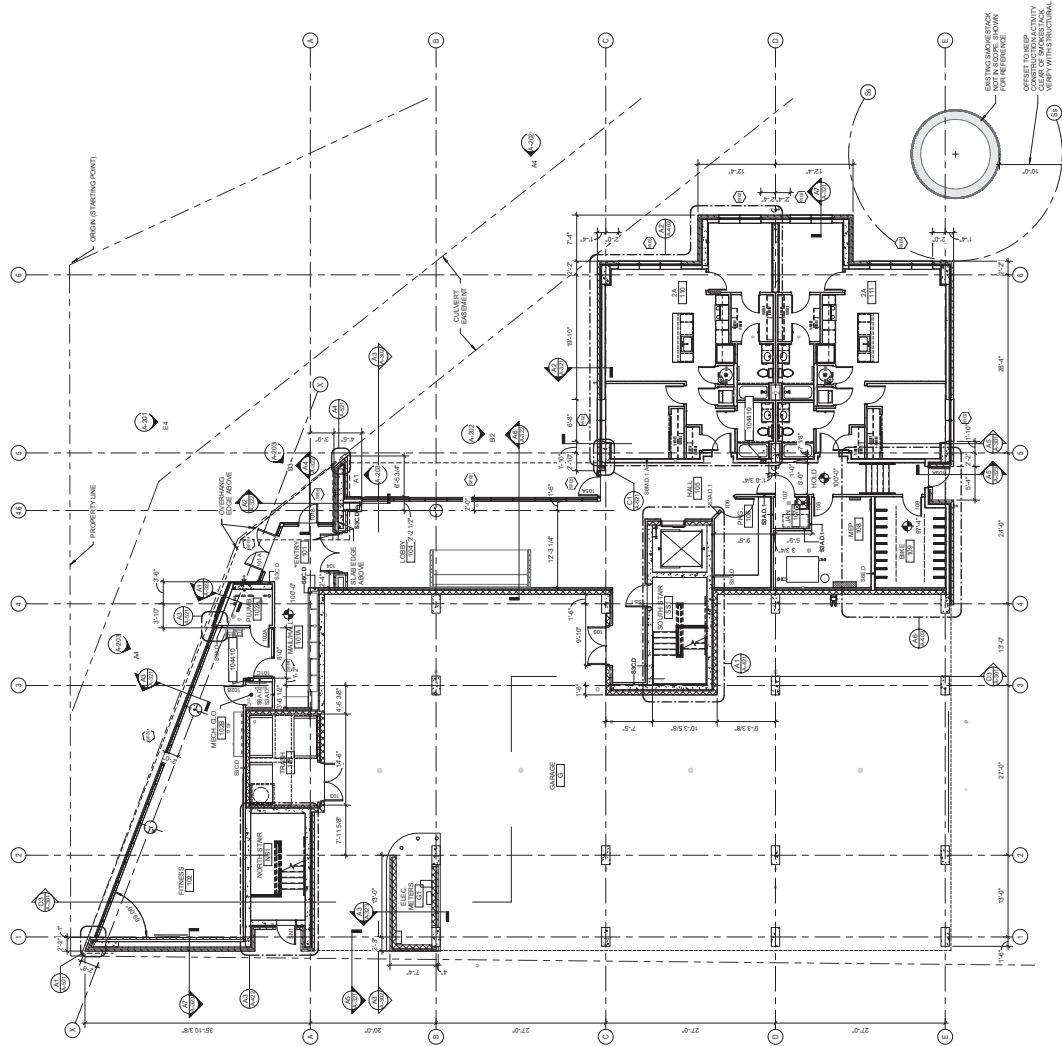
SEAL DATE: 06/17/22



| SHEET ISSUE         | DATE     |
|---------------------|----------|
| 1. GMP AND PERM SET | 04/20/22 |
| 2. CONDITIONS SET   | 06/17/22 |

**RATIO**  
2:14 M L O O K  
SHEET TITLE: FIRST LEVEL FLOOR PLAN  
PROJECT NO: 21041001

SHEET NUMBER: A-101



FIRST FLOOR PLAN  
1/8" = 1'-0"

ESSAYS AND SHOWN STACK FOR REFERENCE  
OFFSET TO NEEP  
CONSTRUCTION ACTIVITY VERIFY WITH STRUCTURAL

KEYNOTES (SPEC BASED)

1. SEE PROJECT MANUAL SECTION 05100 FOR FINISHES

335 W 8th Street  
335 W 8th Street  
Bloomington, Indiana  
47404

Owner: SPINLESS DEVELOPMENT  
200 N. Dearborn Street  
Chicago, Illinois 60624

Architect: HOK  
101 South Pennsylvania Street  
Indianapolis, Indiana 46204  
317.426.4474

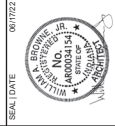
Structural Engineer: JACOBSON & BRUMBLEY, INC.  
5503 Westport Avenue  
Indianapolis, Indiana 46203  
317.425.1424

Mechanical/Electrical Engineer: JACOBS  
9220 Dalepark Road, Suite 150  
Indianapolis, Indiana 46240  
317.781.4200

Construction Group: SMITH BENSLEY GROUP  
2705 East Cambridge Drive, Suite 101  
Indianapolis, Indiana 47411  
812.238.4500

Technical Consultant: ENGINEERING PLUS  
9818 Heritage Parkway, Suite 1000  
Indianapolis, Indiana 46240  
800.769.4300

Interior Designer: CLINE DESIGN  
125 N. Huntington St  
Indianapolis, Indiana 46203  
704.326.7272



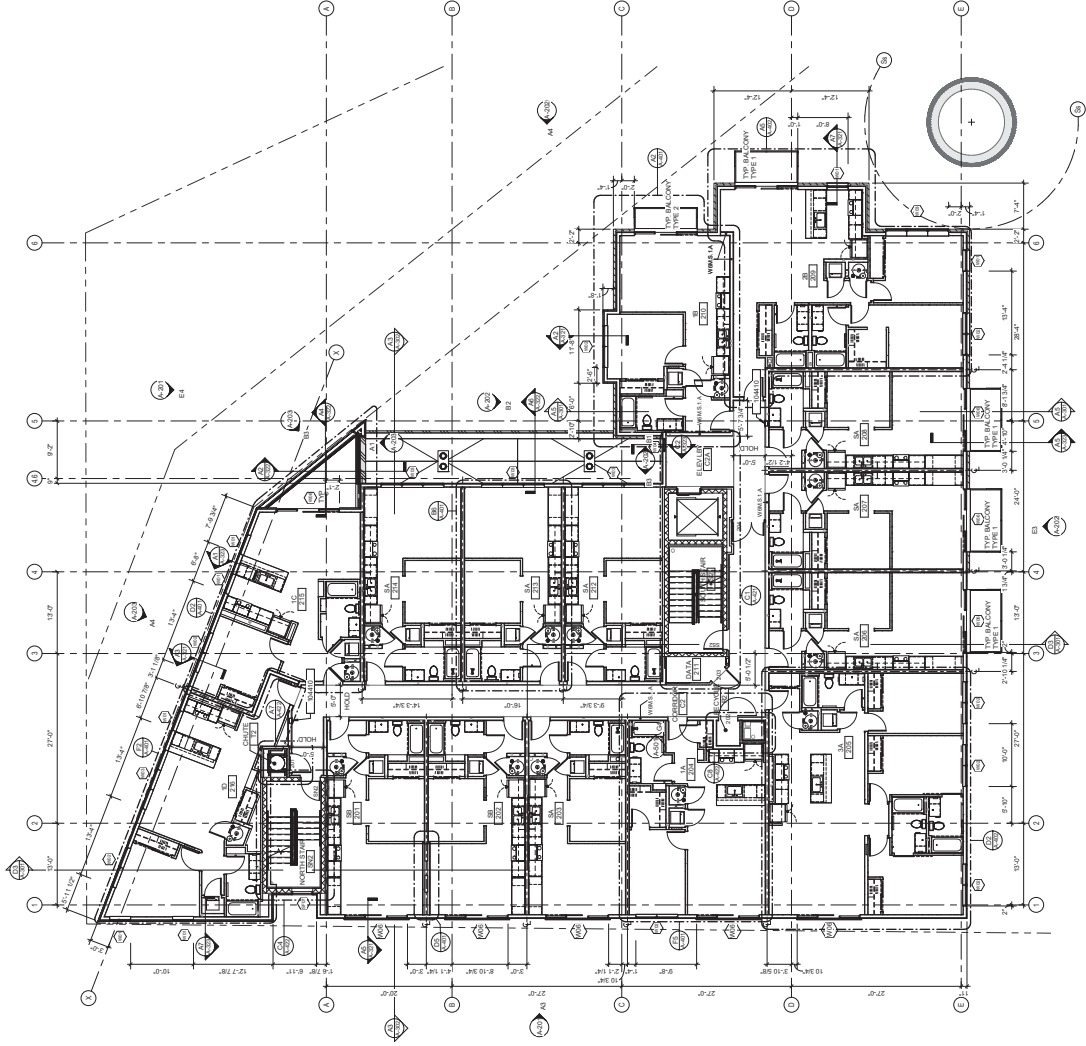
SEAL DATE: 08/17/22

| SHEET ISSUE         | DATE     |
|---------------------|----------|
| 1. GMP AND PERM SET | 08/17/22 |
| 2. CONDITIONS SET   | 08/17/22 |

**RATIO**  
CONSTRUCTION DOCUMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC). ALL DIMENSIONS SHALL BE IN UNITS OF FEET AND INCHES UNLESS OTHERWISE NOTED.

PROJECT NO: 21041.0001  
 SHEET TITLE: SECOND LEVEL 68  
 FLOOR PLAN

SHEET NUMBER: A-102



SECOND FLOOR PLAN  
1/8" = 1'-0"

KEYNOTES (SPEC BASED)

|       |                      |
|-------|----------------------|
| 00010 | SEE PROJECT MANUAL S |
|-------|----------------------|

335 W 8th Street  
335 W 8th Street  
Bloomington, Indiana  
47404

Owner: SPINLESS DEVELOPMENT  
2000 N. Meridian Street  
Chicago, Illinois 60624

Architect: RYAN  
101 South Pennsylvania Street  
Indianapolis, Indiana 46204  
317.423.4474

Structural Engineer: JACOBSON & BRUMBLEY, INC.  
400 North Alabama Street  
Indianapolis, Indiana 46203  
317.423.4474

Mechanical/Electrical Engineer: JACOBSON & BRUMBLEY, INC.  
400 North Alabama Street  
Indianapolis, Indiana 46203  
317.423.4474

Civil Engineer: SWINNEY GROUP  
2705 East Cambridge Drive, Suite 101  
Indianapolis, Indiana 47401  
812.239.4500

Technical Consultant: ENGINEERING PLUS  
9018 Heritage Parkway, Suite 1000  
Indianapolis, Indiana 46241  
800.789.4301

Interior Designer: CLINE DESIGN  
123 N. Huntington St  
Indianapolis, Indiana 46203  
704.326.7272



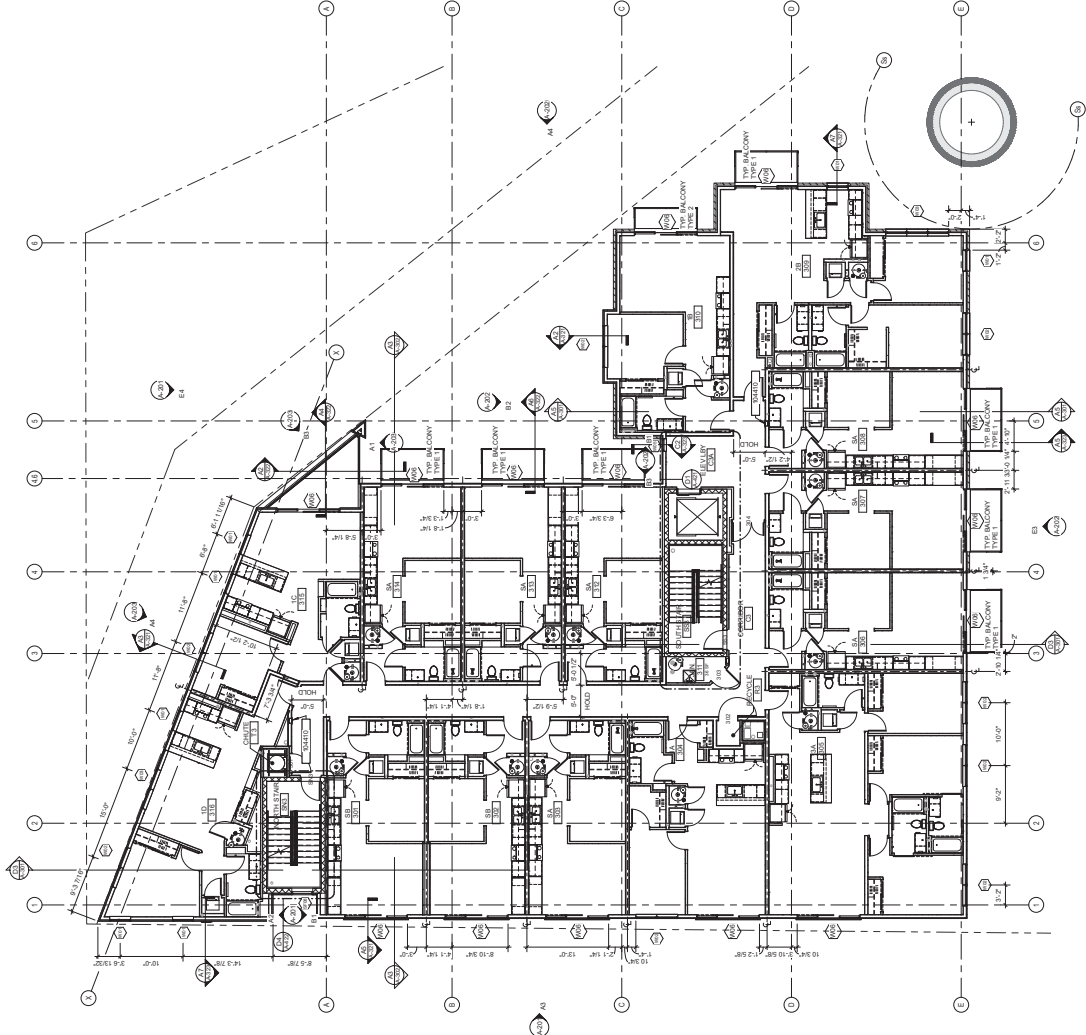
SEAL DATE: 08/17/22

|                     |          |
|---------------------|----------|
| SHEET ISSUE         | 08/17/22 |
| 1. GMP AND PERM SET | 08/17/22 |
| 2. CONFORMED SET    |          |

**RATIO**  
2014 FLOOR

SHEET TITLE: THIRD LEVEL FLOOR PLAN  
PROJECT NO: 2014 FLOOR

SHEET NUMBER: A-103



THIRD FLOOR PLAN  
WP = 1/2"

KEYNOTES (SPEC BASED)

DATE: 08/17/22  
 PROJECT: 204 FLOOR PLAN

335 W 8th Street  
 335 W 8th Street  
 Bloomington, Indiana  
 47404

Owner: SPINLESS DEVELOPMENT  
 200 N. Dearborn Street  
 Chicago, Illinois 60624

Architect: RATIO  
 101 South Pennsylvania Street  
 Indianapolis, Indiana 46204  
 317-432-7474

Structural Engineer: JACOBSON & BRUMBLEY, INC.  
 5003 Virginia Avenue  
 Indianapolis, Indiana 46203  
 317-425-1425

Mechanical/Electrical Engineer: RATIO  
 101 South Pennsylvania Street  
 Indianapolis, Indiana 46204  
 317-432-7474

Civil Engineer: SWINERTON GROUP  
 2705 East Cambridge Drive, Suite 101  
 Indianapolis, Indiana 46216  
 812-238-6300

Technical Consultant: ENGINEERING PLUS  
 9818 Heritage Parkway, Suite 1000  
 Indianapolis, Indiana 46217  
 800-789-4300

Interior Designer: CLINE DESIGN  
 123 N. Huntington St  
 Indianapolis, Indiana 46203  
 704-325-7272



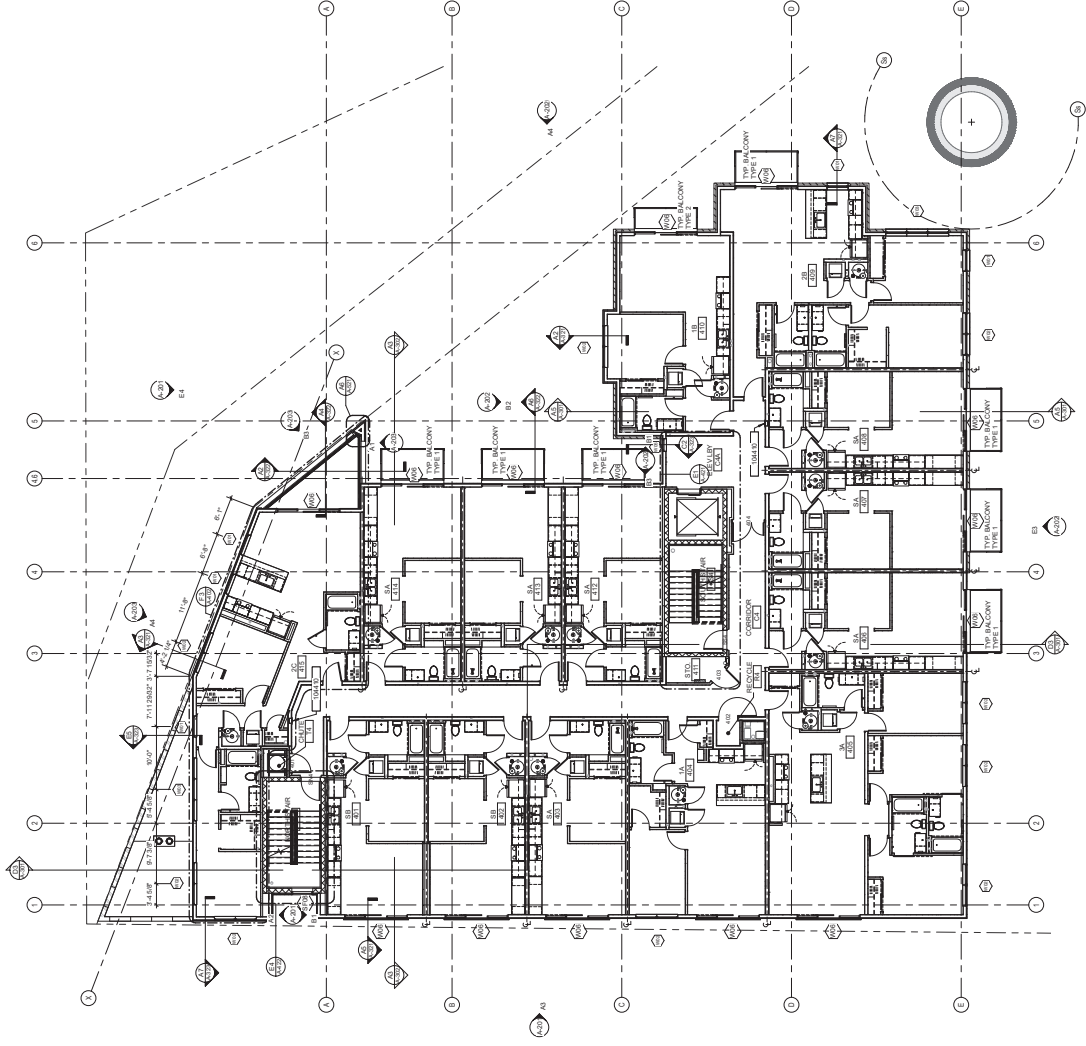
SEAL DATE: 08/17/22

| SHEET ISSUE         | DATE     |
|---------------------|----------|
| 1. GMP AND PERM SET | 08/17/22 |
| 2. CONSTRUCTION SET | 08/17/22 |

**RATIO**  
 101 SOUTH PENNSYLVANIA STREET  
 INDIANAPOLIS, INDIANA 46204  
 317.432.7474  
 WWW.RATIOARCHITECTS.COM

PROJECT NO: 204 FLOOR PLAN  
 SHEET TITLE: FOURTH LEVEL  
 FLOOR PLAN

SHEET NUMBER: A-104



FOURTH FLOOR PLAN  
 1/8" = 1'-0"

KEYNOTES (SPEC BASED)

1. SEE PROJECT MANUAL SECTION 051000 FOR FINISHES.

335 W 8th Street  
335 W 8th Street  
Bloomington, Indiana  
47404

Owner: SPINLESS DEVELOPMENT  
200 W. Madison Street  
Chicago, Illinois 60604

Architect: HOK  
101 South Pennsylvania Street  
Indianapolis, Indiana 46204  
317.426.4474

Structural Engineer: MASON & BRUMLEY, INC.  
5003 North American  
Indianapolis, Indiana 46203  
317.426.1424

Mechanical/Electrical Engineer: MASON & BRUMLEY, INC.  
5003 North American  
Indianapolis, Indiana 46203  
317.426.1424

Civil Engineer: SMITH DESIGN GROUP  
2705 East Cambridge Drive, Suite 101  
Indianapolis, Indiana 46203  
812.239.4500

Technical Consultant: ENGINEERING PLUS  
9018 Heritage Parkway, Suite 1000  
Indianapolis, Indiana 46203  
800.789.4300

Interior Designer: CLINE DESIGN  
123 N. Harrison St.  
Indianapolis, Indiana 46203  
704.326.7272



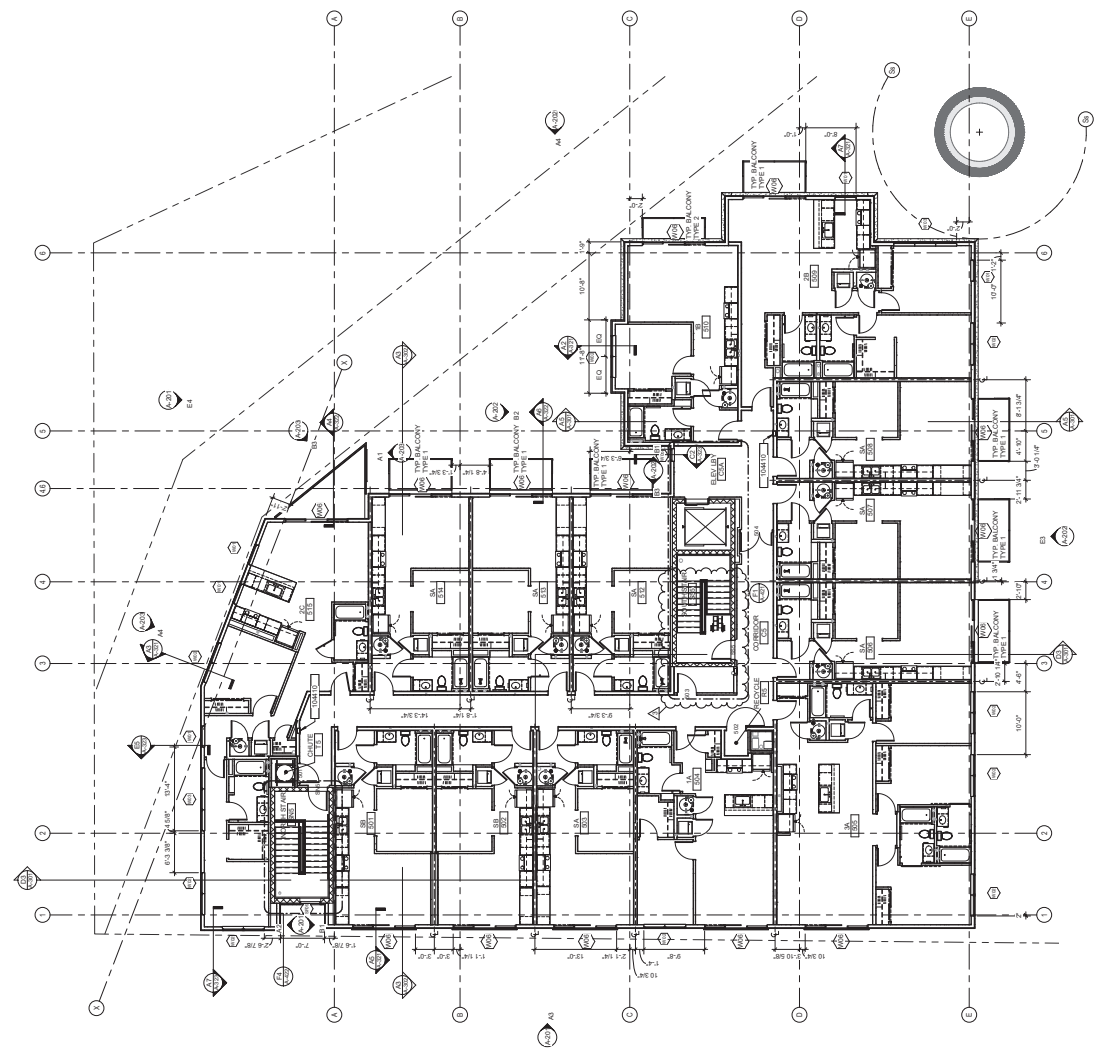
SEAL DATE: 06/20/23

| SHEET ISSUE          | DATE     |
|----------------------|----------|
| 1. GMP AND PERM SET  | 04/20/23 |
| 2. GMP AND PERM SET  | 05/22/23 |
| 3. GMP AND PERM SET  | 05/22/23 |
| 4. GMP AND PERM SET  | 05/22/23 |
| 5. GMP AND PERM SET  | 05/22/23 |
| 6. GMP AND PERM SET  | 05/22/23 |
| 7. GMP AND PERM SET  | 05/22/23 |
| 8. GMP AND PERM SET  | 05/22/23 |
| 9. GMP AND PERM SET  | 05/22/23 |
| 10. GMP AND PERM SET | 05/22/23 |
| 11. GMP AND PERM SET | 05/22/23 |
| 12. GMP AND PERM SET | 05/22/23 |
| 13. GMP AND PERM SET | 05/22/23 |
| 14. GMP AND PERM SET | 05/22/23 |
| 15. GMP AND PERM SET | 05/22/23 |
| 16. GMP AND PERM SET | 05/22/23 |
| 17. GMP AND PERM SET | 05/22/23 |
| 18. GMP AND PERM SET | 05/22/23 |
| 19. GMP AND PERM SET | 05/22/23 |
| 20. GMP AND PERM SET | 05/22/23 |

**RATIO**  
CONSTRUCTION DOCUMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

PROJECT NO: 23041000  
 SHEET TITLE: FIFTH LEVEL FLOOR PLAN  
 PROJECT NO: 23041000

SHEET NUMBER: A-105



FIFTH FLOOR PLAN  
 1/8" = 1'-0"











KEYNOTES (SPEC BASED)

335 W 8th Street  
335 W 8th Street  
Bloomington, Indiana  
47404

Owner: PERLESS DEVELOPMENT  
200 N. Dearborn Street  
Chicago, Illinois 60624

Architect: RYAN  
101 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-328-2474

Structural Engineer: RICHARDSON & BRUMLEY, INC.  
374 South Main Street  
Bloomington, Indiana 47403  
317-328-1124

Mechanical/Electrical Engineer: RYAN  
101 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-328-2474

Civil Engineer: SWINERTON GROUP  
2705 East Columbus Drive, Suite 101  
Bloomington, Indiana 47401  
812-339-6500

Technical Consultant: ENGINEERING PLUS  
9018 Heritage Parkway, Suite 1000  
Bloomington, Indiana 47401  
800-769-4300

Medical Designer: CLINE DESIGN  
123 N. Heritage St  
Bloomington, Indiana 47403  
708-383-7272

SEAL DATE: 08/17/22

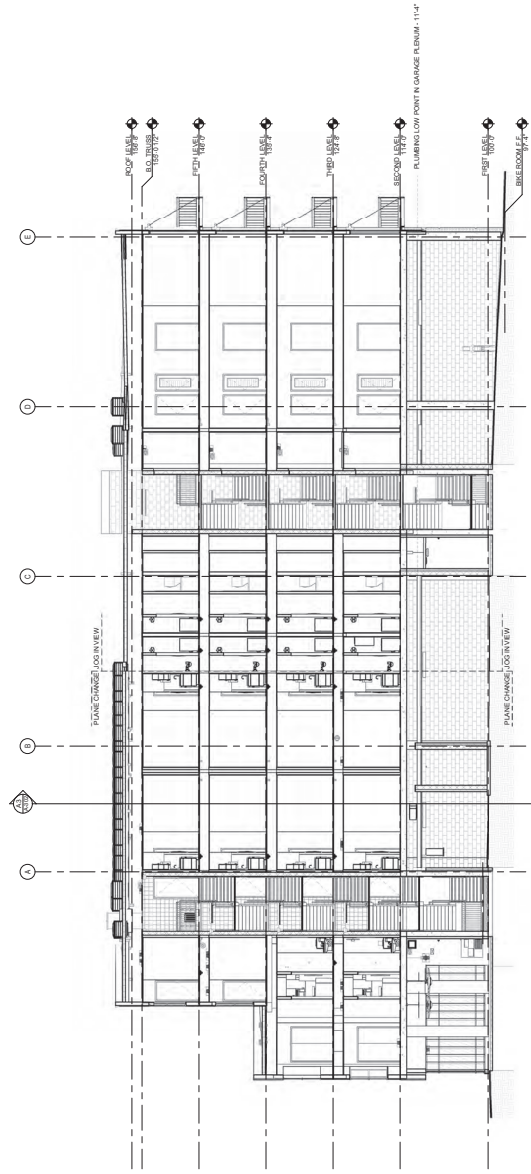


| SHEET ISSUE         | DATE     |
|---------------------|----------|
| 1. GMP AND PERM SET | 08/17/22 |
| 2. CONFORMED SET    | 08/17/22 |

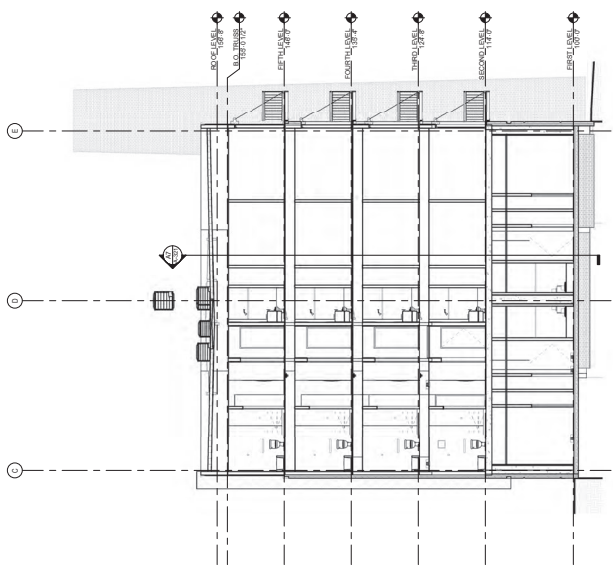
**RATIO**  
CORPORATION  
2104 LOMA  
PROJECT NO. 2104 LOMA

SHEET TITLE: BUILDING SECTIONS  
PROJECT NO. 2104 LOMA

SHEET NUMBER: A-301



**BUILDING SECTION**  
1/8" = 1'-0"



**BUILDING SECTION**  
1/8" = 1'-0"















335 W. 8th Street  
335 W. 8th Street  
Bloomington, Indiana  
47404

OWNER  
PERLESS DEVELOPMENT  
Chicago, Illinois 60604

ARCHITECT  
RATIO  
1400 North Pennsylvania Street  
Bloomington, Indiana 47404  
317-453-4010

STRUCTURAL ENGINEER  
LYNCH, HARRISON & BRUMBLEY, INC.  
1500 North Pennsylvania Street  
Bloomington, Indiana 47404  
317-423-1550

MECHANICAL/ELECTRICAL ENGINEER  
CIRCLE DESIGN GROUP  
5225 Douglas Blvd. #150  
Bloomington, Indiana 47404  
317-781-6020

CIVIL ENGINEER  
SMITH DESIGN GROUP  
2705 East Central Drive, Suite B11  
Bloomington, Indiana 47404  
812-338-6539

TECHNOLOGY CONSULTANT  
ENGINEERING PLUS  
9018 Heisterger Parkway, Suite 1000  
Bloomington, Indiana 47404  
832-788-4200

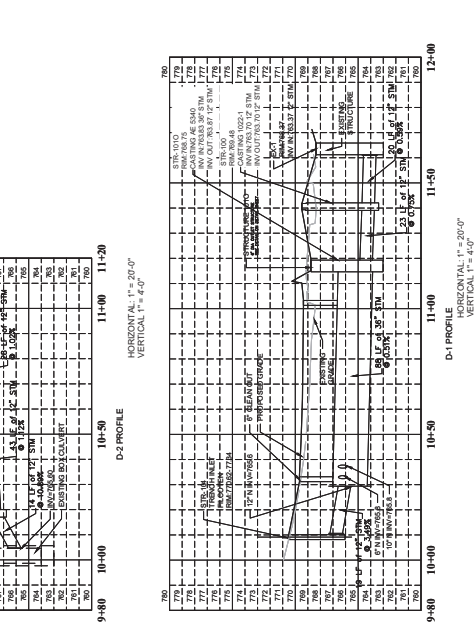
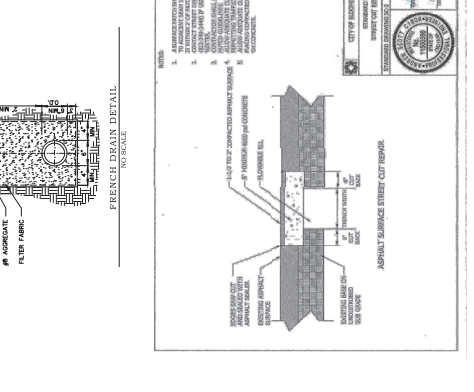
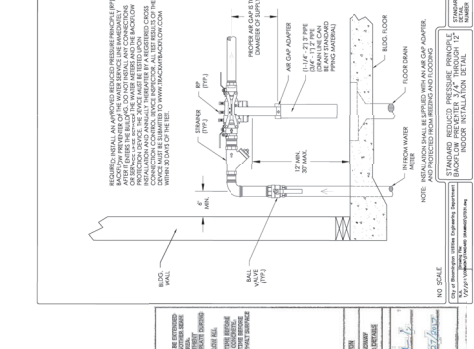
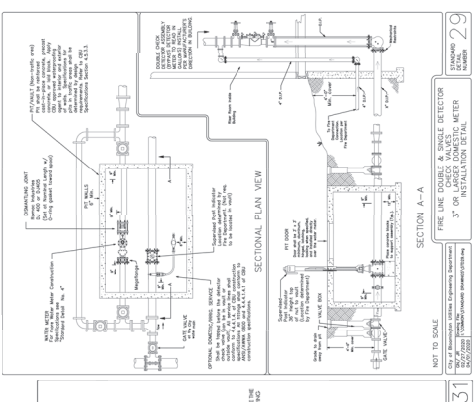
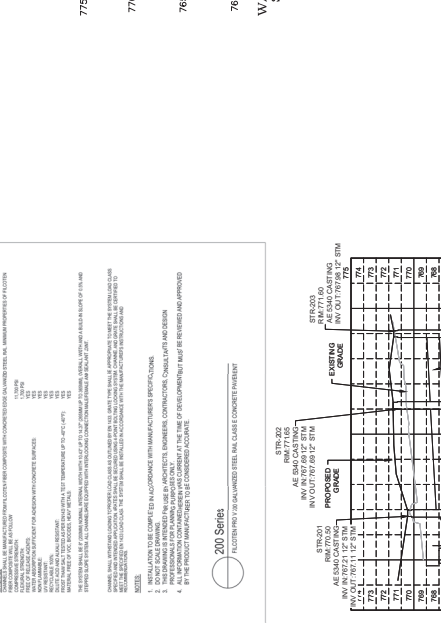
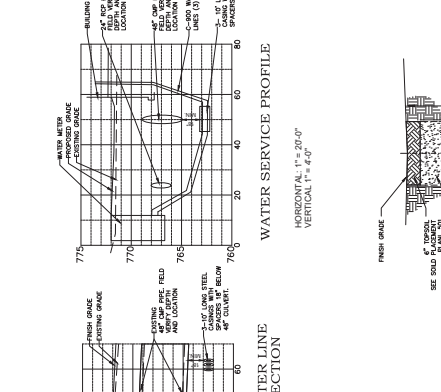
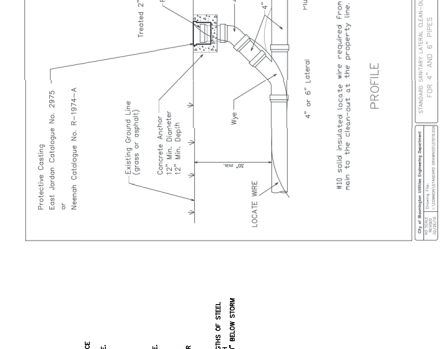
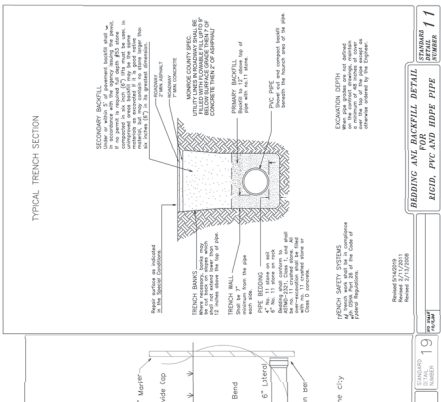
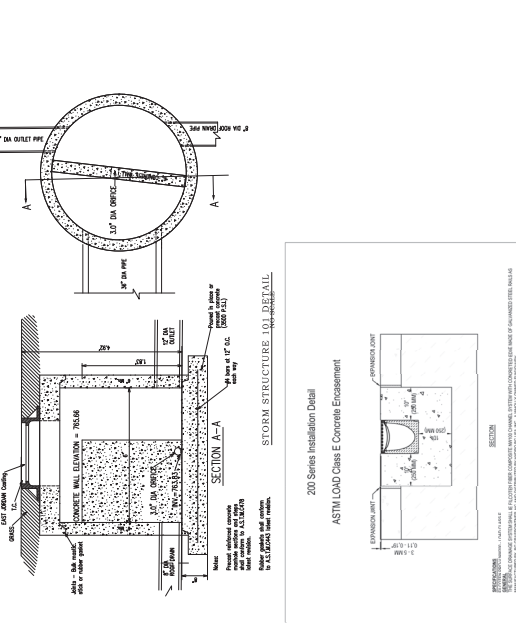
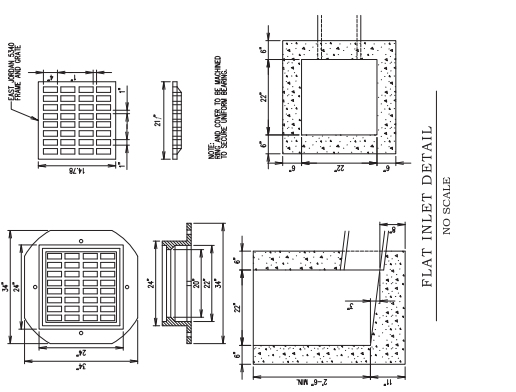
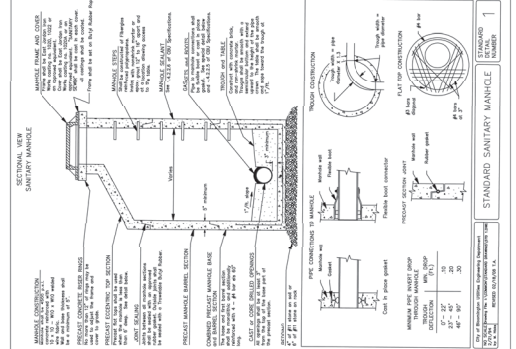
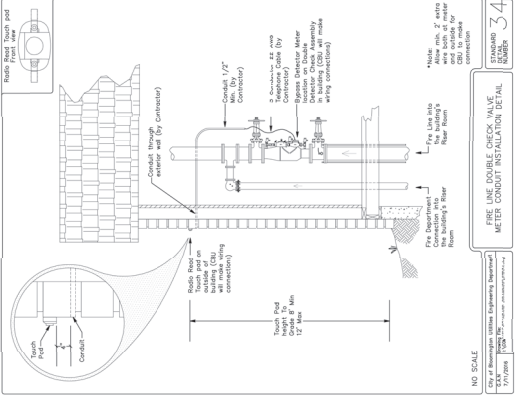
INSPECTOR DESIGNER  
CUNE DESIGN  
125 N. Harrison St.  
Bloomington, Indiana 47404  
746-533-7272



| NO. | DESCRIPTION      | DATE       |
|-----|------------------|------------|
| 1   | 10% SUBMITTAL    | 12/22/2022 |
| 2   | 30% SUBMITTAL    | 12/22/2022 |
| 3   | 50% SUBMITTAL    | 12/22/2022 |
| 4   | CONSTRUCTION SET | 12/22/2022 |
| 5   | AS-BUILT SET     | 12/22/2022 |
| 6   | CONSTRUCTION SET | 12/22/2022 |
| 7   | CONSTRUCTION SET | 12/22/2022 |
| 8   | CONSTRUCTION SET | 12/22/2022 |
| 9   | CONSTRUCTION SET | 12/22/2022 |
| 10  | CONSTRUCTION SET | 12/22/2022 |
| 11  | CONSTRUCTION SET | 12/22/2022 |
| 12  | CONSTRUCTION SET | 12/22/2022 |

**RATIO**  
PROJECT NO. 21241100  
SHEET TITLE  
**UTILITY DETAILS**  
33

SHEET NUMBER  
C202



29

34

19

31

11-40

29

34

19

31

11-40

335 W. 8th Street  
335 W. 8th Street  
Bloomington, Indiana  
47404

OWNER:  
PERLESS DEVELOPMENT  
Chicago, Illinois 60604

ARCHITECT:  
RATIO  
1000 N. Dearborn Street  
Bloomington, Indiana 47404  
317-453-4030

STRUCTURAL ENGINEER:  
LYNCH, HARRISON & BRIMMELVE, INC.  
1500 N. Dearborn Street  
Bloomington, Indiana 47404  
317-423-1550

MECHANICAL/ELECTRICAL ENGINEER:  
CIRCLE DESIGN GROUP  
5225 Douglas Blvd  
Bloomington, Indiana 47404  
317-781-6020

CIVIL ENGINEER:  
SMITH DESIGN GROUP  
2708 East Central Drive, Suite 101  
Bloomington, Indiana 47404  
812-336-6539

TECHNOLOGY CONSULTANT:  
ENGINEERING PLUS  
9018 Hendrix Parkway, Suite 1000  
Bloomington, Indiana 47404  
830-786-4200

LANDSCAPE ARCHITECT:  
CLINE DESIGN  
125 N. Harrison St.  
Bloomington, Indiana 47404  
740-535-7272



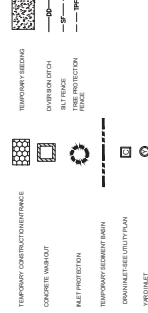
| DATE       | DESCRIPTION                     |
|------------|---------------------------------|
| 12/22/2022 | 1. 10% ID                       |
| 12/22/2022 | 2. GRADING SUBMITTAL            |
| 12/22/2022 | 3. EROSION CONTROL PLAN         |
| 12/22/2022 | 4. CIVIL EXAMINATION            |
| 12/22/2022 | 5. GRADING AND CIVIL SUBMITTAL  |
| 12/22/2022 | 6. GRADING AND CIVIL SUBMITTAL  |
| 12/22/2022 | 7. GRADING AND CIVIL SUBMITTAL  |
| 12/22/2022 | 8. GRADING AND CIVIL SUBMITTAL  |
| 12/22/2022 | 9. GRADING AND CIVIL SUBMITTAL  |
| 12/22/2022 | 10. GRADING AND CIVIL SUBMITTAL |
| 12/22/2022 | 11. GRADING AND CIVIL SUBMITTAL |
| 12/22/2022 | 12. GRADING AND CIVIL SUBMITTAL |

PROJECT NO.:  
SHEET TITLE:  
SWPP PLAN

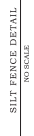
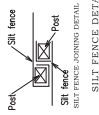
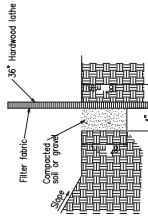
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SHEET NUMBER:  
C301

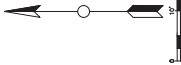
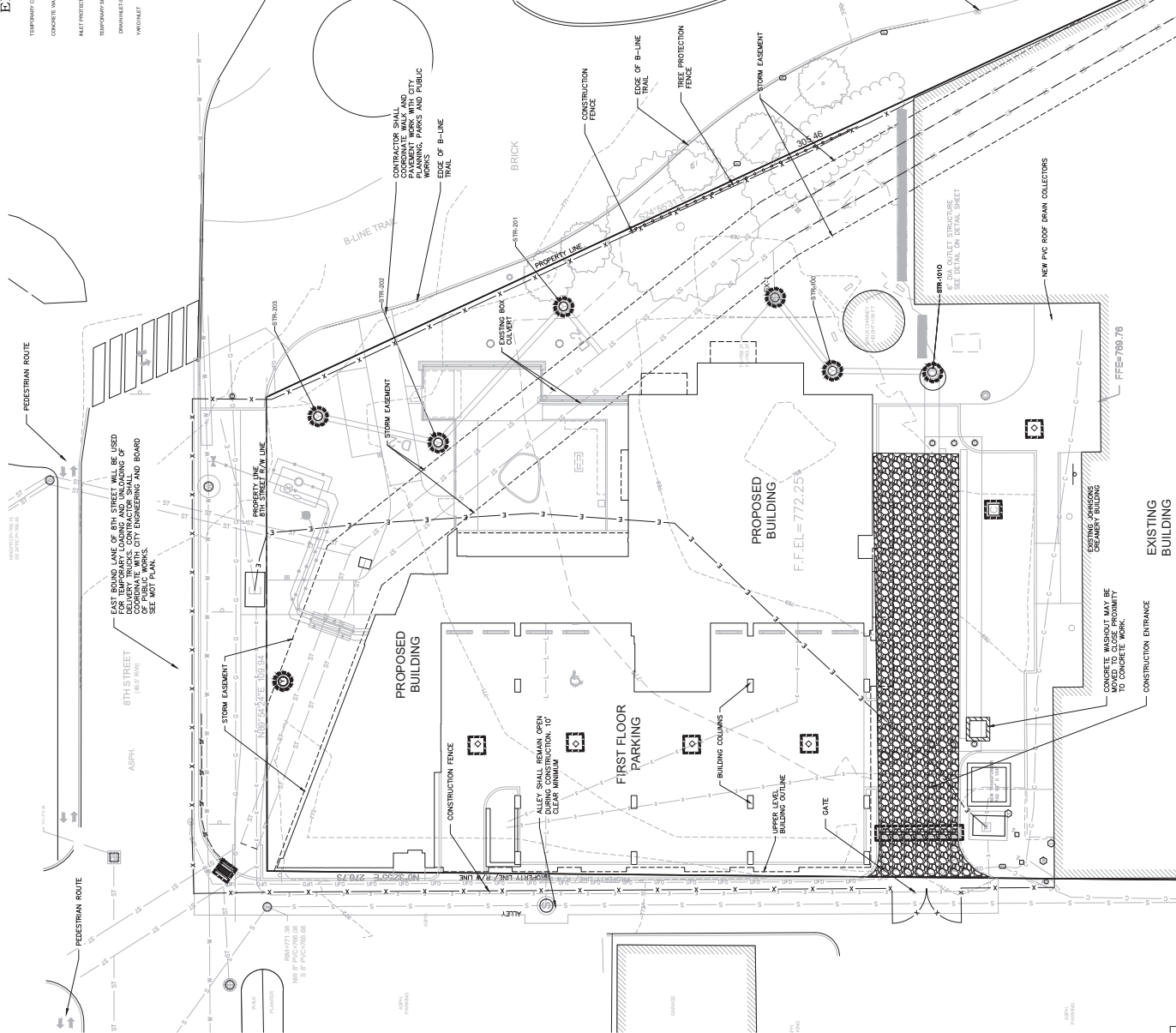
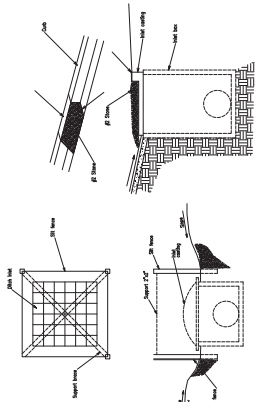
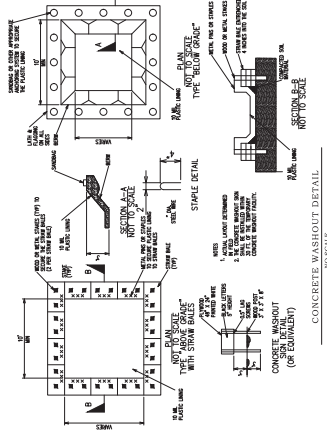
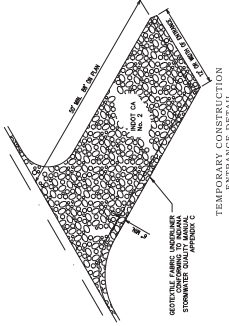
EROSION CONTROL LEGEND



- GENERAL NOTES
1. CONCRETE AND CURB SHALL BE DEMOLISHED FROM WITHIN BRICK & BRICK PAVEMENT AREAS TO BE REPAVED.
  2. CONCRETE AND CURB SHALL BE DEMOLISHED FROM WITHIN BRICK & BRICK PAVEMENT AREAS TO BE REPAVED.
  3. CONCRETE AND CURB SHALL BE DEMOLISHED FROM WITHIN BRICK & BRICK PAVEMENT AREAS TO BE REPAVED.
  4. CONCRETE AND CURB SHALL BE DEMOLISHED FROM WITHIN BRICK & BRICK PAVEMENT AREAS TO BE REPAVED.
  5. CONCRETE AND CURB SHALL BE DEMOLISHED FROM WITHIN BRICK & BRICK PAVEMENT AREAS TO BE REPAVED.
  6. CONCRETE AND CURB SHALL BE DEMOLISHED FROM WITHIN BRICK & BRICK PAVEMENT AREAS TO BE REPAVED.



| ITEM | DESCRIPTION               | QUANTITY | UNIT        |
|------|---------------------------|----------|-------------|
| 1    | 35° HORWOOD TUBES         | 100      | LINEAL FEET |
| 2    | CONCRETE CURB             | 100      | LINEAL FEET |
| 3    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 4    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 5    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 6    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 7    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 8    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 9    | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |
| 10   | 3" X 6" X 1/2" SILL FENCE | 100      | LINEAL FEET |







411 W. 8th Street  
411 W. 8th Street  
Bloomington, Indiana  
47404

Owner:  
RATIO DEVELOPMENT COMPANY  
501 North Clark Street  
Chicago, Illinois 60610

Architect:  
RATIO  
111 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1144

Structural Engineer:  
LYNCH, HARRISON & BRUMBLEY, INC.  
111 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1144

Mechanical/Electrical Engineer:  
CIRCLE DESIGN GROUP  
111 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1144

Civil Engineer:  
SMITH DESIGN GROUP  
111 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1144

Technology Consultant:  
ENGINEERING PLUS  
111 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1144

Interior Designer:  
KLEIN DESIGN GROUP  
111 South Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1144



| NO. | DESCRIPTION          | DATE     |
|-----|----------------------|----------|
| 1   | PRELIMINARY DESIGN   | 01/20/20 |
| 2   | FINAL DESIGN         | 01/20/20 |
| 3   | CONSTRUCTION PERMITS | 01/20/20 |
| 4   | CONSTRUCTION         | 01/20/20 |
| 5   | AS-BUILT             | 01/20/20 |
| 6   | FINAL AS-BUILT       | 01/20/20 |
| 7   | CONSTRUCTION         | 01/20/20 |
| 8   | CONSTRUCTION         | 01/20/20 |
| 9   | CONSTRUCTION         | 01/20/20 |
| 10  | CONSTRUCTION         | 01/20/20 |
| 11  | CONSTRUCTION         | 01/20/20 |
| 12  | CONSTRUCTION         | 01/20/20 |
| 13  | CONSTRUCTION         | 01/20/20 |
| 14  | CONSTRUCTION         | 01/20/20 |
| 15  | CONSTRUCTION         | 01/20/20 |
| 16  | CONSTRUCTION         | 01/20/20 |
| 17  | CONSTRUCTION         | 01/20/20 |
| 18  | CONSTRUCTION         | 01/20/20 |
| 19  | CONSTRUCTION         | 01/20/20 |
| 20  | CONSTRUCTION         | 01/20/20 |
| 21  | CONSTRUCTION         | 01/20/20 |
| 22  | CONSTRUCTION         | 01/20/20 |
| 23  | CONSTRUCTION         | 01/20/20 |
| 24  | CONSTRUCTION         | 01/20/20 |
| 25  | CONSTRUCTION         | 01/20/20 |
| 26  | CONSTRUCTION         | 01/20/20 |
| 27  | CONSTRUCTION         | 01/20/20 |
| 28  | CONSTRUCTION         | 01/20/20 |
| 29  | CONSTRUCTION         | 01/20/20 |
| 30  | CONSTRUCTION         | 01/20/20 |

**RATIO**  
PROJECT NO: 001-1000  
7  
SITE FEATURES  
PLAN

SHEET NUMBER  
L-201

**GENERAL NOTES | SITE FEATURES PLANS:**

- DO NOT SCALE DRAWINGS FOR FIELD LAYOUT.
- WORK SHOWN ON THE DRAWINGS SHALL BE AS SHOWN UNLESS SPECIFICALLY NOTED TO BE OTHERWISE.
- COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
- EXISTING AND PROPOSED UTILITIES THAT ARE SHOWN ARE FOR INFORMATION ONLY. REFER TO THE SITE SURVEY SITE REPORT AND POWER DISTRIBUTION EQUIPMENT. REFER TO CIVIL DRAWINGS FOR ALL OTHER PROPOSED UTILITIES.
- REFER TO THE SCHEDULES FOR ALL UTILITIES. REFER TO ALL REFERENCE NOTES APPEAR ON EACH SHEET.
- REFER TO ALL 20/20 FOR CONCRETE PAVING JOINT DETAILS.
- 1" = 10' DIMENSIONS RELATIONSHIP.
- 3/4" = 3/4" DIMENSIONS RELATIONSHIP.
- 1/4" = 1/4" DIMENSIONS RELATIONSHIP.
- 1/2" = 1/2" DIMENSIONS RELATIONSHIP.
- 1/8" = 1/8" DIMENSIONS RELATIONSHIP.
- 1/16" = 1/16" DIMENSIONS RELATIONSHIP.
- 1/32" = 1/32" DIMENSIONS RELATIONSHIP.
- 1/64" = 1/64" DIMENSIONS RELATIONSHIP.
- 1/128" = 1/128" DIMENSIONS RELATIONSHIP.
- 1/256" = 1/256" DIMENSIONS RELATIONSHIP.
- 1/512" = 1/512" DIMENSIONS RELATIONSHIP.
- 1/1024" = 1/1024" DIMENSIONS RELATIONSHIP.
- 1/2048" = 1/2048" DIMENSIONS RELATIONSHIP.
- 1/4096" = 1/4096" DIMENSIONS RELATIONSHIP.
- 1/8192" = 1/8192" DIMENSIONS RELATIONSHIP.
- 1/16384" = 1/16384" DIMENSIONS RELATIONSHIP.
- 1/32768" = 1/32768" DIMENSIONS RELATIONSHIP.
- 1/65536" = 1/65536" DIMENSIONS RELATIONSHIP.
- 1/131072" = 1/131072" DIMENSIONS RELATIONSHIP.
- 1/262144" = 1/262144" DIMENSIONS RELATIONSHIP.
- 1/524288" = 1/524288" DIMENSIONS RELATIONSHIP.
- 1/1048576" = 1/1048576" DIMENSIONS RELATIONSHIP.
- 1/2097152" = 1/2097152" DIMENSIONS RELATIONSHIP.
- 1/4194304" = 1/4194304" DIMENSIONS RELATIONSHIP.
- 1/8388608" = 1/8388608" DIMENSIONS RELATIONSHIP.
- 1/16777216" = 1/16777216" DIMENSIONS RELATIONSHIP.
- 1/33554432" = 1/33554432" DIMENSIONS RELATIONSHIP.
- 1/67108864" = 1/67108864" DIMENSIONS RELATIONSHIP.
- 1/134217728" = 1/134217728" DIMENSIONS RELATIONSHIP.
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411 W. 8th Street  
411 W. 8th Street  
Bloomington, Indiana  
47404

Owner  
**WELLS FARGO BANK**  
501 North Clark Street  
Chicago, Illinois 60604

Architect  
**WELLS FARGO BANK**  
111 South Pennsylvania Street  
Indianapolis, Indiana 46204  
317-433-1744

Structural Engineer  
**LYNCH, HARRISON & BRUMBLEY, INC.**  
111 South Pennsylvania Street  
Indianapolis, Indiana 46203  
317-463-1500

Mechanical / Electrical Engineer  
**CIRCLE DESIGN GROUP**  
111 South Pennsylvania Street  
Indianapolis, Indiana 46204  
317-761-6300

Civil Engineer  
**SMITH DESIGN GROUP**  
800 North Capitol Avenue, Suite 101  
Indianapolis, Indiana 47401  
317-336-6300

Technology Consultant  
**ENGINEERING PLUS**  
111 South Pennsylvania Street, Suite 1100  
Indianapolis, Indiana 46203  
317-336-6300

Interior Designer  
**CLINE DESIGN**  
111 South Pennsylvania Street, Suite 1100  
Indianapolis, Indiana 46203  
317-336-6300



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**RATIO**  
PROJECT NO. 22-000  
PLANTING PLAN

SHEET NUMBER  
**L-501**

- GENERAL NOTES | PLANTING PLANS:**
- WORK SHOWN ON THE DRAWINGS SHALL BE AS SHOWN UNLESS SPECIFICALLY NOTED TO BE ALTERNATED.
  - COORDINATE WORK WITH OTHER DESIGN DISCIPLINES.
  - PARTICIPATE IN THE PRE-INSTALLATION CONFERENCE FOR THE PLANTING SCOPE OF WORK, ACCORDING TO THE SCHEDULED DATE.
  - MATCH GRAPHIC REPRESENTATION SHOWN UNLESS NOTED OTHERWISE.
  - EXISTING AND PROPOSED UTILITIES THAT ARE SHOWN ARE FOR REFERENCE ONLY. REFER TO THE SITE SURVEY FOR EXISTING UTILITIES AND VERIFY IN THE FIELD. REFER TO THE ELECTRICAL PLAN FOR PROPOSED EXISTING AND PROPOSED UTILITIES.
  - COORDINATE WITH THE ARCHITECT FOR THE LOCATION OF THE CONTAINERS. ENSURE THAT NECESSARY AND SPECIFIED PLANTING CONDITIONS HAVE BEEN ACHIEVED PRIOR TO PLANTING AND LAWN INSTALLATION, INCLUDING FERTILIZER AND IRRIGATION PRESCRIPTION.
  - FOR ALL PLANTING AREAS NOT IDENTIFIED AS NOT TO BE INSTALLED, ALL PLANTING AREAS SHALL BE INSTALLED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
  - INSTALL PROPOSED TURFGRASS TODAY. DISTRIBUTED AREAS NOT TO BE OTHERWISE IDENTIFIED FOR PLANT MATERIAL.
  - PROVIDE 2" ORGANIC MULCH AT ALL PLANTING AREAS.
  - PROPOSED TREES SHALL BE INSTALLED PER COL-751 UNLESS OTHERWISE INDICATED ON PLANS.
  - PROPOSED BALLED AND WRAPPED SHRUBS SHALL BE INSTALLED PER COL-751 UNLESS OTHERWISE INDICATED ON PLANS.
  - PROPOSED CONTAINER SHRUBS, GROUNDCOVERS, GRASSES AND PERENNIALS SHALL BE INSTALLED PER COL-751 UNLESS OTHERWISE INDICATED ON PLANS.
  - PROPOSED PERENNIALS SHALL BE INSTALLED PER COL-751 UNLESS OTHERWISE INDICATED ON PLANS.
  - FOR AREAS WHERE PROPOSED LAWN AND PLANTINGS MEET, GRADE EDGE SHALL BE INSTALLED PER DTL-751 UNLESS OTHERWISE INDICATED ON PLANS.
  - INTERPLANT BUILT-UP BETWEEN CONTAINER STOCK. CONFIRM FINAL BUILT-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

| TREES  | CODE | BOTANICAL / COMMON NAME             | SIZE       |
|--------|------|-------------------------------------|------------|
| CC     | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
| CL     | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
| GT     | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
| AV     | AV   | Common Name (Eastern Redcane)       | 6"         |
| GP     | GP   | Common Name (American Holly)        | 4" Cal     |
| SHRUBS | CODE | BOTANICAL / COMMON NAME             | SIZE       |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
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|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
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|        | CL   | Common Name (American Yellowwood)   | 2 1/2" Cal |
|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
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|        | GT   | Common Name (Tulip Tree)            | 3 1/2" Cal |
|        | AV   | Common Name (Eastern Redcane)       | 6"         |
|        | GP   | Common Name (American Holly)        | 4" Cal     |
|        | CC   | Common Name (Eastern Redbud)        | 2 1/2" Cal |
|        | CL   | Common Name (American Yellowwood)</ |            |





411 W. 8th Street  
411 W. 8th Street  
Bloomington, Indiana  
47404

Owner: **CHIEF ENGINEER**  
501 North Clinton Street  
Chicago, Illinois 60654

Architect: **CHIEF ENGINEER**  
111 East Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1444

Structural Engineer: **LYNCH, HARRISON & BRUMLEY, INC.**  
111 East Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1444

Mechanical/Electrical Engineer: **CIRCLE DESIGN GROUP**  
111 East Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1444

Civil Engineer: **SMITH DESIGN GROUP**  
800 North Walnut Street  
Bloomington, Indiana 47401  
317-325-1444

Technology Consultant: **ENGINEERING PLUS**  
111 East Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1444

Interior Designer: **CLINE DESIGN**  
111 East Pennsylvania Street  
Bloomington, Indiana 47404  
317-325-1444

SCALE DATE



| NO. | DESCRIPTION      | DATE     |
|-----|------------------|----------|
| 1   | ISSUE FOR PERMIT | 08/22/22 |
| 2   | ISSUE FOR PERMIT | 08/22/22 |
| 3   | ISSUE FOR PERMIT | 08/22/22 |
| 4   | ISSUE FOR PERMIT | 08/22/22 |
| 5   | ISSUE FOR PERMIT | 08/22/22 |
| 6   | ISSUE FOR PERMIT | 08/22/22 |
| 7   | ISSUE FOR PERMIT | 08/22/22 |
| 8   | ISSUE FOR PERMIT | 08/22/22 |
| 9   | ISSUE FOR PERMIT | 08/22/22 |
| 10  | ISSUE FOR PERMIT | 08/22/22 |
| 11  | ISSUE FOR PERMIT | 08/22/22 |
| 12  | ISSUE FOR PERMIT | 08/22/22 |
| 13  | ISSUE FOR PERMIT | 08/22/22 |
| 14  | ISSUE FOR PERMIT | 08/22/22 |
| 15  | ISSUE FOR PERMIT | 08/22/22 |
| 16  | ISSUE FOR PERMIT | 08/22/22 |
| 17  | ISSUE FOR PERMIT | 08/22/22 |
| 18  | ISSUE FOR PERMIT | 08/22/22 |
| 19  | ISSUE FOR PERMIT | 08/22/22 |
| 20  | ISSUE FOR PERMIT | 08/22/22 |



PROJECT NO: **148920001**  
SHEET NO: **L-621**  
SITE FEATURES  
PLAN  
ENLARGEMENT  
SHEET NUMBER

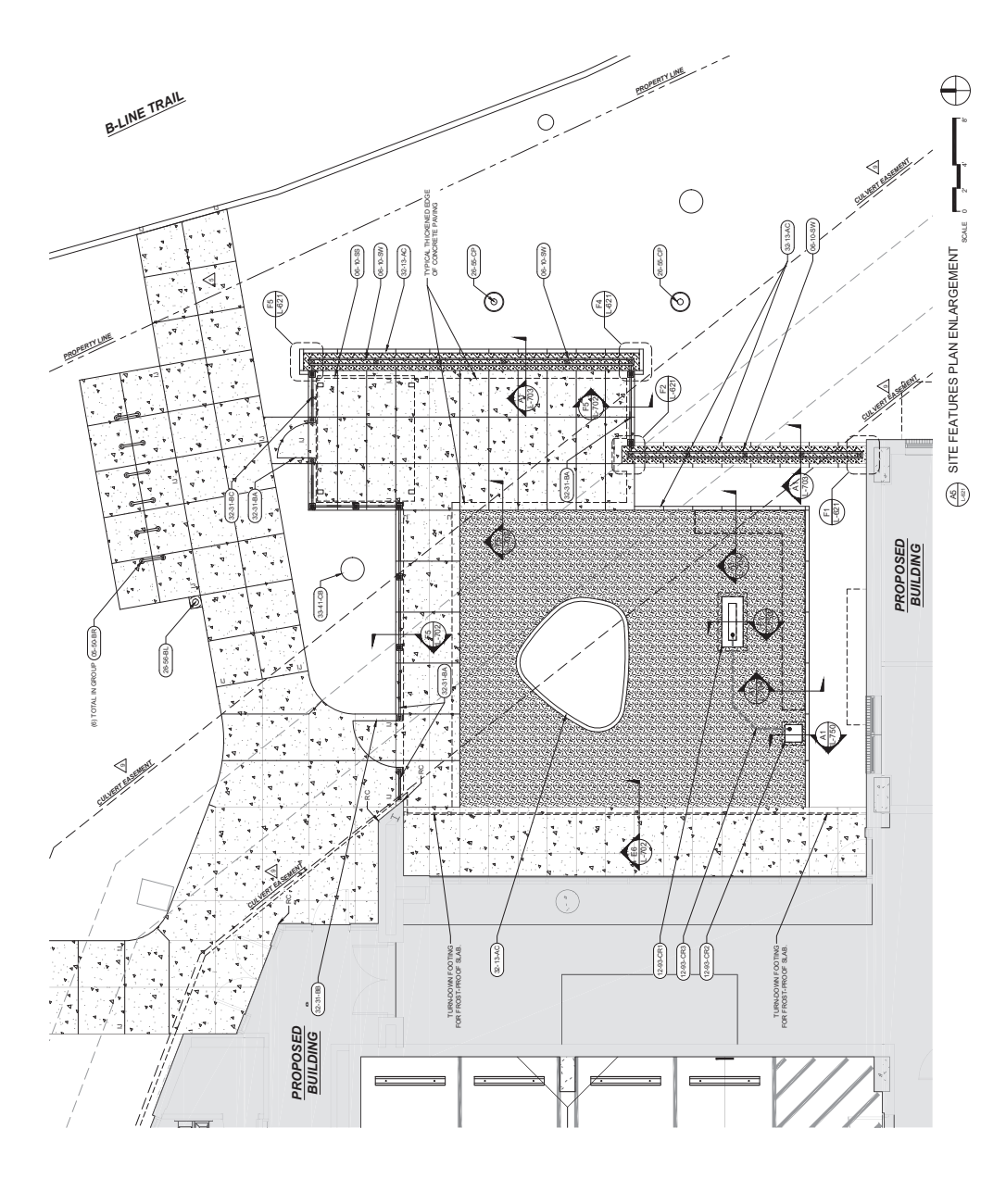
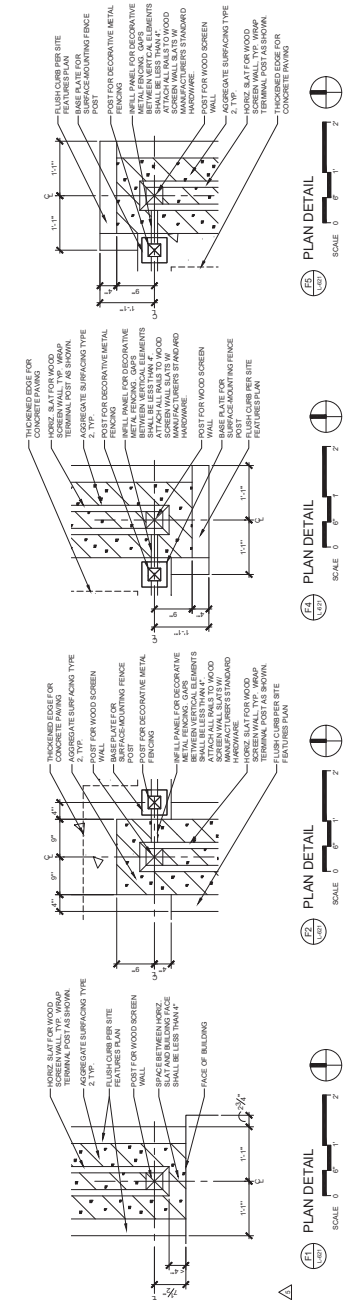
L-621

**GENERAL NOTES | SITE FEATURES PLAN ENLARGEMENTS:**

- DO NOT SCALE DRAWINGS FOR FIELD LAYOUT.
- WORK SHOWN ON THE DRAWINGS SHALL BE DONE UNLESS SPECIFICALLY NOTED TO BE BY ALTERNATE BID.
- COORDINATE ALL WORK WITH OTHER DESIGN CONTRACTORS.
- EXISTING AND PROPOSED UTILITIES THAT ARE SHOWN ARE FOR INFORMATION ONLY. REFER TO THE SITE SURVEY FOR EXISTING AND PROPOSED UTILITIES. REFER TO CIVIL DRAWINGS FOR ALL OTHER PROPOSED SITE LAYOUTS AND POWER DISTRIBUTION EQUIPMENT. REFER TO CIVIL DRAWINGS FOR ALL OTHER PROPOSED EQUIPMENT.
- REFER TO SCHEDULE FOR CONCRETE FINISHES. NOT ALL REFERENCE NOTES APPEAR ON EACH SHEET.
- REFER TO A-14.01 FOR CONCRETE FINISHING JOINT DETAILS.
- 5.1. 1" ON TIES ISolation JOINT.
- 5.2. 3/4" ON TIES ISolation JOINT.
- 5.3. 3/4" ON TIES ISolation JOINT.
- 5.4. 3/4" ON TIES ISolation JOINT.
- ALL CONCRETE FINISHING JOINTS SHALL BE CONTRACTOR JOINT UNLESS INDICATED OTHERWISE.
- REFER TO CIVIL DRAWINGS FOR ALL PAVING IN THE PUBLIC RIGHT OF WAY UNLESS OTHERWISE INDICATED IN THE LANDSCAPE DRAWINGS.
- CURB RAMPS SHALL COMPLY WITH CURB RAMP DRAWING INDEX A GENERAL NOTES (REF. A-14.02).
- THE LANDSCAPE ARCHITECT'S ELECTRONIC DESIGN DATA FILES MAY BE MADE AVAILABLE TO THE SUCCESSFUL BIDDERS FOR INFORMATION PURPOSES UPON REQUEST AND ACCEPTANCE OF A SIGNED "WARRANTY OF CLAIMS" OR USE OF ELECTRONIC DESIGN DATA FILES.
- REFER TO A-14.01 FOR CONCRETE PAVING REINFORCING FOR SPECIAL CONDITIONS.
- 1.5" MIN. DIMENSION REINFORCING CONTRACTOR REINFORCING REQUIRED.

**REFERENCE NOTES SCHEDULE | SITE FEATURES PLAN ENLARGEMENT**

| CODE      | DESCRIPTION                    | DETAIL |
|-----------|--------------------------------|--------|
| 05-00-01  | METAL FABRICATIONS             | DETAL  |
| 05-00-02  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-03  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-04  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-05  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-06  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-07  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-08  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-09  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-10  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-11  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-12  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-13  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-14  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-15  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-16  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-17  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-18  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-19  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-20  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-21  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-22  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-23  | METAL FABRICATION BICYCLE RACK | DETAL  |
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| 05-00-70  | METAL FABRICATION BICYCLE RACK | DETAL  |
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| 05-00-73  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-74  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-75  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-76  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-77  | METAL FABRICATION BICYCLE RACK | DETAL  |
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| 05-00-79  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-80  | METAL FABRICATION BICYCLE RACK | DETAL  |
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| 05-00-82  | METAL FABRICATION BICYCLE RACK | DETAL  |
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| 05-00-85  | METAL FABRICATION BICYCLE RACK | DETAL  |
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| 05-00-92  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-93  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-94  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-95  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-96  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-97  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-98  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-99  | METAL FABRICATION BICYCLE RACK | DETAL  |
| 05-00-100 | METAL FABRICATION BICYCLE RACK | DETAL  |





411 W. 8th Street  
411 W. 8th Street  
Bloomington, Indiana  
47404

**Owner:**  
RATKO DEVELOPMENT  
Chicago, Illinois 60604

**Architect:**  
RATKO  
1100 Pennsylvania Street  
Indianapolis, Indiana 46204  
317-634-6400

**Structural Engineer:**  
LYNCH, HARRISON & BRUMBLEY, INC.  
1000 Pennsylvania Street  
Indianapolis, Indiana 46203  
317-425-1050

**Mechanical/Electrical Engineer:**  
CIRCLE DESIGN GROUP  
1000 Pennsylvania Street  
Indianapolis, Indiana 46203  
317-771-1000

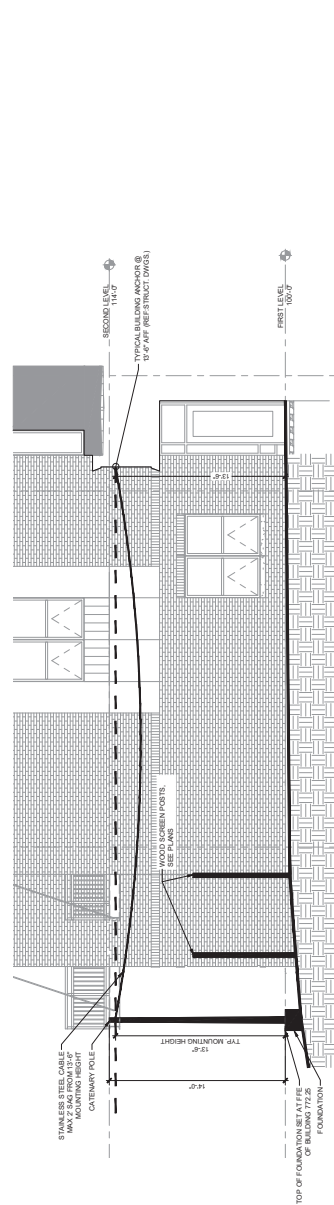
**Civil Engineer:**  
SMITH DESIGN GROUP  
5000 East Columbia Avenue, 101  
Indianapolis, Indiana 46226  
812-336-0526

**Technology Consultant:**  
ENGINEERING PLUS  
5000 East Columbia Avenue, 101  
Indianapolis, Indiana 46226  
812-336-0526

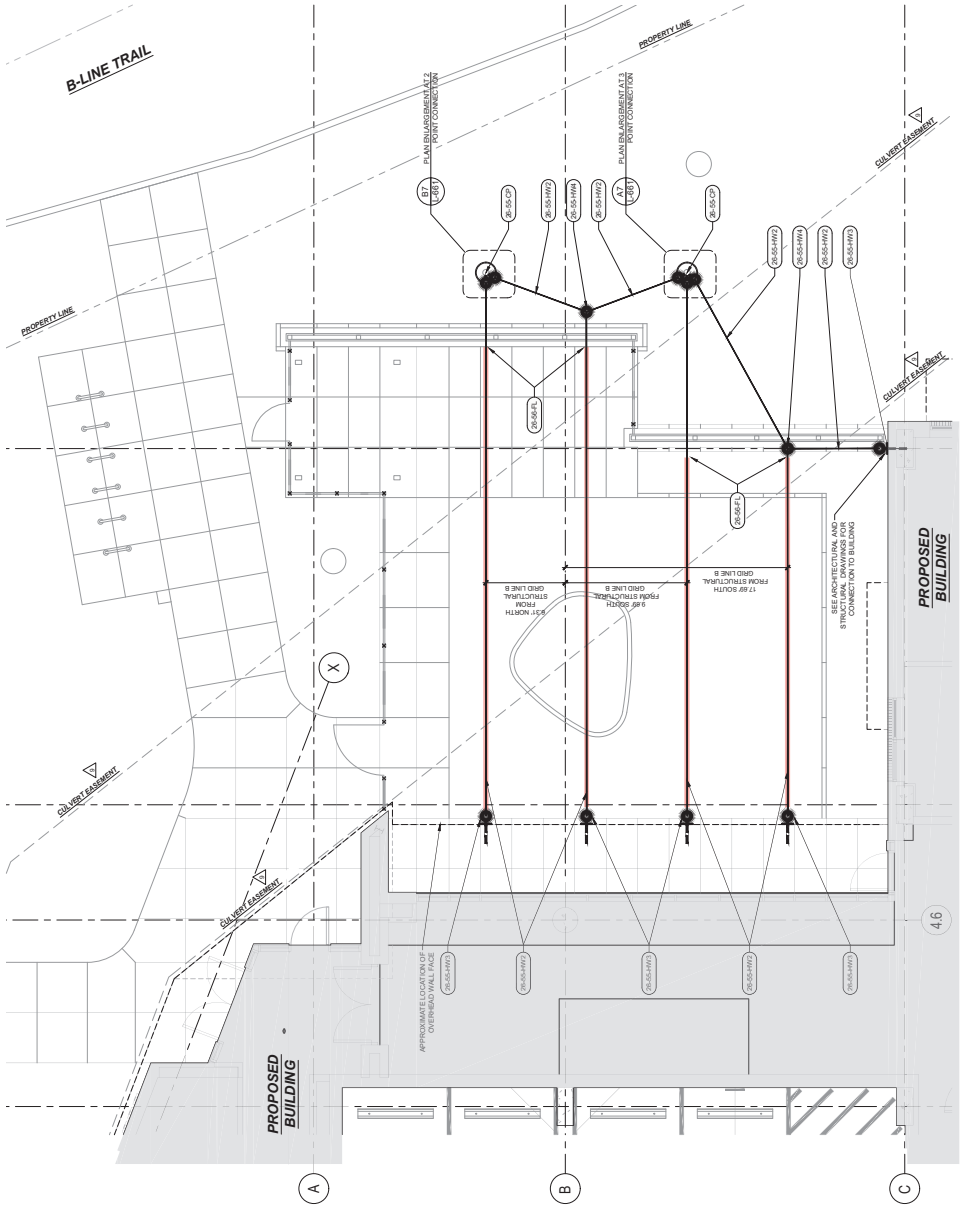
**Medical Designer:**  
CLINE DESIGN  
1128 N. Hartsville St.  
Indianapolis, Indiana 46203  
708-353-7272

- CATENARY LAYOUT GENERAL NOTES:**
- DO NOT SCALE DRAWINGS FOR FIELD LAYOUT. REFER TO SITE AND ENLARGEMENT PLANS FOR FIELD LAYOUT. THE ENLARGEMENT PLANS SHALL BE USED TO VERIFY THE LOCATION OF THE CATENARY POLES AND THE LOCATION OF THE CATENARY CABLES. THE ENLARGEMENT PLANS SHALL BE USED TO VERIFY THE LOCATION OF THE CATENARY POLES AND THE LOCATION OF THE CATENARY CABLES.
  - COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
  - CATENARY LIGHTING SUPPORT AND LUMINAIRE SYSTEMS DESIGN ASSET BASED ON DRAWINGS AND INFORMATION. SEE SPECIFICATIONS FOR CATENARY LIGHT SUPPORT SYSTEM INFORMATION.
  - REFER TO FILE # FOR CATENARY LIGHTING SUPPORT AND LUMINAIRE SYSTEM DESIGN INTENT.
  - CATENARY LIGHTING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL ERECT AND CABLE MOUNT ORIENTATION FOR FINAL APPROVAL BY LANDSCAPE ARCHITECT.

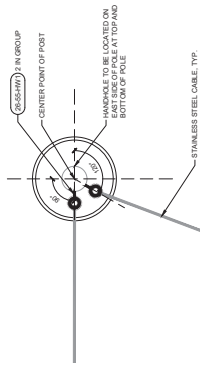
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| 26-55-01F | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
| 26-55-02  | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
| 26-55-03  | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
| 26-55-04  | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
| 26-55-05  | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
| 26-55-06  | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
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| 26-55-09  | CATENARY LIGHTING SUPPORT STRUCTURE, INDOOR, STAINLESS STEEL EYE BOLT AND PART OF POLE (NOT ON WINDS REQUIRED) |          |
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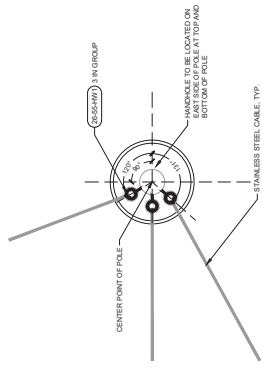
4.6 ELEVATION | CATENARY LIGHTING DESIGN INTENT



4.6 PLAN DETAIL | CATENARY POLE CONNECTIONS



4.7 PLAN DETAIL | CATENARY POLE CONNECTIONS



4.8 PLAN DETAIL | CATENARY POLE CONNECTIONS



| NO. | DATE       | DESCRIPTION       |
|-----|------------|-------------------|
| 1   | 08/14/2024 | ISSUED FOR PERMIT |
| 2   | 08/14/2024 | ISSUED FOR PERMIT |
| 3   | 08/14/2024 | ISSUED FOR PERMIT |
| 4   | 08/14/2024 | ISSUED FOR PERMIT |
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| 50  | 08/14/2024 | ISSUED FOR PERMIT |



PROJECT NO. 21041000  
SHEET TITLE 43  
CATENARY LIGHTING PLAN ENLARGEMENT

SHEET NUMBER L-661

Owner:  
RATIOS DEVELOPMENT  
10000 N. Meridian Street  
Chicago, Illinois 60644

Architect:  
RATIO  
10000 N. Meridian Street  
Indianapolis, Indiana 46204  
317.634.4400

Structural Engineer:  
LYNCH, HARRISON & BROUWLEVE, INC.  
10000 N. Meridian Street  
Indianapolis, Indiana 46204  
317.425.1550

Mechanical/Electrical Engineer:  
CIRCLE DESIGN GROUP  
10000 N. Meridian Street  
Indianapolis, Indiana 46204  
317.711.0200

Civil Engineer:  
SMITH DESIGN GROUP  
2605 East 46th Ave., Suite 101  
Indianapolis, Indiana 46214  
812.336.0526

Technical Consultant:  
ENGINEERING PLUS  
9018 Hillside Parkway, Suite 1000  
Indianapolis, Indiana 46241  
831.789.4000

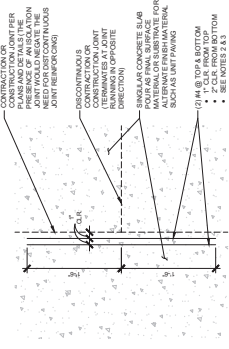
Master Developer:  
CLINE DESIGN  
1128 N. Hartmann St.  
Indianapolis, Indiana 46202  
704.353.3772



| SHEET TITLE | DATE     |
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| SECTION 1   | 11/27/16 |
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| SECTION 100 | 11/27/16 |



PROJECT NO:  
SHEET TITLE  
44  
SHEET NUMBER



DISCONTINUOUS JOINT REINFORCING

- 1. SEE DIVISION 05 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. DO NOT CREATE DAM CONCRETE JOINTS IN CONCRETE PAVING SUBSTRATE THAT WILL PREVENT THE FLOW OF SUBURGED DRAINAGE WATER OR FILL CONDUITS OR OTHER JOINTS THAT WILL PREVENT THE FLOW OF WATER OR OTHER LIQUIDS FROM THE JOINT.
- 3. SUBMIT SHOP DRAWINGS FOR ALL JOINT PAVING AREAS INDICATING PROPOSED ISOLATION AND CONTRACTION JOINT LOCATIONS IN CONCRETE BASE.

**SECTION | UNIT PAVING (LIGHT DUTY)**



SECTION | UNIT PAVING (LIGHT DUTY)

- 1. SEE DIVISION 05 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. DO NOT CREATE DAM CONCRETE JOINTS IN CONCRETE PAVING SUBSTRATE THAT WILL PREVENT THE FLOW OF SUBURGED DRAINAGE WATER OR FILL CONDUITS OR OTHER JOINTS THAT WILL PREVENT THE FLOW OF WATER OR OTHER LIQUIDS FROM THE JOINT.
- 3. SUBMIT SHOP DRAWINGS FOR ALL JOINT PAVING AREAS INDICATING PROPOSED ISOLATION AND CONTRACTION JOINT LOCATIONS IN CONCRETE BASE.

**SECTION | CONCRETE PAVING (MEDIUM DUTY)**



SECTION | CONCRETE PAVING (MEDIUM DUTY)

- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE PAVING JOINTS: SEE PLANS FOR JOINT TYPES AND LOCATIONS. SEE ADDITIONAL JOINT DETAILS.
- 3. REINFORCEMENT: ALL REINFORCEMENT SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.
- 4. PIPE PENETRATIONS: ALL PIPE PENETRATIONS SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.

**SECTION | CONCRETE PAVING (LIGHT DUTY)**



SECTION | CONCRETE PAVING (LIGHT DUTY)

- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE PAVING JOINTS: SEE PLANS FOR JOINT TYPES AND LOCATIONS. SEE ADDITIONAL JOINT DETAILS.
- 3. REINFORCEMENT: ALL REINFORCEMENT SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.
- 4. PIPE PENETRATIONS: ALL PIPE PENETRATIONS SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.



PLAN DETAIL | CONCRETE PAVING REINFORCING

- 1. SEE DIVISION 05 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. DO NOT CREATE DAM CONCRETE JOINTS IN CONCRETE PAVING SUBSTRATE THAT WILL PREVENT THE FLOW OF SUBURGED DRAINAGE WATER OR FILL CONDUITS OR OTHER JOINTS THAT WILL PREVENT THE FLOW OF WATER OR OTHER LIQUIDS FROM THE JOINT.
- 3. SUBMIT SHOP DRAWINGS FOR ALL JOINT PAVING AREAS INDICATING PROPOSED ISOLATION AND CONTRACTION JOINT LOCATIONS IN CONCRETE BASE.

**PLAN DETAIL | CONCRETE PAVING REINFORCING**



PLAN DETAIL | CONCRETE PAVING REINFORCING

- 1. SEE DIVISION 05 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. DO NOT CREATE DAM CONCRETE JOINTS IN CONCRETE PAVING SUBSTRATE THAT WILL PREVENT THE FLOW OF SUBURGED DRAINAGE WATER OR FILL CONDUITS OR OTHER JOINTS THAT WILL PREVENT THE FLOW OF WATER OR OTHER LIQUIDS FROM THE JOINT.
- 3. SUBMIT SHOP DRAWINGS FOR ALL JOINT PAVING AREAS INDICATING PROPOSED ISOLATION AND CONTRACTION JOINT LOCATIONS IN CONCRETE BASE.

**SECTION | CONCRETE PAVING (MEDIUM DUTY)**



SECTION | CONCRETE PAVING (MEDIUM DUTY)

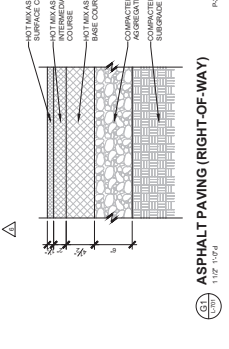
- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE PAVING JOINTS: SEE PLANS FOR JOINT TYPES AND LOCATIONS. SEE ADDITIONAL JOINT DETAILS.
- 3. REINFORCEMENT: ALL REINFORCEMENT SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.
- 4. PIPE PENETRATIONS: ALL PIPE PENETRATIONS SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.

**SECTION | CONCRETE PAVING (LIGHT DUTY)**



SECTION | CONCRETE PAVING (LIGHT DUTY)

- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE PAVING JOINTS: SEE PLANS FOR JOINT TYPES AND LOCATIONS. SEE ADDITIONAL JOINT DETAILS.
- 3. REINFORCEMENT: ALL REINFORCEMENT SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.
- 4. PIPE PENETRATIONS: ALL PIPE PENETRATIONS SHALL BE REINFORCED. SEE REINFORCEMENT DETAILS.



ASPHALT PAVING (RIGHT-OF-WAY)

- 1. SEE DIVISION 05 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. DO NOT CREATE DAM CONCRETE JOINTS IN CONCRETE PAVING SUBSTRATE THAT WILL PREVENT THE FLOW OF SUBURGED DRAINAGE WATER OR FILL CONDUITS OR OTHER JOINTS THAT WILL PREVENT THE FLOW OF WATER OR OTHER LIQUIDS FROM THE JOINT.
- 3. SUBMIT SHOP DRAWINGS FOR ALL JOINT PAVING AREAS INDICATING PROPOSED ISOLATION AND CONTRACTION JOINT LOCATIONS IN CONCRETE BASE.

**ASPHALT PAVING (LIGHT DUTY)**



ASPHALT PAVING (LIGHT DUTY)

- 1. SEE DIVISION 05 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. DO NOT CREATE DAM CONCRETE JOINTS IN CONCRETE PAVING SUBSTRATE THAT WILL PREVENT THE FLOW OF SUBURGED DRAINAGE WATER OR FILL CONDUITS OR OTHER JOINTS THAT WILL PREVENT THE FLOW OF WATER OR OTHER LIQUIDS FROM THE JOINT.
- 3. SUBMIT SHOP DRAWINGS FOR ALL JOINT PAVING AREAS INDICATING PROPOSED ISOLATION AND CONTRACTION JOINT LOCATIONS IN CONCRETE BASE.

**CONCRETE CURB (FLUSH)**



CONCRETE CURB (FLUSH)

- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE CURBS SHALL HAVE SAWCUT CONTRACTION JOINTS (1" DEPTH) LOCATED 8'-0" ON-CENTER AND 12" FROM THE END.

**SECTION | CONCRETE RIBBON CURB-6"**



SECTION | CONCRETE RIBBON CURB-6"

- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE RIBBON CURBS SHALL HAVE SAWCUT CONTRACTION JOINTS (1" DEPTH) LOCATED 8'-0" ON-CENTER AND 12" FROM THE END.

**SECTION | CONCRETE RIBBON CURB-4"**



SECTION | CONCRETE RIBBON CURB-4"

- 1. SEE DIVISIONS 03 AND 02 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 2. CONCRETE RIBBON CURBS SHALL HAVE SAWCUT CONTRACTION JOINTS (1" DEPTH) LOCATED 8'-0" ON-CENTER AND 12" FROM THE END.





411 W. 8th Street  
411 W. 8th Street  
Bloomington, Indiana  
47404

Owner:  
GREENLESS DEVELOPMENT  
10000 Greenless Drive  
Chicago, Illinois 60624

Architect:  
RATIO  
10000 Greenless Street  
Indianapolis, Indiana 46224  
317-633-6400

Structural Engineer:  
LYNCH, HARRISON & BRUMBLEVE, INC.  
10000 Greenless Street  
Indianapolis, Indiana 46224  
317-425-1550

Mechanical/Electrical Engineer:  
CIRCLE DESIGN GROUP  
10000 Greenless Street  
Indianapolis, Indiana 46224  
317-771-1500

Civil Engineer:  
SMITH DESIGN GROUP  
5005 East Central Ave., Suite 101  
Indianapolis, Indiana 46224  
812-336-0536

Technology Consultant:  
ENGINEERING PLUS  
9001 Holladay Parkway, Suite 1000  
Indianapolis, Indiana 46240  
858-749-4200

Interior Designer:  
CLINE DESIGN  
1128 N. Hartsville St.  
Indianapolis, Indiana 46205  
758-353-7272



| SHEET TITLE             | DATE |
|-------------------------|------|
| 1. SCHEDULE DESIGN      |      |
| 2. GENERAL NOTES        |      |
| 3. CONSTRUCTION DETAILS |      |
| 4. FINISHES             |      |
| 5. MATERIALS            |      |
| 6. CONCRETE             |      |
| 7. METALS               |      |
| 8. FINISHES             |      |
| 9. COMMENTS             |      |
| 10. COMMENTS            |      |
| 11. COMMENTS            |      |
| 12. COMMENTS            |      |
| 13. COMMENTS            |      |
| 14. COMMENTS            |      |
| 15. COMMENTS            |      |
| 16. COMMENTS            |      |
| 17. COMMENTS            |      |
| 18. COMMENTS            |      |
| 19. COMMENTS            |      |
| 20. COMMENTS            |      |



PROJECT NO:  
21041000  
SHEET NUMBER:  
L-750

SHEET NUMBER:  
L-750

**Americana** L-750 (1/2" = 1'-0")  
www.ratioinc.com  
Date: 1/20/2020  
Project: 21041000

Notes:  
1. MANUFACTURER: CRETE  
2. MODEL: 1500000000  
3. TYPE: RECTANGULAR W/ W/47" H PFBT  
4. COLOR: ZINC  
5. FINISH: POLYURETHANE  
6. INSTALL PER MANUFACTURER'S INSTRUCTIONS

**DETAIL | AMERICANA CHAIR**  
1/2" = 1'-0"

Notes:  
1. MANUFACTURER: CRETE  
2. MODEL: 1500000000  
3. TYPE: RECTANGULAR W/ W/47" H PFBT  
4. COLOR: ZINC  
5. FINISH: POLYURETHANE  
6. INSTALL PER MANUFACTURER'S INSTRUCTIONS

**DETAIL | FIRE PIT TABLE**  
3/8" = 1'-0"

Notes:  
1. MANUFACTURER: CRETE  
2. MODEL: 1500000000  
3. TYPE: RECTANGULAR W/ W/47" H PFBT  
4. COLOR: ZINC  
5. FINISH: POLYURETHANE  
6. INSTALL PER MANUFACTURER'S INSTRUCTIONS

**STREETLIFE**  
Solid Seating Picnic Sets  
Product Sheet  
Solid Seating Picnic Sets have been featured in numerous publications and on television and radio.

Product Code: SPS-100-12-24-36-48-60-72-84-96-108-120-132-144-156-168-180-192-204-216-228-240-252-264-276-288-300-312-324-336-348-360-372-384-396-408-420-432-444-456-468-480-492-504-516-528-540-552-564-576-588-600-612-624-636-648-660-672-684-696-708-720-732-744-756-768-780-792-804-816-828-840-852-864-876-888-900-912-924-936-948-960-972-984-996-1008-1020-1032-1044-1056-1068-1080-1092-1104-1116-1128-1140-1152-1164-1176-1188-1200-1212-1224-1236-1248-1260-1272-1284-1296-1308-1320-1332-1344-1356-1368-1380-1392-1404-1416-1428-1440-1452-1464-1476-1488-1500-1512-1524-1536-1548-1560-1572-1584-1596-1608-1620-1632-1644-1656-1668-1680-1692-1704-1716-1728-1740-1752-1764-1776-1788-1800-1812-1824-1836-1848-1860-1872-1884-1896-1908-1920-1932-1944-1956-1968-1980-1992-2004-2016-2028-2040-2052-2064-2076-2088-2100-2112-2124-2136-2148-2160-2172-2184-2196-2208-2220-2232-2244-2256-2268-2280-2292-2304-2316-2328-2340-2352-2364-2376-2388-2400-2412-2424-2436-2448-2460-2472-2484-2496-2508-2520-2532-2544-2556-2568-2580-2592-2604-2616-2628-2640-2652-2664-2676-2688-2700-2712-2724-2736-2748-2760-2772-2784-2796-2808-2820-2832-2844-2856-2868-2880-2892-2904-2916-2928-2940-2952-2964-2976-2988-3000-3012-3024-3036-3048-3060-3072-3084-3096-3108-3120-3132-3144-3156-3168-3180-3192-3204-3216-3228-3240-3252-3264-3276-3288-3300-3312-3324-3336-3348-3360-3372-3384-3396-3408-3420-3432-3444-3456-3468-3480-3492-3504-3516-3528-3540-3552-3564-3576-3588-3600-3612-3624-3636-3648-3660-3672-3684-3696-3708-3720-3732-3744-3756-3768-3780-3792-3804-3816-3828-3840-3852-3864-3876-3888-3900-3912-3924-3936-3948-3960-3972-3984-3996-4008-4020-4032-4044-4056-4068-4080-4092-4104-4116-4128-4140-4152-4164-4176-4188-4200-4212-4224-4236-4248-4260-4272-4284-4296-4308-4320-4332-4344-4356-4368-4380-4392-4404-4416-4428-4440-4452-4464-4476-4488-4500-4512-4524-4536-4548-4560-4572-4584-4596-4608-4620-4632-4644-4656-4668-4680-4692-4704-4716-4728-4740-4752-4764-4776-4788-4800-4812-4824-4836-4848-4860-4872-4884-4896-4908-4920-4932-4944-4956-4968-4980-4992-5004-5016-5028-5040-5052-5064-5076-5088-5100-5112-5124-5136-5148-5160-5172-5184-5196-5208-5220-5232-5244-5256-5268-5280-5292-5304-5316-5328-5340-5352-5364-5376-5388-5400-5412-5424-5436-5448-5460-5472-5484-5496-5508-5520-5532-5544-5556-5568-5580-5592-5604-5616-5628-5640-5652-5664-5676-5688-5700-5712-5724-5736-5748-5760-5772-5784-5796-5808-5820-5832-5844-5856-5868-5880-5892-5904-5916-5928-5940-5952-5964-5976-5988-6000-6012-6024-6036-6048-6060-6072-6084-6096-6108-6120-6132-6144-6156-6168-6180-6192-6204-6216-6228-6240-6252-6264-6276-6288-6300-6312-6324-6336-6348-6360-6372-6384-6396-6408-6420-6432-6444-6456-6468-6480-6492-6504-6516-6528-6540-6552-6564-6576-6588-6600-6612-6624-6636-6648-6660-6672-6684-6696-6708-6720-6732-6744-6756-6768-6780-6792-6804-6816-6828-6840-6852-6864-6876-6888-6900-6912-6924-6936-6948-6960-6972-6984-6996-7008-7020-7032-7044-7056-7068-7080-7092-7104-7116-7128-7140-7152-7164-7176-7188-7200-7212-7224-7236-7248-7260-7272-7284-7296-7308-7320-7332-7344-7356-7368-7380-7392-7404-7416-7428-7440-7452-7464-7476-7488-7500-7512-7524-7536-7548-7560-7572-7584-7596-7608-7620-7632-7644-7656-7668-7680-7692-7704-7716-7728-7740-7752-7764-7776-7788-7800-7812-7824-7836-7848-7860-7872-7884-7896-7908-7920-7932-7944-7956-7968-7980-7992-8004-8016-8028-8040-8052-8064-8076-8088-8100-8112-8124-8136-8148-8160-8172-8184-8196-8208-8220-8232-8244-8256-8268-8280-8292-8304-8316-8328-8340-8352-8364-8376-8388-8400-8412-8424-8436-8448-8460-8472-8484-8496-8508-8520-8532-8544-8556-8568-8580-8592-8604-8616-8628-8640-8652-8664-8676-8688-8700-8712-8724-8736-8748-8760-8772-8784-8796-8808-8820-8832-8844-8856-8868-8880-8892-8904-8916-8928-8940-8952-8964-8976-8988-9000-9012-9024-9036-9048-9060-9072-9084-9096-9108-9120-9132-9144-9156-9168-9180-9192-9204-9216-9228-9240-9252-9264-9276-9288-9300-9312-9324-9336-9348-9360-9372-9384-9396-9408-9420-9432-9444-9456-9468-9480-9492-9504-9516-9528-9540-9552-9564-9576-9588-9600-9612-9624-9636-9648-9660-9672-9684-9696-9708-9720-9732-9744-9756-9768-9780-9792-9804-9816-9828-9840-9852-9864-9876-9888-9900-9912-9924-9936-9948-9960-9972-9984-9996-10008-10020-10032-10044-10056-10068-10080-10092-10104-10116-10128-10140-10152-10164-10176-10188-10200-10212-10224-10236-10248-10260-10272-10284-10296-10308-10320-10332-10344-10356-10368-10380-10392-10404-10416-10428-10440-10452-10464-10476-10488-10500-10512-10524-10536-10548-10560-10572-10584-10596-10608-10620-10632-10644-10656-10668-10680-10692-10704-10716-10728-10740-10752-10764-10776-10788-10800-10812-10824-10836-10848-10860-10872-10884-10896-10908-10920-10932-10944-10956-10968-10980-10992-11004-11016-11028-11040-11052-11064-11076-11088-11100-11112-11124-11136-11148-11160-11172-11184-11196-11208-11220-11232-11244-11256-11268-11280-11292-11304-11316-11328-11340-11352-11364-11376-11388-11400-11412-11424-11436-11448-11460-11472-11484-11496-11508-11520-11532-11544-11556-11568-11580-11592-11604-11616-11628-11640-11652-11664-11676-11688-11700-11712-11724-11736-11748-11760-11772-11784-11796-11808-11820-11832-11844-11856-11868-11880-11892-11904-11916-11928-11940-11952-11964-11976-11988-12000-12012-12024-12036-12048-12060-12072-12084-12096-12108-12120-12132-12144-12156-12168-12180-12192-12204-12216-12228-12240-12252-12264-12276-12288-12300-12312-12324-12336-12348-12360-12372-12384-12396-12408-12420-12432-12444-12456-12468-12480-12492-12504-12516-12528-12540-12552-12564-12576-12588-12600-12612-12624-12636-12648-12660-12672-12684-12696-12708-12720-12732-12744-12756-12768-12780-12792-12804-12816-12828-12840-12852-12864-12876-12888-12900-12912-12924-12936-12948-12960-12972-12984-12996-13008-13020-13032-13044-13056-13068-13080-13092-13104-13116-13128-13140-13152-13164-13176-13188-13200-13212-13224-13236-13248-13260-13272-13284-13296-13308-13320-13332-13344-13356-13368-13380-13392-13404-13416-13428-13440-13452-13464-13476-13488-13500-13512-13524-13536-13548-13560-13572-13584-13596-13608-13620-13632-13644-13656-13668-13680-13692-13704-13716-13728-13740-13752-13764-13776-13788-13800-13812-13824-13836-13848-13860-13872-13884-13896-13908-13920-13932-13944-13956-13968-13980-13992-14004-14016-14028-14040-14052-14064-14076-14088-14100-14112-14124-14136-14148-14160-14172-14184-14196-14208-14220-14232-14244-14256-14268-14280-14292-14304-14316-14328-14340-14352-14364-14376-14388-14400-14412-14424-14436-14448-14460-14472-14484-14496-14508-14520-14532-14544-14556-14568-14580-14592-14604-14616-14628-14640-14652-14664-14676-14688-14700-14712-14724-14736-14748-14760-14772-14784-14796-14808-14820-14832-14844-14856-14868-14880-14892-14904-14916-14928-14940-14952-14964-14976-14988-15000-15012-15024-15036-15048-15060-15072-15084-15096-15108-15120-15132-15144-15156-15168-15180-15192-15204-15216-15228-15240-15252-15264-15276-15288-15300-15312-15324-15336-15348-15360-15372-15384-15396-15408-15420-15432-15444-15456-15468-15480-15492-15504-15516-15528-15540-15552-15564-15576-15588-15600-15612-15624-15636-15648-15660-15672-15684-15696-15708-15720-15732-15744-15756-15768-15780-15792-15804-15816-15828-15840-15852-15864-15876-15888-15900-15912-15924-15936-15948-15960-15972-15984-15996-16008-16020-16032-16044-16056-16068-16080-16092-16104-16116-16128-16140-16152-16164-16176-16188-16200-16212-16224-16236-16248-16260-16272-16284-16296-16308-16320-16332-16344-16356-16368-16380-16392-16404-16416-16428-16440-16452-16464-16476-16488-16500-16512-16524-16536-16548-16560-16572-16584-16596-16608-16620-16632-16644-16656-16668-16680-16692-16704-16716-16728-16740-16752-16764-16776-16788-16800-16812-16824-16836-16848-16860-16872-16884-16896-16908-16920-16932-16944-16956-16968-16980-16992-17004-17016-17028-17040-17052-17064-17076-17088-17100-17112-17124-17136-17148-17160-17172-17184-17196-17208-17220-17232-17244-17256-17268-17280-17292-17304-17316-17328-17340-17352-17364-17376-17388-17400-17412-17424-17436-17448-17460-17472-17484-17496-17508-17520-17532-17544-17556-17568-17580-17592-17604-17616-17628-17640-17652-17664-17676-17688-17700-17712-17724-17736-17748-17760-17772-17784-17796-17808-17820-17832-17844-17856-17868-17880-17892-17904-17916-17928-17940-17952-17964-17976-17988-18000-18012-18024-18036-18048-18060-18072-18084-18096-18108-18120-18132-18144-18156-18168-18180-18192-18204-18216-18228-18240-18252-18264-18276-18288-18300-18312-18324-18336-18348-18360-18372-18384-18396-18408-18420-18432-18444-18456-18468-18480-18492-18504-18516-18528-18540-18552-18564-18576-18588-18600-18612-18624-18636-18648-18660-18672-18684-18696-18708-18720-18732-18744-18756-18768-18780-18792-18804-18816-18828-18840-18852-18864-18876-18888-18900-18912-18924-18936-18948-18960-18972-18984-18996-19008-19020-19032-19044-19056-19068-19080-19092-19104-19116-19128-19140-19152-19164-19176-19188-19200-19212-19224-19236-19248-19260-19272-19284-19296-19308-19320-19332-19344-19356-19368-19380-19392-19404-19416-19428-19440-19452-19464-19476-19488-19500-19512-19524-19536-19548-19560-19572-19584-19596-19608-19620-19632-19644-19656-19668-19680-19692-19704-19716-19728-19740-19752-19764-19776-19788-19800-19812-19824-19836-19848-19860-19872-19884-19896-19908-19920-19932-19944-19956-19968-19980-19992-20004-20016-20028-20040-20052-20064-20076-20088-20100-20112-20124-20136-20148-20160-20172-20184-20196-20208-20220-20232-20244-20256-20268-20280-20292-20304-20316-20328-20340-20352-20364-20376-20388-20400-20412-20424-20436-20448-20460-20472-20484-20496-20508-20520-20532-20544-20556-20568-20580-20592-20604-20616-20628-20640-20652-20664-20676-20688-20700-20712-20724-20736-20748-20760-20772-20784-20796-20808-20820-20832-20844-20856-20868-20880-20892-20904-20916-20928-20940-20952-20964-20976-20988-21000-21012-21024-21036-21048-21060-21072-21084-21096-21108-21120-21132-21144-21156-21168-21180-21192-21204-21216-21228-21240-21252-21264-21276-21288-21300-21312-21324-21336-21348-21360-21372-21384-21396-21408-21420-21432-21444-21456-21468-21480-21492-21504-21516-21528-21540-21552-21564-21576-21588-21600-21612-21624-21636-21648-21660-21672-21684-21696-21708-21720-21732-21744-21756-21768-21780-21792-21804-21816-21828-21840-21852-21864-21876-21888-21900-21912-21924-21936-21948-21960-21972-21984-21996-22008-22020-22032-22044-22056-22068-22080-22092-22104-22116-22128-22140-22152-22164-22176-22188-22200-22212-22224-22236-22248-22260-22272-22284-22296-22308-22320-22332-22344-22356-22368-22380-22392-22404-22416-2









CONTRACT COVER MEMORANDUM

**TO:** Beth Cate, Corporation Counsel  
**FROM:** Paula McDevitt, Administrator  
**DATE:** 6/26/23  
**RE:** Contract with 400 W 7<sup>th</sup> LLC

|  |  |
|--|--|
| <b>Contract Recipient/Vendor Name:</b>   | 400 W 7 <sup>th</sup> LLC                |
| <b>Department Head Initials of Approval:</b>   | PM                                       |
| <b>Responsible Department Staff:</b><br><i>(Return signed copy to responsible staff)</i>                                     | Division Director: Tim Street            |
| <b>Responsible Attorney:</b><br><i>(Return signed copy to responsible attorney)</i>  | Audrey Brittingham                       |
| <b>Record Destruction Date:</b><br><i>(Legal to fill in)</i>   | NA                                       |
| <b>Legal Department Internal Tracking #:</b><br><i>(Legal to fill in)</i>  | 23-333                                   |
| <b>Due Date For Signature:</b>   | Friday Before Park Board Meeting: 7/7/23 |
| <b>Expiration Date of Contract:</b>  | n/a                                      |
| <b>Renewal Date for Contract:</b>  | n/a                                      |
| <b>Total Dollar Amount of Contract:</b>  | n/a                                      |
| <b>Funding Source:</b>   | n/a                                      |
| <b>W9/EFT Complete:</b><br><i>(Staff Member of Responsible Dept to fill in - Vendor #)</i>                                   | n/a                                      |
| <b>Affirmative Action Plan Complete</b> (if applicable):<br><i>(Staff Member of Responsible Dept. to fill in; \$10,000+)</i> | n/a                                      |
| <b>Procurement Summary Complete:</b><br><i>(Staff Member of Responsible Dept. to fill in)</i>                                | n/a                                      |

**AGREEMENT REGARDING ENCROACHMENT  
ONTO THE B-LINE TRAIL**

This Agreement, dated this 17<sup>th</sup> day of July, 2023, WITNESSETH:

WHEREAS, 400 W. 7<sup>th</sup>, LLC, on its own behalf and on behalf of its successors and assigns ("Developer") is redeveloping a property with an address of 400 W. 7th St in Bloomington, Indiana ("Property"), which is immediately adjacent to property owned by the City of Bloomington ("City") known as the B-Line Trail ("City Property"), and Developer desires to encroach onto the City Property with a pathway as more specifically depicted in Attachment A, attached hereto and incorporated herein by reference (the "Encroachments"); and

NOW THEREFORE, in consideration of the Developer's ability to encroach onto the City Property as described herein, Developer, its officers, directors, agents, employees, members, successors and assigns, do hereby acknowledge, covenant, and agree to the following terms and conditions:

1. This Agreement shall apply only to the Developer and cannot be transferred to a different property owner.
2. If the City or another governmental agency with jurisdiction over the City Property determines that the City Property containing one or more of the Encroachment(s) should be improved to better serve the public, or that other public improvements need to be made on the City Property and the Encroachment(s) interfere with the planned public improvements, the City may require Developer to remove the Encroachment(s) at the Developer's cost. If the City proposes changes to the City Property that require removal or alteration of the Encroachments, the City agrees to make reasonable efforts to coordinate alternatives to the Encroachments with Developer.
3. Developer accepts responsibility for the maintenance, repair, proper working conditions, and all expenses associated with the Encroachment(s). Specifically, Developer or Developer's designee shall maintain the Encroachment(s) in good repair and take such other measures as are reasonably necessary to maintain the Encroachment(s) in good, clean condition.
4. The City's approval of the Encroachment(s) does not relieve Developer from any provisions of any applicable zoning or other ordinance or statute that may apply to the City Property.
5. The City may alter the terms and conditions of the Encroachment(s) to address unanticipated problems or may even revoke permission to encroach if the City determines the Encroachment(s) are undesirable in terms of the general welfare of the City or City Property.
6. Developer understands and agrees that if the City or a public utility need to work in the area of the Encroachment(s) for any reason, and the Encroachment(s) need to be removed to facilitate the City or the utility, the removal of the Encroachment(s) will be at the expense of Developer and the City will not be responsible for any damage which may occur to the Encroachment(s).

8. Developer agrees for itself and its successors in interest to release and forever discharge, indemnify and hold harmless the City of Bloomington, its departments, officers, agents, employees, successors and assigns for any and all actions, including attorney's fees, losses or injuries that occur as a result of its use of the City Property. In case any claim or action in court is brought against the City of Bloomington, or an office or agent of it, for the failure, omission or neglect of the Developer to perform any of the covenants, acts, matters or things by this agreement undertaken or for injury or damage caused by alleged negligence of the Developer or its agents, employees or subcontractor, the Developer shall indemnify and hold harmless the City of Bloomington and its officers and agents, from all losses, damages, costs, expenses, judgments or decrees arising out of such action, including attorney's fees.

9. Developer expressly agrees that its obligations under the foregoing Agreement are intended to be as broad as permitted by law and if any portion thereof is not found to be enforceable, it is agreed that the balance shall, notwithstanding, continue in full force and effect.

The undersigned person executing this Agreement on behalf of Developer represent and certify that they are duly authorized to execute this Agreement on Developer's behalf.

This Agreement shall be recorded in the Office of the Monroe County Recorder and is expressly intended to run with the land and bind Developer and Developer's successors and assigns and inure to the benefit of the City of Bloomington. Developer expressly consents to the provisions of this Agreement on its own behalf and on behalf of its successors and assigns.

400 W. 7<sup>th</sup>, LLC

By:   
 Joseph Patrick  
 Director of Development

City of Bloomington, Indiana

By:   
 Kathleen Mills, President  
 Board of Park Commissioners

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ATTACHMENT A





411 W. 8th Street  
411 W. 8th Street  
Bloomington, Indiana  
47404

DATE: 10/15/2010  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
PROJECT: [Name]  
SCALE: [Scale]  
SHEET NO.: [Number]



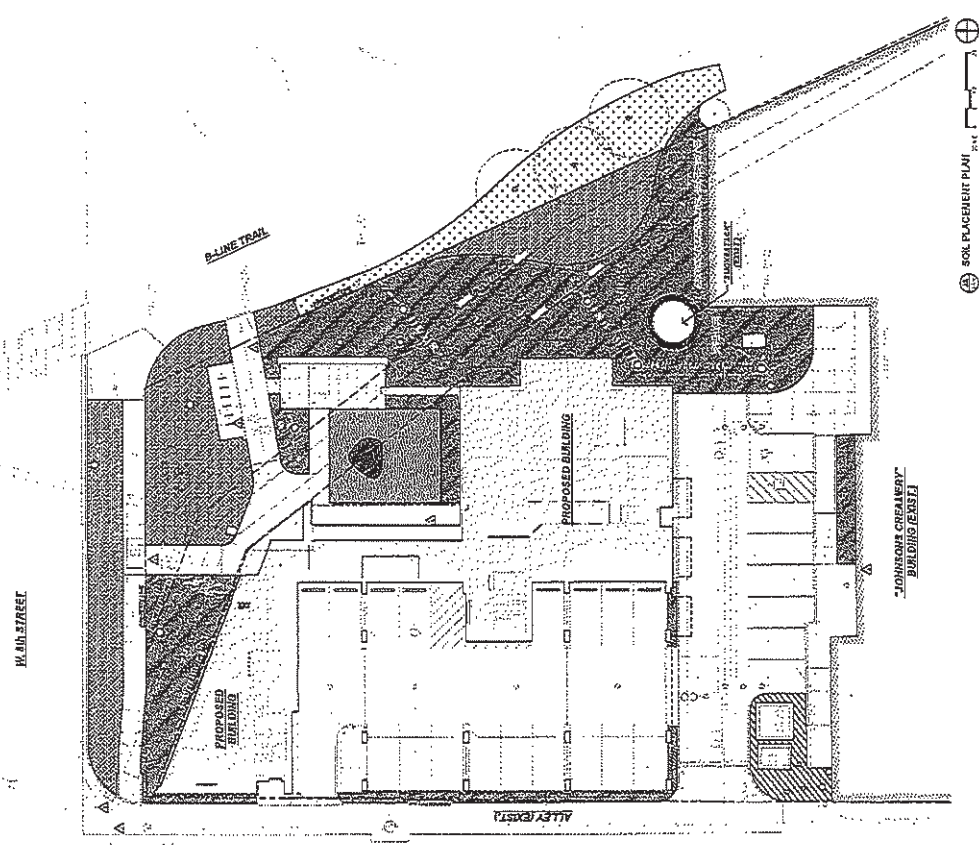
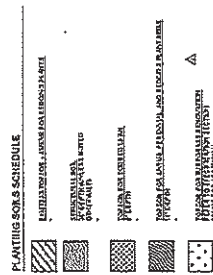
Table with 2 columns: Description, Quantity. Includes items like 'Gravel', 'Sand', 'Asphalt', etc.

RATIO  
SCALE: 1" = 10'-0"

SOIL PLACEMENT PLAN

L-511

- GENERAL NOTES: 1. SEE SOILS REPORT FOR SOIL CLASSIFICATION AND TEST RESULTS. 2. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 3. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 4. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 5. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 6. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 7. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 8. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 9. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. 10. ALL SOILS TO BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY.



SOIL PLACEMENT PLAN



**BLOOMINGTON PLAT COMMITTEE  
STAFF REPORT  
Location: 650 W. Guy Avenue**

**CASE #: DP-20-24  
DATE: May 13, 2024**

**PETITIONER:** Habitat for Humanity  
213 E. Kirkwood Ave., Bloomington, IN

**CONSULTANTS:** Smith Design Group, Inc.  
2755 E. Canada Drive, Bloomington

**REQUEST:** Secondary plat approval for Osage Place, Phase 2 for a subdivision of 7.16 acres for 39 residential lots and 4 common area lots in a Planned Unit Development (PUD).

**BACKGROUND:**

**Area:** 7.16 acres  
**Zoning:** Planned Unit Development  
**Comp Plan Designation:** Neighborhood Residential (Thomson PUD) and Mixed Urban Residential  
**Existing Land Use:** Undeveloped  
**Proposed Land Use:** Dwelling, Single-family (attached and detached)  
**Surrounding Uses:** North – Commercial/Industrial (Thomson PUD)  
 West – RCA Community Park  
 East – Dwelling, Single-family  
 South – Dwelling, Single-family

**REPORT:** The property is located at 650 W. Guy Avenue and is zoned Planned Unit Development (Thomson PUD). The overall 12.5 acre property is located at the west end of the stubs of Cherokee Drive, Chambers Drive, Duncan Drive, and Guy Avenue with Bernard Drive to the south. Surrounding zoning includes the Thomson PUD to the north, Residential Medium Lot (R2) to the east and south, and Parks and Open Space (PO) to the west. The surrounding properties have been developed with a mix of single family residences to the east and south, industrial uses within the Thomson PUD to the north, and the RCA Community Park to the west. This portion of the site is undeveloped and has several trees along the property border and no known sensitive environmental features.

A secondary plat approval for Phase 2 was granted under DP-33-23 on September 11, 2023, however the plat was never recorded and the final plat approval expired after 6 months.

The petitioner is now requesting a new secondary plat approval to plat the remaining portion of the development that was approved as Phase 2, which would include 39 residential lots and 4 common area lots. No changes in the proposed plat are proposed with this re-approval.

**SECONDARY PLAT REVIEW:** The Plan Commission shall review the secondary plat petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).

**20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

**PROPOSED FINDING:** The petition meets all of the requirements and standards of the UDO and the approved PUD District Ordinance. No problems have been identified with meeting all stormwater and utility connections, however this aspect is being reviewed with the grading permit. No adverse impacts on adjacent properties have been identified. This phase plats the remaining portions of the development in Phase 2 which as shown with the final plan and primary plat.

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**PLAT REVIEW:**

**Uses/Development Standards:** The Plan Commission approved the Residential Urban (R4) zoning district for the development standards with the PUD and the Traditional Subdivision type for the subdivision request, with some proposed modifications. The approved modifications are as follows-

**Rear Yard Setback-** a 20' rear yard building setback was approved instead of 25'.

**Minimum Lot Width-** for the attached single family lots only, a minimum 30' width was approved rather than the 35' requirement.

**Minimum Lot Size-** for the attached single family lots only, a minimum lot size of 3,000 square feet was approved rather than the minimum standard of 4,000 square feet.

**Minimum number of lots served by an alley-** although the Traditional Subdivision type requires a minimum of 67% of the lots within the overall development be served by an alley, this petition was approved to allow 57%, which is shown on the plat.

**Parking, Streetscape, and Access:** The petitioner is showing public streets throughout the project with some of these streets having on-street, parallel spaces along both sides. All internal roads and alleys will be public. The layout of lots and alley-loaded lots are as approved with the PUD. The internal alleys will be 14' wide and in 20' of dedicated right-of-way. The petitioner is proposing to preserve existing trees along several of the property boundaries and was not required to utilize alley loaded garages for all of the lots to increase preservation possibilities and to minimize impacts to surrounding uses.

The overall petition would involve extending all of the existing adjacent stub streets to the east to connect through this development. This phase will include the platting of right-of-way for the extension of Cherokee Drive, Chambers Drive, Duncan Drive, and Guy Avenue (Hope Street). The Plan Commission approved the extensions of Duncan and Chambers to only have 44' of dedicated right-of-way since they are requesting to not have on-street parking on either side and are extensions of substandard right-of-way. Those sections of the street would be required to be signed with No Parking signs. The temporary turn around area required with Phase 1 of the development at the end of Cherokee Drive will be removed with the construction of Phase 2.

**Proposed Lots:** The proposed lots would be approximately 3,000 square feet for the lots with attached residences and 4,000 sq. ft. for the lots with detached residences. This is consistent with the approved final plan and primary plat. There are areas of tree preservation set aside along the north property lines within the Common Area lot. The areas of preservation along the north side

of this plat have been shown in the required conservation easement.

**Alternative Transportation:** The proposed site plan features several multi-modal transportation facilities. All of the internal streets will have sidewalks along both sides. In addition, there is an 8' wide multi-use path shown running east/west through the site along Chambers Drive and provides a multi-use path to the RCA Park immediately to the west that can be used by residents of the existing neighborhoods. The portions of the 8' wide multi-use path have all been shown within a pedestrian easement on Common Area lots and within right-of-way and will be privately owned and maintained for the portions of the path with Common Area.

As part of the initial rezoning petition, the petitioner was required to make a \$40,000 contribution to a project to construct a multi-use path along an east/west electric line corridor that runs along the north side of this site and will connect Weimer Road to Rogers Street. This contribution has yet to be received and is waiting on final plans moving forward from the Parks Department. While this contribution was previously tied to the issuance of a grading permit, it is more appropriate to delay this contribution to a later stage and a condition of approval has been included to require this prior to acceptance of the streets.

**Environmental Considerations:** The overall petition site is currently undeveloped with almost 60' of grade change from the south end of the site to the north end. While there are several scattered trees on the property, there is not a mature closed canopy that is required to be preserved. The petitioner designed the site plan to preserve the trees along the property boundaries along the west and north sides. These have been shown to be located within conservancy easements. There are no known sensitive environmental features.

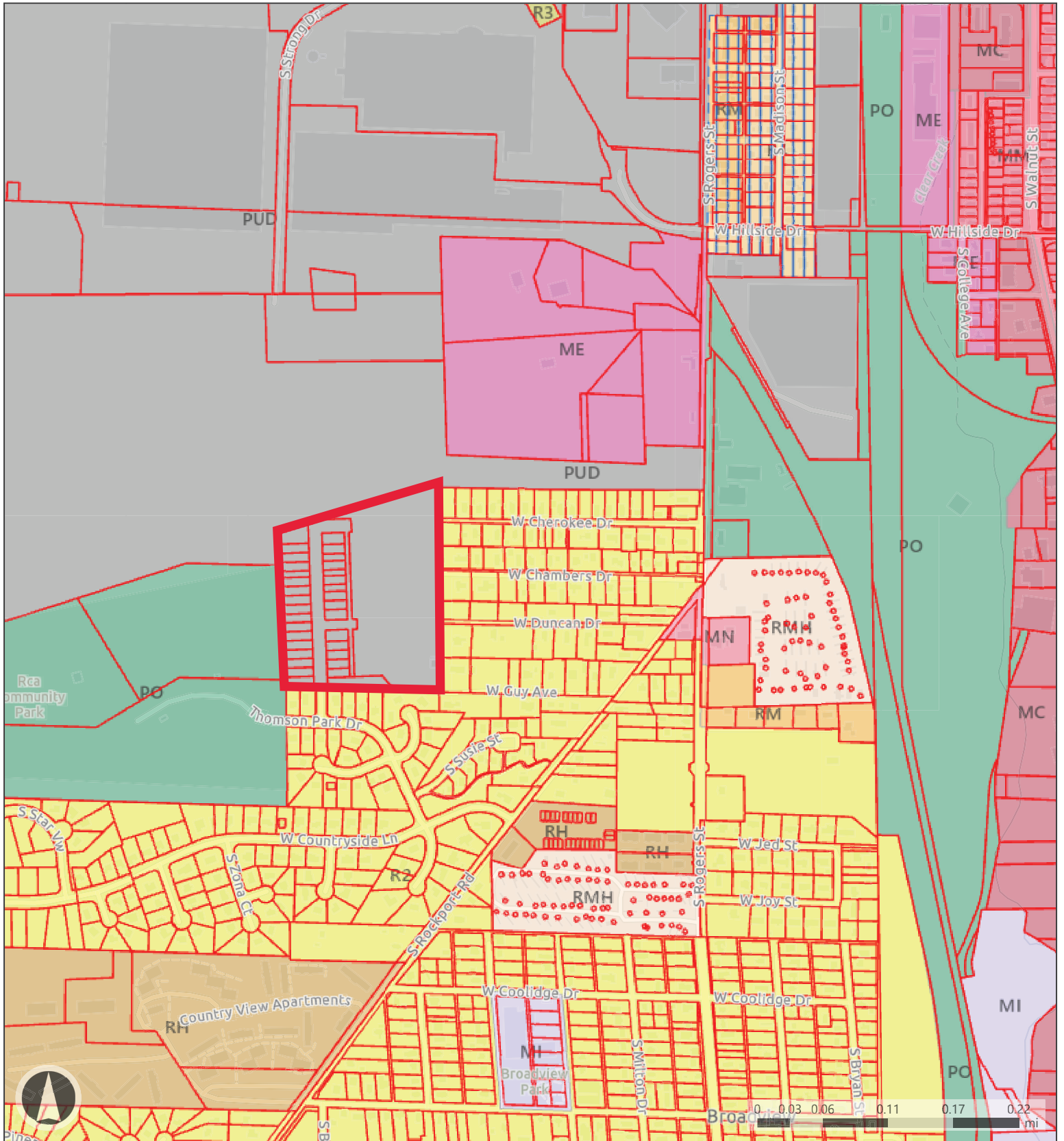
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**CONCLUSION:** The development plan associated with this subdivision request offers a highly needed housing type for the community, in an appropriate location. The lack of sensitive environmental features allows for a dense, infill project with a high degree of connectivity, while still allowing for preservation of the few high quality trees on the site. The proposed secondary plat is consistent with the approved primary plat and final plan and meets the UDO requirements.



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

**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plat Committee approve the secondary plat, DP-20-24, with the following conditions:




1. Approved per terms and conditions of Plan Commission case #PUD-10-20, SP/DP-24-20, and DP-34-21.
2. The required contribution for the construction of the trail within the electric line easement must be received prior to final acceptance of internal roads.

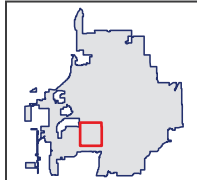


**Map Legend**

-  Parcels
-  Local Historic Districts

- Code : Description**
-  R2 : Residential Medium Lot
  -  R3 : Residential Small Lot

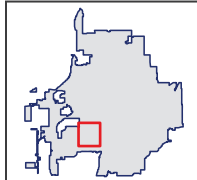
-  R4 : Residential Urban
-  RH : Residential High-Density Multifamily
-  RM : Residential Multifamily





**Map Legend**

 Parcels





Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

April 9, 2024

Eric Greulich  
City of Bloomington Planning Department  
401 N. Morton Street  
Bloomington, IN. 47404

Re: Osage Place Subdivision Phase 2 Secondary Plat

Dear Eric,

On behalf of our client, Habitat for Humanity of Monroe County, we respectfully request to be placed on the Plat Committee agenda for the September meeting for consideration of Secondary Plat approval for Osage Place Subdivision Phase 2 Secondary Plat.

Details of the project are contained in the attached petitioner's statement as well as shown on the plat drawing.

Should you have any questions concerning our application, please contact me.

Sincerely,

A handwritten signature in black ink that reads 'Katherine E. Stein'.

Katherine E. Stein, PE  
Vice President  
Smith Design Group, Inc.  
kstein@smithdginc.com



Todd M. Borgman, P.L.S.

Katherine E. Stein, P.E.

Don J. Kocarek, R.L.A.

Stephen L. Smith, Founder

## **Petitioner's Statement Osage Subdivision Phase 2**

### **Purpose**

The purpose of this secondary plat is to create Phase 2 of Osage Place Subdivision, a Habitat for Humanity development.

### **Location**

The subject property is located at the end of the dead-end streets of S Bernard Drive, W Guy Avenue, W Duncan Drive, W Chambers Drive and W Cherokee Drive.

Address: 650 W Guy Avenue

### **Parcels**

This plat will create 39 lots for single family housing and 4 common areas for pedestrian access and stormwater drainage.

### **R/W Dedication**

Right-of-way dedication is in accordance with the Thoroughfare plan and the Unified Development Ordinance.

### **Pedestrian Easements**

Pedestrian easements are being created across common area lot 74. These easements will encompass new pathways.

### **Conservancy Easements**

Conservancy easements are being created to restrict any land-disturbing activities within selected areas.

# OSAGE PLACE SUBDIVISION PHASE 2 SECONDARY PLAT

PERRY TOWNSHIP  
SECTION 8 TOWNSHIP 8 NORTH  
RANGE 1 WEST



| LOT # | ADDRESS               |
|-------|-----------------------|
| 32    | 2020 S. HOPE DRIVE    |
| 33    | 2018 S. HOPE DRIVE    |
| 34    | 2012 S. HOPE DRIVE    |
| 35    | 2008 S. HOPE DRIVE    |
| 36    | 2004 S. HOPE DRIVE    |
| 37    | 1992 S. HOPE DRIVE    |
| 38    | 1988 S. HOPE DRIVE    |
| 39    | 1984 S. HOPE DRIVE    |
| 40    | 1980 S. HOPE DRIVE    |
| 41    | 1976 S. HOPE DRIVE    |
| 42    | 1968 S. HOPE DRIVE    |
| 43    | 1964 S. HOPE DRIVE    |
| 44    | 1960 S. HOPE DRIVE    |
| 45    | 1956 S. HOPE DRIVE    |
| 46    | 1952 S. HOPE DRIVE    |
| 47    | 1948 S. HOPE DRIVE    |
| 48    | 1944 S. HOPE DRIVE    |
| 49    | 1940 S. HOPE DRIVE    |
| 50    | 1936 S. HOPE DRIVE    |
| 51    | 1932 S. HOPE DRIVE    |
| 52    | 1928 S. HOPE DRIVE    |
| 53    | 1924 S. HOPE DRIVE    |
| 54    | 2000 S. HOPE DRIVE    |
| 55    | 2012 S. HOPE DRIVE    |
| 56    | 2018 S. HOPE DRIVE    |
| 57    | 826 W. GULLY AVENUE   |
| 58    | 822 W. GULLY AVENUE   |
| 59    | 828 W. GULLY AVENUE   |
| 60    | 828 W. DUNCAN DRIVE   |
| 61    | 824 W. DUNCAN DRIVE   |
| 62    | 831 W. CHAMBERS DRIVE |
| 63    | 827 W. CHAMBERS DRIVE |
| 64    | 832 W. CHAMBERS DRIVE |
| 65    | 828 W. CHAMBERS DRIVE |
| 66    | 829 W. CHEROKEE DRIVE |
| 67    | 825 W. CHEROKEE DRIVE |
| 68    | 826 W. CHEROKEE DRIVE |
| 69    | 830 W. CHEROKEE DRIVE |
| 70    | 834 W. CHEROKEE DRIVE |

**PLANNING AND TRANSPORTATION**  
 UNDER THE AUTHORITY INDIANA CODE 36-29-700 SECTIONS, ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCES ADOPTED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, INDIANA, THIS PLAT WAS GIVEN APPROVAL BY THE CITY OF BLOOMINGTON AS FOLLOWS:  
 APPROVED PER TERMS AND CONDITIONS OF PLAN COMMISSION CASE # 81902423  
 APPROVED BY THE PLAT COMMITTEE AT A MEETING HELD SEPTEMBER 11, 2023.  
 SCOTT ROBINSON, DIRECTOR

**LEGEND**

- SPRINKLER
- SEWER
- WATER
- NON PUMP
- MAG. NAT.

SCALE: 1"=40'

BASE OF BEARINGS:  
INDIANA STATE PLANE, WEST ZONE  
VERTICAL DATUM NAVD83

- GENERAL NOTES**
- BASED UPON A SCALED INTERPRETATION OF THE FLOOD INSURANCE RATE MAP (FIR) PROVIDED FOR MONROE COUNTY, INDIANA, DATED DECEMBER 17, 2019, THE SUBJECT PROPERTY IS LOCATED WITHIN (UNSHADED) ZONE X.
  - ALL MONUMENTS FOUND IN PERFORMANCE OF THIS SURVEY WERE FOUND FLUSH WITH THE EXISTING GROUND UNLESS OTHERWISE NOTED, AND THE AGE AND ORIGIN OF SAID FOUND MONUMENTS ARE UNKNOWN UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE LABELED.
  - ALL SETBACK IS 24" REBAR WITH A YELLOW CAP STAMPED "SDC INC FIRM 0101"
  - REFERENCE IS MADE TO THE FOLLOWING SURVEYS OR PLATS:
    - AUTUMN VIEW SUBDIVISION PLAT CABINET C, ENVELOPE 80.
    - DRAGON SURVEY BLEEDOE TAPP & HIGGINS, INST 199002132.
    - LUDES SUBDIVISION PLAT CABINET D, ENVELOPE 81.
    - PLEASANT VIEW ADDITION.
    - BLOOMINGTON INDUSTRIAL COMPLEX SURVEY BY TH SCHINDLER CORP. DATED JULY 25, 2002.
    - THOMSON BOUNDARY SURVEY BY THIS FIRM JOB #4478 DATED JANUARY 19, 2008.
    - OSAGE PLACE PHASE 1 FINAL PLAT, INST 2022070569.

| Curve | Length | Radius  | Delta       | Chord Bearing | Chord Length |
|-------|--------|---------|-------------|---------------|--------------|
| C1    | 222.32 | 1500.00 | 84° 55' 12" | S44° 56' 20"E | 202.52       |
| C2    | 66.31  | 3000.00 | 2° 41' 19"  | N88° 51' 55"E | 56.30        |
| C3    | 68.11  | 3000.00 | 11° 05' 56" | N78° 25' 42"E | 58.02        |
| C4    | 91.50  | 3000.00 | 17° 28' 33" | N61° 37' 01"E | 91.15        |

- SANITARY SEWER EASEMENT (SSE)**
- SHALL ALLOW THE CITY UTILITIES DEPARTMENT EXCLUSIVE ACCESS FOR INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF SANITARY SEWER FACILITIES.
  - ENCROACHMENT BY OTHER UTILITIES IS PROHIBITED, UNLESS SUCH ENCROACHMENT IS APPROVED BY THE CITY UTILITIES DEPARTMENT IN CONJUNCTION WITH THE PRIMARY PLAT.
  - UPON WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT, ENCROACHMENTS MAY BE PERMITTED AFTER THE RECORDING OF THIS SECONDARY PLAT.
  - TREES AND STRUCTURES INCLUDING, BUT NOT LIMITED TO, BUILDINGS, FENCES, RETAINING WALLS, AND LIGHT FIXTURES SHALL NOT BE LOCATED WITHIN SANITARY SEWER EASEMENTS.
  - GRADING ACTIVITIES SHALL BE PROHIBITED WITHIN SANITARY SEWER EASEMENTS WITHOUT WRITTEN PERMISSION FROM THE CITY UTILITIES DEPARTMENT.
- DRAINAGE EASEMENT (DE)**
- SHALL BE REQUIRED FOR ANY SURFACE DRAINS OR OTHER MINOR DRAINAGE IMPROVEMENTS THAT ARE INTENDED TO SERVE THE LOTS ON WHICH THEY ARE LOCATED.
  - SHALL PROHIBIT ANY ALTERATION WITHIN THE EASEMENT THAT WOULD INHIBIT OR REDIRECT FLOW.
  - SHALL PROHIBIT THAT THE OWNER OF THE LOT ON WHICH THE EASEMENT IS PLACED SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FEATURES WITHIN SUCH EASEMENT.
  - SHALL BE ENFORCEABLE BY THE CITY UTILITIES DEPARTMENT AND BY OWNERS OF PROPERTIES THAT ARE ADJACENT TO OR AFFECTED BY SUCH EASEMENT.
  - SHALL ALLOW THE CITY UTILITIES DEPARTMENT TO ENTER UPON THE EASEMENT FOR THE PURPOSES OF MAINTENANCE, TO CHANGE THE COSTS OF SUCH MAINTENANCE, TO THE RESPONSIBLE PARTIES, TO CONSTRUCT DRAINAGE FACILITIES WITHIN THE EASEMENT, AND TO ASSUME RESPONSIBILITY FOR THE DRAINAGE FEATURES AT ITS DISCRETION.
- UTILITY EASEMENT (UE)**
- SHALL ALLOW BOTH PRIVATE AND PUBLIC UTILITY PROVIDERS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, REPAIR, OR REMOVAL OF FACILITIES.
  - PROHIBITS THE PLACEMENT OF ANY UNAUTHORIZED OBSTRUCTION WITHIN THE EASEMENT AREA UNLESS AUTHORIZED BY THE CITY UTILITIES DEPARTMENT AND THE EASEMENT HOLDERS.
- PEDESTRIAN EASEMENT (PE)**
- GRANTS THE GENERAL PUBLIC THE RIGHT TO ACCESS THE PEDESTRIAN EASEMENT FOR PURPOSES OF WALKING, RUNNING, BICYCLING, SKATING, OR USING SMALL MOTORIZED AND NONMOTORIZED VEHICLES APPROVED BY THE CITY UTILITIES DEPARTMENT.
  - GRANTS THE CITY THE RIGHT TO CONSTRUCT, ALTER, REPAIR, MAINTAIN, OR REMOVE IMPROVEMENTS WITHIN THE EASEMENT AREA.
  - PROHIBITS THE PLACEMENT OF ANY OBSTRUCTION WITHIN THE PEDESTRIAN EASEMENT.
- CONSERVANCY EASEMENT (CE)**
- PROHIBITS ANY USE OF VEGETATIVE ACTIVITIES INCLUDING THE PLACEMENT OF A FENCE, OR ALTERATION OF ANY VEGETATIVE COVER, INCLUDING MOWING, WITHIN THE EASEMENT AREA.
  - ALLOWS THE REMOVAL OF DEAD OR DISEASED TREES THAT PRESENT A SAFETY HAZARD OR OBSTRUCT DRAINAGE AS WELL AS ALLOWING THE REMOVAL OF EXOTIC OR INVASIVE SPECIES, ONLY AFTER WRITTEN PERMISSION FROM THE PLANNING AND TRANSPORTATION DEPARTMENT.
  - ALL CONSERVANCY EASEMENTS SHALL BE BOUNDARIES WITH PUBLIC BONES LOCATED ALONG THE BOUNDARY OF THE EASEMENT. PUBLIC BONES SHALL BE PLACED AT INTERVALS OF NO MORE THAN 20 FEET AND EACH PUBLIC BONE SHALL BE A MINIMUM OF ONE AND ONE-HALF SQUARE FEET IN AREA. A MINIMUM OF ONE PUBLIC BONE IS REQUIRED, REGARDLESS OF EASEMENT SIZE. THE CITY UTILITIES DEPARTMENT SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING REQUIRED BONES.
  - ALLOWS, IN CASES WHERE REMOVAL OF EXOTIC OR INVASIVE SPECIES IS PROPOSED, THE RESTORATION OF DISTURBED AREAS WITH NATIVE PLANT MATERIAL, WRITTEN APPROVAL FROM THE PLANNING AND TRANSPORTATION DEPARTMENT IS REQUIRED PRIOR TO ANY PROPOSED RESTORATION.

**LEGAL DESCRIPTION**  
 A PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 8 NORTH, RANGE 1 WEST, MONROE COUNTY, INDIANA, DESCRIBED AS FOLLOWS:  
 COMMENCING AT A STONE MARKING THE SOUTHWEST CORNER OF SAID QUARTER, THENCE NORTH 00 DEGREES 55 MINUTES 14 SECONDS WEST INDIANA STATE PLANE, WEST ZONE, ALONG THE WEST LINE OF AUTUMNVIEW PLAT CABINET "C", ENVELOPE 80, 526.41 FEET TO THE SOUTHWEST CORNER OF OSAGE PLACE SUBDIVISION PHASE 1 INSTRUMENT NUMBER 2022070569, THENCE SOUTH 89 DEGREES 40 MINUTES 31 SECONDS EAST ALONG THE SOUTH LINE THEREOF 517.88 FEET TO THE SOUTHEAST CORNER OF COMMON LOT 31 IN SAID PHASE 1 AND TO THE POINT OF BEGINNING, THE NEXT (11) COURSES AS FOLLOWS: (1) THENCE NORTH 87 DEGREES 07 MINUTES 11 SECONDS WEST ALONG A CURVE HAVING A RADIUS OF 180.00 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 51 DEGREES 38 MINUTES 45 SECONDS WEST AND A DISTANCE OF 118.00 FEET; (2) THENCE SOUTH 07 DEGREES 11 MINUTES 15 SECONDS WEST 126.74 FEET; (3) THENCE NORTH 02 DEGREES 28 MINUTES 54 SECONDS WEST 210.00 FEET; (4) THENCE NORTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 21.19 FEET; (5) THENCE NORTH 02 DEGREES 28 MINUTES 54 SECONDS WEST 140.51 FEET; (6) THENCE NORTH 02 DEGREES 28 MINUTES 54 SECONDS WEST 38.15 FEET; (7) THENCE NORTH 02 DEGREES 28 MINUTES 54 SECONDS WEST 60.00 FEET; (8) THENCE SOUTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 12.89 FEET ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 30.00 FEET BEING SUBTENDED BY A LONG CHORD BEARING NORTH 85 DEGREES 55 MINUTES 19 SECONDS EAST AND A DISTANCE OF 12.89 FEET; (9) THENCE NORTH 02 DEGREES 28 MINUTES 54 SECONDS WEST 60.00 FEET; (10) THENCE SOUTH 16 DEGREES 16 MINUTES 10 SECONDS WEST 100.00 FEET TO THE SOUTH LINE OF SAID PHASE 1; (11) THENCE SOUTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 100.00 FEET TO THE SOUTH LINE OF SAID PHASE 1; (12) THENCE SOUTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 100.00 FEET TO THE SOUTH LINE OF SAID PHASE 1; (13) THENCE SOUTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 100.00 FEET TO THE SOUTH LINE OF SAID PHASE 1; (14) THENCE SOUTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 100.00 FEET TO THE SOUTH LINE OF SAID PHASE 1; (15) THENCE SOUTH 87 DEGREES 31 MINUTES 19 SECONDS WEST 100.00 FEET TO THE SOUTH LINE OF SAID PHASE 1; 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