



**CITY OF
BLOOMINGTON**
HOUSING AND NEIGHBORHOOD DEVELOPMENT

BHPC MEETING PACKET

Thursday August 8, 2024

5:00 p.m. EST

Prepared by HAND Staff

In Person: The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom:

<https://bloomington.zoom.us/j/88316794830?pwd=vbF8lSJBCvcSi2rllHKCXONqJpFXnB.1>

[Meeting ID: 883 1679 4830](#)

[Passcode: 902367](#)

Table of Contents

AGENDA	4
COA 24-27.....	6
COA 24-28.....	8
COA 24-29.....	30
DD 24-14	39
DD 24-15	40
DD 24-16	41
DD 24-17	42
DD 24-18	43
Green Acres Conservation District Support and Objections.....	45

Accessibility Statement

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals.

If you encounter difficulties accessing material in this packet, please contact Anna Killion-Hanson at the Housing and Neighborhood Development Department at anna.killionhanson@bloomington.in.gov or 813-349-3582 and provide your name, contact information, and a link to or description of the document or web page you are having problems with.

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Bloomington Historic Preservation Commission Meeting

Thursday August 8th, 2024, 5:00 P.M.

In Person:

The McCloskey Room, 401 N Morton St., Ste. 135, Bloomington, IN 47404

Zoom: [Housing & Neighborhood Development is inviting you to a scheduled Zoom meeting.](#)

[Topic: Historic Preservation Commission Meeting](#)

[Time: August 8, 2024 05:00 PM Eastern Time \(US and Canada\)](#)

[Join Zoom Meeting](#)

<https://bloomington.zoom.us/j/88316794830?pwd=vbF8lSjBCvcSi2rIIHKCXONqJpFXnB.1>

[Meeting ID: 883 1679 4830](#)

[Passcode: 902367](#)

AGENDA

The City is committed to providing equal access to information. However, despite our efforts, at times, portions of our board and commission packets are not accessible for some individuals. If you encounter difficulties accessing material in this packet, please contact Anna Killion-Hanson at the Housing and Neighborhood Development Department at anna.killionhanson@bloomington.in.gov or 812-349-3577 and provide your name, contact information, and a link to or description of the document or web page you are having problems with. Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email human.rights@bloomington.in.gov.

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
 - A. JULY 25th NOT INCLUDED**
- IV. CERTIFICATES OF APPROPRIATENESS**

Staff Review

A. COA 24-27

723 W 9th St (Near West Side HD)

Karen Duffy

Tree removal

Commission Review

B. COA 24-28

523 W. 7th Street (Near West Side HD)

John and Jennifer Kincaid

New construction on empty lot

C. COA 24-29

811 W 8th St (Near West Side HD)

Barre Klapper

Addition and changes in fenestration to Non-contributing building. Construction of a rear garage. Alterations to fence and parking area.

V. DEMOLITION DELAY

A. DD 24-14

2201 East 7th Street

Petitioner: Sable Beyers

Full Demolition

B. DD 24-15

310 North Jefferson Street

Petitioner: Sable Beyers

Full Demolition

C. DD 24-16

314 North Jefferson Street

Petitioner: Sable Beyers

Full Demolition

D. DD 24-17

318 North Jefferson Street

Petitioner: Sable Beyers

Full Demolition

E. DD 24-18

324 North Jefferson Street

Petitioner: Sable Beyers

Full Demolition

VI. NEW BUSINESS

VII. OLD BUSINESS

A. Green Acres Conservation District vote discussion

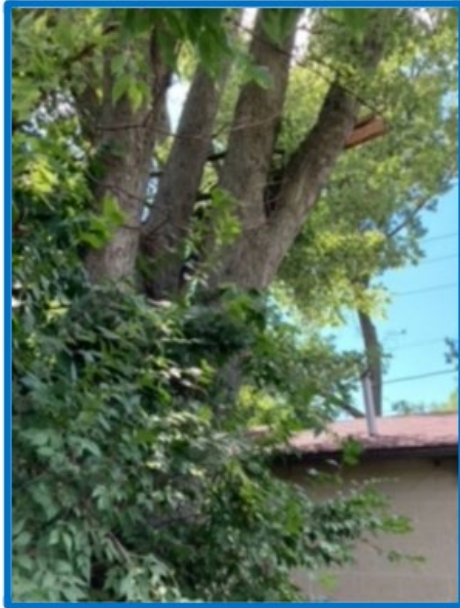
VIII. COMMISSIONER COMMENTS

IX. PUBLIC COMMENTS ANNOUNCEMENTS

X. ADJOURNMENT

Next meeting date is August 22nd, 2024 at 5:00 P.M. and will be held in a hybrid manner, both in person and via Zoom.

STAFF REVIEW	Address: 723 W 9th St (Near West Side HD)
COA 24-27	Petitioner: Karen Duffy
Start Date: 7/22/2024	Parcel: 53-05-32-403-012.000-005
RATING: CONTRIBUTING	Pyramid roof cottage c. 1910



1) Silver Maple Removal (with clean up)



1) Silver Maple Removal (with clean up)



Background: "An arborist at Bluestone Tree service has recommended removal of a

large old silver maple at the SE corner of my property at 723 W 9th St. The tree shows evidence of decay common to the species. Most concerning is a hollowing out of a central limb growing from the trunk. That limb attaches to two others that the arborist predicts would fall along with it at some point within the next several years. The growth pattern of the limbs is such that they would fall onto the roof of a c1915 hall-and-parlor house located close by, likely incurring significant damage to the historic structure. That building is an ADU on my home property lot, with the separate address of 418 N Maple St.”

Request: Removal of tree in back yard

Guidelines: Near West Side Historic District

Staff approval is required for the removal of mature trees in street facing yards.

Staff approves COA 24-27

The tree in question is located in a side yard and has been assessed by Bluestone Tree arborists as at risk of collapse.

STAFF RECOMMENDATIONS	Address: 523 W. 7th Street (Near West Side HD)
COA 24-28	Petitioner: John and Jennifer Kincaid
Start Date: 7/24/2024	Parcel: 53-05-32-413-080.000-005
RATING: NON-CONTRIBUTING	Empty lot



Colors and patterns shown are for display purposes only and do NOT necessarily represent customer choices. Please confirm all colors and patterns with homeowner prior to ordering any materials.



Kincaid Residence

Page 1: 3D Cover Page

Page 2: Foundation / Basement Plan

Page 3: Main Level Plan

Page 4: Second Floor Plan / Roof Birds Eye View

Page 5: Front & Left Elevations

Page 6: Rear & Right Elevations

Page 7: Section Drawings

Elm Town Design, LLC
1213 7th Street, Nappanee, IN 47631
Office Phone: (317) 863-0338 Mobile Phone: (317) 761-1476
www.elmtowndesign.com

Kincaid Residence

Background: The applicants are looking to construct a new home for themselves in a lot in the Near West Side Historic District bordered on one side by a double-pen house, and on the other by a church parking lot.

Request: New Construction of a house with an attached garage.

Guidelines: Near West Side District Guidelines

SIDING MATERIALS

Definition: The protective material attached to the exterior side of a building wall.

SIDING RECOMMENDED

1. Clapboard, fiber cement board, wood, decorative wood shingles, or brick when there is another brick structure on the block.
2. When cement fiber siding such as Hardie board is used to simulate wood clapboard siding, it should reflect the directional and dimensional characteristics found historically in the neighborhood. Products imitating the “grain” of wood are discouraged.
3. Efforts to maintain original materials are encouraged.

NOT RECOMMENDED

1. Asphalt shingles for walls.
2. Vinyl siding.
3. Siding products that imitate the “grain” of wood.
4. Vertically-oriented siding.
5. Metal siding

FOUNDATION

RECOMMENDED

1. Limestone
2. Split faced concrete block to mimic rusticated limestone
3. Ground face block (gray/tan)
4. Rock face block

NOT RECOMMENDED

1. Non-textured concrete block

ROOF MATERIAL

Definition: The material which makes up the outermost layer on the roof of a building.

For the primary structure, historically appropriate roof materials include asphalt composition shingle or metal roofing, such as standing seam metal. Some synthetic materials can be substituted for asphalt shingles. Other historical roof materials, such as clay tiles, may have long traditions of use but are uncharacteristic for the Near West Side. Roof colors are characteristically gray, brown, or tan. Muted green and red roofs are also found. Exceptions may be allowed for secondary structures or for small portions of the main structure not prominently visible.

RECOMMENDED

1. Asphalt shingle
2. Standing seam metal
3. Each roof material should be one color.

NOT RECOMMENDED

1. Concrete shingle
2. Corrugated metal
3. Southwestern clay tile
4. Bright primary colors

ROOF SHAPES

The following illustrations identify roof forms that are historically found in the neighborhood. The following are recommended for new construction and additions:



Cross Gable



Front Gable



Side Gable



Pyramidal



Complex

RECOMMENDED

1. The basic outline of a new building should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.
3. The outline of any new addition should be compatible with the outline and directional orientations of the existing building.

NOT RECOMMENDED

1. Roof shapes that create uncharacteristic shapes, slopes, and patterns.
2. Flat, shed, butterfly, gambrel, or mansard style roofs.

SETBACK

Definition: The distance a building is set back from a street, alley, or property line.

RECOMMENDED

1. A new building's setback should conform to the setback pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.
2. On corner sites, the setbacks from both streets must conform to the context.
3. Structures that are much closer to or further from the street than the vast majority of houses in a given block should not be used to determine appropriate setback.

ORIENTATION

RECOMMENDED

1. New buildings should be oriented toward the street in a way that is characteristic of surrounding buildings. (See Introduction for information about the traditional forms in the neighborhood.)

BUILDING ENTRY

Definition: The actual and visually perceived approach and entrance to a building.

RECOMMENDED

1. The front entry should face the street of its designated legal address. New buildings should reflect a similar sense of entry to that expressed by surrounding historic buildings.
2. Many of the early 20th century houses in the Near West Side have side facing doors that open onto the porches.
3. Accessibility for all new buildings is encouraged (see "Accessibility" guidelines for New Construction).

PORCHES

Definition: A raised, usually unenclosed and roofed platform attached to one or more sides of a building and used primarily as a sitting area, outdoor living space, or covered access to a doorway.

Many houses in the Near West Side Historic District have a prominent front porch. Some porches wrap around one side of the house.

RECOMMENDED

1. Inclusion of a front porch is recommended.
2. Porch height should not exceed a single story.
3. Solid masonry foundation
4. Lattice or visual barrier below porch.
5. Columns and posts should be appropriately sized for the porch roof they are supporting and for the base on which they rest. Slender posts, with large roofs and massive bases, are visually out of balance.
6. Columns and posts should be an appropriate type for the style of house. For example, turned or square posts. Note that square posts (which historically were handmade) may be especially suitable for the plain-style houses that abound in the neighborhood.
7. Enclosed porches are preferable in the rear of the home. If enclosing the front porch, use of screens rather than walls is encouraged.

NOT RECOMMENDED

1. Porch elements that use more than one architectural style.
2. Porch elements that differ from the architectural style of the principal structure.
3. Ornamental metal porch columns and railings.
4. Enclosed front porches.

SPACING

Definition: Spacing refers to the side yard distances between buildings

RECOMMENDED

1. New construction that reflects and reinforces the spacing found in its block. It should maintain the perceived regularity or lack of regularity of spacing on the block.

NOT RECOMMENDED

1. The creation of large open spaces where none existed historically. Such spacing is uncharacteristic and establishes holes in the traditional pattern and rhythm of the street.

BUILDING HEIGHT

Definition: The actual height of buildings and their various components as measured from the ground at the foundation and from the grade of the sidewalk that the building faces.

NOTE: In areas governed by this plan, building height should be determined using these guidelines rather than those noted in the zoning ordinance.

1. A zoning variance may be required to accommodate an appropriate height.
2. Consideration should be given to historic structures that previously occupied the site.
3. Varied building heights may be appropriate depending upon the context of a particular area or zone.
 - a. 30 feet and two story height maximum.
 - b. New construction at the end of a block should take into account building heights on adjacent blocks.
 - c. Cornice heights, porch heights, and foundation heights in the same block face and opposing block face should be considered when designing new construction.
 - d. New construction at the end of a block should also take into account building heights on adjacent blocks.
 - e. If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed.
 - f. Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.
 - g. Foundation and floor line heights should be consistent with contiguous properties.

BUILDING HEIGHT/SIDE SETBACK

Definition: The relationship between the height of the house and the distance between houses.

RECOMMENDED

1. A new house of the same height as existing houses may be as close to them as they are to each other.
2. A new house that is taller than the house next to it must be set back further from the side property line than existing houses.

MASS

Definition: The three-dimensional outline of a building, including the perception of the general shape and form as well as size of a building. See the architectural description of traditional forms provided in the introduction for guidance. The overall massing of a building relates to the organization and relative size of the building sections or pieces of a building.

RECOMMENDED

1. The perceived total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

FOUNDATION/ FIRST FLOOR ELEVATION

Definition: The supporting base upon which a building sits and the finished elevation of the living space.

RECOMMENDED

1. New construction first-floor elevation and foundation height should be consistent with contiguous buildings.

NOT RECOMMENDED

1. High, raised entrances if surrounding buildings are raised only two or three steps off the ground.
2. Designs that appear to hug the ground if surrounding buildings are raised on high foundations.

FENESTRATION

Definition: The arrangement, proportioning, and design of windows, doors, and openings.

RECOMMENDED

1. Creative ornamentation with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions and distribution of glass to solid found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

NOT RECOMMENDED

1. Window openings that conflict with the proportions and directionality of those typically found on surrounding historic buildings.
2. Window pane configurations that conflict with those on surrounding buildings.
3. Certain window types such as casement, jalousie, or Palladian windows that are not traditionally found on surrounding historic buildings.

PARKING

Definition: Locations for overnight storage of vehicles.

RECOMMENDED

1. Where possible, parking should be accessed by the existing alleys in the rear of the building.
2. Where alleys do not exist, then on-street parking is a legitimate alternative.

STYLE AND DESIGN

Definition: The creative and aesthetic expression of the designer.

RECOMMENDED

1. Surrounding buildings should be studied for their characteristic design elements. The relationship of those elements to the character of the area should then be assessed. Significant elements define compatibility.
2. Look for characteristic ways in which buildings are roofed, entered, divided into stories, and set on foundations. Look for character-defining elements such as chimneys, dormers, gables, overhanging eaves, and porches. These are described in the introduction.
3. A wide range of compatible styles is theoretically possible but styles that incorporate highly decorative and ornamental features are not recommended.

Staff recommends approval of COA 24-28

In the Near West Side, two story houses with large footprints pose design challenges, which the architect has deftly addressed. While taller than the house next door, the proposed construction has a somewhat further setback from the street without being uncharacteristically distant from the street. The attached two-car garage is differentiated from the attached mass on the alley side of the house by a side porch and protruding bay on the south end of the garage. While two-story bungalows are unusual for the district, the area does include craftsman houses, and the building proposed is stylistically consistent, particularly with note to its porch, street-facing fenestration, and roofline. The applicants propose using materials that meet district

recommendations including wood posts and railings, hardie board siding, and rusticated or stucco cement block foundation.

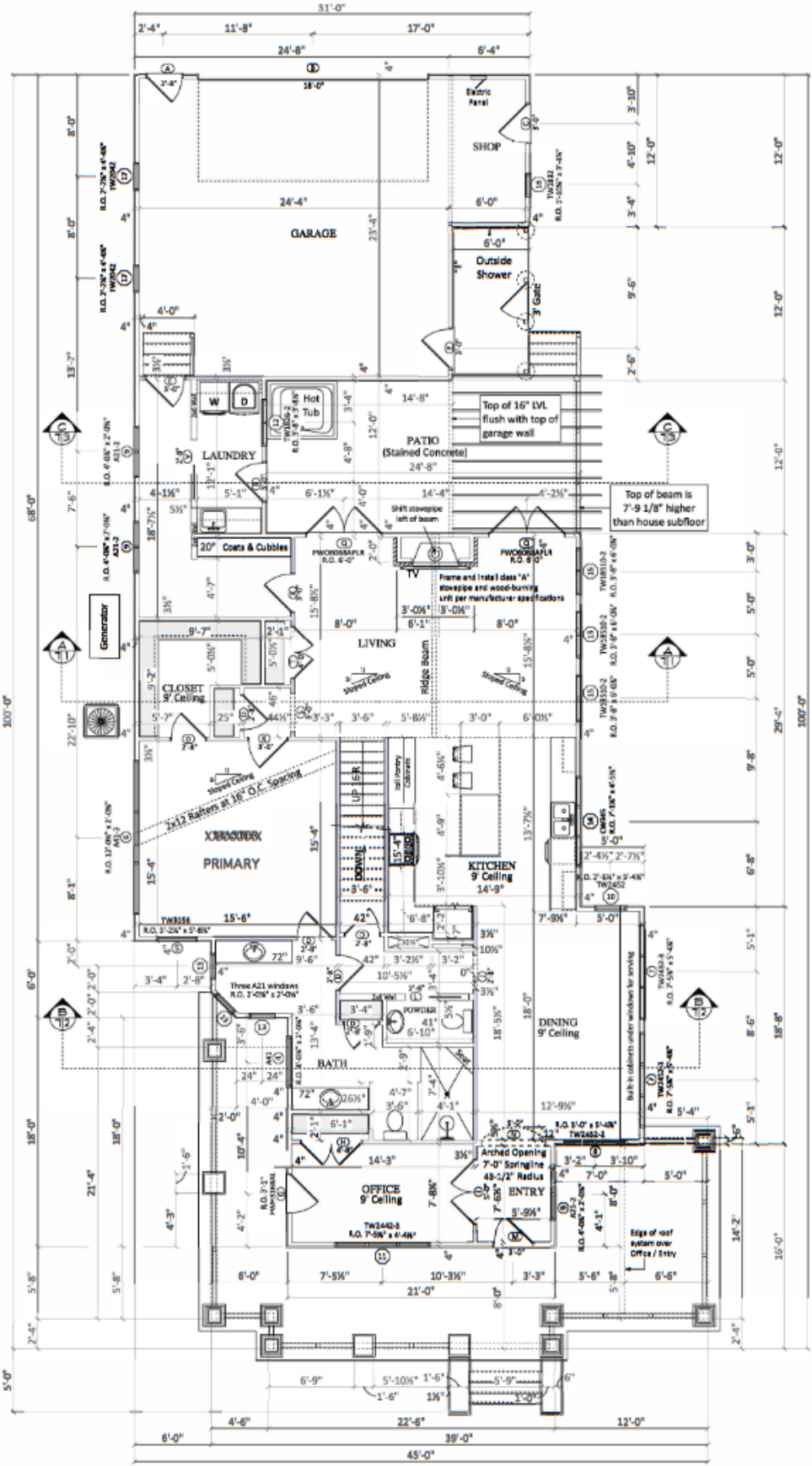
Kincaid Residence

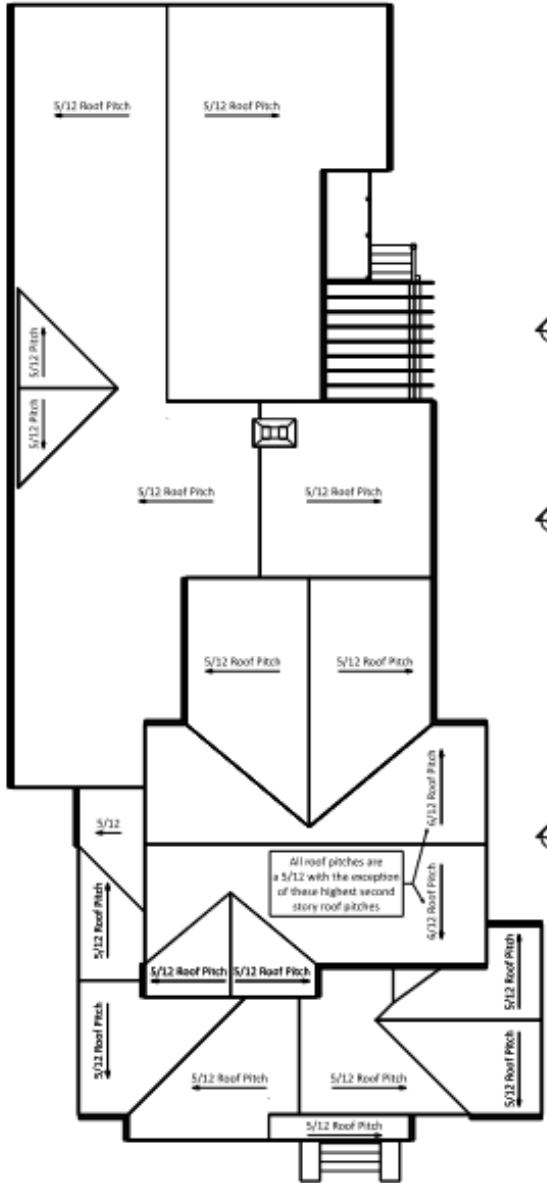


- Page 1: 3D Cover Page
- Page 2: Foundation / Basement Plan
- Page 3: Main Level Plan
- Page 4: Second Floor Plan / Roof Birds Eye View
- Page 5: Front & Left Elevations
- Page 6: Rear & Right Elevations
- Page 7: Section Drawings

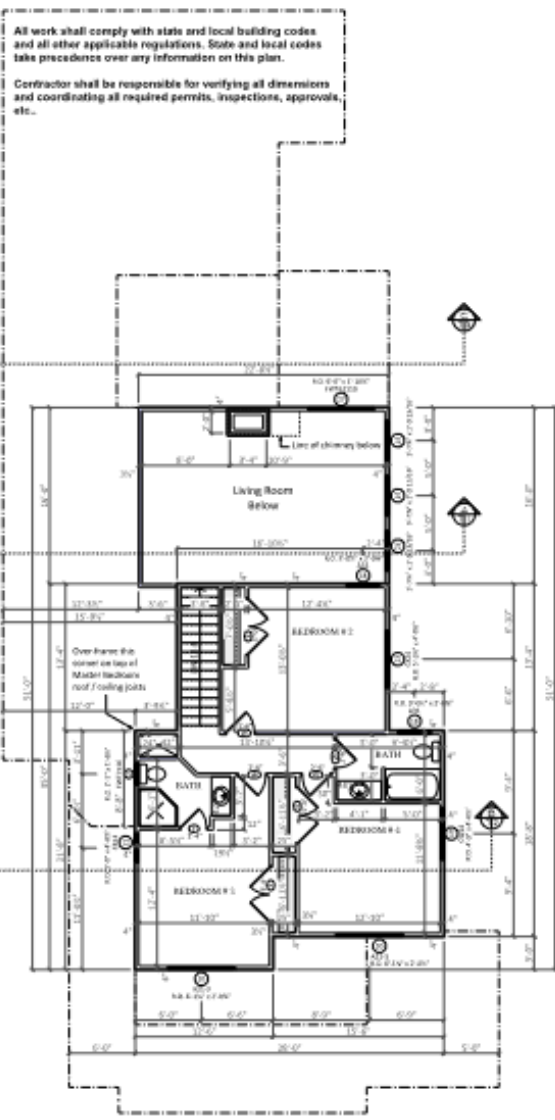
Colors and patterns shown are for display purposes only and do NOT necessarily represent customer choices. Please confirm all colors and patterns with homeowner prior to ordering any materials.



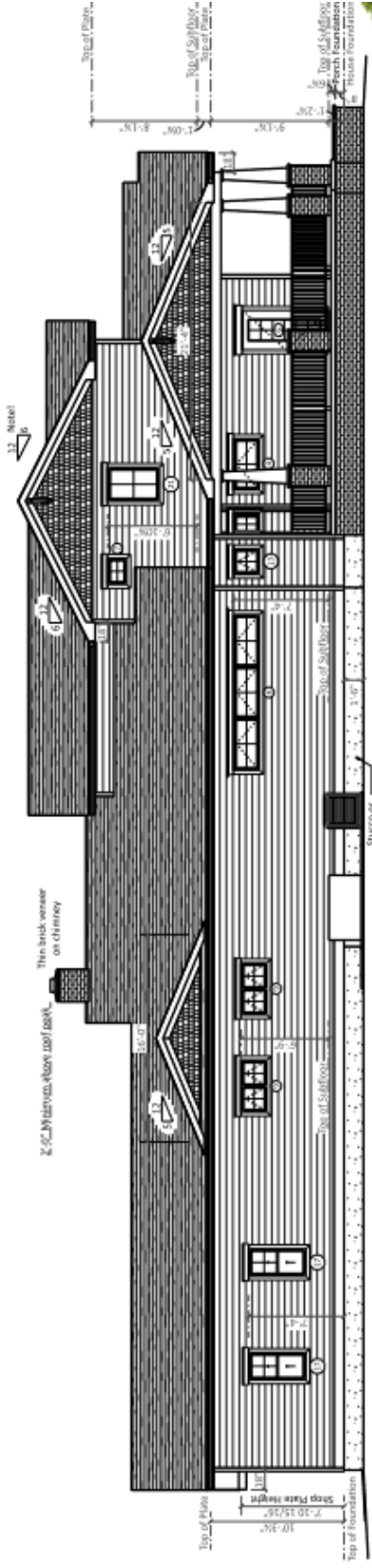




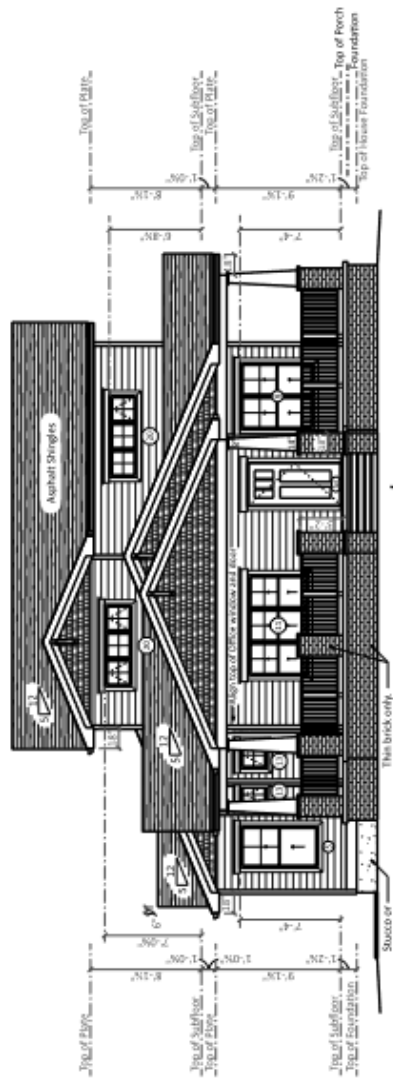
Roof Birds Eye View



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



Left Elevation



Front Elevation

FRONT & LEFT ELEVATIONS

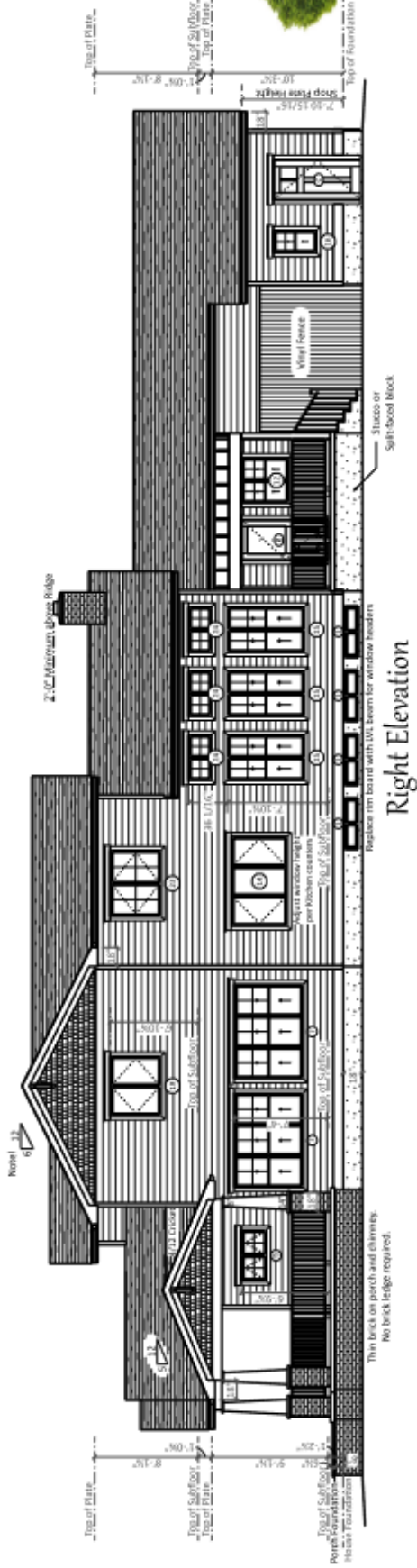
SCALE: 1/4" = 1'-0"

All work shall comply with state and local building codes and all other applicable regulations. State and local codes take precedence over any information on this plan. Contractor shall be responsible for verifying all dimensions and coordinating all required permits, inspections, approvals, etc.

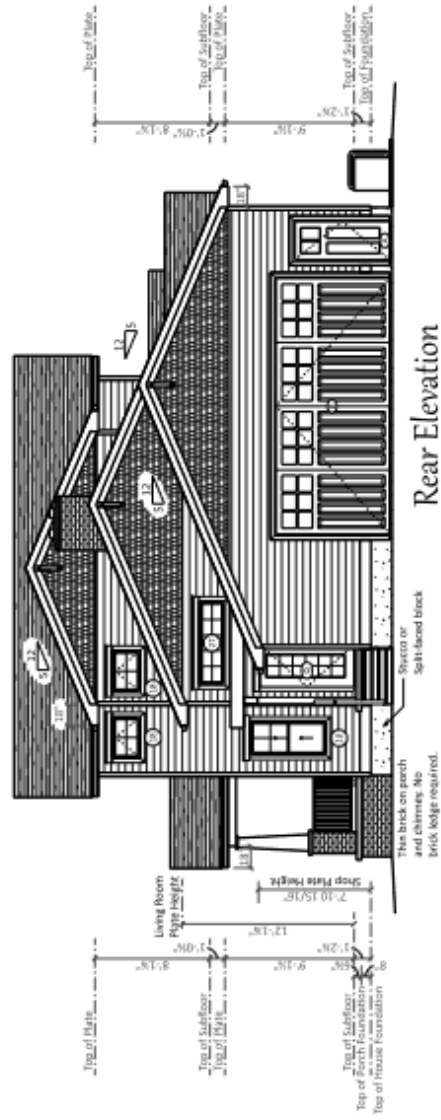
This plan depicts an approximate location of the chimney. The chimney shall be constructed in accordance with applicable codes and regulations. The chimney shall be constructed of brick and shall be finished with a brick veneer. The chimney shall be finished with a brick veneer. The chimney shall be finished with a brick veneer.

All work shall comply with state and local building codes and all other applicable regulations. State and local codes take precedence over any information on this plan.

Contractor shall be responsible for verifying all dimensions and coordinating all required permits, inspections, approvals, etc.



Right Elevation



Rear Elevation

REAR & RIGHT ELEVATIONS

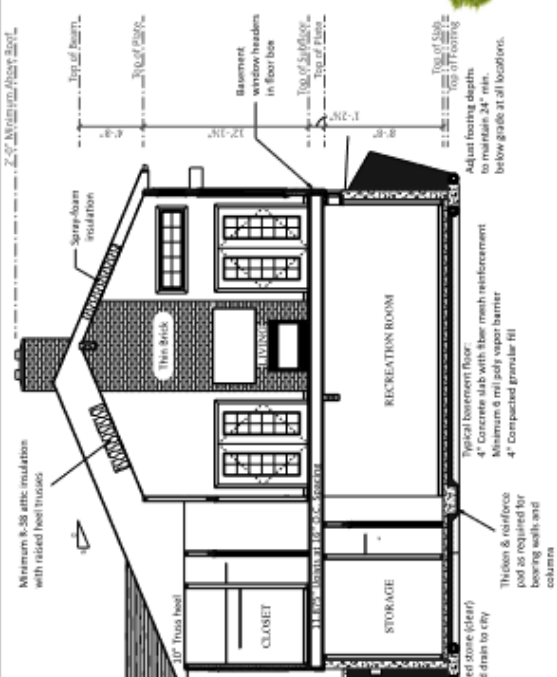
SCALE: 1/4" = 1'-0"

This Town Design is not an engineering firm and therefore assumes no responsibility for the accuracy of the drawings. The contractor is responsible for verifying all dimensions and coordinating all required permits, inspections, approvals, etc. and shall be responsible for verifying all dimensions and coordinating all required permits, inspections, approvals, etc. and shall be responsible for verifying all dimensions and coordinating all required permits, inspections, approvals, etc.

"A" Section

Typical Notes

- Apply 2x8 strapping to rafters; roof underlayment or equal
- Minimum 1/2" OSB Roof Deck with "H" clips
- 24" D.C. Roof Trusses
- Ventilation per Code
- Vertical Soffit
- 2x6 Fushia Board
- LP Sips/tie or Hardie-board siding
- Trunk or equal housewrap
- 7/16" OSB Sheathing
- 2x4 Studs
- Minimum R-13 Insulation
- 1/2" Drywall
- Waterproof basement underlayment
- 8" Poured concrete with diaphragm exterior or split-faced block foundation
- Aligapate
- 3/2" rigid insulation
- 2x4 Souds
- Minimum R-13 Insulation
- 1/2" Drywall
- 4" Weeping tile w/ protective mesh filter in 6" crushed stone (clear) around entire basement perimeter inside and out and drain to city storm-drain or other drainage system



All work shall comply with state and local building codes and all other applicable regulations. State and local codes may preclude some of the information on this plan.
Contractor shall be responsible for verifying all dimensions and coordinating all required permits, inspections, approvals, etc.

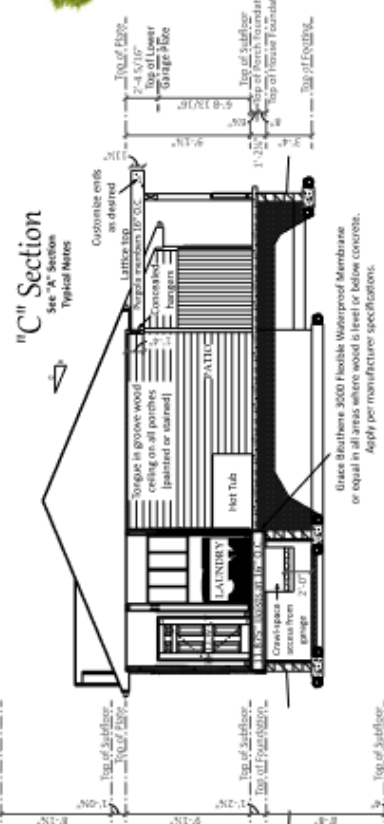
"B" Section

See "A" Section

Typical Notes



Elm Tree Design is not an engineering firm and therefore assumes no responsibility for any design failures or omissions resulting, either directly or indirectly, from the drawings we provide. We are not a professional engineer and we are not licensed as an architect. The engineer and builder is, verify for structural integrity, dimensions, materials, and design details of the drawings before proceeding with construction.



Slope concrete away from house and flush per code requirements.
Apply per manufacturer specifications.

SECTION DRAWINGS

NOTES:

- 1) Basis of Bearings (State Plane - West).
- 2) Fieldwork performed in May 2024.
- 3) Proposed 1st floor elevation of residence shall be 798.0'.
- 4) Source of title now or formerly owned by John W. Kincaid and Jennifer Uber Kincaid as found in Instrument Number 2024002834 in the Office of the Monroe County Recorder.
- 5) The proposed finish floor and finish grade elevations shown are minimum elevations in order to provide positive surface drainage away from the proposed residence. The finish grade elevations shall not in any way shed surface storm water flow onto the adjoining properties unless provisions have been made with the adjoining property owners and the governing jurisdiction. Shallow flow lines shall be made by the finish grade subcontractor along the common lines with adjoining property owners to direct the storm water flow as shown on this plot plan. The builder shall notify this firm if field adjustments are made lowering than the elevations shown or redirecting the surface storm water flows.
- 6) The dimensions shown on the proposed residence are based upon plans provided by the builder. Prior to construction the builder shall verify no changes have been made from those shown herein.
- 7) The plot plan has been prepared for use in obtaining a building permit and is not intended to identify lot or property lines. The dimensions shown to lot lines or lines representing property lines are shown based upon limited field evidence of said lines and the dimensions are subject to the same limitations which might affect the accuracy of the dimensions.
- 8) No wetlands shall be disturbed during or after the construction of the site improvements.
- 9) Any subsurface drainage tiles encountered during the construction of the site improvements shall be protected from damage and if necessary rerouted with the drainage flow within preapproved. If said tile is damaged, repairs shall be made immediately to restore the tile to its original condition.
- 10) The builder and/or any underground site contractor shall call Indiana 811 to verify the location of the underground utilities on this site and report any conflicts to Deekard Land Surveying prior to commencing work.
- 11) Construction drive: Temporary construction drive to comply with City of Bloomington ordinances.
- 12) Gentle swale statement: Gentle swale required to be constructed (or be protected if existing along side lot line) during construction and to remain post-construction to direct sheet drained watershed towards the front and back of lot and not towards existing or proposed residence.
- 13) Erosion control measure must be functional and maintained through construction.
- 14) Sediment Discharge and tracking from lot shall be minimized.
- 15) Adjacent lots disturbed by an individual lot operator must be repaired and stabilized.
- 16) Concrete and Cementitious Washwater: Include location of concrete washout and building materials area on site plan. All concrete and cementitious washwater is required to be captured in a leak-proof concrete washout container.
- 17) Ingress/Egress: Equipment is only allowed to access the site through the approved driveway with a Driveway Permit. Maintain the driveway as a stabilized construction ingress/egress. If alternate access is required, please apply for another Driveway Permit with the City of Bloomington Street Department.
- 18) Tracking and Off-Site Discharges: Any sediment tracked off site, must be swept (not flushed) off the road by the end of the business day. Off-site discharges of sediment must be remediated by the end of the business day.
- 19) Spill Response: No vehicle fueling, storage of fuel, or repair of equipment is allowed on site. All spills must be cleaned up immediately and reported according to local, state, and federal regulations. Contact the MS4 Coordinator immediately for any reportable spills or discharge to storm sewers or waterbodies.
- 20) Karst: New sinkholes that develop as a result of construction must be reported to the MS4 Coordinator within 24 hours of discovery. Immediately protect the sinkhole with erosion control measures. Filling of new sinkholes requires MS4 Coordinator approval.
- 21) Stabilization: Permanently stabilize areas at final grade within 7 days. Temporary stabilization is required for disturbed areas left inactive for more than 7 days. Any disturbance caused on adjacent lots must be repaired or stabilized.
- 22) Changes or deviations to this plan shall be submitted to City of Bloomington Planning Department for approval.
- 23) The individual lot operator is responsible for installation and maintenance of all erosion and sediment control measure until the lot is stabilized. The operator must comply with all the requirements of the zoning ordinance of the City of Bloomington.
- 24) This drawing is not intended to be represented as a retracement or original boundary survey, a route survey, or a Surveyor Location Report.
- 25) I affirm, under penalty for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law.
-ERIC L. DECKARD

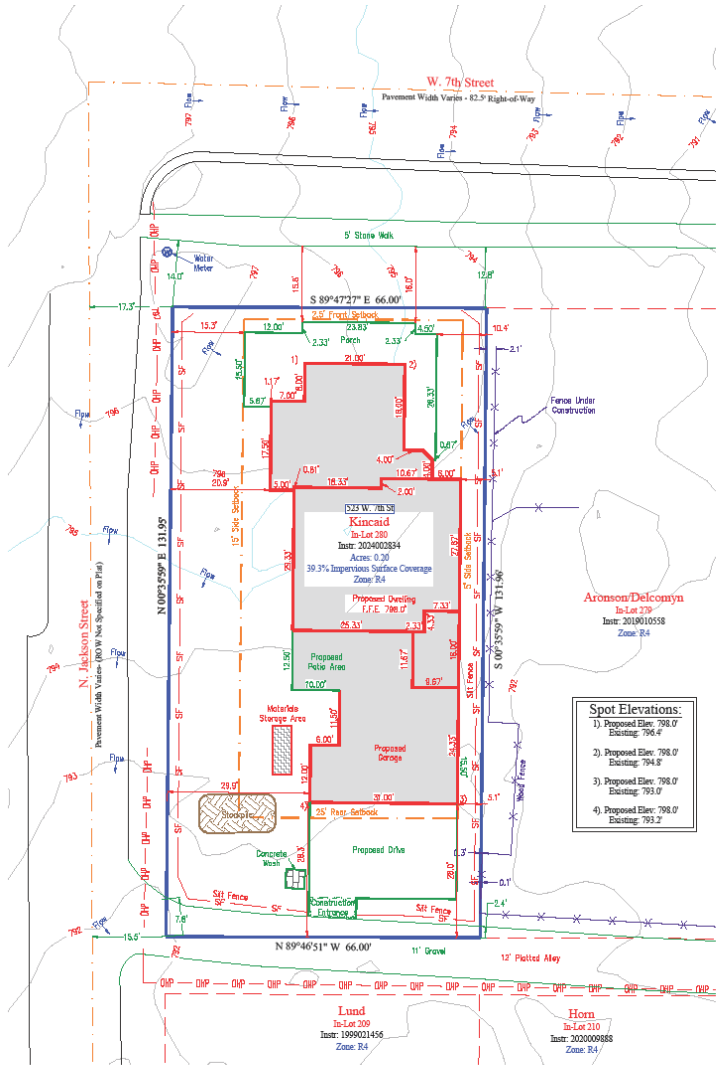
SITE PLAN
IN LOT NUMBERED TWO HUNDRED EIGHTY (280) IN THE
ORIGINAL PLAT OF THE CITY OF BLOOMINGTON
MONROE COUNTY, INDIANA

LEGEND			
SD	STORM DRAIN PROTECTION	CE	CONSTRUCTION ENTRANCE
UF	UTILITY POLE	MSA	MATERIALS STORAGE AREA
RF	REBAR FOUND	CWM	CONCRETE WASTE MANAGEMENT
RS	REBAR SET	SA	STAGING AREA
N	NAIL FOUND	ST	TEMPORARY SEDIMENT TRAP
NS	NAIL SPIKE FOUND	SL	STOCKPILE LOCATION
PF	PIPE FOUND	GB	GRAVEL BAG BARRIERS
PS	PIPE SPIKE FOUND	SF	SILT FENCE
ST	STORE FOUND	N	NAIL
SR	STORE RECORDED	C	CALCULATED
M	MEASURED	T	TEMPORARY SEEDING
CA	CALCULATED	P	PERMANENT SEEDING
U	UNDISTURBED AREA	D	DRAINAGE
		SW	STORMWATER INFRASTRUCTURE
			STORMWATER FLOW DIRECTION

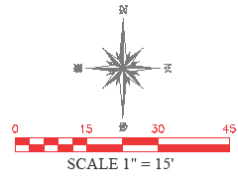
PROJECT LOCATION

BLOOMINGTON TWP.
TOWNSHIP 9 N
RANGE 1 W
SECTION 32

DEVELOPER, APPLICANT &/OR OWNER
JOHN W. KINCAID &
JENNIFER UBER KINCAID
INSTRUMENT NUMBER: 2024002834
3956 N. HINKLE ROAD
BLOOMINGTON, INDIANA 47408



Spot Elevations:	
1)	Proposed Elev: 798.0' Existing: 796.4'
2)	Proposed Elev: 798.0' Existing: 794.8'
3)	Proposed Elev: 798.0' Existing: 793.0'
4)	Proposed Elev: 798.0' Existing: 793.2'

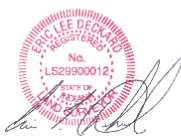


CERTIFICATION

This drawing was prepared in the office without the benefit of a field survey and examination of adjoining deeds. This certification does not take into consideration additional facts that an accurate and correct title search and/or examination of a field survey might disclose.

Certified this 23rd day of July, 2024.

Eric L. Deekard
Registered Surveyor LS29900012
State of Indiana



Record Legal Description:
In Lot Number Two Hundred and Eighty (280) in the
Town (now City) of Bloomington, Indiana.

Zoning Classification:
R4 - Residential

Setback Table:
Per Bloomington UDO 20.02.010
Front - 1.5' or the median front setback of abutting residential structure, whichever is less
Side - 5'
Rear - 25'
These lots are for "Simple Family" use.

SITE SHEET 7/23/24 24-61 WRS WRS ELD 7/23/24	REVISIONS NO. DATE 1 7/23/24	AIR BELLS KINCAID SITE PLAN A PART OF SECTION 32, T9N, R1W		DECKARD LAND SURVEYING 104 N HENDERSON STREET BLOOMINGTON IN 47403 TELEPHONE 317.336.4525 ERIC@DECKARDLANDSURV.COM

TO: Noah Sandweiss, Historic Preservation Program Manager
City of Bloomington
FROM: John & Jennifer Kincaid
DATE: July 24, 2024
RE: Description and Exterior materials for proposed home at 532 W. 7th Street

Description: Single-family residence to be occupied by owners. Main floor has primary bedroom and bathroom; kitchen; living room; dining area; office; half bathroom; laundry room. Second floor has 3 bedrooms and 2 bathrooms. Partially finished basement has family room area and bathroom; storage space and utility space. Exterior has front porch and back patio; 2-car garage.

List of planned materials for exterior:

Siding:	Hardie Board
Porch and Deck Rails and Balusters:	Wood
Pergola:	Wood
Windows:	Marvin double hung Wood/Vinyl Infinity series
or	Anderson double hung 400 series
Porches and steps:	Poured concrete with stain/tint and sealed
Porch pillars:	Brick
Chimney:	Brick
Roof:	Asphalt shingles
Doors:	Wood or composite painted



Alley west of lot





View from alley west of lot



View from lot north to 7th Street



View of lot south from 7th Street



Peter Dorfman

Mon, Jul 22, 4:54 PM (10 days ago)



to Barb, Beth, Bob, Karen, Karlyn, Sandra, William, me ▾

We met. Generally we like what we see. We would recommend against the use of vinyl on railings or windows. And we would like to know more about the foundation materials -- we think it's unfortunate that the applicant never met with us. We would not like to see a repeat of the situation at 600 West Kirkwood, where the foundation material for the new house was described as a limestone surface application, which sounded in keeping with the Guidelines, but it turned out to be a severely symmetrical, highly dressed limestone that is really not in character with the neighborhood. We would like the HPC members to examine this choice closely, and remind the applicant that the neighborhood context calls for a more rustic type of foundation.

Peter Dorfman

908 391-5921

STAFF RECOMMENDATIONS	Address: 811 W 8 th St (Near West Side HD)
COA 24-29	Petitioner: Barre Klapper
Start Date: 7/25/2024	Parcel: 53-05-32-408-012.000-005
RATING: NON-CONTRIBUTING	Gable-front house



Background: This two-story gable-front house, built in 1990 is a non-contributing structure in the Near West Side Historic District and Bloomington West Side National Historic District. It abuts an alley to the east, has a shed in the rear less than 80ft² and a gravel parking area in the alley.

Request: The petitioners propose to add a one-story 338 ft² addition to the southwest end of the house opening on the east to an open 126 ft² porch. Additionally a detached 400 ft² garage is proposed in the back yard, opening on to an alley. The materials proposed for the garage and addition will match the existing house.

The following changes are proposed for the existing house:

1. Add a casement window to the south kitchen wall.
2. Replace a single, double-hung window on the east kitchen wall with two double-hung windows.
3. Replace a double-hung kitchen window on the west wall with a casement window.
4. 3-1/2" Casing will be added around the windows and doors of the existing house

A portion of the existing 6ft rear privacy fence will be removed to make room for the new garage, and a gravel parking area in the rear will be returned to yard.

Guidelines: Near West Side District Guidelines

ROOF SHAPE:

RECOMMENDED

1. The basic outline of a new building should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.
3. The outline of any new addition should be compatible with the outline and directional orientations of the existing building.

FENCES:

Backyard and side yard fences are common and are usually made from wood in a vertically oriented design

PORCHES:

RECOMMENDED

1. Inclusion of a front porch is recommended.
2. Porch height should not exceed a single story.
3. Solid masonry foundation
4. Lattice or visual barrier below porch.
5. Columns and posts should be appropriately sized for the porch roof they are supporting and for the base on which they rest. Slender posts, with large roofs and massive bases, are visually out of balance.
6. Columns and posts should be an appropriate type for the style of house. For example, turned or square posts. Note that square posts (which historically were handmade) may be especially suitable for the plain-style houses that abound in the neighborhood.

HEIGHT:

RECOMMENDED

30 feet and two story height maximum.

Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.

MASS:

RECOMMENDED

1. The perceived total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.\

FENESTRATION:

RECOMMENDED

1. Creative ornamentation with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions and distribution of glass to solid found on surrounding contributing buildings should be reflected in new construction.
4. Window openings should reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

NOT RECOMMENDED

3. Certain window types such as casement, jalousie, or Palladian windows that are not traditionally found on surrounding historic buildings.

ACCESSORY STRUCTURES:

RECOMMENDED

1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.
2. The setback of a new accessory structure should relate to the setback pattern established by the existing accessory structures on the alley.
3. The scale, height, size, and mass of an accessory structure should be subordinate to the existing building and not overpower it. The mass and form

of the original building should be discernible, even after an addition has been constructed.

PARKING:

RECOMMENDED

1. Where possible, parking should be accessed by the existing alleys in the rear of the building.
2. Where alleys do not exist, then on-street parking is a legitimate alternative.

Staff recommends approval of COA 24-29

The only change proposed to this non-contributing house that will be visible from the public right of way will be a part of the addition that extends to the east of the building, and matches the materials, fenestration pattern, and roof pitch of the existing building. Additionally, addition's size is subordinate to the primary structure. Although the district guidelines do not recommend casement windows, these will not be visible from the public right of way, and are being added to a non-historic house.

The proposed garage is located behind the house, opens onto an alley with appropriate setback and is subordinate in size to the house, similar in scale to other detached garages in the district.

The neighborhood Design Review Committee has voiced no objection to the plan submitted.



July 25, 2024
811 W 8th Street, Bloomington, IN

Certificate of Appropriateness Request

The existing 1,675 square foot house which was constructed in 1987 is categorized as non-contributing in the Near West Side Historic District. The project proposes to construct a 340 SF sunroom/bedroom addition on the rear of the house as well as build a 396 square foot 1-1/2 car garage in the southeast corner of the property.

Proposed Changes to Existing House

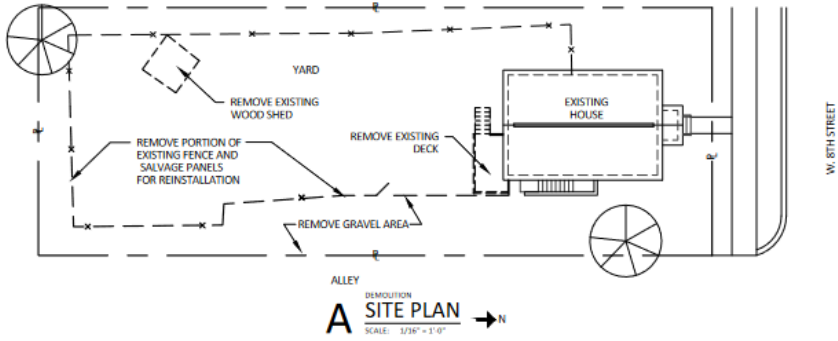
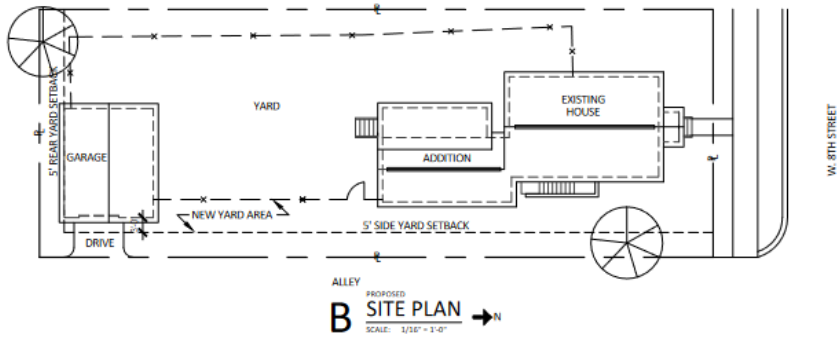
1. Add a casement window to the south kitchen wall.
2. Replace a single, double-hung window on the east kitchen wall with two double-hung windows.
3. Replace a double-hung kitchen window on the west wall with a casement window.
4. 3-1/2" Casing will be added around the windows and doors of the existing house.

Proposed New Addition and Garage

1. Siding: 4" vinyl siding system to match the look of the existing siding. Like Certainteed Monogram Siding
2. Window and Door Casing: 3-1/2" wide vinyl window and door casing. Like Certainteed Restoration Millwork Casing
3. Windows: Vinyl double-hung and awning windows. Like Pella 250 Series
4. Exterior Doors: Fiberglass, full-lite and half-lite patio doors. Like Masonite Square Panel Doors
5. Eaves: Prefinished aluminum soffit vented and non-vented.
6. Fascia & Rake: Pre-finished aluminum wrapped fascia and rake boards.
7. Foundation: Smooth CMU to match existing house foundation
8. Porch Columns: 4 x 4 wood columns with 3/4" Boral TruExterior Trim wrap, painted.
9. Porch Rail: A combination of treated wood, stained and vertical metal pipe, painted.
10. Porch Floor: Composite wood decking. Like Trex Select
11. Garage Door: Clopay Grand Harbor Steel garage door.
12. Gutters & Downspouts: Pre-finished aluminum
13. Roof: Architectural asphalt shingle roofing system. Like GAF Timberline CS

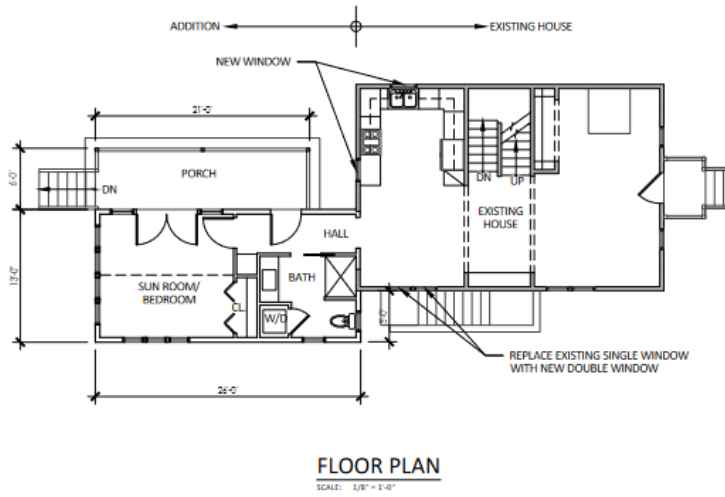
Landscape:

1. Remove a portion of the existing 6' high wood privacy fence to construct the addition and garage. Fence panels will be salvaged and reused where possible.
2. Existing gravel parking area to be removed and returned to yard.



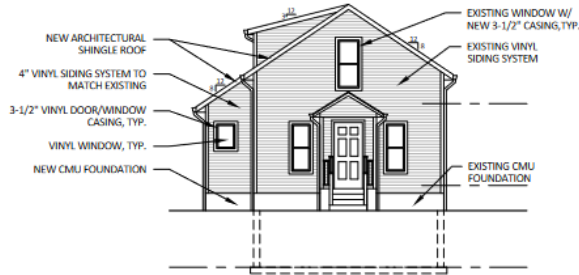
**811 WEST 8TH STREET
BLOOMINGTON, INDIANA**

JULY 25, 2024



**811 WEST 8TH STREET
BLOOMINGTON, INDIANA**

JULY 25, 2024



B NORTH ELEVATION
SCALE: 1/8" = 1'-0"

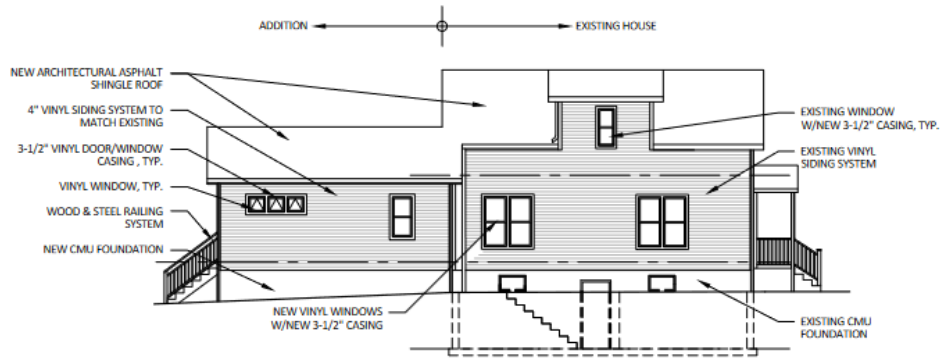


A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



811 WEST 8TH STREET
BLOOMINGTON, INDIANA

JULY 25, 2024

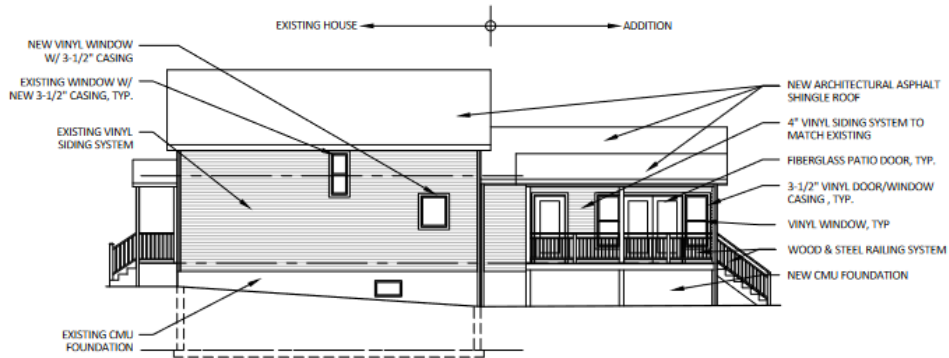


EAST ELEVATION
SCALE: 1/8" = 1'-0"



811 WEST 8TH STREET
BLOOMINGTON, INDIANA

JULY 25, 2024

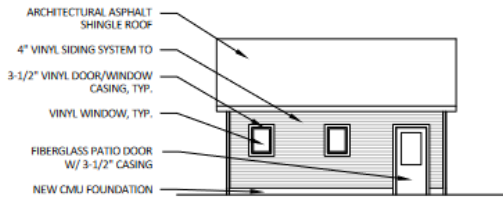


WEST ELEVATION
SCALE: 1/8" = 1'-0"

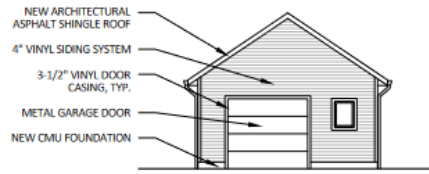


811 WEST 8TH STREET
BLOOMINGTON, INDIANA

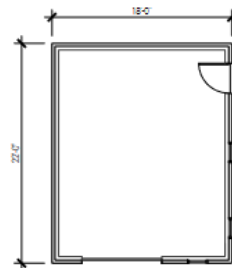
JULY 25, 2024



C GARAGE NORTH ELEVATION
SCALE: 1/8" = 1'-0"



B GARAGE EAST ELEVATION
SCALE: 1/8" = 1'-0"



A GARAGE FLOOR PLAN
SCALE: 1/8" = 1'-0"



811 WEST 8TH STREET
BLOOMINGTON, INDIANA

JULY 25, 2024



Peter Dorfman

to me ▾

Fri, Jul 26, 5:02 PM (6 days ago)



Noah:

The NWS Design Review Committee has reviewed this application. Assuming the choice of roofing shingles is of a neutral color in context with the roofs of nearby houses, we see nothing to object to from a historic preservation perspective.

Peter Dorfman
908 391-5921

STAFF RECOMMENDATIONS	Address: 2201 East 7th Street
DD 24-14	Petitioner: Sable Beyers
Start Date: 4/15/2024	Parcel: 53-05-34-412-005.000-005
RATING: Contributing	Survey: House c. 1940



Background: Built in 1940, 2201 E 7th is distinguished by a corner porch and bay window protruding from the center-front gable. The house has been minimally altered with replacement fenestration. From 1950-1959, the house was owned by IU chemistry professor Robert Fischer. An expert in electromicroscopy, Fischer was stationed at Oak Ridge Kentucky during World War II, where he researched heavy water for the Manhattan Project. In his time at IU, he studied the efficacy of fluoride in toothpaste. For its part in the study, Indiana University was given the patent for Crest toothpaste, which helped fund the Oral Health Research Institute at IUPUI in 1968.

Request: Full demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation: Staff Recommends release of DD 24-14.

STAFF RECOMMENDATIONS	Address: 310 North Jefferson Street
DD 24-15	Petitioner: Sable Beyers
Start Date: 4/15/2024	Parcel: 53-05-34-412-007.000-005
RATING: Contributing	Survey: Bungalow c. 1930



Background: This minimal bungalow was built in 1945, and was occupied during the 1950s by Donald Baugh, a driver for Indiana University. From the 1960s on, the house served as a rental, periodically standing vacant. The house retains most of its historic integrity, although the siding and fenestration have been replaced. County property records indicate that a secondary structure on the lot was demolished in 2006, reducing the value of improvements on the lot by \$7,000.

Request: Full demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation: Staff Recommends release of DD 24-15.

STAFF RECOMMENDATIONS	Address: 314 North Jefferson Street
DD 24-16	Petitioner: Sable Beyers
Start Date: 4/15/2024	Parcel: 53-05-34-412-010.000-005
RATING: Contributing	Survey: Minimal Ranch c. 1950.



Background: 314 N Jefferson is a minimal ranch and mirror image of its neighbor 318 N Jefferson. Built in the early 1950s, it represents a common form of National Home designed for veterans seeking to enter the housing market. As early as 1957 the home was owned by Anna and Russel Gross, who lived at the site until 1965. Russel was a corporal in the US army and later a janitor at the University, and Anna received her BA and MEd at IU before going on to teach at Unionville Elementary. Born Anna Lee Deckard on Deckard Ridge Rd in what is now Yellowwood State Forest, and attended the Deckard school, entirely staffed by Deckards. Anna taught in one-room schoolhouses in Brown County and at Camp Atterbury during WWII before coming to IU, Anna completed her BA in 1953 at the age of 39.

Request: Full demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation: Staff Recommends release of DD 24-16.

STAFF RECOMMENDATIONS	Address: 318 North Jefferson Street
DD 24-17	Petitioner: Sable Beyers
Start Date: 4/15/2024	Parcel: 53-05-34-412-001.000-005
RATING: Contributing	Survey: Minimal Ranch c. 1950



Background: A minimal ranch and mirror image of 314 N Jefferson, 318 N Jefferson was inhabited from at least 1957-1959 by IU French professor Edward Najam. Najam sat on as many as eleven committees – university, state, and national – including the Rhodes Scholarship and Woodrow Wilson Fellowship selection committees. From 1958 to 1963 he was assistant dean in the College of Arts and Sciences, where he also served as acting dean. For his work promoting French language education, he was inducted into L’Ordre des Plumes Academiques by the Republic of France. In 1960 the house was occupied by Howard Smith, a non-faculty scientist at the Indiana Geological Survey.

Request: Full demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation: Staff Recommends release of DD 24-17.

STAFF RECOMMENDATIONS	Address: 324 North Jefferson Street
DD 24-18	Petitioner: Sable Beyers
Start Date: 4/15/2024	Parcel: 53-05-34-412-014.000-005
RATING: Contributing	Survey: Bungalow c. 1930



Background: Built in 1940, this substantially unaltered front-gabled bungalow with shed dormers shares its lot with a non-contributing art studio-turned-residence. From 1952-1953, the house was owned by the family of Charles Munson, a bar manager who died in a traffic accident at the age of 39. Over the following two decades, the house was occupied by a succession of sociology lecturers and PhD students including influential sociologist George Psathas, child psychologists Louise and Dale Gilsdorf, gender studies researcher Don Auster and business professor Nancy Auster, student and peace activist Joe Grabill, and Japanese philosopher Ori Kan. In 1978, the house was bought by IU sculpture professor Jean-Paul Darriau, best known locally for the Red Blonde Black and Olive statues at Showers Park and the bronze Adam and Eve statues in Dunn Woods. His work has also been featured at the Hirschhorn and Guggenheim. Darriau's work often concerned the subjects of race, gender, and sexuality. After

Darriau passed in 2007 his wife Cherry, a long-time yoga instructor at IU, sold the house to a rental company.

Request: Full demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff Recommendation: Staff Recommends release of DD 24-18.

Green Acres Support and Objections

Along with their application, the petitioners for the Green Acres Conservation District submitted a petition with 73 signatures, 25 from renters and 48 from homeowners, representing a total of 59 households, 38 of which are owner occupied.

Additionally, I have received two emails from residents and one from a non-resident property owner expressing their objection to the proposed Conservation District as well as several calls from individuals who are opposed to the proposition. Attached below is a uReport I received regarding the designation.



uReport

City of Bloomington, Indiana

Cases

Locations

Report a problem

#192312

open

Other:

Other: Heard Green Acres wants a conservation district. This is an inappropriate use of historic preservation protections. Historic preservation should be to preserve history, not to prevent development as a NIMBY tactic. This area should be able to grow and evolve to meet the density and environmental priorities of the City. There are other areas that have superior and unique historic structures. Don't make a joke of historic preservation. Please include this in public comment in the packet. The City needs a plan for historic preservation of choosing key areas of the City to protect. Blocking general development helps no one. Areas adjacent to campus should maximize student housing for the benefit of all residents.