

CITY OF BLOOMINGTON



PLAN COMMISSION

November 13, 2017 @ 5:30 p.m.
COUNCIL CHAMBERS #115
CITY HALL

**CITY OF BLOOMINGTON
PLAN COMMISSION
November 13 @ 5:30 p.m.**

❖ **City Council Chambers – 401 N. Morton**

ROLL CALL

MINUTES TO BE APPROVED: September 11, 2017

REPORTS, RESOLUTIONS AND COMMUNICATIONS:

PETITIONS CONTINUED TO: December 11, 2017

PUD-27-17 Public Investment Corporation
2700 W. Tapp Rd.
PUD plan approval and preliminary and final plat approval of a 24-lot subdivision.
Case Manager: Eric Greulich

CONSENT AGENDA:

ZO-20-17 City of Bloomington
UDO Amendment (Sexually-Oriented Businesses)
Amendment to the City's Unified Development Ordinance to change the development standards for Sexually-Oriented Businesses
Case Manager: James Roach

SP-33-17 Boys & Girls Club
311 S. Lincoln St.
Site plan approval for a 6,000 square foot addition to an existing community center.
Case Manager: Amelia Lewis

PUD-35-17 Regency Properties
2182 W. Tapp Rd.
Development plan approval of 136 multi-family units on 8.2 acres.
Case Manager: Eric Greulich

SP-37-17 City of Bloomington Redevelopment Commission
401 & 555 N. Morton St.
Site plan to facilitate parking lot reconstruction.
Case Manager: Jackie Scanlan

PETITIONS:

SP-26-17 H. M. Mac Development LLC
335, 325, 337 S. Walnut St.
Site plan approval for a 4-story mixed-use building with 60 dwelling units and 13,906 square feet of commercial space
Case Manager: Eric Greulich

SP-34-17 TMC Bloomington LLC
121 E. Kirkwood St.
Site plan approval for a 5-story, mixed-use building with 22 condominium units.
Case Manager: James Roach

UV-36-17

Gwynne & Ben Shively

722 W. Second St.

Plan Commission review of use variance for barber shop/beauty salon in the Medical (MD) zoning district.

Case Manager: Amelia Lewis



**City of Bloomington
Office of the Common Council**

To: Joe Hoffman, President, City of Bloomington Plan Commission

From: Stacy Jane Rhoads, Office of the Common Council

cc: Mayor Hamilton; Deputy Mayor Renneisen; Terri Porter, Director of Planning and Transportation Department; James Roach, Development Services Manager; Anahit Behjou, Assistant City Attorney; Dan Sherman, Council Administrator/Attorney; Council Members; and, City Clerk

Re: Return of ZO-20-17 (Ordinance 17-35) to the Plan Commission, Accompanied by a *Statement of Reasons*

Date: 03 November 2017

ZO-20-17 was certified to the City Clerk on 22 August 2017. This certification indicated that ZO-20-17 received a favorable recommendation from the Plan Commission on 14 August 2017 by a vote of 6-0-0. ZO-20-17 proposed amendments to the City's Unified Development Ordinance (UDO) specific to Sexually-Oriented Businesses. These amendments came forward to the Common Council in the form of Ordinance 17-35.

Pursuant to Indiana Code § 36-7-4-607(e)(4), if the legislative body rejects or amends the Plan Commission's proposal, the legislative body shall return the proposal to the Plan Commission for its consideration, accompanied by a written statement of the reasons for the rejection or amendment of the original proposal. On 01 November 2017, the Council adopted an amendment to Ordinance 17-35, and passed the measure as amended. For that reason, please consider this packet of material as satisfaction of the requirements of Indiana Code § 36-7-4-607(e)(4).

This packet of material includes the following:

- A summary of the amendment, inclusive of the reason for the change.
- Ordinance 17-35, as amended— signed by the Council President, as attested by the City Clerk
- Plan Commission's Certificate of Action to the Council
- Am 01

Amendment **Statement of Reason**

Am 01 This amendment was sponsored by Councilmember Piedmont-Smith. It amended Section 2(a) by inserting a new part (6), regarding homeless shelters, and by renumbering subsequent parts. This change prohibits a sexually-oriented business from locating within 500 feet of a homeless shelter and was proposed out of concern about the effect a closer proximity may have on children or youth who may be housed in shelters.

Please consult your counsel about the requirements of Indiana Code § 36-7-4-607(e)(4), which gives the Plan Commission forty-five (45) days in which to consider the rejection or amendment and report to the legislative body.

ORDINANCE 17-35
TO AMEND TITLE 20 (UNIFIED DEVELOPMENT ORDINANCE)
OF THE BLOOMINGTON MUNICIPAL CODE
- Re: Amending Section 20.02.300 to allow Sexually Oriented Businesses as a Permitted Use in Commercial General (CG) Zoning Districts and Deleting and Replacing Section 20.05.078 “Sexually Oriented Businesses -- General”

- WHEREAS, the City of Bloomington began regulating sexually-oriented businesses (“SOB”) in 2006 with the adoption of the Unified Development Ordinance (“UDO”); and
- WHEREAS, in 2006 the City of Bloomington Plan Commission made findings documenting the harmful secondary effects of SOBs and these finding were ratified, accepted, and adopted as their own by the Common Council *via Ordinance 06-24*, the measure adopting the UDO; and
- WHEREAS, under the current UDO, a SOB shall not be located on a property within five hundred (500) feet of (1) Place of worship; (2) School (preschool, K-12); (3) Day care center, child or adult; (4) Park; (5) Library; (6) Residential district, including any portion of a Planned Unit Development designated for residential use; (7) Large-scale Multi-tenant nonresidential center; (8) Cemetery; and (9) Another sexually oriented business; and
- WHEREAS, under the current UDO, the distance between a SOB and established uses outlined above shall be measured from the nearest property line of the property from which spacing is required to the nearest property line on which the sexually oriented business use will be located, using a straight line, without regard to intervening structures or public rights-of-way; and
- WHEREAS, in 1986, in the case of *City of Renton vs. Playtime Theatres Inc.*, the U.S. Supreme Court held that a zoning ordinance that provided approximately five percent (5%) of the entire land area of the City for sexually-oriented businesses was constitutional and provided adequate land area for First Amendment free speech and expression; and
- WHEREAS, under the current UDO, only 4.13 Acres or 0.045% of Bloomington land area is available for SOB; and
- WHEREAS, the City of Bloomington wishes to change the UDO to align with the Supreme Court holding; and
- WHEREAS, On August 14, 2017, the Plan Commission considered ZO-20-17, and made a positive recommendation in favor of the amendments to the UDO, as described herein;

NOW THEREFORE, BE IT HEREBY ORDAINED BY THE COMMON COUNCIL OF THE CITY OF BLOOMINGTON, MONROE COUNTY, INDIANA, THAT:

SECTION 1. Section 20.02.300, entitled Commercial General (CG); Permitted Uses, shall be amended by adding “Sexually Oriented Businesses” as a permitted use.

SECTION 2. Section 20.05.078, entitled SX-01 (Sexually Oriented Businesses – General), shall be deleted and replaced with the following:

20.05.078 SX-01 (Sexually oriented businesses -- General).

Purpose. Within the city it is acknowledged that there are some uses, often referred to as sexually oriented businesses, which because of their nature can have a negative impact on nearby property, particularly when these sexually oriented businesses are concentrated together or located in direct proximity to residential uses, child care centers, churches, cemeteries, schools, libraries, playgrounds, and/or parks. Special regulations for these sexually oriented businesses are necessary to insure that these adverse impacts will not contribute to the blighting of

surrounding areas. The primary goal of these regulations is to prevent the concentration or location of these uses in a manner that would exacerbate their adverse effects.

This sexually oriented business standards section applies to the following zoning districts:


CA IG CG

- (a) Location. A sexually oriented business shall not be located on a property within five hundred (500) feet of any of the following:
- (1) Place of worship;
 - (2) School (preschool, K-12);
 - (3) Day care center, child or adult;
 - (4) Park (for purposes of this section, publicly owned multiuse trails shall be deemed to be a park);
 - (5) Library;
 - (6) Homeless Shelter;
 - (7) Single Family district, including any portion of a planned unit development designated for single family use;
 - (8) Multi-Family district, including any portion of a planned unit development designated for multi-family use; and
 - (9) Another sexually oriented business.
- (b) PUDs. For the purposes of this section, sexually oriented businesses shall be considered permitted uses in any Planned Unit Development created before February 12, 2007 where the underlying zoning is CA, CG or IG.
- (c) Distance Measurements. The distance between a sexually oriented business and established uses outlined in 20.05.078(a) shall be measured from the nearest property line of the property from which spacing is required to the nearest wall of the building or tenant space that houses the sexually oriented business use using a straight line, without regard to intervening structures or public rights-of-way.
- (d) Exterior Display. No sexually oriented business shall be conducted in any manner that permits the observation from any right-of-way of material depicting specified sexual activities or specified anatomical areas by display, decoration, sign, show window or other opening.


SECTION 3. If any section, sentence or provision of this ordinance, or the application thereof to any person or circumstances shall be declared invalid, such invalidity shall not affect any of the other sections, sentences, provisions, or applications of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are declared to be severable.

SECTION 4. This ordinance shall be in full force and effect from and after its passage by the Common Council of the City of Bloomington and approval of the Mayor, and after any required waiting and/or notice periods under Indiana law.

PASSED by the Common Council of the City of Bloomington, Monroe County, Indiana, upon this 1st day of November, 2017.


 SUSAN SANDBERG, President
 Bloomington Common Council

ATTEST:


 NICOLE BOLDEN, Clerk
 City of Bloomington

PRESENTED by me to the Mayor of the City of Bloomington, Monroe County, Indiana, upon this _____ day of _____, 2017.

NICOLE BOLDEN, Clerk
City of Bloomington

SIGNED and APPROVED by me upon this _____ day of _____, 2017.

JOHN HAMILTON, Mayor
City of Bloomington

SYNOPSIS

This ordinance amends Title 20 (the Unified Development Ordinance) of the Bloomington Municipal Code. The ordinance modifies Section 20.02.300, Commercial General (CG) by adding Sexually Oriented Businesses as a permitted use. The ordinance also modifies the locations from which Sexually Oriented Businesses must be sited a minimum of 500 feet by removing large scale multi-tenant nonresidential centers and cemeteries from the list and by breaking out the residential components into “Single Family district” and “Multi-Family district.” The ordinance also makes clear that Sexually Oriented Businesses are permitted in Planned Unit Developments created before the 2007 effective date of the UDO where the underlying zoning district is CA, CG, or IG. Lastly, by the ordinance changes existing code by modifying the way that distance is measured such that the 500-foot distance requirement is measured from the line of the property of the protected use to the wall of the Sexually Oriented Business.

Note: At the November 1, 2017 Regular Session, the Council adopted Am 01, which amended Section 2 of this ordinance to add homeless shelters to the list of uses or districts which must be located at least 500 feet from a sexually oriented business.

Also, as an amendment to the text of the Unified Development Ordinance (Title 20), the effective date of the ordinance is governed by IC 36-7-4-607 and IC 36-7-4-609.

****ORDINANCE CERTIFICATION****

In accordance with IC 36-7-4-605 I hereby certify that the attached Ordinance Number 17-35 is a true and complete copy of Plan Commission Case Number ZO-20-17 which was given a recommendation of approval by a vote of 6 Ayes, 0 Nays, and 0 Abstentions by the Bloomington City Plan Commission at a public hearing held on August 14, 2017.

Date: August 22, 2017

Terri Porter, Secretary
Plan Commission

Received by the Common Council Office this 22nd day of August, 2017.

Nicole Bolden, City Clerk

Appropriation Ordinance # _____	Fiscal Impact Statement Ordinance # _____	Resolution # _____
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Type of Legislation:

Appropriation	End of Program	Penal Ordinance
Budget Transfer	New Program	Grant Approval
Salary Change	Bonding	Administrative Change
Zoning Change	Investments	Short-Term Borrowing
New Fees	Annexation	Other _____

If the legislation directly affects City funds, the following must be completed by the City Controller:

Cause of Request:

Planned Expenditure _____	Emergency _____
Unforeseen Need _____	Other _____

Funds Affected by Request:

Fund(s) Affected _____		
Fund Balance as of January 1 _____	\$ _____	\$ _____
Revenue to Date _____	\$ _____	\$ _____
Revenue Expected for Rest of year _____	\$ _____	\$ _____
Appropriations to Date _____	\$ _____	\$ _____
Unappropriated Balance _____	\$ _____	\$ _____
Effect of Proposed Legislation (+/-) _____	\$ _____	\$ _____
Projected Balance _____	\$ _____	\$ _____

Signature of Controller

Will the legislation have a major impact on existing City appropriations, fiscal liability or revenues?

Yes _____ No _____

If the legislation will not have a major fiscal impact, explain briefly the reason for your conclusion.

If the legislation will have a major fiscal impact, explain briefly what the effect on City costs and revenues will be and include factors which could lead to significant additional expenditures in the future. Be as specific as possible. (Continue on second sheet if necessary.)

***** Amendment Form *****

Ordinance #: 17-35
Amendment #: 01
Submitted By: Cm. Piedmont-Smith, District V
Date: October 31, 2017

Proposed Amendment:

1. Section 2 (a) of Ord 17-35 shall be amended by inserting a new Part (6), which shall read as follows and by renumbering subsequent parts (see otherside of this sheet):

(6) Homeless Shelter;

Synopsis

This amendment is sponsored by Cm. Piedmont-Smith. It would amend Section 2(a) by inserting a new part (6), regarding homeless shelters, and renumbering subsequent parts. This would prohibit a sexually oriented business from locating within 500 feet of a homeless shelter and is being proposed out of concern about the effect a closer proximity may have on children or youth who may be housed in shelters. Please note that, if adopted, the Council must return this amendment to the Plan Commission with a statement of reasons for the change.

10/25/17 Committee Action: None
11/1/17 Regular Session Action: 9 – 0
ADOPTED

(1 November 2017)

Amendment in context of Part 2(a)



- (a) Location. A sexually oriented business shall not be located on a property within five hundred (500) feet of any of the following:
- (1) Place of worship;
 - (2) School (preschool, K-12);
 - (3) Day care center, child or adult;
 - (4) Park (for purposes of this section, publicly owned multiuse trails shall be deemed to be a park);
 - (5) Library;
 - (6) **Homeless Shelter;**
 - ~~(6)~~ (7) Single Family district, including any portion of a planned unit development designated for single family use;
 - ~~(7)~~ (8) Multi-Family district, including any portion of a planned unit development designated for multi-family use; and
 - ~~(8)~~ (9) Another sexually oriented business.

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 335, 325, 337 S. Walnut St.**

**CASE #: SP-26-17
DATE: November 13, 2017**

PETITIONER: H.M. Mac Development, LLC
112 E. 3rd St, Bloomington

CONSULTANTS: Smith Brehob & Associates
453 S. Clarizz Blvd, Bloomington

REQUEST: The petitioner is requesting site plan approval for a four-story mixed use building.

BACKGROUND:

Area: 0.89 acres
Current Zoning: CD – Downtown Core Overlay
GPP Designation: Downtown
Existing Land Use: Multi-tenant Office
Proposed Land Use: Commercial / Dwelling, Multi-Family
Surrounding Uses: North – BT transit station
West – Business/Professional Office
East – Business/Professional Office/Multi-family residences
South – Project School

CHANGES SINCE FIRST HEARING: Since the first hearing the petitioner has made several changes to the overall petition in order to bring the project into compliance with the UDO standards including:

- reducing the number of bedrooms from 168 to 154
- reducing the number of 4 and 5-bedroom units
- increasing the amount of modulation along the ground floor
- increasing the amount of commercial square footage to 15,015 sq. ft. to meet the 50% requirement
- providing the required setback along the 4th story
- removing the proposed driveway entrance on Walnut Street.
- removing proposed green development features and affordable housing component

REPORT: The property is located at 321-331 S. Walnut Street and is zoned Commercial Downtown (CD) and is within the Downtown Core Overlay. The property contains two one-story, multi-tenant office buildings which also includes the Rhino's youth center. Surrounding land uses include the Bloomington Transit bus station to the north, the Project School to the south, and business/professional offices to the east and west.

The petitioner is proposing to remove the existing buildings and construct a 4-story, mixed-use building. The new building will contain 60 dwelling units, 154 bedrooms, 93 parking spaces, and 15,015 sq. ft. of ground floor commercial space. The petitioner has stated that one of the proposed commercial spaces has been set aside to allow for Rhino's youth center to be relocated on this site. A split level parking garage is proposed

with one entrance from the alley on the north side of the building and one entrance off of the alley to the east.

The ground level of the building will be finished in brick and storefront glazing with the upper floors utilizing a metal panel siding. There is an existing tree plot along Walnut Street that will be lengthened due to the removal of two existing drive cuts. New street lights and bicycle parking are required and will be installed within the right-of-way with this petition.

Plan Commission Site Plan Review: Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.090. Those aspects are as follows:

The Plan Commission shall review:

- Any proposal that is adjacent to a residential use.
- Any multi-family residential project with more than 100 bedrooms.

SITE PLAN ISSUES:

Residential Density: The maximum residential density in the Downtown Core Overlay (DCO) is 60 units per acre. The petition site is 0.89 acres. The petitioner is proposing:

Unit Type	Number of Units	Number of Beds	DUEs
Studio	6	6	1.2
1-Bedroom	15	15	3.75
2-Bedroom	4	8	2.6
3-Bedroom	21	63	21
4-Bedroom	8	24	12
5-Bedroom	6	60	12
	60	154	52.59 DUE

This petition would have 52.59 DUEs and is 0.89 acres in size, so the proposed density is 59 units per acre which does not exceed the 60 units per acre allowed.

Ground Floor Commercial Use: The Downtown Core Overlay district requires that 50% of the ground floor be used for non-residential space. The building is required to have 14,850 sq. ft. of the ground floor be utilized for non-residential space and the petitioner is providing 15,015 sq. ft. (50.2%). This space is proposed to be divided into separate tenant spaces with at least one of the spaces being used for Rhino's youth center. This petition meets the 50% ground floor non-residential requirement.

Height: The maximum height in the DCO is 50 feet and the proposed building is 49' 11". The proposal does not exceed the maximum height limit of the district.

Parking: The DCO does not require parking spaces for nonresidential or residential uses since the site is south of 4th Street. However, the petition is proposing a total of 93 parking spaces with this petition. These spaces would be available for both the commercial tenants and the residences.

Access: The parking garage will be accessed from an access point from the alley on the north side of the building and one access point from the alley to the east. The previously proposed garage entrance from Walnut Street has been removed. There are pedestrian entrances on the west side of the building for the commercial spaces and a center main residential entry on Walnut St. for tenants to access the apartments.

Bicycle Parking: Four bicycle parking spaces are required for the non-residential use and 28 bicycle parking spaces are required for the residential use, for a total of 32 required bicycle parking spaces. The petitioner is proposing to provide 21 long term Class I spaces inside the building and 12 uncovered spaces along the front for a total of 33 on-site bicycle parking spaces which meets the bicycle parking requirement. Since there are more than 32 bedrooms, at least half of the required bicycle parking spaces must be covered and $\frac{1}{4}$ of the spaces must be long term lockers. The petitioner is meeting that requirement by providing the 21 Class I spaces inside the building. There will be 2 bicycle racks for 6 bikes each located in front of the building in the right-of-way.

Stepback/Architecture: The proposed ground floor of the building is primarily brick with storefront windows and limestone accents along the entry points. The upper floors are a metal siding panel with fiber cement siding for accent. The building has a center recessed module with an outdoor patio and courtyard for the residents. Since the building is taller than 45' it is required to have a step-back of at least 15' to help offset the massing. This stepback has been incorporated into the building design and the 4th floor has been recessed 15'. The building also has an inset center module to break up the massing of the building.

Streetscape: There is an existing tree plot along the Walnut Street frontage with street trees that are in good condition. These existing street trees can be saved and the Department will work with the petitioner to preserve these during construction. Additional street trees and pedestrian-scaled lighting are required along Walnut Street and must be approved by the Board of Public Works. There are 2 existing drivecuts on Walnut Street that will be removed with this petition and a new sidewalk and tree plot will be installed in their place.

Impervious Surface Coverage: The Downtown Core Overlay allows for 100% impervious surface coverage. Although not required, the petitioner is providing green space along the entire perimeter of the building and this greenspace will be landscaped with native species.

Pedestrian Facilities/Alternative Transportation: The existing sidewalk along the Walnut Street frontage will remain essentially the same and will be enhanced with the new street trees, street lighting, bicycle parking facilities, and a portion of new sidewalk. Any encroachments in the right-of-way must be approved by the Board of Public Works.

Building Façade Modulation: BMC 20.03.130(c)(1)(A) requires a maximum façade width for each module of 65 feet for those sides of the buildings with street frontage. The building has been designed to meet that requirement by showing 4 main modules that are less than 55' wide with the center inset module being 53' wide. The entryways for the commercial space have been inset 7' which, along with the overall recessing of the ground floor, creates a 9' recess for the required modules.

Void-to-Solid Percentage: The DCO sets a minimum first floor void-to-solid requirement of 60% for the ground floor and 20% for the upper stories. The proposal meets these requirements by providing 68% along the ground floor and 24% on the upper floors.

CRITERIA AND FINDINGS FOR SITE PLANS

20.09.120 (e)(9) The staff or plan commission, whichever is reviewing the site plan, shall make written findings concerning each decision to approve or disapprove a site plan.

(A) **Findings of Fact.** A site plan shall be approved by the plan commission only upon making written findings that the site plan:

(i) Is consistent with the growth policies plan;

Proposed Findings:

- The site is in the Downtown area of the Growth Policies Plan (GPP).
- The Downtown area is a mixed use, high intensity activity center serving regional, community-wide, and neighborhood markets. Bloomington must strive to improve downtown as a compact, walkable, and architecturally distinctive area in the traditional block pattern that serves as the heart of Bloomington while providing land use choices to accommodate visitors, business, shoppers and residents. (GPP, 28) The petition provides commercial and residential space in the center of the Downtown area, and provides density to increase the walkability of the area.
- A mix of office, commercial, civic, high-density residential and cultural uses are recommended for the downtown. (GPP, 28)
- The Downtown area should be targeted for increased residential density (100 units per acre) and for intensified usage of vacant and under-utilized buildings. (GPP, 39)

(ii) Satisfies the requirements of Chapter 20.02, Zoning Districts;

The UDO includes an intent for the CD district and guidance for the Plan Commission in 20.02.370. The following items address those intent and guidance statements.

Proposed Findings:

- The project does serve to protect and enhance the central business district by providing a long-term tenant space for the Rhino's youth center.
- The project does provide high density development of mixed uses with storefront retail, and residential dwelling uses.
- Though future renters are unknown, the project does appear to promote a diversity of residential housing for all income groups and ages through its varied housing offerings and workforce housing commitment.
- The project does incorporate pedestrian-oriented design through first-floor window design, and use of scale and massing and does accommodate alternative means of transportation by providing ample bicycle parking both inside the building and along the frontage.

- The project does intensify the use of vacant and under-utilized properties, by developing the vacant eastern lot and reusing the existing building.
- The project does provide commercial on the ground floor with residential uses above, though it does incorporate unique live/work space on the ground floor, as well.
- The proposal does further the GPP goal of sustainable development design through the incorporation of mixed use, building reuse, and densification toward a reduced resource consumption.

(iii) Satisfies the requirements of Chapter 20.05, Development Standards;

Proposed Findings:

- The project meets all applicable development requirements of Chapter 5.

(iv) Satisfies the requirements of Chapter 20.07, Design Standards; and

Proposed Findings:

- No subdivision is involved, so this is not applicable.

(v) Satisfies any other applicable provisions of the Unified Development Ordinance.

The UDO includes an intent for the DCO district and guidance for the Plan Commission in 20.03.080. The following items address those intent and guidance statements

Proposed Findings:

- *Ensure that new development is compatible in mass and scale with historic structures in the Downton Core Character Area* – The only adjacent structure is the Food Works/Middle Way House that is to the east and this building is separated from the building by an alley and surface parking lot. No impacts to that building are found with this proposal.
- *Draw upon the design traditions exhibited by historic commercial buildings by providing individual, detailed storefront modules that are visually interesting to pedestrians* – The building features separate entrances for the commercial spaces that are recessed and have large glass storefront windows to provide pedestrian scale design. The project provides a diverse mix of traditional commercial retail uses at the street level to capitalize on, maintain and enhance the pedestrian activity generated by the DCO District by including three retail spaces along the Walnut Street frontage.
- *Promote infill and redevelopment of sites using residential densities and building heights that are higher in comparison to other Character Areas within the Downtown* – The site has been developed with the maximum density allowed in this district and the building is just short of the maximum height. The density is comparable to other projects approved in this overlay district.

Per 20.03.100, the Plan Commission shall approve a site plan that meets all of the standards of 20.03.120, 20.03.130, and 20.09.120.

- The petition meets all of the standards of 20.03.120, 20.03.130, and 20.09.120.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 3 recommendations concerning this development:

1. The Petitioner should apply green building and site design practices to create a high performance, low-carbon footprint structure.

Response: Although not required the Department encourages the petitioner to incorporate as many green building practices as possible.

2. The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick them up.

Response: Although not required, the Department highly encourages the petitioner to provide this service for the residents.

3. The Petitioner shall work with the Department to revise the Landscape Plan

Response: A fully compliant landscape plan must be submitted prior to issuance of a grading or building permit. A condition of approval to that effect has been included.

CONCLUSION: This petition meets all of the DCO Development Standards. It includes various positive aspects related to larger City goals including compact urban form; additional commercial space in the downtown; and innovative design.

RECOMMENDATION: The Department recommends that the Plan Commission adopt the proposed findings and approve SP-26-17 with the following conditions:

1. Architecture must be consistent with submitted elevations and renderings.
2. A right-of-way permit is required prior to any work in the right-of-way.
3. A maintenance of traffic plans must be submitted and approved prior to issuance of a grading or building permit.
4. A fully compliant landscape plan must be submitted prior to issuance of a building permit.

MEMORANDUM

Date: October 31, 2017

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Through: Linda Thompson, Senior Environmental Planner

Subject: SP-26-17, Urban Station Phase Two, second design
325, 335, 337 S. Walnut St.

The purpose of this memo is to convey the environmental concerns and recommendations of the Environmental Commission (EC) with the hope that action will be taken to enhance the environmental integrity of this proposed plan. The request is for a Site Plan that calls for demolishing the current buildings and constructing one new, large, mixed-use building.

ISSUES OF SOUND ENVIRONMENTAL DESIGN

1.) ENVIRONMENT-ENHANCING BUILDING PRACTICES

Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the Unified Development Ordinance (UDO). Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative. Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by former Mayor Kruzan; by City Council Resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions; by City Council Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

The EC recommends that the developer design the building with as many best practices for energy savings and resource conservation as possible. Some specific recommendations to mitigate the effects of climate change and dwindling resources include the following.

a. Construction and demolition debris

The EC recommends that construction and demolition debris from the existing structure and construction of the new buildings be collected for reuse or recycling. This material could be sold to local salvage businesses, given to a resale store for future re-use, or recycled. Very little material should have to be disposed in a landfill.

b. Recycling

The EC recommends that space be allocated for recyclable-materials collection, which will reduce the facility's carbon footprint and promote healthy indoor and outdoor environments. Recycling has become an important norm that has many benefits in energy and resource conservation. People expect to have recycling facilities available in multi-family homes as they do in single family homes, and we hear many complaints from those who do not. Recycling is an elementary environmental practice, given that the City of Bloomington has been promoting it since the early seventies. Recycling is thus an important contributor to Bloomington's environmental quality and sustainability and is expected in a 21st-century structure.

c. Reduce the Heat Island Effect The roof material should have a minimum initial Solar Reflective Index (SRI) of 0.65, and an aged index of 0.55. (SRI is a value that incorporates both solar reflectance and emittance in a single value to represent a material's temperature in the sun. SRI quantifies how hot a surface would get relative to standard black and standard white surfaces. It is calculated using equations based on previously measured values of solar reflectance and emittance as laid out in the American Society for Testing and Materials Standard E 1980. It is expressed as a fraction (0.0 to 1.0) or percentage (0% to 100%)). If a roof membrane is used, it should be white in color, embedded with reflective material, or covered with a reflective coating or a white granulated cap sheet.

d. Solar energy generation Install solar photovoltaic cells to reduce the use of greenhouse-gas emitting pollutants. This building is ideal for photovoltaic (PV) solar panels because it has a flat roof. Solar power is now competitive with coal, especially considering the full-cost accounting price.

e. Electric vehicle charging stations The parking areas for the residential units should have some electric vehicle charging stations.

2.) LANDSCAPING

The Landscape Plan submitted requires some additional information. Given the constraints on this site, the EC believes that the landscaping should be dense in every available space on the property. Furthermore, the plan should be designed with plantings that benefit local pollinating insects and birds, reduce the heat island effect, and slow and cleanse rainwater. Using native plants provides food and habitat for birds, butterflies and other beneficial insects, promoting biodiversity in the city. Native plants do not require chemical fertilizers or pesticides and are water efficient once established.

The proposed development is on an important, highly traveled thoroughfare for Bloomington's downtown. The EC always promotes development designs that are consistent with "complete streets" usability, inviting gateway character, and enhanced environmental sustainability, but finds it exceedingly important in this location. There are many design concepts to consider, from landscaping that celebrates Bloomington's natural heritage, to creating public gardens to enhance neighborhood comradeship, to choice of building materials and architecture that promote a sense of place and reflects our city's commitments to green building and sustainability.

EC RECOMENDATIONS

- 1.) The Petitioner should apply green building and site design practices to create a high performance, low-carbon footprint structure.
- 2.) The Petitioner should provide space for recyclable materials to be stored for collection, and a recycling contractor to pick them up.
- 3.) The Petitioner shall work with staff to revise the Landscape Plan.

November 1, 2017

Terri Porter
Director of Planning and Transportation
The City of Bloomington
401 North Morton Street, Suite 130
Bloomington, IN 47404

Re: Urban Station Phase 2
Bloomington City Architect - 2017-040.000

Dear Terri:

Schmidt Associates has reviewed the revised Plan Commission Submittal dated 10/26/2017 for the Urban Station Phase 2 development located on South Walnut Street between East Smith Avenue to the south and the alley south of East 3rd Street to the north.

We find that many of the same comments that applied to the submittals dated 8/28/2017 and 9/18/2017 and outlined in our letters dated 8/22/2017 and 9/29/2017 respectively, are still applicable.

The major change with the most recent submittal involves the reduction of overall density through the modification of units on the South Walnut Street side of the Fourth Floor. The changes are as follows:

- (2) Five-bedroom units (E1 and E2) became three-bedroom units
- (2) Four-bedroom units (D1) became two-bedroom units
- (2) Three-bedroom units (C1) became one-bedroom units
- (1) One-bedroom unit (B1) became a two-bedroom unit
- In addition, (1) one-bedroom unit (A1) on the east side of the corridor adjacent to the relocated south stair became a studio unit.

The remaining space at the Fourth Floor became a roof deck at all modules, allowing the South Walnut Street façade to employ a 15' step back. This visually lowers the height of the main façade to the handrail line of the roof deck (approximately 41'). The height of the parapet above the stepped back Fourth Floor remains at 49'-11 7/8".

It also appears that the sustainable initiatives previously offered in a Sustainable Practices document dated 8/28/2017, to gain a greater density are no longer being offered with the project now in alignment with density requirements.

The Project Design Team appears to have made the following additional design modifications:

- Relocation of the parking garage entry to be off the alley to the east rather than South Walnut Street
- Revisions to the Street Level Plan to provide two retail spaces rather than three as shown on the previous submittal
- Reduction of the bike storage area at the street level
- Minor changes (due to the relocation of the garage entry) to the elevations at the southwest corner of the building. The brick masonry screen wall was eliminated and a storefront glazing system is being utilized, although the note did not change.

No changes have been made to the narrow slots used to break up the massing and introduce natural light to more interior spaces. We continue to agree with the Staff that the narrow nature of the slots limits the amount of quality natural daylight into the windows along those slots. The narrowness of the space also puts windows and balconies of different units in uncomfortably close proximity. As stated previously, neighbors will likely close their blinds to avoid direct sightlines between units, further limiting natural daylight to compensate for the proximity issue.

Based on discussions with the staff, it is our understanding that this project will likely be heard again at the November Plan Commission Hearing.

Sincerely,

SCHMIDT ASSOCIATES, INC.
Architecture • Engineering • Interior Design • Landscape Architecture



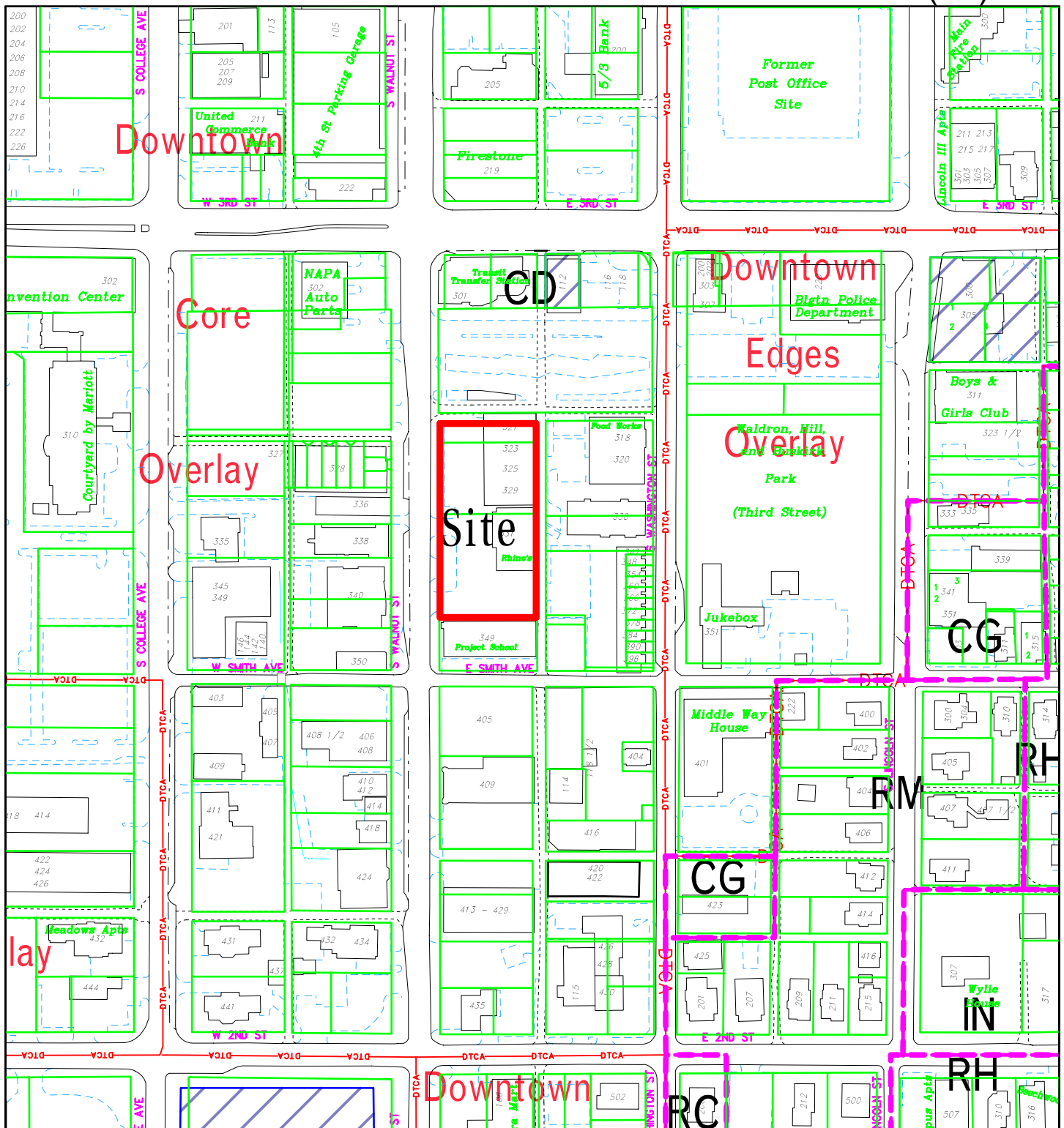
Sarah K. Hempstead, AIA, LEED AP
CEO / Principal
shempstead@schmidt-arch.com



Steven K. Alspaugh AIA, LEED, AP/BD +C
Design Architect/Associate
salspaugh@schmidt-arch.com

SKH/SKA:lab

Copy: James Roach, The City of Bloomington
Lisa Gomperts, Schmidt Associates



SP-26-17 H.M Mac Development LLC

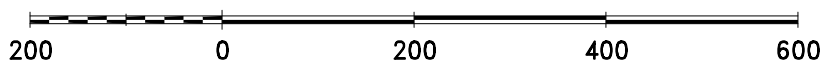
335, 325, 337 S Walnut Street

Plan Commission

Site Location, Zoning, Parcels

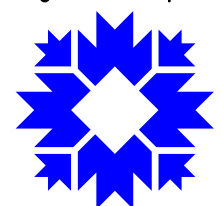
By: greulice

28 Sep 17

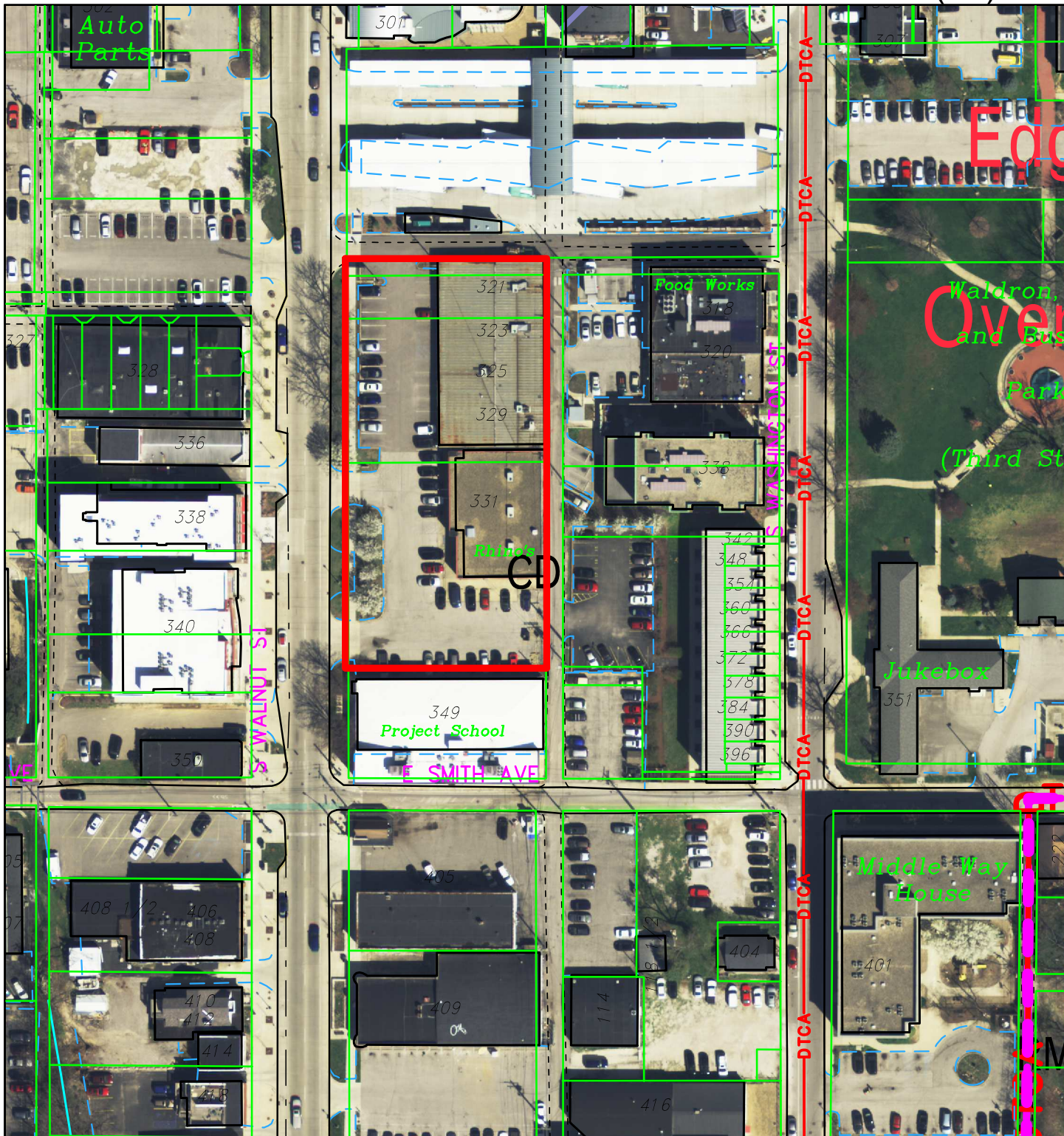


For reference only; map information NOT warranted.

City of Bloomington
Planning & Transportation



Scale: 1" = 200'



SP-26-17 H.M Mac Development LLC

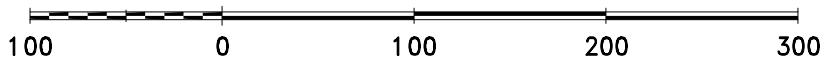
335, 325, 337 S. Walnut Street

Plan Commission

2016 Aerial Photograph

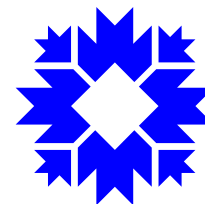
By: greulice

28 Sep 17



For reference only; map information NOT warranted.

City of Bloomington
Planning & Transportation



Scale: 1" = 100'



October 27, 2017

City of Bloomington Planning Department
 P.O. Box 100
 Bloomington, IN 47402

Attn: Mr. Eric Greulich

PETITIONERS STATEMENT – URBAN STATION PHASE 2

UPDATED October 27, 2017

Dear Mr. Greulich

H. M. Mac Development and Blackline Studio are pleased to submit the attached multifamily mixed-use development, Urban Station Phase 2 for Plan Commission review. The following document outlines the project scope and addresses comments received to date regarding the project. Please take time to review and contact us with any additional questions.

<u>Apartment Types</u>	<u>Count</u>	<u>Beds</u>
Studio (530-545sf)	6 units	0 Beds
1 Bedroom (630-685sf)	15 units	0 beds
2 Bedroom (863-950 sf)	4 units	0 beds
3 Bedroom (1,286-1,367sf)	21 units	0 beds
4 Bedroom (1,501sf)	8 units	0 beds
5 Bedroom (2,093-2,214sf)	<u>6 units</u>	<u>0 beds</u>
	60 Units	154 Beds

Property density:

Site: 0.89 Acres
 60 apartments per acre = 53.43 DUE's allowed

Studios	6 x 0.2 =	1.2
1 Bedrooms	15 x 0.25 =	3.75
2 Bedrooms	4 x 0.66 =	2.64
3 Bedrooms	21 x 1.0 =	21
4 Bedrooms	8 x 1.5 =	12
5 Bedrooms	6 x 2.0 =	12

Total 52.59 DUE's

Project Location

The project is located 321-331 South Walnut Street in the Downtown Core Overlay District. The surrounding land uses include the Bloomington Transit Center to the north, apartment and office buildings to the west, The Project School to the south, and apartments and The Middle Way House across the alley to the east. The lot currently contains two single-story commercial buildings.

Project Concept

Urban Station Phase 2 seeks to bring a new, modern style of living to downtown Bloomington. The pedestrian experience on the street consists of a generous walk with green materials on both sides. Above, the residential units float over the heavier masonry base. The lighter upper mass of the building is clad in metal and fiber cement panel, and steps in and out to provide large lightwells and rooftop social spaces. A common outdoor amenity area is centered on the second floor of the Walnut Street elevation. The undulating exterior skin of the residential levels provides generous windows and lighting to all of the living units.

There is a split parking level with two access points – the lower level is accessed from the alley to the east, and the upper deck is accessed from the alley to the north. The upper deck will primarily serve the commercial spaces, and the lower level will be resident parking. The garage will be open-air on three sides with a wire mesh panel screen enclosing the garage.

Non-Residential space - Retail

Retail space is required in the Downtown Core Overlay district for 50% of the ground floor footprint. Our project proposes 15,015 square feet of retail area and 14,890 square feet of parking area. This is a ratio of 49.8% parking to 50.2% retail. Some area of the ground floor footprint is dedicated to the ramp down to the lower parking level.

Parking Counts

Required Parking:	No parking required.
Parking provided Upper Level:	48 Spaces
Parking Provided Lower Level:	45 Spaces
Total:	93 Spaces

Parking Garage

The two-levels of parking are accessed by two separate entrances – an east alley entrance to the lower level (45 spaces) and a north alley entrance to the upper level (48 spaces). There are four handicap accessible spaces with adjacent 8’ aisles included in the 93 total. Parking spaces are 19’ deep by 9’ wide and separated by a 24’ drive lane.

We believe that resident automobiles parked in the lower level will be used infrequently in favor of bus, bike and walking transportation. The entrance to the lower level parking from the east alley is a preferred option to a garage entrance on Walnut Street.

Site Accessibility

The primary resident pedestrian entrance is near the center of the Walnut Street elevation. This entrance provides residents access to a common lobby area, which is also accessible from the parking garage area via a secured door.



By code, since the building contains 20 or more apartment units, we are required to provide (1) full ANSI type A unit. One studio or 1-bedroom unit on the second floor will be designed as a fully accessible unit to accommodate any tenants with a disability that require special accommodations

Building Façade modules

The modulation of the facades per UDO requirements is accomplished by the two setbacks on Walnut Street which are 12' wide x 38' deep, the amenity courtyard which is 54'x38', and two balcony recesses 12' wide x 4' deep. Additionally, the pedestrian level has another pattern of modulation, recessing entrance zones 24' wide x 4'-6" deep. The ground level entrances step back 9' from the building line, or 3% of the overall length of the building.

Building Height

The building height is 50' measured from the lowest point, the garage entrance at Walnut Street. The retail clear height varies from 10'-4" clear at the north end to 13'-4" clear at the south end. The building will have no parapet other than a curb for cap and flashing.

Building Materials

The pedestrian level of the building consists of brick and storefront glazing. Around the parking level at grade, the open-air areas are closed with wire mesh steel grid inserts. The primary material for the upper residential levels is metal panel siding, in differing configurations to add visual interest to the skin. A secondary material of less than 20% of surface is painted smooth fiber cement panel on the upper residential levels.

Void to Solid Percentages

The UDO asks for a building in this overlay district to have a 60% void to solid ratio on the ground floor and 20% void to solid ratio on the upper floors. Our project has a 68% void ratio on the ground level and a 24% void ratio on the upper floors. This meets the requirement of the UDO.

Building Step Back

The Downtown Core Overlay requires that any building over 45' step back at the 45' mark a minimum of 15' from the build-to line. The building is 50' tall measured from tallest point at the south, and 46' from grade at the north end. Our building steps back on 15' on the Walnut Street fourth floor to meet this requirement.

Environmental & Green Considerations

Our project has been modified from the previous design and is no longer proposing specific Green Building / Sustainable Practices for a Green Development Incentives (Section 20.05.049 GD-01) density increase.

Trash Removal

Trash removal has been provided off of the North alley. The trash room will have an enclosed overhead door for access. The grade will be leveled at this location to assist in the roll-out of trash containers on pick-up days. The alley will be modified to have a concrete apron for the garbage truck to sit on while dumping the trash.

Anticipated Waivers

We have revised our design to meet the standards of the UDO and are no longer asking for any waivers for this project.

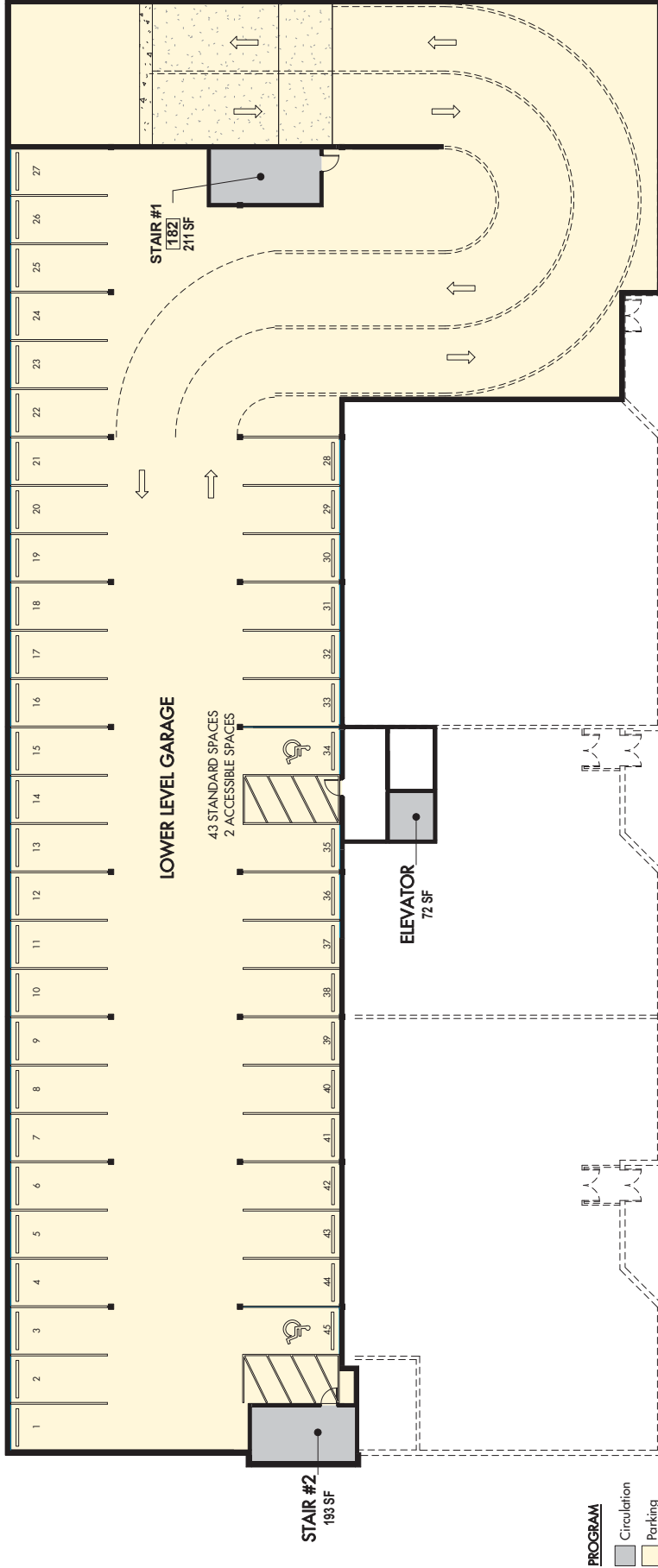
A handwritten signature in black ink on a light gray rectangular background. The signature reads "Craig McCormick" in a cursive, slightly slanted script.

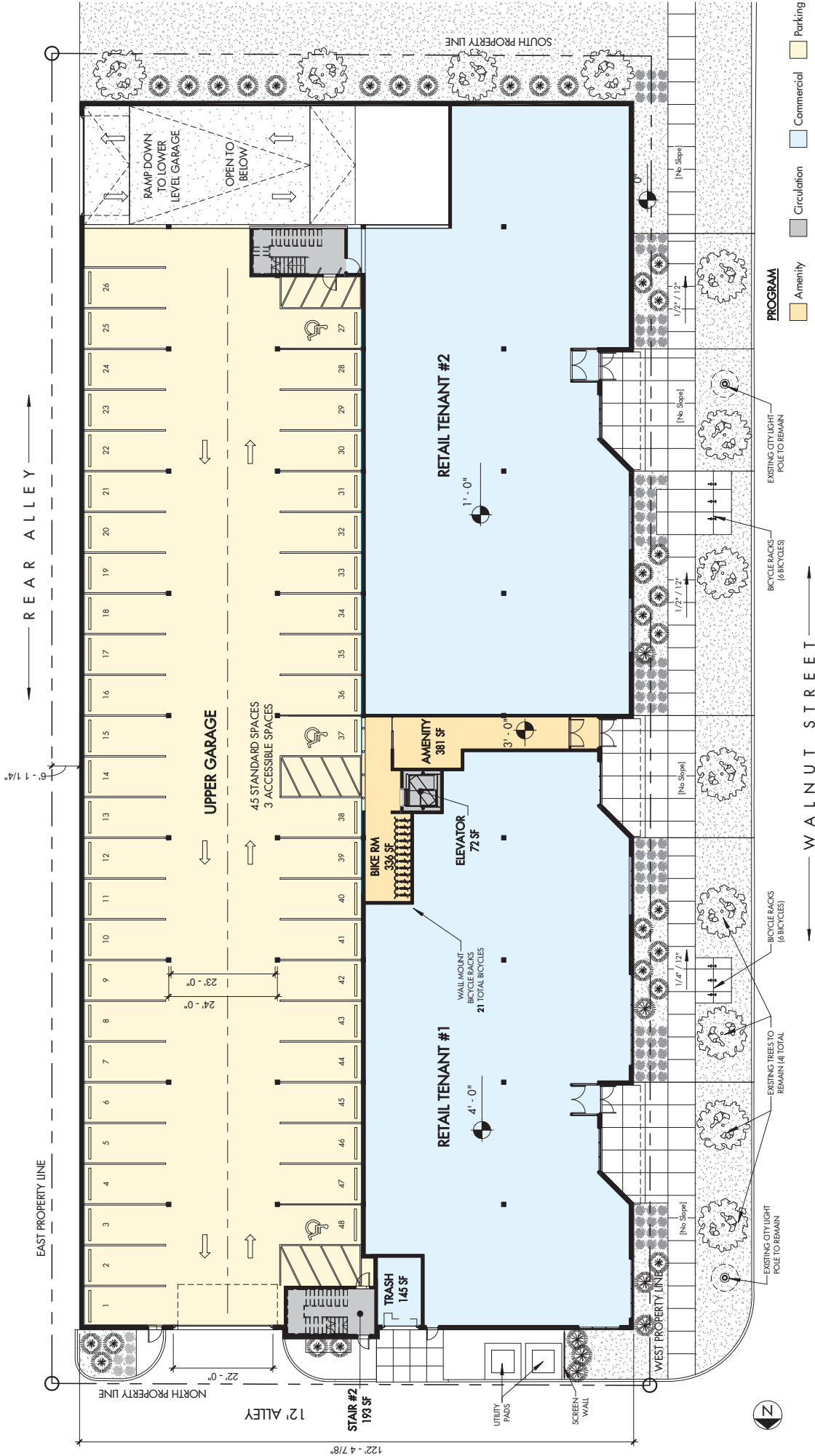
Craig McCormick
Principal
Blackline Studio
1 North Meridian Street, Studio 400
Indianapolis, IN 46204



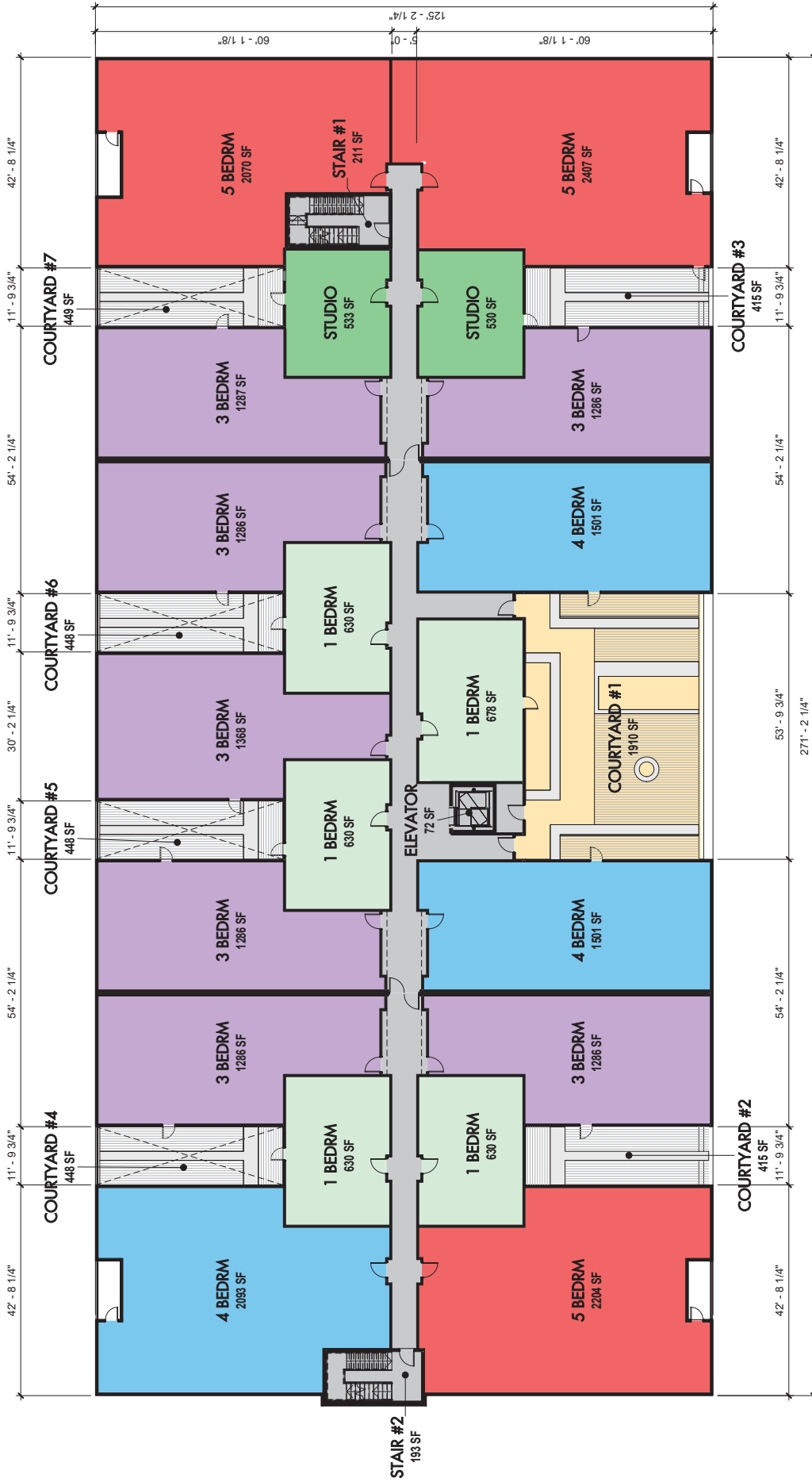
LOCATION MAP

SITE LOCATION
 321 S. WALNUT ST.
 BLOOMINGTON, INDIANA





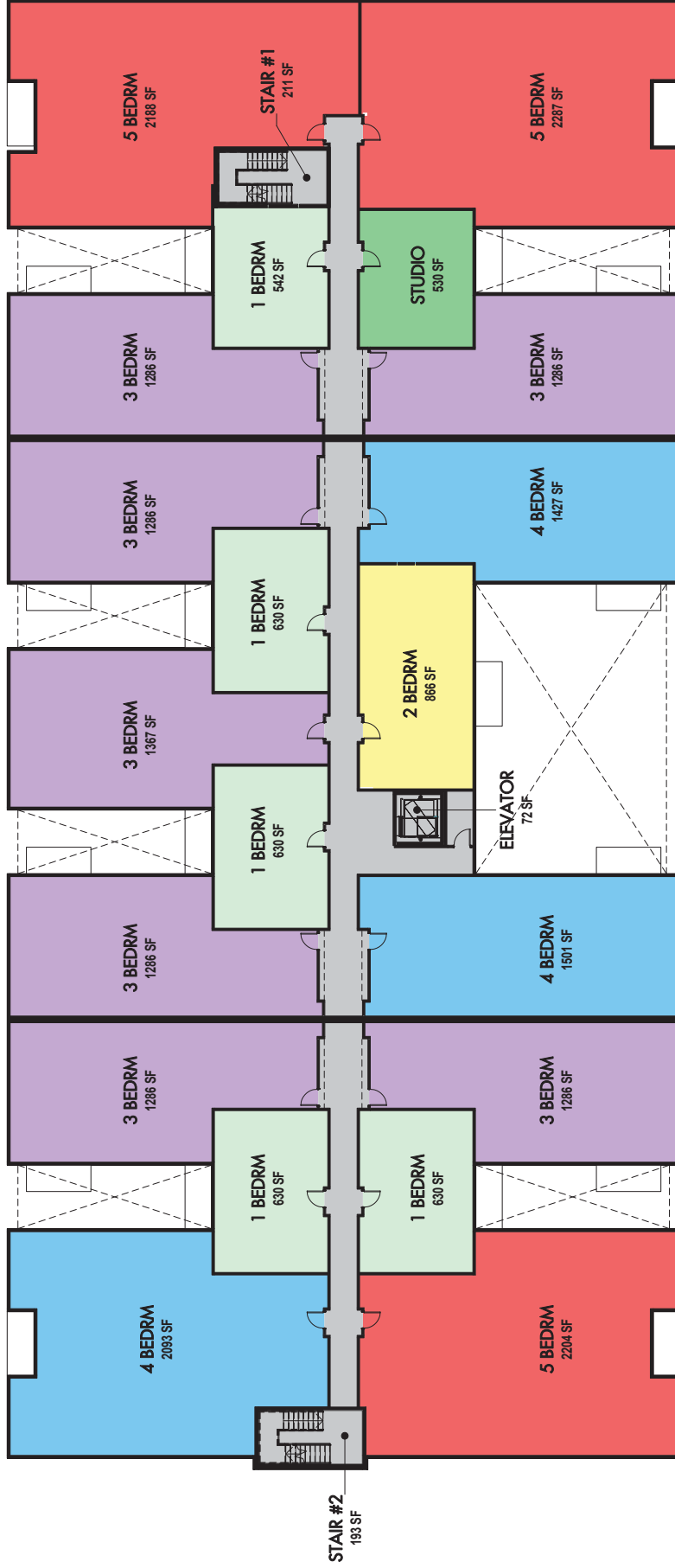
NOTE:
 50/50 PARKING AND RETAIL RATIO
 PARKING GARAGE = 14,890 s.f. = 49%
 TOTAL RETAIL = 15,015 s.f. = 51%



URBAN STATION - PHASE 2
CITY OF BLOOMINGTON, INDIANA

SECOND FLOOR PLAN - DESIGN CONCEPT
10.26.2017



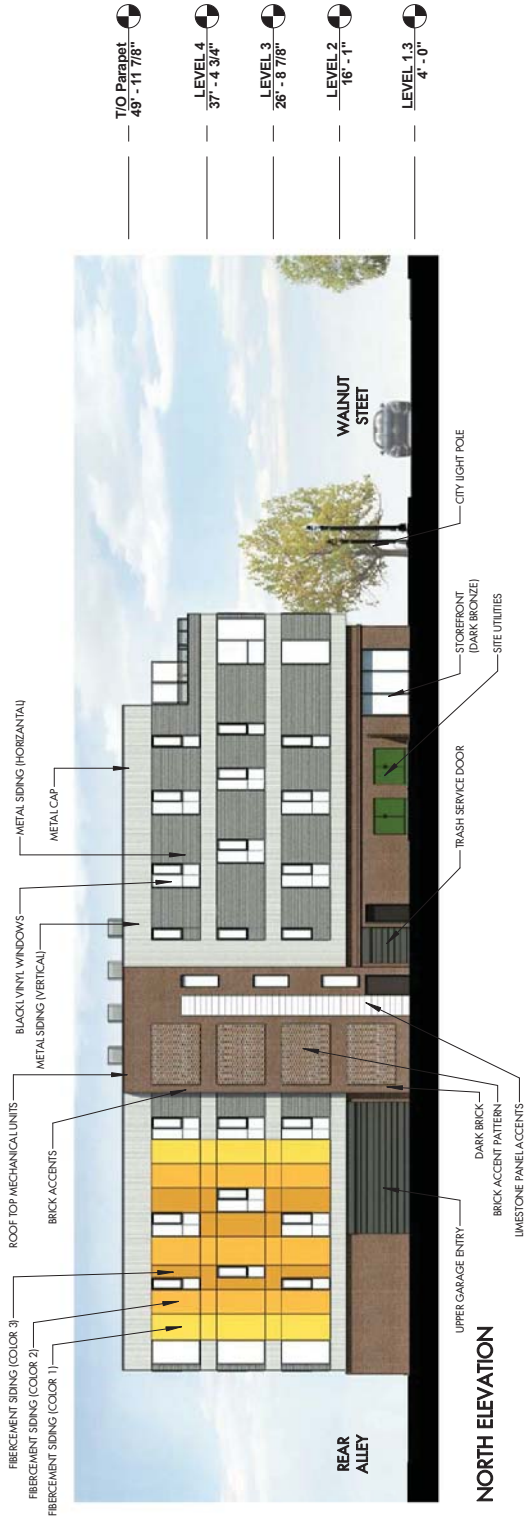






URBAN STATION - PHASE 2
 CITY OF BLOOMINGTON, INDIANA
 EXTERIOR ELEVATIONS - DESIGN CONCEPT
 10.26.2017





NORTH ELEVATION



SOUTH ELEVATION



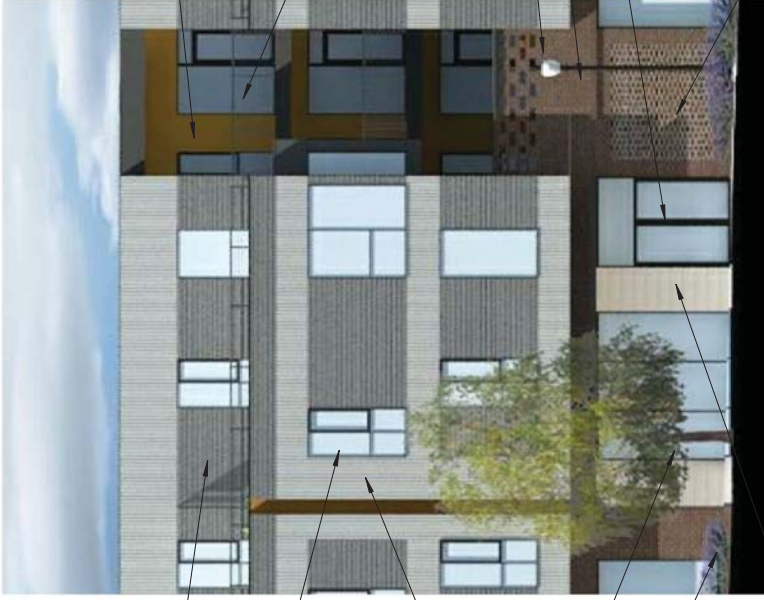
CORRUGATED METAL PANEL - HORIZONTAL



CORRUGATED METAL PANEL - VERTICAL



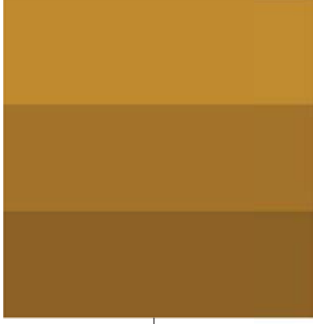
LIMESTONE VENEER



ENLARGED - WEST EXTERIOR ELEVATION



WEST EXTERIOR ELEVATION



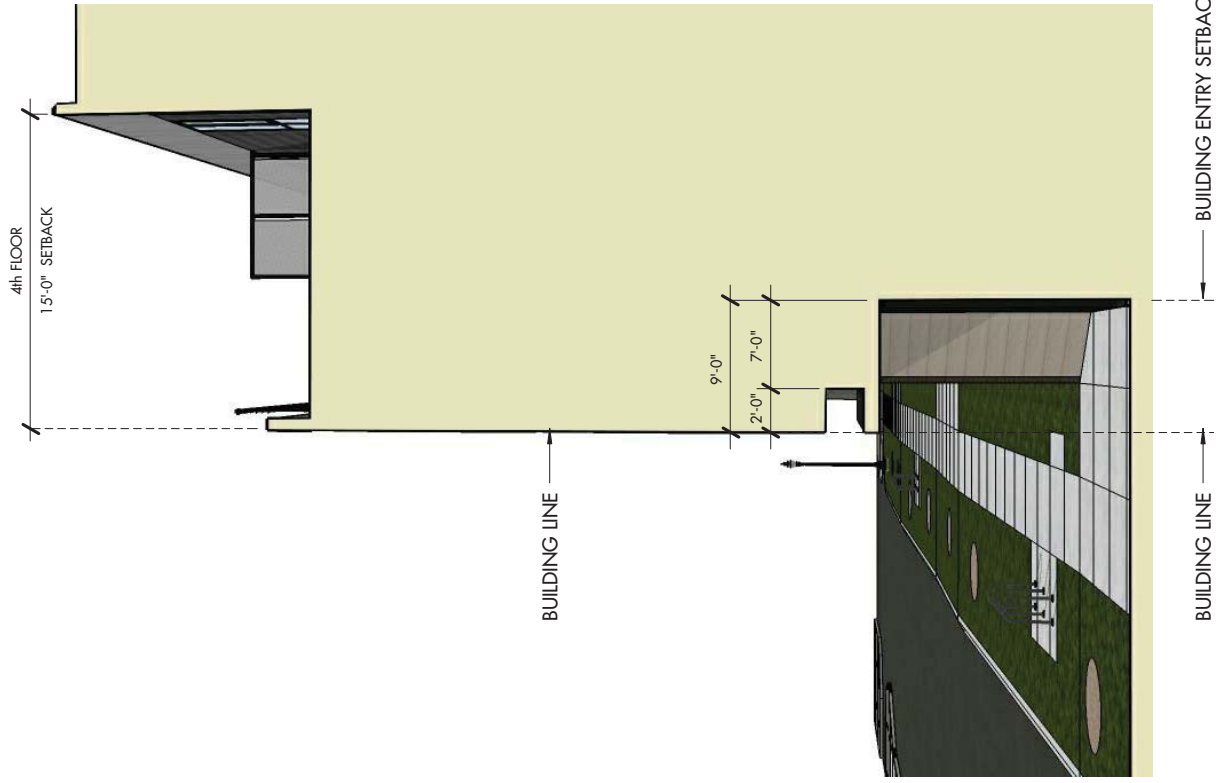
FIBER CEMENT PANELS



BRICK - RUNNING BOND



ACCENT BRICK PATTERN



URBAN STATION - PHASE 2
CITY OF BLOOMINGTON, INDIANA

BUILDING LINE DIAGRAM - DESIGN CONCEPT
10.26.2017





WALNUT STREET LOOKING NORTH

URBAN STATION - PHASE 2
CITY OF BLOOMINGTON, INDIANA

RENDERING - DESIGN CONCEPT
10.26.2017





WALNUT STREET LOOKING SOUTH

URBAN STATION - PHASE 2
CITY OF BLOOMINGTON, INDIANA

RENDERING - DESIGN CONCEPT
10.26.2017



BLACKLINE
(40)



AERIAL VIEW - SOUTHWEST CORNER

URBAN STATION - PHASE 2
CITY OF BLOOMINGTON, INDIANA

RENDERING - DESIGN CONCEPT
10.26.2017





AERIAL VIEW - SOUTHEAST CORNER

URBAN STATION - PHASE 2
CITY OF BLOOMINGTON, INDIANA

RENDERING - DESIGN CONCEPT
10.26.2017





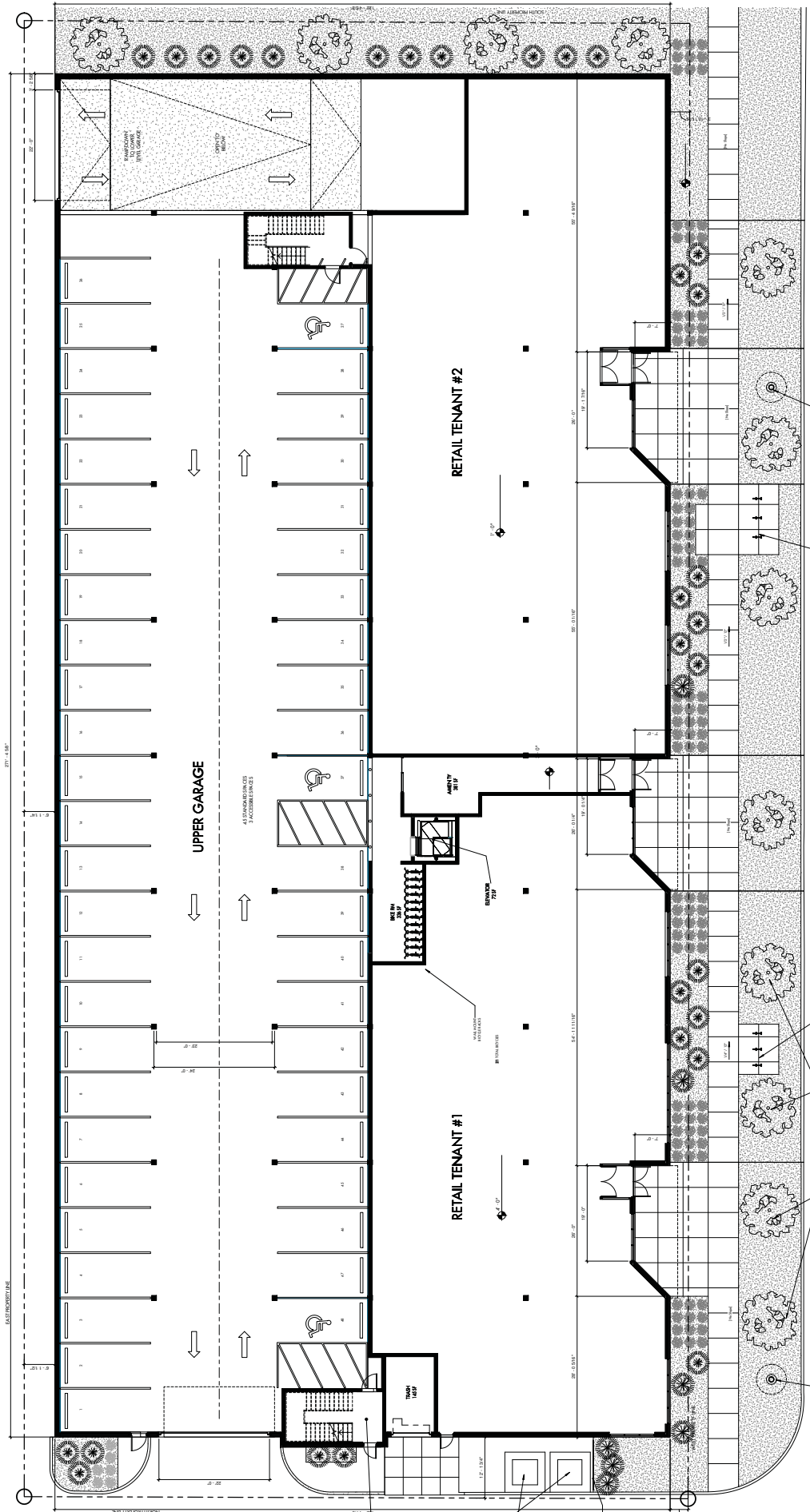
CERTIFICATION:
NOT FOR CONSTRUCTION

ARCHITECT
 CONSULTANT 2
 CONSULTANT 3
 CONSULTANT 4
 CONSULTANT 5
 CONSULTANT 6

321 S. WALNUT ST., BLOOMINGTON, IN 47401
 H.M. Mac Development & Construction
 URBAN STATION - PHASE 2
 FIRST FLOOR PLAN
 Author
 Checker
 REVISION
 DATE

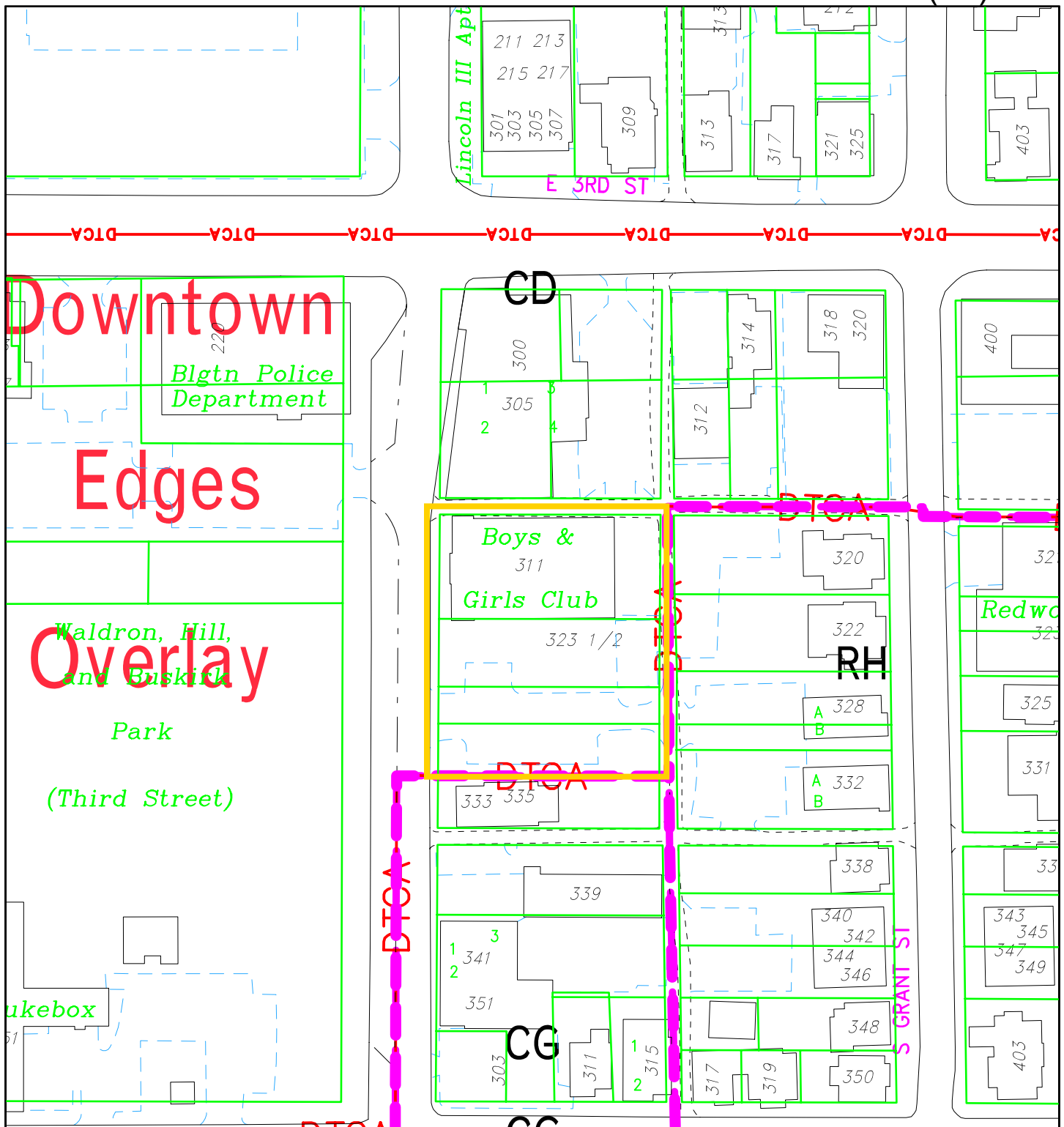
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02

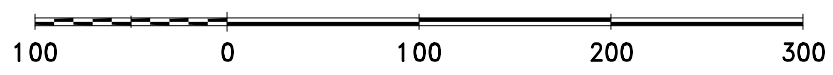


NOTE:
 1. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES AND MATERIALS.
 2. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT.

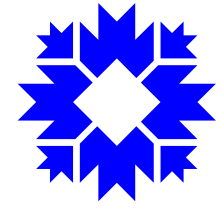
1 FIRST FLOOR PLAN
 1/8" = 1'-0" (VERTICAL SCALE)



By: lewisa
9 Nov 17



City of Bloomington
Planning & Transportation



Scale: 1" = 100'

For reference only; map information NOT warranted.



By: roachja
20 Oct 17

50 0 50 100 150

For reference only; map information NOT warranted.

City of Bloomington
Planning & Transportation

N

Scale: 1" = 50'

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 311 S Lincoln St.**

**CASE #: SP-33-17
DATE: November 13, 2017**

PETITIONER: Boys and Girls Club
311 S Lincoln St., Bloomington

CONSULTANTS: Jeff Baldwin
PO Box 1716, Bloomington

REQUEST: The petitioner is requesting site plan approval for a 6,000 square foot addition to an existing community center.

BACKGROUND:

Area: 0.66 acres
Current Zoning: CD – Downtown Edges Overlay
GPP Designation: Downtown
Existing Land Use: Community Center
Proposed Land Use: Community Center
Surrounding Uses: North – Commercial
West – Park and Police Station
East – Commercial
South – Commercial and Residential

REPORT: The property is located on the east side of South Lincoln Street, south of 3rd Street and is zoned Commercial Downtown (CD), in the Downtown Edges Overlay (DEO). The property contains one two-story building and is currently used as a downtown location for the Boys and Girls Club. Surrounding land uses include a restaurant and apartments to the north, a park to the west across Lincoln Street, hair salon and residential to the south, an office building across 4th Street, residential to the east.

The petitioner proposes to develop this property by adding a two-story addition to the south of the existing building. The addition would contain 6,000 square feet of additional community center space to be used by the Boys and Girls Club.

The petition site building was built in 1915 and is listed as 'Notable' in the City of Bloomington Survey of Historic Sites and Structures, but is not part of a local historic district. The petitioner received approval for the addition and partial demolition delay review from the Bloomington Historic Preservation Commission on September 28, 2017.

Plan Commission Site Plan Review: Per BMC 20.03.230, the Plan Commission shall review "any proposal adjacent to a residentially zoned district or a residential use" as well as "any proposal that does not comply with all of the standards of Section 20.03.260: Downtown Edges Overlay (DEO)."

Limited Site Plan Compliance: Per BMC 20.08.060(b) where an addition to any building of more than ten percent (10%) of the gross floor area, a lawful nonconforming site or

structure, where any use is nonresidential, shall be brought into compliance with current development standards to the extent possible.

SITE PLAN REVIEW:

Architecture/Materials: The style addition is designed to reflect and enhance the design of the existing building. The existing building is primarily brick with short limestone walls along the west facade. The addition will utilize glass and brick to complement the existing building. The northern most portion of the addition is two stories of glass while the southern portion of the addition is two stories of brick. All proposed windows match the style of those on the existing building.

Parking: The maximum nonresidential parking in the DEO is 50% of the maximum permitted in Chapter 20.05; Parking Standards. The maximum permitted is 39 spaces. The site plan shows parking at the northeast corner of the site and along the southern edge. The proposal has a total of 25 vehicular parking spaces, as well as several spaces for bus parking. There are 8 back out spaces at the northeast corner of the site, utilizing an existing north-south paved alley. The proposal meets parking requirements.

Bicycle Parking: The site is required to have 4 Class II bicycle parking spaces. The proposed site plan currently shows two racks on site.

Vehicular Access: There are two vehicular access points. The first entrance is via the alley at the north east corner and the second entrance is located at the southwest corner of the site.

Pedestrian Access: The proposal shows two building entrances along the west façade; one entrance on the existing building and a new entrance proposed with the addition. There is an additional entrance along the east façade towards the northeast corner of the building.

Streetscape: There is existing sidewalk along the east side of S. Lincoln Street. Additional sidewalk connections to the new entrances on the addition are proposed. The existing structure is directly adjacent to the sidewalk, limiting the space for street trees. Three trees and landscaped areas are proposed along the southwest edge of the site along S. Lincoln St.

The DEO requires the petitioner to install pedestrian scaled lighting in the right of way. The placement of the existing structure on site does not provide excess space in the right of way for lighting. While the petitioner cannot meet the requirement due to existing conditions, alternative lighting should be installed on the property.

Impervious Surface Coverage: The DEO allows for 70% impervious surface coverage. The site is currently at approximately 79% impervious surface and with the proposed addition it is 89% impervious surface. This site plan does not meet the minimum requirement for impervious surface coverage.

Landscaping: Per Limited Site Compliance standards, if full compliance with the landscaping standards in the UDO cannot be achieved due to lack of adequate planting

area, all yard areas must be landscaped to the maximum practicable. The petitioner has provided landscaping to the extent possible on site.

Signage: No signage has been proposed at this time. Any future signage shall conform to UDO regulations and receive a sign permit.

CRITERIA AND FINDINGS FOR SITE PLANS

20.09.120 (e)(9) The staff or plan commission, whichever is reviewing the site plan, shall make written findings concerning each decision to approve or disapprove a site plan.

(A) **Findings of Fact.** A site plan shall be approved by the staff or plan commission only upon making written findings that the site plan:

(i) Is consistent with the growth policies plan;

Proposed Findings:

- The site is in the Downtown area of the Growth Policies Plan (GPP).
- A mix of office, commercial, civic, high-density residential and cultural uses are recommended for the downtown. (GPP, 28)
- “New construction in the downtown should conform to historic patterns of building mass, scale, and placement within a given site” (GPP, 29)

(ii) Satisfies the requirements of Chapter 20.02, Zoning Districts;

The UDO includes an intent for the CD district and guidance for the Plan Commission in 20.02.370. The following items address those intent and guidance statements.

Proposed Findings:

- The project does serve to protect and enhance the central business district by reusing an existing structure and proposing a historically appropriate addition.
- The project does provide high density development of mixed uses with providing additional space to a community center.
- The project does intensify the use of vacant and under-utilized properties, by reusing the existing building.

(iii) Satisfies the requirements of Chapter 20.05, Development Standards;

Proposed Findings:

- The project meets all applicable development requirements of Chapter 5.

(iv) Satisfies the requirements of Chapter 20.07, Design Standards; and

Proposed Findings:

- No subdivision is involved, so this is not applicable.

(v) Satisfies any other applicable provisions of the Unified Development Ordinance.

The UDO includes an intent for the DEO district and guidance for the Plan Commission in 20.03.220. The following items address those intent and guidance statements

Proposed Findings:

- The project is compatible in mass and scale with historic structures in the Downtown Edges Overlay Area as the proposed addition has similar building materials and design to the existing historic building.
- The project is redevelopment of an existing site heights that are higher in comparison to other Character Areas within the Downtown.

The Plan Commission may approve any project that does not comply with all the standards of *Section 20.03.260: Downtown Edges Overlay (DEO); Development Standards and Section 20.03.270: Downtown Edges Overlay (DEO); Architectural Standards* if the Commission finds that the project:

Complies with all review standards of Section 20.09.120: Site Plan Review, and

Proposed Findings:

- The proposal complies with all review standards of Section 20.09.120

Satisfies the design guidelines set forth in Section 20.03.280: Downtown Edges Overlay (DEO); Design Guidelines.

Proposed Findings:

- The proposal satisfies guidelines regarding the architectural character, mass, scale and form, exterior building materials, entries, and pedestrian interest.

The Plan Commission is encouraged to consider building designs which may deviate in character from the architectural standards of this section but add innovation and unique design to the built environment of this overlay area.

Proposed Findings:

- The proposed addition is context sensitive in design, matching the existing building style and materials.

The Plan Commission is encouraged to consider the degree to which the site plan incorporates sustainable development design features such as vegetated roofs, energy efficiency, and resource conservation measures.

Proposed Findings:

- The proposal reuses an existing historic structure and adds landscaping features where possible.

CONCLUSION: The proposed site plan and building addition incorporates sensitive design in order to enhance a historic structure while creating additional space for a valued community space in the Downtown. With the exception of impervious surface coverage the proposed site plans meets the standards for minimum site compliance.

RECOMMENDATION: The Department recommends that the Plan Commission adopt the proposed findings and approve the SP-33-17 with the following condition:

1. Adequate lighting to serve in lieu of the required street lighting shall be provided.

Petitioner's Statement

For nearly 60 years, the Boys & Girls Clubs of Bloomington (BGCB) has been standing in the gap, providing nurturing and enriching experiences for this community's youth who need us most - youth who will face frequent challenges if not for the Clubs guiding hand. Sadly, the gap is widening rapidly. In 12 short years, the percentage of Monroe County youth living in poverty has nearly doubled. This trend is not sustainable. The cycle must be broken and youth must be empowered to make a positive trend a reality.

Boys & Girls Clubs of Bloomington is undertaking a capital project that will renovate the Lincoln Street facility as well as acquire, renovate and expand the former IU Eye Clinic building to serve as the new clubhouse for the Crestmont neighborhood. This \$6 million capital project allows the Club to increase membership and average daily attendance, and save a historic building that currently acts as a drag on the organization's annual operating budget. It also allows the Club to serve more kids in one of Bloomington's historically at-risk neighborhoods (aka Crestmont, Pidgeon Hill, or simply The Hill).

The Lincoln Street clubhouse is located in the 87-year-old former National Guard Armory and became the organization's flagship facility in 1963. Located near Third and Lincoln Streets, the clubhouse is located in a historic Bloomington neighborhood. It was centrally located for decades, which made a hit with boys throughout all reaches of the city.

Serving as Bloomington's premier youth sports provider throughout the 1970's and 1980's, the Lincoln Street facility was last renovated in the late 1980's. The project added two locker rooms, three activity rooms, and significant improvements to the gym.

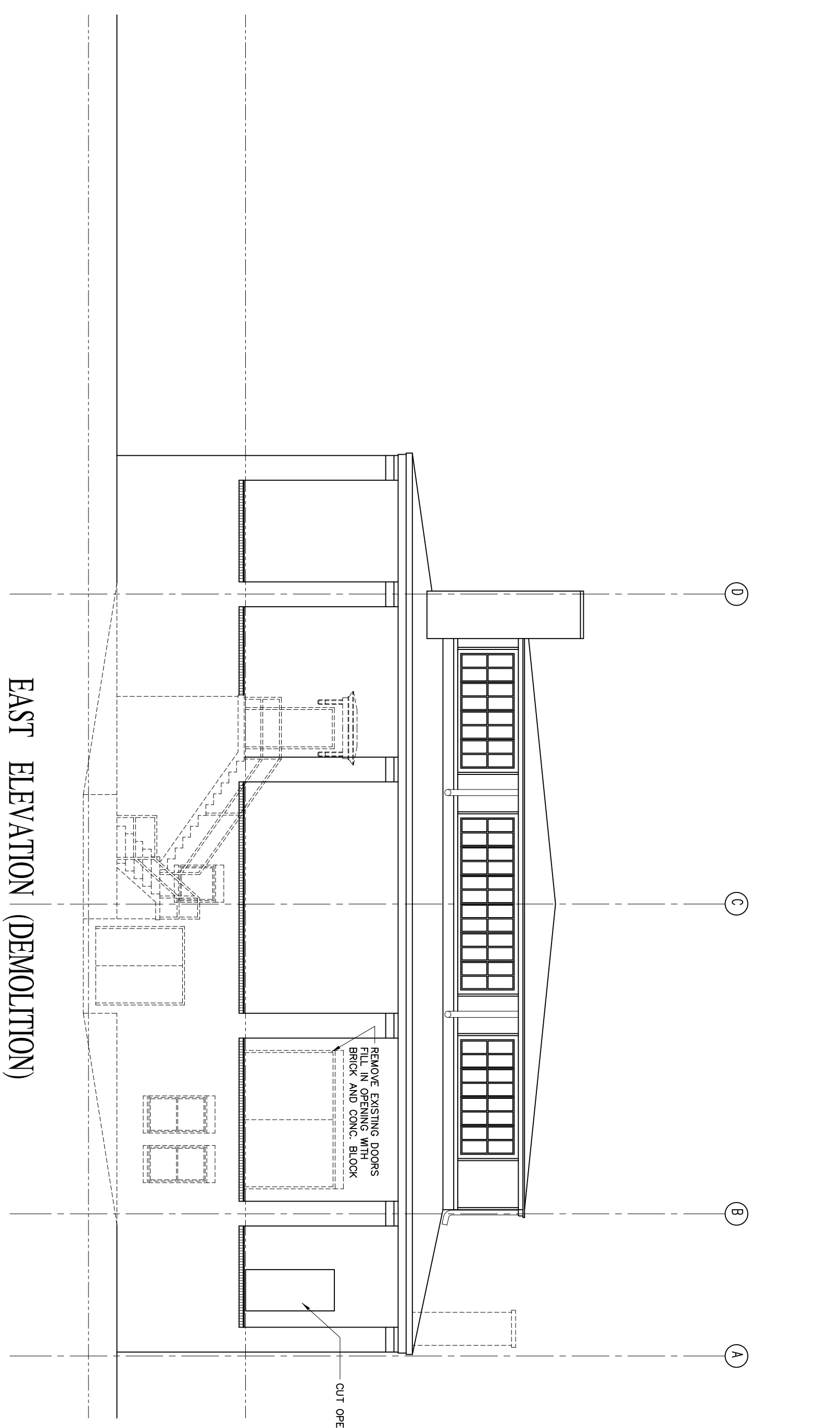
As youth sports evolved and other community entities joined the fray, the Club evolved and started focusing on out-of-school programming, camps, academic/homework assistance, and outreach programs. Needless to say, the Lincoln Street Club finds itself trying to meet modern needs in an outdated structure. Over time, the clubhouse has continued to age, and the board of directors must address issues involving antiquated mechanical systems and significant structural challenges.

Furthermore, the number of youth served at the Lincoln Street clubhouse has reached an all-time high. The Club exceeds Boys & Girls Club of America's (BGCA) suggested capacity standards by as much as 20% on any given day.

It is time to address deferred maintenance and structural issues as well as align the facility's floor plan with current and future program needs.

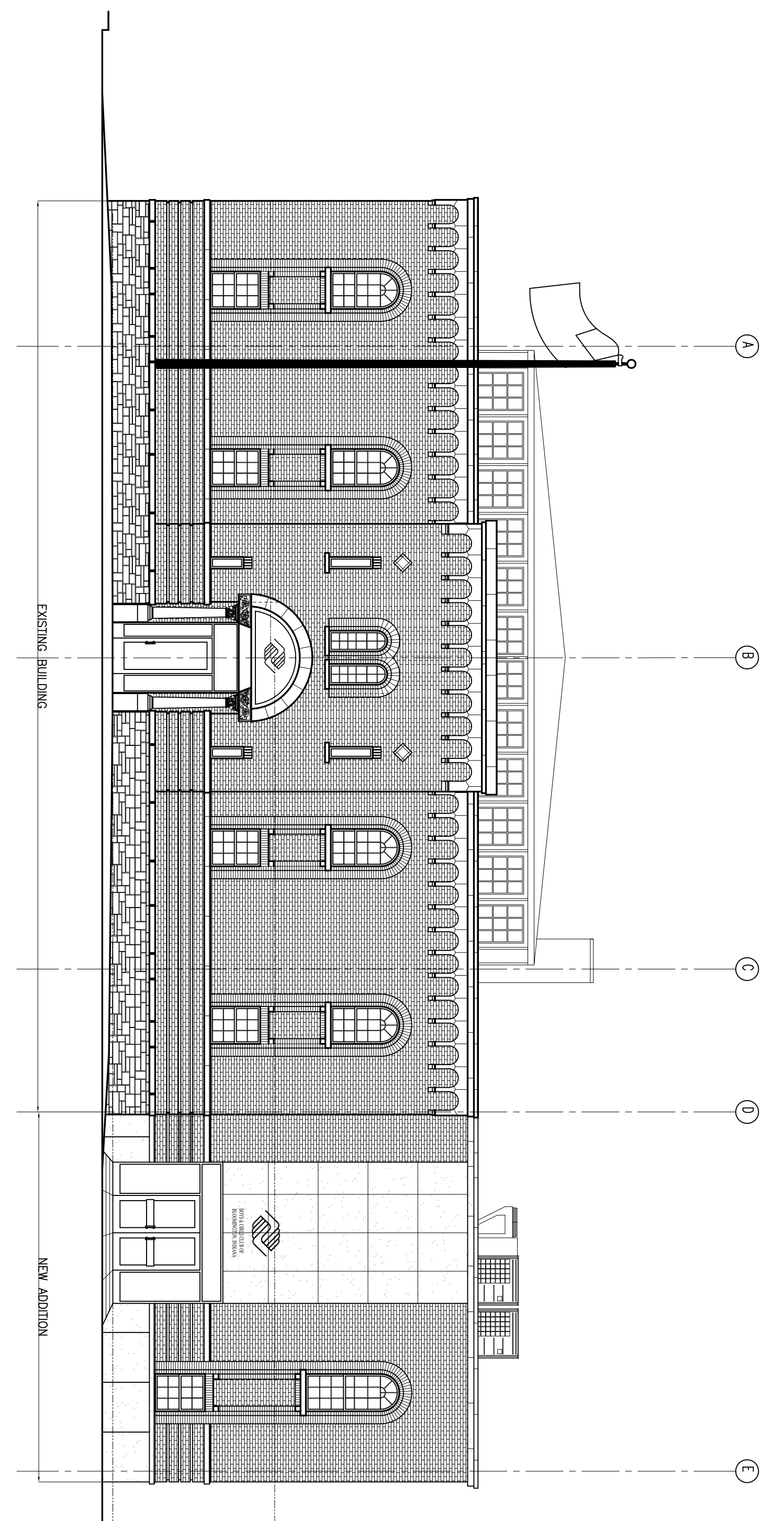
Building renovation and an addition of approximately 6,000 square feet will allow the Club to:

- increase daily capacity by as much as 50%
- maintain its vital proximity to Indiana University and the university's resource of faculty and students
- utilize the Third Street Park complex
- enjoy the protection of the Bloomington Police Department
- maintain its familiar and historic location as the "home" of the Boys & Girls Clubs of Bloomington
- maintain the historical integrity of a Bloomington landmark and source of architectural pride



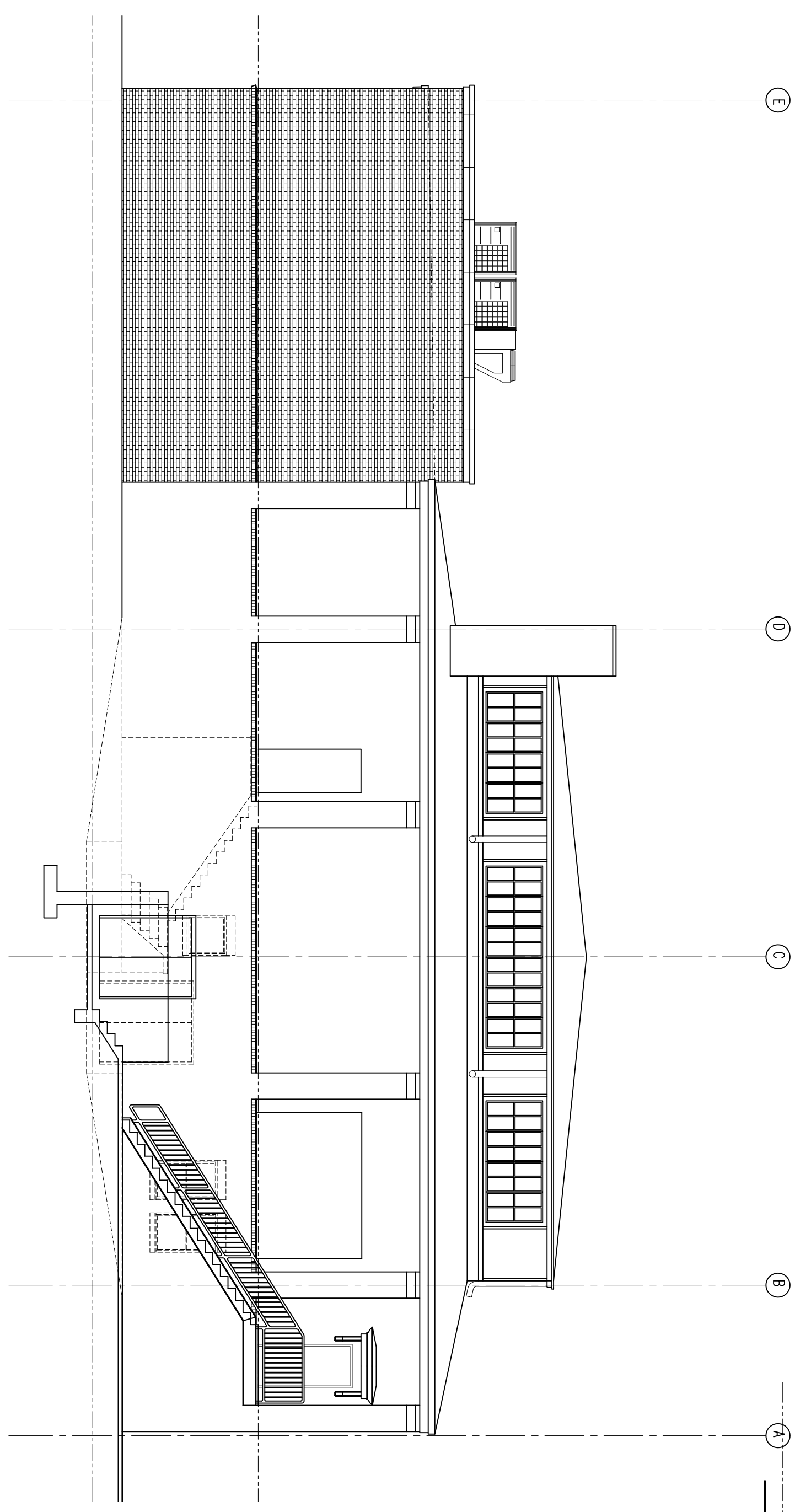
EAST ELEVATION (DEMOLITION)

Scale: 1/8" = 1'-0"



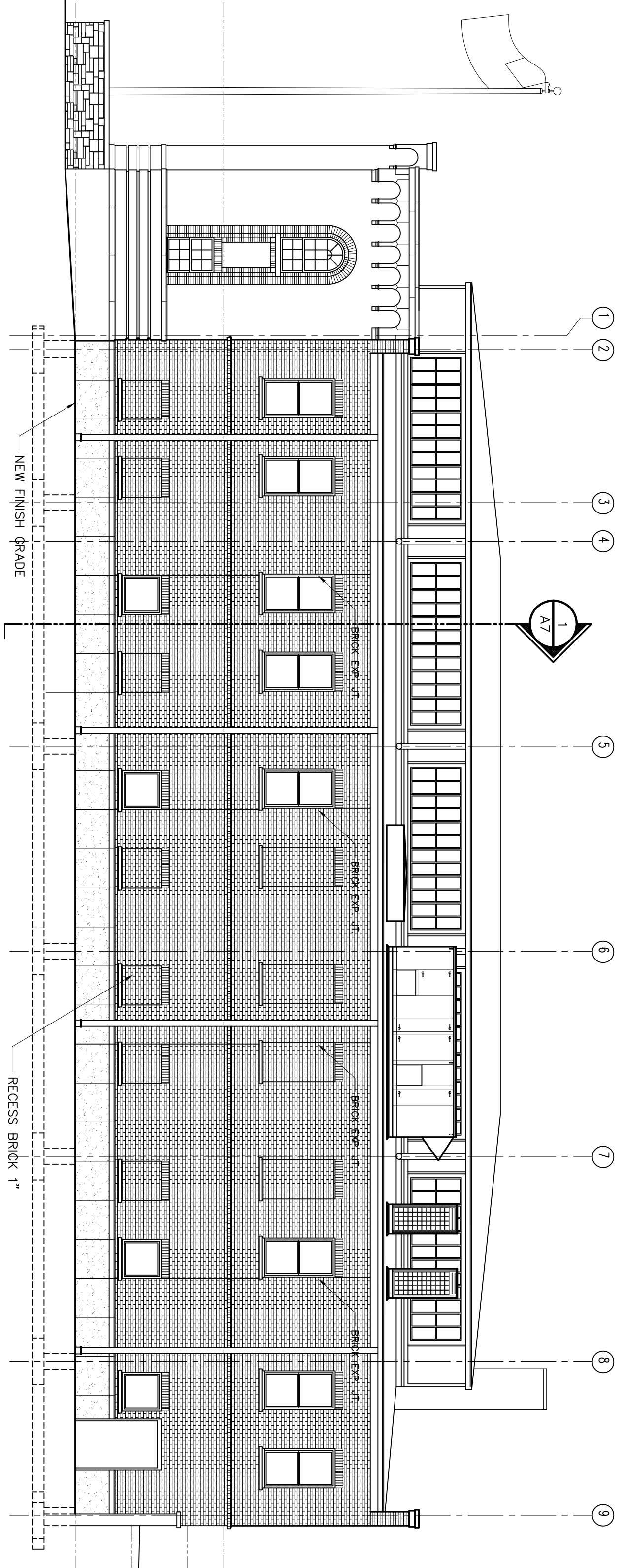
WEST ELEVATION

Scale: 1/8" = 1'-0"



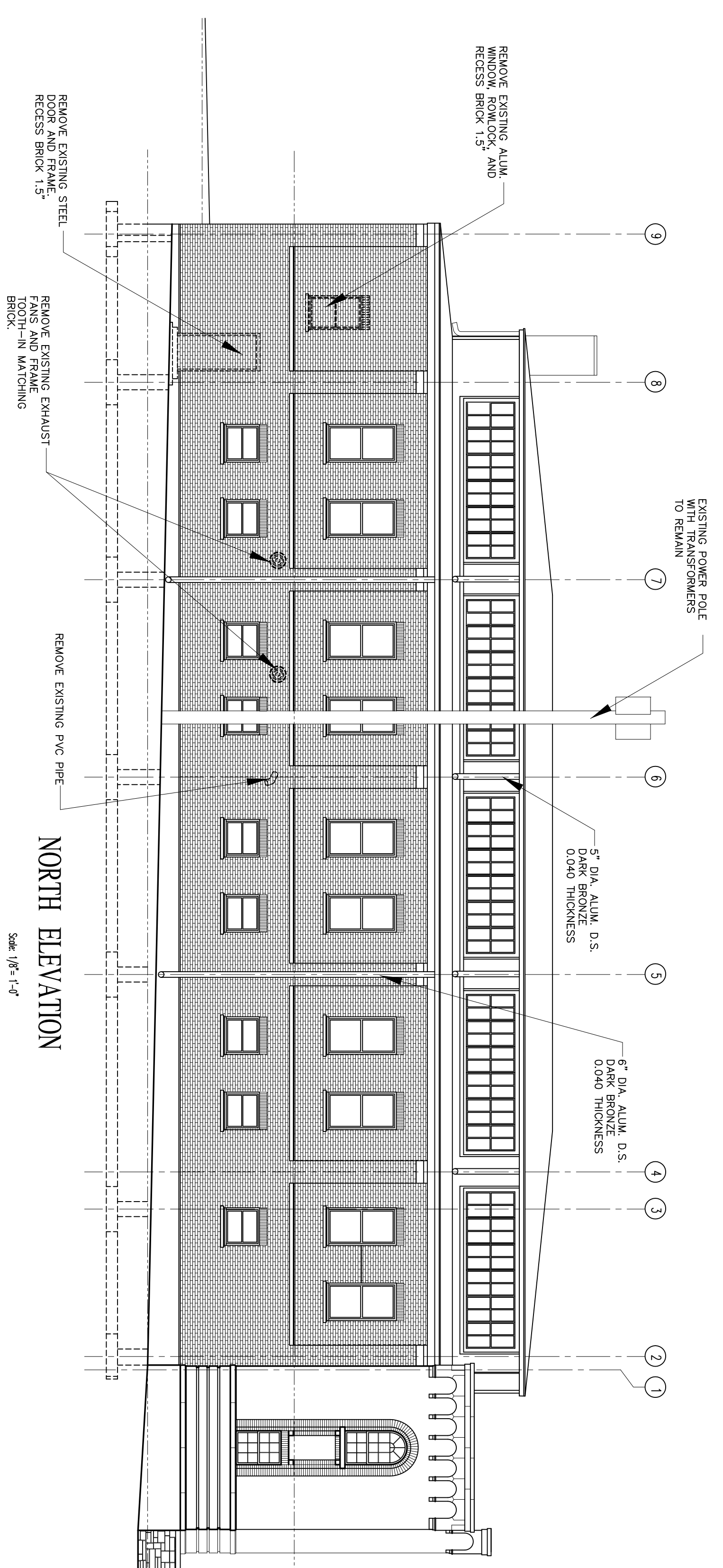
EAST ELEVATION (RECONSTRUCTION)

Scale: 1/8" = 1'-0"



SOUTH ELEVATION

Scale: 1/8" = 1'-0"



NORTH ELEVATION

Scale: 1/8" = 1'-0"

Exterior Elevations

SCALE: 1/8" = 1'-0"

COOK[®]
GROUP

STRUCTURAL ENGINEER

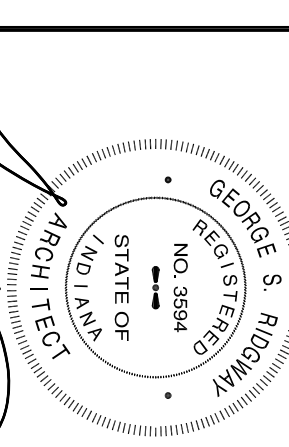
MECHANICAL ENGINEER:

INTERIOR DESIGN CONSULTANT:

PROJECT ARCHITECT:

COY ARCHITECTURE AND ENGINEERING
1101 WEST SECOND STREET
BLOOMINGTON, IN 47403
PHONE: 812.331.9288

PROJECT ARCHITECT:



George S. Runkle
PROJECT ARCHITECT

PROJECT DESCRIPTION:

Renovations and Addition to the
Bloomington Boys and Girls Club
311 South Lincoln Street
Bloomington, Indiana

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REVISION AND DESCRIPTION:

PROJECT KEY PLAN:



Exterior Elevations

SHEET DESCRIPTION

DRAWING SCALE: COOK GROUP PROJECT NUMBER
1/8" = 1'-0" **BBGC**

PROGRESS PRINT DATE:
September 1, 2017

SHEET NUMBER:
A.12

DRAWING INDEX

- 1 SP.1 SITE PLAN AND LANDSCAPE PLAN
- 2 LSP LIFE SAFETY PLAN AND CODE REVIEW
- 3 S.1 FOUNDATION PLAN
- 4 S.2 SECOND FLOOR FRAMING PLAN
- 5 S.3 ROOF FRAMING PLAN
- 6 S.4 FOUNDATION SECTIONS
- 7 S.5 FRAMING SECTIONS
- 8 S.6 MASONRY WALL REINFORCING
- 9 S.7 NEW STAIR FRAMING
- 10 STD.1 GENERAL NOTES
- 11 STD.2 TYPICAL DETAILS
- 12 D.1 DEMOLITION FIRST FLOOR
- 13 D.2 DEMOLITION SECOND FLOOR
- 14 A.0 ANSI STANDARDS
- 15 A.01 ANSI STANDARDS
- 16 A.1 FIRST FLOOR PLAN
- 17 A.2 SECOND FLOOR PLAN
- 18 A.3 ROOF PLAN
- 19 A.4 TOILET ROOM DETAILS
- 20 A.5 TOILET ROOM DETAILS
- 21 A.6 TOILET ROOM DETAILS
- 22 A.7 TOILET ROOM DETAILS
- 23 A.8 ENLARGED ROOM DETAILS
- 24 A.9 ENLARGED ROOM DETAILS
- 25 A.10 ENLARGED ROOM DETAILS
- 26 A.11 ENLARGED ROOM DETAILS
- 27 A.12 EXTERIOR ELEVATIONS
- 28 A.13 BUILDING SECTIONS
- 29 A.14 STAIR DETAILS
- 30 A.15 WALL SECTION
- 31 A.16 FIRST FLOOR REFLECTED CEILING PLAN
- 32 A.17 SECOND FLOOR REFLECTED CEILING PLAN
- 33 A.18 DOOR SCHEDULE AND DETAILS
ROOM FINISH SCHEDULE
- 34 M.1 FIRST FLOOR DUCTWORK PLAN
- 35 M.2 SECOND FLOOR DUCTWORK PLAN
- 36 M.3 FIRST FLOOR MECH. PIPING PLAN
- 37 M.4 SECOND FLOOR MECH. PIPING PLAN
- 38 M.5 ROOF LEVEL MECHANICAL PLAN
- 39 M.6 MECHANICAL SCHEDULES AND DETAILS
- 40 M.7 MECHANICAL SCHEDULES AND DETAILS
- 41 E.1 FIRST FLOOR LIGHTING PLAN
- 42 E.2 SECOND FLOOR LIGHTING PLAN
- 43 E.3 FIRST FLOOR POWER PLAN
- 44 E.4 SECOND FLOOR POWER PLAN
- 45 E.5 ROOF LEVEL POWER PLAN
- 46 E.6 ELECTRICAL SCHEDULES AND DETAILS
- 47 P.1 FIRST FLOOR PLUMBING PLAN WATER DISTR.
- 48 P.2 SECOND FLOOR PLUMBING PLAN WATER DISTR.
- 49 P.3 FIRST FLOOR PLUMBING PLAN SANITARY
- 50 P.4 SECOND FLOOR PLUMBING PLAN SANITARY
- 51 P.5 NATURAL GAS PIPING PLAN
- 52 P.6 PLUMBING SCHEDULES AND DETAILS
- 53 P.7 PLUMBING SCHEDULES AND DETAILS

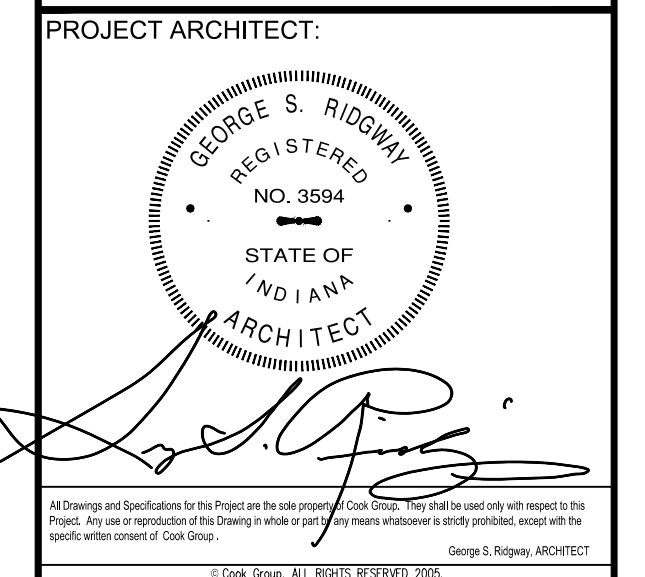
STRUCTURAL ENGINEER:

MECHANICAL ENGINEER:

INTERIOR DESIGN CONSULTANT:

PROJECT ARCHITECT:

COOK ARCHITECTURE and ENGINEERING
1101 WEST SECOND STREET
BLOOMINGTON, IN. 47403
PHONE: 812.331.9588



PROJECT DESCRIPTION:

Renovations and Addition to the
Bloomington Boys and Girls Club
311 South Lincoln Street
Bloomington, Indiana

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1	10/20/17 ADDED AND ADJUSTED LANDSCAPING

REVISION AND DESCRIPTION:

PROJECT KEY PLAN:

TRUE NORTH

SHEET DESCRIPTION

Site Plan

DRAWING SCALE: COOK GROUP PROJECT NUMBER
1" = 10' BB&GC

PROGRESS PRINT DATE:
October 20, 2017

SHEET NUMBER:
SP.1R

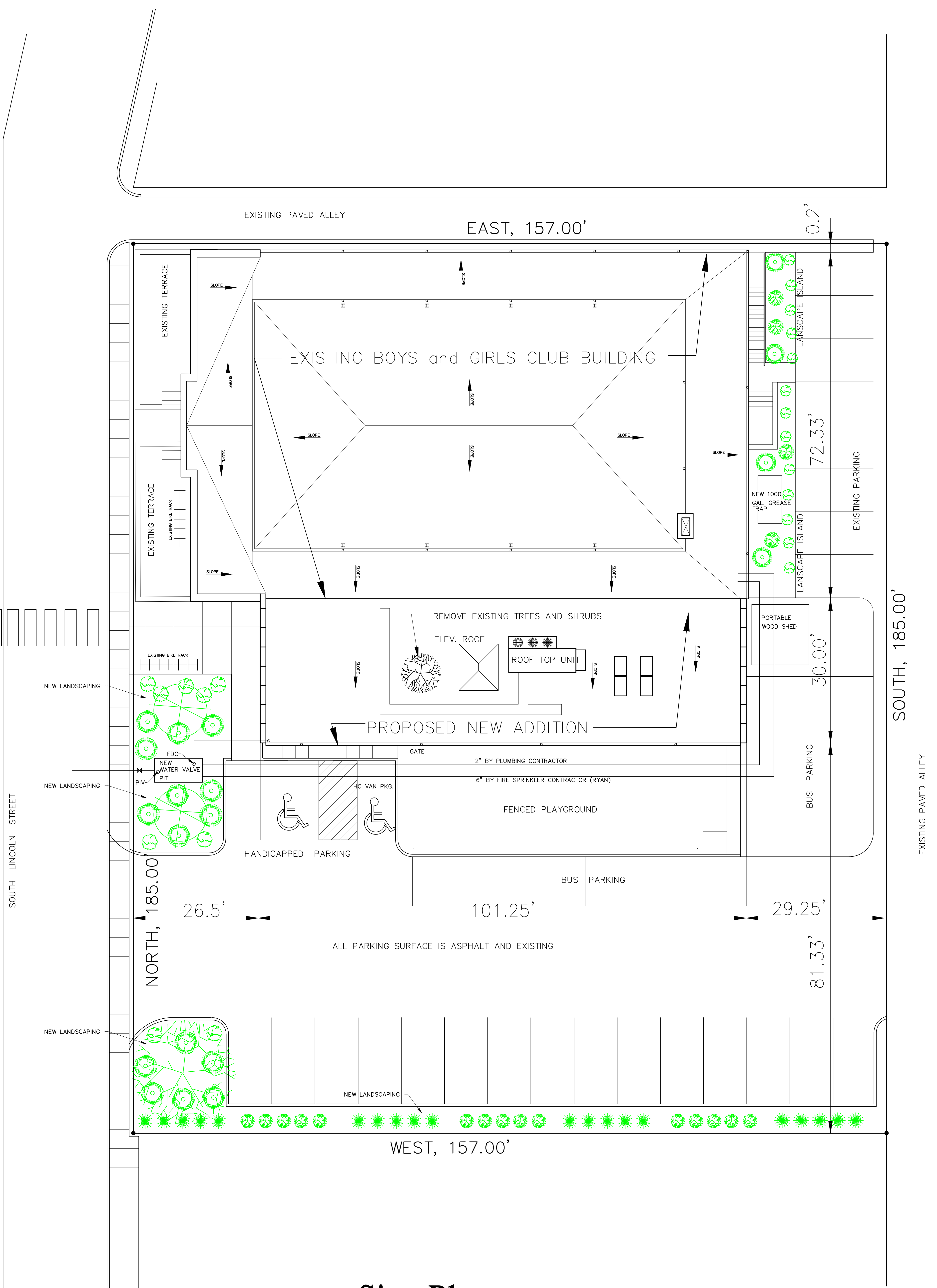
LANDSCAPE LEGEND

- KOUSA CHINESE DOGWOOD
- BUXUS X GREEN VEILEVET BOXWOOD
- WAGELIA FLORIDA
- ACER RUBRUM OCTOBER GLORY

- COMPACT INKBERRY
- SHENANDOAH SWITCH GRASS

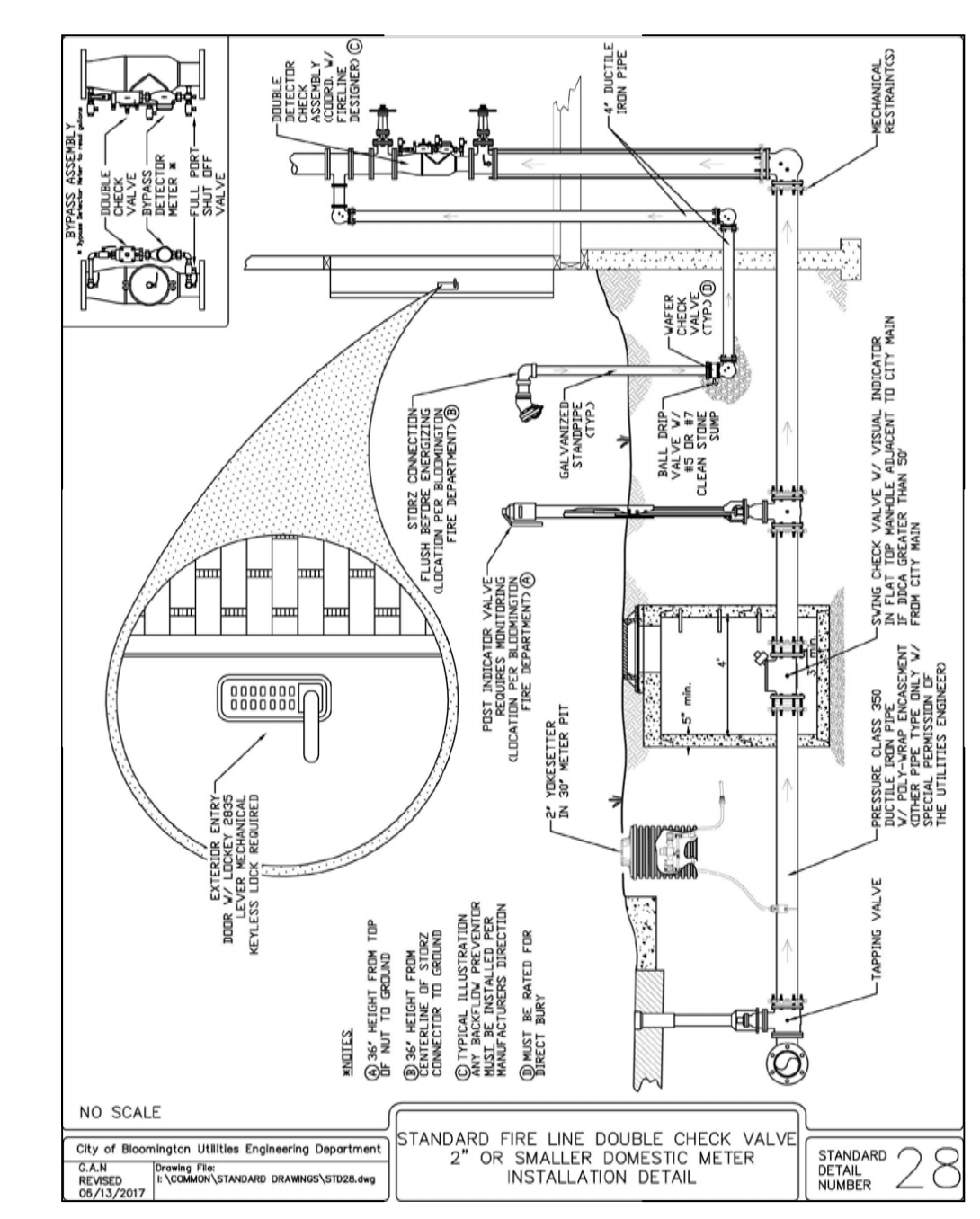
PLANT LIST

- 20 - ILEX GLABRA COMPACTA COMPACT INKBERRY 3 GAL.
- 19 - PANICUM VIRGATUM SHENANDOAH SWITCH GRASS 1 GAL.
- 1 - ACER RUBRUM RED SUNSET REDSUNSET MAPLE 2 1/2"
- 19 - WEIGELA FLORIDA DARKHORSE DARKHORSE WEIGELA 3 GAL.
- 2 - KOUSA VAR. CHINENSIS DOGWOOD CHINESE DOGWOOD 6" CLUMP
- 22 - BUXUS X GREEN GEM GREEN GEM BOXWOOD 18" OR 3 GAL.



Site Plan

SCALE: 1" = 10'



28

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 121 E. Kirkwood Ave.**

**CASE #: SP-34-17
DATE: November 13, 2017**

PETITIONER: TMC Bloomington LLC
205 N. College Ave., Suite 206, Bloomington

CONSULTANTS: Strauser Construction Co., Inc.
4213 East Third Street, Bloomington

REQUEST: The petitioner is requesting site plan approval for one four-story mixed use building within the Commercial Downtown (CD) zoning district.

BACKGROUND:

Area: 0.448 acres
Current Zoning: CD – Courthouse Square Overlay
GPP Designation: Downtown
Existing Land Use: Parking lot
Proposed Land Use: Mixed use: First floor commercial, upper floor condominiums
Surrounding Uses: North, West – Downtown mixed uses
 East – CVS Pharmacy, church
 South – Buskirk Chumley Theater

REPORT: The property is located on the north side of East Kirkwood Ave. between Walnut St. and Washington St. and is zoned Commercial Downtown (CD), in the Courthouse Square Overlay (CSO). The petition site also contains the downtown CVS pharmacy, which is a 3 story former bank building. The property is adjacent to alleys on both the west and north sides of the property. Surrounding land uses include mixed use buildings along the courthouse square to the west and north, a church to the east, and the Buskirk Chumley Theater to the south. The property currently contains a surface parking lot. The property is located immediately east of the Courthouse Square Historic District. This petition will be presented to the Historic Preservation Commission on November 9th for a “courtesy review.” Staff will present a synopsis of their discussion at the hearing.

The petitioner proposes to develop this property with a 5-story building. The street level would contain two commercial spaces totaling about 2,200 square feet and 20 parking spaces. The upper floors would contain 22 condominiums for sale. The building is a modern design and is clad in brick, limestone and glass. Access to the parking garage is from the east/west alley to the north of the building.

Plan Commission Site Plan Review: Two aspects of this project require that the petition be reviewed by the Plan Commission, per BMC 20.03.020. The aspects are as follows:

- The proposal does not meet multiple standards in BMC 20.03.050 and BMC 20.03.060 including:
 - Height
 - Density

- Historic Step Down
- Ground Floor void to solid
- Window detailing
- Base, middle, and cap
- The proposal is adjacent to a residential use.

SITE PLAN ISSUES:

Residential Density and Owner Occupancy: The maximum residential density in the Courthouse Square Overlay is 33 units per acre. The petition site is .448 acres. The petitioner is proposing 48.83 units per acre. This is an approximately 40% increase over CSO maximum. The maximum allowable density on the site is 14.78 DUEs. The petitioner is proposing 20.98 DUEs. Most units are larger than the maximum permitted for the DUE reductions in the UDO, so they are counted as the next larger unit size. The chart below and the other numbers in this report represent a likely scenario, however the exact bedroom mix may change depending on the desire of future unit owners.

Dwelling Unit Equivalent Breakdown (as drawn)

Type of Unit	Count of Unit	Count of Beds	DUEs per unit	DUEs
Large 1-beds	3	3	0.66	1.98
Large 2-beds	5	10	1	10
3-bed	14	42	1	14
Total	22	55		20.98

The proposal does not meet UDO requirements related to density.

The petitioner has committed that the units will be owner occupied. Private covenants will prohibit owners from offering units as short-term rentals. Additionally, the petitioner proposes to restrict occupancy of units to no more than two unrelated adults.

Residential Uses on the First Floor: The Courthouse Square Overlay does not permit ground floor residential uses. The proposal contains parking spaces to be used by the condominiums. Ground floor residential uses are restricted, in part, to encourage the activation of the ground floor along public streets to ‘capitalize on, maintain and enhance the pedestrian activity generated by the CSO District’. The entirety of the building fronting on Kirkwood Ave in the proposal is commercial and the parking is hidden behind the retail space.

Height: The maximum height in the CSO is 40 feet. The UDO defines building height as “the vertical dimension from the lowest point of the building, structure, or wall exposed above the ground surface to the highest point of the roof, parapet wall, or uppermost part. Chimneys, vents, mechanical equipment or utility service structures shall not be included in the measurement of vertical dimension.” The building measures 67 feet tall per the UDO definition. The tallest part of the building is from the south east corner of the lot along Kirkwood to the top of the limestone parapet wall. From the southeast corner of the lot to the top of the roof, the building is 60’9” tall. This petition exceeds the maximum permitted height of the CSO by 27 feet. Even with the proposed fifth floor step back, the

building appears to be out of scale to surrounding buildings.

Parking: The DCO requires no parking spaces for residential or non-residential uses. The petitioner is proposing 20 garage parking spaces. This equates to approximately one parking space per condominium. The parking is screened from view from the street by the commercial space and the lobby. Access is from the east-west alley at the northeast corner of the site. The proposal meets parking requirements.

In addition to on-site parking, through removal of a curb cut onto Kirkwood Ave and the reconstruction of the streetscape, three new street parking spaces on Kirkwood will be created.

Bicycle Parking: A total of 14 bicycle parking spaces is required with this petition. None are shown on the plans, but there is adequate space for them. Four short term spaces are required along the street for the commercial space. Three spaces must be class I spaces, like bike lockers, 5 must be covered class II spaces such as inside the garage, and the remaining 2 can be any style of Class II space. The proposal must meet bicycle parking requirements.

Architecture/Materials: The building has a modern design, with brick and limestone and a large amount of curtain wall glass. The materials meet CSO requirements.

The modern design and curtain walls do not meet other CSO requirements. The CSO requires punched style windows with distinctive sills and lintels (20.03.060(b)(3)(C)(iii)). Also required are building design elements to create a distinctive base, middle and cap (20.03.060(b)(5)(A)). None of these elements are found in the proposal. Some upper story windows utilize a "curtain wall" type design that is similar to the first floor storefront. This is prohibited by 20.03.060(b)(3)(C)(iii).

Streetscape: This petition proposes to remove 2 established street trees along E. Kirkwood. These trees are located in planters that will be rebuilt to remove the existing curb cut and to provide additional street parking. Two new street trees within tree grates are proposed to replace them. In addition, the brick sidewalk and existing street furniture, including street lights, will remain. The proposal will meet minimum street tree and light requirements, however the street tree grates are not in keeping with the character of the streetscape on this block. If the Plan Commission does not accept the Department recommendation of denial, staff will work with the petitioner to design trees planters more in keeping with the streetscape.

Impervious Surface Coverage: The Courthouse Square Overlay allows for 100% impervious surface coverage. The proposal meets this standard.

Pedestrian Facilities/Alternative Transportation: Sidewalk exists along E. Kirkwood Ave. The petition will meet UDO requirements to maintain or enhance those facilities with street trees and lighting in the same style of the Kirkwood streetscape.

No additional Bloomington Transit facilities are required with the development. Bloomington Transit Routes 1, 2, 3, 4, and 5 run within a block of this site.

Building Façade Modulation: BMC 20.03.060(c)(1)(A) allows a maximum façade width for each module of 50 feet for those sides of the buildings with frontage. The eastern and western modules are offset by a 2'9" modulation meeting the CSO requirement. The petition meets this standard.

Building Height Step Down: BMC 20.03.060(c)(2) requires that the adjacent façade module on buildings located to the side of a surveyed historic structure not be more than one story taller, or 14 feet taller, than the surveyed structure. The Book Corner building to the west is a surveyed historic structure (Notable) and is also located in the Courthouse Square Historic District. The proposed building extends approximately 2 stories, or 27 feet taller than the historic building without a step down. The petition does not meet this standard.

Void-to-Solid Percentage: The CSO sets a minimum first floor void-to-solid requirement of 70%, consisting of transparent glass or façade openings, for first floor facades facing a street. Upper stories are required to have a minimum of 20% void and permitted a maximum of 70% area. The proposal does not meet minimum first floor void percentage requirements. The 5th floor is close to, but not over the maximum void of 70%.

- Ground floor = 49.6%
- Level 2-4 = 37.5%
- Level 5 = 65.6%

Green Infrastructure: The petitioner has submitted a list of green development features. Some of these features have become commonplace in Bloomington, such as use of a white membrane roof, low VOC content materials, use of common area light sensors, and use of regional materials. The petitioner has proposed some non-standard elements, such as reduction in water use, energy efficient mechanical equipment, high performance window glazing, and “fluid applied membranes” over exterior sheathings to reduce air transmissions through building, but provides little detail about their implementation.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 2 recommendations concerning this development.

- 1.) The Petitioner should reduce the amount of pavement between the building and Kirkwood Ave. by installing additional landscaping, thus improving the walkability and reducing the site’s total environmental footprint.

Response: If the Plan Commission does not deny the petition, the petitioner should look at ways make the make the changes to the Kirkwood streetscape be more in keeping with the established streetscape including reconstruction of planter blocks instead of the proposed street tree grates.

- 2.) The Petitioner should apply green building and site design practices to create a high performance, low-carbon footprint structure.

Response: If the Plan Commission does not deny the petition, the petitioner

should look at ways to strengthen the green building features per the recommendations of the Environmental Commission and Schmidt and Associates.

CRITERIA AND FINDINGS FOR SITE PLANS

20.09.120 (e)(9) The staff or plan commission, whichever is reviewing the site plan, shall make written findings concerning each decision to approve or disapprove a site plan.

(A) **Findings of Fact.** A site plan shall be approved by the staff or plan commission only upon making written findings that the site plan:

(i) Is consistent with the growth policies plan;

Proposed Findings:

While this petition furthers many goals of the Growth Policies Plan (GPP) and the Downtown Vision and Infill Strategy Plan (Downtown Plan) including redevelopment of underutilized property (GPP p. 39), increased residential density (GPP p. 39), and inclusion of a housing style that is not common downtown (owner occupied condominiums) (Downtown Plan p. 5-7 and 5-9), it does so with a design and intensity that is counter to the more specific policies of the Downtown Plan.

The Downtown Plan notes that existing structures within the courthouse square often have a decreased upper story void percentage through use of smaller upper story, double-hung punched windows, a molding or cornice that caps the building, and articulated architectural detailing that defines each story of the building.

The Downtown Plan recommends that:

- Development in the Courthouse Square Character Area should be compatible with historic structures and should relate in terms of building massing and orientation.
- New buildings that are larger than those seen historically should...be articulated to the extent that the building appears to be in scale with its neighbors.
- In addition, building volumes should appear within the range of those seen traditionally.
- Many traditional structures are two to four stories in height and this scale should be expressed in new construction.

The proposed building does not relate in style, height, massing or volume to its neighbors, either on the north or south sides of E. Kirkwood Ave. and thus is inconsistent with the Growth Policies Plan.

(ii) Satisfies the requirements of Chapter 20.02, Zoning Districts;

Proposed Findings:

The project meets all applicable development requirements of Chapter 2.

(iii) Satisfies the requirements of Chapter 20.05, Development Standards;

Proposed Findings:

With the addition of the required bicycle parking, the project will meet all applicable development requirements of Chapter 5.

(iv) Satisfies the requirements of Chapter 20.07, Design Standards; and

Proposed Findings:

No subdivision is involved, so this is not applicable.

(v) Satisfies any other applicable provisions of the Unified Development Ordinance.

Proposed Findings:

The UDO includes an intent for the Courthouse Square Overlay (20.03.010). This includes guidance to the Plan Commission to ensure that new buildings are compatible in “mass and scale” with historic buildings. The Plan Commission finds that the proposed building is not compatible in mass and scale with adjacent historic building.

Per 20.03.030, the Plan Commission **may** (emphasis added) approve any project that does not comply with all the standards of *Section 20.03.050: Courthouse Square Overlay; Development Standards* and *Section 20.03.060: Courthouse Square Overlay; Architectural Standards* if the Commission finds that the project:

- Complies with all review standards of *Section 20.09.120: Site Plan Review*, and

This petition meets all applicable requirements of 20.09.120.

- Satisfies the design guidelines set forth in *Section 20.03.070: Courthouse Square Overlay; Design Guidelines*.

This petition fails to meet many of the design guidelines of the Downtown Plan, including the guidelines for traditional design (3.3 & 3.4), stepping down height adjacent to historic structures (3.8), encouraging building of 2-4 stories in height (3.9), and traditional upper story window styles (3.13). These guidelines are particularly important in the context of the location adjacent to the Courthouse Square Historic District and on a block with many historic, traditional buildings.

- The Plan Commission is encouraged to consider building designs which may deviate in character from the architectural standards of this section but add innovation and unique

design to the building environment of this overlay area.

While the proposed building may be unique, its mass and scale is out of context with surrounding historic structures and thus inappropriate at this location.

- The Plan Commission is encouraged to consider the degree to which the site plan incorporates sustainable development design features such as vegetated roofs, energy efficiency, and resource conservation measures.

While the petitioner has committed to several green development features, none are particularly innovative and most are becoming mainstream features of buildings in downtown Bloomington.

CONCLUSION: This petition exceeds maximum height and density requirements in the Courthouse Square Overlay. The massing and design are incompatible with surrounding structures, particularly the adjacent historic district. The building is not particularly green and while it includes a housing style not typically found in downtown Bloomington, owner occupied condominiums, the proposal is at a height and intensity incompatible with the CSO and the area.

RECOMMENDATION: The Department recommends that the Plan Commission adopt the proposed findings and deny the petition.

MEMORANDUM

Date: October 31, 201t

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Through: Linda Thompson, Senior Environmental Planner

Subject: SP-34-17, TMC Bloomington, LLC, Kirkwood Condos
121 E Kirkwood Ave.

The purpose of this memo is to convey the environmental concerns and recommendations of the Environmental Commission (EC) with the hope that action will be taken to enhance the environment-enriching attributes of this proposed plan. The request is for a Site Plan approval of a 4-story mixed use building in the Commercial Downtown district and the University Village Overlay.

ISSUES OF SOUND ENVIRONMENTAL DESIGN

1.) WALKABILITY

The 2002 Growth Policies Plan, Part 2, The Geography of the Policies, Site Design, page 29, calls for the downtown to continue to be developed at a human scale, with amenities such as street trees, and for downtown greenspace to be improved.

In the front of the proposed building, the pavement will extend from about 20 to 30 feet to the street. This will be a very wide swath of sidewalk. The EC believes that landscape material should be installed as a replacement for some of this concrete along Kirkwood Ave. to enhance its walkability and the aesthetic appeal of the downtown area. The extent of how inviting this site is to pedestrians is important environmentally, as well as how it contributes to quality of life by promoting walking instead of driving, thus reducing CO₂ emissions; increasing plant diversity, which will attract birds and butterflies downtown; and reducing the urban heat island effect to provide multiple environmental benefits.

2.) GREEN BUILDING

The EC recommends that the developer design the building with as many best practices for energy savings and resource conservation as possible. Some examples of best practices that go beyond the Building Code include enhanced insulation; high efficiency heating and cooling; high efficiency toilets; programmable thermostats; sustainable floor coverings; and recycled products such as carpet and counter tops. Some specific recommendations to mitigate the effects of climate change and dwindling resources include the following.

Reduce Heat Island Effect The roof material should have a minimum initial Solar Reflective Index (SRI) of 0.65, and an aged index of 0.55. (*SRI* is a value that incorporates both solar reflectance and emittance in a single value to represent a material's temperature in the sun. *SRI* quantifies how hot a surface would get relative to standard black and standard white surfaces. It is calculated using equations based on previously measured values of solar reflectance and emittance as laid out in the American Society for Testing and Materials Standard E 1980. It is expressed as a fraction (0.0 to 1.0) or percentage (0% to 100%)). If a roof membrane is used, it should be overlaid with a reflective coating or covered with a white, granulated cap sheet.

Water conservation As recommended in the *City of Bloomington Utilities Water Conservation Plan*, every effort should be used to conserve water. All fixtures should be the low-flow type. The faucets for hand washing sinks should be the self-closing type, and the toilet design and plumbing should be the high efficiency type.

Electric vehicle charging stations The parking areas for the residential units should have some electric vehicle charging stations.

Solar energy generation Install solar photovoltaic cells to reduce the use of greenhouse-gas emitting pollutants. This building is ideal for photovoltaic (PV) solar panels because it has a flat roof. Solar power is now competitive with coal, especially considering the full-cost accounting price.

Green building and environmental stewardship are of utmost importance to the people of Bloomington and sustainable features are consistent with the spirit of the Unified Development Ordinance (UDO). Additionally, they are supported by Bloomington's overall commitment to sustainability and its green building initiative. Sustainable building practices are explicitly called for by the Mayors' Climate Protection Agreement signed by former Mayor Kruzan; by City Council Resolution 06-05 supporting the Kyoto Protocol and reduction of our community's greenhouse gas emissions; by City Council Resolution 06-07, which recognizes and calls for planning for peak oil; and by a report from the Bloomington Peak Oil Task Force, *Redefining Prosperity: Energy Descent and Community Resilience Report*.

EC RECOMENDATIONS

- 1.) The Petitioner should reduce the amount of pavement between the building and Kirkwood Ave. by installing additional landscaping, thus improving the walkability and reducing the site's total environmental footprint.
- 2.) The Petitioner should apply green building and site design practices to create a high performance, low-carbon footprint structure.



SCHMIDT
ASSOCIATES

October 27, 2017

Terri Porter
Director of Planning and Transportation
The City of Bloomington
401 North Morton Street, Suite 130
Bloomington, IN 47404

Re: Kirkwood Condos
Bloomington City Architect - 2017-040.000

Dear Terri:

Schmidt Associates has reviewed the revised Plan Commission Submittal dated 9/28/2017 for the Kirkwood Condominiums and Retail Project located at 121 East Kirkwood Avenue. The project is a 5-story, mixed use project proposed for construction on what is currently a surface parking lot. The first floor contains two commercial spaces totaling 2,200 (up from 1,500 SF originally) and 20 secured parking spaces. Floors 2-5 contain approximately 22 condominium units. We understand the bedroom count may be dependent upon the desires of the purchasers of these units, but the maximum could be 17 three-bedroom units and 5 two-bedroom units.

The proposed density of 78 DUEs per acre is well over the maximum development density of 9.3 DUEs per acre. The Petitioner's Statement indicates their belief that this project addresses the City's desire for diverse urban housing options with owner-occupied condominiums. They feel the range of sizes/bedroom options will permit diversity in pricing and they noted that the project will be marketed to young professionals, retirees, and downtown/university based employees.

The site is located within the Courthouse Square Overlay (CSO) District. The District Intent indicates a desire for "interesting buildings that respect the established context of traditional storefront buildings that are two to four stories in height." The Development Standards for the CSO indicate a maximum height of 40', which may be closer to three stories rather than four, depending upon the floor-to-floor heights of a given project.

Issues identified by the Planning staff include building height, building height relative to the Courthouse Square Historic district, density, modulation, commercial space, sustainable design, construction staging, maintenance of transportation (MOT) and alley closures.

**415 Massachusetts Avenue
Indianapolis, IN 46204
317.263.6226
317.263.6224 (fax)
www.schmidt-arch.com**

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Jim Heinzelman
Greg Hempstead, AIA, LEED AP
Cindy McLoed, AIA
Steve Schaecher, AIA, LEED AP
Megan Scott, CPSM
Charlie Wilson, CPD, LEED AP
Mary Ellen Wolf, AIA, LEED AP
Liming Zhang, RLA, CPESC, LEED AP

Registered Professionals

Jeff Burnett, PE
Asia Coffee, IIDA, RID
Shane Cox, PE
Matt Durbin, CTS, MCSE
Laura Hardin, IIDA, RID
Allen Jacobsen, PE
Eddie Layton, AIA, LEED AP
Robin Leising, CSI, CCA
Tom Ning, RA
Jeff Reed, PE
Susan Sigmon, SHRM-SCP, SPHR
Chuck Thompson, CSI, CCS
James Walde, PE



Letter to Terri Porter
Kirkwood Condos - Bloomington City
Architect October 27, 2017
Page 2

Our comments on the project submittal are as follows:

MASSING & LAYOUT

- Most of the surrounding building context is a mix of 2-3 story commercial structures with a 4-story residential building at the southwest corner of North Washington Street and East 6th Street and a tall 3-story (Fraternity Building) on the east side of the courthouse square. The Kirkwood Condos, as proposed at 5-stories (60' to 64' high), easily feels 1-2 stories too high relative to the context.
- If the height of the building were to be reduced, the developmental density difference (78 DUEs vs. 9.3 DUEs) would move closer to aligning, but may still not comply. From the Petitioner's Statement, it appears they feel this density is necessary to offset some additional project costs related to burying electrical lines in both alleys which are currently pole-mounted. Burying the electrical lines will greatly clean up the views from the building and in the area in general. The determination of whether to allow the additional density and building height should be considered by the City, especially in light of the project's location in the Courthouse Square Overlay District.
- The project has a modern design character with a brick and stone veneer and a large amount of glass. The materiality fits within the guidelines for this district and visually fits with the early modern appearance of the adjacent limestone-clad building to the east which will house a CVS Pharmacy at the street level.
- The building modulation along the West Kirkwood façade is relatively good, breaking to the elevation into distinct areas of brick masonry and glazing. The brick masonry elements are lower in height to bring the scale down to that of the neighboring buildings. This is helpful, but not totally successful given that the height of the brick masonry elements is still one story higher than the neighboring buildings.
- A portion of the building's west elevation steps back at the 5th Floor with a terrace at the southwest corner which helps somewhat in bringing the façade height down in that area, especially when viewed from street level.
- The building's plan is very efficient with a single, double-loaded corridor running north-south down the center of the building and connecting the two egress stairs. A passenger elevator is adjacent to the stair along Kirkwood, as it should be for convenient access.



Letter to Terri Porter
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MATERIALS

- The proposed design has a modern appearance, utilizing brick and limestone veneer with a large amount of glass.
- The area of glazing is appropriate and handled well on the north, west, and east elevations. The amount of glazing in curtainwall systems is relatively high on the Kirkwood elevation and may want to be reconsidered, although it would be better if height reductions were made.
- The north and west elevations have been nicely complemented with large areas of limestone panels and continue the modulation to break down those sides of the building. Unfortunately, those facades are less publicly visible given they both face alleys.

SITE

- Parking garage access is from the northeast off Washington Street via the east-west alley to the north. The garage is marked for parking 20 vehicles, but it appears that two of the spaces will be “parked in” along the east wall. Two more spaces along the south wall of the parking garage will be challenged with backing out to leave with no real space in which to back up. A compact car requirement may be necessary in these locations to make them more useful.
- With a total of 22 condominiums proposed and up to 61 beds, the 20 proposed parking spaces would seem inadequate, but the UDO in this area appears to not require parking.
- Built mostly to the property lines, there is minimal site area to develop. The sidewalk along West Kirkwood Avenue has a comfortable depth with two street trees with tree grates. A portion of the sidewalk is proposed to be paved with brick pavers salvaged from the demolition of the existing sidewalk, which is a good sustainable use of materials. The brick area aligns with existing brick paving in front of the adjacent sites to the east and west and is laid in a herringbone fashion.
- Maintaining existing street trees and planting islands along Kirkwood would provide better spacing from the proposed structure and more rooting area than the proposed tree grates which will equate to healthier trees. If there is no other way to avoid putting trees in grates, consider a structural soil solution under the sidewalk to increase rooting volume and increase the probability of a successful street tree.
- A bike parking area on a concrete pad was noted as BP on the Site Plan Legend, but we were unable to locate this designation.
- A planter (not detailed) is proposed at the east edge of the north-south alley, providing an appropriate endcap of sorts to the four parallel parking spaces at the street edge. We are unsure of the size of delivery vehicles that will need to access this alley with a turn off on Kirkwood. It should be reviewed to make sure that the construction of the planter will not be at risk due to a turning radius challenge of a delivery vehicle. See the comment above about maintaining existing street trees. The planter may just be an expansion of the tree area in this scenario.



Letter to Terri Porter
Kirkwood Condos - Bloomington City
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SUSTAINABILITY AND INNOVATION

- A separate list of Green Building Initiatives dated October 10, 2017 was received from Strauser Design + Build on October 16. None of the items were particularly innovative and most are considered mainstream sustainable approaches in current design thinking. The listed items are enumerated below with comments:
 1. The building will reduce water use by 30% over code requirements.
 - This is a LEED credit that can be documented by calculating proposed flush/flow fixtures vs. code minimum fixtures. This degree of sustainability is not publicly visible but reduces pressure on water/sewer utilities.
 2. The building will utilize a white roof membrane to lower heat island effect.
 - This is a LEED credit that can be documented against a solar reflectance Index (SRI) value. This degree of sustainability is publicly visible from a higher elevation and contributes to reducing urban heat island effect.
 3. The building construction will implement a t construction waste management plan that will divert 50% of construction waste through recycling.
 - This is a LEED credit that can be documented through construction and verified. This aspect of sustainability is publicly visible during construction if highlighted. While reducing impact on landfills it does not have a lasting public legacy on Kirkwood.
 4. The building will source a minimum of 20% of materials regionally (LEED definition of Regional).
 - This is a LEED credit that can be documented. This aspect of sustainability is not particularly visible to the public. It is a tenet of sustainability and necessary to continue to encourage sustainable products.
 5. The building will source materials that have 10% recycled content following LEED criteria.
 - This is a LEED credit that can be documented. This aspect of sustainability is not particularly visible to the public. It is a tenet of sustainability and necessary to continue to encourage sustainable products.



Letter to Terri Porter
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Architect October 27, 2017
Page 5

SUSTAINABILITY AND INNOVATION (cont)

6. The building will utilize low-emitting materials such as adhesives, sealants, paints and coatings.
 - Indoor air quality is a component of green building. These items can be documented against the LEED standard which would set VOC limits for each category. This aspect of sustainability is not particularly visible to the public.
7. Utilize energy-efficient mechanical equipment.
 - Without an energy model comparing proposed to a baseline model, this statement is difficult to quantify. Assumption is that each unit will have residential style systems, individually metered. A potentially more efficient system, variable refrigerant flow (VRF) would allow energy to be “traded” around the individual spaces through the refrigerant. Energy efficiency benefits the environment in lower impacts from the power plant or combustion emissions. It does not have a direct impact to the public on Kirkwood.
8. Utilize technology such as lighting sensors in key areas of the interior build-out to reduce electrical load.
 - Vacancy sensors are required by code in some applications. This would contribute to energy efficiency.
9. Utilize higher performance glazing to reduce solar heat gain or heat transfer to allow for optimal efficiency of HVAC systems.
 - Higher performance glazing would contribute to overall building energy efficiency.
10. Utilize fluid-applied membranes over exterior sheathings to reduce air transmission through the building envelope and improve performance.
 - Improving the building envelope would contribute to overall energy efficiency. It is difficult to quantify impact without energy modeling. This aspect of sustainability would not be particularly visible to the public on Kirkwood.



Letter to Terri Porter
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Architect October 27, 2017
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Comparing the proposed sustainable practices to the Green Development Incentive Goals in the UDO; it appears several could qualify as meeting the goals:

Goal 1: Structure and development efficiency of energy & resources.

- Many of the sustainable practices proposed relate to Goal 1.

Goal 2: Landscape and site design

- This goal is not largely addressed by the applicant's submittal.
- Opportunities to increase sustainable features that the public might recognize may include:
 - structural soil/suspended pavements to enhance the street tree environment/or preserve the existing and make utility connections very sensitively
 - rainwater harvesting with some type of exterior tank or expression
 - vegetated roofs that are visible from the street level to enhance the overall green aesthetic
 - PV panels
 - electric car charging station
 - sheltered bicycle parking with minor repair capabilities.

Goal 3: Pedestrian friendly, mixed use

- This is not specifically stated but would likely be achievable due to the location of the proposed project

Goal 4: Accessibility to public transit

- Is also not mentioned but location of the proposed project would make it very favorable to meeting this goal.

In summary, a green development incentive does not appear to be requested. However, with some attention to Goal 2, it appears the project could be made eligible.



Letter to Terri Porter
Kirkwood Condos Bloomington City Architect
October 27, 2017
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Please let us know if you have any further questions regarding this design feedback.

Sincerely,

SCHMIDT ASSOCIATES, INC.
Architecture • Engineering • Interior Design • Landscape Architecture

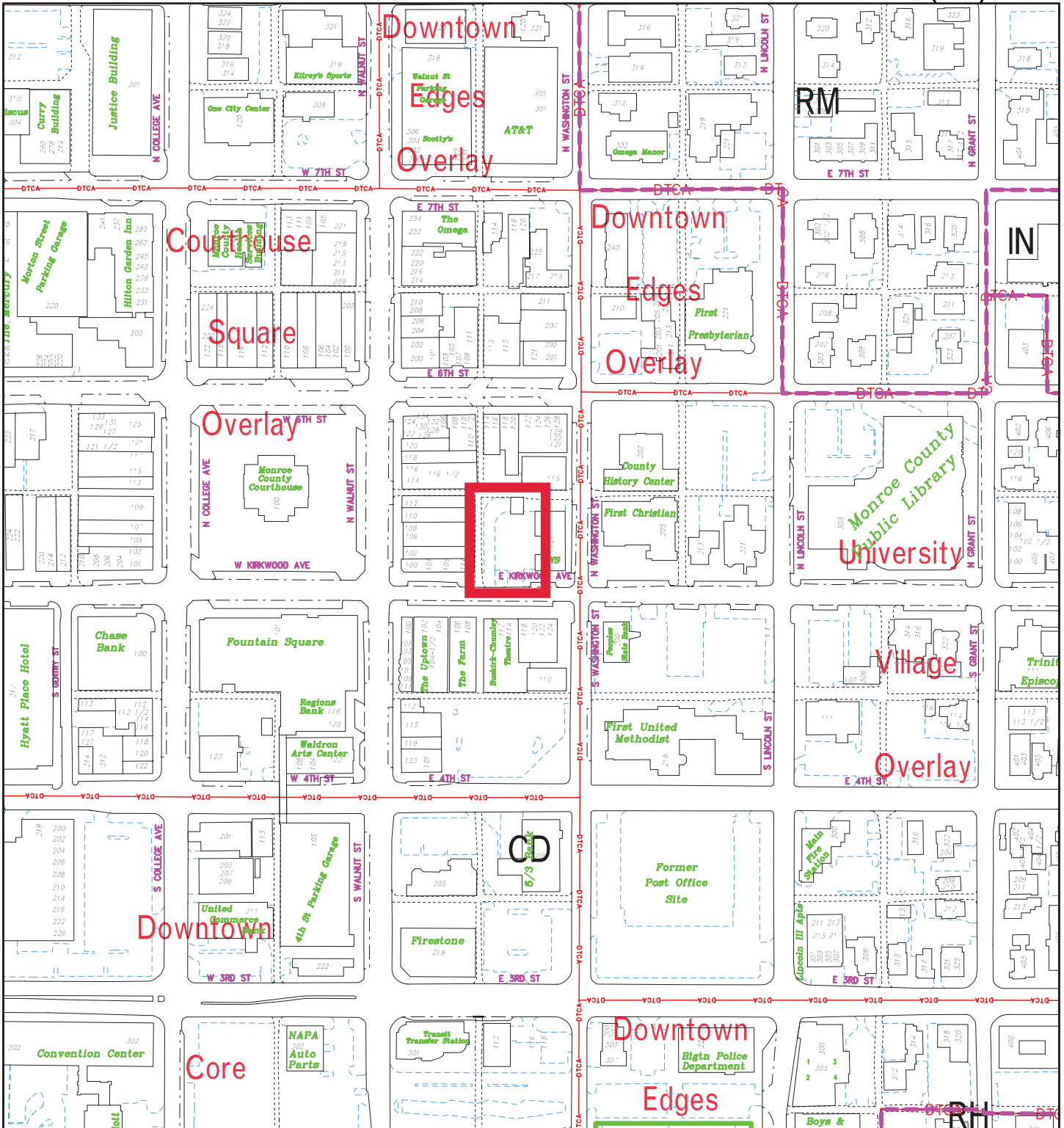
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Steven K. Alspaugh AIA LEED AP BD+C
Design Architect/Associate
salspaugh@schmidt-arch.com

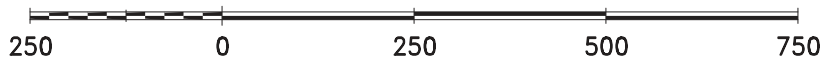
Craig M. Flandermeyer RLA LEED AP BD+C
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SKH/SKA/ CMF:lab

Copy: James Roach, The City of Bloomington
Lisa Gomperts, Schmidt Associates



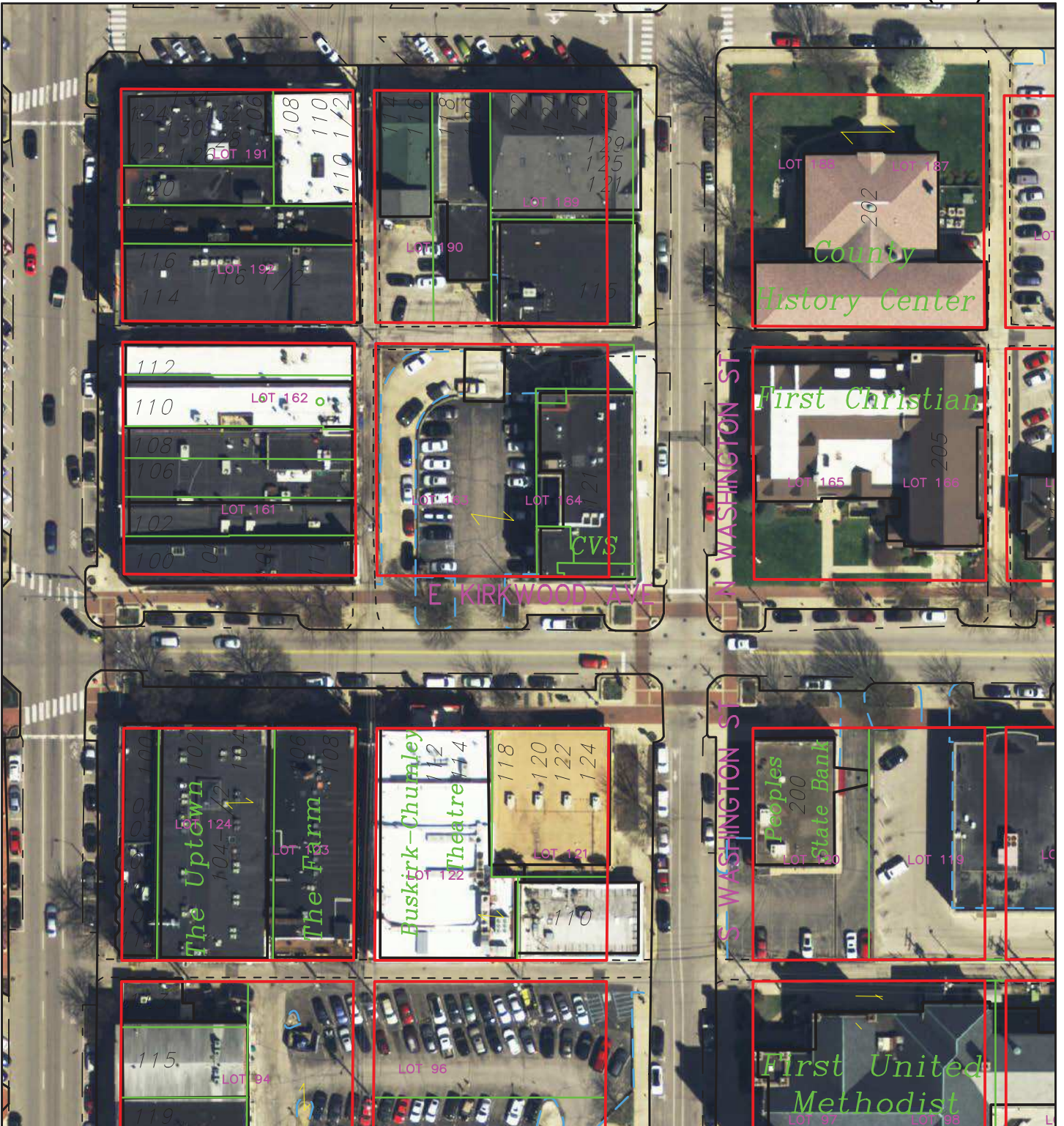
By: roachja
 28 Sep 17



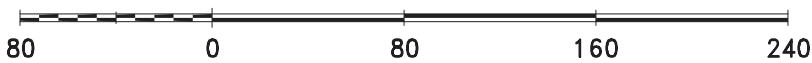
City of Bloomington
 Planning & Transportation

N

Scale: 1" = 250'



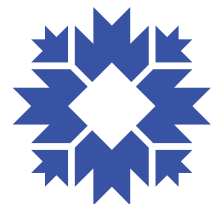
By: roachja
28 Sep 17



For reference only; map information NOT warranted.



City of Bloomington
Planning & Transportation



Scale: 1" = 80'



121 Kirkwood

Condominiums & Retail

October 10, 2017

RE: Green Building Initiatives

The 121 Kirkwood building will be an urban infill project that will make every effort to minimize its impact on the built environment through efficient design, planned construction techniques, and detailed material selections.

As part of the project the design and construction team will work to achieve the following goals:

- The building will reduce water use by 30% over code requirements.
- The building will utilize a white roof membrane to lower heat island effect.
- The building construction will implement a construction waste management plan that will divert 50% of construction waste through recycling.
- The building will source a minimum of 20% of materials regionally (LEED definition of Regional)
- The building will source materials that have 10% recycled content following LEED criteria.
- The building will utilize low emitting materials such as adhesives, sealants, paints and coatings.
- Utilize energy efficient mechanical equipment.
- Utilize technology such as lighting sensors in key areas of the interior build-out to reduce electrical load.
- Utilize higher performance glazing to reduce solar heat gain or heat transfer to allow for optimal efficiency of HVAC systems.
- Utilize fluid applied membranes over exterior sheathings to reduce air transmission through the building envelope and improve performance.

The proposed building's design and density is driven by the unique nature of an infill owner-occupied residential project on a smaller city lot. Our research indicates that the market desires downtown condominiums that provide a unique urban experience. As such, we are offering a design that offers 10 foot ceilings, large outdoor rooms, unique common area amenities and approximately one secured parking spot per unit. The Kirkwood level footprint is comprised of street retail, condominium lobby entrance and secured parking. The residential units are located on floors two through five. Additionally, there are other site related expenses unique to an urban infill project that drive the need for additional density: these include land costs, infrastructure (e.g. need to bury electrical lines in both alleys) and construction staging. In order to address this density need, the design steps-back at Kirkwood to bring the scale down. Additionally, the canopy along the street level will bring the street front down to a human scale consistent with Kirkwood.

The project and design is in scale with historical structures and recently approved/constructed projects. The Buskirk, KP building on the Square, Oddfellows, CVS and Uptown buildings are examples of multistory buildings adjacent to the lot. Newer projects such as the Sullivan's building and downtown hotel projects are representative of Bloomington's evolution towards recognizing the need for greater density for urban infill projects.

The overall design, through the use of brick, limestone, glass and metal breaks the façade up to visually integrate the building into the fabric of Kirkwood and surrounding buildings. The structure itself is to be built with a steel beam/concrete core. This, combined with the use of quality and timeless exterior materials on all four sides, will result in an attractive building that will add to the long-term character of downtown and Kirkwood. Unlike many of the new apartment structures, our project utilizes a design that owner's will be proud to call home for many years to come.

In order to reduce the likelihood that these units may be converted to rentals, the condominium association documents will prohibit owners from offering units for short-term rental such as Airbnb. Additionally, the documents will prohibit the units from being occupied by more than two unrelated adults. These restrictions will aid in the maintenance of a strong owner-occupied environment.

Finally, the addition of nearly 2,200 SF of retail will provide new modern space for the downtown retail scene.



205 N. COLLEGE AVE | SUITE 206 | BLOOMINGTON, IN 47404
P H O N E : 3 1 7 . 7 0 5 . 8 8 0 0

PETITIONER'S STATEMENT

October 10, 2017

City of Bloomington Plan Commission
401 N. Morton Street
Bloomington, IN 47403

Re: Plan Approval at 121 E. Kirkwood Avenue

Dear Commission Members:

The purpose of our request is to construct a mixed-use project on a small urban infill lot located at 121 E Kirkwood Avenue. The lot has served as a parking lot for adjacent businesses such as Workingmen's, ONB and CVS for well over 60 years. The proposed project is a continuation of T.M. Crowley's overall Bloomington redevelopment plans to add to the fabric of the Kirkwood corridor. TMC purchased the former Workingmen's building and adjacent parking lot in 2015. Phase 1 of our efforts was an adaptive reuse of the building. TMC brought a much needed full-service pharmacy to the building and is finalizing plans to return the 3rd floor to office condos. Phase 2 is the redevelopment of the adjacent parking lot. Our plan is to construct a 52,350 SF mixed-use building that includes approximately 20 secured parking stalls, 2,200 SF of Kirkwood retail and approximately 41,900 SF of owner-occupied residential condominiums consisting of approximately 22 units.

Bloomington's Growth Policy Plan and Downtown Vision and Infill Strategy Plan has longed recognized the need for diverse housing options. TMC proposes to address a long-ignored segment--owner occupied housing. TMC is offering an urban residential product that offers from one to three bedroom options. This range of bedroom options will permit diversity in pricing. The project will be marketed to young professionals, retirees and downtown/university based employees. This residential demographic is a much needed addition to our downtown core.



**121 E. Kirkwood
Condominiums & Retail**
Bloomington, Indiana

October 23, 2017

REVISION - City Planning Questions & Comments

- Item #01 Can we get a height measurement from the absolute lowest point part of the lot to the highest part of the building?
- Answer: Lowest part of site to highest roof elevation is 60'-9". Lowest part of site to the top of central limestone parapet is 67'-0".*
- Item #02 Other parts of the project that don't meet the overlay, but I assume you are aware of:
a) Density: 10.16 max DUEs, proposed is approximately 20.98 DUEs
b) Height: 40 foot max, proposed is approximately 61 feet
- Answer: The project team is aware of these items noted and is seeking waivers for these items.*
- Item #03 Historic Step Down: Building must step down height adjacent to historic structures to 1 story or 14 feet, taller than the historic structure. This building has parts that are 2 story and more than 24 feet taller than adjacent.
- Answer: The current design has made an effort to step the Kirkwood façade down by 1 story for approximately 75% of the Kirkwood frontage. The area this was not done is at the location of the stair/elevator core which needed to extend to the upper story of the building.*
- The project team is seeking a waiver for this item.*
- Item #04 You need more entrance detailing per 20.03.060(b)(6)
- Answer: See attached revised Main Level Floor Plan. Plan revises entrance into stair/elevator Lobby to incorporate a 4' recess from the building façade.
The entrance elevation will also incorporate a prominent building address and name on the glass adjacent the main entrance door.
The horizontal metal canopy will incorporate lighting to highlight this entrance location.*
- Item #05 Need to recess the entrance 4 feet. You need a building name, address and lighting at the entrance. Plus one of the items from 20.03.060(b)(6)(C).
- Answer: See above. 4' recess has now been incorporated into the plan and other items will be included at the entrance.*

The elevations and renderings currently illustrate a horizontal metal overhang (canopy) that runs along the Kirkwood façade. With the now 4' recess at the main entry into the elevator Lobby there is now approximately 5'-6" of covered depth at this entrance.

Item #06 Your upper windows need to incorporate lintels and sills and appear like a double hung punched window openings distinctive from first floor window types. I assume based on the modern aesthetic that you aren't going to make this change.

Answer: Due to the design aesthetic of the building we do not plan to have double-hung type punched openings exclusively. The current design incorporates a mix of curtain-wall sections of the façade and punched openings. The punched openings are oversized to maximize glass and connectivity from inside the units to the exterior. The plan currently would indicate these windows to have brick sills and brick/steel lintels. On elevations where punched openings are in limestone panel veneer, the panels would be fabricated to span above the window openings.

Item #07 You need at least 1 street lights. Looks like there are already 2 along this frontage. Is it safe to assume that you'll be locating and re-setting these existing lights? I think I see one on the plans. Can you make these more prominent?

Answer: See attached updated site plan. The plan indicates that 2 light fixtures would be maintained on the Kirkwood façade.

Item #08 The building doesn't have a distinctive cap as required by 20.03.060(b)(1). See comments above about windows.

Answer: The current design aesthetic of the building does not lend itself to distinct, ornate parapet caps. The building design consists of a series of planes that breaks down the overall scale and facades of the building through materials and small shifts. To maintain this, the design keeps the thinner profile of each plane to the top of the parapet and is best served without a large protrusion at the top. The parapets will be capped with metal that would affix tight to the façade substrate and have a maximum vertical dimension of 6".

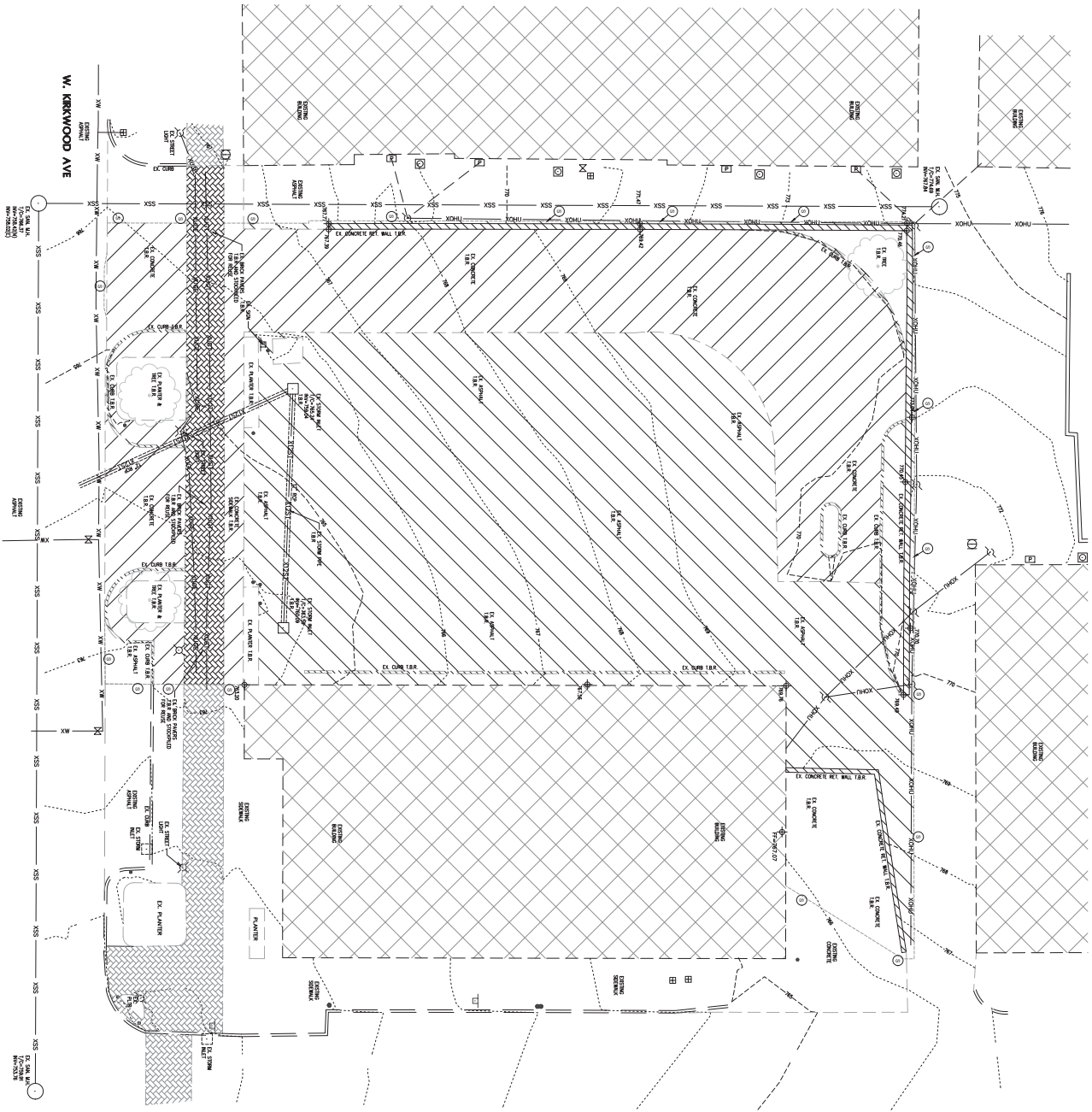
Item #09 The building doesn't appear to meet the modulation requirements. There are 2 distinct modules that appear to be less than 50 feet wide, but the horizontal offset needs to be at least 2'-9".

Answer: The initial submitted design had the modulations offset at 2'-6". The design has been modified with the west module recessed an additional 3" to allow for the required 2'-9" horizontal offset.

Item #10 Please edit the MOT to reflect the following comments from Transportation and Traffic Services.

- a) Bike around on Washington should be a walk-around. Signage needed about bike lane being closed and bikes being able to use full lane.
 - a. See revised MOT Plan
- b) Walk-around on Kirkwood needed to be accessible. Cut out bump-out or include ramps.
 - a. See revised MOT Plan
- c) Need more details on the length and timing of alley closures.
 - a. Strauser Construction would submit to City Engineering and BPW a detailed schedule that shows closures of west and north alley linked to the overall construction schedule during the BPW approval process. It should be assumed at this time that alleys will not be closed at the same time, but would alternate with one of the two alleys being closed at all times for a period of 8-12 months once the project begins.
- d) Be prepared to pay for closing of meters.
 - a. Noted
- e) BPW approval will be necessary for closures of more than 2 weeks.
 - a. Noted
- f) How will you maneuver materials from the Washington Street staging area to the staging area on Kirkwood.

- a. The plan would be to utilize the tower crane to move materials around the site for an extended duration of the project. There would be minimal times when material would be moved via forklift to the Kirkwood staging area, but our hope is that the crane would be utilized and then once the crane is removed from site the material can be moved through the first level parking garage to the front of the building and south elevator location.
- g) Please correct signage on plans. Sidewalk is not closed, there is a walk-around.
 - a. See revised MOT Plan
- h) Is a gate planned at the southern end of the staging area? Will trucks back out of the staging area or pull through?
 - a. The current plan does not indicate a gate on the southern end of the Washington Street staging area. Our plan would be for trucks to back out with a flagger stopping traffic. We believe this provides us the most lay down area and would reduce traffic conflict at the intersection.
- i) Please forward and estimate on truck delivery frequency and routes.
 - a. The plan would be for deliveries to all occur with trucks arriving via Washington Street coming one way from the north. The project will have periods of higher delivery rate such as concrete placement, followed by varying rates during steel erection, carpentry and masonry work. We anticipate there to be multiple deliveries made daily, but would plan to make as many deliveries as possible during the earlier morning hours to minimize any disturbances during heavier traffic periods.



EXISTING LEGEND

---	PROPERTY LINE
X	FENCE
AW	WATER LINE PIPE
CS	CONDUIT & ELEVATION
SS	SANITARY SEWER PIPE
ST	STORM SEWER PIPE
OE	OVERHEAD ELECTRIC LINES
UE	UNDERGROUND ELECTRIC LINES
OT	OVERHEAD TELEPHONE LINES
UT	UNDERGROUND TELEPHONE LINES
GP	GAS LINE PIPE

DEMOLITION LEGEND

1-8	TO BE REMOVED
1-9	TO BE DEMOLISHED
1-10	SMALL FOUNDATION

REVISIONS:



SCALE: 1"=20'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING
bloomington, indiana
(812) 339-2290 (Fax)

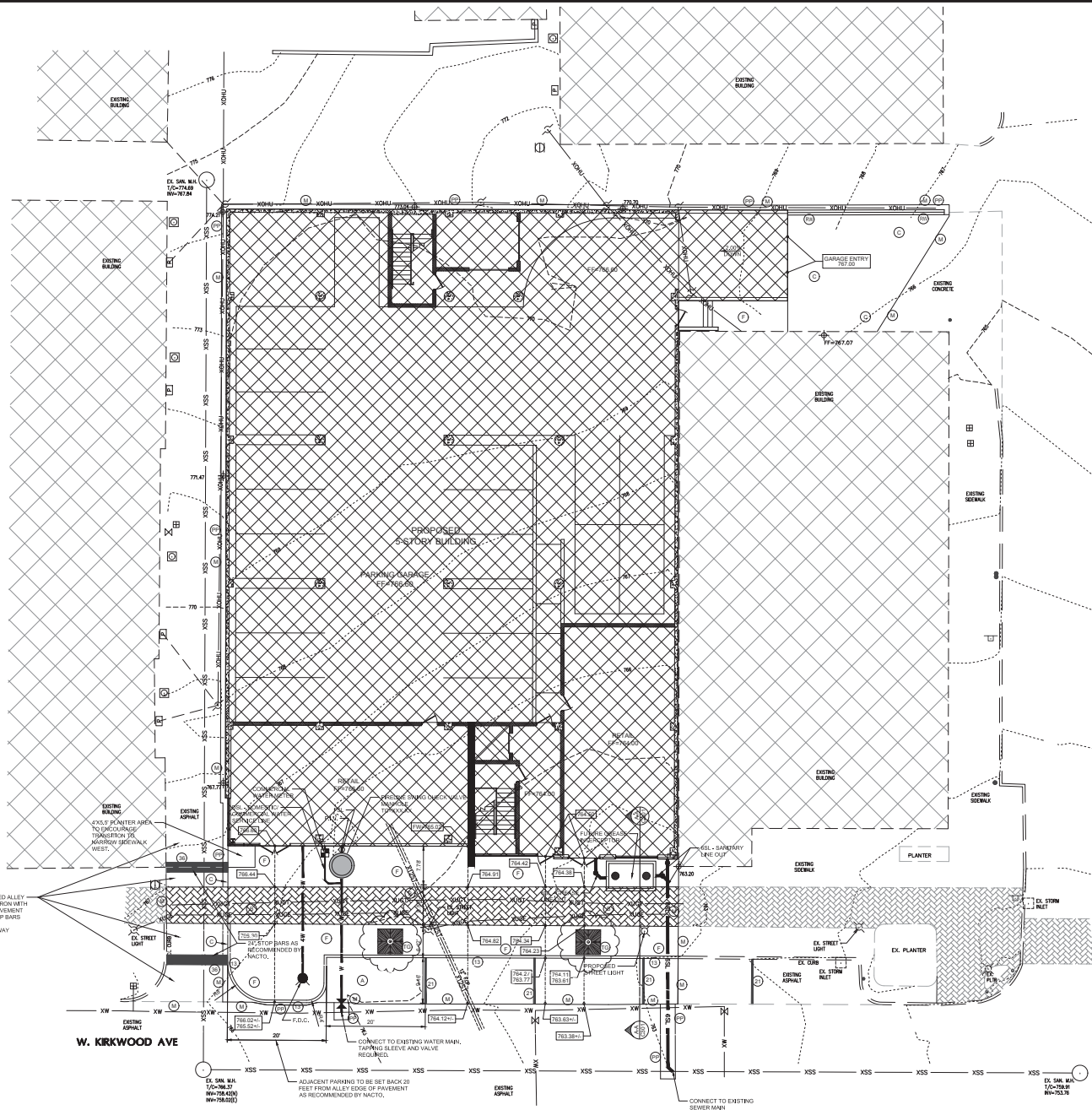
BFA
BYNUM FANYO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

CERTIFIED BY:

**PROPOSED
121 E. KIRKWOOD CONDOMINIUMS &
RETAIL**
121 E. KIRKWOOD AVE
BLOOMINGTON, INDIANA 47408

TITLE: DEMOLITION PLAN

DESIGNED BY: JBT
DRAWN BY: JBT
CHECKED BY: JBT
SHEET NO: C201
PROJECT NO: 401713



EXISTING LEGEND

- PROPERTY LINE
- - - FENCE
- - - - - WATER LINE PIPE
- - - - - XXX - - - CONTOUR & ELEVATION
- - - - - XSS - - - SANITARY SEWER PIPE
- - - - - XST - - - STORM SEWER PIPE
- - - - - X0HE - - - OVERHEAD ELECTRIC LINES
- - - - - X0GE - - - UNDERGROUND ELECTRIC LINES
- - - - - X0HT - - - OVERHEAD TELEPHONE LINES
- - - - - X0GT - - - UNDERGROUND TELEPHONE LINE
- - - - - X0AS - - - GAS LINE PIPE

SITE LEGEND

- (A) BITUMINOUS PAVEMENT
- (B) BRICK SIDEWALK (RECYCLED FROM SIDEWALK DEMOLITION)
- (C) BIKE PARKING RACK
- (D) REINFORCED CONCRETE PAVING
- (E) EXPANSION JOINT
- (F) CONTRACTION JOINT
- (G) CONCRETE SIDEWALK
- (H) MATCH EXISTING CURB, SIDEWALK, PAVEMENT ELEVATIONS
- (I) STANDARD ROAD PAVEMENT PATCH
- (J) SIDEWALK ADA ACCESSIBLE RAMP
- (K) REINFORCED CONCRETE RETAINING WALL WITH STEEL PIPE GUARDRAIL - SEE DESIGN BY OTHERS
- (L) 5' x 5' CAST IRON TREE GRATE
- (M) 6-IN. WIDE CONCRETE CURB
- (N) 4-IN. WIDE SOLID WHITE PAINTED PAVEMENT MARKING
- (O) 24-IN. WIDE SOLID WHITE THERMOPLASTIC PAVEMENT MARKING

UTILITY LEGEND

- 4W 4" DP WATERLINE (PRIVATELY OWNED)
- W DP FIRELINE TO BE SIZED BY FIRE SUPPRESSION ENGINEER (TO BE OWNED BY CITY OF BLOOMINGTON UTILITIES)
- FSL DP FIRE SERVICE LINE TO BE SIZED BY FIRE SUPPRESSION ENGINEER (PRIVATELY OWNED)
- DWL DOMESTIC WATER SERVICE LINE TO BE SIZED BY CITY OF BLOOMINGTON UTILITIES (PRIVATELY OWNED)
- M WATER LINE GATE VALVE
- F.D.C. FIRE DEPARTMENT "STORY" CONNECTION
- P.I.V. POST INDICATING VALVE
- BSL 6" SDW-35 PVC SANITARY SEWER LATERAL (PRIVATELY OWNED)
- ST ADS BRAND SERIES N-12 HOPE STORM SEWER PIPE (PRIVATELY OWNED)
- BD SDW-35 PVC BUILDING/DOWNPOUT DRAIN PIPE (PRIVATELY OWNED)
- GAS GAS SERVICE LINE
- ELEC ELECTRIC SERVICE LINE

GRADING LEGEND

- XXX ELEVATION CONTOUR
- (SXX.XX) SPOT GRADE ELEVATION
- (TXX.XX) TOP OF CURB ELEVATION OVER PAVEMENT ELEVATION
- FT=XXX.XX FINISH FLOOR ELEVATION
- FW=XXX.XX FINISH WALK ELEVATION
- TC=XXX.XX FINISH TOP OF CASTING

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

SCALE: 1"=10'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BE&B
BYNUM FANTY & ASSOCIATES, INC.
Bloomington, Indiana
528 North Walnut Street
(812) 332-8000 (Fax)

certified by:

**PROPOSED
121 E. KIRKWOOD CONDOMINIUMS &
RETAIL**

121 E. KIRKWOOD AVE
BLOOMINGTON, INDIANA 47408

title: SITE PLAN

designed by: JBT
drawn by: JBT
checked by: JSF
sheet no: C202
project no: 401713

October 10, 2017



VIEW LOOKING NORTHEAST FROM KIRKWOOD/WALNUT INTERSECTION

STRAUSER
DESIGN + BUILD, LLC

T.M.
CROWLEY
& ASSOCIATES

121 KIRKWOOD⁽⁸²⁾
CONDOMINIUMS & RETAIL



VIEW LOOKING NORTHEAST FROM KIRKWOOD

121 KIRKWOOD⁽⁸³⁾

CONDOMINIUMS & RETAIL

T.M.
CROWLEY
& ASSOCIATES

STRAUSER
DESIGN + BUILD, LLC



VIEW LOOKING NORTHWEST FROM KIRKWOOD/WASHINGTON INTERSECTION

T.M.
CROWLEY
& ASSOCIATES

STRAUSER
DESIGN + BUILD, LLC

121 KIRKWOOD^(∞)(4)

CONDOMINIUMS & RETAIL

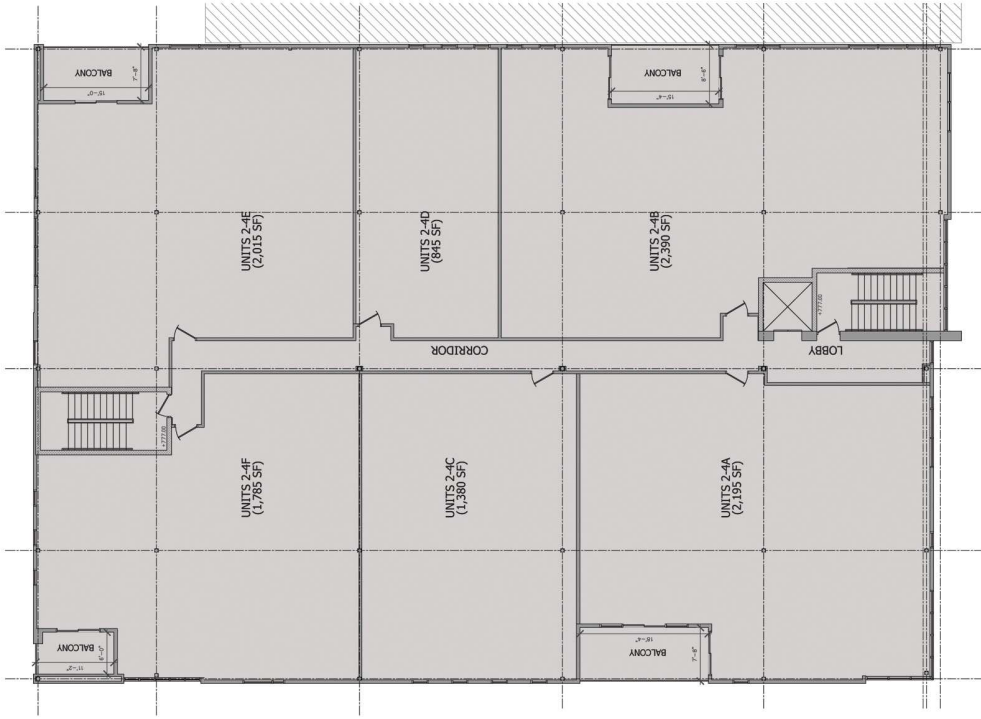


VIEW LOOKING SOUTHWEST ALONG WASHINGTON STREET

STRAUSER
DESIGN + BUILD, LLC

T.M.
CROWLEY
& ASSOCIATES

121 KIRKWOOD⁽⁸⁵⁾
CONDOMINIUMS & RETAIL



LEVELS 2-4 FLOOR PLAN



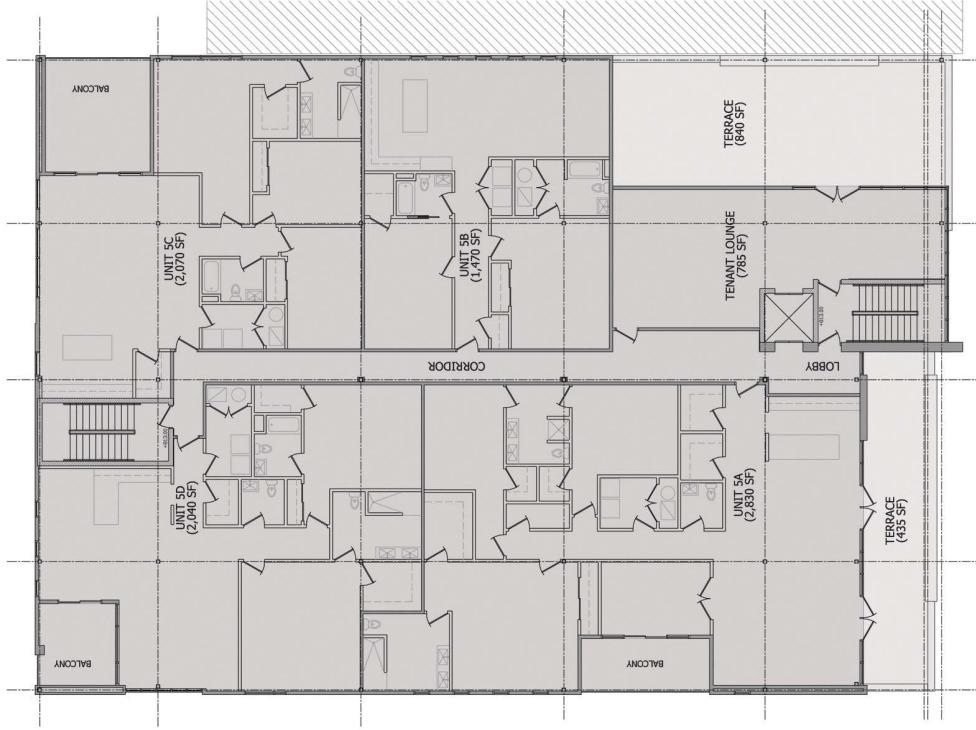
LEVELS 2-4 FLOOR PLAN
PROPOSED BUILD-OUT

121 KIRKWOOD⁽⁸⁷⁾

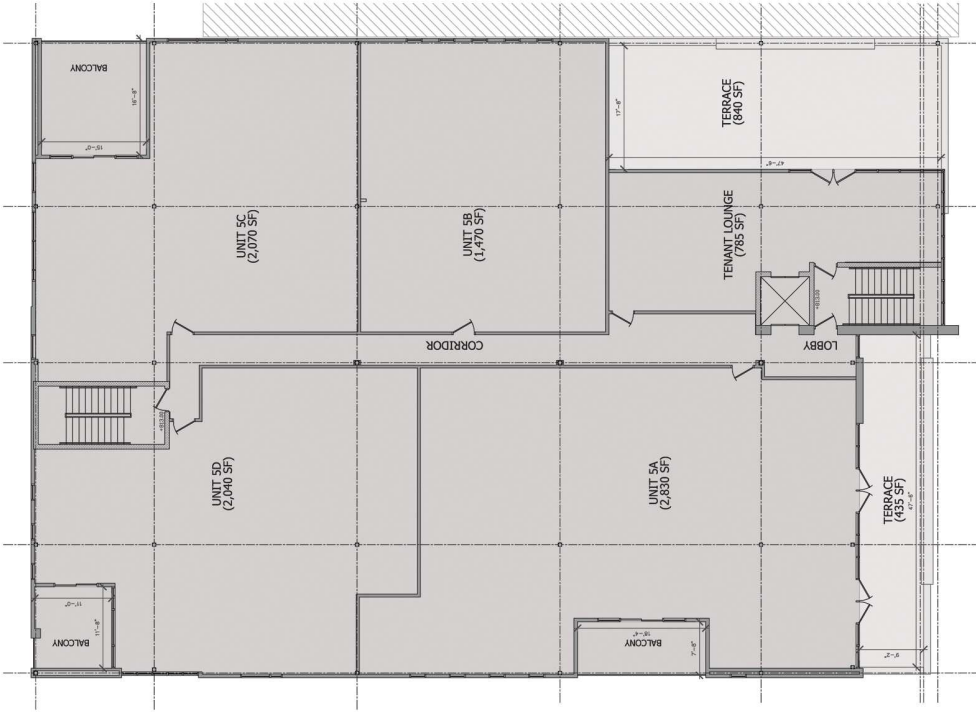
CONDOMINIUMS & RETAIL

T.M.
CROWLEY
& ASSOCIATES

STRAUSER
DESIGN + BUILD, LLC



LEVEL 5 FLOOR PLAN
PROPOSED BUILD-OUT



LEVEL 5 FLOOR PLAN

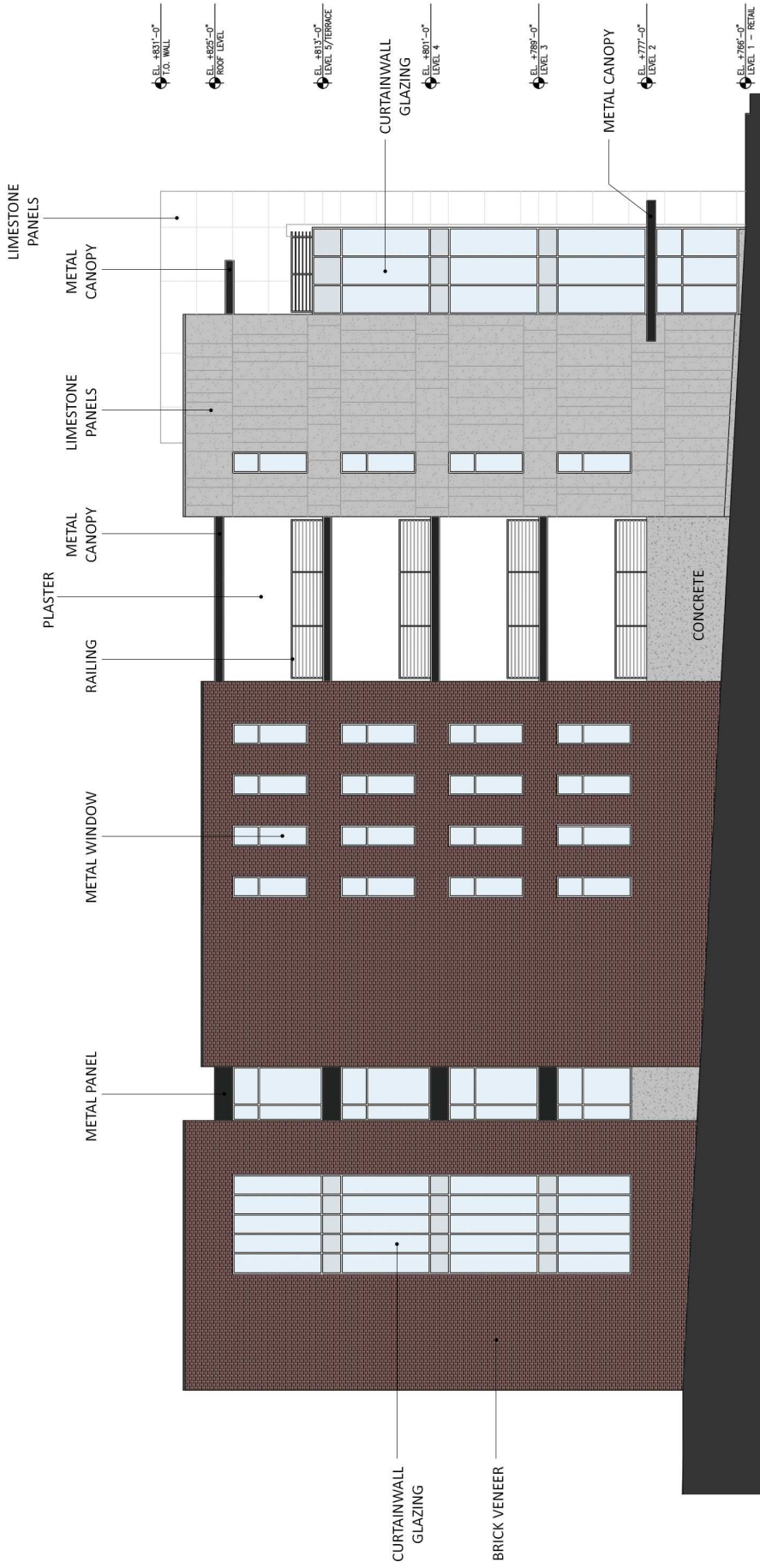


SOUTH ELEVATION (KIRKWOOD)

121 KIRKWOOD⁽⁸⁹⁾
 CONDOMINIUMS & RETAIL

T.M.
CROWLEY
 & ASSOCIATES

STRAUSER
 DESIGN + BUILD, LLC



WEST ELEVATION (ALLEY)

121 KIRKWOOD⁽⁹⁾
 CONDOMINIUMS & RETAIL

T.M.
CROWLEY
 & ASSOCIATES

STRAUSER
 DESIGN + BUILD, LLC



EAST ELEVATION (WASHINGTON)

121 KIRKWOOD[®]
 CONDOMINIUMS & RETAIL

T.M.
CROWLEY
 & ASSOCIATES

STRAUSER
 DESIGN + BUILD, LLC

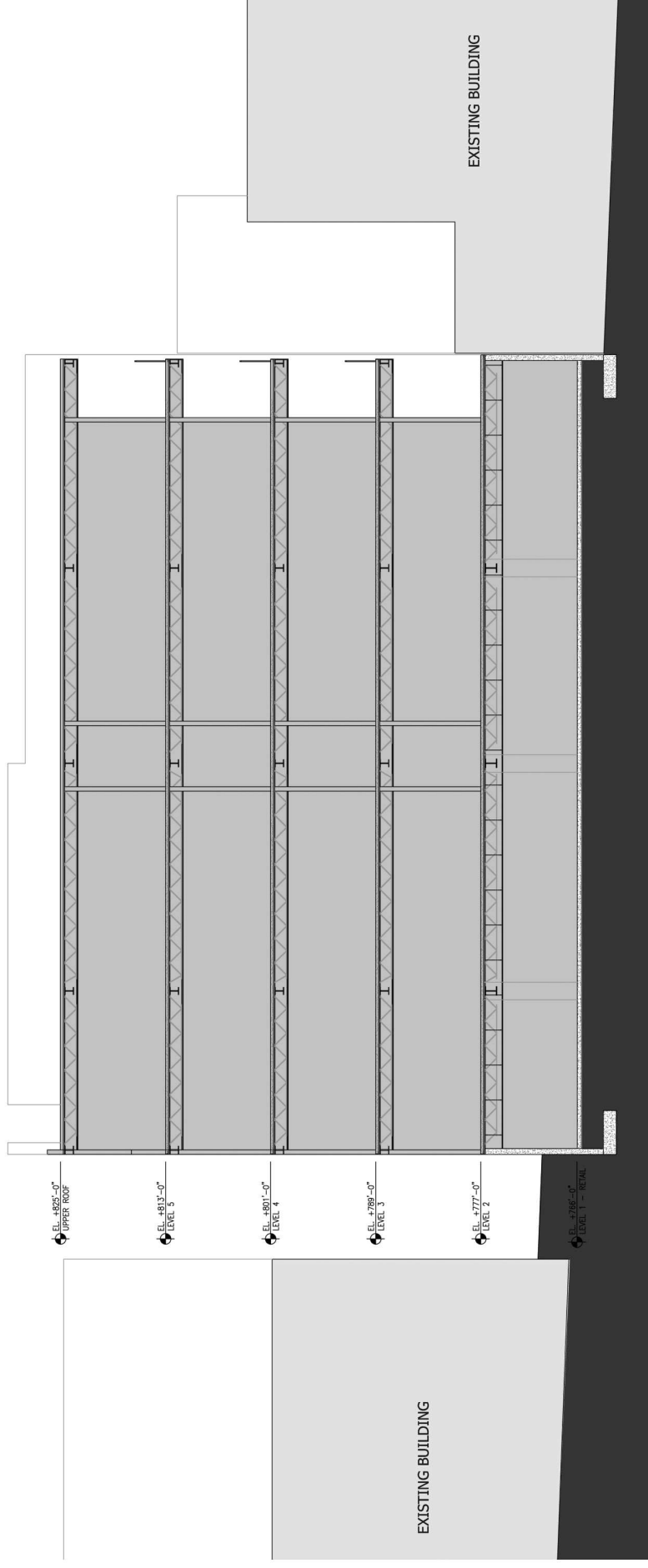


NORTH ELEVATION (ALLEY)

121 KIRKWOOD⁽⁹⁾₍₂₎
 CONDOMINIUMS & RETAIL

T.M.
CROWLEY
 & ASSOCIATES

STRAUSER
 DESIGN + BUILD, LLC

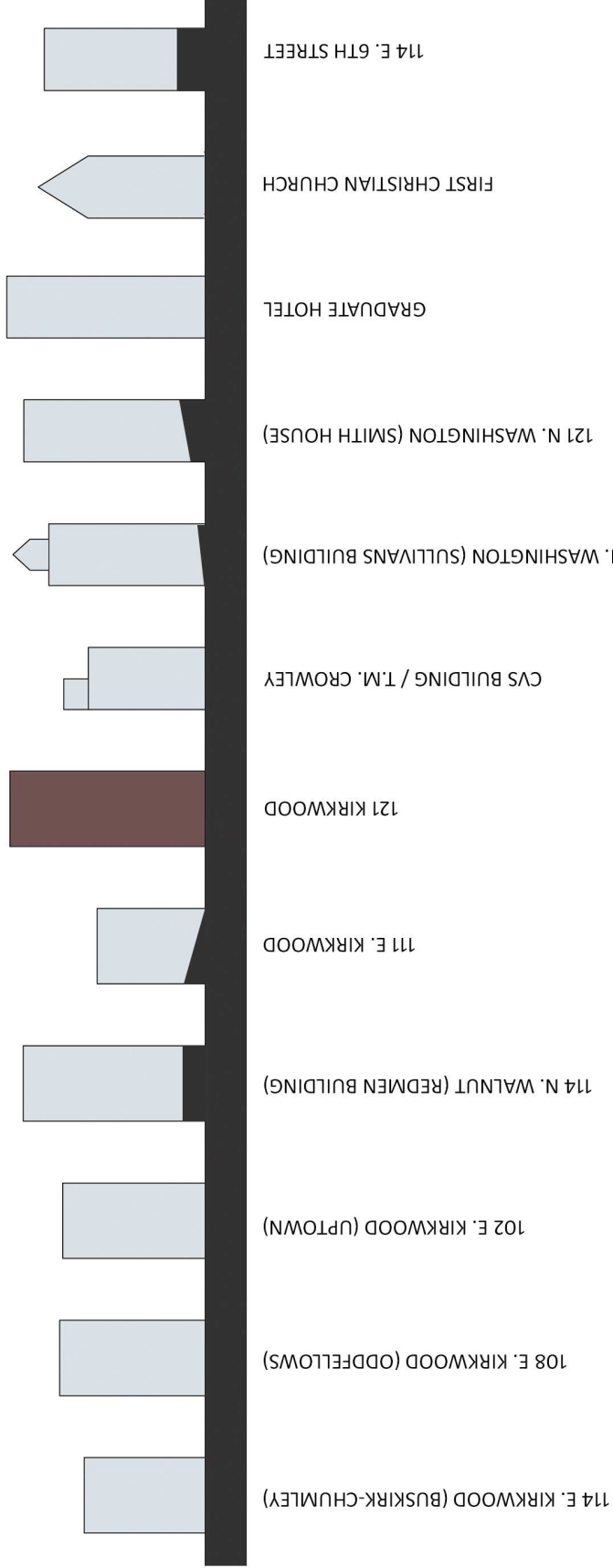


BUILDING SECTION - EAST/WEST

121 KIRKWOOD⁽⁹³⁾
 CONDOMINIUMS & RETAIL

T.M.
 CROWLEY
 & ASSOCIATES

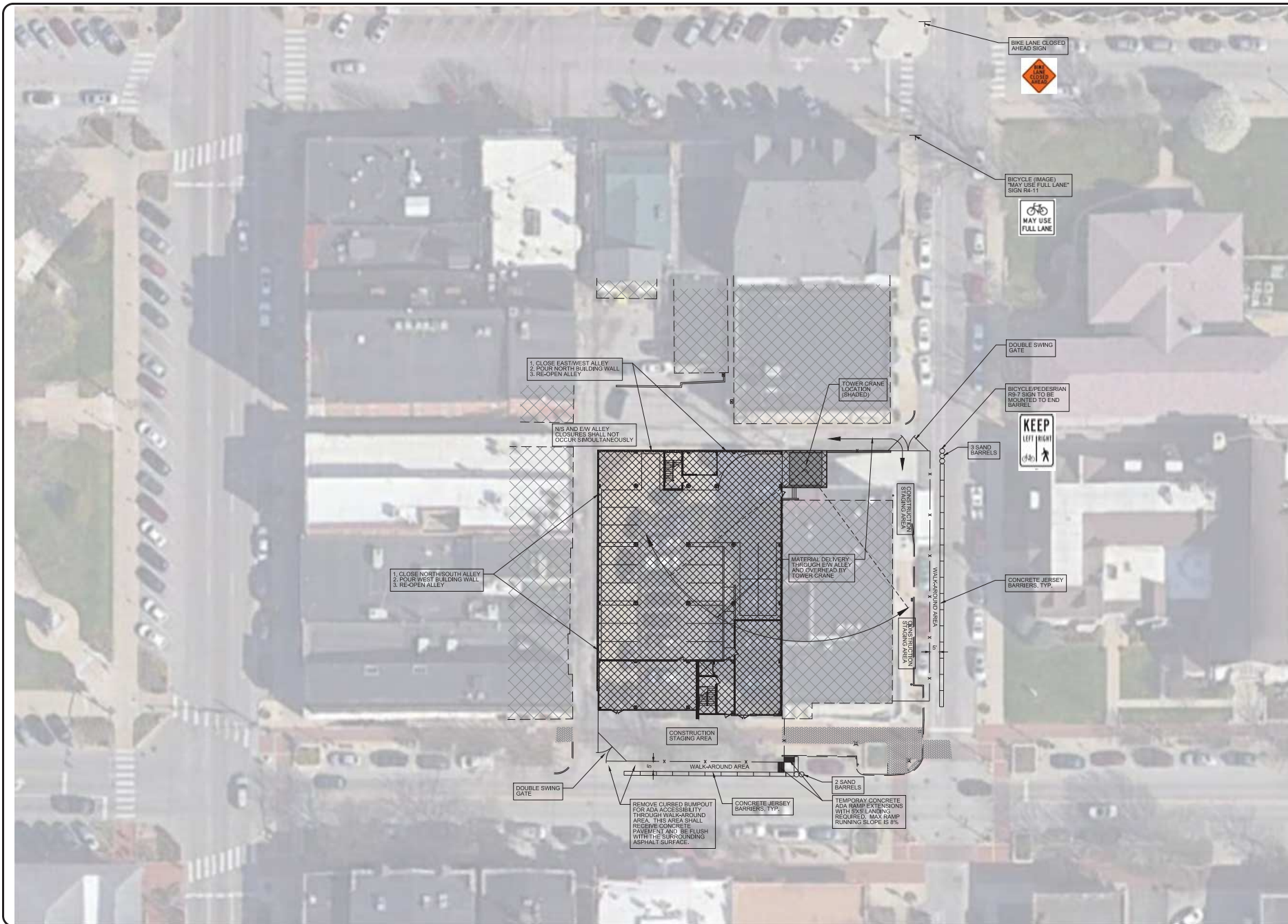
STRAUSER
 DESIGN + BUILD, LLC



BUILDING HEIGHT DIAGRAM

121 KIRKWOOD⁽⁹⁴⁾
 CONDOMINIUMS & RETAIL





revisions:

SCALE: 1"=20'

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BLOOMINGTON, INDIANA
(812) 338-2500 (FAX)

BE&K
BYNUM FANTOP & ASSOCIATES, INC.
628 North Walnut Street
(812) 332-8000

certified by:

**PROPOSED
121 E. KIRKWOOD CONDOMINIUMS &
RETAIL**

121 E. KIRKWOOD AVE.
BLOOMINGTON, INDIANA 47408

title: MAINTENANCE OF
TRAFFIC PLAN

designed by: JBT
drawn by: JBT
checked by: JSF
sheet no: C203
project no: 401713

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 2182 W. Tapp Road**

**CASE #: PUD-35-17
DATE: November 13, 2017**

PETITIONER: Regency Consolidated Residential, LLC
2417 Fields South Drive, Champaign, IL

CONSULTANT: Michael Carmin
116 W 6th Street, Bloomington

REQUEST: The petitioner is requesting PUD final plan approval to allow 136 multi-family residential units on Parcel I of the Woolery PUD.

BACKGROUND:

Area: 8.2 acres
Current Zoning: PUD
GPP Designation: Community Activity Center
Existing Land Use: Vacant
Proposed Land Use: Multi-family residences
Surrounding Uses: North – Multi-family Residences
West – Multi-family Residences
East – Indiana University
South – Single and Multi-family Residences

REPORT: The property is located at 2182 W. Tapp Road and is within the Woolery Planned Unit Development (PUD-64-94). Surrounding properties are also within the Woolery PUD and include multifamily residences to the north and east, commercial (Bloomington United Gymnastics School) to the west, and Quarry to the south. A PUD District Ordinance amendment (PUD-30-16) was approved earlier this year to allow multi-family residences on this parcel. The petitioner is now requesting PUD final plan approval for construction of the proposed units.

The petitioner is proposing 136 multi-family residential units and 190 bedrooms. There will be 5 apartment buildings constructed with 25 efficiency units, 62 one-bedroom units, 44 two-bedroom units, and 5 three-bedroom units. With this petition 34 parking spaces in the existing Adams Village development to the east will be relocated to this phase to provide a total of 224 parking spaces on this phase.

The property will be accessed by a new road cut on Tapp Road that was envisioned in the PUD and will also have road connections to the Adams Village apartments to the east as well as a connection to Sunstone Drive to the north. The interior road will be private. There is currently an 8' asphalt sidepath along the Tapp Road property frontage. New interior sidewalks will be constructed to connect to all of the surrounding public streets. The inner multi-purpose area will have a swimming pool, playground, and pavilion with a firepit for use by the residents. There are three proposed stormwater basins that will be used to meet stormwater detention requirements. Architecture has been submitted for the proposed buildings and they will all be finished with a cementitious siding with a cultured

stone base on all four sides. The petitioner committed to setting aside 10% of the units for workforce housing and is continuing to work with the City to provide affordable housing on this site. The petitioner has committed to providing on-site recycling for the residents.

Staff feels that this case is a good candidate for the consent agenda since there are no site plan issues and the site plan is consistent with what was submitted with the PUD District Ordinance amendment that occurred in March of this year.

FINAL PLAN ISSUES:

Architecture/Design: Renderings have been submitted for all of the proposed buildings. All of the buildings will have pitched roofs and will be finished with cementitious siding and a cultured stone base. The buildings will have inset patios and differences in rooflines, building height, and building wall modulations in order to meet the anti-monotony standards of the UDO. The building along Sunstone Drive will be more of a townhome style building with individual entrances for each unit.

Access: The project will be accessed through several access points. There will be a new drivecut on Tapp Road with new acceleration and deceleration lanes added with this petition. There will also be road connections to the Adams Village apartments to the east and to Sunstone Drive to the north. There is one interior road that loops around the development and is private.

Development Standards: The PUD District Ordinance amendment approved Residential High-Density Multifamily (RH) district standards along with 3 modifications:

- To allow 2 of the interior buildings to be 63' rather than the 50' that is allowed.
- To allow a 10' building setback along the east property line rather than the 15' that is required.
- To allow an entrance drive to run along the front of the property, this drive was required to be set back approximately 70' from the road and will be buffered with landscaping.

Parking: There will be a mix of garage spaces plus surface parking spaces. There will be 34 parking spaces relocated from the existing Adams Village parking area to the east to spread out the parking between the developments. There will be 190 parking spaces provided with this phase plus 34 spaces will be relocated for a total of 224 parking spaces provided.

Pedestrian Facilities: There is already an 8' wide asphalt sidepath along Tapp Road that is in good condition. Internal sidewalks will be provided to provide safe pedestrian routes through the site and will connect to Adams Village to the east, Sunstone Drive to the north, and Tapp Road to the south. Interior sidewalks will also be provided to connect the buildings to the central amenity feature.

Bike Parking: The petitioner committed to providing bike parking beyond the UDO requirements. Based on the 190 bedrooms a total of 32 bicycle parking is required and of those at least half must be covered. The petitioner will be providing 44 bicycle parking spaces including 20 exterior spaces, 14 covered spaces, and 10 secured covered spaces.

Workforce Housing: The petitioner committed to providing at least 10% of the units in this development as workforce housing for a minimum of 99 years. Prior to occupancy of the units, the petitioner shall submit to the City which units of the development will be used to satisfy the workforce housing commitment and provide to the City an annual report outlining the units rented and cost of rent assessed.

Utilities: The site is well served by existing utilities and no problems have been highlighted so far with providing utility services to the site.

Green Development Incentives: With the rezoning approval the petitioner committed to several green building practices that would be incorporated with this petition. All of those commitments have been fulfilled and have been outlined in their petitioner statement. A zoning commitment for on-site recycling is required and has been included as a condition of approval.

CRITERIA AND FINDINGS FOR PUD FINAL PLANS

20.04.090 (f)(1) The Plan Commission shall review:

- (A) The written statement and supportive material submitted by the petitioner;
Proposed Finding: The petitioner has submitted a petitioner statement and relevant supporting material including building elevations and all site plan sheets.
- (B) The PUD District Ordinance;
Proposed Finding: A copy of the PUD District Ordinance that was approved by the Plan Commission under PUD-30-16 has been included in this packet and the proposed final plan is in conformance with the approved district ordinance.
- (C) The Preliminary Plan;
Proposed Finding: A copy of the preliminary plan that was approved by the Plan Commission under PUD-30-16 has been included in this packet and the proposed final plan is similar in design to the preliminary plan. Deviations do not alter the concept or intent of the Plan.
- (D) The Final Plan;
Proposed Finding: A copy of the proposed final plan has been included.
- (E) Any commitments or conditions of approval attendant to prior approvals;
Proposed Finding: A commitment for workforce housing units and for on-site recycling are the only commitments associated with this project and will be finalized prior to occupancy of the units.
- (F) Any applicable section of the Unified Development Ordinance;
Proposed Finding: The petition meets all other requirements of the UDO not amended by the PUD District Ordinance.

(G) Additional information as may be required by the Plan Commission to evaluate the application.

Proposed Finding: No additional information is required for this review.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 2 recommendations concerning this development.

1.) The Petitioner shall work with staff to revise the Landscape Plan

Response: This ~~will~~ was addressed with the review of the grading plan and a fully compliant landscape plan showing only native species is required. (condition #2)

2.) The Petitioner shall craft a Maintenance Plan for the native plants beds so that all staff is clear regarding how to care for them.

Response: This will be required prior to issuance of a grading permit. (condition #2)

CONCLUSION: Staff finds that the proposed site plan meets the requirements of the UDO and the previous commitments made at the initial rezoning. This petition incorporates several green building practices and includes the workforce housing commitment which carries forward many objectives and goals of the GPP and the UDO.

RECOMMENDATION: The Department recommends the Plan Commission adopt the proposed findings and recommends approval of PUD-35-17 with the following conditions:

1. Approved per terms and conditions of PUD-30-16.
2. All landscaping for this project shall be native species. A maintenance plan must be submitted prior to issuance of a grading permit.
3. Prior to occupancy of any building, the petition shall identify which units are designated for workforce housing.
4. The petitioner shall submit an annual reporting plan for verification of workforce housing units. Prior to final occupancy, the workforce housing commitment and reporting plan shall be included in a recorded zoning commitment.
5. A zoning commitment is required for the provision of on-site recycling is required prior to issuance of a building permit.

MEMORANDUM

Date: October 31, 2017

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Through: Linda Thompson, Senior Environmental Planner

Subject: PUD-35-16: Adams Village Phase Four, PUD Final Plan
2182 W. Tapp Road

The purpose of this memo is to convey the environmental concerns and recommendations of the Environmental Commission (EC) with the hope that action will be taken to enhance the environmental integrity of this proposed plan. The Petitioner's request is for a PUD Final Plan. The EC applauds the Petitioner for the environment-enhancing features built into the site design and the building, specifically the beds of plants that attract pollinators.

ISSUES OF SOUND ENVIRONMENTAL DESIGN

1.) LANDSCAPING

The Landscape Plan needs revisions. The EC recommends that the Petitioner work with staff to create a plan that is compliant with regulations.

2.) MAINTENANCE PLAN

The areas designated for a mixture of native plants need to have a long term Maintenance Plan. Too often a developer plants the seeds that they have committed to, just for the grass mowing staff to mow them and tend them as if they are turf grass.

EC RECOMENDATIONS

- 1.) The Petitioner shall work with staff to revise the Landscape Plan.
- 2.) The Petitioner shall craft a Maintenance Plan for the native plants beds so that all staff is clear regarding how to care for them.

October 20, 2017

Terri Porter
Director of Planning and Transportation
The City of Bloomington
401 North Morton Street, Suite 130
Bloomington, IN 47404

Re: Adams Village 2
Bloomington City Architect - 2017-040.000

Dear Terri:

Schmidt Associates has reviewed the revised Plan Commission Submittal dated 10/10/2017 for the proposed Adams Village Apartments on West Tapp Road and just west of the existing Adams Village Apartments. The previous submittal dated 9/28/2017, was reviewed separately and feedback was provided in a letter to Terri Porter dated 10/13/2017. This submittal includes a Petitioner's Statement, building floor plans and elevations, together with a site landscaping and planting plan which was not previously included.

From the Petitioner's Statement:

The project proposes to add Phase IV to its existing Adams Village Apartments which would include five new multi-family apartment buildings and a central clubhouse area to serve both the new and existing residents of the development. The five multi-family buildings will consist of three building types, with buildings 1 and 2 being used twice.

The buildings will be oriented around a central amenity space consisting of: a pool, cabanas, hammock areas, a low-flame gas fire pit, bocce ball court, and an open green space. A private drive circles around the buildings on the site and contains both open surface parking spaces as well as individual private garage spaces.

The Design Team believes they have addressed all code requirements and will not be requesting any variances to standards above what was approved at both the Planning Commission and the and City Council levels. The proposed density of 75.70 DUEs per acre is well under the maximum development density of 123 DUEs available for the development.

Our comments on the project submittal are as follows:

MASSING & LAYOUT

- The unit layouts are relatively efficient and have been developed in a consistent manner. They plug into each other as necessary to achieve the overall desired unit counts. Their footprints, when assembled, provide a good amount of in-and-out movement to the exterior walls. This provides additional interest and shadows on the facades, which is visually beneficial.

MASSING & LAYOUT (cont)

- The stairs to all units are partially enclosed in an open-air walkway.
- The types of units include:
 - o Efficiency units
 - o Small 1 bedroom units
 - o Large 1 bedroom units
 - o 2 bedroom / 1 bath units
 - o 2 bedroom / 2 bath units
 - o 3 bedroom / 2 bath units
- There did not appear to be any units on the first floor in any of the three different building types that provides accessible units. We are not clear on whether that is a requirement; but it would be a good design practice to do so. Marked accessible parking areas would also be necessary.
- Buildings 1 is a three-story structure and Building 3 reads as a two-story building on one side and as a three-story on the other to accommodate a change in grade. Building 2 is primarily three stories, but will have a fourth story in a central portion on one side of it to accommodate a grade change. The gable roof forms provide an appropriate residential appearance and scale. A one-story clubhouse utilizes the same general massing forms.
- The functional balconies have a reasonable depth and help to provide additional shadow and interest on the building elevations.

MATERIALS

- The proposed design utilizes a cultured stone veneer on the first level of each of the buildings, allowing it to visually serve as a podium to the fiber cement lap siding clad volumes above it. It is not clear as to whether the cultured stone would have a limestone appearance or a different stone appearance.
- The Petitioner's Statement indicates that each building will have a similar materials palette while having its own unique undulations and setbacks of building elements. It adds that each of the five residential buildings will have its own unique accent color at several points on the building to identify it while the base color of the building will work to blend with the previous phases of the development. This makes sense, but it's not yet clear as to where the color accents would be placed. We would be interested in seeing this once it's submitted.

MATERIALS (cont)

- All the buildings utilize aluminum railing systems at the balconies. The residential style windows appear to be double-hung with a square grid. The roofing is noted as asphalt shingles. These all normal applications for this building type. If possible, the Design Team should consider using a dimensional tab shingle to provide more depth and interest to the roof surface.

SITE

- Comments regarding the previously submitted/reviewed Site Plan are still valid.
 - Will transportation require acceleration/deceleration lanes and a passing blister on Tapp Road? Plan currently shows only a left-hand turn lane.
 - The use of quarry block along Tapp Road frontage would be interesting to tie in the Kegg Road treatment and quarry context.
 - Permeable pavers are utilized at the entrances in a quantity that appears to meet the 50% impervious requirement. Pavers at these locations provide an aesthetic upgrade in addition to their sustainable qualities. Maintenance will be necessary to keep the pavers functioning properly. There may be other lower traffic areas that would be appropriate for a permeable paver application.
- Existing site improvements
 - Plans were not available to evaluate.
- Landscape species comments (C500)
 - Consider *Picea Abies* – Norway Spruce as a substitute for *Pinus Virginiana* – Virginia Pine.
 - Consider *Liriodendron Tulipifera* – Tulip Poplar as a substitute for *Liquidambar Styraciflua* – Sweet gum. Tulip does have sap drop issues but is not as messy as the “spiny ball” fruiting bodies of the Sweet gum.
 - Consider *Juniperus chinensis* ‘Kallay’s Compact’ – Compact Juniper as a substitute for *Ilex glabra* ‘Densa’ – Inkberry. Juniper has appeared to be a more consistent performer in this climate/setting.

SUSTAINABILITY AND INNOVATION

The Petitioner's Statement lists approximately 25 items described as environmental consideration which are actually sustainable design approaches (**denoted in bold**).

SITE

- **Use of bio-retention**
 - *Schmidt Response: Landscape plan submitted does not indicate native plantings at detention basins.*
- **Retain all topsoil on site**
 - *Schmidt Response: Will provide better planting conditions if handled appropriately.*
- **Use of all native plant material**
 - *Schmidt Response: Plant list includes a couple of shrubs that are not native. Native evergreen shrubs are not prevalent in Indiana. Recommend allowing "adapted" shrubs in these instances.*
- **Direct rooftop water to rain gardens**
 - *Schmidt Response: Unclear where these occur on landscape plan*
- **Use of natural lawns on buffer**
 - *Schmidt Response: Edge treatment of these planting areas is necessary to inform the public that they are main*
- **Non-toxic pest control**
 - *Schmidt Response: Good initiative, but difficult to evaluate in this context*
- **Reduce light pollution**
 - *Schmidt Response: No photometric plan was provided for review, but the locations, height of pole and fixture cut-off will be factors in reducing spill light*

SUSTAINABILITY AND INNOVATION (cont)

SITE (cont)

- **Drought-tolerant plants**
 - *Schmidt Response: Plant list includes native and adapted plants that will require minimal input upon establishment.*
- **Energy-efficient exterior lighting**
 - *Schmidt Response: No plan included, is this LED?*

RESIDENTS

- **Condensed building density**
 - *Schmidt Response: Vertical stacking does allow for greater density on this site with more greenspace*
- **Access to open space by all residents of Adams Village**
 - *Schmidt Response: Sidewalk connects to existing Adams Village development*
- **Design of exterior features**
 - *Schmidt Response: While a great feature for residents, I do not consider the pool, fire pit, bocce, etc. to be environmentally friendly, sustainable features*
- **Encourage biking**
 - *Schmidt Response: Central exterior bicycle storage is provided at each building*
- **Availability of parking inside a structure**
 - *Schmidt Response: Bicycle parking under stairs on ground level of structure*
- **Encourage recycling through easy access areas**
 - *Schmidt Response: Trash and recycling located at four quadrants of the development*

SUSTAINABILITY AND INNOVATION (cont)

SITE (cont)

- **Property management providing: ride sharing bulletin board, media campaign for recycling, programs for bicycling, walking, exercise; duke energy tips**
 - *Schmidt Response: All good programs, difficult to evaluate in this context*

BUILDING IMPROVEMENTS

- **Enhanced building insulation – R-21 in exterior walls**
 - *Schmidt Response: ASHRAE 90.1-2007, Zone 5 wood frame construction requires R-7.5 continuous and R-13 in the cavity*
- **High-efficiency HVAC**
 - *Schmidt Response: What is proposed?*
- **Hot water pipe insulation**
 - *Schmidt Response: Good practice that will increase energy efficiency, not able to quantify*
- **Efficient plumbing fixtures**
 - *Schmidt Response: What is proposed? Compare to code required flush/flow rates*
- **Energy Star rated appliances**
 - *Schmidt Response: Providing at least 70% Energy Star rated appliances contributes to the Optimize Energy Performance Credit in LEED ID+C v4*
- **Water-efficient clothes washer**
 - *Schmidt Response: Providing at least 70% Energy Star rated appliances contributes to the Optimize Energy Performance Credit in LEED ID+C v4*
- **Low emitting materials – VOC (adhesives, paints, flooring)**
 - *Schmidt Response: Indoor air quality is a component of green building; consider using the LEED v4 standards to set limits*

SUSTAINABILITY AND INNOVATION (cont)

BUILDING IMPROVEMENTS (cont)

- **Comply with Comcheck**
 - *Schmidt Response: It is our understanding that Comcheck standards are code required*
- **Comply with Comcheck**
 - *Schmidt Response: It is our understanding that Comcheck standards are code required*
- **Project clubhouse: same standards as residential, occupancy sensors, walk-off mats, smoke free**
 - *Schmidt Response: See previous comments*

Please let us know if you have any further questions. It is our understanding that this project will go before the Plan Commission at the November hearing.

Sincerely,

SCHMIDT ASSOCIATES, INC.
Architecture • Engineering • Interior Design • Landscape Architecture



Sarah K. Hempstead, AIA, LEED AP
CEO / Principal
shempstead@schmidt-arch.com



Craig M. Flandermeyer RLA LEED AP BD+C
Sustainable Design Advocate/Associate
cflandermeyer@schmidt-arch.com

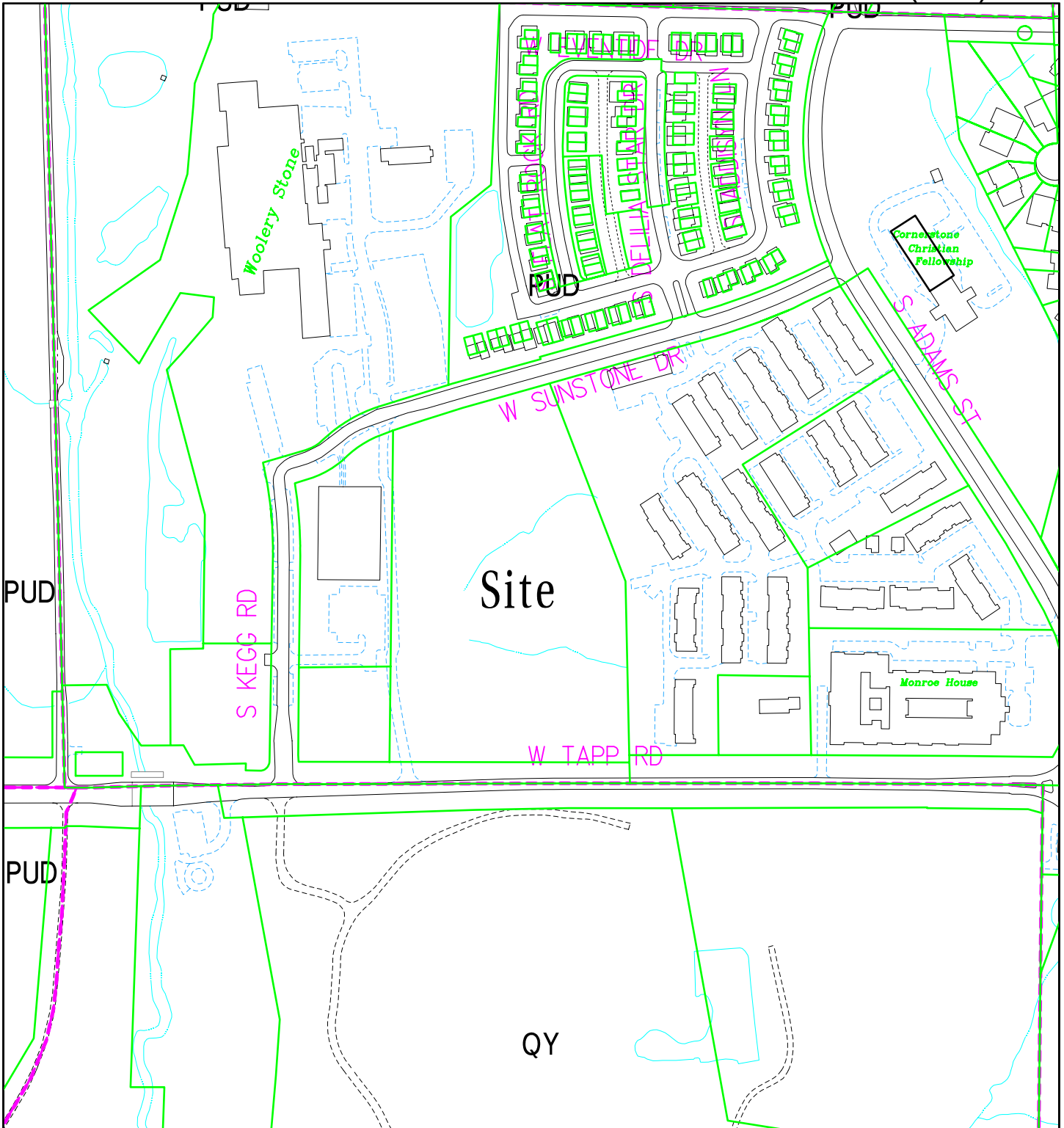


Steven K. Alspaugh AIA, LEED AP BD+C
Design Architect/Associate
salspaugh@schmidt-arch.com

SKH/SKA/CMF: lab

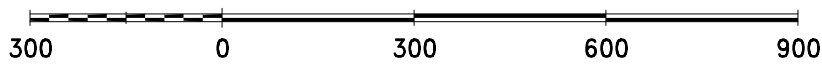
Attachment

Copy: James Roach, The City of Bloomington

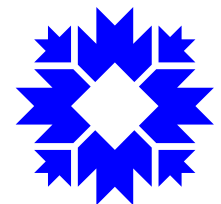


PUD-35-17 Adams Village
 2182 W Tapp Road
 Plan Commission
 Site Location, Parcels, Zoning

By: greulice
 9 Nov 17

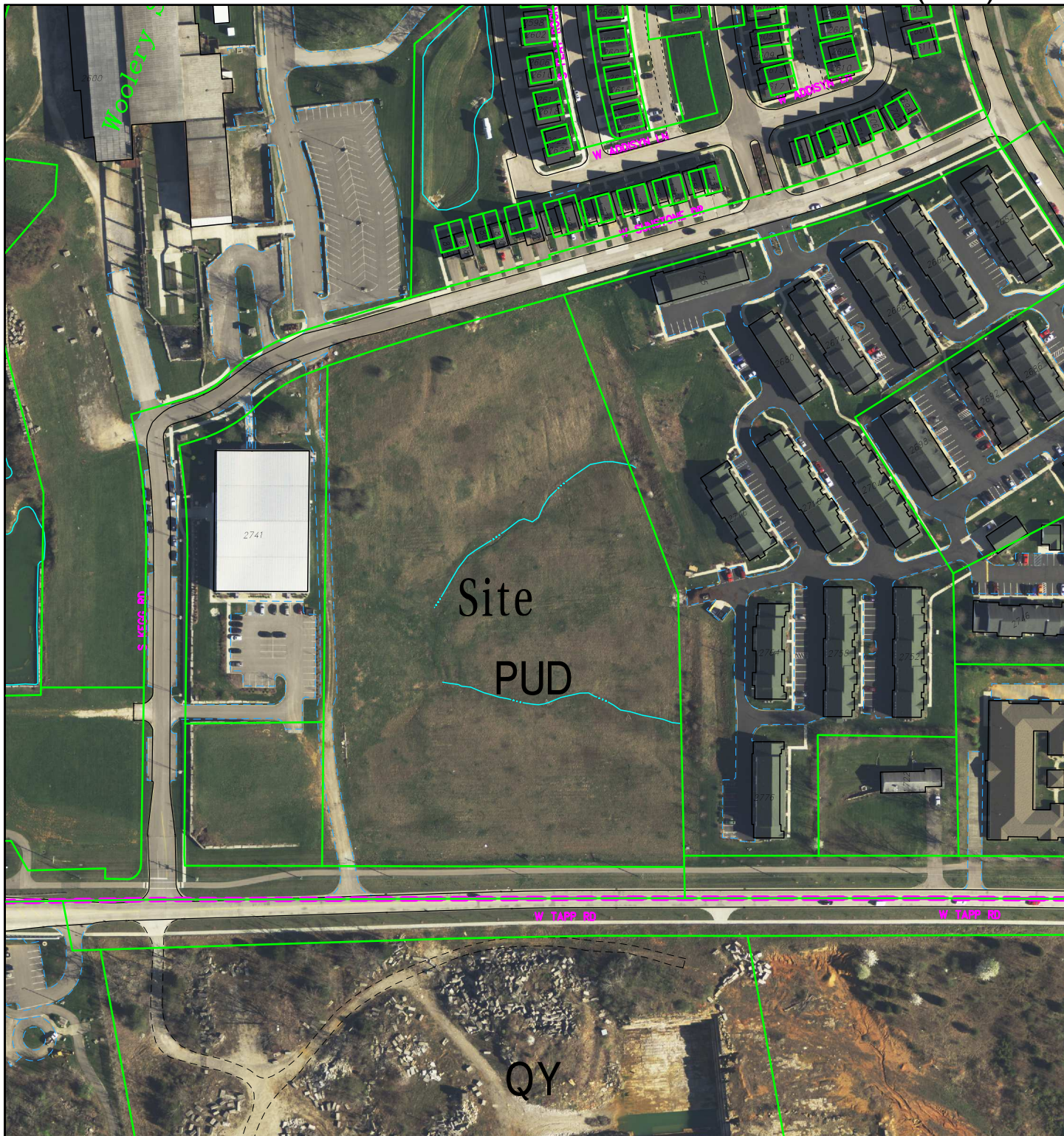


City of Bloomington
 Planning & Transportation



Scale: 1" = 300'

For reference only; map information NOT warranted.



PUD-35-17 Adams Village

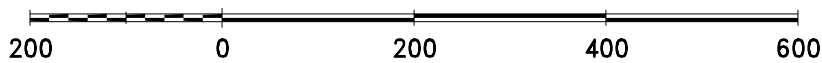
2182 W Tapp Road

Plan Commission

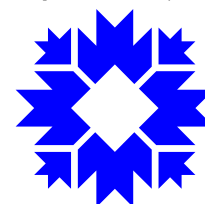
2016 Aerial Photograph

By: greulice

9 Nov 17



City of Bloomington
Planning & Transportation



Scale: 1" = 200'

For reference only; map information NOT warranted.



October 25, 2017

City of Bloomington Planning Department
P.O. Box 100
Bloomington, IN 47402

Attn: Eric Greulich

RE: Adams Village Apartments

PETITIONERS STATEMENT

Dear Mr. Greulich;

Studio 3 Design is pleased to submit the attached document for the Adams Village Apartments for Planning department and Plan Commission Review. The following document outlines the project scope. We believe we have addressed all code requirements and will not be requesting any variances to standards above what was previously approved at both the Planning Commission and City Council levels. Please take time to review and contact us with any additional questions.

Project Location:

The project is located on 8.2 acres of land accessed off of W. Tapp Rd. to the South, W. Sunstone Dr. to the North and has connectivity to the existing Adams Village apartments to the east. The site contains no tree canopy and is currently 100% unimproved.

Project Scope:

Regency Consolidated Residential, LLC. proposes to add Phase IV to its existing Adams Village apartments consisting of 5 new multifamily apartment buildings and a central clubhouse area to serve both the new and existing residents of the development. The 5 multifamily buildings will consist of 3 building types, with buildings 1 and 2 being used twice each.

The buildings will be oriented around a central amenity space consisting of a pool, cabanas, hammock areas, a low-flame gas fire pit, bocce ball court and an open green space. A private drive circles around the buildings on the site and contains both open surface parking spaces as well as individual private garage spaces.

Development Standards

The approved PUD for the site uses the Residential High-Density Multifamily (RH) requirements, with 3 modifications to building height, side yard setback, and front parking setback.

1. Side parking set back along the East property line is allowed to be 10'-0" instead of 15'-0".
2. Two of the buildings are allowed to be a maximum of 63'-0" tall instead of 50'-0".
3. An entrance drive is allowed to run along the front of the property adjacent to Tapp Rd. The drive is to set a minimum of 70'-0" back from the road.

The proposed project meets all applicable development standards with the inclusion of the 3 modifications listed above.

Building Height

All buildings on site are under the required height when measured from the lowest point on grade at the building to the highest point on the roof.

- Building 1 (2 instances) has a maximum height of 48'-0".
- Building 2 (2 instances) has a maximum height of 60'-0".
- Building 3 (1 instance) has a maximum height of 38'-0".
- The clubhouse building (1 instance) has a maximum height of 25'-0".

Building Materials

All buildings on site will utilize a combination of fiber cement lap siding, cultured stone veneers, metal railing systems, asphalt shingles and residential style windows. Each building will have a similar materials palette while having its own unique undulations and setbacks of building elements. The Clubhouse building will be clad in fiber cement siding, but utilize a standing seam metal roof. The chimney will be clad in brick in lieu of cultured stone, and the north façade will utilize larger windows with openings facing toward the pool and amenity area.

Site Information:

Bike Parking

The project requires a total of 32 bike parking spaces on site at 1 space per 6 beds. Of those, 8 spaces are required to be long term Class 1 and an additional 8 are required to be covered, short term class 2 spaces. "U" shaped bike racks will be used in all cases. Bike parking will be provided as follows:

- Building 1 – (2) exterior spaces, (2) covered spaces, and (2) secured covered spaces.
- Building 2 – (4) exterior spaces, (4) covered spaces, and (2) secured covered spaces.
- Building 3 – (2) exterior spaces, (2) covered spaces, and (2) secured covered spaces.
- Clubhouse – (6) exterior spaces

Total – (20) exterior spaces, (14) covered spaces, (10) secured covered spaces.

Parking

Parking and resident population has been studied by the developer. The property has no student population, and a large portion of residents are employees at nearby Crane. It was determined that due to many of the 1 bedroom units on site having 2 working spouses/partners, and other living situations that necessitate more than 1 car, that additional parking above the 1:1 current UDO requirement is needed. The new clubhouse building will also house the leasing offices for the entire property, so parking dedicated to this use was needed.

In addition to parking at 1:1 per bedroom, 34 parking spaces are being moved from the existing phase of the development to the new phase. In total, there will be 224 parking spaces (190 at 1:1 per bed plus 34 moved from the previous phase). 180 of those are surface parking, with the remaining 44 as enclosed individual garage bays. In order to move 34 excess parking spaces from the existing phase of the development, the developer will bring the existing site up to compliance in several areas. See the section titled "Existing Site Improvements" below for a full explanation of improvements.

Impervious Surface Coverage

The total site area for this development is 8.20 ac. The maximum impervious surface coverage for this development is 50%. With the use of permeable pavers, the proposed impervious surface coverage for this development is 4.16 ac. (50%).

Water Service & Meter Pit

The project will connect to an existing 12" main along Sunstone Drive on the north side of the project and will connect to an existing 8" main located in Adams Village Phase I on the east side of the property. New water mains will be constructed throughout the development providing the demands to the project. Two separate master meters will be placed at each water main connection for the development. Fire hydrants will be placed accordingly throughout the site to provide adequate coverage to all buildings.

Sewer Service

Sanitary sewer service will connect to an existing 8" main west of the project near the intersection of S. Kegg Rd. and W Tapp Rd. This will require off-site construction for the new sanitary sewer main connection. The new sanitary sewer main will provide service for all buildings for the development. Each building will have a separate sanitary lateral and connect to the new sanitary sewer main.

Storm Water Management

This development will have three detention basins that will meet the required water quality and water quantity release rates. Stormwater runoff from the existing Adams Village phases from the east will be routed to the proposed detention basins for this project.

The basins are designed to promote water infiltration and treatment of stormwater runoff. A special soil mix and sand will be provided below the basin for the filtration of stormwater runoff. A mixture of native plants will be planted within each detention basin.

The storm sewer system will connect to an existing storm sewer system along W. Tapp Road west of the site. This connection will require off-site construction.

Private Utilities

Electric, telephone, gas and cable service is available along W Tapp Road to meet the needs of the development.

Trash removal

Centralized dumpster and recycling container zones are located at 4 locations throughout the site to allow easy access to all residents.

Site Accessibility

The site is accessible by vehicle at the north and south ends of the property from W. Tapp Rd. and W. Sunstone Drive. Once inside the site, accessible parking is provided with accessible routes

to the various buildings and amenities. Pedestrians can access the site by foot / bike from a new sidewalk along Walnut Pike that connects to the interior of the project site.

Existing Site Improvements

The existing phases of the Adams Village development have a total of 278 beds and 356 parking spaces. This represents an excess of 78 parking spaces over the 1:1 bedroom count. In order to balance out the parking spaces between the 2 phases, the proposal will move a total of 34 spaces to the new phase of the project. These existing spaces will be removed and landscaping and/or grass islands will be installed in their place. See the attached site and landscaping plans for the areas where this work will occur.

It has been discussed with staff that in order to achieve this rebalance, the existing phase of the project would have to be brought up to compliance with the current UDO in several categories.

1. As mentioned above, the existing 34 parking spaces to be removed will be replaced with landscaping and/or grass islands, improving the overall impervious surface area of the existing development.
2. Landscaping throughout the site will be improved so that it meets the current standards, including the use of native plant species.
3. Site lighting will be evaluated and improved if necessary to meet current UDO requirements.
4. Dumpster enclosures will be evaluated and improved if necessary to meet current standards.
5. Bike parking spaces will be installed throughout the existing phase of the project. A total of 47 bike parking spaces are required for the development.
 - a. (1) Bicycle "U" rack will be provided at each of the existing 21 buildings on site.
 - b. In 2 locations, a covered structure will house (3) bicycle "U" racks to satisfy the required (12) covered short term class II spaces.
 - c. A secured bike room will be created in the existing office building on site and house a total of (12) long term class I spaces.
 - d. These, along with the existing 29 bike parking spaces provided on site, will more than cover the required bike parking in the current UDO.

Environmental Considerations

The developer is interested in providing a development that is sensitive to the concerns of today's built environment. As such, they are agreeing to the following list of items to be incorporated into the project:

Site

- a) Use of Bio-Retention with Bio-Filtration of rain/surface water with the Rain Gardens to enhance water quality for storm water discharge from this site AND from the existing Adams Village site as the existing site drains through this site and was developed prior to the implementation of water quality enhancement practices.
- b) Retain all topsoil on site to be used to create ambient features in open areas.
- c) Use of all native plant material in the landscape design and permit no invasive plants.
- d) Where natural flow of water so permits, direct rooftop water to rain gardens.
- e) Use of natural lawns (native prairie grasses) in lieu of turf grasses within the perimeter buffer areas.
- f) Non-toxic pest control.
- g) Reduce light pollution – provide dark sky friendly exterior lighting.
- h) Drought tolerant plants.
- i) Energy efficient exterior lighting.

Residents

- a) Condensed Building Density to allow for increased open space.
- b) Access to open space by all residents of Adams Village.
- c) Design of exterior feature areas for resident interactions in an environmentally friendly manner.
- d) Encourage biking – Since the site is located near the Clear Creek Trail, additional bicycle storage facilities above what are required by code.
- e) Availability of secured parking inside a structure
- f) Encourage recycling through easy-access recycling areas.
- g) Property management providing:
 - a. Bulletin board for ride sharing.
 - b. Proactive media campaign recommending recycling and other matters to sustain the environment.
 - c. Resident programs of bicycling, walking, exercising and use of the exterior green areas.
 - d. Duke Energy Savings tips to save energy.

Building Improvements

- a) Enhanced building insulation – R-21 in exterior walls.
- b) High efficiency HVAC (Seer Rating)
- c) Hot water pipe insulation.
- d) Efficient plumbing fixtures (low flow toilets, showers and faucets)
- e) Energy Star rated appliances.
- f) Water efficient clothes washers.
- g) Low emitting materials – VOC (adhesives, paints, flooring)
- h) Comply with COMCheck software for building envelope compliance.
- i) Project Clubhouse
 - a. Built to same environmental standards as the residential units.
 - b. Provide occupancy sensors in the leasing office.
 - c. Walk-off mats in the office.
 - d. Smoke free environment.

Previous Plan Commission Commitments

Previously, several commitments have been made to the plan commission, and those commitments remain today. Those are:

1. 10% of units will be dedicated as Workforce Housing for a period of 99 years.
2. All landscaping within the project will be native species.
3. Recycling containers will be provided on site.

Respectfully submitted,

STUDIO 3 DESIGN, INC.

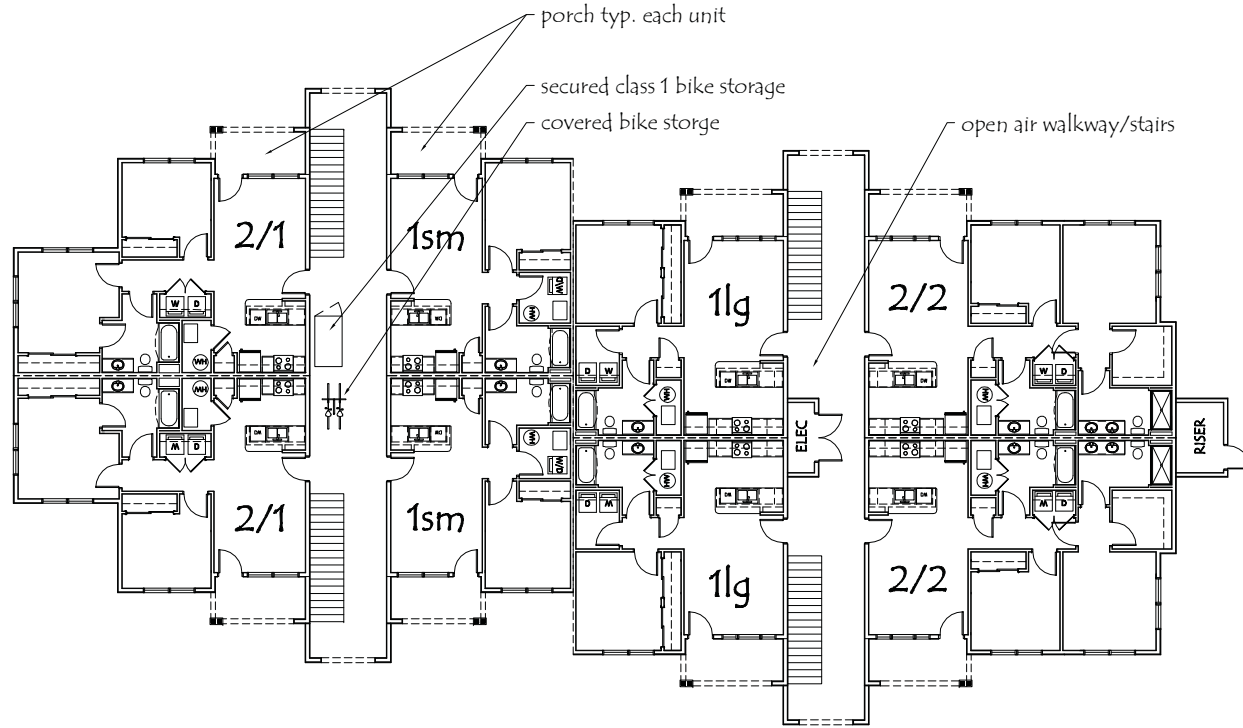


Zach Bode, Principal



1 SITE PLAN
 C1
 1" = 60'-0"
 NORTH

PROJECT NO. 17061		SHEET NUMBER C1	
DATE 10-25-2017		SHEET DESCRIPTION SITE PLAN	
REGENCY CONSOLIDATED RESIDENTIAL, LLC			
ADAMS VILLAGE			
Bloomington, Indiana			
STUDIO THREE DESIGN <small>1111 E. 100th Ave. Aurora, CO 80015 www.studiothree.com 303.426.1111</small>		<small>major design 1111 E. 100th Ave. Aurora, CO 80015 www.major.com 303.426.1111</small>	



1
A1.1

BUILDING 1 - LEVEL 1 FLOOR PLAN

1/16" = 1'-0"

BUILDING TYPE 1

1 bed small	6	6 beds
1 bed large	6	6 beds
2/1	6	12 beds
2/2	6	12 beds
24 Units		36 beds

SHEET NUMBER

A1.1

SHEET DESCRIPTION

BUILDING 1 - LEVEL 1 FLOOR PLAN

PROJECT NO.

17061

DATE

10-25-2017

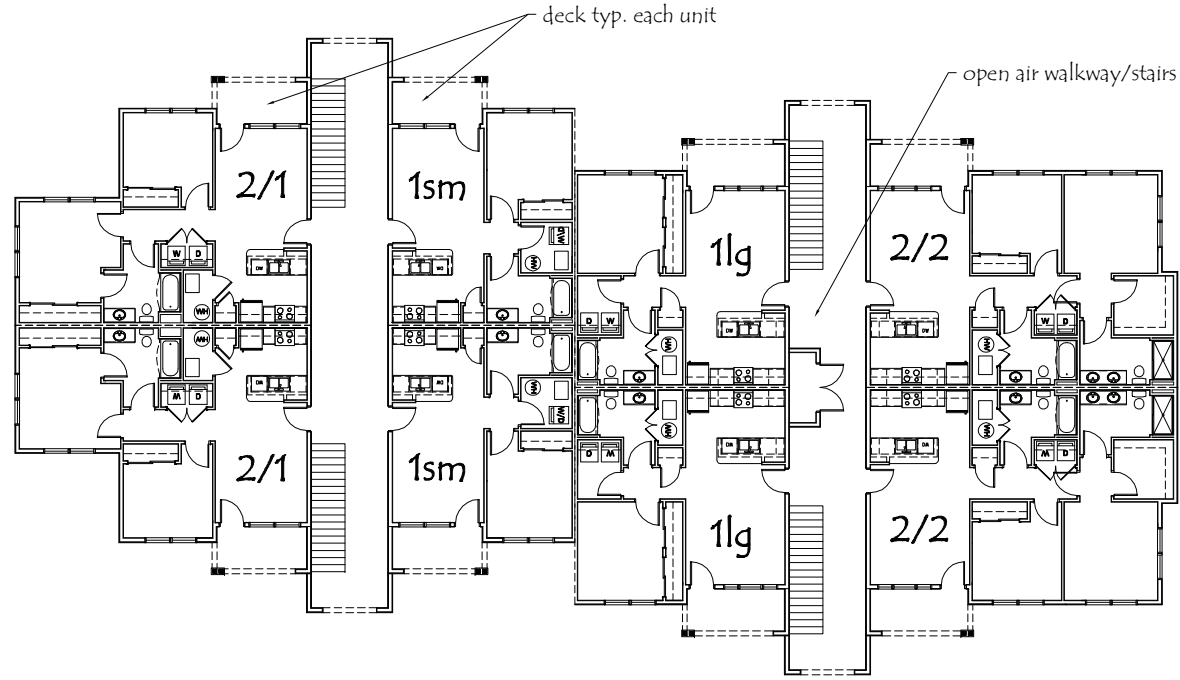
REGENCY CONSOLIDATED RESIDENTIAL, LLC

ADAMS VILLAGE

Bloomington, Indiana

STUDIO THREE DESIGN

317.865.0000 main
317.875.1238 fax
www.studiodesign.net
8604 Altonville Road, Suite 200 Indianapolis, IN 46250



1
A1.2

BUILDING 1 - LEVEL 2 FLOOR PLAN

1/16" = 1'-0"

BUILDING TYPE 1

1 bed small	6	6 beds
1 bed large	6	6 beds
2/1	6	12 beds
2/2	6	12 beds
24 Units		36 beds

SHEET NUMBER

A1.2

SHEET DESCRIPTION

BUILDING 1 - LEVEL 2 FLOOR PLAN

PROJECT NO.

17061

DATE

10-25-2017

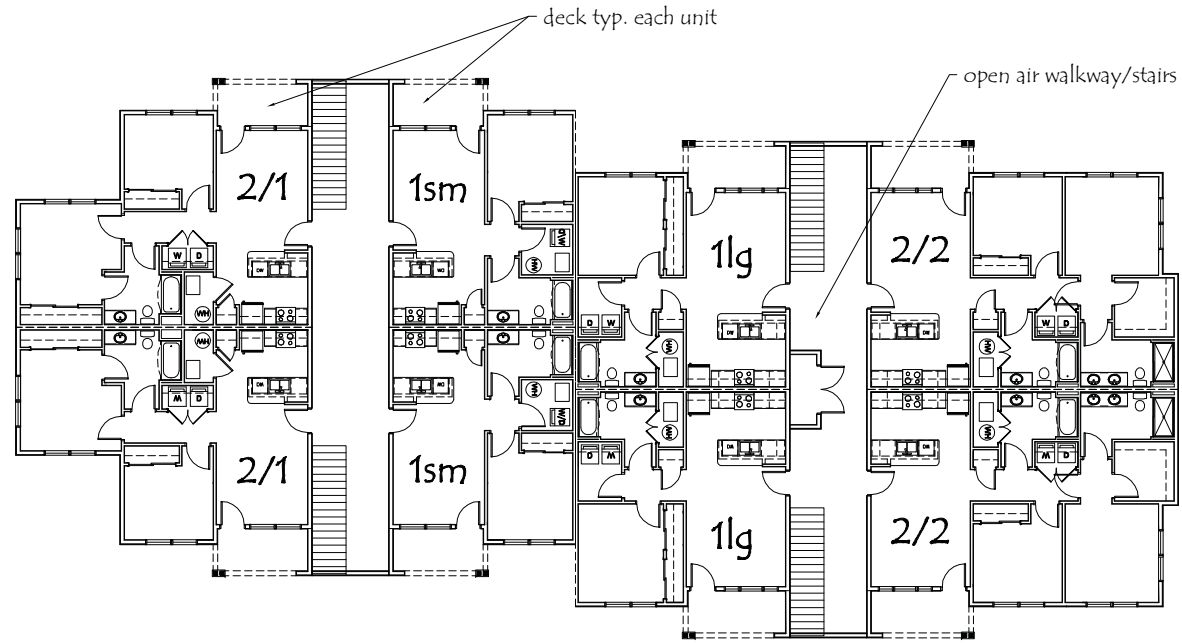
REGENCY CONSOLIDATED RESIDENTIAL, LLC

ADAMS VILLAGE

Bloomington, Indiana

STUDIO THREE DESIGN

317.856.0000 main
317.875.1238 fax
www.studiodesign.net
8664 Alkermeth Road, Suite 200 Indianapolis, IN 46250



1
A1.3

BUILDING 1 - LEVEL 3 FLOOR PLAN

1/16" = 1'-0"

BUILDING TYPE 1

1 bed small	6	6 beds
1 bed large	6	6 beds
2/1	6	12 beds
2/2	6	12 beds
24 Units		36 beds

 <p>STUDIO THREE DESIGN</p> <p><small>317.865.0000 main 866.448.8888 toll free www.studiodesign.net 317.875.1238 fax 866.448.8888 toll free Bloomington, IN 47408</small></p>	<p>REGENCY CONSOLIDATED RESIDENTIAL, LLC</p> <p>ADAMS VILLAGE</p> <p>Bloomington, Indiana</p>	<p>PROJECT NO. 17061</p> <p>DATE 10-25-2017</p>	<p>SHEET DESCRIPTION BUILDING 1 - LEVEL 3 FLOOR PLAN</p> <p>SHEET NUMBER A1.3</p>
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SHEET NUMBER

A1.4

SHEET DESCRIPTION

BUILDING 1 -
EAST & WEST
ELEVATIONS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN



2 BUILDING 1 - EAST ELEVATION
A1.4 1/16" = 1'-0"



1 BUILDING 1 - WEST ELEVATION
A1.4 1/16" = 1'-0"

ASPHALT SHINGLES
VINYL WINDOWS
BALCONY RAILING
FIBER CEMENT TRIM
FIBER CEMENT LAP SIDING
CULTURED STONE



TRUSS BEARING 30' - 4"
LEVEL 3 21' - 4"
LEVEL 2 10' - 8"
LEVEL 1 0' - 0"
LEVEL 1A -2' - 0"

1 BUILDING 1 - NORTH ELEVATION
A1.5 1/16" = 1'-0"

ASPHALT SHINGLES
VINYL WINDOWS
BALCONY RAILING
FIBER CEMENT TRIM
FIBER CEMENT LAP SIDING
CULTURED STONE



TRUSS BEARING 30' - 4"
LEVEL 3 21' - 4"
LEVEL 2 10' - 8"
LEVEL 1 0' - 0"
LEVEL 1A -2' - 0"

2 BUILDING 1 - SOUTH ELEVATION
A1.5 1/16" = 1'-0"

SHEET NUMBER

A1.5

SHEET DESCRIPTION

BUILDING 1 -
NORTH/SOUTH
ELEVATIONS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN





1 BLDG 1 - VIEW 1
A1.6



2 BLDG 1 - VIEW 2
A1.6

SHEET NUMBER

A1.6

SHEET DESCRIPTION

BUILDING 1
PERSPECTIVE
VIEWS

PROJECT NO.
17061

DATE
10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

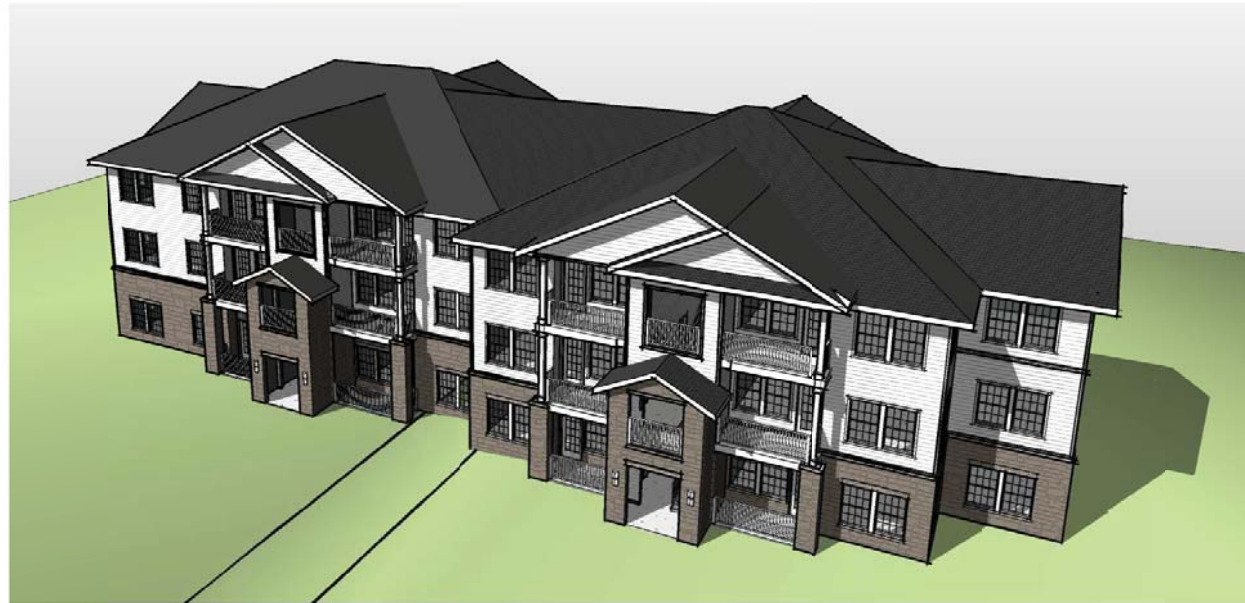
ADAMS VILLAGE

BLOOMINGTON, IN

STUDIO
THREE
DESIGN



1 BLDG 1 - VIEW 3
A1.7



2 BLDG 1 - AERIAL
A1.7

SHEET NUMBER

A1.7

SHEET DESCRIPTION

BUILDING 1
PERSPECTIVE
VIEWS

PROJECT NO.
17061

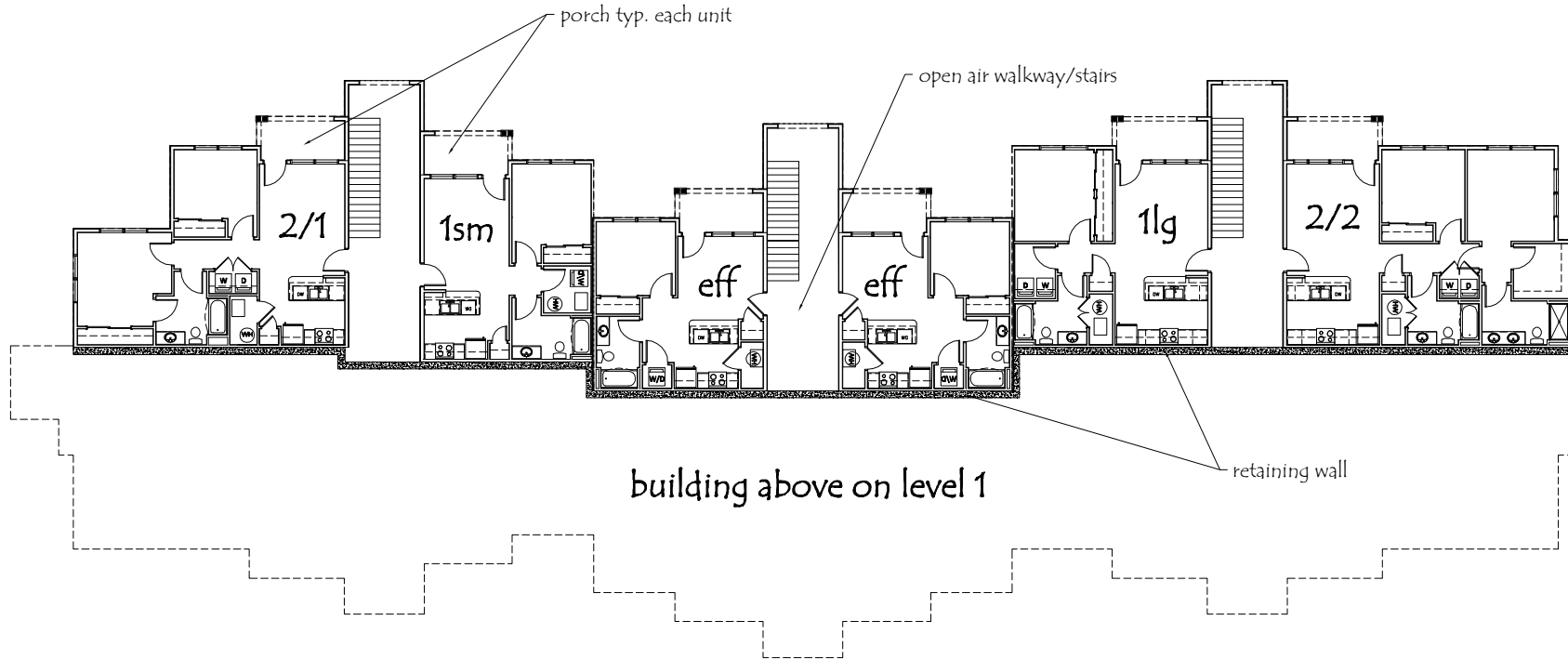
DATE
10/25/17



REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN







BUILDING 2 - LOWER LEVEL FLOOR PLAN
 1/16" = 1'-0"

BUILDING TYPE 2

Efficiency	10	10 beds
1 bed small	9	9 beds
1 bed large	5	5 beds
2/1	3	6 beds
2/2	7	14 beds
34 Units		44 beds

SHEET NUMBER

A2.0

SHEET DESCRIPTION

**BUILDING 2 -
LOWER LEVEL
FLOOR PLAN**

PROJECT NO.

17061

DATE

10-25-2017

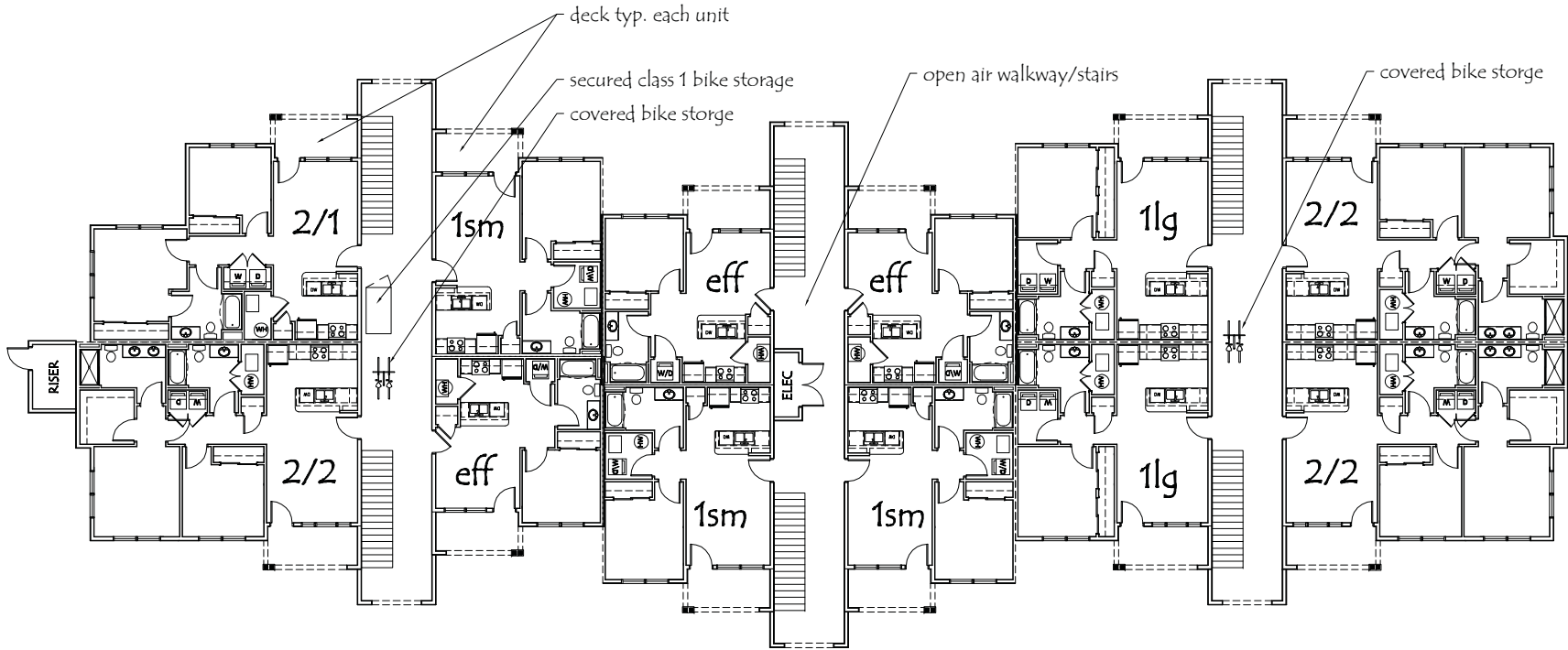
REGENCY CONSOLIDATED RESIDENTIAL, LLC

ADAMS VILLAGE

Bloomington, Indiana


**STUDIO
THREE
DESIGN**

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 317.875.1238 fax
 www.studiodesign.net
 8604 Altonville Road, Suite 200 Indianapolis, IN 46250




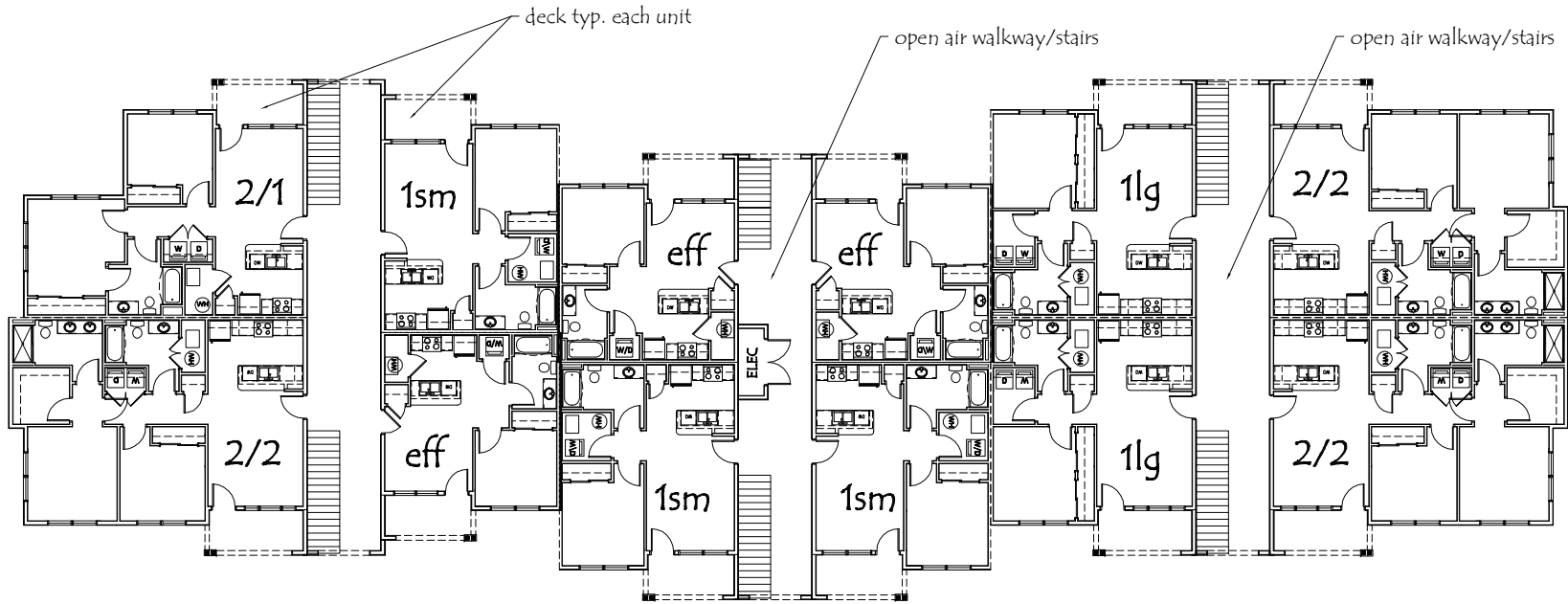


BUILDING 2 - LEVEL 1 FLOOR PLAN
 1/16" = 1'-0"

BUILDING TYPE 2

Efficiency	10	10 beds
1 bed small	9	9 beds
1 bed large	5	5 beds
2/1	3	6 beds
2/2	7	14 beds
34 Units		44 beds

 <p>STUDIO THREE DESIGN</p> <p><small>317.865.0070 main 317.875.1258 fax www.studiodesign.net 8664 Altonville Road, Suite 200 Indianapolis, IN 46250</small></p>	<p>REGENCY CONSOLIDATED RESIDENTIAL, LLC</p> <p>ADAMS VILLAGE</p> <p>Bloomington, Indiana</p>	<p>PROJECT NO. 17061</p> <p>DATE 10-25-2017</p>	<p>SHEET DESCRIPTION BUILDING 2 - LEVEL 1 FLOOR PLAN</p> <p>SHEET NUMBER A2.1</p>
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1
A2.2

BUILDING 2 - LEVEL 2 FLOOR PLAN

1/16" = 1'-0"

BUILDING TYPE 2

Efficiency	10	10 beds
1 bed small	9	9 beds
1 bed large	5	5 beds
2/1	3	6 beds
2/2	7	14 beds
34 Units		44 beds

SHEET NUMBER

A2.2

SHEET DESCRIPTION

BUILDING 2 - LEVEL 2 FLOOR PLAN

PROJECT NO.

17061

DATE

10-25-2017

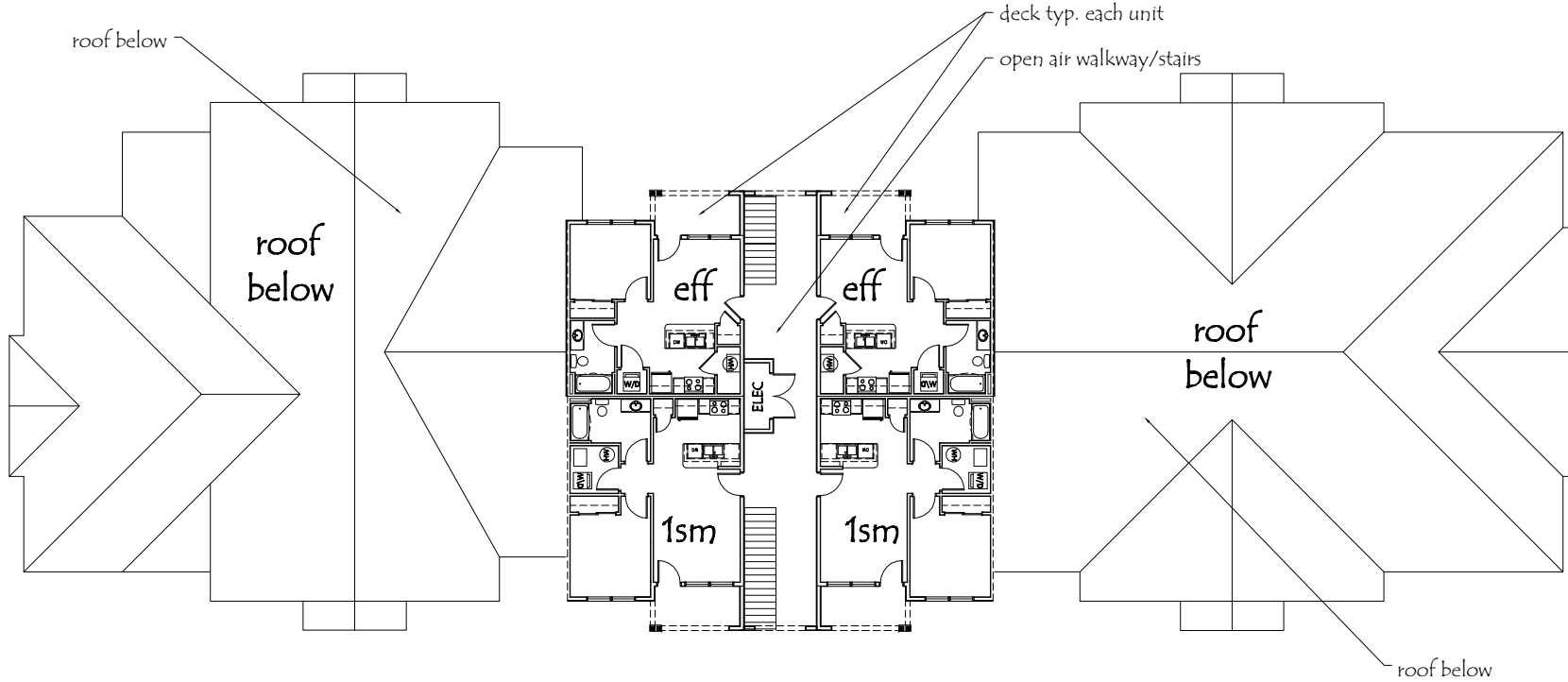
REGENCY CONSOLIDATED RESIDENTIAL, LLC

ADAMS VILLAGE

Bloomington, Indiana

STUDIO THREE DESIGN

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www.studiodesign.net
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1 BUILDING 2 - LEVEL 3 FLOOR PLAN
A2.3 1/16" = 1'-0"

BUILDING TYPE 2

Efficiency	10	10 beds
1 bed small	9	9 beds
1 bed large	5	5 beds
2/1	3	6 beds
2/2	7	14 beds
34 Units		44 beds

REGENCY CONSOLIDATED RESIDENTIAL, LLC ADAMS VILLAGE Bloomington, Indiana	PROJECT NO. 17061	SHEET DESCRIPTION BUILDING 2 - LEVEL 3 FLOOR PLAN	SHEET NUMBER A2.3
	DATE 10-25-2017		
STUDIO THREE DESIGN www.studiodesign.net 317 865 0000 main 317 872 1238 fax 8604 Adamsville Road, Suite 300 Indianapolis, IN 46260			

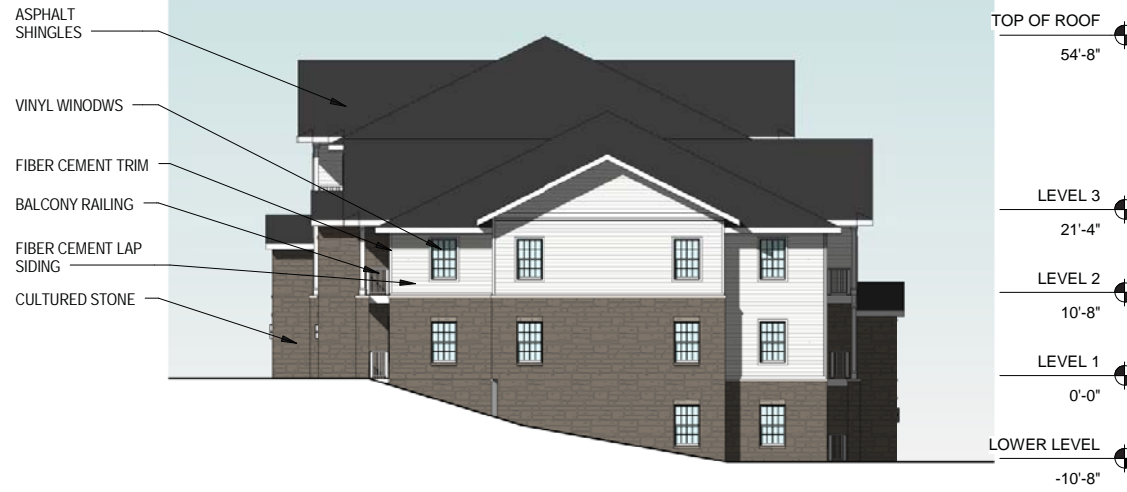


1 BUILDING 2 - EAST ELEVATION
A2.4 1/16" = 1'-0"



2 BUILDING 2 - WEST ELEVATION
A2.4 1/16" = 1'-0"

SHEET NUMBER A2.4	
SHEET DESCRIPTION BUILDING 2 - EAST & WEST ELEVATIONS	
PROJECT NO. 17061	DATE 10/25/17
REGENCY CONSOLIDATED RESIDENTIAL, LLC. ADAMS VILLAGE BLOOMINGTON, IN	
	



1 BUILDING 2 - NORTH ELEVATION
A2.5 1/16" = 1'-0"



2 BUILDING 2 - SOUTH ELEVATION
A2.5 1/16" = 1'-0"

SHEET NUMBER A2.5	
SHEET DESCRIPTION BUILDING 2 - NORTH/SOUTH ELEVATIONS	
PROJECT NO. 17061	DATE 10/25/17
REGENCY CONSOLIDATED RESIDENTIAL, LLC. ADAMS VILLAGE BLOOMINGTON, IN	



1
A2.6

BLDG 2 - VIEW 1



2
A2.6

BLDG 2 - VIEW 2

SHEET NUMBER

A2.6

SHEET DESCRIPTION

BUILDING 2
PERSPECTIVE
VIEWS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN

STUDIO
THREE
DESIGN



1 BLDG 2 - VIEW 3
A2.7



2 BLDG 2 - AERIAL
A2.7

SHEET NUMBER

A2.7

SHEET DESCRIPTION

BUILDING 2
PERSPECTIVE
VIEWS

PROJECT NO.

17061

DATE

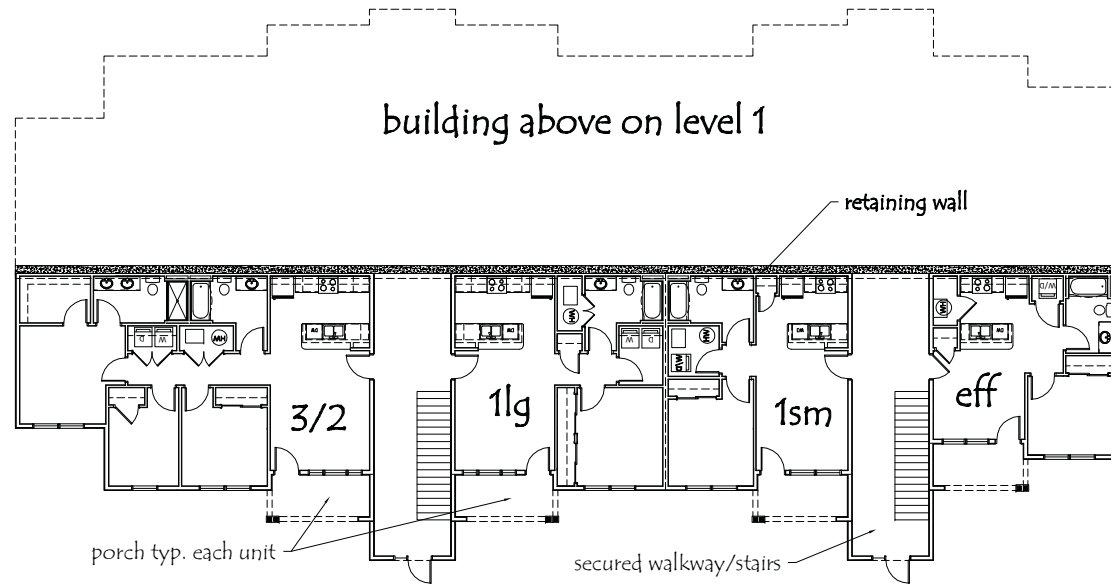
10/25/17

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ADAMS VILLAGE

BLOOMINGTON, IN





1
A3.0

BUILDING 3 - LOWER LEVEL FLOOR PLAN
1/16" = 1'-0"

BUILDING TYPE 3

Efficiency	5	5 beds
1 bed small	5	5 beds
1 bed large	5	5 beds
3/2	5	15
20 Units		30 beds

SHEET NUMBER

A3.0

SHEET DESCRIPTION

**BUILDING 3 -
LOWER LEVEL
FLOOR PLAN**

PROJECT NO.
17061

DATE
10-25-2017

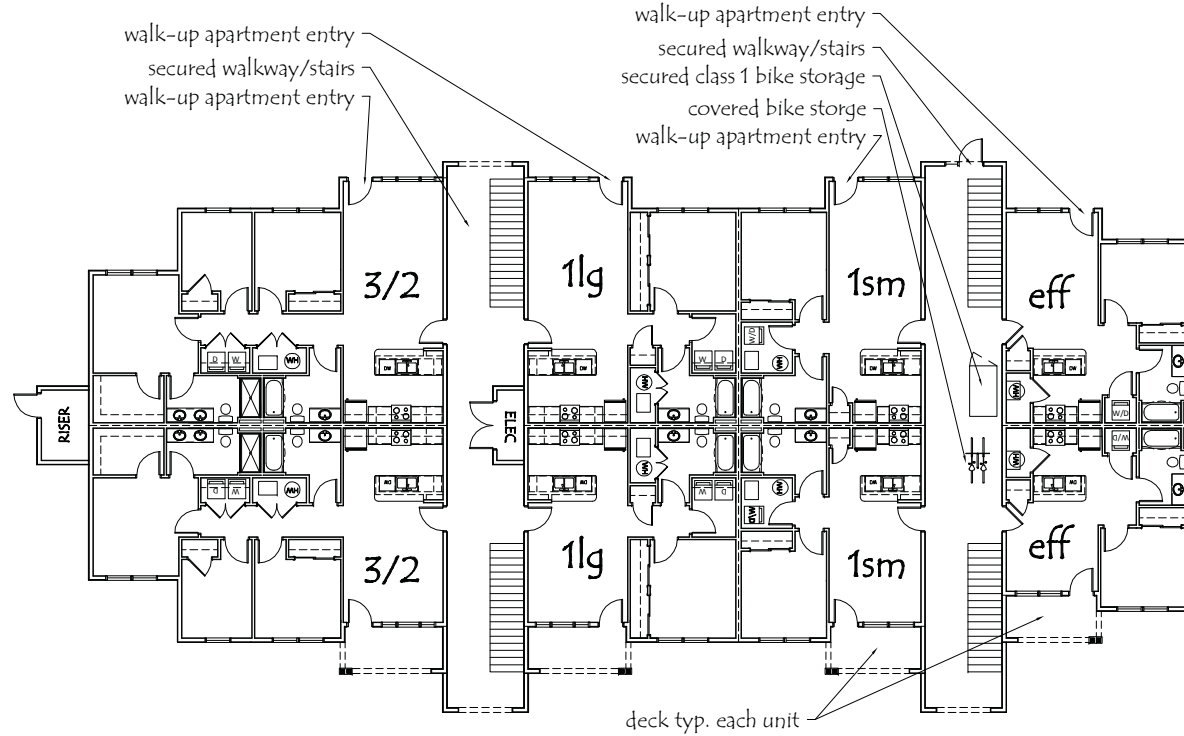
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ADAMS VILLAGE

Bloomington, Indiana

**STUDIO
THREE
DESIGN**


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8604 Millersville Road, Suite 300 Indianapolis, IN 46250

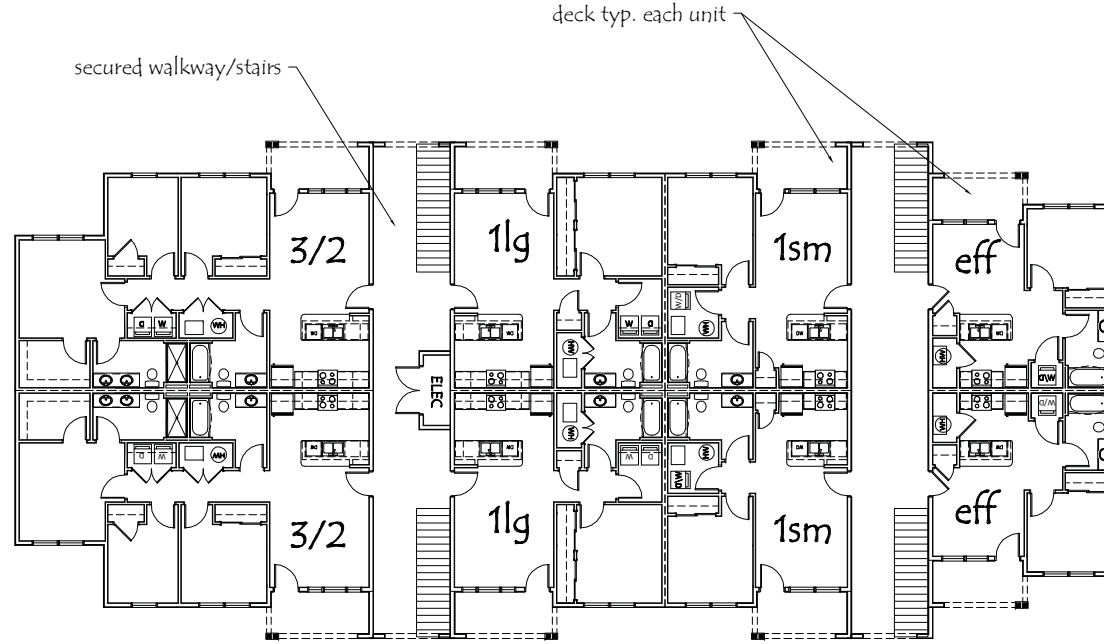


1 BUILDING 3 - LEVEL 1 FLOOR PLAN
A3.1 1/16" = 1'-0"

BUILDING TYPE 3

Efficiency	5	5 beds
1 bed small	5	5 beds
1 bed large	5	5 beds
3/2	5	15
20 Units		30 beds

 <p>STUDIO THREE DESIGN</p> <p style="font-size: 8px;">317.865.0000 main 317.875.1238 fax www.studiodesign.net 8664 Adamsville Road, Suite 200 Indianapolis, IN 46260</p>	<p>REGENCY CONSOLIDATED RESIDENTIAL, LLC</p> <p>ADAMS VILLAGE</p> <p>Bloomington, Indiana</p>	<p>PROJECT NO. 17061</p> <p>DATE 10-25-2017</p>	<p>SHEET DESCRIPTION BUILDING 3 - LEVEL 1 FLOOR PLAN</p> <p>SHEET NUMBER A3.1</p>
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1
A3.2

BUILDING 3 - LEVEL 2 FLOOR PLAN

1/16" = 1'-0"

BUILDING TYPE 3

Efficiency	5	5 beds
1 bed small	5	5 beds
1 bed large	5	5 beds
3/2	5	15
20 Units		30 beds

SHEET NUMBER

A3.2

SHEET DESCRIPTION

BUILDING 3 - LEVEL 2 FLOOR PLAN

PROJECT NO.

17061

DATE

10-25-2017

REGENCY CONSOLIDATED RESIDENTIAL, LLC

ADAMS VILLAGE

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ASPHALT SHINGLES

VINYL WINDOWS

FIBER CEMENT TRIM

FIBER CEMENT LAP SIDING

CULTURED STONE

BALCONY RAILING

ENTRY DOOR WITH SIDELITE

TOP OF ROOF

33'-0"

LEVEL 2

10'-8"

LEVEL 1

0'-0"

1 BUILDING 3 - NORTH ELEVATION
A3.3 1/16" = 1'-0"

ASPHALT SHINGLES

VINYL WINDOWS

FIBER CEMENT TRIM

BALCONY RAILING

FIBER CEMENT LAP SIDING

CULTURED STONE

TOP OF ROOF

43'-6"

LEVEL 2

10'-8"

LEVEL 1

0'-0"

LOWER LEVEL

-10'-8"

2 BUILDING 3 - WEST ELEVATION
A3.3 1/16" = 1'-0"

SHEET NUMBER

A3.3

SHEET DESCRIPTION

BUILDING 3 -
NORTH & WEST
ELEVATIONS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN

STUDIO
THREE
DESIGN

- ASPHALT SHINGLES
- VINYL WINDOWS
- FIBER CEMENT TRIM
- BALCONY RAILING
- FIBER CEMENT LAP SIDING
- CULTURED STONE



- BALCONY RAILING
- ENTRY DOOR WITH SIDELITE

- TOP OF ROOF 43'-6"
- LEVEL 2 10'-8"
- LEVEL 1 0'-0"
- LOWER LEVEL -10'-8"

1 BUILDING 3 - SOUTH ELEVATION
A3.4 1/16" = 1'-0"

- ASPHALT SHINGLES
- VINYL WINDOWS
- FIBER CEMENT TRIM
- BALCONY RAILING
- FIBER CEMENT LAP SIDING
- CULTURED STONE



- TOP OF ROOF 43'-6"
- LEVEL 2 10'-8"
- LEVEL 1 0'-0"
- LOWER LEVEL -10'-8"

2 BUILDING 3 - EAST ELEVATION
A3.4 1/16" = 1'-0"

SHEET NUMBER

A3.4

SHEET DESCRIPTION

BUILDING 3 - SOUTH & EAST ELEVATIONS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN





1 BLDG 3 - VIEW 1
A3.5



2 BLDG 3 - VIEW 2
A3.5

SHEET NUMBER

A3.5

SHEET DESCRIPTION

BUILDING 3
PERSPECTIVE
VIEWS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN





1 BLDG 3 - VIEW 3
A3.6



2 BLDG 3 - VIEW 4
A3.6

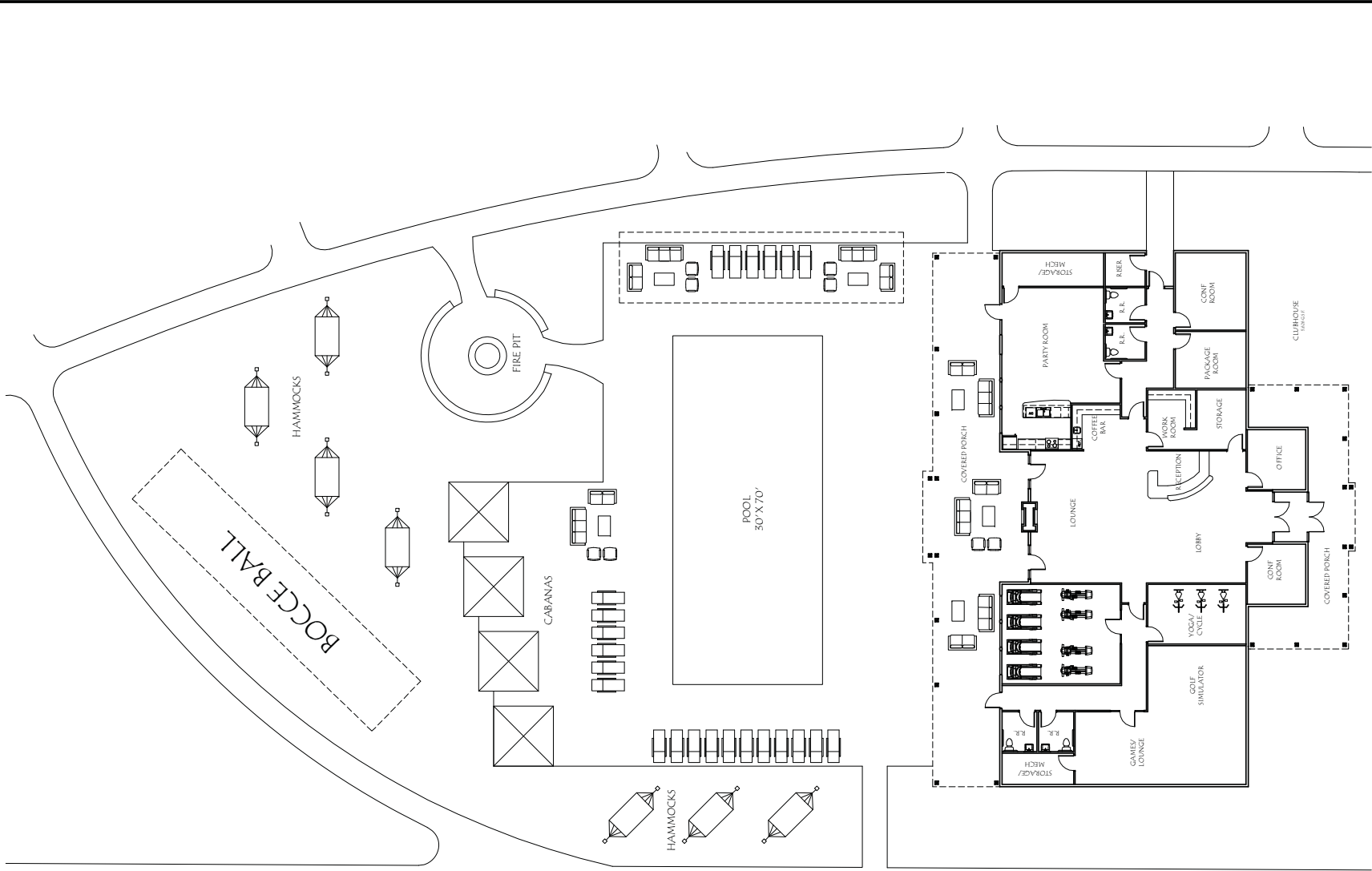
SHEET NUMBER
A3.6

SHEET DESCRIPTION
**BUILDING 3
PERSPECTIVE
VIEWS**

PROJECT NO.
17061
DATE
10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.
ADAMS VILLAGE
BLOOMINGTON, IN



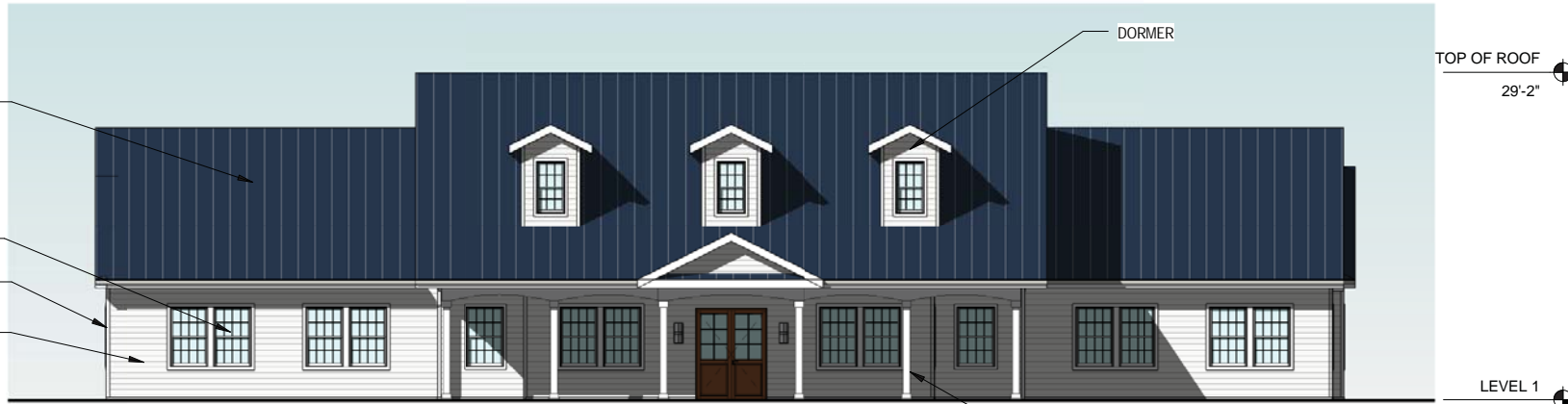


1 CLUBHOUSE PLAN

A4.0 1" = 20'-0"



<p>STUDIO THREE DESIGN www.studiodesign.com</p>	<p>REGENCY CONSOLIDATED RESIDENTIAL, LLC</p> <p>ADAMS VILLAGE</p> <p>Bloomington, Indiana</p>	<p>PROJECT NO. 17061</p> <p>DATE 10-25-2017</p>	<p>SHEET DESCRIPTION CLUBHOUSE/ AMENITY PLAN</p>	<p>SHEET NUMBER A4.0</p>
	<p>317.95.1000 main 866.446.0000 direct 317.572.1236 fax www.studiodesign.com 1000 North College Street Bloomington, IN 47403</p>			



1 CLUBHOUSE - SOUTH ELEVATION
A4.1 3/32" = 1'-0"



2 CLUBHOUSE - EAST ELEVATION
A4.1 3/32" = 1'-0"

SHEET NUMBER A4.1	
SHEET DESCRIPTION CLUBHOUSE - SOUTH & EAST ELEVATIONS	
PROJECT NO. 17061	DATE 10/25/17
REGENCY CONSOLIDATED RESIDENTIAL, LLC. ADAMS VILLAGE BLOOMINGTON, IN	



1 CLUBHOUSE - NORTH ELEVATION
A4.2 3/32" = 1'-0"



2 CLUBHOUSE - WEST ELEVATION
A4.2 3/32" = 1'-0"

SHEET NUMBER

A4.2

SHEET DESCRIPTION

CLUBHOUSE - NORTH & WEST ELEVATIONS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN





1 CLUBHOUSE - VIEW 1
A4.3



2 CLUBHOUSE - VIEW 2
A4.3

SHEET NUMBER

A4.3

SHEET DESCRIPTION

CLUBHOUSE
PERSPECTIVE
VIEWS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN

STUDIO
THREE
DESIGN



1 CLUBHOUSE - VIEW 3
A4.4



2 CLUBHOUSE - AERIAL
A4.4

SHEET NUMBER

A4.4

SHEET DESCRIPTION

CLUBHOUSE
PERSPECTIVE
VIEWS

PROJECT NO.

17061

DATE

10/25/17

REGENCY CONSOLIDATED RESIDENTIAL, LLC.

ADAMS VILLAGE

BLOOMINGTON, IN



SITE PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
2. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLANS.
4. ALL UTILITIES SHALL BE PROTECTED AND SHALL BE MAINTAINED AT ALL TIMES.
5. ALL UTILITIES SHALL BE REPAIRED OR REPLACED AS NECESSARY.
6. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
7. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
8. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
9. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
10. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.

MATERIALS LEGEND

- 1. ASPHALT PAVEMENT
- 2. CONCRETE PAVEMENT
- 3. GRAVEL
- 4. SAND
- 5. CURB
- 6. CONCOURSE
- 7. DRIVEWAY
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CONCRETE FINISHES

- 1. POLISHED CONCRETE
- 2. BROOM FINISH
- 3. SAND FINISH
- 4. STAMPED CONCRETE
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ASPHALT FINISHES

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PAVING FINISHES

- 1. POLISHED ASPHALT
- 2. BROOM FINISH ASPHALT
- 3. SAND FINISH ASPHALT
- 4. STAMPED ASPHALT
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UTILITIES

- 1. WATER
- 2. SEWER
- 3. GAS
- 4. ELECTRIC
- 5. TELEPHONE
- 6. CABLE
- 7. FIBER OPTIC
- 8. RAINWATER
- 9. SWALE
- 10. DRAINAGE
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LANDSCAPE

- 1. TREE
- 2. SHRUB
- 3. PLANT
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ACCESSIBILITY

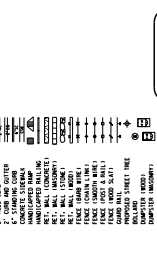
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ADAMS VILLAGE
WOOLERY LOT 1
BLOOMINGTON, IN.

JOB TITLE: _____
 REVISIONS: _____
 BY: _____
 DATE: _____

14
 9/13/17
 9/13/17
C201
 10/23/17
 PHASE I AREA
 IMPROVEMENTS

South Branch & Associates, Inc.
 924 S. Center Street
 Bloomington, IN 47403
 TEL: 317-346-4633
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 WWW.SOUTHBRANCH.COM



SITE PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
2. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLANS.
4. ALL UTILITIES SHALL BE PROTECTED AND SHALL BE MAINTAINED AT ALL TIMES.
5. ALL UTILITIES SHALL BE REPAIRED OR REPLACED AS NECESSARY.
6. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
7. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
8. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
9. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.
10. ALL UTILITIES SHALL BE INSTALLED AT THE PROPER DEPTH AND SHALL BE PROTECTED.

MATERIALS LEGEND

- 1. ASPHALT PAVEMENT
- 2. CONCRETE PAVEMENT
- 3. GRAVEL
- 4. SAND
- 5. CURB
- 6. CONCOURSE
- 7. DRIVEWAY
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Adams Village Apartments Existing Landscape Requirements

Street Trees Required
 Street trees required on 40 ft. of right of way, 17 oak and maple street trees
 Sunstone Road, 22 trees required, 5 additional trees added to streetscape
 Sunstone Dr. - 63' x 11' street trees required per 40 ft of right of way, 4 oak and maple street trees shall
 remain along Sunstone. 16 trees required, 11 additional trees added to streetscape.
**Trap Road - 19' x 11' street trees required per 40 ft of right of way, 4 existing trees shall remain along
 Trap. 5 trees required, 1 additional tree added to streetscape**

Parking lot Requirements: 220 Total Parking Spaces.

One large canopy tree and required for every 4 spaces.
 58 new trees canopy required. 33 existing trees preserved. 25 new trees provided.
 3 shrubs required for every parking space. 247 shrubs preserved, 440 shrubs provided.

Interior plants

Total Site Area 4.1317 AC, Buildings and Pavement 48.77. Area not covered by buildings and parking
 7.05 AC
 14 large canopy trees, 5 evergreen trees, 5 medium or small trees and, 36 shrubs required per every
 area of site not covered by parking lot or structure.
 59 large canopy trees required. 106 existing trees preserved on phase 1.
 10 evergreen trees required. 106 existing trees preserved on phase 1.
 36 medium or small trees required. 120 existing trees preserved.
 253 shrubs required. 223 existing shrubs preserved. 30 new shrubs provided shrubs provided.

Parking Lot Perimeter Plants

PLANT TYPE	EXISTING TREES	NEW TREES	TOTAL TREES	EXISTING SHRUBS	NEW SHRUBS	TOTAL SHRUBS
1	2	15	17	0	11	11
2	4	12	16	0	11	11
3	4	12	16	0	11	11
4	0	0	0	0	0	0
5	0	0	0	0	0	0
6	0	0	0	0	0	0
7	11	12	23	3	4	27
8	11	12	23	3	4	27
9	11	12	23	3	4	27
10	11	12	23	3	4	27
11	11	12	23	3	4	27
12	11	12	23	3	4	27
13	11	12	23	3	4	27
14	11	12	23	3	4	27
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93	11	12	23	3	4	27
94	11	12	23	3	4	27
95	11	12	23	3	4	27
96	11	12	23	3	4	27
97	11	12	23	3	4	27
98	11	12	23	3	4	27
99	11	12	23	3	4	27
100	11	12	23	3	4	27

Total Plants Existing and Proposed

PLANT TYPE	EXISTING TREES	NEW TREES	TOTAL TREES	EXISTING SHRUBS	NEW SHRUBS	TOTAL SHRUBS
TOTAL TREES	11	12	23	3	4	27
TOTAL SHRUBS	3	4	7	3	4	7
TOTAL PLANTS	14	16	30	6	8	34

Interior Plants

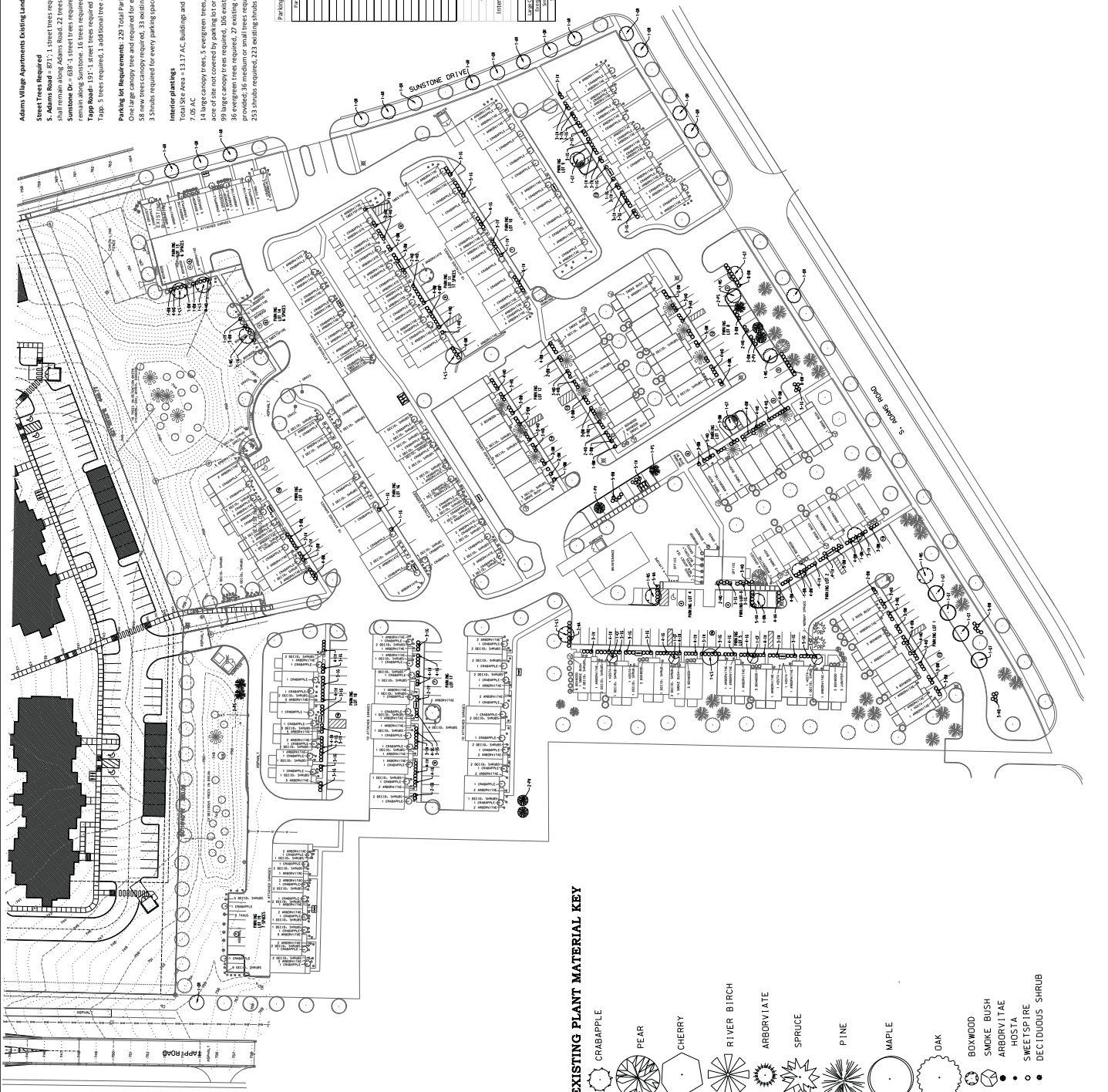
PLANT TYPE	EXISTING TREES	NEW TREES	TOTAL TREES	EXISTING SHRUBS	NEW SHRUBS	TOTAL SHRUBS
TOTAL TREES	11	12	23	3	4	27
TOTAL SHRUBS	3	4	7	3	4	7
TOTAL PLANTS	14	16	30	6	8	34

LANDSCAPE PLANT TABLE

ID	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
1	CRABAPPLE	Red Maple	2" Caliper	
2	PEAR	Red Maple	2" Caliper	
3	CHERRY	Red Maple	2" Caliper	
4	RIVER BIRCH	Red Maple	2" Caliper	
5	ARBORVITAE	Red Maple	2" Caliper	
6	SPRUCE	Red Maple	2" Caliper	
7	PINE	Red Maple	2" Caliper	
8	MAPLE	Red Maple	2" Caliper	
9	DAK	Red Maple	2" Caliper	
10	BOXWOOD	Red Maple	2" Caliper	
11	SMOKE BUSH	Red Maple	2" Caliper	
12	ARBORVITAE	Red Maple	2" Caliper	
13	HOSTA	Red Maple	2" Caliper	
14	SWEETSPICE	Red Maple	2" Caliper	
15	DECIDUOUS SHRUB	Red Maple	2" Caliper	

INTERIOR PLANTS

ID	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
1	CRABAPPLE	Red Maple	2" Caliper	
2	PEAR	Red Maple	2" Caliper	
3	CHERRY	Red Maple	2" Caliper	
4	RIVER BIRCH	Red Maple	2" Caliper	
5	ARBORVITAE	Red Maple	2" Caliper	
6	SPRUCE	Red Maple	2" Caliper	
7	PINE	Red Maple	2" Caliper	
8	MAPLE	Red Maple	2" Caliper	
9	DAK	Red Maple	2" Caliper	
10	BOXWOOD	Red Maple	2" Caliper	
11	SMOKE BUSH	Red Maple	2" Caliper	
12	ARBORVITAE	Red Maple	2" Caliper	
13	HOSTA	Red Maple	2" Caliper	
14	SWEETSPICE	Red Maple	2" Caliper	
15	DECIDUOUS SHRUB	Red Maple	2" Caliper	



EXISTING PLANT MATERIAL KEY

- CRABAPPLE
- PEAR
- CHERRY
- RIVER BIRCH
- ARBORVITAE
- SPRUCE
- PINE
- MAPLE
- DAK
- BOXWOOD
- SMOKE BUSH
- ARBORVITAE
- HOSTA
- SWEETSPICE
- DECIDUOUS SHRUB



ADAMS VILLAGE
WOOLERY LOT 1
BLOOMINGTON, IN.

BY	DATE

141
 5310
 C501
 PHASE 1 AREA
 10/23/17
 SOUTH BRANCH & ASSOCIATES, INC.

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**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 722 W 2nd St.**

**CASE #: UV-36-17
DATE: November 13, 2017**

PETITIONER: Gwynne and Ben Shively
722 W 2nd Street, Bloomington

CONSULTANT: Mike Shively Architecture
910 W Van Buren Street, Chicago, IL

REQUEST: The petitioner is requesting a use variance to permit a barber/beauty shop in the Medical (MD) zoning district.

Area:	0.18 Acres
Zoning:	Medical (MD)
GPP Designation:	Public/Semi-Public/Institutional
Existing Land Use:	Baber/Beauty Shop
Proposed Land Use:	Baber/Beauty Shop
Surrounding Uses:	North – Dwelling, Single-Family (detached) East – Park South – Hospital West – Pharmacy

REPORT: The petition site is located along the north side of West 2nd Street, immediately adjacent to Building Trades Park. The property is zoned Medical (MD) and contains an approximate 1,400 square foot single family detached structure that has been converted to a barber/beauty shop. This use was established prior to the existing Unified Development Ordinance (UDO), making it a legally non-conforming use.

The petitioner proposes to demolish the existing building and construct a three story mixed use building. The existing salon would be relocated to the first floor of the new building. The second story would be owner occupied and the third story would contain one 2 bedroom unit and one 1 bedroom unit. The Unified Development Ordinance (UDO) permits the use of “dwelling, upper floor units” in the MD District. The UDO does not allow the use ‘barber/beauty shop’ in the MD District. For the existing legally non-conforming use to re-establish and expand, the petitioner must receive a use variance from the Board of Zoning Appeals (BZA) for the use on the site.

The property is located on the southern edge of the Prospect Hill Historic District. Any demolition and/or construction requires a Certificate of Appropriateness (COA) from the Historic Preservation Commission (HPC). The HPC granted the COA at their meeting on October 26, 2017.

SITE PLAN REVIEW:

Density: The maximum allowable density is 2.7 DUEs. The second story contains a 4 bedroom unit and the third story contains one 2 bedroom unit, and one 1 bedroom unit

resulting in a proposed density of 2.4 DUEs. The proposed site plan meets the density requirement.

Parking and Access: There are 8 parking spaces proposed. A barber/beauty shop is permitted a maximum of two parking spaces for every operator station. There are eight operator stations proposed in the proposed layout. One space for every bedroom is required for the upper floor dwelling units. There is a minimum of 7 spaces required for the upper floor dwelling units. With the two uses together, the maximum on site is 23.

Along the eastern edge of the site are six angled parking spaces. The attached garage at the northern portion of the lot includes two spaces for the owner occupied unit. Per BMC 20.05.070(k), back-out parking within the required side or rear setback may be allowed onto adjacent alleys. This standard limits the number of spaces to eight and requires that the alleys be considered "improved" alleys.

Vehicular access to the site is located at the southwest corner via a public alley.

Bicycle and Pedestrian Facilities: There is existing sidewalk at the south side of the site along W 2nd St. The UDO requires eight outdoor bicycle parking spaces for visitors and tenants, which are shown on the site plan.

The primary entrance for the barber/beauty shop is located on the east façade, at the southeast corner of the building. There is a proposed patio between the building and W 2nd St. serving as a pedestrian connection from the street to the building.

Landscaping: A full landscaping plan will be approved by staff prior to the release of grading and building permits.

Architecture and Materials: The proposed facade materials include a smooth white stucco and wood planks with a walnut stain. The roof would be architectural asphalt shingles. The petition includes an additional variance, to be heard by the BZA, from BMC 20.05.015 Architectural Standards including:

20.05.015(c)(4) *Eaves and Roofs:* Buildings with sloped roofs (those greater than 3:12 pitch) visible from a primary arterial or freeway/expressway shall contain overhanging eaves, extending no less than two (2) feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

Schmidt Associates had the following comments regarding the proposed architecture and site layout:

- The colors of the gutter, downspout and window frames should be specified as they will be visible against the white stucco.
- The round opening represent at the upper gable on the east and west elevations could be enlarged to more proportionally fit the area they occupy.
- Colors on the columns supporting the overhang of the building on the east

elevation.

The complete report from Schmidt Associates is included in this packet. The petition and proposed architecture has already received approval from the HPC. Any future changes in the architecture would have to be approved by the HPC.

Green Building Features: The petitioner's statement outlines the green building features including building materials, plumbing, appliances, lighting, daylighting, on-site recycling, and bicycle parking.

PLAN COMMISSION REVIEW: Per BMC 20.09.140(d), the Plan Commission shall review and make recommendations to the Board of Zoning Appeals on any Use Variance petition that involves multifamily or nonresidential uses.

USE VARIANCE: The Growth Policies Plan (GPP) designates this property as Public/Semi-Public/Institutional. The GPP notes that 'Public/Semi-Public/Institutional' is designed to provide adequate land to support compatible government, non-profit and social service land use activities. The GPP did not anticipate the relocation of IU Health Bloomington Hospital and provided for land area to support a use that will soon not be in the area. Draft Comprehensive Plan changes anticipate the relocation of the hospital, but those changes have not yet been adopted.

The proposed use variance would re-establish the existing use in a new three story mixed use building. There are few properties at the intersection of S Walker St. and W 2nd St. to the west and three blocks to the east of Building Trades Park zoned MD. Though directly adjacent to the hospital, the properties along the north side of W. 2nd St. are primarily residential. The proposed use variance would re-establish an existing business in a new three story mixed use building.

With the anticipated land use change this request does not substantially interfere with the general and specific policies of the GPP for this area.

CONCLUSION: The proposed use variance is appropriate in the MD district. With the hospital relocating in the future, the need area for surrounding properties to support the hospital is unnecessary. As a result, the existing site can be used for the barber/beauty shop use without negatively affecting the surrounding area or harming the MD district intent.

RECOMMENDATION: The Department recommends that the Plan Commission forward petition #UV-36-17 to the Board of Zoning Appeals with a positive recommendation.

October 27, 2017

Terri Porter
Director of Planning and Transportation
The City of Bloomington
401 North Morton Street, Suite 130
Bloomington, IN 47404

Re: 722 West 2nd Street
Bloomington City Architect - 2017-040.000

Dear Terri:

Schmidt Associates has reviewed the revised Plan Commission Submittal dated 10/19/2017 (received 1/24/2017) for a new mixed use development at 722 West 2nd Street. The project is a 3-story building with an attached garage.

The building will house: a hair salon at the street level, a condominium unit to be occupied by the building owner on the second floor, and two rental apartments on the third floor. The apartments will be comprised of (1) two-bedroom unit and (1) one-bedroom unit. The project is located on the north side of West 2nd Street in the Greater Prospect Hill Local Historic District in the Medical District Zoning Overlay.

The project is proposed for construction on what currently appears to be a single-story residential structure and an asphalt parking lot to the north of it. An express pharmacy building and its parking lot lie directly west of the project site. The site itself has minimal 2nd Street frontage to the south and a long alley frontage on the east. A city park appears to be located directly across the alley.

The Medical District in this area includes a mixture of building types. The footprints and heights vary from one-story homes that have been converted to businesses to a six-story parking garage and a hospital. In short, there is a mixture of uses with a great variety of building heights as well. The site experiences a significant amount of grade change (fall) from west to east and a somewhat lesser amount from north to south.

The historic district housing stock is primarily one-story with some two-story structures. There were no three-story homes that we could see in the area contiguous to the site. The primary materials found in the existing housing stock include: painted clapboard (wood) siding and trim, brick veneer, and ashlar-faced limestone on porches and retaining walls.

No specific issues have been identified by the Planning Staff at this point. It is our understanding that this latest submittal went before the Historic Preservation Commission, on 10/26/2017 and was approved. The latest submittal does include modifications which attempt to address previous HPC comments.

Our comments on the project submittal are as follows:

MASSING & LAYOUT

- The design utilizes a pair of gabled volumes of different lengths, set at 90 degrees to each other. The gable form relates well to the housing stock of the area. In this application, the shorter volume's ridge line runs parallel to 2nd Street. This volume serves as the primary public façade. The longer volume's ridge line runs parallel to the alley and provides a longer exposure to the park across the alley.
- The backside of the gable on the shorter volume has been carved out to provide a protected and visually discrete rooftop deck which should also be relatively private and only minimally visible from South Maple Street, West 2nd Street and the park.
- The height of the ridge has been modified from the original submittal, the third floor is now directly under the gabled volumes with dormers and skylights to provide natural daylight to that level. The design change effectively lowered the ridge by 7'-4". The new height of 33'-2" is likely close to the ridge lines of the two-story homes in the neighborhood; especially in relation to the grade at the street.
- The project will be in the upper range of the building heights in the district. This change in height helps the scale of the structure better blend into its context as it also lowers the eave line to 20'-6".
- The gabled forms for this project have been developed more crisply as a modern interpretation of a traditional form with shed roof dormers at the third level.
- The street level is visually established as a podium for the structure with its placement of materials as well as color variation. The east wall of the podium is recessed under the main volume of the structure in an undulating form. This allows the cars parked along this edge to nestle against the building and maximize available, yet limited site area. (Refer to Site Comments for additional feedback on this aspect of the design).

MATERIALS

- The proposed material for the street level is vertical wood siding, described as wood planks with walnut stain on the drawings. This will provide a dark wood appearance to the ban of the main structure. This floor level is punctuated by vertically oriented fixed window patterns, consistent with the overall modern appearance of the structure.

MATERIALS (cont)

- Above the first floor, the main structure has an exterior skin of smooth white stucco with similar window proportions to those at the first floor. Some of the windows at this level are operable casement and awning units for ventilation. The exterior skin of the attached garage is also smooth white stucco.
- The windows on all facades have been modified from the original submittal to be more consistent in their design and vertical alignment. Where they are still not in complete alignment, they appear to be considered in their relationship to other windows and façade elements, and are no longer visually bothersome.
- The roofing has been clarified as architectural asphalt shingles in a charcoal color, which we assume to mean a dimensional tab shingle. This type of shingle, available from most major shingle manufacturers, add additional layers of material in short widths across a traditional shingle to provide more depth and shadow than standard shingles.
- No material description has been provided for the inset balcony railing at the second floor or the rooftop level balcony. The visual depiction of the material screening the connector to the garage appears to be similar. It would be helpful to have the petition clarify both materiality and color on those items.
- No elevation was provided for the garage door side of the attached garage off the east-west public alley.
- It would helpful to have the petitioner clarify the following minor items:
 - Gutter and downspout color because they will be seen against the white stucco.
 - Window frame colors for the same reason.
 - What does the round opening represent at the upper gable on the east and west elevations? It's not clear whether they are windows or simply openings. We expect they are intended to be windows, but believe they could be enlarged somewhat to more proportionally fit the area they occupy.
 - Colors on the columns supporting the overhang of the building on the east elevation. Additionally, a protective bollard should be considered as a safety measure for each of the three columns exposed to vehicular parking on a daily basis.

SITE

- The site design nicely engages the public zone at the sidewalk with a seat wall and hardscape outdoor area, and bike racks.
- The parking off the alley appears to be approximately a 60-70% angle and the overall distance from face of building to opposite side of alley is 30'. This appears to be very aggressive for a "normal" size car. Time Saver Standards, 7th Edition, has a minimum width of 32' for a 45 degree angle. For the angle shown another 5-6' would be required. Parking bumpers to keep cars from intruding on the building should be considered.
- The turning radius into the detached garage from the northern alley may be challenging at a distance of 21' from the far edge of alley.
- The hardscape area together with the on-site parking, represent an opportunity to reduce site storm runoff with an application of permeable pavers one or both of those locations.
- New trees are well placed to both create a sense of enclosure of the hardscape outdoor area and frame the salon entry on the east side. In this location, they also provide a connection to the adjacent park.
 - o Overhead power lines along the east, south and north edges should be considered when determining final tree species. Small, ornamental flowering trees may be most appropriate.
- Trash and recycling is located off the east-west alley, but it was unclear as to the extent of what is proposed (open space for containers vs. a concrete pad for them OR an enclosure for them).

SUSTAINABILITY AND INNOVATION

A separate list of items which the Design Team feels are sustainable approaches are listed under an Environmental heading in the Petitioner's Statement dated 10/18/2017. Most of the items are considered mainstream sustainable approaches in current design thinking. The listed items are enumerated below with comments:

Building Program

- Changing the site use from a lower single-density use to a mixed use with commercial and residential components
 - Neighborhood level services do contribute to a more sustainable/walkable community.

Building Materials

- Glazing – limited glazing on west elevation will passively assist in limiting solar heat gain due to western sky sun. Consider entire window assembly vs. just glazing when evaluating for energy efficiency.
 - Mechanical System – Residential type, high efficiency systems mentioned for each of the units would likely be most cost effective for this construction. A potential upgrade to a variable refrigerant flow (VRF) system would allow energy to be transferred between units via the refrigerant.
 - Insulation/Wall Construction – The statement of tight construction is hard to quantify without referring it to a standard. Consider requesting a blower door test with a stated level of acceptable pressure drop. This test would assist the petitioner in verifying the integrity of the building envelope.
- Roofing – Additional information on the proposed roofing material would be needed to evaluate the “cool roof” statement.
 - Plumbing – Additional information on the proposed flush/flow rates needed to evaluate efficiency claims.
 - Electrical lighting – LED fixtures with dimmers allow for efficient, flexible control of lighting. Consider tying the salon lighting into a photocell to provide consistent lighting levels in that commercial environment while maximizing energy savings.
 - Natural daylighting – See above comment.

SUSTAINABILITY AND INNOVATION (cont)

Building Materials (cont)

- Design – the overall design appears appropriate and will create nice amenities for the occupants.
- Supporting Green Lifestyles – the included bicycle racks and recycling are useful amenities.

Based on a discussion with Planning Staff, it was likely this project would be heard at the Plan Commission Hearing given the recent approval from the Historic Preservation Commission.

Sincerely,

SCHMIDT ASSOCIATES, INC.
Architecture • Engineering • Interior Design • Landscape Architecture


Sarah K. Hempstead, AIA, LEED AP
CEO / Principal
shempstead@schmidt-arch.com

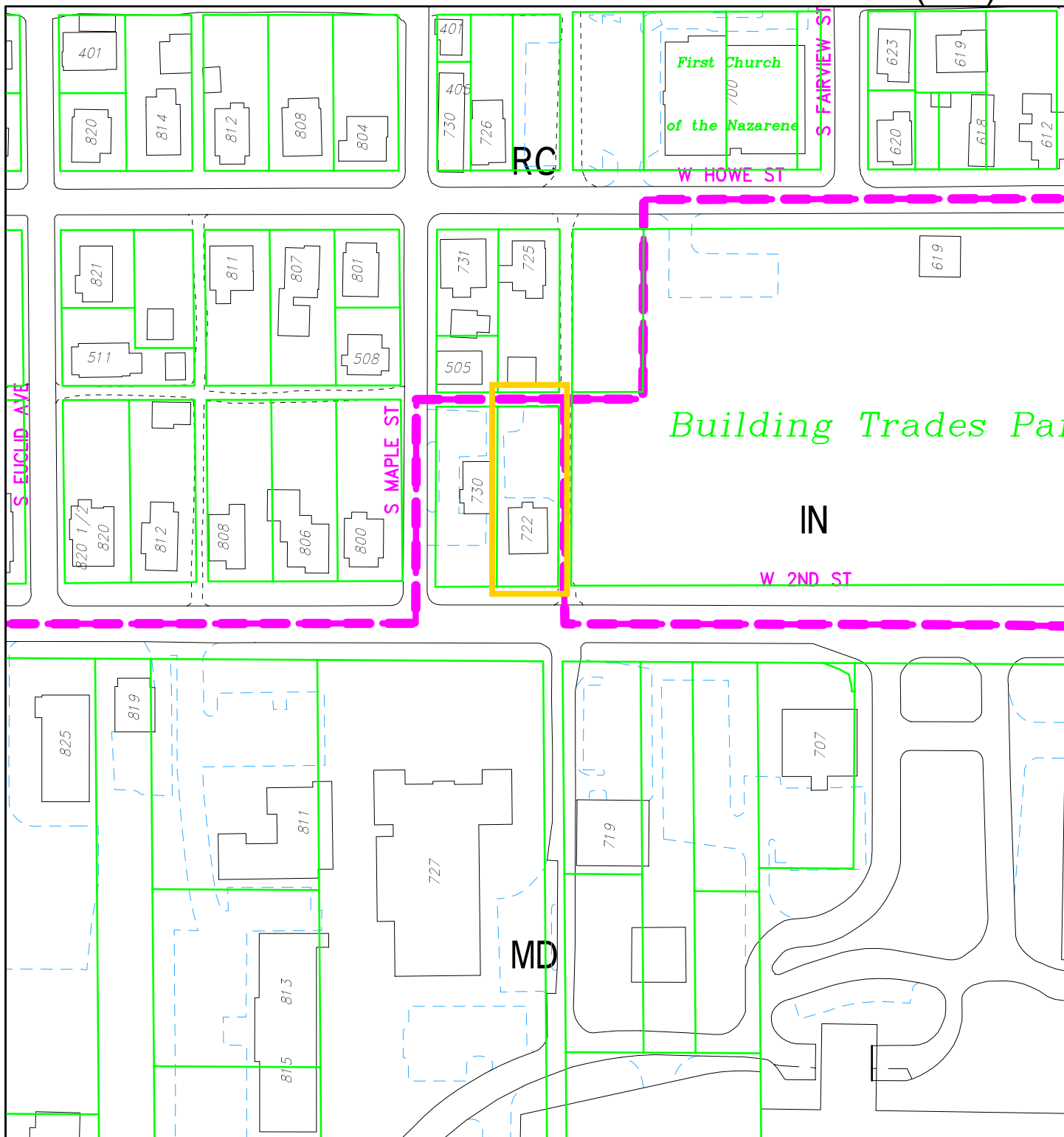

Steven K. Alspaugh AIA, LEED AP BD+C
Design Architect/Associate
salspaugh@schmidt-arch.com



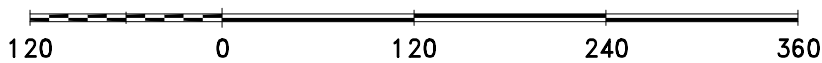
Craig M. Flandermeyer RLA LEED AP BD+C
Sustainable Design Advocate/Associate
cflandermeyer@schmidt-arch.com

SKH/SKA/CMF:lab

Copy: James Roach, The City of Bloomington
Lisa Gomperts, Schmidt Associates



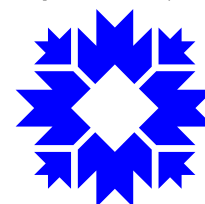
By: lewisa
29 Sep 17



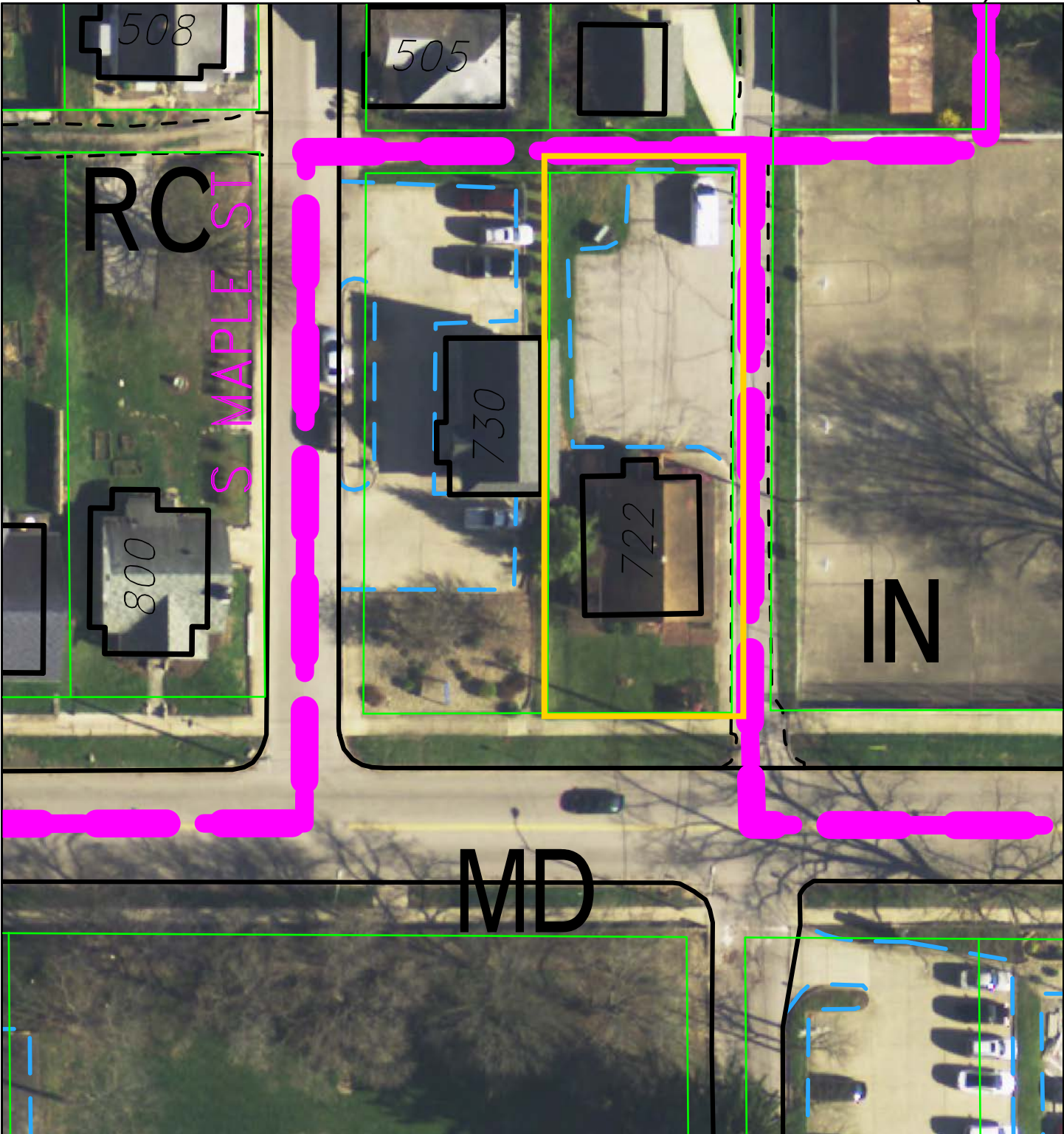
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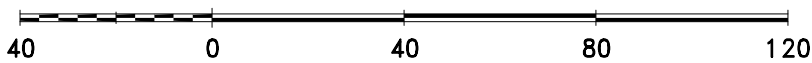
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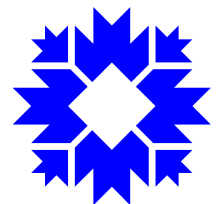
By: lewisa
29 Sep 17



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City of Bloomington
Planning & Transportation



Scale: 1" = 40'



October, 18th 2017

City of Bloomington Planning Department
401 N Morton Street, Suite 130
Bloomington, IN 47402

Re.: 722 W. 2nd Street

PETITIONER'S STATEMENT

Mike Shively Architecture and our clients, Gwynne and Ben Shively, are pleased to submit the attached mixed-use development at 722 W. 2nd Street for Plan Commission Consideration. This document outlines and clarifies the project's intentions, scope, and responds to comments received to date regarding the project. We appreciate your consideration and time in reviewing this document. Please contact us with any questions you may have.

The Shively Family has owned the property at 722 W. 2nd Street and the business on site, Pendlebury Hair Studio, since 2012. Longtime residents of Bloomington, Gwynne and Ben Shively, are excited to redevelop their property as a place to grow their business and provide a home for their family. The proposed design includes an owner's unit for the Shively's and their daughter to call home. The rental units proposed as a part of the program will contribute to the growth of the Family's business and help to take care of the property. The Shively Family is excited to put down permanent roots and further contribute to the Bloomington and Greater Prospect Hill District.

Pendlebury Hair Studio offers a full range of traditional and contemporary salon services including hair cuts, color, repair, make-up and spa services. The Studio first opened in 2006 and has been under the management of the Shively family since 2012. The Studio strives to adhere to environmentally friendly practices within her salon and utilizes eco-conscious products and materials. The proposed salon will have seven stylist chairs and two barbers. The Studio's hours are Tuesday-Friday 10am-7pm and Saturday 10am-4pm.

Project Location

The property is located along North side of West 2nd Street in the Medical District Zoning Overlay. Additionally, the property is in the Greater Prospect Hill Local Historic District. Currently the site has a non-contributing one story building housing Pendlebury Hair Studio. Adjacent properties are largely Medical facilities including IU Health Bloomington Hospital to the southeast. Across the alley to the east side of the property is Building Trades Park. To the West is a commercial building housing a pharmacy. Across the street to the south is an educational facility surrounded by several office/professional services buildings.



Project Scope

The proposed design consists of one building with an attached garage whose program includes a Level 1 hair salon (Pendlebury Hair Studio), a Level 2 Owner's unit for the Shively Family, and an Attic Level will consist of two rental apartments.

Responses to DRC Comments

- **Density** – Initial submission did not comply with density requirements. Resubmitted design altered the density of the residential units to comply.
 - Rental Units – previously two 2 bedroom/2 bathroom units, CHANGED to one 2 bedroom/2bathroom unit, and one 1 bedroom/1 bathroom unit
 - Owner's Unit – 4 bedroom/3 bathroom unit
- **Environmental** – Our firm's goal is to contribute to sustainable building practices and the healthy, comfortable buildings they contribute to. Similarly, the clients and future residents of the buildings do their best to live sustainably. The following are some of the many ways this project will support sustainable and green design features:
 - Program – The buildings program will change the site from a lower density single use to a mixed use with commercial and residential components. The clients will contribute far fewer emissions because they will no longer need to commute to work. The small business will provide a localized service to those in neighboring residential areas, as well as those who use the other businesses and services offered in the Medical District.
 - Building materials – The building will be constructed to meet the highest standards of efficiency. All glazing will be double-pane Low-E and argon filled. The mechanical systems will be high efficiency (96% or better, SEER 14 or better). The insulation and wall construction will provide a tight envelope with foam insulation. The roofing material will meet the reflectivity requirements stipulated by code to limit the heat island effect created by dark roofs.
 - Plumbing, Appliances, etc – All appliance will be high efficiency (Energy Star or similar). Plumbing fixtures will be low flow and water saving.
 - Electrical Lighting – Built-in recessed lighting and fixtures will take advantage of energy saving light bulbs of LED technology. In key high use areas dimmers will be provided. In the commercial salon space, motion activated switches will be used in restrooms, storage closets, etc. Natural daylight through ample windows will limit the duration that electrical lighting will be required during daytime hours.
 - Design – The East Façade of the building faces a park and takes advantage of the lack of an adjacent structure by integrating windows and doors for daylighting and natural ventilation. On top of the garage and above the south portion of the building roof decks are proposed. These areas and their various landscaped planters will slow the run off of water.



- Supporting Green Lifestyles – The design supports recycling by offering ample space to sort and dispose at the rear of the property. Ample bike parking provides patron of the salon and residents of the building to commute via bike rather than car.
- **Utilities** – Per Tamara Roberts at the City of Bloomington Utilities Department there are no additional requirements specific to the intended use (commercial space with Salon and three residential units) in regard to pre-treatment and chemical uses.
- **Bike Parking** – Bike parking was updated to comply with clearances, quantity, and materials required. Eight (8) bike spots are provided on a hard paved surface per attached plan.
- **Parking Spaces** – The total number of parking spaces provided has been reduced to eight (8) total. /the spot directly adjacent to the front door was changed to be an ADA accessible spot.
- **Garage** – The attached garage now West side setback was increased to 10'-0" to meet requirements.
- **Architecture** – The intention of the design of the building is to create light filled inviting interior spaces while also providing a sensitive design that will contribute to the neighborhood. The East façade has been updated to create a more consistent rhythm of windows that align vertically and horizontally floor to floor. On the West façade the fascia roofline was extended down to create a dormer condition on the third floor. This allows the building from the West to appear like the northern portion is two stories with an attic.

In the time since receiving comments from the DRC we have had further conversations with HPC staff, notified the adjacent neighbors, and have altered the design such that we believe that we feel we meet the standards of review and appropriateness.

Responses to HPC Comments - 10/12/18

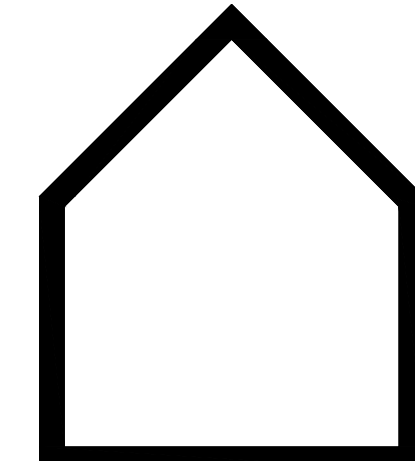
1. Building Height – The revised ridge height is now 33'-2". In an effort to respond to comments about neighborhood visual coherence and compatibility, we removed the full 3rd story appearance from the elevations and accommodated for inhabitable head clearance through dormers and relaying out the 3rd floor plan. Note that the maximum permissible height in the Medical district is 80'-0".
2. Cornice heights, porch heights, and foundation heights - We revised the design to lower the eave line facing the residential properties to 20'-6".
3. Grade of the lot, sidewalk and adjacent neighbor – We propose to maintain the existing grade on the property. As a commercial space, the first floor is required to be near grade for accessibility.
4. In response to comments on the East façade the design now includes a more prominent front door and more windows to make it more contextual with the neighboring homes.

Sincerely,
Mike Shively Architecture, Ltd.



A handwritten signature in black ink, appearing to read "Mike Shively". The signature is stylized and includes a circular flourish at the end.

Mike Shively
President

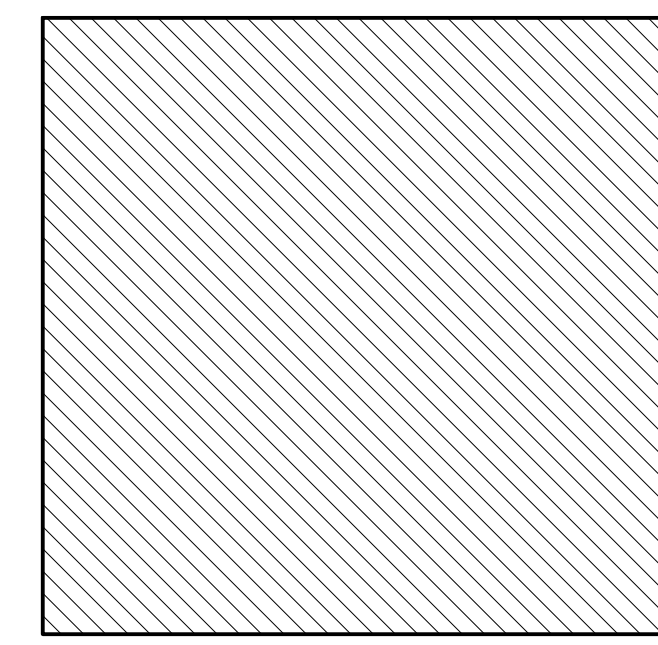
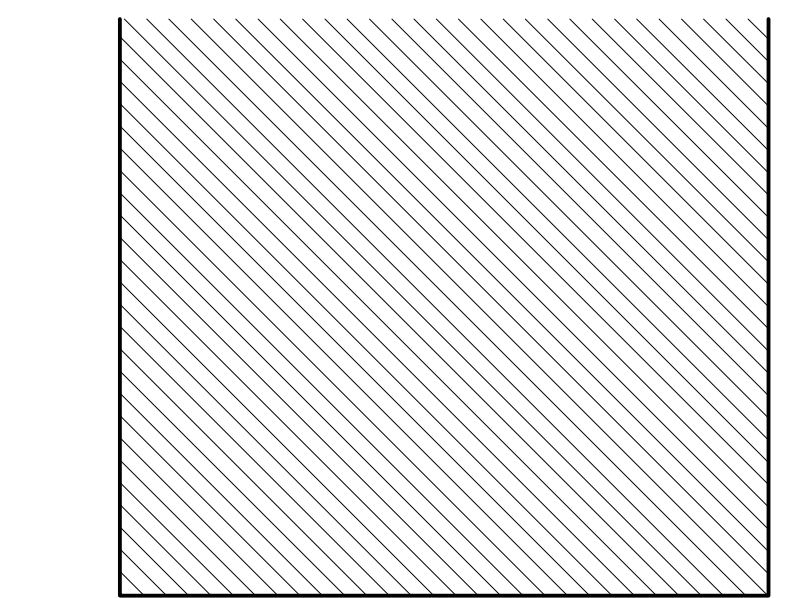
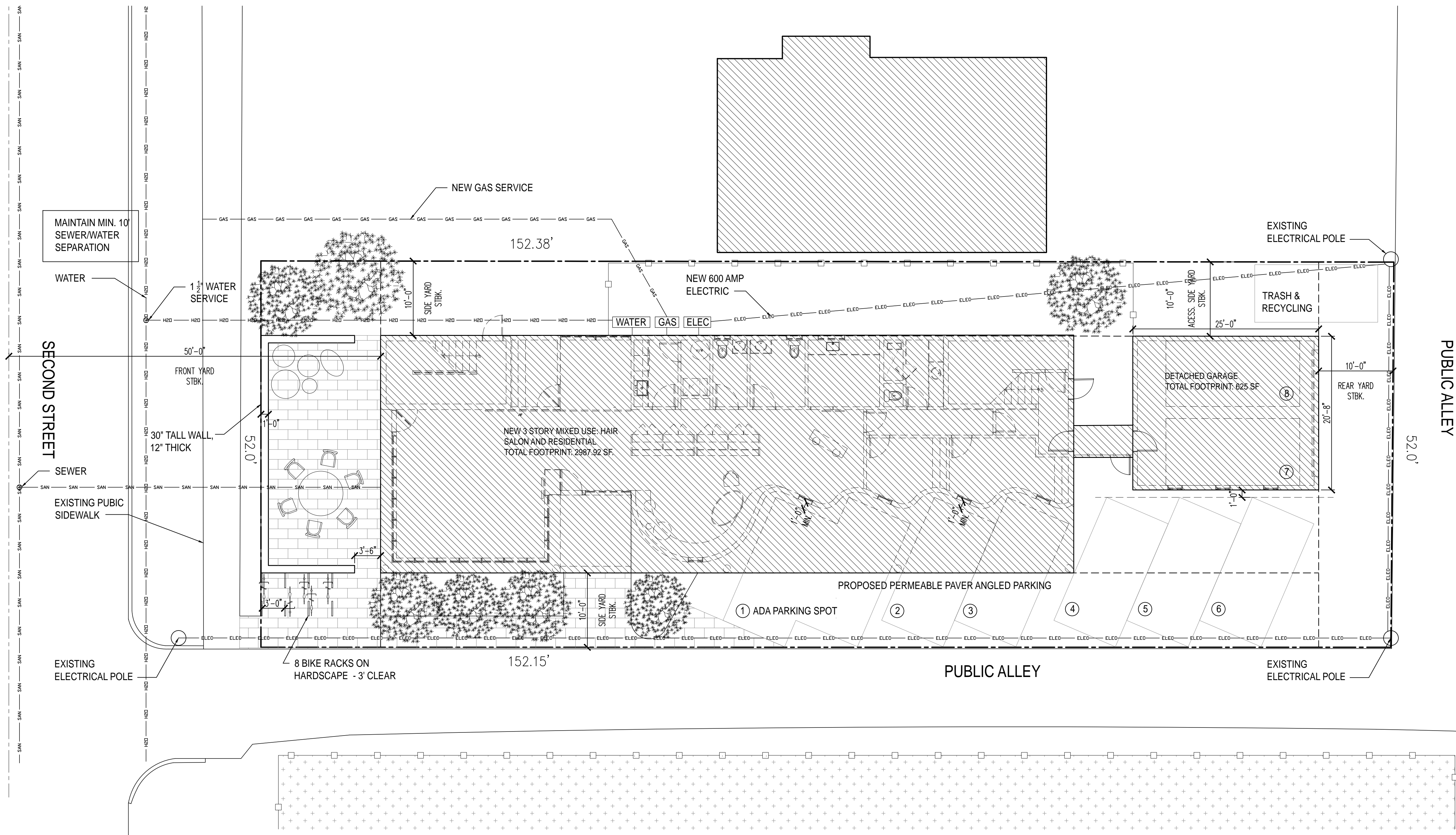


MIKE SHIVELY ARCHITECTURE

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773 272 0022
mikeshely.com

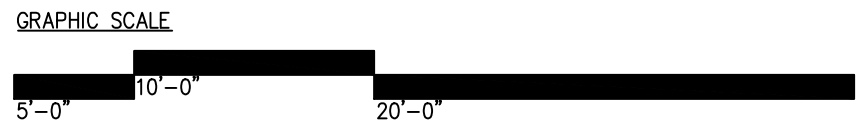
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License #4811700164



ZONING DISTRICT: MEDICAL (MD)
HISTORICAL ZONING: GREATER PROSPECT HILL HISTORIC DISTRICT
LOT AREA: 7894.68 SF.
MAXIMUM IMPERVIOUS SURFACE: 4741.26 SF. (60%)
PROPOSED IMPERVIOUS SURFACE: 3632.92 SF. (46%)

1 PROPOSED SITE PLAN
1/8" = 1'-0"



Shively Bloomington
722 West 2nd Street
Bloomington, IN 47403
Project Number: 1713

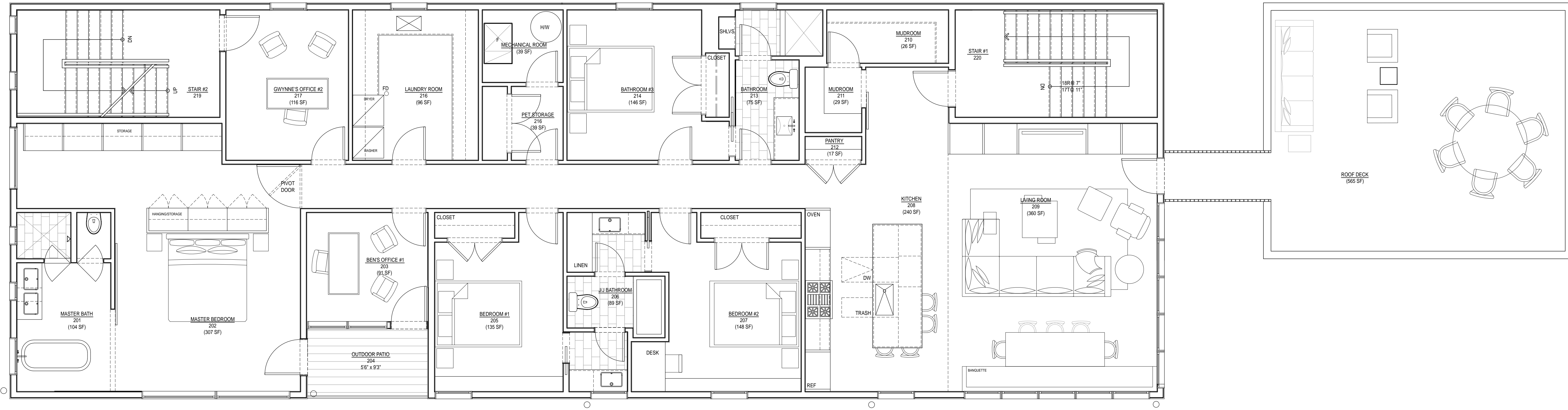
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Proposed Site Plan

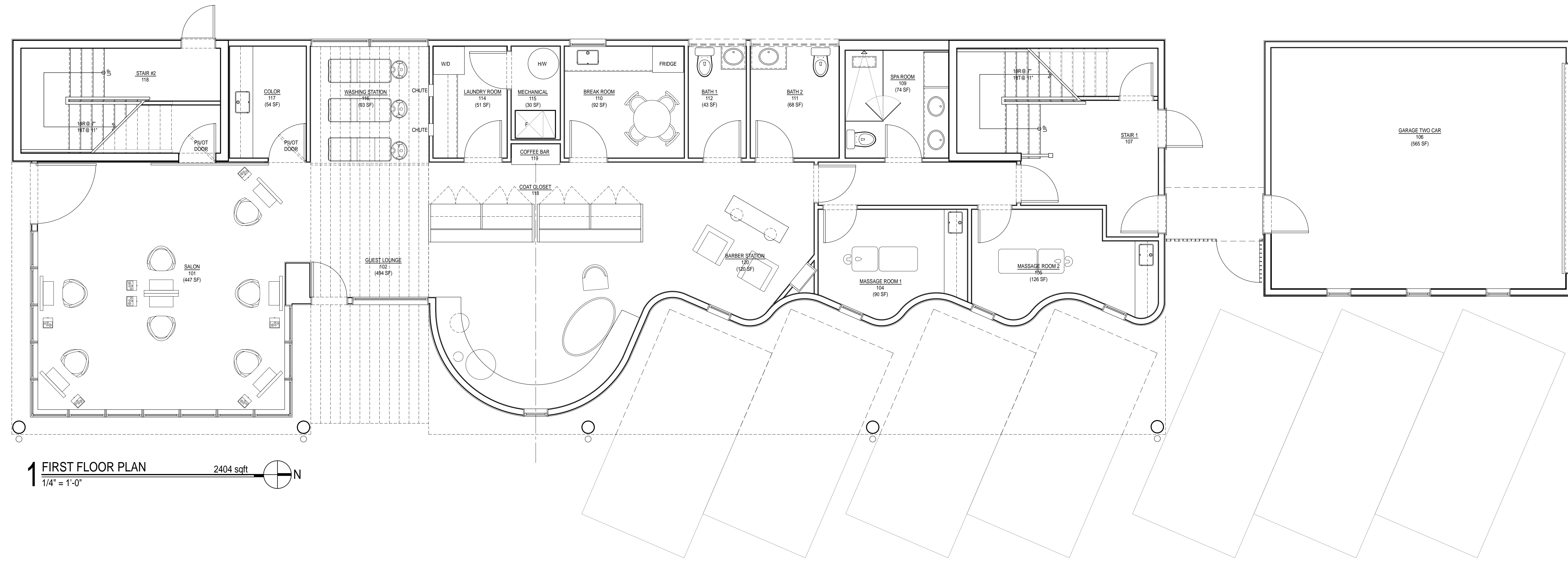
Revisions

1. Zoning Review	06.23.17
2. BZA Drawings	09.29.17
3. HPC Revised Submittal	10.18.17
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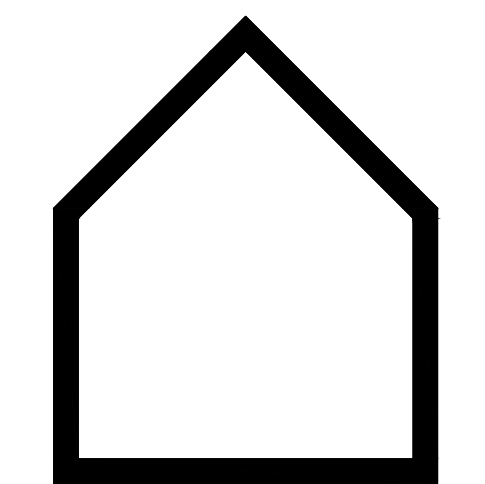
Plot Date: 10.18.17



2 SECOND FLOOR PLAN 2968 sqft
 1/4" = 1'-0" 



1 FIRST FLOOR PLAN 2404 sqft
 1/4" = 1'-0" 



MIKE SHIVELY ARCHITECTURE

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 mikesnively.com

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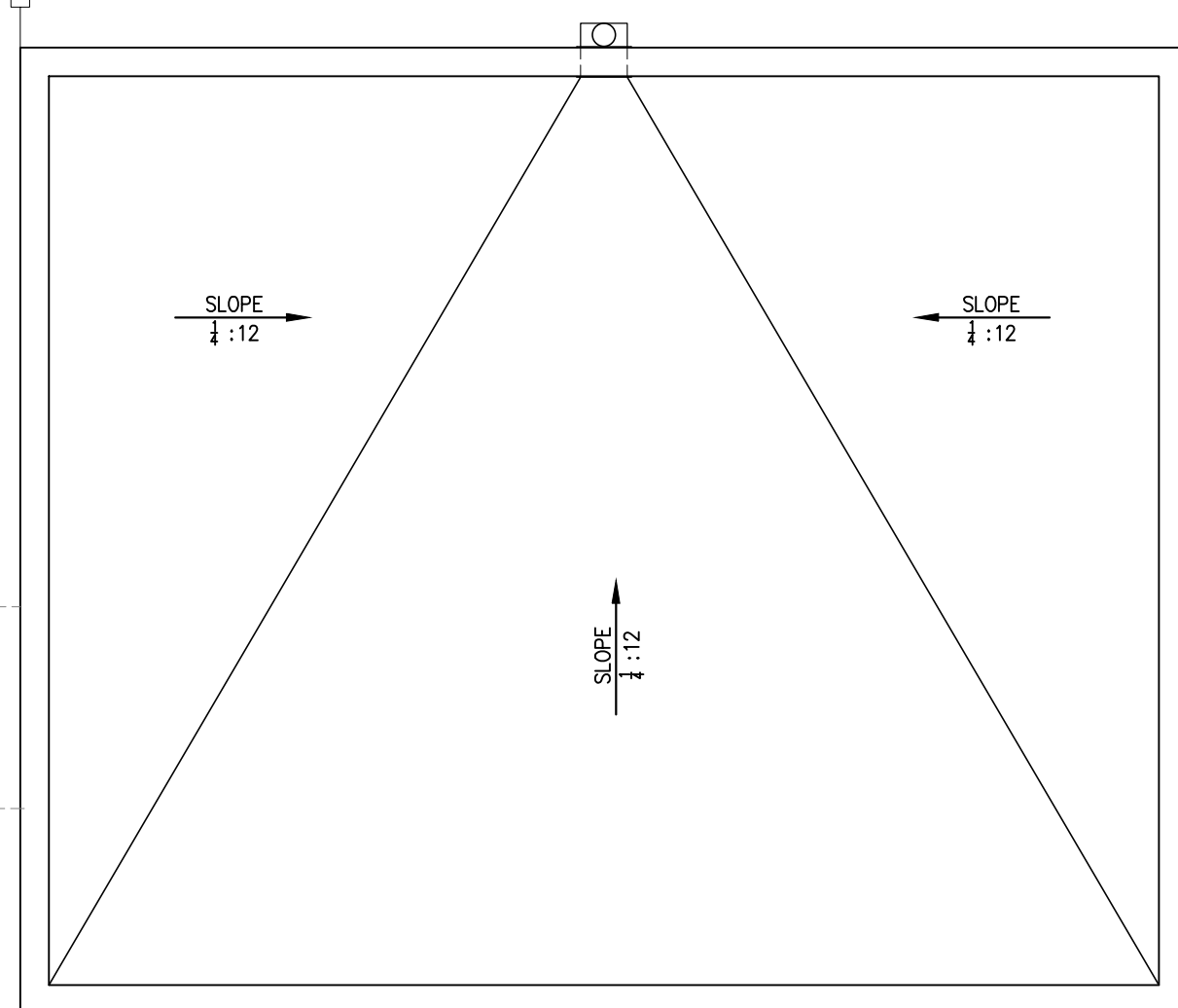
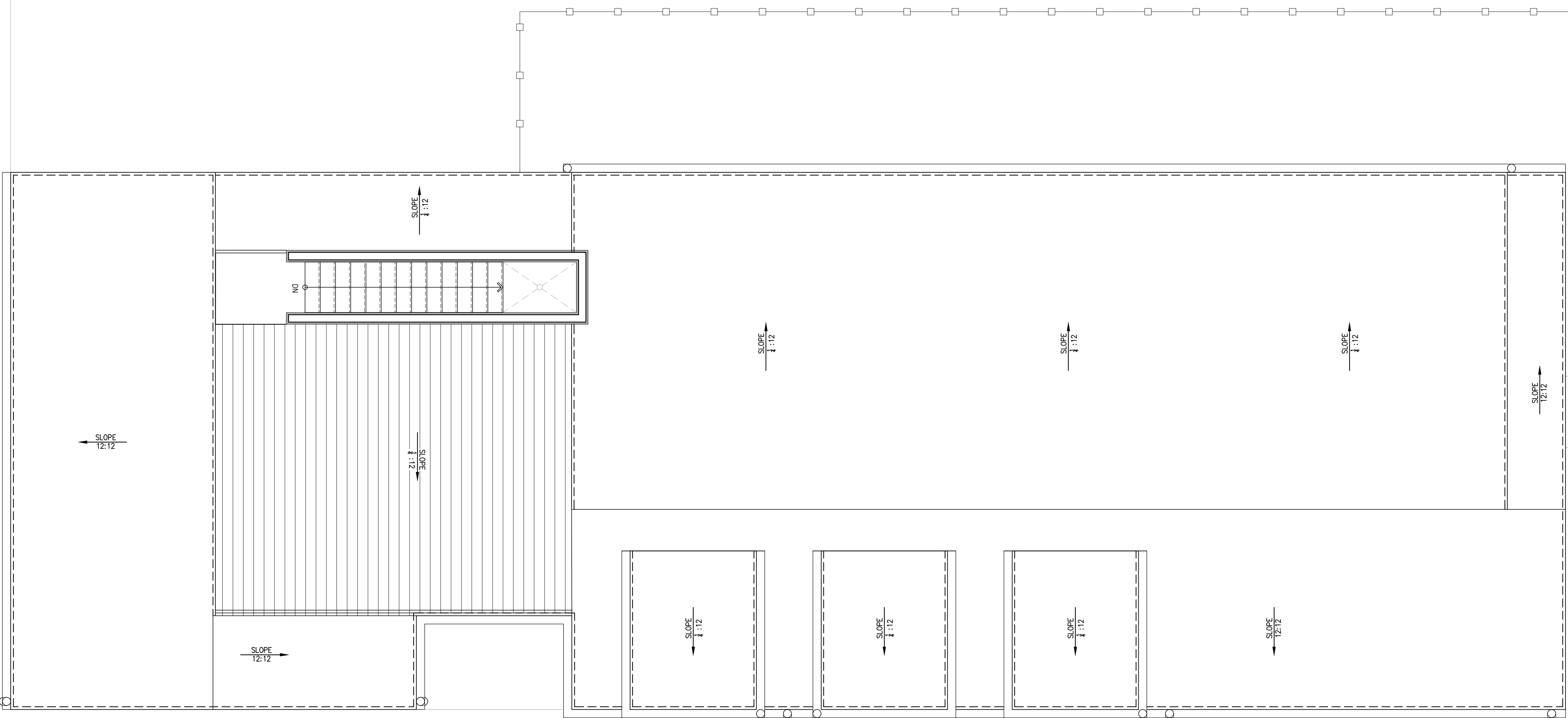
Shively Bloomington
 722 West 2nd Street
 Bloomington, IN 47403
 Project Number: 1713

A2.0
 Proposed Floor Plans

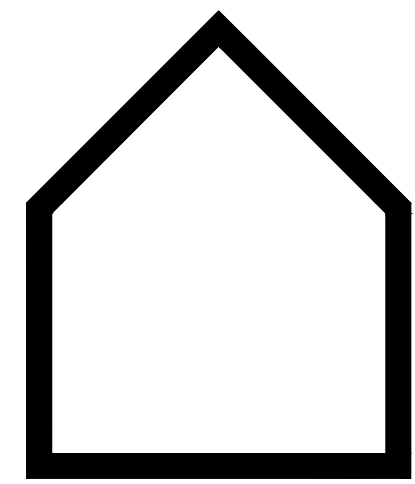
Revisions

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Plot Date: 10.18.17



4 PROPOSED ROOF PLAN
1/4" = 1'-0"

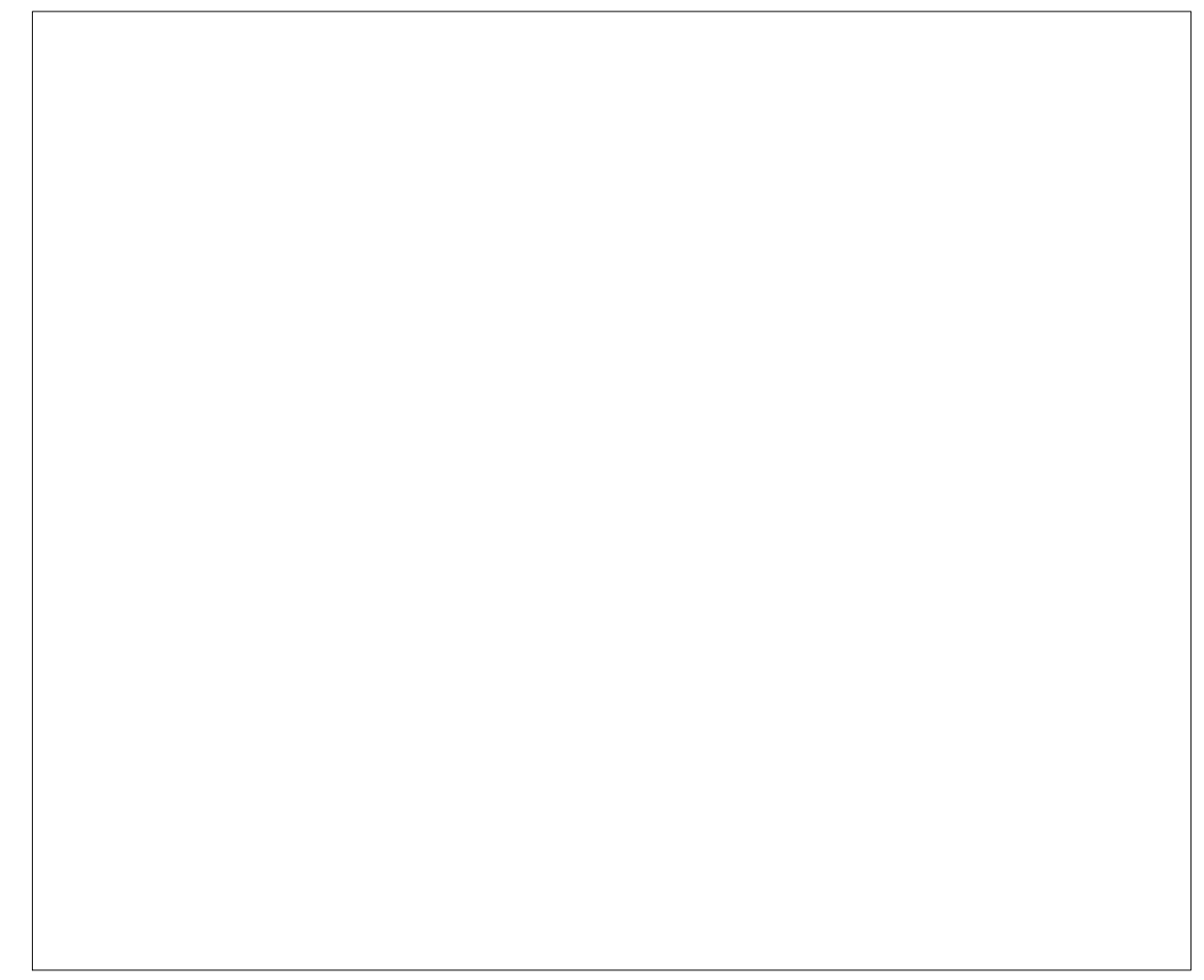
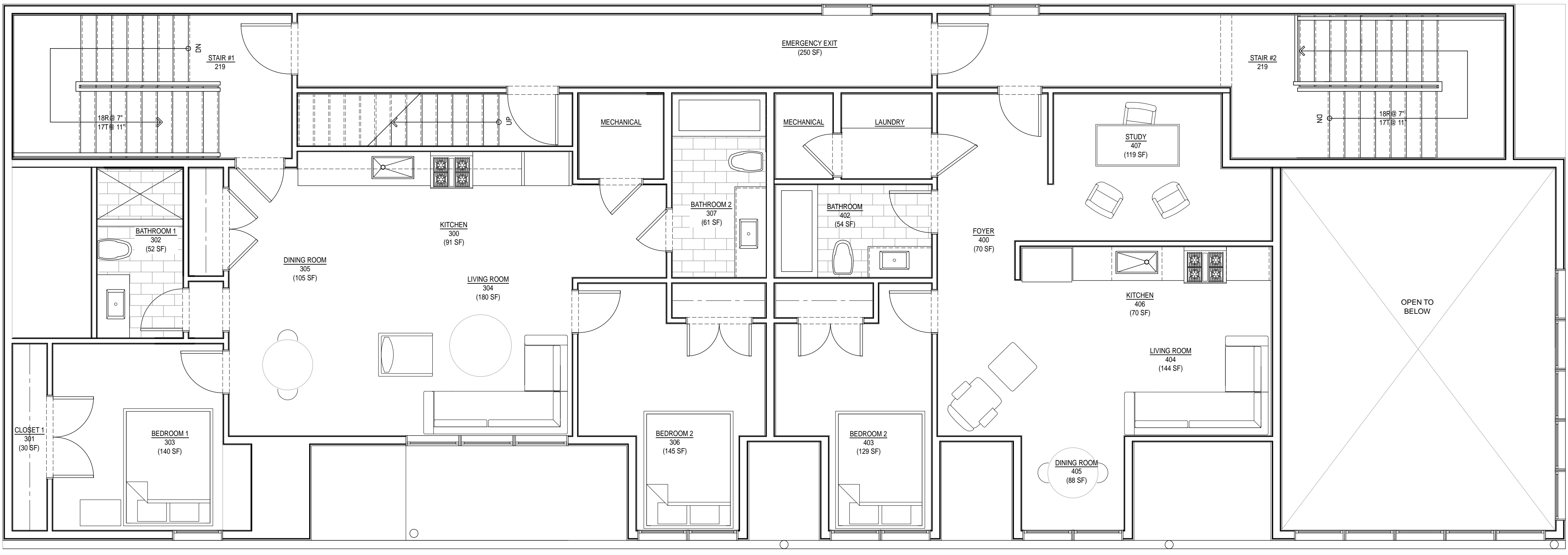


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3 3RD FLOOR PLAN
1856 sqft

Shively Bloomington
722 West 2nd Street
Bloomington, IN 47403
Project Number: 1713

A2.1
Proposed Floor Plans

Revisions

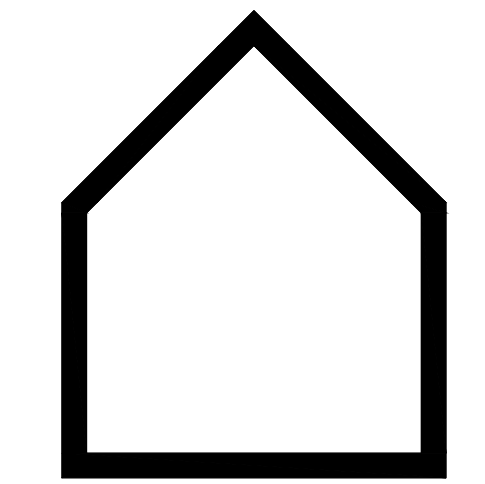
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Plot Date:	10.18.17



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



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ARCHITECTURE

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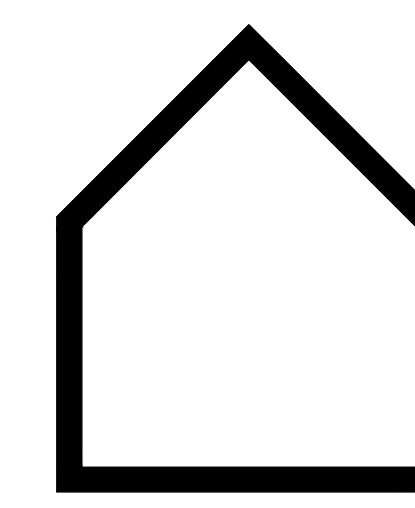
Shively
Bloomington
722 West 2nd Street
Bloomington, IN 47403
Project Number: 1713

A4.0
Proposed
Exterior
Elevations

Revisions

1. Zoning Review	06.23.17
2. BZA Drawings	09.29.17
3. HPC Revised Submittal	10.18.17
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Plot Date: 10.18.17

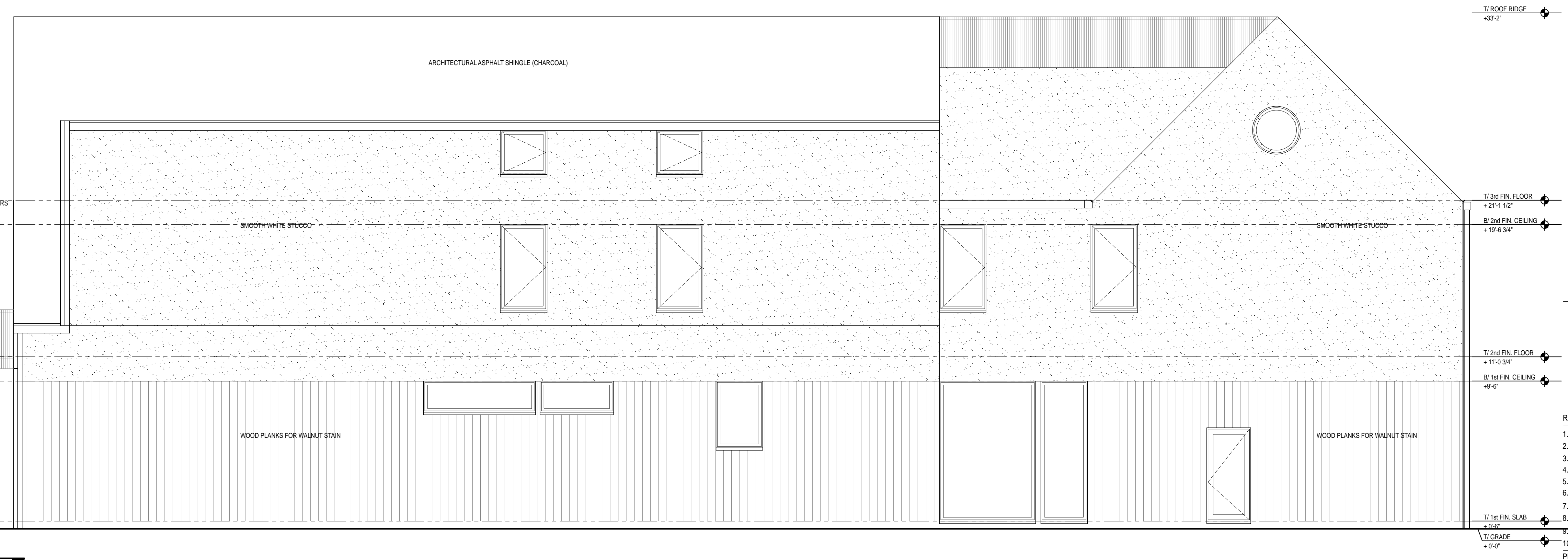
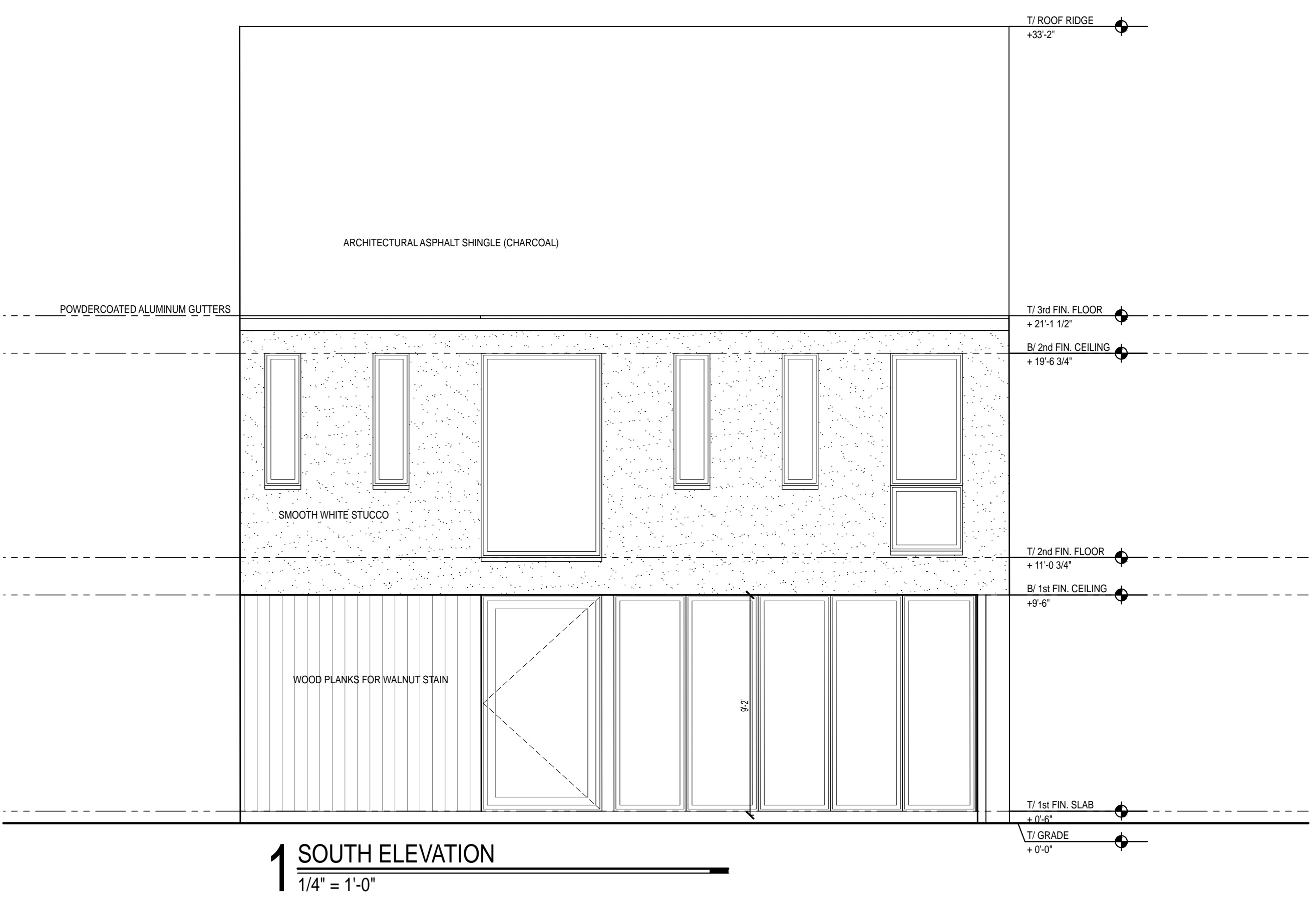


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ARCHITECTURE

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Shively
Bloomington
722 West 2nd Street
Bloomington, IN 47403
Project Number: 1715

A4.0
Proposed
Exterior
Elevations

Revisions	
1. Zoning Review	06.23.17
2. BZA Drawings	09.29.17
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Plot Date: 10.18.17

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PENDLEBURY HAIR
STUDIO



**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 401 and 555 N. Morton Street**

**CASE #: SP-37-17
DATE: November 13, 2017**

PETITIONER: City of Bloomington Redevelopment Commission
401 N. Morton Street, Bloomington

CONSULTANTS: Thomas Cameron, City of Bloomington
401 N. Morton Street, Bloomington

REQUEST: The petitioner is requesting site plan approval to facilitate parking lot reconstruction.

BACKGROUND:

Area: 0.4 acres
Current Zoning: CD – Downtown Core Overlay
GPP Designation: Downtown
Existing Land Use: Surface Parking Lot
Proposed Land Use: Surface Parking Lot
Surrounding Uses: North – Business/Professional Office
 West – Government Office / Business/Professional Office
 East – Parking Lot /Hotel
 South – Government Office / Business/Professional Office

REPORT: The property is located on the west side of Morton Street between 10th and 9th Streets and is zoned Commercial Downtown (CD), in the Downtown Core Overlay. The portion of the property involved in the petition currently consists of two surface parking lots. The southern parking lot is owned and operated by the City of Bloomington, and the northern parking lot is part of the property owned and operated by Solution Tree. The Monroe County Government Center is immediately to the west and south, City Hall further south, the Solution Tree property to the north, and a parking lot and hotel across Morton Street to the east.

The petitioner proposes to reconfigure the existing parking lot in conjunction with a lot line shift that will increase the size of the Solution Tree parcel and add parking spaces to its parking lot. The result will be a smaller parking lot on the City-owned parcel, a larger parking lot on the Solution Tree parcel, parking lot landscaping on both parcels, and new angled street parking spaces.

This project is in conjunction with the Trades District plan for the areas north and south of 10th Street along Rogers Street. There is an existing parking lot in that development area that is owned and utilized by Solution Tree. The City and Solution Tree have been in discussions regarding the use of that property and the need for replacement parking if that parcel is used in the Trades District development.

The petitioners propose a site plan in conjunction with a lot line shift that will increase the number of parking spaces on the Solution Tree parcel by 16 parking spaces and decrease the number of parking spaces in the City of Bloomington lot by 32 parking spaces.

Plan Commission Site Plan Review: One aspect of this project requires that the petition be reviewed by the Plan Commission, per BMC 20.03.090. This aspect is as follows:

The Plan Commission shall review:

- Any proposal that does not comply with all of the standards of *Section 20.03.120: Downtown Core Overlay; Development Standards* and *Section 20.03.130; Downtown Core Overlay; Architectural Standards;*
 - The new parking lot setback between the adjusted lots does not meet 20.03.120 requirements.

SITE PLAN ISSUES:

Parking: The DCO does not require parking for non-residential uses. The portion of the City lot that will be modified with the petition current contains 48 parking spots. The portion of the Solution Tree lot that will be modified currently contains 16 parking spaces. The lot between these two parking lots will be moved south, so as to give more land to the Solution Tree parcel, for additional parking. After reconfiguration, the City lot portion will contain 16 parking spaces, and the Solution Tree portion will contain 32 parking spaces. The Solution Tree parking lot will increase by 16 parking spaces and the City lot will decrease by 32 parking spaces. 4 parking spaces will be relocated in the right-of-way and 1 parking space will be lost. The reconfiguration will also add green space and islands to both lots and a dumpster area to the City lot.

The DCO requires a 5 foot side yard setback for a parking lot. The location of the new lot line only allows for each lot to meet a 3 foot 9 inch side yard setback. This setback slightly improves upon the existing setback between the two parking lots.

Access: Vehicular access to the City lot will be moved south from its current location. Vehicular access to the Solution Tree lot will remain the same.

Streetscape: Street trees will be added to bumpouts along Morton Street, and 4 angled parking spaces will be added along Morton Street, as well.

Impervious Surface Coverage: The Downtown Core Overlay allows for 100% impervious surface coverage.

Landscaping: The updated landscaping plan, including parking lot perimeter plantings, islands, and street trees, meets minimum standards.

CRITERIA AND FINDINGS FOR SITE PLANS

20.09.120 (e)(9) The staff or plan commission, whichever is reviewing the site plan, shall make written findings concerning each decision to approve or disapprove a site plan.

(A) **Findings of Fact.** A site plan shall be approved by the plan commission only upon making written findings that the site plan:

- (i) Is consistent with the growth policies plan;

Proposed Findings:

- The site is in the Downtown area of the Growth Policies Plan (GPP).
- A mix of office, commercial, civic, high-density residential and cultural uses are recommended for the downtown. (GPP, 28)
- New surface parking areas and drive-through uses should be limited, if not forbidden, within the Downtown area. (GPP, 28) The petitioner proposes to reconfigure an existing parking area and add landscaping.

(ii) Satisfies the requirements of Chapter 20.02, Zoning Districts;

The UDO includes an intent for the CD district and guidance for the Plan Commission in 20.02.370. The following items address those intent and guidance statements.

Proposed Findings:

- The project does serve to protect and enhance the central business district by configuring an existing parking lot to serve an existing business.
- The project is part of a much larger project that does provide high density development of mixed uses with storefront retail, professional office, and residential dwelling uses, The Trades District.
- It is unclear whether or not the project promotes a diversity of residential housing for all income groups and ages because future renters are unknown.
- The project supports a much larger project that will incorporate some pedestrian-oriented design through first-floor window design, art space, and improved pedestrian right-of-way areas.
- The project does intensify the use of vacant and under-utilized properties, by further developing the existing parking lot to support the existing business.
- The project is part of a much larger project that will provide commercial on the ground floor with residential uses above.
- The project reconfigures an existing parking lot to increase landscaped area and improve the utilization of the property.

(iii) Satisfies the requirements of Chapter 20.05, Development Standards;

Proposed Finding:

- The project meets all applicable development requirements of Chapter 5.

(iv) Satisfies the requirements of Chapter 20.07, Design Standards; and

Proposed Finding:

- No subdivision is involved, so this is not applicable.
- The project is in tandem with a lot line adjustment. No subdivision is required for this transaction under section 20.09.170(i)(7) of the Bloomington Unified Development Ordinance: the exchange of land

between owners of adjacent property provided that such exchange does not serve to reduce lot area or other dimensions below required minimums.

(v) Satisfies any other applicable provisions of the Unified Development Ordinance.

The UDO includes an intent for the DCO district for the Plan Commission in 20.03.080. The following items address those intent statements:

Proposed Findings:

- The project is not new development of a building, but a reconfiguration of two existing parking areas to support an existing business and building.
- There are no new buildings or facades created with the project.

Per 20.03.100, the Plan Commission may approve any project that does not comply with all of the standards of 20.03.120 and 20.03.130 if the Commission finds that the project:

Complies with all review standards of *Section 20.09.120: Site Plan Review, and:*

- The petition meets all of the standards of 20.09.120.

Satisfies the design guidelines set forth in *Section 20.03.140: Downtown Core Overlay, Design Guidelines.*

- The petition does not incorporate new building design, but rather reconfigures existing parking lots in order to support an existing downtown business; improve green space; and support the larger Trades District development.

The Plan Commission is encouraged to consider building designs which may deviate in character from the architectural standards of this section but add innovation and unique design to the building environment of this overlay area.

- No building are proposed with this project, but the project supports the larger Trades District development which is intended to contribute to innovation in the downtown area.

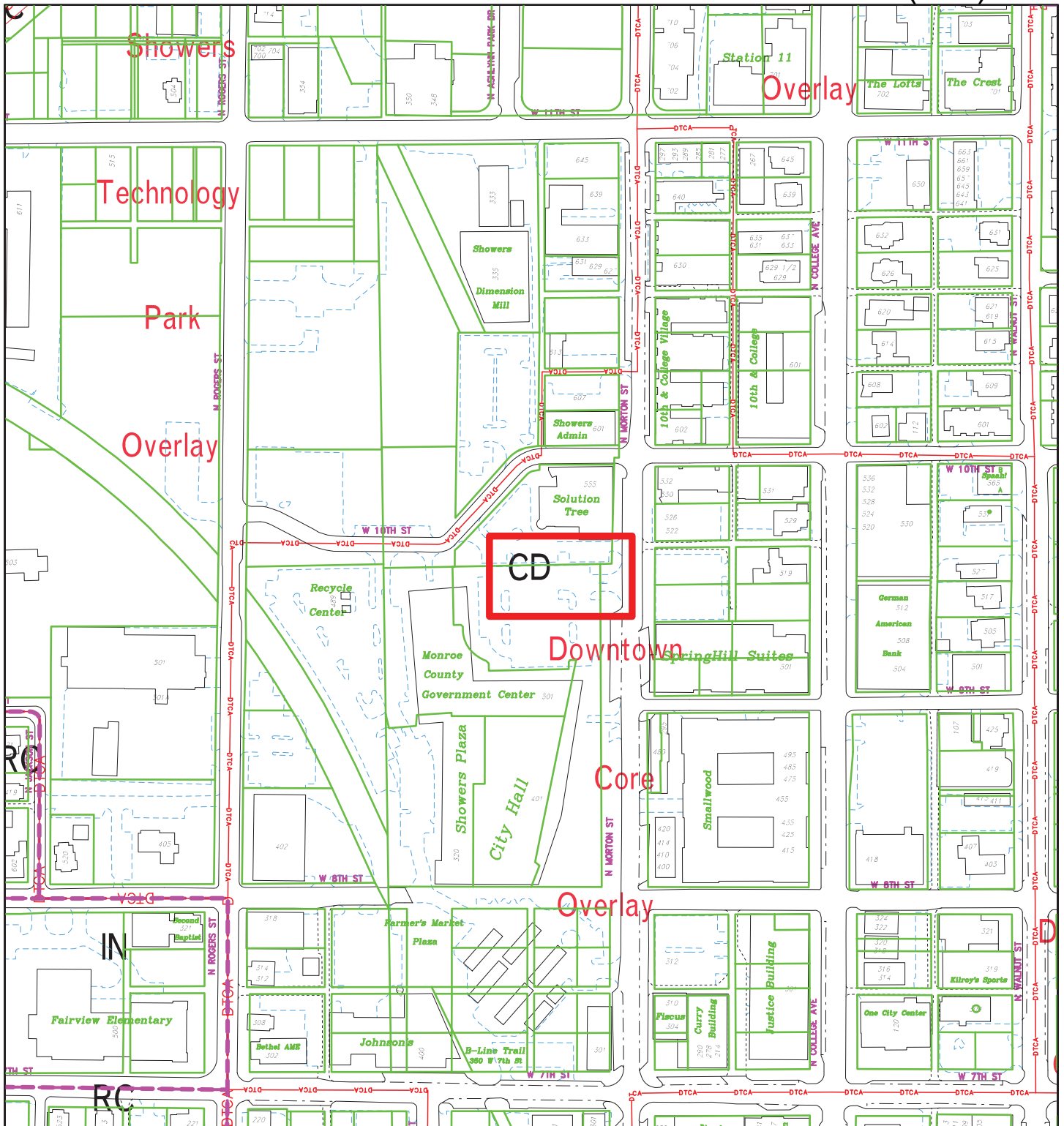
The Plan Commission is encouraged to consider the degree to which the site plan incorporates sustainable development design features such as vegetated roofs, energy efficiency, and resource conservation measures.

- The site plan reduces total surface parking lot spaces and increases vegetated area in the downtown.

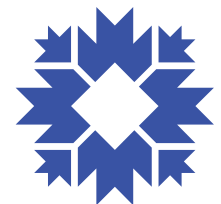
CONCLUSION: This petition meets all DCO Development Standards, excepting parking lot side yard setback standards, which is being improved. The petition supports the Trades District to the northwest and also supports the retention of a downtown business by improving its on-site parking lot.

RECOMMENDATION: The Department recommends that the Plan Commission adopts the proposed findings and approves SP-37-17 with the following condition:

1. The new street parking spaces shown in the site plan are subject to Title 15 and City Council approval.



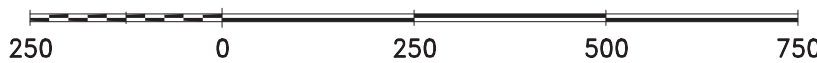
City of Bloomington
Planning & Transportation



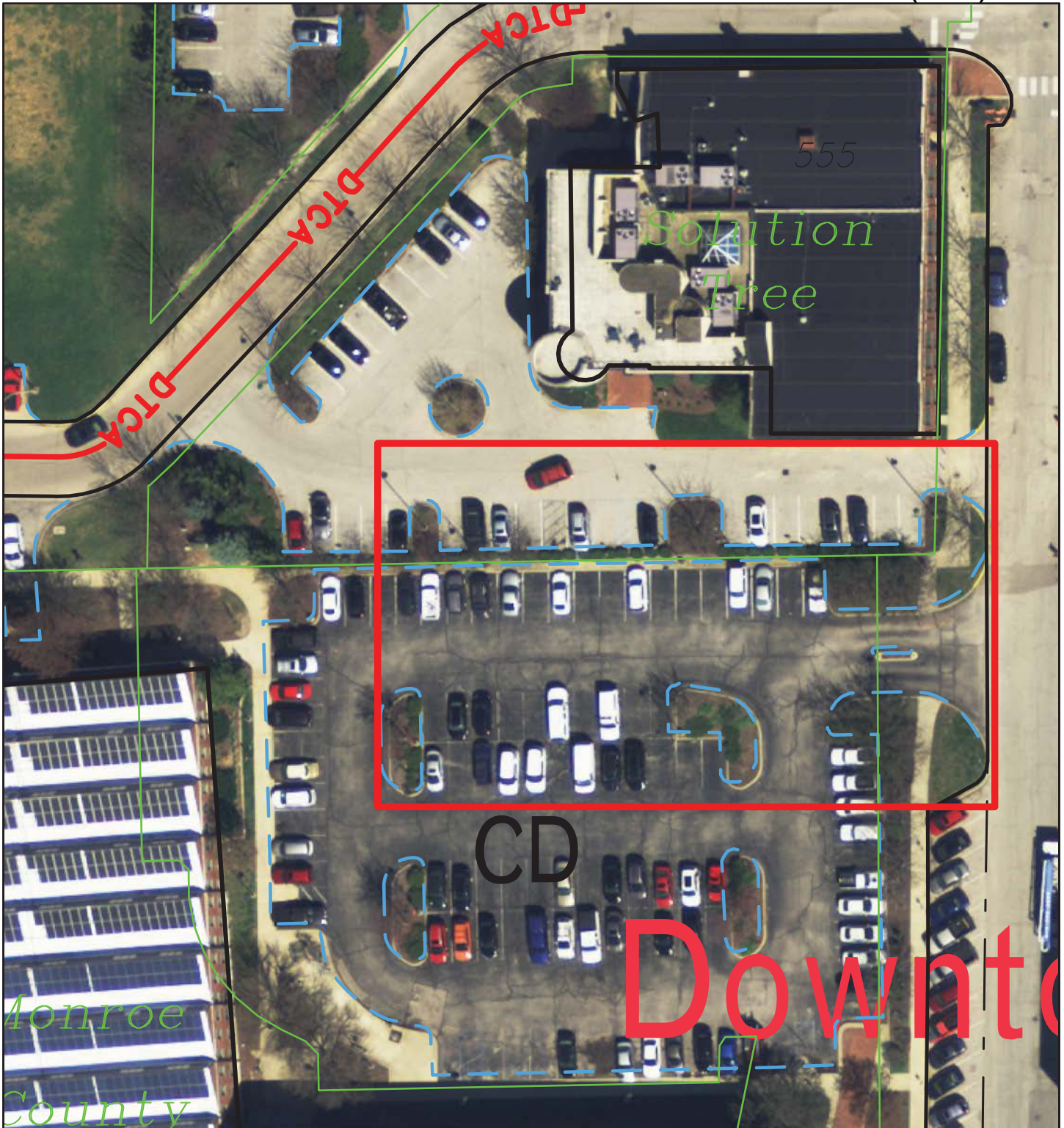
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By: scanlanj
18 Oct 17



For reference only; map information NOT warranted.

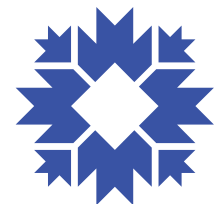


Monroe County

CD

Downtown

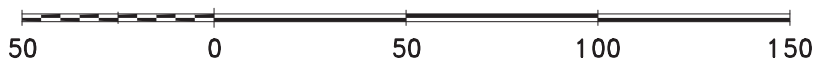
City of Bloomington
Planning & Transportation



Scale: 1" = 50'



By: scanlanj
18 Oct 17



For reference only; map information NOT warranted.

Corporation Counsel
Philippa M. Guthrie

City Attorney
Michael M. Rouker



City of Bloomington
Legal Department

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Assistant City Attorneys
Anahit Behjou
Thomas D. Cameron
Barbara E. McKinney
Jacquelyn F. Moore
Christopher J. Wheeler

SP-37-17 Petitioner's Statement

October 11, 2017

Ms. Jacqueline Scanlan
City of Bloomington, Planning Department
401 N. Morton Street, Suite 160
Bloomington, Indiana 47402

Re: Case Number SP-37-17
Site Plan Approval to Facilitate Parking Lot Reconstruction

Dear Ms. Scanlan,

On behalf of the City of Bloomington Redevelopment Commission, we are petitioning the City of Bloomington for site plan approval regarding a reconstruction and reconfiguration of the parking lot at the northeast corner of the Showers Building on Morton Street, better known as the Red Lot.

In 2011, the Redevelopment Commission purchased approximately twelve acres of property from Indiana University. That property had been designated as a Certified Technology Park by the State of Indiana. One of the early steps of planning the development of the Certified Technology Park was to complete a Drainage Master Plan. The Drainage Master Plan sensibly identified the local low spot—part of the surface parking lot currently owned by Morton Street Properties north of West 10th Street—as an ideal location for underground stormwater detention.

Morton Street Properties has long been willing to explore a land swap with the City for this important piece of property. Exchanging part of the Red Lot for part of the surface parking lot currently owned by Morton Street Properties north of West 10th Street was identified as a way to provide the City the property it needs while not adversely affecting Morton Street Properties' parking situation.

The Redevelopment Commission's consultants have worked to redesign the Red Lot to maximize the remaining parking and ensure the square footage of the proposed exchange was equal. The proposed site plan meets code, including the landscape requirements, except the proposed side parking setback is 5 feet per lot rather than the 7 feet per lot required by Title 20.

The Redevelopment Commission respectfully requests approval of this site plan.

Sincerely,

Thomas D. Cameron
Assistant City Attorney



RED PARKING LOT ADJUSTMENTS

Bloomington, Indiana

ISSUED FOR PLAN COMMISSION / OWNER REVIEW

October 10, 2017

PREPARED FOR

City of Bloomington
401 North Morton Street
Bloomington, IN 47404

PROJECT TEAM



Project Lead / Landscape Architect

Anderson + Bohlander, LLC
1 N Meridian St, Suite 902
Indianapolis, Indiana 46204
317-775-4374



Civil / Electrical Engineer

Crawford, Murphy & Tilly
8790 Purdue Road
Indianapolis, Indiana 46288
317-298-4300

Surveyor

Bledsoe Riggert Cooper James
1351 West Tapp Road
Bloomington, IN 47403
812-536-8277

Sheet Index

EXISTING CONDITIONS	TOPOGRAPHIC SURVEY
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CIVIL ENGINEERING	
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MT-02	MAINTENANCE OF TRAFFIC
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EC-02	EROSION CONTROL GENERAL NOTES
EC-03	EROSION CONTROL
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C-01	GEOMETRICS PLAN
C-02	PAVING PLAN
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PM-01	PAVEMENT MARKING PLAN
DT-01	TRAFFIC SIGNAL DETAILS
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	AQUA SWIRL DETAILS

LANDSCAPE ARCHITECTURE	SITE PREPARATION PLAN
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L-02	PAVING DETAILS PLAN
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L-05	PLANTING PLAN
L-06	LIGHTING PLAN
L-07	DETAILS
	DETAILS

SP-37-17 Petitioner's Site Plan



NORTH

Project Location Map

NOT TO SCALE

HOLEY MOLEY SAYS
"DIG SAFELY"



"IT'S THE LAW"
CALL 2 HOURS BEFORE YOU DIG
FOR MORE INFORMATION
CALL TOLL FREE
1-800-382-5544
IT'S AGAINST THE LAW TO EXCAVATE
WITHOUT A PERMIT. CALL YOUR
LOCAL SERVICE AND (2) WORKING
LAYS BEFORE COMMENCING WORK.

(184)

GENERAL NOTES

- CMT plans are part of a larger plan set. Contractor shall coordinate the CMT plans with all other plans in the set.
- Topography, property, right of way, easement and other survey information has been provided by others. The Contractor shall verify the Architect and/or Engineer if information included in the field. Engineer assumes no liability for any problems resulting from the use of this data.
- Approximate Bedrock Depth was interpolated from data being logs provided to the City by others in the preliminary Geotechnical Evaluation for the Certified Tech Park. The Geotechnical Evaluation for the Certified Tech Park and in the information is shown for clarity, but may not be complete or accurate. The Contractor is responsible for all utility support, protection and restoration of all utilities and appearances shall be the responsibility of the Contractor.
- At any location where old planing is indicated, a 1 inch bit coat is required where the coat planing and resurfacing meet existing pavement.
- Track coat is required with each layer of asphalt placed. Track coat is required on vertical surfaces next to asphalt (i.e., gutter, shoulder, retaining, etc.).

UTILITIES

- Contractor should be aware that other construction projects near or adjacent to the project are ongoing as part of the Certified Tech Park (CTP). Contractor shall coordinate work on this project with work on other adjacent projects.
- Contractor shall reconnect all roof drains and pipes to the proposed storm drainage system.
- Contractor shall verify pavement cross slopes to match existing doors, steps, building foundations, or other fixtures as approved by the Engineer.
- Pavement and sidewalk cross slope shall not exceed 2%. In surrounding areas, pavement cross slope may exceed 2%, as approved by the Engineer.
- Existing utility information shown is based on topographical information shown on or not. The Contractor shall have all support, protection and restoration of all utilities and appearances shall be the responsibility of the Contractor.
- All utility information shall be considered QLD unless otherwise indicated and is included for informational purposes only. The Contractor is responsible for locating and coordinating with the utility owners with the plans and specifications and with Indiana Dots.
- Disruptions to water and sanitary service during construction shall be the responsibility of the Contractor. The Contractor shall coordinate with the approval of the City of Bloomington Utility Department. A minimum of 24-hour notification will be provided to the affected customers.
- All items shown on CMT plans are INDOT items unless noted otherwise. Contractor shall contact Engineer for any items shown on CMT plans that are not INDOT items, unless noted otherwise. INDOT Standard Specifications and Drawings can be found on the INDOT website.

EXISTING BOX CULVERT

The design of pavement or other appurtenances near or over the unknown box culvert location shown herein are not shown on the CMT plans. The Contractor shall work with the City to develop a suitable solution to prevent damage to the box culvert caused by traffic loading during or after construction. The Contractor shall investigate the box culvert location and provide an analysis to a Professional Engineer licensed in the State of Indiana, that will allow for verifiable loading of the box culvert. Suitable solutions may include the replacement of the sections of the box culvert to be subjected to traffic loads, structural slab over the box culvert, or other solutions deemed appropriate by the Contractor's professional engineer. The design of pavement or other appurtenances near or over the unknown box culvert location shown herein shall be a part of the bid price for this project, and no additional compensation will be made.

The Contractor shall take extreme care when working in the vicinity of the box culvert to prevent damage. Any damage caused by construction operations shall be repaired by the Contractor at the sole expense to the satisfaction of the City. Design in the area of the culvert is still being coordinated with the City.

GENERAL LEGEND

Existing Right-of-Way	R	Remove
Existing Property Line	DND	Do Not Disturb
Existing Easement	UIP	Use In Place
Proposed Right-of-Way	Approx.	Approximate
Temporary Right-of-Way	REL	To Be Relocated
Existing Water	TBR	To Be Removed
Existing Gas	Duke	Duke Energy
Existing Sanitary Sewer	CEU	City of Bloomington Utilities
Existing Storm Sewer	Vectren	Vectren Energy
Existing Electric	MH	Manholes
Existing Overhead Electric	UG	Underground
Existing Telephone	OH	Overhead
Existing Fiber Optic	BDU	Bloomington Digital Underground
Proposed Water	TERBO	To Be Removed By Others
Proposed Gas	S	Salvage and Return to Owner
Proposed Sanitary Sewer		
Proposed Storm Sewer		
Proposed Electric		
Proposed Telephone		
Proposed Fiber Optic		

EXISTING RELOCATION

The work shall consist of removing and relocating existing light poles and fixtures as indicated in the plans.

ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE RESPECTIVE EQUIPMENT MANUFACTURERS DIRECTIONS AND ALL OTHER APPLICABLE LOCAL CODES, LAWS, ORDINANCES AND REQUIREMENTS IN FORCE. ANY INSTALLATION SHALL BE SUBJECT TO THE CITY OF INDIANA'S STANDARDS AND/OR THE MANUFACTURER'S WARRANTY OF A DEVICE. SHALL NOT BE PERMITTED.

Light Relocation shall not be measured for payment but shall be included in the overall contract price. There will be no direct payment for the removal of the existing lights, the removal of the light poles or for the removal of the existing fixtures. The Contractor shall be responsible for the removal of the existing light poles and fixtures, designing and installing new pole foundations, and all installation necessary such that the lights are operational at the conclusion of construction.

Lighting circuits shall match the existing lighting circuitry. Any coordination with Duke Energy or future owner(s) is the responsibility of the Contractor.

The repair or replacement of any pole and fixtures damaged by the Contractor during the project shall be the responsibility of the Contractor and shall be repaired or replaced by the direction of the ENGINEER.

Shop drawings with structural design calculations for the foundations shall be submitted and shall be sealed by a Licensed Professional Engineer in the State of Indiana.

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Proposed Sanitary Sewer		
Proposed Storm Sewer		
Proposed Electric		
Proposed Telephone		
Proposed Fiber Optic		

UTILITIES

- | | |
|--|---|
| Vectren Energy
205 S. Madison
Bloomington, IN 47404
812-337-0018
alt@vectren.com
no.sparepart@vectren.com | Duke Energy
1100 W. Second Street
Bloomington, IN 47403
812-337-0018
Kerry.Duckert@duke-energy.com
Facilities within project limits |
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812-337-0018
alt@comcast.com | Duke Energy - Energy Innovation
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alt@att.com | Duke Energy - Energy Innovation
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Facilities within project limits |
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alt@garystaley.com | Duke Energy - Energy Innovation
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812-337-0018
Kerry.Duckert@duke-energy.com
Facilities within project limits |
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1000 N. Meridian
Bloomington, IN 47404
812-337-0018
alt@slawyski.com | Duke Energy - Energy Innovation
1000 N. Meridian
Bloomington, IN 47404
812-337-0018
Kerry.Duckert@duke-energy.com
Facilities within project limits |

REVISIONS

No.	Date	Issue

GENERAL NOTES

SCALE: NONE

SHEET NUMBER: GN-01

SP-37-17 Petitioner's Site Plan

It is the contractor's responsibility to obtain the Geotechnical Reports and the Phase I and Phase II Environmental Site Assessments for this project. The presence of rock is known to occur within the project limits.

Contractor shall be aware of the project site conditions and shall take these conditions into account when excavating, ordering materials, or performing any other activities.





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8790 Purdue Road
Indianapolis, Indiana 46268
www.cmtinc.com

PREPARED FOR
City of Bloomington
401 North Morton St.
Bloomington, IN 47404

PROJECT
RED PARKING LOT
ADJUSTMENTS

CERTIFIED TECH PARK
Bloomington, Indiana

CONSULTANTS
LANDSCAPE ARCHITECT:
PARKSON & BERKOW, LLC
1000 W. Washington Blvd., Suite 100
Indianapolis, Indiana 46202
www.parksonandberkow.com

BRANDING
CMT
1000 Virginia Avenue, Suite 1000
Indianapolis, Indiana 46203
317-958-0487

Issued for Plan Commission/Owner Review
October 10, 2017

DESIGNED: DRAWN:
SMS SMS
CHECKED: CMLR
CMLR

REVISIONS
No. Date Issue

SHEET TITLE
MAINTENANCE OF
TRAFFIC NOTES

SCALE: NONE
(187)

SHEET NUMBER
MT-01

Maintenance of Traffic General Notes:

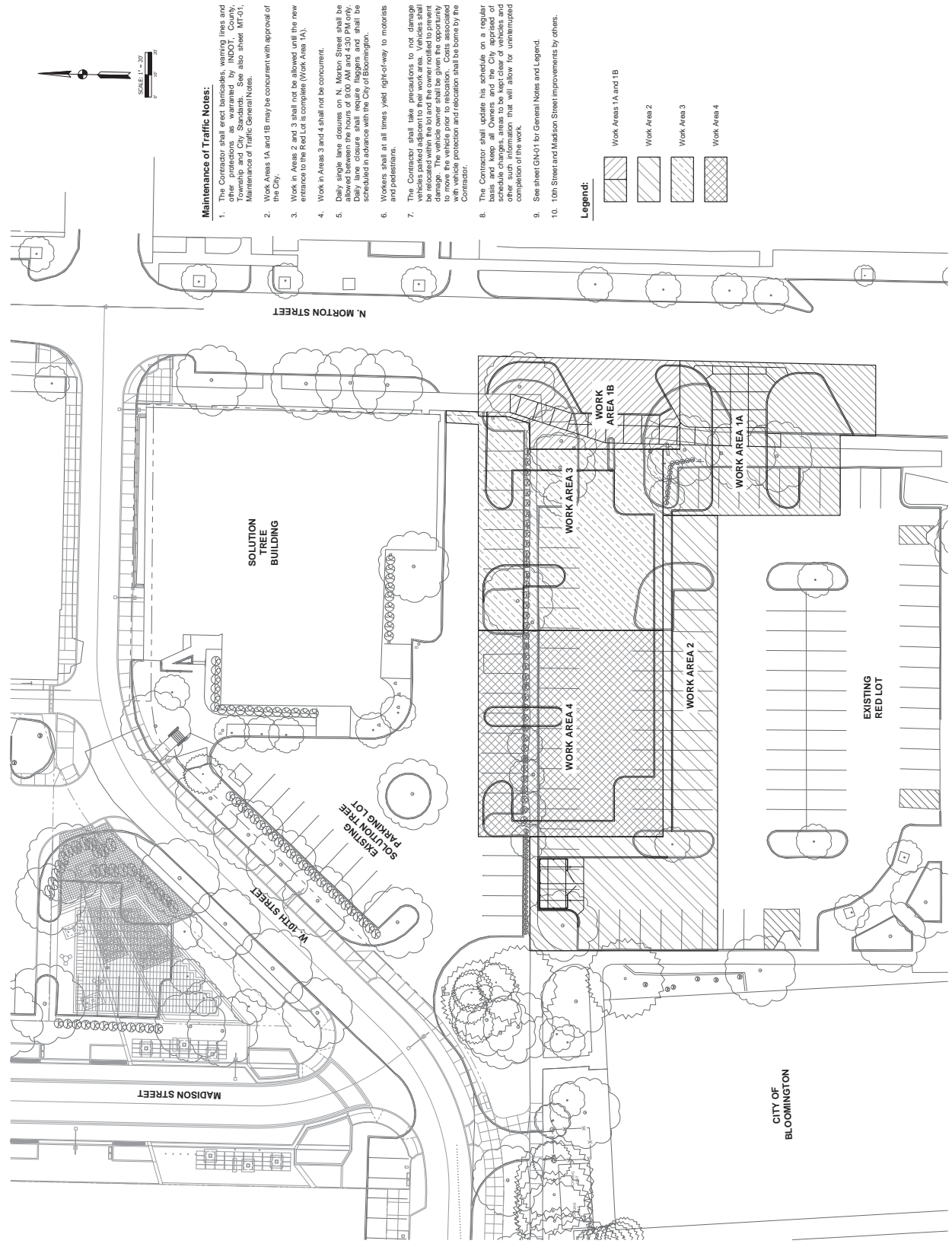
- 21. Contractor shall follow the latest editions of the INDOT Standard Drawings, INDOT Specifications, and the City of Bloomington Traffic Control Plan that meets all the sign mounting requirements, barricade/stripe/vertical panels placement and dimensions, temporary pavement marking striping, lane tapers, daily lane closures, and drop off criteria next to traveled way.
- 22. Contractor is to be aware of the following activities in the City of Bloomington and coordinate with the Engineer regarding their potential impact on construction activities and/or maintenance of traffic:

- A. A. Fair of the Arts
Dates: Typically on 2nd Saturdays in September & October
Location: 401 N. Morton Street
- B.
Dates: Saturdays in April & October; Tuesdays in June through September
Location: 401 N. Morton Street
- C. Concerts, Meals, and Plays
Dates: Schedules vary - Contact City of Bloomington to verify schedule & Coordinate construction activities and/or Maintenance of Traffic
Location: 401 N. Morton St.

- 1. Contractor shall conduct a meeting with the City of Bloomington and with the Fire and Police Departments to coordinate the Traffic Control Plan that meets all the requirements of S&B07 and the plans and specifications and includes dates of closures.
- 2. N. Morton Street shall remain open to through (north/south) traffic during construction. Single lane daily lane closures shall occur during the hours of 9:00 AM through 4:30 PM only and shall be pre-approved with the City of Bloomington. All daily lane closures shall require flaggers.
- 3. Contractor shall coordinate access of mail service with the Postmaster.
- 4. Contractor shall coordinate access of ambulance service with the Indiana University Health Bloomington Emergency Medical Transport Services.
- 5. Contractor shall coordinate access of Fire & Rescue services with the City of Bloomington Fire Department.
- 6. Contractor shall coordinate access of trash collection service with the City of Bloomington Sanitation Division. Contractor shall ensure trash collection facilities are accessible by the City.
- 7. Contractor shall coordinate access to City Bus, service and bus routes with Bloomington Transit.
- 8. Contractor shall coordinate access of school bus service with the Monroe County Community School Corporation (MCCSC) Transportation Office.
- 9. Contractor shall provide compacted rock ramp at all changes in grade for emergency access. The material used shall allow a 22-ton fire truck to traverse the grade change.
- 10. Contractor shall maintain driveway access at all times. Compacted Aggregate No. 53 shall be used for all temporary access drives.
- 11. Contractor shall maintain safe pedestrian access to businesses and residential buildings at all times.
- 12. Contractor shall maintain ADA compliant access at all times to all businesses and for any residents which require ADA access and for which ADA access is removed by the Contractor for construction purposes.
- 13. Contractor shall provide the Engineer a weekly schedule detailing the impacted areas of construction and the methods for maintaining pedestrian access to businesses and residences throughout the project length. This schedule shall be supplied and updated by the contractor on a weekly basis.
- 14. Contractor shall place Sidewalk Closed (R9-9, 24" x 12") as needed per Contractor construction staging and as approved by the Engineer.
- 15. Contractor shall coordinate with adjacent construction projects.
- 16. No construction traffic is permitted to operate on or drive over sidewalks or other elements with basements or vaults underneath. Contractor shall be responsible for any and all damage to basements or vault structures resulting from construction traffic.
- 17. Contractor shall be responsible for all required excavation protection and stabilization of existing and proposed facilities: existing and proposed utilities; building walls; retaining walls; existing and proposed foundations; slopes; and any or all other elements within or adjacent to the public Right-of-Way that may potentially be affected by the excavation or construction procedures.
- 18. Existing street and area lighting shall remain in operation as long as practical. New street and area lighting shall become operational as soon as practical. Contractor shall coordinate lighting schedule with Engineer and contact Duke Energy prior to removing existing street lighting from operation.
- 19. Contractor shall abide by the City of Bloomington Noise Ordinance (Chapter 14.09 of Bloomington, Indiana Code of Ordinances) which is in effect between 6:00 AM and 10:00 PM on non-holidays and all day on Sundays and holidays, unless allowed by exemption or special permit. Contractor shall be aware that the work is adjacent to residences and that the City of Bloomington and/or the Engineer may require that noise levels be reduced at 7:00 PM.
- 20. Contractor shall protect flora, roots, or other plant life.

SP-37-17 Petitioner's Site Plan

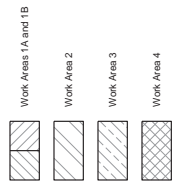
SP-37-17 Petitioner's Site Plan



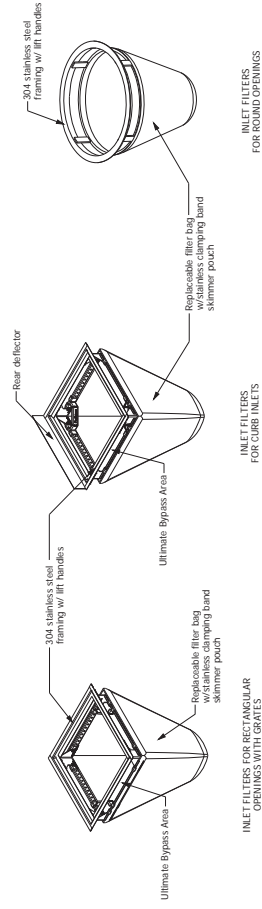
Maintenance of Traffic Notes:

- The Contractor shall erect barricades, warning signs, and other protections as warranted by INDOT, County, Township and City Standards. See also sheet MT-01, Maintenance of Traffic General Notes.
- Work Areas 1A and 1B may be concurrent with approval of the City.
- Work in Areas 2 and 3 shall not be allowed until the new entrance to the Red Lot is complete (Work Area 1A).
- Work in Areas 3 and 4 shall not be concurrent.
- Daily single lane closures on N. Morton Street shall be allowed between the hours of 5:00 AM and 4:30 PM only. Daily closures shall be scheduled in advance with the City of Bloomington.
- Workers shall at all times yield right-of-way to motorists and pedestrians.
- The Contractor shall take precautions to not damage existing trees. Any trees that are damaged shall be replaced within the stated time period to prevent damage. The vehicle owner shall be given the opportunity to move the vehicle prior to relocation. Costs associated with tree protection and relocation shall be borne by the Contractor.
- The Contractor shall update his schedule on a regular basis. Schedule changes, areas to be kept clear of vehicles and other such information that will allow for uninterrupted completion of the work.
- See sheet GN-01 for General Notes and Legend.
- 10th Street and Madison Street improvements by others.

Legend:

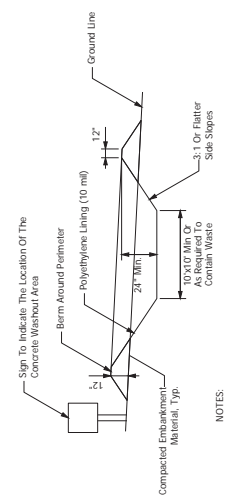


SP-37-17 Petitioner's Site Plan



- NOTES:
- All framing shall be constructed of 304 stainless steel for 25 year service life rating.
 - Framing bypass shall be designed to meet or exceed the design flow of each particular drainage structure.
 - Filter basket shall be such that installation can be as follows:
 - Drop area filler onto load bearing fl. of casting or concrete structure.
 - Replace grate.

Temporary Inlet Protection
(Not To Scale)



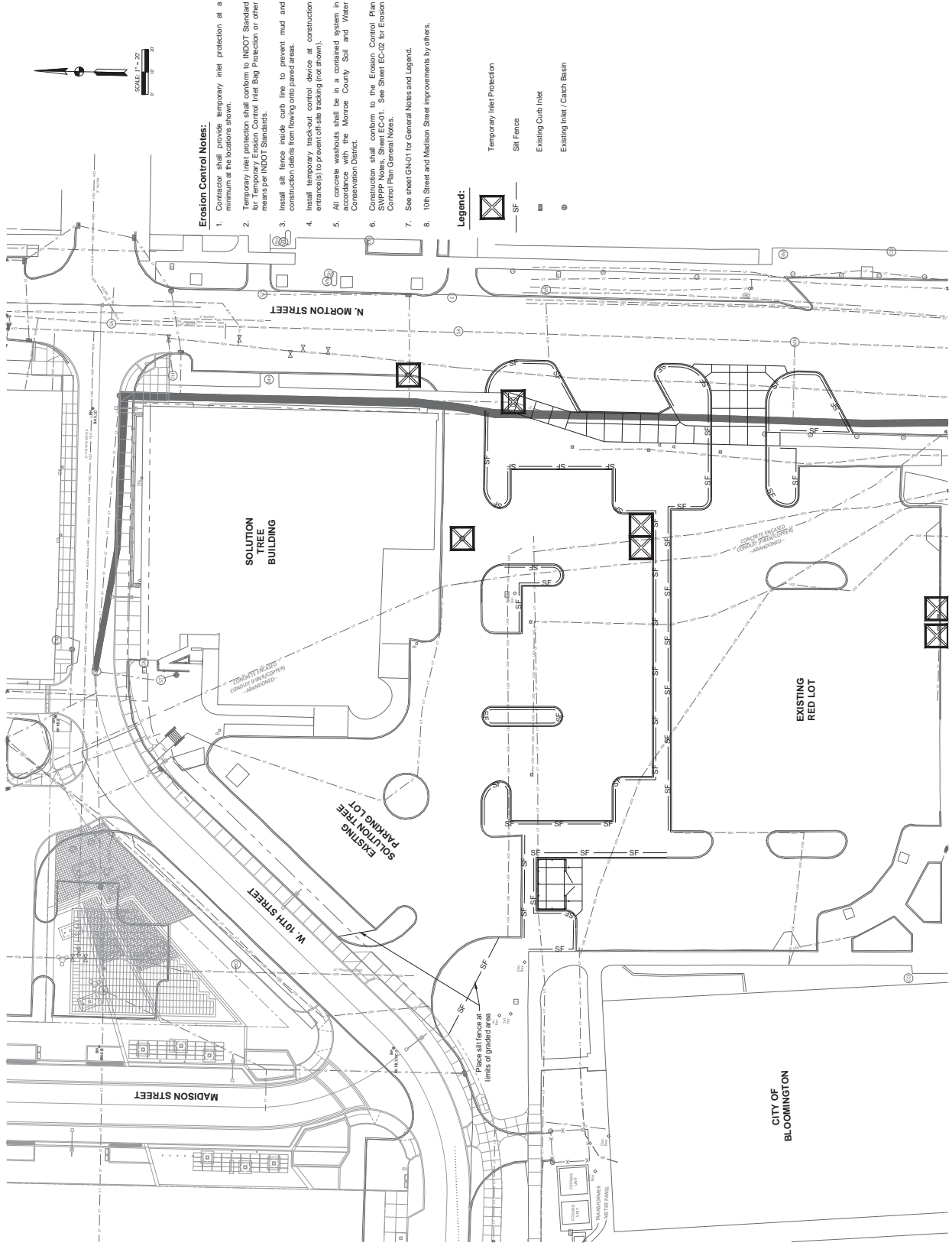
- NOTES:
- Concrete washout area shall be installed prior to any concrete placement on site.
 - The concrete washout area shall be repaired and enlarged or cleaned out as necessary to maintain capacity for washed concrete.
 - The concrete washout shall be inspected daily or after a significant rainfall event for damage and repaired as necessary and as directed by the Engineer.
 - At the end of construction, all concrete shall be removed from the site and disposed of at an approved waste site.
 - When the concrete washout area is removed, the disturbed area shall be stabilized in a manner approved by the Engineer.
 - If concrete washout location is not visible from the pour location, contractor shall provide signage directing drivers to the washout facility.

Concrete Washout Detail
(Not To Scale)

Erosion Control Notes

- All proposed erosion and sediment control shall be in conformance with the INDOT Standards for Erosion Control and Sedimentation and INDOT Standards shall not allow the Contractor from adhering to the requirements as set forth in the Standards.
- The Contractor shall implement this plan to limit sediments from leaving the construction site by utilizing proper temporary erosion control systems.
- Certain erosion control facilities shall be installed in conformance with the INDOT Standards for Erosion Control and Sedimentation. Other items shall be installed by the Contractor as directed by the Engineer on a case-by-case basis. The Contractor shall be responsible for the sequence of activities, time of year and expected weather conditions. All temporary erosion control systems shall be inspected and repaired as necessary to prevent significant rainfall event for large sediment deposits and damage. Temporary erosion control systems shall be removed as necessary and as directed by the Engineer.
- The Contractor shall install permanent erosion control systems within a time specified herein and shall determine if any temporary erosion control systems listed in the plans can be deleted and if so, the Contractor shall submit a written request to the Engineer, which were not included in the plans, shall be added. The Contractor shall perform all erosion control measures in accordance with the standard drawings.
- Construction equipment shall be sorted and fueled only at designated locations as determined by the Engineer. All necessary measures shall be taken to prevent leaks and spills of oil and fuel in accordance with EPA water quality regulations. Leaking equipment or supplies shall be immediately repaired or removed from the site.
- Sediment collected during construction of various areas shall be protected from erosion and wind erosion. Sediment shall be stored in accordance with the general permit area locations shall be noted on the site map and included in the unit bid price for the various temporary erosion control items.
- On-site and off-site soil stockpile and borrow areas shall be protected from erosion and wind erosion. Stockpile and borrow areas shall be protected from erosion and wind erosion in accordance with the general permit area locations shall be noted on the site map and included in the unit bid price for the various temporary erosion control items.
- Additional erosion and sediment control measures may be required by the Inspector.
- Contractor shall obtain the Rule 5 Permit.
- The temporary erosion control systems shall be left in place with proper maintenance until the permanent erosion control measures are in place and working properly.
- This temporary erosion control systems shall be removed as directed by the Engineer after use is no longer needed or system is no longer functional. The Contractor shall be responsible for the cost of the unit bid price for the various temporary erosion control items.
- On-site and off-site soil stockpile and borrow areas shall be protected from erosion and wind erosion. Stockpile and borrow areas shall be protected from erosion and wind erosion in accordance with the general permit area locations shall be noted on the site map and included in the unit bid price for the various temporary erosion control items.
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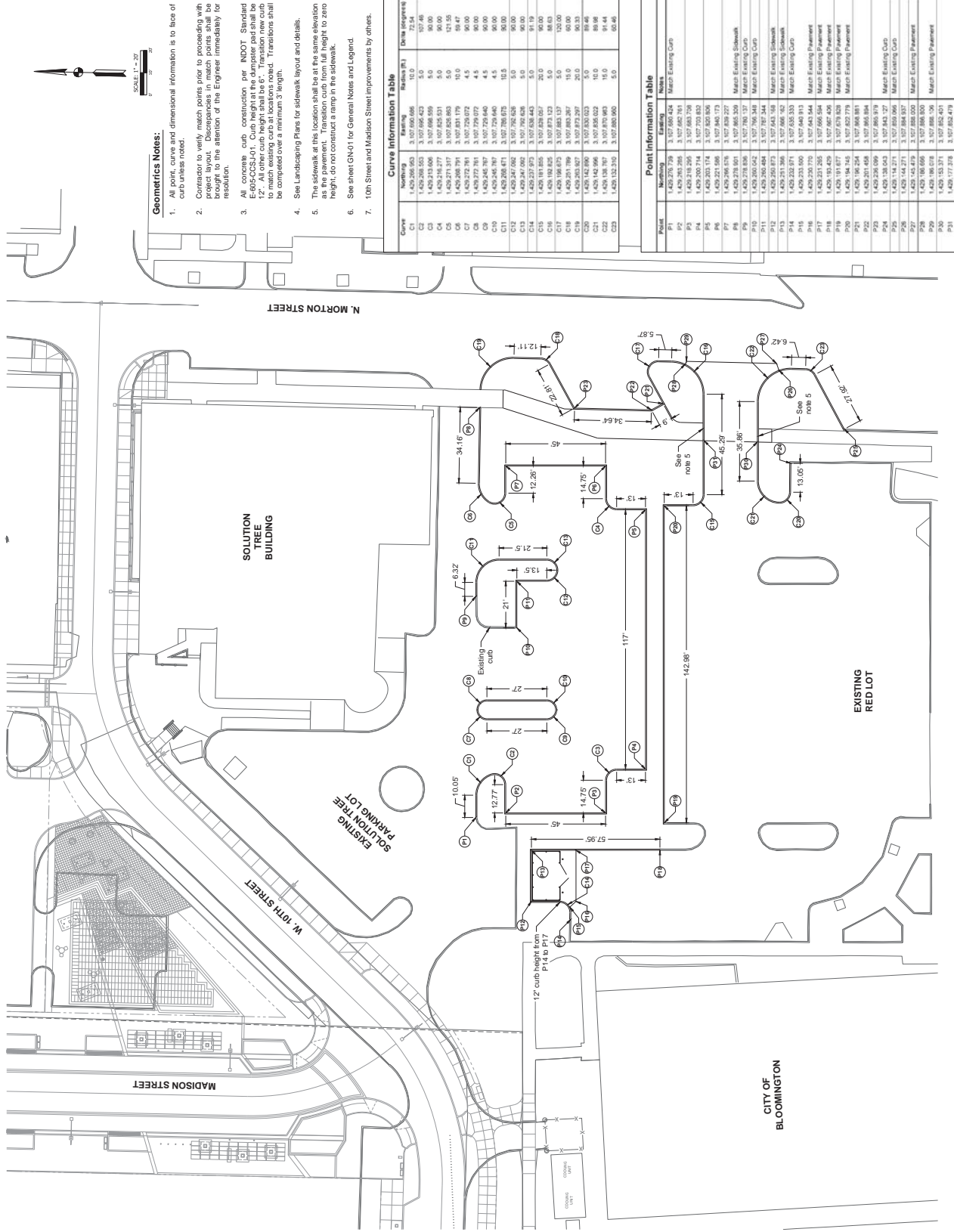


Erosion Control Notes:

1. Contractor shall provide temporary inlet protection at a minimum at the locations shown.
2. Temporary inlet protection shall conform to INDOT Standard for Temporary Erosion Control Inlet Bag Protection or other means per INDOT Standards.
3. Install all fence, silt fence, catch lines to prevent mud and construction debris from flowing onto paved areas.
4. Install temporary track-out control device at construction entrances to prevent off-site tracking (not shown).
5. All concrete washouts shall be in a contained system in accordance with the Monroe County Soil and Water Conservation District.
6. Construction shall conform to the Erosion Control Plan (SPP) Notes, Sheet EC-01. See Sheet EC-02 for Erosion Control Plan General Notes.
7. See sheet GND-1 for General Notes and Legend.
8. 10th Street and Madison Street improvements by others.

Legend:

- ☒ Temporary Inlet Protection
- SF Silt Fence
- Existing Curb Inlet
- Existing Inlet / Catch Basin



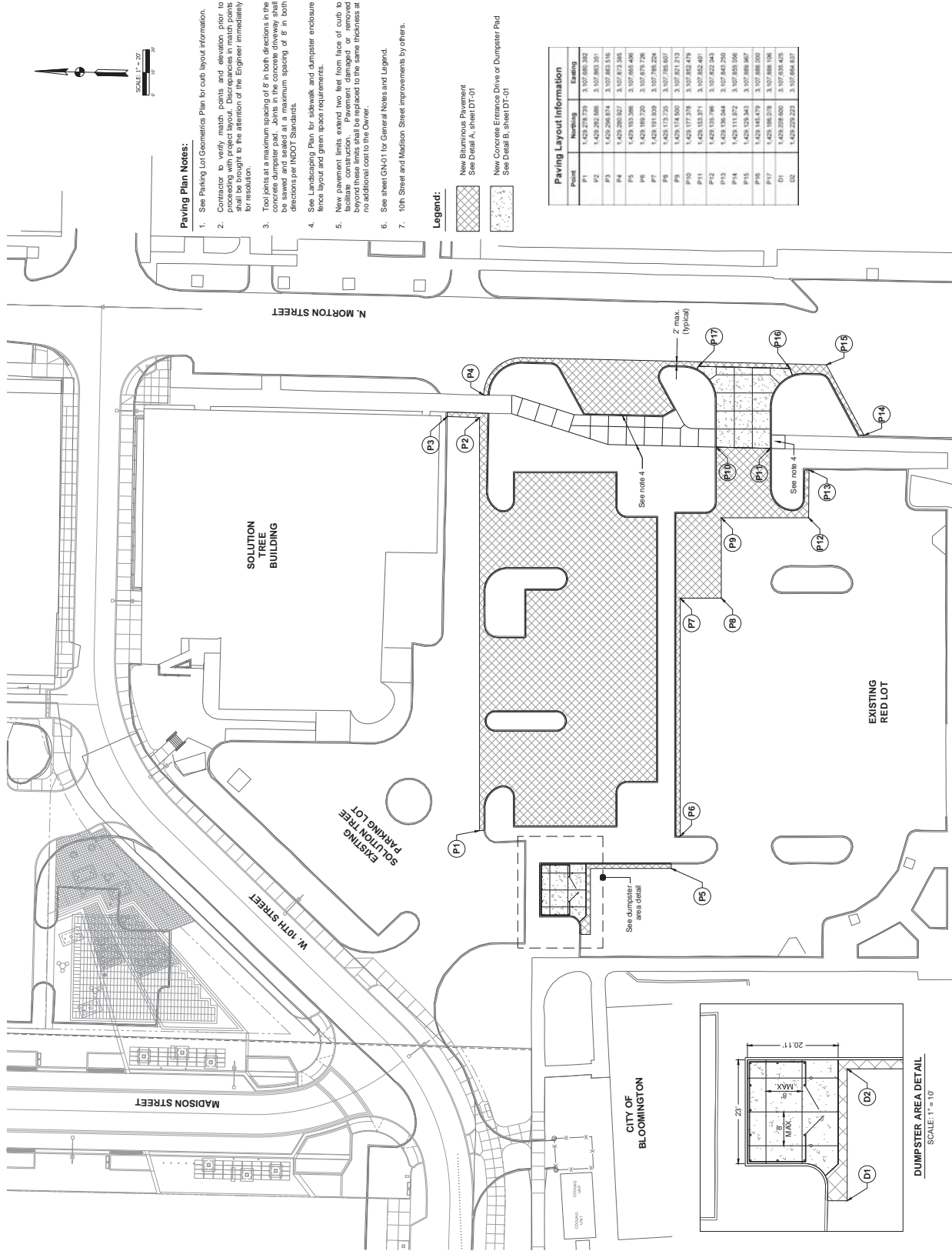
- Geometrics Notes:**
- All point, curve and dimensional information is to face of curb unless noted.
 - Contractor to verify match points prior to proceeding with project layout. Discrepancies in match points shall be resolved to the attention of the Engineer immediately for resolution.
 - All existing curb, construction per INDOT Standard E-890CCS-01. Curb height at the dispenser pad shall be 12". All other curb height shall be 6". Transition new curb to match existing curb at locations noted. Transitions shall be completed over a minimum 3' length.
 - See Landscaping Plans for sidewalk layout and details.
 - The sidewalk at this location shall be at the same elevation as the pavement. Transition curb from full height to zero height, do not construct a ramp in the sidewalk.
 - See sheet GN-01 for General Notes and Legend.
 - 10th Street and Madison Street Improvements by others.

Curve	Northing	Easting	Radius (ft)	Delta (degrees)
C1	1,429,236.555	3,107,696.423	5.0	107.46
C2	1,429,233.608	3,107,696.558	5.0	90.00
C3	1,429,233.608	3,107,696.558	5.0	90.00
C4	1,429,236.277	3,107,692.531	5.0	90.00
C5	1,429,236.277	3,107,692.531	5.0	90.00
C6	1,429,236.277	3,107,692.531	5.0	90.00
C7	1,429,236.277	3,107,692.531	5.0	90.00
C8	1,429,236.277	3,107,692.531	5.0	90.00
C9	1,429,236.277	3,107,692.531	5.0	90.00
C10	1,429,236.277	3,107,692.531	5.0	90.00
C11	1,429,236.277	3,107,692.531	5.0	90.00
C12	1,429,236.277	3,107,692.531	5.0	90.00
C13	1,429,236.277	3,107,692.531	5.0	90.00
C14	1,429,236.277	3,107,692.531	5.0	90.00
C15	1,429,181.825	3,107,673.123	20.0	88.63
C16	1,429,181.825	3,107,673.123	20.0	88.63
C17	1,429,181.825	3,107,673.123	20.0	88.63
C18	1,429,235.927	3,107,673.297	20.0	90.33
C19	1,429,235.927	3,107,673.297	20.0	90.33
C20	1,429,142.890	3,107,630.023	5.0	89.46
C21	1,429,142.890	3,107,630.023	5.0	89.46
C22	1,429,142.890	3,107,630.023	5.0	89.46
C23	1,429,132.310	3,107,680.860	5.0	89.46

Point	Northing	Easting	Notes
P1	1,429,236.277	3,107,696.424	Match Existing Curb
P2	1,429,236.277	3,107,696.424	Match Existing Curb
P3	1,429,236.277	3,107,696.424	Match Existing Curb
P4	1,429,236.277	3,107,696.424	Match Existing Curb
P5	1,429,233.174	3,107,620.536	Match Existing Sidewalk
P6	1,429,231.596	3,107,642.173	Match Existing Curb
P7	1,429,231.596	3,107,642.173	Match Existing Curb
P8	1,429,235.901	3,107,662.559	Match Existing Sidewalk
P9	1,429,235.901	3,107,662.559	Match Existing Sidewalk
P10	1,429,200.042	3,107,799.348	Match Existing Curb
P11	1,429,200.042	3,107,799.348	Match Existing Curb
P12	1,429,200.042	3,107,799.348	Match Existing Curb
P13	1,429,231.596	3,107,662.559	Match Existing Sidewalk
P14	1,429,231.596	3,107,662.559	Match Existing Sidewalk
P15	1,429,231.596	3,107,662.559	Match Existing Sidewalk
P16	1,429,231.596	3,107,662.559	Match Existing Sidewalk
P17	1,429,231.596	3,107,662.559	Match Existing Sidewalk
P18	1,429,181.825	3,107,673.123	Match Existing Sidewalk
P19	1,429,181.825	3,107,673.123	Match Existing Sidewalk
P20	1,429,181.825	3,107,673.123	Match Existing Sidewalk
P21	1,429,181.825	3,107,673.123	Match Existing Sidewalk
P22	1,429,201.458	3,107,665.884	Match Existing Curb
P23	1,429,236.099	3,107,686.919	Match Existing Curb
P24	1,429,236.099	3,107,686.919	Match Existing Curb
P25	1,429,144.271	3,107,682.926	Match Existing Curb
P26	1,429,144.271	3,107,682.926	Match Existing Curb
P27	1,429,144.271	3,107,682.926	Match Existing Curb
P28	1,429,144.271	3,107,682.926	Match Existing Curb
P29	1,429,144.271	3,107,682.926	Match Existing Curb
P30	1,429,144.271	3,107,682.926	Match Existing Curb
P31	1,429,144.271	3,107,682.926	Match Existing Curb
P32	1,429,144.271	3,107,682.926	Match Existing Curb
P33	1,429,144.271	3,107,682.926	Match Existing Curb

SP-37-17 Petitioner's Site Plan

SP-37-17 Petitioner's Site Plan



Paving Plan Notes:

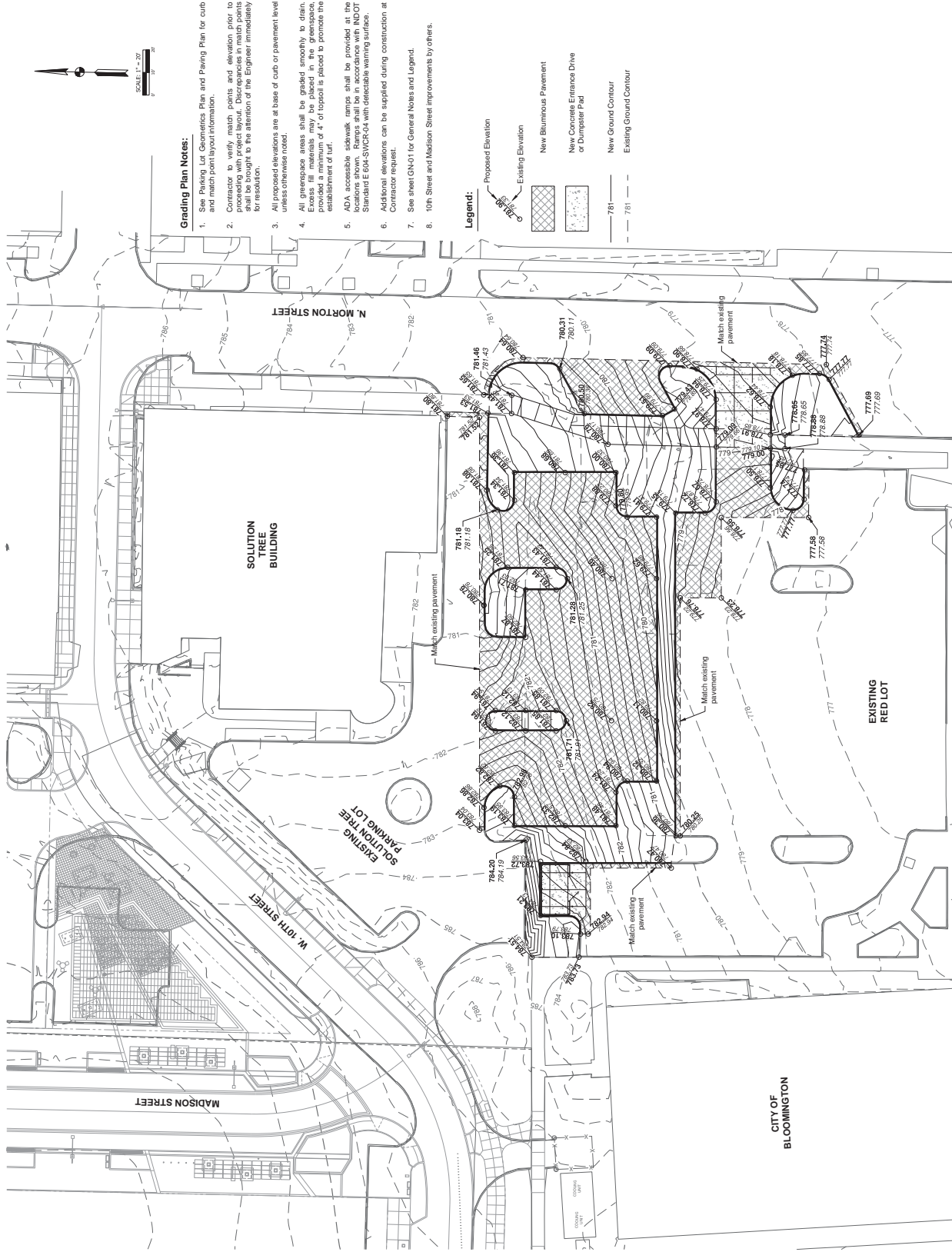
1. See Parking Lot Geometrics Plan for curb layout information.
2. Contractor to verify match points and elevation prior to proceeding with project layout. Discrepancies in match points shall be brought to the attention of the Engineer immediately for resolution.
3. Tool joints at a maximum spacing of 8' in both directions in the concrete dumpster pad. Joints in the concrete driveway shall be at a maximum spacing of 6' in both directions per INDOT Standards.
4. See Landscaping Plan for sidewalk and dumpster enclosure fence layout and green space requirements.
5. New pavement limits extend two feet from face of curb to facilitate construction. Pavement damaged or removed during construction shall be replaced to the same thickness at no additional cost to the Owner.
6. See sheet GN-01 for General Notes and Legend.
7. 10th Street and Madison Street improvements by others.

Legend:

- New Bluminois Pavement
See Detail A, sheet DT-01
- New Concrete Entrance Drive or Dumpster Pad
See Detail B, sheet DT-01

Point	Northing	Easting
P1	1,420,278.729	3,107,880.382
P2	1,420,282.586	3,107,880.381
P3	1,420,298.874	3,107,880.516
P4	1,420,280.927	3,107,873.385
P5	1,420,103.388	3,107,884.486
P6	1,420,187.920	3,107,897.726
P7	1,420,191.039	3,107,906.628
P8	1,420,152.600	3,107,892.237
P9	1,420,172.291	3,107,882.479
P10	1,420,153.371	3,107,882.407
P11	1,420,135.796	3,107,820.443
P12	1,420,136.044	3,107,842.200
P13	1,420,111.872	3,107,830.566
P14	1,420,129.343	3,107,888.907
P15	1,420,145.479	3,107,888.200
P16	1,420,188.076	3,107,888.196
P17	1,420,228.600	3,107,838.425
02	1,420,229.223	3,107,868.627

SP-37-17 Petitioner's Site Plan



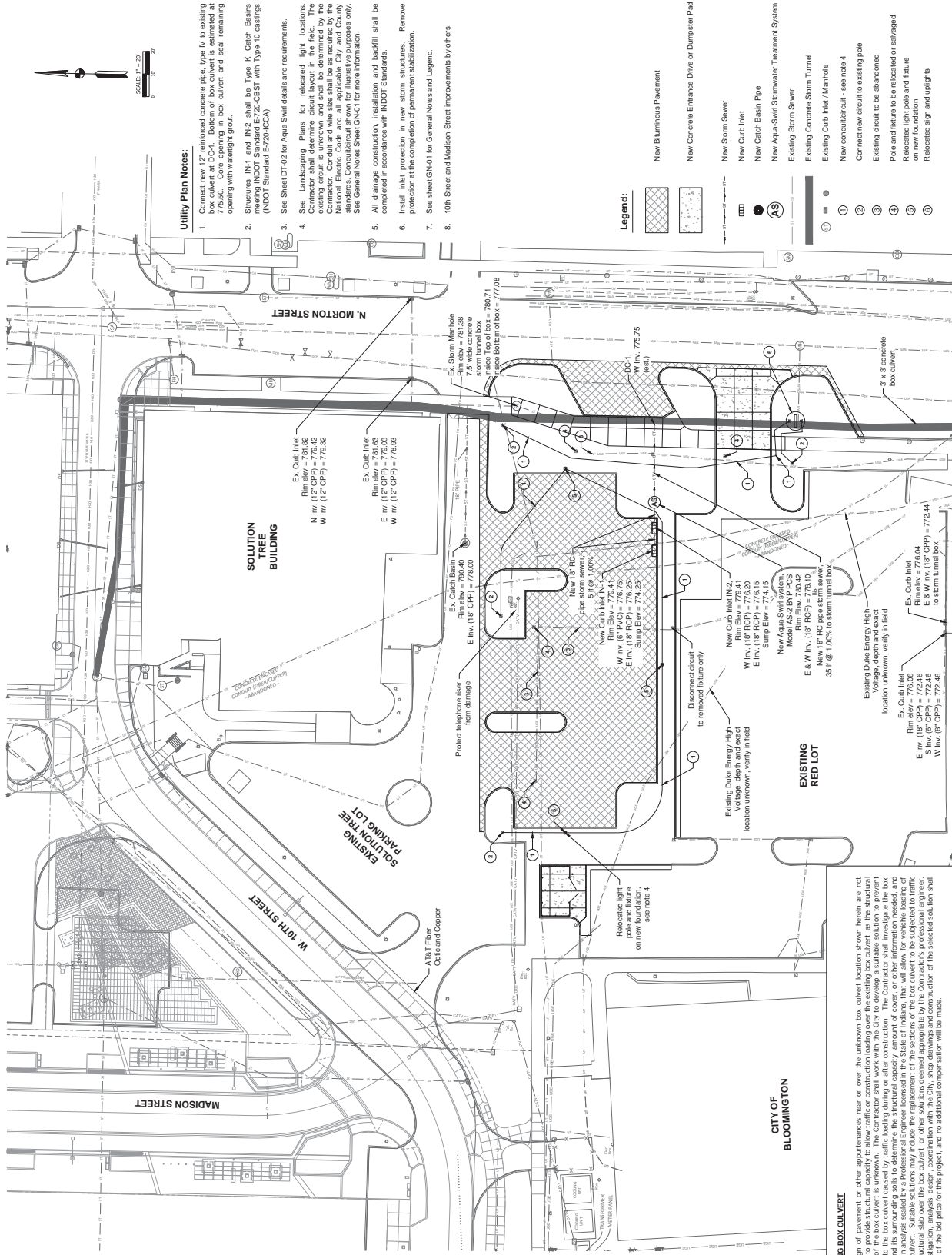
Grading Plan Notes:

1. See Parking Lot Geometrics Plan and Paving Plan for curb and match point layout information.
2. Contractor to verify match points and elevation prior to proceeding with project layout. Discrepancies in match points shall be brought to the attention of the Engineer immediately for resolution.
3. All proposed elevations are at base of curb or pavement level unless otherwise noted.
4. All greenspace areas shall be graded smoothly to drain. Excess fill materials may be placed in the greenspace, subject to a 4' of topsoil to be placed to promote the establishment of turf.
5. ADA accessible sidewalk ramps shall be provided at the building entrance. Ramps shall be constructed to meet Standard E 604-SVCR-04 with detectable warning surface.
6. Additional elevations can be supplied during construction at Contractor request.
7. See sheet G-01 for General Notes and Legend.
8. 10th Street and Madison Street improvements by others.

Legend:

- Proposed Elevation
- Existing Elevation
- New Blumiscous Pavement
- New Concrete Entrance Drive or Dumpster Pad
- New Ground Contour
- Existing Ground Contour

SP-37-17 Petitioner's Site Plan



Utility Plan Notes:

1. Connect new 12" reinforced concrete pipe, type IV, to existing storm sewer system. Box culvert is situated at 775.50'. Connect to existing storm sewer system opening with watertight grommet.
2. Structures, IM, and H,2, shall be Type V. Catch Basins meeting INDOT Standard E7-26-CBST with Type 10 castings (INDOT Standard E7-20-CCA).
3. See Sheet DT-02 for Aqua Swell details and requirements.
4. See Landscaping Plans for relocated light locations. Contractor shall determine circuit layout in the field. The Contractor shall determine the size of the catch basins, manholes, and catch basins and size shall be as required by the National Electric Code and all applicable City and County standards. Conduits shall be installed for future purposes only. See General Notes Sheet GN-01 for more information.
5. All drainage construction, installation and backfill shall be completed in accordance with INDOT Standards.
6. Install inlet protection in new storm structures. Remove protection at the completion of permanent stabilization.
7. See sheet GN-01 for General Notes and Legend.
8. 10th Street and Madison Street improvements by others.

Legend:

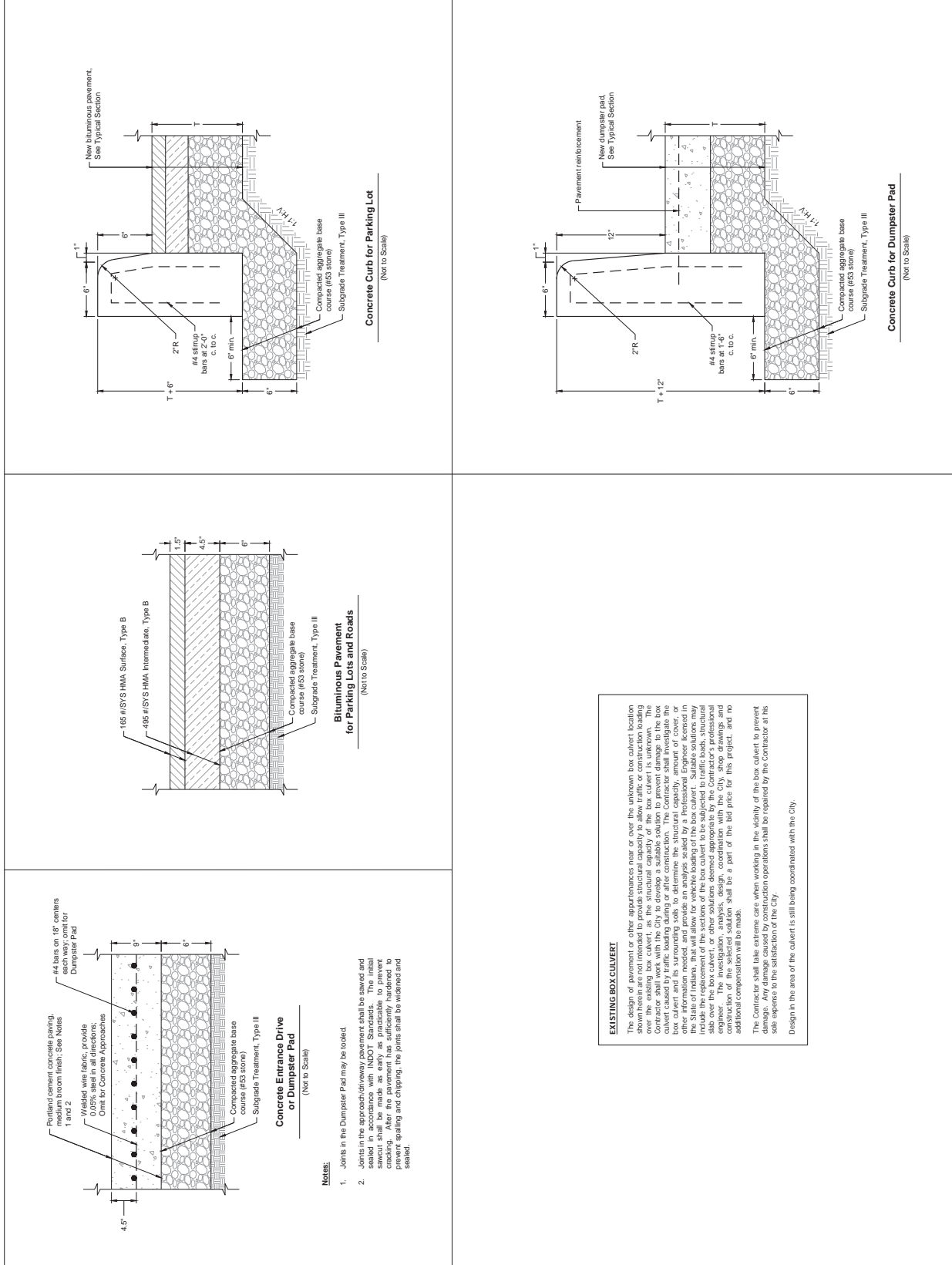
- New Blumhouse Pavement
- New Concrete Entrance Drive or Dumpster Pad
- New Storm Sewer
- New Catch Basin
- New Aqua-Swirl Stormwater Treatment System
- Existing Storm Sewer
- Existing Catch Basin
- New catchment - see note 4
- Existing circuit to be abandoned
- Pole and fixture to be relocated or salvaged on new foundation
- Relocated sign and uprights

EXISTING BOX CULVERT

The design of pavement or other appurtenances near or over the unknown box culvert location shown herein are not intended to provide structural capacity to allow traffic or construction loading over the existing box culvert, as the structural capacity of the box culvert is unknown. The Contractor shall work with CMV to develop a suitable solution to provide structural capacity to allow traffic or construction loading over the existing box culvert and its surrounding soils to determine the structural capacity, amount of cover, or other information needed, and provide an analysis sealed by a Professional Engineer licensed in the State of Indiana, that will allow for vehicle loading of the box culvert. The Contractor shall coordinate with the City, shop drawings and construction of the selected solution shall be a part of the bid price for this project, and no additional compensation will be made.

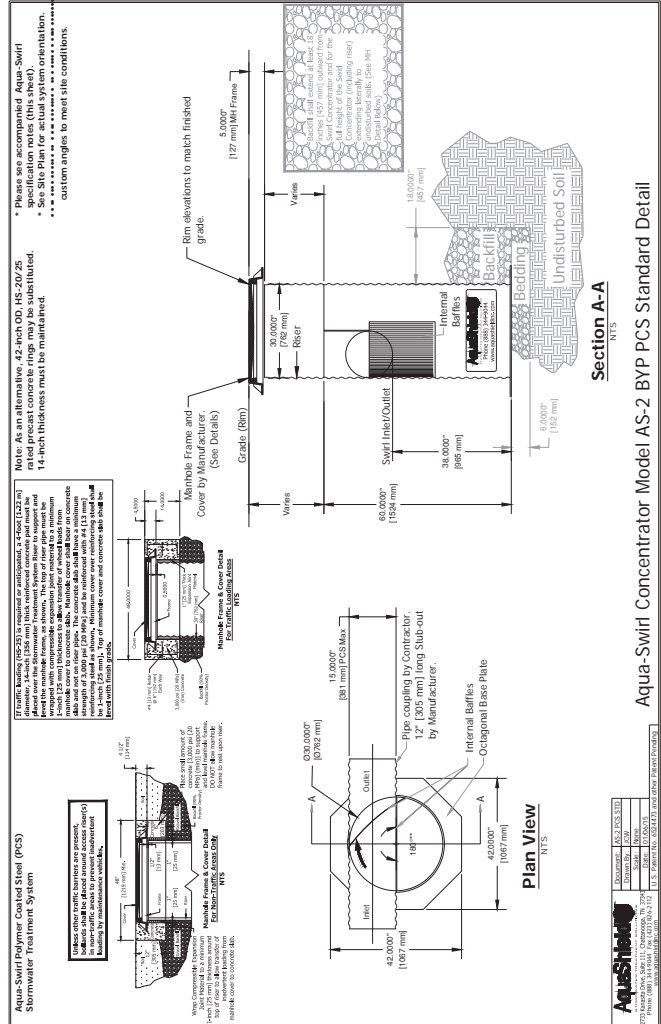
The Contractor shall take extreme care when working in the vicinity of the box culvert to prevent damage. Any damage caused by construction operations shall be repaired by the Contractor at his sole expense to the satisfaction of the City. Design in the area of the culvert is still being coordinated with the City.

SP-37-17 Petitioner's Site Plan



SP-37-17 Petitioner's Site Plan

- Contractor and Manufacturer shall be responsible for complete assembly of Swirl Concentrator.
- Polymer Coated Steel (PCS) Swirl Concentrator shall be fabricated from polymer pre-coated steel sheet for **14-mil thickness** and shall comply with ASTM A 760 and ASTM A 742.
- Stub outs and internal components shall be supplied by manufacturer and MIG welded using accepted welding practices.
- Manufacturer shall supply direct access to Swirl Concentrator via 30-inch ID riser(s). Riser should not be field cut by Contractor. Riser should maintain its finish cut length as supplied by manufacturer to match final grade per approved site elevations (as indicated on approved shop drawing). If necessary to extend riser, Contractor should use adjusting rings to bring top of structure to grade.
- Contractor shall supply pipe couplings to and from Swirl Concentrator, which shall be Man-Mac, Femco, or Mission style flexible boom with stainless steel tension bands and shear guard. Man-Mac couplings should be be reached at 877-962-7622 or: con.calk@manmac.com.
- Contractor shall prepare excavation and offload Swirl Concentrator. Contractor is responsible for bedding and backfill around Swirl Concentrator as recommended by manufacturer. See also notes 11 and 12.
- Manufacturer shall supply standard manhole frames(s) and cover(s) (Traffic rated H20).
- Where traffic loading (H-20) is required or anticipated, a 4-foot diameter, 14-inch thick reinforced concrete pad must be placed over the Swirl Concentrator to support and level the manhole frame. The top of riser pipe must be wrapped with compressible expansion joint material to a minimum 1-inch thickness to allow transfer of loads to the concrete slab. The concrete slab shall have a minimum strength of 3000 psi and be reinforced with #4 rebar (per drawing). Minimum cover over reinforcing steel shall be 1-inch. Top of manhole cover and concrete slab shall be level with finish grade.
- Unless other traffic barriers are present, bollards shall be placed around access risers in non-traffic areas to prevent inadvertent loading by maintenance vehicles. Sample of typical bollard installation detail and recommended locations of bollards around the Swirl Concentrator can be provided upon request.
- Where high groundwater elevations are present or anticipated, Contractor shall supply concrete anti-floating pad underneath and pour over the octagonal base plate of the swirl (see Awt-Flotation Base Detail) to prevent buoyancy and base plate deflection (details, if necessary, available upon request).
- Excavation and Bedding - The trench and trench bottom shall be constructed in accordance with ASTM A 798 Section 5, Trench Excavation, Section 6, Foundation, and Section 7, Bedding. The PCS Swirl Concentrator shall be installed on a stable base consisting of at least 6 inches of fine, ready compacted soil or granular fill (see Awt-Flotation Base Detail). Backfill shall be compacted to 90% proctor density. Backfill shall not contain frozen lumps, highly plastic clay, organic material, corrosive material, or other deleterious foreign materials. All required safety precautions for Swirl Concentrator installation are the responsibility of the Contractor and shall be per OSHA approved methods.
- Backfill Requirements - Backfill materials shall be fine, ready compacted soil or granular fill material, and compacted to 90% proctor density. Processed granular materials with excellent structural characteristics are preferred. Backfill shall be compacted to 90% proctor density. Backfill shall not contain frozen lumps, highly plastic clay, organic material, corrosive material, or other deleterious foreign materials. Backfilling shall conform to ASTM A 798, Section 10, Structural Backfill. Backfill shall extend at least 18 inches outward from Swirl Concentrator and for the full height of the Swirl Concentrator (including riser(s)) extending laterally to undisturbed soils.



NOTES - LAYOUT

- Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be required.
- Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct Representative, if not correctly without pre-approval by Owners Representative. No additional payment will be made to replace any incorrect work.
- Contractor responsible to maintain all layout stakes during construction. All divisions from roadway are from Back of Curb unless otherwise noted.
- All curves and radii to be smooth and not segmented.
- Contractor to provide layout stakes every 10 feet minimum for all divisions.
- Refer to specifications for additional conditions, standards and notes.
- Place control and expansion joints as shown on plans and notes.
- Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 50 feet on center, and between all separate pours.

PREPARED FOR
City of Bloomington

401 North Morton St.
 Bloomington, IN 47404

PROJECT
**RED PARKING LOT
 ADJUSTMENTS**

TRADES DISTRICT
 Bloomington, Indiana

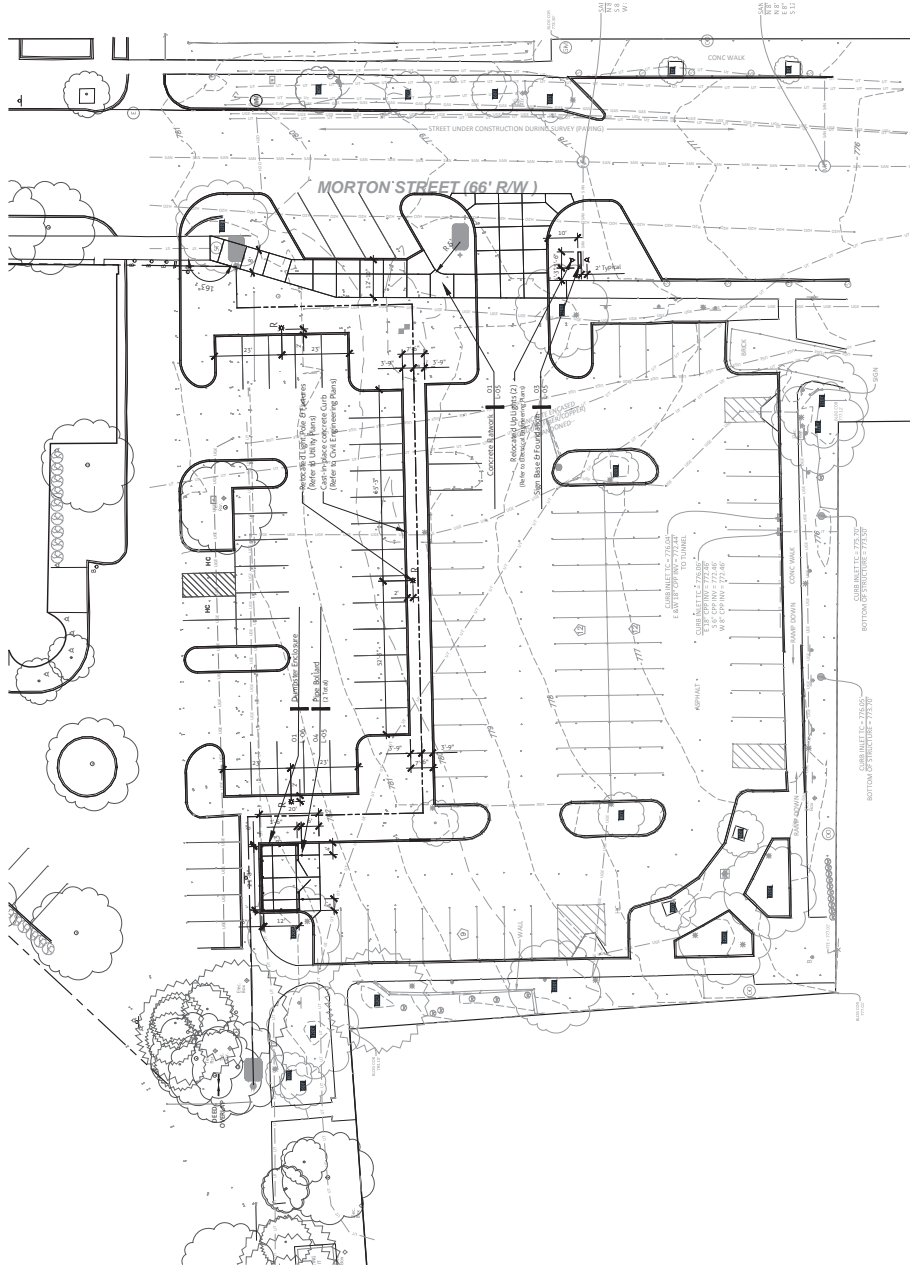
CONSULTANTS
 CIVIL ENGINEER: [Redacted]
 PROFESSIONAL SEAL: [Redacted]
 317-998-4500

ISSUE FOR
 PERMITS/OWNER REVIEW
 ISSUE DATE: October 10, 2017

DRAWN BY:
 CAR
 CHECKED BY:
 JBB

REVISIONS
 No. Date Issue

SP-37-17 Petitioner's Site Plan



LEGEND - LAYOUT

- Concrete Flatwork
- Relocated Light Pole and Fixture (Refer to Utility Plans)

SHEET TITLE
LAYOUT & MATERIAL PLAN

SCALE: 1" = 20'-0"
 NORTH

SHEET NUMBER
201

PREPARED FOR
City of Bloomington

PROJECT
**RED PARKING LOT
 ADJUSTMENTS**

TRADING DISTRICT
 Bloomington, Indiana

CONSULTANTS
 City of Bloomington

CONTRACTOR
 City of Bloomington

ISSUE FOR PERMITS/CONSUMER REVIEW
 ISSUE DATE: October 10, 2017

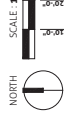
DRAWN BY:
 CAR

CHECKED BY:
 JBB

REVISIONS
 No. Date Issue

(202)

SHEET TITLE
PLANTING PLAN

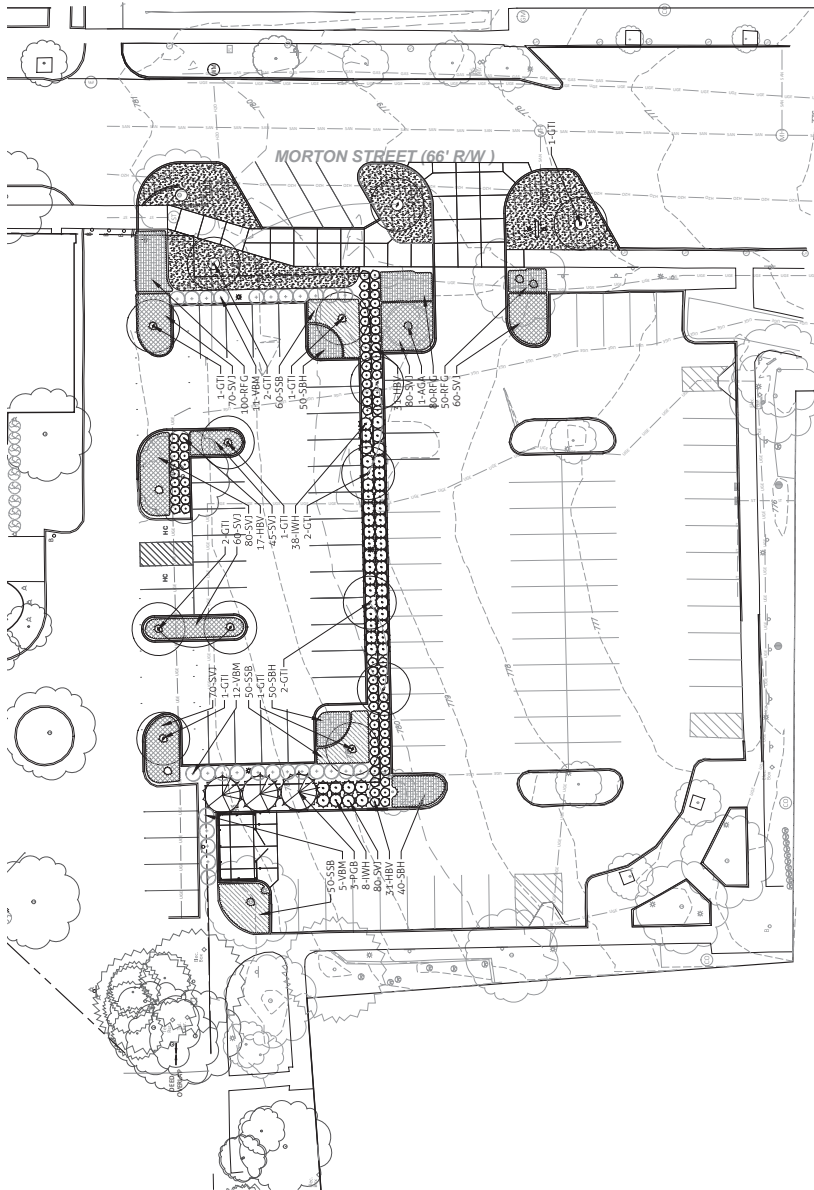
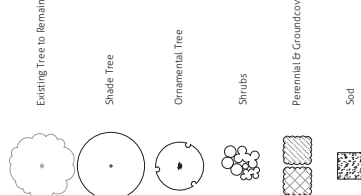


SHEET NUMBER

NOTES - PLANTING

- Contractor shall import and distribute topsoil for all planting areas to average depth of 12" to achieve the grades as shown on the plans.
- Soil texture is approximately Sods to limits of grading and construction related disturbance. Contractor responsible for restoration of any unauthorised disruption outside of designated construction area.
- Contractor shall maintain control in all seeded and/or sodded areas. All disturbed areas are to be protected within 24 hours. Do not disturb more area than can be completed and protected within 24 hours.
- Temporary fencing shall be installed around the lawn areas if the lawn is opened to the public before the lawn is established.
- All existing trees within the project limits determined to be interfering with construction activity to be pruned by a certified arborist to meet the project requirements.
- The General Contractor shall be responsible for replacing any trees that the Landscape Architect determines to have been damaged during construction, at no additional cost.
- Any trees that are pruned shall be replaced with a tree of the same or otherwise superior species that the General Contractor shall be smooth and not segmented. Refer to Planting Best Edge Condition, Detail 04, Sheet LA.01.
- Contractor to remove and dispose of all stumps and dirt beds. Contractor to remove and dispose of all stumps and dirt clods 1" or larger.
- Plants and other materials are quantified and summarized for the project. Quantities are based on the quantities shown on the plans and confirmed by the contractor. Confirm and final sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
- Refer to specifications for additional conditions, standards and notes.

LEGEND - PLANTING



PLANTING SCHEDULE							
TREES	KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AGA	1	Ameiandier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	10' TALL	AS SHOWN	BGB, Multistem - Min. 3 Trunk
	GTI	14	Gleditsia tricanthos 'Skyline'	Skyline Honey Locust	3"	AS SHOWN	BGB, 5' Clear Trunk
	PGF	3	Prunella glabra 'Dancers'	Black-Hills Spruce	10' TALL	AS SHOWN	BGB, F.T.B.
SHRUBS	KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
	HBV	79	Hypericum 'Blue Velvet'	Blue Velvet St. Johnswort	3' O.C.	3' O.C.	F.T.B.
	IWH	46	Ilex x 'Willemer'	Emerald Magic Holly	30" TALL	4' O.C.	F.T.B.
	VMB	28	Viburnum dentatum 'Christom'	Blue Multiflora Viburnum	42" TALL	5' O.C.	F.T.B.
PERENNIALS	KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
	RFG	230	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	1 GAL	48" O.C.	
	SBH	140	Salvia nemorosa 'Blue Hill'	Blue Hill Salvia	1 GAL	24" O.C.	
	SJI	565	Sedum Vera Jameson	Vera Jameson Sedum	1 GAL	24" O.C.	
	SJB	160	Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem	3 GAL	24" O.C.	

NOTES
 F.T.B. = Full To Base
 Quantities on the plant list are provided for information only. Plant quantities under the contract are indicated on the plans. In the event of any discrepancies, the contract shall be based on the quantities shown on the plans.

Planting Schedule

SP-37-17 Petitioner's Site Plan

PREPARED FOR
City of Bloomington

401 North Morton St.
 Bloomington, IN 47404

PROJECT
RED PARKING LOT ADJUSTMENTS

TRADES DISTRICT
 Bloomington, Indiana

CONSULTANTS
 CIVIL ENGINEER: [Redacted] P.E.
 8099 Avenue Road
 Bloomington, Indiana 47408
 317-398-4300

ISSUE FOR: PERMITS/COMMITTEE REVIEW
ISSUE DATE: October 10, 2017
DRAWN BY: CAR
CHECKED BY: JBB

REVISIONS
 No. Date Issue

(203)

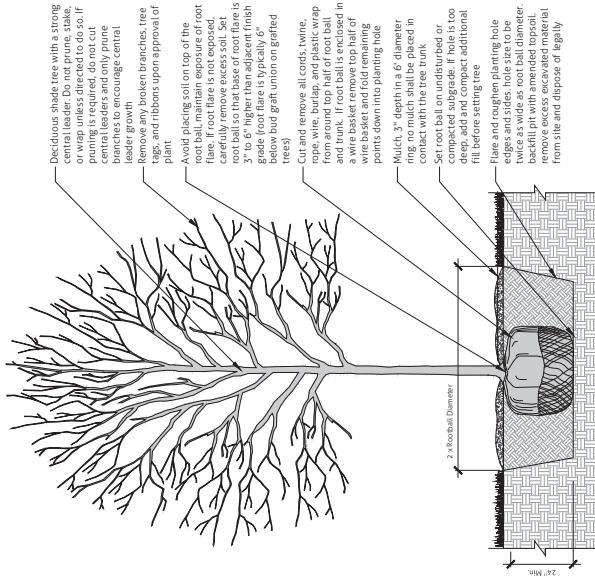
PLANTING DETAILS

NORTH 

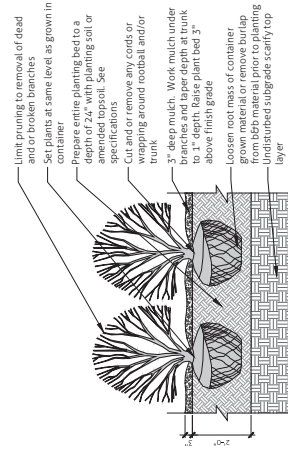
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SHEET NUMBER

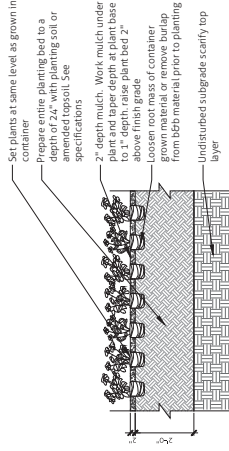
SP-37-17 Petitioner's Site Plan



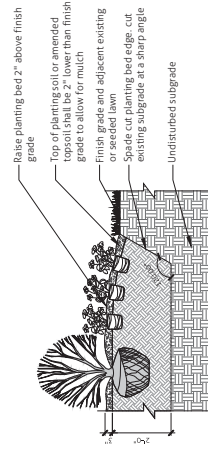
01 Section - Deciduous Tree Planting
 Scale: 1/2" = 1'-0"



02 Section - Shrub Planting
 Scale: 1/2" = 1'-0"



03 Section - Perennial and Groundcover Planting
 Scale: 1/2" = 1'-0"



04 Section - Planting Bed Edge Condition
 Scale: 1/2" = 1'-0"

