

**Bloomington Historic Preservation Commission  
Showers City Hall  
McCloskey Room  
Thursday July 12, 2018  
5:00 P.M.  
Agenda**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**

A. June 28, 2018 Minutes

- IV. CERTIFICATES OF APPROPRIATENESS**

**Staff Review**

**A. COA 18-49**

618 W. 3<sup>rd</sup> Street: Greater Prospect Hill

Petitioner: Eleanor Kinser

Retroactive approval for: reshingle house and garage, installation of new gutters on house and garage, installation of vinyl siding on house and garage, replacement of front porch concrete slab with new slab, installation of wooden posts to support front porch overhang, replacement of deteriorated porch with wood deck of the same size on the West side of the house, replacement of wooden decking boards on the rear deck with new wood planks, new handrail on the rear deck, construction of steps from the rear deck to the backyard, and replacement of garage door.

**Commission Review**

**A. COA 18-50**

210 E. Gilbert Drive: Matlock Heights

Petitioner: Russ Herndon

Construction of a rear addition to install new pool. Construction of stairs and handrail to connect addition to the backyard.

- V. DEMOLITION DELAY**

**Commission Review**

**A. Demo Delay 18-25**

407 E. Grimes Street

Petitioner: Dave Noggle

Partial demolition – construction of an addition.

**B. Demo Delay 18-26**

1005 S. Washington Street

Petitioner: Steve Host

Full demolition of the garage on the rear of the property.

**C. Demo Delay 18-27**

1009 S. Lincoln Street

Petitioner: Loren Wood Builders

Partial demolition – construction of dormers on the rear garage.

**VI. COURTESY REVIEW**

**VII. NEW BUSINESS**

A. Commission Retreat – Does anyone have a preferred month? Date?

**VIII. OLD BUSINESS**

**IX. COMMISSIONER COMMENTS**

**X. PUBLIC COMMENTS**

**XI. ANNOUNCEMENTS**

**XII. ADJOURNMENT**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

Next meeting date is Thursday July 12, 2018 at 5:00 P.M. in the McCloskey Room

**Posted: 7/5/2018**

**Bloomington Historic Preservation Commission  
Showers City Hall  
McCloskey Room  
Thursday June 28, 2018  
5:00 P.M.  
Minutes**

**I. CALL TO ORDER**

Meeting was called to order by Chairman, Jeff Goldin, at 5:05 pm.

**II. ROLL CALL**

**Commissioners**

Jeff Goldin  
Lee Sandweiss  
Sam DeSollar  
John Saunders  
Flavia Burrell  
Chris Sturbaum

**Advisory**

Deb Hutton – arrived at 5:04 pm  
Duncan Campbell

**Staff**

Rachel Ellenson – HAND  
Alison Kimmel – HAND  
Eric Sader – HAND  
Anahit Behjou – LEGAL

**Guests**

Rebecca Stoops  
Dylan Grigar  
Jack Baker  
Candace Finch  
Jefferson Shreve  
Elizabeth Cox Ash  
Paul Ash

**III. APPROVAL OF MINUTES**

- A. June 7, 2018 Minutes
- B. June 14, 2018 Minutes

Sam DeSollar made a motion to approve minutes from June 7<sup>th</sup> 2018 and June 14<sup>th</sup> 2018, mentioning the reason we tabled **COA 18-42** during the June 14<sup>th</sup> meeting, was to receive neighborhood feedback. **John Saunders** seconded. **Motion carried 6/0/0 (Yes/No/Abstain).**

**IV. CERTIFICATES OF APPROPRIATENESS**

## **Staff Review**

### **A. COA 18-48**

101 W. Kirkwood Avenue #116: Courthouse Square  
Petitioner: FASTSIGNS, on behalf of Marcy Cook  
Installation of new signage above the storefront.

**Rachel Ellenson** gave presentation. See packet for details.

## **COMMISSION REVIEW**

### **A. COA 18-42 (cont. from last meeting)**

325 S. Rogers Street: Prospect Hill

Petitioner: Lynn & Teri Yohn

Replacement of 16 existing windows with custom designed Marvin clad ultimate insert double hung aluminum windows. Resubmission of request from COA 18-29 that was denied.

**Rachel Ellenson** gave presentation. See packet for details.

The commission was originally advised to table **COA 18-42**, due to the petitioners not being present. Doing this, **COA 18-42** would have exceeded the thirty-day deadline, causing automatic approval of the request. Therefore, for COA 18-42, **Chris Sturbaum** made a motion to suspend the rule in regards to presence of the petitioner at the meeting. **John Saunders** seconded. **Motion carried 5/0/0**. Flavia Burrell was not present to vote. This COA was discussed at the end of the meeting.

### **B. COA 18-45**

118 N. Walnut Street: Courthouse Square

Petitioner: Flow Bloomington, LLC, Candace Finch (owner)

Replacement of existing storefront with new anodized steel storefront that will fit the existing opening. The new entrance facing Walnut Street will be recessed 3' and the window installation between the existing entrance door and the new recessed door will be at an 8' recess. Installation of lighting above the store front and installation of new wooden sign.

**Rachel Ellenson** gave presentation. See packet for details.

**John Saunders** asked if there were windows behind the canopy. **Sam DeSollar** explained there is plywood and it will eventually be transom windows.

**Sam DeSollar** asked for clarification on dimensions of depth for the store fronts. He also asked for details on the sign that would be installed. **Candace Finch** stated it is a horizontal wood backed sign with track lighting.

**Deb Hutton** asked if the lighting was angled up or down. **Candace Finch** stated it will be down and pointed towards the store front.

**John Saunders** stated he is supportive of this project.

**Chris Sturbaum** asked if there will be grids in the new windows. **Candace Finch** stated there will not be.

**Sam DeSollar** made a motion to approve **COA-18-45**. **Flavia Burrell** seconded. **Motion carried 6/0/0 (Yes/No/Abstain)**.



**C. COA 18-46**

812 S. Morton Street: McDoel

Petitioner: Jefferson Shreve

Full demolition.

**Rachel Ellenson** gave presentation. See packet for details.

**Jefferson Shreve** stated he owns this property and multiple properties nearby. This house is not occupied and would not pass a HAND inspection. He does not feel the house is worth the amount of money that is needed to put in to it. It would be more cost efficient to tear it down.

**John Saunders** asked how long the house has sat empty. **Jefferson Shreve** stated about 1.5 years.

**Chris Sturbaum** commented it sounds like the house is in the way of future plans.

**Deb Hutton** asked if the house next to the property is historic. **Jefferson Shreve** stated he did not think it was, although it is older than the American Foursquare.

**John Saunders** asked if he has considered restoring the house considering the price of the houses across the street. **Jefferson Shreve** stated he has considered it.

**Sam DeSollar** asked if he knew what was under the vinyl siding. **Jefferson Shreve** stated he does not know.

**Jeff Goldin** asked the petitioner what the property was zoned. He did not know. The commissioners looked the property up on the GIS and it stated IG – Industrial General.

**Jack Baker** stated he is a part of the McDoel Gardens Neighborhood Association. He was a part of the creation of the conservation and historic district. He stated they started the district because they did not want to lose any more homes in the neighborhood, let alone have more large buildings go in without their say in the plans. He stated it hasn't been rented because no effort has been put in to it. This house can be renovated.

**Elizabeth Cox Ash** stated when they started forming their neighborhood, they weren't looking at the zoning, they were looking at the housing stock that was in the area. She stated there are homes in the city that have been in much worse condition and easily renovated. She recommends denial of this petition to tear down.

**Paul Ash** stated he is a founding member of the McDoel Gardens neighborhood association. He requested the petition to be denied.

**Chris Sturbaum** stated he thinks the regulations call for preserving the house, which is why the staff recommended denial. This house can set the tone for the neighborhood and could easily be a favorite house of the neighborhood once restored.

**Deb Hutton** stated she agrees with Chris. She also stated rebuilding a home on the property where the house sits could be harder than restoring the house because the design guidelines must be followed.

**Flavia Burrell** asked the petitioner if knew the house was in a district when he purchased the house.

**Jefferson Shreve** stated he did not.

**Elizabeth Cox Ash** stated in 2014 all property owners received ballots to either stay a conservation district or be elevated to a historic district. She did not receive a ballot back from the petitioner. There is no reason he should not know he is in a historic neighborhood.

**Duncan Campbell** stated the neighborhood was created to protect the current structures in the neighborhood. It stopped the hospital from expanding in that direction and any other buildings that could have gone in there. City Council approved this district, therefore the commission has an obligation to protect this neighborhood.

**Jefferson Shreve** stated the notion of “demolition from neglect” is not the case. He has looked at the cost of a rehab and it is substantial. He does not think that rehab is the best financial decision.

**Deb Hutton** stated if he is not able to take down the house and he wants to build on his empty lots, he will still have to be approved by the commission and follow the guidelines since he is in the district. **Jefferson Shreve** asked if she was trying to dissuade any development on his lots. **Deb Hutton** stated she was not, she was only asking if he was aware of the guidelines.

**Jefferson Shreve** asked if the commission would approve the demolition of the garage. After deliberating, the commission stated he would need to submit a separate application since the garage was not part of the submitted application.

**Chris Sturbaum** made a motion to deny **COA-18-46**. **Lee Sandweiss** seconded. **Motion carried 6/0/0 (Yes/No/Abstain).**

#### **D. COA 18-47**

407 S. Walker Street: Greater Prospect Hill

Petitioner: Rebecca Stoops

Installation of 18 solar panels on the east-facing portion of the roof. They will not be visible from the primary public right of way.

**Rachel Ellenson** gave presentation. See packet for details.

**Rebecca Stoops** stated she is excited to get solar panels installed.

**Chris Sturbaum** stated he appreciates balancing the historic and sustainable sides of the house.

**Sam DeSollar** stated he agreed with Chris with a caveat that sometimes you don't have a choice where you put the solar panels.

**Sam DeSollar** made a motion to approve **COA-18-47**. **Lee Sandweiss** seconded. **Motion carried 6/0/0 (Yes/No/Abstain).**

## **V. DEMOLITION DELAY**

### **Commission Review**

**A. Demo Delay 18-24**

1214 S. Pickwick Place

Petitioner: Dylan Grigar, Loren Wood Builders

Partial Demolition – construction of a rear addition.

**Rachel Ellenson** gave presentation. See packet for details.

**John Saunders** asked if the majority of the limestone would be retained. **Dylan Grigar** stated the limestone would be retained as much as possible.

**Chris Sturbaum** asked if the window placements were going to be moved. **Dylan Grigar** stated some were going to be moved, some would remain.

The commissioners had some design questions regarding the windows the representative could not answer.

**Rachel Ellenson** reminded the commission it is Demo Delay. There are no recommendations on design. The commission needs to move to designate the house or release the demolition permit.

**John Saunders** wanted to remind the commissioners this property belonged to Menahem Presslar.

**Chris Sturbaum** wanted to make the release of the permit conditional based on design. **Anahit Behjou** advised she was not aware of the ability to do so.

**Sam DeSollar** made a motion to release **Demo Delay 18-24**. **Lee Sandweiss** seconded. **Motion carried 6/0/0 (Yes/No/Abstain)**.

**Chris Sturbaum** asked legal if the petitioner was committed to what was presented to commission. He stated they may designate the building, depending what the plans were for the structure.

**Jeff Goldin** stated if the commission thinks the house should be designated, they should move to designate no matter what the plans are.

**COA 18-42 (cont. from last meeting)**

325 S. Rogers Street: Prospect Hill

Petitioner: Lynn & Teri Yohn

Replacement of 16 existing windows with custom designed Marvin clad ultimate insert double hung aluminum windows. Resubmission of request from COA 18-29 that was denied. This petition was continued from June 14<sup>th</sup> meeting.

**Jeff Goldin** asked staff if neighborhood feedback was provided. **Rachel Ellenson** stated she did not receive any feedback from Prospect Hill, only Greater Prospect Hill. The feedback she received from Greater Prospect Hill stated they are not comfortable making decisions for houses located in Prospect Hill.

**Jeff Goldin** stated he received an informal response from a neighbor wanting to stay anonymous stating, the homeowners have significantly improved the property, and while the change is significant, it will minimally alter the look of the home.

**Duncan Campbell** stated random neighbor input does not have as much validity compared to a neighbor who is on the design guideline committee.

**Sam DeSollar** stated whoever was advising the owners did not advise them very well.

**Chris Sturbaum** stated he spoke with the sales person who sold the home owners the windows and asked if he advised them to speak the commission first. The sales person stated he did, but they proceeded to purchase the windows.

**Flavia Burrell** asked what happens if they proceed to install the windows.

**Sam Desollar** stated they will have to put the originals back in. If they do not, they can be fined per day until they reinstall the original windows.

**Duncan Campbell** stated the ultimate recourse for the homeowner in a historic district is the court system. He stated he used to teach a preservation law course. All of the cases he is familiar with, the court has always upheld the district regulations.

**John Saunders** made a motion to deny **COA 18-42**.

**Sam DeSollar** seconded. **Motion carried 5/1/0 (Yes/No/Abstain)**

## **VI. COURTESY REVIEW**

NONE

## **VII. NEW BUSINESS**

### **COA 18-49**

#### **618 W. 3<sup>rd</sup> Street**

Staff was advised of a house that did not appear before the commission before they started work on their property. **Rachel Ellenson** stated the home owners received the permits from planning and they were not notified they were in a district, therefore she believes the home owners should not be held accountable for this mistake. Staff requested the commission to make a motion to allow this to be approved on a staff level.

The commission discussed how to improve the process so these permits are not released without an appropriate COA or Demo Delay.

**John Saunders** made a motion to allow staff to approve **COA 18-49** with the contingency that staff approves columns. **Lee Sandweiss** seconded. **Motion carried 6/0/0**.

**Deb Hutton** made a motion to request staff meet with planning regarding permits being released without being seen before the commission. **John Saunders** seconded. **Motion carried 5/0/1 (Yes/No/Abstain)**

## **VIII. OLD BUSINESS**

## **IX. COMMISSIONER COMMENTS**

**John Saunders** announced the house on 717 N Maple Street had caught fire. The fire department has not released a report yet.

**Chris Sturbaum** stated he is working with the Street Department and Public Works regarding historic sidewalks needing repaired. Some of the sidewalks are going to need repaired in the near future.

**X. PUBLIC COMMENTS**

NONE

**XI. ANNOUNCEMENTS**

NONE

**XII. ADJOURNMENT**

Meeting was adjourned at 6:50 pm.

## SUMMARY

### COA 18-49 (Staff Review)

618 W. 3<sup>rd</sup> Street: Greater Prospect Hill  
Petitioner: Eleanor Kinser

Contributing

IHSSI #: 105-055-30016

c. 1948



*Background:* The property located at 618 W. 3<sup>rd</sup> Street is a contributing slightly altered house in good condition that was constructed c. 1948. The property is located within the Greater Prospect Hill Local Historic District and is zoned RC-Residential Core. BHPC granted Staff permission to staff review this project at the June 28, 2018 BHPC meeting.

*Request:* Retroactive approval for: reshingle house and garage, installation of new gutters on house and garage, installation of vinyl siding on house and garage, replacement of front porch concrete slab with new slab, installation of wooden posts to support front porch overhang, replacement of deteriorated porch with wood deck of the same size on the West side of the house, replacement of wooden decking boards on the rear deck with new wood planks, new handrail on the rear deck, construction of steps from the rear deck to the backyard, and replacement of garage door.

*Guidelines:*

***Secretary of the Interior's Standards for Rehabilitation:***

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize property shall be avoided.

***Greater Prospect Hill Local Historic District Design Guidelines***

II. Certificates of Appropriateness

- You will not need to apply for a COA for items including, but not limited to:
  - Routine maintenance replacing in-kind
  - Exterior paint color
  - Remodeling, redecorating or any change to the interior of your home
  - Environmental aspects such as landscaping, accessory structures less than 80 square feet, decks, etc.

VI. Guidelines for Existing Structures

b. Changes to the Public Way Façade

- Retain the proportions of all original openings (e.g. doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house.
- Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
- Vinyl and aluminum siding may be used, although care should be taken during the installation to retain and original materials where they exist.

*Recommendations:* Staff approved COA 18-49 on June 29, 2018. Staff believes that the reshingle of the roofs, replacement of concrete front porch slab with a new slab and replacement of wooden deck boards are considered maintenance and do not require BHPC approval. The replacement of the concrete porch on the East side of the house does not need to be approved because it is not more than 80 sq.ft. The replacement of the siding with vinyl siding, the installation of gutters, construction of stairs from the deck to the backyard, and construction of a new handrail on the rear deck are all actions that are allowable within the Greater Prospect Hill Local Historic District and although the vinyl siding replacement should not have been the first choice for district compatibility, it is an acceptable material.



RECEIVED  
JUN 27 2018

BY: RICE

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: COA 18-49

Date Filed: June 27, 2018

Scheduled for Hearing: July 12, 2018 Staff review

\*\*\*\*\*

Address of Historic Property: 618 W. 3RD STREET

Petitioner's Name: ELEANOR KINSER

Petitioner's Address: 618 W. 3RD STREET

Phone Number/e-mail: 812-606-0005 e.KINSER@sbcglobal.net

Owner's Name: A. Dale & ELEANOR KINSER / MONICA K. FLAKE

Owner's Address: 618 W. 3RD STREET

Phone Number/e-mail: 812-606-0005 e.KINSER@sbcglobal.net

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than the Wednesday before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.



Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. \_\_\_\_\_

2. A description of the nature of the proposed modifications or new construction:

- 1) Install new shingles
- 2) Install vinyl siding
- 3) Install new (North) porch flooring (5/4 treated) (same as existing) Replacing
- 4) Replace broken concrete (east porch) w wood porch
- 5) New gutters - downspouts

3. A description of the materials used.

Shingles - 30 yr. Owens Corning "dimensional"

Vinyl Siding - Vinyl exterior Dutch-lap siding - Grey

5/4 treated exterior flooring

6" seamless gutters

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

















## SUMMARY

COA 18-50

210 E. Gilbert Drive: Matlock Heights  
Petitioner: Russ Herndon

No Attribute Data Found



*Background:* The property located at 210 E. Gilbert Drive was listed on the 2001 SHAARD survey as contributing but was not included in the 2014 survey. The property is located within the Matlock Heights Local Historic District and is zoned RS-Residential Single Family. Based on Elevate records, the house was constructed c. 1955.

*Request:* Construction of a rear addition to install a new pool. Construction of stairs and handrail to connect addition to the backyard. Demolition of existing secondary structure on the rear of the house.

*Guidelines:*

***Secretary of the Interior's Standards for Rehabilitation:***

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize property shall be avoided.

***Matlock Heights Local Historic District Design Guidelines***

Context for New Construction – Developed Site

- A site upon which there is already an existing historic primary structure. New construction usually involves the construction of an accessory building such as a garage. New construction must use the existing historic building as the most important, perhaps only, context. It should not overwhelm in scale or proportion and should not exceed the height of the primary building.

Materials

- Building materials, whether natural or man-made, should be visually compatible with surrounding contributing buildings.
- When hardboard or concrete board siding is used to simulate wood clap board siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
- Limestone/sandstone, brick, clapboard, wood, and cement board are appropriate materials.

*Recommendations:* Staff recommends approval of COA 18-50. Staff believes the design and materials of the addition is sympathetic to the overall historic context of the house and because it will not be visible from the public right of way, it will not detract from the historic integrity of the district. The height of the addition is slightly higher than the ridgeline of the main house, but Staff does not believe this is a detrimental factor. It will be minimally visible or not visible from E. Gilbert Drive.



APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

RECEIVED  
JUL 04 2018  
BY: RICE

Case Number: COA 18-50

Date Filed: July 4, 2018

Scheduled for Hearing: July 12, 2018

\*\*\*\*\*

Address of Historic Property: 210 E. GILBERT DRIVE

Petitioner's Name: RUSS HERNDON - FOR LOREN WOOD BUILDERS

Petitioner's Address: 4413 WATSON RD. NASHVILLE, TN 37248

Phone Number/e-mail: RUSS@RUSHERNDONDESIGN.COM 612-345-0045

Owner's Name: MICHAEL D. MAY, ANN ST. JOHN

Owner's Address: 210 E. GILBERT DR.

Phone Number/e-mail: astjohn@stjohnjass.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.



Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. ATTACHED - ELECTRONIC (EMAIL)

2. A description of the nature of the proposed modifications or new construction:

APPROX. 624 sq GABLE ROOF ADDITION ON THE SOUTH (REAR) OF EXIST. BLDG. (SEE PHOTOS) NOT VISIBLE FROM STREET (WINTER POSSIBLE EAST REAR VIEW THROUGH TREES) PURPOSE TO HOUSE A POOL/HOTTUB/SHOWER AREA - CONNECTED TO MASTER BEDROOM AND ALSO ACCESSIBLE FROM EXTERIOR ENTRANCE ADJACENT TO SCREEN PORCH & COVERED CORRIDOR.

3. A description of the materials used. - THE HOME IS CLAD IN BEVEL WOOD SIDING WITH A DARK BROWN FINISH. OPTIONS PROPOSED TO CLIENT INCLUDE HORIZONTAL TYPE SIDING LAP, TO MATCH WITH A SOLID COLOR STAIN, ANOTHER OPTION POSSIBLY SELECTED COULD BE CEMENT BOARD\* T-111 TYPE SIDING, TO VISIBLY DEFINE THE POOL ADDITION "PHASE" IN THE HISTORY OF THE IMPROVEMENT OR CHANGES TO THE HOME.

\* WITH OR WITHOUT VERTICAL GROOVES - (WOOD EMBOSS TEXTURE)

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate. (EMAILED)

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

ATTACHED VIA EMAIL

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



DULY ENTERED  
FOR TAXATION

SEP 17 2008

2008015605 WAR \$16.00  
09/17/2008 03:02:53P 1 PGS

*London M. Newmann*  
Auditor Monroe County, Indiana

Monroe County Recorder IN  
Recorded as Presented

Grantor address same as tax billing address      Mail Tax Statements To: 210 E. Gilbert, Bloomington, IN 47408

## WARRANTY DEED

This indenture witnesseth that

MICHAEL D. MAY and ANN ST. JOHN, husband and wife, of Monroe County in the State of Indiana, as Grantors, for and in consideration of One and No/100 Dollars (\$1.00) the receipt whereof is hereby acknowledged, convey and warrant to the Grantee, MICHAEL D. MAY, Trustee of the MICHAEL D. MAY REVOCABLE LIVING TRUST, created under Trust Agreement dated September 8, 1994, as amended and restated, of Monroe County in the State of Indiana, the following Real Estate in Monroe County, in the State of Indiana, to wit:

Lots Number Twenty-nine (29) and Thirty (30) in Matlock Heights, an addition to the City of Bloomington, Indiana, as shown by the plat thereof recorded in Plat Cabinet B, Envelope 61 in the office of the Recorder of Monroe County, Indiana.

Property address known as 210 E. Gilbert, Bloomington, IN 47408      013-4190-00

SUBJECT TO all covenants, conditions, restrictions, liens, leases, easements, assessments, and legal rights of way of record.

The undersigned hereby represents that based upon their best knowledge and belief, and based upon their period of ownership thereof, this real estate is not "property" as defined in Indiana Code 13-11-2-174, and has not been used as a landfill or dump, and contains no underground storage tanks or toxic or hazardous waste or materials, and that no disclosure statement under Indiana Code 13-25-3-1, et. seq. (Indiana Responsible Property Transfer Law), is required for this transaction.

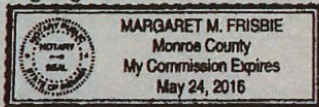
Dated this 11 day of SEPTEMBER, 2008.

*Michael D. May*  
MICHAEL D. MAY

*Ann St. John*  
ANN ST. JOHN

STATE OF INDIANA      )  
COUNTY OF MONROE      )

Before me, the undersigned, a Notary Public in and for said County and State, this 11 day of September, 2008, personally appeared: MICHAEL D. MAY and ANN ST. JOHN, and acknowledged the execution of the foregoing deed. In witness whereof, I have hereunto subscribed my name and affixed my officer seal.



*Margaret M. Frisbie*  
Signature of Notary Public

"I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law."

*Margaret M. Frisbie*  
Margaret M. Frisbie, Attorney at Law

This instrument prepared by:  
Margaret M. Frisbie #16256-53  
BUNGER & ROBERTSON  
226 South College Avenue, P.O. Box 910  
BLOOMINGTON, IN 47402-0910 - (812) 332-9295











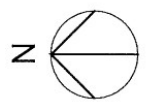
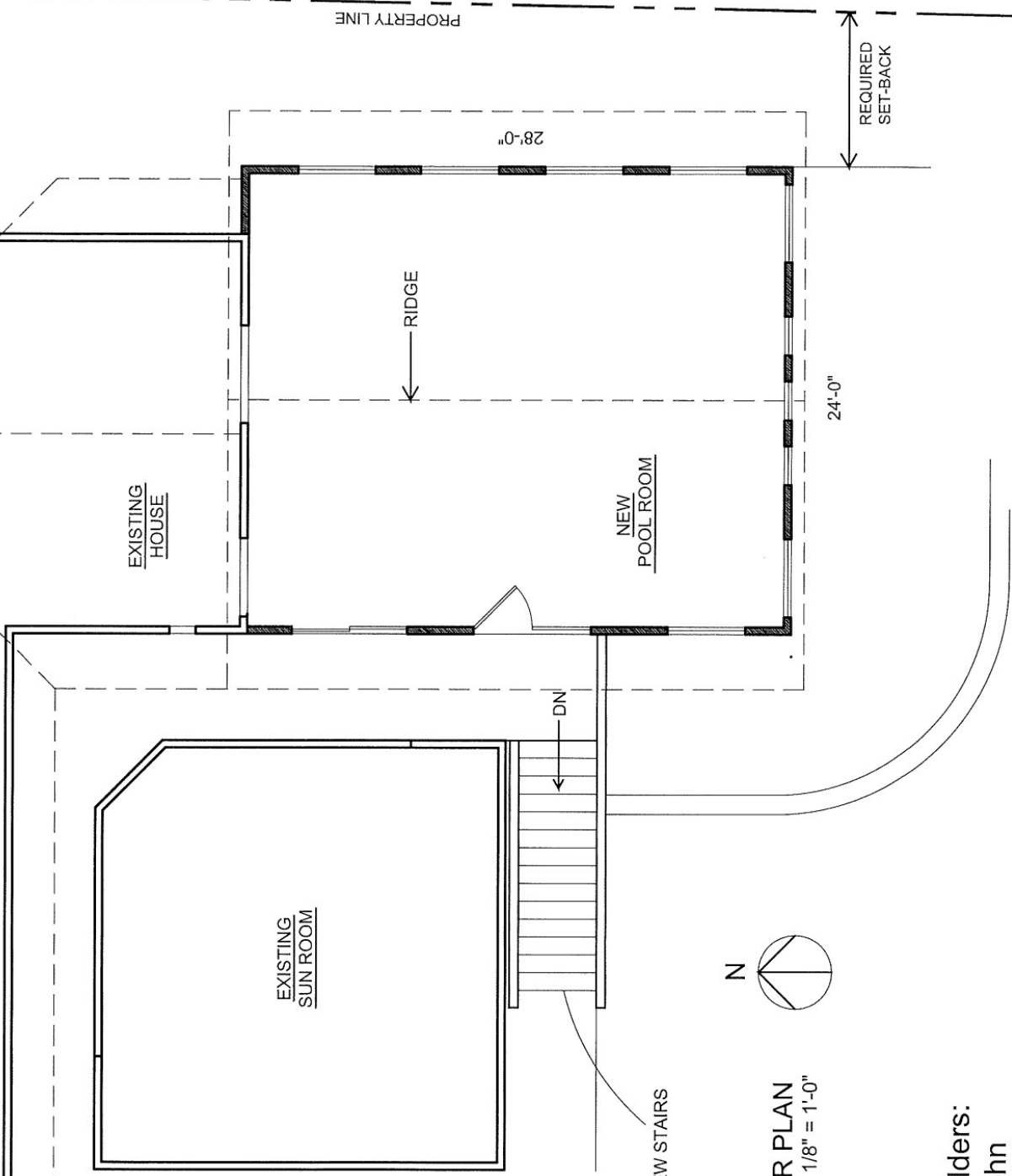






POOL ROOM ADDITION

07.04.18



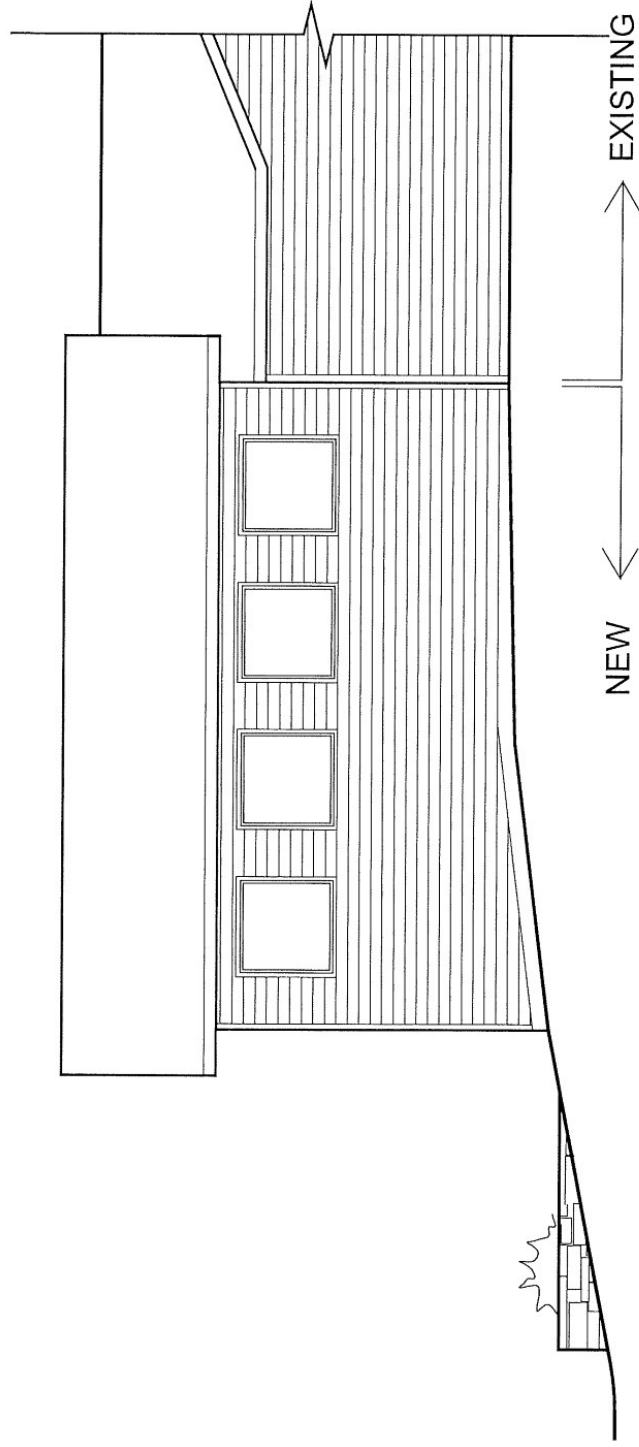
FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Loren Wood Builders:  
customer: St. John  
210 E. Gilbert Dr. Bloomington, IN



POOL ROOM ADDITION

07.04.18

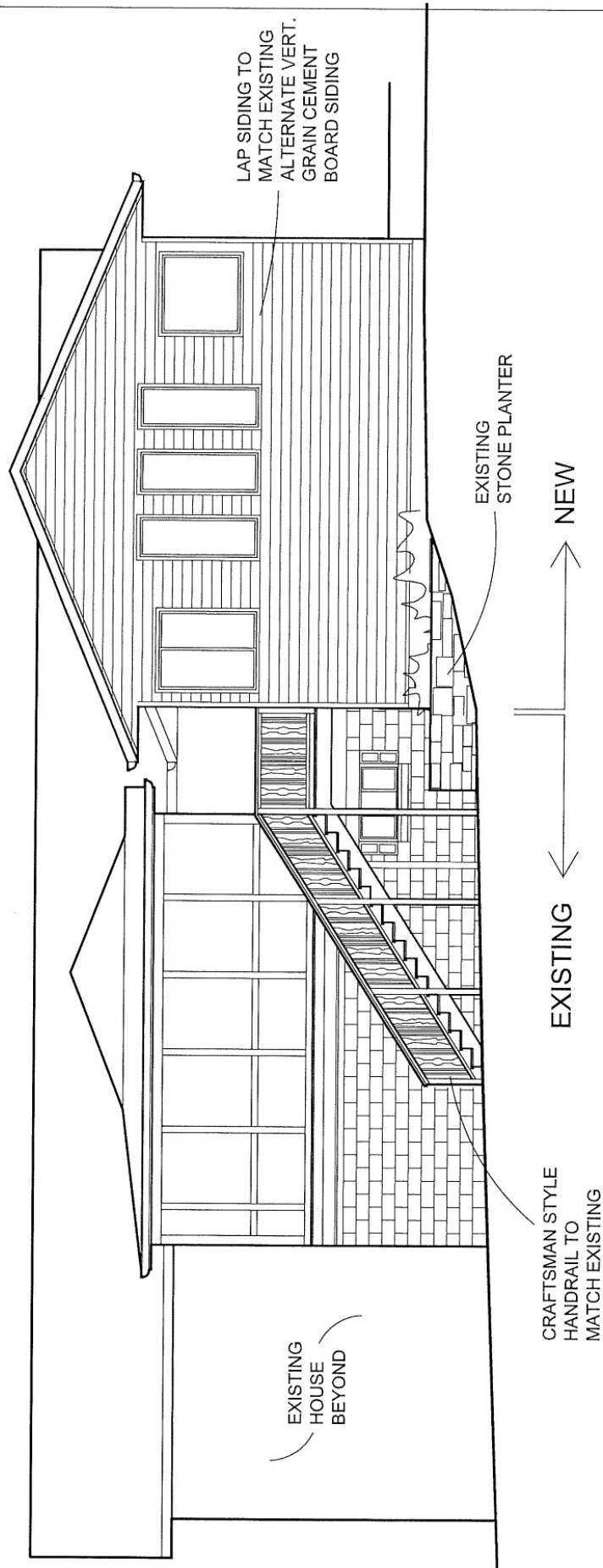


SIDE / EAST ELEVATION  
SCALE: 1/8" = 1'-0"

Loren Wood Builders:  
customer: St. John  
210 E .Gilbert Dr. Bloomington, IN

POOL ROOM ADDITION

07.04.18



REAR / SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Loren Wood Builders:  
customer: St. John  
210 E. Gilbert Dr. Bloomington, IN

## SUMMARY

### **Demo Delay 18-25**

407 E. Grimes Street  
Petitioner: Dave Noggle

Contributing

IHSSI #: 105-055-60875

c. 1930



*Background:* The house property located at 407 E. Grimes Street is a contributing slightly altered California Bungalow in good condition that was constructed c. 1930. The property is zoned RC-Residential Core.

*Request:* Partial demolition – construction of an addition.

*Guidelines:* According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. Commission staff received the application on June 29, 2018 and the 90 day review period expires on September 27, 2018. The BHPC may thus employ demolition delay for 90 days from the date the application was received and may request an additional 30 days if necessary for further

investigation with the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

*Recommendations:* Staff recommends releasing demo delay 18-25. Staff believes the property merits inclusion in a larger historic district but does not feel the house deserves stand-alone designation at this time. The addition will substantially increase the footprint of the existing house, but there have already been several additions and renovations prior to this work. Most of the exterior historic features have already been altered.

# PALUSZKIEWICZ & AUSBROOK ADDITION AND REMODEL

ARCHITECT'S PROJECT NUMBER 2017-09 MAY 14, 2018

## DRAWING SET INDEX

- S.1 COVER / INDEX / SITE/ROOF PLAN
- D.1 DEMOLITION PLAN
- A.1 FOUNDATION PLAN
- A.2 FLOOR PLAN
- A.3 EXTERIOR ELEVATIONS
- A.4 EXTERIOR ELEVATIONS
- A.5 BUILDING SECTIONS / SCHEDULES
- A.6 BUILDING SECTION / SCHEDULES
- E.1 ELECTRICAL PLAN

Architectural Design  
L NOGGLE  
PH 812.320.5665  
noggedesign@gmail.com

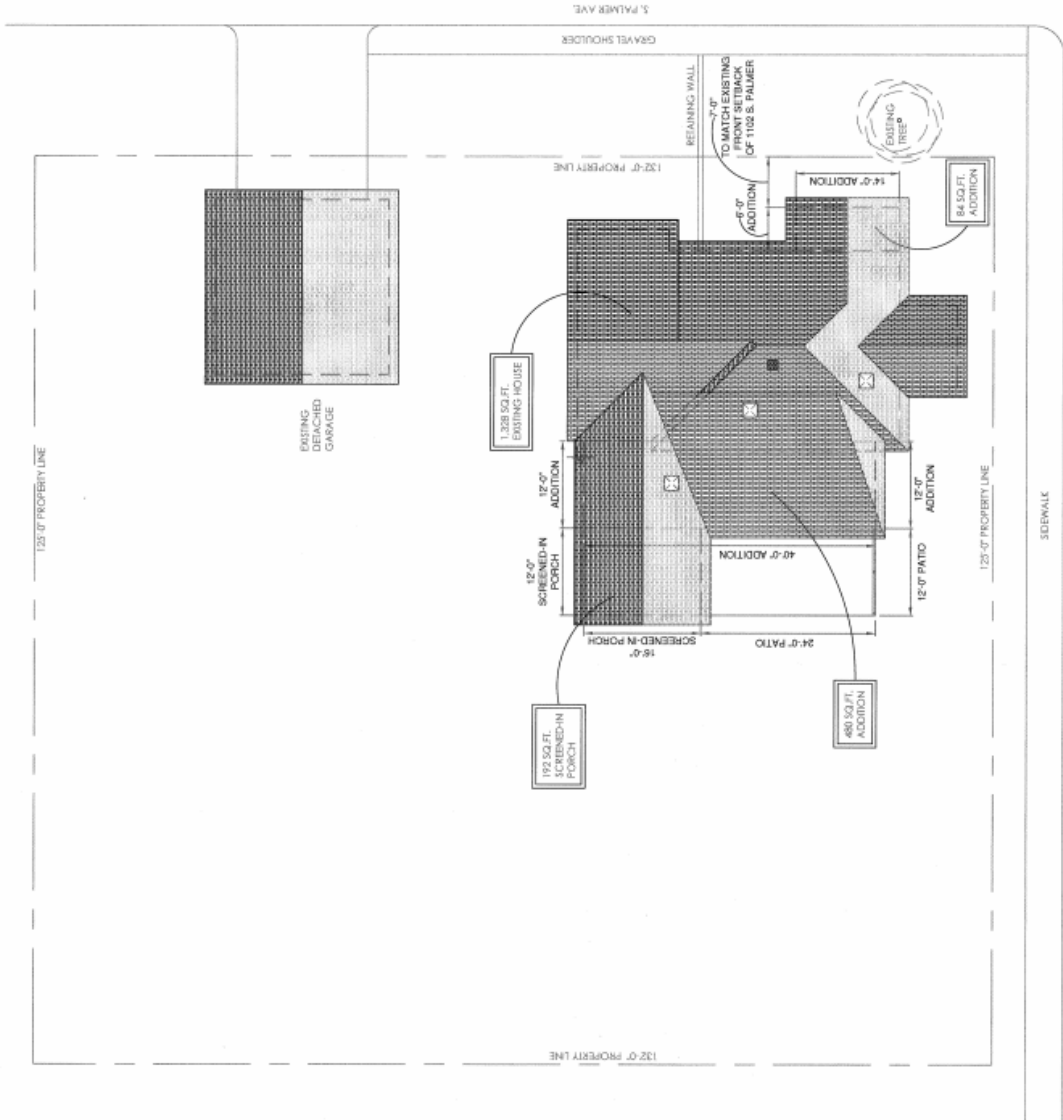
Project - AUSBROOK/PALUSZKIEWICZ  
RES ADD-407  
Address - 407 GRIMES ST E  
Parcel - 015452040  
App # - 65939 Top - PR 4

REVISIONS

RESIDENTIAL REMODEL AND ADDITION  
PALUSZKIEWICZ-AUSBROOK FAMILY  
INDIANA  
407 E. GRIMES LN.  
BLOOMINGTON

PROJECT NUMBER: 2017-09  
DATE: MAY 14, 2018  
DRAWN BY: L NOGGLE

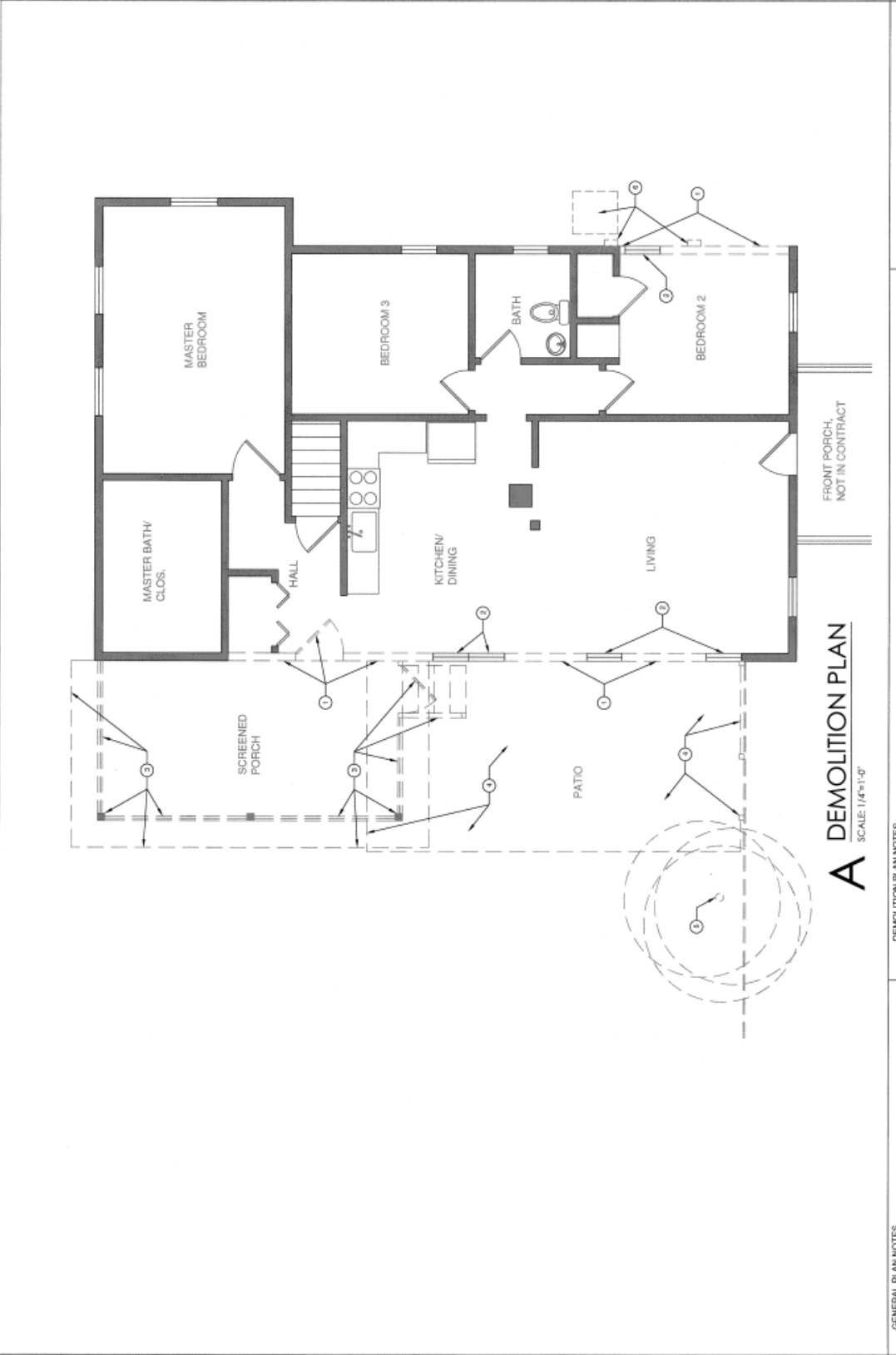
COVER, SITE PLAN,  
DRAWING INDEX  
**S.1**



**A** SITE PLAN  
SCALE: 3/32"=1'-0"



SIDEWALK  
E. GRIMES LANE



**A DEMOLITION PLAN**  
 SCALE: 1/4"=1'-0"

**GENERAL PLAN NOTES**

- ALL EXTERIOR WALLS ARE TO BE INSULATED PER WOOD STUD WALLS
- ALL INTERIOR WALLS ARE TO BE 2X4 INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED
- CONSTRUCTION AND INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES
- FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASING/TO BE SURE OF PROPER FIT
- REPORT ANY DISCREPANCIES ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION TO THE ARCHITECT
- PROVIDE WOOD BLOORING IN WALLS AS REQUIRED BEHIND ALL CASINGWORK, MOORS, SHELVING, ETC...
- PLUMBING AND HVAC CONTRACTORS TO PROVIDE RESPECTIVE DESIGN LAYOUT, BEING AS REQUIRED PER TRADE PER CODE
- FINAL SHELVING DESIGN AND LAYOUT (CLOSETS, STORAGE CLOSETS, PANTRY) TO BE DETERMINED BY OWNER AND CONTRACTOR

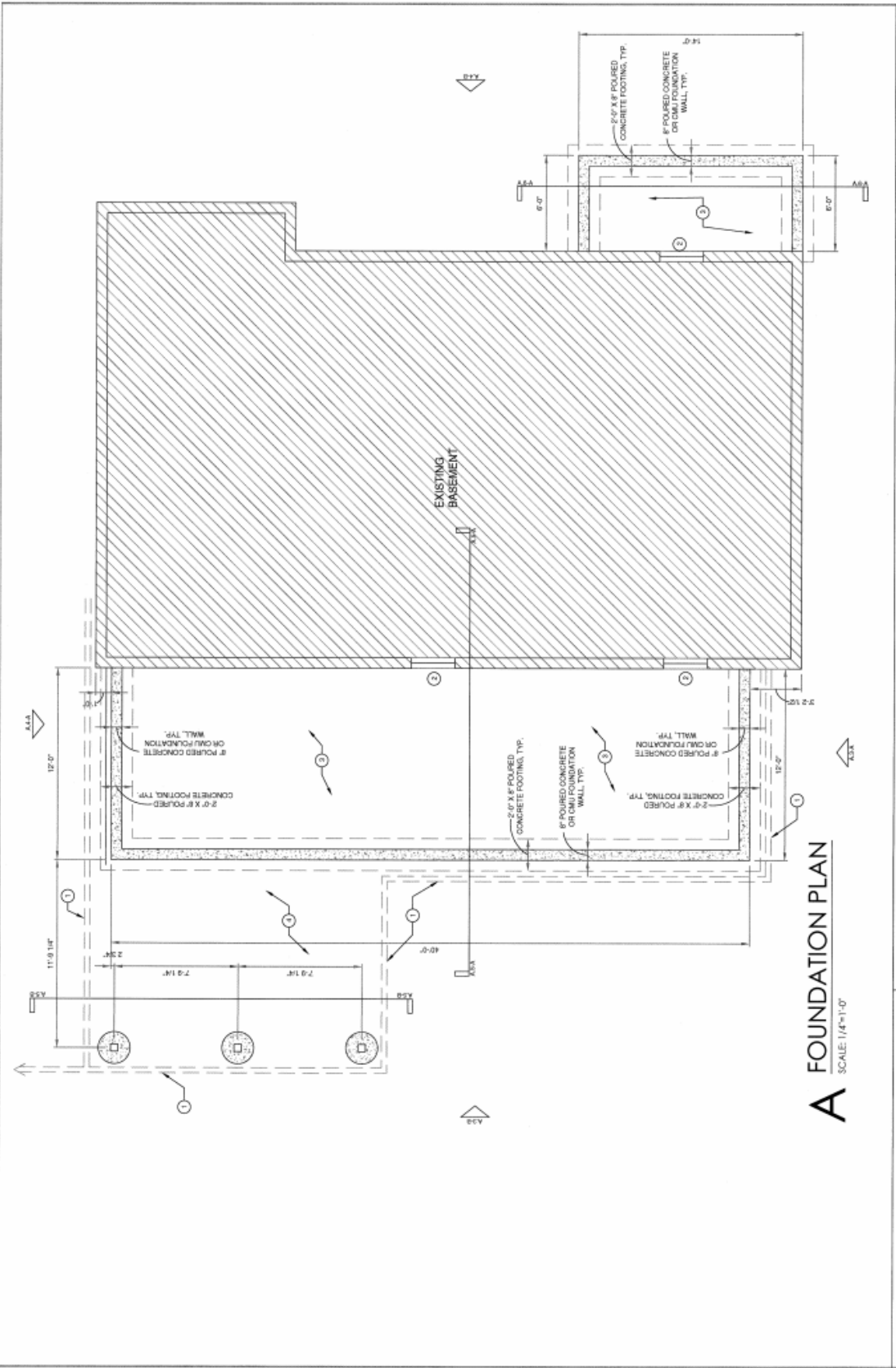
**DEMOLITION PLAN NOTES**

- REMOVE WALLS/DOOR/CONDITIONS COMPLETE. STABILIZE EXISTING STRUCTURE FOR NEW CONDITIONS
- REMOVE WINDOWS IN FACT. SAVE FOR RE-USE IN NEW ADDITION
- REMOVE SCREENED-IN PORCH, PORCH ROOF AND STEPS COMPLETE
- REMOVE PATIO AND FENCE AS NEEDED FOR NEW CONSTRUCTION
- REMOVE TREE IF NEEDED FOR CONSTRUCTION
- MOVE AC UNITS AND OTHER UTILITIES ON THIS WALL TO NEW LOCATION AS NECESSARY FOR NEW CONDITIONS

**PLAN KEY**

- STRUCTURE OR EXISTING CONDITIONS TO BE REMOVED
- EXISTING WALLS TO REMAIN



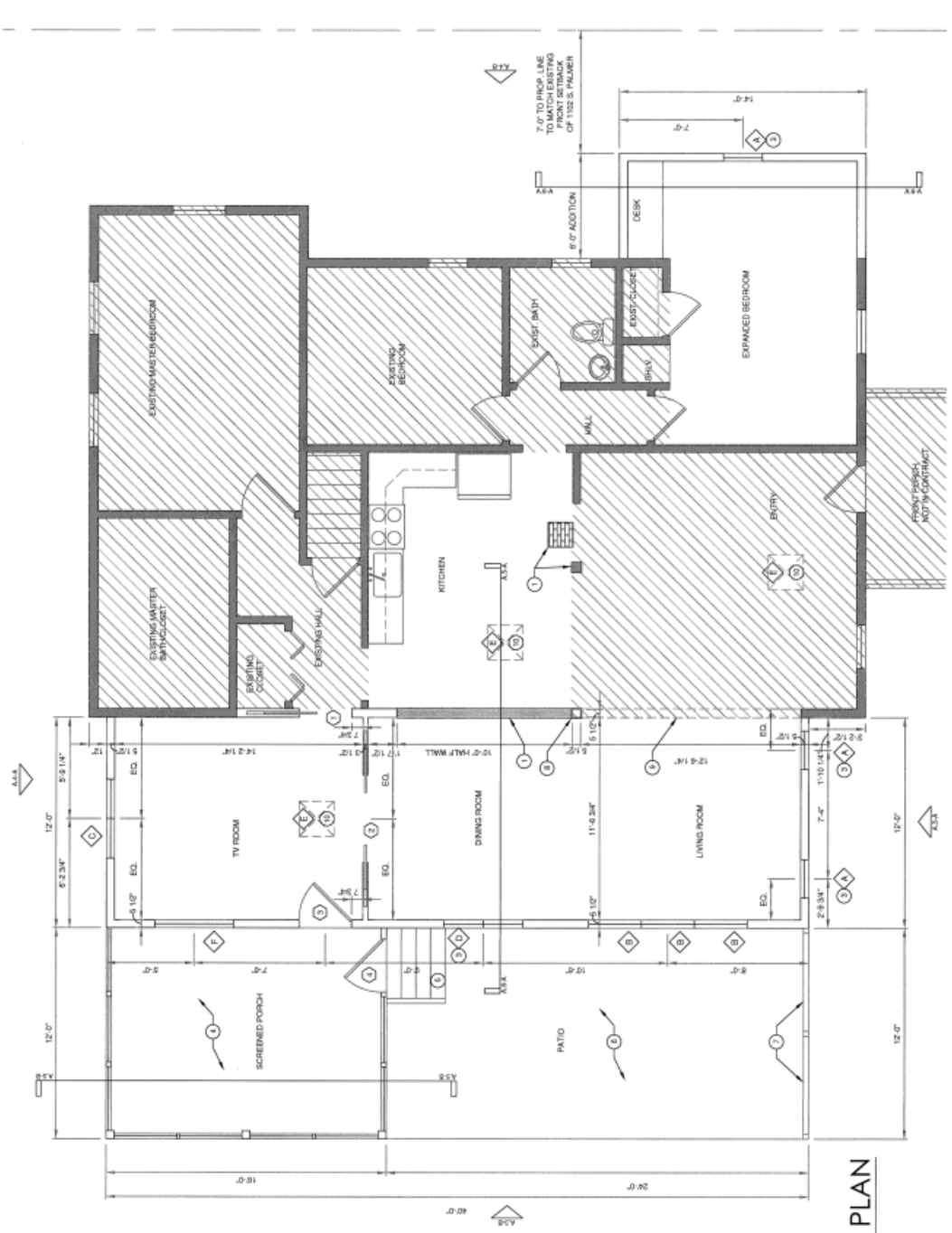


**A FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0"

- PLAN KEY**
- 8" POURED CONCRETE OR CMU FOUNDATION WALL
  - 2'-0" X 8" POURED CONCRETE FOOTING, TYP.
  - ALL FOUNDATION WALLS
  - HATCHED AREA INDICATES AREA NOT IN CONTACT
  - EXTERIOR ELEVATION PAGE NUMBER
  - SECTION PAGE NUMBER

- FOUNDATION PLAN NOTES**
- 1 PERFORATED PERIMETER DRAIN, CONNECT DOWNPOUTS AND DRAIN TO DOWNLIGHT
  - 2 REMOVE BASEMENT WINDOW TO CREATE ACCESS PANEL, TO NEW CONDITIONED AREA FOR GARAGE SPACE FOR DRIBBLE
  - 3 CONDITIONED AND SEALED CRAWLSPACE UNDER ADDITION
  - 4 OPEN CRAWLSPACE UNDER NEW SCREENED IN PORCH

- GENERAL PLAN NOTES**
- A. ALL EXTERIOR WALLS ARE TO BE INSULATED 2X11 WOOD STUD WALLS
  - B. ALL INTERIOR WALLS ARE TO BE 2X4 INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - C. CONSTRUCTION AND INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
  - D. FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASWORK TO BE SURE OF PROPORTION.
  - E. REPORT ANY DISCREPANCIES ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION, TO THE ARCHITECT.
  - F. DIMENSIONS ON FLOOR PLANS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD.
  - G. PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEHIND ALL CASWORK, BOOKS, SHELVING, ETC..
  - H. PLUMBING AND HVAC CONTRACTORS TO PROVIDE RESPECTIVE DESIGN LAYOUT, SIZING AS REQUIRED PER TRADE PER CODE.
  - J. FINAL SPELWING DESIGN AND LAYOUT (CLOSETS, STORAGE CLOSETS, PANTRY) TO BE DETERMINED BY OWNER AND CONTRACTOR.



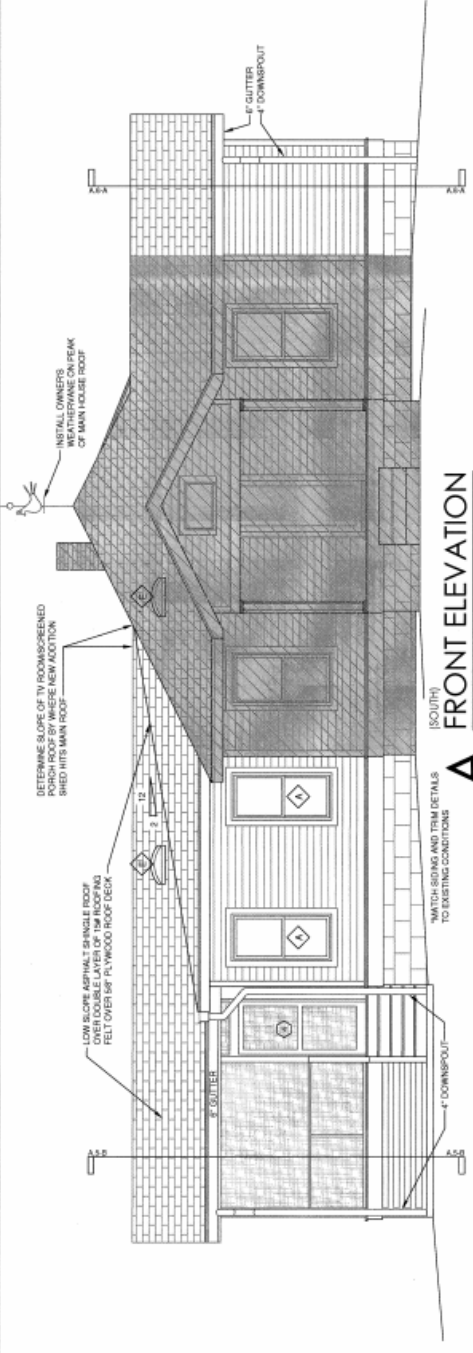
**A FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED 2W WOOD STUD WALLS
  - ALL INTERIOR WALLS ARE TO BE 2W INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - CONSTRUCTION AND INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
  - FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO EMERGENCY OF ANY CASWORK TO BE SAKE OF PROPER FIT.
  - REPORT ANY DISCREPANCIES ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION.
  - DIMENSIONS ON FLOOR PLAN ARE MEASURED FROM FACE OF STUD TO FACE OF STUD, ETC.
  - PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEHIND ALL CASWORK, BOOKS, SHELVING, ETC.
  - OWNER AND ARCHITECT TO PROVIDE RESPECTIVE DESIGN LAYOUT, SIDING AS REQUIRED PER TRADE PER CODE.
  - FINAL AS-BUILT RECORDS AND AS-BUILT CLOSES, STORAGE CLOSETS, PAINTING TO BE DETERMINED BY OWNER AND CONTRACTOR.

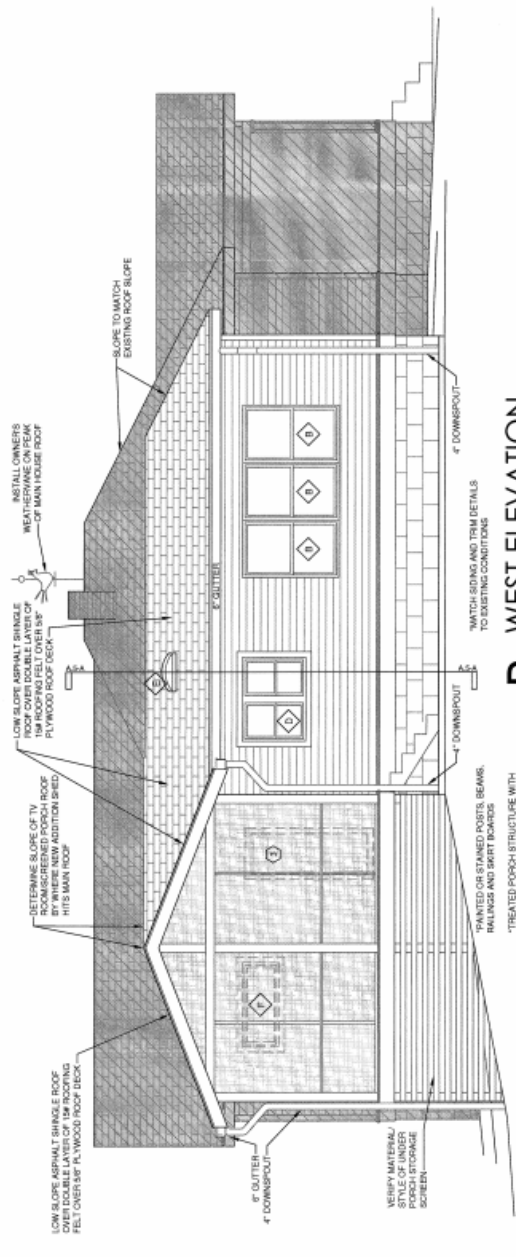
- FLOOR PLAN NOTES**
- EXISTING CHIMNEY AND POST TO REMAIN
  - PARTIAL HEIGHT WALL AT 4'-0" HIGH GYPSUM WALL SIDES, STAINED WOOD GAP
  - RE USE SALVAGED WINDOWS FROM ORIGINAL EXTERIOR WALLS IN THIS LOCATION
  - NEW SCREENED IN PORCH FRAME STRUCTURE WITH TREATED WOOD. TRIM FOR MATERIALS WITH OWNER. EXTERIOR TRIM AND INTERIOR TRIM AND FINISH MATERIALS WITH OWNER.
  - NEW TREATED WOOD FRAMED AND TRIM DECKING OR SIMILAR PORCH STEPS
  - NEW PATIO, VERIFY MATERIALS WITH OWNER
  - NEW PRIVACY FENCE
  - NEW POST, WRAP AND PAINT OR STAIN, VERIFY WITH OWNER
  - TO REMOVE NEW CASWORK IN ORIGINAL EXTERIOR WALL, WRAP AND PAINT OR STAIN, VERIFY WITH OWNER
  - 200 BRIGHTS

- PLAN KEY**
- HATCHED AREA INDICATES AREAS NOT IN CONTRACT
  - REWORKED FOR 2W WOOD FRAMED WALLS, VERIFY ON PLANS
  - EXISTING WALLS TO REMAIN
  - PARTIAL WALL, STAIR, OR FURNISHINGS
  - STRUCTURE, FURNISHING, CEILING, OR BEAM ABOVE
  - WINDOW NUMBER
  - DOOR NUMBER
  - EXTERIOR ELEVATION PAGE NUMBER
  - INTERIOR ELEVATION PAGE NUMBER
  - SECTION PAGE NUMBER





**A** FRONT ELEVATION  
 SCALE: 1/8"=1'-0"

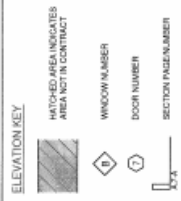
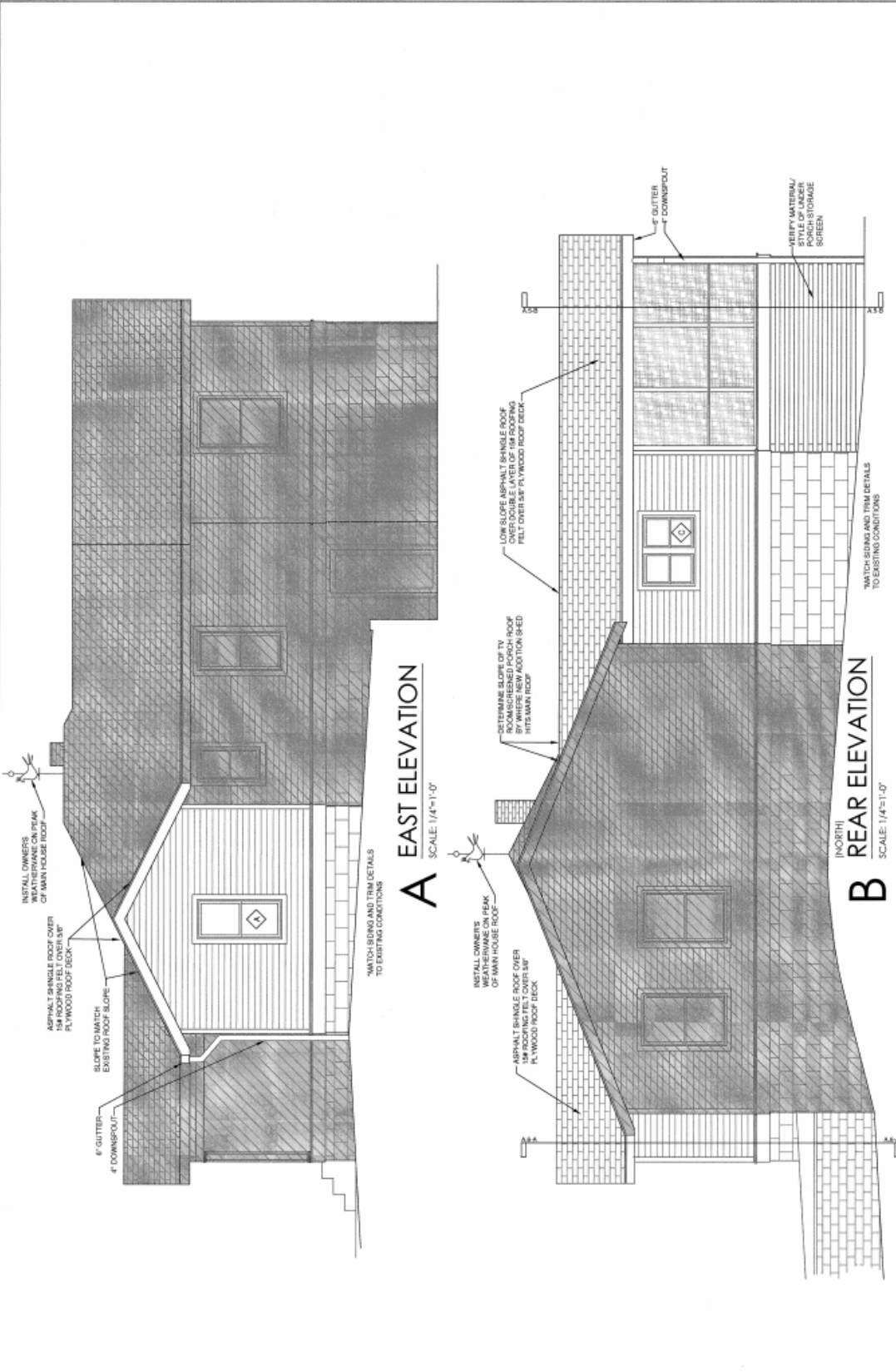


**B** WEST ELEVATION  
 SCALE: 1/8"=1'-0"

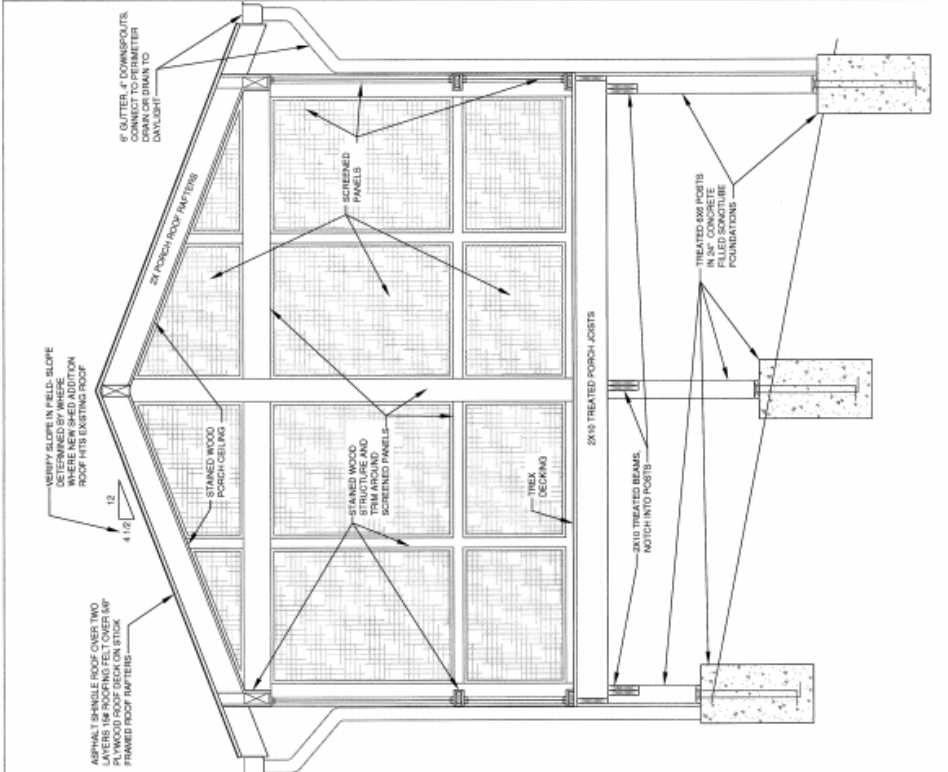
**ELEVATION KEY**

	HATCHED AREA INDICATES AREA NOT IN CONTRACT
	WINDOW NUMBER
	DOOR NUMBER
	SECTION PAGE NUMBER

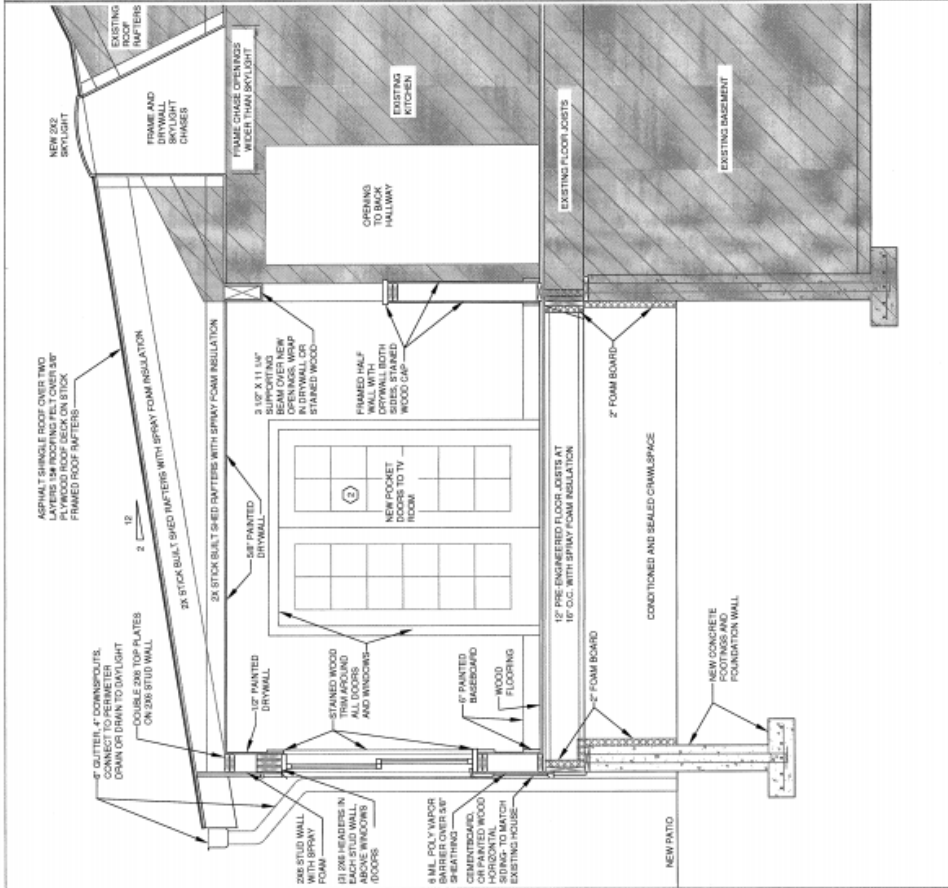
- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED 2X6 WOOD STUD WALLS
  - ALL INTERIOR WALLS ARE TO BE 2X4 INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - CONSTRUCTION AND INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
  - FIELD OF PORCH OR OTHER FINISHES TO BE DETERMINED BY ARCHITECT.
  - HEIGHT AND SPACINGS ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION.
  - HEIGHT AND SPACINGS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD.
  - PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEING ALL CASERWORK, DOORS, SHELVEYS, ETC.
  - CONTRACTOR AND SUB CONTRACTORS TO PROVIDE RESPECTIVE DESIGN, LAYOUT, BRING AS REQUIRED AND TAKE CARE TO FOLLOW ALL APPLICABLE CODES AND REGULATIONS.
  - FINAL SIZE AND SPACING OF STUDS, STORAGE CLOSETS, PANTRY) TO BE DETERMINED BY OWNER AND CONTRACTOR.



- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED 2X6 WOOD STUD WALLS
  - ALL INTERIOR WALLS ARE TO BE 2X4 INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED
  - CONSTRUCTION AND INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES
  - FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASERWORK TO BE SURE OF PROPER FIT
  - REPORT ANY DISCREPANCIES ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION TO THE ARCHITECT
  - DIMENSIONS ON FLOOR PLANS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED
  - DOOR AND WINDOW CASERWORK TO PROVIDE RESPECTIVE DESIGN LAYOUT. SIZING AS REQUIRED PER TRADE PER CODE
  - FINAL BUILDING DESIGN AND LAYOUT (SCHEDULES, STORAGE CLOSETS, PANTRY) TO BE DETERMINED BY OWNER AND CONTRACTOR



**B BUILDING SECTION**  
 SCREENED-IN PORCH  
 SCALE: 1/2"=1'-0"



**A BUILDING SECTION**  
 MAIN ADDITION  
 SCALE: 1/2"=1'-0"

**FINISH SCHEDULE**

ROOM NAME	FLOOR	TRIM	CEILING	N.WALL	E.WALL	S.WALL	W.WALL	NOTES
LIVING ROOM	WOOD	ST-WOOD	GWB	-	-	GWB	GWB	
DINING ROOM	WOOD	ST-WOOD	GWB	GWB	-	-	GWB	
TV ROOM	WOOD	ST-WOOD	GWB	GWB	GWB	GWB	GWB	
SCREENED-IN PORCH	TRICK	ST-WOOD	ST-WOOD	SCREEN	SCREEN	SCREEN	SCREEN	
PATIO	LIMESTONE	-	-	SCREEN	SCREEN	SCREEN	-	

**FINISH SCHEDULE KEY:**

BASE, DOOR/WINDOW TRIM		CEILING, WALLS	
WOOD:	FINISHED WOOD	GWB:	PAINTED GYPSUM WALL BOARD
TRICK:	COMPOSITE DECKING	SCREEN:	EXTERIOR SIDING
LIMESTONE:	LIMESTONE PATIO PAVERS	SCREEN:	SCREENED-IN PORCH WALLS

**DOOR SCHEDULE**

OPENING NO.	ROOM NAME	R.O. WIDTH	R.O. HEIGHT	TYPE / LOCKSET	REMARKS
1	SCREENED-IN PORCH	3'-0"	6'-9"	ENTRY/DEADBOLT	ENTRY DOOR TO PORCH
2	HALL	3'-0"	6'-8"	PASSAGE	POCKET DOOR
3	TV ROOM	(2) 3'-0"	6'-9"	PASSAGE	FULL LITE DOUBLE POCKET DOORS
4	PATIO	3'-0"	6'-8"	PASSAGE	SCREEN DOOR

**DOOR SCHEDULE NOTES:**

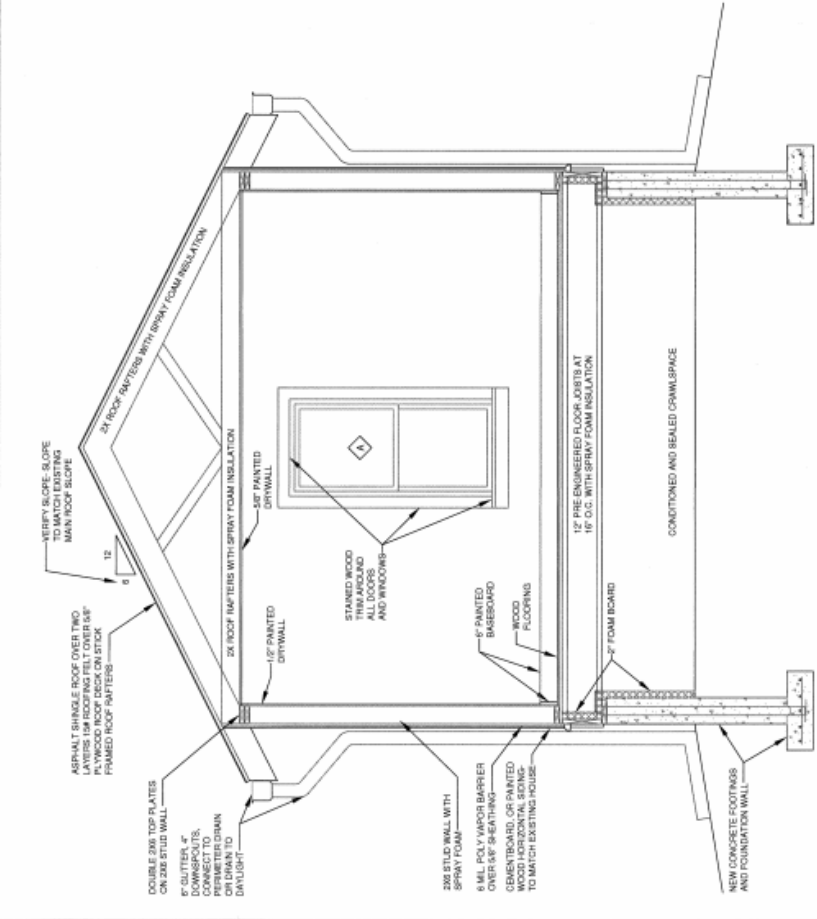
- VERIFY DOOR STYLES AND COLOR WITH OWNER & ARCHITECT
- VERIFY DOOR HARDWARE STYLE AND COLOR WITH OWNER AND ARCHITECT

**WINDOW SCHEDULE**

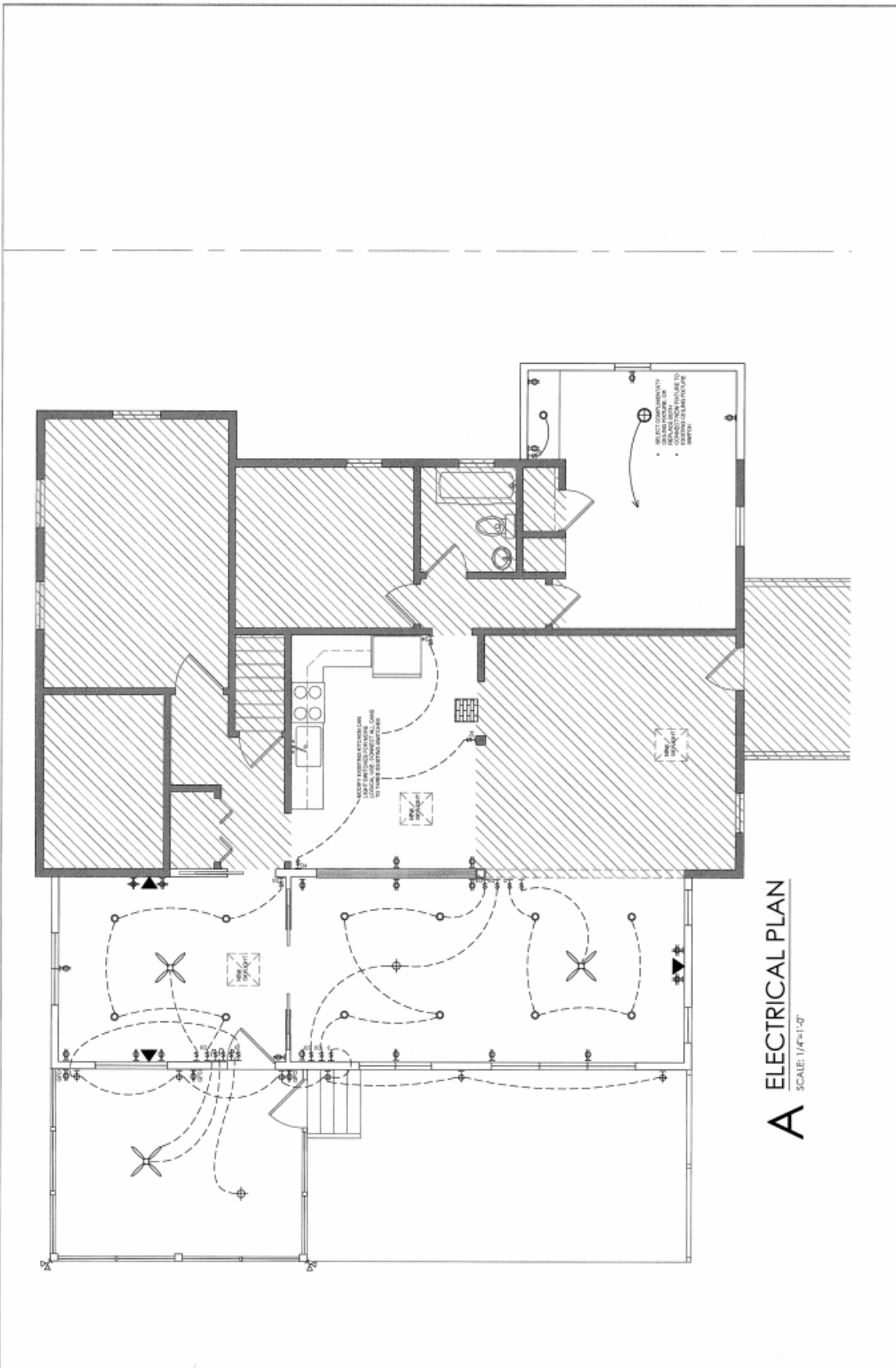
OPENING NO.	R.O. WIDTH	R.O. HEIGHT	TYPE	QTY	NOTES
A	EXISTING	EXISTING	EXISTING DOUBLE-HUNG	3	RE-USE SALVAGED WINDOWS IN THESE NEW LOCATIONS
B	3'-0"	5'-0"	DOUBLE-HUNG	3	
C	(2) 2'-0"	3'-0"	DOUBLE-HUNG	1	
D	EXISTING	EXISTING	EXISTING	3	RE-USE SALVAGED WINDOWS IN THESE NEW LOCATIONS
E	2'-0"	2'-0"	SKYLIGHT	3	INSTALL BETWEEN ROOF RAFTERS
F	4'-6"	1'-6"	AWNING	1	

**WINDOW SCHEDULE NOTES:**

- WINDOWS TO BE: FELLA OR SIMILAR- MATCH STYLE AND COLOR TO EXISTING WINDOWS AS MUCH AS POSSIBLE
- VERIFY HARDWARE/OTHER OPTIONS WITH OWNER
- VERIFY WALL THICKNESS / WALL TYPE FOR PROPER JAMB EXTENSIONS



**A**  
 BEDROOM ADDITION  
**BUILDING SECTION**  
 SCALE: 1/2"=1'-0"



**A ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"

- GENERAL PLAN NOTES**
- A. ALL EXTERIOR WALLS ARE TO BE INSULATED 2X4 WOOD STUD WALLS
  - B. ALL EXTERIOR WALLS ARE TO BE 2X4 INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - C. EXTERIOR WALL INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
  - D. FIELD MEASURE ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CABINETRY TO BE SURE OF PROPER FIT.
  - E. MEASURE ANY DIMENSIONS RECOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION, TO THE ARCHITECT.
  - F. DIMENSIONS ON FLOOR PLANS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD, SILEX PANEL ETC.
  - G. PROVIDE WOOD BLOTTING IN WALLS AS REQUIRED PER ALL ONE-WORK, HOORS.
  - H. PLUMBING AND HVAC CONTRACTORS TO PROVIDE RESPECTIVE DESHIAL LAYOUT, SOND AS REQUIRED PER TRADE FOR GOOD.
  - I. THE SHEDDING DESIGN AND LAYOUT (CLOSETS, STORAGE CLOSETS, PANTRY) TO BE DETERMINED BY OWNER AND CONTRACTOR.

- FIRST FLOOR ELECTRICAL KEY**
- CAN LIGHT
  - ⊕ CEILING MOUNT LIGHT
  - ⊕ REFRIG
  - ⊕ REFRIG/MICROWELLER
  - ⊕ SINKS LIGHT
  - ⊕ FLOOD LIGHTS
  - ⊕ CEILING FAN
  - OUTLET
  - GFI OUTLET
  - GFI OUTLET
  - ⊕ SWITCH
  - ⊕ THREE-WAY SWITCH
  - ⊕ DIMMER SWITCH
  - ⊕ TERMINATED CONNECTIONS, ANTENNA, LABEL DATA

**ELECTRICAL PLAN NOTES**

- EXTERIOR WALLS: TWO LAYERS OF 2X4 WOOD INSULATION WITH 2" FIBER INSULATION BETWEEN
- SM OR 2X4 WOOD FRAMED WALLS, VERIFY ON PLANS
- PARTIAL WALL STAIR, OR FURNISHING
- VERIFY LITE, FURNISHING, CEILING, OR BEAM ABOVE
- WINDOW NUMBER
- DOOR NUMBER
- EXTERIOR ELEVATION PAGE NUMBER
- INTERIOR ELEVATION PAGE NUMBER
- SECTION PAGE NUMBER

**PLAN KEY**

- ⊕ 2X4 WOOD INSULATION WITH 2" FIBER INSULATION BETWEEN
- ⊕ PARTIAL WALL STAIR, OR FURNISHING
- ⊕ VERIFY LITE, FURNISHING, CEILING, OR BEAM ABOVE
- ⊕ WINDOW NUMBER
- ⊕ DOOR NUMBER
- ⊕ EXTERIOR ELEVATION PAGE NUMBER
- ⊕ INTERIOR ELEVATION PAGE NUMBER
- ⊕ SECTION PAGE NUMBER



## SUMMARY

### Demo Delay 18-26

1005 S. Washington Street  
Petitioner: Steve Host

Contributing

IHSSI #: 105-055-52080

c. 1930



*Background:* The property located at 1005 S. Washington Street is a contributing slightly altered California Bungalow in good condition that was constructed c. 1930. The property is zoned RC-Residential Core.

*Request:* Full demolition of garage on the rear of the property.

*Guidelines:* According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. Commission staff received the application on June 29, 2018 and the 90 day review period expires on September 7, 2018. The BHPC may thus employ demolition delay for 90 days from the date the application was received and may request an additional 30 days if necessary for further

investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

*Recommendations:* Staff recommends releasing demo delay 18-26. Staff does not believe the house and garage merit stand-alone designation but would contribute to a larger historic district if one were ever proposed.















## SUMMARY

### **Demo Delay 18-27**

1009 S. Lincoln Street  
Petitioner: Loren Wood Builders

Notable

IHSSI #: 105-055-52095

c. 1915



*Background:* The property located at 1009 S. Lincoln Street is a notable slightly altered hall and parlor house in good condition that was constructed c. 1915. The property is zoned RC-Residential Core.

*Request:* Partial demolition – construction of new dormers on the garage to create a living space.

*Guidelines:* According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. Commission staff received the application on July 3, 2018 and the 90 day review period expires on October 1, 2018. The BHPC may thus employ demolition delay for 90 days from the date the application was received and may request an additional 30 days if necessary for further

investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

*Recommendations:* Staff recommends releasing demo delay 18-27. Staff believes that the house would merit stand-alone designation for its architectural integrity, but Staff also believes that the proposed alterations to the secondary structure will not impact the historic integrity of the primary structure.





