

CITY OF BLOOMINGTON



PLAT COMMITTEE

**February 11, 2019 @ 4:00 p.m.
CITY HALL - KELLY
CONFERENCE ROOM #155**

ROLL CALL

MINUTES TO BE APPROVED: October 2018, December 2018

REPORTS, RESOLUTIONS, AND COMMUNICATIONS:

PETITIONS:

- DP-34-18 **Habitat for Humanity**
1003 W. 11th St.
Final plat approval for a 2 lot subdivision for property zoned Residential Core (RC) utilizing the Affordable Housing Standards of 20.05.009
Case Manager: Amelia Lewis
- DP-04-19 **Sentinel Indiana LLC**
3800 S. Sare Rd.
Final plat amendment to Canada Farm Phase III plat to amend existing easement.
Case Manager: Eric Greulich
- DP-05-19 **Ramsey Land Development**
1530 & 1560 S. Piazza Dr.
Final plat to amend Lots 200 & 201 of the Renwick Phase III plat.
Case Manager: Amelia Lewis

**BLOOMINGTON PLAT COMMITTEE
STAFF REPORT
Location: 1003 W 11th Street**

**CASE #: DP-34-18
DATE: February 11, 2019**

**PETITIONER: Habitat for Humanity
213 E. Kirkwood Ave., Bloomington**

**OWNER: Michael Grove
Chapel Hill, North Carolina**

REQUEST: The petitioner is requesting final plat approval for a two lot subdivision for a property zoned Residential Core (RC) utilizing the Affordable Housing Standards of 20.05.009.

REPORT: The 9,949 square foot site is located on the south side of W. 11th Street between N. Monroe Street to the west and N. Diamond Street to the east. The lot is zoned Residential Core (RC) and has been developed with a single family residence, fronting W. 11th Street. There is a 25 foot deep parcel owned by the City of Bloomington Redevelopment Commission (RDC) that runs along the south side of the lot, abutting W. Cottage Grove Avenue.

The petitioner proposes to subdivide the existing lot to create one lot containing the existing house that fronts on W. 11th Street (the proposed Lot 8A), and a second lot that fronts on W. Cottage Grove Avenue to the south (the proposed Lot 8B). The petitioner would be utilizing the Affordable Housing Standards of 20.05.009 to meet reduced development standards. The petitioner has a Memorandum of Understanding with the RDC that upon approval of this lot division, the RDC will grant this 25 foot deep portion of the property to the petitioner to be included in the subdivision.

The proposed property lines would make this a through-lot, meaning the southern property line is along W. Cottage Grove Avenue to the south. The petitioner is planning to construct one new single family home on the proposed lot 8B. A site plan has not yet been approved for this construction. The existing structure on the proposed northern lot will meet rear yard and front yard setbacks. Any future construction on the proposed Lot 8B will be required to meet the development standards of the Unified Development Ordinance (UDO).

FINAL PLAT REVIEW: The Review Considerations for Final Plats BMC 20.09.190(g) require that the Plan Commission review (1) The written statement and supportive material submitted by the petitioner; (2) The Preliminary Plat; (3) The Final Plat; (4) Any commitments or conditions of approval attendant to prior approvals; (5) The testimony of the petitioner; (6) The testimony of the public during the Preliminary Plat public hearing, when applicable; (7) Any applicable development standards in Chapter 20.05: Development Standards; (8) Any applicable subdivision standards in Chapter 20.06: Subdivision Regulations; (9) Any applicable design standards in Chapter 20.07: Design Standards; (10) Any other applicable provisions of the Unified Development Ordinance; (11) Any requirements of the members of the Development Review Committee; (12) The Planning and Transportation Department report; and (13) Such other additional information as may be required by the Plan Commission to evaluate the petition.

PRELIMINARY PLAT REVIEW: The preliminary plat was approved by the Plat Committee at its December 11, 2018 hearing.

CHAPTER 20.02 ZONING DISTRICTS: The properties are zoned Residential Core (RC). The properties are required to meet

CHAPTER 20.05 DEVELOPMENT STANDARDS: The petitioner is proposing to use the Affordable Housing Standards of 20.05.009 which provides incentives for affordable housing. The following standards are applicable to this petition:

20.05.009(d)(3) Single-family Residential Parking: Parking requirements may be reduced to a maximum of one (1) on-site parking space per single-family house when adequate adjacent on-street parking is available.

20.05.009(d)(4) Reduced Bulk Requirements; Single-family Lots: The following reductions in development standards may be applied to single-family residential lots and may be approved by the staff: (A) Lot Area: Minimum lot area standards may be reduced up to forty percent (40%). (B) Lot Width: Minimum lot width standards may be reduced up to twenty percent (20%). (C) Side Building Setbacks: Side building setbacks may be reduced to five (5) feet regardless of the number of stories. (D) Rear Building Setbacks: Rear building setbacks may be decreased to fifteen (15) feet.

Setbacks: BMC 20.05.011(4)(C) permits a reduced five (5) foot side building setback and 20.05.011(4)(D) permits a reduced rear building setback to fifteen (15) feet. For the existing single family structure on the proposed Lot 8A, existing side yard setbacks are grandfathered. The proposed lot line does not conflict with the 25 foot rear setback of the RC zoning district for the existing structure on the proposed Lot 8A. Any future affordable housing development on the proposed Lot 8B will be required to meet the Affordable Housing Standards of 20.05.009.

Pedestrian Facilities: There are existing sidewalks on both of the proposed lots.

CHAPTER 20.06 SUBDIVISION REGULATIONS: All subdivisions shall be designed according to one of the subdivision types specified in Chapter 6 of the UDO (20.06.005). The intent of the Traditional Subdivision (20.06.050) is to:

Ensure the creation of a gridlike street and alley system that allows for maximum connectivity to adjacent neighborhoods as well as nonresidential activity centers;

This petition does not disrupt the existing street and alley system within the existing neighborhood. No new streets are proposed with this petition.

Create a pedestrian-scale streetscape design featuring narrow street profiles, on-street parking, building forward orientation, short block lengths, and decorative street lighting;

This petition does add infill development in a manner that is not uncharacteristic to surrounding properties. With any future development on the proposed southern lot, the structure will be required to meet the reduced Affordable Housing development standards. There is existing on-street parking on Cottage Grove Avenue.

Facilitate compatible development of parcels located next to existing subdivisions characterized by more grid-like street patterns;

This petition fits into the existing grid like street pattern and proposes two lot sizes that are not out of character for the surrounding neighborhood. There are two more properties to the west also developed by the petitioner with the same lot sizes and similar development. In addition, the properties along the north side of W 11th Street are similar in size.

Facilitate development on properties not characterized by environmental constraints;

No environmental constraints are found.

Provide a range of development options (including mixed uses, affordable housing, accessory dwelling units) where warranted by adjacent development patterns; and

The petition adds additional affordable housing in an existing neighborhood located within walking distance to Downtown. As previously mentioned, the two proposed lot sizes are not out of character for the neighborhood.

Facilitate fulfillment of the Growth Policies Plan's policies entitled Compact Urban Form, Mitigate Traffic, and Conserve Community Character.

See above for Comprehensive Plan guidance.

CHAPTER 20.07 DESIGN STANDARDS: Chapter 7 outlines design standards for site and infrastructure improvements associated with all subdivisions, including the Traditional Subdivision as identified in the previous section.

Lot Establishment Standards (LT):

Lot Width Measurement: The minimum lot width for the RC zoning district is 55 feet. The proposed lots have a width of 50 feet, which is existing. According to 20.05.009(d)(B) the minimum lot width standards may be reduced up to twenty percent (20%), which would be a minimum of 44 feet. The proposed width of 50 feet for the proposed lots meets this standard.

Lot Area: The minimum lot standard for this zoning district is 7,200 sf. The Affordable Housing Standards of BMC 20.09.011(4)(A) allow for a reduced lot area of 40%. With these standards the minimum lot size is 4,320 sf. In order to meet this standard for the proposed southern lot, the portion currently owned by the Bloomington Redevelopment Commission is required. With this portion included in the proposed lot area calculations, the proposed Lot 8A will be approximately 4,972 sf and the proposed Lot 8B will be approximately 4,972 sf. Both of the proposed lots meet the allowed reduced standards.

Frontage: All new residential lots shall have frontage on a public street. Both proposed lots have frontage along public streets, 11th Street and Cottage Grove Avenue.

Right-of-way: See Street and Right-of-Way Standards (SR) below.

Pedestrian Network Standards (PN):

Pedestrian Access: There are existing sidewalks on both of the proposed properties.

Street and Right-of-Way Standards (SR):

Right of Way: The proposed Lot 8A is required to dedicate a 7.5 foot wide portion of right-of-way along W. 11th Street, totaling 375 square feet. The proposed Lot 8B will be required to dedicate approximately 120 square feet of right of way along the north side of Cottage Grove Avenue at a depth of 7 feet.

Connectivity: No new streets are proposed with this petition.

Vehicular Access: There is an existing 12 foot wide alley to the west of the property. The proposed lot to the north will continue to have access via the northern portion of the alley. The proposed southern lot will have vehicular access via the southern portion of the alley which will lead to a parking space at the northwest corner of the proposed Lot 8B. This portion of the alley is currently unimproved and will be required to be improved up to the access point.

For a new single family detached home the minimum required parking is two (2) spaces. BMC 20.05.009 allows for a reduction in the required number of spaces to one (1) on site if there is existing on-street parking. There is also available on street parking along Cottage Grove Avenue. This requirement is met by the proposed on-site parking space described above.

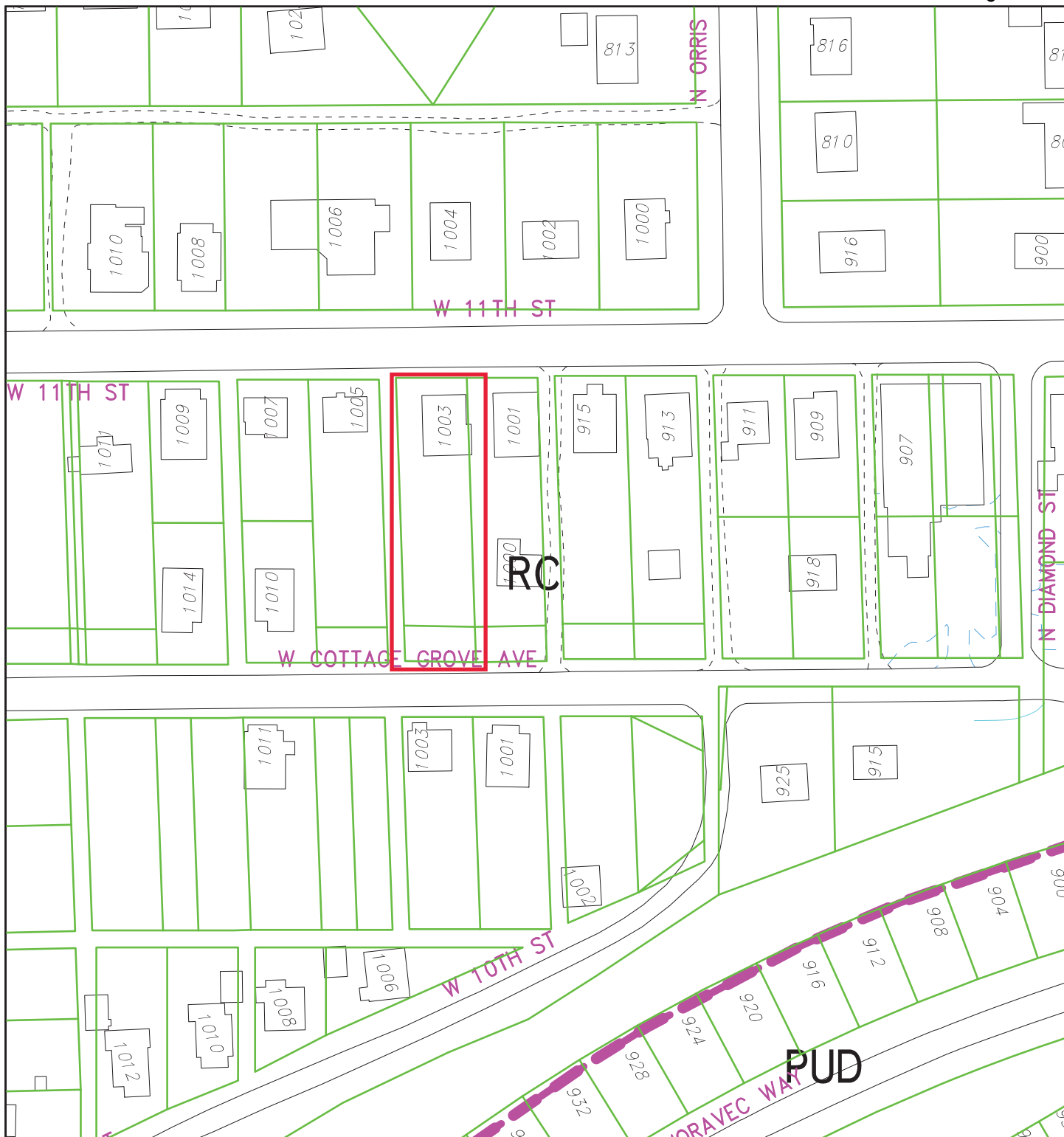
Utility Standards (UT):

Utilities: There are existing sanitary sewer, water, and storm sewer lines, running east to west on both W 11th Street and Cottage Grove Avenue. The existing home is serviced by water and sanitary from W 11th Street and the new lot will be serviced by water and sewer from Cottage Grove Avenue.

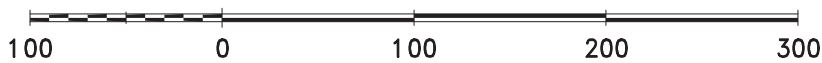
CONCLUSION: The petition creates a lot that is not out of character for the development pattern in the neighborhood and provides an infill development opportunity. This proposal uses the affordable housing standards, and as such the only allowed use for the proposed southern lot is for future affordable housing development. Any future development on the proposed southern lot would be required to meet the applicable zoning requirements of the RC zoning district or the reduced standards as outlined in 20.05.009.

RECOMMENDATION: Based on the findings in the report, the Department recommends approval of the final plat for case DP-34-18.

1. All proposed rights-of-way shall be dedicated to public use.
2. All public improvements shall be bonded for prior to recording the final plat.
3. All building and right-of-way excavation permits shall be approved prior to any site work.
4. The recorded plat shall show all portions of the dedicated right-of-way as identified in this report.



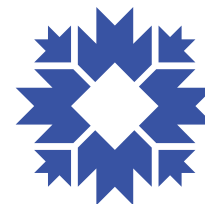
By: lewisa
7 Dec 18



For reference only; map information NOT warranted.



City of Bloomington
Planning & Transportation

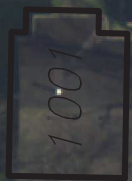
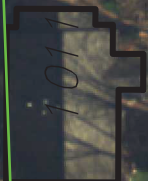
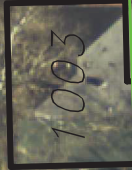


Scale: 1" = 100'

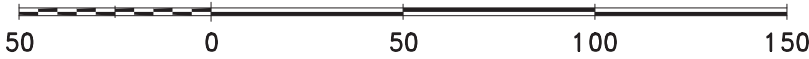
W 11TH ST

W COTTAGE GROVE AVE

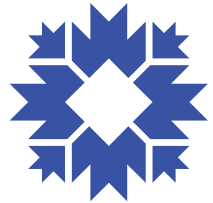
RC



By: lewisa
7 Dec 18



City of Bloomington
Planning & Transportation



Scale: 1" = 50'

For reference only; map information NOT warranted.



We build strength, stability, self-reliance and shelter.

February 4, 2019

Amelia Lewis
Zoning and Long Range Planner
Bloomington City Planning
401 N Morton St,
Bloomington, IN 47404

RE: Petitioner's Statement for Final Plat Hearing for 1003 W. 11th St.

Dear Amelia:

Habitat for Humanity of Monroe County has an accepted offer to purchase the southern half of 1103 W. 11th St. Bloomington, IN 47404 (Lot number 8 of the Millen & Rice Addition). This portion of the lot is to be combined with a 25' parcel of land facing W. Cottage Grove Ave. currently owned by the City of Bloomington. HhFMC has a signed agreement with the city that the city will give the 25' parcel to HhFMC to be combined with the southern half of 1103 W. 11th.

This subdivision will allow Habitat to build one single family home for a Habitat for Humanity partner family. Future Habitat homeowners are selected based on three basic criteria: 1) their need for housing 2) their ability to repay an affordable mortgage and 3) their willingness to partner with Habitat by earning 250 hours of "sweat equity" or volunteer time. In addition, Habitat homeowners are selected based on their income, which ranges from 30 to 80 % AMI.

The newly subdivided lot will be 5,000 sq ft. which meets the 40% lot area reduction permitted under the affordable housing standards. The house will meet all set-back requirements and HhFMC will create one on-site parking spot. Similar subdivisions were made at 1010 and 1014 W. Cottage Grove in 2006. Two Habitat homeowners continue to benefit from the houses that were built on these subdivided lots.

Please contact me with any questions.

Sincerely,

A handwritten signature in blue ink that reads "Nathan Ferreira".

Nathan Ferreira
Project Supervisor
Habitat for Humanity of Monroe County

**BLOOMINGTON PLAT COMMITTEE
STAFF REPORT
Location: 2800 S. Sare Rd.**

**CASE #: DP-04-19
DATE: February 11, 2019**

PETITIONER: Sentinel Indiana, LLC
3321 S Cheekwood Ln, Bloomington, IN

CONSULTANT: Smith Brehob & Associates, Inc.
453 S. Clarizz Blvd, Bloomington, IN

REQUEST: The petitioner is requesting final plat approval to amend the final plat for Canada Farm Phase III.

REPORT: The petition site is located at the southwest corner of S. Sare Road and E. Canada Drive in the Rogers Farm PUD. This development site received site plan approval under PUD-19-17 to allow for the construction of a 57 unit apartment building.

The petitioner is requesting to amend the approved final plat to revise the location of existing utility easements to reflect the actual field locations. A 20' utility easement is also being platted along Sare Road for a current utility line. A pedestrian easement is also being platted for the location of the Jackson Creek Trail that runs along the south side of the site. Conservation and drainage easements will also be added for the portions of the site within the floodplain.

FINAL PLAT REVIEW: The Review Considerations for Final Plats BMC 20.09.190(g) require that the Plan Commission (or Plat Committee) review (1) The written statement and supportive material submitted by the petitioner; (2) The Preliminary Plat; (3) The Final Plat; (4) Any commitments or conditions of approval attendant to prior approvals; (5) The testimony of the petitioner; (6) The testimony of the public during the Preliminary Plat public hearing, when applicable; (7) Any applicable development standards in Chapter 20.05: Development Standards; (8) Any applicable subdivision standards in Chapter 20.06: Subdivision Regulations; (9) Any applicable design standards in Chapter 20.07: Design Standards; (10) Any other applicable provisions of the Unified Development Ordinance; (11) Any requirements of the members of the Development Review Committee; (12) The Planning and Transportation Department report; and (13) Such other additional information as may be required by the Plan Commission to evaluate the petition.

PRELIMINARY PLAT: No change to the preliminary plat is required with this amendment.

20.06 SUBDIVISION REGULATIONS: No changes to the overall lot size are being modified with this amendment.

20.07 DESIGN STANDARDS: Chapter 7 outlines design standards for site and infrastructure improvements associated with all lot subdivisions.

Easement Standards (EA): The petitioner has listed all of the required definitions from the UDO requirements for the proposed easements.

Pedestrian Network Standards (PN): No changes to the pedestrian network are proposed with this amendment.

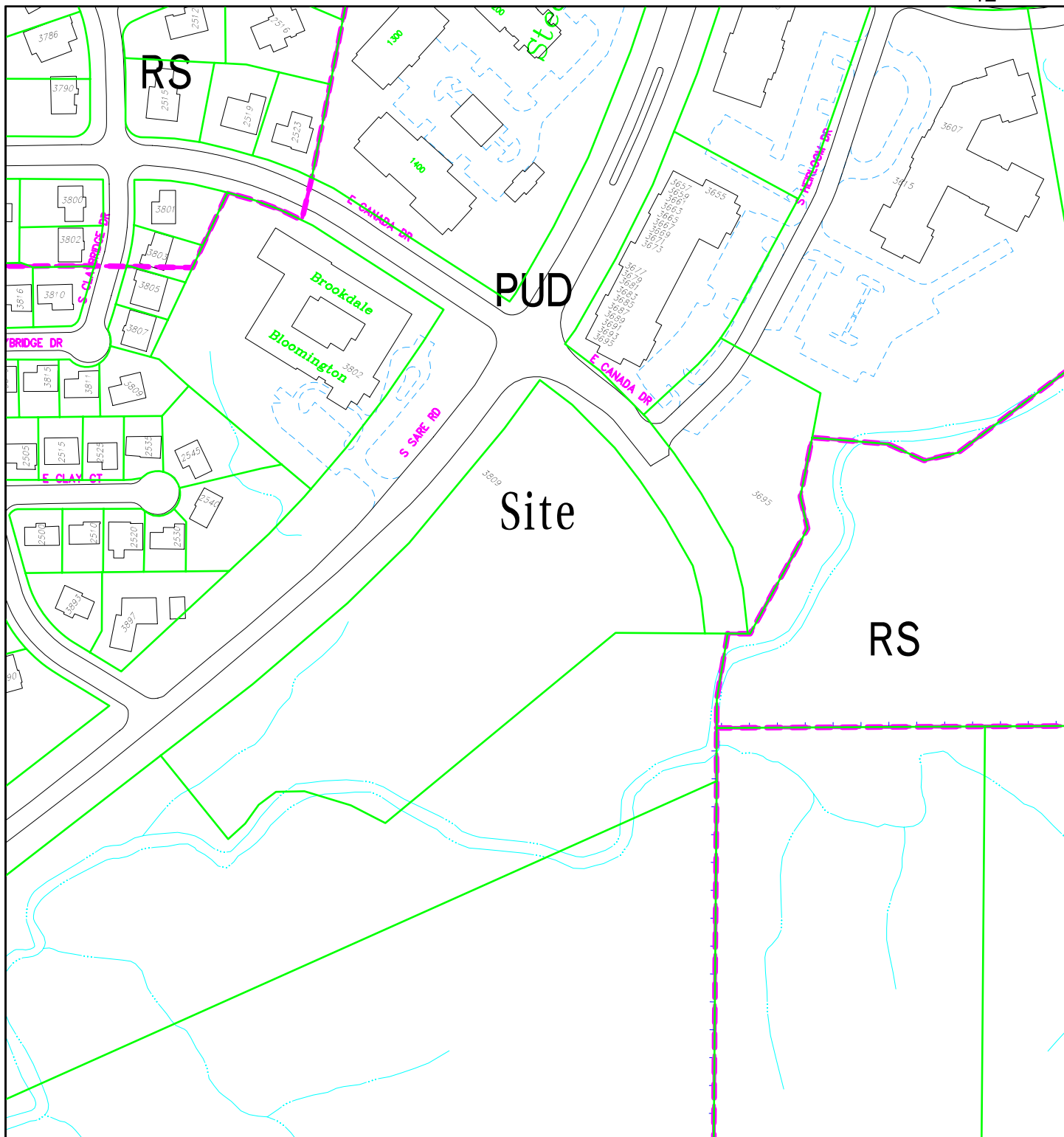
Street and Right-of-Way Standards (SR): There are no proposed changes to the existing roads or proposed right-of-way. The existing right-of-way has already been dedicated.

Utility Standards (UT): The proposed modifications to the easements will allow the easements to be located in the appropriate location relative to the actual utility line locations.

CONCLUSION: The amendment to the plat aligns with the original intent and design of the preliminary plan and meets the minimum Final Plat requirements of the Unified Development Ordinance.

RECOMMENDATION: Based on the findings in the above report, the Department recommends approval of the final plat amendment for case DP-04-19 with the following conditions:

1. Plat Signature block will be amended to reflect approval by Plat Committee and Board of Public Works.
2. The petitioner shall file the Final Plat with the County Recorder's Office and within thirty (30) days provide the Planning and Transportation with a copy of the recorded mylar.



DP-04-09 Sentinel Indiana, LLC

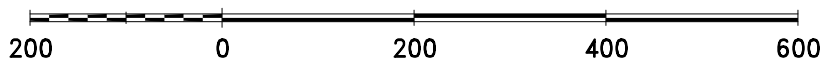
2800 S Sare Road

Plat Committee

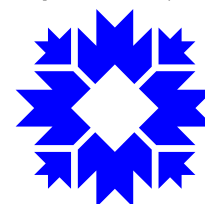
Site Location, Zoning, Parcels

By: greulice

8 Feb 19

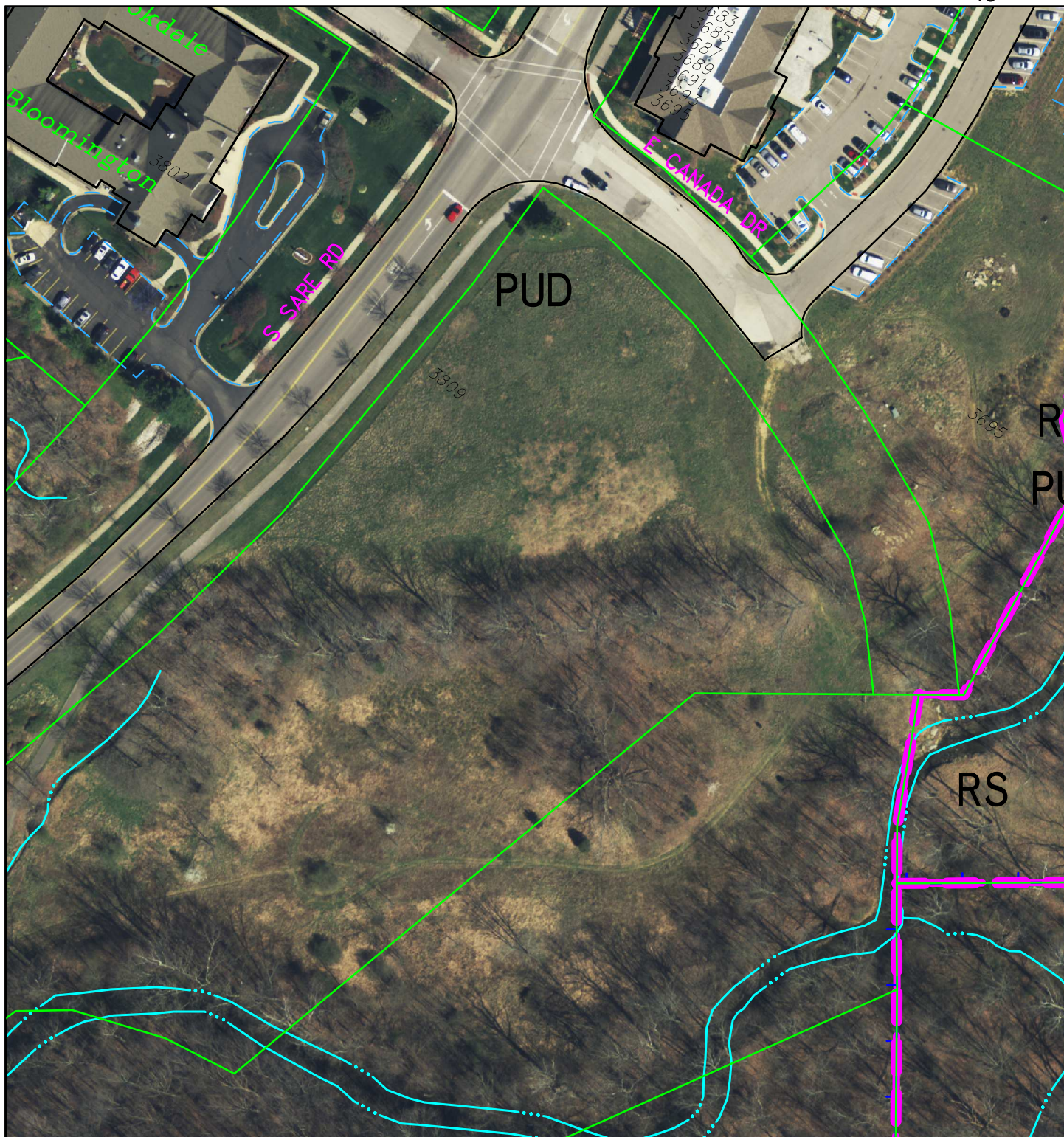


City of Bloomington
Planning & Transportation



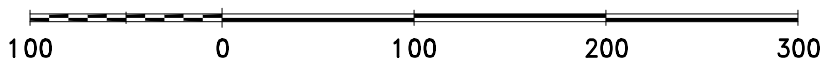
Scale: 1" = 200'

For reference only; map information NOT warranted.



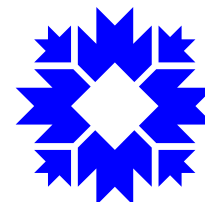
DP-04-19 Sentinel Indiana, LLC
2800 S Sare Road
Plat Committee
2016 aerial photograph

By: greulice
8 Feb 19



For reference only; map information NOT warranted.

City of Bloomington
Planning & Transportation



Scale: 1" = 100'

Smith Brehob & Associates, Inc.



"Providing professional land planning, design, surveying and approval processing for a quality environment"

Steven A. Brehob, BS.CNT.

Todd M. Borgman, P.L.S.

Don J. Kocarek, R.L.A.

Katherine E. Stein, P.E.

December 31, 2018

Eric Greulich
City of Bloomington Planning and Transportation
401 N. Morton Street
Bloomington, IN. 47404

RE: Canada Farms Parcel H – Plat Amendment

Dear Eric,

On behalf of our client, Sentinel Indiana, LLC we respectfully request to be placed on the agenda for the City of Bloomington Plat Committee hearing for consideration of a Final Plat Amendment to the Canada Farm Phase III Final Plat.

The purpose of this plat amendment is to modify the existing Water Main Easement on the property so that it follows the actual location of the existing water main that was installed by CBU and improves the access to said main. The amendment also includes the addition of a 20' Utility Easement along Sare Road as requested by City of Bloomington Utilities. The amendment further adds a Pedestrian Easement to follow the extension of the Jackson Creek Trail across the property and lastly adds Conservation and Drainage Easements as required by the current Unified Development Ordinance.

Should you have any questions regarding the request, please contact me.

Sincerely,

Steven A. Brehob
Smith Brehob & Associates, Inc.

Attachments: Application Form
Final Plat

DULY ENTERED FOR TAXATION

DEC 3 1999

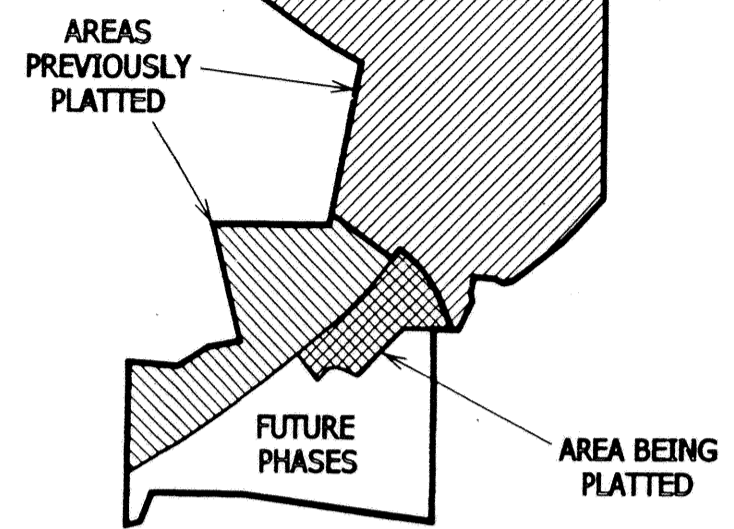
Barbara M. Clark
Auditor Monroe County, Indiana

PROJECT LOCATION

CANADA FARM SUBDIVISION PHASE I
P.C. C. Env. 183



LOCATION MAP



Key Map



CANADA FARM PHASE II
P.C. C. Env. 233

L = 551.80'
R = 1850.00'
CD = N42°20'37"E
LC = 549.75'

L = 39.53'
R = 25.00'
CD = N81°43'06"E
LC = 35.54'

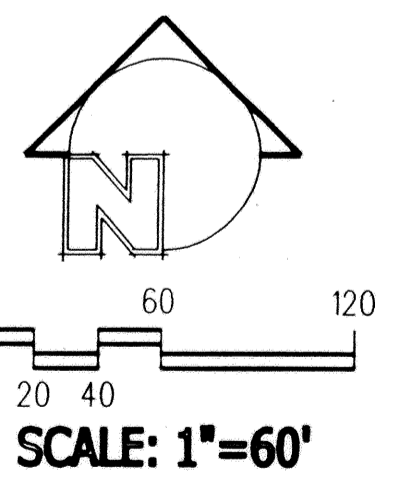
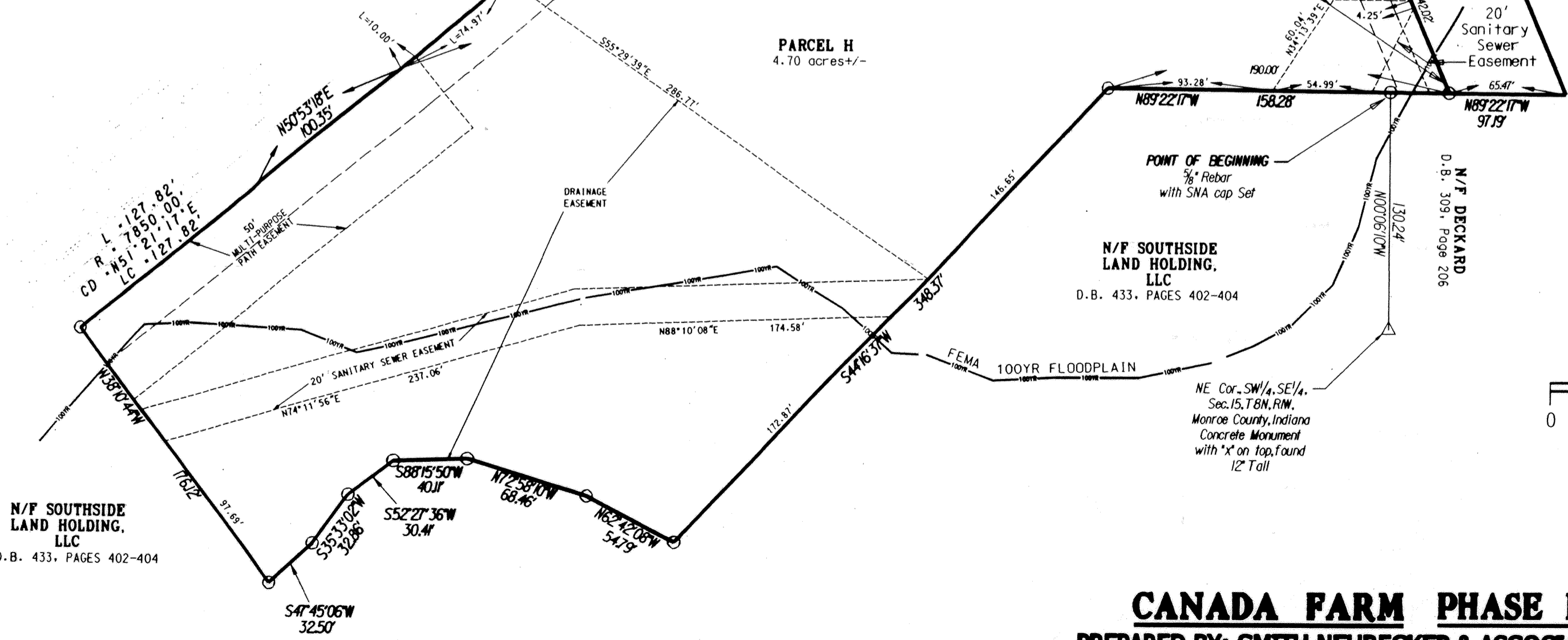
L = 344.79'
R = 605.00'
CD = S39°17'34"E
LC = 340.15'

NOTES:

- 1. Original boundary survey titled "CANADA FARM ALTA/ACSM LAND TITLE SURVEY" by Smith Neubecker and Associates dated 11 April, 1997, recorded in Survey Book 4, Page 2.
- 2. All corners to be marked with 5/8" x 2' rebars with yellow SNA cap.

MONUMENT LEGEND

STONE MONUMENT		RAILROAD SPIKE	
STONE WITH X		P.K. NAIL	
CONCRETE MONUMENT		BENCHMARK	
5/8" REBAR W/PLASTIC CAP SET		TEMPORARY BENCHMARK	
IRON ROD		HUB AND TACK	
IRON PIPE		GPS MONUMENT	
NOW OR FORMERLY	N/F		



N/F SOUTHSIDE LAND HOLDING, LLC
D.B. 433, PAGES 402-404

N/F SOUTHSIDE LAND HOLDING, LLC
D.B. 433, PAGES 402-404

N/F DECKARD
D.B. 309, Page 206

CANADA FARM PHASE III

PREPARED BY: SMITH NEUBECKER & ASSOCIATES, INC.
4625 MORNINGSIDE DRIVE BLOOMINGTON, INDIANA 47408



LEGAL DESCRIPTION FOR CANADA FARM, PHASE III "PARCEL H" JOB NUMBER 2814

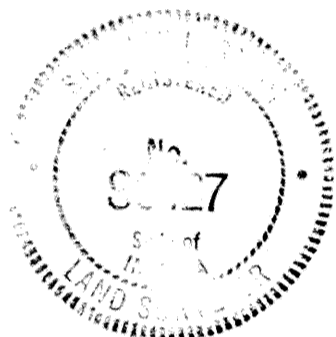
A part of the South Half of Section 15, Township 8 North, Range 1 West, Monroe County, Indiana, and being more particularly described as follows:

COMMENCING at a concrete monument found at the northeast corner of the Southwest Quarter of the Southeast Quarter; thence NORTH 00 degrees 06 minutes 10 seconds West 130.24 feet to a 3/8" rebar set at the POINT OF BEGINNING; thence NORTH 89 degrees 22 minutes 17 seconds West 158.28 feet; thence SOUTH 44 degrees 16 minutes 37 seconds West 348.37 feet; thence NORTH 62 degrees 42 minutes 08 seconds West 54.79 feet; thence NORTH 72 degrees 58 minutes 10 seconds West 68.46 feet; thence SOUTH 88 degrees 15 minutes 50 seconds West 40.11 feet; thence SOUTH 52 degrees 27 minutes 36 seconds West 30.41 feet; thence SOUTH 35 degrees 33 minutes 02 seconds West 32.86 feet; thence SOUTH 47 degrees 45 minutes 06 seconds West 32.50 feet; thence NORTH 38 degrees 10 minutes 44 seconds West 176.12 feet to the east right-of-way line of Sare Road as platted in Canada Farm, Phase II (Plat Cabinet C, Envelope 233); thence on said right-of-way line 127.82 feet on a 7850.00 radius non-tangent curve to the left whose chord bears NORTH 51 degrees 21 minutes 17 seconds East 127.82 feet; thence NORTH 50 degrees 53 minutes 18 seconds East 100.35 feet; thence 551.80 feet on a 1850.00 foot radius tangent curve to the left whose chord bears NORTH 42 degrees 20 minutes 37 seconds East 549.75 feet; thence 344.79 feet on a 605.00 foot radius non-tangent curve to the right whose chord bears SOUTH 39 degrees 17 minutes 34 seconds East 340.15 feet; thence SOUTH 22 degrees 57 minutes 59 seconds East 168.22 feet to the north line of land of Deckard (Deed Book 309, Page 206); thence on the north line of land of Deckard NORTH 89 degrees 22 minutes 17 seconds West 97.19 feet to the POINT OF BEGINNING, containing 5.37 acres, more or less.

The survey work shown hereon was performed either by me or under my direct supervision and control and to the best of my knowledge and belief was performed according to the survey requirements in 865 IAC 1-12-1 through 19.

Certified this 2nd day of December, 1999.

Signature of Stephen L. Smith, Registered Land Surveyor No. S0427, State of Indiana.



Perpetual and non-exclusive Drainage Easements and Utility Easements for the purpose of the installation, maintenance, repair and replacement of all sewer, water, storm water, power and telephone lines, pipes, mains, conduits, transformers, or cable television facilities are reserved as shown on the Plat. Within these easements, no structure, or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities or which may change the direction or flow of drainage or which may obstruct or retard the flow of drainage. Plants, trees and other vegetation are allowed in these easements so long as they don't damage or interfere with the installation and maintenance of utilities.

The undersigned, Running Creek, LLC, an Indiana Limited Liability Corporation, by Kenneth E. Blackwell, Chairman, being the owner of the above described real estate, does hereby layoff, plat and subdivide the same into lots and streets in accordance with this plat. The within plat shall be known and designated as Canada Farm Subdivision, Phase II.

IN WITNESS WHEREOF, Running Creek, LLC, an Indiana Limited Liability Corporation, by Kenneth E. Blackwell, Chairman, has hereunto executed this 3rd day of December, 1999.

Signature of Kenneth E. Blackwell, Chairman, Running Creek, LLC.

STATE OF INDIANA)
COUNTY OF MONROE)

Before me, a Notary Public in and for the State of Indiana and Monroe County, personally appeared Kenneth E. Blackwell, personally known to me to be Chairman of Running Creek, LLC, an Indiana Limited Liability Corporation, and being the owner of the described real estate, and who acknowledged the execution of the foregoing plat for the Real Estate known as Canada Farm Subdivision, Phase II as his voluntary act and deed for the uses and purposes therein expressed.

WITNESS my hand and Notarial Seal this 3rd day of December 1999.

My Commission Expires: 07-11-2000

Signature of Ronda R. Brown, Notary Public, a resident of Monroe County.



PLAN COMMISSION AND BOARD OF PUBLIC WORKS

Under the authority provided by Chapter 174, Acts of 1947, enacted by the General Assembly of the State of Indiana and ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington as follows:

Approved by the Board of Public Works at a meeting held: NOVEMBER 23, 1999

Frank N. Hrisomalos, M.D. President

Signature of Randy Lloyd, Member

Signature of Beth Rollingsworth, Member

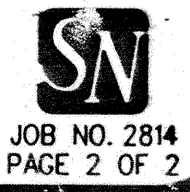
Approved by the City Plan Commission at a meeting held:

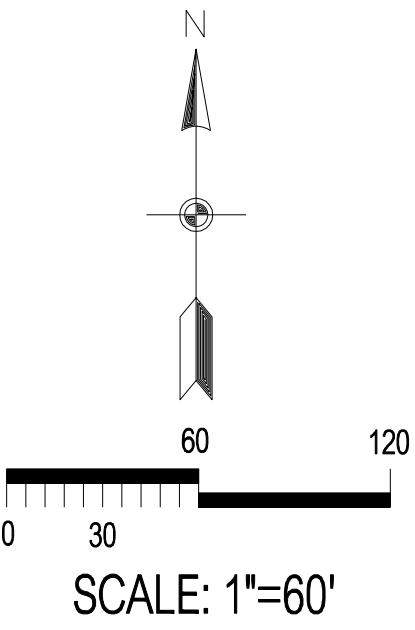
Signature of Don Hastings, Director

Signature of W. E. Stuebe, President

DULY ENTERED FOR TAXATION DEC 3 1999 Barbara M. Clark Auditor Monroe County, Indiana

CANADA FARM PHASE III PREPARED BY: SMITH NEUBECKER & ASSOCIATES, INC. 4625 MORNINGSIDE DRIVE BLOOMINGTON, INDIANA 47408



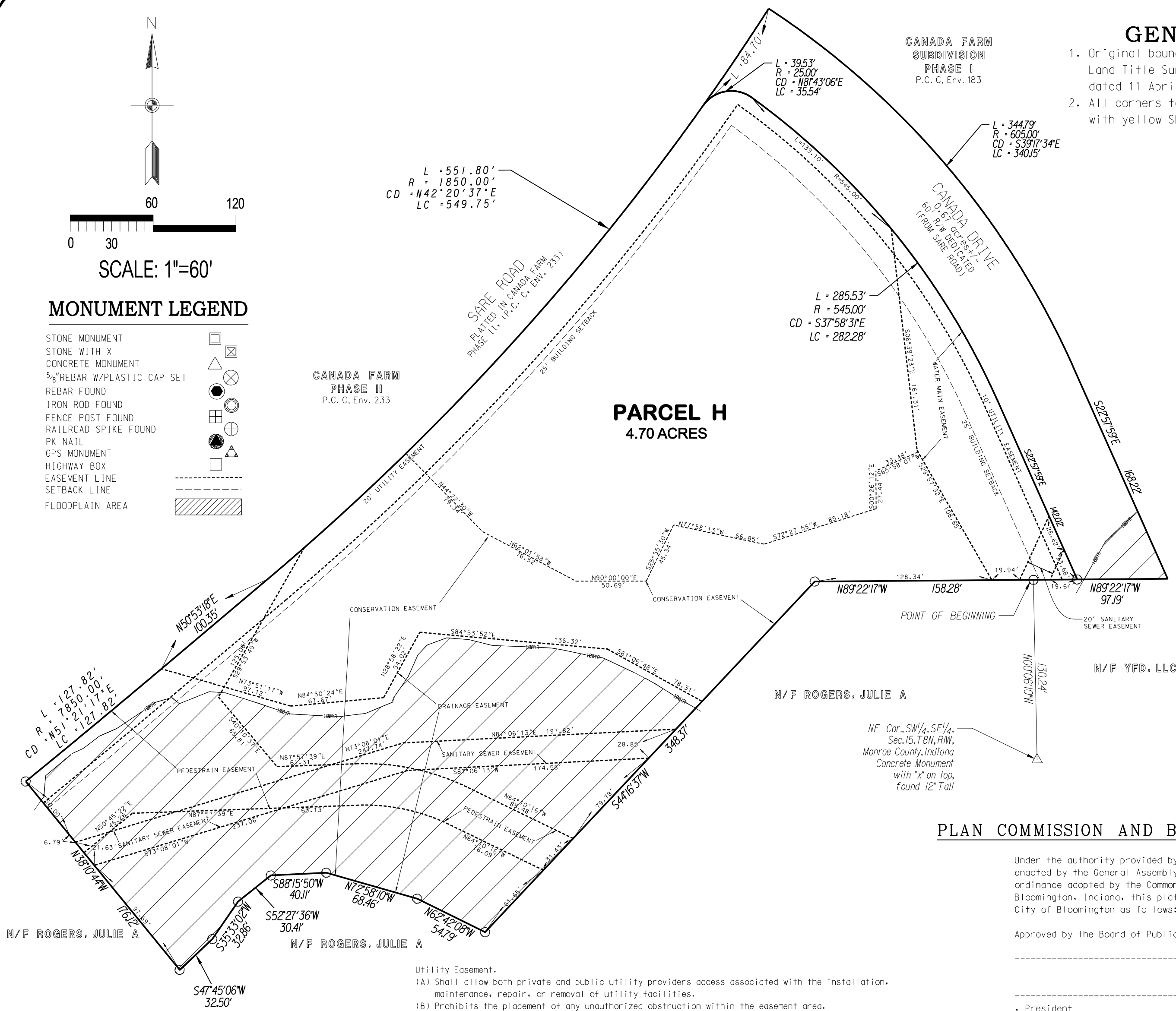


MONUMENT LEGEND

- STONE MONUMENT
- STONE WITH X
- CONCRETE MONUMENT
- 5/8" REBAR W/PLASTIC CAP SET
- REBAR FOUND
- IRON ROD FOUND
- FENCE POST FOUND
- RAILROAD SPIKE FOUND
- PK NAIL
- GPS MONUMENT
- HIGHWAY BOX
- EASEMENT LINE
- SETBACK LINE
- FLOODPLAIN AREA

CANADA FARM PHASE II P.C.C. ENV. 233

PARCEL H 4.70 ACRES



GENERAL NOTES

- Original boundary survey titled CANADA FARM ALTA/ACSM Land Title Survey by Smith Neubecker & Associates, Inc. dated 11 April 1997 recorded in Survey Book 4 Page 2.
- All corners to be marked with 5/8" x 2' rebars with yellow SBA cap.



LOCATION MAP

LEGAL DESCRIPTION FOR "PARCEL H"

No Scale

A part of the South Half of Section 15, Township 8 North, Range 1 West, Monroe County, Indiana, and being more particularly described as follows: COMMENCING at a concrete monument found at the northeast corner of the Southwest Quarter of the Southeast Quarter; thence NORTH 00 degrees 06 minutes 10 seconds West 130.24 feet to a 5/8" rebar set at the POINT OF BEGINNING; thence NORTH 89 degrees 22 minutes 17 seconds West 158.28 feet; thence SOUTH 44 degrees 16 minutes 37 seconds West 348.37 feet; thence NORTH 62 degrees 42 minutes 08 seconds West 54.79 feet; thence NORTH 72 degrees 58 minutes 10 seconds West 68.46 feet; thence SOUTH 88 degrees 15 minutes 50 seconds West 40.11 feet; thence SOUTH 52 degrees 27 minutes 36 seconds West 30.41 feet; thence SOUTH 35 degrees 33 minutes 02 seconds West 32.86 feet; thence SOUTH 47 degrees 45 minutes 06 seconds West 32.50 feet; thence NORTH 38 degrees 10 minutes 44 seconds West 176.12 feet to the east right-of-way line of Sore Road as platted in Canada Farm, Phase II (Plat Cabinet C. Envelope 233); thence on said right-of-way line 127.82 feet to a 7850.00 radius non-tangent curve to the left whose chord bears NORTH 51 degrees 21 minutes 17 seconds East 127.82 feet; thence NORTH 50 degrees 53 minutes 18 seconds East 100.35 feet; thence 551.80 feet on a 1850.00 foot radius tangent curve to the left whose chord bears NORTH 42 degrees 20 minutes 37 seconds East 549.75 feet; thence 344.79 feet on a 605.00 foot radius non-tangent curve to the right whose chord bears SOUTH 39 degrees 17 minutes 34 seconds East 340.15 feet; thence SOUTH 22 degrees 57 minutes 59 seconds East 168.22 feet to the north line of land of Deckard (Deed Book 309, Page 206); thence on the north line of land of Deckard NORTH 89 degrees 22 minutes 17 seconds West 97.19 feet to the POINT OF BEGINNING, containing 5.37 acres, more or less.

I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that all information shown is true and correct to the best of my knowledge and belief. Certified this ___th day of February, 2019.

Todd M. Borgman
State of Indiana
Registered Land Surveyor No. LS21200021
I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document unless required by law.
Todd M. Borgman

PLAN COMMISSION AND BOARD OF PUBLIC WORKS

Under the authority provided by Chapter 174, Acts of 1947, enacted by the General Assembly of the State of Indiana and ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington as follows:

Approved by the Board of Public Works at a meeting held:

President

Member

Approved by the City Plan Commission at a meeting held:

Terri Porter, Director of Planning and Transportation

Joseph Hoffman, President of Plan Commission

The real estate described on this plat shall be and is hereby subject to the terms and Conditions of the Declaration of Covenants, conditions and Restrictions, as well as the Facilities Maintenance Plan, which forms a part of that document. Recorded on _____ as Instrument Number _____ COV RES in the office of the Recorder of Monroe County, Indiana.

The undersigned, Tim Henke, Member of Sentinel Indiana, LLC., being the owner of the above described real estate, does hereby layoff, plat and subdivide the same into lots and streets in accordance with this plat. This within plat shall be known and designated Canada Farms Phase 3 Final Plat Amendment 1.

IN WITNESS WHEREOF, Sentinel Indiana, LLC., an Indiana Limited Liability Corporation, by Tim Henke, Member, has hereunto executed this ___ day of _____, 2018.

Tim Henke, Member
Sentinel Indiana, LLC

STATE OF INDIANA)
COUNTY OF MONROE)

Before me, a Notary Public in and for the State of Indiana and Monroe County, personally appeared Tim Henke, personally known to me to be a Member of Sentinel Indiana, LLC., and being the owner of the described real estate, and who acknowledged the execution of the foregoing plat for the Real Estate known as Canada Farm Phase 3 Final Plat Amendment 1 as his voluntary act and deed for the uses and purposes therein expressed.

WITNESS my hand and Notarial Seal this ___ day of _____, 2018.

My Commission Expires: _____

NOTARY PUBLIC
a resident of Monroe County

EASEMENT LEGEND

- Drainage Easement**
 - Shall be required for any surface swales or other minor improvements that are intended for maintenance by the lots on which they are located.
 - Shall prohibit any alteration within the easement that would hinder or redirect flow.
 - Shall provide that the owner of the lot on which the easement is placed shall be responsible for maintenance of the drainage features within such easement.
 - Shall be enforceable by the City Utilities Department and by owners of properties that are adversely affected by conditions within the easement.
 - Shall allow the City Utilities Department to enter upon the easement for the purpose of maintenance, to charge the cost of such maintenance to the responsible parties, to construct drainage facilities within the easement, and to assume responsibility for the drainage features at its discretion.
- Pedestrian Easement**
 - Grants the general public the right to access the pedestrian easement for purposes of walking, running, bicycling, skating, or utilizing certain classes of nonmotorized vehicles.
 - Grants the city the right to construct, alter, repair, maintain, or remove improvements within the easement area.
 - Prohibits the placement of any obstruction within the pedestrian easement.
 - Signs shall not be located within pedestrian easements unless the sign is a public sign authorized by Section 20.05.079(f)(1) or is further authorized by the city.
- Utility Easement.**
 - Shall allow both private and public utility providers access associated with the installation, maintenance, repair, or removal of utility facilities.
 - Prohibits the placement of any unauthorized obstruction within the easement area.
 - Signs shall not be located within utility easements unless the sign is a public sign authorized by Section 20.05.079(f)(1) or is further authorized by the city.
- Sanitary Sewer Easement.**
 - Shall allow City of Bloomington Utilities access associated with the installation, maintenance, repair, or removal of utility facilities.
 - Prohibits the placement of any unauthorized obstruction within the easement area.
 - Signs shall not be located within utility easements unless the sign is a public sign authorized by Section 20.05.079(f)(1) or is further authorized by the city.
- Water Main Easement.**
 - Shall allow City of Bloomington Utilities access associated with the installation, maintenance, repair, or removal of utility facilities.
 - Prohibits the placement of any unauthorized obstruction within the easement area.
 - Signs shall not be located within utility easements unless the sign is a public sign authorized by Section 20.05.079(f)(1) or is further authorized by the city.
- Conservancy Easement.**
 - Prohibits any land-disturbing activities including the placement of a fence, or alteration of any vegetative cover, including mowing, within the easement area.
 - Allows the removal of dead or diseased trees that pose a safety risk or impede drainage as well as allowing the removal of exotic invasive species, only after first obtaining written approval from the planning and transportation department.
 - All conservancy easements shall be identified with public signs located along the boundary of the easement. Public signs shall be placed at intervals of no more than two hundred feet, and each public sign shall be a maximum of one and one-half square feet in area. A minimum of one public sign is required, regardless of easement size.
 - Allows, in cases where removal of exotic invasive species is proposed, the restoration of disturbed areas with native plant material. Written approval from the planning and transportation department is required prior to any proposed restoration.
 - Signs shall not be located within conservancy easements unless the sign is a public sign authorized by Section 20.05.079(f)(1) or is further authorized by the city.

CANADA FARM PHASE III, AMENDMENT 1

PREPARED BY: SMITH BREHOB & ASSOCIATES, INC., 453 S. CLARIZZ BLVD., BLOOMINGTON, INDIANA 47401

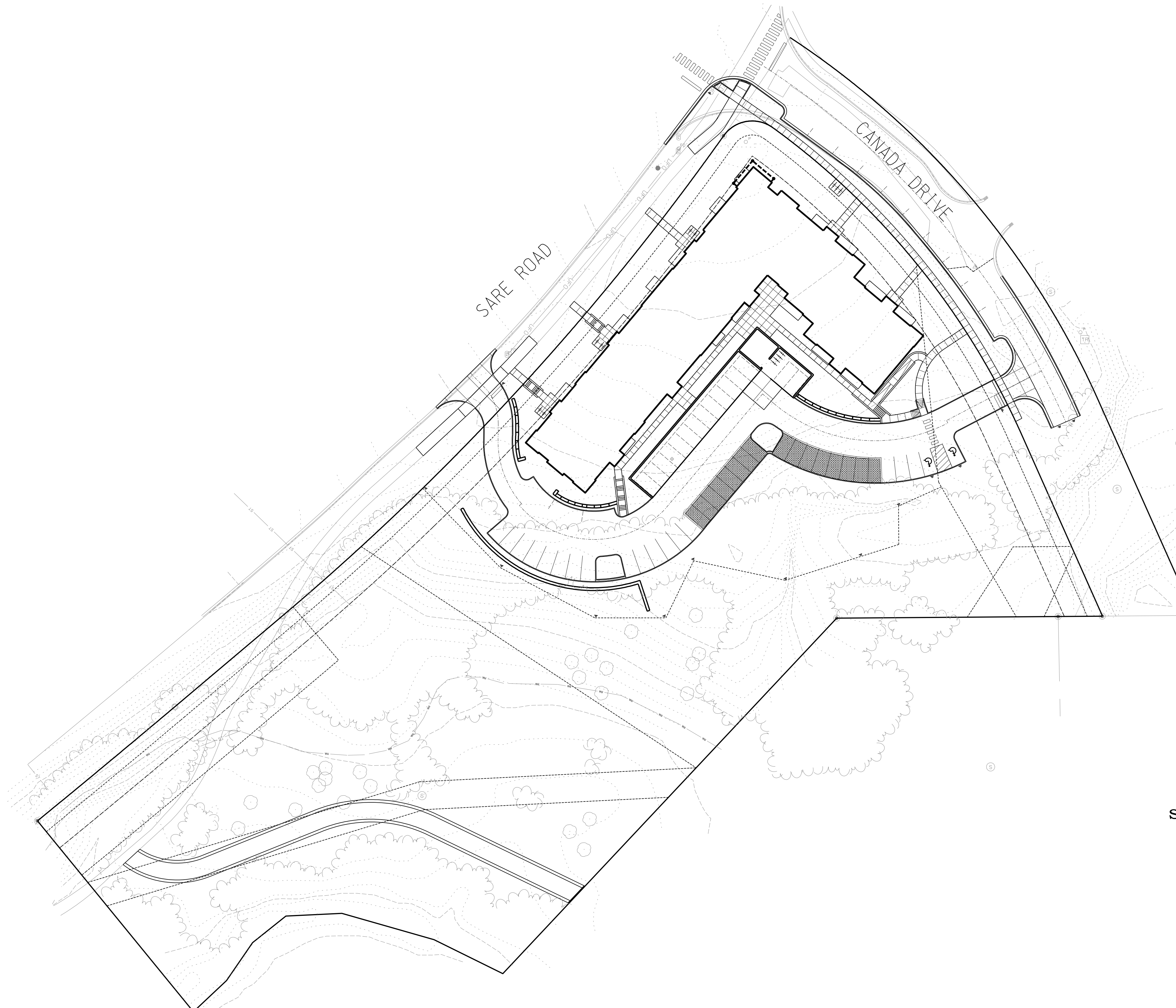
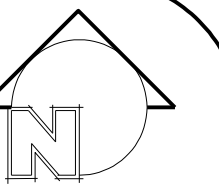


SENTINEL BUILDING ON CANADA FARM PARCEL H PUD DEVELOPMENT PLAN



PROJECT LOCATION

LOCATION MAP
NTS

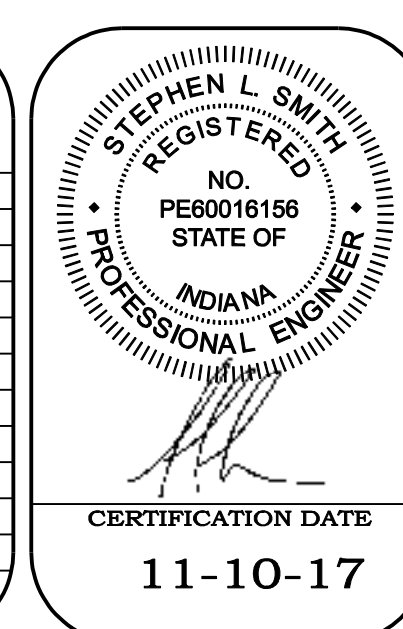


SITE MAP
N.T.S.

DATE	ISSUE
9-28-17	GRADING PERMIT SUBMISSION
10-25-17	GRADING PERMIT RESUBMISSION
11-01-17	STATE DESIGN RELEASE
11-10-17	GRADING PERMIT RESUBMISSION
12-08-17	RE-ISSUE FOR LOWER FFE

SHEET INDEX	
SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	OVERALL SITE PLAN
C101	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C400	LANDSCAPE PLAN
C500	SWPPP INDEX
C501	SWPPP AND DETAILS
C502	SWPPP SPECIFICATIONS
C600	PROFILES
C700	MAINTENANCE OF TRAFFIC PLAN
C800	CIVIL DETAILS

SHEET NO.	REVISIONS	BY	DATE
C100-300, 500, 600	Revised plan set based on lowering bldg FFE 1'	SAB	12-07-17



NOTE : SANITARY SEWER, WATER AND STORM WATER SPECIFICATIONS ARE THE LATEST EDITION OF THE CITY OF BLOOMINGTON UTILITIES CONSTRUCTION SPECIFICATIONS. ALL OTHER WORK SHALL BE COMPLETED IN ACCORDNACE WITH THE 2014 SMITH BREHOB & ASSOCIATES STANDARD SPECIFICATIONS.

INDIANA 811 KNOW WHATS BELOW. CALL BEFORE YOU DIG
CALL 811 OR 1-800-382-5544 24 HOURS PER DAY, 7 DAYS PER WEEK, 24 HOURS BEFORE YOU DIG.

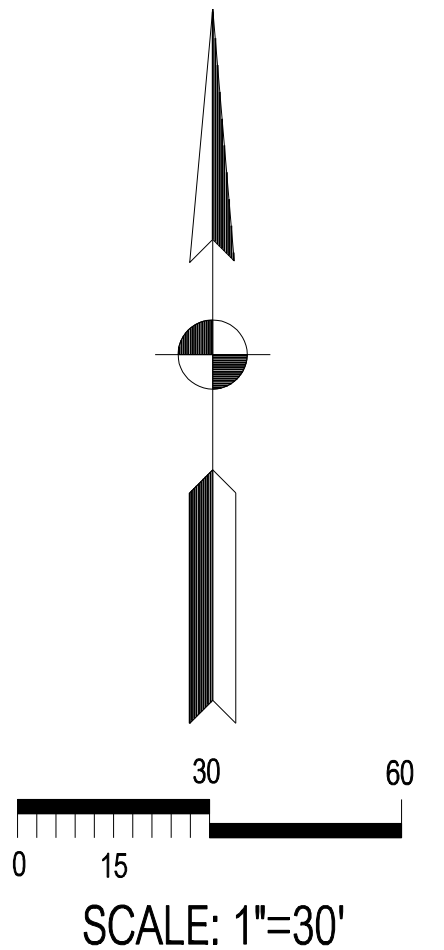
PREPARED BY:
SMITH BREHOB & ASSOCIATES INC. BLOOMINGTON, INDIANA



JOB NUMBER: 5000

SITE LEGEND

- 10' DE DRAINAGE EASEMENT
- 10' DE UTILITY EASEMENT
- DR. & UT. EASEMENT
- 2' ROLL CURB
- 2' CURB AND GUTTER
- 6" STANDING CURB
- CONCRETE SIDEWALK
- HANDICAPPED RAMP
- HANDICAPPED RAILING
- RET. WALL (CONCRETE)
- RET. WALL (MASONRY)
- RET. WALL (STONE)
- RET. WALL (WOOD)
- FENCE (BARB WIRE)
- FENCE (CHAIN LINK)
- FENCE (SMOOTH WIRE)
- FENCE (POST & RAIL)
- FENCE (WOOD SLAT)
- GUARD RAIL
- PROPOSED STREET TREE
- BOLLARD
- DUMPS/TER (WOOD)
- DUMPS/TER (MASONRY)



DEVELOPMENT DATA

ZONING = CANADA FARM PUD
 SITE AREA = 4.70 ACRES

WOODED AREA = 1.85 ACRES
 TREE CANOPY PERCENTAGE = 39%
 PRESERVATION REQUIRED = 80%
 TREE CANOPY PRESERVATION REQUIRED = 1.48 ACRES
 TREE CANOPY PRESERVATION SHOWN = 1.48 ACRES

STEEP SLOPES 12% - 15% SLOPE AREA = 0.96 ACRES
 DISTURBANCE PERMITTED = 50%
 STEEP SLOPES PRESERVATION REQUIRED = 0.48 ACRES
 STEEP SLOPES PRESERVATION SHOWN = 0.60 ACRES

FLOODPLAIN PRESENT ON SITE

SETBACKS
 FRONT YARD BUILDING = 25'
 PARKING = 20' BEHIND BUILDING FACE

DENSITY
 APPROVED MULTIFAMILY = 6 UNITS PER ACRE - 28 UNITS
 PROPOSED MULTIFAMILY = 31.1 BED UNITS @ 0.25 DUE = 7.75 UNITS
 PROPOSED MULTIFAMILY = 26.2 BED UNITS @ 0.66 DUE = 17.16 UNITS
 TOTAL PROPOSED UNITS = 24.91 UNITS
 TOTAL BEDS = 83

PARKING
 PARKING PROVIDED = 63 SPACES
 PARKING RATIO = 0.76 SPACES PER BED

Smith Brethob & Associates, Inc.
 453 S. Charter Boulevard
 Bloomington, Indiana, 47401
 Telephone: (812) 336-6586
 Fax: (812) 336-0313
 Web: www.smithbrethob.com

STEPHEN L. SMITH
 REGISTERED PROFESSIONAL ENGINEER
 NO. PE00018156
 STATE OF INDIANA

CERTIFICATION DATE
 11/10/17

JOB TITLE
**SENTINEL BUILDING
 CANADA FARM PARCEL H
 PUD DEVELOPMENT PLAN**

BY	DATE	REVISIONS
SAB	11-09-17	REVISE STAIRS BASED ON CLOSER PFC.

DESIGNED	DATE	APPROVED	DATE
SAB		SAB	
SAB		SAB	

JOB NUMBER
5000

SHEET
C100

DATE
 11/10/17

OVERALL SITE
 PLAN

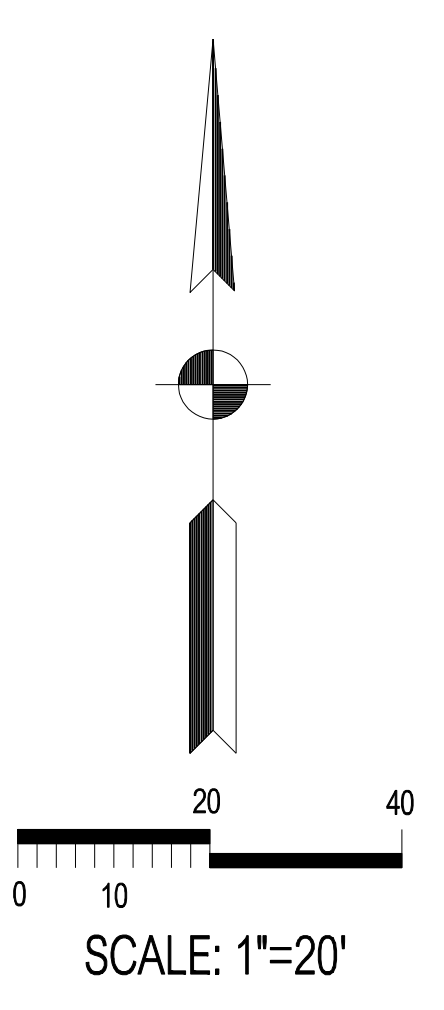


MATERIALS LEGEND

- 1.5" HMA SURFACE ON 3" HMA BASE ON 7" COMPACTED AGGREGATE BASE #53, TYPE "0"
- CONCRETE DRIVE APPROACH
- 6" COMPACTED AGGREGATE BASE #53, TYPE "0"
- 1.5" HMA SURFACE ON 3" HMA INTERMEDIATE ON 5" COMPACTED AGGREGATE BASE #53, TYPE "0"
- HYDRATED PERMEABLE PAVEMENT SYSTEM
- 1.5" HMA SURFACE ON 3" HMA INTERMEDIATE ON 5" COMPACTED AGGREGATE BASE #53, TYPE "0"
- 1.5" HMA SURFACE ON 3" HMA INTERMEDIATE ON 5" COMPACTED AGGREGATE BASE #53, TYPE "0"
- 4" THICK CONCRETE
- 4" COMPACTED AGGREGATE BASE #53, TYPE "0"
- CONCRETE STAIRS, 12" TREAD, RISER VARIES 6" TO 7"

SITE LEGEND

- CONCRETE GUTTER THROUGH CURB
- CONCRETE EDGE RESTRAINT, 6" WIDE
- LINE, PAINT, SOLID, WHITE, 4"
- LINE, PAINT, SOLID, BLUE, 4"
- SYMBOL, PAINT, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY
- LINE, THERMOPLASTIC, SOLID, WHITE, 24" STOP BAR
- LINE, THERMOPLASTIC, SOLID, WHITE, 24" CROSSWALK
- TRAFFIC CONTROL SIGN R1-1 "STOP" 30" X 30"
- NURSERY SOIL
- CURB RAMP - PARALLEL
- CURB RAMP - PERPENDICULAR
- BICYCLE PARKING
- SCRAP MILL BLOCK RETAINING WALL
- PRECAST CONCRETE MODULAR BLOCK WALL
- ACCESSIBLE RAMP WITH HANDRAIL
- DETECTABLE WARNING ELEMENT
- CONSERVATION EASEMENT STORAGE



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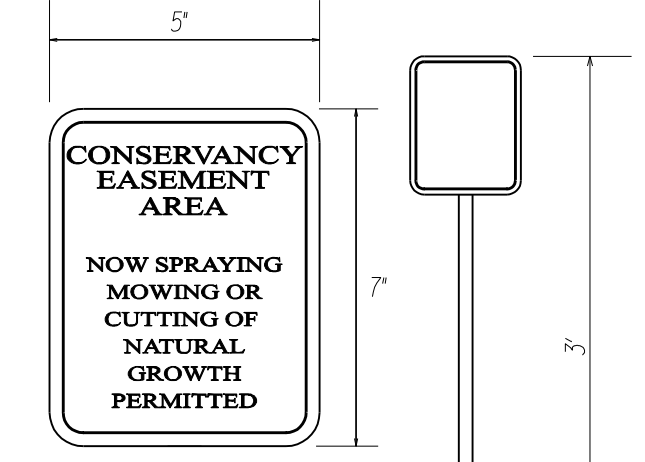
REGISTERED PROFESSIONAL ENGINEER
 NO. 00000165
 STATE OF INDIANA
 CERTIFICATION DATE: 11/22/17

JOB TITLE
**SENTINEL BUILDING
 CANADA FARM PARCEL H
 PUD DEVELOPMENT PLAN**

REVISIONS	BY	DATE
REVISE STAIRS BASED ON LOBEY-FEEC. MOVE BIKE PARKING	SAB	11-20-17
ADD PATIOS BASED ON ARCHITECTURAL PLANS.		

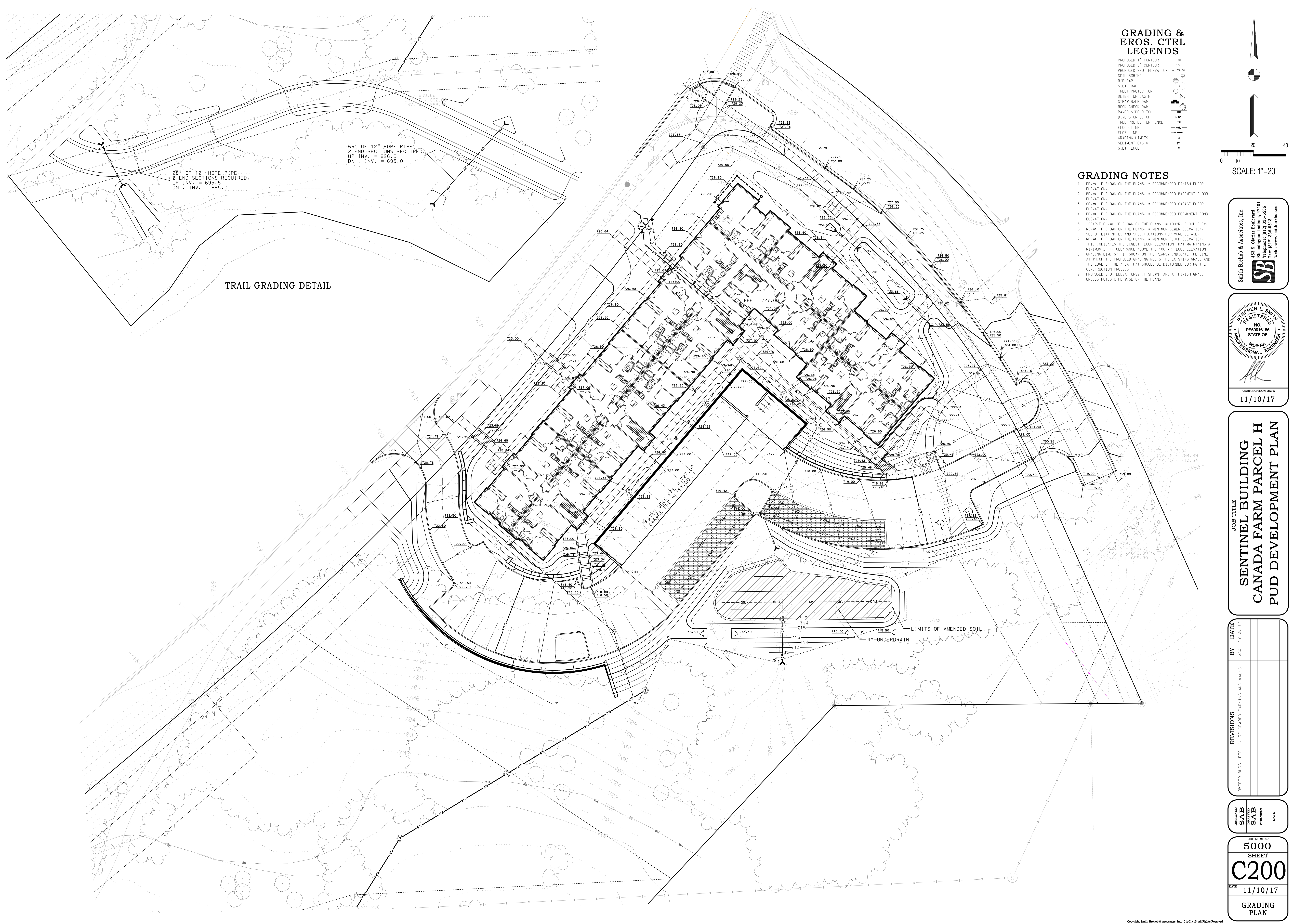
DESIGNED BY: SAB
 DRAWN BY: SAB
 CHECKED BY: [Blank]
 DATE: [Blank]

JOB NUMBER: 5000
 SHEET: C101
 DATE: 11/22/17
 SITE PLAN



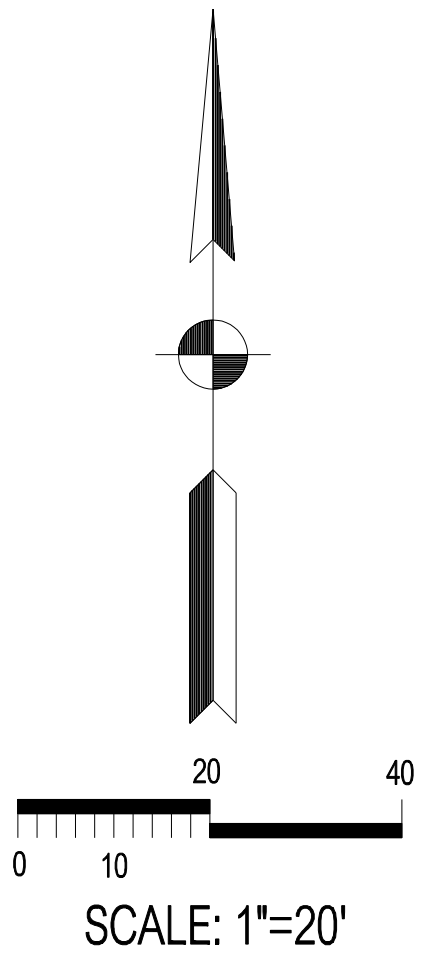
SIGN NOTES:
 1) SIGNS SHALL BE PLACED AT LOCATIONS SHOWN.
 2) SIGN FACE BACKGROUND SHALL BE GRAY. LETTERING SHALL BE WHITE.
 3) SUPPLIER SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 4) POLES SHALL BE GREEN EPDM COATED STEEL U-CHEMEL OR CARBONITE.

CONSERVANCY EASEMENT AREA SIGN
 NO SCALE



GRADING & EROS. CTRL LEGENDS

- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED SPOT ELEVATION
- SOIL BORING
- RIP-RAP
- SILT TRAP
- INLET PROTECTION
- DETECTION BASIN
- STRAW BALE DAM
- ROCK CHECK DAM
- PAVED SIDE DITCH
- DIVERSION DITCH
- TREE PROTECTION FENCE
- FLOOD LINE
- FLOW LINE
- GRADING LIMITS
- SEDIMENT BASIN
- SILT FENCE



GRADING NOTES

- 1) FF=# IF SHOWN ON THE PLANS, = RECOMMENDED FINISH FLOOR ELEVATION.
- 2) BF=# IF SHOWN ON THE PLANS, = RECOMMENDED BASEMENT FLOOR ELEVATION.
- 3) GF=# IF SHOWN ON THE PLANS, = RECOMMENDED GARAGE FLOOR ELEVATION.
- 4) PP=# IF SHOWN ON THE PLANS, = RECOMMENDED PERMANENT POND ELEVATION.
- 5) 100YR-F-ELEV=# IF SHOWN ON THE PLANS, = 100YR. FLOOD ELEV. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAILS.
- 6) MS=# IF SHOWN ON THE PLANS, = MINIMUM SEWER ELEVATION.
- 7) MF=# IF SHOWN ON THE PLANS, = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2'-0" CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- 8) GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- 9) PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.

TRAIL GRADING DETAIL

Smith Brethob & Associates, Inc.
 453 S. Carter Boulevard
 Bloomington, Indiana, 47401
 Telephone: (812) 336-6586
 Fax: (812) 336-0331
 Web: www.smithbrethob.com

STEPHEN L. SMITH
 REGISTERED
 PROFESSIONAL ENGINEER
 NO. PE00016156
 STATE OF INDIANA

CERTIFICATION DATE
 11/10/17

JOB TITLE
**SENTINEL BUILDING
 CANADA FARM PARCEL H
 PUD DEVELOPMENT PLAN**

REVISIONS	BY	DATE
LOWERED BLDG. FEE 1'-0" RE-CORDED PARKING AND BELLS.	SAB	11-09-17

DESIGNED BY
SAB

CHECKED BY
SAB

DATE

JOB NUMBER
5000

SHEET
C200

DATE
 11/10/17

GRADING
 PLAN

UTILITY NOTES

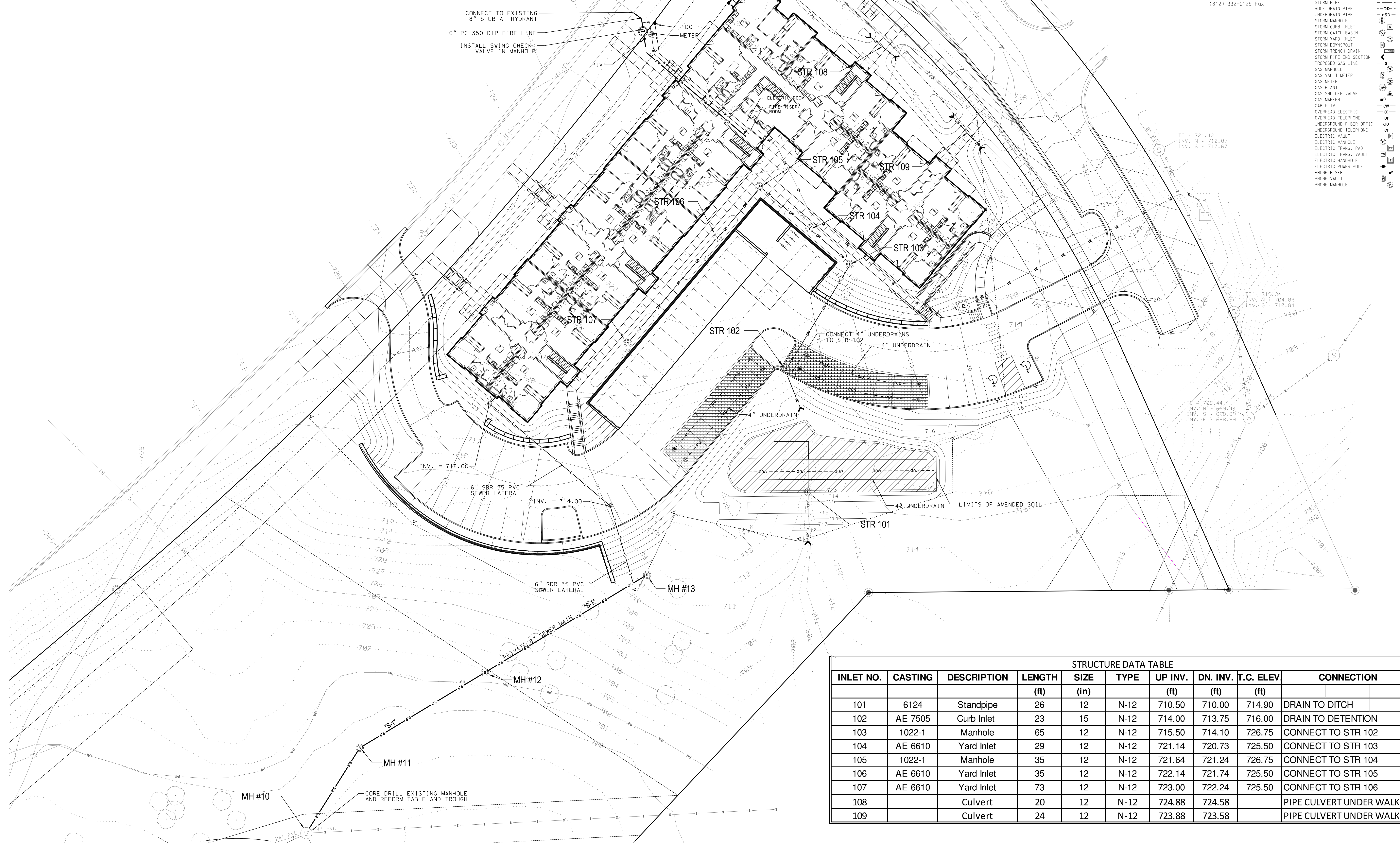
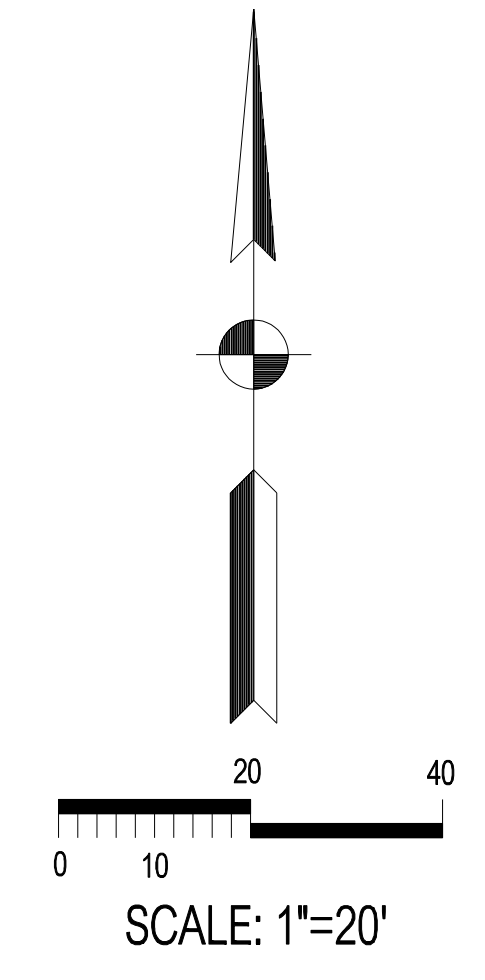
- ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT UTILITIES TECHNICIAN AT (812) 349-3633 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CBU DESIGNATED HOLIDAY OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 349-3660.
- SEE SPECIFICATIONS FOR SIZES OF WATER SERVICE LINES AND SEWER LATERALS NOT SPECIFICALLY NOTED ON THE PLANS.
- MS-44 IF SHOWN ON THE PLANS, MINIMUM SEWER ELEVATION, IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE, WITHOUT A SPECIAL BACKWATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE RIM ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEC. 409(A) OF THE UNIFORM PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- ON ALL EXISTING SANITARY MAINS, WYES SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT NANCY AXSON AT (812) 349-3689 FOR MORE INFORMATION.
- WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRILLED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT KOR-N-SEAL 1 OR 2 FLEXIBLE CONNECTOR OR APPROVED EQUAL. TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
- IN ACCORDANCE WITH SECTION 4.5.2.1.5.5.1, OF THE CBU CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 90 FEET. ALL CLEAN-OUTS, WEATHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2975 OR KEAMAH CATALOGUE NO. R-1974-A. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 6" THICK AND SHALL EXTEND AT LEAST 8" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 3" BELOW THE TOP OF THE CASTING. A #10 INSULATED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT ONE REVOLUTION IS MADE AT LEAST EVERY PIPE JOINT. SPLICES ARE TO BE MADE WITH AN APPROVED CONNECTOR, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- WHEREVER C900 PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARCO SIZED FOR C900 ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM C900 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARCO C900 TO SDR-35 ADAPTER WYES.
- ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE FERRALIC EPOXY LINING. MINIMUM THICKNESS 40 MILS. AND SHALL BE PROTECTED 401, AS MANUFACTURED BY INDOURON PROTECTIVE COATINGS. WYES FOR D.I.P. SHALL BE HARCO D.I.P. TO SDR-35 ADAPTER WYES.
- THE OWNERSHIP OF THE WATER AND SANITARY SEWER MAINS IN THIS DEVELOPMENT WILL BE OWNED AND MAINTAINED BY THE CITY OF BLOOMINGTON UTILITIES. OWNERSHIP WILL TAKE EFFECT AFTER FINISH-WALK-THROUGH WHEN ENCASMENT ARE REQUIRED AND FINISH-ACCEPTANCE IS GIVEN. ANY EXCEPTIONS SHALL BE INDICATED WITH SYMBOLS ON THE PLANS, ADDRESSED BY LETTER AND APPROVED BY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT.
- A PERMANENT INDICATING CONTROL VALVE SHALL BE INSTALLED ON THE FIRE LINE 12" ABOVE THE FLOOR AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST AND WILL REMAIN AS A PART OF THE SYSTEM, ONCE ALL TESTING IS COMPLETE. THE LINE WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. PLEASE CONTACT NANCY AXSON (812-349-3689) FOR ADDITIONAL INFORMATION.
- ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASMENT SLEEVES AND SHALL BE 8-MIL LINEAR DENSITY (LHD) POLYETHYLENE ENCASMENT OR 4-MIL HIGH-DENSITY CROSS-LAMINATED (HDL) POLYETHYLENE ENCASMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C-105/A21.5, USING PLASTIC TIE STRAPS OR CIRCUMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.

UTILITIES

- AT&T (Phone)
Brent McCabe - (812) 334-4521
4517 E. Indiana Bell Ct.
P.O. Box 56
Bloomington, Indiana 47408
(812) 334-4594 Fax
- DUKE ENERGY (Electric)
Kerry Ducker (812) 337-3035
1100 W. 2nd St.
Bloomington, IN 47403
(812) 337-3000 Fax
- CITY OF BLOOMINGTON UTILITIES (Water/Sewer)
Nancy Axson (812) 349-3689
600 E. Miller Dr.
Bloomington, IN 47402
(812) 349-3683 Fax
- VECTREN (Gas)
Doug Anderson (812) 330-4031
205 S. Madison
Bloomington, IN 47404
(812) 330-4057 Fax
- COMCAST (Cable)
Scott Cripe (812) 355-7822
2450 S. Henderson St.
Bloomington, IN 47401
(812) 332-0129 Fax

UTILITY LEGEND

- WATER IRRIGATION LINE
- DOMESTIC WATER SERVICE
- FIRE WATER SERVICE
- WATER MAIN
- WATER SERVICE LINE
- WATER VALVE
- WATER HANDHOLE
- WATER MANHOLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- FLUSH HYDRANT
- WATER MASTER METER
- WATER AIR RELEASE VALVE
- WATER END CAP
- WATER TANK
- SANITARY MAIN LINE
- SANITARY FORCE MAIN
- LOW PRESSURE SEWER
- SANITARY LATERAL
- SANITARY MANHOLE
- SANITARY CLEANOUT
- SANITARY VAULT METER
- SANITARY METER
- SANITARY LIFT STATION
- SHOULDER FLUSHING CONN.
- DOUBLE FLUSHING CONN.
- LOW PRESSURE SEWER PUMP
- L.P.S. AIR RELEASE VALVE
- F.W. AIR RELEASE VALVE
- GREASE TRAP
- SEPTIC TANK
- MONITORING WELL
- STORM PIPE
- ROOF DRAIN PIPE
- UNDERDRAIN PIPE
- STORM MANHOLE
- STORM CURB INLET
- STORM CATCH BASIN
- STORM YARD INLET
- STORM DOWNSPOUT
- STORM TRENCH DRAIN
- STORM PIPE END SECTION
- PROPOSED GAS LINE
- GAS MANHOLE
- GAS VAULT METER
- GAS METER
- GAS PLANT
- GAS SHUTOFF VALVE
- GAS MARKER
- CABLE TV
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- ELECTRIC VAULT
- ELECTRIC MANHOLE
- ELECTRIC TRANS. PAD
- ELECTRIC TRANS. VAULT
- ELECTRIC POWER POLE
- ELECTRIC POWER POLE
- PHONE RISER
- PHONE VAULT
- PHONE MANHOLE



STRUCTURE DATA TABLE									
INLET NO.	CASTING	DESCRIPTION	LENGTH (ft)	SIZE (in)	TYPE	UP INV. (ft)	DN. INV. (ft)	T.C. ELEV. (ft)	CONNECTION
101	6124	Standpipe	26	12	N-12	710.50	710.00	714.90	DRAIN TO DITCH
102	AE 7505	Curb Inlet	23	15	N-12	714.00	713.75	716.00	DRAIN TO DETENTION
103	1022-1	Manhole	65	12	N-12	715.50	714.10	726.75	CONNECT TO STR 102
104	AE 6610	Yard Inlet	29	12	N-12	721.14	720.73	725.50	CONNECT TO STR 103
105	1022-1	Manhole	35	12	N-12	721.64	721.24	726.75	CONNECT TO STR 104
106	AE 6610	Yard Inlet	35	12	N-12	722.14	721.74	725.50	CONNECT TO STR 105
107	AE 6610	Yard Inlet	73	12	N-12	723.00	722.24	725.50	CONNECT TO STR 106
108		Culvert	20	12	N-12	724.88	724.58		PIPE CULVERT UNDER WALK
109		Culvert	24	12	N-12	723.88	723.58		PIPE CULVERT UNDER WALK

Smith Brethob & Associates, Inc.
433 S. Charter Boulevard
Bloomington, Indiana, 47401
Phone: (812) 336-6586
Fax: (812) 336-0332
Web: www.smithbrethob.com

CERTIFICATION DATE: 11/10/17

JOB TITLE
**SENTINEL BUILDING
CANADA FARM PARCEL H
PUD DEVELOPMENT PLAN**

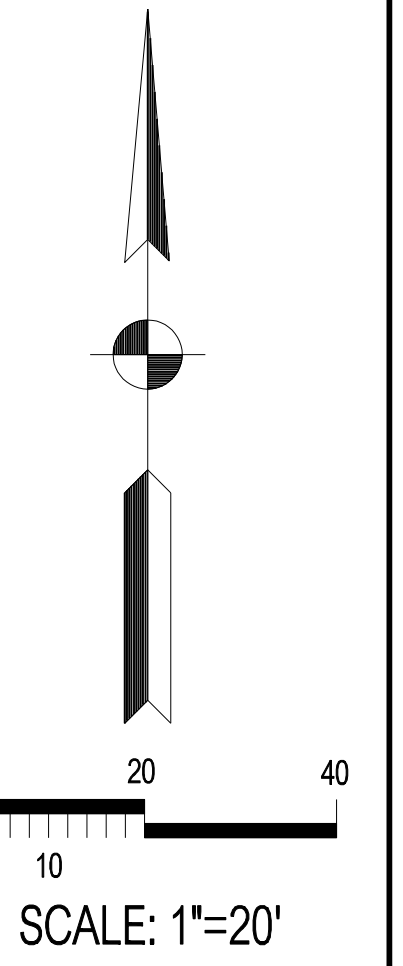
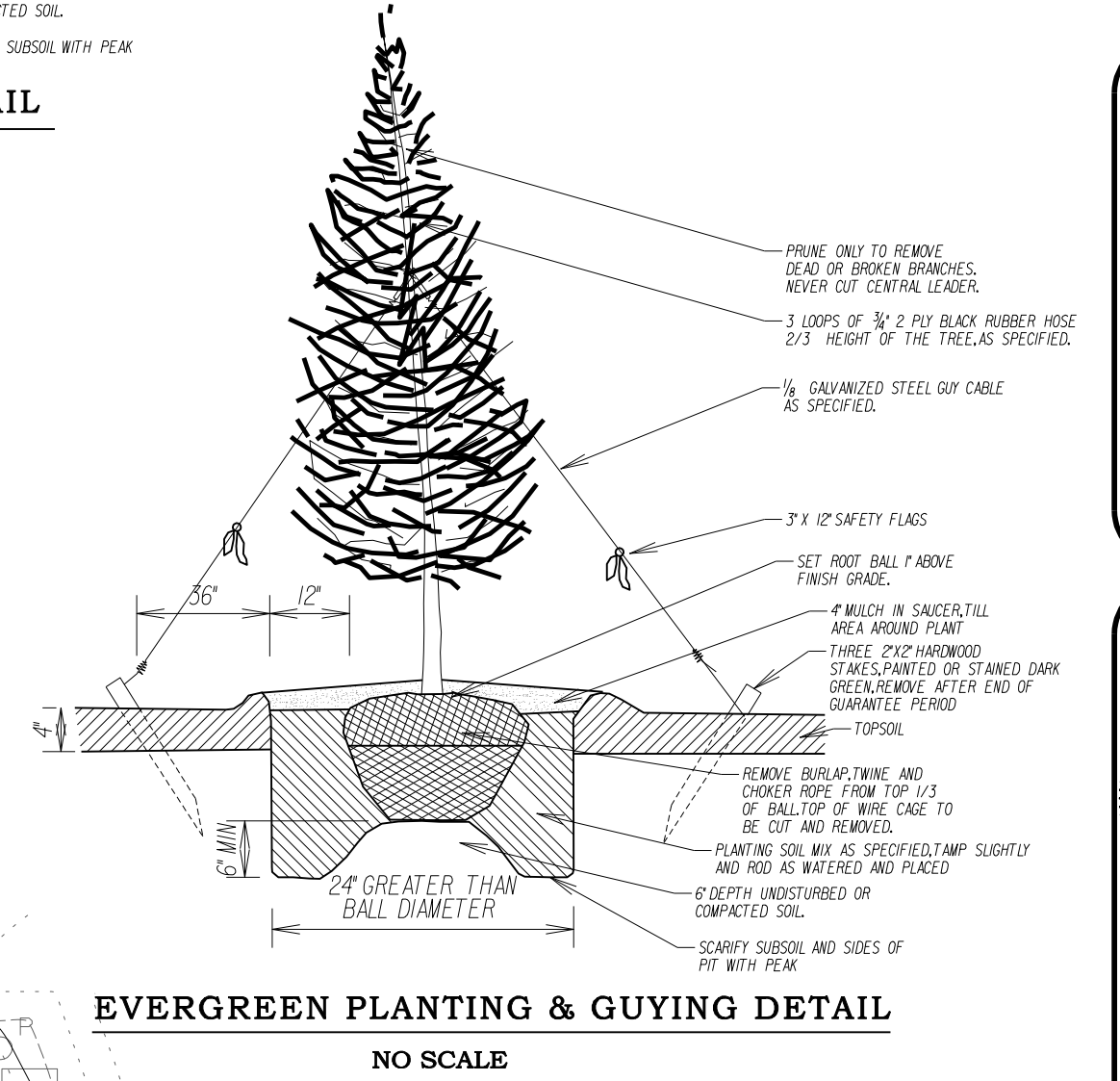
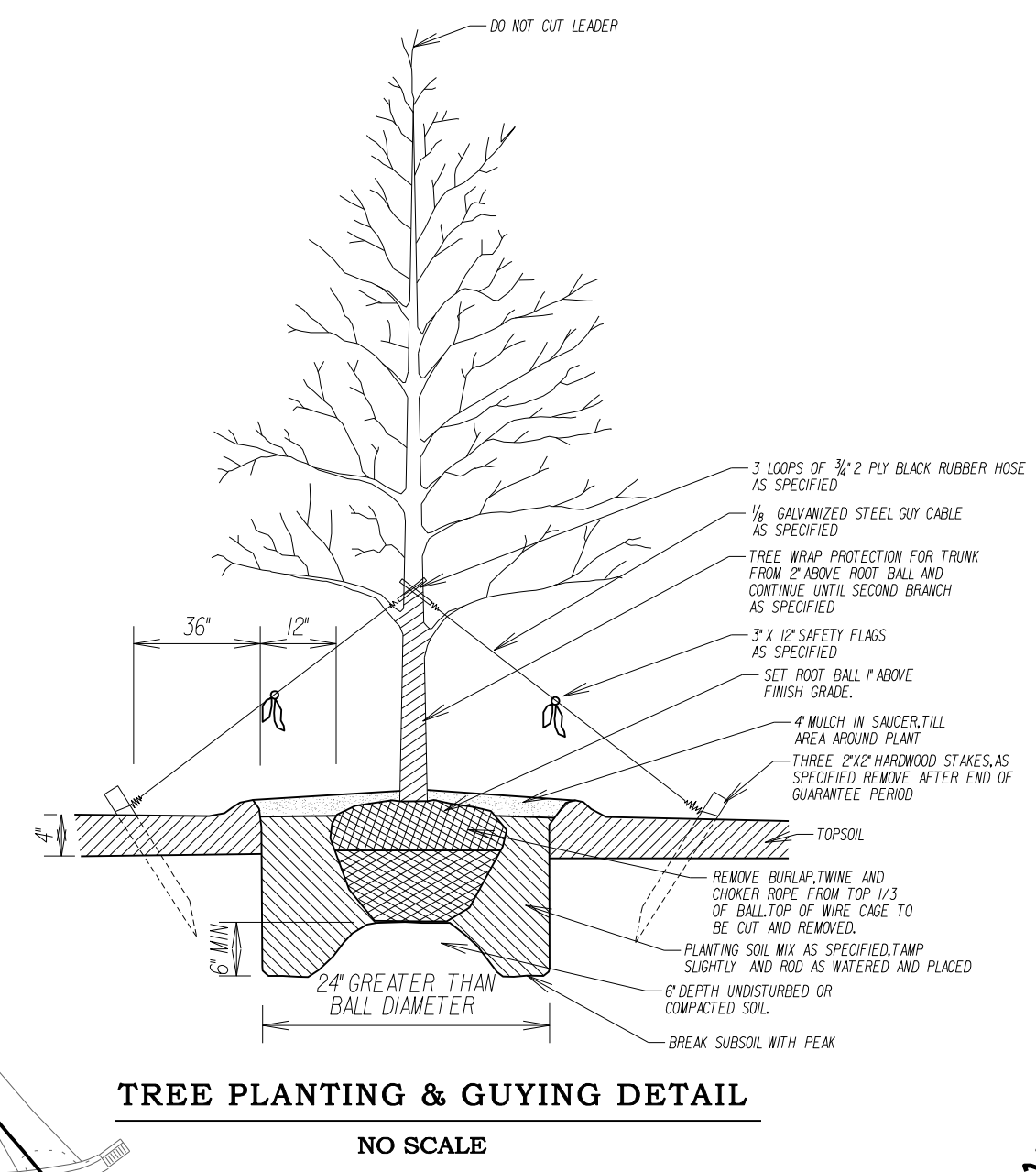
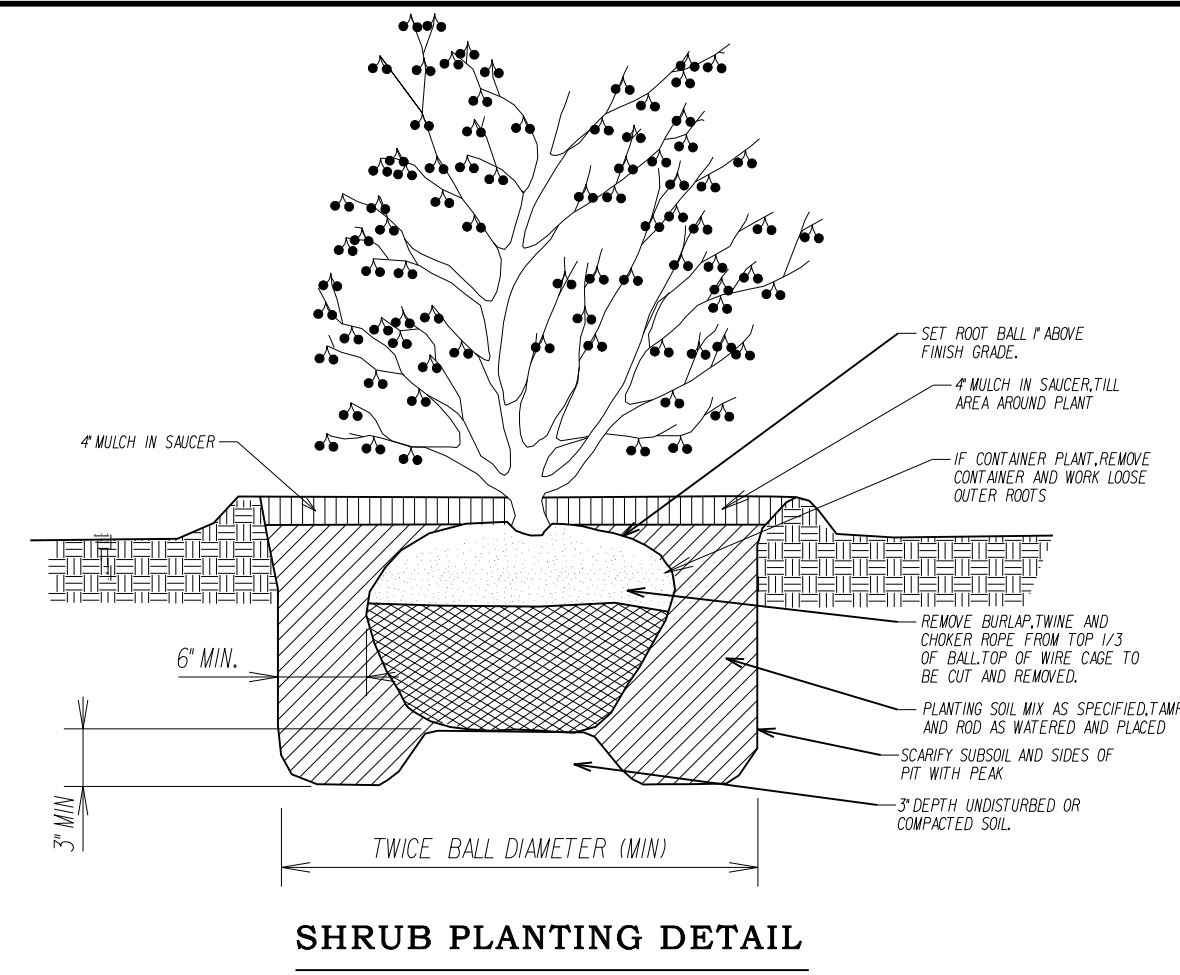
REVISIONS	BY	DATE
ADJUSTED STORM FOR LOWER PAD GRADE. ADDED 108, 109, 548	LE	11-09-17

DESIGNED BY: SAB
CHECKED BY: SAB
DATE: _____

JOB NUMBER: 5000
SHEET: C300
DATE: 11/10/17
UTILITY PLAN

LANDSCAPE PLANT TABLE

Table with 5 columns: KEY, QTY, BOTANICAL NAME, COMMON NAME, SIZE, COMMENTS. Lists various tree and shrub species like CORNUS florida, LIQUIDAMBAR styraciflora, NYSSA sylvatica, etc.



Sentinel Building Canada Farm Parcel H

Zone PUD- All surrounding zones are PUD.

Street Trees Required

1 tree required for every 40 lf of property that abuts ROW, Sare Road. Existing street trees shall remain; 1 new street tree required, 1 QR shall be planted on Sare Road, coordinate location with City Planning and Transportation Dept. E. Canada Dr. 296 lf of ROW abutment. 8 trees required, 8 trees provided,

Buffer Yard West Property Line

No buffer yards provided

Parking lot Requirements: 36 Total Parking Spaces.

One large canopy tree required for every 4 spaces, 9 trees required; 9 new large canopy trees provided. 3 shrubs required for every parking space, 108 shrubs required, 109 shrubs provided 56% evergreen

Landscape Bumpout and Islands

1 large canopy tree required per bumpout and island. 3 bumpouts and islands provided, 3 new large canopy trees provided

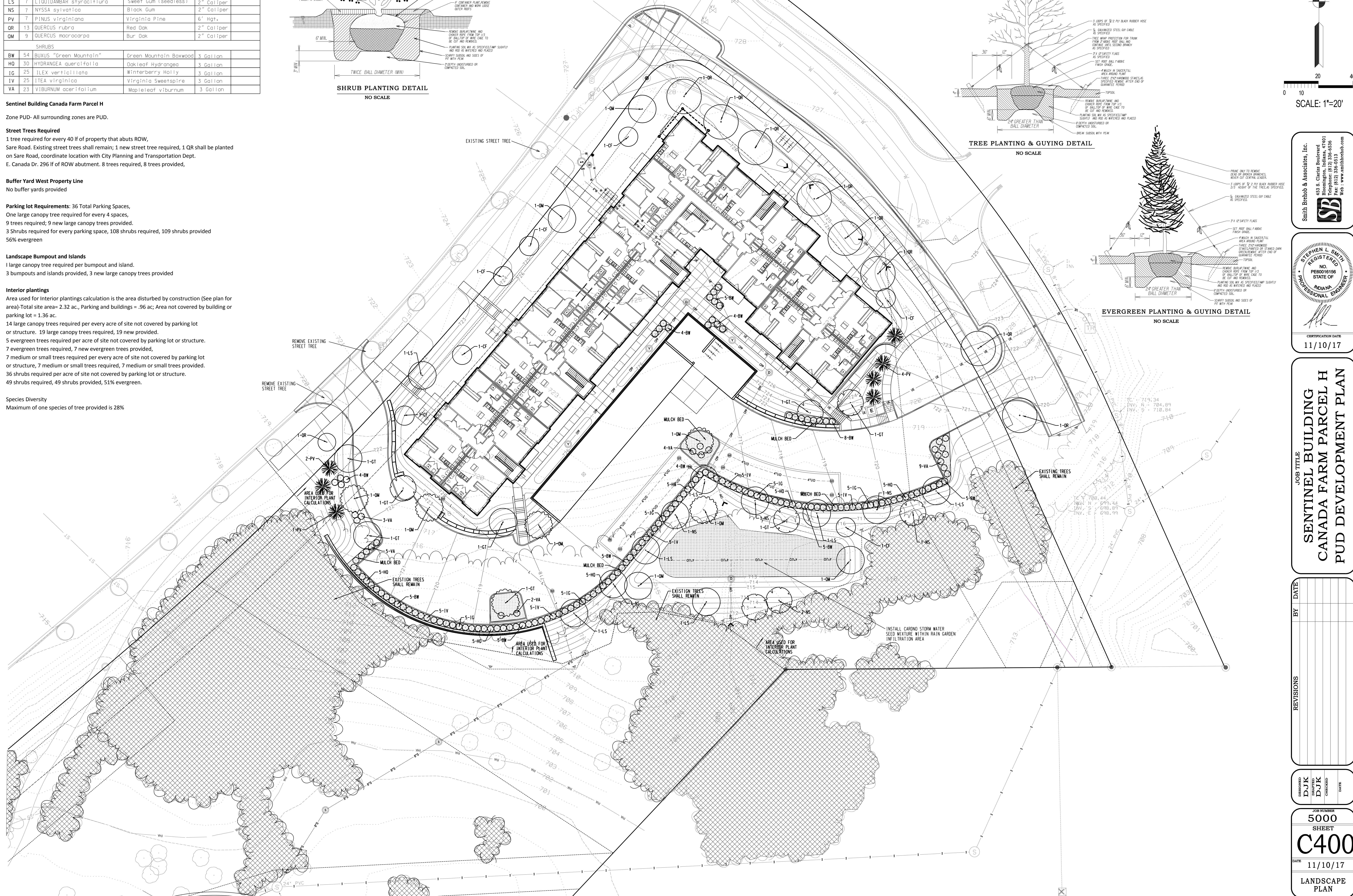
Interior plantings

Area used for interior plantings calculation is the area disturbed by construction (See plan for area)-Total site area= 2.32 ac., Parking and buildings = .96 ac; Area not covered by building or parking lot = 1.36 ac.

14 large canopy trees required per every acre of site not covered by parking lot or structure. 19 large canopy trees required, 19 new provided. 5 evergreen trees required per acre of site not covered by parking lot or structure. 7 evergreen trees required, 7 new evergreen trees provided, 7 medium or small trees required per every acre of site not covered by parking lot or structure, 7 medium or small trees required, 7 medium or small trees provided. 36 shrubs required per acre of site not covered by parking lot or structure. 49 shrubs required, 49 shrubs provided, 51% evergreen.

Species Diversity

Maximum of one species of tree provided is 28%



Professional Engineer seal for Stephen L. Smith, Registered Professional Engineer, No. PE00016156, State of Indiana, dated 11/10/17.

Job title: SENTINEL BUILDING CANADA FARM PARCEL H PUD DEVELOPMENT PLAN

Table for REVISIONS with columns for NO., BY, DATE, and DESCRIPTION.

Designated by DJK, Drawn by DJK, Checked by DJK, Date 11/10/17, Job Number 5000, Sheet C400, Date 11/10/17, Landscape Plan.

SOILS MAP



Bu - Burnside silt loam, occasionally flooded
 TIB - Zanesville silt loam, 2 to 6 percent slopes
 WeC - Wellston silt loam, 6 to 12 percent slopes
 HUC 051202080801

INDEX AND NARRATIVE

SEC. A CONSTRUCTION PLAN ELEMENTS

- A2 - Recorded Final Plat
Attached by reference, Canada Form Phase 3, PC "C" PG 275 in the Office of the Recorder of Monroe Co.
- A3 - Narrative describing nature and purpose of project
The purpose of this project is to develop the site into a multifamily development. The project will include clearing, site grading, building and utility construction, detention area excavation and temporary and permanent surface stabilization.
- A4 - Vicinity Map
A vicinity map is shown on Sheet C001.
- A5 - Legal Description
The record legal description for the property is shown on Sheet C001.
- A6 - Location of lots and proposed improvements
The location of all proposed improvements is shown on Sheets C100-C400.
- A7 - Hydrologic Units Code
The HUC code is shown on Sheet C500.
- A8 - Notation of any State or Federal water quality permits
An IDEM NPDES Storm Water NOI is required. Construction in a Floodway Permit is required from IDNR for sewer and trail construction. No other State or Federal Water Quality permits are required for the project.
- A9 - Specific points where storm water discharge leaves the site
Jackson Creek is the receiving water. Points where drainage leaves the site are shown on the Drainage Map on Sheet C500.
- A10 - Location & name of all wetlands, lakes & water courses on and adjacent to the site - (if they exist). The east fork of Jackson Creek runs along the SE area of the site. The stream will not be disturbed for this project. There are no wetlands on site based on a review of the National Wetlands Inventory Map.

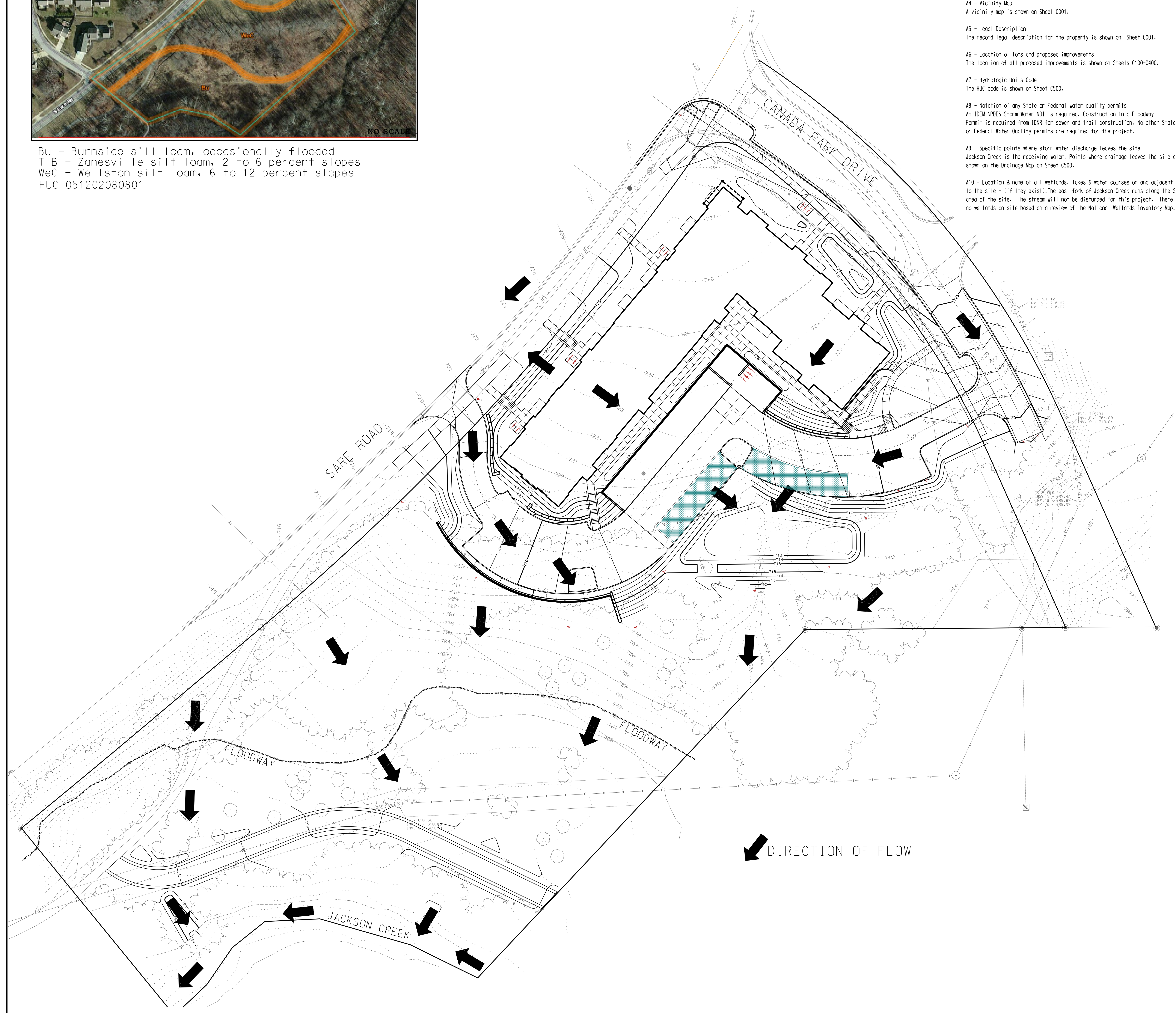
- A11 - Identification of all receiving waters
Jackson Creek is the receiving water.
- A12 - Identification of potential discharges to ground water
Sinkholes and other karst features are not present on site.
- A13 - 100 yr Floodplains, Floodways, and flood fringes - if they exist
A portion of the site is in a Floodplain. An IDNR Construction in a Floodplain permit will be required as a part of this project.
- A14 - Pre & Post construction estimates of peak discharge (10 yr)
The estimated pre-construction 10 year discharge is 1.93 cfs
The estimated post-construction 10 year discharge post detention is 1.80 cfs
- A15 - Adjacent land use, including upstream watershed
The use of adjacent land is developed for multifamily residential use or commercial and office use. Surfaces include lawn, parking lot and drive impervious surface and roof area.
- A16 - Location & approximate boundary of all disturbed areas
The location and approximate boundary of all disturbed areas are shown on Sheets C100-C400.
- A17 - Identification of existing vegetative cover
The existing vegetation on site include dense grass near the road and wooded area on the south side of the site.
- A18 - Soils map including soil descriptions and limitation
The soils map for the project site is shown on Sheet C500. Soil types are noted as well.
- A19 - Proposed storm water system location, size & dimension
Proposed new storm water systems consist of storm sewer and a storm water detention basin with outlet control structure and emergency overflow. Solid features are shown on Sheets C200-300.
- A20 - Plans for off-site constr. Activities assoc. w/project
Offsite activities are required for this project and include public improvements within the ROW as shown on the plans.
- A21 - Proposed stockpile and/or borrow/disposal area locations
A topsoil stockpile location is shown on Sheet C501.
- A22 - Existing topography
Typical site topography is shown on the Sheet C100.
- A23 - Proposed final topography
Typical proposed final topography is shown on the Sheet C101-400.

SECTION B - STORMWATER POLLUTION PREVENTION PLAN - CONSTRUCTION COMPONENT

- B1 - Description of potential pollutant sources assoc. w/constr.
Possible pollutants associated with construction include trucks used for delivery of fuel and maintenance of vehicles. Some pollutants associated with construction include grit and sediment due to grading and clearing, rust and brake dust from the construction vehicles and various fluids that may be used to lubricate or maintain construction equipment. Other pollutants may be possible, but are not foreseeable at this time. Specifications shown on Sheet C502 address recommendations used for spills and other groundwater contaminants due to construction.
- B2 - Sequence describing storm water quality measures implementation relative to land disturbing activity
Indicated in the General Erosion Control Sequence on the Sheet C501.
- B3 - Stable construction entrance location and specifications
Locations are shown on the Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B4 - Sediment control measures for sheet flow
S111 fence will be utilized. Locations are shown on the Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B5 - Sediment control measures for concentrated flow areas
Temporary rock dams will be utilized at points of concentrated flow. Locations are shown on the Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B6 - Storm sewer inlet protection measure location & spec's.
S111 fence and sand bag inlet protection will be utilized at points where flow would enter a storm sewer inlet or pipe culvert. Locations are shown on Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B7 - Runoff control measures
A storm water detention basin is being constructed. The basin is shown on Sheet C200 and Sheet C300.
- B8 - Storm water outlet protection specifications
Pipe outlets will be stabilized with a rock chute. The locations are shown on Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B9 - Grade stabilization structure locations and specifications
Retaining walls are required at some locations. Wall locations are shown on Sheet C101 and C200. Details are shown on Sheet C800.
- B10 - Location, dimensions, specifications, & constr. details of each storm water quality measure.
Typical storm water quality measures are shown on Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B11 - Temporary surface stabilization methods appropriate for each season
Season specific temporary surface stabilization methods are shown on Sheet C501 and detailed on Sheet C501. Specifications are shown on Sheet C502.
- B12 - Permanent surface stabilization specifications
Permanent surface stabilization methods are shown on Sheet C101 and Sheet C400. Specifications are contained in the project manual.
- B13 - Material handling and spill prevention plan
Specifications for material handling and spill prevention are noted on Sheet C502.
- B14 - Monitoring and maintenance guidelines for each proposed storm water quality measure
Specifications for temporary erosion control devices is noted on Sheet C502.
- B15 - Erosion & sediment control specifications for individual building lots
Not applicable. There will be no subdivision of the property for individual building lots.

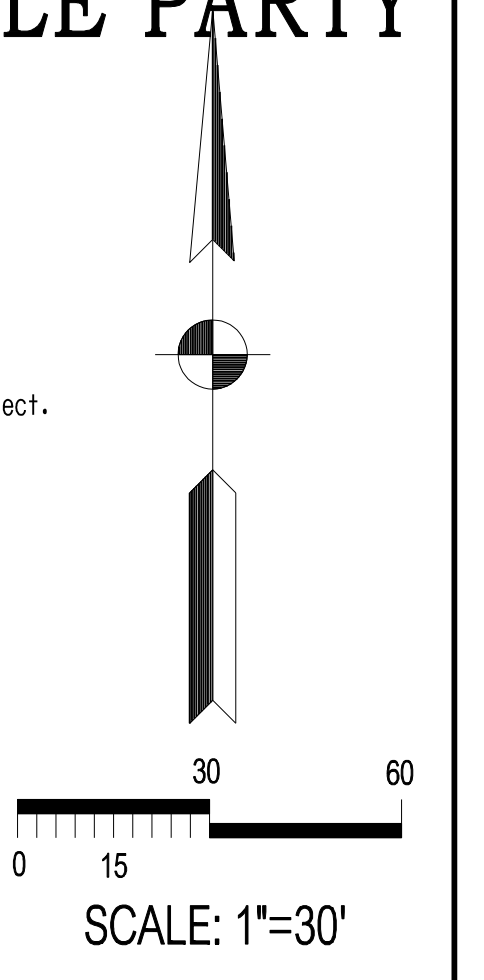
SEC C. STORMWATER POLLUTION PREVENTION PLAN - POST CONSTRUCTION

- C1 - Description of pollutants & their sources associated with the proposed land use
Pollutants associated with post construction use include lawn fertilizers, pesticides, household chemicals, oils, grease, petroleum products, solvents and vehicle fluids, dust and paint products. Other pollutants associated with vehicle repair and maintenance may be present.
- C2 - Sequence describing storm water quality measures implementation
Site surface restoration will occur at the end of land disturbing activity. The detention pond will provide for sediment control during construction.
- C3 - Description of proposed post-construction storm water quality measures
Following completion of construction, the outlet control structure will provide for extended detention allowing for settlement of suspended solids. The underdrain within the bottom of the basin will allow for filtration through the amended soils layer and plant material within the bottom of the basin to provide for water quality treatment prior to discharge to the offsite storm sewer system.
- C4 - Location, dimensions, specifications, and construction details of each storm water quality measure
Vegetated swales and the detention basin shown on the grading plans and the SWPPP will provide for water quality. No other post construction storm water quality measures such as mechanical BMP's are proposed.
- C5 - Description of maintenance guidelines for post construction storm water quality measures
Maintenance of post construction storm water quality measures will consist of mowing and re-seeding as required to maintain vegetative cover. Periodic inspection of the rock chutes, storm sewer inlets and pipes, outlet control structure and detention basin bottom will also be required to inspect for any accumulated sediment or trash. Trash and sediment shall be removed, erosion repaired if present within the detention basin bottom or side slopes by re-seeding as required. All maintenance will be the responsibility of the owner and operator of the property.



RESPONSIBLE PARTY

Tim Henke
 3051 Sare Road LLC
 3321 S. Chestwood Lane
 Bloomington, IN, 47401
 (812) 330-1123
 Henke@aol.com



Smith Breth & Associates, Inc.
 433 S. Carter Boulevard
 Bloomington, Indiana, 47401
 Telephone: (812) 336-6586
 Fax: (812) 336-0532
 Web: www.smithbreth.com

REGISTERED PROFESSIONAL ENGINEER
 NO. PE00016156
 STATE OF INDIANA
 CERTIFICATION DATE: 11/10/17

JOB TITLE
**SENTINEL BUILDING
 CANADA FARM PARCEL H
 PUD DEVELOPMENT PLAN**

REVISIONS	BY	DATE

DESIGNED BY: KES
 CHECKED BY: KES
 DATE: 11/10/17

JOB NUMBER: 5000
 SHEET: C500
 DATE: 11/10/17
 SWPPP INDEX

**BLOOMINGTON PLAT COMMITTEE
STAFF REPORT
Location: 1530 & 1560 S Piazza Dr.**

**CASE #: DP-05-19
DATE: February 11, 2019**

PETITIONER: Ramsey Land Development
1530 S Piazza Drive, Bloomington, IN

CONSULTANT: Tim Hanson
1530 S Piazza Drive, Bloomington, IN

REQUEST: The petitioner is requesting final plat approval to amend Lots 200 & 201 of the Renwick Phase III plat.

REPORT: The petition site is located in the Renwick Planned Unit Development approved in 2004 (PUD-53-03). The preliminary plat for this phase was approved under PUD-22-05 and final plan approval was given under PUD-28-07. The two lot petition site is 0.23 acre. This site is part of the larger 80 acre Renwick Planned Unit Development located in the southeast part of town. The two lots are located at the northwest corner of E. Cathcart Street and S. Piazza Drive.

The petitioner proposes to divide the two larger lots into a total of five lots. The proposed five lots will be 0 lot line developments for five (5) live/work units in two detached structures. Live/work units are approved uses within the original PUD. The lower level of the structures will have 350/400 square feet of life/work space, half bath to accommodate clients, and two parking spaces. The upper levels will be a 1,630 sf two bedroom living space. The proposed design is for garages to be located underneath the units and accessed from the rear. No drivecuts are proposed or approved on Piazza Drive.

SITE PLAN REVIEW:

Right of Way: No new right-of-way is required to be dedicated.

Minimum Lot Size: The proposed lots range in size from 0.03 acres to 0.07 acres. There is no minimum lot size in the PUD for this specific land use.

Environmental: The petitioner will be required to submit a landscaping plan that meets the standards of the PUD or the UDO with the application and approval of a building permit.

FINAL PLAT REVIEW: The Review Considerations for Final Plats BMC 20.09.190(g) require that the Plan Commission (or Plat Committee) review (1) The written statement and supportive material submitted by the petitioner; (2) The Preliminary Plat; (3) The Final Plat; (4) Any commitments or conditions of approval attendant to prior approvals; (5) The testimony of the petitioner; (6) The testimony of the public during the Preliminary Plat public hearing, when applicable; (7) Any applicable development standards in Chapter 20.05: Development Standards; (8) Any applicable subdivision standards in Chapter 20.06: Subdivision Regulations; (9) Any applicable design standards in Chapter 20.07: Design Standards; (10) Any other applicable provisions of the Unified Development Ordinance; (11) Any requirements of the members of the Development Review Committee; (12) The Planning and Transportation Department report; and

(13) Such other additional information as may be required by the Plan Commission to evaluate the petition.

PRELIMINARY PLAT: The Plan Commission issued Preliminary Plat approval at its December 10, 2007 hearing.

20.06 SUBDIVISION REGULATIONS:

Setbacks: There is a 0 lot line between the shared lot lines of the proposed Lots 210 and 211, as well as with the shared lot lines between the proposed Lots 212, 213, and 214. There is a four foot sideyard setback along the east property line of proposed Lot 211 and the west property line of the proposed Lot 212. This would allow for two separate buildings with townhome like units arranged on each proposed lot. There is a one (1) foot building setback along the eastern property line of all proposed lots and along the south property line of the proposed Lot 210.

20.07 DESIGN STANDARDS: Chapter 7 outlines design standards for site and infrastructure improvements associated with all lot subdivisions.

Easement Standards (EA):

Easements: There is a utility easement varying in width that runs along the west property line of the proposed lots. Across the four most northern lots there is an ingress/egress easement to allow for vehicular access to garage spaces that will be located below the proposed units.

Pedestrian Network Standards (PN):

All developments shall integrate pedestrian facilities along street frontages, located one (1) foot inside the right-of-way. This development will complete the sidewalk system along Piazza Drive. There is existing sidewalk along E. Cathcart.

Street and Right-of-Way Standards (SR):

There are no proposed changes to the existing roads or proposed right-of-way. The existing right-of-way has already been dedicated.

Utility Standards (UT):

There are existing utilities to service the proposed lots.

CONCLUSION: The amendment to the plat aligns with the original intent and design of the preliminary plat and final plan approval for the Village Center and meets the minimum Final Plat requirements of the Unified Development Ordinance.

RECOMMENDATION: Based on the findings in the above report, the Department recommends approval of the final plat amendment for case DP-05-19 with the following conditions:

1. Plat Signature block will be amended to reflect approval by Plat Committee and Board of Public Works.
2. The petitioner shall file the Final Plat with the County Recorder's Office and within thirty (30) days provide the Planning and Transportation with a copy of the recorded mylar.

3. Building and grading (if deemed necessary) permits shall be issued prior to any site work.
4. A landscaping plan shall be submitted with the building permit.
5. Sidewalk system must be complete along Piazza Drive.

January 14, 2019

Amelia Lewis
City of Bloomington Planning Department
401 N. Morton Street
Bloomington, IN. 47402

RE: Renwick Final Plat, Phase VI

Dear Amelia,

Ramsey Land Development respectfully request to be placed on the February 11, 2019 Agenda for the City of Bloomington Plat Committee. Our request will be for Final Plat approval for Phase VI, of the Renwick PUD. This plat will be a re-platting of Lots 200 & 201 in the Renwick Village Center platted with the Renwick Phase III plat in October 2008.

Lots 200 & 201 will be re-platted to create 5 zero lot line Live/Work Units. The Lots have been developed in accordance with the approved Renwick PUD. No substantial deviations have been made from the Phase III Final Plan & Preliminary Plat approved in the Fall of 2007.

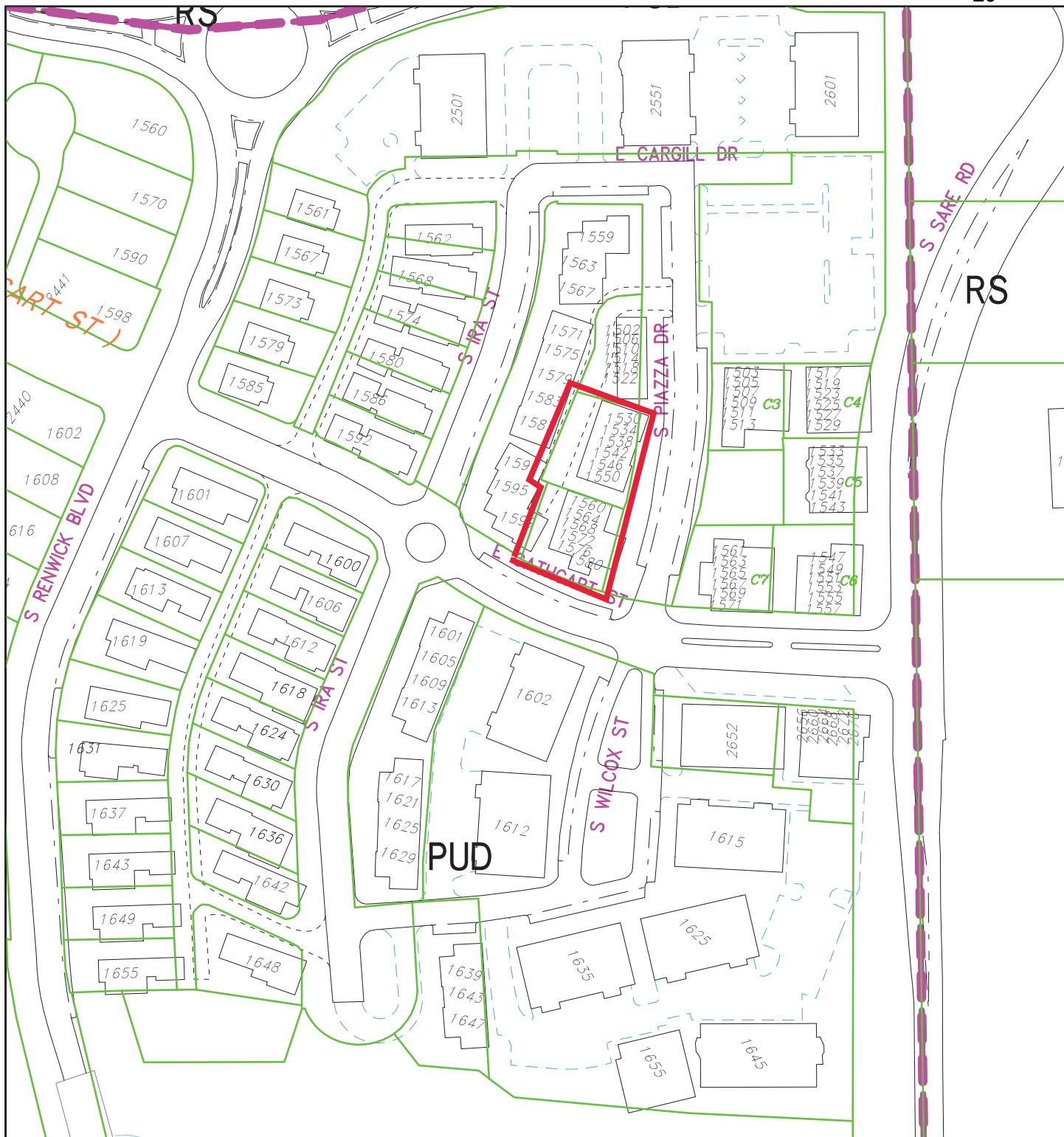
Please find attached the required information to render your approval.
Respectfully,

Ramsey Land Development

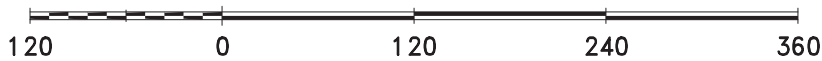


Timothy A. Hanson

Cc: Eric Stolberg

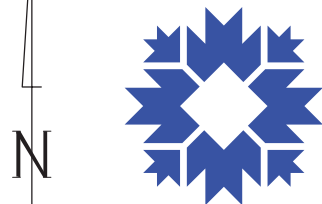


By: lewisa
8 Feb 19



For reference only; map information NOT warranted.

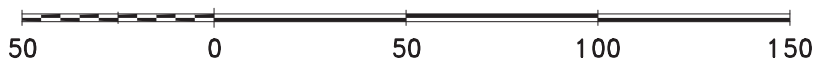
City of Bloomington
Planning & Transportation



Scale: 1" = 120'



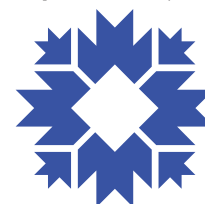
By: lewisa
8 Feb 19



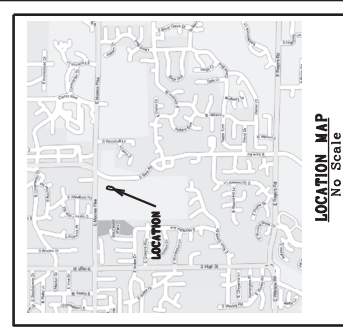
For reference only; map information NOT warranted.



City of Bloomington
Planning & Transportation



Scale: 1" = 50'



PLAN COMMISSION AND PLAT COMMITTEE
Under the authority provided by Chapter 114, Acts of 1947, enacted by the General Assembly of the State of Indiana and ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington.

I hereby certify that the Subdivision plat does not include any public improvements and is in compliance with the City of Bloomington Unified Development Ordinance.
Approved by the Board of Public Works at a meeting held: December 13, 2010.
Adam Mason, Director of Public Works

I affirm, under the penalties for perjury, that I have taken reasonable care to record each Social Security Number in this document unless required by law.
Surveyor
Registered Land Surveyor No. _____
State of Indiana

Renwick Phase III
Legal Description
Lots 200 & 201 of Renwick Phase III Final Plat Recorded in the Office of the Recorder of Marroo County, Indiana.
I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that the information shown is true and correct to the best of my knowledge and belief.
Certified this _____ day of _____, 2019

Surveyor
Registered Land Surveyor No. _____
State of Indiana

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I hereby certify that the Subdivision plat does not include any public improvements and is in compliance with the City of Bloomington Unified Development Ordinance.

REMARKS
The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Declaration of Charter, Easements, Covenants, and Restrictions for the Residential Neighborhood, dated 10/27/2005 and recorded as Instrument Number 2005021761 and re-recorded as Instrument Number 2008005193 in the Office of the Recorder of Marroo County, Indiana.

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Master Deed Restrictions dated 04/08/2008 and recorded as Instrument Number 2008005196 in the Office of the Recorder of Marroo County, Indiana.

The real estate described on this plat shall be and is hereby subject to the terms and conditions of the Declaration of Charter, Easements, Covenants, and Restrictions for the Village Center, dated 10/17/2008 and recorded as Instrument Number 2008012265 in the Office of the Recorder of Marroo County, Indiana.

The undersigned, Eric C. Stolberg, President Ramsey Land Development, Inc. being the owner of the above described real estate, does hereby logoff, plat, and subdivide the same into lots and streets in accordance with this plat. The within plat shall be known and designated as Renwick Phase 6.

IN WITNESS WHEREOF, Ramsey Land Development, Inc. an Indiana Corporation, by Eric C. Stolberg, President, has hereunto executed this _____ day of _____, 2019.

Eric C. Stolberg, President
Ramsey Land Development Inc.
STATE OF INDIANA
COUNTY OF MARROO

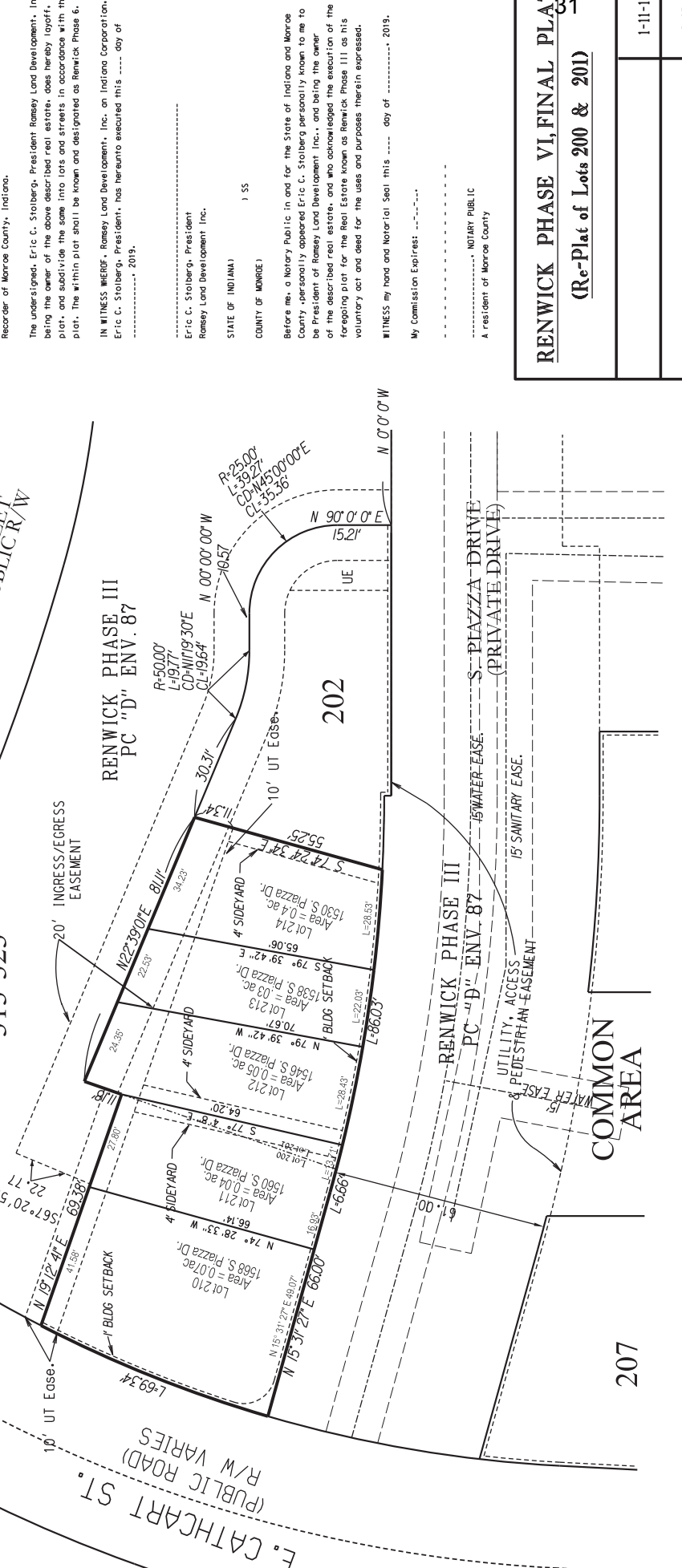
Before me, a Notary Public in and for the State of Indiana and Marroo County, personally appeared Eric C. Stolberg personally known to me to be the President of Ramsey Land Development Inc., and being the owner of the described real estate, and who acknowledged the execution of the foregoing plat for the Real Estate known as Renwick Phase III as his voluntary act and deed for the uses and purposes therein expressed.

My Commission Expires _____, 2019.

NOTARY PUBLIC
A resident of Marroo County

RENWICK PHASE VI, FINAL PLAT
31
(Re-Plat of Lots 200 & 201)

1-11-19
PAGE 1 OF 1



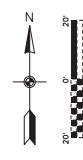
RENWICK PHASE III
PC "D" ENV. 87
RENWICK PHASE III
PC "D" ENV. 87
COMMON AREA

RENWICK VILLAGE CENTER - LIVE / WORK UNITS

1530 S. PIAZZA DRIVE
BLOOMINGTON, INDIANA 47401

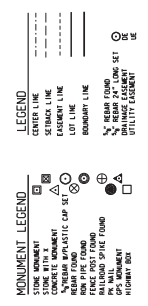
DATE: 01/11/2019

PRELIMINARY
PLAN
1/3



NOTES

- All corners are to be worked 4 ft.
- This is a preliminary plan. It is subject to change without notice. It is not to be used for construction purposes.
- Building setbacks: Per LSI Standards for Renwick.



PUR COMMISSION AND PLAN COMMITTEE
Under the authority provided by Chapter 174, Acts of 1947, as amended by the General Assembly of the State of Indiana and the City of Bloomington, this plan was approved by the City of Bloomington.
I hereby certify that the information contained herein was reviewed by me, and to the best of my knowledge and belief, it is true and correct.
Certified this day of 2019
Mayor, City of Bloomington

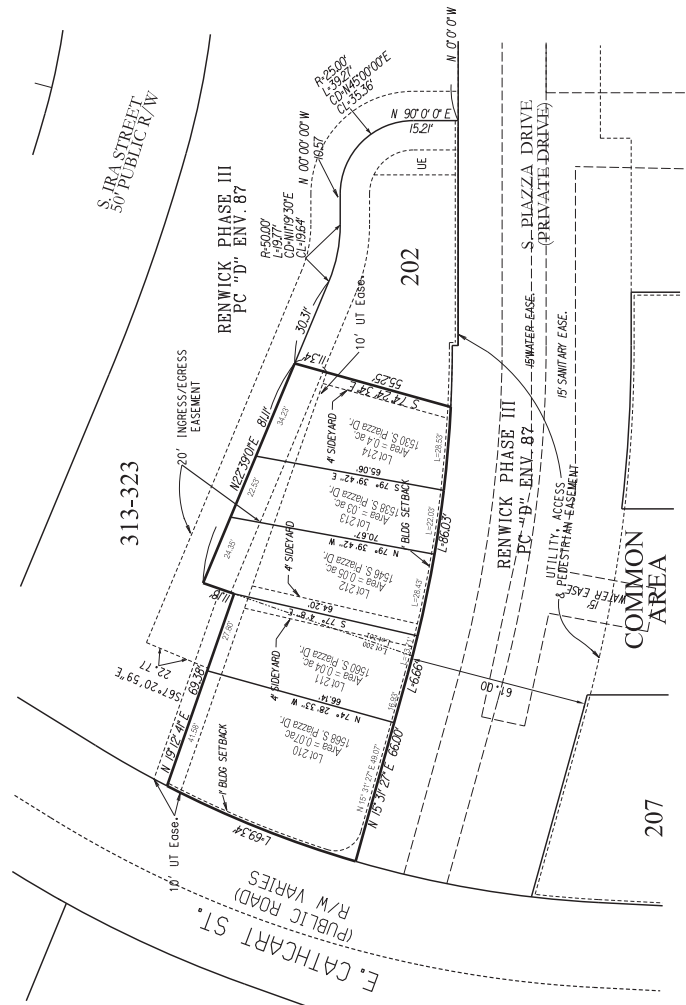
PLANNING AND ZONING COMMISSION
I affirm, under the penalties for perjury, that I have taken the necessary steps to verify the accuracy of the information in this document unless indicated by law.
Certified this day of 2019
Mayor, City of Bloomington

John Bacon, Director of Public Works
Terri Parker, Director of Planning and Transportation
President of Plan Commission

Supervisor, Land Surveyor No. ...
State of Indiana
I affirm, under the penalties for perjury, that I have taken the necessary steps to verify the accuracy of the information in this document unless indicated by law.

RENWICK
The real estate described on this plan shall be sold in hereby subject to the terms and conditions of the declaration of Chapter, Esplanade, Conventions, and restrictions for the Residential Neighborhood, dated 10/27/2005 and recorded as instrument number 200501101 and amended as instrument number 200602110, in the office of the Recorder of Marion County, Indiana.
The real estate described on this plan shall be sold in hereby subject to the terms and conditions of the declaration of Chapter, Esplanade, Conventions, and restrictions for the Village Center, dated 10/17/2008 and recorded as instrument number 200801105, in the office of the Recorder of Marion County, Indiana.
The undersigned, Eric C. Stolberg, President Renwick and Development, Inc., being the owner of the above described real estate, does hereby sign this plan. The entire plan shall be known and designated as Renwick Phase 4.
IN WITNESS WHEREOF, I have hereunto set my hand and seal as President of Eric C. Stolberg, President of Renwick and Development, Inc., on this day of 2019.

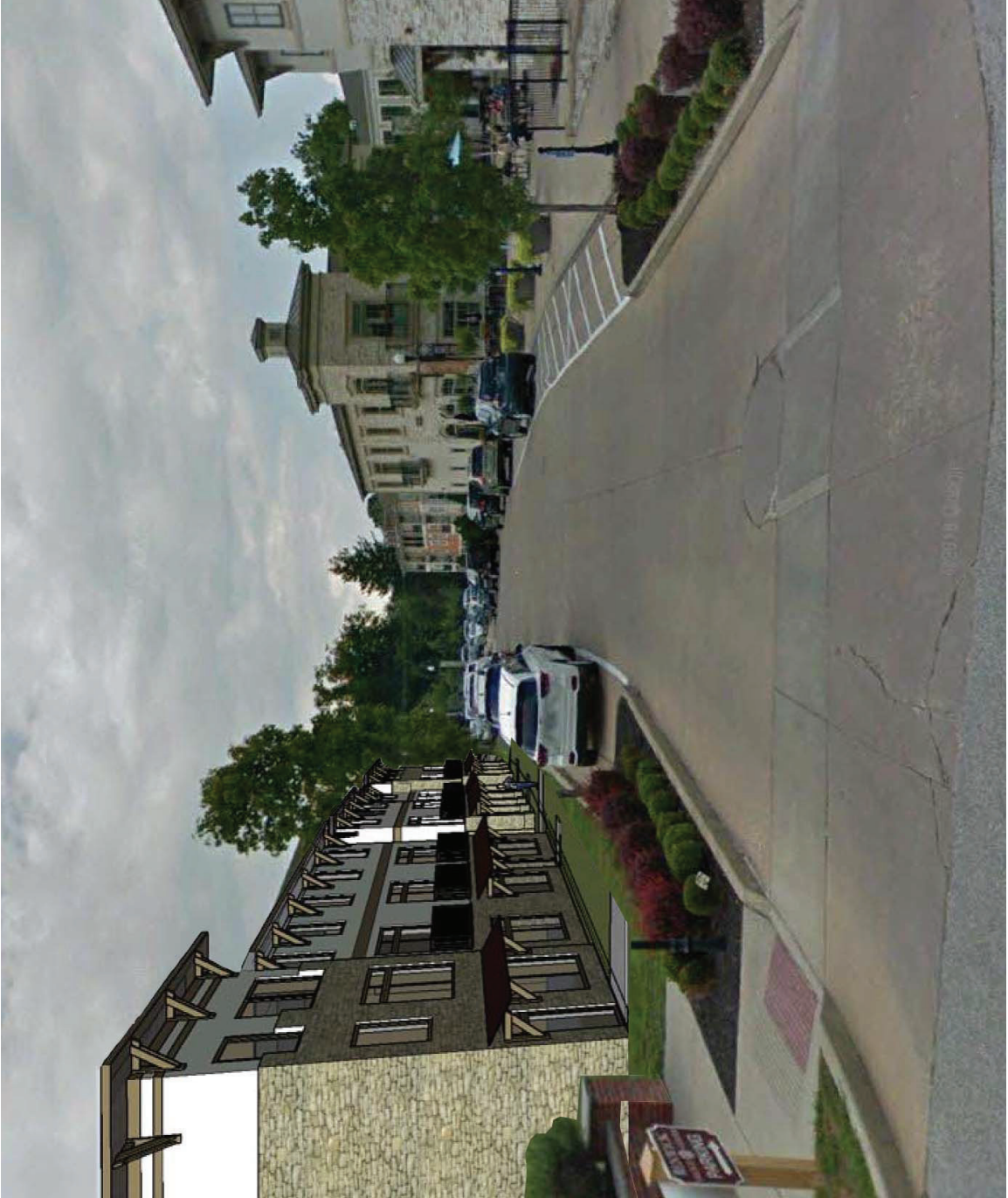
Eric C. Stolberg, President
Renwick and Development, Inc.
STATE OF INDIANA
COUNTY OF MARION
Before me, a Notary Public in and for the State of Indiana and Marion County, personally appeared Eric C. Stolberg, personally known to me to be the owner of the above described real estate, and acknowledged the execution of the foregoing plan for the lot herein known as Renwick Phase III as this voluntary act and deed for the uses and purposes therein expressed.
WITNESS my hand and Notary Seal this day of 2019.
Notary Public
..... Notary Public
a Notary Public in and for Marion County



E. CATHCART ST.
(PUBLIC ROAD)
R/W VARIES

S. PIAZZA DRIVE
WATER EASE
(PRIVATE DRIVE)
IS SANITARY EASE
& PEDESTRIAN EASEMENT

COMMON AREA



RENWICK VILLAGE CENTER

