

CITY OF BLOOMINGTON



February 20, 2019 @ 2:00 p.m.
CITY HALL -
KELLY CONFERENCE ROOM #155

CITY OF BLOOMINGTON
HEARING OFFICER
February 20, 2019 at 2:00 p.m.

*Kelly Conference Room #155

PETITIONS:

V-03-19

Canterbury Apartments (Herman & Kittle Properties)

540 S. Basswood Dr.

Request: Variance from maximum size and number of accessory structures allowed for a multi-dwelling residential development to allow construction of new garages.

Manager: Eric Greulich

****Next Meeting: March 6, 2019**

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or E-mail human.rights@bloomington.in.gov.

BLOOMINGTON HEARING OFFICER
LOCATION: 540 S. Basswood Drive

CASE #: V-03-19
DATE: February 20, 2019

PETITIONER: Herman & Kittle Properties, Inc.
 500 E. 96th Street, Indianapolis, IN

REQUEST: The petitioner is requesting a variance from the maximum number and size of accessory structures allowed for a multifamily property.

REPORT: The 14.3 acre property is located at 540 S. Basswood Drive and is zoned Residential High-Density Multifamily (RH). The property has been developed with several multi-family residential buildings and surface parking lots with portions of the parking covered by detached garages and carports. Surrounding properties to the east and west have also been developed with multi-family residences, while properties to the north are a mix of single family residences and commercial uses and to the south is a conservation area and also multi-family residences.

The property has been developed with 208 multifamily units that serve as low income housing and were constructed approximately 17 years ago. The petitioner is proposing to renovate the property and buildings that will include replacing all of the roofs on the buildings, replacing interior flooring and furnishings, modifying units to be ADA accessible, as well as replacing some of the detached garages and carports located within the parking areas. There are currently 5 detached carports and four detached garages scattered around the parking areas for residents use. The petitioner proposes to remove all 5 of the carports and construct 2 new detached garages instead.

The UDO allows for only 2 enclosed accessory structures and the cumulative square footage of all enclosed accessory structures shall not exceed 1,500 square feet or 50% of the square footage of the primary structure, whichever is less.

The property currently has 10 enclosed accessory structures (4 garages, 5 carports, and 1 clubhouse) that total 14,997 square feet. If this petition is approved, there will be 7 enclosed accessory structures (6 garages and 1 clubhouse) that total 11,679 square feet. The total number of accessory structures will therefore be reduced by 3 on the property and come closer to compliance to current UDO standards.

CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

20.09.130 e) Standards for Granting Variances from Development Standards: A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

PROPOSED FINDING:

Maximum Number: No injury is found with this petition. The 6 proposed detached garages and 1 clubhouse serve the 16 apartment buildings on the site and the number of accessory structures is not out of character with the number of primary structures or scale of this development.

Maximum Size: No injury is found with the granting of this variance. The amount of enclosed structures is proportional to the scale of this development and is appropriate. The square footage of the accessory structures is only 5% of the total square footage of all of the primary structures.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

PROPOSED FINDING:

Maximum Number: No negative effects from this proposal on the areas adjacent to the property are found. The granting of the variance will actually decrease the number of accessory structures on the property. The presence of the detached garages helps protect the belongings and vehicles of the residents thereby reducing storage costs of the residents.

Maximum Size: No negative effects from this proposal on the areas adjacent to the property are found. The proposed total square footage of enclosed accessory structures is proportional to the size of the primary structures and is appropriate. The garages are not seen from any public roads and will complement the design of the primary structures.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

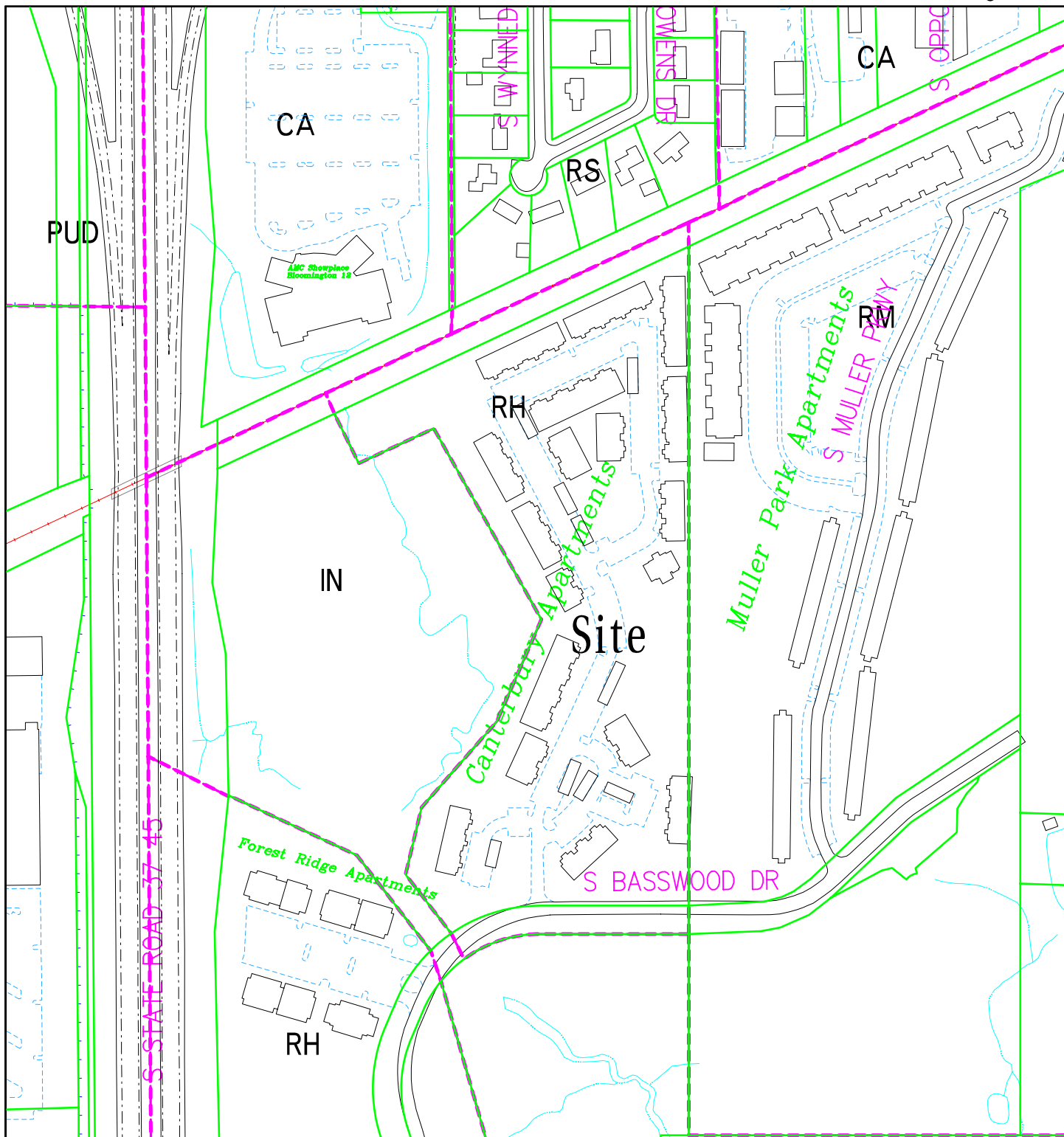
PROPOSED FINDING:

Maximum Number: Practical difficulty is found in that the required limitation on the number of accessory structures was to ensure proper relation of accessory structures relative to the number of primary structures. The strict application of the terms of the UDO would not allow the improvements necessary to replace the dilapidated structures on the property. Peculiar condition is found in that there are already more accessory structures on the property than what the UDO allows and that the granting of this variance will allow the property to come closer into compliance with UDO standards.

Parking Setback: Practical difficulty is found in that the required limitation on the size of accessory structures was to ensure the proper proportion of accessory structures relative to the size of primary structures. The strict application of the terms of the UDO would not allow the improvements necessary to replace the dilapidated structures on the property. Peculiar condition is also found in that the site already has more square footage for accessory structures than what the UDO allows and that the granting of this variance will allow the property to come closer into compliance with UDO standards. The size of existing detached structures is only 9% of the size of the primary structures and is appropriately scaled.

RECOMMENDATION: Based upon the written findings above, the Department recommends that the Hearing Officer adopt the proposed findings and recommends approval of V-03-19 with the following conditions:

1. The petitioners must obtain a building permit prior to construction.
2. This approval is for the submitted site plan only. Any modifications may require separate approval.



V-03-19 Herman & Kittle Properties, Inc

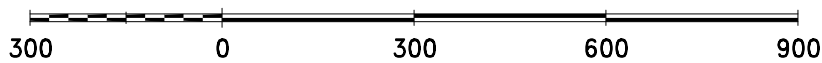
540 S Basswood Drive

Hearing Officer

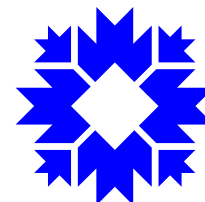
Site Location, Zoning, Parcels

By: greulice

15 Feb 19

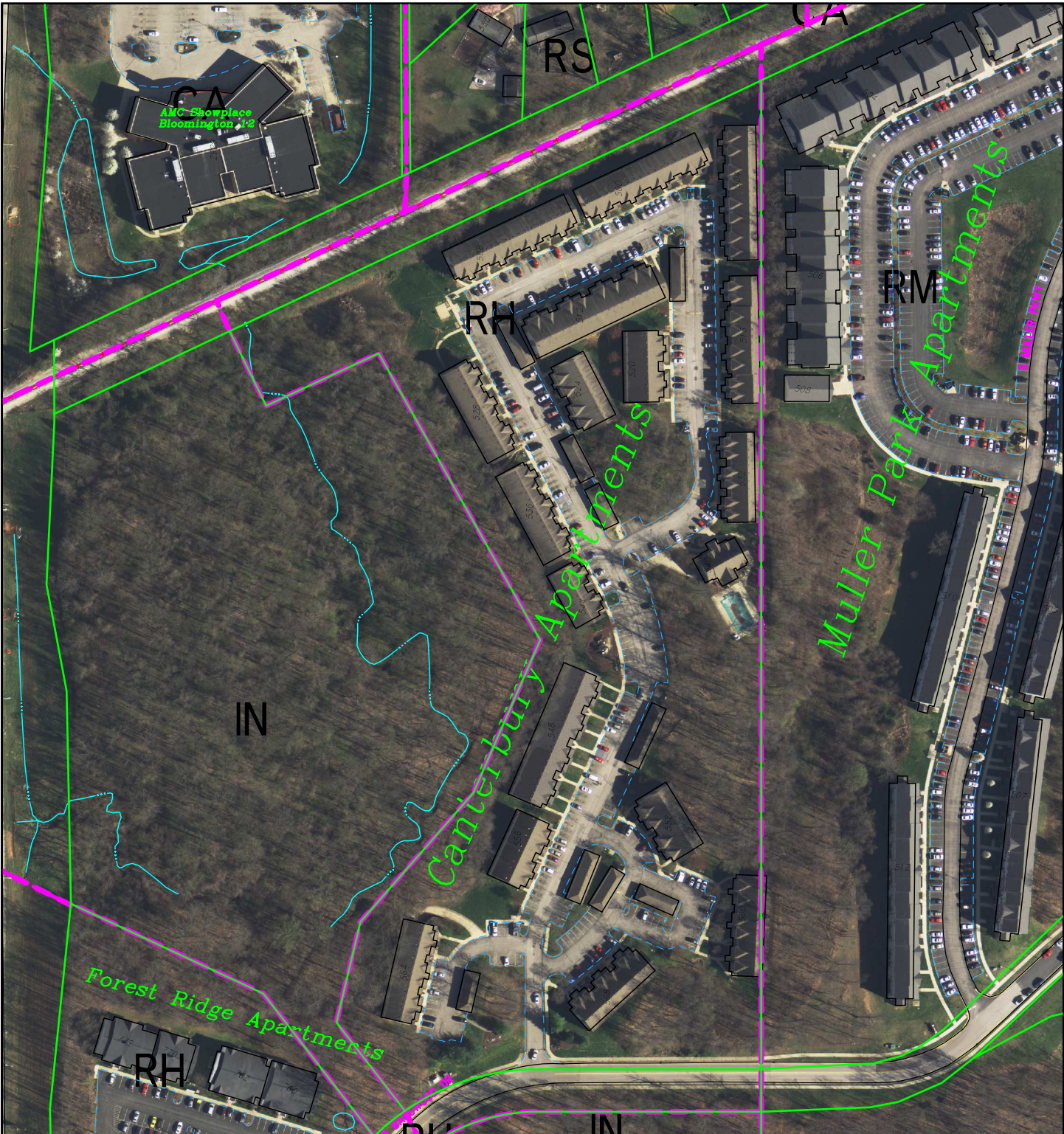


City of Bloomington
Planning & Transportation



Scale: 1" = 300'

For reference only; map information NOT warranted.



V-03-19 Herman & Kittle Propeties

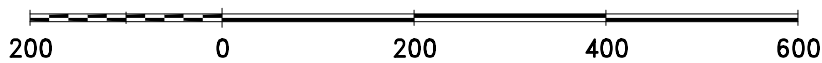
540 S Basswood Drive

Hearing Officer

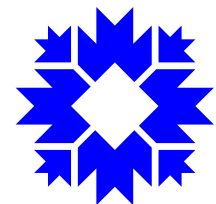
2016 Aerial Photograph

By: greulice

15 Feb 19



City of Bloomington
Planning & Transportation



Scale: 1" = 200'

For reference only; map information NOT warranted.



HERMAN & KITTLE PROPERTIES, INC.

Real Estate Development • General Contracting • Property Management

January 25, 2019

City of Bloomington Hearing Officer
401 N Morton St
Bloomington, IN 47404

Dear Hearing Officer,

We are respectfully requesting a variance related to the maximum number and maximum size of accessory structures for an existing multi-family property currently known as Canterbury House Apartments ("CHA") located at 540 S Basswood Dr., Bloomington, IN 47403.

CHA is a 208 unit property that we originally developed approximately 17 years ago to serve a predominately low-income population. While the buildings are structurally sound many of the components are approaching the end of their useful life and we are planning a moderate rehab of the property to ensure its long term viability as safe, quality housing for low-income families. As part of this effort we will rebrand the property to Limestone Crossing.

Though the final scope of work is to be determined, in general we will be updating interiors (including appliances and HVAC systems) as well as replacing all roofs and making exterior repairs as needed. Additionally, we will modify some first floor units to typical Fair Housing/ADA accessibility standards and make corresponding modifications to the flatwork to accommodate these units. The scope does not include any changes to unit count or bedroom count.

Regarding accessory structures, our plan is to remove the existing five carports and to build two new garages similar to the existing four, which will give the property a total of six garages to better meet the needs of our residents. The new garages will be built in existing parking areas resulting in no additional parking spaces and virtually no net increase in impervious area. While the property was originally developed under a different zoning that allowed the existing amount of accessory structures, the current zoning (RH) allows only two accessory structures totaling no more than 1,500 square feet. Our rehab plans result in a net reduction of accessory structures as summarized below:

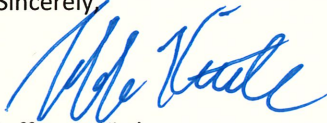
<u>Existing</u>	<u>Count</u>	<u>Sq. Ft.</u>
Garages	4	5,732
Carports	5	6,740
Clubhouse	1	2,525
Total Existing	10	14,997
<u>Post-Rehab</u>	<u>Count</u>	<u>Sq. Ft.</u>
Garages - Existing	4	5,732
Garages - New	2	3,422
Clubhouse - Existing	1	2,525
Total Post-Rehab	7	11,679
Net Change	(3)	(3,318)

We believe this request is within the guidelines of the Development Standards Variance Criteria:

- 1) The approval will not be injurious to the public health, safety, morals, and general welfare of the community.
 - a. Response: The additional garages will be built to the applicable codes and will not be injurious to the public health, safety, morals, and general welfare of the community.
- 2) The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.
 - a. Response: The additional garages will be within the interior of the property boundaries and we don't foresee any way in which they would impact adjacent properties.
- 3) The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.
 - a. Response: The additional garages help us meet the storage needs of our residents and spare some residents the difficulties of off-site storage.

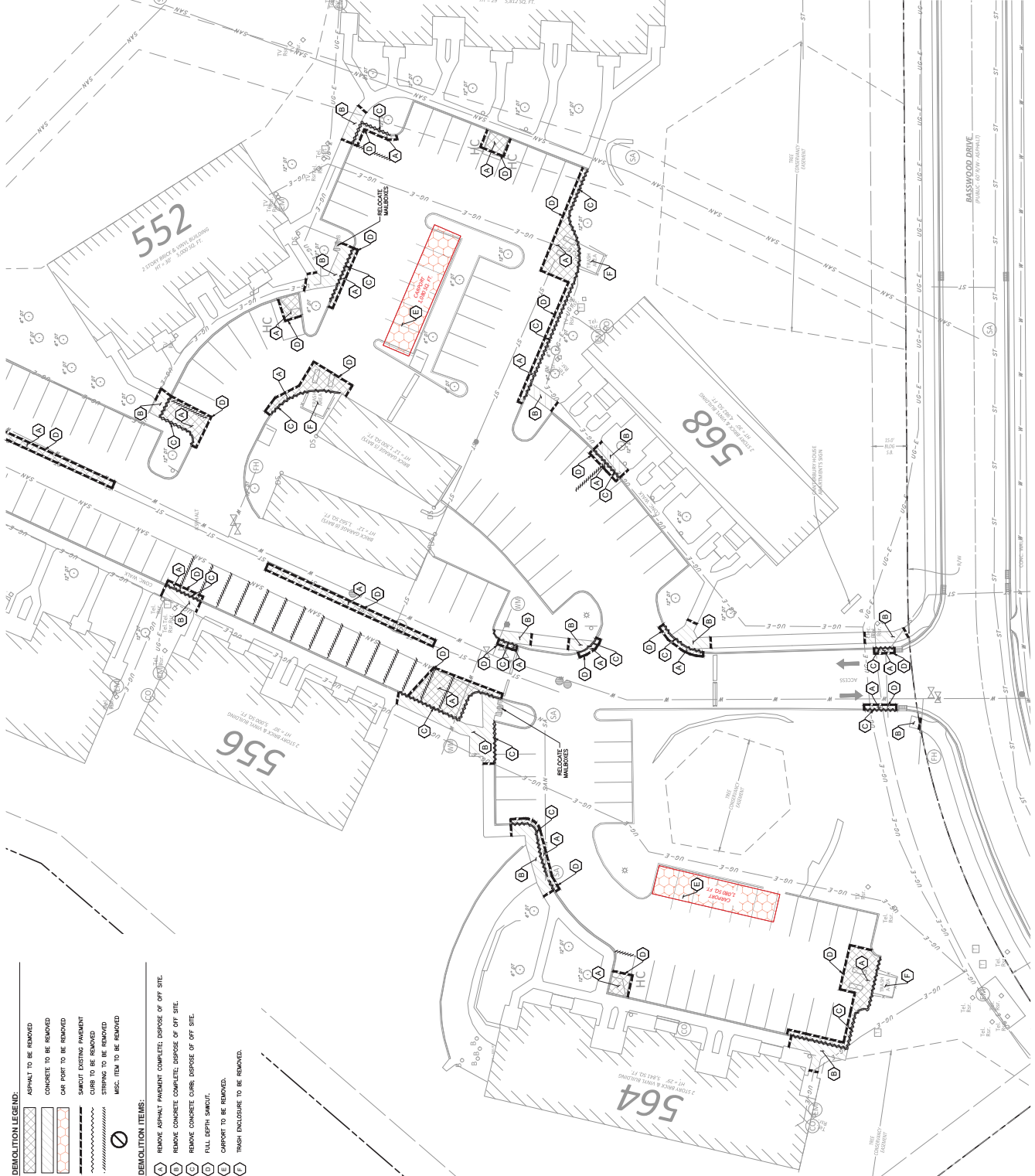
Thank you for your consideration of this variance request. If you have any questions or need additional information please contact Steve Craver by phone at 985-290-1843 or email at scraver@hermankittle.com.

Sincerely



Jeffrey L. Kittle
President

- GENERAL DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL MATERIALS ENCOUNTERED DURING DEMOLITION OF BUILDING FOUNDATIONS AND UTILITIES.
 2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL, GOVERNMENTAL, STATE AND FEDERAL AGENCIES.
 3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING BUILDINGS.
 4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE REPRODUCED TO LOCATION SPECIFIED BY THE OWNER OR HIS/HER REPRESENTATIVE. ITEMS NOT TO BE SALVAGED SHALL NOT BE REPRODUCED.
 5. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE PERMISSION OF THE OWNER OR HIS/HER REPRESENTATIVE.
 6. THE CONTRACTOR MAY NOT USE EXPLOSIVES OR BURST DEBRIS.
 7. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ADJACENT PROPERTIES AND OTHER ADJACENT OCCUPIED FACILITIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY JURISDICTION AND/OR PROPERTY OWNERS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND/OR PROPERTY OWNERS.
 10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING REMOVAL OPERATIONS, AND OTHER FACILITIES DURING DEMOLITION AND REMOVAL OPERATIONS.
 11. BUILDING STRUCTURES INCLUDING FOUNDATIONS OR BASEMENTS SHALL BE REMOVED TO A MINIMUM FINISH FLOOR FINISH. ALL REMAINING MATERIAL SHALL BE PLACED IN A MINIMUM EIGHT RICH LIFT AND COMPACTED TO A STANDARD PROCTOR. GEOTECHNICAL REPORT ON A BASIS OF 50%.
 12. UTILITIES SHALL BE REMOVED AND INCHLUDED WITH APPROVED BACKFILL LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR AS SPECIFIED BY THE ENGINEER.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.



- DEMOLITION LEGEND:**
- ASPHALT TO BE REMOVED
 - CONCRETE TO BE REMOVED
 - CURB TO BE REMOVED
 - REMOVE EXISTING PAVEMENT
 - REMOVE EXISTING CURB
 - STRIPING TO BE REMOVED
 - MISC. ITEM TO BE REMOVED
- DEMOLITION ITEMS:**
- REMOVE ASPHALT PAVEMENT COMPLETE; DISPOSE OF OFF SITE.
 - REMOVE CONCRETE COMPLETE; DISPOSE OF OFF SITE.
 - REMOVE CONCRETE CURB; DISPOSE OF OFF SITE.
 - FULL DEPTH SAWCUT.
 - CURB TO BE REMOVED.
 - TRUSS ENCLOSURE TO BE REMOVED.

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL MATERIALS AND DEBRIS ENCOUNTERED DURING DEMOLITION OF BUILDING FOUNDATIONS AND UTILITY STRUCTURES.
2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL, GOVERNMENTAL, STATE AND FEDERAL AGENCIES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE IDENTIFIED BY LOCATION SPECIFIED BY THE OWNER OR HIS/HER REPRESENTATIVE. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE PROTECTION OF SALVAGED ITEMS ON SITE'S PERMISSION. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
5. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE APPROVAL OF THE LOCAL UTILITY COMPANIES. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY COMPANIES OF ANY REMOVALS TO BE MADE PRIOR TO THE START OF DEMOLITION.
6. THE CONTRACTOR MAY NOT USE EXPLOSIVES OR BURST DEBRIS.
7. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ADJACENT PROPERTIES AND FACILITIES.
8. ROAD, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES SHALL BE PROTECTED FROM THE LOCAL UTILITY COMPANIES JURISDICTION AND/OR PROPERTY OWNERS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL UTILITY COMPANIES THROUGHOUT THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING AND ADJACENT PROPERTIES AND FACILITIES DURING DEMOLITION AND REMOVAL OPERATIONS.
11. BUILDING STRUCTURES INCLUDING FOUNDATIONS OR RESIDENTS SHALL BE REMOVED TO THE POINT OF NO RETURN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES AND FACILITIES. A TECHNICAL REPORT ON A REMOVAL OF A STRUCTURE SHALL BE PROVIDED TO THE LOCAL UTILITY COMPANIES PRIOR TO THE START OF DEMOLITION.
12. UTILITIES SHALL BE REMOVED AND RELOCATED WITH APPROVED BACKFILL AND REPAIRS TO BE MADE IN ACCORDANCE WITH THE CATERING REPORT OR LOCAL UTILITY COMPANIES REQUIREMENTS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.

DEMOLITION LEGEND:

- ASPHALT TO BE REMOVED
- CONCRETE TO BE REMOVED
- CURB TO BE REMOVED
- SMOOTH EXISTING PAVEMENT
- CURB TO BE REMOVED
- STRIPING TO BE REMOVED
- MISC. ITEM TO BE REMOVED

DEMOLITION ITEMS:

- A REMOVE ASPHALT PAVEMENT COMPLETE; DISPOSE OF OFF SITE.
- B REMOVE CONCRETE COMPLETE; DISPOSE OF OFF SITE.
- C REMOVE CONCRETE CURB; DISPOSE OF OFF SITE.
- D FULL DEPTH SMUCC.
- E CURB TO BE REMOVED.
- F TRASH ENCLOSURE TO BE REMOVED.

PROJECT TITLE
LIMESTONE CROSSING APARTMENTS
 540 S. BASSWOOD DR.
 BLOOMINGTON, IN 47403
 MONROE COUNTY, INDIANA

CLIENT
 HERMAN & KITTLE PROPERTIES, INC.
 540 S. BASSWOOD DR., SUITE 300
 INDIANAPOLIS, IN 46240
 (317) 956-1111
 WWW.HKPROPS.COM

DATE
 01-25-2023

REVISIONS

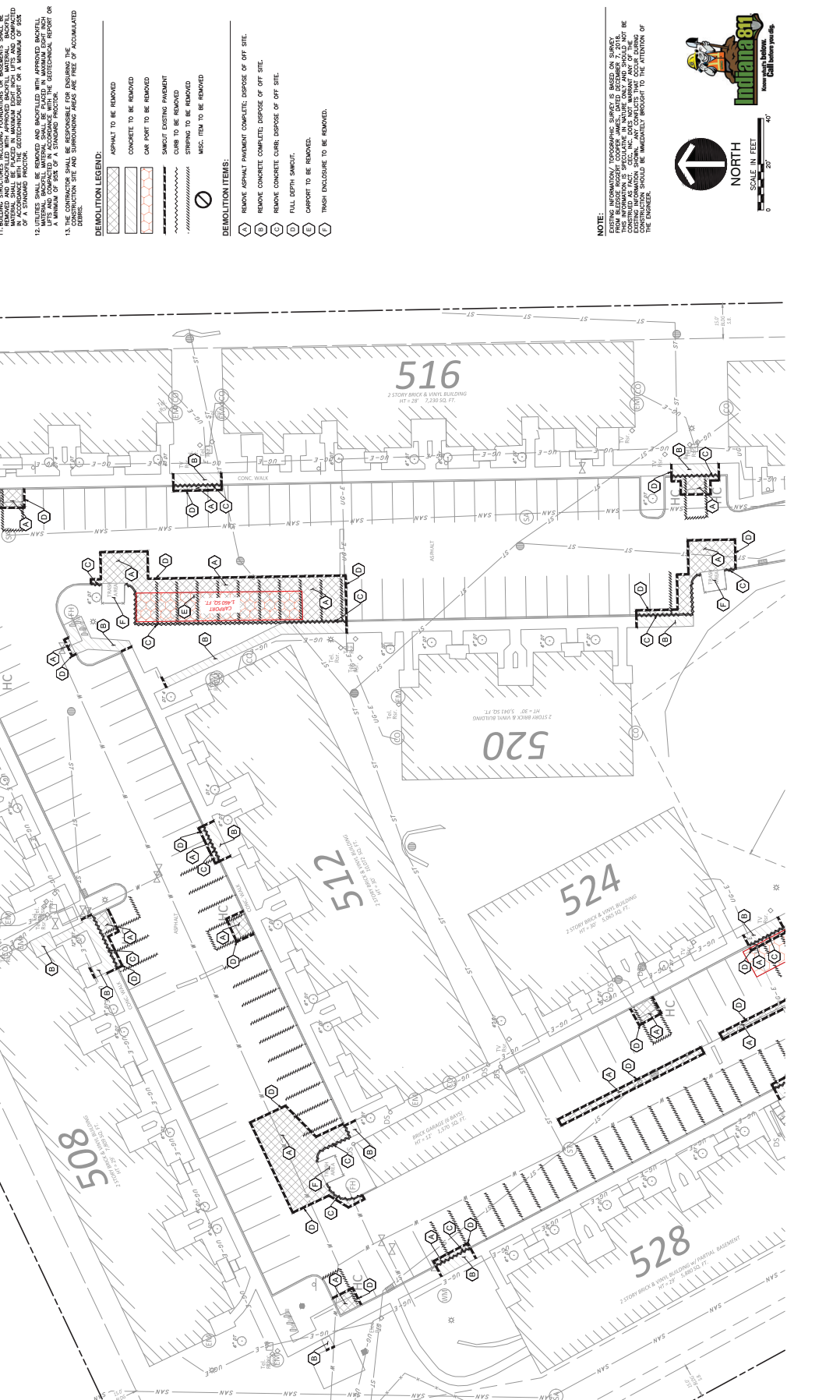
MARK	DESCRIPTION	DATE

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

PROJECT NO. 18-018

SHEET TITLE
EXISTING & DEMOLITION PLAN

SHEET NUMBER
 C103-3



NOTE:
 EXISTING INFORMATION, PROGRAMS, SURVEY, IS BASED ON SURVEY. THESE INFORMATION IS SPECULATIVE IN NATURE AND SHOULD NOT BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION THROUGH FIELD CONTACTS THAT OCCUR DURING THE DEMOLITION.

SCALE
 NORTH
 SCALE: 1/4" = 10'

Logo: Indiana 811
 Know what's below. Call before you dig.

PROJECT TITLE
 CLIENT
 DATE
 REVISIONS
 DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY
 PROJECT NO.
 SHEET TITLE
 SHEET NUMBER

GENERAL SITE LAYOUT NOTES:

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND REPRESENTATIVE MARKS TO THE GRAD'S REPRESENTATIVE MARK TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO BE RELOCATED EXISTING UTILITIES AS INDICATED, OR AS INDICATED BY THE CONTRACTOR'S INVESTIGATION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINISH GRADES MAY BE NECESSARY. INSTALLATION OF FINISHED SURFACES.
- SITE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME UNLESS OTHERWISE NOTED.
- CONTRACTOR'S OPERATIONS SHALL BE ADVANCED WITH LITTLE INTERFERENCE TO THE CONTRACTOR'S EXPENSE.
- PAVEMENT UNLESS OTHERWISE NOTED, FACE OF CURB OR EDGE OF DRIVEWAY SHALL BE FINISHED TO THE FINISH GRADE INDICATED ON THE DRAWING AND/OR OWNER'S REPRESENTATIVE PRIOR TO COMPLETION OF THE PROJECT.
- NEEDS TO THE ARCHITECTURAL DRAWINGS FOR EXIST DIMENSIONS AND DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY APPROVALS FOR THE PROPOSED CHANGES TO THE ARCHITECTURAL DRAWINGS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY CHANGES TO EXISTING DIMENSIONS SHALL BE INDICATED BY DIMENSION LINES AND DIMENSIONS.

SEAL

Professional Engineer Seal for Andrew J. Henderson, No. 12345, State of North Carolina.

PROJECT TITLE

LIMESTONE CROSSING APARTMENTS

540 S. BASWOOD DR. BLOOMINGTON, IN 47403

MONROE COUNTY, INDIANA

DATE: 01-25-2012

DATE: 01-25-2012

REVISIONS

NO.	DESCRIPTION	DATE

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

PROJECT NO.

18-018

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C200-14

SITE DATA:

LOT DATA:

TOTAL LOT AREA: 624,278 SF (43.74)

PROPOSED IMPROVED AREA: 300,812 SF (48.23)

PARKING DATA:

208 UNITS WITH 440 BERTRAMS

MINIMUM # OF PARKING SPACES: 440

EXISTING PARKING DATA:

EXISTING PARKING: 333 SPACES

SURFACE PARKING: 37 SPACES

UNDERGROUND PARKING: 300 SPACES

STANDARD PARKING SPACES: 300 SPACES

ADA PARKING: 14 SPACES

TOTAL PARKING SPACES: 308 SPACES

PROPOSED PARKING DATA:

SURFACE PARKING: 330 SPACES

UNDERGROUND PARKING: 37 SPACES

STANDARD PARKING SPACES: 300 SPACES

ADA PARKING: 17 SPACES

TOTAL PARKING SPACES: 381 SPACES

ACCESSORY STRUCTURE DATA:

USE	AREA (SQ. FT.)	SPACES
GARAGE	800	4
POOL	2,250	0
COURTYARD	2,250	0
TRUCK EXISTING	14,997	10
TRUCK EXISTING	5,732	4
COURTYARD EXISTING	2,250	0
COURTYARD EXISTING	2,250	0
TOTAL POST-HOLE	11,679	7
NET CHANGE	-3	-3,318

TRAFFIC RECEIPT TABLE

EXISTING: 6

PROPOSED: 10

NOTE:

EXISTING INFORMATION, TOPOGRAPHIC SURVEY IS BASED ON SWIFT. THIS INFORMATION IS SPECULATIVE IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. EXISTING INFORMATION SHOWN MAY DIFFER FROM ACTUAL CONDITIONS OF THE OWNER.

INDIANA 811

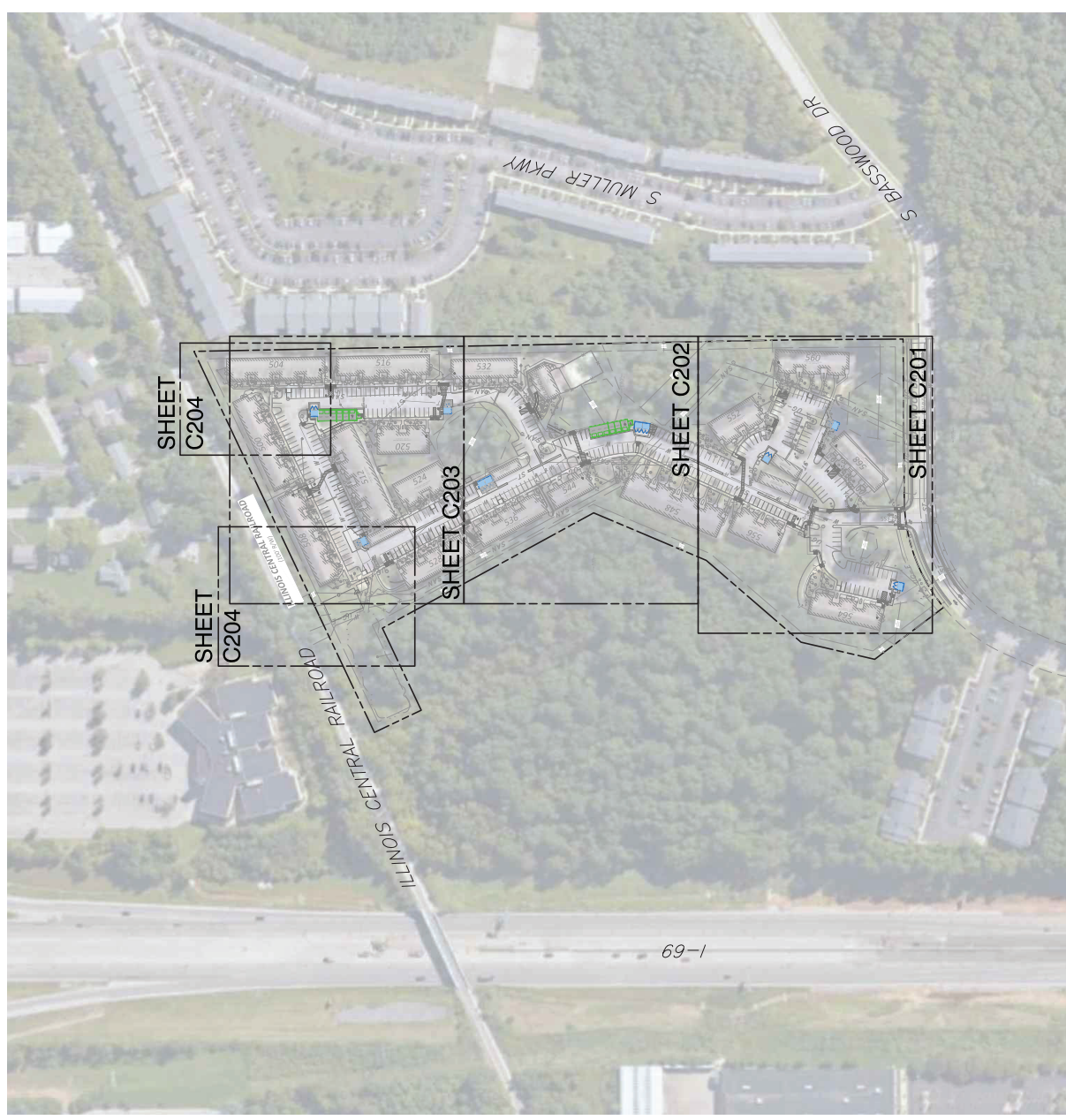
Know what's below. Call before you dig.

120'

SCALE IN FEET

0 60

NORTH



PROPOSED LEGEND:

-  PROPOSED LIGHT DUTY PAVEMENT
-  PROPOSED CONCRETE PAVEMENT

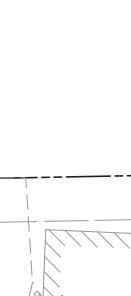
SITE KEY NOTES:

- LIGHT DUTY ASPHALT PAVEMENT; SEE DETAIL 200 ON SHEET C200.
- 4" THICK CONCRETE PAVEMENT; SEE DETAIL 201 ON SHEET C200.
- 4" STRAIGHT CONCRETE CURB; SEE DETAIL 204 & 207 ON SHEET C200.
- COMBINED CURB & WALK; SEE DETAIL 203 ON SHEET C200.
- CONCRETE SIDEWALKS; SEE DETAIL 202 ON SHEET C200.
- ADA PERPENDICULAR CURB RAMP; SEE DETAIL 210 ON SHEET C200.
- ADA PARALLEL CURB RAMP; SEE DETAIL 209 ON SHEET C200.
- MATCH EXISTING CURB TYPE
- LAP JOINT; SEE DETAIL 208 ON SHEET C200.
- SAWCUT/ EXPANSION JOINT; SEE DETAIL 206 ON SHEET C200.
- PAINTED CROSSINGS; COLOR-WHITE.
- ADA PARKING SPACE; SEE DETAIL ON SHEET C201.
- ADA SIGNAGE; SEE DETAIL ON SHEET C201
- DAMP DUMPSTER ENCLOSURE; REFER TO 'X' SERIES PLANS.
- DETECTABLE MARKINGS; SEE DETAIL 211 ON SHEET C200.

- GENERAL SITE LAYOUT NOTES:**
1. THE CONTRACTOR SHALL CHECK EXISTING ORDERS, DIMENSIONS, AND LOCATIONS OF UTILITIES PRIOR TO BEGINNING WORK.
 2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND AS TO REMAIN, REMOVE EXISTING UTILITIES AS NECESSARY. FIELD ADJUSTMENT OF FINAL DIMENSIONS MAY BE NECESSARY. INSTALLATION OF PAVED SURFACES.
 3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL DIMENSIONS MAY BE NECESSARY. INSTALLATION OF PAVED SURFACES.
 4. SET AND LOCATE CONCRETE MARKERS PRIOR TO THE START OF CONSTRUCTION. ALL CONCRETE DIMENSIONS SHALL BE TAKEN AND NOTED FROM MATERIALS AT THE CONTRACTOR'S EXPENSE.
 5. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE FACE OF CURBS ON EDGE OF PAVED AREAS.
 6. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND DIMENSIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PREPARE BUILDING DIMENSIONS.
 7. THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE PROJECT. ANY CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY APPROVALS FROM THE CITY OF INDIANAPOLIS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY APPROVALS FROM THE CITY OF INDIANAPOLIS PRIOR TO CONSTRUCTION.

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SEAL



PROJECT TITLE

PROJECT TITLE

LIMESTONE CROSSING APARTMENTS
540 S. BASSWOOD DR.
BLOOMINGTON, IN 47403
MONROE COUNTY, INDIANA


DESIGNED FOR:	DATE:
SUBMITTED SET:	01-25-2012
REVISIONS:	DATE:
MARK DESCRIPTION:	DATE:

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

PROJECT NO. **18-018**

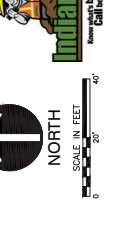
SHEET TITLE **SITE LAYOUT PLAN**

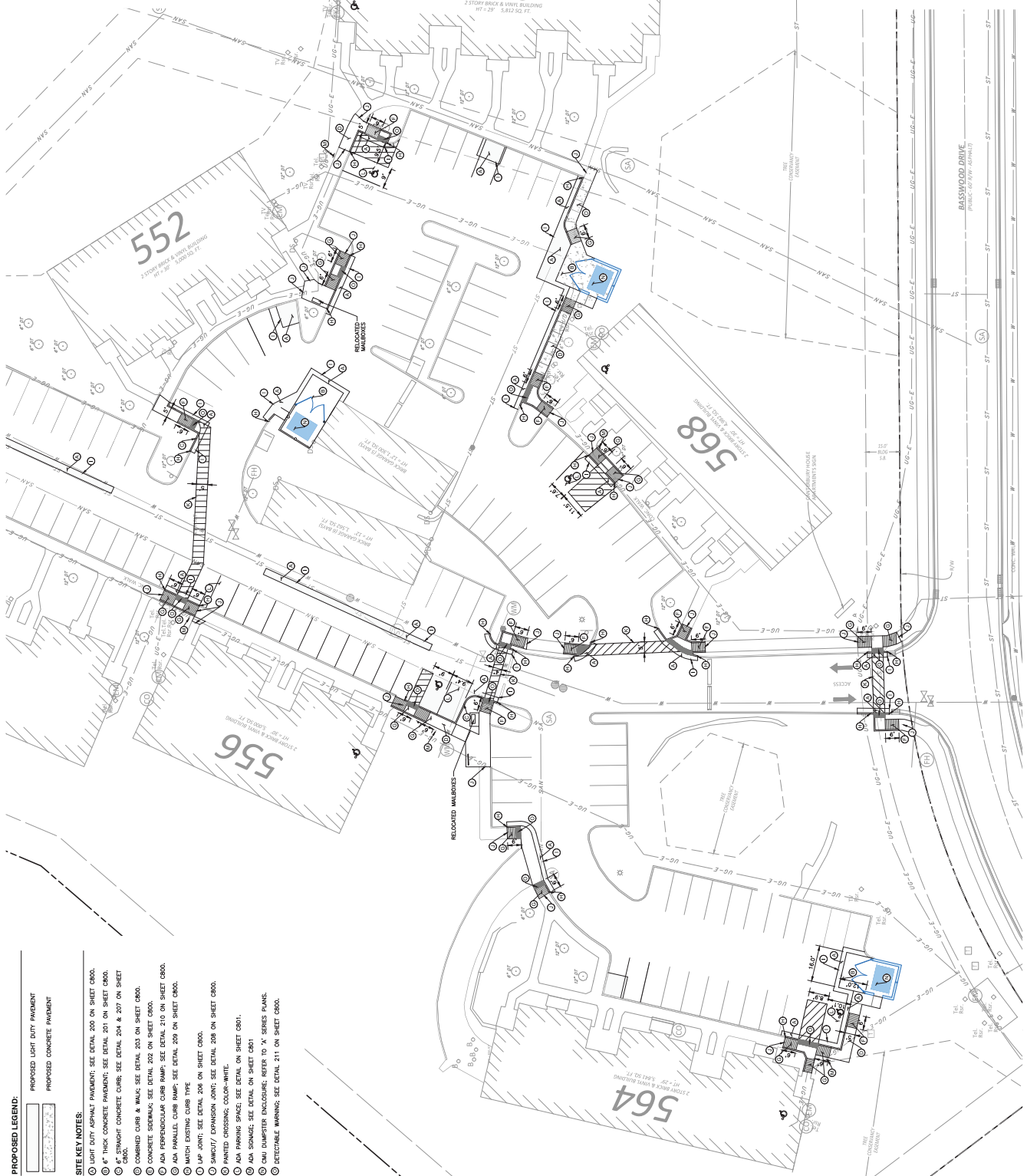
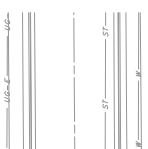
SHEET NUMBER **C201**



NORTH

SCALE IN FEET





NOTE:
EXISTING INFORMATION, TOPOGRAPHIC SURFACE IS BASED ON SURVEY DATA. THESE INFORMATION IS SPECULATIVE IN NATURE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY CHANGES TO THE EXISTING INFORMATION SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

GENERAL SITE LAYOUT NOTES:

1. THE CONTRACTOR SHALL CHECK EXISTING CONDITIONS, DIMENSIONS, AND REPRESENTATIVE FROM TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO BE RELOCATED EXISTING UTILITIES AS INDICATED, OR AS PROVIDED BY THE CITY OF BLOOMINGTON, INDIANA.
3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALLATION OF FINISHED SURFACES.
4. SITE WORK COMMENCEMENT SHALL BE WITHIN 14 DAYS OF COMMENCEMENT OF THE CONTRACTOR'S OBLIGATIONS SHALL BE RELOCATED WITHIN 14 DAYS OF THE CONTRACTOR'S OBLIGATIONS.
5. PAVEMENT UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS AND/OR OWNER'S REPRESENTATIVE FROM COMPLETION TO THE OWNER'S DIMENSIONS.
7. THIS SITE LAYOUT IS SUBJECT TO THE APPROVALS NECESSARY FOR THE CHANGES TO THE SITE LAYOUT AND ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE CITY OF BLOOMINGTON, INDIANA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON, INDIANA. ANY CHANGES TO DAMAGE STRUCTURES AND PATRIAL, UNDISCIPLED, ETC.

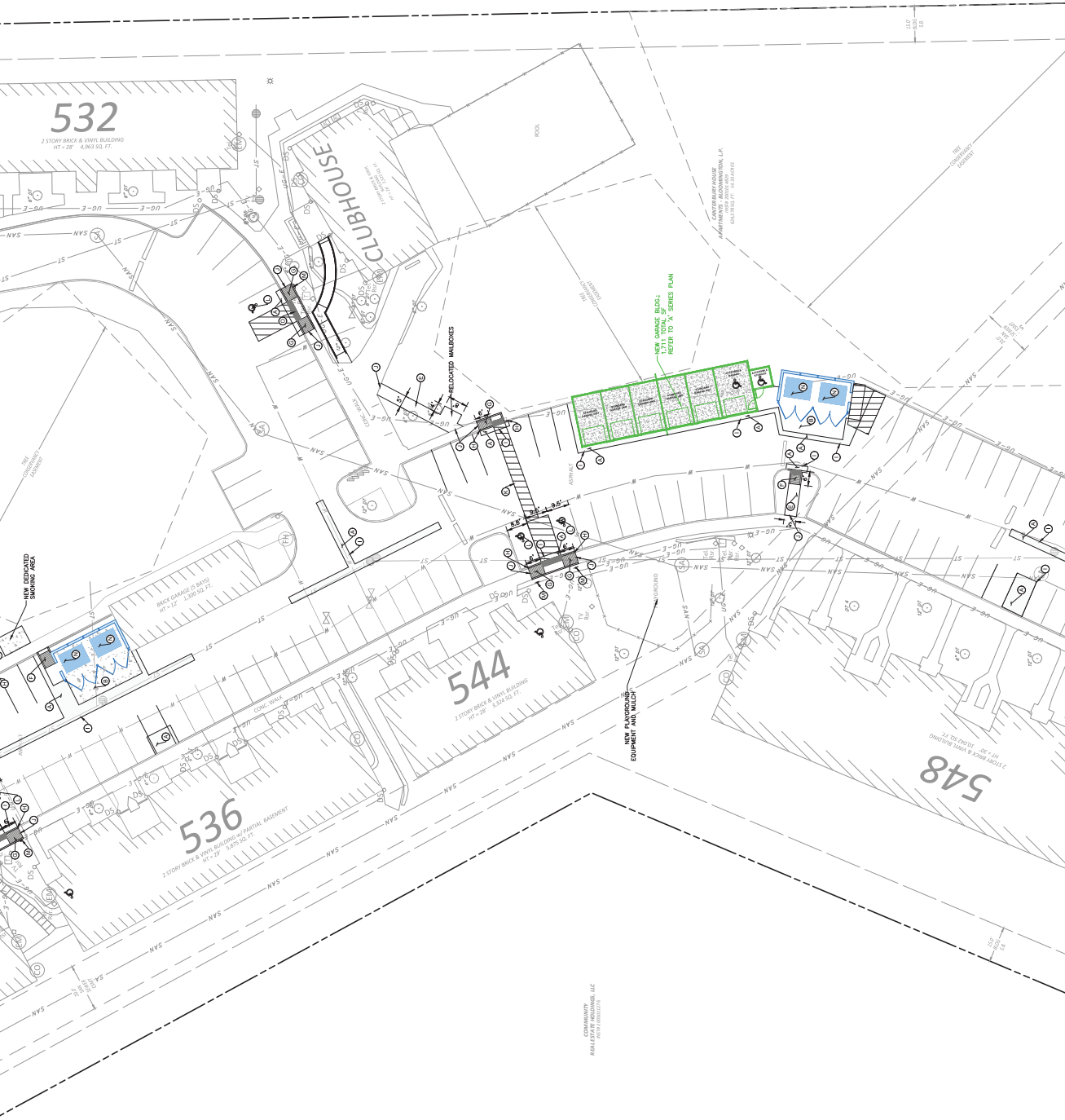
- PROPOSED LEGEND:**
- PROPOSED LIGHT DUTY PAVEMENT
 - PROPOSED CONCRETE PAVEMENT

SITE KEY NOTES:

1. LIGHT DUTY ASPHALT PAVEMENT: SEE DETAIL 200 ON SHEET C800.
2. 4" THICK CONCRETE PAVEMENT: SEE DETAIL 201 ON SHEET C800.
3. 4" STRAIGHT CONCRETE CURB: SEE DETAIL 204 & 207 ON SHEET C800.
4. COMBINED CURB & MANHOLE: SEE DETAIL 203 ON SHEET C800.
5. CONCRETE SIDEWALK: SEE DETAIL 202 ON SHEET C800.
6. ADA PERPENDICULAR CURB RAMP: SEE DETAIL 210 ON SHEET C800.
7. ADA PARALLEL CURB RAMP: SEE DETAIL 209 ON SHEET C800.
8. MATCH EXISTING CURB TYPE
9. LAP JOINT: SEE DETAIL 208 ON SHEET C800.
10. SAWCUT / EXPANSION JOINT: SEE DETAIL 206 ON SHEET C800.
11. PAINTED CROSSING: COLOR-WHITE.
12. ADA PARKING SPACE: SEE DETAIL ON SHEET C801.
13. ADA SWANAGE: SEE DETAIL ON SHEET C801.
14. CMI DUMPSTER ENCLOSURE: REFER TO "X" SERIES PLANS.
15. DETECTABLE MARKING: SEE DETAIL 211 ON SHEET C800.

NOTE:

EXISTING INFORMATION, TOPOGRAPHIC SURFACE IS BASED ON SURVEY. THESE INFORMATION IS SPECULATIVE IN NATURE AND SHOULD BE VERIFIED BY THE CONTRACTOR. ANY CHANGES TO DAMAGE STRUCTURES AND PATRIAL, UNDISCIPLED, ETC. SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.



HERMAN & KITTLE PROPERTIES, INC.
 500 East 56th Street, Suite 300
 Indianapolis, IN 46240
 (317) 866-1111
 www.hkproperties.com



PROJECT TITLE
 LIMESTONE CROSSING APARTMENTS
 540 S. BASSWOOD DR.
 BLOOMINGTON, IN 47403
 MONROE COUNTY, INDIANA

DATE	01-22-2023
REVISIONS	
MARK DESCRIPTION	
DATE	

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

PROJECT NO.
 18-018

SHEET TITLE
 SITE LAYOUT PLAN

SHEET NUMBER
 C202-9



HERMAN & KITTLE PROPERTIES, INC.
 500 East 96th Street, Suite 300
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LED
 500 East 96th Street, Suite 300
 Indianapolis, IN 46240
 Ph: 317 964-1111
 www.ledinc.com

Professional Engineer
 STATE OF INDIANA
 No. 12345
 License Expires 12/31/2024

Professional Engineer
 STATE OF INDIANA
 No. 12345
 License Expires 12/31/2024

LIMESTONE CROSSING APARTMENTS
 540 S. BASSWOOD DR.
 BLOOMINGTON, IN 47403
 MONROE COUNTY, INDIANA

DATE	01-25-2024
REVISIONS	
MARK DESCRIPTION	
DATE	

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

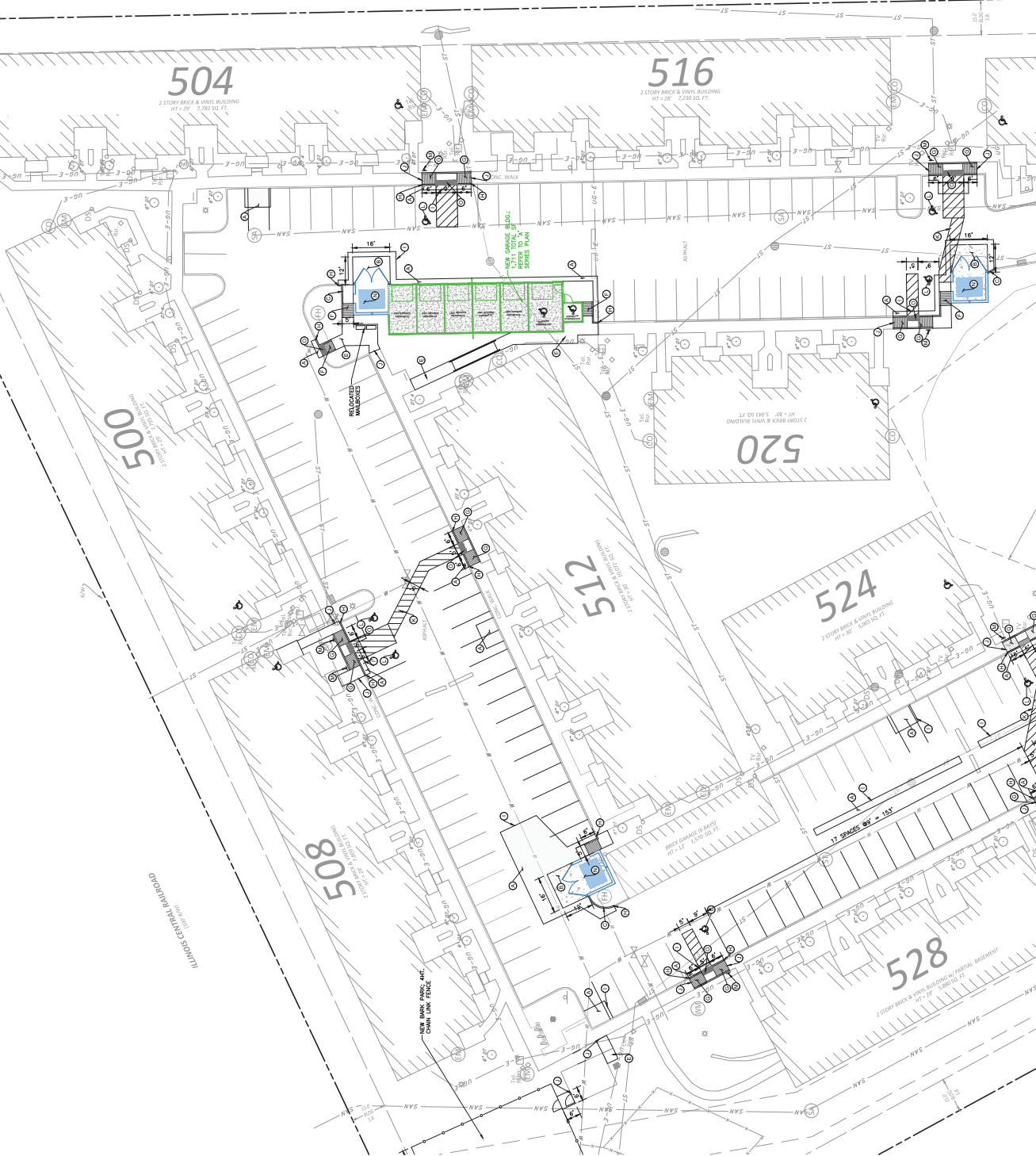
PROJECT NO. 18-018

SITE LAYOUT PLAN

SHEET NUMBER C203-17

SCALE IN FEET
 0 20 40

Indiana 811
 Know what's below. Call before you dig.



GENERAL SITE LAYOUT NOTES:

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND LOCATIONS OF UTILITIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO BE REMOVED OR RELOCATED AS INDICATED, OR AS NOTED OTHERWISE.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS FOR THE PROJECT.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND DIMENSIONS OF UTILITY STRUCTURE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SUBJECT TO THE APPROVALS NECESSARY FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS FOR THE PROJECT.
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PROPOSED LEGEND:

- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT

SEAL

PROJECT TITLE

NOTE:

EXISTING INFORMATION, TOPOGRAPHIC SURFACE, IS BASED ON SURVEY. THESE INFORMATION IS SPECULATIVE IN NATURE AND SHOULD BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

PROPOSED LEGEND:

- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT

SEAL

PROJECT TITLE

NOTE:

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GENERAL SITE LAYOUT NOTES:

1. THE CONTRACTOR SHALL CHECK EXISTING CONDITIONS AND DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE TO RELOCATE EXISTING UTILITIES AS REQUIRED, OR AS INDICATED BY THE ARCHITECT'S NOTES.
3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
4. SITE WORK COMPLETION SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF THE DATE OF THE CONTRACT SIGNING. THE CONTRACTOR'S SCHEDULE SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO THE CONTRACTOR'S START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF WORK.
5. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE AS-BUILT / RECORD DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF WORK.
6. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND DIMENSIONS. THE CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE AS-BUILT / RECORD DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF WORK.
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PROPOSED LEGEND:

- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT

SITE KEY NOTES:

1. LIGHT DUTY ASPHALT PAVEMENT: SEE DETAIL 200 ON SHEET C800.
2. 4" THICK CONCRETE PAVEMENT: SEE DETAIL 201 ON SHEET C800.
3. 4" STRAIGHT CONCRETE CURBS: SEE DETAIL 204 & 207 ON SHEET C800.
4. COMBINED CURB & MANHOLE: SEE DETAIL 203 ON SHEET C800.
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7. ADA PARALLEL CURB RAMP: SEE DETAIL 209 ON SHEET C800.
8. MATCH EXISTING CURB TYPE
9. LAP JOINT: SEE DETAIL 208 ON SHEET C800.
10. SWAGT/ EXPANSION JOINT: SEE DETAIL 206 ON SHEET C800.
11. PAINTED CROSSING: COLOR-WHITE.
12. ADA PARKING SPACE: SEE DETAIL ON SHEET C801.
13. ADA SIGNAGE: SEE DETAIL ON SHEET C801.
14. CMI DUMPSTER ENCLOSURE: REFER TO 'K' SERIES PLANS.
15. DETECTABLE WARNING: SEE DETAIL 211 ON SHEET C800.

NOTE:

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SEAL

Professional Engineer
 State of Indiana
 License No. 123456789

PROJECT TITLE

LIMESTONE CROSSING APARTMENTS
 540 S. BASSWOOD DR.
 BLOOMINGTON, IN 47403
 MONROE COUNTY, INDIANA

REVISIONS

NO.	DATE	DESCRIPTION
01	07-25-2022	ISSUED FOR PERMITTING

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

PROJECT NO. 18-018

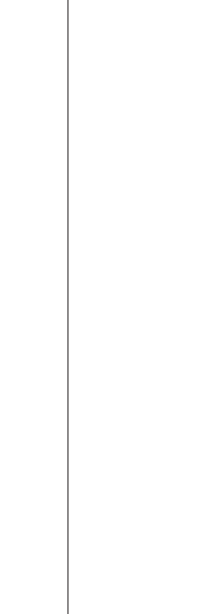
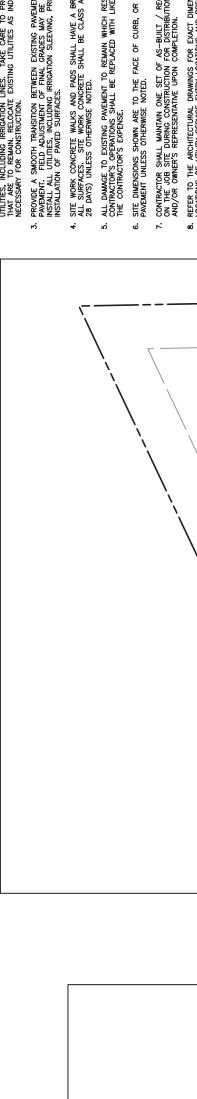
SHEET TITLE SITE LAYOUT PLAN

SHEET NUMBER C204-08

SCALE 1" = 20'

NORTH

Call before you dig.



18-018 - C204-08 - SITE LAYOUT PLAN



10 PLAYGROUND

GENERAL SITE PLAN NOTES

1. CREATE A DOG PARK ADJACENT TO THE BASEBALL PAD. INCLUDE A FENCE, ACCESSIBLE REARAGE EQUIPMENT, AND PLAYGROUND EQUIPMENT. REMOVE FENCE, INSTALL NEW RUBBER MAT, AND REARAGE EQUIPMENT. REMOVE FENCE, INSTALL NEW RUBBER MAT, AND PLAYGROUND EQUIPMENT. REMOVE FENCE, INSTALL NEW RUBBER MAT, AND PLAYGROUND EQUIPMENT.
2. REARAGE EQUIPMENT AND PLAYGROUND EQUIPMENT. REMOVE FENCE, INSTALL NEW RUBBER MAT, AND PLAYGROUND EQUIPMENT.
3. THE SPACE TO BE USED FOR NEW ENTRY AMENITY AREA.
4. LOCATION OF NEW GARAGE BUILDING, EACH WITH 1 HAND-CAP UNIT, 1 HAND-CAP STORAGE UNIT, 1 TRASH ENCLOSURE, 1 TRASH ENCLOSURE, 1 TRASH ENCLOSURE, 1 TRASH ENCLOSURE.
5. ALL TRASH ENCLOSURES MUST BE LOCATED IN THE TRASH REPAIR WALLS AND DOORS. AND INSTALL NEW LIGHTING WITH MOTION SENSORS. INSTALL NEW HOLLOW METAL DOOR AND BUILD NEW DUMPSTER ENCLOSURE WITH CONCRETE APRON AT EXISTING HUMSTER LOCATION. REMOVE CHAIN-LINK FENCE AND INSTALL NEW CDM ENCLOSURE AND GATE.
6. LOCATION OF NEW TRASH ENCLOSURE AND GATE.



9

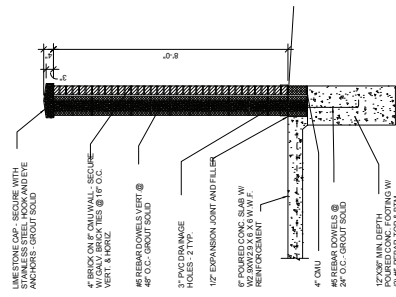


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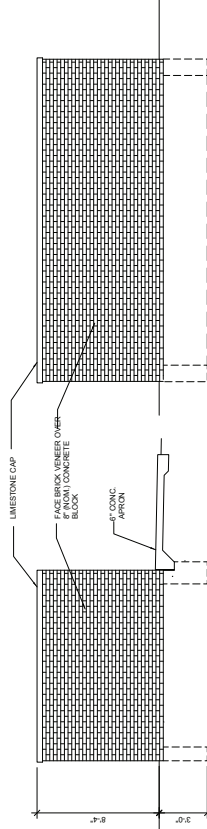
6

DUMPSTER ENCLOSURE



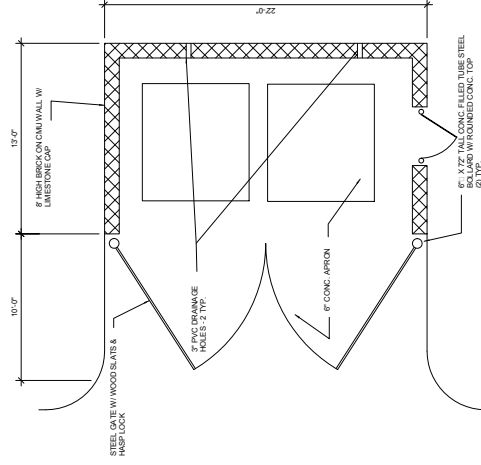
DUMPSTER SECTION

4 DUMPSTER SECTION SCALE: 1/2" = 1'-0"

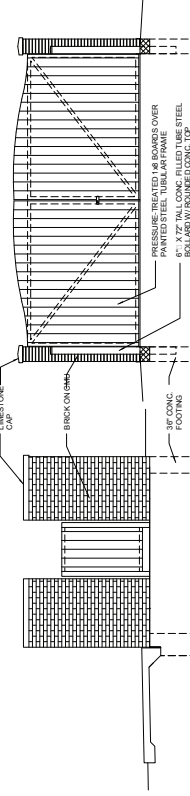


ENCLOSURE LEFT AND RIGHT

3 ENCLOSURE LEFT AND RIGHT SCALE: 3/4" = 1'-0"



2 ENCLOSURE SCALE: 1/4" = 1'-0"



ENCLOSURE RIGHT SIDE

1 DUMPSTER SCALE: 1/4" = 1'-0"

ENCLOSURE FRONT



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PROJECT TITLE
LIMESTONE CROSSING APARTMENTS
 540 S. BASSWOOD DR.
 MORRIS COUNTY, INDIANA 46209

PRELIMINARY
 NOT FOR CONSTRUCTION

SUBMITTER DATE
 1/28/2018

REVISIONS
 MARK DESCRIPTION DATE

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY
 PROJECT NO.
 180118

SHEET TITLE
 PLAYGROUND & DUMPSTER ENCLOSURE

SHEET NUMBER
 ASP 16



**HERMAN & KITTLE
PROPERTIES INC.**
500 East 96th Street, Suite 300
Indianapolis, IN 46220
(317) 846-1111
www.hermanandkittle.com

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SEAL

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE

**LIMESTONE CROSSING
APARTMENTS**
OWNER

540 S BASSWOOD DR
MORFEE COUNTY, INDIANA
REVISION: 02/14/2018

SUBMITTER: DATE: 1/28/2018
SUBJECT: SET

REVISIONS: MARK DESCRIPTION DATE

DO NOT SCALE PRINTS - USE
FIGURED DIMENSIONS ONLY

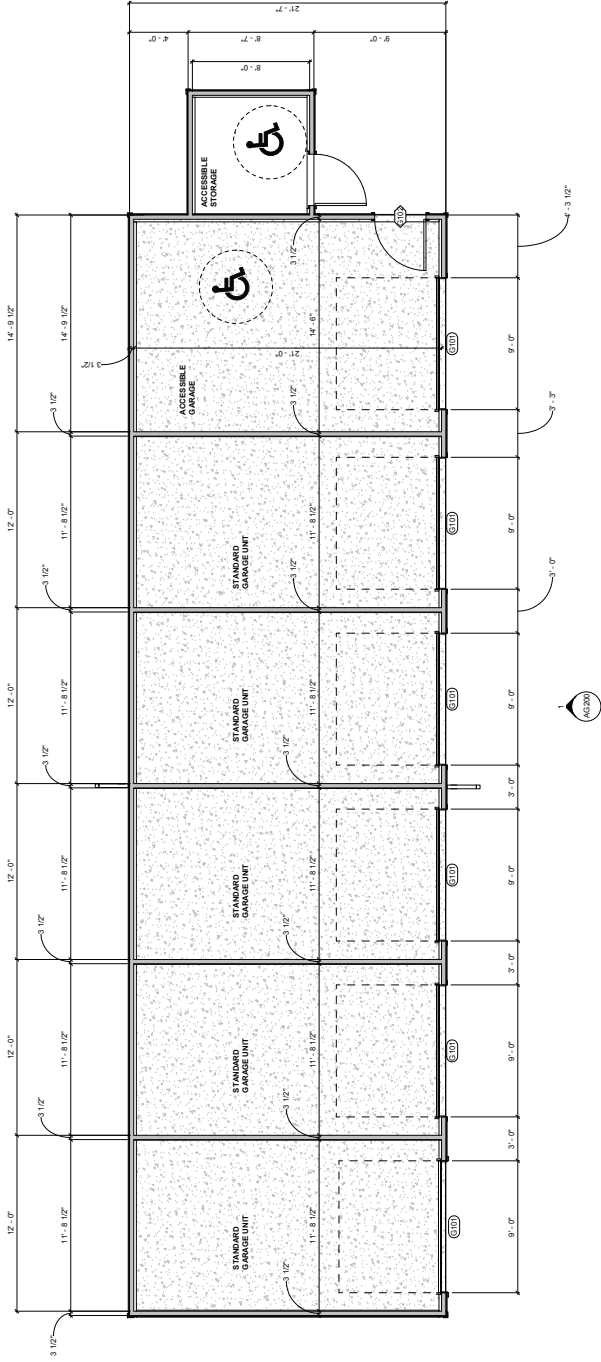
PROJECT NO. 18018

SHEET TITLE

6 BAY GARAGE - PLANS

SHEET NUMBER

AG108



6 BAY GARAGE - FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: NEW CONSTRUCTION TO MATCH EXISTING

GENERAL ELEVATION NOTES

- GN R1:** REMOVE AND REPLACE THE FOLLOWING ITEMS:
1. ROOF SHINGLES, RES. ACE WITH SHVS, ANTI FUNKAL, ARCHITECTURAL SHINGLES.
 2. GUTTER AND DOWNSPOUTS, INSTALL NEW BRASS FINISHED GUTTERS.
 3. BRASS FINISHED GUTTERS.
 4. BRASS FINISHED GUTTERS.
- GN R2:** REMOVE AND REPLACE THE FOLLOWING ITEMS:
1. PRESSURE WASH ALL VINYL SIDING, RE-PAINT DAMAGED SIDING.
 2. REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
 3. REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
 4. REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R3:** PRESSURE WASH ALL VINYL SIDING, RE-PAINT DAMAGED SIDING.
- GN R4:** REPAIR DOWNSPOUTS, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R5:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R6:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R7:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R8:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R9:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R10:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R11:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R12:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R13:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R14:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R15:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R16:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R17:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R18:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R19:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.
- GN R20:** REPAIR AND REPLACE ALL VINYL SIDING, LEADERS & POSITIVE SLOPE AWAY FROM STRUCTURE.

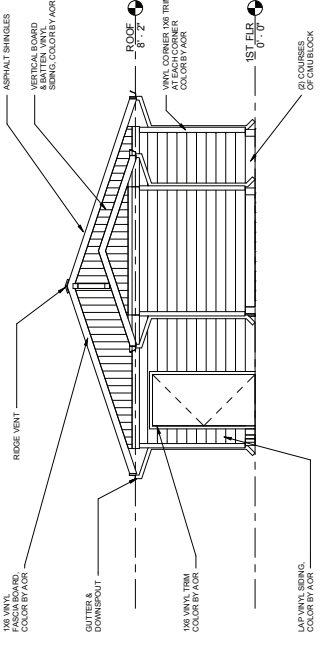
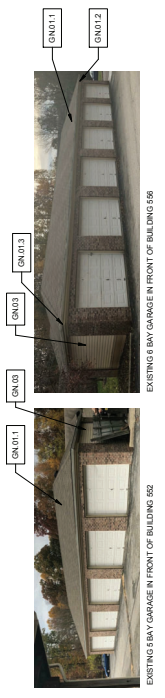
REVISION NO.	DATE	DESCRIPTION
1	1/2/2018	

REVISIONS
 MARK DESCRIPTION DATE

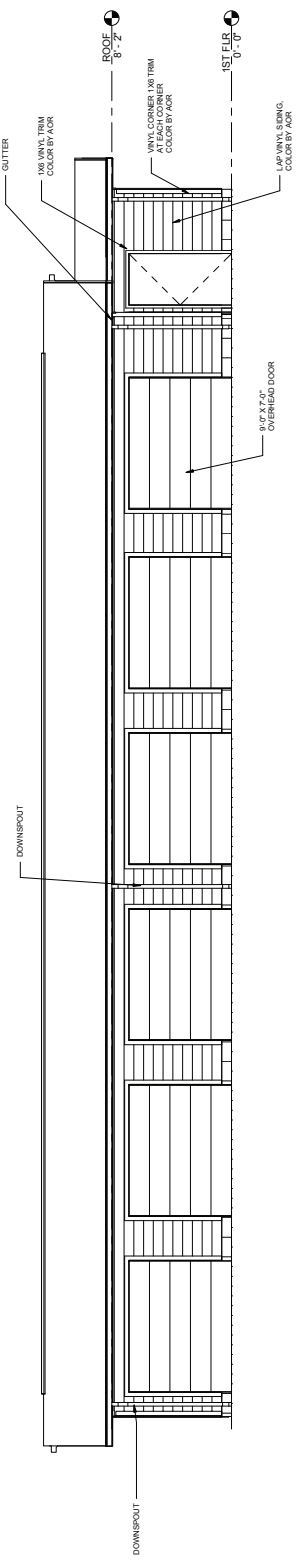
PROJECT NO.
 18018

SHEET TITLE
 6 BAY GARAGE - ELEVATIONS

SHEET NUMBER
 AG2008



2 GARAGE - SIDE ELEVATION
 1/2" = 1'-0" SCALE



1 6-BAY ACCESSIBLE GARAGE FRONT ELEVATION
 1/2" = 1'-0" SCALE