

# CITY OF BLOOMINGTON



May 29, 2019 @ 2:00 p.m.  
CITY HALL -  
KELLY CONFERENCE ROOM #155

CITY OF BLOOMINGTON  
HEARING OFFICER  
May 29, 2019 at 2:00 p.m.

\*Kelly Conference Room #155

---

**PETITIONS:**

UV/V-12-19

**David Howard**

1301 S. Walnut St.

Request: Use variance to allow a ground floor dwelling unit. Also requested is a variance from minimum parking requirements to allow the construction of a mixed-use building.

*Case Manager: Eric Greulich*

CU-15-19

**Zandro Pleimann and Fiona Taggart**

1003 W. 9<sup>th</sup> St.

Request: Conditional Use approval to allow the construction of a detached accessory structure to be used as an accessory dwelling unit (ADU).

*Case Manager: Ryan Robling*

**\*\*Next Meeting: June 12, 2019**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or E-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

**BLOOMINGTON HEARING OFFICER  
STAFF REPORT  
Location: 1301 S. Walnut Street**

**CASE #: UV/V-12-19  
DATE: May 29, 2019**

**PETITIONER:** David Howard  
1414 E Rhorer Road, Bloomington

**REQUEST:** The petitioner is requesting a use variance to allow for a dwelling unit to be placed on the ground floor within a Commercial General (CG) Zoning District. Also requested is a variance from the minimum number of on-site parking spaces required.

<b>Area:</b>	<b>0.13 Acres</b>								
<b>Zoning:</b>	<b>CG</b>								
<b>Comp Plan Designation:</b>	<b>Urban Corridor</b>								
<b>Existing Land Use:</b>	<b>Multi-family Residential</b>								
<b>Proposed Land Use:</b>	<b>Multi-family Residential/Commercial</b>								
<b>Surrounding Uses:</b>	<table> <tr> <td><b>North</b></td> <td>- Multi-Family Residential</td> </tr> <tr> <td><b>South</b></td> <td>- Multi-Family Residential</td> </tr> <tr> <td><b>East</b></td> <td>- Single Family Residential</td> </tr> <tr> <td><b>West</b></td> <td>- Commercial</td> </tr> </table>	<b>North</b>	- Multi-Family Residential	<b>South</b>	- Multi-Family Residential	<b>East</b>	- Single Family Residential	<b>West</b>	- Commercial
<b>North</b>	- Multi-Family Residential								
<b>South</b>	- Multi-Family Residential								
<b>East</b>	- Single Family Residential								
<b>West</b>	- Commercial								

**REPORT:** The petition site is zoned Commercial General (CG) and is located at the southeast corner of S. Walnut Street and E. Driscoll Drive. It is currently developed with a multi-family residence with a parking area in the rear.

The petitioner proposes to construct a three-story building with nine, one-bedroom apartments, 1,500 sq. feet of commercial space on the ground floor, and 2 parking spaces. The 2 parking spaces will be accessed from an alley on the east side of the property and include one handicap accessible space. The property is only 40' wide and the small lot size, in combination with the 20' front parking setback make the provision of more on-site spaces impractical. There will be 5 on-street parking spaces created along Driscoll Avenue. A 5' wide tree plot and 5' wide sidewalk will also be installed along Driscoll. To offset the requested variance from on-site parking spaces and to promote alternative transportation modes, the petitioner will be providing 8 bicycle parking spaces along the front of the building.

The apartments will be approximately 550 square feet each and fully furnished. The petitioner proposes that one of the nine apartment units to be located on the ground floor. This proposal complies with the Indiana State Building Code requirement related to provision of an accessible unit. To provide the accessible unit, the petitioners have the option of adding an elevator or including the unit on the ground floor. The Unified Development Ordinance does not allow residential units on the ground floor in multi-family buildings in the CG district. This UDO provision was written before the State Code requirement for an accessible unit.

Ground floor units are prohibited on the first floor in the CG district by the UDO to ensure that significant amounts of commercial property along major roadways are not consumed by solely residential uses. The UDO restrictions on development size and height, along with the physical

restrictions of the small lot combine to limit development in a way that makes an elevator impractical for this site. The petition site is less than .14 acres. Because of the small size of the development, the petitioners have chosen to request the ground floor unit. The density of 9 one-bedroom units is allowed in the CG district, but only on the second floor and above. Since this site is adjacent to a Residential Core district, the petitioners are required to provide parking spaces for the multi-family units. A minimum of 9 parking spaces are therefore required for the 9 proposed bedrooms.

The petitioner is requesting a use variance to allow for the ground floor unit. Also requested is a variance from the minimum number of on-site parking spaces to allow 2 parking spaces.

---

**PLAN COMMISSION RECOMMENDATION:** The Plan Commission reviewed the use variance request at their May 13<sup>th</sup> meeting. The Plan Commission voted 8-0 to forward the use variance request to the Hearing Officer with a positive recommendation. The Plan Commission found that the proposed use variance does not interfere with the Comprehensive Plan.

---

**20.09.140 CRITERIA AND FINDINGS FOR USE VARIANCE:**

Pursuant to IC 36-7-4-918.4., the Board of Zoning Appeals or the Hearing Officer may grant a variance from use if, after a public hearing, it makes findings of fact in writing, that:

(1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community; and*

**PROPOSED FINDING:** The Department finds no injury with the proposed first floor residential use. Both residential and non-residential uses are permitted and exist in the immediate vicinity.

(2) *The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner; and*

**PROPOSED FINDING:** The Department finds no substantial adverse impacts to the adjacent area from this request. Conversely, the Department finds that the redevelopment of the site will have a positive impact to the adjacent area.

(3) *The need for the variance arises from some condition peculiar to the property involved; and*

**PROPOSED FINDING:** The Department finds peculiar condition resulting from a combination of the small lot size, narrow lot width, and corner lot location. In addition, the State requirement for an accessible unit, combined with the Commercial General height limits, necessitates the unit be located on the ground floor of this site. The building will still have a majority of the ground floor devoted to commercial use. The Department also finds peculiar condition in the small number of units proposed for this infill lot. The size of the building and the limited size and number of units makes development of an elevator impractical for the property.

(4) *The strict application of the terms of the Unified Development Ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought; and*

**PROPOSED FINDING:** The Department finds that the strict application of the UDO constitutes an unnecessary hardship because the combination of the site constraints only allowing a small building and the State’s requirement to provide a handicap accessible unit, necessitate construction of a ground floor unit. Although a solely commercial building or single-family dwelling could be constructed, the mixed-use of the project is desirable.

(5) *The approval does not interfere substantially with the Comprehensive Plan.*

**PROPOSED FINDING:** The Comprehensive Plan designates this property as Urban Corridor. This area is designed to transform strip retail and commercial corridors along major roadways into a more urban mixed-use district that will serve as an appropriate transition area from higher, more intensive uses to other districts, Focus Areas, and regional activity centers. The district serves nearby neighborhoods, but also the larger community. Integrating multifamily residential uses into existing retail and commercial areas within the district can apply a mixed-use approach within individual buildings sites or between adjacent properties.

Land use policies for this area state that:

*Site design must reimagine the built context into a mixed-use district.*

*Emphasis must be placed on urban design and the creation of a distinctive design style in each area.*

*Site design features to consider include building to street frontages, structures that are multistory and pedestrian-scaled*

The following provide additional land development policy guidance:

- Buildings should be developed with minimal street setbacks, with parking located behind the building, and with an emphasis on minimizing pedestrian obstacles to accessing businesses.
- To increase pedestrian and transit accessibility, street cuts should be limited as much as possible to reduce interruptions of the streetscape, tree plots, and sidewalks.
- Development and redevelopment within the district is particularly suited to high-density residential and mixed residential/commercial use and taller building heights, with the possibility of three or four-story buildings.
- Access to public transit service is an important component of the Urban Corridor district.

Although residential units are allowed only on the second floor and above, the Department finds this property to have unique constraints that limit the size of the building and make one ground floor residential unit reasonable. Due to the physical constraints of the lot on development and adjacent ground floor residential uses, the Plan Commission found that the proposed use did not

substantially interfere with the Comprehensive Plan. This petition would still allow for a mixed use building even though the building contains a single ground floor apartment.

---

## CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE

**20.09.130(e) Standards for Granting Variances from Development Standards:** A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

- 1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

**PROPOSED FINDING:** The Department finds no injury with this petition. The proposed number of parking spaces will have no negative effects on the general welfare, public health, or safety of the community.

- 2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

**PROPOSED FINDING:** The Department finds no adverse impacts to the use and value of surrounding properties as a result of the requested variance. The petitioner is providing new on-street parallel parking spaces to help supplement the on-site parking spaces. The proposal redevelops an underutilized lot, which can only enhance rather than detract from the value of adjacent properties. In addition, this site is along a major Bloomington Transit bus route so it is adequately served by public transit.

- 3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

**PROPOSED FINDING:** The Department finds peculiar condition in the small lot size and narrow lot width of only 40', as well as the 2 street frontages. The practical difficulties are peculiar to the property in that the small lot width, in combination with parking setbacks, only allows a small area of the lot that would meet parking setback requirements. No variances from parking setbacks or impervious surface coverage are being requested. Some variance is required for inclusion of parking on this lot and the Department finds that this to be the most reasonable configuration. The parking area would meet all setback and landscaping requirements. The creation of on-street parking areas helps offset the lack of on-site parking.

---

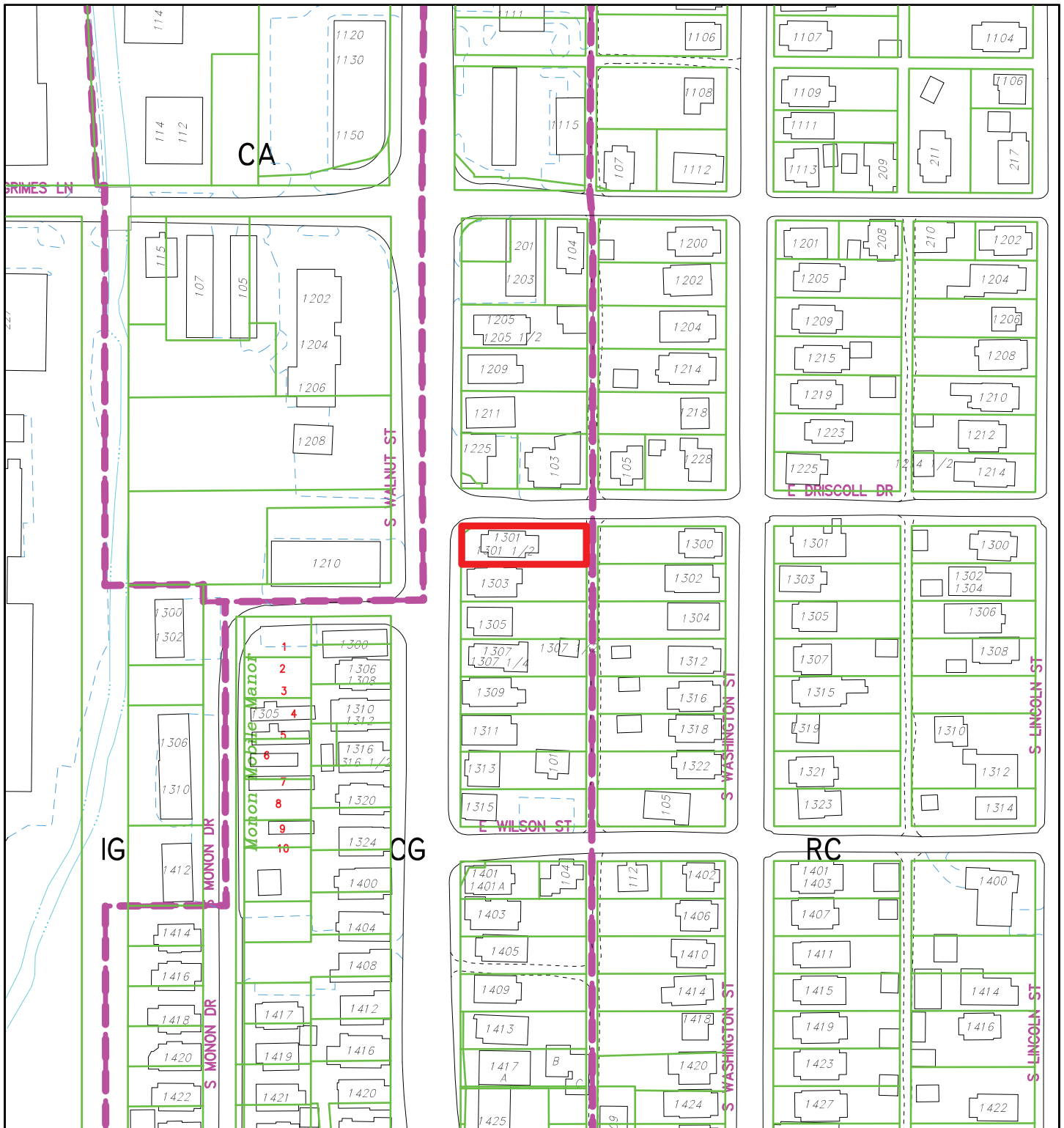
**CONCLUSION:** The Department and the Plan Commission finds that the proposed use does not substantially interfere with the intents of the Comprehensive Plan. The proposal provides a mixed use building, even though the building contains a single ground floor apartment. The petition will redevelop an under-developed lot and the scale and massing of the proposal will fit the surrounding area. Furthermore, the requirement for the commercial use of ground floor space

within this district was to ensure that properties along major roadways were not unduly used for solely residential use rather than mixed-use as encouraged by the Comprehensive Plan. Commercial space is provided, in addition to the ground floor apartment. Although residential units are allowed only on the second floor and above, the Department finds this property to have unique constraints that limit the size of the building and make ground floor residential reasonable. Due to the physical constraints of the lot on development, such as 2 frontages and a relatively small lot size, and adjacent ground floor residential uses, the Department and the Plan Commission find that the Use Variance is appropriate and the Department finds that the variance from required number of on-site parking spaces is appropriate.

---

**RECOMMENDATION:** The Department recommends that the Hearing Officer adopt the proposed findings and approve the petition with the following conditions:

1. This approval allows for only one ground floor dwelling unit in this proposal as submitted.



**UV-V-12-19** David Howard

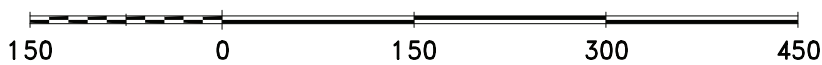
1301 S Walnut Street

**Hearing Officer**

Site Location, Zoning, Parcels

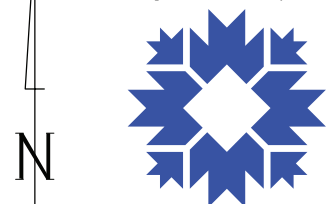
By: greulice

9 May 19



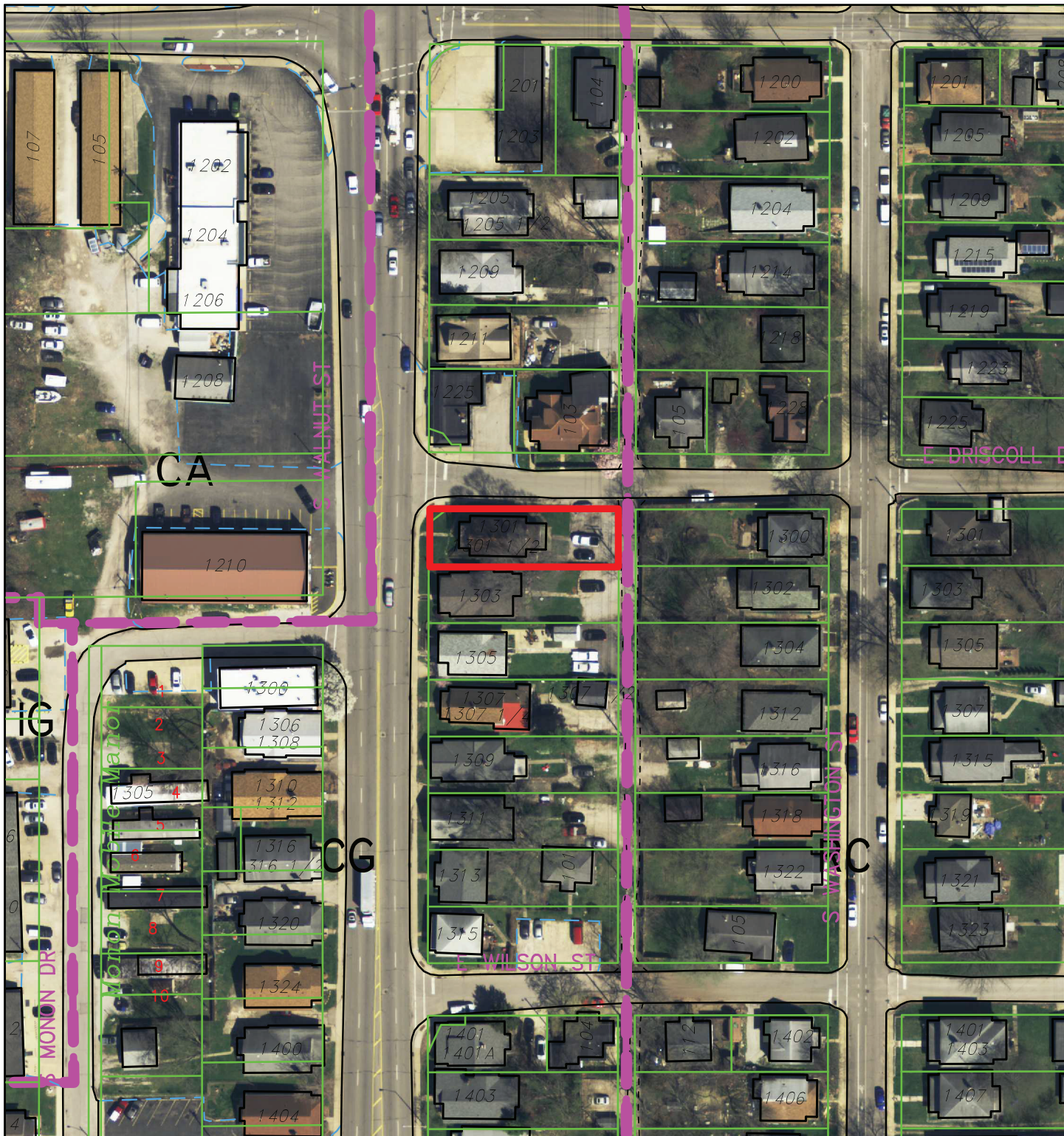
For reference only; map information NOT warranted.

City of Bloomington  
Planning & Transportation



Scale: 1" = 150'





**UV-V-12-19** David Howard

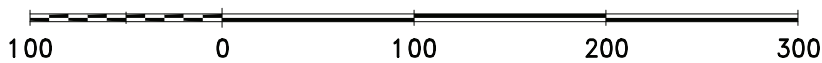
1301 S Walnut Street

**Hearing Officer**

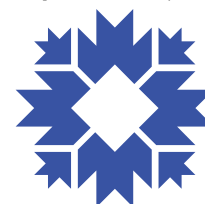
2019 Aerial Photograph

By: greulice

9 May 19



City of Bloomington  
Planning & Transportation



Scale: 1" = 100'

For reference only; map information NOT warranted.

1301 south walnut street, bloomington indiana  
april 05 2019

We are proposing the construction of a new multi-use building on the corner of Driscoll Street and South Walnut Street.

The proposed building will consist of a coffee shop/restaurant space, outdoor seating, bicycle and street parking, a green roof, one accessible loft dwelling on the first floor, along with eight additional single loft units above.

We are requesting a use variance to allow a ground floor dwelling unit, this ground floor unit is being used to meet our ADA requirement. Also being requesting is a variance from the minimum number of required parking spaces to allow 2. To help offset the minimum parking spaces required we are proposing to provide 14 bicycle parking spaces along with 4 on street parking spaces.

Thankyou,

Chad Vencel, representing David Howard of HHI Inc.





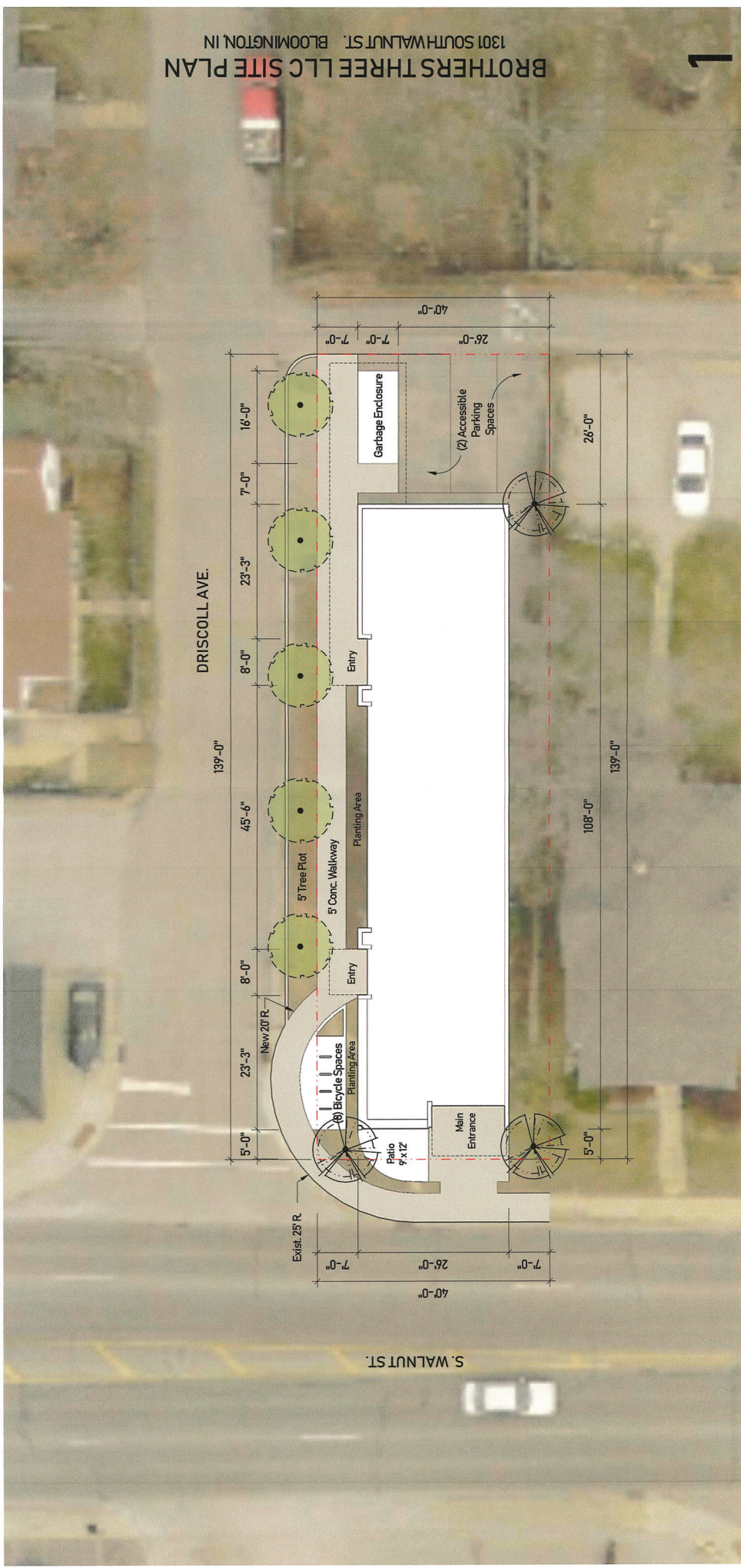
BROTHERS THREE LLC SITE PLAN  
1301 SOUTH WALNUT ST. BLOOMINGTON IN

1

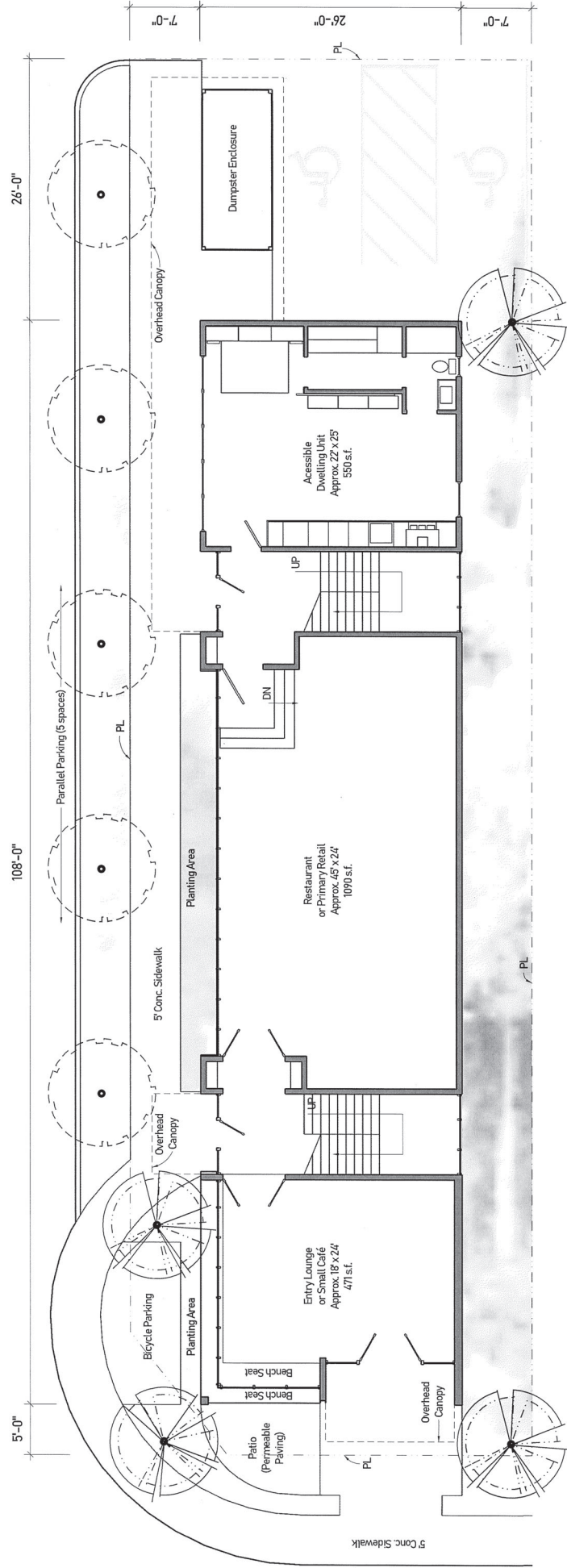
SITE PLAN

04.29.23

SCALE: 1/16" = 1'-0"



DRISCOLL AVE.



S. WALNUT ST.

BROTHERS THREE LLC  
1301 SOUTHWALNUT ST. BLOOMINGTON, IN



NORTH

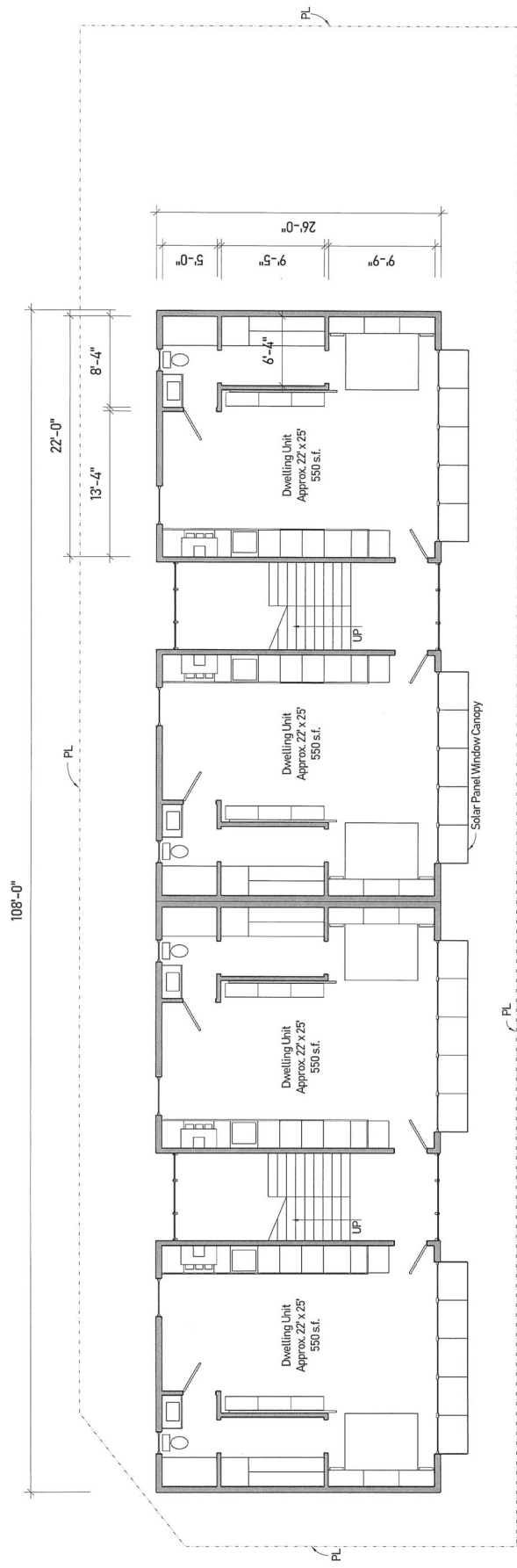
1

1st FLOOR  
PLAN

1

05/08.19

SCALE: 1" = 10'-0"

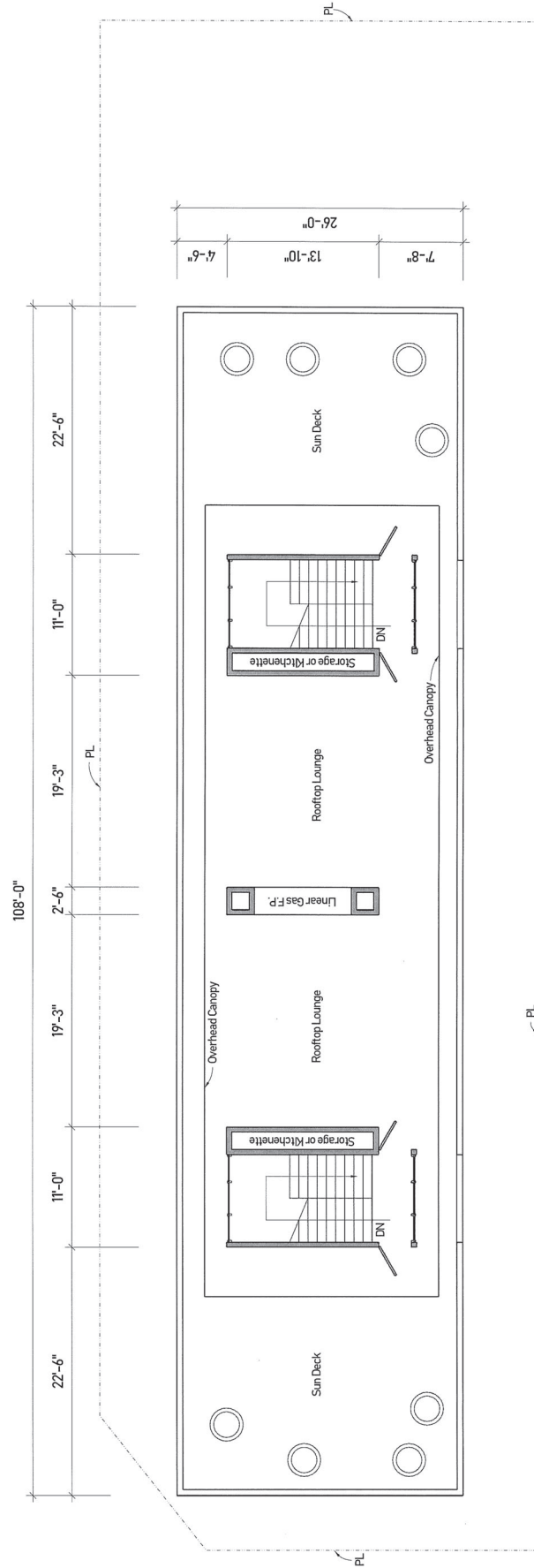


BROTHERS THREE LLC  
 1301 SOUTH WALNUT ST. BLOOMINGTON, IN



2  
 2nd & 3rd  
 FLOOR  
 PLAN  
 1  
 06/08/19

SCALE: 1" = 10'-0"



NORTH

SCALE: 1" = 10'-0"

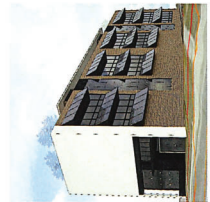
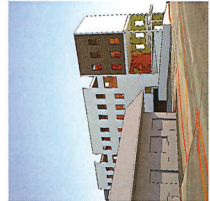
3

ROOF  
PLAN

1  
0908.19

BROTHERS THREE LLC  
1301 SOUTH WALNUT ST. BLOOMINGTON, IN





Concept

SOURCE OF TITLE: 2019001722 WAR  
 Lot Number Seven (7) in Driscoll Addition to the town of City of Bloomington, Indiana.

EXCEPTING THEREFROM A part of Lot 7 in Driscoll Addition to the City of Bloomington, Indiana, as recorded in Plat Book 3, page 24, Office of the Recorder of Monroe County, Indiana, more particularly described as follows:  
 Beginning at the Northwest corner of said Lot 7; thence North 90 degrees 00 minutes 00 seconds East along the North line of said Lot 12.35 feet; thence South 52 degrees 53 minutes 53 seconds West 15.58 feet to the West line of said Lot; thence North 00 degrees 00 minutes 00 seconds East along said West line 9.50 feet to the point of beginning, containing 59 square feet, more or less, in said exception.

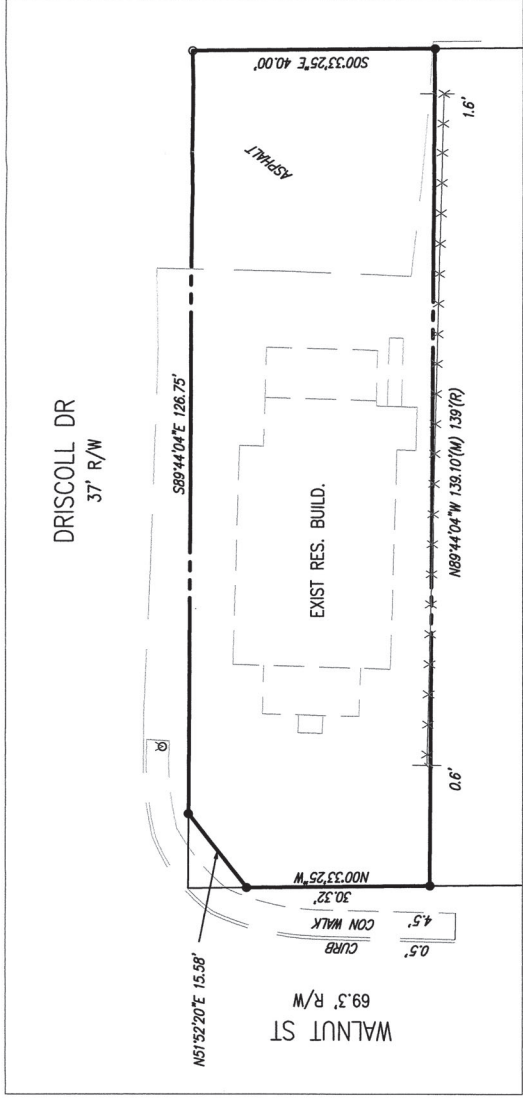
**SURVEYOR'S REPORT**

According to Indiana Administrative Code (865 IAC1-12-12), the following is the theory of location applied in establishing the lines and corners by this survey:

1. The East line of subject parcel was constructed by extending a line through found rail road spikes in the Southeast corner of Lot 8 and the Southeast corner of Lot 11 in Driscoll Addition.
2. The North and South lines of subject parcel was constructed parallel with a line through a rail road spike in the Southeast corner and a rebar found in the Southwest corner of said Lot 8 Driscoll Addition at record distance from the East line as cited above.
3. The North line was constructed parallel to South line cited above at record distance from East line and with exception taken out by record distances from Northwest corner.

The following is a professional opinion of the cause and amount uncertainty in the lines and corners of the surveyed parcel because of the following:

- A. Availability and condition of reference monuments:
  - a. Other corner monuments found in this block of Driscoll Addition within 1.3 feet of corners constructed by this survey.
- B. Occupation or possession lines:
  - a. Board link fence extends 0.6 feet North of South line on East end of fence and 1.6 feet South of South line on its East end as shown on plat.
- C. Clarity or ambiguity of record description and adjoiners' record descriptions.
  - a. Basis of bearing of exception being unstated creates ambiguity of 0.1 foot.
- D. Relative positional accuracy of the measurements is 0.13 feet (21mm) +/- 50 ppm, consistent with a 'Suburban Survey' as defined by Indiana Code.

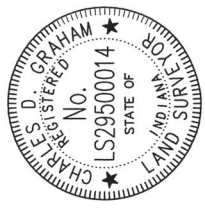


**NORTH**



I affirm under penalties of perjury, that I have taken reasonable care to reduce each social security number in this document, unless required by law.

Charles D. Graham  
 Indiana L.S. 29500014  
 Bynum Fanyo & Associates, Inc.  
 528 North Walnut Street  
 Bloomington, Indiana 47404-3804  
 812-332-8030



**CERTIFICATION:**  
 I certify that the survey as shown by the plat was performed wholly under the direction of myself, a registered land surveyor in the State of Indiana, and to the best of my belief and knowledge was executed according to 865 IAC 1-12.

RETRACEMENT SURVEY  
 LOT 7 DRISCOLL ADDITION  
 PARCEL 53-01-54-726-000.000-009  
 Brothers Three LLC  
 1301 S Walnut ST Bloomington IN

5019027

Date: 03/28/2019

**BFB**  
 BYNUM FANYO & ASSOCIATES, INC.  
 528 North Walnut Street  
 Bloomington, Indiana 47404  
 Phone (812)332-8030 Fax (812)339-2990

**BLOOMINGTON HEARING OFFICER  
STAFF REPORT**

**CASE #: CU-15-19  
DATE: May 22, 2019**

**Location: 1003 W 9<sup>th</sup> Street**

**PETITIONER: Fiona Taggart and Zandro Pleimann  
1003 W 9<sup>th</sup> St., Bloomington, Indiana**

**REQUEST:** The petitioners are requesting conditional use approval to allow the construction of a detached accessory building to be used as an accessory dwelling unit in the Residential Core (RC) zoning district.

**REPORT:** This 0.190 acre (8,276 sq. ft.) site is located at 1003 W. 9th Street. The property is zoned Residential Core (RC). The site currently contains one single family residence. The petitioner is requesting conditional use approval in order to construct a new detached garage with an Accessory Dwelling Unit (ADU) on the second floor.

The proposed new garage would have one driveway onto John Street to the east. There is an existing driveway on the property that will be utilized by the newly constructed garage. The new garage would meet the 5' sideyard setback requirements.

**ACCESSORY DWELLING UNIT ISSUES:**

Section 20.05.0333 outlines the particular standards required for Accessory Dwelling Units in single-family residential zoning districts in Bloomington.

The petition meets all of the standards of Section 20.05.0333.

**Setbacks:** The proposed structure will be located approximately 5' from both side property lines.

Site Standards	Allowed	Proposed
Maximum Number	1 per lot	1
Number of Residents	One Family per lot	One Family or 3 unrelated per lot
Minimum Lot Size	7,200 square feet	8,276 sq. ft.
Proximity	At least 300 feet from approved ADU	No approved ADU's within 300'
Owner Occupancy	Required on Lot	Owner in House

Design Standards	Allowed	Proposed
Maximum Square Footage	440 square feet	404 square feet
Maximum Bedrooms	1	1
<b>Minimum Setbacks</b>		
Front	Same as Dwelling	Same as Dwelling
Side	5 feet	5 feet
Side	5 feet	5 feet

Maximum Height	25 feet	25 feet
----------------	---------	---------

---

## Criteria and Findings for Conditional Use Permits

### 20.05.023 Standards for Conditional Use Permits

No Conditional Use approval shall be granted unless the petitioner shall establish that the standards for the specific Conditional Use are met and that the following general standards are met.

1. *The proposed use and development must be consistent with the Comprehensive Plan and may not interfere with the achievement of the goals and objectives of the Comprehensive Plan;*

**Proposed Finding:** The proposal for an ADU does not interfere with the goals and objectives of the Comprehensive Plan and in fact the Comprehensive Plan specifically supports Accessory Dwelling Units as a way to provide affordable housing options and maintain owner occupied housing in the older neighborhoods by incorporating Accessory Dwelling Units. Policy 5.3.1 encourages opportunities for infill and redevelopment across Bloomington with consideration for increased residential densities through accessory dwelling units. Under Land Development policy guidance the Comprehensive Plan states “Accessory dwelling units for single-family residential uses offer options to consider for affordability, aging in place, and to meet other housing needs.”

2. *The proposed use and development will not create nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights;*

**Proposed Finding:** The garage structure is a typical access structure in the RC zoning district. The use on the site will take place completely indoors. No smoke, odors, vibrations, or objectionable lights are typically associated with a residential use.

3. *The proposed use and development will not have an undue adverse impact upon the adjacent property, the character of the area, or the public health, safety and general welfare;*

**Proposed Finding:** No adverse impacts to the adjacent properties or character of the area will occur as a result of this petition. The overall use of the property will still be a single family residential use. The limits on occupancy for the property minimizes impacts to the adjacent properties. The garage will meet setback requirements additionally a 12 foot unimproved alley separates the property from the neighbor to the south providing additional separation.

4. *The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, stormwater management structures, and other services, or that the applicant will provide adequately for such*

services;

**Proposed Finding:** The site is adequately served by all public utilities. The proposed new structure will utilize an existing driveway cut.

5. *The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets;*

**Proposed Finding:** The limit on occupancy imposed with the ADU standards insures that the maximum occupancy on the property does not exceed that of a typical residential property. No significant amounts of traffic will be generated by the one-bedroom ADU unit.

6. *The proposed use and development will not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance;*

**Proposed Finding:** The ADU will have no significant effect on the natural, scenic, or historic features of the parcel or area. The house is not located in a local historic district but is in the National Historic District.

7. *The hours of operation, outside lighting, and trash and waste collection must not pose a hazard, hardship, or nuisance to the neighborhood.*

**Proposed Finding:** The Department does not find any negative impacts to the neighborhood from the proposed ADU operation.

8. *Signage shall be appropriate to both the property under consideration and to the surrounding area. Signage that is out of character, in the Board of Zoning Appeal's determination, shall not be approved.*

**Proposed Finding:** No signage is proposed or allowed for the ADU.

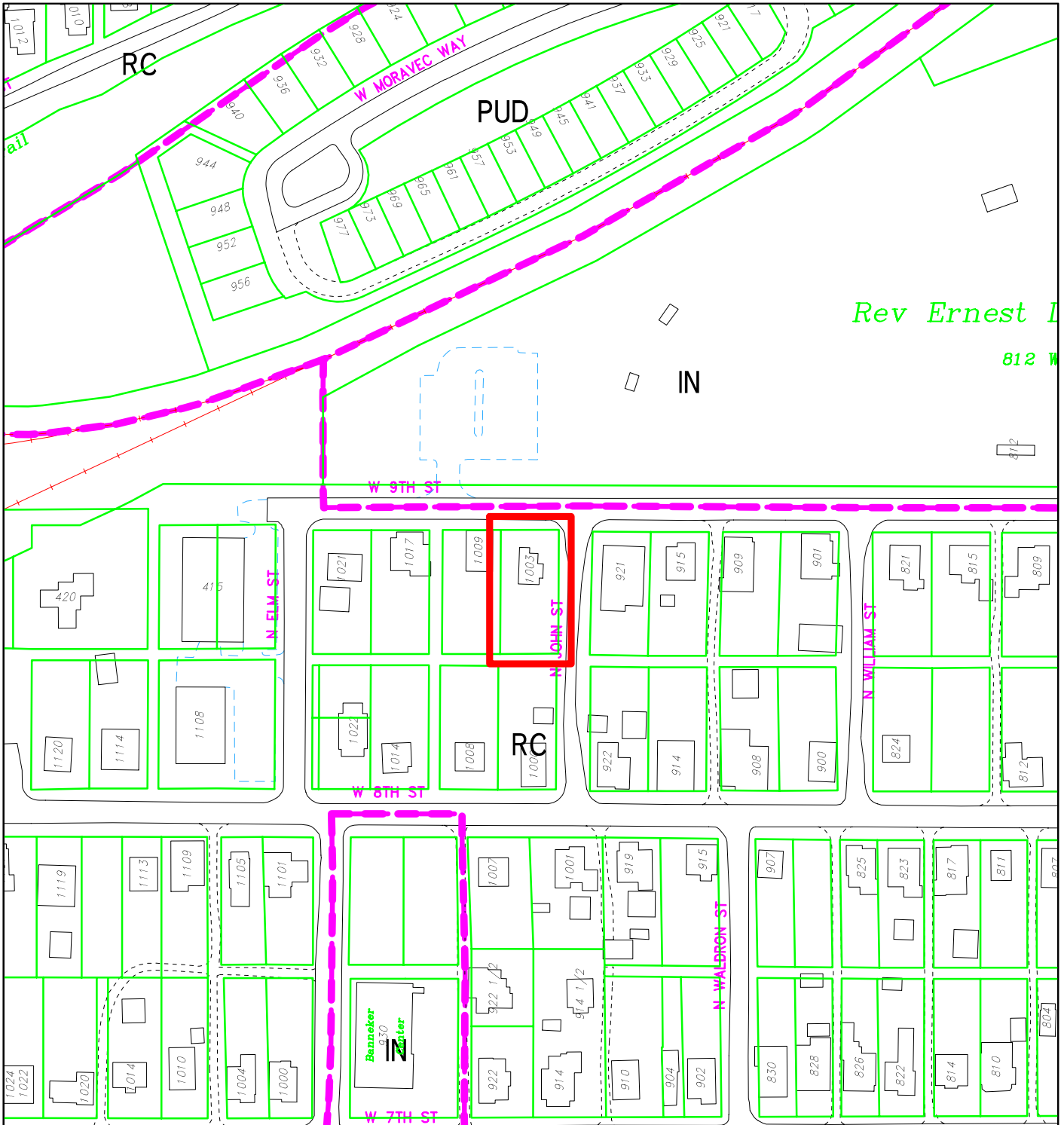
9. *The proposed use and development complies with any additional standards imposed upon the particular use by Chapter 20.05; CU: Conditional Use Standards.*

**Proposed Finding:** There are no other standards applicable to the ADU.

---

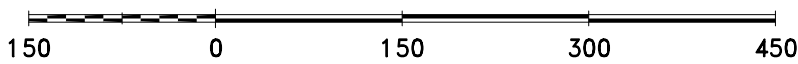
**RECOMMENDATION:** The Department recommends that the Hearing Officer adopt the proposed findings and approve CU-15-19 with the following conditions:

1. The Conditional Use is approved for the proposed structure as submitted.
2. Petitioner shall record a commitment to satisfy 20.05.0333(l), indicating that the ADU cannot be sold separately from the primary unit and that the conditional use approval shall only be in effect as long as the owner(s) of record occupies either the house or the ADU as his or her primary residence. If the ADU approval is revoked at any time, the ADU must be removed from the property.
3. Petitioner shall submit a copy of the property tax homestead exemption for the property.



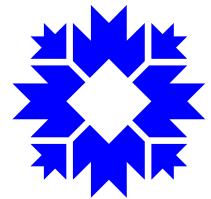
CU-15-19 Pleimann & Taggart  
 1003 W 9th Street  
 Hearing Officer  
 Site Location, Zoning, Parcels

By: roblinger  
 22 May 19

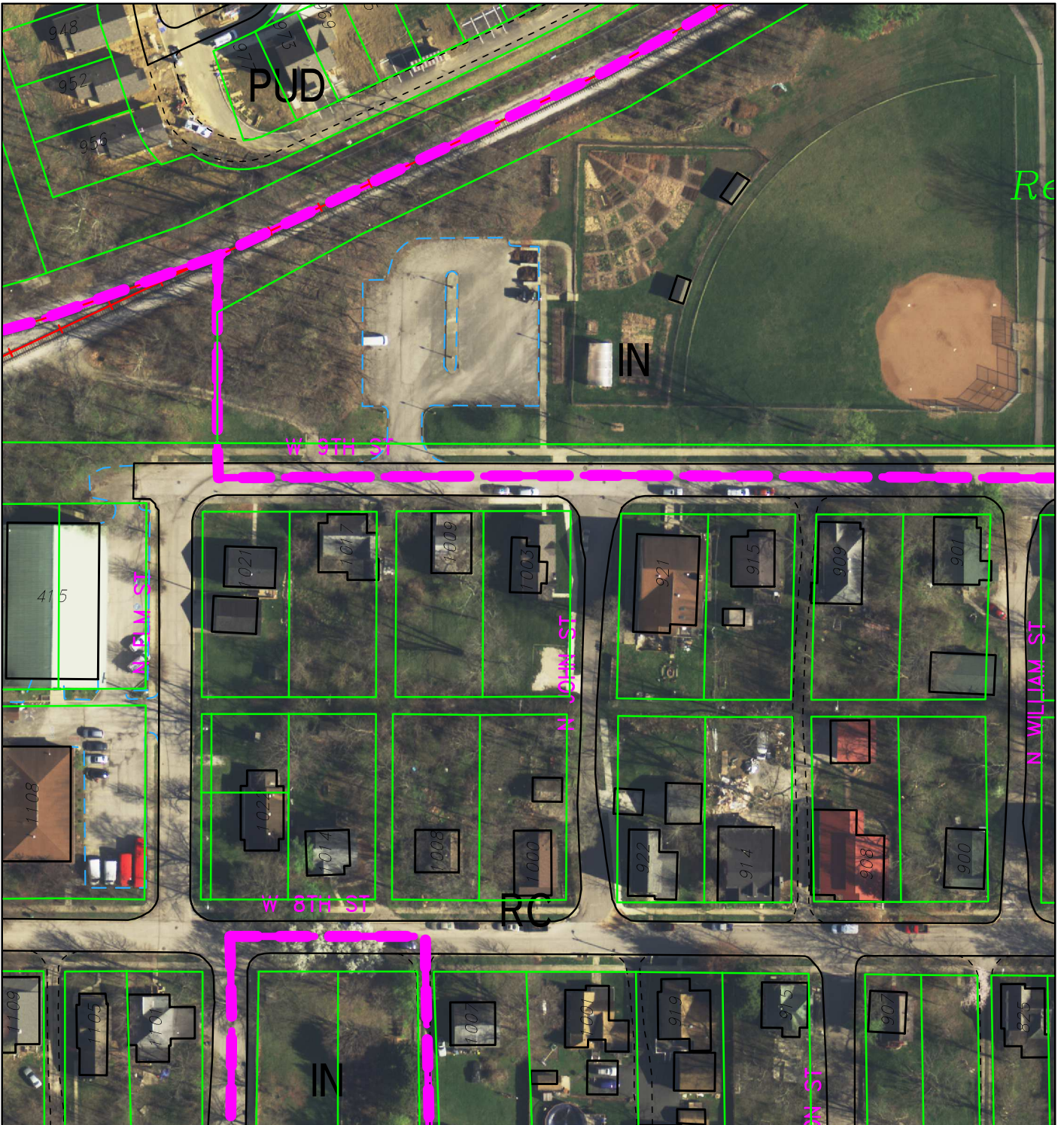


For reference only; map information NOT warranted.

City of Bloomington  
 Planning & Transportation

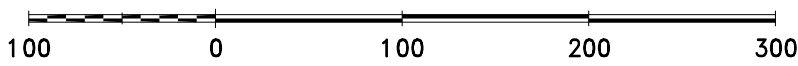


Scale: 1" = 150'



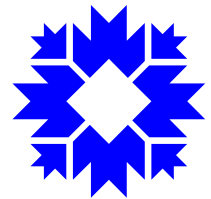
CU-15-19 Pleimann & Taggart  
 1003 W 9th Street  
 Hearing Officer  
 2016 Aerial

By: roblinger  
 22 May 19



For reference only; map information NOT warranted.

City of Bloomington  
 Planning & Transportation



Scale: 1" = 100'

April 28, 2019

City of Bloomington Planning  
and Transportation Department  
401 N. Morton St. Suite #130  
Bloomington, IN 47404

To Whom It May Concern:

Zandro Pleimann and Fiona Taggart are petitioning to build a 2-car garage with a detached accessory dwelling unit above the garage and would like your approval. The location of the proposed site will be located at 1003 W. 9<sup>th</sup> St, Bloomington, Indiana 47404 with a lot size of 62' x 132'. The surrounding land around this property is mostly residential with Butler community garden and Butler Park directly across and east of this property, respectively. There is currently one residential house on the property with off-street parking on W. 9<sup>th</sup> St. The vehicular access will include a 2-car garage with a parking pad in front of the garage and can be accessed on John Street. There are no environmental issues for this proposed building site. The drainage plan for this proposed site includes water draining into existing vegetation currently on the property. There are no variance or conditional use being requested at this proposed building site.

Sincerely,



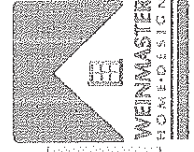
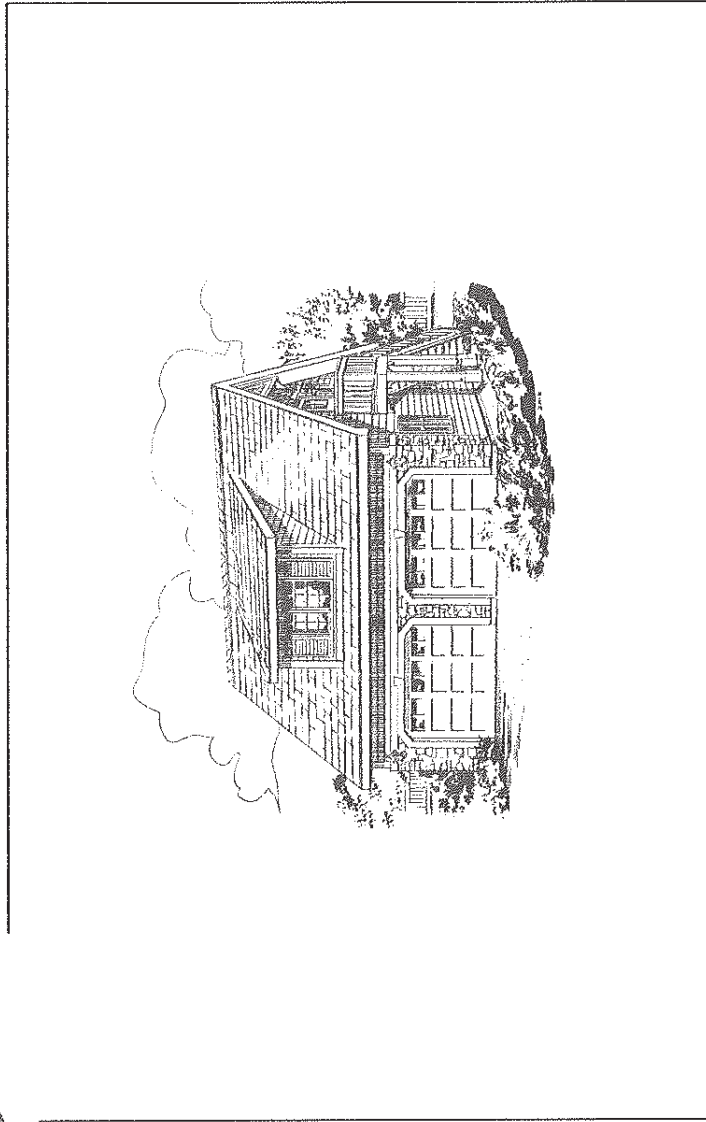
Zandro Pleimann



Fiona Taggart



PLAN NO- 4527



WEINMASTER HOME DESIGN



★ IMPORTANT ★

PLEASE READ AND COMPLY WITH THESE SPECIFICATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

CODES AND STANDARDS

- All construction to be of a standard equal in all respects to good building practice.
- It is the responsibility of the owner/builder to ensure that changes to the work are complete and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and bylaws which may have precedence.
- When proceeding with construction, the owner must verify all information, dimensions and specifications of this plan. Written amendments always take precedence over verbal measurements.
- Any variance from structural drawings and specifications or from conditions encountered at the job site, shall be reviewed by the owner/builder and such solutions shall be their sole responsibility.
- Always shall conform to the current Building Codes which may take precedence. Every jurisdiction or local building codes and bylaws which may take precedence.
- Contractor shall be responsible for obtaining all necessary permits and for the cost of all required fees. All work shall conform to the current Building Codes which may take precedence. In the event of a conflict between applicable codes and regulations, the more stringent provisions shall govern.
- All concrete to have a minimum compressive strength of 2500 psi at 28 days.
- Concrete castings must be placed on undisturbed or compacted soil to an elevation below frost penetration. Footing below these drawings have been designed for soil bearing capacity of 2500 psf. If a lower bearing capacity is encountered, the contractor shall be responsible for providing the design and design by a qualified person to suit existing conditions.
- Foundation walls should not be built until concrete or masonry grout has reached the specified 28 day strength and structural formwork (including bracing) has been removed. The work is complete and fully settled and set back.
- All foundation walls 24" and higher shall have one horizontal 1/2" reinforcing bar 2" from the top. Concrete reinforcing to be a minimum 28".
- All loadings are to have two 1/2" reinforcing bars. The reinforcing bars are to be placed such that one bar is 2" from the side and bottom of the footing on both sides of the footing.
- Concrete above or elevations are estimated. Adjust or else as required. Existing walls above that for foundation walls of the remainder, are to have the design or their design unless otherwise noted.
- All concrete and masonry foundations walls, including heights limits specified by current Building Codes require engineering.
- Foundation walls shall be installed where required in the approval of local authorities.

STRUCTURAL DESIGN AND ENGINEERING

- To provide our clients with distinctive and attractive designs, it has been necessary in some instances to use beam sizes and framing details not specified by current building codes. Although these plans are designed using standard engineering practices, the City Engineer's Office may require the contractor to provide engineering approval for the owner or builder to provide.
- DEAD LOADS
- Flat roof (including finish).....30 psf
- Roof (including finish).....20 psf
- Floor.....10 psf
- Deck.....50 psf
- LIVE LOADS
- Residential.....40 psf
- Office.....50 psf

INSULATION

- Roof.....As req'd (R-30 recommended)
- Flat Ceiling.....As req'd (R-30 recommended)
- Exterior Walls.....As req'd (R-20 recommended)
- 2 x 4 studs.....R-19 or R-21
- 2 x 6 studs.....R-19 or R-21
- 2 x 8 studs.....R-19 or R-21
- 2 x 10 studs.....R-19 or R-21
- Basement Walls.....As req'd (R-20 recommended)
- Basement Floor.....As req'd (R-20 recommended)
- Sub Floor - on grade.....As req'd (R-20 recommended)
- Basement Slab.....As req'd (R-20 recommended)
- Basement Floor & Slab.....As req'd (R-20 recommended)
- Basement Ceiling.....As req'd (R-20 recommended)
- Insulation to be installed with vapor barrier on exterior face.
- It may be necessary to increase the depth of framing members greater than required by local codes and conventions.
- Cracking is to be applied as an exterior slab and plaster over all exterior masonry preparation (between window or door frames and nonpenetrations).

REINFORCING STEEL

- Reinforcement shall be steel rod and shall not be welded.
- Welded wire fabric shall conform to ASTM A185, in a length as in drawings.
- Reinforcement in concrete and masonry shall have lap lengths as follows, unless otherwise specified on drawings.
- Bar Size.....in Masonry
- 4#.....20"
- 5#.....20"
- 6#.....20"
- 7#.....20"
- 8#.....20"
- 9#.....20"
- 10#.....20"
- Placement:
- A. Reinforcement shall be adequately placed and supported by concrete. It shall be placed in accordance with approved plans, drawings or specifications.
- B. Except where otherwise noted, reinforcement shall have concrete cover as follows:
- 1. Concrete (top and bottom).....3"
- 2. Exterior concrete (sides).....3"
- 3. Interior concrete (sides).....2"
- 4. Interior concrete (top and bottom).....2"
- 5. Top of slab-on-grade.....2"

WOOD FRAMING

- Dimension and frame to include feet of exterior outside of exterior walls unless otherwise noted. Ends of exterior studs and foundation top of 1/2" flush.
- Joists shall be placed to accommodate finishing of plumbing, etc.
- Owner/builder to obtain contribution from manufacturer of floor beams, not frame and silliam beams.
- Floor and roof joists spans of more than 7 ft. shall be braced at midspan or at 7 ft. intervals unless otherwise specified on drawings with wood. Bracing shall be a 2x2 (minimum 2x2) or 2x4 (minimum 2x4).
- Wood in contact with concrete shall be damp-proofed with 45 lb. felt, a sill plate gasket and preservative treated with a waterborne preservative or other approved material.
- All frame walls which have steel framing placed at 16" o.c. except where otherwise noted.
- Top plates shall be doubled on all walls except where otherwise noted.
- Complete entire all headers shall be continuous to all plates.

- Double plates under all walls parallel to joists except where otherwise noted.
- Block all top walls as required for soffits.
- Solid blocking between all plates and soffits at supporting walls and beams except at rim joists.
- Double top plates at all ends parallel to joists.
- Brims, sills, and joists supporting beams or construction loads shall not be notched.
- All rafters shall be notched for purlin lat bracing at supports.
- All joists shall have a minimum of 2" bearing at supports.
- Top all joists 10" minimum at all interior bearing supports.
- Head sills and ledger beams at concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two nails, and each board shall have a hole within 1/2" of each end.
- All solid wood lumber shall be Douglas Fir/Larch (unless otherwise noted on the plans, drawings, and specifications) with current moisture content (maximum 19% moisture content) for use in the trade.
- Flange, Ceiling Joists, & Ceiling.....2x4 or larger
- Sill, Trims & Blocking.....2x4
- 2x4 Studs.....2x4
- 2x6 Studs.....2x6
- 2x8 Studs.....2x8
- 2x10 Studs.....2x10
- Wall & Roof Sheathing.....1/2" CD Ex. (Over Plywood) (2021G)
- F. Sub-floor over Joists.....1/2" CD Ex. (Over Plywood) (2021G)
- D. Underlayment.....1/2" Underlayment (Solid particle board)
- Solid saw lumber at visually exposed locations shall be "Clear" grade, free of heart.

ELECTRICAL

- Installation of electrical items must comply with local electrical codes and regulations in all respects.
- Outlet locations shown on plans comply with or exceed current Building Code minimum requirements and are to be used as a guide only. Adjust according to permit's local authority's requirements.

HEATING

- Installation of entire heating system, whether electric, forced warm air or hot water must comply with manufacturers' directions (where applicable) and conform with local codes and regulations in all respects.
- Gas connections will require separate permit and inspections.
- Final heating application, including furnace, register and shows to be provided with commission an supply from exterior.

FIREPLACES AND MASONRY

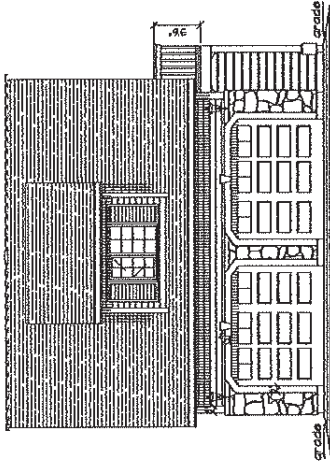
- All masonry applications shall be in accordance with the current Building Code.
- All fireplace and chimney installations shall be governed, inspected and approved by municipal authorities (separate permit may be required).
- Fireplaces shall be finished to owner's specifications including masonry and woodwork if specified.
- Wood burning fireplace hearths to be minimum 1/2" deep and project minimum 8" clear into of hearing.
- Fireplace flue size is minimum 1/2 of fireplace opening dia.
- Chimneys shall be near finished and minimum 8" above finished opening.

- Provide minimum of 8" of head, including the head, or all sides of fire box - 2" for stone.
- Interior wood frames to be minimum 2" clear from back and sides of the box and 1/2" clear from top chimney.
- Exterior wood frames to be minimum 1" clear from exterior fireplace and 1/2" clear from exterior chimneys.
- Preparer to have such drawings with each item item to know where possible.
- Provide cast iron clean outs below fireplace for masonry flues.

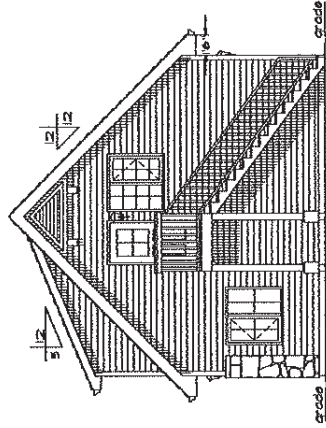
MISCELLANEOUS

- Fill in or patch up of masonry on exterior walls.
- Flush over all exterior openings.
- All siding or cladding to be a minimum of 1/2" when finished grade.
- All balcony railings to be 1/2" in height. Maximum spacing between vertical members is 4". Minimum distance between horizontal rails to be 32". Top rail to sustain outward load of 40 pounds per linear foot.
- Coat and ceiling boards shall have at least one end joint with minimum 1/2" overlap. All joints shall be finished with a suitable stain or stainable oil when exterior possible. Joist spaces shall have one end joint.
- Contractor shall provide adequate footing or otherwise support all portions of the structure until all members have been permanently connected together.
- Finishing diagrams on drawings shall be provided by the plumbing contractor.
- Heating/cooling ducts, ductwork or air ducts shall be provided by the heating/cooling contractor.
- Head loss or energy use calculations shall be provided by heating/cooling contractor or other professional as required by Building Official.
- Truss design, engineering and plans shall be provided by truss manufacturer.
- All trusses and joists shall be provided with tapered aluminum slats. Provide outside combustion air for fireplaces, wood stoves and liquid fuel heating appliances (I.B.C. 2021G).
- Smaller dimensions shall be consistent to show plans.
- Use and finish/cover exposures to have 1/2" water resistant gypsum board and a hard, moisture resistant surface to 60" above floor finish.
- All exterior trim, vinyl siding and others shall be to be consistent with other finish items. Use finish as preparation through interior finish.
- All windows, patio doors and doors with glass shall be double glazed, insulating units with wood or thermally broken aluminum frame and sashes.
- All wood in permanent contact with concrete or soil shall be pressure treated with a waterborne preservative.
- All exterior walls & walls common to adjacent spaces shall be 2x6 studs at 16" o.c. with 1/2" insulation unless otherwise noted on the plans.
- Provide 1 hour fire wall between garage and living areas and under all stairs where storage space is available.
- All doors between garage and living areas shall be 1 hour fire rated assembly with 1/2" solid core wood doors or code approved regulations and self-closing.

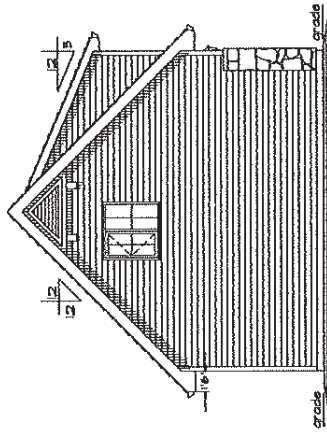
**WEINMASTER HOME DESIGN**  
 Division of Weinmaster Homes Ltd.  
 Copyright Weinmaster Home Design  
 WEINMASTER  
 WEINMASTER  
 WEINMASTER  
 Website: www.weinmaster.com



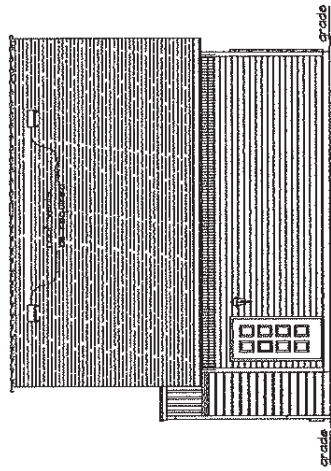
FRONT ELEVATION scale = 1/4" = 1' 0"



RIGHT ELEVATION scale = 1/4" = 1' 0"



LEFT ELEVATION scale = 1/4" = 1' 0"



REAR ELEVATION scale = 1/4" = 1' 0"



SHEET TITLE:  
ELEVATIONS

SCALE:  
AS NOTED

SHEET **4**  
OF  
**4** SHEETS

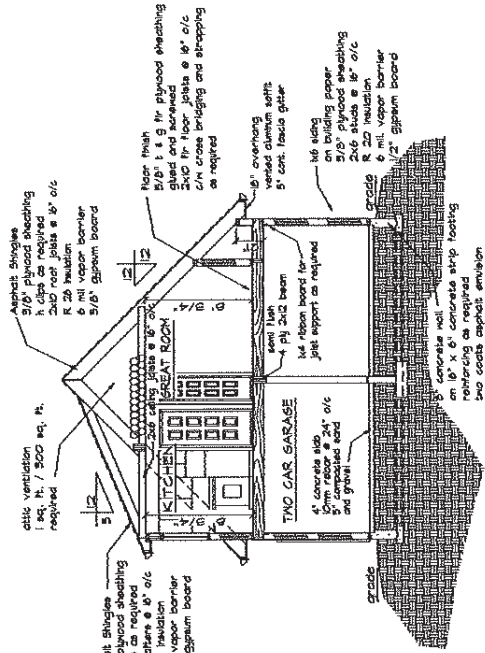
**COPYRIGHT**  
 These drawings are the exclusive property of  
 WEINMASTER HOME DESIGN. Reproduction in whole  
 or in part without the written permission of  
 WEINMASTER HOME DESIGN is a violation and  
 subject to penalties under the Copyright Law.

**NOTE: DEPTH OF FOUNDATIONS**

Due to the large variety of soils and the variance in frost penetration in different geographical locations, please refer to table A.3.3.3 of the National Building Code, and consult local authorities for accepted standards.

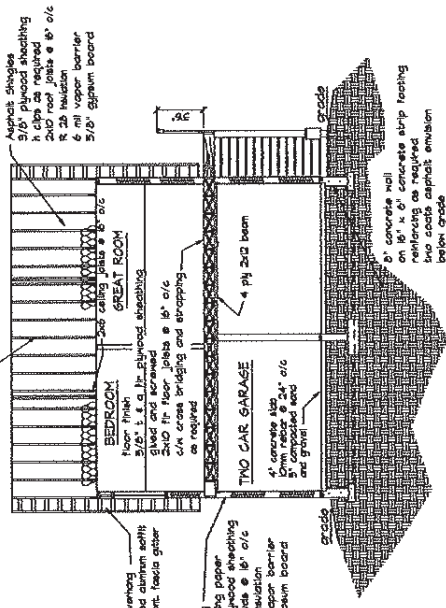
**NOTE**

All loads in exterior and bearing walls to be supported by foundations. All foundation members to have a minimum width of 24" x 26" for exterior. Ground snow load of 40 psf (1.4 kN per M<sup>2</sup>). All bearing columns of gables, walls and support beams are to be protected for foundation.



**CROSS SECTION A**

scale = 1/4" = 1' 0"



**CROSS SECTION B**

scale = 1/4" = 1' 0"

Main entrance door to have a door viewer, screen or sidelight. If door is less than 66" high, a locking door must be safety glass or wired glass or tempered glass. Tempered glass solid blocking at lock height on both sides of door for two glass spades (except where dead bolt locks with 1" throw). Hinges secured to door with 1" screws and to frame with 3" screws into solid blocking. Sliding doors must have pin type locking mechanism with a 3/8" throw.

All joints in vapor barrier to be lapped 4" and occur over framing members or sealed with caulking. Heads of vapor barrier for wires, electrical boxes, piping, ducts, etc., shall be sealed. All doors to be treated or separated by door gasket material. Moisture resistant blocking is required around features or above where ceramic and plastic tile is installed.



**WEINMASTER HOME DESIGN**

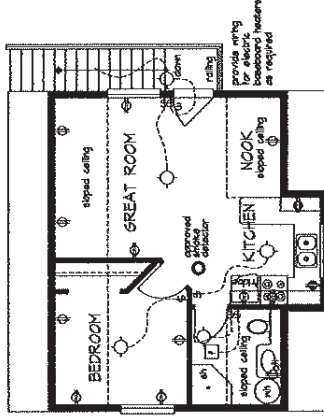
SHEET TITLE: CROSS SECTIONS

SCALE: AS NOTED

SHEET 3 OF 4 SHEETS

**COPYRIGHT**  
These drawings are the exclusive property of WEINMASTER HOME DESIGN. Reproduction in whole or in part without the written permission of WEINMASTER HOME DESIGN is a violation and subject to penalties under the Copyright Laws.

**ELECTRICAL PLAN** scale = 1/4" = 1' 0"



**NOTE**

Outlet and fixture locations shown on this plan are in compliance with the National Electrical Code and shall be used only as a guide. Local, Provincial or State codes take precedence and installations shall conform accordingly.

**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
○	Ceiling recessed outlet
○	Wet Wall Light Fixture
○	Panel Light
○	Recessed Recessed Panel Recessed
○	Recessed Recessed
○	Track Light
○	Recessed Recessed Panel
○	Panel Switch
○	Ceiling Exhaust Fan
○	Recessed Exhaust Fan
○	Recessed Exhaust Fan
○	20' Wet Wall Outlet
○	20' Wet Wall Outlet
○	Wet Wall Outlet
○	Recessed Outlet - Light Outlet
○	Recessed Outlet - Selected On Size
○	Switch
○	3 Way Switch
○	4 Way Switch

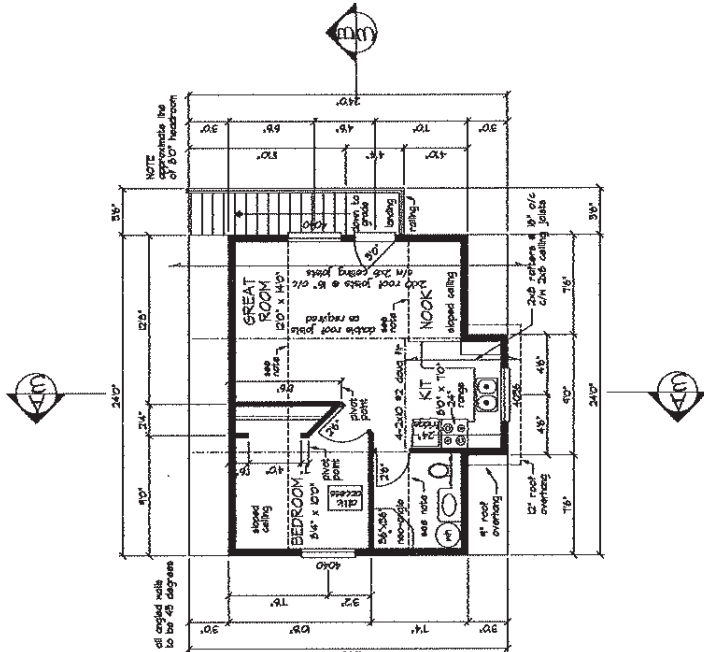
**COPYRIGHT**  
These drawings are the exclusive property of WEINMASTER HOME DESIGN. Reproduction in whole or in part without the written permission of WEINMASTER HOME DESIGN is violation and subject to punitive under the Copyright Laws.

**WEINMASTER HOME DESIGN**

**SHEET TITLE:**  
UPPER FLOOR

**SCALE:**  
AS NOTED

**SHEET 2 OF 4 SHEETS**



**UPPER FLOOR PLAN** scale = 1/4" = 1' 0"

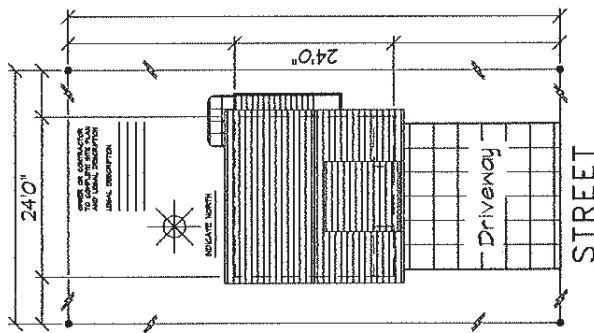
459 Sq. Ft.

**NOTE**

All lines in exterior and bearing walls shall be 16" minimum. All bedroom windows to have a minimum vent size of 20" x 20" for egress. Ground snow load of 40 psf (1.1 kN per M. 2.) shall be used for design of roof and supports. Beams shall be precast for foundation.

**NOTE: DEPTH OF FOUNDATIONS**

Due to the large variety of soils and the variance in frost penetration in different geographical locations, please refer to Table 12.2.2.2 of the National Building Code, and consult local authorities for accepted standards.



**SITE PLAN** scale = 1/8" = 1' 0"

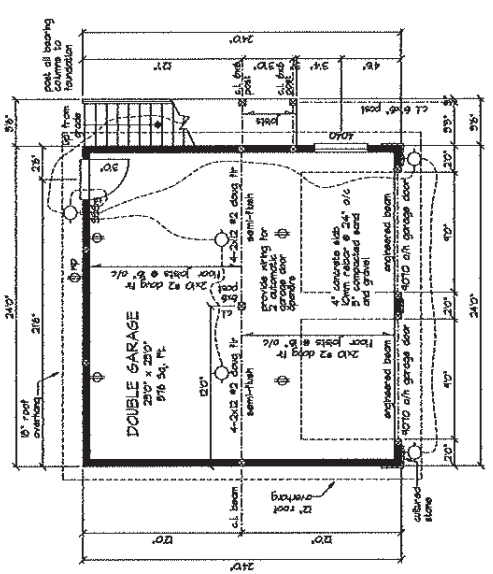
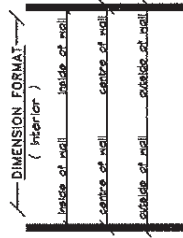
**NOTE**

All inlets in exterior and bearing walls to be 200% unless otherwise specified.  
 All bearing columns to be 200% above a minimum of 20" diameter.  
 All bearing columns to be 200% above a minimum of 40 PSF (18 KN per M<sup>2</sup>).  
 All bearing columns of girder trusses and support beams are to be post-tensioned to foundation.

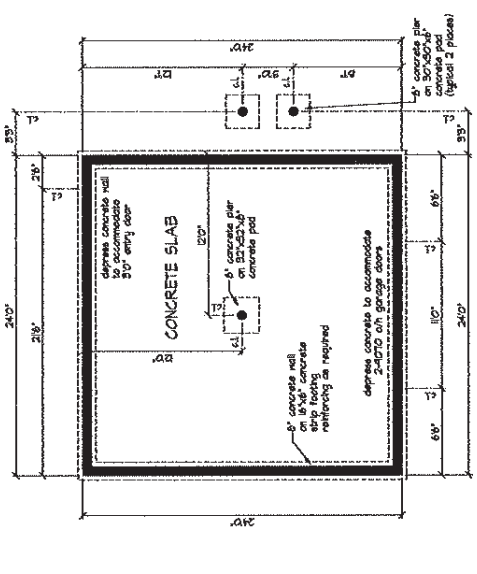
ELECTRICAL LEGEND	
	Ceiling Wastewater
	Vapour Proof Light Fixture
	Flood Light
	Exhaust Wastewater
	Exhaust Wastewater
	Track Light
	Wastewater Thruce
	P/I Switch
	Ceiling Exhaust Fan
	Heat Lamp For Combustion
	Hot Wastewater
	20 Vts Single Outlet
	240 Vts Outlet
	Weather Proof Outlet
	Drainage Outlet - 1/2" Dia.
	Drainage Outlet - 1/2" Dia.
	5 Mq Switch
	4 Mq Switch

**NOTE**

Outlet and fixture locations shown on this plan are in compliance with the National Building Code, and are to be used only as a guide. Local, Provincial and Municipal codes and regulations shall conform accordingly.



**MAIN FLOOR PLAN** scale = 1/4" = 1' 0"



**FOUNDATION PLAN** scale = 1/4" = 1' 0"

**COPYRIGHT**  
 These drawings are the exclusive property of WEINMASTER HOME DESIGN. Reproduction in whole or in part without the written permission of WEINMASTER HOME DESIGN is a violation and subject to penalties from the Copyright Act.



PROPOSED RESIDENCE FOR:	ADDRESS:	LEGAL:	PROJECT: HOUSE	SHEET TITLE: FOUNDATION	SCALE: AS NOTED	PLAN NO: 4527	SHEET 1 OF 4 SHEETS
-------------------------	----------	--------	----------------	-------------------------	-----------------	---------------	---------------------

