

**Bloomington Historic Preservation Commission Showers City Hall  
McCloskey Room, Thursday June 27, 2019, 5:00 P.M. AGENDA**

**I. CALL TO ORDER**

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

A. June 4, 2019 Minutes

**IV. CERTIFICATES OF APPROPRIATENESS**

**Staff Review**

**A. COA 19-36**

101 W. Kirkwood Avenue (Courthouse Square HD)

Petitioner: Everywhere Signs

*Replace current text on sign with new text and font. See packet for details.*

**B. COA 19-37**

1026 E. 1st Street (Elm Heights HD)

Petitioner: Rezah Kaffash

*Installation of two flush-mounted solar tubes. One will be on the west elevation of the hipped roof. The other will either be on the west or south (rear) elevation.*

**C. COA 19-38**

500 S. Ballantine Road (Elm Heights HD)

Petitioner: James Connaughton

*Replace five UniFrame double hung vinyl windows on the east and north elevations of the home. New windows will be Pella 250 Series, double hung vinyl windows.*

**Commission Review**

**A. COA 19-35**

221 E. Kirkwood Avenue (Victoria Towers HD)

Petitioner: Tim Cover

*Modification of existing patio area along Kirkwood; addition of four awnings; removal of window on the Lincoln St façade to create a new tenant entrance.*

**V. DEMOLITION DELAY**

**Staff Review**

**A. Demo-Delay 19-11**

411 E. 1st Street

Petitioner: Susan Williams

*Partial demolition: Addition of porch to rear of structure*

**Commission Review**

**A. Demo-Delay 19-09**

523 W. 7th Street

Petitioner: David Holdman

*Full demolition of home.*

**B. Demo-Delay 19-10**

300 W. 6th Street (Hays Market)

Petitioner: Tim Cover

*Partial demolition: removal or destruction of the exterior surface of forty percent or more of the area of any exterior facade.*

**VI. NEW BUSINESS**

A. Discuss local designation of Kohr Building (1947 Hospital Wing)

**VII. OLD BUSINESS**

**VIII. COMMISSIONER COMMENTS**

**IX. PUBLIC COMMENTS**

**X. ANNOUNCEMENTS**

**XI. ADJOURNMENT**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

Next meeting date is July 11, 2019 at 5:00 P.M. in the McCloskey Room. **Posted:** 6/20/2019

**SPECIAL SESSION**  
**Bloomington Historic Preservation Commission**  
**Showers City Hall McCloskey Room,**  
**Tuesday June 4, 2019**  
**MINUTES**

**I. CALL TO ORDER**

Meeting was called to order by **Jeff Goldin**, @ 5:00

**II. ROLL CALL**

**Commissioners**

John Saunders  
Lee Sandweiss  
Jeff Goldin  
Deb Hutton  
Leslie Abshier  
Sam DeSollar  
Susan Dyer  
Chris Sturbaum

**Advisory**

Duncan Campbell

**Absent**

Jenny Southern  
Ernesto Casteneda  
Derek Richey  
Doug Bruce

**Staff**

Conor Herterich, HAND  
Eddie Wright, HAND  
Philippa Guthrie, Legal

**Guests**

Michael Korus  
Tom Doak  
Lucy Schaisch  
Michael Kee  
Julie Goddunar  
Susan Hathaway

**III. APPROVAL OF MINUTES**

**IV. CERTIFICATES OF APPROPRIATENESS**

## Commission Review

### **A. COA 19-33**

715 N. Maple Street (Maple Heights Conservation District)

Petitioner: Mike Kee

*New construction on a vacant lot. See Packet for details.*

**Conor Herterich** gave presentation. See packet for details.

Discussion ensued

The **Commissioners** had no questions during the questions phase.

The **Maple Heights Conservation District** presented design recommendations to the **Commissioners**. **Leslie Abshier** asked if the Neighborhood had time to review the plans. **Lucy Schaisch** noted that neighborhood is still writing their design guidelines, but they put together a packet recommending design changes, and suggestions for materials to be used. **Lucy** gave a presentation on behalf of the neighborhood, see packet for details. The Neighborhood likes the overall design of the home but has recommendations for materials to be used to be more consistent with other homes in the Neighborhood. They also had suggestions for the porch design, as that is very important to the neighborhood to remain consistency with other houses in the area.

**Jeff Goldin** reminded the **Commissioners** before the comment phase that Maple Heights is a conservation district and not a historic district. **Chris Sturbaum** stated that since this is a conservation district they can only review the infill. **Chris Sturbaum** asked Lucy to repeat the comments about the porch from her presentation. **Chris** stated that to remain consistent with the rest of the neighborhood they must get the porch correct, **John Saunders** agreed. **Chris** also stated that 4" lap is consistent with the neighborhood, that 6" lap would distort the architecture of the house. **Deb Hutton** also agreed with **Chris** and stated the porch needed to be expanded to be in proportion to the house. **Lee Sandweiss** agreed with the previous comments on the porch and the siding. **Duncan Campbell** stated he is impressed with the details on the neighborhood presentation and they made a good recommendation. However, he feels like compatibility does not have to be imitation. In issues of compatibility they look at set back from the street and placement on the lot, but not at architectural form. **Sam DeSollar** stated that he agrees with **Duncan's** comments and stated that he looked at the siding on bungalows in the neighborhood and some of the older houses have 6" siding, more newer homes have 4" siding. **Sam** stated that they should set a cap on placement of the house on the lot. But he has no problem with the slope of the roof or the house. They would not need railing if they keep the porch low and it would be consistent with other homes in the neighborhood. **Sam** likes that they are matching the front set back but it is also important to match the side setback as well. But he has concerns that there is no site plan included in the packet. He stated that any deviation from what is stated in the packet should come back for staff approval and he would also like to see door and window specifications come back for staff approval. Window sizes, styles and grid types are very important to how a house reads for the street. **Jeff Goldin** agrees with **Sam's** and **Duncan's** statements as far as compatibility. **Chris Sturbaum** asked about the block to be used. **Sam** clarified that the plan called for stucco over block. **Chris** encouraged the use of split face block over stucco



block as the stucco will crumble and fall off. **Lucy** stated they are not looking to get a perfect bungalow, but are looking for balance and a livable home that is compatible. **Tom Doak** stated that the front of the house is what makes a neighborhood a neighborhood. **Julie Goddunar** stated that if the porch could be expanded it could mitigate the shape of the roof. They are not trying to recreate the previous house that was on the lot but they know what works in that neighborhood. A conservation district can only review new construction but the neighborhood to that very seriously. **Michael Kee**, representative for the petitioner, stated that he wouldn't have a problem with the recommended changes, but he is unsure how to change the porch within the design plans of the home. **Chris Sturbaum** stated that going forward these designs should go before the neighborhood for review before being presented to the commission. **Chris** then asked that they use full columns on porch round 10" but no less than 8" with 4" minimum lap, windows with applied marking on both the inside and outside of the glass epoxied to the glass. Split face block on the foundation and widen the porch at least a foot on each side. **Sam** added subject to staff review placement of the new home basically in the footprint of the previous home. **Chris** noted that plan details for the trim must be followed as shown. **Conor Herterich** stated that this is becoming very complicated and confusing, he also had concerns about the Commissioners redesigning a home with a plan that the Commission thought was acceptable at the last meeting and just asked for more detail on siting and materials, especially when that the home is in a conservation district.

**Chris Sturbaum** made a motion to approve **COA 19-33** with the following amendments, siding material will be cement board with boral used for the trim; no railing on the porch; porch columns will have 8" diameter from the porch floor to the roof; split block is ok on the foundation; windows and door specs must be submitted to the BHPC Staff and approved by the Staff; windows must be wood with applied grids on the outside. **Lee Sandweiss** seconded.  
**Motion carried 8-0-0 (Yes/no/abstain)**

#### **B. COA 19-34**

1125 S. Rogers (McDoel Historic District)

Petitioner: Michael Korus

*Demolition of detached garage and removal of fence around structure.*

**Conor Herterich** gave presentation. See packet for details.

Discussion ensued

**Chris Sturbaum** asked whether they were going to replace garage, **Michael Korus** stated he is not replacing the garage. **Duncan Campbell** would like to see pictures of the entire garage and asked if the whole structure looks like the picture. **John Saunders** stated that the picture is of the worst aspect of the garage but all of the walls are bowed and leaning.

**Sam DeSollar** made a motion to approve **COA 19-34**, **Leslie Abshier** seconded.  
**Motion carried 8-0-0.**

V. **DEMOLITION DELAY**

VI. **NEW BUSINESS**

VII. **OLD BUSINESS**

**VIII. COMMISSIONER COMMENTS**

**Chris Sturbaum** noted that he has asked **Conor Herterich** to start developing guidelines for historical designation for the Kohr Building for the old hospital building. If they wait there could be issues for historical designation in the future. **Philippa Guthrie** stated that IU Health will demolish the existing hospital, but will allow the city to decide what they would like to do with the Kohr Building and the parking garage. There are issues with the Kohr Building, for example, when the hospital is demolished, the Kohr Building will have no utilities connections as they are through the hospital building.

**IX. PUBLIC COMMENTS**

**X. ANNOUNCEMENTS**

**XII. ADJOURNMENT**

Meeting was adjourned by **Jeff Goldin** @ 6:06 pm.

**END OF MINUTES**

**COA: 19-36**

Staff Decision

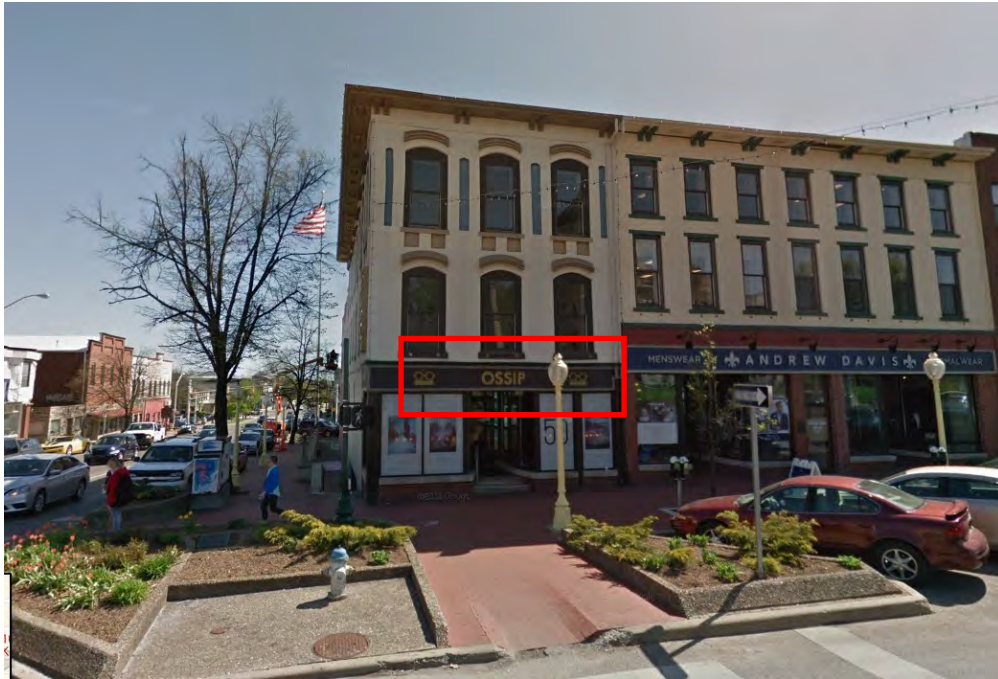
Address: 101 W. Kirkwood Avenue

Petitioner: Everywhere Signs

Parcel #: 53-05-33-310-237.000-005

**Rating:** Contributing

**Structure;** Italianate, Commercial c. 1875



**Background:** This is an Italianate style commercial structure located on the south side of the Courthouse Square.

**Request:** Replace current text on the sign with new text representing the current business. Sign dimensions and location will not change.

**Guidelines:** Courthouse Square Historic District Design Guidelines, pg. 22

1. Wall Signs: Building mounted signage should be of scale and design so as not to compete with the building's historic character
2. Wall signs should be located above storefront windows and below second story windows
3. Signs in other locations will be reviewed on a case by case basis.

**Staff Decision:** Staff approves COA 19-36 due to the following reasons:

1. The signage is compatible with the guidelines. The only change to the current sign is the font and text which staff finds does not compete with the historic character of the building.

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: 19-36

Date Filed: 5/31/19

Scheduled for Hearing: 6/13/19

\*\*\*\*\*

Address of Historic Property: 101 W. Kirkwood Ave, STE 120

Petitioner's Name: Everywhere Signs

Petitioner's Address: 2030 N Walnut Street

Phone Number/e-mail: 812-323-1471 everywhere signs@gmail.com

Owner's Name: Ron Walker

Owner's Address: 101 W. Kirkwood Ave

Phone Number/e-mail: Rdixon@identiti.net

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

email to Eric Soder  
~~Rachel Hansen~~  
6/4/19  
KE

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. original plat PT INLT 128
2. A description of the nature of the proposed modifications or new construction:  
new channel letters "My Eye Doctor"  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
3. A description of the materials used.  
Aluminum  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

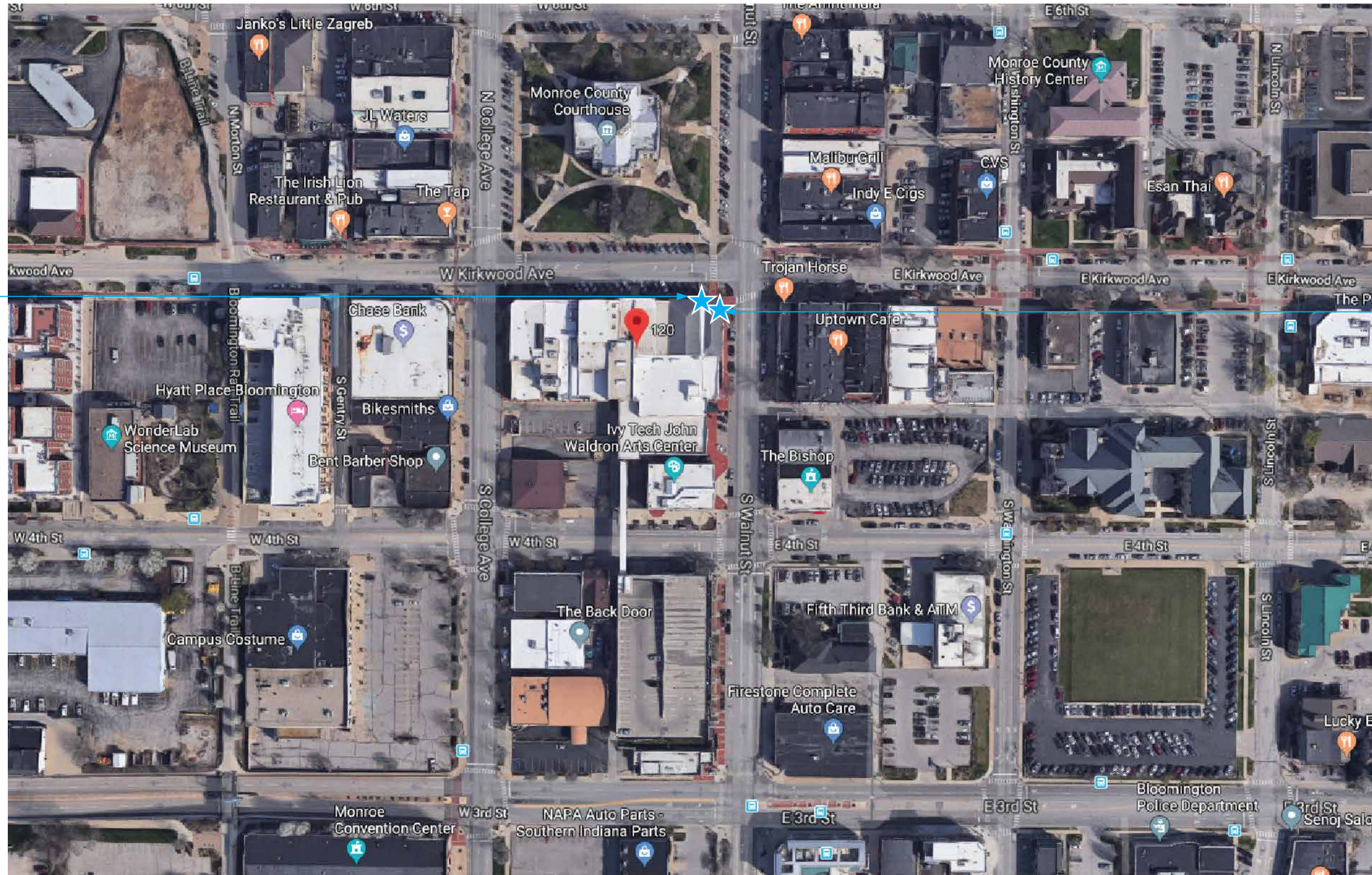
\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

**myeyeDr.**  
O.D.







Revision Date: No Rev. Rev. Details: This page is from the original draft.



1201 Wiley Rd, Ste 150  
 Schaumburg, IL 60173  
 O: 847.301.0510  
 F: 847.301.0518  
 ideas@identiti.net

Project No:	181974	Proj. Location:	101 W. Kirkwood Ave, Ste 120, Bloomington, IN 47404
Orig. Draft:	09/20/18	Proj. Manager:	Jim Zook
Page Rev:	000	Sales Rep:	Josh Sprecher

Scale: NTS

Designer: Lila Revision Art: N/A

PROJECT



This sign design is exclusive property of Identiti Resources, LTD., and is the result of the original and creative work of it's employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design, by Identiti Resources, LTD. Distribution to or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD. is prohibited.



FRONT STORE ELEVATION

S1-1

SIGN CODE •

Proposed Signage = 10.01 SqFt

Relevant Signage Code:

1.5 SF per linear foot tenant frontage  
Existing signage: 10.01SF

Sign Calculation:

(H) x (L) of overall boxed dimensions

SIGN TYPE •

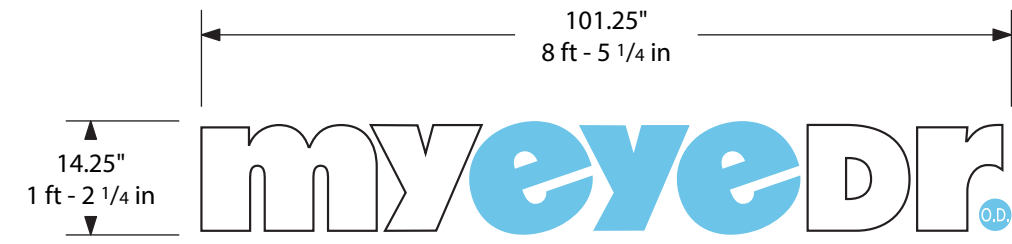
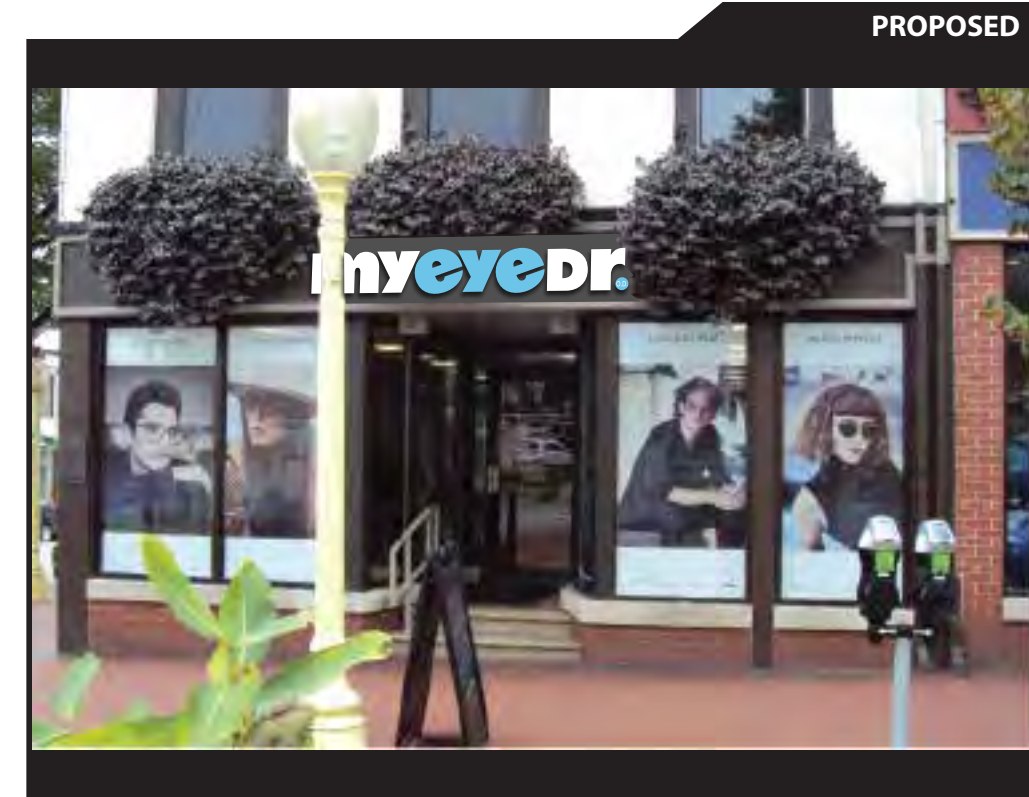
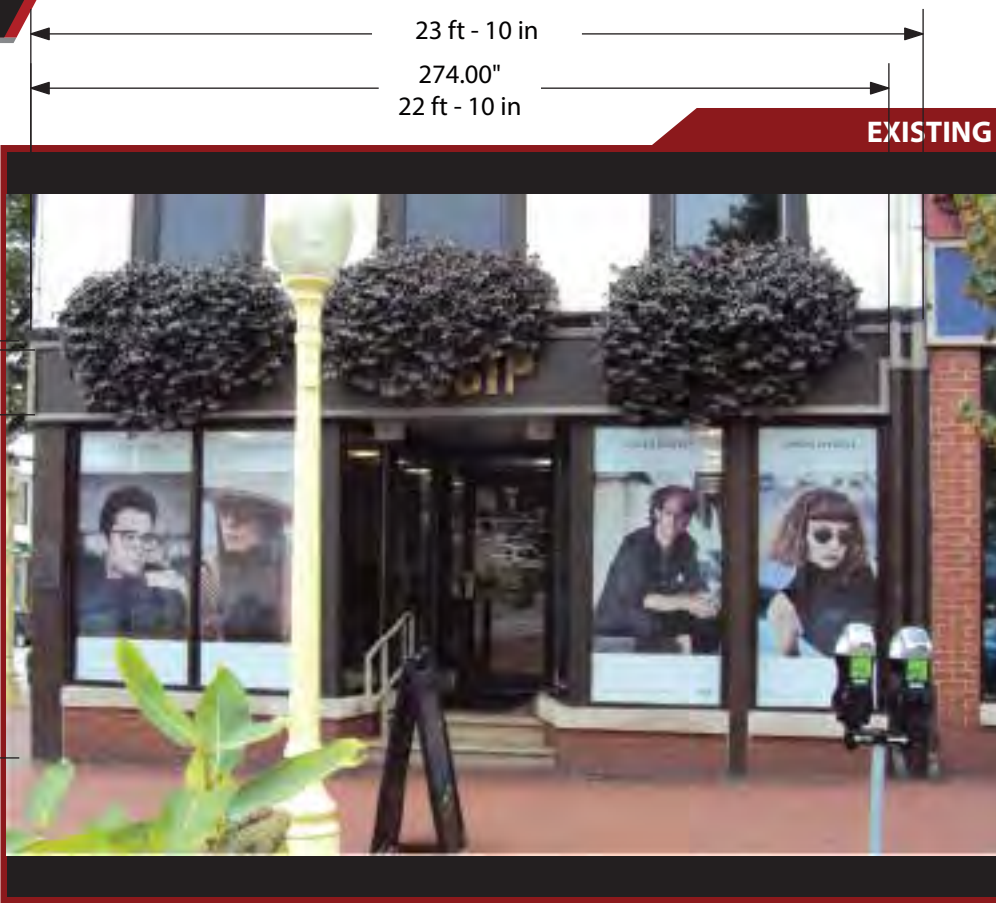
3/4" sintra letter set

MOUNTING •

Flush Mounted

COLOR PALETTE •

White Sintra
PMS 297
N/A
N/A
N/A
N/A
N/A
N/A
N/A



Revision Date: No Rev. Rev. Details: This page is from the original draft.

1201 Wiley Rd, Ste 150  
Schaumburg, IL 60173  
O: 847.301.0510  
F: 847.301.0518  
ideas@identiti.net

Project No:	181974	Proj. Location:	101 W. Kirkwood Ave, Ste 120, Bloomington, IN 47404
Orig. Draft:	09/20/18	Proj. Manager:	Jim Zook
Page Rev:	000	Sales Rep:	Josh Sprecher

Scale: 1/2"=12"

Designer: Lila Revision Art: N/A

PROJECT



This sign design is exclusive property of Identiti Resources, LTD., and is the result of the original and creative work of it's employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design, by Identiti Resources, LTD. Distribution to or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD. is prohibited.



**SIDE STORE ELEVATION**

**S2-1**

**SIGN CODE •**

**Proposed Signage = 5.31 SqFt**

**Relevant Signage Code:**

1.5 SF per linear foot tenant frontage  
Existing signage: 5.31SF

**Sign Calculation:**

(H) x (L) of overall boxed dimensions

**SIGN TYPE •**

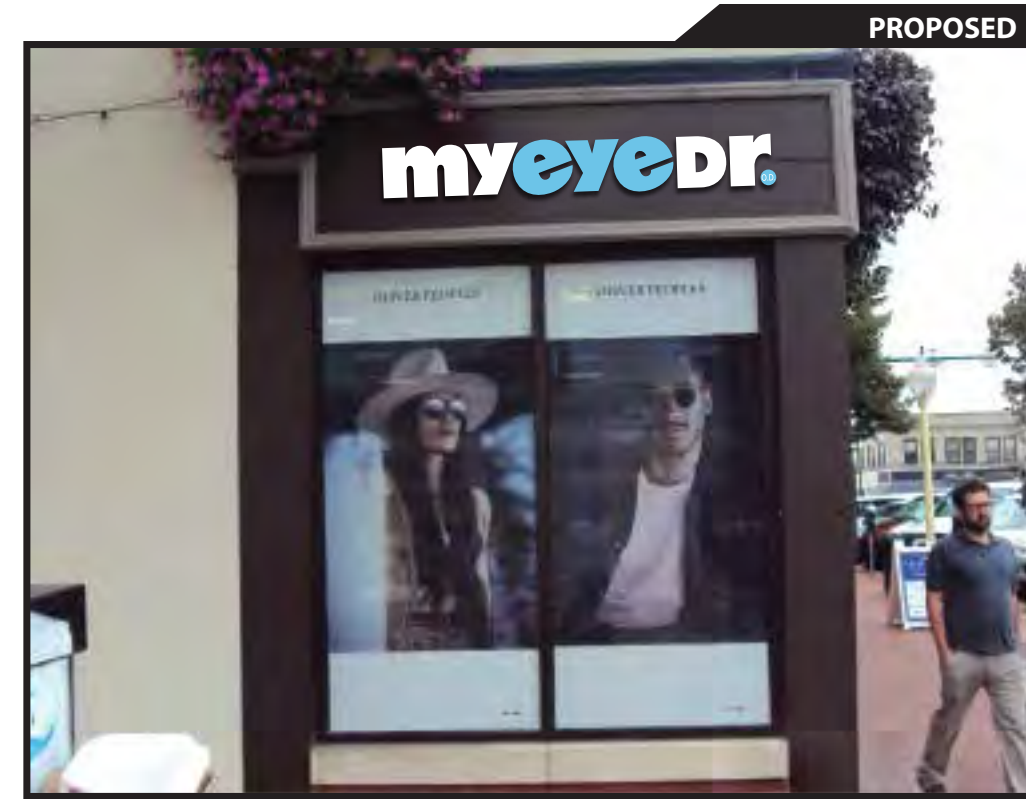
3/4" sintra letter set

**MOUNTING •**

Flush Mounted

**COLOR PALETTE •**

White Sintra
PMS 297
N/A
N/A
N/A
N/A
N/A
N/A
N/A



**Revision Date:** No Rev. **Rev. Details:** This page is from the original draft.



1201 Wiley Rd, Ste 150  
Schaumburg, IL 60173  
O: 847.301.0510  
F: 847.301.0518  
ideas@identiti.net

Project No:	181974	Proj. Location:	101 W. Kirkwood Ave, Ste 120, Bloomington, IN 47404
Orig. Draft:	09/20/18	Proj. Manager:	Jim Zook
Page Rev:	000	Sales Rep:	Josh Sprecher

Scale: 3/4"=12"

Designer: Lila Revision Art: N/A

PROJECT



This sign design is exclusive property of Identiti Resources, LTD., and is the result of the original and creative work of it's employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design, by Identiti Resources, LTD. Distribution to or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD. is prohibited.

**COA: 19-37**  
**Staff Decision**

Address: 1026 E. 1st Street  
Petitioner: Rezah Kaffash  
Parcel #: 53-08-04-100-051.000-009

**Rating:** Contributing

**Structure;** Spanish Colonial c. 1929



**Background:** The petitioner received a COA in May 2018 for the installation of two flush-mounted roof-solar light tubes.

**Request:**

1. Installation of two flush-mounted solar tubes. One will be on the west elevation of the hipped roof. The other will either be on the west or south (rear) elevation.

**Guidelines:** *Elm Heights Historic District Design Guidelines, pg. 24.*

1. When attempting to introduce new roof features such as skylights, dormers, or vents, locate them so as to minimize damage to the historic roof design, character-defining roof materials, or the character of the historic district.
2. Install equipment such as solar collectors or antennae in locations that do not compromise roofs of significant durability (clay or slate) and on roof slopes less visible from the street.

**Staff Decision:** Staff approves COA 19-37 for the following reasons:

1. The solar tubes will be flush mounted to the roof and will be an inconspicuous and almost invisible from the sidewalk. As a result this project will not impact the historic character of the district.
2. The HPC had no issues with the addition of the two previous solar tubes which were located on the roof elevation facing 1st Street.

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: 19-37  
Date Filed: 6-11-19  
Scheduled for Hearing: 6-27-19

\*\*\*\*\*

Address of Historic Property: 1026 E. 1<sup>st</sup>. street

Petitioner's Name: Reza Kafash

Petitioner's Address: 1026 E. 1<sup>st</sup>. street

Phone Number/e-mail: (812) 391-3436 / reza499@yahoo.com

Owner's Name: Sudhir Nair & Maria Parker

Owner's Address: 1026 E. 1<sup>st</sup>. street

Phone Number/e-mail: (248) 417-5129 / sudhirsrinair@gmail.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.



Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 53-08-04-100-051.000-009 015-02470-00

2. A description of the nature of the proposed modifications or new construction:

We already have a "certificate of appropriateness" for a solar tube fixture in living room/front of the house. We are requesting permission to add two more solar tubes. One would be in office on right side of roof, the other in the kitchen (which might be on right or back side of roof).

3. A description of the materials used.

Standard 10"-14" solar light tube.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

# CERTIFICATE OF APPROPRIATENESS

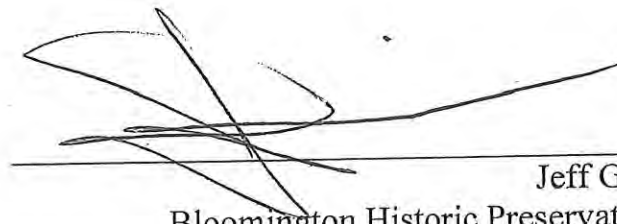
Issued by the  
Bloomington Historic Preservation Commission

**ADDRESS** 1026 East 1st Street Bloomington, IN

## For the Following Work:

Replacement of non-original front door with knotty alder framed full glass door that will fit the existing door frame. Installation of two roof mounted solar light tubes that shed light into the living room.

A copy of the complete approved plans may be obtained from the City of Bloomington, 401 N. Morton, Department of Housing and Neighborhood Development under case number COA 18-25 . This Certificate is effective for two years following the date of issue. Exterior work outside of the scope of this approval is not permitted and subject to fines outlined in Municipal Code, Title 8, Chapter 8.16.020.



---

Jeff Goldin, Chairman  
Bloomington Historic Preservation Commission

**Approved:** May 10, 2018

Kitchen (maybe this side  
or backside)



office

Picture taken across the street, on top of  
elevated stairs.





Picture taken at street level on sidewalk  
in front of the house.

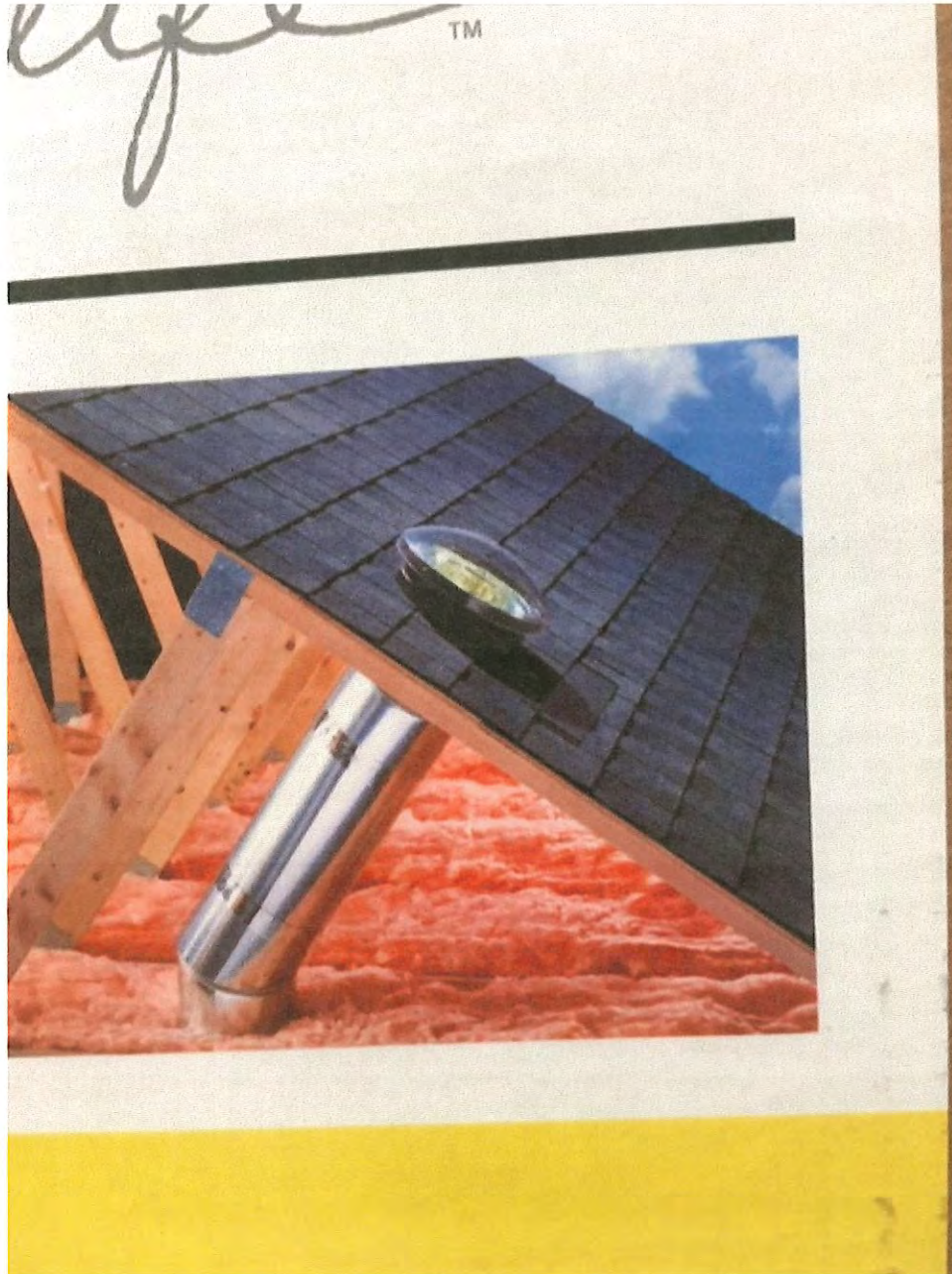


Picture taken at street level, across the street.





Sample of straight sun light fixture  
(10"-14" visible top on roof).



Sample of angle tunnel fixture.  
(10"-14" visible top)



**COA: 19-38**

Staff Decision

Address: 500 S. Ballantine Road

Petitioner: James Connaughton

Parcel #: 53-08-04-102-047.000-009

**Rating:** Contributing

**Structure;** Colonial Revival c. 1940



**Background:** This is a Colonial Revival style home located in the Elm Heights Historic District. The windows to be replaced are not original and are vinyl.

**Request:**

1. Replace five UniFrame double hung vinyl windows on the east and north elevations of the home with Pella 250 Series, Double Hung vinyl windows.
2. The size, shape, and pane configuration of the windows will remain the same.

**Guidelines:** Elm Heights Historic District Design Guidelines, pg. 26

1. If original windows, doors, and hardware can be restored and reused, they should not be replaced.

**Staff Decision:** Staff approves COA 19-36 due to the following reasons:

1. After a site visit, staff determined that the windows to be replaced are vinyl and are not original to the house. The proposed work does not violate the SOI Standards or the Elm Heights design guidelines.

**APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS**

**Case Number:** 19-38  
**Date Filed:** 6/14/19  
**Scheduled for Hearing:** 6/27/19

\*\*\*\*\*

**Address of Historic Property:** 500 S Ballantine Rd  
**Petitioner's Name:** James & Teena Connaughton  
**Petitioner's Address:** 500 S Ballantine Rd Bloomington, IN . 47404  
**Phone Number/e-mail:** jconnaughton97@gmail.com  
**Owner's Name:** James Connaughton  
**Owner's Address:** same as above  
**Phone Number/e-mail:** 812-929-0675

**Instructions to Petitioners**

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.



Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 2 story home at corner of Hunter and Ballantine

2. A description of the nature of the proposed modifications or new construction:  
replace 5 current broken windows with new Pella Windows. Windows have already been replaced previously prior to our ownership of the property. Replacement will match and be a more durable upgrade.

3. A description of the materials used.  
refer to proposal

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



# Proposal - Detailed

Pella Window and Door Showroom of Bloomington  
 223 S Pete Ellis Dr Ste 3  
 Bloomington, IN 47408  
 Phone: (812) 333-6371 Fax: (812) 333-8930

Sales Rep Name: Stancombe, Brian  
 Sales Rep Phone: 812-333-6371  
 Sales Rep E-Mail: bastancombe@mcombpella.com  
 Sales Rep Fax: 812-333-8930

Customer Information	Project/Delivery Address	Order Information
James Connaughton 500 S Ballantine Rd Bloomington, IN 47401-5018 Primary Phone: (812) 929-0675 Mobile Phone: Fax Number: E-Mail: Contact Name:	Connaughton, James 500 S Ballantine Rd Lot # Bloomington, IN 47401-5018 County: Monroe Owner Name: James Connaughton Owner Phone: (812) 929-0675	Quote Name: 250 Series Order Number: 120 Quote Number: 11392020 Order Type: Non-Installed Sales Wall Depth: Payment Terms: Tax Code: 7%INDIANA Cust Delivery Date: None Quoted Date: 5/21/2019 Contracted Date: Booked Date: Customer PO #:

Line # Location: 10 Bedrooms



Viewed From Exterior  
 Rough Opening: 34 - 1/4" X 63 - 1/2"

## Pella 250 Series, Double Hung, 33.75 X 53, White

1: Non-Standard Size Non-Standard Size Double Hung, Equal  
 Frame Size: 33 3/4 X 53  
 General Information: Standard, Vinyl, Block, No Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included  
 Exterior Color / Finish: White  
 Interior Color / Finish: White  
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
 Hardware Options: Cam-Action Lock, White, Standard Vent Stop, No Limited Opening Hardware  
 Screen: Half Screen, Conventional Fiberglass  
 Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-211-00057-00002, Performance Class R, PG 35, Calculated Positive DP  
 Rating 35, Calculated Negative DP Rating 35, Year Rated 08/11, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W3H / 3W3H), White, White  
 Wrapping Information: Pella Recommended Clearance, Perimeter Length = 174".

Item Price	Qty	Ext'd Price
\$294.60	4	\$1,178.40

### Attributes

Customer Notes: VERIFY GRILLE

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)  
 Detailed Proposal



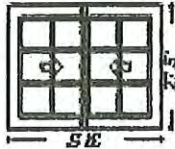
Customer: James Connaughton

Project Name: Connaughton, James

Quote Number: 11392020

Line # Location:

15 Bath



PK #  
2037

**Pella 250 Series, Double Hung, 27.5 X 37.5, White**

1: Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 27 1/2 X 37 1/2  
 General Information: Standard, Vinyl, Block, No Foam Insulated, 3 1/4", 3 1/4", Sill Adapter Included, Head Expander Included  
 Exterior Color / Finish: White  
 Interior Color / Finish: White  
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, Standard Vent Stop, No Limited Opening Hardware  
 Screen: Half Screen, Conventional Fiberglass  
 Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-211-00057-00002, Performance Class R, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08/11, Egress Does not meet typical United States egress, but may comply with local code requirements  
 Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 3W2H), White, White  
 Wrapping Information: Pella Recommended Clearance, Perimeter Length = 130".

**Attributes**

Item Price	Qty	Ext'd Price
\$250.61	1	\$250.61

Customer Notes: VERIFY GRILLE

Line # Location:

20 None Assigned

**12" wide Aluminum Coil, Length: 600, Classic White**

1: Accessory  
 Frame Size: -1 X-1  
 General Information: 12" wide Aluminum Coil  
 Exterior Color / Finish: Painted, Standard Enduraciad, Classic White  
 Wrapping Information: Perimeter Length = 0".

PK #  
2037

**Attributes**

Item Price	Qty	Ext'd Price
\$100.88	1	\$100.88

Viewed From Exterior  
Rough Opening:

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

Printed on 5/21/2019

Detailed Proposal

Customer: James Connaughton

Project Name: Connaughton, James

Quote Number: 11392020

Line # Location:

25 None Assigned

Attributes

**01HP0000 - Great Stuff Pro Gun Foam (1)**

Item Price	Qty	Ext'd Price
\$20.99	2	\$41.98

Line # Location:

30 None Assigned

Attributes

**01HM0000 - 3" Pella Installation Tape, 150 ft (1)**

Item Price	Qty	Ext'd Price
\$43.17	1	\$43.17

Line # Location:

35 None Assigned

Attributes

**Installation Sealant, Classic White**

Item Price	Qty	Ext'd Price
\$7.25	4	\$29.00

1: Accessory  
Frame Size: -1 X -1

General Information: Installation Sealant  
Exterior Color / Finish: Painted, Standard Enduracled, Classic White  
Interior Color / Finish: Not Applicable Interior  
Package: Individual Tubes  
Wrapping Information: Perimeter Length = 0".

PK #  
2037

Viewed From Exterior  
Rough Opening:

**Thank You For Your Interest In Pella® Products**

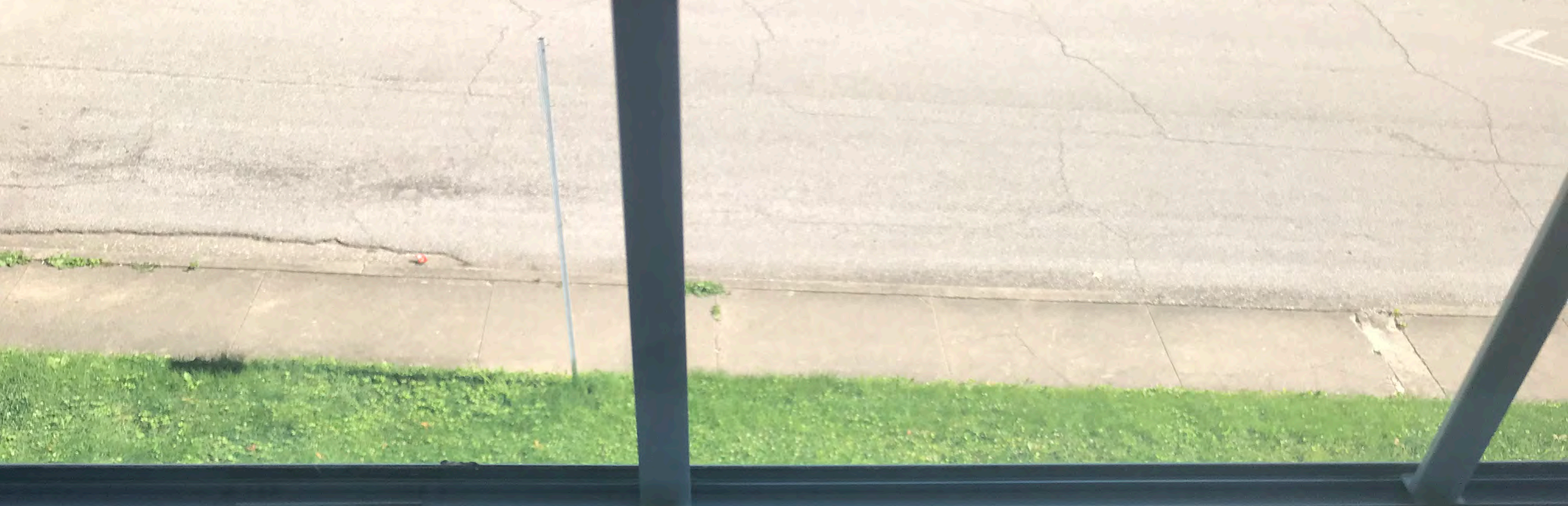
For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

Printed on 5/21/2019

Detailed Proposal

Page 3 of 8







**COA: 19-35**

Address: 221 E. Kirkwood Avenue

Petitioner: Tim Cover

Parcel #: 53-05-33-310-337.000-005

**Rating:** Contributing

**Structure;** Queen Anne c. 1890



**Background:** Originally built as a single family home in the late twentieth century, this structure has been adapted to serve various commercial purposes since the 1930s. It was locally designated as historic in 2000. In April of 2019 the Commission approved several modifications to the structure including the addition of a second story to the rear of the building to accommodate additional living space.

**Request:** Several modifications to include:

1. Modify the existing patio area along Kirkwood and Lincoln streets (See Packet for details)
2. Add four awnings to the four building entrances. Awnings will also serve as signage,
3. Add a new tenant entrance along Lincoln street where a window currently exists.

**Guidelines:** N/A

**Recommendation:** Staff recommends approval of COA 19-34 for the following reasons:

1. The fabric awnings are appropriate for a commercial structure and not only provide a covered entryway but will be used as signage. This will mitigate the need for signage on other areas of the building that may be inappropriate or damage historic materials.
2. The black aluminum railing that will be used to delineate the patio area along Kirkwood is appropriately scaled and is necessary for that area to be used as outdoor dining.
3. The door that is replacing the window is on an addition to the main structure that was added sometime in the 1970s.

APPLICATION FORM  
CERTIFICATE OF APPROPRIATENESS

Case Number: 19-35

Date Filed: 5-31-19

Scheduled for Hearing: 6-13-19

\*\*\*\*\*

Address of Historic Property: 221 E. Kirkwood Ave, Bloomington Indiana

Petitioner's Name: Tim Cover

Petitioner's Address: 8604 Allisonville Road, Suite 330, Indy. 46250

Phone Number/e-mail: 317-572-1236, tcover@studio3design.net

Owner's Name: Cederview Management, ERL-3

Owner's Address: 601 N. College, Ste 1A, Bloomington , In.

Phone Number/e-mail: 812-339-8777, erlewis@aol.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

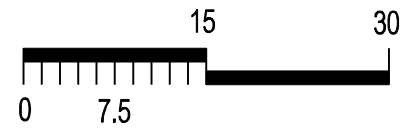
Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

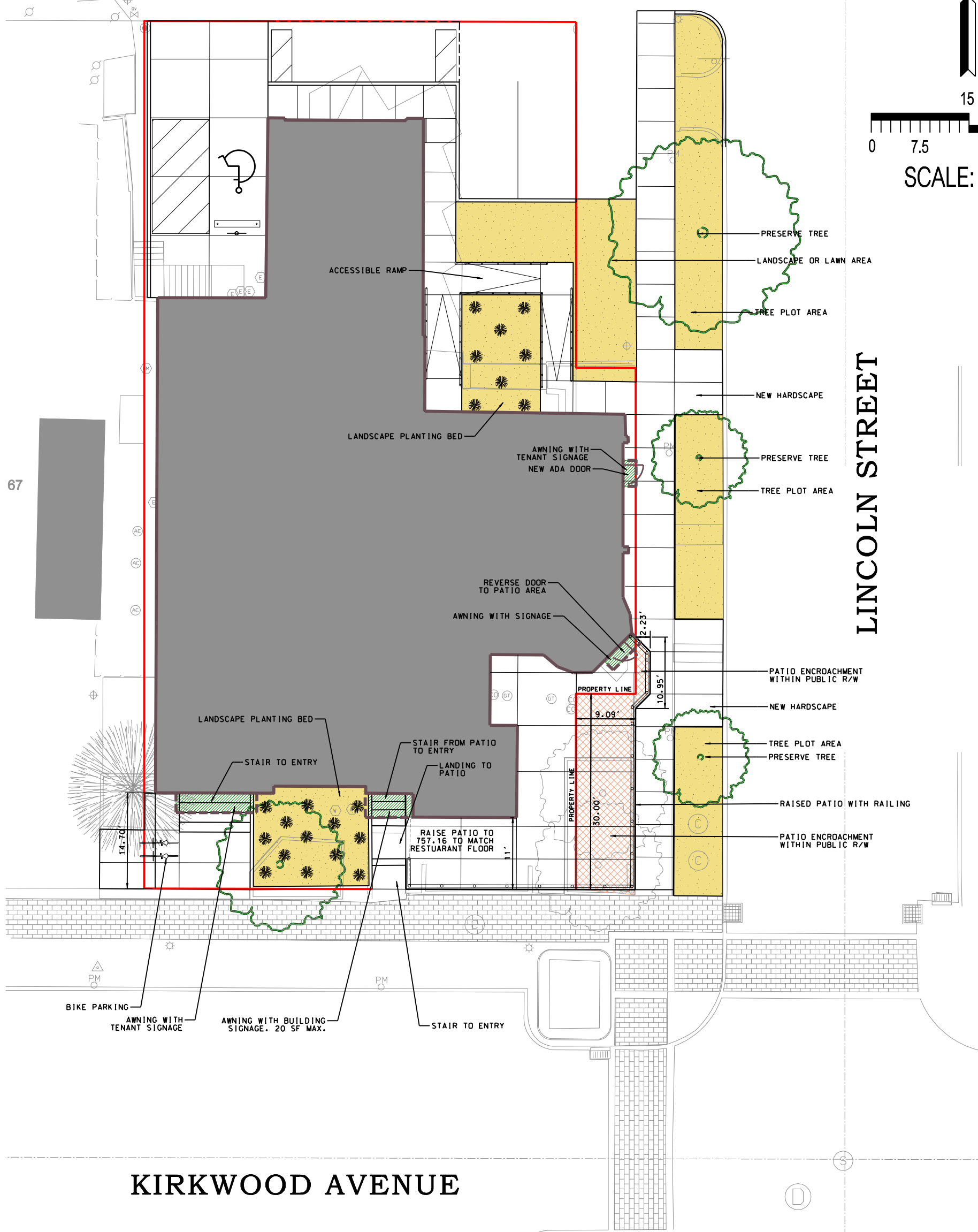
1. A legal description of the lot. See attached site boundary with modified site plan
  
2. A description of the nature of the proposed modifications or new construction:  
The petition includes three primary items:
  - A. The replacement and modification of the existing patio area along Kirkwood and Lincoln streets. changes  
Includes removal of portion of patio, raising new patio area to match door on Lincoln for ADA access and addition of a railing.
  - B. The addition of (4) awnings at the (4) entrances to the building to be used for signs for the the building.  
(3) entrances serve the tenant space on level 1 and will have the tenant name on them  
(1) entrance facing Kirkwood serves as the building entrance and will list the building name.
  - C. The addition of a new tenant entrance at level 1 along Lincoln street- entrance will occur at location of an existing Window.
  
3. A description of the materials used.
  - a. Patio will be concrete with turn-down slab edge along Kirkwood and Lincoln streets.
  - b. Railing will be 36" high black aluminum railing around perimeter of the patio along with railings at step locations.
  - c. Awnings will be fabric awnings on aluminum frame- steep, single slope awnings attached to building face above entrances. Each awning will have text lettering and or logo's applied to the sloped face of the awning.  
Graphics and verbiage will comply with City standards for total allowable area of signage on each building face  
Three locations will be for the retail tenant and one will serve as building signage with the building name:  
"Kirkwood Towers"
  
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.
  
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.
  
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

\*\*\*\*\*

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.




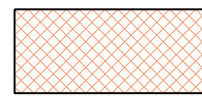
SCALE: 1"=10'



67

LINCOLN STREET

KIRKWOOD AVENUE

-  PROPOSED AWNING OR CANOPY SIGNAGE LOCATIONS
-  PROPOSED HARDSCAPE ENCROACHMENT INTO PUBLIC RIGHT-OF-WAY

JOB NUMBER  
**5852**

**C201**

ENCROACHMENTS

DESIGNED  
**SAB**

DRAFTED  
**SAB**

CHECKED

DATE

REVISIONS	BY	DATE

JOB TITLE

**CITYSIDE 123, LLC**

**VICTORIA TOWERS**

**BLOOMINGTON, IN.**

DATE REVISIONS

Smith Brehob & Associates, Inc.

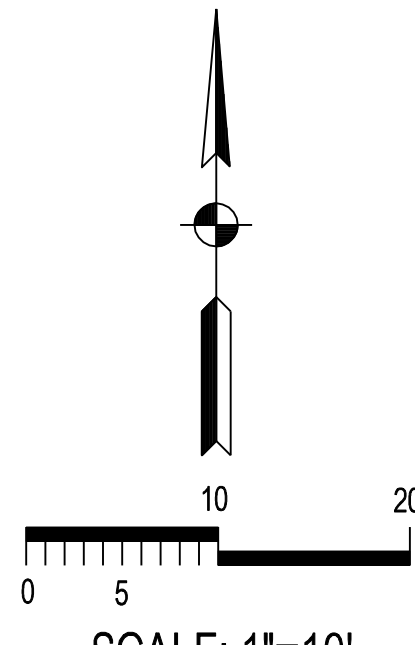
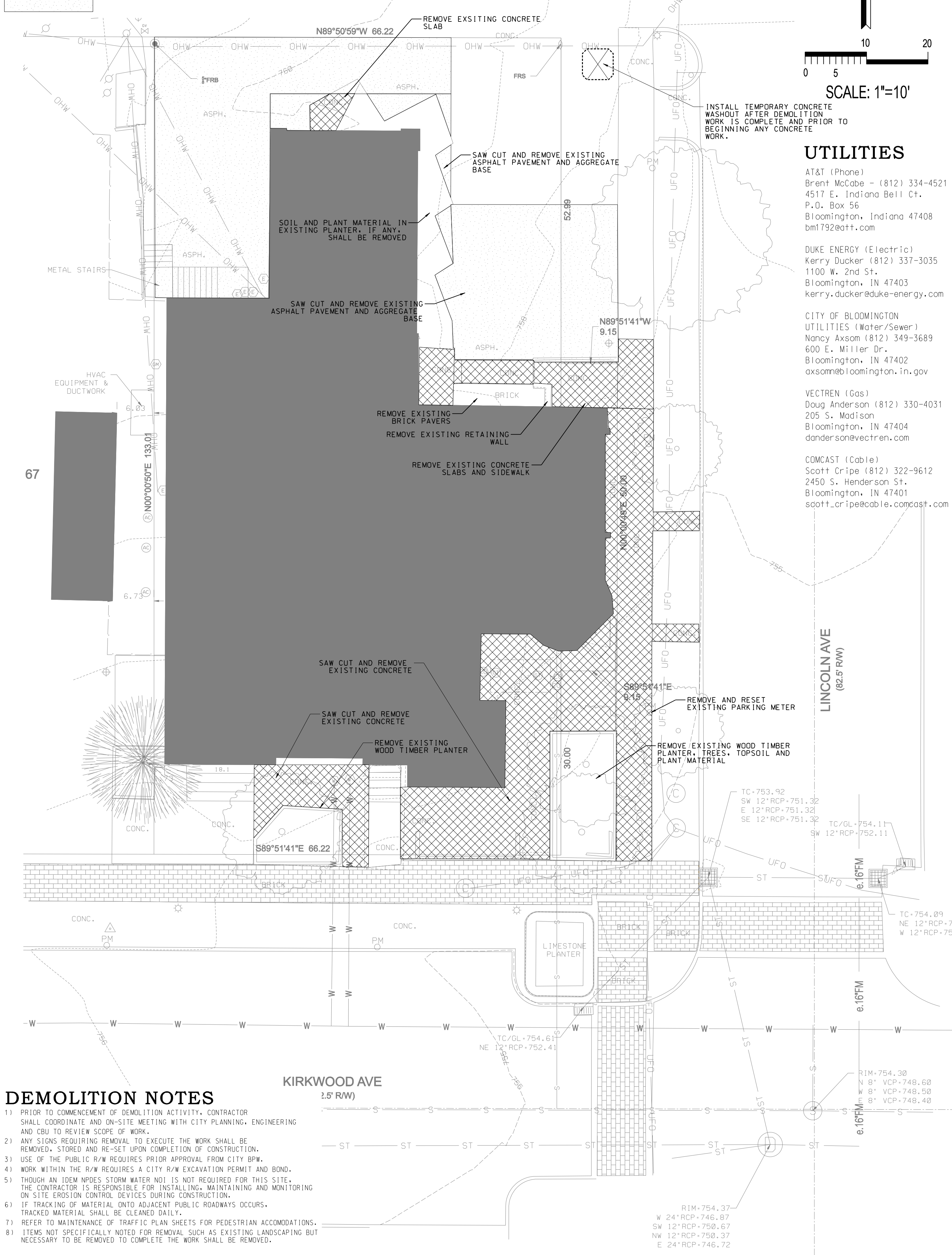
**SB**

453 S. Clariss Boulevard  
Bloomington, Indiana, 47401  
Telephone: (812) 336-6536  
Web: www.smithbrehob.com



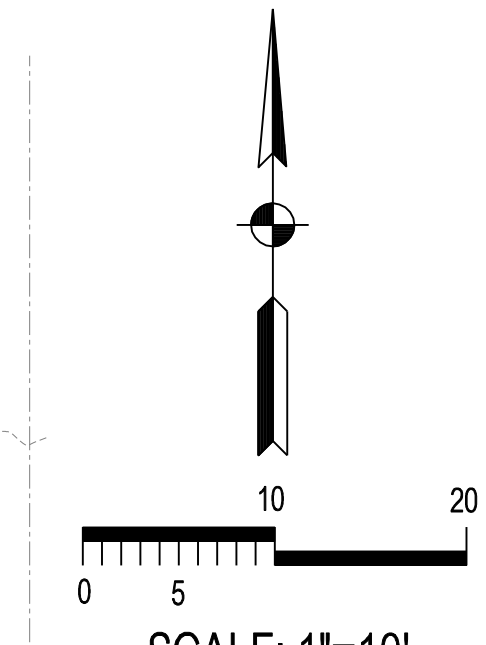
# DEMOLITION LEGEND

- REMOVE EXISTING CONCRETE SIDEWALK OR SLAB. SIDEWALKS SHOULD BE SAW CUT AT THE NEAREST JOINT FOR REMOVAL.
- REMOVE EXISTING ASPHALT PAVEMENT AND AGGREGATE. BASE MATERIAL, ASPHALT MATERIAL MAY NOT BE USED FOR ON-SITE FILL.

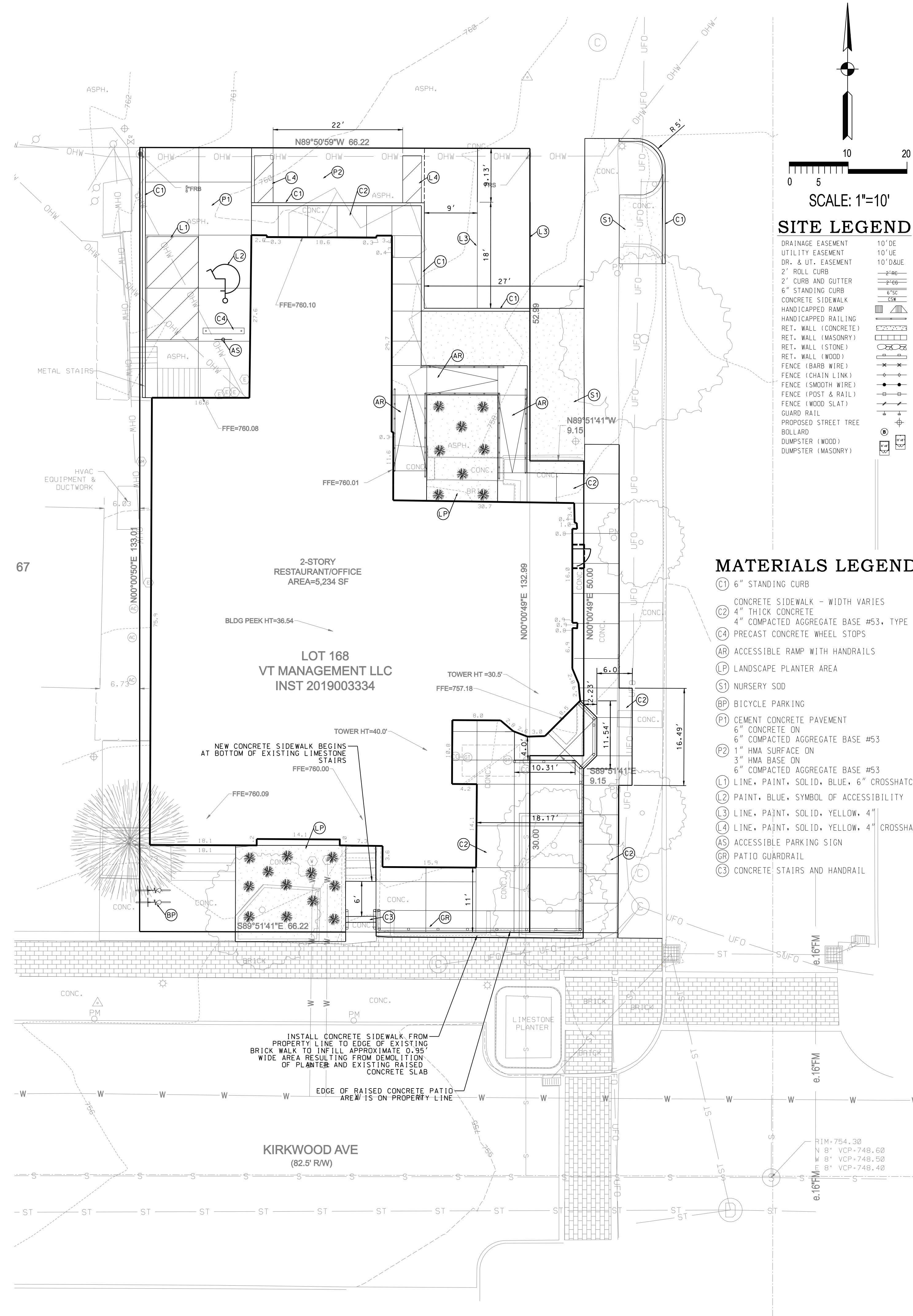


- ### UTILITIES
- AT&T (Phone)  
Brent McCabe - (812) 334-4521  
4517 E. Indiana Bell Ct.  
P.O. Box 56  
Bloomington, Indiana 47408  
bml792@att.com
- DUKE ENERGY (Electric)  
Kerry Ducker (812) 337-3035  
1100 W. 2nd St.  
Bloomington, IN 47403  
kerry.ducker@duke-energy.com
- CITY OF BLOOMINGTON  
UTILITIES (Water/Sewer)  
Nancy Axson (812) 349-3689  
600 E. Miller Dr.  
Bloomington, IN 47402  
axson@bloomington.in.gov
- VECTREN (Gas)  
Doug Anderson (812) 330-4031  
205 S. Madison  
Bloomington, IN 47404  
danderson@vectren.com
- COMCAST (Cable)  
Scott Cripe (812) 322-9612  
2450 S. Henderson St.  
Bloomington, IN 47401  
scott.cripe@cable.comcast.com

- ### DEMOLITION NOTES
- PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITY, CONTRACTOR SHALL COORDINATE AND ON-SITE MEETING WITH CITY PLANNING, ENGINEERING AND CBU TO REVIEW SCOPE OF WORK.
  - ANY SIGNS REQUIRING REMOVAL TO EXECUTE THE WORK SHALL BE REMOVED, STORED AND RE-SET UPON COMPLETION OF CONSTRUCTION.
  - USE OF THE PUBLIC R/W REQUIRES PRIOR APPROVAL FROM CITY BPK.
  - WORK WITHIN THE R/W REQUIRES A CITY R/W EXCAVATION PERMIT AND BOND.
  - THOUGH AN IDEM NPDES STORM WATER NOI IS NOT REQUIRED FOR THIS SITE, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING AND MONITORING ON-SITE EROSION CONTROL DEVICES DURING CONSTRUCTION.
  - IF TRACKING OF MATERIAL ONTO ADJACENT PUBLIC ROADWAYS OCCURS, TRACKED MATERIAL SHALL BE CLEANED DAILY.
  - REFER TO MAINTENANCE OF TRAFFIC PLAN SHEETS FOR PEDESTRIAN ACCOMMODATIONS.
  - ITEMS NOT SPECIFICALLY NOTED FOR REMOVAL SUCH AS EXISTING LANDSCAPING BUT NECESSARY TO BE REMOVED TO COMPLETE THE WORK SHALL BE REMOVED.



- ### SITE LEGEND
- DRAINAGE EASEMENT 10' DE
  - UTILITY EASEMENT 10' DE
  - DR. & UT. EASEMENT 10' DE
  - 2" ROLL CURB
  - 2" CURB AND GUTTER
  - 6" STANDING CURB
  - CONCRETE SIDEWALK
  - HANDICAPPED RAMP
  - HANDICAPPED RAILING
  - RET. WALL (CONCRETE)
  - RET. WALL (MASONRY)
  - RET. WALL (STONE)
  - RET. WALL (WOOD)
  - FENCE (CHAIN LINK)
  - FENCE (SMOOTH WIRE)
  - FENCE (POST & RAIL)
  - FENCE (WOOD SLAT)
  - GUARD RAIL
  - PROPOSED STREET TREE
  - BOLLARD
  - DUMPSITER (WOOD)
  - DUMPSITER (MASONRY)



- ### MATERIALS LEGEND
- (C1) 6" STANDING CURB
  - (C2) CONCRETE SIDEWALK - WIDTH VARIES
  - (C3) 4" THICK CONCRETE
  - (C4) 4" COMPACTED AGGREGATE BASE #53, TYPE "O"
  - (AR) PRECAST CONCRETE WHEEL STOPS
  - (AR) ACCESSIBLE RAMP WITH HANDRAILS
  - (LP) LANDSCAPE PLANTER AREA
  - (S1) NURSERY SOD
  - (BP) BICYCLE PARKING
  - (P1) CEMENT CONCRETE PAVEMENT
  - (P2) 6" CONCRETE ON 6" COMPACTED AGGREGATE BASE #53
  - (P3) 1" HMA SURFACE ON 3" HMA BASE ON 6" COMPACTED AGGREGATE BASE #53
  - (L1) LINE, PAINT, SOLID, BLUE, 6" CROSSHATCH
  - (L2) PAINT, BLUE, SYMBOL OF ACCESSIBILITY
  - (L3) LINE, PAINT, SOLID, YELLOW, 4"
  - (L4) LINE, PAINT, SOLID, YELLOW, 4" CROSSHATCH
  - (AS) ACCESSIBLE PARKING SIGN
  - (GR) PATIO GUARDRAIL
  - (CS) CONCRETE STAIRS AND HANDRAIL

Smith Brubob & Associates, Inc.  
453 S. Claitor Boulevard  
Bloomington, Indiana, 47401  
Phone: (812) 336-5500  
Web: www.sbrubob.com

CERTIFICATION DATE  
**4/29/19**

JOB TITLE  
**CITYSIDE 123, LLC  
VICTORIA TOWERS  
BLOOMINGTON, IN.**

REVISIONS	BY	DATE
ADD TEMPORARY CONCRETE WASHOUT	SAB	5-13-19
REVISE HEAD PLAN FOR PATIO AND PLANTER ADDITIONS.	SAB	5-30-19
REVISE SITE PLAN FOR PATIO AND PLANTER ADDITIONS.	SAB	5-30-19

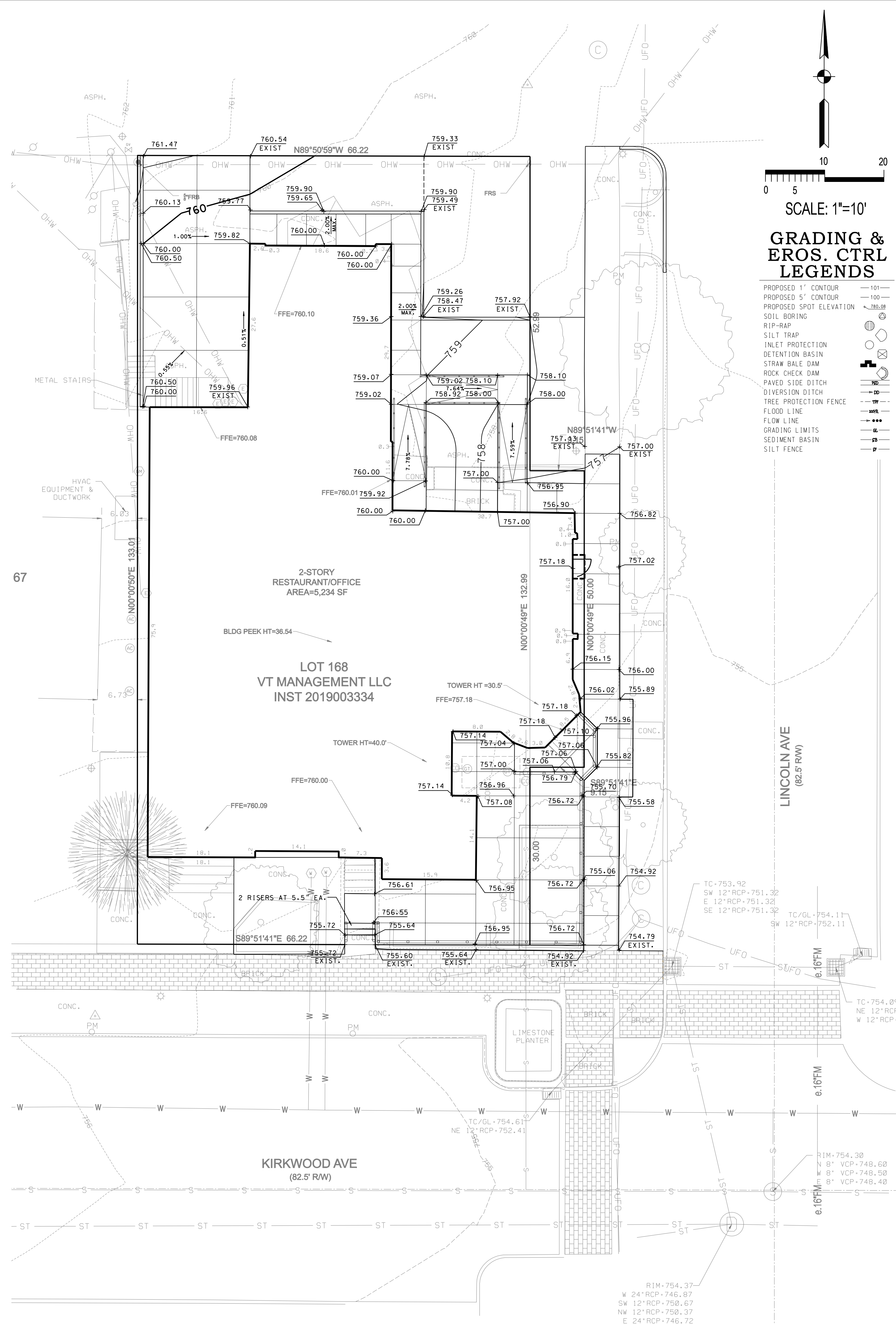
DESIGNED	CHECKED	DATE
SAB	SAB	

JOB NUMBER	SHEET
5852	C201

DATE: 4/29/19  
DEMOLITION AND SITE PLAN

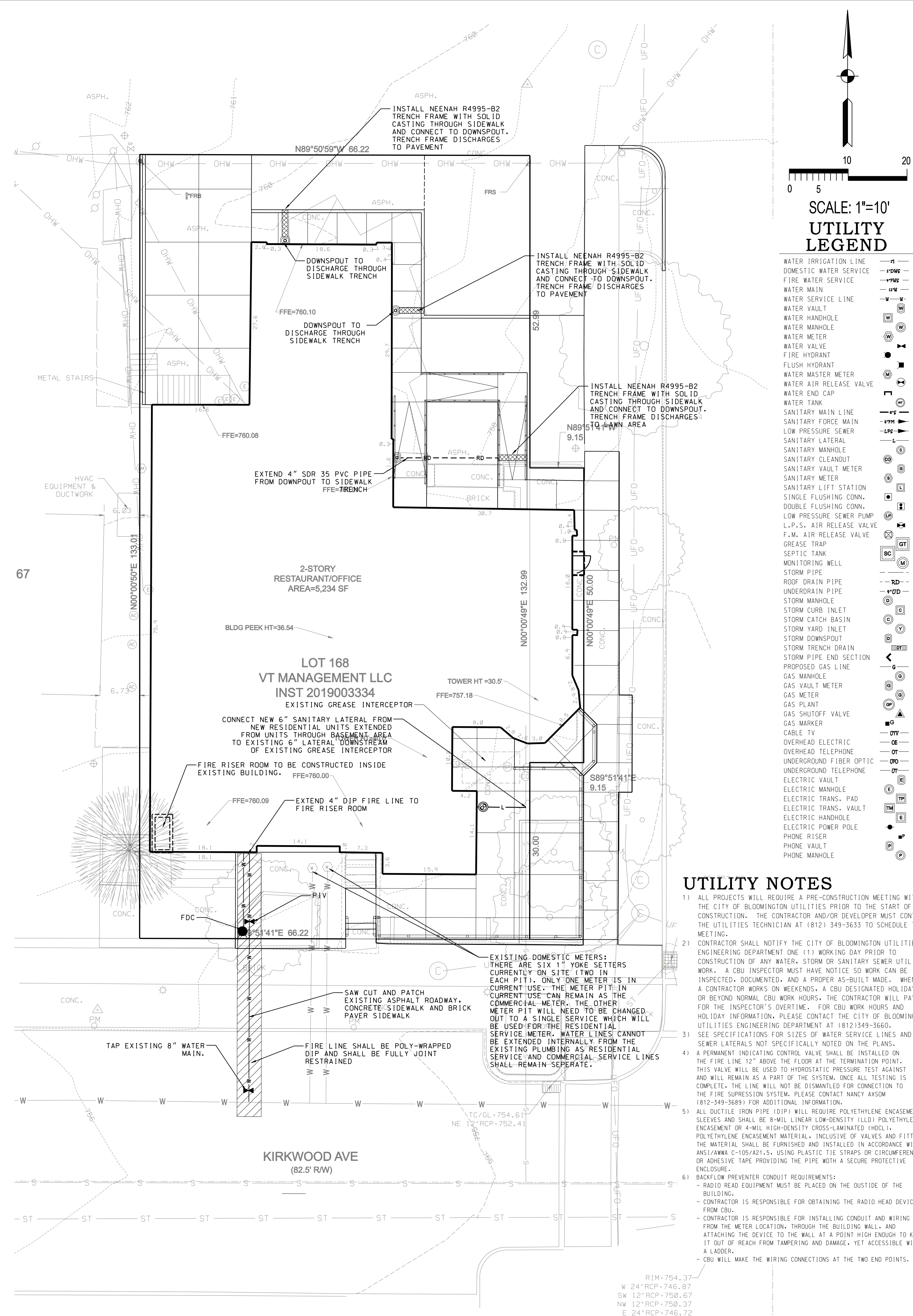




**GRADING & EROS. CTRL LEGENDS**

- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED SPOT ELEVATION
- SOIL BORING
- RIP-RAP
- SILT TRAP
- INLET PROTECTION
- DETENTION BASIN
- STRAW BALE DAM
- ROCK CHECK DAM
- PAVED SIDE DITCH
- DIVERSION DITCH
- TREE PROTECTION FENCE
- FLOOD LINE
- FLOW LINE
- GRADING LIMITS
- SEDIMENT BASIN
- SILT FENCE

67



**UTILITY LEGEND**

- WATER IRRIGATION LINE
- DOMESTIC WATER SERVICE
- FIRE WATER SERVICE
- WATER MAIN
- WATER SERVICE LINE
- WATER VAULT
- WATER HANDHOLE
- WATER MANHOLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- FLUSH HYDRANT
- WATER MASTER METER
- WATER AIR RELEASE VALVE
- WATER END CAP
- WATER TANK
- SANITARY MAIN LINE
- SANITARY FORCE MAIN
- LOW PRESSURE SEWER
- SANITARY LATERAL
- SANITARY MANHOLE
- SANITARY CLEANOUT
- SANITARY VAULT METER
- SANITARY METER
- SANITARY LIFT STATION
- SINGLE FLUSHING CONN.
- DOUBLE FLUSHING CONN.
- LOW PRESSURE SEWER PUMP
- L.P.S. AIR RELEASE VALVE
- F.M. AIR RELEASE VALVE
- GREASE TRAP
- SEPTIC TANK
- MONITORING WELL
- STORM PIPE
- ROOF DRAIN PIPE
- UNDERDRAIN PIPE
- STORM CURB INLET
- STORM CATCH BASIN
- STORM YARD INLET
- STORM DOWNSPOUT
- STORM TRENCH DRAIN
- STORM PIPE END SECTION
- PROPOSED GAS LINE
- GAS MANHOLE
- GAS VAULT METER
- GAS METER
- GAS PLANT
- GAS SHUTOFF VALVE
- GAS MARKER
- CABLE TV
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- ELECTRIC VAULT
- ELECTRIC MANHOLE
- ELECTRIC TRANS. PAD
- ELECTRIC TRANS. VAULT
- ELECTRIC HANDHOLE
- ELECTRIC POWER POLE
- PHONE RISER
- PHONE VAULT
- PHONE MANHOLE

67

**UTILITY NOTES**

- 1) ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812) 349-3633 TO SCHEDULE THE MEETING.
- 2) CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CBU DESIGNATED HOLIDAY, OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 349-3660.
- 3) SEE SPECIFICATIONS FOR SIZES OF WATER SERVICE LINES AND SEWER LATERALS NOT SPECIFICALLY NOTED ON THE PLANS.
- 4) A PERMANENT INDICATING CONTROL VALVE SHALL BE INSTALLED ON THE FIRE LINE 12" ABOVE THE FLOOR AT THE TERMINATION POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST AND WILL REMAIN AS A PART OF THE SYSTEM. ONCE ALL TESTING IS COMPLETE, THE LINE WILL NOT BE DISASSEMBLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM. PLEASE CONTACT NANCY AXSON (812-349-3689) FOR ADDITIONAL INFORMATION.
- 5) ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE 8-MIL LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASEMENT OR 4-MIL HIGH-DENSITY CROSS-LAMINATED HDPE L. POLYETHYLENE ENCASEMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANSI/AWWA C-105/A21-5, USING PLASTIC TIE STRAPS OR CIRCUMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
- 6) BACKFLOW PREVENTER CONDUIT REQUIREMENTS:
  - RADIO READ EQUIPMENT MUST BE PLACED ON THE OUTSIDE OF THE BUILDING.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE RADIO HEAD DEVICE FROM CBU.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLING CONDUIT AND WIRING FROM THE METER LOCATION, THROUGH THE BUILDING WALL, AND ATTACHING THE DEVICE TO THE WALL AT A POINT HIGH ENOUGH TO KEEP IT OUT OF REACH FROM TAMPERING AND DAMAGE, YET ACCESSIBLE WITH A LADDER.
  - CBU WILL MAKE THE WIRING CONNECTIONS AT THE TWO END POINTS.

Smith Brubach & Associates, Inc.  
 453 S. Claitor Boulevard  
 Bloomington, Indiana, 47401  
 Phone: (812) 336-5500  
 Web: www.sbrubach.com

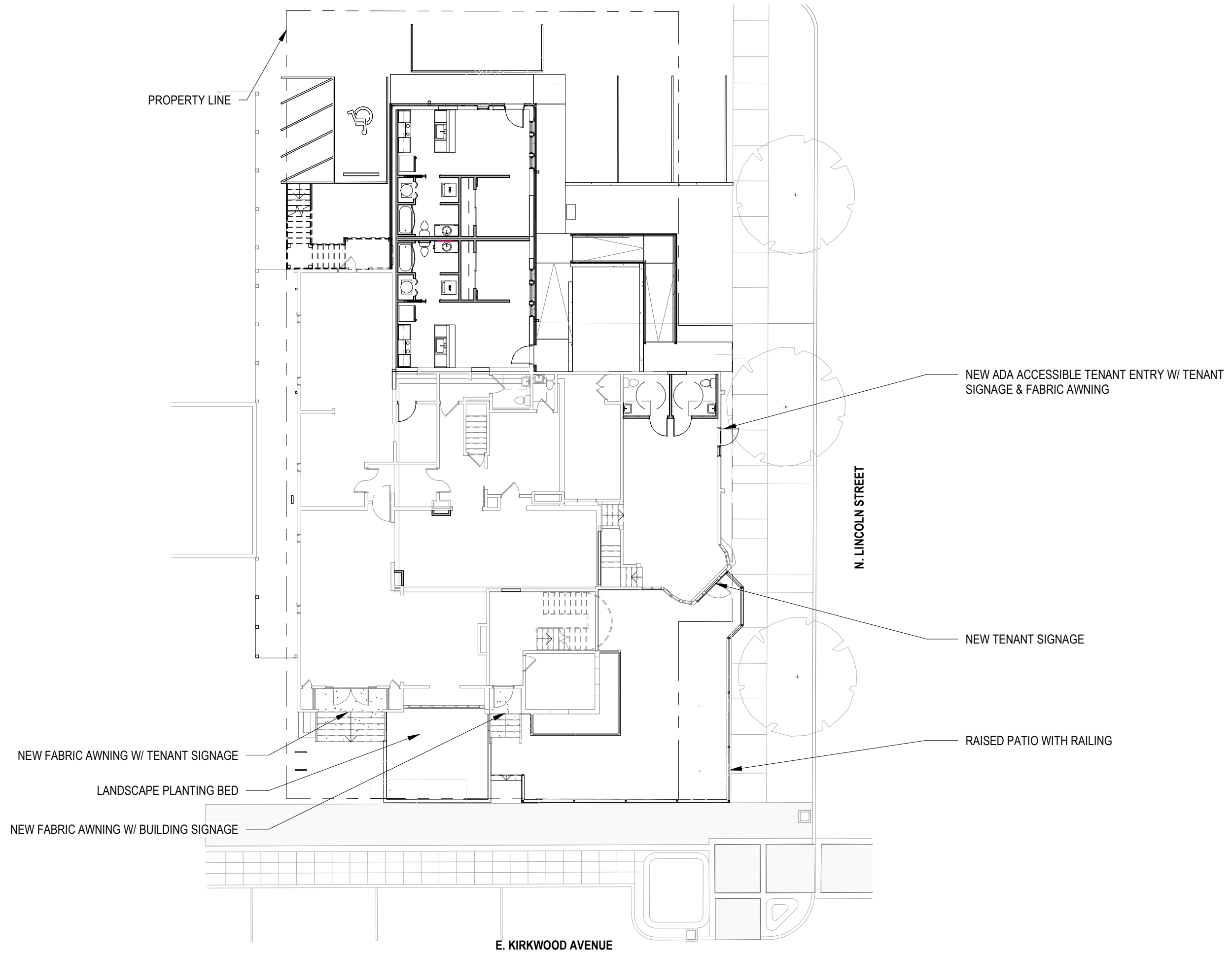
CERTIFICATION DATE  
 4/29/19

JOB TITLE  
**CITYSIDE 123, LLC**  
**VICTORIA TOWERS**  
**BLOOMINGTON, IN.**

REVISIONS	BY	DATE
REMOVE SEWER LATERAL CONNECTION WILL BE MADE INTERNAL TO THE BUILDING ON THE EXISTING LATERAL.	SAB	5-13-19
REVISE GRADING FOR PAVD. ADDITION.	SAB	5-30-19
REVISE SEWER LATERAL BASED ON NEW INFORMATION.	SAB	5-30-19

PROPOSED SHEET NO. 5852  
 SHEET  
**C202**  
 DATE 4/29/19  
 GRADING AND UTILITY PLAN





<b>ERL - 3, LLC</b> <b>VICTORIA TOWERS</b>	PROJECT NO.	SHEET DESCRIPTION	SHEET NUMBER
	19009	LEVEL 1 FLOOR PLAN	1
		DATE	
		5/31/2019	

1/16" = 1'-0"





1 SOUTH ELEVATION - 1  
2 3/32" = 1'-0"



2 EAST ELEVATION - 1  
2 3/32" = 1'-0"

NEW PAINTED METAL LETTERS ON STAND OFFS W/ BACKLIGHTING (TENANT SIGNAGE)  
NEW DARK FABRIC AWNING  
NEW ADA ACCESSIBLE TENANT ENTRY DOOR

SHEET DESCRIPTION SHEET NUMBER

2

SOUTH & EAST ELEVATIONS

PROJECT NO.

19009

DATE

5/31/2019

ERL - 3, LLC  
VICTORIA TOWERS







ERL - 3, LLC  
 VICTORIA TOWERS

PROJECT NO.  
 19009

DATE

5/31/2019

SHEET DESCRIPTION SHEET NUMBER

SE

3

PERSPECTIVE

VIEW





ERL - 3, LLC  
VICTORIA TOWERS

PROJECT NO.  
19009

DATE  
5/31/2019

SHEET DESCRIPTION

SW  
PERSPECTIVE  
VIEW

SHEET NUMBER

4





ERL - 3, LLC  
VICTORIA TOWERS

PROJECT NO.  
19009

DATE

5/31/2019

SHEET DESCRIPTION

EAST  
PERSPECTIVE

VIEW

SHEET NUMBER

5





EXISTING SOUTH ELEVATION PHOTOS



EXISTING EAST ELEVATION PHOTOS

SHEET DESCRIPTION SHEET NUMBER

6

EXISTING PHOTOS

PROJECT NO. 19009

DATE

5/31/2019

ERL - 3, LLC  
VICTORIA TOWERS









**Demo Delay: 19-11**  
**Staff Decision**

Address: 411 W. 1st Street

Petitioner: Susan Williams

Parcel Number: 53-08-04-219-002.000-009

Property Rating: Contributing

Circa. 1925



*Background:* This Craftsman Bungalow style home is listed as “Contributing” on the 2001 Interim Report.

*Request:* Addition of porch to the rear of the home. This is considered partial demolition due to the obscuring from view of more than forty percent of the exterior of the north façade.

*Guidelines:* According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. The BHPC may thus employ demolition delay for 90 day from the date the application was received and may request an additional 30 days if necessary for further investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

*Staff Decision:* Staff releases **Demo Delay 19-11**. Since this is a partial demolition of a Contributing structure that is zoned single family residential, staff has authority to release.





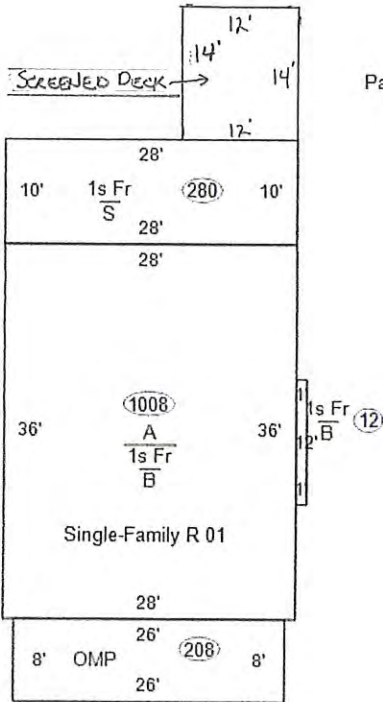
**WILLIAMS, SUSAN**  
**Project - WILLIAMS-RES DECK-411**  
Address - 411 1ST ST E  
Parcel - 53-08-04-219-002.000-009  
App # - 66341 Twp - PR-4

RECEIVED  
JUN 10 2019





ed Garage R 01



Patio (free stan)

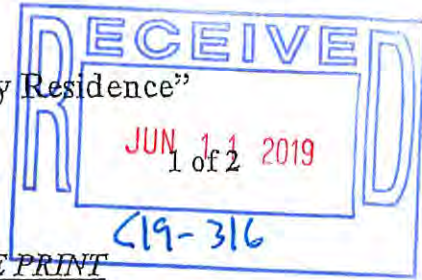
411 E. 1<sup>st</sup> ST.



66341  
BL  
6-10-19

RESIDENTIAL PERMIT APPLICATION "One & Two Family Residence"

MONROE COUNTY BUILDING DEPARTMENT  
501 N. Morton St RM 220-B, Bloomington, Indiana 47404  
Phone Number: (812) 349-2580 FAX: (812) 349-2967



APPLICATION MUST BE FILLED OUT COMPLETELY; PLEASE PRINT

Parcel No. 53-08-04219-002,000-009 Subdivision KERR Lot No. 9  
Project Address 411 E. 1<sup>ST</sup> ST. City BLOOMINGTON Zip Code 47401  
Township CITY PERRY Section No. 4

Property Owners Name SUSAN WILLIAMS Phone No. 812-272-2023  
Property Owners Address 411 E. 1<sup>ST</sup> City BLOOMINGTON Zip Code 47401

Applicants Name T.A. FULLER HOMES, INC Phone No. 812-824-3300  
Applicants Address 8281 S. MACKENZIE CT. City BLOOMINGTON Zip Code 47401

General Contractor T.A. FULLER HOMES, INC Phone No. 812-325-5752

Please check applicable boxes and fill in blanks as required:

Proposed Work:  New Construction  Addition  Remodel (area) \_\_\_\_\_ Other (explain) SCREENED DECK  
Rental:  Yes  No Flood Plain:  Yes  No Sink Holes:  Yes  No Watershed:  Yes  No  
Building use (i.e. personal residence, duplex, storage bldg., barn, garage, etc., (explain) SCREENED-1/2 DECK

Total number of bedrooms \_\_\_\_\_ Number of residential units \_\_\_\_\_ Estimated construction cost (census) 20,000  
Total Square Footage of proposed structure 168 S.F.  
First floor square footage \_\_\_\_\_ Garage/Carport square footage \_\_\_\_\_  Attached  Detached  
Second floor square footage \_\_\_\_\_ Covered Deck(s)/Porch(s) square footage 168  
Third floor square footage \_\_\_\_\_ Other Floor square footage (explain) \_\_\_\_\_  
Basement square footage \_\_\_\_\_ Grading area (area of soil disruption) \_\_\_\_\_  
Elevated deck (>30") square footage 168

Driveway Permit No. \_\_\_\_\_  State of Indiana  Monroe County  City of Bloomington  
Wastewater system to be connected to:  City of Bloomington Sewer  Other sanitary system  
Septic System: Permit no. \_\_\_\_\_ Number of bedrooms on permit \_\_\_\_\_

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

Signature of Applicant: James A. [Signature], Pres Date: 6/10/2019

Email address tom@tafullerhomes.com 08/26/2016/Bldg/Reviews/Forms

C-'01 Demo Delay

DULY ENTERED  
FOR TAXATION

DEC 13 2018

*Catherine Smith*  
Auditor Monroe County, Indiana

**WARRANTY DEED**

2018016613 WAR \$25.00  
12/13/2018 02:49:08P 2 PGS  
Eric Schmitz  
Monroe County Recorder IN  
Recorded as Presented



File Number: 46585

LAUREN ROBEL, the unmarried widow of Stephen H. Thrasher, deceased ("Grantor"), of Monroe County, in the State of Indiana, CONVEYS AND WARRANTS to SUSAN WILLIAMS, of legal age ("Grantee"), of Monroe County, in the State of Indiana, for and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is acknowledged, the following described real estate in Monroe County, Indiana:

Lot Number Nine (9) in KERR'S ADDITION to the City of Bloomington, Indiana, as shown by the plat thereof recorded in Plat Cabinet B, Envelope 32, in the office of the Recorder of Monroe County, Indiana.

Tax Parcel No.: 53-08-04-219-002.000-009  
Auditor's Parcel No.: 015-27030-00

**SUBJECT TO:**

1. Real estate taxes and assessments for the year 2018 due and payable 2019, and all subsequent taxes and assessments.
2. Any and all covenants, conditions, restrictions, agreements, limitations, encumbrances and easements, if any, which are either observable or of record.
3. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records.
4. All covenants, conditions, easements, encumbrances, and restrictions contained in the plat of Kerr's Addition as per plat thereof recorded in Plat Cabinet B, Envelope 28 and 32, in the office of the Recorder of Monroe County, Indiana. NOTE: This exception omits any covenant, condition, or restriction based on race, color, religion, sex, handicap, familial status or national origin as provided in 42 U.S.C. sec. 3604, unless and only to the extent that the covenant (a) is not in violation of state or federal law, (b) is exempt under 42 U.S.C. sec 3607, or (c) relates to a handicap, but does not discriminate against handicapped people.
5. Rights of tenants, if any, under unrecorded leases, as to possession only.

Grantor herein states she took title together with Stephen H. Thrasher, as husband and wife, in a certain deed recorded as Instrument Number 2001004018, in the office of the Recorder of Monroe County, Indiana, and that Stephen H. Thrasher is now deceased as of April 30, 2015, at which time Grantor became the sole owner of the real estate by operation of law.



In Witness Whereof, Grantor has executed this deed on this 11 day of December, 2018.

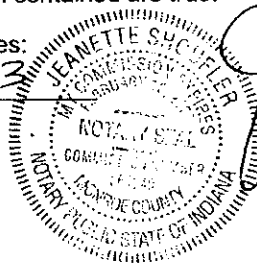
Lauren Robel  
LAUREN ROBEL

STATE OF Indiana  
COUNTY OF Monroe ) SS:

Before me, Jeanette Shoufler, a Notary Public in and for said County and State, this 11 day of December, 2018, personally appeared LAUREN ROBEL, who executed the foregoing deed; and who, having been duly sworn, stated that any representations therein contained are true.

My Commission Expires:

2/12/23



Jeanette Shoufler  
Jeanette Shoufler Notary Public  
A resident of Monroe County, IN

Mailing addresses:

Per IC 32-21-2-3(b): Mailing address to which statements should be mailed under IC 6-1.1-22-8.1:

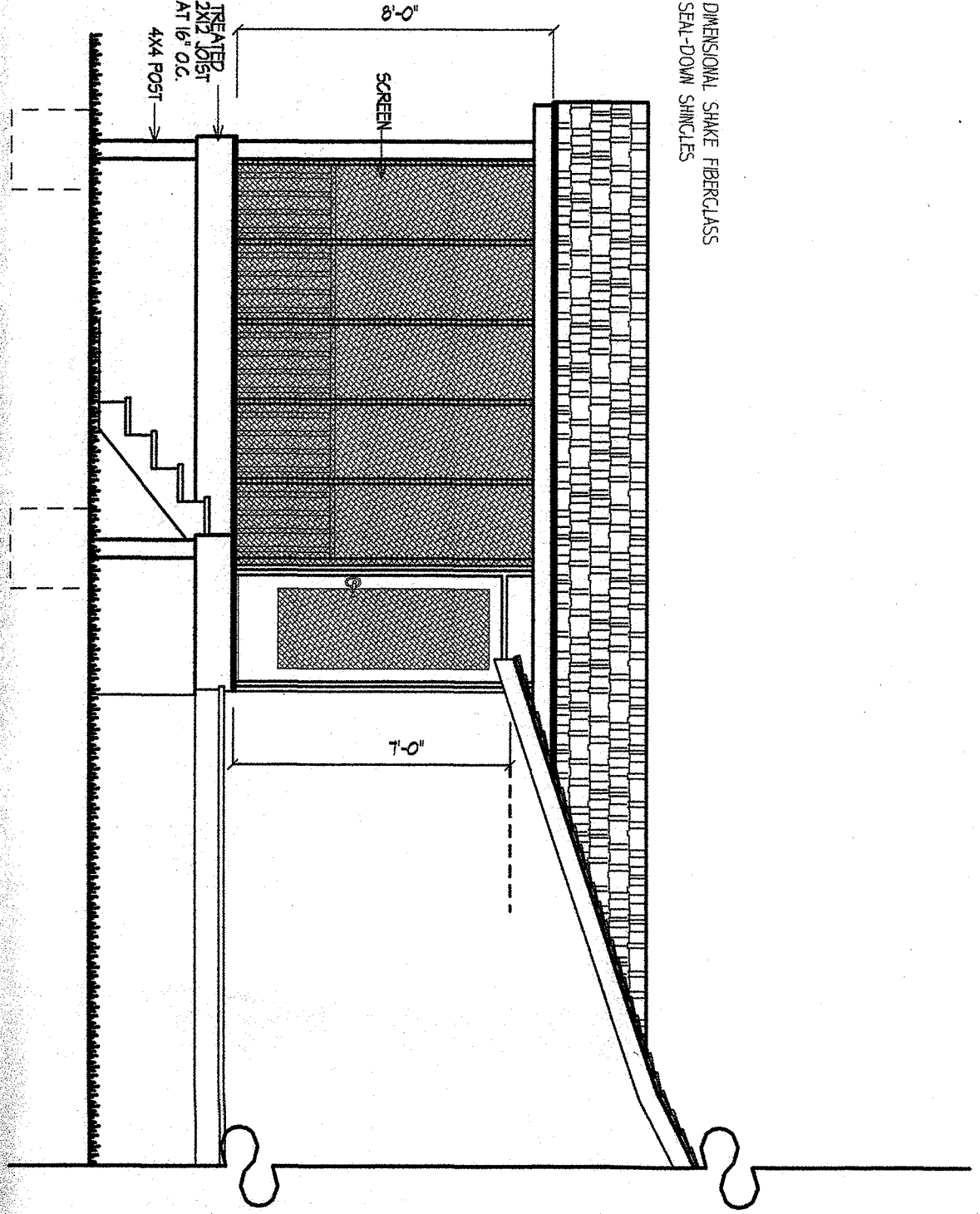
411 E. 1st St.  
Bloomington, IN 47401

Per IC 32-21-2-3(b): Street address or rural route address of Grantee if above mailing address is NOT a street address or rural route address:

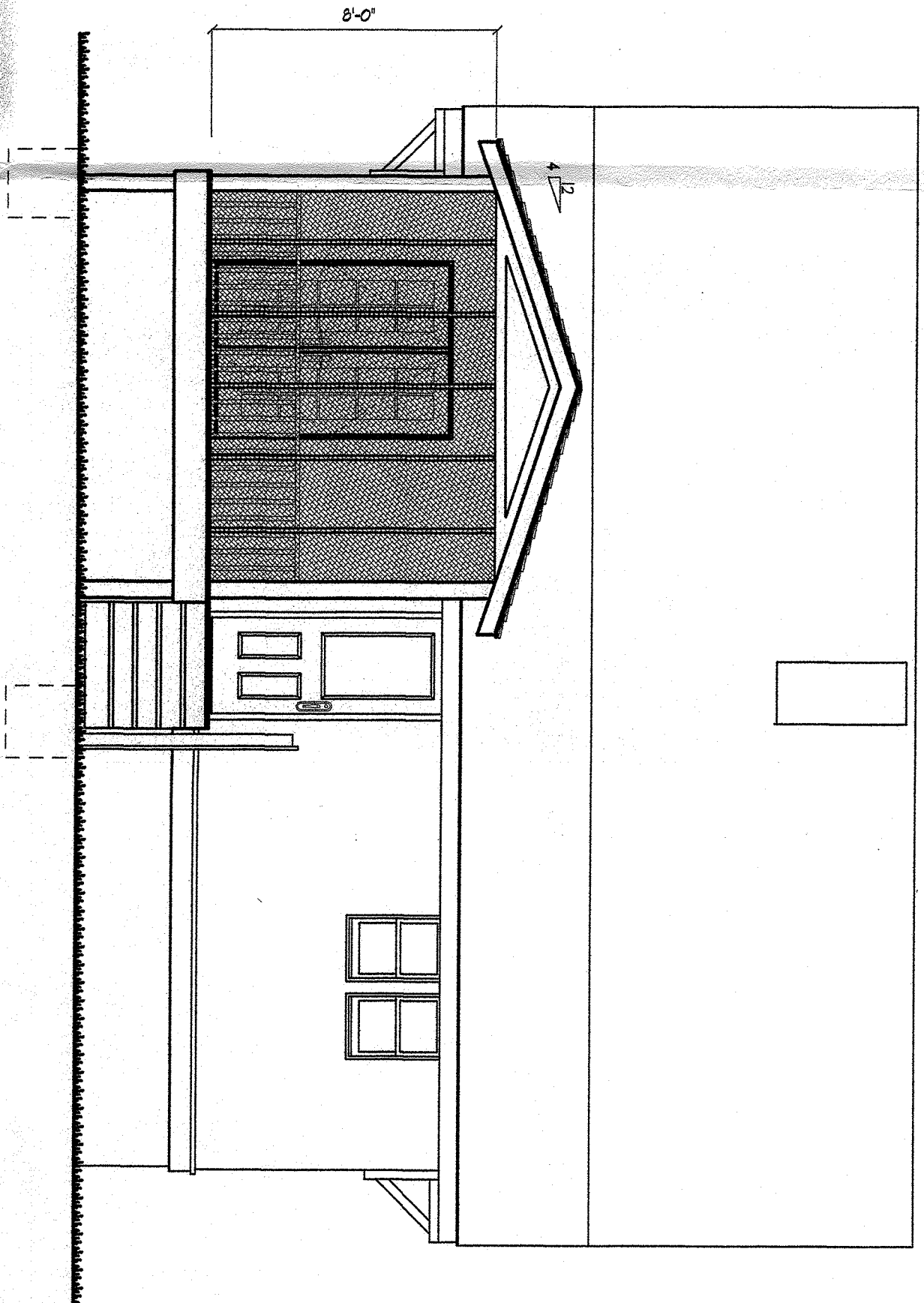
This instrument was prepared by Morris H. Erickson, Attorney at Law, Bloomington, Indiana.

"I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law." - Morris H. Erickson

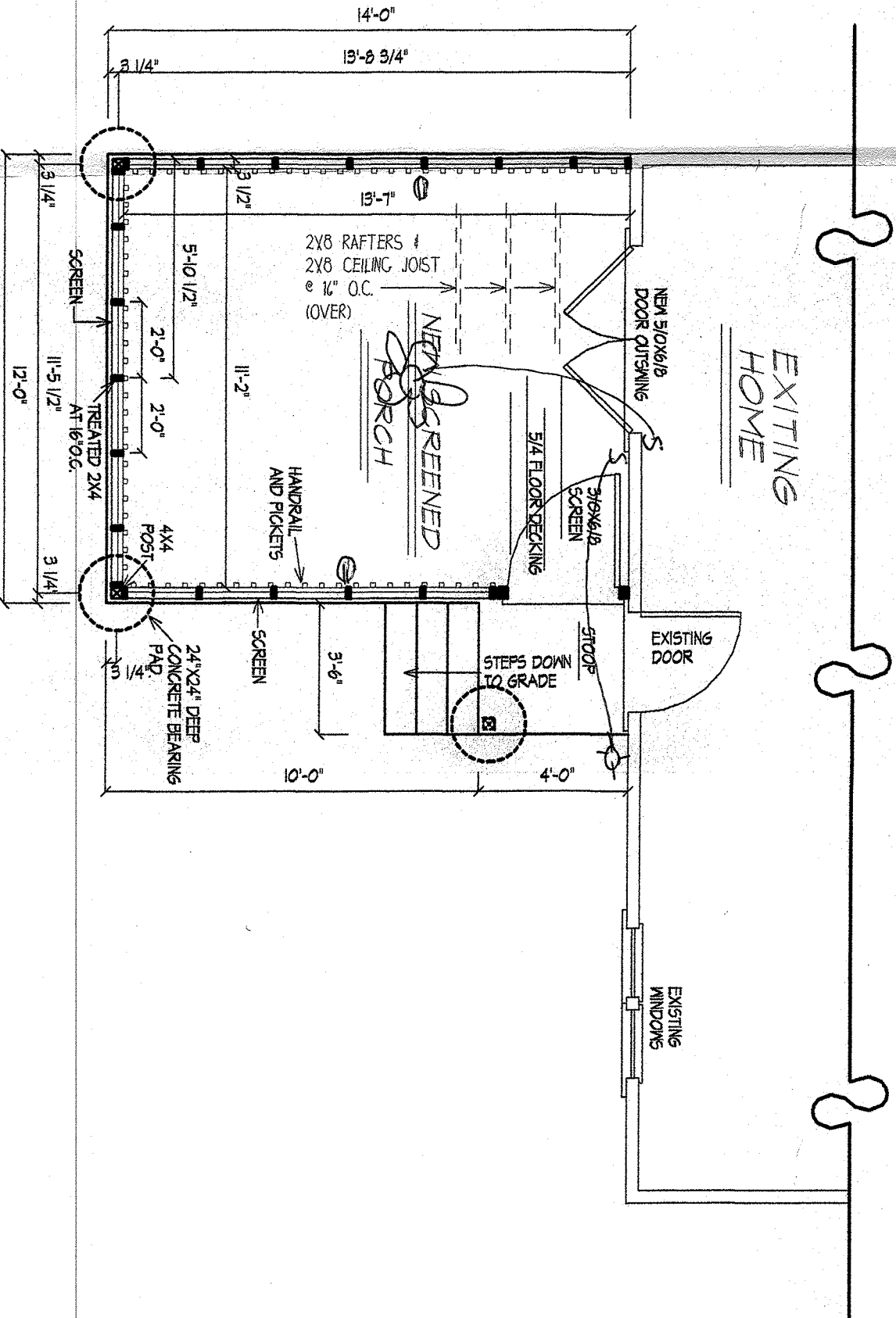
DIMENSIONAL SHAKE FIBERGLASS  
SEAL-DOWN SHIMCLES



**LEFT SIDE ELEVATION**



**BACK ELEVATION**



**NEW SCREEN PORCH PLAN**

**GENERAL NOTES:**

ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS.  
CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING, ALL DIMENSIONS AND ALL INSPECTIONS, APPROVALS, PERMITS, ETC.  
COORDINATE WITH OWNER PLACEMENT AND INSTALLATION OF ELECTRICAL OUTLETS AND CONCEALED TELEPHONE WIRING.  
FLOOR AND BASE FINISH AS SELECTED BY OWNER  
ALL DOOR/FRAMING HARDWARE AND ALL TRIM TO MATCH AS SELECTED BY OWNER.

PROPOSED PLANS FOR SUSAN WILLIAMS
NEW SCREEN PORCH
JOB SITE: LOT # 411 EAST FIRST ST.
SCALE: 1/4" = 1'-0"
DATE: April 6, 2019
DATE REVISED:

**T. A. FULLER  
HOMES INC.**

**NOTE:**  
DIMENSIONAL DRAFTING, LLC ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, LOSS OF PROFITS, OR OTHER CONSEQUENCES OR ERRORS IN THE DESIGN. IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY SITE CONDITIONS AND LAYOUTS AND CHECK WITH LOCAL BUILDING OFFICIALS PRIOR TO START OF CONSTRUCTION.

**DIMENSIONAL DRAFTING LLC.**  
COMPUTER-AIDED DRAFTING SERVICE 812-825-2994  
©2019



**Demo Delay: 19-09**  
**Commission Decision**

Address: 523 W. 7th Street

Petitioner: David Holdman

Parcel Number: 53-05-32-413-080.000-005

Property Rating: Contributing

Circa. 1890



*Background:* Known as the “Carrie Stancomb House” this a Central Passage home in the vernacular style. The home was listed as “Notable” in the 2001 Interim Report but was downgraded to “Contributing” in the 2015 SHAARD survey possibly due to addition of vinyl siding and overall deterioration of the home. The home has not been occupied in thirteen years (not counting the occasional vagrant) and is a textbook case of demolition by neglect.

*Request:* Full demolition.

*Guidelines:* According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. The BHPC may thus employ demolition delay for 90 day from the date the application was received and may request an additional 30 days if necessary for further investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

*Recommendation:* Staff recommends starting the process for historic designation if the petitioner continues to pursue full demolition. Staff finds that the structure meets the historic designation criteria 2(e) 2(g).

**Historic District Criteria.** An historic district shall include a building, groups of buildings, structure(s), site(s), monument(s), streetscape(s), or neighborhood(s) which meet at least one of the following criteria:

(1) Historic:

(A) Has significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation; or is associated with a person who played a significant role in local, state, or national history.

(B) Is the site of an historic event.

(C) Exemplifies the cultural, political, economic, social, or historic heritage of the community.

(2) Architecturally worthy:

(A) Embodies distinguishing characteristics of an architectural or engineering type

(B) Is the work of a designer whose individual work has significantly influenced the development of the community.

(C) Is the work of a designer of such prominence that such work gains its value from the designee's reputation.

(D) Contains elements of design, detail, materials, or craftsmanship which represent a significant innovation.

(E) Contains any architectural style, detail, or other element in danger of being lost.

(F) Owing to its unique location or physical characteristics, represents an established and familiar visual feature of a neighborhood or the city.

(G) Exemplifies the built environment in an era of history characterized by a distinctive architectural style.



66796  
BL  
5-17-19



**Demolition Application**  
Monroe County Building Department  
501 N. Morton St Rm 220, Bloomington, Indiana 47404  
Phone Number: (812) 349-2580 FAX: (812) 349-2967  
<http://www.co.monroe.in.us/tsd/Government/Infrastructure/BuildingDepartment.aspx>

Date: 4-15-19

Project Address: 523 W. 7TH ST. BLOOMINGTON, IN. 47404  
Street City, State Zip

Township: BLOOMINGTON Section #: \_\_\_\_\_

Parcel Number 53-05-32-413-080-000-005

Subdivision: \_\_\_\_\_ Lot #: \_\_\_\_\_

Applicant Name: JUDIE BAKER, DAVID HOLDMAN Phone #: 812-327-7533

Property Owner Name: JUDIE BAKER  
Address: 1409 GETTYS CREEK RD BLOOMINGTON, IN Phone #: 812-360-3388  
Street City, State & Zip  
47408

Contractor: (if applicable) DAVID HOLDMAN  
Phone #: 812-327-7533

Type of Utilities Connected to this Structure  
 Gas  Electricity  Septic/Sewer  Water  Other

WORK BEING PERFORMED:  
REMOVE ALL EXISTING STRUCTURES ON THE LOT  
POSSIBLY BUILD A NEW HOME THERE IN THE FUTURE.

The applicant hereby certifies and agrees as follows: (1) That applicant has read this application, and attests that the information that has been furnished is correct. (2) If there is any misrepresentation in this application, Monroe County may revoke any permit issued in reliance upon such misrepresentation (3) Agrees to comply with all Monroe County ordinances and grant Monroe County officials the right to enter onto the property for the purpose of inspecting the work permitted & posting notices (4) Is authorized to make this application.

Signature Judie A. Baker  
Owner/Applicant

N-'01  
C-14/15



80999B.c.

# Warranty Deed

BOOK 246 PAGE 327

THIS INDENTURE WITNESSETH: That CARRIE EDITH STANCOMBE, the unmarried widow of Mose A. Stancombe,

of Monroe County, in the State of Indiana  
to JUDIE ANN BAKER, Convey and Warrant

of Monroe County, in the State of Indiana, for and in consideration of the sum of One Dollar (\$1.00) and other valuable consideration -----

the receipt whereof is hereby acknowledged, the following described Real Estate in Monroe County, in the State of Indiana, to-wit:

In Lot Number Two Hundred and Eighty (280) in the Town (now City) of Bloomington, Indiana.

Subject to all taxes, liens and encumbrances.

**RECORDED**  
A.M. P.M. 1:35

53-05-32-413-080.000-005

NOV 15 1976

✓ Emily M. Wade  
RECORDED MONROE CO., IN.

Carrie Edith Stancombe and Mose A. Stancombe, husband and wife, acquired the above-described real estate as tenants by the entireties on the 11th day of January, 1960. Mose A. Stancombe died on June 18, 1962, and from and after said date Carrie Edith Stancombe, as surviving tenant by the entirety, became the sole owner of the real estate. There was no administration upon the estate of Mose A. Stancombe and all of his debts and obligations have long since been fully paid.

## REAL ESTATE TRANSFER

NOV 15 1976

John W. Davis  
Auditor Monroe County, Ind.

In Witness Whereof, The said Carrie Edith Stancombe,

has hereunto set her hand and seal, this 3 day of May, 1976

\_\_\_\_\_(Seal) Carrie G. Stancombe \_\_\_\_\_(Seal)  
Carrie Edith Stancombe  
\_\_\_\_\_(Seal) \_\_\_\_\_(Seal)  
\_\_\_\_\_(Seal) \_\_\_\_\_(Seal)

STATE OF INDIANA, MONROE COUNTY, ss:

Before me, the undersigned, a Notary Public in and for said County, this

3 day of May, 1976, came

Carrie Edith Stancombe, the unmarried widow of Mose A. Stancombe,

and acknowledged the execution of the foregoing instrument.

Witness my hand and official seal.



My Commission expires Feb. 25, 1980 David S. McCrea Notary Public  
DAVID S. McCREA

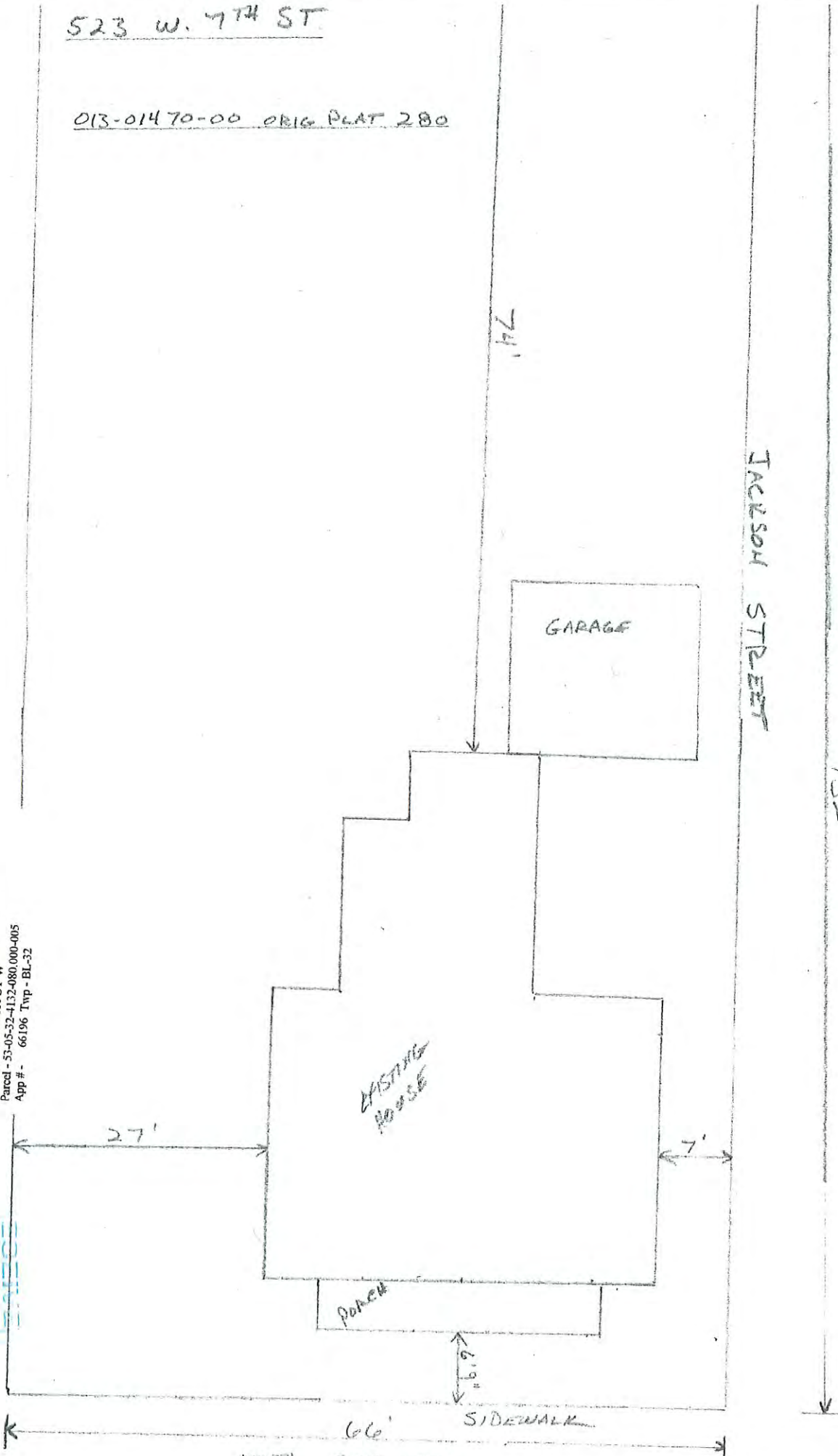
This instrument prepared by: David S. McCrea, Attorney at Law, 119 South Walnut St. Bloomington, Indiana 47401



523 W. 7TH ST

013-01470-00 ORIG PLAT 280

BAKER, JUDIE  
Project - BAKER-RES DEMO-523  
Address - 523 7TH ST W  
Parcel - 51-05-32-4132-080,000-005  
App # - 66196 Typ - BL-32



523 W. 7TH ST



**Demo Delay: 19-10**  
**Commission Decision**

Address: 300 W. 6th Street

Petitioner: Time Cover

Parcel Number: 53-05-33-310-263.000-005

Property Rating: Contributing

Circa. 1903



*Background:* Known as the “Currie and Son Building”, or “Hays Market”, this is a two-part commercial block building that is currently being used as office space. A large addition was added to the north of the original structure in 1975. The proposed project will only effect this addition. (See Packet)

*Request:* Partial demolition. Work that will result in the obscuring of view of forty percent or more of the exterior of any façade on thee structure; or, removal or destruction of the exterior surface of forty percent or more of the area of ay exterior facade.

*Guidelines:* According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. The BHPC may thus employ demolition delay for 90 day from the date the application was received and may request an additional 30 days if necessary for further investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

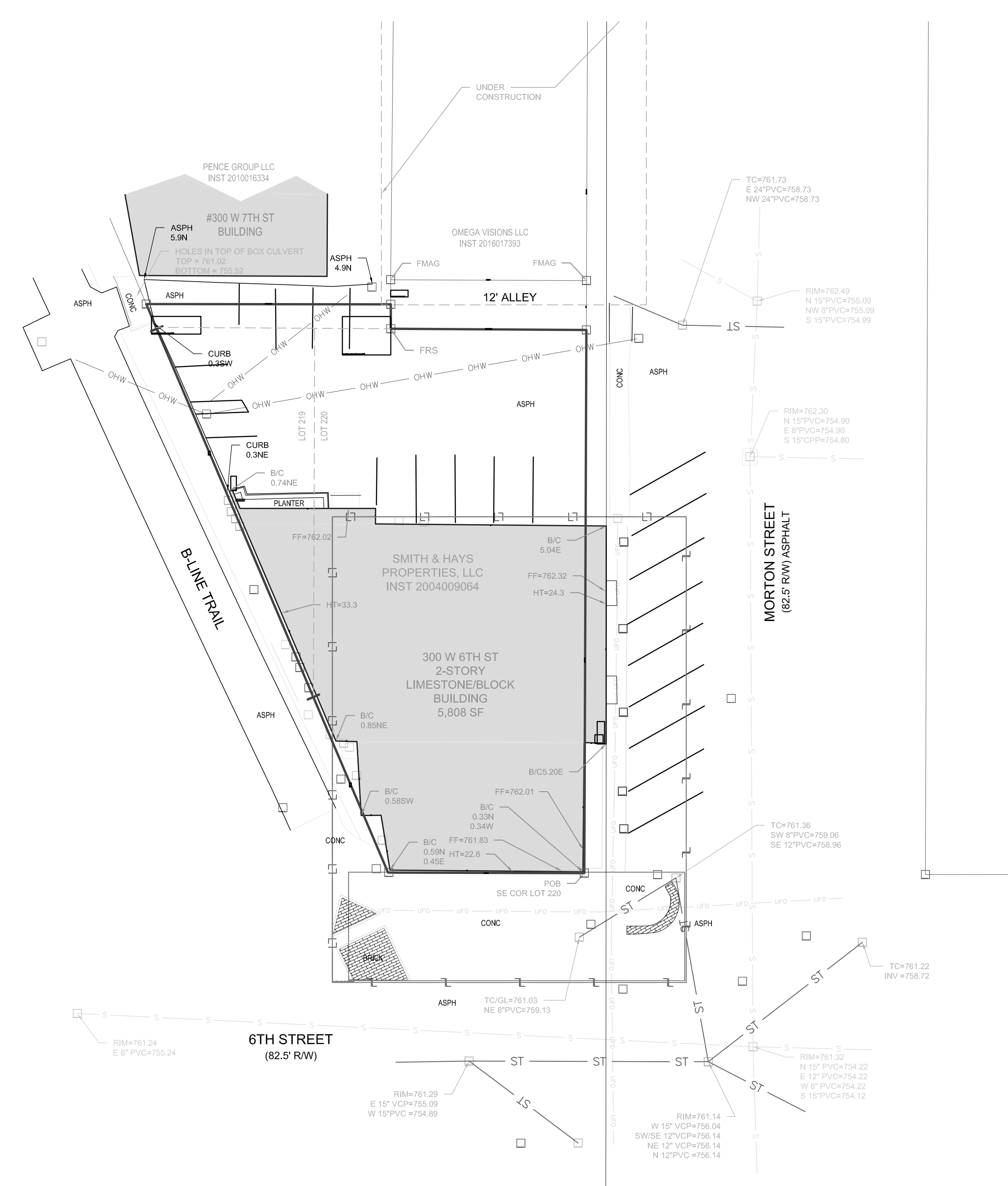
*Recommendation:* Staff recommends releasing **Demo Delay 19-10**. The major changes will occur on the north and east elevations of the 1975 addition. This project does not diminish the historic character of the original structure on the corner of Morton and 6th and therefore staff finds that designation is unwarranted.



**LEGEND**

- RR SPIKE
- STONE
- REBAR
- IRON PIPE
- MAG NAIL
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC VAULT
- ELECTRIC HANDHOLE
- ELECTRIC TRANSFORMER
- SANITARY MANHOLE
- CLEAN OUT
- STORM MANHOLE
- CURB INLET
- INLET ROUND
- INLET SQUARE
- YARD INLET
- DOWN SPOUT DRAIN
- WATER VALVE
- WATER MANHOLE
- WATER METER
- FIRE HYDRANT
- OVERHEAD WIRES
- SANITARY SEWER
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND COMMUNICATION LINE
- WATER LINE
- STORM SEWER
- FENCE
- AIR CONDITIONER
- GAS METER
- GAS VALVE
- COMMUNICATION MANHOLE
- FIBER OPTIC MANHOLE
- FIBER OPTIC VAULT
- FENCE POST
- CONCRETE BOLLARD
- SIGN
- T-POST
- UNKNOWN MANHOLE
- UNKNOWN LID
- MONITORING WELL
- STEAM MANHOLE
- STEAM METER
- STEAM VAULT
- CONIFEROUS TREE
- DECIDUOUS TREE
- M MEASURED PLATTED RECORD
- P RECORD
- R RECORD
- FRB FOUND REBAR
- SRB SET REBAR
- FIP FOUND IRON PIPE
- FRS FOUND RAILROAD SPIKE
- FMAG FOUND MAG NAIL
- SMAG SET MAG NAIL
- B/C BUILDING CORNER
- FND FOUND
- POD POSSIBLE DEED OVERLAP
- PDG POSSIBLE DEED GAP
- BG BELOW GRADE
- AG ABOVE GRADE
- OHW
- S
- G
- E
- C
- W
- ST
- X

BASIS OF BEARINGS:  
INDIANA STATE PLANE, WEST ZONE  
VERTICAL DATUM: NAVD 88



**LEGAL DESCRIPTION**

**GENERAL NOTES**

- 1) BASED UPON A SCALED INTERPRETATION OF THE FLOOD INSURANCE RATE MAP (18105C0141D) FOR MONROE COUNTY, INDIANA, DATED DECEMBER 17, 2010, THE SUBJECT PROPERTY IS LOCATED WITHIN (UNSHADED) ZONE X.
- 2) UNDERGROUND UTILITIES WERE LOCATED FROM ABOVE GROUND OBSERVATIONS ONLY AND SHOULD NOT BE CONSIDERED COMPLETE.
- 3) THE SUBJECT PROPERTY CONTAINS 11 MARKED PARKING SPACES AND 0 HANDICAPPED SPACES.
- 4) ALL MONUMENTS FOUND IN PERFORMANCE OF THIS SURVEY WERE FOUND FLUSH WITH THE EXISTING GROUND UNLESS OTHERWISE NOTED, AND THE AGE AND ORIGIN OF SAID FOUND MONUMENTS ARE UNKNOWN UNLESS OTHERWISE NOTED.
- 5) ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE LABELED.
- 6) REFERENCE IS MADE TO THE FOLLOWING SURVEYS OR PLATS.

**SCHEDULE B SURVEY ITEMS**

THIS SURVEY WAS PREPARED UTILIZING INFORMATION CONTAINED IN TITLE INSURANCE COMPANY TITLE FILE NO. , DATED 2019.

**SURVEYOR'S REPORT**

JOB NUMBER: 5849  
TYPE OF SURVEY: RETRACEMENT SURVEY MEETING THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS  
CLASS OF SURVEY: URBAN SURVEY (885 IAC 1-12)  
FIELD WORK COMPLETED: FEBRUARY 19, 2019  
LOCATION OF SURVEY: 300 W 6TH ST, BLOOMINGTON, INDIANA

IN ACCORDANCE WITH TITLE 885, ARTICLE 1, CHAPTER 12 (RULE 12) OF THE INDIANA ADMINISTRATIVE CODE (IAC), THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE UNCERTAINTY IN THE POSITION OF THE LINES AND CORNERS ESTABLISHED AND/OR REESTABLISHED ON THIS SURVEY AS A RESULT OF:

- 1) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS;
  - 2) CLARITY AND/OR AMBIGUITY OF THE RECORD DESCRIPTION(S) USED AND/OR THE ADJOINER'S DESCRIPTIONS; AND
  - 3) OCCUPATION OR POSSESSION LINES.
- MEASUREMENTS (RELATIVE POSITIONAL ACCURACY)

- NOTE: THERE MAY EXIST UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES.
- 1) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS  
MONUMENTS USED IN PERFORMANCE OF THIS SURVEY ARE LABELED HEREON, UP TO 0.5 FEET OF UNCERTAINTY.
  - 2) CLARITY AND/OR AMBIGUITY OF THE RECORD DESCRIPTION(S)  
NONE.
  - 3) OCCUPATION OR POSSESSION LINES  
POSSESSION LINES AT THE TIME OF THE SURVEY ARE LABELED HEREON, UP TO 5.9 FEET OF UNCERTAINTY.
  - 4) MEASUREMENTS (RELATIVE POSITIONAL ACCURACY)  
URBAN SURVEY (+/- 0.07 FOOT PLUS 50 PARTS PER MILLION) AS DEFINED IN 885 IAC 1-12, EFFECTIVE MAY 4, 2005.

**SURVEYOR'S CERTIFICATE**

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 7(a)(1), 8, 9, 11 AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 19, 2019.

THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 885 IAC 1.12 FOR THE STATE OF INDIANA.

DATED FEBRUARY 20, 2019

TODD M. BORGMAN  
REGISTERED LAND SURVEYOR NO. 21200021  
STATE OF INDIANA

I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW. (TODD BORGMAN)

Smith Brehob & Associates, Inc.  
453 S. Clantz Boulevard  
Bloomington, Indiana, 47401  
P: (812) 338-6836  
W: <http://smibhob.com>

SCALE: 1"=20'

JOB TITLE:  
**ALTA/NSPS SURVEY**  
**300 W 6TH STREET**  
**BLOOMINGTON, INDIANA**  
**SEC 33-T9N-R1W**

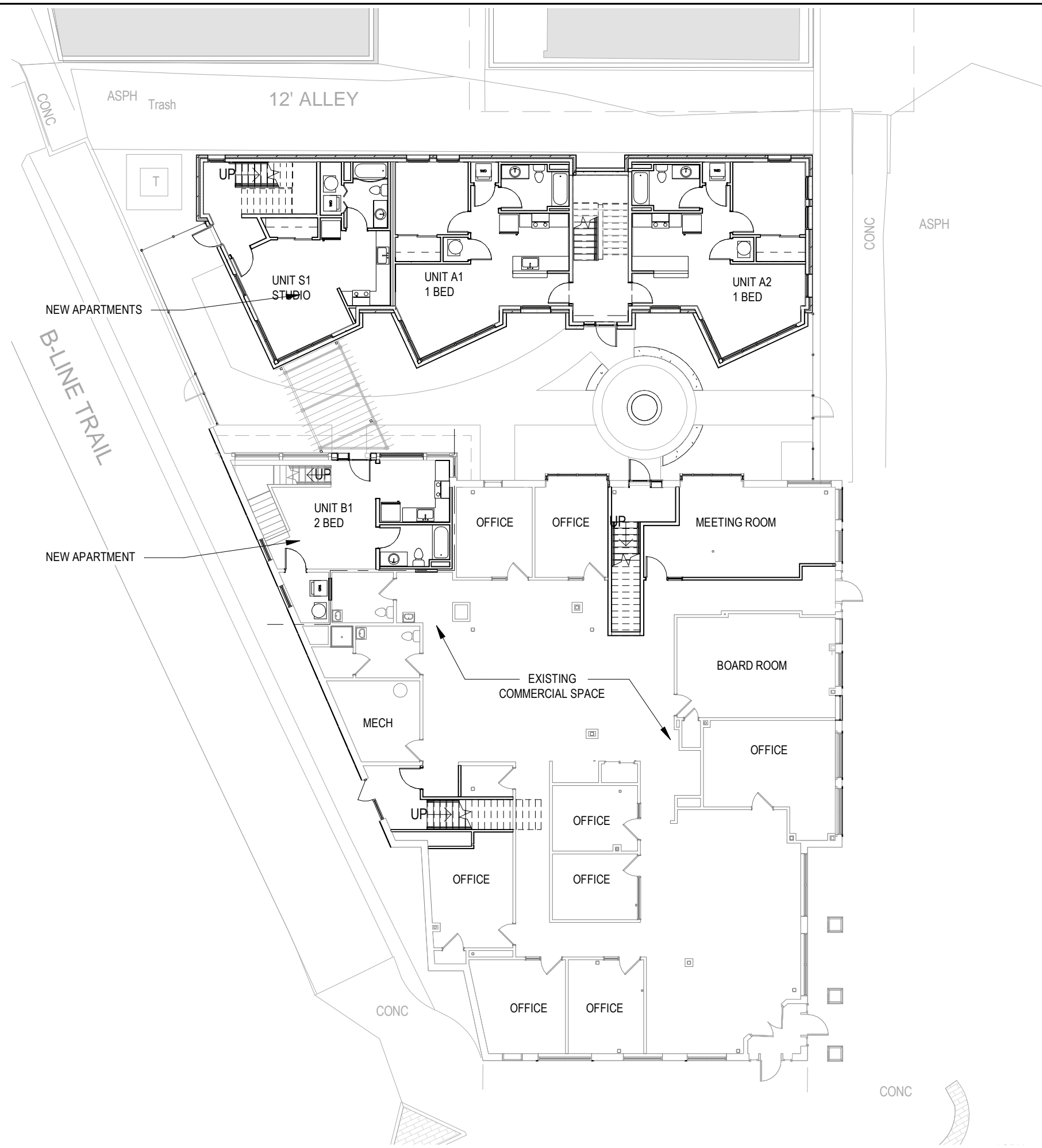
REVISIONS	BY	DATE

PREPARED BY: SPP  
CHECKED BY: SPP  
DRAWN BY: TMB

JOB NUMBER:  
**5849**  
SHEET  
**1 OF 1**  
DATE:  
2/20/19  
ALTA/NSPS SURVEY

J:\5849\_Hays Market Site\graphics\V.JPG





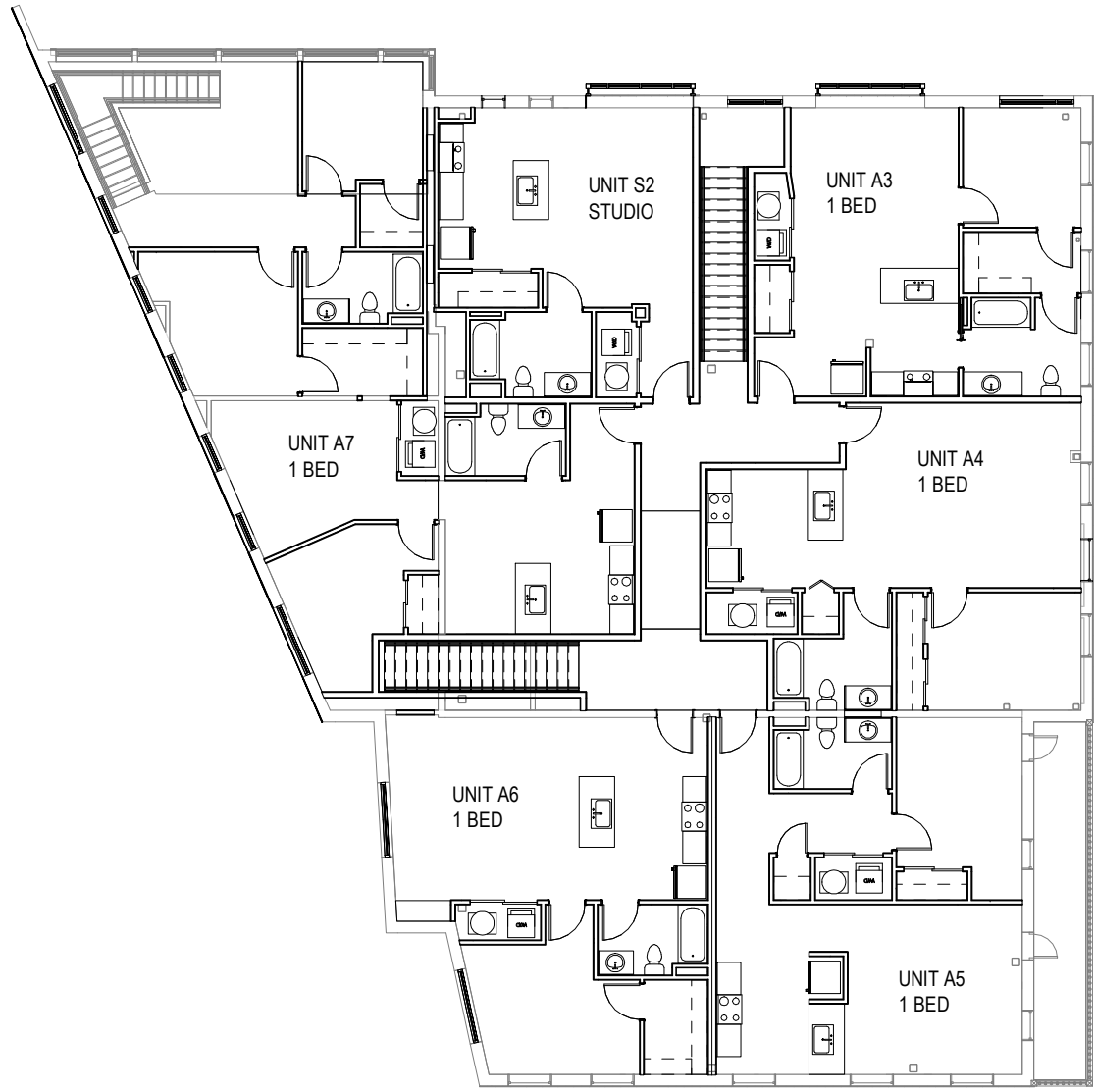
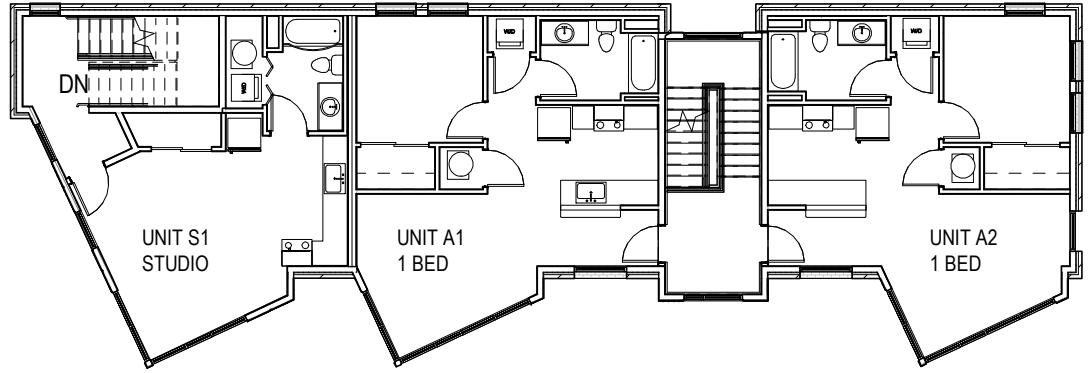
GROSS AREA	
COMMERCIAL=	5,284 SF
APARTMENT=	10,829 SF
TOTAL=	16,113 SF



PROJECT NO. <b>19010</b>	SHEET NUMBER <b>A1</b>
	SHEET DESCRIPTION <b>LEVEL 1 FLOOR PLAN</b>
DATE <b>06/14/19</b>	

**HAYS MARKET**





# HAYS MARKET

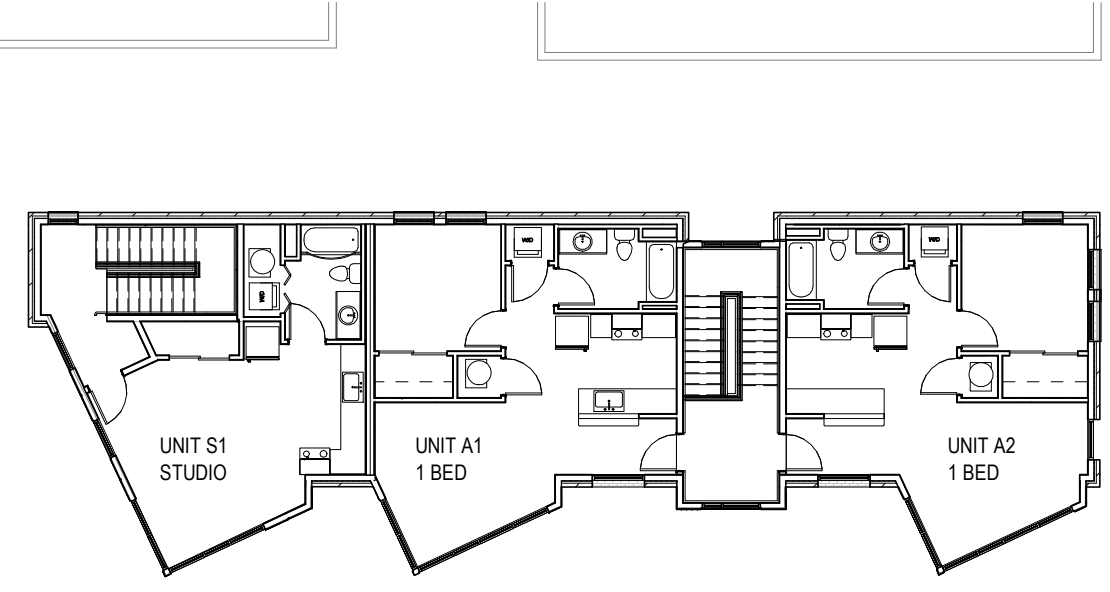
PROJECT NO.  
19010

DATE  
06/14/19

SHEET DESCRIPTION  
LEVEL 2 FLOOR PLAN

SHEET NUMBER  
A2





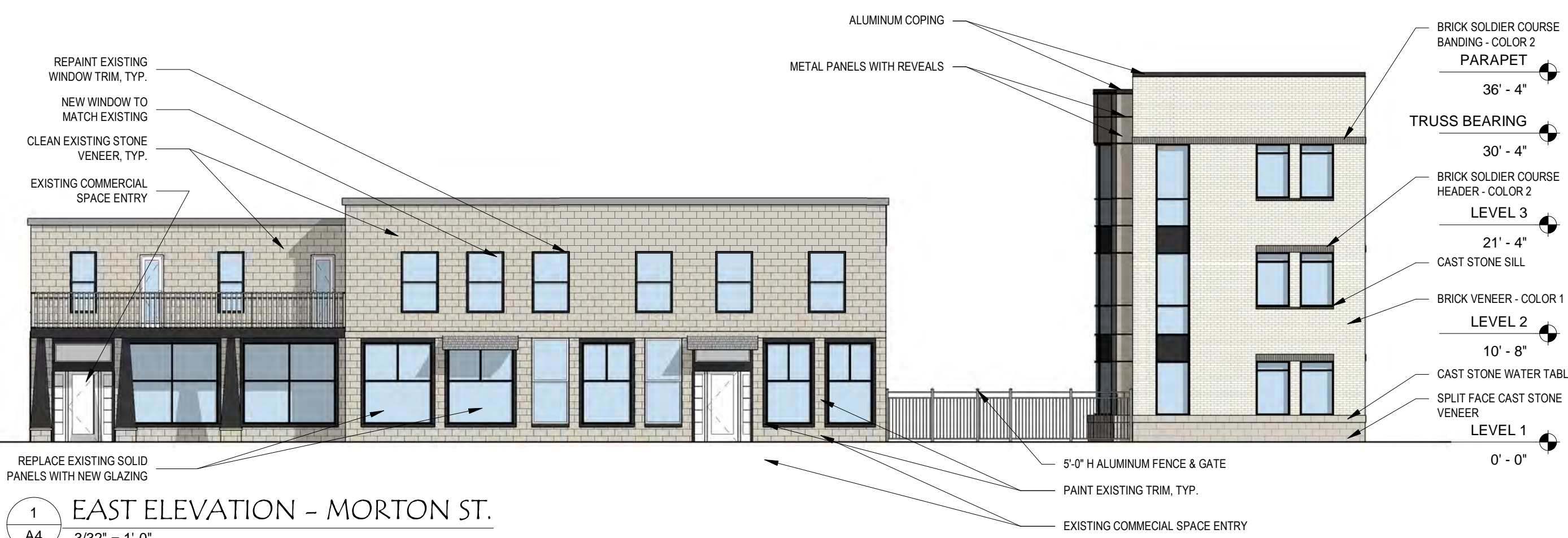
**HAYS MARKET**

PROJECT NO. <b>19010</b>	DATE <b>06/14/19</b>
-----------------------------	-------------------------

SHEET DESCRIPTION <b>LEVEL 3 FLOOR PLAN</b>
--

SHEET NUMBER <b>A3</b>
---------------------------





1 EAST ELEVATION - MORTON ST.  
 A4 3/32" = 1'-0"

SHEET NUMBER		A4	
SHEET DESCRIPTION		ELEVATIONS	
PROJECT NO.	19010	DATE	06/14/19



EXISTING PHOTOS

HAYS MARKET







1 SOUTH ELEVATION - 6TH STREET  
 A5 3/32" = 1'-0"



EXISTING PHOTO

SHEET NUMBER

A5

SHEET DESCRIPTION  
 ELEVATIONS

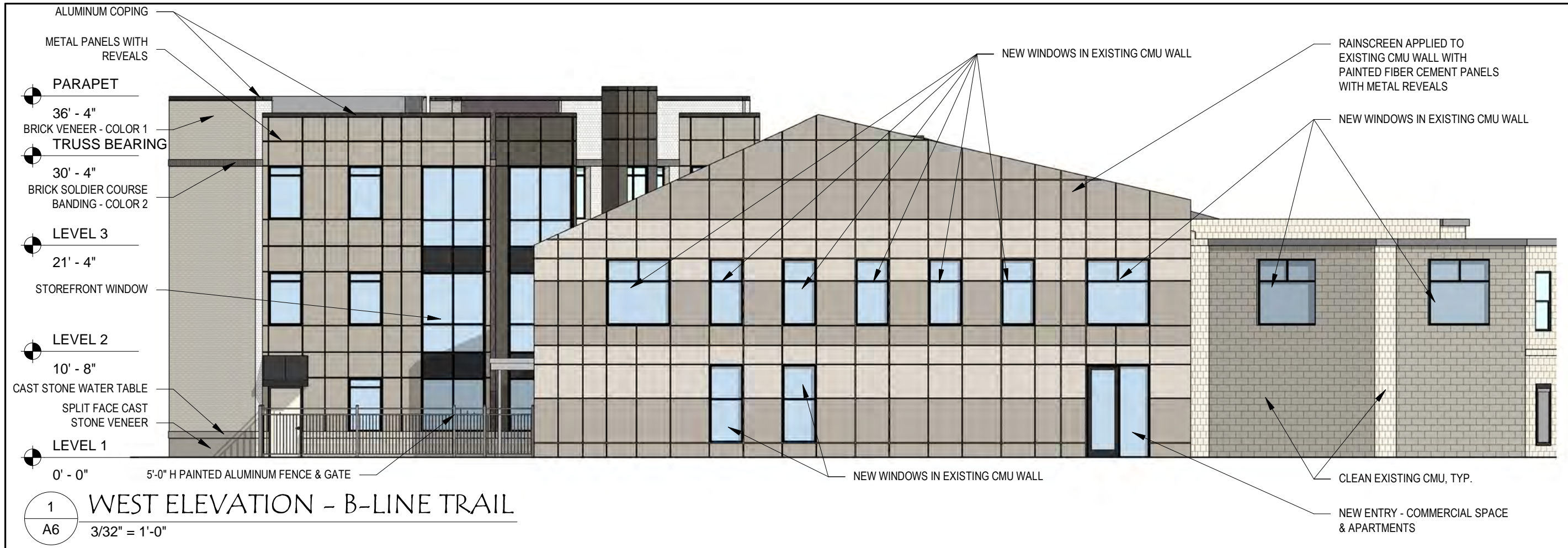
PROJECT NO.  
 19010

DATE  
 06/14/19

HAYS MARKET

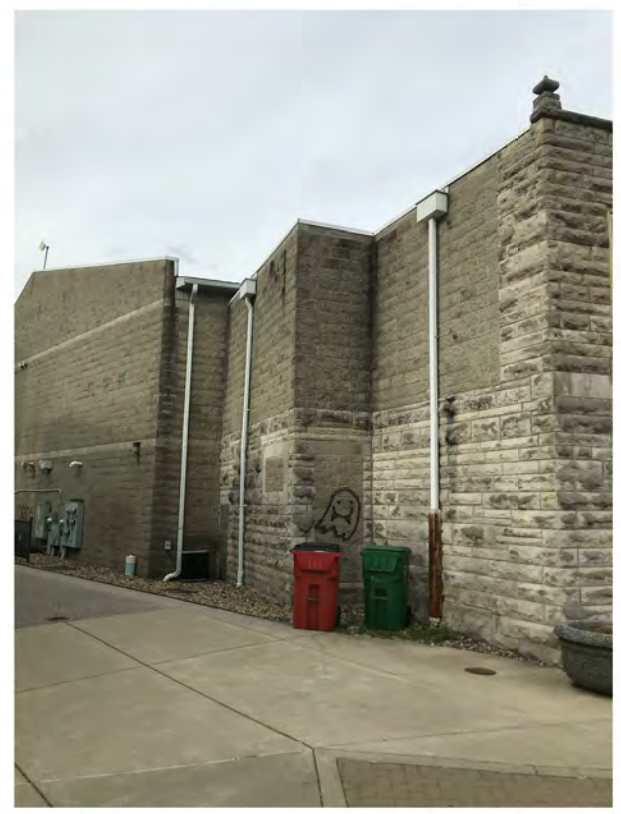






1 WEST ELEVATION - B-LINE TRAIL  
 A6 3/32" = 1'-0"

SHEET NUMBER <b>A6</b>	
SHEET DESCRIPTION <b>ELEVATIONS</b>	
PROJECT NO. <b>19010</b>	DATE <b>06/14/19</b>



EXISTING PHOTOS

HAYS MARKET

**STUDIO  
THREE  
DESIGN**



REMOVE METAL SHINGLES,  
INFILL LIMESTONE VENEER  
IN AREAS OF DEMOLITION,  
& NEW METAL PANEL TO  
MATCH METAL PANEL IN  
STOREFRONT BELOW.

CLEAN EXISTING STONE  
VENEER, TYP.

NEW WINDOWS

NEW STOREFRONT  
WINDOWS PANELS

REPLACE EXISTING  
SOLID PANEL WINDOW  
WITH NEW GLAZING.

NEW APARTMENT ENTRY

NEW WINDOW TO MATCH  
EXISTING WINDOW

REPAINT EXISTING  
WINDOW TRIM, TYP.

PAINT EXISTING TRIM, TYP.

NEW PAINTED WOOD TRELLIS

NEW APARTMENT ENTRY



1 NORTH ELEVATION - COURTYARD  
A7 3/32" = 1'-0"

SHEET NUMBER <b>A7</b>	
SHEET DESCRIPTION <b>ELEVATIONS</b>	
PROJECT NO. <b>19010</b>	DATE <b>06/14/19</b>

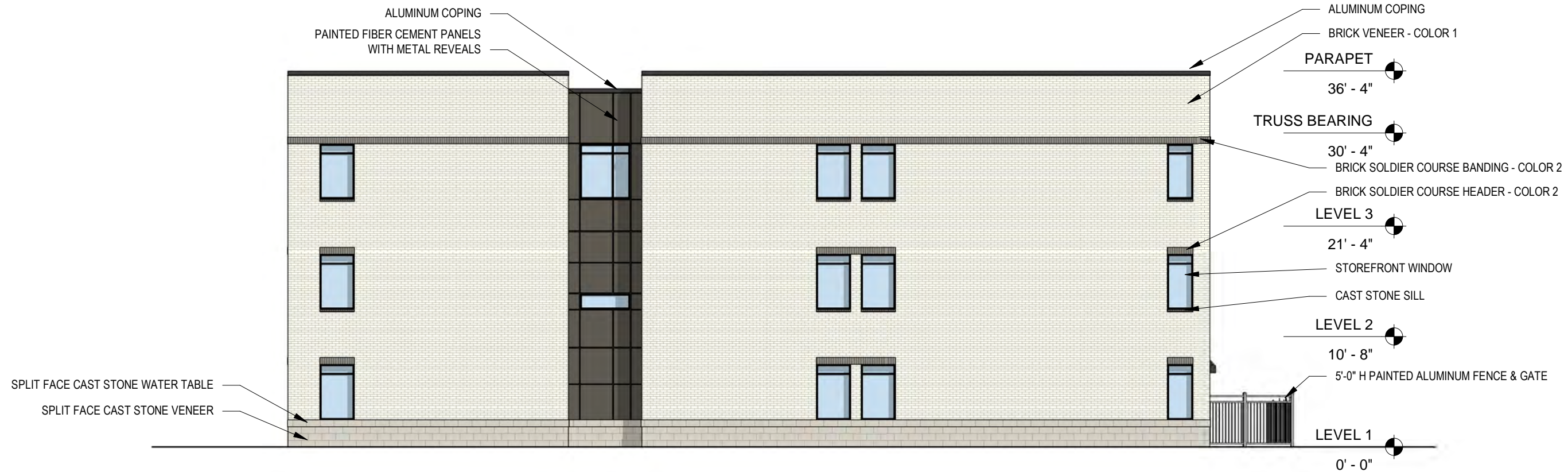


EXISTING PHOTOS

HAYS MARKET







2 NORTH ELEVATION - ALLEY  
A8 3/32" = 1'-0"



1 SOUTH ELEVATION - COURTYARD  
A8 3/32" = 1'-0"

SHEET NUMBER

A8

SHEET DESCRIPTION  
ELEVATIONS

PROJECT NO.

19010

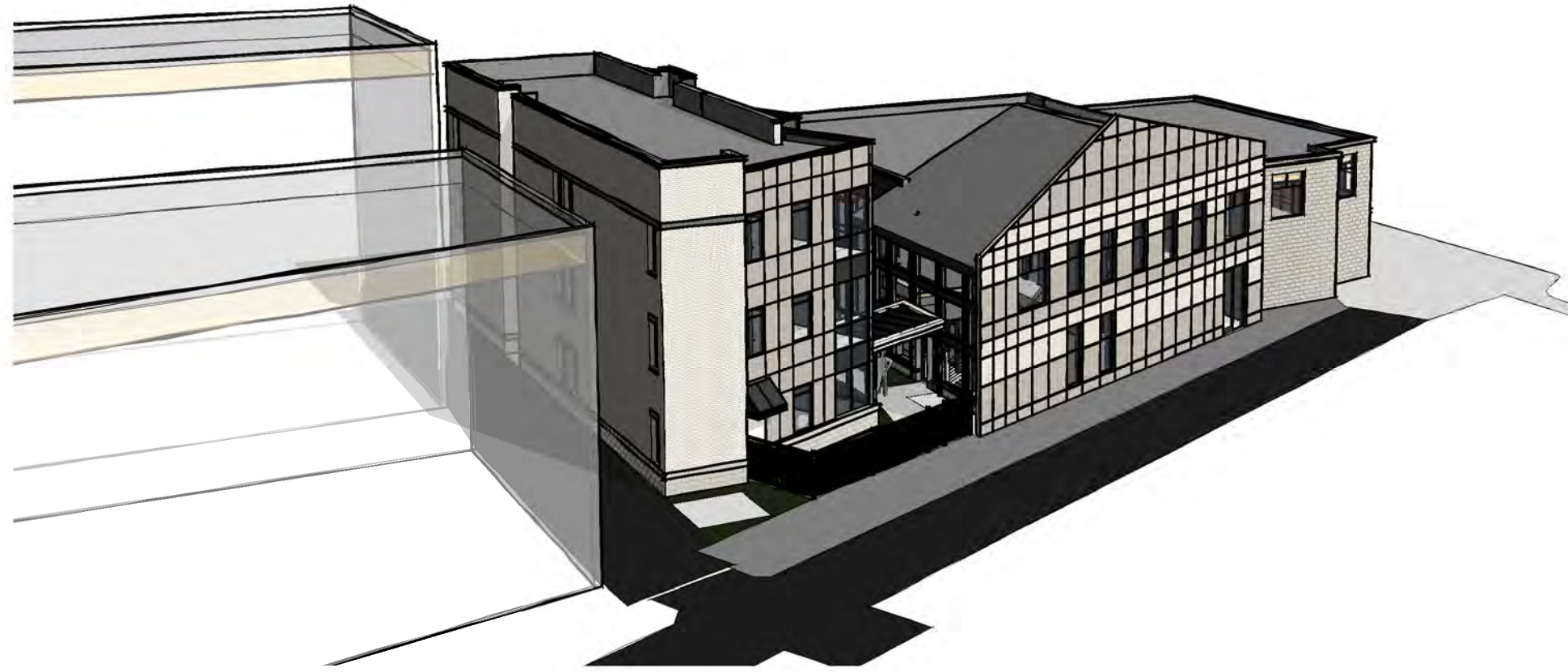
DATE

06/14/19

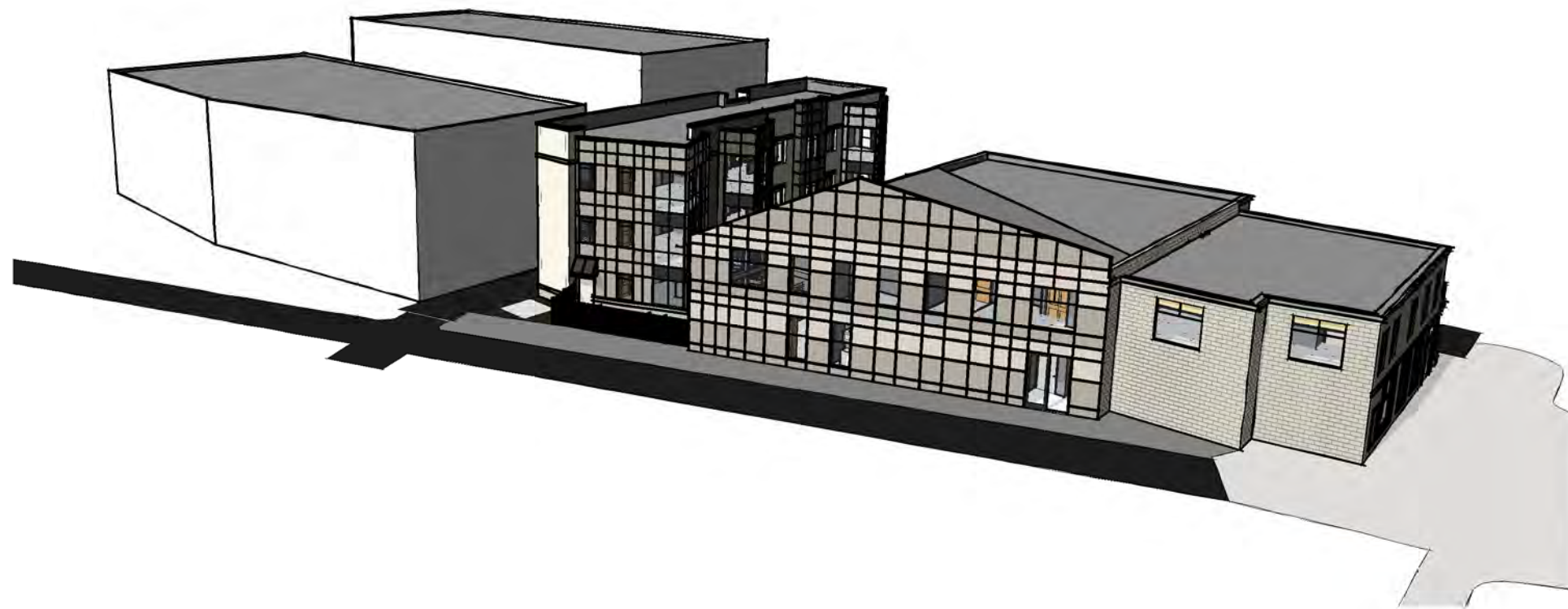
HAYS MARKET







AERIAL - NW VIEW



AERIAL - SW VIEW

SHEET NUMBER

A9

SHEET  
DESCRIPTION  
3D VIEWS

PROJECT NO.  
19010

DATE  
06/14/19

HAYS MARKET







AERIAL - SE VIEW



AERIAL - COURTYARD VIEW

SHEET NUMBER

A10

SHEET DESCRIPTION

3D VIEWS

PROJECT NO.

19010

DATE

06/14/19

HAYS MARKET







COURTYARD VIEW





COURTYARD VIEW FROM B LINE



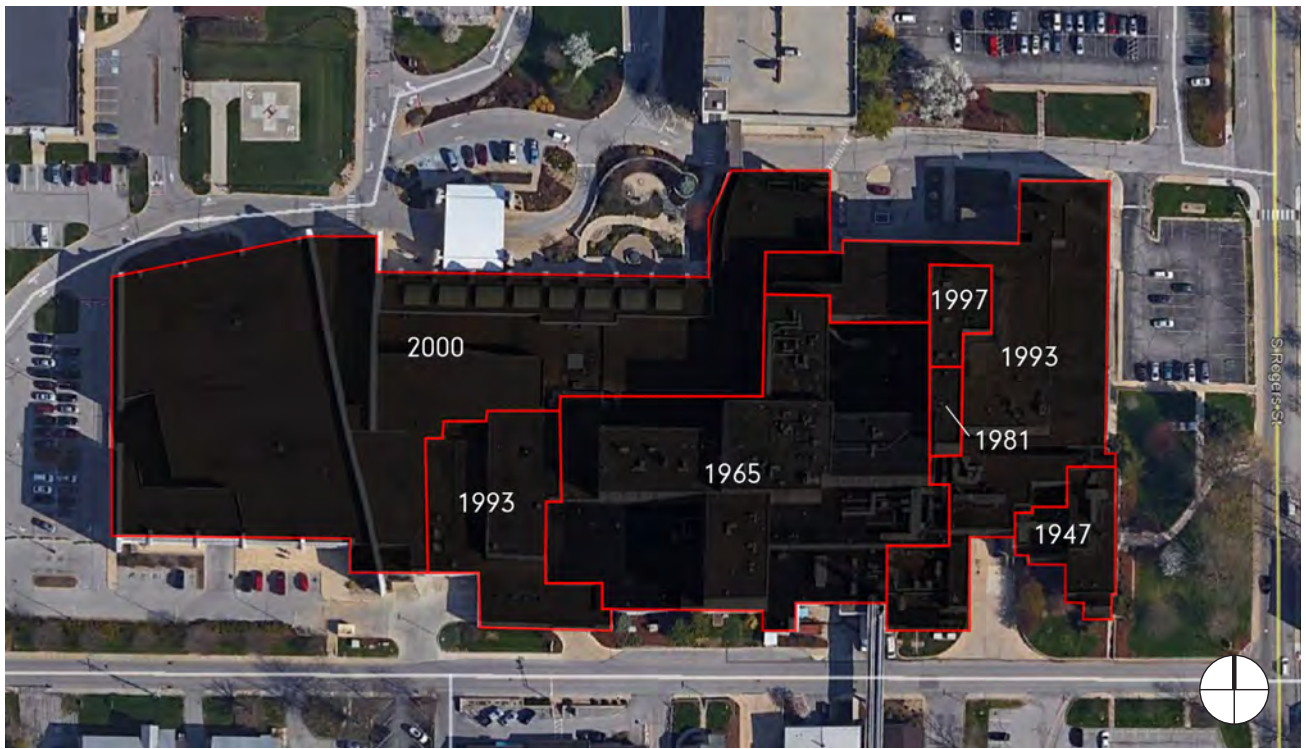


# IU HEALTH BLOOMINGTON HOSPITAL

## HISTORIC RESOURCE ASSESSMENT







Google Aerial 2018 showing dates of construction



# INTRODUCTION

## Background

RATIO prepared a Historic Resource Assessment to understand if IU Health Bloomington Hospital, or portions of Bloomington Hospital, retain architectural or historical significance.

## Methodology

RATIO conducted one site visit to the building to assess existing features, materials, and conditions. RATIO conducted research in the Monroe County History Center and using other outside sources to understand the chronological development of the building and its context. RATIO assessed the architectural and historical significance of the building and its character-defining features.





1947 wing, looking northwest (Monroe County History Center)



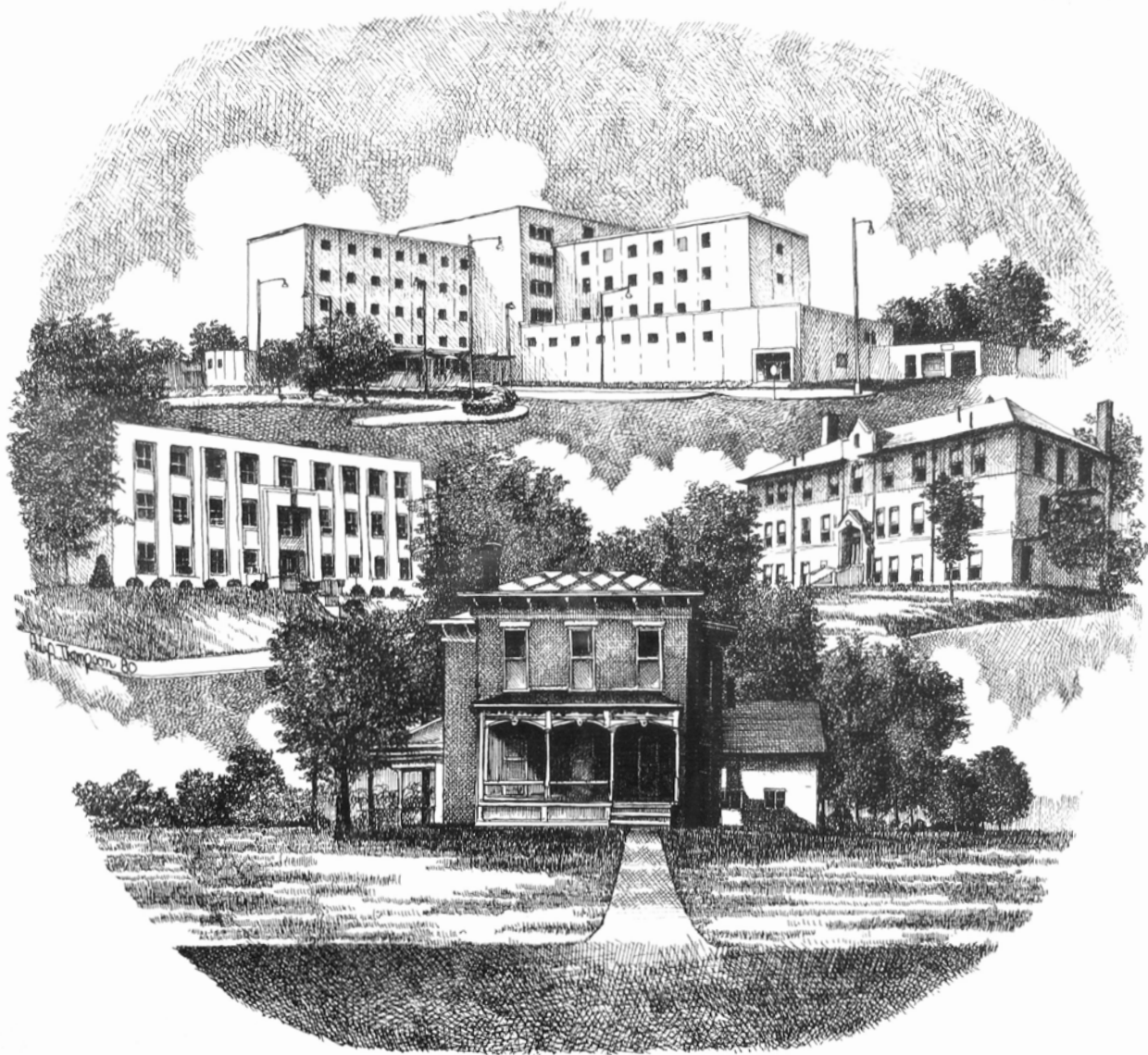
1947 wing, looking northwest, 2018



# EXECUTIVE SUMMARY

The current site for IU Health Bloomington Hospital, located at the northwest quadrant of the intersection of Rogers Street and 1<sup>st</sup> Street, has a long history of serving the community's health care needs. Though rich in history, the existing state of the hospital consists of mostly modern additions and alterations that have disrupted the integrity of the remaining historic structures. The only portion that retains integrity and architectural significance is the 1947 wing, now called the Kohr Building. Designed by the prominent Indianapolis architecture firm of McGuire & Shook, known for their hospital and school designs in the early and mid-twentieth century, the 1947 wing maintains a high degree of integrity on its exterior and a low to moderate degree of integrity on its interior. The building is not currently listed in the National Register of Historic Places or the Indiana Register of Historic Sites & Structures. It is not within a local historic district or local conservation district under the jurisdiction of the Bloomington Historic Preservation Commission.





Sketch created for 75th anniversary of Bloomington hospital in 1980, Hopewell House occupied by the hospital in 1905 (bottom center), 1919 wing (center right), 1947 wing (center left), 1965 wing (top center)



# HISTORY

An understanding of Bloomington Hospital's history and context is necessary to evaluate its significance. The following section outlines the chronology of development of the surrounding area and the hospital complex.

## Early History & Site Context

Like much of Indiana, the Miami tribe occupied what is present-day Monroe County, though other peoples including the Delaware, Piankeshaw, and Pecankeesaw were known to have been in the areas as well. Most of the county's land was ceded to the United States through the Treaty of St. Mary's, Ohio in 1818. The Indiana General Assembly created Monroe County in 1818, and the county seat of Bloomington was laid out that same year. In 1820, the Indiana State Seminary was established by the state government. The seminary was renamed Indiana College in 1829 and became Indiana University in 1839.

On March 5, 1827, the town of Bloomington was officially incorporated. The farming community grew quickly, having increased to a population of over 700 by 1830. This year also marked the organization of Perry Township, which included land that would become the site of the Bloomington. The arrival of Bloomington's first railroad connection in the 1850s and the growth of Indiana University contributed to steady population growth after the Civil War. Bloomington's population exceeded 6,000 by 1900, 10,000 by 1920, 20,000 by 1940, and 31,000 by 1960. The city now has more than 80,000 residents.

## Bloomington Hospital

Bloomington Hospital began as an initiative by of the Local Council of Women in 1904. This group, consisting of female leaders of clubs and organizations from across the community, had been discussing the creation of a local hospital for months, visiting peer communities like Crawfordsville to assess the feasibility of the project. The death of a young man who was hit by a train in October 1904 initiated the planning and fundraising for the Bloomington Hospital. A committee was formed consisting of one member from each club involved in the Council of Women, three "associate members," and six men from the community. The committee narrowed their site search to three properties: a plot of land owned by the Hopewell family, a site in the northern portion of the county, and an area to the east referred to as Dunn Meadows. Though \$2,000 more expensive than the other sites, the committee selected the Hopewell property on the corner of Rogers and First streets as the location of their new hospital. The Local Council of Women raised \$2,500 to be put towards the \$6,000 purchase of the site after which the name "Bloomington Hospital" was chosen and still used to this day.<sup>1</sup>

### HOPEWELL HOUSE 1905

The Hopewell property purchased by the committee was a small plot of land, just over four acres, containing a two-story brick Italianate house and barn. The ten-room c.1880 house was remodeled with \$3,000 raised by the Local Council of Women to become suitable for use as a hospital. This included the division of two second floor bedrooms into five private rooms and the addition of a ward to the back with three additional beds. A third upstairs bedroom was converted into an operating room. The first floor held a reception room, office, one private room, and a three-bed charity ward. Soon after opening on November 29, 1905, it became clear that access to the operating room on the second floor posed a

---

<sup>1</sup> Bea Snoddy, "Bloomington Hospital," 1964, accessed 13 August 2018, Monroe County History Center, Bloomington, Indiana, 1-4.





Hopewell House Bloomington Hospital, 1907 (IU Libraries)



1919 wing, looking southwest, c.1919 (IU Libraries)



challenge. The back stair was then remodeled so stretchers could more easily access the upper level, though it still required several people to maneuver patients up the narrow stairs. Though the original remodeling allowed all the staff to be housed within the hospital, an increasing number of patients led to the remodeling of the adjacent barn into the “Nurses’ Home” which acted as a space on site for nurses and doctors to rest without risk of being forced out of their bed for a new patient. Renovations of the hospital and Nurses’ Home were completed in 1910 for \$1,000 and included a new bathroom, closet, finishes, and general maintenance. Having paid off all their debts on the seventeen-bed hospital, the Local Council of Women began making plans for a new expansion to accommodate the growing community.<sup>2</sup>

## **1919 WING**

After Bloomington Hospital had operated for eleven years with only minor alterations to the existing Hopewell House, the Local Council of Women decided to begin a campaign for a new hospital on the same site. Architect Alfred Grindle of Indianapolis was hired to design the new hospital addition in 1917. Grindle suffered from health problems and moved from Indianapolis to Brown County in 1918. The Local Council of Women used his design to raise funds for the new building, promoting the new hospital as a war measure. The three-story building was completed for a total of \$60,000. Though the Local Council of Women had planned on selling Liberty Bonds to cover the costs of building, the bond issue was initially denied by the State Tax Board. Upon this decision, the Governor called for a special session of the Legislature and passed an act that transferred bond issuing responsibilities from the State Board of Tax Commissioners to individual counties. The county then approved the bonds and the Local Council of Women were able to receive the funds to complete the hospital.<sup>3</sup>

The new limestone building would hold thirty-five beds compared to the Hopewell House’s seventeen. Construction of the new building was completed in 1919 and the Hopewell House was converted into nurses’ quarters.<sup>4</sup> While this new building was able to fulfill the needs of Monroe and surrounding counties for a short time, a concern for the health of soldiers returning from World War II, advancements in medical technology, and a growing population in Bloomington led to plans for a third hospital building.

## **1945-1947 WING (KOHR BUILDING)**

Organized by the Local Council of Women, the building campaign for a limestone addition on the east side of the 1919 building began as early as 1943. The existing twenty-four-year-old building was inadequate to meet patient demand and did not meet the expectations of the American Hospital Association, which stated that a hospital was to have five beds per 1,000 population.<sup>5</sup> With World War II underway, representatives of the hospital were aware that returning soldiers would need medical care, both temporary and long term. A new hospital also presented the opportunity to provide more local services, from an on-site laboratory to additional x-ray facilities. Funding for the project was accomplished partially by a \$92,750 federal grant that had to be matched by the community.<sup>6</sup> Altogether, \$125,000 was raised

---

<sup>2</sup> Snoddy, 4-8.

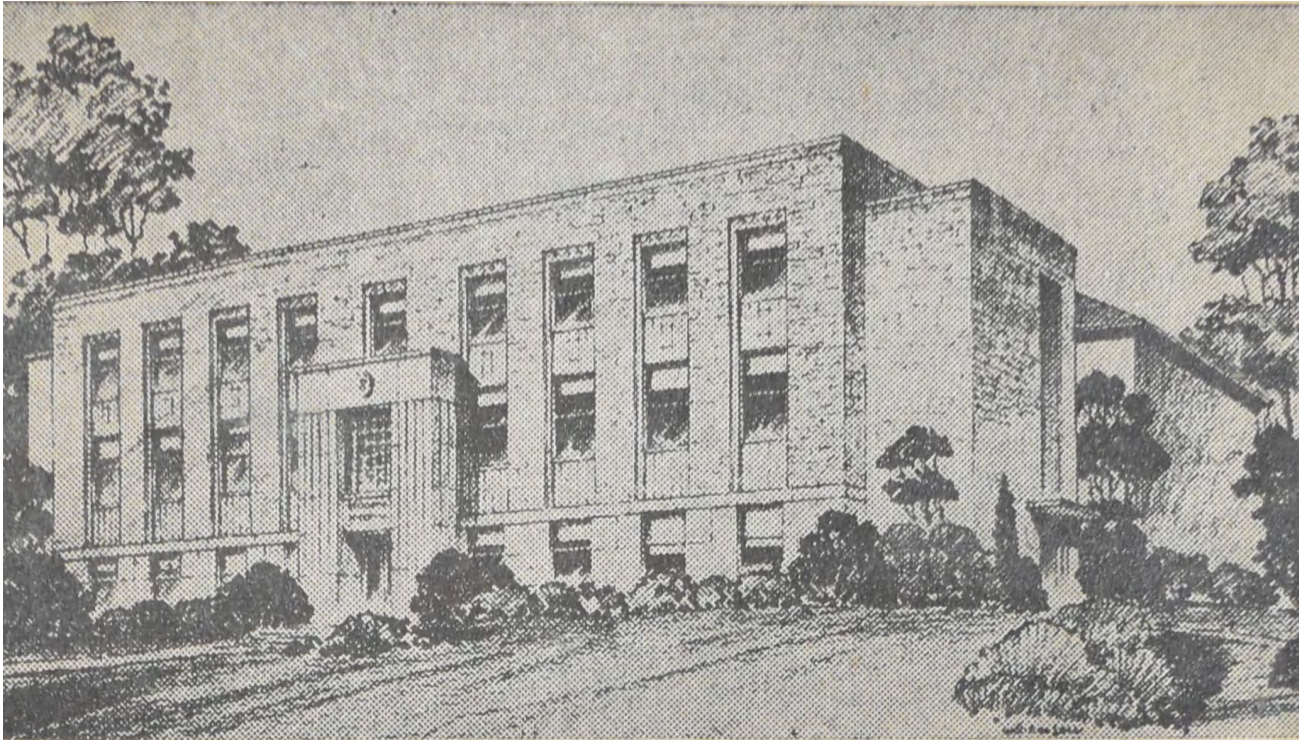
<sup>3</sup> Snoddy, 8-11.

<sup>4</sup> Snoddy, 11.

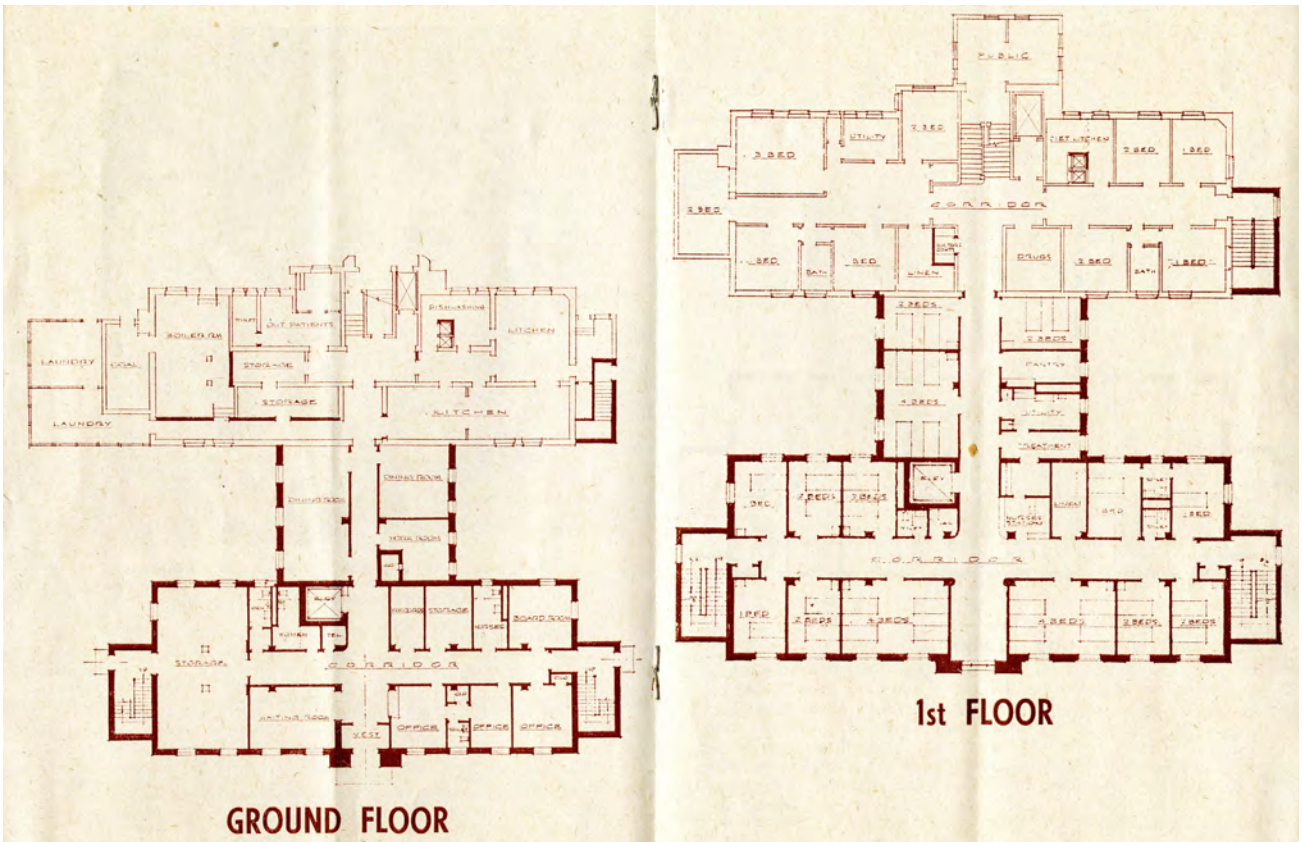
<sup>5</sup> “Enduring Memorials,” 1945, accessed 13 August 2018, Monroe County History Center, Bloomington, Indiana.

<sup>6</sup> “Complete Floor Plans Of The New Improved Bloomington Hospital,” accessed 15 August 2018, Monroe County History Center, Bloomington, Indiana.





Rendering by McGuire & Shook, c.1944 (Monroe County History Center)



1947 addition floor plans, c.1944 (Monroe County History Center)



for the building and construction began in July of 1944.<sup>7</sup> This latest version of Bloomington Hospital was finished in 1947.

McGuire & Shook of Indianapolis were selected as architects of the building. Known at the time for local school and hospital projects, including Tipton County Memorial Hospital and an addition to Bartholomew County Hospital, the firm designed the new building to hold forty new beds and reconfigured the existing 1919 building to house state-of-the-art surgery rooms, radiology center, and other much-needed facilities.<sup>8</sup> The new three-story limestone building connected to the existing building along its central axis by a corridor flanked with rooms, making the new form of the hospital an “H” shape. Additional rooms lined the new main corridor of the first and second floors while the ground level housed storage, offices, and other services. Stair towers flanked the building to the north and south while a new elevator in the center created another point of circulation. The exterior of the building was simple, reflecting a restrained late Art Deco expression with bold massing and strategically-placed stylized ornament. Small Art Deco motifs found under the windows, on the parapet, and at the top of the extruded entry are the only decorative features in the design. While the stair towers are monolithic in nature, a vertical strip of glass block allows light to enter the space.<sup>9</sup>

### **1963-1965 WING**

Continuous growth and evolving medical technology have continued to be the motivation behind Bloomington Hospital’s building expansions. Despite having just completed an addition in 1947, plans for an additional 140 beds and 213,000 square feet of space began in the mid-1950s.<sup>10</sup> A survey was completed in 1958 and over \$1.6 million was raised for the latest addition. Construction on the west expansion started in 1963 with demolition of the Hopewell House where the hospital originated. While the new wing was under construction, it was decided to include two additional floors with the hope of eliminating the need for future expansion. This added \$650,000 to the original cost.<sup>11</sup> The 1919 and 1947 buildings (as a collective, they are often referred to as the East Building) were then remodeled to become a 60-bed convalescent hospital with additional spaces for employees’ and doctors’ lounges, and medical record storage.<sup>12</sup> Soon after the addition’s completion in March 1965, the hospital established one of the state’s first cardiac care units. This and other advancements in the hospital led to a growth in staff by 50 percent from 1967 and 1968.<sup>13</sup>

### **POST 1965 ADDITIONS AND ALTERATIONS**

In 1970, the fourth and fifth floors of the 1965 addition, which had been left unfinished, were built out, bringing Bloomington Hospital’s total bed capacity to 301. Additional service spaces were built on the ground, first, and second floors, including the expansion of laboratories, x-ray, emergency, surgery, dietary, central sterilization, and housekeeping. At this point, only physical therapy, medical education,

---

<sup>7</sup> “Construction Of Bloomington’s Improved Hospital To Start Next Month; Cost \$185,500,” June 1944, accessed 15 August 2018, Monroe County History Center, Bloomington, Indiana.

<sup>8</sup> “Complete Floor Plans Of The New Improved Bloomington Hospital.”

<sup>9</sup> “Looking back, thinking ahead at centennial,” *Bloomington Hospital: 100 Years*, 2005, accessed 15 August 2018, Monroe County History Center, Bloomington, Indiana, 13.

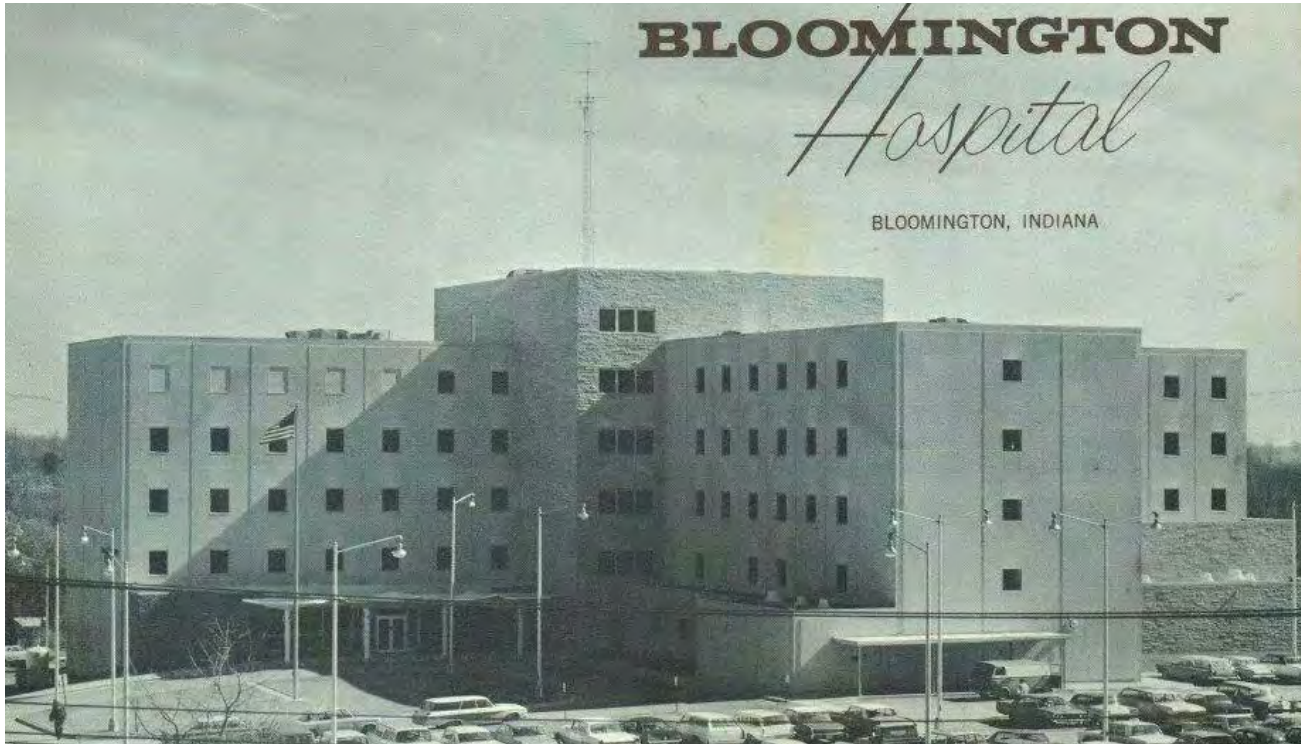
<sup>10</sup> “Looking back, thinking ahead at centennial,” 12.

<sup>11</sup> “Recollections,” *Images: Bloomington Hospital*, Vol III, Issue 4, Winter 1980-81, accessed 15 August 2018, Monroe County History Center, Bloomington, Indiana.

<sup>12</sup> Snoddy, 14.

<sup>13</sup> “Looking back, thinking ahead at centennial,” 12.





c.1965 (Monroe County History Center)



Aerial of Bloomington Hospital, July 1994 (Monroe County History Center)



volunteer services, and a portion of maintenance remained in the 1919 and 1947 buildings. The portions of these buildings that were not used by Bloomington Hospital were remodeled and leased to the Community Mental Health Center as an outpatient clinic. In 1978, the Mental Health Nursing Unit was moved to the third floor of the 1947 building which led to its extensive remodeling.<sup>14</sup>

In the 1980s, a \$24 million expansion and renovation to the hospital began. This includes new facilities for orthopedics, physical therapy, occupational therapy, surgery, critical care, and a new auditorium named to honor benefactor Effie Wegmiller. The 1990s brought an additional expansion to the emergency services department, new laboratory and obstetrics unit, and new facilities for cardiovascular surgery and catheterizations. As a part of these alterations, the 1919 limestone building was demolished. At this time, Bloomington Hospital had become the second largest employer in Monroe County, behind Indiana University. At the turn of the twenty-first century, Bloomington Hospital began another \$30 million expansion project to add a cancer unit and create better access to outpatient and expand the maternity department. Altogether, 100,000 square feet of service space was added, and the same amount renovated.<sup>15</sup>

## **ROLAND E. KOHR**

Roland E. Kohr, also known as “Bud”, was born in 1931 in Middletown, Ohio. He went on to acquire a B.S. degree from the University of Cincinnati as well as a Masters in Hospital Administration with distinction from Northwestern University. After graduating, Kohr served in the U.S. Air Force in the 3585<sup>th</sup> USAF Medical Services Corp. He became CEO of William S. Major Hospital in Shelbyville, Indiana, in 1960. Kohr was named President of the Bloomington Hospital in 1966 and guided the hospital through years of growth.<sup>16</sup> He was an instrumental leader in the multiple building additions constructed during his tenure and created one of the state’s first cardiac care units. By the time of his retirement in 1995, Kohr had received several awards and honors, including being named Fellow in the American College of Health Executives, Chairman of the Board of the Indiana Hospital Association, and recipient of the Distinguished Service Award in 1987. After retiring, Kohr became a visiting professor in Indiana University’s School of Public and Environmental Affairs and founded the Bloomington Hospice House and New Hope Family Shelter. To honor his contributions to Bloomington Hospital and surrounding community, the 1947 building was renamed the Roland E. Kohr Administration Building.<sup>17</sup>

---

<sup>14</sup> “Recollections.”

<sup>15</sup> “Looking back, thinking ahead at centennial,” 12.

<sup>16</sup> “Roland E. Kohr,” *IndyStar*, 11 September 2015, accessed 2 October 2018, <https://www.legacy.com/obituaries/indystar/obituary.aspx?n=roland-e-kohr-bud&pid=175792614>

<sup>17</sup> Lauren Slavin, “Kohr instrumental in expansion of health services in Bloomington,” *HoosierTimes*, 10 September 2015, accessed 2 October 2018, [https://www.hoosiertimes.com/herald\\_times\\_online/news/local/kohr-instrumental-in-expansion-of-health-services-in-bloomington/article\\_3b38b352-4663-54ed-b55c-cfab515fd3bf.html](https://www.hoosiertimes.com/herald_times_online/news/local/kohr-instrumental-in-expansion-of-health-services-in-bloomington/article_3b38b352-4663-54ed-b55c-cfab515fd3bf.html).



# EVALUATION OF SIGNIFICANCE

The Bloomington Hospital contains two wings that are more than 50 years old: the 1947 and 1965 wings. The 1947 wing retains a high degree of exterior integrity and architectural significance. The integrity of the 1965 wing has been compromised by multiple additions and alteration that have obscured or compromised its architectural significance. For these reasons, retention of the 1965 wing is not justified on architectural or historical grounds.

## Period of Significance

The period of significance for the 1947 building is recommended as 1947 to 1965. The building saw no major changes from the time of its construction until the construction of the 1965 addition. For this reason, 1965 is the end of the building's period of significance.

## Areas of Significance

### ARCHITECTURE

The 1947 building of Bloomington Hospital is significant as a notable work by the firm of McGuire & Shook. The firm was established in 1916 by engineer and architect Wilbur Briant Shook (1889-1961), a graduate of Rose Polytechnic (now Rose-Hulman Institute of Technology) in Terre Haute, and William C. McGuire (1888-1960), an engineer from Indianapolis. Their firm designed several buildings across central Indiana including Indiana's State Teachers' Association Building, the Federal Building Annex, Arlington High School, Thomas Carr Howe High School, Tipton County Memorial Hospital, Men's Building No. 2 at Central State Hospital, and an addition to Bartholomew County Hospital. Shook also designed the Shook Fieldhouse at Rose-Hulman, which was demolished in 1997. The firm remains in business as Odle McGuire Shook Inc. Though they completed multiple hospital projects few seem to survive with integrity comparable to that seen at Bloomington Hospital.

Though the building has experienced alterations due to hospital additions and programmatic changes, the exterior's character defining architectural features have been retained. Exterior character-defining features include the overall building massing, fenestration, limestone cladding, Art Deco ornament, glass block windows in the stair towers, limestone retaining walls, front entry steps, historic exterior lampposts, and the mature trees along the Rogers street front of the site. On the interior, the original floor plans have been largely maintained, although historic materials are now concealed by later wall, floor, and ceiling finishes. Historic terrazzo flooring is exposed in the staircases and is believed to be concealed under later carpet finishes in corridors and former patient rooms.

### HEALTH/MEDICINE

The 1947 wing is significant in the area of Health/Medicine for its association with the evolution of the Bloomington Hospital. The period of significance for the building also includes significant advancements of technology in the medical field and their integration into the Bloomington Hospital.



## Character-Defining Features

The 1947 building of Bloomington Hospital retains character-defining features from the period of significance. These features are outlined by location:

- Exterior
  - Massing
  - Art Deco ornaments
  - Front steps
  - Exterior materials
    - Limestone cladding and retaining walls
    - Glass block
  - Fenestration
    - Windows & doors (replacements within the historic openings)
  - Historic lampposts
  - Mature trees along Rogers Street
- Interior
  - General interior layout of rooms and corridors
  - Curved walls
  - Terrazzo in stairwells (and any that may exist under carpet)

## Integrity

Evaluation of the 1947 building's surviving historic fabric dating from the period of significance (1947-1965) considers the seven aspects of integrity identified in the National Register Criteria for Evaluation: location, design, setting, materials, workmanship, feeling, and association. The retention of essential physical features from the period of significance is necessary for the property to have sufficient integrity to convey its significance.

### LOCATION

The building retains a high degree of integrity of location, remaining in its original location and having never been moved.

### DESIGN

The building retains a high degree of integrity to its original design by McGuire & Shook. The replacement of the historic windows and doors has not significantly altered the building's exterior appearance. The interior has retained a moderate level of integrity, with the retention of the historic corridor and room organization. Most changes have been superficial besides the enclosing of spaces on the first floor south of the main entry. The connection to the later additions is only at the basement level and has minimally impacted the exterior and interior layout.

### SETTING

The building retains moderate degree of integrity of setting. The immediate site, including the front lawn along the east façade, retains historic features including limestone retaining walls, lampposts, walkways, and mature trees. The site's wider context has gone through a major evolution since the period of



significance with the demolition and construction of several buildings and other features in the immediate area.

## **MATERIALS**

The building retains a moderate to high degree of integrity of materials. Exterior materials remain intact and in good condition overall. The interior is believed to have had very simple finishes: flat plaster walls and ceiling, terrazzo floors, and minimal trim. Most historic character-defining interior materials have been lost or concealed by alterations to fulfill the needs of the hospital. The terrazzo flooring has been maintained in the stairwells and may still exist under carpet within the rooms and corridors.

## **WORKMANSHIP**

The building retains a moderate to high degree of integrity of workmanship. The exterior limestone masonry, including carved accents, showcases the region's distinctive stone and the workmanship of the craftspeople who built the building.

## **FEELING**

The building retains a moderate degree of integrity of feeling in its present condition. Feeling is an intangible quality of a historic property that evokes the sense and experience of the period of significance. The building's exterior retains a moderate to high degree of integrity of feeling, while the interior retains a moderate degree of integrity of feeling.

## **ASSOCIATION**

The building retains a high degree of integrity of association, remaining directly associated with Bloomington Hospital's operations.

## **Designations**

The building is not currently listed in the National Register of Historic Places or the Indiana Register of Historic Sites & Structures. It has not been identified in the Indiana Historic Sites & Structures Inventory, either in the *City of Bloomington Interim Report* (1986) or in the 2015 resurvey. The property is not within a local historic district or local conservation district under the jurisdiction of the Bloomington Historic Preservation Commission.





**RATIO**

---

101 S. Pennsylvania Street  
Indianapolis, IN 46204

[www.RATIOdesign.com](http://www.RATIOdesign.com)