

# CITY OF BLOOMINGTON



August 21, 2019 @ 2:00 p.m.  
CITY HALL -  
KELLY CONFERENCE ROOM #155

**CITY OF BLOOMINGTON**  
**HEARING OFFICER**  
**August 21, 2019 at 2:00 p.m.**

**\*Kelly Conference Room #155**

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**PETITIONS:**

CU-27-19

**Sonja Johnson and Keith Solberg**

344 S. Rogers St.

Request: Conditional use approval to allow an existing detached accessory structure to be used as an Accessory Dwelling Unit (ADU).

*Case Manager: Ryan Robling*

V-29-19

**Leslie Noggle**

940 N. Jackson St.

Request: Variance from side yard setback standards to allow the construction of a second story addition to an existing home in the Residential Core (RC) zoning district.

*Case Manager: Ryan Robling*

**\*\*Next Meeting: September 4, 2019**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or E-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

**BLOOMINGTON HEARING OFFICER  
STAFF REPORT**

**CASE #: CU-27-19  
DATE: August 21, 2019**

**Location: 344 S Rogers St.**

**PETITIONER: Sonja Johnson and Keith Solberg  
344 S Rogers St., Bloomington, Indiana**

**REQUEST:** The petitioners are requesting conditional use approval to allow an existing detached garage to be converted into Accessory Dwelling Unit (ADU) in the Residential Core (RC) zoning district.

**REPORT:** This 0.22 acre (9,583 sq. ft.) site is located at 344 S Roger Street. The property is zoned Residential Core (RC). Each of surrounding properties are also zoned RC, and are developed with single family residences. The site currently contains one single family residence with a detached garage. The petitioner is requesting conditional use approval in order to remodel the existing detached garage to convert it into an ADU.

The proposed ADU will have a footprint of 411.25 sq. ft., with 312 sq. ft. of habitable space. The current garage is accessed from an improved alley to the north of the property. An existing driveway will remain to provide parking to the property. The current garage does meet the minimum side and rear setback requirements, the proposed conversion into an ADU will not bring the site further out of compliance. No additions are proposed to the existing structure.

**ACCESSORY DWELLING UNIT ISSUES:**

Section 20.05.0333 outlines the particular standards required for Accessory Dwelling Units in single-family residential zoning districts in Bloomington.

The petition meets all of the standards of Section 20.05.0333.

**Setbacks:** The existing structure does not meet required normally required setbacks. 20.05.0333(i)(4)(iv) exempts currently existing single-story detached accessory structures from setback requirements.

Site Standards	Allowed	Proposed
Maximum Number	1 per lot	1
Number of Residents	One Family per lot	One Family or 3 unrelated per lot
Minimum Lot Size	7,200 square feet	9,583 sq. ft.
Proximity	At least 300 feet from approved ADU	No approved ADUs within 300'
Owner Occupancy	Required on Lot	Owner in House

Design Standards	Allowed	Proposed
Maximum Square Footage	440 square feet	312 square feet

Maximum Bedrooms	1	1
<b>Minimum Setbacks</b>		
Front	Same as Dwelling	130 feet
Side	5 feet	0 feet
Rear	10 feet	0 feet
Maximum Height	25 feet	12.77 feet

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## Criteria and Findings for Conditional Use Permits

### 20.05.023 Standards for Conditional Use Permits

No Conditional Use approval shall be granted unless the petitioner shall establish that the standards for the specific Conditional Use are met and that the following general standards are met.

1. *The proposed use and development must be consistent with the Comprehensive Plan and may not interfere with the achievement of the goals and objectives of the Comprehensive Plan;*

**Proposed Finding:** The proposal for an ADU does not interfere with the goals and objectives of the Comprehensive Plan and in fact the Comprehensive Plan specifically supports Accessory Dwelling Units as a way to provide affordable housing options and maintain owner occupied housing in the older neighborhoods by incorporating Accessory Dwelling Units. Policy 5.3.1 encourages opportunities for infill and redevelopment across Bloomington with consideration for increased residential densities through accessory dwelling units. Under Land Development policy guidance the Comprehensive Plan states “Accessory dwelling units for single-family residential uses offer options to consider for affordability, aging in place, and to meet other housing needs.”

2. *The proposed use and development will not create nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights;*

**Proposed Finding:** The existing garage is a typical structure in the RC district, and the proposed conversion into an ADU will maintain much of the exterior including scale and architecture. The use on the site will take place completely indoors and will remain residential. No smoke, odors, vibrations, or objectionable lights are typically associated with a residential use.

3. *The proposed use and development will not have an undue adverse impact upon the adjacent property, the character of the area, or the public health, safety and general welfare;*

**Proposed Finding:** No adverse impacts to the adjacent properties or character of the area will occur as a result of this petition. The overall use of the property will still be a single family residential use. The limits on occupancy for the property minimizes impacts to the adjacent properties. While the ADU will not meet setback

requirements for new ADUs, the structure already exists on the site as a garage and has caused no adverse impacts.

4. *The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, stormwater management structures, and other services, or that the applicant will provide adequately for such services;*

**Proposed Finding:** The site is adequately served by all public utilities. The proposed new structure will utilize an existing driveway cut.

5. *The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets;*

**Proposed Finding:** The limit on occupancy imposed with the ADU standards insures that the maximum occupancy on the property does not exceed that of a typical residential property. No significant amounts of traffic will be generated by the one-bedroom ADU unit.

6. *The proposed use and development will not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance;*

**Proposed Finding:** The ADU will have no significant effect on the natural, scenic, or historic features of the parcel or area. The house is located in the Prospect Hill Local Historic District.

7. *The hours of operation, outside lighting, and trash and waste collection must not pose a hazard, hardship, or nuisance to the neighborhood.*

**Proposed Finding:** The Department does not find any negative impacts to the neighborhood from the proposed ADU operation.

8. *Signage shall be appropriate to both the property under consideration and to the surrounding area. Signage that is out of character, in the Board of Zoning Appeal's determination, shall not be approved.*

**Proposed Finding:** No signage is proposed or allowed for the ADU.

9. *The proposed use and development complies with any additional standards imposed upon the particular use by Chapter 20.05; CU: Conditional Use Standards.*

**Proposed Finding:** There are no other standards applicable to the ADU.

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**RECOMMENDATION:** The Department recommends that the Hearing Officer adopt the proposed findings and approve CU-27-19 with the following conditions:

1. The Conditional Use is approved for the existing structure as submitted in the Monroe County Building Department Application.
2. Petitioner shall record a commitment to satisfy 20.05.0333(I), indicating that the

ADU cannot be sold separately from the primary unit and that the conditional use approval shall only be in effect as long as the owner(s) of record occupies either the house or the ADU as his or her primary residence. If the ADU approval is revoked at any time, the ADU must be removed from the property.

3. Petitioner shall submit a copy of the property tax homestead exemption for the property.



Petitioner's Statement

July 22, 2019

My husband, Keith Solberg, and I have lived at 344 S. Rogers since February of 1985. In 1991 we thoroughly renovated our home. This work included new electrical and HVAC systems, some minor interior reconfiguration of spaces and an addition at the back of the house. Also included in this project was a complete renovation of the garage that is located on the northwest corner of our property and that we hope to convert from its current use -- mostly storage -- to an Accessory Dwelling Unit for our adult granddaughter.

Even though our renovations occurred before the historic preservation guidelines were in effect, both house and garage renovations completely meet the historic guidelines that govern our Prospect Hill Neighborhood today. The project we propose continues to honor these guidelines in that the exterior of the affected building will not be altered in any way. Since the 1991 renovation the only exterior work done on either our home or the garage was the installation of solar panels on two exposures of our roof or simple maintenance -- a repainting and a new roof, some gutter repair.

The proposed re-use of this building will not affect traffic patterns or neighborhood parking (see discussion of parking and traffic at the end of this letter). Because the footprint of the building will not change, no additional ground will be covered and hence there will be no disruption to current drainage patterns.

Our granddaughter currently resides in a home on West Eighth Street. She is a single mother of a ten year old and a fifteen year old. While she has lived on Eighth Street, her children have been in the Fairview/TriNorth/North school district. She and we have been extremely pleased with the education her two are receiving, but her health (especially chronic severe asthma) has made it extremely difficult for her to maintain even the modest home and yard she has occupied. When she began looking at options, we all realized how hard it would be to locate a dwelling for her that she could afford (even with our help) and that would be in the same school district and that would be built and maintained to standards that would not further imperil her health.

At that point, the stars kind of aligned for us all. For the past four and a half years, our other granddaughter and her two small children (three and not quite one when they moved in) have been living with us. Just last week, they moved out and my husband and I have some free space. Together the three of us realized that we could move the big kids into our home, giving each a room, and provide Anna with a nice space as well, all the while being in the same school district.

The garage is a little less than 400 square feet; the renovation we propose will be extremely simple. An enclosed bathroom will have to be created, the concrete floor will have to be covered in some way, and the garage doors will have to be permanently closed and insulated.



However, even here, the windows in the garage doors will be maintained since they are crucial to the exterior appearance of the building. Aside from these changes, the space will remain completely open. The electrical service to the building may have to be upgraded and a heating system installed. It remains a possibility that the gas line may need to be extended.

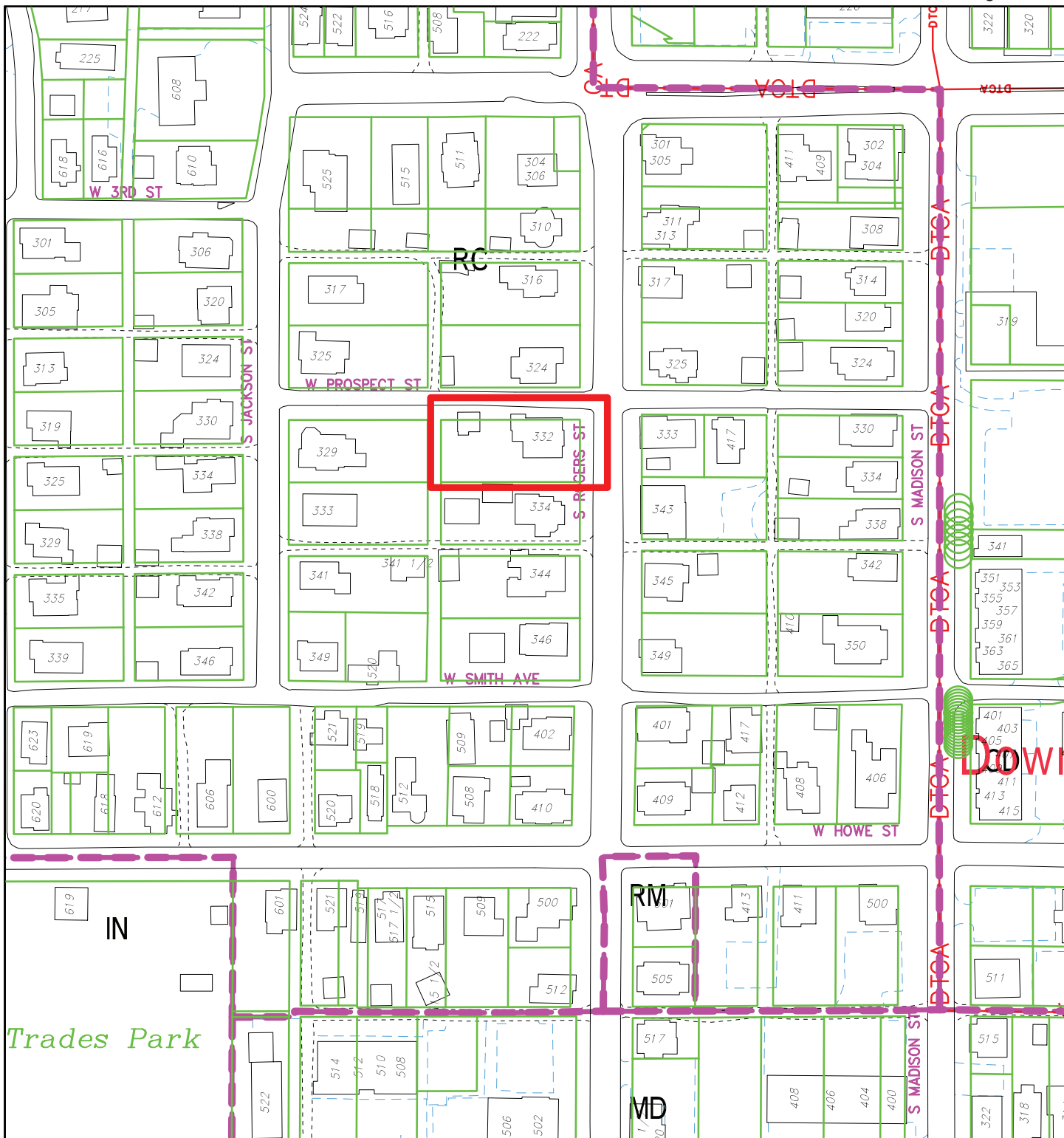
The garage has parking for two in front of it. At this time our granddaughter does not have a car, but, since we have only one, parking will be sufficient even if her situation changes. Both house and garage are located on an east west alley between Prospect St. and Smith Avenue. This alley provides access to the parking area. Our granddaughter will share use of the recycling and trash containers we use.

Interestingly, the property immediately to the west of us has a situation somewhat similar to what we propose -- a house fronting on Jackson Street with a smaller garage-like building in back of it which has been an "Accessory Dwelling Unit" since before we moved here, perhaps before there even were Accessory Dwelling Units! Also, owners of a new home around the corner from us on Howe Street have just received permission to build a completely new ADU at the back of their property. So the idea of a smaller dwelling behind a primary residence is not unusual for our neighborhood. We believe that our project falls well within the guidelines of the Growth Policies Plan.

Thank you,

Sonja Johnson and Keith Solberg





CU-27-19 Sonja Johnson and Keith Soldberg

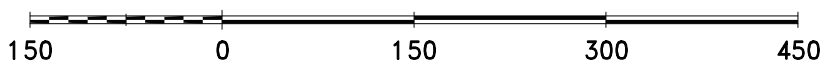
344 S. Rogers St.

Hearing Officer

Site Location, Zoning, Parcels

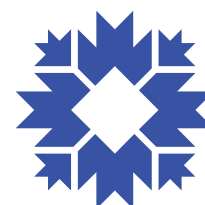
By: roblinger

16 Aug 19

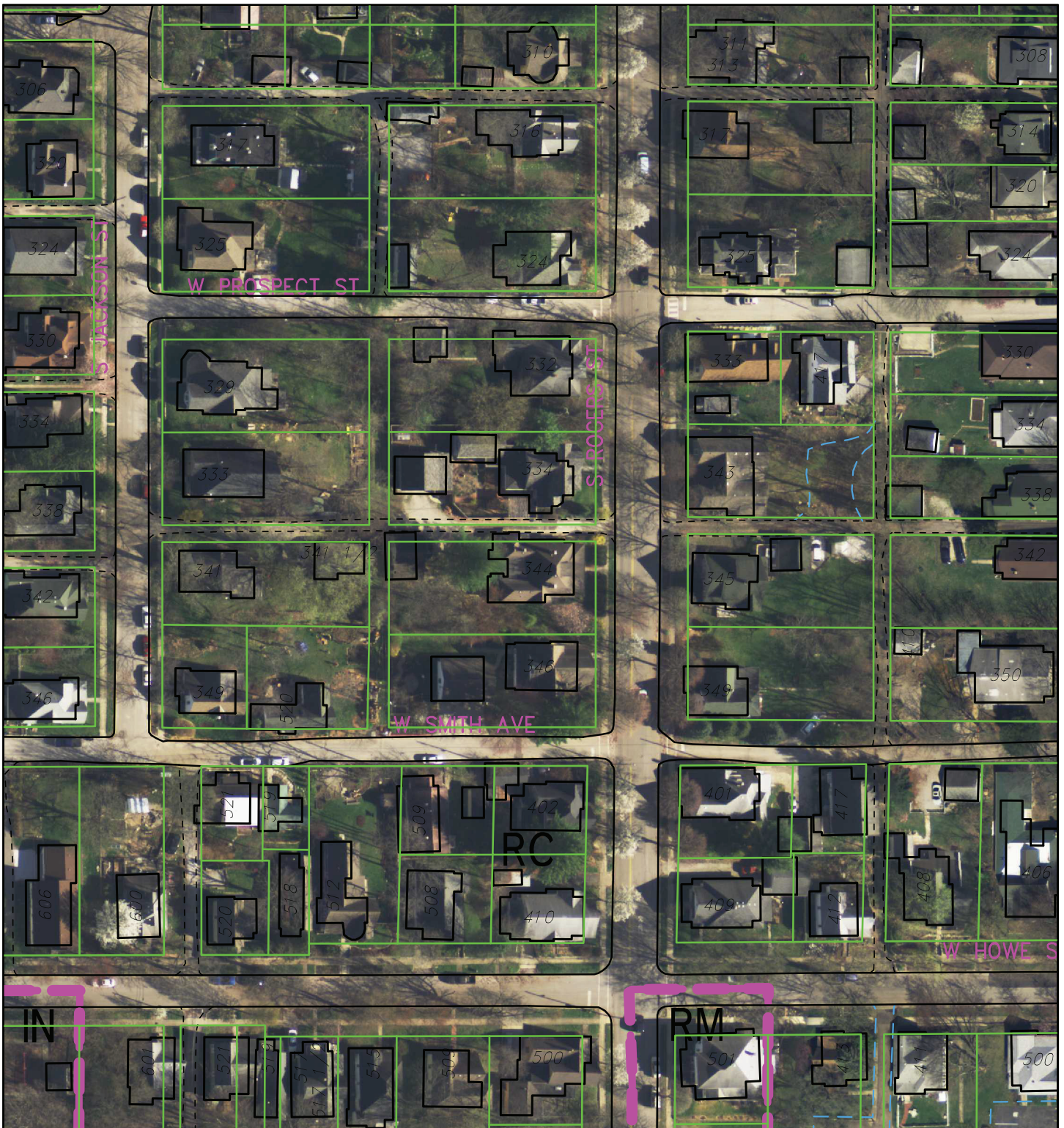


For reference only; map information NOT warranted.

City of Bloomington



Scale: 1" = 150'



CU-27-19 Sonja Johnson and Keith Solberg

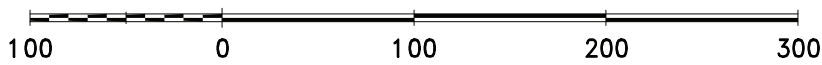
344 S. Rogers St.

Hearing Officer

2016 Aerial

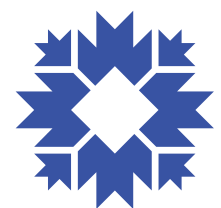
By: roblingr

16 Aug 19



For reference only; map information NOT warranted.

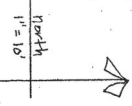
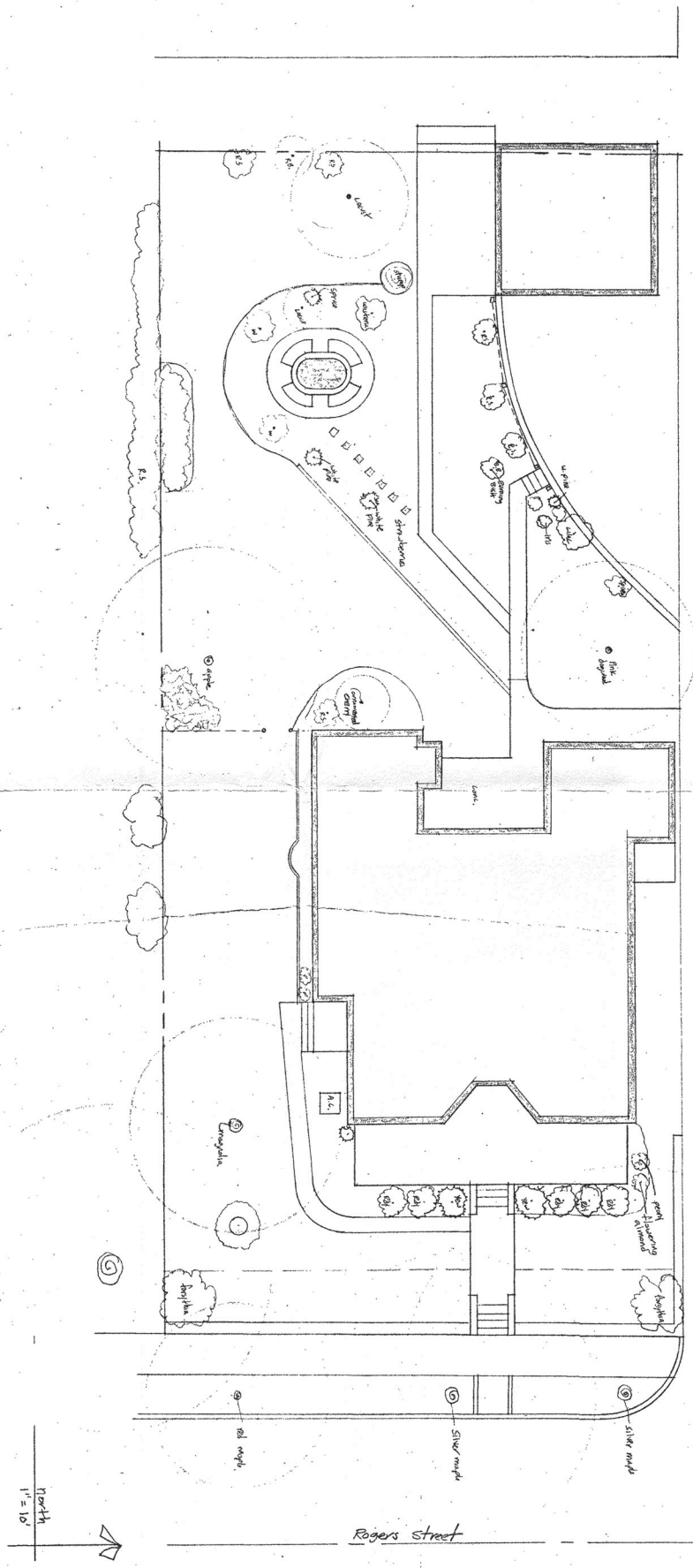
City of Bloomington



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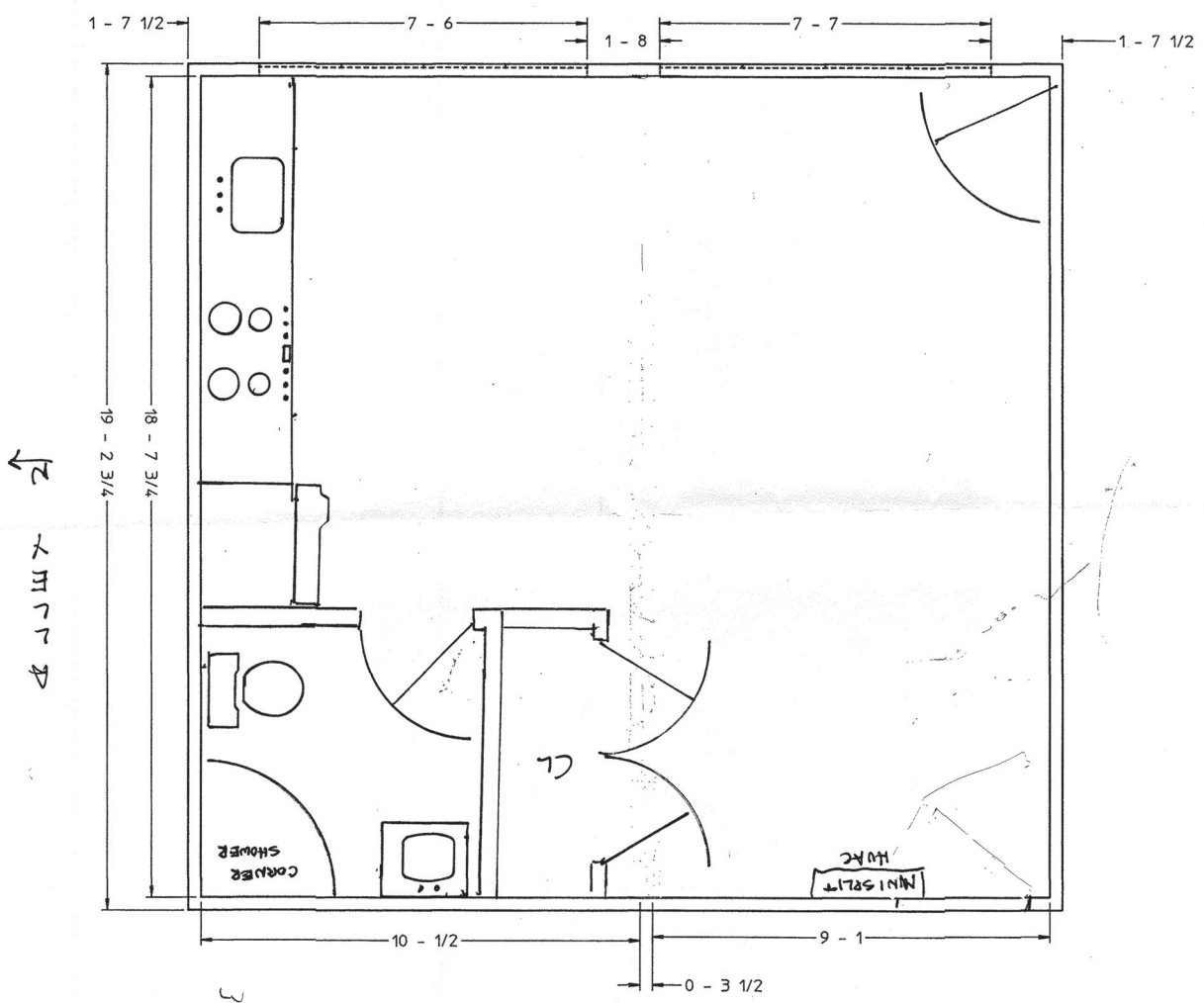


JOHNSON RESIDENCE  
 344 S. ROGERS ST.  
 EXISTING SITE CONDITIONS  
 David S. Smith Landscape Architect May 1988



Rogers Street

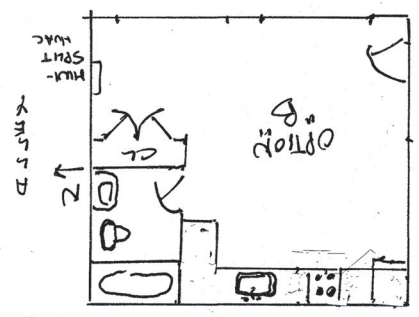


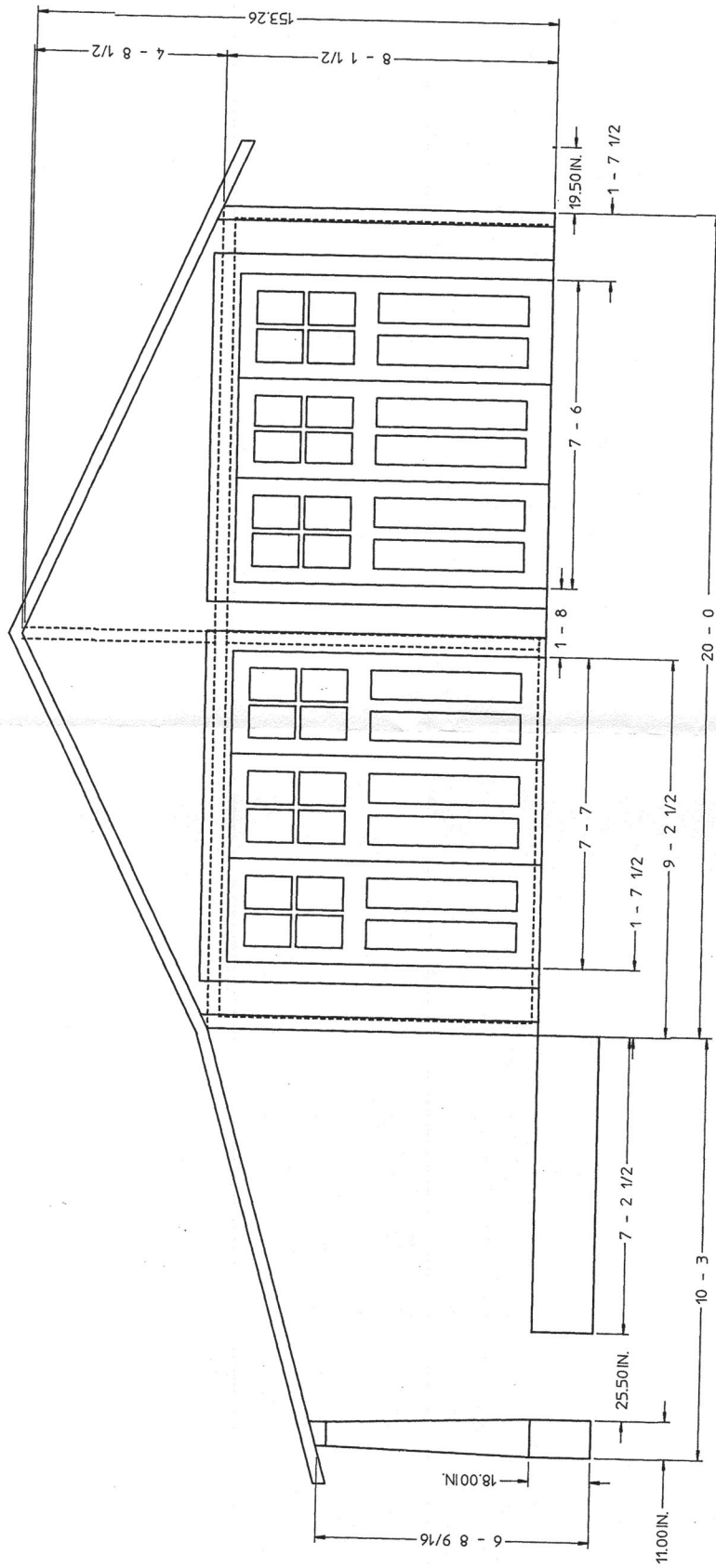


↑  
N

362 ft<sup>2</sup>

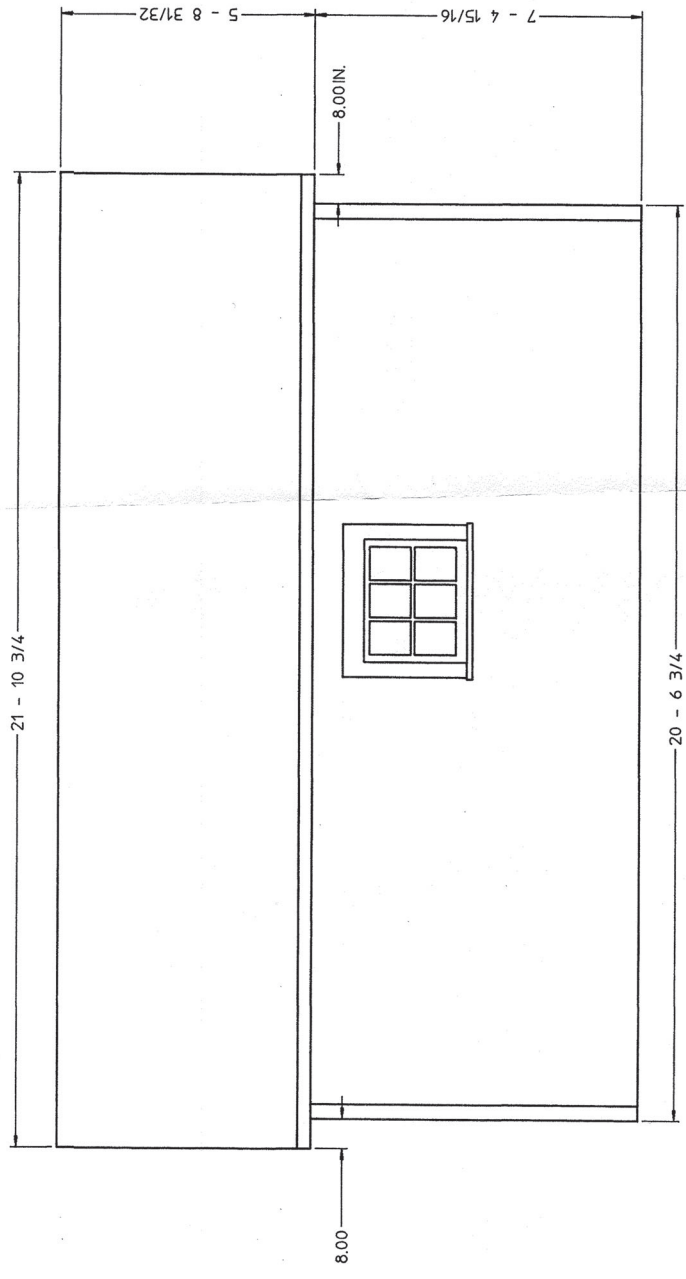
GARAGE TOP VIEW  
SCALE 1 INCH = 2 FEET  
JAN. 12, 1992  
KEITH SOLBERG





GARAGE FRONT VIEW  
 SCALE 1 INCH = 2 FEET  
 JAN. 12, 1992  
 KEITH SOLBERG

GARAGE NORTH SIDE  
SCALE 1 INCH = 2 FEET  
JAN. 12, 1992  
KEITH SOLBERG





**BLOOMINGTON HEARING OFFICER**  
**LOCATION: 940 N Jackson St.**

**CASE #: V-29-19**  
**DATE: August 21, 2019**

**PETITIONER:** Leslie Noggle  
 619 W 13<sup>th</sup> St.

**REQUEST:** The petitioner is requesting a variance from side yard setbacks for the construction of a second story addition.

**REPORT:** The 9,452 square foot property is located at 940 N Jackson St and is zoned Residential Core (RC). The property has been developed with a single family residence and a detached garage. The properties to the north, west, and south are also zoned RC, and have all been developed with single family residences. The property to the east is zoned Residential High-Density Multifamily (RH), and has been developed with a multifamily building. The property is fronted by N Jackson to the west, and the property has an existing improved alley along the south property line.

The petitioner proposes to construct a second story addition which will expand the currently existing 430 square foot second floor to both the north and south. The proposed second floor will be 773 square feet. The proposed second story addition will be 21' 6 3/4" from the northern property line, and 6' from the southern property line. The addition would utilize the existing side yard setback of the first story.

In the RC zoning district, the Unified Development Ordinance (UDO) requires a minimum side setback of 6' plus 4' for each story above the ground floor. The petitioner is requesting a variance from the required side setback for the second story in order to allow the second story to encroach 4' into the side setback.

#### **CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE**

**20.09.130 e) Standards for Granting Variances from Development Standards:** A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

**PROPOSED FINDING:** No injury is found with this petition. The proposal provides for continued use of a single-family residence, which is the intended use in the Residential Core (RC) district. The variance would allow the second story addition to match current first floor side setbacks. The proposed addition will encroach 4' into the required second story side setback. No negative impacts have been noted from the current location of the residence. An improved 16' alley runs along the site's southern property line and allows for additional separation between the property and its southern neighbor.

2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

**PROPOSED FINDING:** No adverse impacts to the use and value of the surrounding properties are found as a result of the requested variance. The proposed second story addition will meet the same setbacks as the current first story. The proposed structure is consistent with other residences in this area, as there are structures in the area that may not meet the required second story side setback. The property will remain as one detached single-family dwelling, with a detached garage.

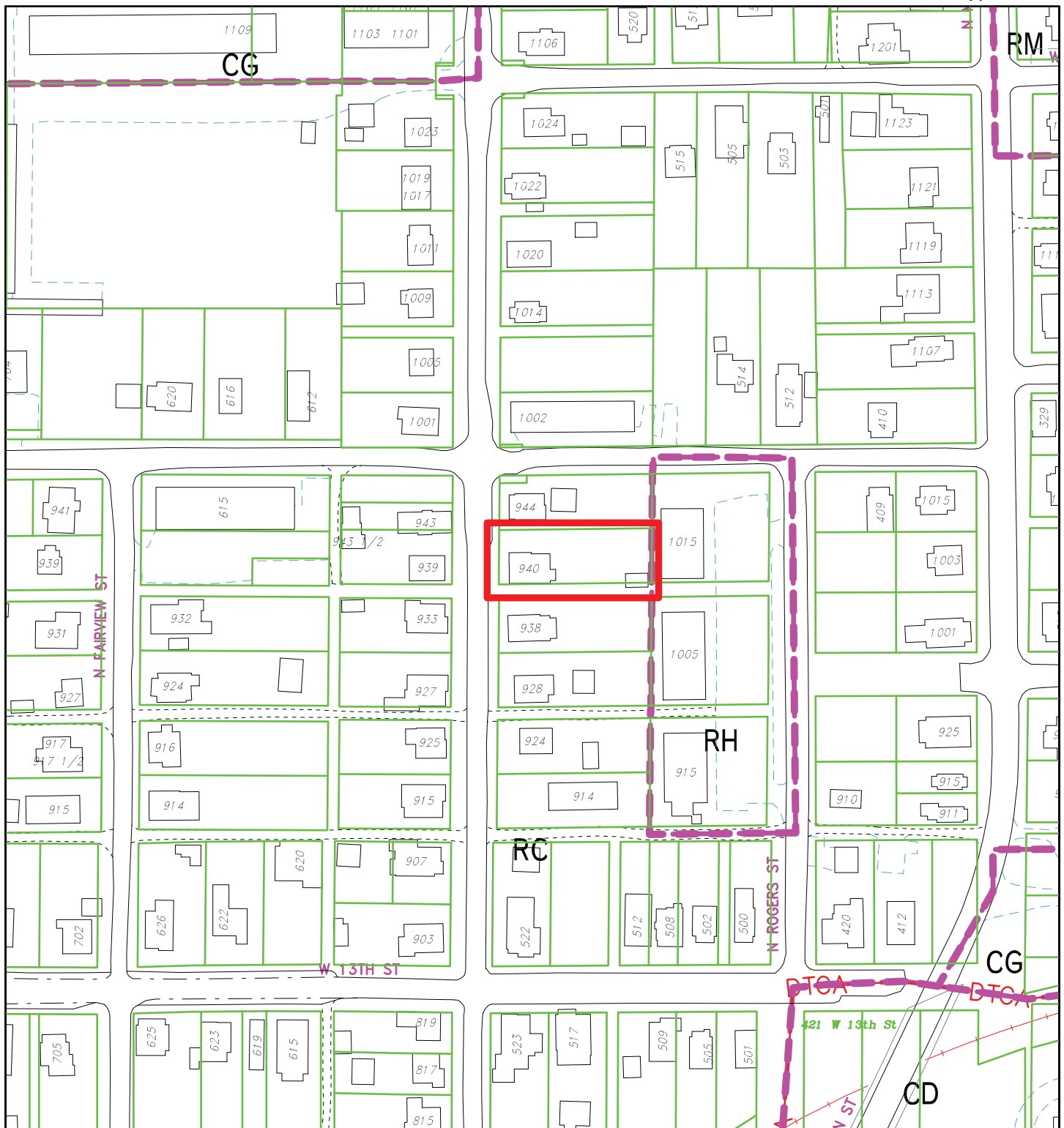
3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

**PROPOSED FINDING:** Practical difficulty is found in the restriction to the second story addition options created solely by the location of the house on the lot and the combo of a wide alley to the south of the existing house location. Peculiar condition is found in the found in the placement of the current structure. The current structure was built to the extreme southern end of the property leaving only a 6' setback between the building and the southern side property line. The property has an improved alley to the south which will further buffer the addition from their southern neighbor. Whereas the structure is 21' 6 ¾" from the northern side property line. The building's placement would prevent any meaningful second story addition along the southern property line if second story side yard setback requirements were met.

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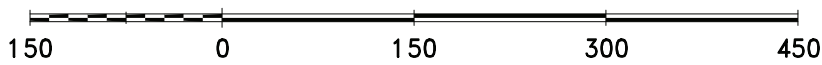
**RECOMMENDATION:** Based upon the written findings above, the Department recommends that the Hearing Officer adopt the proposed findings and recommends approval of V-13-19 with the following conditions:

1. The petitioners must obtain a building permit prior to construction.
2. This variance applies to the addition as proposed only. Any subsequent encroachment would require a variance.

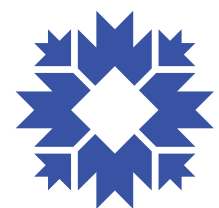


V-29-19 Leslie Noggle  
 940 N Jackson St.  
 Hearing Officer  
 Site Location, Zoning, Parcels

By: roblingr  
 16 Aug 19

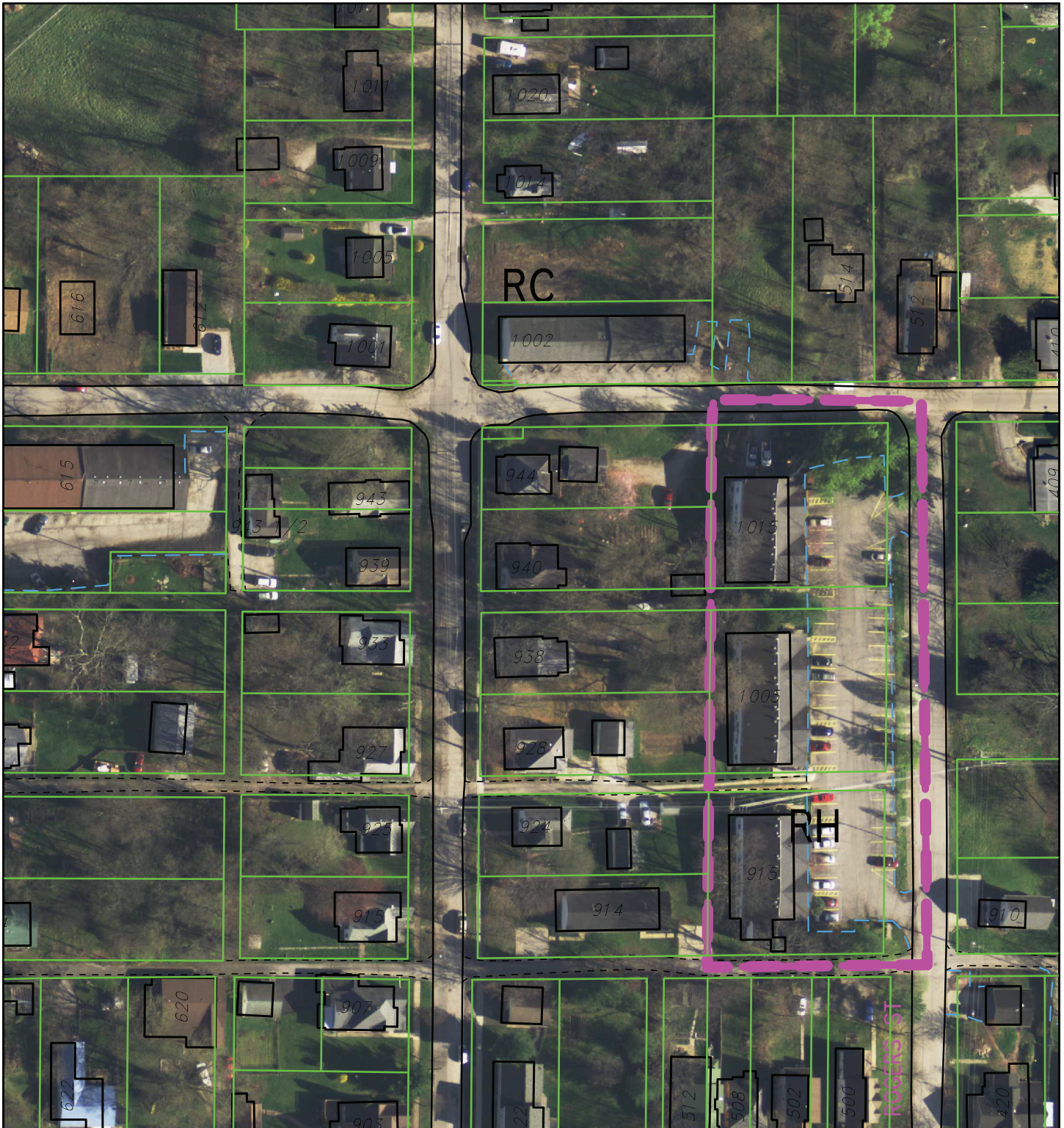


City of Bloomington



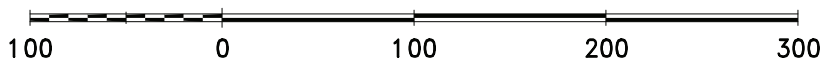
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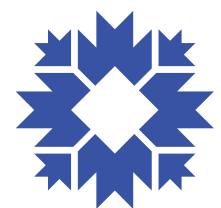


V-29-19 Leslie Noggle  
 940 N Jackson St.  
 Hearing Officer  
 2016 Aerial Photograph

By: roblingr  
 16 Aug 19



City of Bloomington



Scale: 1" = 100'

For reference only; map information NOT warranted.

## L Noggle Designs

619 W. 13<sup>th</sup> Street  
Bloomington, IN 47404  
Phone 812.320.5865

### Petitioner's statement for a Variance at 940 N. Jackson St.

I am requesting a Development Standards Variance to build a second floor shed dormer at the first floor side setback.

We will be renovating the entire interior and exterior of 940 N. Jackson St., as this house has been a rental for many years and is in pretty poor shape. The new owners plan to live here full time after the renovation- owner occupied, yay! On the exterior, we will be replacing the vinyl siding with fiber cement horizontal siding, replacing the roof, and replacing the windows with better, but similarly sized windows. The only structural change visible from the exterior, and mostly from the back and the sides, will be two shed dormers, one on the North side, and one on the South side of the large main gable, towards the rear of the existing structure. These will provide more space and more light (especially southern light) to the upstairs bedroom and bathroom. In order to maximize the space and light, and with an eye on symmetry within the newly vaulted space, we would like both dormers to match, and extend to the existing main floor side walls.

The issue, and reason for the variance request, is that there is a main floor side-setback requirement of 6'-0" off the property line (which we meet), and then an additional 4'-0" setback for any second floor, totaling 10'-0". The proposed dormer on the south side of the house will only be 6'-0" off the property-line. We are requesting the variance to build the new dormer at the 6'-0" setback. We hope you will grant this variance because:

1. The South side of the house borders an alley, which provides ample distance between it and the neighboring house to the south.
2. The house is not centered on the property, making it harder to comply with the development standards that otherwise would not be a problem, if the house were centered.
3. We will be keeping with the original style of the house and neighborhood, and actually improving on the existing conditions.
4. This dormer will actually spruce up an otherwise drab, imposing, and roof-heavy side elevation.
5. The house next door, across the alley and to the south, has a sweet little craftsman style front facing shed dormer, that we hope to emulate, strengthening the fabric of the neighborhood.

Thank you for your time and consideration!  
Plans, Elevations, Sections and Sketches attached.



# CROSS-DEBOER RESIDENTIAL RENOVATION / REMODEL

## BLOOMINGTON, INDIANA

JULY 16, 2019

### DRAWING SET INDEX

S.1 COVER/INDEX/SITE PLAN/SCHEDULES

D.1 DEMOLITION PLAN

- A.1 FOUNDATION PLAN
- A.2 1ST & 2ND FLOOR PLANS
- A.3 ROOF PLAN & INE. ELEV.
- A.4 EXTERIOR ELEVATIONS
- A.5 EXTERIOR ELEVATIONS
- A.6 INTERIOR ELEVATIONS
- A.7 BUILDING SECTION
- A.8 BUILDING SECTION
- A.9 SECOND FLOOR - OPTION 2

E.1 ELECTRICAL PLANS

L NOGGLE  
Architectural Design

PH 812.320.5865  
lnoogle@msi.com

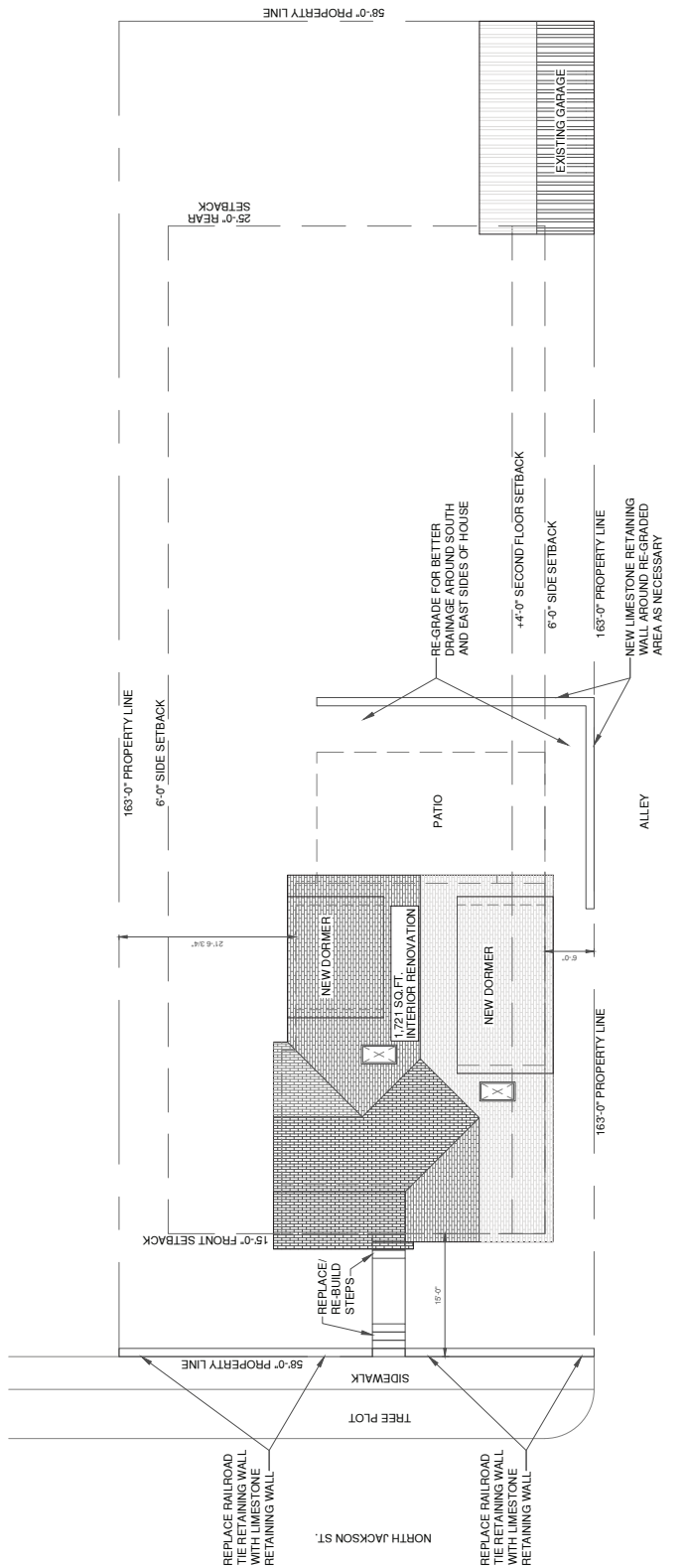
REVISIONS

CROSS-DEBOER RESIDENCE  
RESIDENTIAL RENOVATION / REMODEL  
940 N. JACKSON ST.  
BLOOMINGTON, INDIANA

PROJECT NUMBER: 1903  
DATE: July 16, 2019  
DRAWN BY: L NOGGLE

COVER INDEX  
SITE PLAN AND  
SCHEDULES

S.1



NORTH  
SITE PLAN  
SCALE: 1/8\"/>

DOOR SCHEDULE				WINDOW SCHEDULE				FINISH SCHEDULE							
NO.	SYMBOL	NAME	TYPE	NO.	SYMBOL	NAME	TYPE	NO.	SYMBOL	NAME	TYPE	NO.	SYMBOL	NAME	TYPE
1	1-1	ENTRY	ENTRY	1	1-1	DOUBLE HUNG	DOUBLE HUNG	1	1-1	FRONT PORCH	WOOD	1	1-1	CEILING	WOOD
2	2-1	COAT CLOSET	POCKET DOOR	2	2-1	DOUBLE HUNG	DOUBLE HUNG	2	2-1	LIVING ROOM	WOOD	2	2-1	WALL	WOOD
3	3-1	HALLWAY	POCKET DOOR	3	3-1	DOUBLE HUNG	DOUBLE HUNG	3	3-1	DINING ROOM	WOOD	3	3-1	WALL	WOOD
4	4-1	BEDROOM 1	POCKET DOOR	4	4-1	DOUBLE HUNG	DOUBLE HUNG	4	4-1	HALL BATH	WOOD	4	4-1	WALL	WOOD
5	5-1	BEDROOM 2	POCKET DOOR	5	5-1	DOUBLE HUNG	DOUBLE HUNG	5	5-1	HALL BATH	WOOD	5	5-1	WALL	WOOD
6	6-1	HALL BATHROOM	POCKET DOOR	6	6-1	DOUBLE HUNG	DOUBLE HUNG	6	6-1	KITCHEN	WOOD	6	6-1	WALL	WOOD
7	7-1	BEDROOM 3	POCKET DOOR	7	7-1	DOUBLE HUNG	DOUBLE HUNG	7	7-1	BREAKFAST ROOM	WOOD	7	7-1	WALL	WOOD
8	8-1	BEDROOM 4	POCKET DOOR	8	8-1	DOUBLE HUNG	DOUBLE HUNG	8	8-1	DINING ROOM	WOOD	8	8-1	WALL	WOOD
9	9-1	HALL BATH	POCKET DOOR	9	9-1	DOUBLE HUNG	DOUBLE HUNG	9	9-1	BREAKFAST ROOM	WOOD	9	9-1	WALL	WOOD
10	10-1	UTILITY/PAINT ROOM	POCKET DOOR	10	10-1	DOUBLE HUNG	DOUBLE HUNG	10	10-1	UTILITY ROOM	WOOD	10	10-1	WALL	WOOD
11	11-1	ENTRY	POCKET DOOR	11	11-1	DOUBLE HUNG	DOUBLE HUNG	11	11-1	STAIRS	WOOD	11	11-1	WALL	WOOD
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16	16-1	ENTRY	POCKET DOOR	16	16-1	DOUBLE HUNG	DOUBLE HUNG	16	16-1	STAIRS	WOOD	16	16-1	WALL	WOOD
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18	18-1	ENTRY	POCKET DOOR	18	18-1	DOUBLE HUNG	DOUBLE HUNG	18	18-1	STAIRS	WOOD	18	18-1	WALL	WOOD
19	19-1	ENTRY	POCKET DOOR	19	19-1	DOUBLE HUNG	DOUBLE HUNG	19	19-1	STAIRS	WOOD	19	19-1	WALL	WOOD
20	20-1	ENTRY	POCKET DOOR	20	20-1	DOUBLE HUNG	DOUBLE HUNG	20	20-1	STAIRS	WOOD	20	20-1	WALL	WOOD
21	21-1	ENTRY	POCKET DOOR	21	21-1	DOUBLE HUNG	DOUBLE HUNG	21	21-1	STAIRS	WOOD	21	21-1	WALL	WOOD

VERIFY ALL MATERIAL COLOURS, STYLES AND FINISHES WITH OWNER



**GENERAL PLAN NOTES**

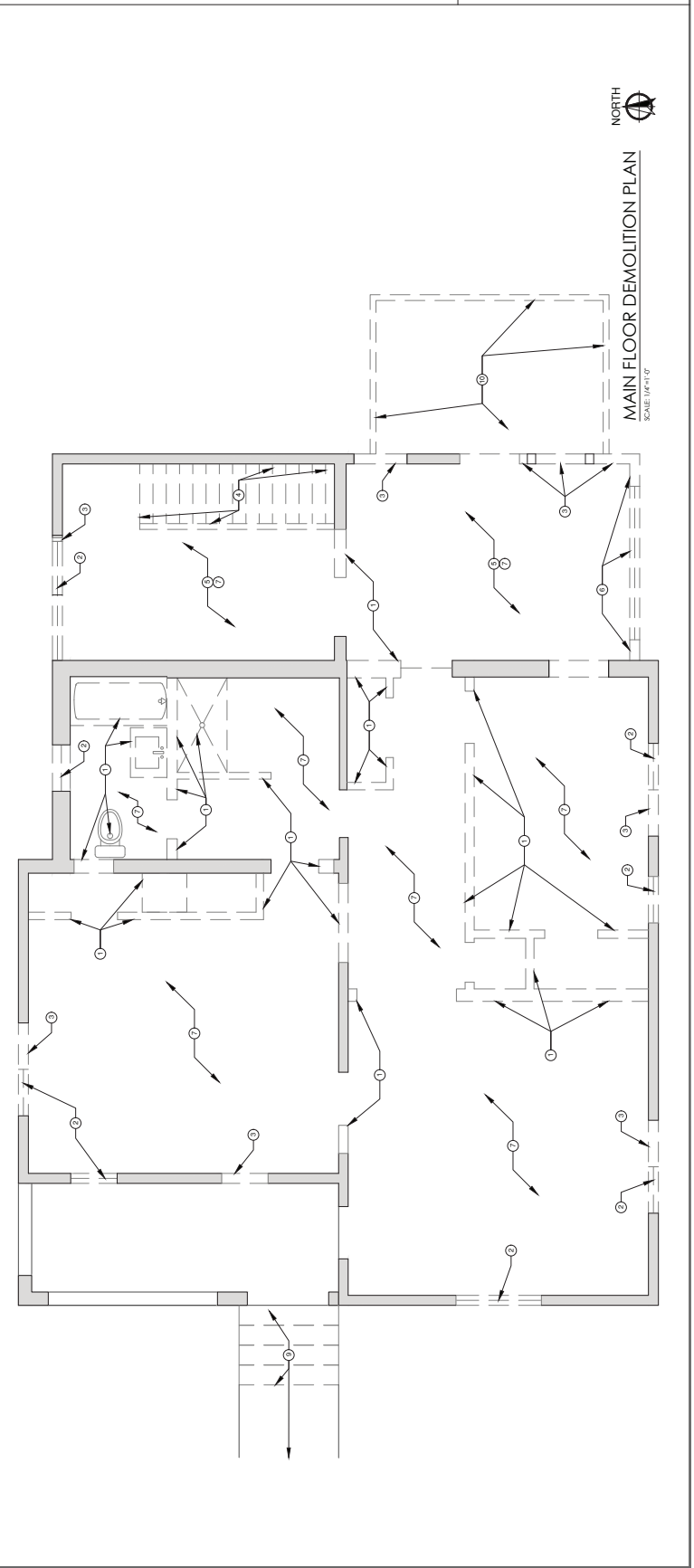
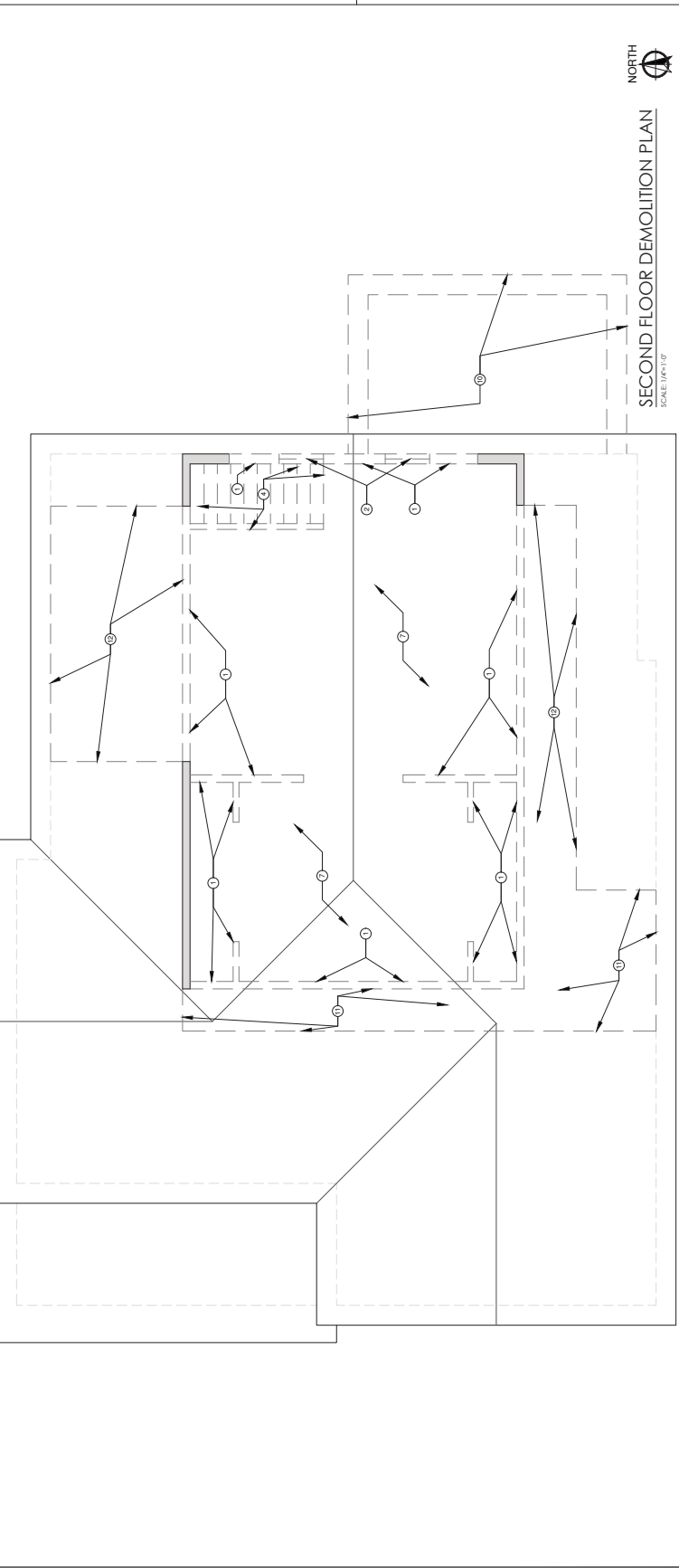
- ALL EXTERIOR WALLS ARE TO BE INSULATED 2X6 WOOD STUD WALLS.
- REMOVE EXISTING WALLS AND INSULATE WOOD STUD WALLS UNLESS OTHERWISE NOTED.
- CONSTRUCTION AND INSTALLATIONS ARE TO BE ACCORDING TO CURRENT STATE AND LOCAL BUILDING CODES.
- FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASINGWORK TO ENSURE CORRECT FIT.
- CONSTRUCTION OF THIS PROJECT SHALL BE ACCORDING TO THESE DRAWINGS PRIOR TO CONSTRUCTION TO THE ARCHITECT.
- DIMENSIONS ON FLOOR PLANS ARE TO FACE UNLESS NOTED OTHERWISE.
- PROVIDE WOOD BLOOMING IN WALLS AS REQUIRED BEHIND ALL CASEWORK, HOOKS, PLUMBING AND HVAC CONTROLS TO PROVIDE RESPECTIVE DESIGN LAYOUT. SIZING AS REQUIRED PER TRADE PER CODE.
- FINAL SHEETING DESIGN AND LAYOUT TO BE DETERMINED BY OWNER AND CONTRACTOR.

**DEMOLITION PLAN NOTES**

- REMOVE EXISTING WALL AND CEILING FIXTURE.
- REMOVE EXISTING WINDOW COMPLETE. FRAME NEW OPENINGS FOR NEW WINDOW PLACEMENT WINDOW OR DOOR PLACEMENT.
- REMOVE PORTION OF WALL AND FRAME FOR NEW WINDOW OR DOOR PLACEMENT.
- REMOVE STAIRS COMPLETE. FRAME IN OPENING AT SECOND FLOOR.
- REMOVE EXISTING WOOD FLOOR. DEMOLISH AND REPAIR FOUNDATION AND FLOOR STRUCTURE AS NECESSARY TO ADD PROPER GRADE SPACE.
- REMOVE WALLS COMPLETE TO BE FRAME FLUSH WITH EXISTING EXTERIOR WALL.
- REMOVE EXISTING FLOOR FINISHES AND DROP CEILING THROUGHOUT.
- NA
- REMOVE SET EXISTING PORCH STEPS AND STEPS TO SIDEWALK.
- REMOVE EXISTING BACK PORCH COMPLETE.
- REMOVE THE FRAME FLOOR/ROOF STRUCTURE FOR NEW STAIRWAY AND SECOND FLOOR LIVING STRUCTURE FOR NEW CORNERS.

**PLAN KEY**

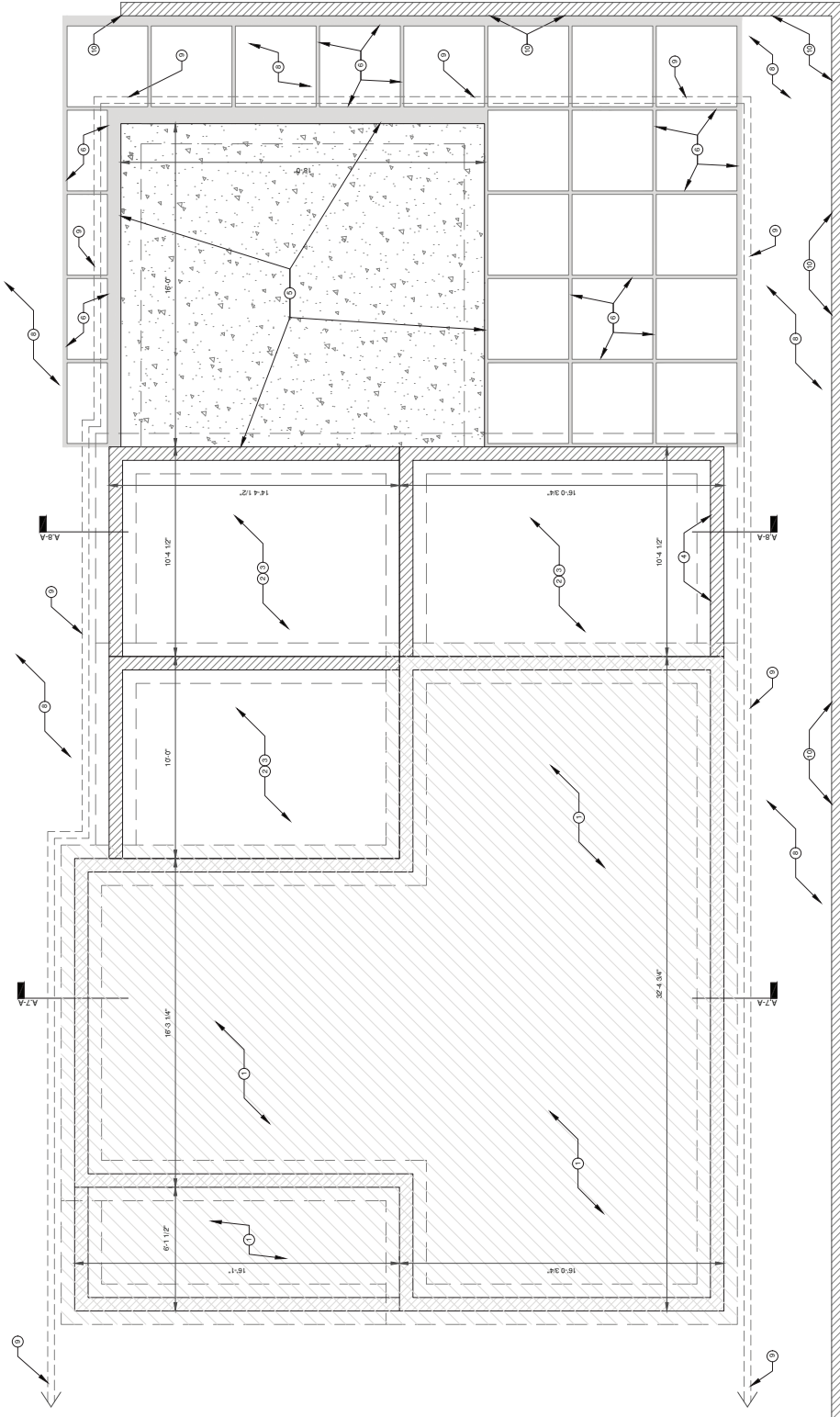
DARK HATCH INDICATES EXISTING WALL  
 WALL STRUCTURE TO BE REMOVED



- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED 2X6 WOOD STUD WALLS.
  - ALL EXTERIOR WALLS ARE TO BE ON INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - CONSTRUCTION AND INSTALLATIONS ARE TO BE IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODES.
  - FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY WORK. WORK TO BE DONE AS SHOWN ON DRAWINGS PRIOR TO CONSTRUCTION. TO THE ARCHITECT.
  - DIMENSIONS ON FLOOR PLANS ARE TO FACE UNLESS OTHERWISE NOTED.
  - PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEHIND ALL CASEWORK, HOOKS, PLUMBING AND HVAC CONTROLS TO PROVIDE RESPECTIVE DESIGN LAYOUT. SIZING AS REQUIRED PER TRADE PER CODE.
  - FINAL SHEETING DESIGN AND LAYOUT TO BE DETERMINED BY OWNER AND CONTRACTOR.

- FOUNDATION PLAN NOTES**
- DIAGONAL HATCHED AREA INDICATES EXISTING AND TO BE REPAIRED FOUNDATION. REPAIR AND SEAL ANY PROBLEM AREAS FOR SOUND, SEALED FOUNDATION.
  - EXISTING FOUNDATION TO BE REPAIRED AND CONDITIONED OR REMOVED AND RECONSTRUCTED PER CODE.
  - REMOVE EXISTING FLOOR STRUCTURE, FLOORING, PARTIAL WALLS, PARTIAL CEILING, PARTIAL FURNISHING, CEILING OR BEAM ABOVE ORIGINAL HOUSE.
  - NEW FOUNDATION WALL TO POSITION NEW EXTERIOR WALL.
  - NEW CONCRETE SLAB AND FOUNDATION FOR FUTURE SCREENED PORCH.
  - 4'-0" X 6'-0" PATIO PAVERS WITH SANDSTONE BETWEEN AND AROUND PORCH SLAB.
  - 2'-0" CONCRETE FILLED ISOMETRIC FOOTING FOR NEW FOUNDATION WALL.
  - BE GRADE FOR AROUND SOUTHWEST EAST AND NORTHEAST SIDES OF HOUSE SO THAT GRADE IS FLAT AND EVEN WITH NEW FOUNDATION WALL GROUPS WITH HATCHED AREA.
  - BURRY OR BE SET PERIMETER DRAIN AROUND HOUSE. DRAIN TO DAYLIGHT ON WEST SIDE.
  - INSTALL NEW RETAINING WALL IF NECESSARY TO HOLD UP EXISTING WALLS AND TO HOLD UP NEW AND EXISTING ALLEY AND BACK YARD.

- PLAN KEY**
- DIAGONAL HATCHED AREA: EXISTING WALL
  - SOLID LINE: NEW FRAMED WALL
  - DASHED LINE: PARTIAL WALL, STAIR OR FURNISHING
  - THICK DASHED LINE: STRUCTURE, FURNISHING, CEILING OR BEAM ABOVE
  - DIAMETER WITH 'B': NEW WINDOW
  - DIAMETER WITH '7': NEW DOOR
  - DIAGONAL HATCHED AREA: INTERIOR ELEVATION
  - SOLID LINE: BUILDING SECTION



NORTH  
**FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"

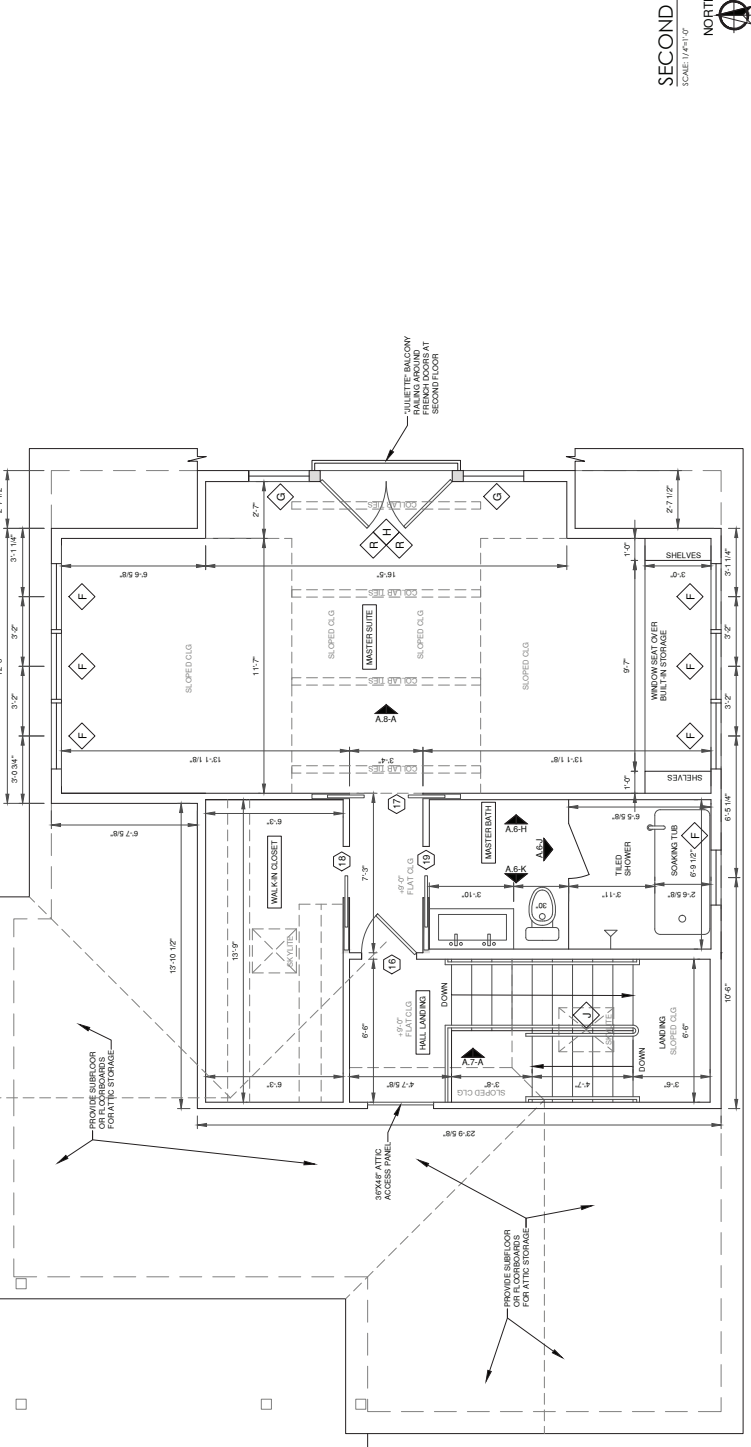
REVISIONS

- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED WITH 2" RIGID INSULATION.
  - ALL EXTERIOR WALLS ARE TO BE INSULATED WITH 2" RIGID INSULATION.
  - CONSTRUCTION AND INSTALLATIONS ARE TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
  - FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASINGWORK TO BE SHOWN ON DRAWINGS.
  - CONSTRUCTION OF THESE DRAWINGS PRIOR TO CONSTRUCTION TO THE ARCHITECT.
  - DIMENSIONS ON FLOOR PLANS ARE TO FACE UNLESS NOTED OTHERWISE.
  - PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEHIND ALL CASEWORK, HOOKS, PLUMBING AND HVAC CONTROLS TO PROVIDE RESPECTIVE DESIGN LAYOUT, SIZING AS REQUIRED PER TRADE PER CODE.
  - FINAL SHEETING DESIGN AND LAYOUT TO BE DETERMINED BY OWNER AND CONTRACTOR.

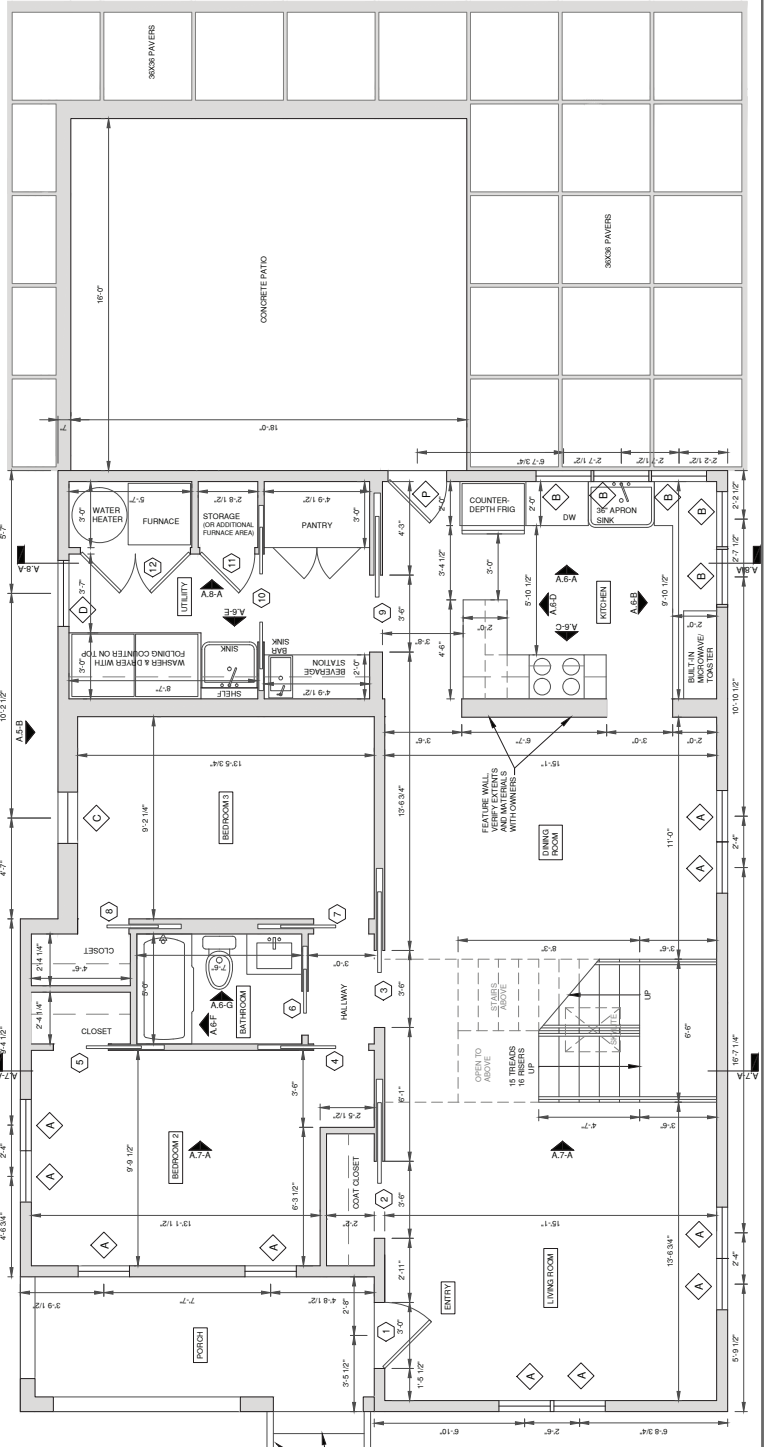
**PLAN KEY**

	DARK HATCH INDICATES FRAMED WALL
	PARTIAL WALL, STAIR, OR INTERIOR WALL
	STRUCTURAL GRID LINE
	Ceiling or beam above
	NEW WINDOW
	NEW DOOR
	INTERIOR/EXTERIOR ELEVATION
	ATA
	ATA

**SECOND FLOOR**  
 SCALE: 1/4" = 1'-0"



**MAIN FLOOR**  
 SCALE: 1/4" = 1'-0"

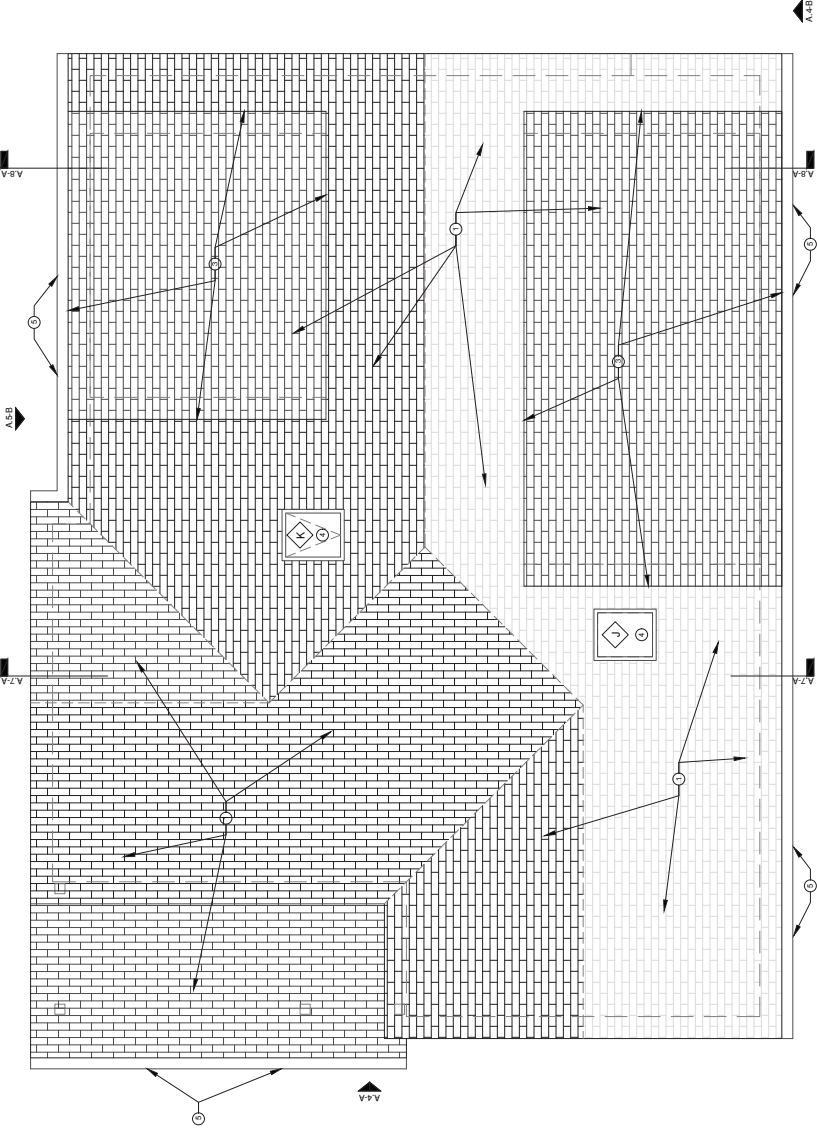


- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED 2X6 WOOD STUD WALLS.
  - ALL EXTERIOR WALLS ARE TO BE ON INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - CONSTRUCTION AND INSTALLATIONS ARE TO BE IN ACCORDANCE WITH ALL CITY, STATE AND LOCAL BUILDING CODES.
  - FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASWORK TO BE SHOWN ON THIS PLAN. ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION TO THE ARCHITECT.
  - DIMENSIONS ON FLOOR PLANS ARE TO BE MEASURED FROM FACE OF STUD TO FACE OF STUD.
  - PROVIDE WOOD BLOCCING IN WALLS AS REQUIRED BEHIND ALL CASEWORK, HOOKS, PLUMBING AND HVAC CONTROLS TO PROVIDE RESPECTIVE DESIGN LAYOUT, SIZING AS REQUIRED PER TRADE PER CODE.
  - FINAL SHEETING DESIGN AND LAYOUT TO BE DETERMINED BY OWNER AND CONTRACTOR.

- FLOOR PLAN NOTES**
- NEW ASPHALT SHINGLE ROOF OVER EXISTING ROOF. PROVIDE 2" MINIMUM INSULATION, REINFORCE STRUCTURE AND SHEATHING AS REQUIRED.
  - NEW METAL ROOF OVER NEW PORCH ADDITION.
  - NEW DORMERS.
  - NEW SKYLIGHT.
  - NEW 6" GUTTERS WITH 4" DOWNSPOUTS. DOWNSPOUT TO PERIMETER DRAIN AND DRAIN TO CULVERT.

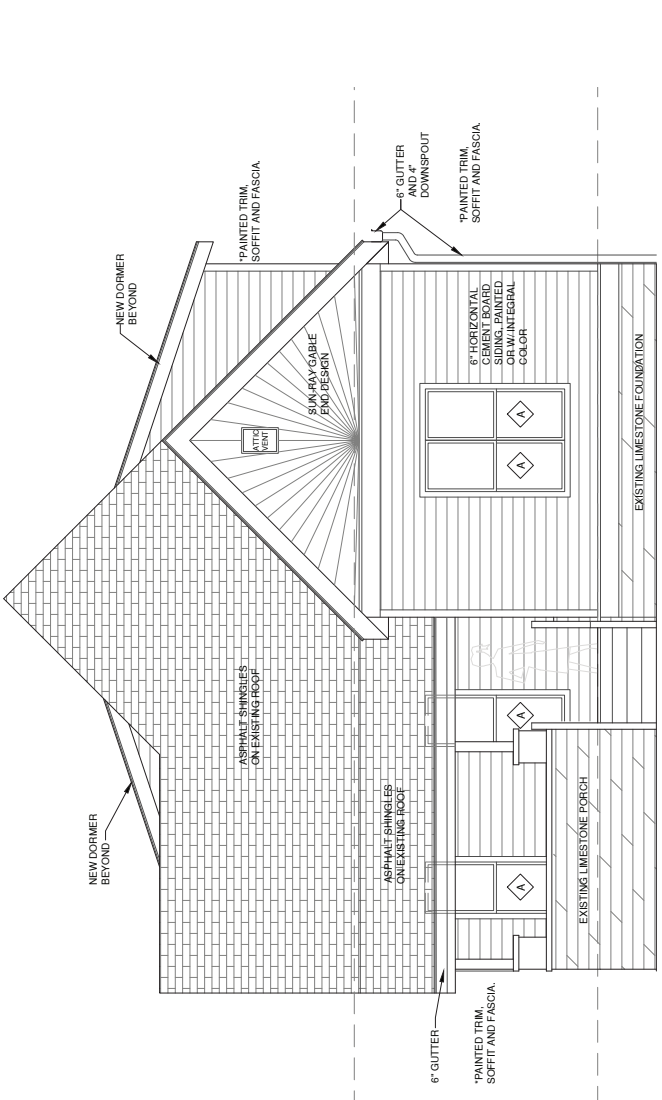
**PLAN KEY**

- DARK HATCH INDICATES EXISTING WALL.
- NEW FRAMED WALL.
- PARTIAL WALL, STAIR OR FURNISHING.
- STRUCTURE, FURNISHING, CEILING, OR BEAM ABOVE.
- NEW WINDOW.
- NEW DOOR.
- INTERIOR ELEVATION.
- BUILDING SECTION.

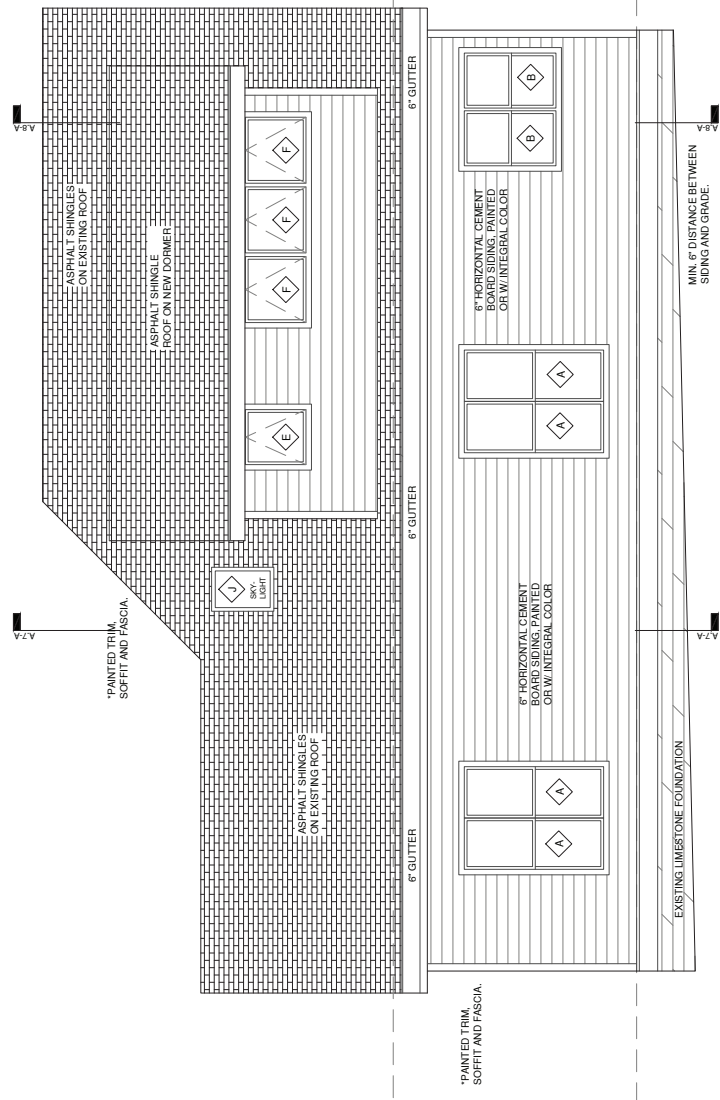


**A ROOF PLAN**  
SCALE: 1/4" = 1'-0"





WESTON  
**A**  
FRONT ELEVATION  
SCALE: 1/4"=1'-0"



SOUTH-SIDE  
**B**  
SIDE ELEVATION  
SCALE: 1/4"=1'-0"

ELEVATION KEY

- NEW WINDOW
- NEW DOOR
- INTERIOR ELEVATION
- BUILDING SECTION

REVISIONS

CROSS, DEBOER RESIDENCE  
RESIDENTIAL RENOVATION / REMODEL

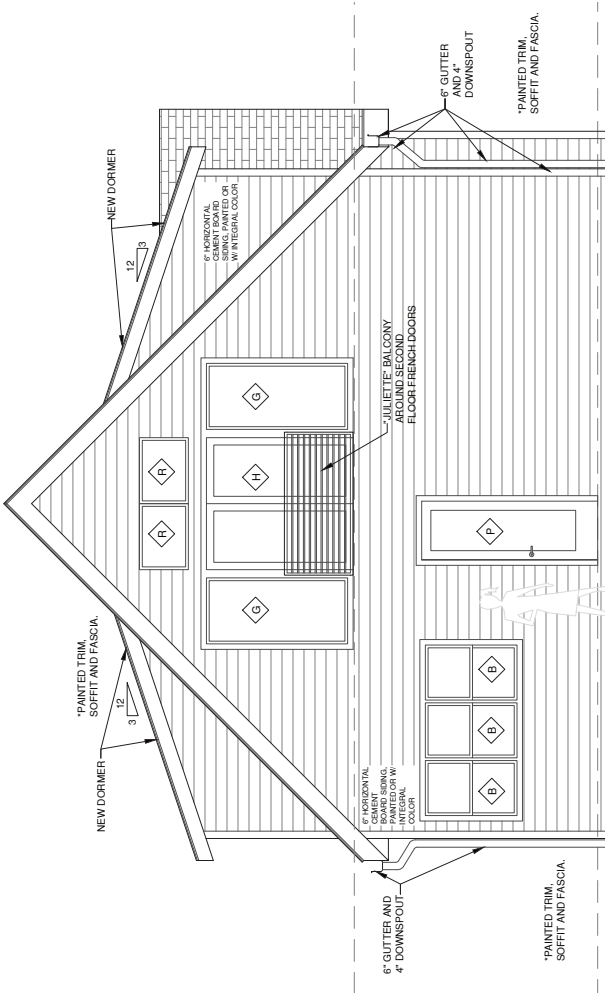
PROJECT NUMBER: 1903  
DATE: July 16, 2019  
DRAWN BY: L NOGGLE

EXTERIOR ELEVATIONS 29

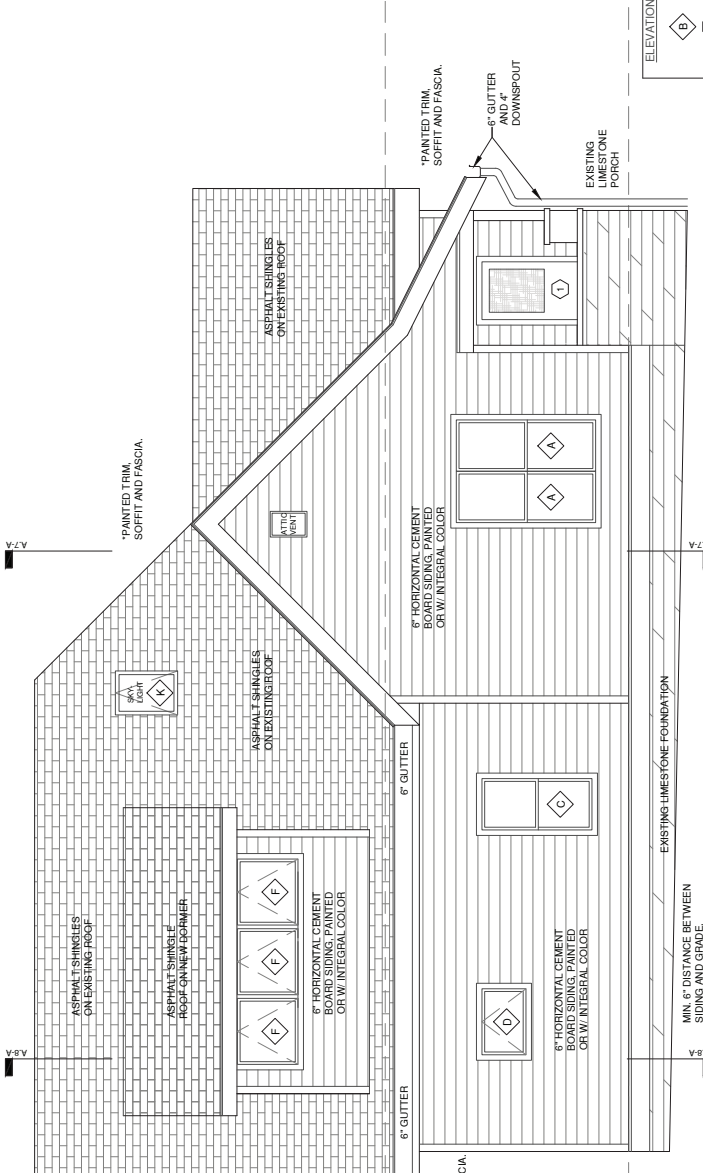
A.5

ELEVATION KEY

	NEW WINDOW
	NEW DOOR
	INTERIOR ELEVATION
	BUILDING SECTION

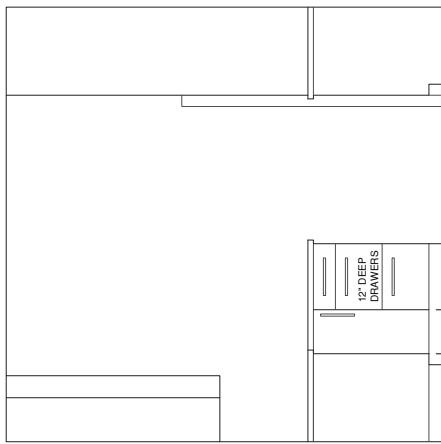
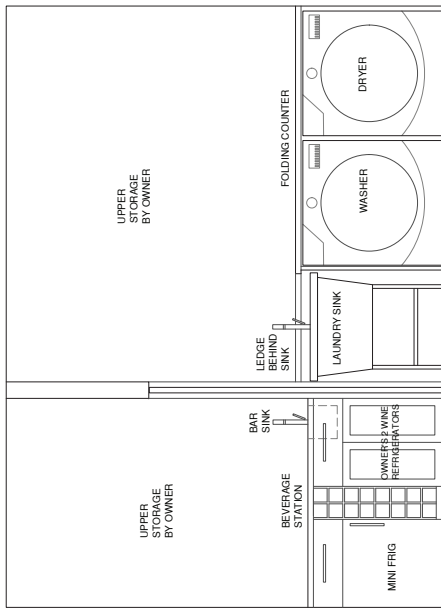
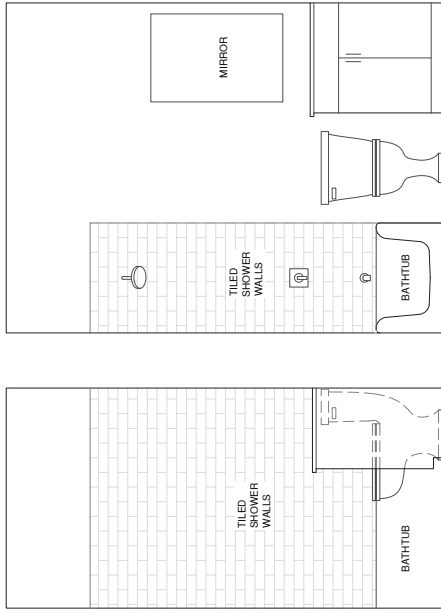
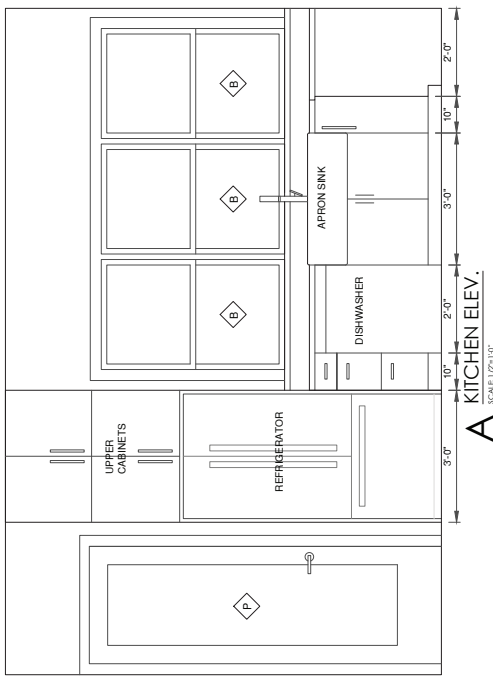
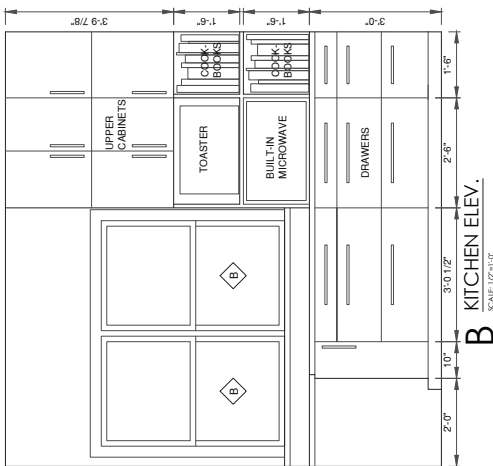
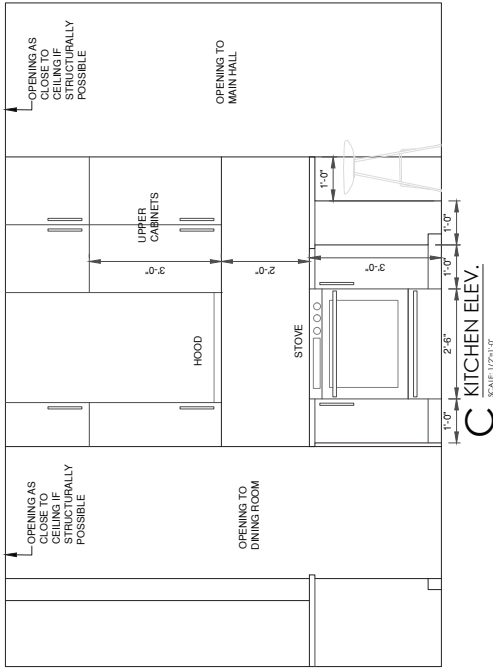


REAR SIDE  
**A** REAR ELEVATION  
SCALE: 1/4" = 1'-0"

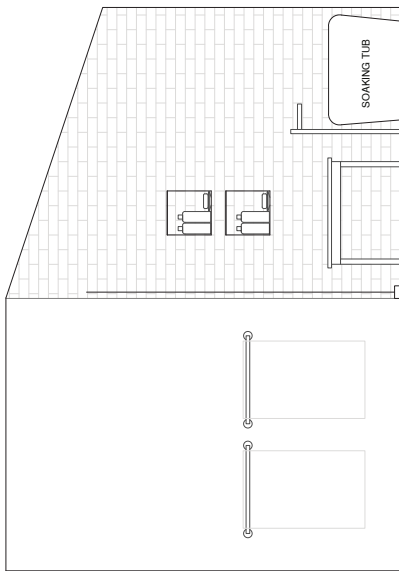
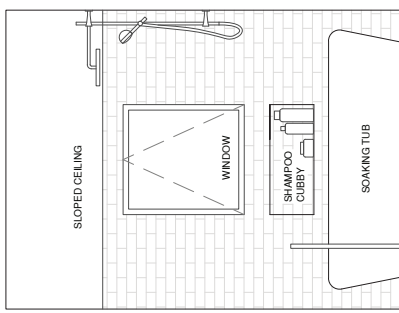
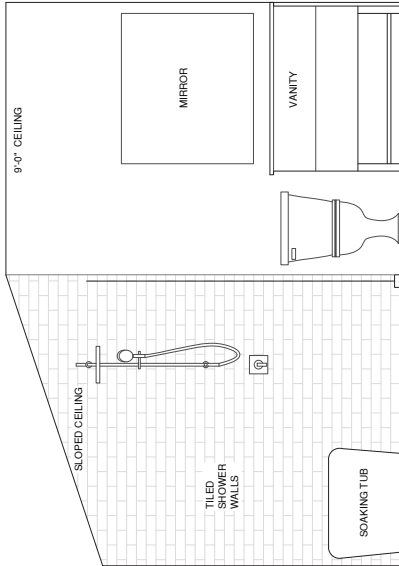


REAR SIDE  
**B** SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

PH 812.320.5865  
lnozzle@gmail.com



**G HALL BATH**  
 SCALE: 1/2"=1'-0"



**F HALL BATH**  
 SCALE: 1/2"=1'-0"

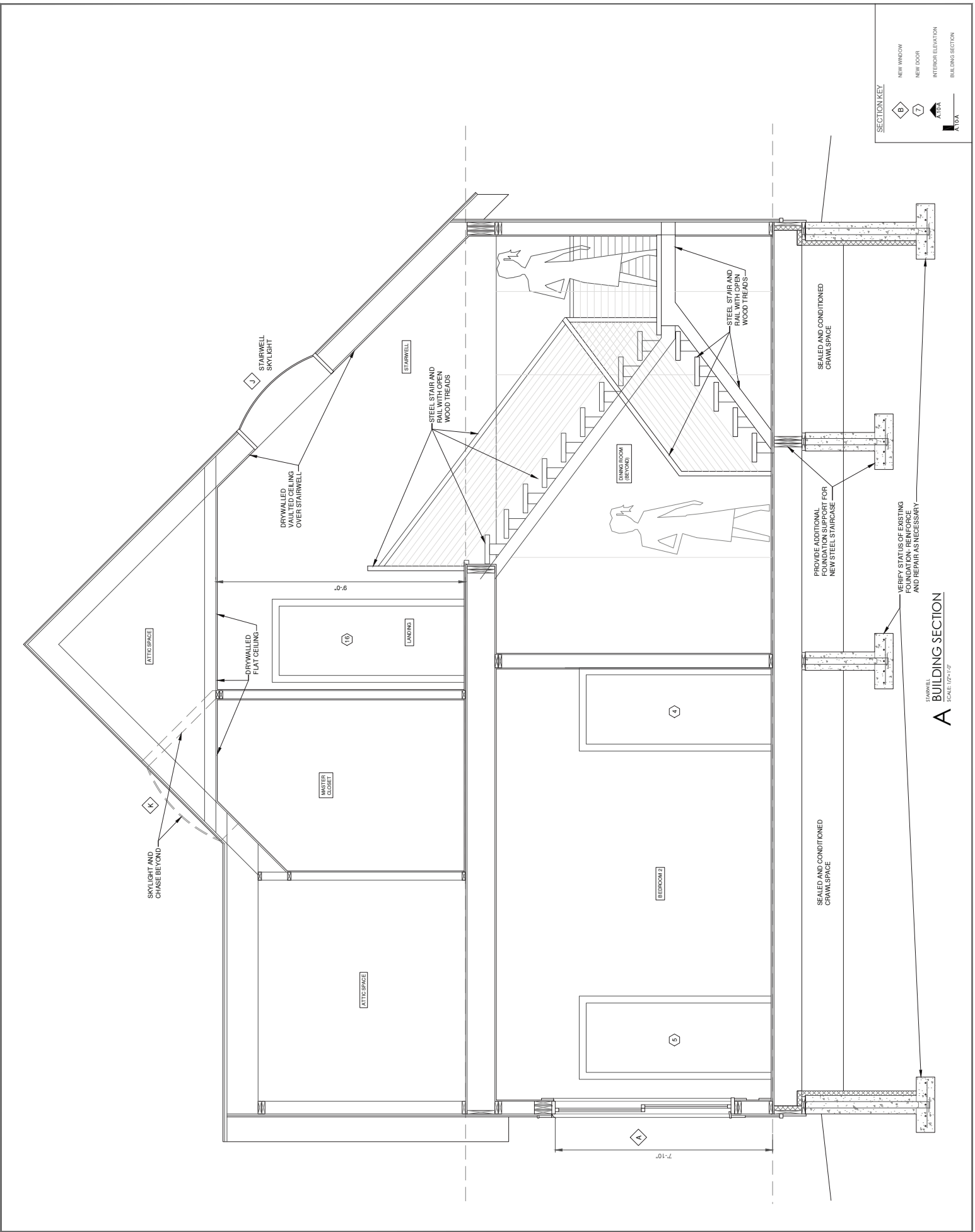
**E PANTRY/LAUNDRY ELEV.**  
 SCALE: 1/2"=1'-0"

**D KITCHEN ELEV.**  
 SCALE: 1/2"=1'-0"

**K MASTER BATH**  
 SCALE: 1/2"=1'-0"

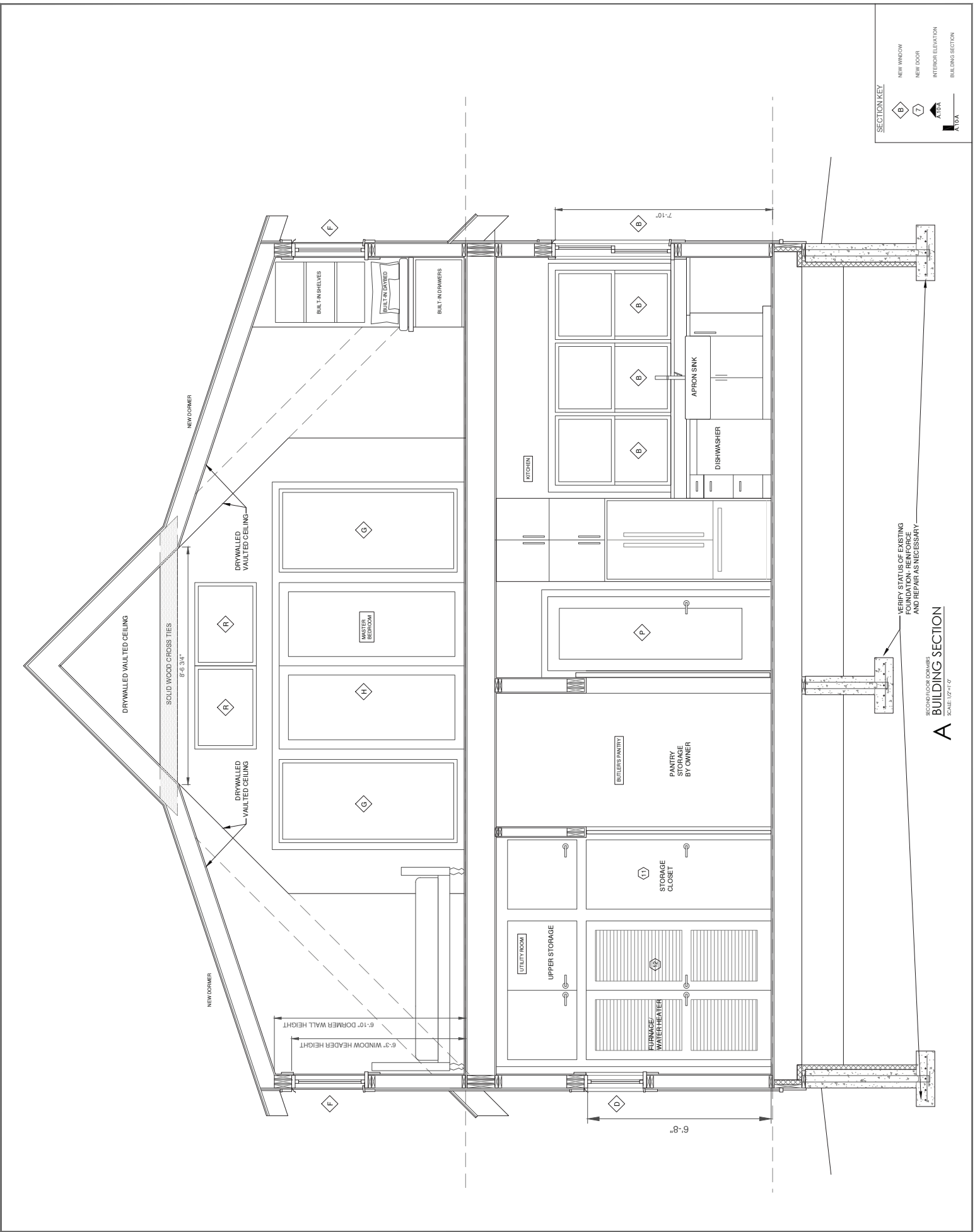
**J MASTER BATH**  
 SCALE: 1/2"=1'-0"

**H MASTER BATH**  
 SCALE: 1/2"=1'-0"



**A** BUILDING SECTION  
 SCALE: 1/4" = 1'-0"

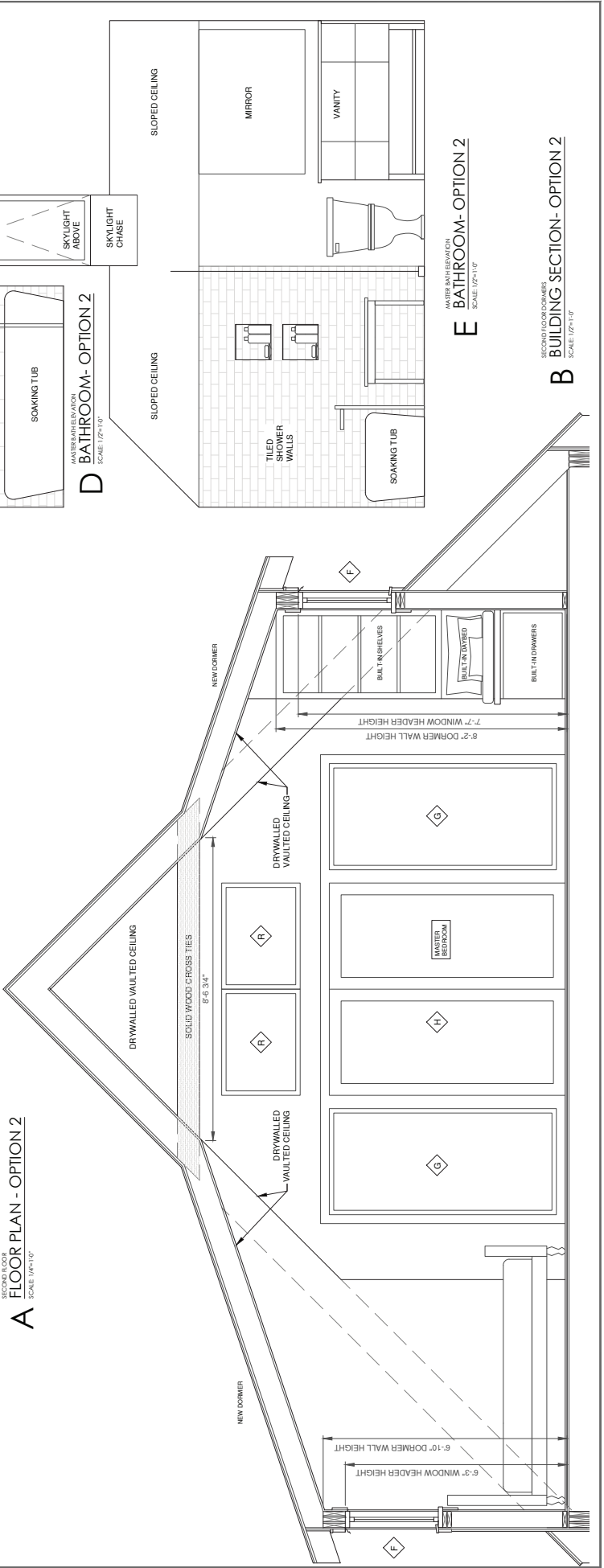
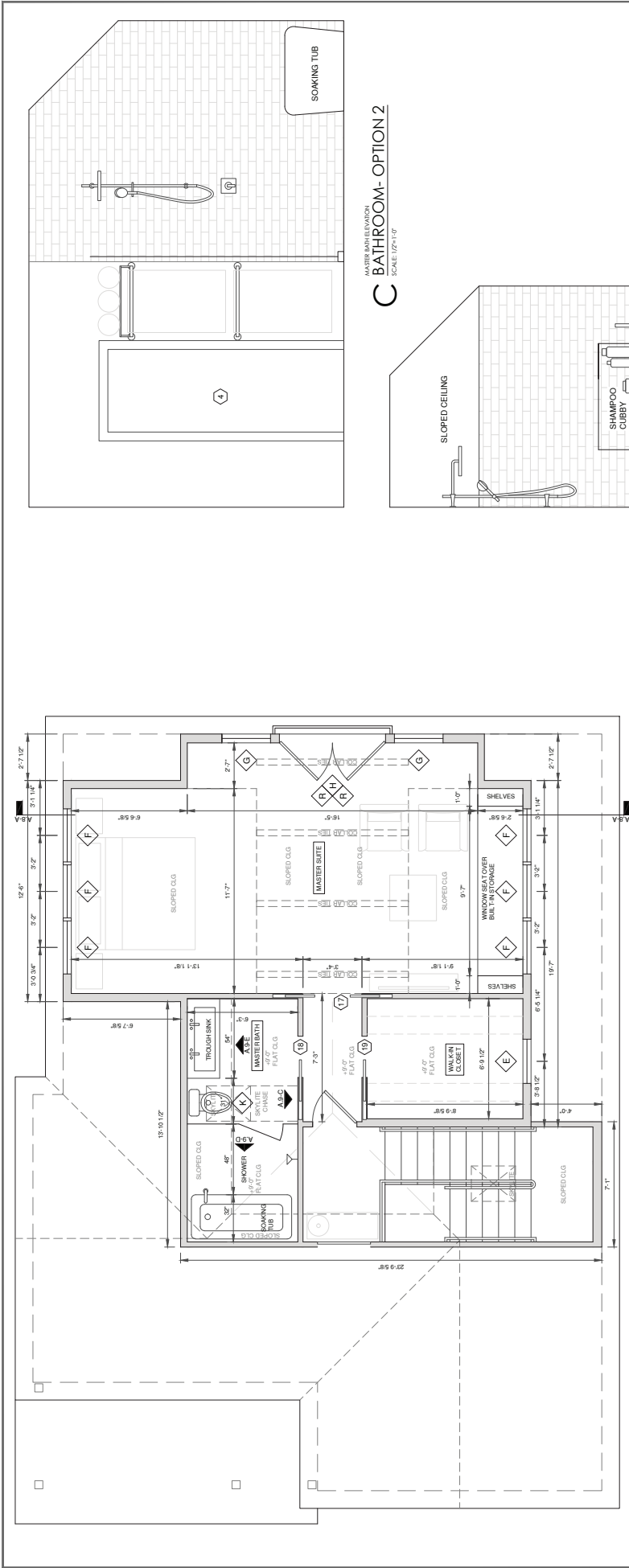




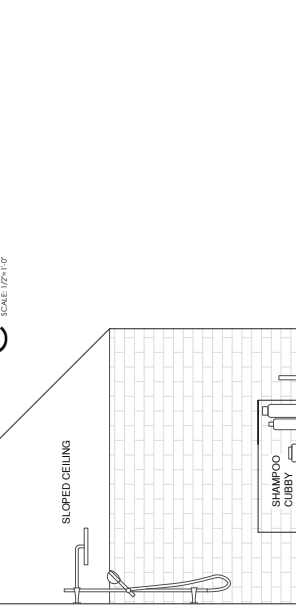
**SECTION KEY**

- D NEW WINDOW
- 7 NEW DOOR
- A INTERIOR ELEVATION
- A BUILDING SECTION

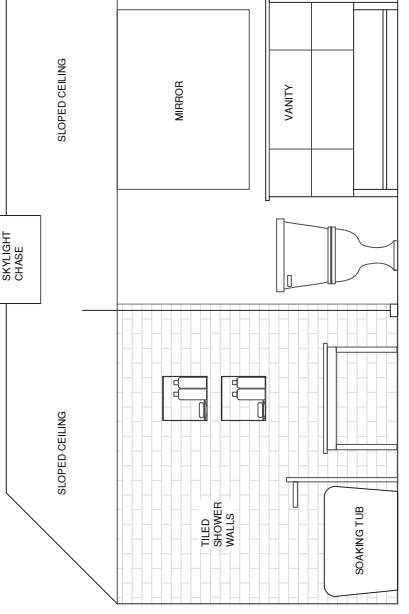
**A** BUILDING SECTION  
 SCALE: 1/2" = 1'-0"  
 SECOND FLOOR DORMERS  
 VERIFY STATUS OF EXISTING FOUNDATION REINFORCE AND REPAIRS NECESSARY



**C**  
 BATHROOM - OPTION 2  
 SCALE: 1/2"=1'-0"



**D**  
 BATHROOM - OPTION 2  
 SCALE: 1/2"=1'-0"



**E**  
 BATHROOM - OPTION 2  
 SCALE: 1/2"=1'-0"

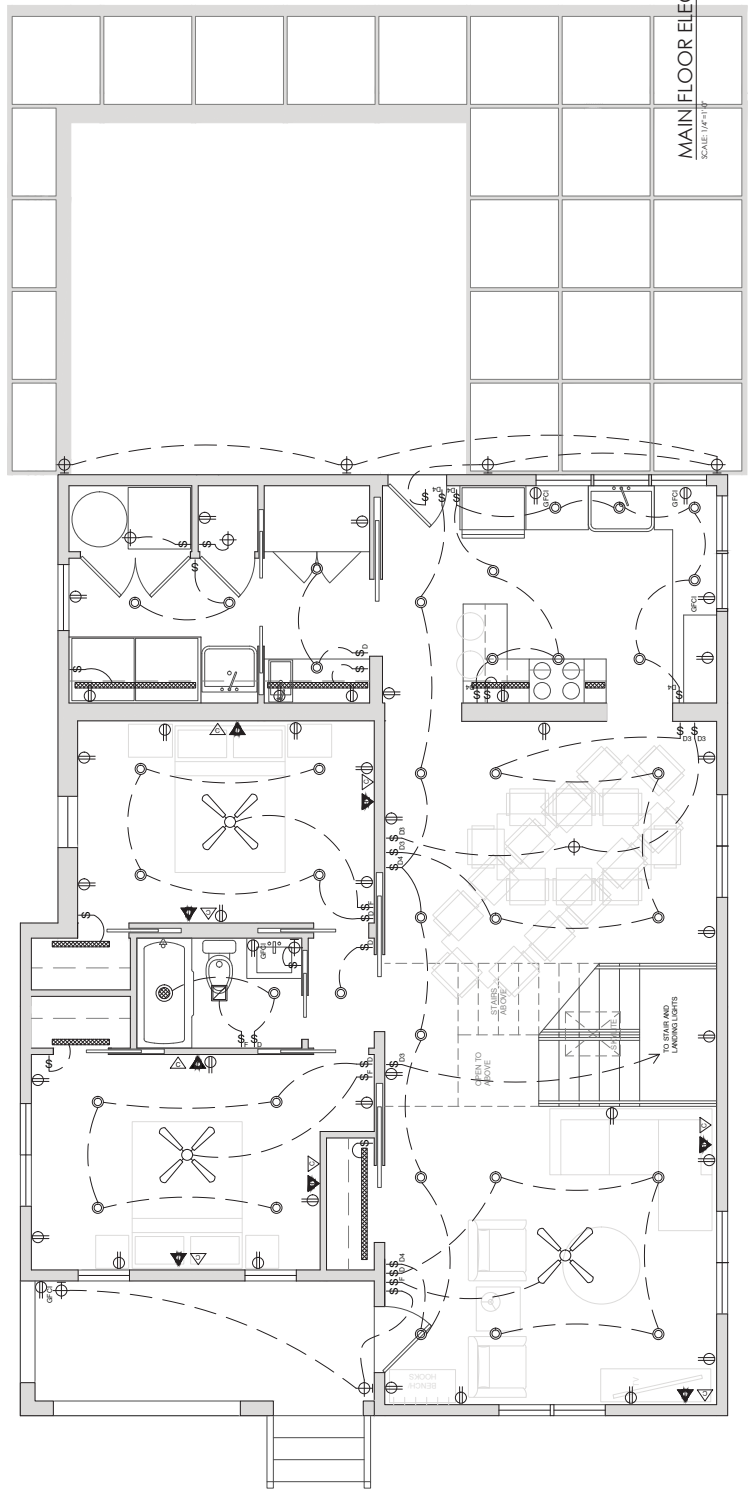
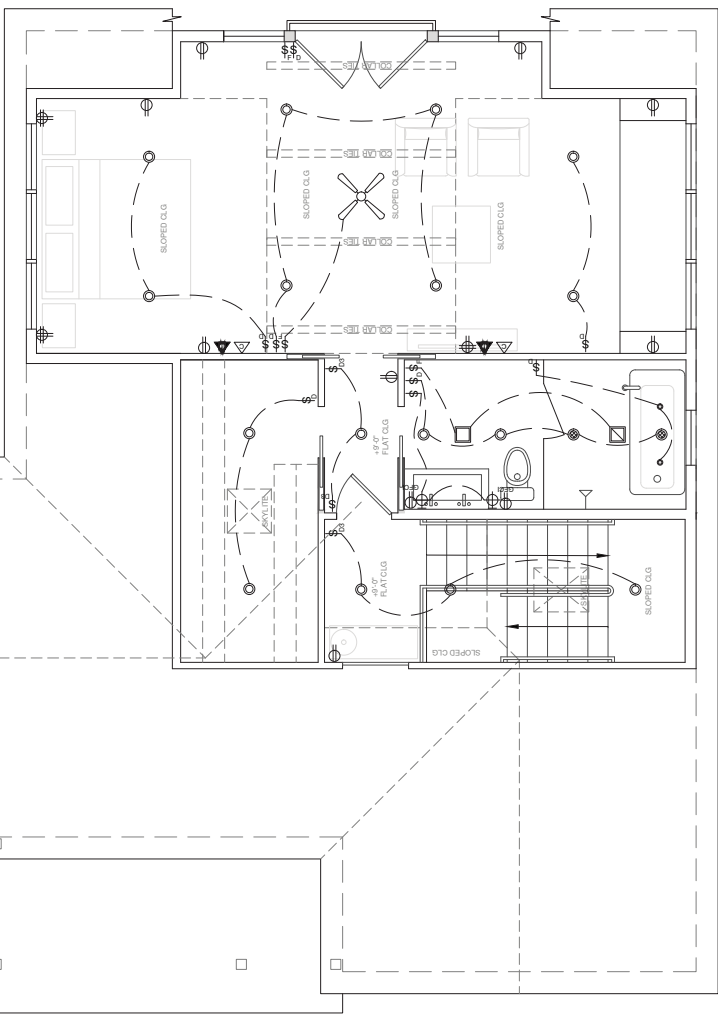


- GENERAL PLAN NOTES**
- ALL EXTERIOR WALLS ARE TO BE INSULATED.
  - 2X6 WOOD STUD WALLS TO BE INSULATED WITH R15 INSULATION. INSULATED WOOD STUD WALLS UNLESS OTHERWISE NOTED.
  - CONSTRUCTION AND INSTALLATIONS ARE TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, STATE AND LOCAL BUILDING CODES.
  - FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY WORK. REPORT TO SOURCE OF DISCREPANCY TO ARCHITECT PRIOR TO CONSTRUCTION.
  - PROVIDE ALL DIMENSIONS FROM FACE OF STUD.
  - DIMENSIONS ON FLOOR PLANS ARE TO BE MEASURED FROM FACE OF STUD.
  - PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEHIND ALL CASEWORK, HOOKS, RAILINGS AND HANG CONTROLS TO PROVIDE RESPECTIVE DESIGN LAYOUT. SIZING AS REQUIRED PER TRADE PER CODE.
  - FINAL SHEETING DESIGN AND LAYOUT TO BE DETERMINED BY OWNER AND CONTRACTOR.

**ELECTRICAL PLAN KEY**

	DIMMER LIGHT SWITCH
	THREE POLE SWITCH
	LIGHT SWITCH
	FAN SWITCH
	UNDER CABINET OR LINEAR CLOSE LIGHTS
	1" CANLIGHT
	2" SHOWER RATED CAN LIGHT
	2" SHOWER RATED TRACK LIGHT
	PENDANT LIGHT
	WALL MOUNTED LIGHT
	ELECTRICAL OUTLET
	DUPLEXELEC. OUTLET
	GFCI OUTLET
	EXHAUST FAN VENT TO OUTSIDE
	CEILING FAN
	CABLE
	INTERNET

**SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**MAIN FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

