

AGENDA
REDEVELOPMENT COMMISSION
McCloskey Conference Room
November 4, 2019
5:00 p.m.

- I. ROLL CALL**
- II. READING OF THE MINUTES** –October 21, 2019
- III. EXAMINATION OF CLAIMS** –November 1, 2019 for \$2,501,177.37
- IV. EXAMINATION OF PAYROLL REGISTERS**–October 25, 2019 for \$32,107.73
- V. REPORT OF OFFICERS AND COMMITTEES**
 - A. Director’s Report
 - B. Legal Report
 - C. Treasurer’s Report
 - D. Business Development Updates
- VI. NEW BUSINESS**
 - A. Resolution 19-97: Guaranteed Maximum Price – 4th Street Garage
 - B. Resolution 19-98: Addendum #2 for B-Line Trail Extension
 - C. Resolution 19-99: Approval of Efficient Lighting Upgrades at the Buskirk-Chumley Theater
 - D. Resolution 19-100: Agreement with VET for Environmental Testing
- VII. BUSINESS/GENERAL DISCUSSION**
- IX. ADJOURNMENT**

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or e-mail human.rights@bloomington.in.gov.

THE REDEVELOPMENT COMMISSION OF THE CITY OF BLOOMINGTON, INDIANA MET on Monday, October 21, 2019, at 5:00 p.m. in the Showers City Hall, McCloskey Conference Room, 401 North Morton Street, with Sue Sgambelluri, presiding.

I. ROLL CALL

Commissioners Present: Sue Sgambelluri, David Walter, Mary Alice Rickert and Eric Sandweiss

Commissioners Absent: Don Griffin and Sue Wanzer

Staff Present: Doris Sims, Director; Housing and Neighborhood Development (HAND); Christina Finley, Financial Specialist, HAND

Others Present: Jeff Underwood, Controller; Randy Cassady, Citizen; Tamby Cassady, Citizen; Alex Crowley, Director, Economic & Sustainable Development, Rylie Kynn, IU Journalism Student

II. READING OF THE MINUTES – Eric Sandweiss moved to approve the October 7, 2019, minutes. David Walter seconded the motion. The board unanimously approved.

III. EXAMINATION OF CLAIMS – David Walter moved to approve the claim register for October 18, 2019, for \$473,408.87. Eric Sandweiss seconded the motion. The board unanimously approved.

IV. EXAMINATION OF PAYROLL REGISTERS – Eric Sandweiss moved to approve the payroll register for September 27, 2019, for \$32,107.74 and October 11, 2019, for \$32,107.74. David Walter seconded the motion. The board unanimously approved.

V. REPORT OF OFFICERS AND COMMITTEES

A. Director's Report. Doris Sims stated the city is undertaking a housing study. This week, the city is holding 12 different listening sessions for stakeholders and the general public.

B. Legal Report. Larry Allen stated that there will be a joint city and county council meeting regarding the construction of a new convention center on October 29th at 6:30 p.m.

C. Treasurer's Report. Jeff Underwood stated the joint convention center expansion meeting will be primarily a financial discussion. Underwood said there is a possibility the RDC will be asked to finance a parking garage as part of the expansion of the convention center. The garage is estimated to cost \$15 million. There is not site or design for the potential garage, and the RDC has no formal commitment at this time. Staff is preparing a financial presentation on possible financing. Underwood said he will share the presentation with the RDC once it is finalized.

D. Business Development Updates. Alex Crowley updated the commission on the following projects:

- Trades District Garage: Construction will hopefully begin before the end of the year.
- Kiln Building: Discussions continue with one of the bidders on potential acquisition of the Kiln Building.
- Showers Administration Building: The listing closed last week. Staff received 7 bids with 3 of particular interest.

Underwood said pricing on the garage bonds will begin in the next couple weeks.

VI. NEW BUSINESS

A. Resolution 19-94: Approval to Keep Parking Garage at Old Hospital Site. Underwood stated staff has meet with the steering committee of the larger hospital reuse committee. After discussions, it is the recommendation of staff and the steering committee to formally notify the IU Health Hospital that the RDC intends to take possession of the garage. They also recommend an extension of time on the due diligence period for the Kohr Administration Building.

Eric Sandweiss asked Underwood to summarize the pros and cons that were raised during the steering committee and staff discussions for retaining the garage. Underwood said primarily the discussions ranged around the condition of the garage and the cost and ability to maintain it for another 30 years. He said the information provided by IU Health is that the garage has been well maintained and is not deteriorating. IU Health has agreed to continue maintenance on the garage. One of the benefits in keeping the garage is it is adjacent to the convention center expansion. Also, the garage would provide parking for the hospital site and reduce needed street and on-site parking. The one con discussed was how to wrap the building to make it more attractive and blend in with the development. Underwood said the consultants believe there will be plenty of opportunities for art installation or façade improvements. Eric Sandweiss asked if there were any objections to the garage during the discussions. Underwood said there were no objections.

Sue Sgambelluri asked for public comment. There were no comments from the public.

Mary Alice Rickert moved to approve Resolution 19-94. Eric Sandweiss seconded the motion. The board unanimously approved.

B. Resolution 19-95: Approval of Fourth Amendment to the Purchase Agreement Between the City of Bloomington and IU Health for Purchase of the IU Health Hospital Site at 2nd and Rogers Streets (Kohr Administration Building). Underwood said the Kohr building site presents a more serious economic development issue. The interior is basically linked to the rest of the hospital. They share the same power grid, water, and sewer. The original estimate for rehab was around \$3 million. The cost is now closer to \$11 million. Underwood said there is a good deal of concern about the feasibility from an investment standpoint. Staff is requesting an extension of time to complete the due diligence and decide whether to keep the building.

Sue Sgambelluri asked for public comment. There were no comments from the public.

Eric Sandweiss moved to approve Resolution 19-95. David Walter seconded the motion. The board unanimously approved.

C. BUSINESS/GENERAL DISCUSSION

D. ADJOURNMENT

Don Griffin, President

Mary Alice Rickert, Secretary

Date

19-97
RESOLUTION
OF THE
REDEVELOPMENT COMMISSION
OF THE
CITY OF BLOOMINGTON, INDIANA

**APPROVAL OF FOUNDATION PIERS AND SITE SERVICES GUARANTEED
MAXIMUM PRICE FOR THE 4TH STREET GARAGE**

- WHEREAS, on October 15, 2018, the Redevelopment Commission of the City of Bloomington (“RDC”) approved in Resolution 18-67 a Project Review and Approval Form (“Form”), which sought the support of the RDC regarding the construction of a new 4th Street Garage (“Project”); and
- WHEREAS, the RDC approved the issuance of a tax increment revenue bond for the financing of the Project in Resolution 18-68 (“Bonds”); and
- WHEREAS, the City of Bloomington Common Council voted to move forward with bonding for the 4th Street Garage in Council Resolution 19-06; and
- WHEREAS, the RDC approved the Construction Manager as Constructor (CMc) contract with F.A. Wilhelm Construction Co., Inc., (“Wilhelm”) in Resolution 19-42 (“Agreement”); and
- WHEREAS, as part of the Agreement, Wilhelm was to present a Guaranteed Maximum Price (“GMP”) for significant phases of the Project, the first of which was the demolition of the current 4th Street Parking Garage, which was approved by the RDC in Resolution 19-67; and
- WHEREAS, the next phase of this project is to procure services for the foundational piers and construction site services; and
- WHEREAS, City staff have negotiated a GMP with Wilhelm for the foundational piers and site services for the garage in an amount that shall not exceed One Million Two Hundred Thirty-One Thousand Six Hundred Ninety Dollars (\$1,231,690.00), which is attached to this Resolution as Exhibit A; and
- WHEREAS, there are sufficient funds in the Consolidated TIF to pay for the preliminary services pursuant to the terms of the Agreement for the Project, which will be reimbursed by the Bonds; and
- WHEREAS, the City has brought the RDC an Amended Project Review Form (“Amended Form”) which updates the expected cost of the Project, which is attached to this Resolution as Exhibit B;

NOW, THEREFORE, BE IT RESOLVED BY THE REDEVELOPMENT COMMISSION OF THE CITY OF BLOOMINGTON, INDIANA, THAT:

1. The Redevelopment Commission reaffirms its support for the Project, as set forth in the Amended Form, and reiterates that it services the public's best interest.
2. The RDC reaffirms that the Project has a valid public purpose and is an appropriate use of the TIF and Bonds.
3. The RDC hereby approves the Guaranteed Maximum Price (GMP) attached to this Resolution as Exhibit A and authorizes the City of Bloomington to expend an amount not to exceed One Million Two Hundred Thirty-One Thousand Six Hundred Ninety Dollars (\$1,231,690.00) to pay for the foundation of the new 4th Street Parking Garage, pursuant to the terms of the GMP.
4. The Payment authorized above may be made from the Consolidated TIF, the 2019 Bonds, or a combination of the Consolidated TIF and the 2019 Bonds. The Controller shall make the determination of funding source as requests for payment are received in accordance with the terms of the Agreement. Nothing in this Resolution shall remove the requirement to comply with the City or the RDC's claims process.
5. Unless extended by the Redevelopment Commission in a resolution prior to expiration, the authorizations provided under this Resolution shall expire on December 31, 2020.

BLOOMINGTON REDEVELOPMENT COMMISSION

Donald Griffin, President

ATTEST:

Mary Alice Rickert, Secretary

Date

F. A. WILHELM CONSTRUCTION

30 October 2019

Mr. Mick Renneisen, Deputy Mayor
City of Bloomington
401 North Morton St.
Bloomington, IN 47404

**Re: City of Bloomington
GMP#2- Drilled Piers & CM Site Services**

Mr. Renneisen,

Enclosed is our Guaranteed Maximum Price (GMP) dated 30 October 2019 for the City of Bloomington 4th Street Parking Garage- GMP#2- Drilled Piers and CM Site Services. Contained within this packet is a GMP of **\$1,231,690**. This value is all inclusive of subcontractor bids, Wilhelm General Conditions, and Construction Manager (CM) Site Services.

Enclosed are the following sections:

1. GMP#1 Cost Summary
2. BP#2- Drilled Pier Bid Recap Summary
3. BP#2- Recommendation for Award
4. BP#2- Drilled Pier Contingency Allowance Calculation
5. GMP #2 General Conditions
6. GMP#2 CM Site Services
7. Assumptions and Clarifications
8. Bid Event #2 Document List
9. Construction Schedule

We look forward to discussing this submittal further with the project team. Please do not hesitate to contact us at 317-359-5411 if you have any questions or comments.

Sincerely,



Jeremy Ayres
Project Executive
F.A. Wilhelm Construction Company



Dan Fetz
Preconstruction Manager
F.A. Wilhelm Construction Company



F. A. WILHELM CONSTRUCTION

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1. GMP#2 Cost Summary
2. BP#2- Drilled Pier Bid Recap Summary
3. BP#2- Recommendation for Award
4. BP#2- Drilled Pier Contingency Allowance for Additional Drilling and Obstructions Detailed Breakdown
5. GMP #2 General Conditions
6. GMP#2 CM Site Services
7. Assumptions and Clarifications
8. Bid Event #2 Document List
9. Construction Schedule



F. A. WILHELM CONSTRUCTION

SECTION 01: GMP#2 COST SUMMARY

City of Bloomington- 4th Street Parking Garage- GMP#2

BID PACKAGE BREAKDOWN

October 31st, 2019

SECTION 01



Bid Package	Bid Package Description	Apparent Low Bidder	GMP #1-	GMP #2-	95% CD Budget	Variance
			07/19/19	10/31/19		
01	Demolition	Denney Companies	\$1,025,400	\$0	\$1,025,400	\$0
02	Drilled Piers	Illini Drilled Foundations	\$0	\$482,060	\$500,000	-\$17,940
			\$1,025,400	\$482,060		
Sales Tax			exempt	exempt		
CM Site Services LS			\$189,850	\$532,861		
General Conditions LS			\$163,387	\$149,204		
Preconstruction Services LS			in GC's	in GC's		
CM Contingency			5.00% \$51,270	\$24,103		
Permits LS			\$10,000	\$10,000		
Builder's Risk Insurance			by owner \$0	\$0		
General Liability Insurance			0.33% \$4,752	\$3,954		
CM Fee			2.25% \$32,505	\$27,049		
Payment & Performance Bond			0.51% \$5,230	\$2,459		
GMP TOTAL			\$1,482,393	\$1,231,690		
			GMP	GMP		

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3914 Prospect Street, Indianapolis, IN 46203



F. A. WILHELM CONSTRUCTION

SECTION 02- BP#1 BID RECAP

PROJECT NAME: City of Bloomington- 4th Street Parking Garage- GMP#2

BID PACKAGE: #2
SCOPE OF WORK: Drilled Piers

SCOPE DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	2	2	1
					Illini Drilled Foundations	Berkel	Beatty Construction
					Julie Hines 217-442-8785	Terry Butler 502-225-0053	Dan Beatty 317-835-2254
Base Bid Amount (Quote):					\$ 395,000	\$ 445,000	\$ 674,845
BP#2- Drilled Piers Scope							
Scope of Work							
Drilled Piers:							
30" diameter drilled pier	13.00	ea			Included	Included	Included
42" diameter drilled pier	8.00	ea			Included	Included	Included
48" diameter drilled pier	19.00	ea			Included	Included	Included
54" diameter drilled pier	5.00	ea			Included	Included	Included
60" diameter drilled pier	6.00	ea			Included	Included	Included
66" diameter drilled pair	4.00	ea			Included	Included	Included
78" diameter drilled pier	2.00	ea			Included	Included	Included
30" diameter rock socket	13.00	ea			Included	Included	Included
42" diameter rock socket	8.00	ea			Included	Included	Included
48" diameter rock socket	19.00	ea			Included	Included	Included
54" diameter rock socket	5.00	ea			Included	Included	Included
60" diameter rock socket	6.00	ea			Included	Included	Included
66" diameter rock socket	4.00	ea			Included	Included	Included
78" diameter rock socket	2.00	ea			Included	Included	Included
2' Rock Socket for each pier type					Included	Included	Included
Furnish and Install Reinforcing Steel					Included	Included	Included
Furnish and Install Ready-Mix					Included	Included	Included
Removal of Spoils					Included	Included	Included
Pier Layout					Included	Included	Included
Miscellaneous Earthwork					Included	Included	Included
Schedule of Quantities							
Total Drilled Pier Length	778.00	lf			772/LF	774/LF	774/LF
Total Ready-Mix Volume	416.00	/cy			400/CY	488/CY	435/CY
Total Rebar Quantity	30.00	/tons			25/TONS	10/TONS	18/TONS
Spoil Volume	416.00	/cy			490/CY	488/CY	535/CY
Allowances & Scope Adjustments							
Allowance- Drilled Pier Contingency Allowances				\$ 64,060	\$ 80,551	\$ 79,306	
Allowance- Environmental, Stockpile Materials				\$ 10,000	\$ 10,000	\$ 10,000	
Tower Crane Drilled Piers					in CM Site Services	in CM Site Services	in CM Site Services
Pea Gravel for Top 3'	150.00	lms	\$20.00	\$ 3,000	\$ 3,000	\$ 3,000	
Sales Tax Excluded				Yes	\$ (5,150)	Yes	
Drill Rig Access- Ramp In, Ramp Out, Remove	1,000.00	sf	\$10.00	\$ 10,000	\$ 10,000	\$ 10,000	
Diverse Business Participation							
MBE				\$ -	\$ 65,750	\$ 31,864	
WBE				\$ 255,000	\$ 12,100	\$ 7,304	
VBE				\$ -	\$ -	\$ -	
Base Bid				\$ 395,000	\$ 445,000	\$ 674,845	
Scope Adjustment				\$ 87,060	\$ 98,401	\$ 102,306	
Total Cost				\$ 482,060	\$ 543,401	\$ 777,151	
Alternates							
Alternate 1- Payment and Performance Bond				\$ 8,000	\$ 5,785	\$ 5,400	

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F. A. WILHELM CONSTRUCTION

SECTION 03- BP#2- RECOMMENDATION FOR AWARD

Re: **City of Bloomington**
BP#2- Drilled Piers- Recommendation for Award

Mr. Renneisen,

Wilhelm Construction is pleased to make the following recommendation for contract award for the City of Bloomington 4th Street Parking Garage- Bid Package 2- Drilled Piers. Wilhelm has prequalified each bidder on the basis of safety, relevant project experience, insurance, and bonding and determined that all bidders were capable and qualified to successfully complete the Driller Pier scope of work for this project- please see bid tabulation below.

BIDDER	RESPONSIVE?	BASE BID	ALT 1- Bond
Illini Drilled Foundations Danville, IL	Yes	\$395,000	Add \$8,000
Berkel & Co. LaGrange, KY	Yes	\$445,000	Add \$5,785
Beaty Construction. Boggsstown, IN	Yes	\$674,845	Add \$5,400

It is our recommendation that Bid Package #2 be awarded to **Illini Drilled Foundations** of Danville, IL as we have determined that they are lowest, responsive, and most responsible bidder for this project. Wilhelm has thoroughly reviewed their scope of work and project approach and have confidence in their ability to execute this work.

Regarding the bid alternates Wilhelm recommends the following:

Alternate 1- Payment and Performance Bond- Add of \$8,000- **Reject**

Should you have any questions regarding this recommendation please don't hesitate to contact us directly.

Best Regards,

F.A. Wilhelm Construction Co., Inc.



F. A. WILHELM CONSTRUCTION

SECTION 04- DRILLED PIER CONTINGENCY ALLOWANCE CALCULATION

PROJECT NAME: City of Bloomington- 4th Street Parking Garage- GMP#2

BID PACKAGE:
SCOPE OF WORK:

#2

Drilled Pier Contingency Allowance Calculation

SCOPE DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	#2				
					2	2	1		
					Illini Drilled Foundations Julie Hines 217-442-8785	Beatty Terry Butler 502-225-0053	Beatty Construction Dan Beatty 317-835-2254		
Base Bid Amount (Quote):				\$	64,060	\$	80,551	\$	79,306
BP#2- Drilled Pier Contingency Allowance Calculation Included in GMP#2									
Unit Prices (Submitted with Bids)									
Add- 30" dia			Add	\$	145	\$	339	\$	255
Deduct- 30" dia			Deduct	\$	(30)	\$	(31)	\$	(58)
Rock Socket- 30" dia			Add	\$	625	\$	578	\$	425
Add- 42" dia			Add	\$	290	\$	405	\$	321
Deduct- 42" dia			Deduct	\$	(58)	\$	(54)	\$	(97)
Rock Socket- 42" dia			Add	\$	670	\$	689	\$	649
Add- 48" dia			Add	\$	380	\$	459	\$	567
Deduct- 48" dia			Deduct	\$	(75)	\$	(71)	\$	(127)
Rock Socket- 48" dia			Add	\$	710	\$	780	\$	862
Add- 54" dia			Add	\$	480	\$	570	\$	685
Deduct- 54" dia			Deduct	\$	(95)	\$	(89)	\$	(150)
Rock Socket- 54" dia			Add	\$	760	\$	969	\$	1,070
Add- 60" dia			Add	\$	585	\$	736	\$	737
Deduct- 60" dia			Deduct	\$	(115)	\$	(122)	\$	(188)
Rock Socket- 60" dia			Add	\$	810	\$	1,250	\$	1,290
Add- 66" dia			Add	\$	715	\$	768	\$	722
Deduct- 66" dia			Deduct	\$	(140)	\$	(136)	\$	(223)
Rock Socket- 66" dia			Add	\$	1,000	\$	1,305	\$	1,510
Add- 78" dia			Add	\$	905	\$	1,567	\$	1,087
Deduct 78" dia			Deduct	\$	(180)	\$	(182)	\$	(287)
Rock Socket- 78" dia			Add	\$	1,210	\$	2,663	\$	1,760
Additional Mobilizations			Add	\$	20,000	\$	42,000	\$	260,000
Drilled Pier Contingency Allowance Breakdown									
Contingency Includes Drilling an Additional 1' of soil and 1' of limestone at each pier location. This allowance would cover additional soil/rock drilling, concrete drilling, or other obstructions.									
30" diameter pier- into soil	13.00	lf		\$	1,885	\$	4,407	\$	3,315
30" diameter pier- into limestone	13.00	lf		\$	8,125	\$	7,488	\$	5,525
42" diameter pier- into soil	8.00	lf		\$	2,320	\$	3,240	\$	2,568
42" diameter pier- into limestone	8.00	lf		\$	5,360	\$	5,512	\$	5,188
48" diameter pier- into soil	19.00	lf		\$	7,220	\$	8,721	\$	10,773
48" diameter pier- into limestone	19.00	lf		\$	13,490	\$	14,820	\$	16,378
54" diameter pier- into soil	5.00	lf		\$	2,400	\$	2,850	\$	3,425
54" diameter pier- into limestone	5.00	lf		\$	3,800	\$	4,845	\$	5,350
60" diameter pier- into soil	6.00	lf		\$	3,510	\$	4,416	\$	4,422
60" diameter pier- into limestone	6.00	lf		\$	4,860	\$	7,500	\$	7,740
66" diameter pier- into soil	4.00	lf		\$	2,860	\$	3,072	\$	2,888
66" diameter pier- into limestone	4.00	lf		\$	4,000	\$	5,220	\$	6,040
78" diameter pier- into soil	2.00	lf		\$	1,810	\$	3,134	\$	2,174
78" diameter pier- into limestone	2.00	lf		\$	2,420	\$	5,326	\$	3,520
Wage Rates (Submitted with Bids)									
Operator					\$98/HR		\$78.02/HR		\$85.05/HR
Laborer					\$75/HR		\$55.37/HR		\$59.56/HR
Foreman					\$115/HR		\$97.40/HR		\$91.28/HR
Miscellaneous Charges (Not Included in GMP, or Driller Pier Allowance)									
Additional Mobilization					\$20,000/ea		\$42,000/ea		\$260,000/ea
Downtime Charges					\$1,500/hr		\$1,500/hr		\$1,500/hr

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F. A. WILHELM CONSTRUCTION

SECTION 05- GENERAL CONDITIONS

Bloomington 4th Street Garage
GENERAL CONDITIONS - GMP #2 Drilled Piers (Nov. 2019 - Feb. 2020)
10/31/2019

GENERAL CONDITIONS - GMP #2 Drilled Piers (Nov. 2019 - Feb. 2020)		ITEM QUANTITY		MATERIAL		LABOR		ESTIMATE	
		QUANTITY	UNIT	UNIT PRICE	MATERIAL DOLLARS	UNIT PRICE	LABOR DOLLARS	UNIT PRICE	TOTAL
Project Management									
Project Manager	Aaron Tague	17	wks			\$3,600	\$62,352	\$3,600	\$62,352
Superintendent	Tom Horton	17	wks			\$3,600	\$62,352	\$3,600	\$62,352
Project Engineer I	TBD	0	wks			\$2,600			
Safety	TBD	0	wks			\$2,600			
Project Exec	Jeremy Ayres	2	wks			\$5,600	\$11,200	\$5,600	\$11,200
Scheduler	Drew Ference	0	wks			\$3,200			
BIM Coord	TBD	0	wks			\$2,600			
Precon	Dan Fetz	0	lsum			\$0			
Staff Travel (months)		4	mths	\$1,000	\$4,000			\$1,000.00	\$4,000
Field Offices									
FAW On-site Office		0	mo	\$0					
- office rental		4	mo					\$0	\$0
- trailer set-up & tear down		0	mo	\$0			\$0		
- copier		4	mo	\$500	\$2,000			\$500	\$2,000
- internet		4	mo	\$400	\$1,600			\$400	\$1,600
- monthly supplies		4	mo	\$600	\$2,400			\$600	\$2,400
- restroom tank service		0	mo	\$950					
- power monthly (excludes hookups)		4	mo	\$200	\$800			\$200	\$800
- water		4	mo	\$125	\$500			\$125	\$500
- furniture		0	lsum	\$5,000					
- plans and drawings		0	ea	\$2,000	\$2,000				
Procure Project Management		0	ea	\$2,000					
TOTALS					\$13,300	\$135,904	\$149,204		



F. A. WILHELM CONSTRUCTION

SECTION 06- CM SITE SERVICES

PROJECT NAME: City of Bloomington- 4th Street Parking Garage- GMP#2

BID PACKAGE:
SCOPE OF WORK: **CM Site Services**

	SCOPE DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
	Base Bid Amount (Quote):				
	CM Site Services				
	Port-a-Johns	2.00	mo		
	Quantity	6.00	ea		
	Total Unit Rental	12.00	ea	\$300.00	\$ 3,600
	Dumpsters	6.00	ea	\$450.00	\$ 2,700
	Site Fencing				in GMP#1
	Jersey Barriers				in GMP#1
	Maintenance of Traffic				in GMP#1
	Signage				in GMP#1
	Misc. Labor to Move Barriers, Fencing	40.00	hrs	\$50.00	\$ 2,000
	Temporary Power/Lighting	-			\$ -
	Project Signage- Main Sign	1.00	ls		\$ 3,000
	Project/Site Safety Equipment	1.00	ls	\$10,000.00	\$ 10,000
	General Project Cleanup- Material	1.00	ls	\$1,500.00	\$ 1,500
	General Project Cleanup- Labor	120.00	hrs	\$50.00	\$ 6,000
	Street Sweeping Services	1.00	ls		\$ 2,500
	Utility Locates, Potholing	16.00	hrs	\$400.00	\$ 6,400
	Tower Crane				
	Anchor Stools	1.00	ls	\$10,500.00	\$ 10,500
	Freight-In	1.00	ls	\$10,000.00	\$ 10,000
	Freight-Out	1.00	ls	\$10,000.00	\$ 10,000
	Assembly	1.00	ls	\$25,800.00	\$ 25,800
	Dismantle	1.00	ls	\$36,300.00	\$ 36,300
	Monthly Rental	8.00	mo	\$14,000.00	\$ 112,000
	Crane OT Premium	160.00	hrs	\$40.00	\$ 6,400
	Tower Crane Foundation Design	1.00	ls	\$3,000.00	\$ 3,000
	Weekend Assembly/Disassembly Premium	1.00	ls	\$5,000.00	\$ 5,000
	FFA Permit	1.00	ls	\$1,000.00	\$ 1,000
	Lane Closures/Traffic Control	1.00	ls	\$2,500.00	\$ 2,500
	Tower Crane Base Enclosure	1.00	ls	\$7,500.00	\$ 7,500
	Fencing Around Tower Crane Base	1.00	ls	\$500.00	\$ 500
	Tower Crane Operator (50 hrs/wk for 8 months- incld climb time)	1,900.00	hrs	\$70.00	\$ 133,000
	Electrical Consumption Cost for Tower Crane	8.00	mo	\$1,000.00	\$ 8,000
	Tower Crane Footing				\$ -
	Foundation Concrete Material	162.00	cy	\$116.50	\$ 18,873
	Foundation Reinforcing & Column Dowels	16.00	tons	\$1,712.00	\$ 27,392
	Foundation Concrete- Form, Pour, Place, Finish	162.00	cy	\$78.00	\$ 12,636
	Foundation Excavation & Backfill	1.00	ls	\$10,120.00	\$ 10,120
	54" diameter drilled shafts (w/ 5' rock socket)	2.00	ea	\$11,950.00	\$ 23,900
	Temp Pole, 480V, 3Ph Power Suuply	1.00	ls	\$12,900.00	\$ 12,900
	Duke Electrical Drop for Tower Crane	1.00	ls	\$10,000.00	\$ 10,000
	Tax on Consumables	1.00	ls	\$7,840.00	\$ 7,840
	Total Cost				\$ 532,861

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F. A. WILHELM CONSTRUCTION

SECTION 07: ASSUMPTIONS AND CLARIFICATIONS- 1 or 2

GENERAL

1. Guaranteed Maximum Price (GMP)#2- Drilled Piers and CM Site Services is based upon the following documents issued by CSO Architects titled 100% CD Review Set dated September 20th, 2019.
2. GMP#2- Drilled Piers is based upon the Project Bid Manual prepared by Wilhelm Construction issued October 8th, 2019.
3. GMP#2 does not include cost for material testing, geotechnical investigations, environmental testing and analysis, environmental remediation or abatement. These services are to be provided by others.
4. Patriot Engineering will perform “pre-drilling” services on behalf of the owner and coordinate their findings with Wilhelm and Illini Drilled Foundations. The intent of this service is to accurately gauge the correct elevation of competent limestone materials. This investigation will take place prior to our subcontractor mobilizing on-site.
5. GMP#2 pricing for drilled shafts is inclusive of top and bottom of pier elevation listed on drawings S100, plus an additional 2’ at each pier location for each pier type and includes a drilled pier contingency allowance which is detailed in Section 04 of this GMP. Any drilling in excess of what we have assumed in our contingency allowance will result in additional costs as indicated by unit prices provided at bid time. Unused portions of the contingency allowance will be returned to the owner.
6. Our GMP proposal assumes that any environmental conditions that may exist will not impact our workflow or result in downtime for our foundations contractor. We will follow the recommendation of the authorities having jurisdiction over this matter however for this GMP we have assumed that stockpiling contaminated materials in dumpsters until a suitable dump site is located is sufficient. Testing for contaminants and disposal of contaminated materials is not included in this GMP.
7. We have not included costs to handle, dispose, or remediate any material not defined as “clean fill”.
8. This pricing is based upon (1) mobilization for the foundations contractor- if other mobilizations are required this will result in additional costs.
9. Normal working hours have been assumed for this phase of the project.
10. Utility Relocations are not included in this GMP Proposal.
11. Costs for lane and sidewalk closures are assumed to be by Bloomington and are excluded in the GMP Proposal.
12. This GMP proposal is based upon the attached schedule- see Section 09 Schedule.

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F. A. WILHELM CONSTRUCTION

SECTION 07: ASSUMPTIONS AND CLARIFICATIONS- 2 of 2

13. Wilhelm has included all costs associated with providing a tower crane in this GMP#2. This includes the following: tower crane foundation, electrical services, assembly of crane, removal of crane, monthly rental for 8 months, tower crane operator, design services, electrical consumption costs, etc...
14. To account for scope that is undefined at this point in time we have established the following allowances:
 - a. Drilled Pier Contingency Allowance- \$64,060
 1. This allowance shall be used to cover additional costs, if required, to pay for additional drilling of soils, limestone, premium drilling for obstructions or subsurface concrete.
 - b. Environmental Allowance- \$10,000
 1. This allowance shall be used to cover the costs of dumpsters to stockpile contaminated material while they are being tested for contaminants. This allowance does not include testing for contaminants, remediation, or disposal of contaminants. That work would be performed by the owner environmental contractor/testing agent.

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F. A. WILHELM CONSTRUCTION

SECTION 08- BID EVENT #2 DOCUMENT LIST

Sheet #	Name	Date	Note
C101	Existing Site Condition Plan		
C201	Stormwater Pollution Prevention Plan Notes		
C202	Stormwater Pollution Prevention Plan		
C203	Stormwater Pollution Prevention Plan Details		
C301	Selective Site Demolition Plan		
C401	Site Grading Details		
C501	Site Utilities Plan		
C601	Site Details		
L100	Materials Plan		
L110	Layout Plan		
L120	Landscape Plan		
L501	Site Details		
L502	Site Details		
S000	3D Views		
S001	Structural General Notes		
S002	Typical Details		
S003	Typical Details		
S003	Typical Details		
S100	Level 1 Foundation Plan		
S101	Level 1 Slab Plan		
S102	Level 2 Framing Plan		
S103	Level 3 Framing Plan		
S104	Level 4 Framing Plan		
S105	Level 5 Framing Plan		
S106	Level 6 Framing Plan		
S107	Roof Framing Plan		
S201	Building Elevations		
S202	Building Elevations		
S211	Building Sections		
S212	Building Sections		
S221	Wall Sections		
S222	Wall Sections		
S223	Wall Sections		
S224	Wall Sections		
S225	Wall Sections		
S301	Foundation Details		
S302	Foundations Details		
S401	Framing Details		
S402	Framing Details		
S411	Steel Framing Details		
S501	Column Schedule and Details		
S601	Typical PT Details		
S602	PT Slab and Miscellaneous Beam Details		
S603	PT Beam Schedule and Diagrams		
A000	Cover		
A010	Life Safety Plans		
A015	Accessibility Summary		
A020	Wall Types		
A101	First Floor Plan		
A102	Second Floor Plan		
A103	Third Floor Plan		
A104	Fourth Floor Plan		
A105	Fifth Floor Plan		
A106	Sixth Floor Plan		

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F. A. WILHELM CONSTRUCTION

A107	Roof Plan		
A200	First Floor Area A Enlarged Plans		
A201	First Floor Area B Enlarged Plans		
A202	First Floor Area C Enlarged Plans		
A210	Southwest Stair & Elevation Plans		
A211	Southwest Stair & Elevation Plans		
A212	Southwest Stair & Elevation Plans		
A213	Northwest Stair & Elevator Plans		
A214	Northwest Stair & Elevator Plans		
A215	Northwest Stair & Elevator Plans		
A221	Overall & Enlarged First Floor RCP's		
A222	Overall Second Floor RCP		
A226	Overall & Enlarged Sixth Floor RCP's		
A301	Exterior Elevations		
A302	Exterior Elevations		
A310	Overall Longitudinal Building Sections		
A313	Sections- Stair & Elevator Northwest		
A314	Sections- Stair & Elevator Southwest		
A315	Typical Building Sections- East		
A316	Wall Sections		
A317	Wall Sections		
A318	Bridge Sections and Details		
A320	Details		
A321	Details		
A340	Plan Details		
A501	Door Schedule and Details		
A502	Storefront & Curtainwall Elevations		
A503	Storefront & Curtainwall Elevations		
A504	Door & Window Details		
A505	Door & Window Details		
A601	Interior Elevations		
A602	Interior Elevations		
A701	Interior Sections		
A801	First Floor Finish Plan		
M000	Mechanical Coversheet		
M101	First Floor Plan- Mechanical		
M102	Second Floor Plan- Mechanical		
M103	Third Floor Plan- Mechanical		
M106	Sixth Floor Plan- Mechanical		
M200	Mechanical Enlarged Plans		
M400	Mechanical Details		
M500	Mechanical Schedules		
P000	Plumbing Coversheet		
P100	Underfloor Plan- Plumbing		
P101	First Floor Plan- Plumbing		
P102	Second Floor Plan- Plumbing		
P103	Third Floor Plan- Plumbing		
P104	Fourth Floor Plan- Plumbing		
P105	Fifth Floor Plan- Plumbing		
P106	Sixth Floor Plan- Plumbing		
P107	Roof Plan- Plumbing		
P400	Plumbing Details		
P500	Plumbing Schedules		
F000	Fire Protection Coversheet		
F101	First Floor Plan- Fire Protection		
F102	Second Floor Plan- Fire Protection		
F103	Third Floor Plan- Fire Protection		
F104	Fourth Floor Plan- Fire Protection		
F105	Fifth Floor Plan- Fire Protection		
F106	Sixth Floor Plan- Fire Protection		

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F. A. WILHELM CONSTRUCTION

E000	Electrical Coversheet		
E001	Electrical Site Plan		
E101	First Floor Plan- Lighting		
E102	Second Floor Plan- Lighting		
E103	Third Floor Plan- Lighting		
E104	Fourth Floor Plan- Lighting		
E105	Fifth Floor Plan- Lighting		
E106	Sixth Floor Plan- Lighting		
E201	First Floor Plan- Power		
E202	Second Floor Plan- Power		
E203	Third Floor Plan- Power		
E204	Fourth Floor Plan- Power		
E205	Fifth Floor Plan- Power		
E206	Sixth Floor Plan- Power		
E300	Enlarged Plans		
E400	One-Line Diagrams		
E500	Electrical Details		
E600	Electrical Schedules		
T000	Technology Coversheet		
T101	First Floor Plan- Technology		
T101A	First Floor Plan- Area A- Technology		
T101B	First Floor Plan- Area B- Technology		
T102	Second Floor Plan- Technology		
T103	Third Floor Plan- Technology		
T104	Fourth Floor Plan- Technology		
T105	Fifth Floor Plan- Technology		
T106	Sixth Floor Plan- Technology		
T200	Technology Room Enlargements		
T300	Technology Riser Diagrams		
T301	Technology Riser Diagrams		
T400	Technology Details		
T501	Technology Schedules		
T502	Technology Schedules		
SC001	Cover Sheet		Reference Only
SC002	General Notes & Module Specifications Sheets		Reference Only
SC003	Site Plan		Reference Only
SC101	Column Plan		Reference Only
SC102	Framing Plan		Reference Only
SC103	Component Plan		Reference Only
SC301	Canopy Sections		Reference Only
SC302	Canopy Sections		Reference Only
SC401	Foundations & Base Plate Details		Reference Only
SC501	Component Details		Reference Only
SC502	Framing Details		Reference Only
TC101	Tower Crane Foundation		

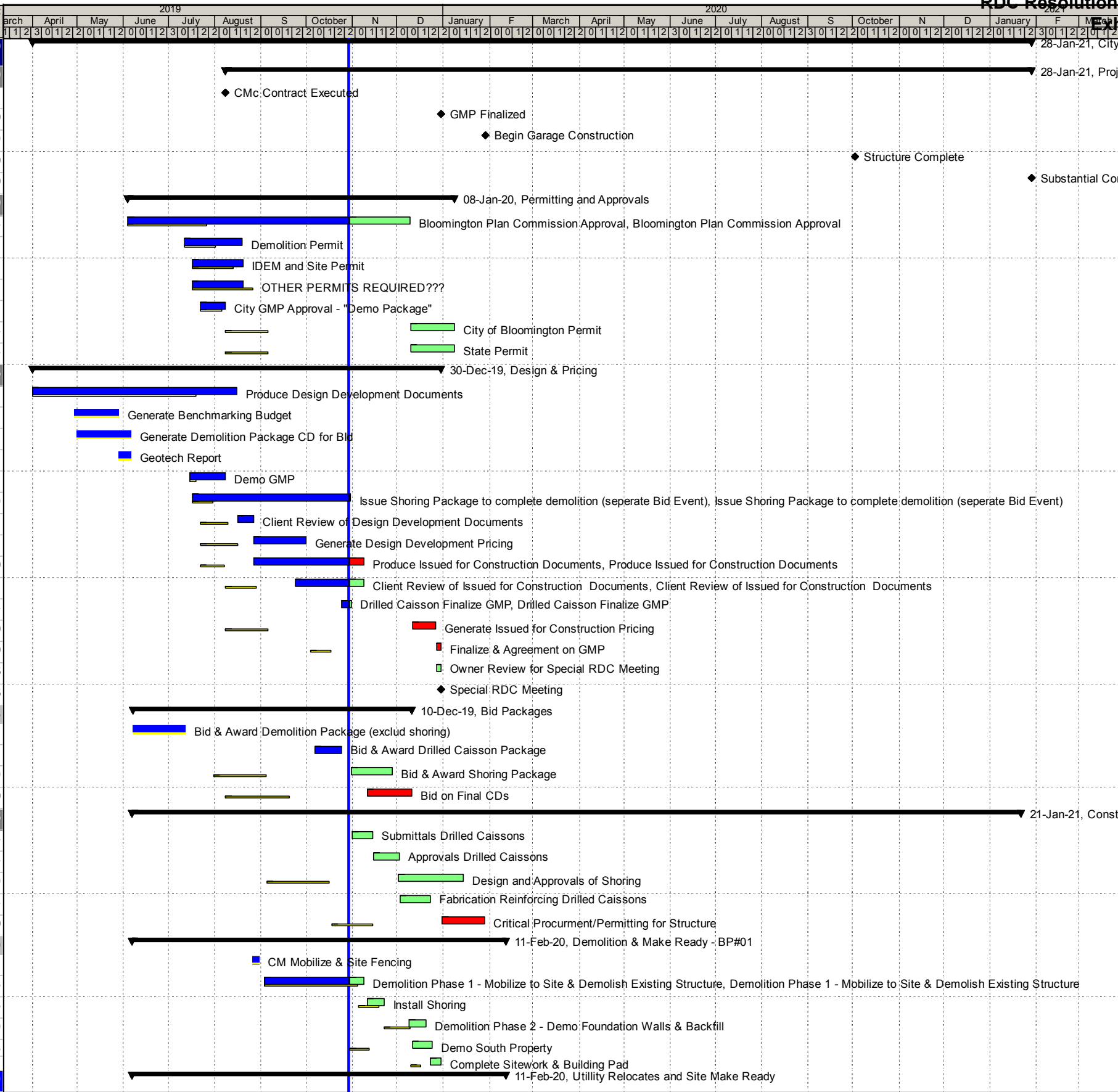
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3914 Prospect Street, Indianapolis, IN 46203



Activity ID	Activity Name	Duration	Start	Finish	Total Float
City of Bloomington - 4th Street Garage - LIVE					
Project Milestones					
A1000	CMc Contract Executed	0	08-Aug-19 A	28-Jan-21	0
A1010	GMP Finalized	0		30-Dec-19	0
A1240	Begin Garage Construction	0	29-Jan-20		30
A1020	Structure Complete	0		02-Oct-20	0
A1030	Substantial Completion	0		28-Jan-21	0
Permitting and Approvals					
A1540	Bloomington Plan Commission Approval	131	04-Jun-19 A	09-Dec-19	14
A1590	Demolition Permit	27	12-Jul-19 A	19-Aug-19 A	
A1580	IDEM and Site Permit	24	17-Jul-19 A	20-Aug-19 A	
A1570	OTHER PERMITS REQUIRED???	24	17-Jul-19 A	20-Aug-19 A	
A1530	City GMP Approval - "Demo Package"	13	22-Jul-19 A	08-Aug-19 A	
A1560	City of Bloomington Permit	20	10-Dec-19	08-Jan-20	14
A1550	State Permit	20	10-Dec-19	08-Jan-20	14
Design & Pricing					
A1190	Produce Design Development Documents	97	01-Apr-19 A	16-Aug-19 A	
A1180	Generate Benchmarking Budget	21	29-Apr-19 A	29-May-19 A	
A1440	Generate Demolition Package CD for Bld	25	01-May-19 A	06-Jun-19 A	
A1450	Geotech Report	6	29-May-19 A	06-Jun-19 A	
A1170	Demo GMP	18	15-Jul-19 A	08-Aug-19 A	
A1480	Issue Shoring Package to complete demolition (seperate Bid Event)	75	17-Jul-19 A	30-Oct-19	10
A1210	Client Review of Design Development Documents	7	16-Aug-19 A	27-Aug-19 A	
A1200	Generate Design Development Pricing	24	27-Aug-19 A	01-Oct-19 A	
A1270	Produce Issued for Construction Documents	53	27-Aug-19 A	08-Nov-19	0
A1290	Client Review of Issued for Construction Documents	34	24-Sep-19 A	08-Nov-19	31
A1520	Drilled Caisson Finalize GMP	5	25-Oct-19 A	31-Oct-19	14
A1280	Generate Issued for Construction Pricing	11	11-Dec-19	26-Dec-19	0
A1300	Finalize & Agreement on GMP	2	27-Dec-19	30-Dec-19	0
A1970	Owner Review for Special RDC Meeting	2	27-Dec-19	30-Dec-19	275
A1980	Special RDC Meeting	0		30-Dec-19	275
Bid Packages					
A1420	Bid & Award Demolition Package (exclud shoring)	25	07-Jun-19 A	12-Jul-19 A	
A1470	Bid & Award Drilled Caisson Package	14	07-Oct-19 A	25-Oct-19 A	
A1430	Bid & Award Shoring Package	20	31-Oct-19	27-Nov-19	10
A1460	Bid on Final CDs	20	11-Nov-19	10-Dec-19	0
Construction					
A1490	Submittals Drilled Caissons	10	01-Nov-19	14-Nov-19	14
A1500	Approvals Drilled Caissons	10	15-Nov-19	02-Dec-19	14
A1600	Design and Approvals of Shoring	30	02-Dec-19	14-Jan-20	10
A1510	Fabrication Reinforcing Drilled Caissons	15	03-Dec-19	23-Dec-19	14
A1310	Critical Procurement/Permitting for Structure	20	31-Dec-19	28-Jan-20	0
Demolition & Make Ready - BP#01					
A1650	CM Mobilize & Site Fencing	5	26-Aug-19 A	30-Aug-19 A	
A1050	Demolition Phase 1 - Mobilize to Site & Demolish Existing Structure	49	03-Sep-19 A	08-Nov-19	18
A1640	Install Shoring	10	11-Nov-19	22-Nov-19	18
A1660	Demolition Phase 2 - Demo Foundation Walls & Backfill	10	09-Dec-19	20-Dec-19	10
A1670	Demo South Property	10	11-Dec-19	24-Dec-19	13
A1060	Complete Sitework & Building Pad	5	23-Dec-19	30-Dec-19	10
Utility Relocates and Site Make Ready					
		172	07-Jun-19 A	11-Feb-20	10

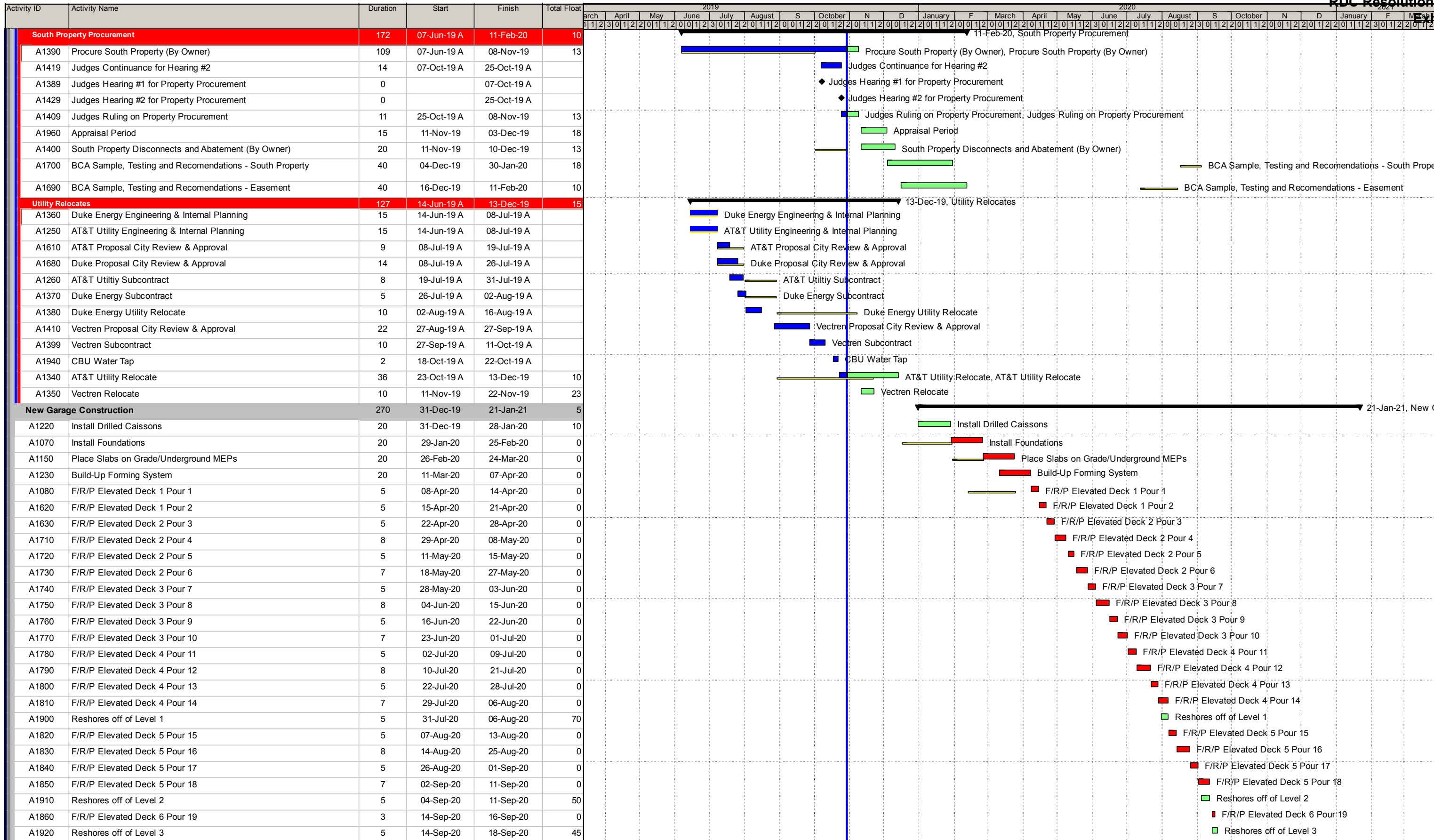


█ Remaining Level of Effort █ Actual Work
█ Actual Level of Effort █ Remaining Work
█ Project Baseline Bar █ Critical Remaining Work

Data Date = 30-Oct-19
Schedule Printed on 30-Oct-19, at 10:20
 Page 1 of 3

City of Bloomington - 4th Street Garage - LIVE





█ Remaining Level of Effort █ Actual Work
█ Actual Level of Effort █ Remaining Work
█ Project Baseline Bar █ Critical Remaining Work

Data Date = 30-Oct-19
Schedule Printed on 30-Oct-19, at 10:20
 Page 2 of 3

City of Bloomington - 4th Street Garage - LIVE



City of Bloomington
Redevelopment Commission
Project Review & Approval Form

Please Note:

- Approval of the project by the Redevelopment Commission through this Project Review & Approval Form does not represent an authorization to begin work or expend funds.
- Authorization of work and the commitment of funds shall be done when the Redevelopment Commission reviews and approves: (1) a Purchase Order or Contract prepared after complying with the appropriate procurement process for the type of item, service or construction being sought and (2) the estimated costs associated with the Purchase Order or Contract.
- No payment of funds shall be made without a duly authorized and approved Purchase Order or Contract. All claims for payment against a duly authorized Purchase Order or Contract shall be submitted to the Redevelopment Commission for their review and approval along with any required departmental inspections, reviews and approvals prior to the payment of any funds.

To Be Completed by Requesting Party:

Project Name: 4th Street Parking Garage

Project Manager(s): Deb Kunce and Josh Scism, CORE Planning Strategies; Mick Renneisen; Jeff Underwood; Alex Crowley; Adam Wason.

Project Description:

This is a project to retain all necessary design, construction management, and contracting for the design and construction of the 4th Street Parking Garage. The 4th Street Garage includes demolition of the existing garage and construction of no more than 550 parking spaces.

Included with the anticipated project costs below, the 4th Street Garage shall also include the following sustainable design features as have been contemplated by the RDC and the City:

- At least ten (10) electric vehicle charging stations in an area of priority parking with a design (conduit throughout the facility) that allows for the garage to be retrofitted for more charging stations as demand for the stations requires;
- Solar panels to offset the electric needs of the facility, at a minimum of 12,000 kilowatts. This level of coverage may be revisited after design details have been determined to see if additional solar can be added;
- Bicycle parking for a minimum of fifty (50) bikes, which shall include ten (10) bike lockers. The lockers may be located either inside or outside, or both, as the design determines;
- 25% of all parking spaces in the garage designed for use by compact vehicles;
- Dedicated carpool parking;
- A maintenance and caretaking plan for the life of the garage;
- Retail space on the ground floor;
- Two public restrooms;
- A designated area for transportation pickup and dropoff (car share, taxi, Uber, Lyft, etc.);
- Parksmart Sustainability Certification with the goal of achieving silver depending on ultimate facility design; and
- The design will include public art and be architecturally significant.

Project Timeline: **Start Date:** **Spring 2019**
 End Date: **December 2020**

Financial Information:

Estimated full cost of project:	\$18,540,000
Sources of funds:	2019 TIF Revenue Bonds; Consolidated TIF

Project Phases:

<u>Phase/Work to Be Performed</u>	<u>Cost</u>	<u>Timeline</u>
1 Design Contract		
1a. Demolition Design	\$ 36,000	2019
1b. Construction Design	\$ 675,100	2019-20
1c. Site Investigation/Study Allowances	\$23,500	2019
1d. Parksmart Fees	\$8,000	2020-21
1e. Utility Locates Allowance	\$14,000	2019-20
1f. Reimbursable Allowance	\$11,250	2019-21
1g. Alternates – Signage and Solar	\$23,000	2020
2 Construction Manager Contract	\$20,000 + 2.25%	2019 – 2020
3 Demolition of Old Fourth Street Garage	\$1,482,393	Summer - Fall 2019
4 Construction	\$ TBD	Fall 2019 – 2020
4a. Foundation Piers and Site Conditions	\$1,231,690	Nov. 2019 – Spring 2020
5 Public Art	\$ TBD	Fall 2019 - 2020
6 Contingency	\$ TBD	Fall 2019 – 2020
7 Utility Relocation	\$63,830.36	Fall 2019

TIF District: Consolidated TIF (Expanded Downtown)

Resolution History: 18-68 – Approval of Initial Resolution for Garage Bonds
 19-26 – Project Review and Approval Form
 19-33 – Addendum to CSO Architects Contract
 19-58 – Approval of Amendment Project Review and Approval Form
 19-59 – Second Addendum to CSO Contract - Construction Design
 19-66 – Approval of Funding for AT&T Relocation Services
 19-67 – Approval of Demolition Guaranteed Maximum Price
19-97 – Approval of Pier and Site Conditions Guaranteed Maximum Price

To Be Completed by Redevelopment Commission Staff:

Approved on _____

By Resolution _____ by a vote of _____

19-98
RESOLUTION
OF THE
REDEVELOPMENT COMMISSION
OF THE
CITY OF BLOOMINGTON, INDIANA

**APPROVAL OF FUNDING FOR SECOND ADDENDUM FOR
THE B-LINE TRAIL AND MULTIUSE PATH**

- WHEREAS, pursuant to Indiana Code § 36-7-14 *et seq.*, the Redevelopment Commission of the City of Bloomington (“RDC”) and the Common Council of the City of Bloomington created an economic development area known as the Consolidated Economic Development Area (“Consolidated TIF”); and
- WHEREAS, the Consolidated TIF is an allocation area for purposes of tax increment financing; and
- WHEREAS, tax increment from the Consolidated TIF may be used—among other things—to pay expenses incurred by the RDC for local public improvements that serve the Consolidated TIF; and
- WHEREAS, in Resolution 19-91 the RDC approved a Project Review & Approval Form (“Form”) for an extension of the B-Line Trail to a new multi-use path on 17th Street and improve the intersection of West Fountain Drive and North Crescent Road (“Project”) and pledged Consolidated TIF funds for the project; and
- WHEREAS, the City awarded the design contract to Aztec Engineering (“Aztec”) on December 12, 2017; and
- WHEREAS, the City has negotiated a second addendum to Aztec’s contract to add right-of-way services and additional survey and geotechnical reports to the scope of the Project (“Services”) for an amount not to exceed an additional One Hundred Seventy-Six Thousand Ninety-Six Dollars (\$176,096.00); this brings the total cost for the design project to Seven Hundred Two Thousand Seven Hundred Ninety-Nine Dollars (\$702,799.00); and
- WHEREAS, a copy of the second addendum with Aztec that was approved by the Board of Public Works on October 29, 2019, is attached to this Resolution as Exhibit A; and
- WHEREAS, the City has brought the RDC an Amended Project Review Form (“Amended Form”) which updates the expected cost of the Project and which is attached to this Resolution as Exhibit B; and
- WHEREAS, there are sufficient funds in the Consolidated TIF to cover the costs of this Project;

NOW, THEREFORE, BE IT RESOLVED BY THE REDEVELOPMENT COMMISSION OF THE CITY OF BLOOMINGTON, INDIANA, THAT:

1. The RDC reaffirms its support of the Project, as set forth in the Amended Form, and reiterates that it serves the public's best interests.
2. The RDC approves funding in an amount not to exceed a total of Seven Hundred Two Thousand Seven Hundred Ninety-Nine Dollars (\$702,799.00) for the Services.
3. The Payment authorized above may be made from the Consolidated TIF (West 17th Street). The Controller shall make the determination of specific funding source from the Consolidated TIF areas as requests for payment are received in accordance with the terms of the Agreement. Nothing in this Resolution shall remove the requirement to comply with the City or the RDC's claims process.
4. Unless extended by the Redevelopment Commission in a resolution prior to expiration, the authorizations provided under this Resolution shall expire on December 31, 2022.

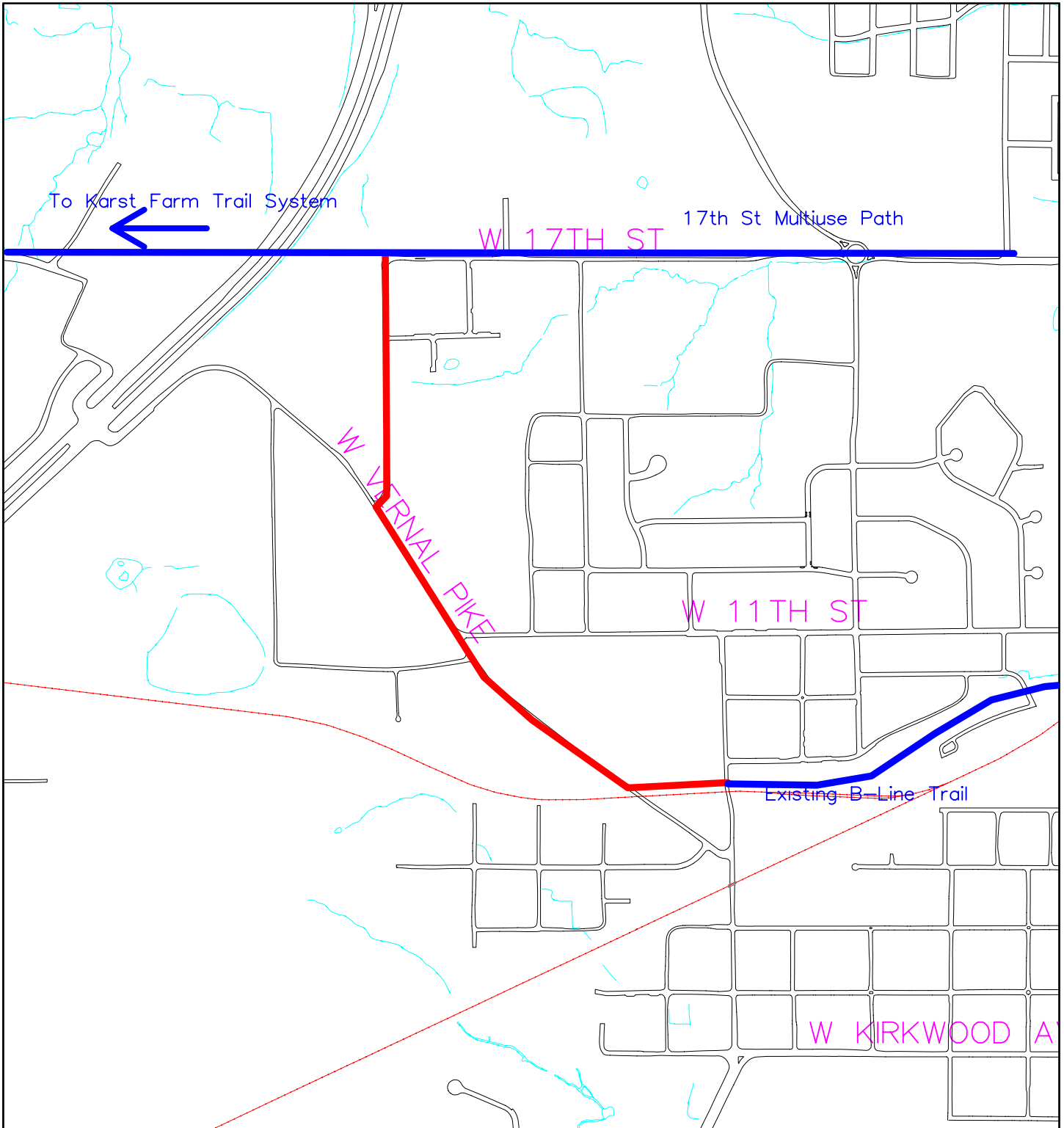
BLOOMINGTON REDEVELOPMENT COMMISSION

Donald Griffin, President

ATTEST:

Mary Alice Rickert, Secretary

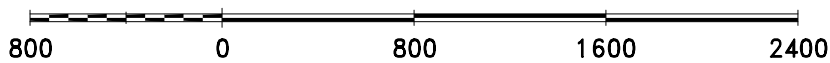
Date



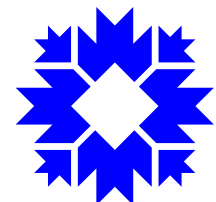
B-Line Trail Extension (Adams to 17th)

Note - actual route alignment to be determined during preliminary engineering.

By: koppern
29 Dec 16



City of Bloomington
Planning & Transportation



Scale: 1" = 800'

For reference only; map information NOT warranted.

ADDENDUM #2 TO AGREEMENT FOR CONSULTING SERVICES
between the
CITY OF BLOOMINGTON
and
AZTEC ENGINEERING GROUP, INC. (“Consultant”)

This Addendum #2 supplements the Agreement for Consulting Services with AZTEC Engineering Group, Inc. (“Agreement”) for the B-Line Extension and Multiuse Path project entered on December 12, 2017, as follows:

1. Scope of Services: Section VI, part 6 of the Agreement between the City of Bloomington Planning and Transportation Department through the Board of Public Works (“Board”) and the Consultant states: “The Consultant shall not commence any additional work or change the scope of the work until authorized in writing by the LPA. The CONSULTANT shall make no claim for additional compensation or time in the absence of a prior written approval and amendment executed by all signatories hereto. This contract may be amended, supplemented or modified only by a written document executed in the same manner as this Contract.” The Board and Consultant believe it is in the best interest of the project to add certain services to the Scope of Services as specified in Exhibit A to the Agreement (“Additional Services”). These Additional Services are specified in Exhibit F, which is attached to this Addendum and incorporated herein.
2. Compensation: The Additional Services are in the amount of One-Hundred Seventy-Six Thousand Ninety-Six dollars (\$176,096.00) as specified in Exhibit F. The Additional Services increase the design cost of the Project to a total amount of Seven-Hundred Two Thousand Seven-Hundred Ninety-Nine dollars (\$702,799.00).
3. Schedule: Article 6 of the Agreement states: Consultant shall perform the Services according to the schedule set forth in Exhibit C, Schedule. Updates to the schedule are provided in Exhibit F.
4. In all other respects, the Agreement and the Addendum shall remain in effect as originally written.

IN WITNESS WHEREOF, the parties have caused this Addendum to be executed the day and year last written below:

CITY OF BLOOMINGTON

By: _____

Kyla Cox Deckard, President
Board of Public Works

Date: _____

By: _____

Terri Porter, Director
Dept. of Planning and Transportation

Date: _____

By: _____

Philippa M. Guthrie, Corporation Counsel

Date: _____

CONSULTANT

By:  _____

Adrian Reid, P.E.
Associate Vice President, AZTEC

Date: October 29, 2019

Exhibit F
Additional Services

A. *Additional topographic survey*

Additional services by AZTEC's survey subconsultant, Bledsoe Riggert Cooper James (BRCJ), were necessary to complete the project design. Exhibit E included in Contract Addendum #1 included three components to the additional services: ROW staking, additional survey, and a route plat survey. Exhibit F adds the following to topographic survey:

1. Additional survey for the project includes Fountain Drive farther to the west of the proposed intersection improvement of Fountain and Crescent Road for purposes tying the new alignment of Fountain to the existing. Additional survey will also capture recently completed improvements for a site development on Crescent Road. The total amount of additional survey is \$2,500.00, \$1,800.00 of which was included in Addendum #1. The quote is attached to Exhibit F and adds \$700.00 in survey to the contract.

The total additional survey is \$700.00 which brings the total amount to \$28,208.00.

B. *Additional geotechnical services*

Addendum #1 to the contract included the full scope of geotechnical services for the project, adding additional borings and pavement design. Addendum #2 refines the estimate based on site reconnaissance to include the following:

1. An additional location for a retaining wall boring to replace an existing retaining wall along Crescent Road.
2. An additional location for retaining wall borings for a new retaining wall along Crescent Road between the road and multiuse path adjacent to Crescent Point subdivision.
3. Traffic control for geotechnical operations on Fountain Drive and Crescent Road to maintain traffic without road closures due to the route being an active detour for construction on 17th Street.

The total of additional geotechnical services is \$7,330.00, which brings the total amount to \$29,494.00.

C. *Waters Report*

Addendum #2 includes a Waters Report. The purpose of the report is to determine the presence of jurisdictional wetlands, waterways, and floodplains. The initial scope and preliminary investigation do not indicate any waterbodies exist in the project area. There is an existing detention basin between Adams Street and Fountain Drive. There is also no indication that the basin is a wetlands, but environmental approvals for the project require confirmation that no jurisdictional waters are present from the United States Army Corps of Engineers (USACE). This creates the need for a Waters Report which will include the following services:

1. Field Data Collection. Our sub will conduct a desk review of available maps and data to determine wetland areas and an on-site evaluation of soils, hydrology, plants, etc. to determine the presence, if any, of wetlands. These will be mapped on project plans and documented with photos.
2. Waters of the U.S. Report. From the data collection, our sub will generate a formal report to be utilized in preparation of the NEPA document for the project and any permit applications such as a 401/404.

The total for additional services for a Waters Report is \$3760.00. Exhibit F.4 contains a more detailed description of the services that will be provided.

D. *Archaeological Investigation*

The Early Environmental Coordination feedback from INDOT’s Cultural Resources Office (CRO) added a requirement for a Phase 1a archaeological investigation for apparently undisturbed areas in the project corridor. This investigation must be completed by a Department of Historic Preservation and Archaeology (DHPA) qualified professional with INDOT prequalification category 5.9.

AZTEC proposes that Green 3 conduct the site archaeological investigation. Addendum #2 includes fees for field investigation and analysis of undisturbed areas and for the project corridor as a whole. Green 3’s scope and fee is included in Exhibit F.4. for an additional amount of \$4,706.00.

E. *Revised Right-of-Way Acquisition Services*

Addendum #2 revises contract language specific to one subconsultant to facilitate a change to the ROW team who will provide acquisition services for the contract. The team will include a Title Search company, an Appraiser, a Review Appraiser, and a local Buyer managed by a prequalified subconsultant different from the one named in the contract. The revised ROW Management proposal is included Exhibit F.4.

The estimate for ROW Acquisition Service is derived from the 2019 INDOT Real Estate Services Fee Schedule provided in Exhibit F.4. Because Appraisal Problem Analyses have not occurred, the type of appraisals necessary to complete the work is an estimate. The fees could change if more intensive efforts (e.g. Long Form commercial appraisals, relocations) are necessary. Addendum #2 assumes 20 parcels will need ROW acquisition with 15 commercial and 5 residential parcels.

Contract Addendum #1 included \$78,800 for ROW Engineering and Services that only included Appraisal Problem Analyses. Addendum #2 includes the full scope of ROW Acquisition services as described for an additional amount of \$159,600 for a total of \$238,400 in ROW Engineering and Acquisition Services.

F. *Schedule Update*

No work under this Contract shall be performed by the CONSULTANT until the CONSULTANT receives a written notice to proceed from the LPA.

All work by the CONSULTANT under this Contract shall be completed and delivered to the LPA for review and approval within the approximate time periods shown in the following submission schedule:

MILESTONE	ORIGINAL ESTIMATED DATE (CONTRACT)	CONTRACT UPDATE – Add.#1 (12/11/18)	CONTRACT UPDATE – Add. #2 (8/6/19)
Notice to Proceed	December 15, 2017	No change	No change
Early Public Outreach Meeting	February 6, 2018	Combined with 1 st Public Meeting	No change

Initial Project Assessment Completion	March 8, 2018	September 28, 2018	No change
Public Meeting (15% Design)	April 4, 2018	February 2019	September 2019
Stage I (30% Design) Plans	June 29, 2018	March 2019	No change
Stage II (60% Design) Plans	October 17, 2018	June 2019	August 2019
Approval of Environmental for ROW Purchase	November 16, 2018	August 2019	September 2019
Public Meeting (80% Design)	January 22, 2019	October 2019	January 2020
Stage III (100%) Plans	May 29, 2020	No change	No change
Bid Opening/Award	November 2020	No change	No change

Exhibit F

Index of Appendices

- F.1. Original Contract Fee Estimate including Addendum #01
- F.2. Addendum #2 Scope and Fee Estimate
- F.3. Revisions to Contract
- F.4. Subconsultant Estimates and Support Documents

F.1. Original Contract Fee Estimate Including Addendum #1

SUMMARY OF ESTIMATED COSTS

Firm: AZTEC ENGINEERING GROUP, INC.
320 W. 8th Street, Suite 100
Bloomington, IN 47404
Phone: 812-717-2555

Project Name: B-Line Exension Project
City Project Number: DES#1700735
AZTEC Project No.: INMUN1716
Date: December 11, 2018
Revision: 3

DERIVATION OF COST PROPOSAL - SUMMARY

(Round Figures to the nearest \$1.00)

PRELIMINARY PROJECT DESIGN

Estimated Direct Labor - Design of B-Line Trail Extension

Classification	Estimated Person-Hours	Average Hourly Billing Rate	Labor Costs
Senior Project Manager	123	\$ 181.47	\$ 22,321
Senior Project Engineer	222	\$ 181.47	\$ 40,286
Project Engineer	567	\$ 155.82	\$ 88,350
Engineer/Designer	878	\$ 136.79	\$ 120,102
Technician/Drafter	1,261	\$ 86.14	\$ 108,623
Project Assistant/Admin.	118	\$ 61.30	\$ 7,233
Totals	3,169		\$ 386,915

Total Estimated Labor - AZTEC \$ 386,915

DIRECT EXPENSES

Mileage - 9 months x 100 miles/month x \$0.38/mile	\$ 342
Full size plan sets - 89 shts @ \$2.00/sht x 1 set x 3 submittals	\$ 534
Deliveries to various entities - 9 months x 1 deliveries/mo. x \$20/delivery	\$ 180
EDR Radius Report	\$ 500
Display boards for Public Meetings (2 meetings @ \$500 per meeting)	\$ 1,000

Total Direct Expenses - AZTEC \$ 2,556

SUB-CONSULTANT WORK (LUMP SUM)

BRCJ - Survey	\$ 27,508
Hydrogeology - Karst Investigation	\$ 5,860
Earth Exploration - Geotechnical Investigation, Pavement Design	\$ 22,164
Little River Consulting - Ecological investigation	\$ 2,900

SUB-CONSULTANT WORK (COST PLUS TO MAX.)

BLN - ROW Engineering, Plats, Legal Descriptions, APAs.	\$ 78,800
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Subconsultant Sub-total (Lump Sum) \$ 137,232

Total Estimated Contract Value \$ 526,703



Adrian Reid, P.E., Associate Vice President

12/11/2018

DATE

F.2. Addendum #02 Fee Estimate

SUMMARY OF ESTIMATED COSTS

Firm: AZTEC ENGINEERING GROUP, INC.
320 W. 8th Street, Suite 100
Bloomington, IN 47404
Phone: 812-717-2555

Project Name: B-Line Exension Project
City Project Number: DES#1700735
AZTEC Project No.: INMUN1716
Date: August 6, 2019
Revision: 5

DERIVATION OF COST PROPOSAL - SUMMARY

(Round Figures to the nearest \$1.00)

PRELIMINARY PROJECT DESIGN

Estimated Direct Labor - Design of B-Line Trail Extension

Classification	Estimated Person-Hours	Average Hourly Billing Rate	Labor Costs
Senior Project Manager	123	\$ 181.47	\$ 22,321
Senior Project Engineer	222	\$ 181.47	\$ 40,286
Project Engineer	567	\$ 155.82	\$ 88,350
Engineer/Designer	878	\$ 136.79	\$ 120,102
Technician/Drafter	1,261	\$ 86.14	\$ 108,623
Project Assistant/Admin.	118	\$ 61.30	\$ 7,233
Totals	3,169		\$ 386,915

Total Estimated Labor - AZTEC \$ 386,915

DIRECT EXPENSES

Mileage - 9 months x 100 miles/month x \$0.38/mile	\$ 342
Full size plan sets - 89 shts @ \$2.00/sht x 1 set x 3 submittals	\$ 534
Deliveries to various entities - 9 months x 1 deliveries/mo. x \$20/delivery	\$ 180
EDR Radius Report	\$ 500
Display boards for Public Meetings (2 meetings @ \$500 per meeting)	\$ 1,000

Total Direct Expenses - AZTEC \$ 2,556

SUB-CONSULTANT WORK (LUMP SUM)

BRCJ - Survey	\$ 28,208
Hydrogeology - Karst Investigation	\$ 5,860
Earth Exploration - Geotechnical Investigation, Pavement Design	\$ 29,494
Little River Consulting - Ecological investigation + Waters Report	\$ 6,660
Green 3 - Archaeological Investigation	\$ 4,706

SUB-CONSULTANT WORK (COST PLUS TO MAX.)

ROW Engineering, ROW Mgmt., ROW Acquisition Services	\$ 238,400
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Subconsultant Sub-total (Lump Sum) \$ 313,328

Total Estimated Contract Value \$ 702,799



Adrian Reid, P.E., Associate Vice President

8/6/2019

DATE

TEAM AZTEC
B-Line Extension Project

Survey		Cost per				Total
DESCRIPTION	Parcels	Parcel				
Original Contract Amt.						\$ 14,768.00
Additional Survey - Addendum #1						\$ 1,800.00
Additional Survey - Addendum #2						\$ 700.00
ROW Staking (20 parcels)	20	\$ 180.00				\$ 3,600.00
ROW Re-staking (7 parcels)	7	\$ 120.00				\$ 840.00
Route Plat Survey						\$ 6,500.00
Subtotal Survey Items						\$ 28,208.00

F.2. Additional Scope/Fee Estimate for AZTEC Subconsultants

The original scope and fee proposal includes the following subconsultants and fees in the base contract:

Subconsultant	Service	Amount
BRCJ	Survey	\$27,508.00
Hydrogeology, Inc.	Karst survey	\$5,860.00
Earth Exploration, Inc.	Geotechnical Investigation	\$22,164.00
Little River Consulting	Ecological Investigation	\$2,900.00
BLN	ROW Engineering, ROW Services	\$78,800.00 (Cost-Plus to Max.)
	SUBTOTAL	\$137,232.00

The revised subconsultant fee amounts and new subconsultants in Addendum #01 are as follows:

Subconsultant	Service	Amount
BRCJ	Survey	\$28,208.00
Hydrogeology, Inc.	Karst survey	\$5,860.00
Earth Exploration, Inc.	Geotechnical Investigation	\$29,494.00
Little River Consulting	Ecological Investigation	\$6,660.00
Strand Associates	ROW Engineering	\$76,750.00 (Cost-Plus to Max.)
Green 3	Archaeological Investigation	\$4,706.00
Courtland Title Company	Title Search	\$8,950.00 (Cost-Plus to Max.)
Perry & Associates	Appraisals	\$71,180.00 (Cost-Plus to Max.)
Monroe Owen Appraisals	APAs + Review Appraisals	\$40,920.00 (Cost-Plus to Max.)
Todd Taylor	Buying, Negotiating, Closing	\$40,600.00 (Cost-Plus to Max.)
	SUBTOTAL	\$313,328.00

The revised subconsultant fees in Addendum #02 add \$176,096.00 to the base contract. **Exhibit F.4.** includes support documentation from new subs and those whose estimates changed. These services are summarized on the following pages and include the following:

1. Additional survey services:
 - a. \$700.00 in additional topographic survey for intersection improvements for the new alignment tie-in on Fountain Drive west of Crescent and privately constructed improvements on Crescent Road.
2. Additional geotechnical investigation in the amount of \$7,330.00 to include borings for a new retaining wall and replacement of an existing retaining wall adjacent to Crescent Road and for MOT to maintain traffic during geotechnical operations on Crescent and Fountain which are an active detour route for construction on 17th Street.
3. Inclusion of a Waters Report in the amount of \$3,760.00 for site investigation and analysis with a written report denoting the presence of water bodies, wetlands, etc.
4. Inclusion of Archaeological Investigation services in the amount of \$4,706.00 with written findings as required by the INDOT CRO.
5. ROW Engineering modified to replace an existing subconsultant and add new subconsultants providing ROW Acquisition Services including Title Search, APAs, Appraisals, Review Appraisals, Buying Services, and overall management of ROW Acquisition following INDOT guidelines and the Uniform Act. The additional services increase ROW Services from \$78,800.00 to \$238,400.00 and includes 20 parcels with 15 commercial and 5 residential parcels.

F.3. Revisions to Contract

- The City will review plan submissions for drainage design and Rule 5 review. However, the SWPPP plans ultimately will be submitted for agency review and permit issuance to the Monroe County Soil and Water Conservation District and IDEM.
- The 2-year pre-development and 2-year post development storm water runoff must match. The same applies to the storm water design for the 10-year and 100-year rainfall events.
- Detention may be utilized as a post-construction BMP for storm water quality as directed by the City.
- Drainage design assumes that additional runoff into the Lemon Lane watershed will not be allowed. New storm water outfalls into this watershed will be prohibited.

8. **Right-of-Way Engineering Services**

A. AZTEC's scope and cost proposal does not include ROW Engineering Services. The following items are anticipated to be included when the full design contract is approved:

- Preparation of ROW Exhibits (Plats) for parcels requiring acquisition.
- Preparation of Legal Descriptions for parcels requiring acquisition.
- Appraisal Problem Analyses (APAs), Appraisals, and Review Appraisals following the Uniform Act process established by INDOT.
- Title and Encumbrance Reports to identify all recorded encumbrances on potential ROW.
- ROW Engineering and a route plat survey for the project.

B. AZTEC's ~~anticipates our will utilize a~~ sub-contractor for **ROW Engineering and ROW Engineering Services**, will the following company:

- ~~—Beam Longest Neff (BLN) — Route plat survey, ROW Engineering, Title Search, APAs~~

It should be noted that ~~BLN-AZTEC~~ will utilize local ~~firms-subconsultants~~ to assist with Title Search, Appraisals, Buying Services ~~noted in their attached scope~~.

C. Assumptions regarding Right-of-Way Acquisition Services include the following:

- Up to 24 parcels require acquisition. The ROW Acquisition will follow the Uniform Act and the INDOT process utilizing the LRS system.
- ROW Acquisition Services is anticipated to be added to the scope at a later time.
- For parcels identified for waiver valuations, a review appraisal will not be necessary and would therefore not be conducted.
- ROW acquisition is "fee simple," so ROW will not be acquired as easement.
- ROW acquisition documentation will ultimately be submitted to INDOT for formal review of land acquisition via the LPA process using federal funds.

9. **Landscape Architecture Services**

A. AZTEC's proposed estimate to provide Landscape Architectural design services to 15% plan completion includes the following:

- Graphics for the early public coordination meeting.
- Preparation of landscape/trail amenities and design options.

The following items are anticipated to be included when the full design contract is approved:

- For the segments of trail (multiuse path) adjacent to City streets, basic landscaping elements including street trees, retaining wall aesthetics, final contours, and re-establishment of turf.
- For the segment of trail (B-Line Extension) on the north side of Indiana Railroad between Adams Street and Fountain Drive, additional aesthetics (light fixtures, benches, pavers, trailhead treatments, etc.) approximating the existing B-Line aesthetics.
- Details, General Notes, and Plan & Profile Sheets appropriately scaled and specified for construction of the roadway elements.

F.4. Subconsultant Estimates and Support Documents



CONTRACT MODIFICATION FORM

Project Title:	<u>B-Line Extension and Multiuse Path</u>	Aztec Project #:	<u>01NMUN1716</u>
Subcontractor Name:	<u>Earth Exploration</u>	Amendment No.:	<u>1</u>
Address:	<u>7770 W. New York Street</u> <u>Indianapolis, IN 46214</u>	Client Contract #:	<u></u>

I. Description of Amendment/Modification:

Additional geotechnical investigation for a second retaining wall, pavement design, a potential bridge, and for MOT during operations in order to maintain traffic on Crescent and Fountain, which are an active detour route due to another project.

II. Compensation for Amendment:

ORIGINAL CONTRACT AMOUNT (Billing Fee):	\$ <u>12,320.00</u>
NET CHANGE BY AMENDMENTS:	
# of PREVIOUS AMENDMENTS (If Applicable) <u>0</u>	Amount: \$ <u>-</u>
THIS AMENDMENT:	\$ <u>12,174.00</u>
REVISED CONTRACT AMOUNT TO DATE:	\$ <u>24,494.00</u>

This fully executed amendment shall become part of the Subcontract for Professional Services dated June 17, 2019

AZTEC Engineering Group, Inc.

By:

Name: Adrian Reid

Title: Associate Vice President

Date: June 17, 2019

Earth Exploration

By:

Name: Kellen P Heavin

Title: Project Engineer

Date: 6/17/19



CONTRACT MODIFICATION FORM

Project Title: B-Line Extension and Multiuse Pat Aztec Project #: 01NMUN1716
 Subcontractor Name: Earth Exploration Amendment No. 2
 Address: 7770 W. New York Street Client Contract #: _____
Indianapolis, IN 46214


I. Description of Amendment/Modification:

Additional geotechnical investigation for a third retaining wall which was added to the design after the geotechnical field work was scheduled. Two borings for RW-3 on the north end of Crescent Road, east side of the road between the road and multiuse path. AZTEC field marked wall locations. Earth Ex. will include flagging/MOT and ROW permits with City of Bloomington as needed. Work will be conducted the week of August 12, weather permitting, and concurrently with other work Earth Ex. has in the region.

II. Compensation for Amendment:

ORIGINAL CONTRACT AMOUNT (Billing Fee):	\$ 24,494.00
NET CHANGE BY AMENDMENTS:	
# of PREVIOUS AMENDMENTS (If Applicable) <u>1</u>	Amount: \$ <u>-</u>
THIS AMENDMENT:	\$ 5,000.00
REVISED CONTRACT AMOUNT TO DATE:	\$ 29,494.00

This fully executed amendment shall become part of the Subcontract for Professional Services dated August 6, 2019

AZTEC Engineering Group, Inc.
 By: 
 Name: Adrian Reid
 Title: Associate Vice President
 Date: August 6, 2019

Earth Exploration
 By: _____
 Name: _____
 Title: _____
 Date: _____

Geotechnical Cost Estimate

B-Line Trail Extension & Intersection Improvements

Bloomington, Indiana

	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
<u>GEOTECHNICAL FIELD</u>			
1. Mobilization and Field Coordination			
a. SPT Rig	1 ea	\$270.00	\$270.00
b. CPT	ea	\$450.00	
c. Field and utility coordination	1 LS	\$660.00	\$660.00
d. Field coordination with property owners			
i. 1 - 10	1 LS	\$320.00	\$320.00
ii. 11 - 25	LS	\$500.00	
iii. Over 25	LS	\$690.00	
e. Mileage	140 mi	\$3.50	\$490.00
2. Truck mounted borings with split spoon sampling	182.5 ft	\$19.00	\$3,467.50
3. Truck mounted borings with drilling fluid	ft	\$19.00	
4. Truck mounted core drilling	10 ft	\$39.00	\$390.00
5. Truck mounted borings			
a. Truck mounted borings through bedrock or boulders or concrete pavement	ft	\$39.00	
b. Bridge deck coring and restoration	ea	\$350.00	
6. Cone penetrometer testing			
a. Set up	ea	\$80.00	
b. Subsurface profiling	ft	\$12.25	
c. Profiling with pore pressure measurement			
i. Piezometric Saturation	ea	\$93.00	
ii . Penetration	ft	\$14.50	
iii. Pore water dissipation test	hr	\$190.00	
iv. Hydraulic conductivity and consolidation	ea	\$75.00	
d. Profiling with Shearwave Velocity Measurement	ft	\$15.75	
e. Sample	ea	\$24.00	
7. Hand or truck soundings	ft	\$12.50	
8. Hand auger drilling	10 ft	\$13.00	\$130.00
9. Skid mounted borings with split spoon sampling	ft	\$30.00	
10. Skid mounted borings using drilling fluid	ft	\$30.00	
11. Skid mounted core drilling	ft	\$43.00	
12. Skid mounted boring through bedrock or boulders	ft	\$45.00	
13. Skid mounted soundings	ft	\$17.50	
14. Skid Mounted Cone Penetrometer Testing (CPT)			
a. Set up	ea	\$115.00	
b. Subsurface profiling	ft	\$17.75	
c. Profiling with pore pressure measurement			
i. Piezometric Saturation	ea	\$110.00	
ii. Penetration	ft	\$20.50	
iii. Pore Water Dissipation Test	hr	\$220.00	
iv. Hydraulic Conductivity and Consolidation	ea	\$85.00	
d. Profiling with Shearwave Velocity Measurement	ft	\$25.00	
e. Sample	ea	\$32.00	

**RDC Resolution 19-98
Exhibit A**

	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
15. Furnishing of a boat		Actual Cost	
16. Barge set-up expenses			
a. Navigable water			
i. Barge set-up	ea	\$6,000.00	
ii. Rental of support equipment and/or boat		Actual Cost	
iii. Drill rig down time	hr	\$150.00	
b. Non-navigable water barge set-up	ea	\$5,000.00	
17. Additional disassembly and reassembly			
a. Navigable water	ea	\$2,100.00	
b. Non-navigable water	ea	\$1,900.00	
18. Barge mounted borings with split spoon sampling	ft	\$33.00	
19. Barge mounted core drilling	ft	\$45.00	
20. Barge mounted boring through bedrock or boulders	ft	\$45.00	
21. Barge mounted soundings	ft	\$20.00	
22. Casing through water	ft	\$8.50	
23. Uncased sounding through water	ft	\$5.50	
24. Set up for borings and machine soundings			
a. Borings and machine soundings less than 20 ft deep	8 ea	\$70.00	\$560.00
b. Rock core borings	2 ea	\$120.00	\$240.00
25. Additional 2-in. split spoon sampling	8 ea	\$21.00	\$168.00
26. 3-in. split spoon samples	ea	\$23.00	
27. 3-in. Shelby tube samples	2 ea	\$63.00	\$126.00
28. Bag samples			
a. 25-lb sample	ea	\$51.00	
b. 5-lb sample	6 ea	\$33.00	\$198.00
29. Field vane shear test	ea	\$115.00	
30. 4½-in. cased hole	ft	\$12.50	
31. Installation of Geotechnical Instruments			
a. Inclinator casing installation	ft	\$15.00	
b. Piezometer installation up to 25 ft below surface	ea	\$270.00	
c. Piezometer installation deeper than 25 ft below surface	ea	\$300.00	
d. Metal protective outer cover for inclinometer and piezometer casings	ea	\$125.00	
32. Geotechnical engineer	4 hr	\$120.00	\$480.00
33. Railroad expenses		Actual Cost	
34. Twenty-four hour water levels			
a. Field measurements per borehole	6 ea	\$38.00	\$228.00
b. PVC slotted pipe	ft	\$6.00	
35. Special borehole backfilling			
a. 0 to 30 ft			
i. SPT	13 ea	\$110.00	\$1,430.00
ii. CPT	ea	\$46.00	
b. More than 30 ft			
i. SPT	ft	\$6.50	
ii. CPT	ea	\$1.90	
c. Pavement restoration	10 ea	\$60.00	\$600.00
36. Dozer rental		Actual Cost	
37. Traffic control			

**RDC Resolution 19-98
Exhibit A**

	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
a. Flag crew	day	\$1,300.00	
b. Equipment Rental		Actual Cost	
c. Flag crew with equipment	2 day	\$1,550.00	\$3,100.00
38. Centerline surveying		Actual Cost	
Subtotal (Geotechnical Field)			\$12,857.50

GEOTECHNICAL LABORATORY

39. Sieve analysis for soils	5 ea	\$49.00	\$245.00
40. Hydrometer analysis	5 ea	\$58.00	\$290.00
41. Sieve analysis for Aggregates			
a. Analysis by Washing (AASHTO T-11)	ea	\$77.00	
b. Analysis by Using (AASHTO T-27)	ea	\$135.00	
42. Liquid limit	5 ea	\$39.00	\$195.00
43. Plastic limit & plasticity index	5 ea	\$28.00	\$140.00
44. Liquid Limit Ratio	ea	\$75.00	
45. pH test	5 ea	\$15.50	\$77.50
46. Loss on Ignition Test			
a. Loss on Ignition Test (Conventional)	3 ea	\$24.00	\$72.00
b. Loss on Ignition Test (Sequential)	ea	\$52.00	
c. Organic content based on Clorimeter	ea	\$24.00	
47. Topsoil Tests			
a. Phosphorus tests	1 ea	\$21.00	\$21.00
b. Potassium tests	1 ea	\$21.00	\$21.00
48. Moisture Content Tests			
a. Moisture Content Test (Conventional)	70 ea	\$6.75	\$472.50
b. Moisture Content Test (Microwave)	ea	\$8.20	
49. Expansion Index of Soils	ea	\$235.00	
50. Specific Gravity Test	5 ea	\$36.00	\$180.00
51. Unit weight determination	5 ea	\$17.50	\$87.50
52. Hydraulic Conductivity Test			
a. Constant Head	ea	\$235.00	
b. Falling Head	ea	\$285.00	
53. a. Unconfined Compression Test	5 ea	\$45.00	\$225.00
b. Remolding of soil samples with chemical admixtures in chemical soil modification/stabilization (3 samples is equal to 1 unit)	ea	\$115.00	
c. Point Load Strength Index of Rock	ea	\$43.00	
54. Compressive Strength and Elastic Moduli of Intact Rock			
a. Compressive Strength of Intact Rock	ea	\$110.00	
b. Elastic Moduli of Intact Rock	ea	\$430.00	
55. Consolidation Test	ea	\$450.00	
56. Triaxial test			
a. Unconsolidated - Undrained (UU)	ea	\$350.00	
b. Consolidated - Undrained (CU)	ea	\$520.00	
c. Consolidated - Drained (CD)	ea	\$725.00	
d. Pore Pressure measurement with a. or b. and use of back pressure for saturation	ea	\$250.00	

**RDC Resolution 19-98
Exhibit A**

	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
57 Direct Shear Test	ea	\$530.00	
58 Moisture-Density Relationship Test			
a. Standard Proctor	ea	\$140.00	
b. Modified Proctor	ea	\$155.00	
59 Soil Support Testing			
a. California Bearing Ratio Test	ea	\$525.00	
b. Subgrade Resilient Modulus	ea	\$620.00	
60 Collapse Potential Evaluation Test			
a. Silty Soil (Loess)	ea	\$380.00	
b. Cohesive or Expansive Soils	ea	\$450.00	
61 Water Soluble Sulfate Test	4 ea	\$105.00	\$420.00
62 Water Soluble Chloride Test	ea	\$105.00	
63 Soil Resistivity Test	ea	\$135.00	
64 a. Slake Durability Index Test	ea	\$125.00	
b. Jar Slake Test	ea	\$13.25	
		Subtotal (Geotechnical Laboratory)	\$2,446.50

GEOTECHNICAL ENGINEERING

65 Geotechnical profile and related work			
a. Without soil subgrade drawings			
First mile	LS	\$1,150.00	
Each additional mile	mi	\$525.00	
b. With soil subgrade drawings			
First mile	LS	\$1,365.00	
Each additional mile	mi	\$600.00	
c. Soil subgrade drawings (only)			
First mile	LS	\$350.00	
Each additional mile	mi	\$220.00	
66 Geotechnical report			
a. Without soil subgrade investigation			
First mile	1 LS	\$2,000.00	\$2,000.00
Each additional mile	mi	\$700.00	
b. With soil subgrade investigation			
First mile	LS	\$2,500.00	
Each additional mile	mi	\$800.00	
c. Soil subgrade investigation (only)			
First mile	LS	\$600.00	
Each additional mile	mi	\$360.00	
67 Settlement analysis and recommendations for embankment			
a. Proposed embankment	ea	\$495.00	
b. Proposed and existing embankment	ea	\$550.00	
68 Ground modification design	ea	\$1,450.00	
69 Slope stability analysis			
a. C, ϕ or C & ϕ analysis	ea	\$770.00	
b. Corrective measures	ea	\$770.00	
c. Stage construction corrective method	ea	\$1,340.00	
70 Bridge foundation analysis and recommendations			
a. Shallow foundation	ea	\$475.00	

	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
b. Deep foundation			
i. Deep foundation analyses	ea	\$840.00	
ii. Wave equation analyses	ea	\$325.00	
iii. Liquefaction analysis	ea	\$260.00	
iv. Group - 3D analysis	ea	\$420.00	
c. Settlement analysis for bridge pier foundation			
i. Bridge pier	ea	\$380.00	
ii. Embankment plus pier	ea	\$420.00	
iii. Embankment plus pier plus all other loads	ea	\$485.00	
d. Foundation on bedrock	ea	\$370.00	
71 Retaining structure analysis recommendations			
a. Conventional retaining structures and other types such as MSE Walls and Bin walls			
i. Shallow foundation	1 ea	\$860.00	\$860.00
ii. Deep foundation	ea	\$1,130.00	
iii. Settlement analysis for retaining wall foundation	ea	\$370.00	
b. Pile retaining structure analysis and recommendations			
i. Free standing structure	ea	\$1,000.00	
ii. Retaining structure with tie-back system	ea	\$1,450.00	
c. Drilled-in-pier retaining structure analysis			
i. Free standing structure	ea	\$1,025.00	
ii. Retaining structure with tie-back system	ea	\$1,470.00	
d. Soil nailing wall analysis	ea	\$990.00	
72 Seepage analysis	ea	\$1,400.00	
73 Deep dynamic compaction analysis	ea	\$1,400.00	
		Subtotal (Geotechnical Engineering)	\$2,860.00
<u>CONSTRUCTION INSPECTION AND MONITORING</u>			
74 Pressuremeter testing services	day	\$1,600.00	
75 Mobilization of testing equipment	LS	\$160.00	
76 a. Monitoring geotechnical instrumentation	hr	\$75.00	
b. Field Inspector	hr	\$75.00	
77 Integrity testing		Actual Cost	
78 Field Compaction Testing			
a. Dynamic Cone Penetration Test (DCPT)	hr	\$75.00	
b. Light Weight Deflectometer Test (LWD)	hr	\$75.00	
79 Dynamic pile analysis	ea	\$1,025.00	
80 Static load test	ea	\$1,025.00	
81 Dynamic pile load test		Actual Cost	
82 CAPWAP-C analysis	ea	\$480.00	
83 Final construction inspection report	ea	\$925.00	
		Subtotal (Construction Inspection and Monitoring)	
<u>FOUNDATION EVALUATION BY NON-DESTRUCTIVE METHODS</u>			
84 a. Surface test/Pier or foundation		Actual Cost	
b. Borehole test/Pier or foundation		Actual Cost	
<u>GEOPHYSICAL INVESTIGATION</u>			
85 Geophysical Investigations		Actual Cost	

		<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
<u>GEOTECHNICAL PROJECT MANAGEMENT</u>				
86	Project Management			
	a. Project Coordination	mi	\$1,620.00	
	b. Project Website	LS	\$3,420.00	
87	Geotechnical Review			
	a. Structure Report	ea	\$325.00	
	b. Roadway Report	mi	\$275.00	
Subtotal (Non-Destructive, Geophysical and Project Management)				

PAVEMENT INVESTIGATION

1.	Mobilization of coring equipment	LS	\$200.00	
2.	Mobilization mileage for coring equipment	mi	\$1.85	
3.	Pavement core (partial depth)	ea	\$125.00	
4.	Pavement core (full depth)	ea	\$190.00	
5.	Sub-base sample	ea	\$60.00	
6.	Cement concrete pavement core density determination	ea	\$33.00	
7.	Cement concrete core compressive strength test	ea	\$31.50	
8.	Bituminous extraction test	ea	\$84.00	
9.	Sieve analysis of extracted aggregate test	ea	\$56.00	
10.	Recovery of asphalt from solution by Abson method	ea	\$350.00	
11.	Theoretical maximum specific gravity test	ea	\$70.00	
12.	Bulk specific gravity test	ea	\$30.00	
13.	Air voids calculation	ea	\$28.00	
14.	Core report for partial depth core	ea	\$34.00	
15.	Core report for full depth core	ea	\$42.00	
16.	Pavement analysis and report	ea	\$770.00	
Subtotal (Pavement Investigation)				

Summary of Fees

Geotechnical Field	\$12,857.50
Geotechnical Laboratory	\$2,446.50
Geotechnical Engineering	\$2,860.00
Construction Inspection and Monitoring	
Non-Destructive, Geophysical and Project Management	
Pavement Investigation	
Geotechnical Total	\$18,164.00
Pavement Design (Intersection and Trail)	\$4,000.00
Estimated Total	\$22,164.00



CONTRACT MODIFICATION FORM

Project Title: B-Line Extension and Multiuse Path Aztec Project #: 01NMUN1716
 Subcontractor Name: Little River Consultants Amendment No. 1
 Address: 9675 South CR 100 East Client Contract #: _____
Clayton, IN 46118


I. Description of Amendment/Modification:


Field data collection and creation of a formal waters report to use in the preparation of the NEPA document and to request USACE determination on waters of the US within the project area (wetlands, streams, etc). Work to be completed within ~~3 weeks~~ of NTP, weather permitting.
5 weeks

II. Compensation for Amendment:

ORIGINAL CONTRACT AMOUNT (Billing Fee):	\$ <u>2,900.00</u>
NET CHANGE BY AMENDMENTS:	
# of PREVIOUS AMENDMENTS (If Applicable) <u>1</u>	Amount: \$ <u>-</u>
THIS AMENDMENT:	\$ <u>3,760.00</u>
REVISED CONTRACT AMOUNT TO DATE:	\$ <u>6,660.00</u>

This fully executed amendment shall become part of the Subcontract for Professional Services dated July 17, 2019

AZTEC Engineering Group, Inc.
 By: 
 Name: Adrian Reid
 Title: Associate Vice President
 Date: July 17, 2019

Little River Consultants
 By: 
 Name: A. Rachele Baker
 Title: Chief Ecologist
 Date: July 17, 2019

June 4, 2019

Michael Myers
Environmental Services Division Lead
AZTEC Engineering
4561 East McDowell Road
Phoenix, Arizona 85008

Subject: Proposal for Waters Report
B-Line Trail Expansion
Bloomington, Indiana
Project 19-018

Dear Mr. Myers:

Little River Consultants is pleased to provide you with this proposal for wetland and stream services for expansion of the B-Line Trail in Bloomington, Indiana. The project will connect the existing B-Line Trail Terminus at Adams Street with the multiuse path on the 17th Street I-69 overpass. The current proposed route for the new trail would follow the railroad corridor from Adams Street to Fountain Drive (Vernal Pike), Fountain Drive from the railroad corridor to Crescent Road, and Crescent Road from Fountain Drive to 17th Street. Little River Consultants has previously provided a cursory assessment of biological and water resources along the proposed route. As the project has progressed, a more formal Waters Report is needed to document stream and wetland resources within the project limits.

The USGS quad map of the area shows no blue line streams within the project boundary, the NWI map and the FIRM show no wetlands or floodplains within or near the project limits, and the soils mapped within the project limits are not hydric and contain no hydric soil components. Aerial photography does not indicate the presence of wet areas or drainageways within the project limits.

An onsite inspection revealed three channels and two wetland areas near the study limits. A formal delineation of jurisdictional areas within the study area will provide the information needed for the NEPA document and permitting process. The resulting Waters Report will follow the Indiana Department of Transportation (INDOT) template. Based on our current understanding of the project, we propose the following services in support of this project.

SCOPE OF SERVICES

The purpose of these services is to identify and delineate the boundaries of jurisdictional wetlands and streams within the study area, and prepare a written report of the findings in a format suitable for use in preparation of the National Environmental Policy Act (NEPA) document, and inclusion in future Clean Water Act (CWA) Section 404/401 permit applications, if needed.

Task 1 – Field Data Collection: Little River staff will conduct an assessment of wetland and stream resources present onsite. Prior to onsite data collection, we will review available maps and data to determine likely boundaries of wetland areas. Once onsite, we will evaluate soils, hydrology, plant communities, and topography to determine the boundaries of onsite wetlands in accordance with the 1987 Army Corps of Engineers Wetland Delineation Manual and the 2012 Eastern Mountain and Piedmont Regional Supplement. Any wetland areas will be evaluated for connectivity to other Waters of the US. Wetland boundaries will be mapped using sub-meter accurate GPS for inclusion on site plans and for calculating impacts for permit applications. The current condition of the project area will be photo-documented. In addition, evidence of wetland hydrology, locations of data points, and soil profiles will also be photo-documented. The location of data points and photo points will be recorded using sub-meter accurate GPS and included in report exhibits. Channel dimensions and the ordinary high water mark will be measured and recorded. Each channel will be evaluated to determine jurisdictional status.

Task 2 – Waters of the US Report: From the data collected onsite, we will generate a formal Waters of the US Report in a format appropriate for use in preparation of the NEPA document, and for inclusion in CWA Section 404/401 permit applications, and in compliance with the INDOT template. The report will include our opinion on whether any drainageways or wetlands delineated onsite fall within the US Army Corps of Engineers' (USACE) jurisdiction. The report will include a section that summarizes the different permitting scenarios associated with proposed wetland and stream impacts. As attachments, the report will include exhibits showing the project vicinity, USGS Topographic Map, National Wetland Inventory Map, Soil Survey Map, FEMA Flood Map, and aerial photography. An exhibit will also be created that shows location of jurisdictional creeks, mapped wetland boundaries, location of site photographs, and location of wetland data points. Wetland Data Sheets and site photographs will be included as appendices.

This proposal does not include preparation of a NEPA document, permit applications, or a wetland mitigation plan, but can be amended to include those services if needed. This proposal also does not include tasks associated with Construction in a Floodway permit applications or consultation with the US Fish & Wildlife Service regarding threatened and endangered species.

ESTIMATED FEE

We propose to bill you on a Lump Sum basis upon completion of Task 1 and Task 2. Payment shall be due within 30 days of invoice date. The Lump Sum amounts include all direct and indirect expenses incurred during execution of the work described above. This cost estimate is based on the scope of services described above, the project alignment supplied on November 29, 2017, and on our current understanding of the project. This cost estimate is for evaluation of the current proposed alignment only. Should alternative alignments require assessment, this proposal can be amended. The estimated fee to complete Tasks 1 and 2 is:

Task 1: Field Data Collection	\$1,810.00
Task 2: Waters of the US Report	\$1,950.00
<hr/>	
Total	\$3760.00

SCHEDULE

Little River can initiate work on this project within three weeks of your notice to proceed (NTP). We will coordinate with you regarding access to the project area. Completion of the fieldwork will be contingent on site access and weather, but is estimated to require 3 weeks from NTP to complete. The summary report can be completed within two weeks of completion of field work.

CLOSING

We appreciate the opportunity to propose on this project and are confident our depth of experience on similar projects will be an asset to this project. Please feel free to contact me at 317-702-7291 or at rachele@littleriverconsultants.com if you have any questions regarding this proposal.

Sincerely,



A. Rachele Baker, PWS, CPESC
Chief Ecologist

Proposal Acceptance

Signature

Date



CONTRACT MODIFICATION FORM

Project Title:	<u>B-Line Extension and Multiuse Path</u>	Aztec Project #:	<u>01NMUN1716</u>
Subcontractor Name:	<u>Earth Exploration</u>	Amendment No.:	<u>1</u>
Address:	<u>7770 W. New York Street</u> <u>Indianapolis, IN 46214</u>	Client Contract #:	<u></u>

I. Description of Amendment/Modification:

Additional geotechnical investigation for a second retaining wall, pavement design, a potential bridge, and for MOT during operations in order to maintain traffic on Crescent and Fountain, which are an active detour route due to another project.

II. Compensation for Amendment:

ORIGINAL CONTRACT AMOUNT (Billing Fee):	\$ <u>12,320.00</u>
NET CHANGE BY AMENDMENTS:	
# of PREVIOUS AMENDMENTS (If Applicable) <u>0</u>	Amount: \$ <u>-</u>
THIS AMENDMENT:	\$ <u>12,174.00</u>
REVISED CONTRACT AMOUNT TO DATE:	\$ <u>24,494.00</u>

This fully executed amendment shall become part of the Subcontract for Professional Services dated June 17, 2019

AZTEC Engineering Group, Inc.

By:

Name: Adrian Reid

Title: Associate Vice President

Date: June 17, 2019

Earth Exploration

By:

Name: Kellen P Heavin

Title: Project Engineer

Date: 6/17/19

g r e e n • 3



SCOPE OF SERVICES

JULY 24, 2019

Aztec Engineering is requesting an archaeological records review and fieldwork for the proposed extension of the B-Line Trail in the City of Bloomington. Aztec Engineering will enter a subconsultant agreement with Green 3, LLC who will be in charge of completing the archaeological study.

Client Contact:

Mike Myers, MMyers@aztec.us
Environmental Services Division Lead
P: 602-454-0402

Project Location:

The trail commences at the intersection of 17th Street and Crescent Road and terminates at just north of the intersection of the railroad and Adams Street. The trail will run east of North Crescent Road and Vernal Pike, as well as north of the railroad. Specifically, the extension is in the northwestern quarter of Section 32, Township 9 North, Range 1 West, Bloomington Township, Monroe County.

Project Scope:

Based on information received on July 22, 2019 and a review of the trail by the Indiana Department of Transportation's Cultural Resources Office, it was determined that parts of the southern and central sections might traverse through undisturbed soils. Because of this, it was recommended that a Phase Ia archaeological survey will be needed for the potentially undisturbed areas. The entire project will be investigated to verify locations of undisturbed soils.

Green 3, LLC Level of Work and Deliverables:

- Archaeological Desktop Records Review
- Visual examination of the entire trail and photo documentation of disturbed areas
- Phase Ia archaeological survey of potentially undisturbed areas
- Archaeological Report that presents the findings of the review and fieldwork, as well as recommendations concerning any archaeological sites that might be documented during the study
- Notice of entry letters to affected property owners

Tasks Not Covered under This Proposal:

- Additional Archaeological Fieldwork (i.e., Phase II investigation of a site(s))

The fee for the necessary archaeological services will be \$4,706 and will be billed lump sum based on percent complete. The task and hourly breakdown for each service is attached.

If you agree with the terms and conditions listed above, please sign this agreement below and return to Green 3, LLC. Receipt of the signed agreement will serve as our notice to proceed, unless otherwise directed by client. Thank you, and we look forward to working with you!

Kind Regards,



Erin Mulryan, MPA
President

Client- Aztec Engineering

(Signature)

(Printed Name and Title)

(Date)

Name of Project: B-Line Trail Extension

Des. 1700735

Job Type: Phase Ia Archaeological Investigation

Contact Information:

AZTEC Engineering
Attention: Mike Myers
4561 East McDowell Road
Phoenix, Arizona 85008



Green 3, LLC
Historic Fountain Square
1104 Prospect Street
Indianapolis IN 46203

Date: July 24, 2019

Fee Justification

Task Description	Principal / QP	Field Director	Intern	Totals
Project Administration	1.0	1.0	0.0	2.0
Notice of Entry Mailings (Affected Property Owners)	0.0	1.0	2.0	3.0
Records Review	0.0	5.0	0.0	5.0
Field Investigation	0.0	14.0	0.0	14.0
Laboratory Analysis	0.0	4.0	0.0	4.0
Report Write-up	2.0	20.0	0.0	22.0
Correspondence with INDOT CRO	1.0	2.0	0.0	3.0
Total Hours	4.0	47.0	2.0	53.0
	\$ 130.00	\$ 80.00	\$ 12.00	
Fee	\$ 520.00	\$ 3,760.00	\$ 24.00	\$ 4,280.00
<i>Expenses:</i>				
<i>Printing</i>				\$10.00
<i>Archaeological Records Review at SHPO (\$70/hour) x 2</i>				\$140.00
<i>GIS Analysis</i>				\$200.00
<i>Mileage (100 miles x 0.38 / mile; 2 field days)</i>				\$76.00
Total Fee For Archaeological Services				\$4,706.00

REAL ESTATE SERVICES FEE SCHEDULE

Right of Way Management Services

Right of Way Management Includes: all processes, procedures, observations, data entry into LRS and management of all services needed to clear the right of way, including all the necessary activities to certify the right of way that has to be acquired to clear the project(s) for construction, in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT. The current version of the INDOT Real Estate Manual is located at <http://www.in.gov/indot/2493.htm>. All services listed below shall be required within the Right of Way Service Management scope of work.

Report Type	Per Parcel Fee
Right of Way Management per parcel services fee	\$1,075 per parcel

Early Assessment Right of Way Cost Estimate

Early Assessment Real Estate Cost Estimate includes: all processes, procedures and observations to complete a Real Estate Cost Estimate assignment (including completion of the INDOT Real Estate Cost Estimate Spreadsheet) in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

The \$130 per parcel fee is applicable up to 50 parcels, the fee for projects larger than 50 will be negotiated based upon complexity.

Appraisal Services

Waiver Valuations Include: all processes, procedures and observations to complete a waiver valuation report per Scope of Work assignment in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

Appraisal Reports Include: all processes, procedures and observations to complete an appraisal report per Scope of Work assignment in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

Report Type	Per Parcel Fee
Waiver Valuation: Any Property Type (Improved or Unimproved)	\$645
Value Finding: Any Property Type (Improved or Unimproved)	\$1,830
Short Form: Any Property Type (Improved or Unimproved)	\$2,690
Short Form: Residential / Ag (with affected improvements or a total take)	\$3,010
Short Form: Commercial / Industrial / Multi-Family / Special / Billboard (with affected improvements or a total take)	\$4,300
Long Form: Any Property Type (Unimproved)	\$3,230
Long Form: Residential / Ag (Improved)	\$4,300
Long Form: Commercial / Industrial / Multi-Family / Special (Improved)	\$10,760
Excess Land Appraisal	\$615

Appraisal fees are set by INDOT Review Appraisers or their supervisors when the APA is complete

Review Appraisal Services

Appraisal Problem Analysis Includes: all processes, procedures and observations to complete an Appraisal Problem Analysis per Scope of Work assignment in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

Appraisal Review Reports Include: all processes, procedures and observations to complete a review of an appraisal or waiver valuation per Scope of Work assignment in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

Report Type	Per Parcel Fee
Appraisal Problem Analysis (APA)	\$240
Waiver Valuation: Any Property Type (Improved or Unimproved)	\$380
Value Finding: Any Property Type (Improved or Unimproved)	\$920
Short Form: Any Property Type (Improved or Unimproved)	\$1,290
Short Form: Residential / Ag (with affected improvements or a total take)	\$1,455
Short Form: Commercial / Industrial / Multi-Family / Special / Billboard (with affected improvements or a total take)	\$2,050
Long Form: Any Property Type (Unimproved)	\$1,535
Long Form: Residential / Ag (Improved)	\$2,050
Long Form: Commercial / Industrial / Multi-Family / Special (Improved)	\$4,950

Buying Services

Buying Assignments Include: all processes, procedures and observations to complete the total or partial acquisition of real estate, the obtaining of temporary or access rights, or buying review, as each case may be per Scope of Work assignment, and in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

Report Type	Per Parcel Fee
Total/Partial Acquisition	\$1,930
Temporary/Access Rights	\$1,605
Buying Review	\$310

Relocation Services

Relocation Assignments Include: all processes, procedures and observations to complete the activities for relocation of residential or business owners or tenants, or personal property, or review of relocation activities, as each case may be per Scope of Work assignment, and in accordance with federal and state law, including but not limited to Federal Highway Administration rules and regulations, the current version of the INDOT Real Estate Division Manual, and as directed by INDOT.

Report Type	Payment Schedule	Per Parcel Fee
Residential Owner / Tenant	70% payment when a 90-Day Notice is issued - 30% payment when R/W is cleared.	\$3,865
Business Owner / Tenant	70% payment when move amount is determined and approved by INDOT and the 90-Day Notice has been issued - 30% payment when R/W is cleared.	\$3,865
Personal Property Only	70% payment when move is determined and approved by INDOT and 90-Day Notice is issued - 30% payment when R/W is cleared.	\$1,615
Residential and Business Review	100% once the parcel is compliant and closed.	\$1,075
Personal Property Move Only Review	100% once the parcel is compliant and closed.	\$410



The above Fee Schedule will be effective for all new assignments (issued Purchased Orders) made on or after January 1, 2019. Any deviation from the above established fees will require pre-approval from a Manager in INDOT's Real Estate Department.



City of Bloomington
Redevelopment Commission
AMENDED Project Review & Approval Form

Please Note:

- Approval of the project by the Redevelopment Commission through this Project Review & Approval Form does not represent an authorization to begin work or expend funds.
- Authorization of work and the commitment of funds shall be done when the Redevelopment Commission reviews and approves: (1) a Purchase Order or Contract prepared after complying with the appropriate procurement process for the type of item, service or construction being sought and (2) the estimated costs associated with the Purchase Order or Contract.
- No payment of funds shall be made without a duly authorized and approved Purchase Order or Contract. All claims for payment against a duly authorized Purchase Order or Contract shall be submitted to the Redevelopment Commission for their review and approval along with any required departmental inspections, reviews and approvals prior to the payment of any funds.

To Be Completed by Requesting Party:

Project Name: B-Line Trail Extension & Multi-use Path

Project Manager: Roy Aten

Project Description: This project will improve safety and accessibility for pedestrian, bicycle, and motor vehicle traffic on the West Fountain Drive and North Crescent Road by:

- Constructing a 585 ft extension of the B-Line Trail to West Fountain Drive.
- Constructing a new 3540 ft (.67 mi.) multi-use path along West Fountain Drive and North Crescent Road. In effect, connecting the B-line Trail to the newly constructed multi-use path on West 17th Street.
- Realigning the intersection of West Fountain Drive and North Crescent Road.

The project is included in the BMCMPPO Transportation Improvement Plan (TIP) and is eligible for federal funding through the Transportation Alternatives Program (TAP) and the Surface Transportation Program (STP). The project is currently programmed to receive \$1,150,000 in federal funds for construction and construction inspection.

Portions of this Project are not in the Consolidated TIF. However, Indiana Code § 36-7-14-39(J) permits Tax Increment to be used to “Pay expenses incurred by the redevelopment commission for local public improvements that are in the allocation area or serving the allocation area.”

This Project will serve the Consolidated TIF’s allocation area by improving connectivity along the West Fountain Drive / North Crescent Road Corridor, improving access to the West 17th Street, and Expanded Downtown portions of the Consolidated TIF, which increases the potential for additional development in those areas.

Project Timeline:

Start Date: January 17th, 2018

End Date: July 31st, 2022

Financial Information:

Estimated full cost of project:	\$2,975,579 \$3,267,799
Sources of funds:	
Cum-Cap Dev (601)	\$132,999 \$133,000
General Fund (101)	\$200,000 \$81,450
Federal Funding	\$1,150,000 ¹
Consolidated TIF	\$1,492,580 ² \$1,903,349 ²

Project Phases: This breakdown should mirror the contract(s) expected to be issued for this project. Each phase should include a description of the work to be performed, the cost, and the timeline for the contract.

Step	Description	Estimated Cost	Estimated Timeline
1	Preliminary Engineering	\$702,799	Jan 2018 – Sept 2020
2	Railroad Coordination	\$10,000	Oct 2019 – May 2020
3	Right-of-Way Acquisition	\$530,000	Oct 2019 – May 2020
4	Construction	\$1,540,250 \$1,800,000	Apr 2021 – Nov 2021
5	Construction Engineering	\$192,530 \$225,000	Apr 2021 – Nov 2021

TIF District: Consolidated TIF (West 17th Street)

Resolution History:

Res. 19-91 – Approval of Project Review Form

Res. 19-98 – Approval of Funding for Second Addendum

To Be Completed by Redevelopment Commission Staff:

Approved on _____

By Resolution _____ by a vote of _____

¹ INDOT administers the distribution of federal funding to local transportation projects.

² Initial amount expended will be greater, because Federal Highway Administration funding is reimbursed

**19-99
RESOLUTION
OF THE
REDEVELOPMENT COMMISSION
OF THE
CITY OF BLOOMINGTON, INDIANA**

**APPROVAL OF FUNDING FOR LIGHTING IMPROVEMENTS AT
THE BUSKIRK-CHUMLEY THEATER**

WHEREAS, pursuant to Indiana Code § 36-7-14 *et seq.*, the Redevelopment Commission of the City of Bloomington (“RDC”) and the Common Council of the City of Bloomington created an economic development area known as the Consolidated Economic Development Area (“Consolidated TIF”), the purpose of which is to facilitate economic development and revitalization in Bloomington; and

WHEREAS, the Consolidated TIF is an allocation area for purposes of tax increment financing; and

WHEREAS, tax increment from the Consolidated TIF may be used—among other things—to pay expenses incurred by the RDC for local public improvements that are in the Consolidated TIF or that serve the Consolidated TIF; and

WHEREAS, on December 17, 2018, the RDC approved Resolution 18-87, which authorized the Controller to expend up to \$74,000 for BCT Management, Inc.’s (“BCTM”) responsibilities, pursuant to the Partnership Agreement between the City of Bloomington, the Board of Parks Commissioners, the RDC, and BCTM; and

WHEREAS, in Resolution 19-70, the RDC approved funding in the amount of \$8,280.00 for an improved and more efficient HVAC system; and

WHEREAS, as part of the continued improvements to the BCT and in an effort to advance greater energy efficiency throughout the City, City Staff believe it is in the best interest of the BCT and the City to install new LED stage lighting in the theater; and

WHEREAS, City Staff and the BCT solicited and evaluated quotes and identified the quote from Indianapolis Stage Sales and Rentals, Inc., for \$49,125.40, as the best response for the most efficient system, which is attached to this Resolution as Exhibit A; and

WHEREAS, the new lighting system will upgrade the building by improving the efficiency and the capability of the stage lighting (“Improvement”); and

WHEREAS, there are available funds in the 2019 Partnership Agreement Consolidated TIF Allocation to pay for the upgrade, and \$16,594.60 will remain of the allocated TIF funds for the agreement for the remainder of 2019; and

WHEREAS, this lighting efficiency improvement is a valid use of TIF funds as a public improvement under Indiana Code Section 36-7-14-39;

NOW, THEREFORE, BE IT RESOLVED BY THE REDEVELOPMENT COMMISSION OF THE CITY OF BLOOMINGTON, INDIANA, THAT:

1. The Redevelopment Commission finds the above described expenditures to be an appropriate use of TIF funds, and finds that the above described Improvements are public improvements that will enhance the development and economic development of the Consolidated TIF.
2. The RDC authorizes the Controller to expend or reimburse an amount not to exceed \$49,125.40 from the 2019 Partnership Agreement Consolidated TIF Allocation funds to purchase the Improvement from Commercial Service, pursuant to a purchase order to be executed between the City and HFI. The purchase order does not remove the requirement to comply with the City and the RDC's claims process.
3. A copy of the purchase order and invoice shall be attached and filed with this resolution by RDC staff.
4. The funding authorizations contained in this Resolution shall terminate on December 31, 2019, unless extended by the RDC in advance.

BLOOMINGTON REDEVELOPMENT COMMISSION

Donald Griffin, President

ATTEST:

Mary Alice Rickert, Secretary

Date

INDIANAPOLIS STAGE SALES AND RENTALS, INC.
905 MASSACHUSETTS AVE. INDIANAPOLIS, IN 46202
317-635-9430 ~ WWW.INDYSTAGE.COM ~ Fax 317-635-9433

SALESPERSON: Aaron Seelig

QUOTE

DATE: 9/4/2019

CUSTOMER: Buskirk-Chumley Theatre				PROJECT: LED Quote 2		
Contact Name: Skylar Delk				QUOTE #: 0919-06		
Contact E-mail: sdelk@buskirkchumley.org						
Contact Phone: 812-318-6195						
Terms:		Net 15 (approved accounts)		Ship Via:	Freight: Included	
ITEM	QTY	MFG.	PART #	DESCRIPTION	EACH	TOTAL
Fixtures						
1.0	8	ETC	S4LEDS2LS-0	Series 2 Lustr, Black, Edison	1,771.40	14,171.20
2.0	16	ETC	S4LEDS2LS-0	Series 2 Lustr, Black, Stage Pin	1,771.40	28,342.40
3.0	8	ETC	436EDLT	36° EDLT lens tube, black	206.70	1,653.60
4.0	12	ETC	426EDLT	26° EDLT lens tube, black	206.70	2,480.40
5.0	4	ETC	419EDLT	19° EDLT lens tube, black	206.70	826.80
Accessories						
6.0	16	Lex	PE700J-5-	PowerCon Extension, 5'	27.00	432.00
7.0	1	Lex	DMX-5P-100	5-pin DMX cable, Neutrik, 100'	80.80	80.80
8.0	2	Lex	DMX-5P-50	5-pin DMX cable, Neutrik, 50'	51.70	103.40
9.0	2	Lex	DMX-5P-10	5-pin DMX cable, Neutrik, 10'	29.20	58.40
10.0	16	Lex	DMX-5P-5	5-pin DMX cable, Neutrik, 5'	26.30	420.80
11.0	24	ISSR	SC	Safety Cables, Black	4.90	117.60

Notes

1. Quote is for materials and shipping only.

This quote is valid for 30 days and must be verified for purchase outside this time frame.		Shipping:	438.00
Shipping cost is Firm as quoted.			
Invoices over \$1,000.00 paid by credit or debit card are subject to a 3% surcharge.			
U:\3 Customers\Buskirk Chumley Theatre\LED Quote 2 0919-06.xlsx\Wksheet		Total:	49,125.40



by:

Aaron Seelig
Outside Sales

19-100
RESOLUTION
OF THE
REDEVELOPMENT COMMISSION
OF THE
CITY OF BLOOMINGTON, INDIANA

APPROVAL OF ENVIRONMENTAL TESTING FOR THE DIMENSION MILL

WHEREAS, on September 6, 2016, the Redevelopment Commission of the City of Bloomington (“RDC”) approved a Project Review & Approval Form (“Form”) authorizing a project to renovate the Dimension Mill for use as tech office space (the “Project”) in the portion of the CTP commonly known as The Trades District in Resolution 16-55; and

WHEREAS, Dimension Mill, Incorporated (“DMI”), entered into a lease agreement with the RDC to operate the Mill as a shared-office space for technology startups and entrepreneurs; and

WHEREAS, as part of the renovation of the Mill, much of the renovation work was guaranteed for one year from substantial completion, and notification of substantial completion was provided to DMI on February 21, 2019; and

WHEREAS, DMI has requested, and the City has agreed to perform indoor air testing to investigate the sources of a persistent and lingering odor that is present in one of the offices in the Dimension Mill (“Services”); and

WHEREAS, the City has solicited a bid from VET Environmental Engineering, LLC (“VET”), for an amount not to exceed One Thousand One Hundred Six Dollars and Fifty Cents (\$1,106.50) to perform the Services; and

WHEREAS, the agreement with VET is attached to this Resolution as Exhibit A; and

WHEREAS, the RDC has available funds in its revenue account to pay for the Services;

NOW, THEREFORE, BE IT RESOLVED BY THE REDEVELOPMENT COMMISSION OF THE CITY OF BLOOMINGTON, INDIANA, THAT:

1. The RDC reaffirms its approval of the Project, which is the renovation and improvement of the Dimension Mill.
2. The RDC hereby approves the agreement for environmental testing in an amount not to exceed One Thousand One Hundred Six Dollars and Fifty Cents (\$1,106.50) for the Services.
3. All invoices shall be reviewed and approved by the Department of Economic and Sustainable Development and the Controller’s office pursuant to the RDC and City of Bloomington’s normal acquisition procedures, and the funding used for the testing shall come from the RDC’s general services account (444-15-150000-53990).

4. The funding authorizations contained in this Resolution shall terminate on December 31, 2019, unless otherwise extended by the RDC.

BLOOMINGTON REDEVELOPMENT COMMISSION

Donald Griffin, President

ATTEST:

Mary Alice Rickert, Secretary

Date

CONSULTING AGREEMENT AND AUTHORIZATION TO PROCEED

This Agreement is between VET Environmental Engineering, LLC an Indiana corporation, with office at 2335 West Fountain Drive, Bloomington, Indiana 47404 and Mr. Alex Crowley, City of Bloomington Redevelopment Commission with office at 401 North Morton Street, Suite 150, Bloomington, IN 47404 ("CLIENT").

1. VET Environmental Engineering, LLC agrees to perform the services described in its Cost Estimate dated: October 29, 2019 including attachments and amendments ("SERVICES").
2. CLIENT authorizes VET Environmental Engineering, LLC to perform these SERVICES for the following project and location: Indoor Air Testing, Dimension Mill Suite 112, 642 North Madison Street, Bloomington, Indiana.
3. VET Environmental Engineering, LLC is willing to perform the SERVICES in exchange for the following fee (check and complete):

CLIENT will pay on a **time and material** basis. VET Environmental Engineering, LLC will invoice according to the attached Cost Estimate and Fee Schedule.

CLIENT will pay a **lump sum** of \$0.00 for SERVICES. VET Environmental Engineering, LLC will invoice CLIENT upon completion of the SERVICES for the parcel of property described in the PROPOSAL.

CLIENT will pay on a **time and material basis not to exceed** the sum of **\$1,106.50**. VET Environmental Engineering, LLC will invoice according to the Fee Schedule* attached up to the stated limit. Upon reaching the limit, VET Environmental Engineering, LLC will stop performing unless CLIENT authorizes further work in writing.

* VET Environmental Engineering, LLC reserves the right to adjust its Fee Schedule annually.

4. **Billing:** VET Environmental Engineering, LLC will submit invoices to CLIENT by mail on an as needed basis. CLIENT recognizes that timely payment is a material part of this Agreement. Each invoice is due and payable within thirty (30) calendar days of the date of the invoice. CLIENT will pay an additional charge of one and one-half percent (1 1/2%) per month not to exceed the maximum rate allowed by law for any payment received by VET Environmental Engineering, LLC more than thirty (30) calendar days from the date of the invoice. CLIENT will pay when due that portion of invoice, if any, not in dispute. If CLIENT fails to pay any undisputed invoiced amounts within thirty (30) calendar days of the date of the invoice, VET Environmental Engineering, LLC may suspend its performance or terminate this Agreement without incurring any liability to CLIENT and without waiving any other claim against CLIENT.

5. Special Provisions : NONE ATTACHMENT

6. **CLIENT RECOGNIZES THAT THE PRESENCE OF HAZARDOUS MATERIALS OR POLLUTION ON OR BENEATH THE SURFACE OF A SITE MAY CREATE RISKS AND LIABILITIES. CONSULTANT HAS NEITHER CREATED NOR CONTRIBUTED TO THIS POLLUTION. CONSEQUENTLY, CLIENT RECOGNIZES THIS AGREEMENT WILL ACCORDINGLY LIMIT CONSULTANT'S LIABILITY.**

CLIENT confirms reading this document in full (including the terms 7 through 16 on the following page). This Agreement when executed by VET Environmental Engineering, LLC is an offer to perform the services, open for acceptance within 30 days. This Agreement becomes effective on the date CLIENT signs below.

CLIENT

- VET Environmental Engineering, LLC

By: _____

By: Sara M White

Name: _____

Name: for Sara Rae Hamidovic, MS, PE, CHMM

Title: _____

Title: President

Date: _____

Date: 10/30/19

7. **Standard of Care:** VET Environmental Engineering, LLC will perform the Services in accordance with the standards of care and diligence normally practiced by consulting firms performing services of a similar nature in the same locale.

8. **Indemnity / limitation of Liability:** Subject to any limitations stated in this Agreement, VET Environmental Engineering, LLC will indemnify and hold harmless CLIENT, its officers, directors, employees, and subcontractors, from and against all claims and actions, including reasonable attorneys fees, arising out of damages or injuries to persons or tangible property to the extent they are caused by a professionally negligent act, error, or omission of VET Environmental Engineering, LLC or any of its agents, subcontractors, or employees in the performance of Services under this Agreement. VET Environmental Engineering, LLC will not be responsible for any loss, damage, or liability arising from any contributing negligent acts by CLIENT, its subcontractors, agents, staff, or consultants. Neither party will be responsible to the other for consequential damages including, but not limited to, loss of profit, loss of investment or business interruption. The CLIENT also agrees to seek recourse only against VET Environmental Engineering, LLC and not against its officers, employees, directors, or shareholders. The CLIENT agrees to limit VET Environmental Engineering, LLC's liability due to breach of contract, warranty or negligent acts, errors or omissions of VET Environmental Engineering, LLC to the fee paid to VET Environmental Engineering, LLC under this Agreement.

9. **Hazardous Substances/Hazardous Waste:** CLIENT represents that if CLIENT knows or has reason to suspect that hazardous substances or pollution may exist at the project site, CLIENT has fully informed VET Environmental Engineering, LLC. In the event VET Environmental Engineering, LLC encounters hazardous substances or contamination significantly beyond that originally represented by CLIENT, VET Environmental Engineering, LLC may suspend its Services and enter into good faith renegotiation of this Agreement. CLIENT acknowledges that VET Environmental Engineering, LLC has no responsibility as a generator, treater, storer, or disposer of hazardous or toxic substances found or identified at a site and CLIENT agrees to defend, indemnify, and hold harmless VET Environmental Engineering, LLC, from any claim or liability, arising out of VET Environmental Engineering, LLC's performance of work under this Agreement and made or brought against VET Environmental Engineering, LLC for any actual or threatened environmental pollution or contamination except to the extent that VET Environmental Engineering, LLC has negligently caused or contributed to any such pollution or contamination. This indemnification includes reasonable attorney fees and expenses incurred by VET Environmental Engineering, LLC in defense of such claim.

10. **Sample Ownership:** All samples and cuttings of materials containing hazardous contaminants are the property and responsibility of CLIENT. Removal of cuttings from the project site will remain the obligation of CLIENT. Absent direction from CLIENT, VET Environmental Engineering, LLC may return all contaminated samples and laboratory byproducts to the CLIENT for proper disposal or treatment.

11. **Documents and Records:** CLIENT acknowledges that VET Environmental Engineering, LLC's reports, boring logs, field data, field notes, laboratory test data, calculations, estimates and other similar documents ("Records") are instruments of professional service, not products. All data VET Environmental Engineering, LLC prepares for CLIENT under this Agreement will remain the property of VET Environmental Engineering, LLC. CLIENT will not use any VET Environmental Engineering, LLC data or report for any purpose other than its original purpose as defined in the PROPOSAL. CLIENT has no rights to incomplete or partial data. VET Environmental Engineering, LLC will retain these Records for a period of three (3) years following completion of this project. During this time, VET Environmental Engineering, LLC will reasonably make available the records to the CLIENT. VET Environmental Engineering, LLC may charge a reasonable fee in addition to its professional fees for retrieving or copying such records.

12. **Change Orders:** VET Environmental Engineering, LLC will treat as a change order any written or oral order (including directions, instructions, interpretations or determinations) from CLIENT which request changes in the Services. VET Environmental Engineering, LLC will give CLIENT notice within ten (10) days of the change order of any resulting increase in fee. Unless Client objects in writing within five (5) days, the change order becomes a part of this Agreement.

13. **Third-Party Rights:** Except as specifically stated in this Agreement, this Agreement does not create any rights or benefits to parties other than CLIENT and VET Environmental Engineering, LLC.

14. **Assignment/ Status:** The CLIENT will not delegate, assign, sublet, or transfer any interest in this Agreement without the written consent of VET Environmental Engineering, LLC. VET Environmental Engineering, LLC is an independent consultant and not the agent or employee of CLIENT.

15. **Termination:** Either party may terminate the Services with or without cause upon ten (10) days advance written notice. If Client terminates without cause, CLIENT will pay VET Environmental Engineering, LLC costs incurred, noncancelable commitments, and fees earned to the date of termination and through demobilization, including any cancellation charges of vendors and subcontractors.

16. **Complete Agreement:** The Parties acknowledge this Agreement, including the Proposal and any Attachments constitute the entire Agreement between them. Unless stated otherwise in this Agreement, this Agreement may not be modified except in a writing signed by both parties. The parties agree that Indiana law governs this Agreement and any dispute involving the Agreement.



VET ENVIRONMENTAL ENGINEERING, LLC

2335 West Fountain Drive, Bloomington, IN 47404

Phone: (812) 822-0400 Fax: (812) 650-3892

Email: info@vet-env.com

VET Standard Rates 2019

Principal Engineer	\$129/hour
Registered Professional Engineer	\$114/hour
Licensed Professional Geologist	\$93/hour
Project Manager	\$87/hour
Senior Environmental Scientist	\$87/hour
Graduate Engineer	\$87/hour
Graduate Geologist	\$83/hour
Staff Project	\$80/hour
Environmental Scientist	\$72/hour
Ecologist	\$72/hour
Senior Environmental Technician	\$72/hour
Environmental Technician	\$62/hour
GIS Analyst	\$62/hour
Clerical	\$52/hour
Mileage	\$0.70/mile
Outside Services and Expenses	Cost plus 15%

Cost Estimate - Indoor Air Testing
Dimension Mill
642 North Madison Street, Bloomington, Indiana - October 29, 2019

Activity	Note	Units	Type		Unit Cost	Total Cost
Task 1. Sampling						
Field Work	Project Manager	4	hours	@	\$87.00	\$348.00
Indoor Air Sampling	2 Samples (Includes 1 ambient air)	2	each	@	\$166.75	\$333.50
Mileage	Cost per mile	20	each	@	\$0.70	\$14.00
Subtotal						\$681.50
Task 2. Reporting						
Reporting	Registered Professional Engineer	1	hours	@	\$114.00	\$114.00
Reporting	Project Manager	2	hours	@	\$87.00	\$174.00
Reporting	Graduate Engineer	1	hours	@	\$87.00	\$87.00
Office Expenses		1	each	@	\$50.00	\$50.00
Subtotal						\$425.00
Grand Total						\$1,106.50

ADDENDUM TO AGREEMENT
between the
CITY OF BLOOMINGTON
REDEVELOPMENT COMMISSION
and
VET ENVIRONMENTAL ENGINEERING, LLC

This Addendum supplements the Letter of Agreement (“Agreement”) between the City of Bloomington (“City”) and VET Environmental Engineering, LLC (“VET”), for indoor air testing and reporting at the Dimension Mill, 642 N. Madison Street, Suite 112, Bloomington, Indiana, as follows:

1. E-Verify: VET is required to enroll in and verify the work eligibility status of all newly-hired employees through the E-Verify program. VET shall sign an affidavit, attached as Exhibit A, affirming that VET does not knowingly employ an unauthorized alien.
2. Notice: Any notice required by the Agreement or the Addendum shall be made in writing to the addresses written below:

City

VET Environmental Engineering, LLC

Larry D. Allen
City of Bloomington RDC
401 N. Morton Street, Suite 220
Bloomington, Indiana 47404

VET Environmental Engineering, LLC
ATTN: Sara Rae Hamidovic
2335 W. Fountain Drive
Bloomington, Indiana 47404

Nothing contained in this Article shall be construed to restrict the transmission of routine communications between representatives of the City and VET.

3. Non-Discrimination: VET shall comply with City of Bloomington Ordinance 2.21.020 and all other federal, state, and local laws and regulations governing non-discrimination in employment. Contractor understands that the City of Bloomington prohibits its employees from engaging in harassment or discrimination of any kind, including harassing or discriminating against independent contractors doing work for the City. If Contractor believes that a City employee engaged in such conduct towards Contractor and/or any of its employees, Contractor or its employees may file a complaint with the City department head in charge of the Contractor’s work, and/or with the City human resources department or the Bloomington Human Rights Commission.
4. Integration: This Addendum is an integrated component of the Agreement.

IN WITNESS WHEREOF, the parties have caused this Addendum to be executed the day and year last written below:

CITY OF BLOOMINGTON
REDEVELOPMENT COMMISSION

VET ENVIRONMENTAL ENGINEERING,
LLC

Donald Griffin, President

Sara Rae Hamidovic, President

Date

Date

