

CITY OF BLOOMINGTON



PLAN COMMISSION

**February 10, 2020 @ 5:30 p.m.
COUNCIL CHAMBERS #115
CITY HALL**

**CITY OF BLOOMINGTON
PLAN COMMISSION
February 10, 2020 at 5:30 p.m.**

❖City Council Chambers – Room #115

ROLL CALL

MINUTES TO BE APPROVED: December 2019 & January 2020

REPORTS, RESOLUTIONS AND COMMUNICATIONS:

PETITIONS:

PUD-01-20 **CDG Acquisitions, LLC**
1800 N. Walnut Street
Request: PUD final plan approval for a 242-unit mixed-use development.
Case Manager: Eric Greulich

****Next Meeting March 9, 2020**

Last Updated: 2/5/2020

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Please call [812-349-3429](tel:812-349-3429) or e-mail human.rights@bloomington.in.gov.**

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 1800 N. Walnut St**

**CASE #: PUD-01-20
DATE: February 10, 2020**

PETITIONER: CDG Acquisitions, LLC
7711 Bonhomme Ave., St. Louis, MO

CONSULTANTS: Smith Brehob & Associates, Inc.
453 S. Clarizz Blvd., Bloomington

REQUEST: The petitioner is requesting final plan approval for a 242 unit, mixed-use development.

BACKGROUND:

Area: 3.85 acres
Current Zoning: Commercial Arterial
Comp Plan Designation: Urban Corridor/Neighborhood Residential/Gateway North
Existing Land Use: Motel
Proposed Land Use: Dwelling, Multi-Family / Commercial
Surrounding Uses: North – Commercial/Dwelling, Multi-Family
 West – Miller Showers Park
 East – Multi-Family, Dwelling
 South – Hotel/Multi-Family, Dwelling

REPORT: The property is located at 1800 N. Walnut Street and is zoned Planned Unit Development. The site received rezoning approval under Plan Commission case #PUD-17-19. The 3.85 acre property is currently developed with a series of buildings for a motel. Surrounding zoning includes Commercial Arterial (CA) and Residential High Density Multifamily (RH) to the north and south, Residential High Density Multifamily (RH) to the east, and Institutional (IN) to the west. The surrounding properties have been developed with a mix of high density multi-family residences and commercial spaces. This property fronts directly on N. Walnut Street. There are no environmental constraints on this property.

The petitioner received approval to create a Planned Unit Development in order to construct 2 buildings that would be a maximum of 7 stories and 86' in height at the tallest point. The proposal includes 6,000 square feet of commercial space, 6,000 square feet of amenity space, and apartments on the upper floors and portions of the ground floors. The multifamily portion of the proposal includes a mix of studio units, one-bedroom units, two-bedroom units, and four-bedroom units for a total of 242 units and 745 bedrooms. The overall density was approved at a maximum of 77 D.U.Es per acre, which this petition meets with the proposed density of 70 units per acre. All of the apartments would be fully furnished. The building will also contain a structured parking garage accessed from the south side of the building with 415 parking spaces for the tenants. The approved parking ratio is a maximum of 0.556 spaces per bedroom which this petition meets. The proposed site plan and building elevations are consistent with what was shown with the initial rezoning petition. The building will feature 50 solar panels to be used for some of the on-site lighting needs. A 2,000 sq. ft. green roof is also required and has been shown.

The petitioner has proposed a contribution to be placed in the Housing Development Fund to be

used to provide affordable housing units elsewhere within the City. Details of this were outlined in the original commitment and a zoning commitment is in the process of being recorded to that effect.

COMPREHENSIVE PLAN: This property is designated as *Urban Corridor* and *Neighborhood Residential* and is also within an area identified as *Gateway North*. The Comprehensive Plan identifies several characteristics and provides land use guidance for the *Neighborhood Residential* district. However, most of the area within this land use district involves the typical suburban residential neighborhoods, so a lot of the guidance is aimed at those areas and does not precisely fit the proposed redevelopment of this particular location. This petition site, as well as a majority of the area surrounding it, is unique in that it has been built out with a mix of commercial and high-density, student oriented housing rather than the typical suburban neighborhoods found elsewhere in the City within this land use designation. For the *Urban Corridor* district the Comprehensive Plan states that this district is designed to transform strip retail and commercial corridors along major roadways into a more urban mixed-use district. It identifies *Urban Corridor* as having excellent access to major roadways, utilities, and other services like transit, fire, and police services. The Comprehensive Plan identifies this area as built out with single story buildings and large surface parking lots that need to be reimaged in a more dense, mixed-use district. The Comprehensive Plan does provide guidance regarding the intent within the *Neighborhood Residential* and *Urban Corridor* areas relative to this proposed development as well as offer guidance for land use approvals:

- **Policy 4.4.4:** Until such time as a reasonable balance of different housing types is achieved in the Downtown and nearby areas, strongly discourage new student-oriented housing developments in these areas.
- **Policy 5.3.4:** Redirect new student-oriented housing developments away from the Downtown and nearby areas, and toward more appropriate locations closely proximate to the IU campus that already contain a relatively high percentage of student-oriented housing units, are within easy walking distance to the campus, and have direct access to university-provided parking as well as the university transit system.
- Optimize street, bicycle, and pedestrian connectivity to adjacent neighborhoods and other 20-minute walking destinations.
- In new development or redevelopment projects, utilities should be placed underground if feasible and located so as to minimize potential conflicts with trees and other landscaping features.
- Buildings should be developed with minimal street setbacks, with parking located behind the building, and with an emphasis on minimizing pedestrian obstacles to accessing businesses.
- Development and redevelopment within the district is particularly suited to high-density residential and mixed residential/commercial use and taller building heights, with the possibility of three or four-story buildings.
- Access to public transit service is an important component of the Urban Corridor district.
- Affordable housing units are an important component of the Urban Corridor district.
- To increase pedestrian and transit accessibility, street cuts should be limited as much as possible to reduce interruptions of the streetscape, tree plots, and sidewalks.
- *Gateway North* - Due to its close proximity to Indiana University, the character of this Focus Area can support the diversification of housing types, including, but not limited to,

multifamily residential and commercial uses — such as student housing and service facilities.

- Emphasis should be on architectural and site design characteristics that establish Gateway North branding.
- Streetscape development from a multimodal standpoint should be highly emphasized on the primary facades and walkways of new developments.

The development of this parcel will add mixed uses and student oriented development that is located outside of the Downtown, within 10 minutes to IU facilities, adjacent to nearby goods and services, and that is directly on a main commercial thoroughfare. The petitioner is providing several connections and off-site improvements to facilitate pedestrian access to the development.

FINAL PLAN:

Uses/Development Standards: The petitioner was approved to utilize the Commercial Downtown (CD) zoning district for the development standards for this project, with some modifications. The proposed list of uses are those of the Commercial Arterial (CA) zoning district. The deviations from the CD district include requesting to allow first-floor residential uses, increased density, setbacks, building height, and signage. The proposed site plan meets the development standards that were approved.

Residential Density: The property was approved with a maximum of 77 units per acre for this PUD. The petitioner is proposing 242 units with 745 bedrooms for a total of 267.8 DUE's which equals a density of 70 units per acre.

Height and Bulk: The petitioners are proposing two buildings that would vary from 5 to 7 stories, with a maximum proposed height of 86 feet. The petitioner has incorporated a varying amount of façade modulation, building heights, and different materials to visually break up the building massing and provide visual interest. The submitted renderings and elevations are consistent with what was shown and approved with the Preliminary Plan. Additional modulation and brick were added as required during the Council review.

Parking, Streetscape, and Access: A total of 415 structured parking spaces are proposed in a garage for the residential units that would be located in the middle portion of the building. There would also be 8 parking spaces provided within the garage for the commercial space. The proposed maximum parking ratio for the residential component is 0.556 spaces per bedroom.

The petitioner will be relocating the existing sidewalk along Walnut Street to provide a 5' wide tree plot. However, due to an existing underground gas line, street trees are not possible in the tree plot. The petitioner is proposing to install a dense planting of shrubs within the tree plot instead and will plant street trees behind the sidewalk if they cannot fit in the tree plot, to provide shade.

There is one vehicular access point for this project that also is shared with the adjacent property to the south. The site plan shows this access point being adjusted to better align with the cross connection across College/Walnut to the west.

Bicycle Parking and Alternative Transportation: The development has proposed 242 units and 745 proposed bedrooms. The district ordinance for this petition requires one bicycle parking space for every 4 bedrooms for a total of 187 covered spaces. Since the project is larger than 20,000

square feet, all bicycle parking spaces must be covered. One quarter of those 187 spaces will need to be long-term storage. The petitioner has shown a mix of indoor bicycle parking in a dedicated bike room, in addition to parking spaces on the front.

The petitioner has worked out an initial 3-year contract with Bloomington Transit for the shuttle service and that contract will be renegotiated at the end of the initial 3-year cycle.

The petitioner is contributing \$300,000 toward sidewalk and pedestrian improvements along the 19th Street corridor to connect this site toward the IU Stadium parking area. Sidewalks and tree plot will be installed along Walnut Street to 19th Street, and the petitioner has completed initial design work for a sidewalk, tree plot, and stormwater improvements along the north side of 19th Street. The details and cost of those improvements are still ongoing, but will be finalized by the grading permit.

Architecture/Materials: The District Ordinance utilizes the Commercial Downtown zoning district for architecture standards. The proposed building includes a wide range of materials including brick veneer, cementitious panels, cementitious lap siding, and board and batten panels. Modulation and articulation have been shown both horizontally and vertically along with different building heights. Two courtyard areas are provided in the eastern building that will feature pedestrian entrances.

Environmental Considerations: The petition site is currently developed with a motel use with several buildings and parking areas. There are no known sensitive environmental features.

Housing Diversity: The petitioner has voluntarily committed to providing a contribution to the City's Housing Development Fund to assist the City in promoting diverse and affordable housing within the community. The petitioner committed to providing a contribution of \$20,000 for 15% of the beds on the property. A zoning commitment has been prepared for this contribution and is in the process of being finalized. The recorded commitment must be received prior to issuance of any permits.

20.04.090 PUD Final Plan- The UDO does not list specific findings criteria for PUD Final Plans, but does list what items shall be considered by the Plan Commission in a review:

- (A) The written statement and supportive material submitted by the petitioner;

Proposed Finding: The petitioner has provided all required materials.

- (B) The PUD District Ordinance;

Proposed Finding: The proposed petition meets the original PUD District Ordinance guidance. The overall petition has not changed from what was approved by Council.

- (C) The Preliminary Plan;

Proposed Finding: The proposed site plan is consistent with the preliminary plan.

- (D) The Final Plan;

Proposed Finding: The petition is the Final Plan for the site.

(E) Any commitments or conditions of approval attendant to prior approvals;

Proposed Finding: There were several commitments and conditions that were outlined with the preliminary approval. Those commitments were as follows-

1. a contribution to the City's Housing fund (this is being finalized currently).
2. a commitment toward providing pedestrian improvements along 19th Street (these are also currently being finalized).
3. changes to the architecture as outlined by the petitioner that included additional brick along the front and increased modulation (which have been incorporated).
4. Incorporation of solar panels (this has been shown).
5. Incorporation of a green roof (this has been shown).

(F) Any applicable section of the Unified Development Ordinance;

Proposed Finding: The petition is subject to the current standards of the UDO for anything that was not specifically addressed in the original PUD. The petition meets all of the requirements outlined in their District Ordinance and the UDO.

(G) Additional information as may be required by the Plan Commission to evaluate the application.

Proposed Finding: No additional information has so far been requested by the Plan Commission for this site.

ENVIRONMENTAL COMMISSION RECOMMENDATIONS: The Bloomington Environmental Commission (EC) has made 3 recommendations concerning this development:

- 1.) Revise the Landscape Plan to include all native plants

Staff Response: The petitioner shall submit a landscape plan showing compliance with this requirement prior to the issuance of a grading permit.

- 2.) Provide at least 5% of the parking spaces with EV charging stations

Staff Response: Although not required, the Department encourages the petitioner to incorporate this into the petition.

- 3.) Submit to the P&T department a maintenance plan for the solar panels and green roof

Staff Response: This will be reviewed with the grading plan.

CONCLUSION: The Plan Commission found that the proposed PUD offers a unique architectural design and a range of benefits and features for the tenants that will also benefit the community by providing student housing that is adjacent to other student housing in a location that is well served, along a major arterial road, and proximate to IU's campus. This petition accomplishes many of the

goals of the Comprehensive Plan already outlined in this report, including providing high density student housing in an area that is appropriate and located outside of the Downtown. Several elements of the proposal satisfy the high design criteria outlined in the Comprehensive Plan and attention has been paid to facilitating pedestrian access to the site by providing off-site improvements to increase pedestrian access. The unique architectural design will compliment this area and provide a high quality building along the Urban Corridor. This petition follows all of the requirements outlined with the initial rezoning and preliminary plan.

RECOMMENDATION: The Department recommends approval of the petition with the following conditions:

1. The recorded zoning commitment regarding the contribution to the Housing Fund must be received prior to issuance of a grading permit.
2. Final design work for the 19th Street improvements must be completed and approved by the City prior to issuance of a grading permit.
3. A bus shelter is required along this property frontage and must be shown with the grading permit.
4. A maintenance plan for the solar and green roof must be received prior to issuance of an occupancy permit.



City of Bloomington
Bloomington Environmental Commission

MEMORANDUM

Date: February 10, 2020

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Subject: PUD-17-19: CDG Acquisitions LLC student apartments (formerly Motel 6)
1800 N. Walnut

The purpose of this memo is to convey the environmental concerns and recommendations for conditions of approval from the Environmental Commission (EC) with the hope that action will be taken to enhance its environment-enriching attributes. The EC reviewed the petition and offers the following for your consideration.

COMMENTS

1.) LANDSCAPE PLAN

The EC applauds the Petitioner for including the requirement in the District Ordinance that allows only native plants to be used at this site. However, there are very few native evergreen shrubs available, and the District Ordinance requires 50% of the shrubs to be evergreen. This means the diversity of shrubs will be sorely absent. The EC previously recommended that 50% not be a requirement in the Plan Commission memoranda dated May 13, 2019 and June 10, 2019. This requirement unfortunately defies the attempts to add biodiversity within the city of Bloomington, and with such a small variety of shrubs will limit both aesthetic and pollinator benefits. Additionally, the Plant List Detail & Specifications sheet LS1.4, shows non-native plants in the plant schedule, which will need to be changed.

2.) ELECTRIC VEHICLE CHARGING

The EC appreciates the commitment in the District Ordinance for electric vehicle charging stations, but the EC would like to know how many are proposed, out of the 469 parking spaces proposed. According to Climate Central, in 2018, more than 360,000 electric vehicles were sold in the United States. That represents an increase of 81% over 2017. The EC does not expect a one year increase in EV sales of 81% in Bloomington, but new developments should be prepared for some increase.

If only 5% of the spaces contained EV chargers, that would equal 23.45 spaces. The EC believes 5% may be a practical amount to begin with, thus recommends that at least 5% of the parking spaces be equipped with fast-charging EV charging stations.

3.) ROOF

The Petitioner committed to "...50 solar panels, which will produce approximately 20kW of power.", and 2,000 square feet of green roof. The solar panels will be on the south edge of the roof of building 1000, which is a story lower than the rest of the roof on the north side of building 1000. Because the north direction is the least effective side for solar radiation, the shading from the north may be acceptable. However, to be sure that 20kW of power are actually being generated, the Petitioner needs to monitor the average kW being produced and add more panels such that at least 20kW, plus or minus 3%, are generated on average.

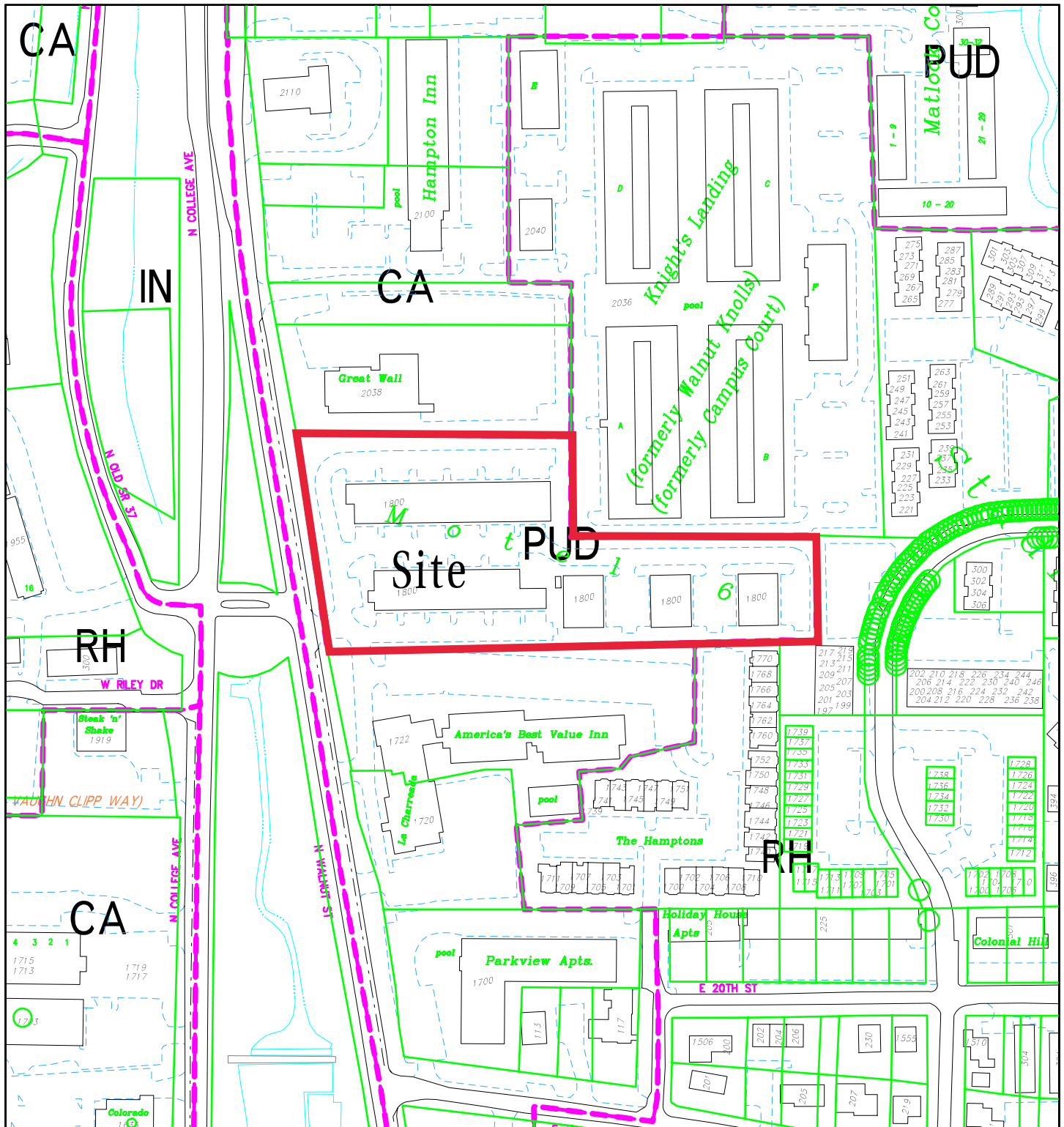
Studies from the Chicago Botanic Gardens on sedums compared to other test plants on green roofs show that some sedum species fared only moderately. Close monitoring of the plants for at least four years should be recorded to ensure survivability of the sedums planted.

A maintenance plan for the solar array and the green roof has not yet been submitted. The Petitioner needs to submit a detailed maintenance plan to the Planning and Transportation (P&T) Department for approval.

Recommended Conditions of Approval

The EC recommends that the following list be included as conditions of approval.

- 1.) Revise the Landscape Plan to include all native plants.
- 2.) Provide at least 5% of the parking spaces with fast-charging EV charging stations.
- 3.) Submit to the P&T department a maintenance plan for the solar panels and green roof.



PUD-01-20 CDG Acquisitions

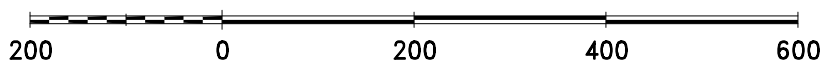
1800 N Walnut Street

Plan Commission

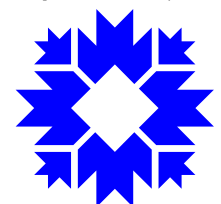
Site Location, Zoning, Parcels

By: greulice

5 Feb 20

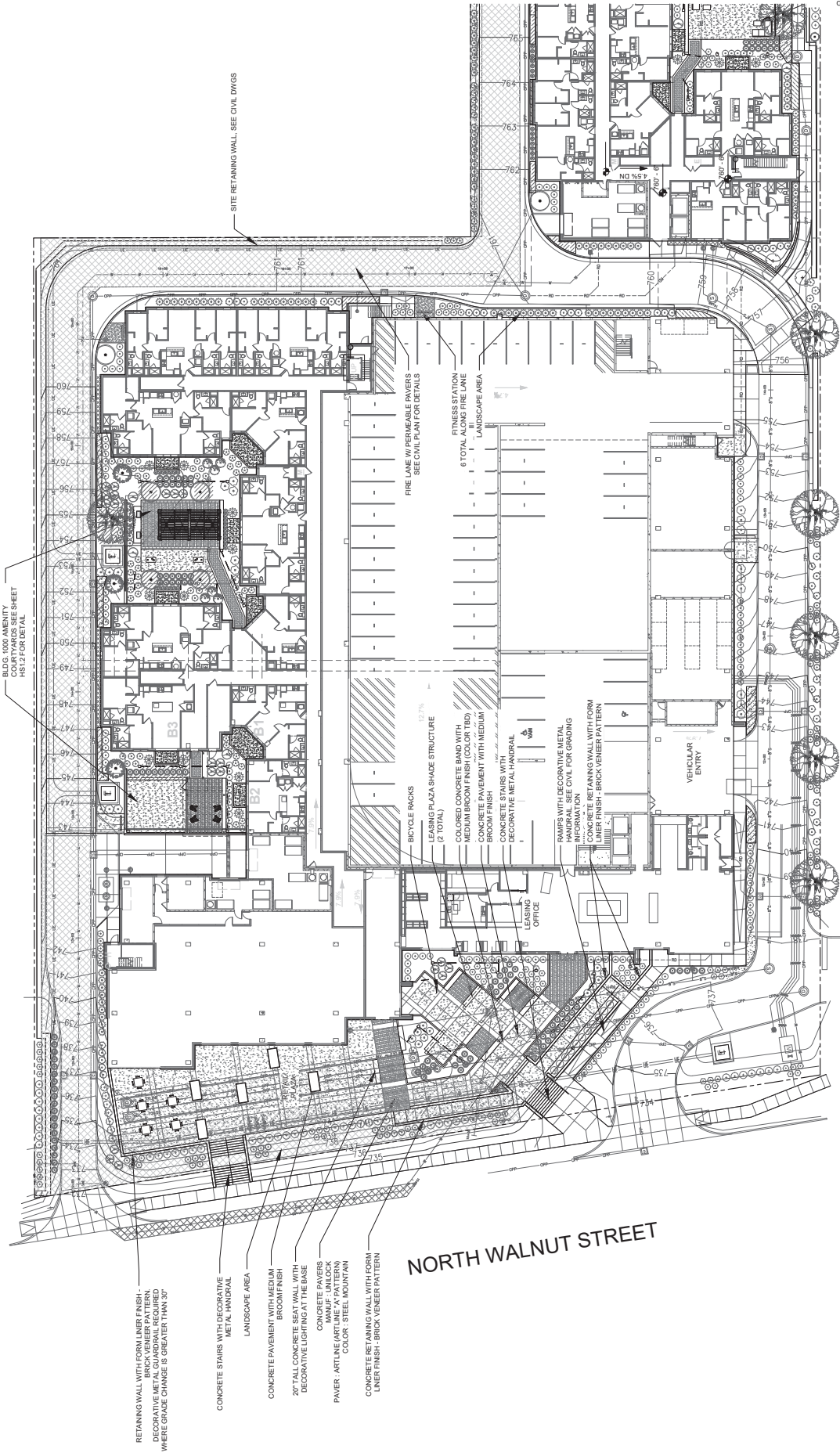


City of Bloomington
Planning & Transportation

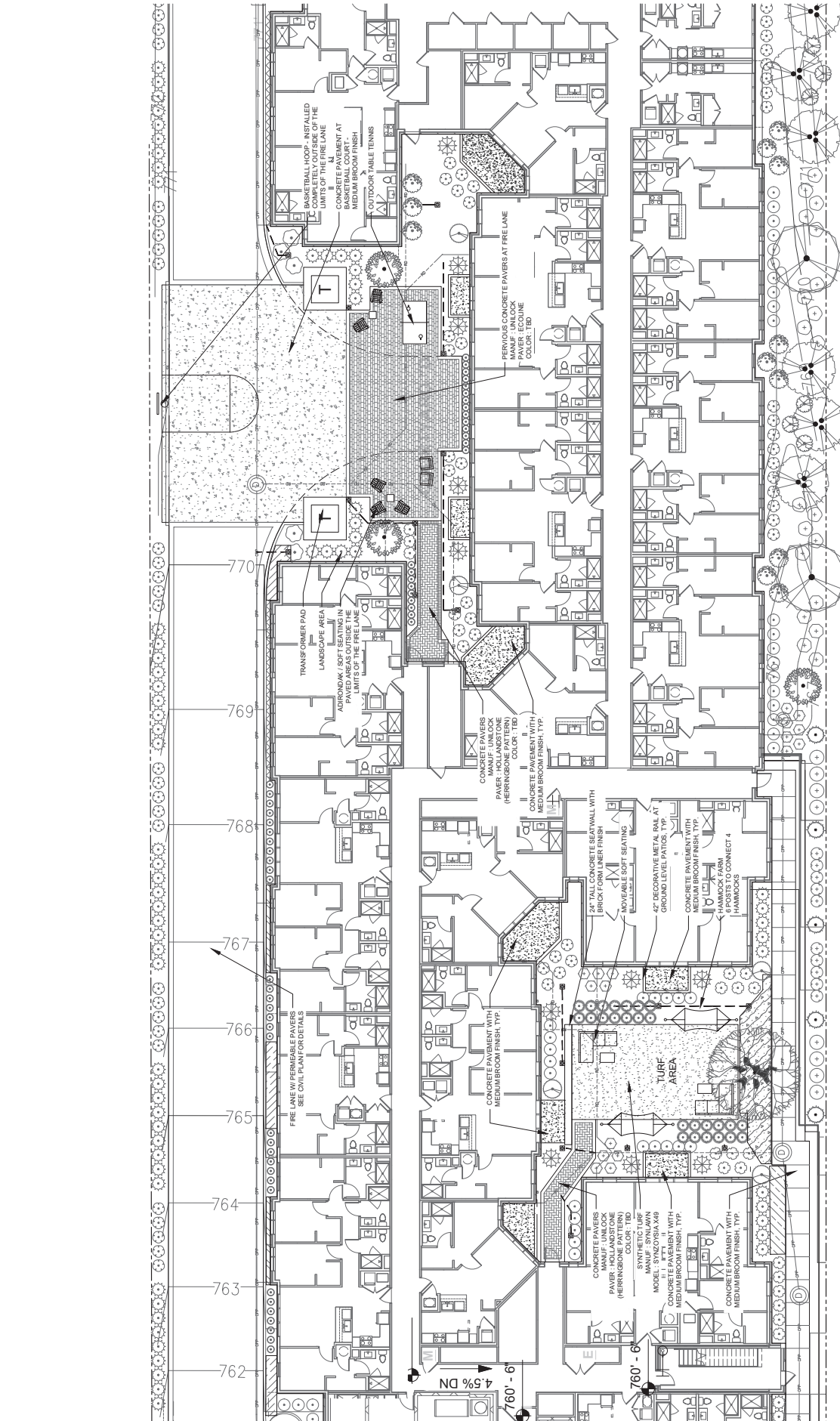


Scale: 1" = 200'

For reference only; map information NOT warranted.

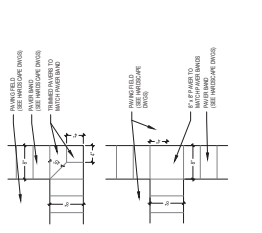


C: dwe design studios - ALL RIGHTS RESERVED

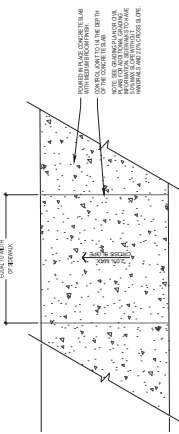


1 BUILDING 2000 COURTYARD HARDSCAPE PLAN
SCALE: 1/16"=1'-0"

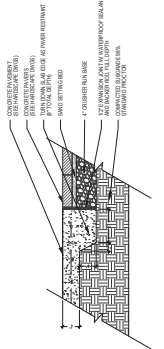
© dwe design studios. ALL RIGHTS RESERVED



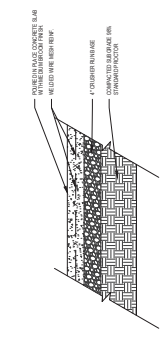
4 PAVES BAND DETAIL
 SCALE: 1" = 1'-0"



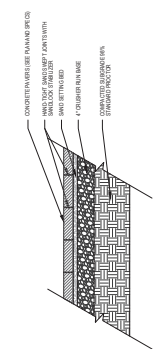
7 CONCRETE SIDEWALK
 SCALE: 1" = 1'-0"



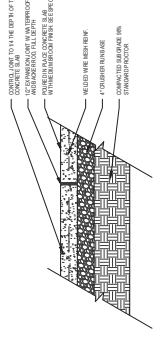
3 PAVERS AT SIDEWALK
 SCALE: 1" = 1'-0"



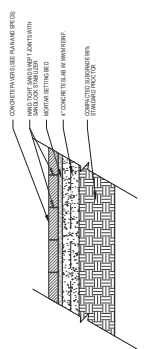
7 CONCRETE SIDEWALK
 SCALE: 1" = 1'-0"



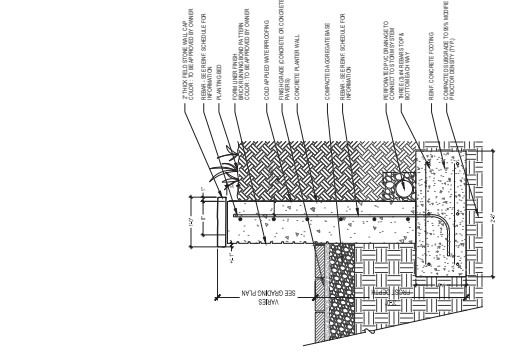
2 CONCRETE PAVERS
 SCALE: 1" = 1'-0"



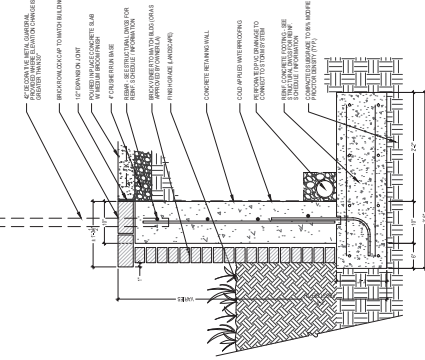
6 CONCRETE PAVEMENT JOINT DETAIL
 SCALE: 1" = 1'-0"



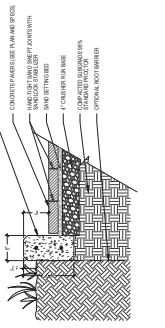
1 CONCRETE PAVERS OVER CONCRETE
 SCALE: 1" = 1'-0"



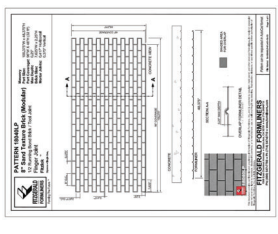
11 RETAINING WALL WITH FORM LINER FINISH
 SCALE: 1" = 1'-0"



10 RETAINING WALL WITH BRICK VENEER
 SCALE: 1" = 1'-0"



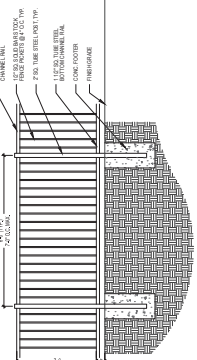
9 CONCRETE PLANTER CURB
 SCALE: 1" = 1'-0"



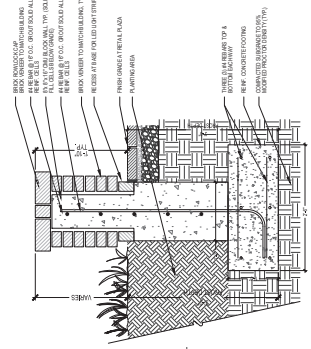
16 FORM LINER BRICK PATTERN
 SCALE

15 SYNTHETIC TURF - DOG PARK
 SCALE

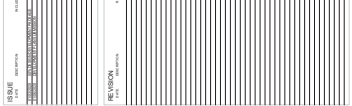
14 SYNTHETIC TURF
 SCALE



13 COURTYARD PATIO RAILING
 SCALE: 1/2" = 1'-0"



12 RETAIL PLAZA SEAT WALL
 SCALE: 1" = 1'-0"



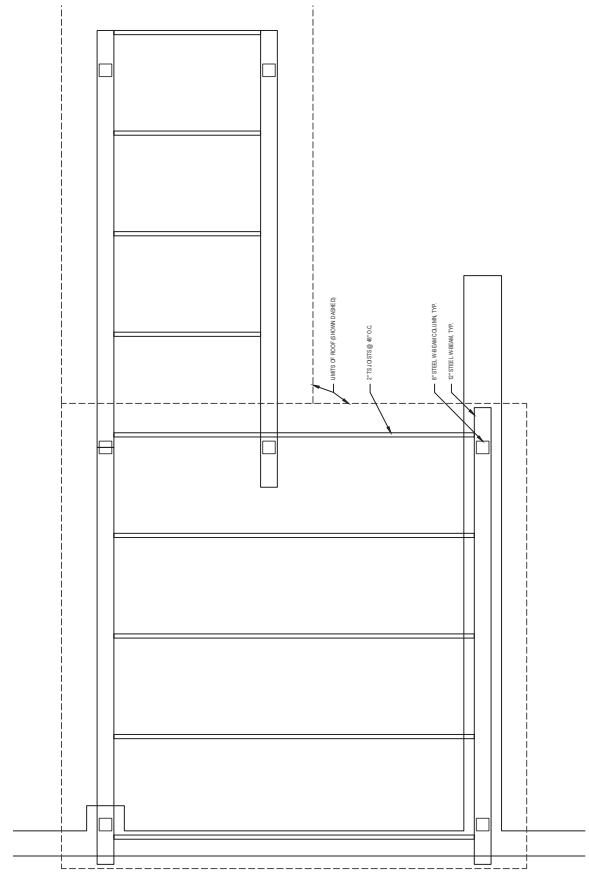
DATE: 03/11/2013
 PROJECT: COLLEGIATE DEVELOPMENT
 SHEET: 20

HARDSCAPE DETAILS
 JOB NUMBER: 122203
 DRAWN BY: AC
 CHECKED BY: AC

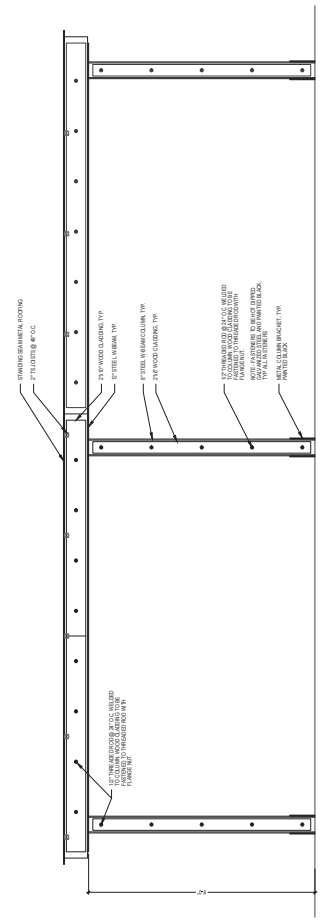
HS1.3
 ISSUE FOR CONSTRUCTION

C: dwelldesign studios - ALL RIGHTS RESERVED

ALL WOOD TO BE #2 CYPRESS TREATED WITH
 SEMI-TRANSPARENT STAIN AND FINISH COAT OF
 CLEAR SEALER. ALL METALS TO BE EXTERIOR
 CLEAR ANODIZED ALUMINUM UNLESS OTHERWISE
 NOTED.
 STAIN COLOR: TRD



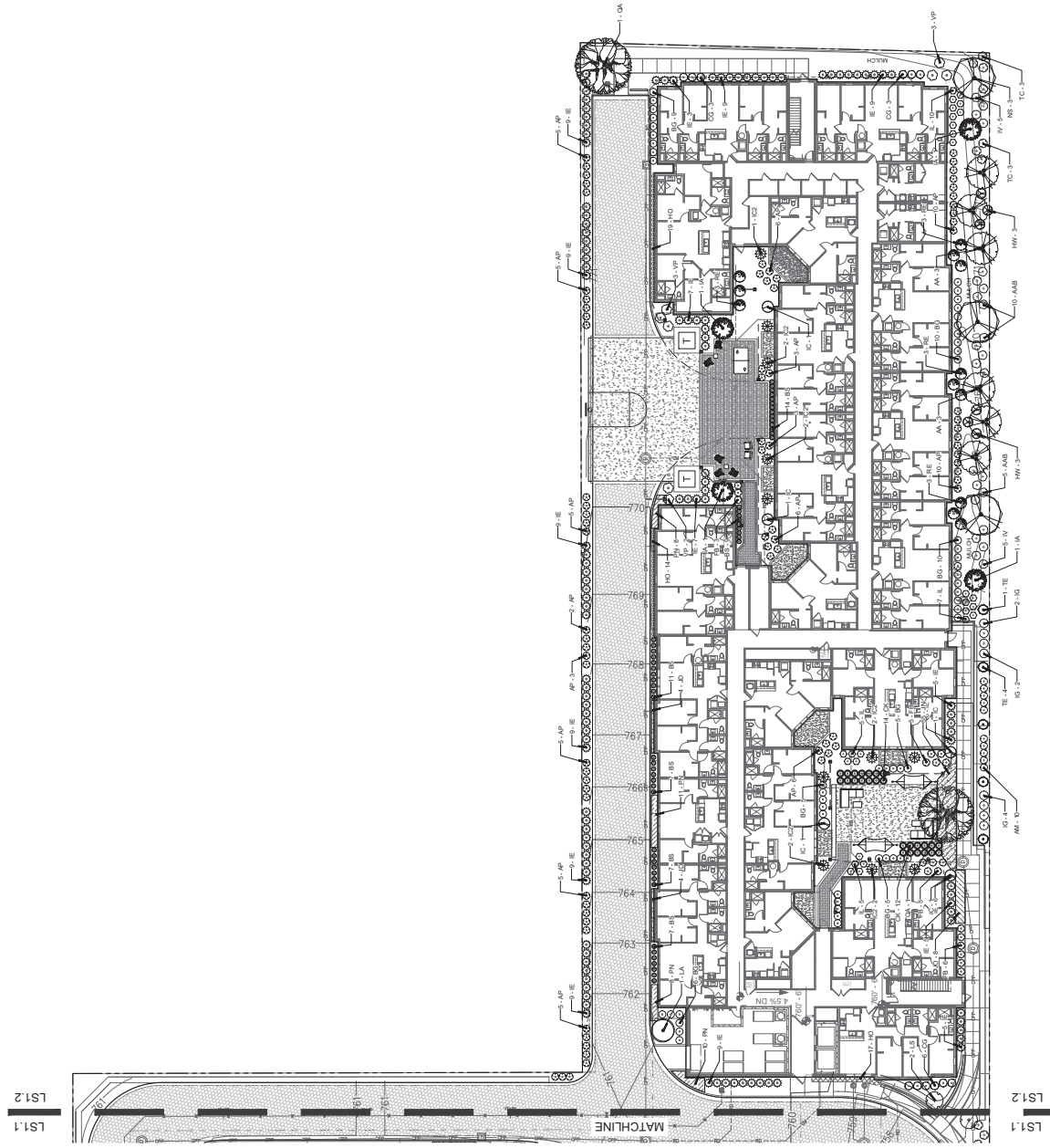
2 COURTYARD 1 PERGOLA ENLARGEMENT
 SCALE: 1/2" = 1'-0"



1 COURTYARD 1 PERGOLA ELEVATION
 SCALE: 1/2" = 1'-0"

PLANT KEY

TREELES	COMMON NAME
A	American Holly
B	Bald Cypress
C	Cashew
D	David's Star
E	Emerald Nectarine
F	Fern
G	Green Velvet
H	Hamamelis
I	Iceberg Spruce
J	Japanese Maple
K	Kentucky Bluegrass
L	Lamb's Ear
M	Manitowish
N	Northern White Birch
O	Osage Orange
P	Panicle Dogwood
Q	Queen Elizabeth
R	Rose of Sharon
S	Shadblow
T	Texas Bluegrass
U	Ulm
V	Viburnum
W	White Birch
X	Xanthoxylum
Y	Yucca
Z	Zelkova



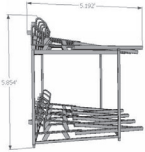
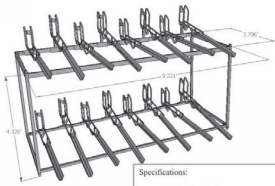
1 BUILDING 2000 PLANTING PLAN
 SCALE: 1/8" = 1'-0"



LS1.1
 LS1.2

LS1.1
 LS1.2

Condo Double Decker
16 Bike Unit Cut Sheet

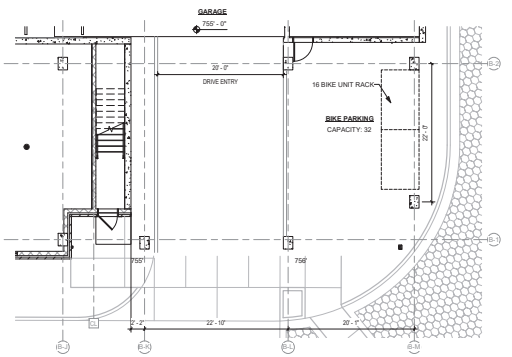


Cycle Storage Solutions
www.cyclestorage.net

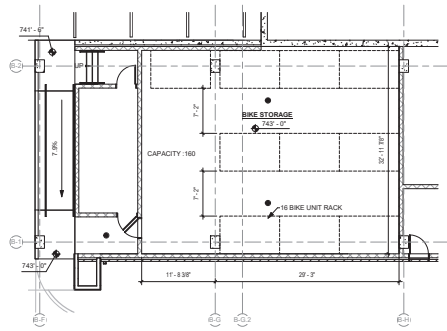
Specifications:

- Holds 16 total bikes
- Requires 8" ceiling with bikes
- Allow for a minimum 3" aisle in front of rack
- Allow for 6" on either end of rack for handrails
- Corner posts and bottom rails are 1 1/2 square 14 Gauge Steel
- Top rails and crossbars are 1 1/2 x 2" rectangular 14 Gauge steel
- All pieces are powder coated with a flat black finish for durability.
- 320 LB load limit on top tier
- Hand welded in Wisconsin.
- Welds are guaranteed against breakage

BIKE STORAGE RACK

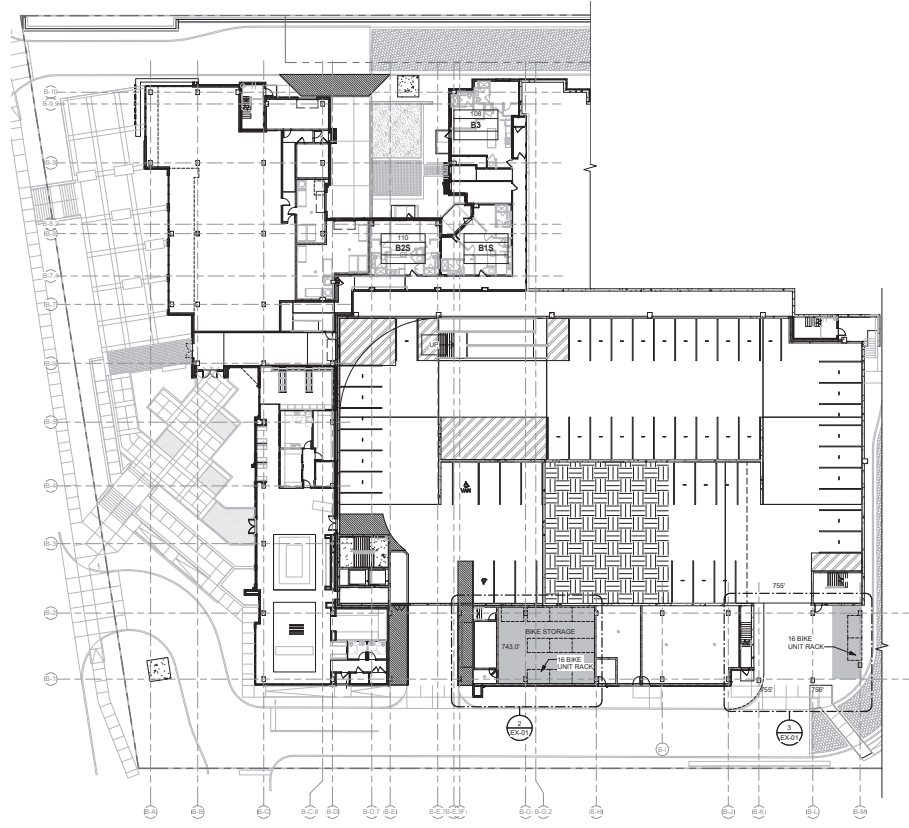


3 BIKE PARKING
1/8" = 1'-0"



2 BIKE STORAGE
1/8" = 1'-0"

BIKE STORAGE COUNTS	
PARKING REQUIRED	
TOTAL BEDROOMS: 745	
REQUIRED BIKE PARKING: 1 PER 4 BEDS = 183	
PARKING PROVIDED	
PROVIDED (16 BIKE RACK PER UNIT X 12): 192	



1 OVERALL PLAN - LEVEL 01
3/64" = 1'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

BIKE STORAGE EXHIBIT

SCHEMATIC DESIGN

JOB NUMBER: 1822302

DRAWN BY: Author
CHECKED BY: Checker

EX-01

GARAGE - PARKING COUNTS									
REGULAR					ACCESSIBLE VAN				
RETAIL	GUEST	RESIDENTIAL	RETAIL	RESIDENTIAL	RETAIL	RESIDENTIAL	RETAIL	RESIDENTIAL	TOTAL
LEVEL 1	6	37	-	-	-	-	-	-	43
LEVEL 2	-	-	82	-	1	-	-	1	84
LEVEL 3	-	-	83	-	2	-	-	2	85
LEVEL 4	-	-	83	-	2	-	-	2	85
LEVEL 5	-	-	83	-	2	-	-	2	85
LEVEL 6	-	-	86	-	2	-	-	2	88
TOTAL	6	37	336	4	7	-	-	7	407
TOTAL PARKING = 407									

RESIDENTIAL GROSS AREA		
BLDG 1000 AREA (BLDG 2000 AREA IS)	BLDG 2000 AREA (SF)	TOTAL AREA (SF)
LEVEL 1	27,207	27,207
LEVEL 2	31,615	31,615
LEVEL 3	33,156	28,719
LEVEL 4	33,156	28,804
LEVEL 5	33,156	28,804
LEVEL 6	20,985	28,804
LEVEL 7	-	28,712
TOTAL	179,855	179,852

TOTAL RESIDENTIAL AREA = 326,147	
TOTAL GARAGE GROSS AREA = 496,153	

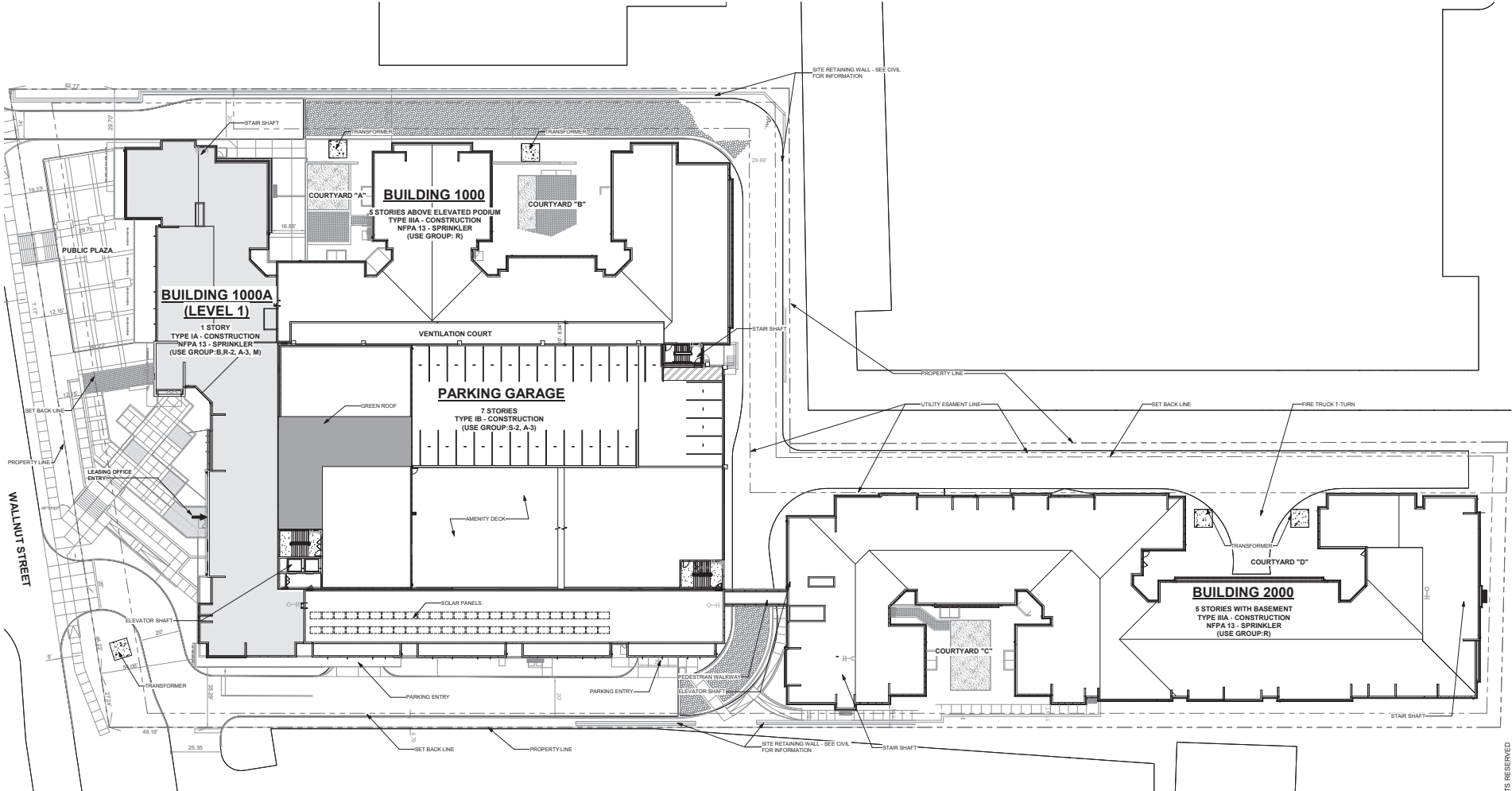
GARAGE - GROSS AREA	
LEVEL	TOTAL AREA (SF)
LEVEL 1	21,507
LEVEL 2	26,901
LEVEL 3	26,901
LEVEL 4	26,901
LEVEL 5	26,901
LEVEL 6	24,265
LEVEL 7	18,825
TOTAL	159,702

TOTAL GARAGE AREA = 159,702	
-----------------------------	--

UNIT MIX	
UNIT TYPE	RECEPTION
MS - MICRO STUDIO	334 SF
MS - MICRO STUDIO	350 SF
TOTAL	684 SF

BLDG 1000	
LEVEL	UNITS
1	13
2	13
3	13
4	13
5	13
6	13
7	13
TOTAL	98

BLDG 2000	
LEVEL	UNITS
1	21
2	21
3	21
4	21
5	21
6	21
7	21
TOTAL	147



1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

dwell design
1800 N. NORTH WALNUT
BLOOMINGTON, IN
9000 GREENWOOD DRIVE SUITE 600 INDIANAPOLIS, IN 46240
PHONE: 317.252.0090
dwelldesign.com

COLLEGIATE DEVELOPMENT GROUP

ISSUE	DATE	DESCRIPTION
1	12/23/2019	ISSUE FOR PERMITTING

REVISION	DATE	DESCRIPTION
1	12/23/2019	ISSUE FOR PERMITTING

DATE	DESCRIPTION
12/23/2019	ISSUE FOR PERMITTING

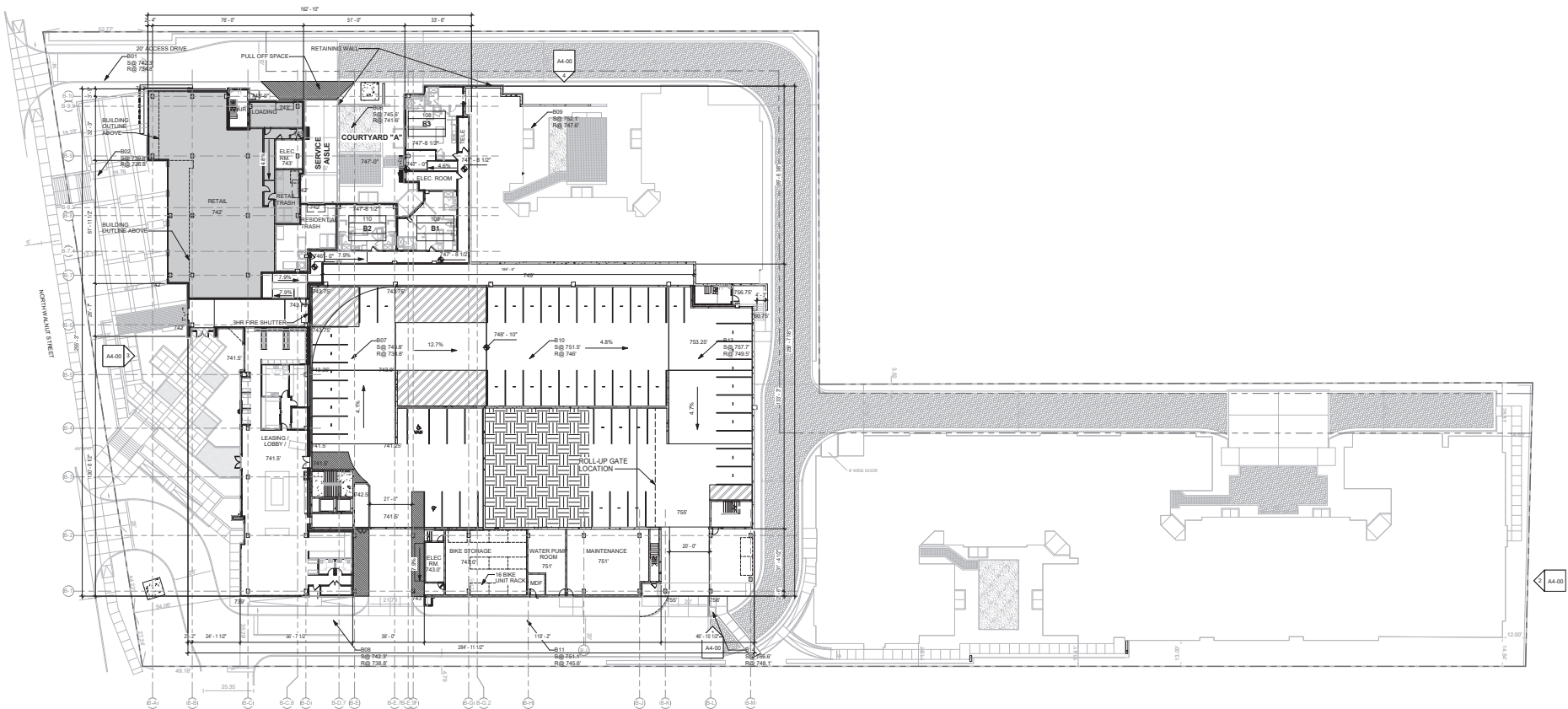
ARCHITECTURAL SITE PLAN

SCHEMATIC DESIGN
JOB NUMBER: 1822302
DRAWN BY: CHECKED BY:
Author Checker

SP-01

12/23/2019 12:48:11 PM © 2019, Local File #1822302.CDD, Bloomington, IN, dwelldesign.com

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1 OVERALL PLAN - LEVEL 01
 3/64" = 1'-0"

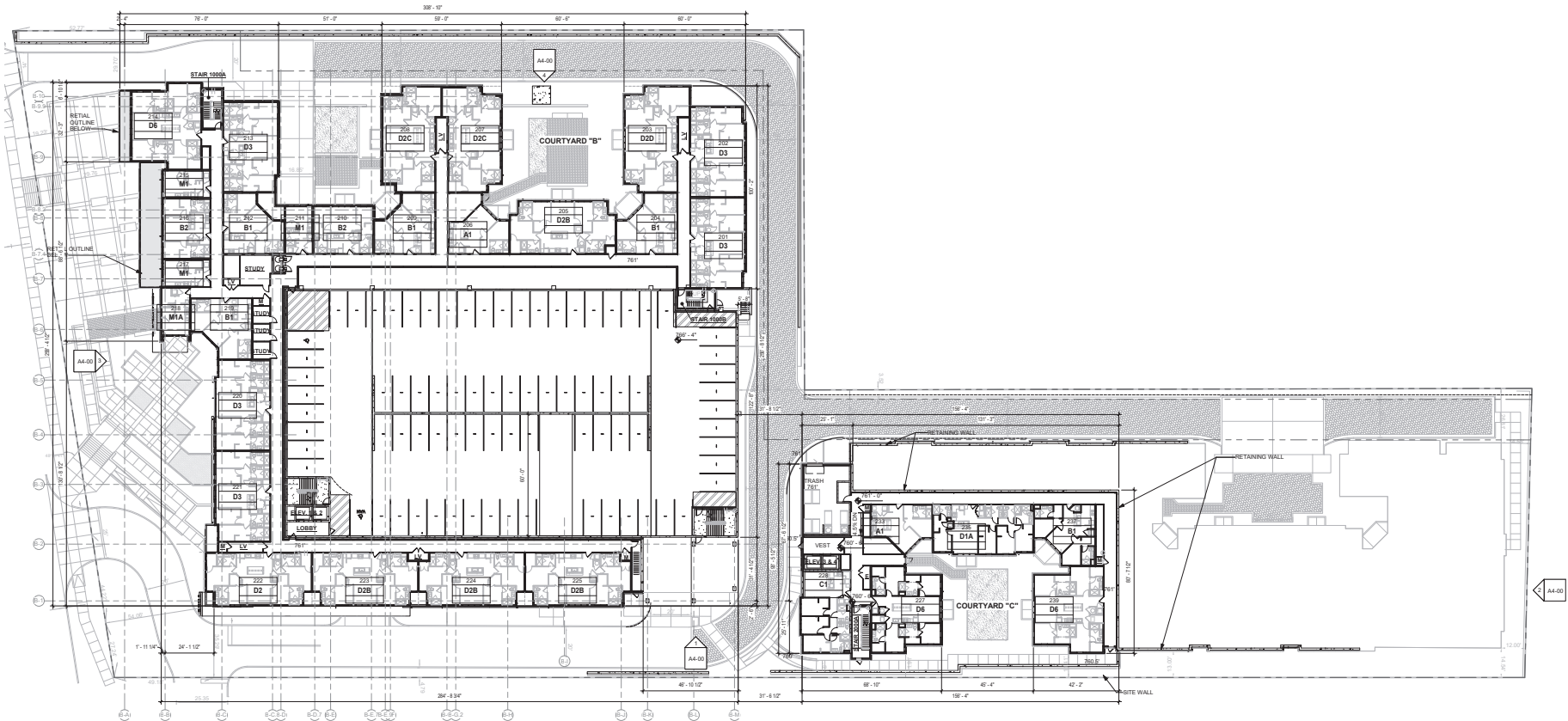
ISSUE

NO.	DATE	DESCRIPTION
1	1/18/2018	SCHEMATIC DESIGN

REVISION

NO.	DATE	DESCRIPTION
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1 OVERALL PLAN - LEVEL 02
 3/64" = 1'-0"

ISSUE

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1	1/18/2018	SCHEMATIC DESIGN

REVISION

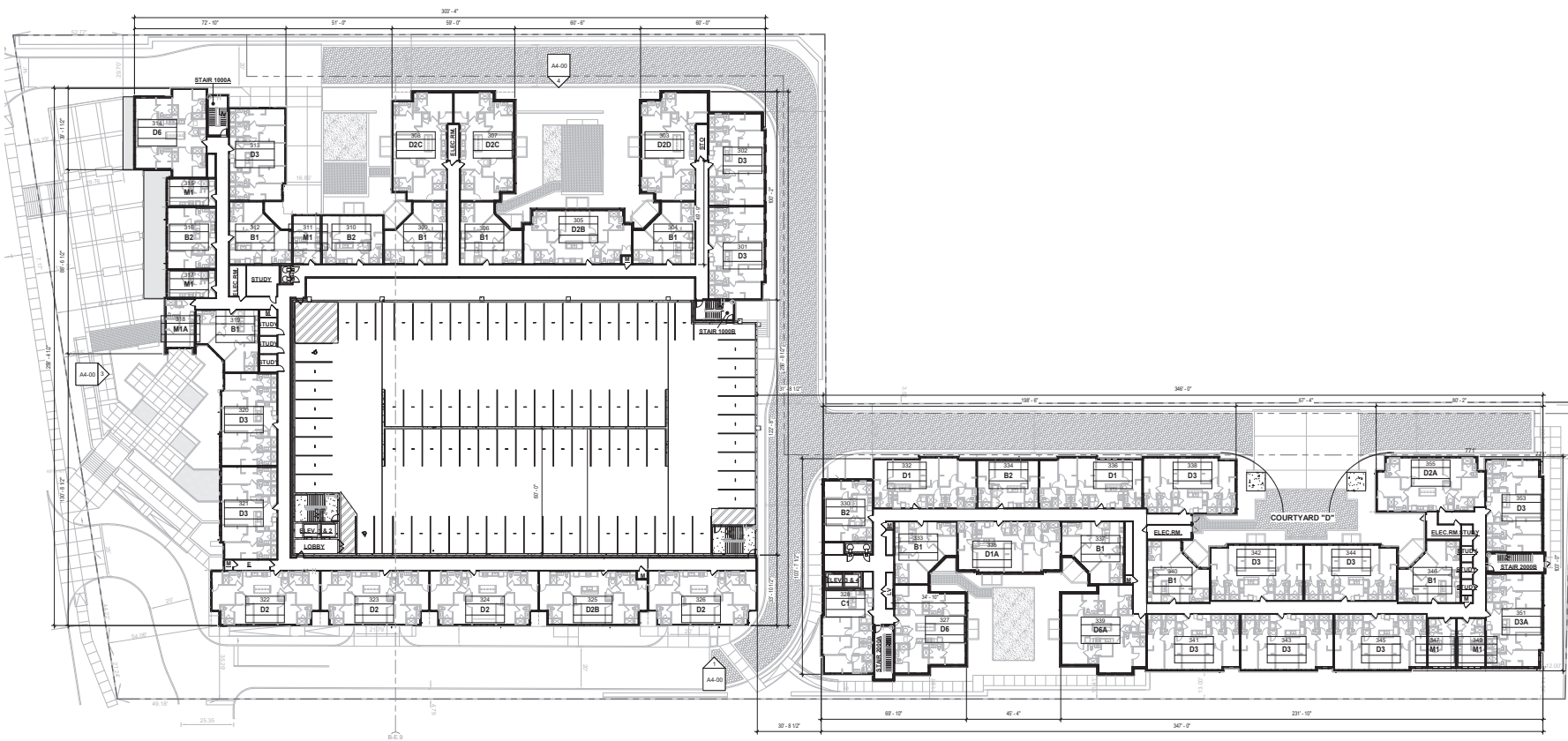
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CONTRACT NO. 1802-0001
 PROJECT NO. 1802-0001
 DRAWING NO. 1802-0001-02
 DATE: 1/18/2018
 1800 NORTH WALNUT DRIVE, BLOOMINGTON, IN 47408

OVERALL PLAN - LEVEL 02

SCHEMATIC DESIGN
 JOB NUMBER: 1802302
 DRAWN BY: Author
 CHECKED BY: Checker

A0-02



1 OVERALL PLAN - LEVEL 03
 3/8" = 1'-0"

ISSUE	DATE	DESCRIPTION
1	10/18/24	SCHEMATIC DESIGN

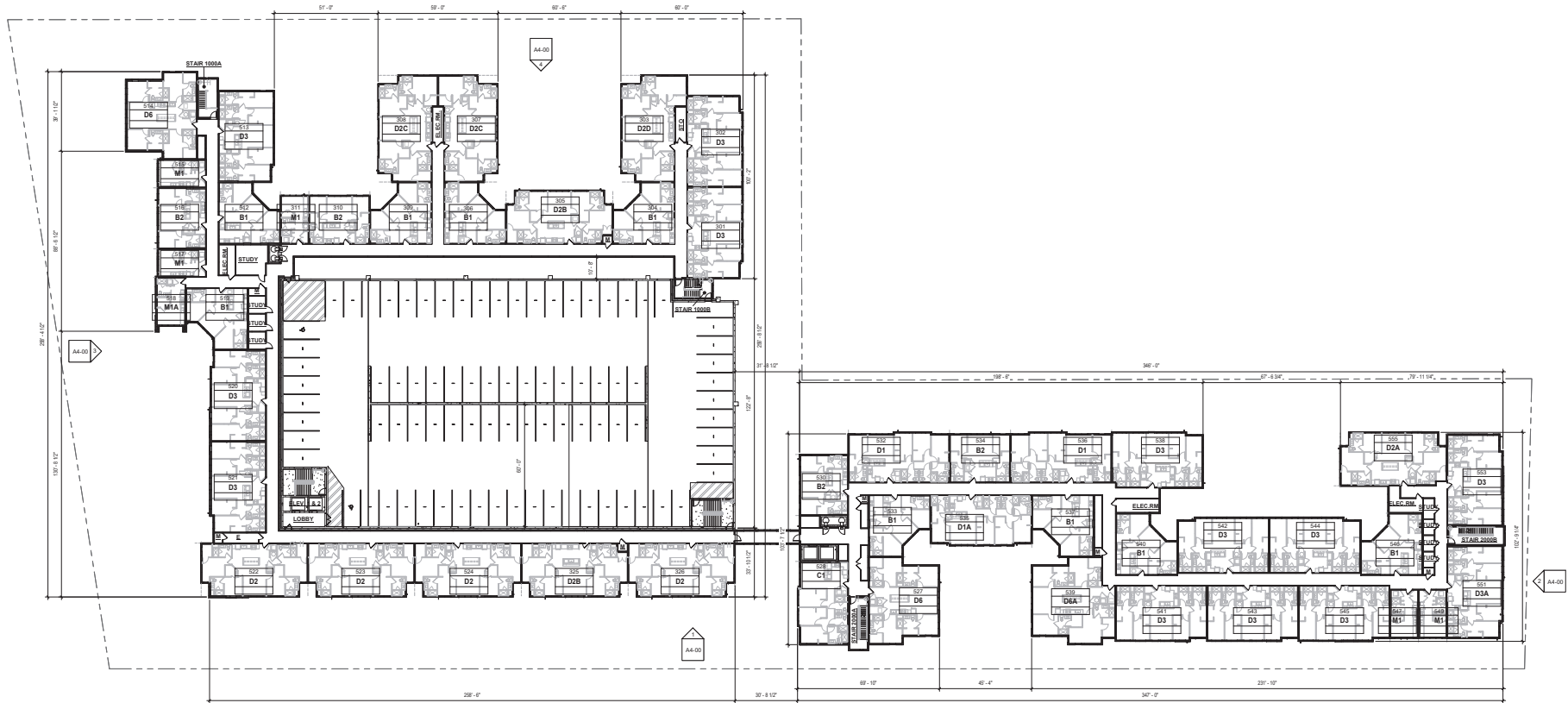
REVISION	DATE	DESCRIPTION

DATE: 10/18/24
 PROJECT: 1800 N. NORTH WALNUT
 DRAWING: 1822302-01 OVERALL PLAN - LEVEL 03

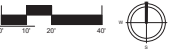
OVERALL PLAN - LEVEL 03

SCHMATIC DESIGN	
JOB NUMBER: 1822302	
DRAWN BY: Author	CHECKED BY: Checker

A0-03



1 OVERALL PLAN - LEVEL 05
 3/64" = 1'-0"



ISSUE

NO.	DATE	DESCRIPTION
1	1/18/2018	SCHEMATIC DESIGN

REVISION

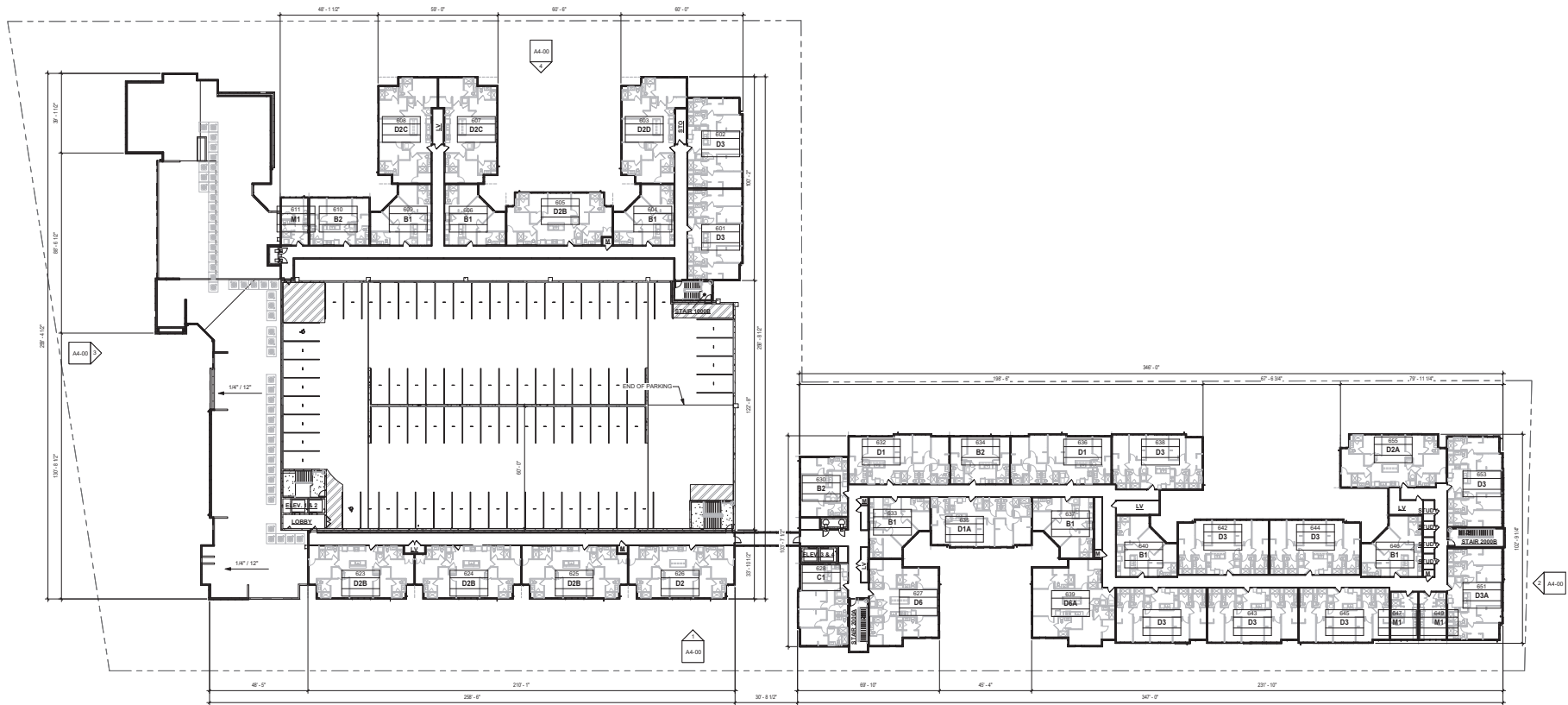
NO.	DATE	DESCRIPTION
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OVERALL PLAN - LEVEL 05

DATE	1/18/2018
BY	Author
CHECKED BY	Checker

OVERALL PLAN - LEVEL 05

SCHEMATIC DESIGN
JOB NUMBER: 1822302
DRAWN BY: Author
CHECKED BY: Checker



1 OVERALL PLAN - LEVEL 06
 3/64" = 1'-0"

ISSUE

NO.	DATE	DESCRIPTION
1	1/18/2019	SCHEMATIC DESIGN

REVISION

NO.	DATE	DESCRIPTION
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PROJECT

PROJECT NO.	1800N
PROJECT NAME	1800 N. NORTH WALNUT
PROJECT ADDRESS	BLOOMINGTON, IN
PROJECT CLIENT	COLLEGIATE DEVELOPMENT GROUP
PROJECT ARCHITECT	dwell design studio

OVERALL PLAN - LEVEL 06
 SCHEMATIC DESIGN

JOB NUMBER: 1822302

DRAWN BY: Author
 CHECKED BY: Checker

A0-06

ISSUE	DATE	DESCRIPTION
1	11/20/19	SCHEMATIC DESIGN

REVISION

NO.	DATE	DESCRIPTION

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OVERALL PLAN - LEVEL 07

OVERALL PLAN - LEVEL 07

SCHEMATIC DESIGN

JOB NUMBER: 1822302

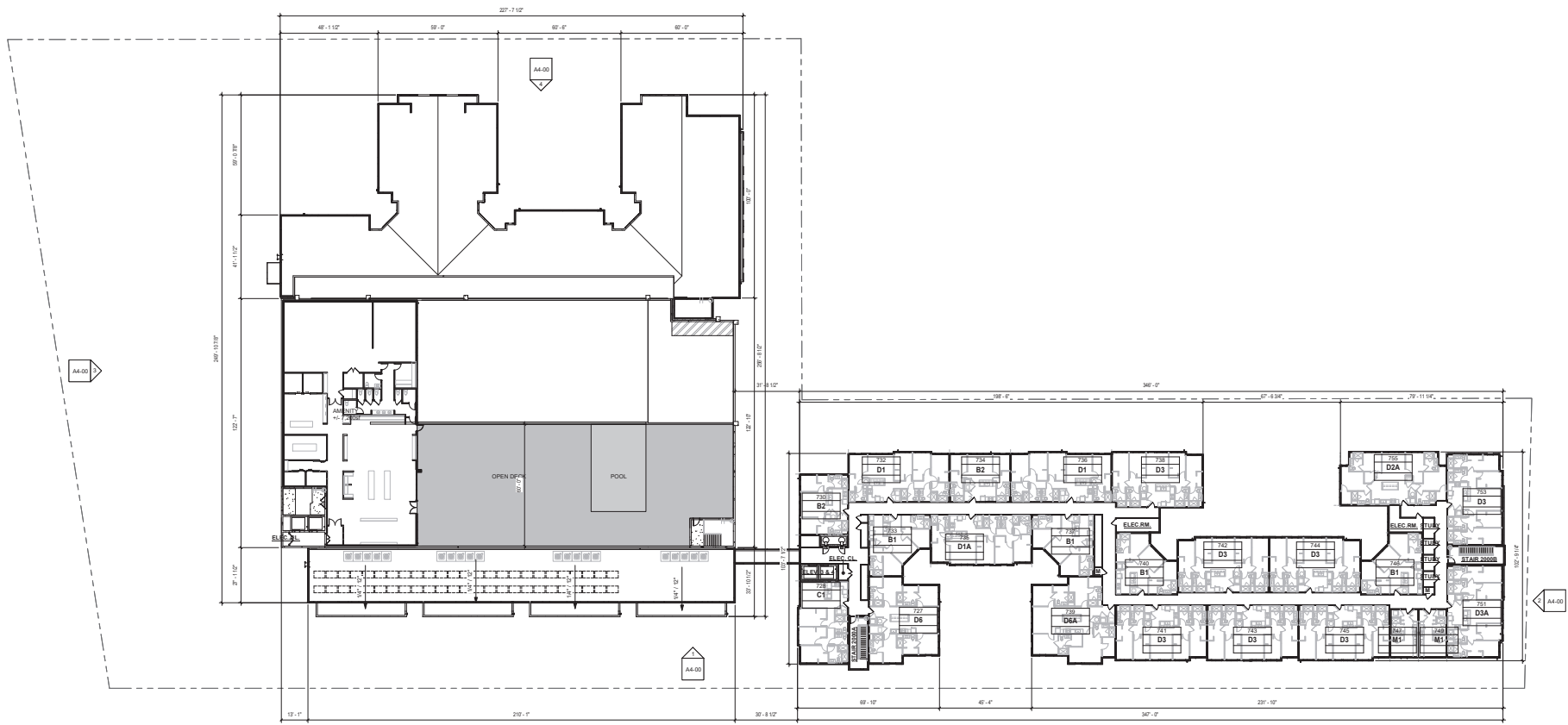
DRAWN BY: Author

CHECKED BY: Checker

A0-07

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1 OVERALL PLAN - LEVEL 07
3/64" = 1'-0"



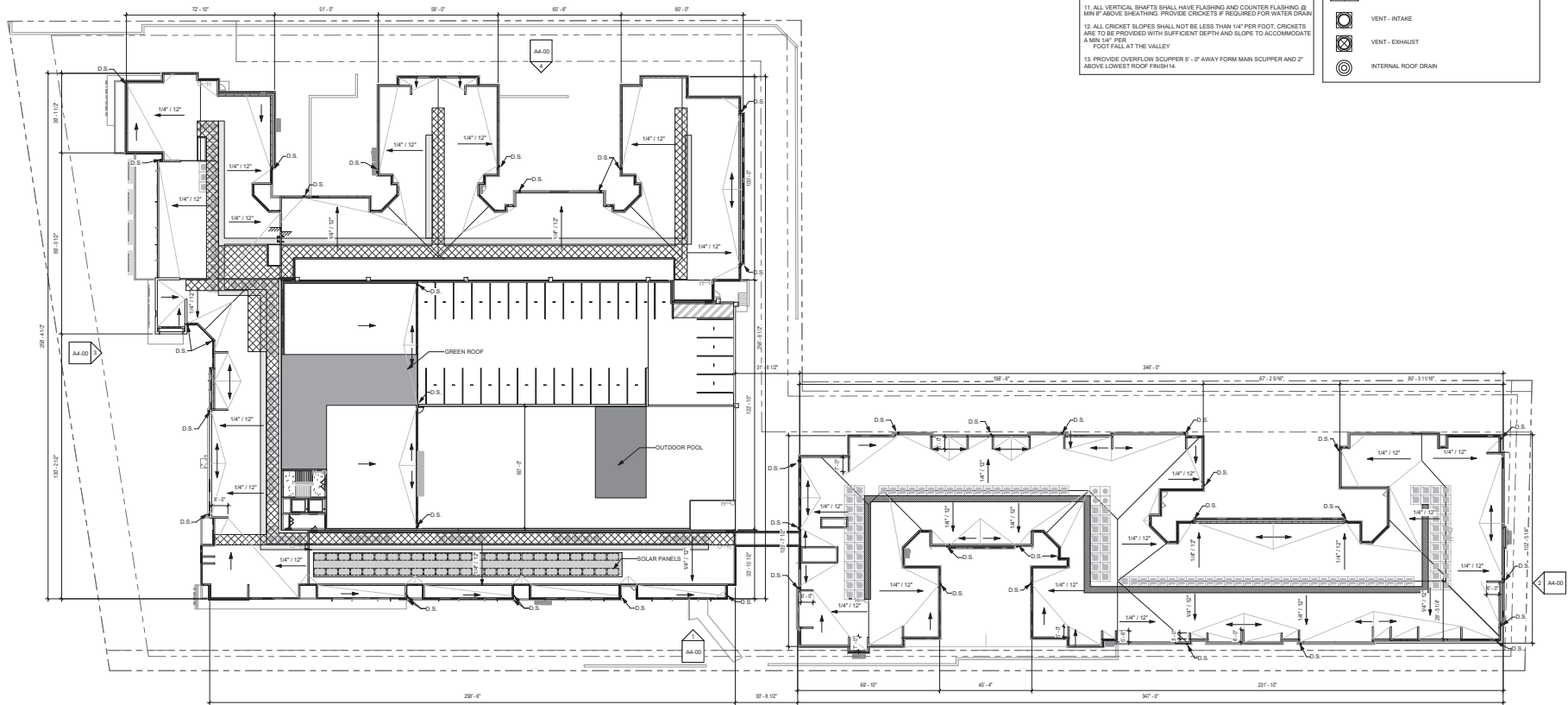
12/27/2019 10:48:37 AM C:\Users\dwgstudio\Documents\1822302 LOD Bloomington_3200.dwg (dwg) (DWG)

- ROOF NOTES**
1. THIS IS A FULLY ADHERED SYSTEM IS THE BASIS OF DESIGN FOR ROOF MEMBRANE DESIGN.
 2. REFER TO MANUFACTURERS DETAILS. DETAILS SHOWN REPRESENT DESIGN INTENT ONLY. INSTALLATION SHALL BE PER MANUFACTURERS RECOMMENDATIONS.
 3. PROVIDE TAPERED INSULATION AS REQUIRED TO DRAINS TO PROVIDE POSITIVE DRAINAGE AT 1/4" PER FOOT MIN.
 4. ALL MECHANICAL EQUIPMENT TO BE ON ROOF PADS WITH SOUND INSULATION.
 5. PROVIDE WALK PADS TO ALL ROOF TOP EQUIPMENT.
 6. MAINTAIN 10'-0" CLEARANCE FROM ALL ROOF TOPS EQUIPMENT TO ROOF EDGE, WHERE CLEARANCE CANNOT BE MAINTAINED, FALL PROTECTION SHALL BE PROVIDED.
 7. PROVIDE STAINLESS STEEL LINESHET HOOD ABOVE ALL RESIDENTIAL LINE SETS.
 8. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS PRIOR TO INSTALLATION.
 9. CONTRACTOR TO VERIFY, COORDINATE AND STALL ALL ADJACENT AND OR RELATED FLASHING, BLOCKING, NAILERS, INSULATIONS STOPS, AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE REQUIRED FOR A COMPLETE, WARRANTED WATER TIGHT AND WATERPROOF INSTALLATION.
 10. PROVIDE FLASHING PER MANUFACTURERS RECOMMENDATIONS WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
 11. ALL VERTICAL SHAFTS SHALL HAVE FLASHING AND COUNTER FLASHING @ MIN 2" ABOVE SHEATHING. PROVIDE CRICKETS IF REQUIRED FOR WATER DRAIN.
 12. ALL CRICKET SLOPES SHALL NOT BE LESS THAN 1/4" PER FOOT. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MIN 1/4" PER FOOT FALL AT THE VALLEY.
 13. PROVIDE OVERFLOW SCUPPER 2'-0" AWAY FORM MAIN SCUPPER AND 2" ABOVE LOWEST ROOF FINISH.

DOWNSPOUT
 100 YR. HOURLY RAINFALL RATE @ BLOOMINGTON, IN PER IFC FIG 1106.1.3.25
 PLAN RECTANGULAR VERTICAL DOWNSPOUT
 ROOF COVERAGE PER IFC TABLE 1106.2(2) 4.478 SQ. FT.

ROOF LEGEND

- ROOF SLOPE ARROW
- CONDENSING UNIT
- 2 HR RATED FIREWALL BELOW
- FIRE RATED SHEATHING OVER FIRE SEPARATION WALL NO PENETRATIONS
- 2 HR RATED CEILING AT ELEVATOR/STAIR BELLOWSHAFTS
- 1 HR RATED 48" X 36" ATTIC ACCESS HATCH BELOW
- 1 HR RATED 48" X 36" ATTIC ACCESS HATCH BELOW
- CRICKET AROUND PROJECTIONS
- VENT - INTAKE
- VENT - EXHAUST
- INTERNAL ROOF DRAIN



1 OVERALL PLAN - ROOF
 3/64" = 1'-0"



ISSUE

NO.	DATE	DESCRIPTION
1	1/18/2018	SCHEMATIC DESIGN

REVISION

NO.	DATE	DESCRIPTION
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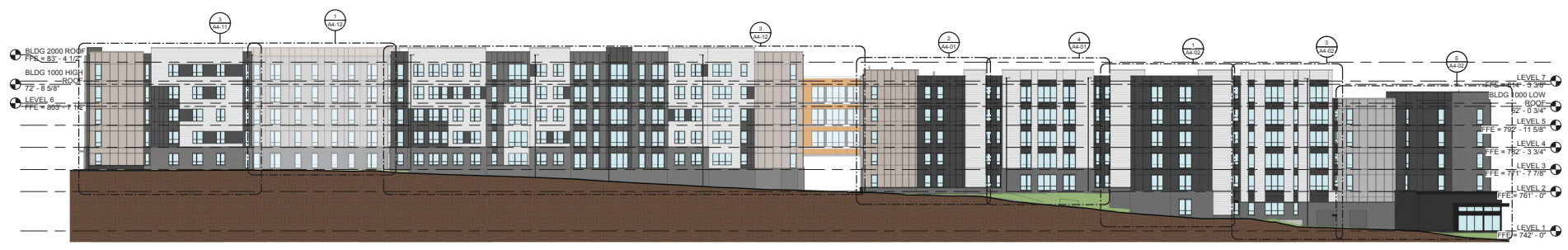
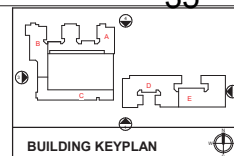
OVERALL PLAN - ROOF

DATE	1/18/2018
SCALE	3/64" = 1'-0"
PROJECT	1800 N. NORTH WALNUT
LOCATION	BLOOMINGTON, IN
CLIENT	COLLEGIATE DEVELOPMENT GROUP
DESIGNER	dwell design studio
DATE	1/18/2018

OVERALL PLAN - ROOF

SCHEMATIC DESIGN	
JOB NUMBER: 1822302	
DRAWN BY: Author	CHECKED BY: Checker

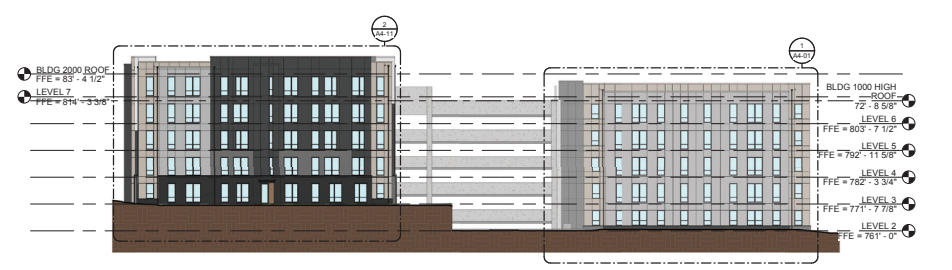
EXTERIOR FINISH SCHEDULE			
NO	MATERIAL DESCRIPTION	MANUFACTURER	REMARKS
BR-01	MASONRY BRICK - GRAY	YANKEE HILL BRICK AND TILE	CAPITAL IRONSPOT VELOUR (ARGOSE CHARCOAL MORTAR)
BR-02	MASONRY BRICK - BLACK	YANKEE HILL BRICK AND TILE	GRAYSTONE VELOUR (ARGOSE CHARCOAL MORTAR)
BR-03	MASONRY BRICK - ACCENT	YANKEE HILL BRICK AND TILE	GRAYSTONE VELOUR (ARGOSE CHARCOAL MORTAR)
CLS-01	CEMENTITIOUS 4" LAP SIDING - DARK GRAY	HARDEE PAINT SHERWIN WILLIAMS	ALUMINUM EXTRUSIONS AT EDGES AND AROUND WINDOWS
CLS-02	CEMENTITIOUS LAP SIDING - WHITE	HARDEE PAINT SHERWIN WILLIAMS	ALUMINUM EXTRUSIONS AT EDGES AND AROUND WINDOWS - LAP SIDING WITH DIFFERENT EXPOSURE
CLS-03	CEMENTITIOUS LAP SIDING - WOODTONE	HARDEE PAINT SHERWIN WILLIAMS	ALUMINUM EXTRUSIONS AT EDGES AND AROUND WINDOWS - WOODTONE
CPL-01	CEMENTITIOUS PANEL - DARK GRAY	HARDEE PAINT SHERWIN WILLIAMS	SW 7009 BRON ORE
CPL-02	CEMENTITIOUS PANEL W/ REVEAL - WHITE	HARDEE PAINT SHERWIN WILLIAMS	SW 7005 PURE WHITE
CPL-03	CEMENTITIOUS PANEL - MED GRAY	HARDEE PAINT SHERWIN WILLIAMS	SW 7010 GAULET GRAY
CPL-04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY	HARDEE PAINT SHERWIN WILLIAMS	SW 7015 RESPONSE GRAY
CPL-05	CEMENTITIOUS PANEL W/ REVEAL - CREAM	HARDEE PAINT SHERWIN WILLIAMS	SW 7058 LOGGIA
CPL-06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE	HARDEE PAINT SHERWIN WILLIAMS	SW 9827 JAMES WAVE
CTB-01	CEMENTITIOUS TRIM BOARD - DARK GRAY	HARDEE PAINT SHERWIN WILLIAMS	SW 7009 BRON ORE
CTB-02	CEMENTITIOUS TRIM BOARD - WHITE	HARDEE PAINT SHERWIN WILLIAMS	SW 7005 PURE WHITE
CTB-03	CEMENTITIOUS TRIM BOARD - DARK GRAY - 2 1/2"	HARDEE PAINT SHERWIN WILLIAMS	SW 7009 BRON ORE
MFL-01	ALUMINUM FOREFRONT - BLACK	PAWNEER OR EDS	WOODS BLACK FINISH
MFL-02	METAL CLADDING CANOPY/ACCENT PANEL - BLACK	ALUCOROND	BLACK FINISH
MFL-03	METAL CANOPY PRE FABRICATED - BLACK	MAPES CANOPY OR EQ	BLACK FINISH
MFL-04	ALUMINUM FIN - ORANGE		PERFORATED ALUMINUM SHADES COLOR TO MATCH ORANGE PANELS
MFL-05	ALUMINUM DOWNPOUT/FAUX SCUPPER - BLACK		BLACK FINISH
WFL-01	WYLL WINDOW - BLACK	W	BLACK FINISH



4 OVERALL BLDG ELEVATION - NORTH
1" = 20'-0"



3 OVERALL BLDG ELEVATION - WEST
1" = 20'-0"



2 OVERALL BLDG ELEVATION - EAST
1" = 20'-0"



1 OVERALL BLDG ELEVATION - SOUTH
1" = 20'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

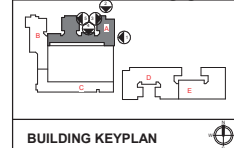
OVERALL BUILDING ELEVATIONS

SCHMATIC DESIGN
JOB NUMBER: 1822302
DRAWN BY: Author
CHECKED BY: Checker

1/25/2023 8:03:24 PM C:\Users\lucan\OneDrive\Documents\1822302_1800_NorthWalnut\1822302_1800_NorthWalnut.dwg

EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
BR 01	MASONRY BRICK - GRAY
BR 02	MASONRY BRICK - BLACK
BR 03	MASONRY BRICK - ACCENT
CLS 01	CEMENTITIOUS 4" LAP SIDING - DARK GRAY
CLS 02	CEMENTITIOUS LAP SIDING - WHITE
CLS 03	CEMENTITIOUS LAP SIDING - WOODTONE
CPL 01	CEMENTITIOUS PANEL - DARK GRAY
CPL 02	CEMENTITIOUS PANEL W/ REVEAL - WHITE
CPL 03	CEMENTITIOUS PANEL - MIDL GRAY
CPL 04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY
CPL 05	CEMENTITIOUS PANEL W/ REVEAL - CREAM
CPL 06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE
CTB 01	CEMENTITIOUS TRIM BOARD - DARK GRAY
CTB 02	CEMENTITIOUS TRIM BOARD - WHITE
CTB 10	CEMENTITIOUS TRIM BOARD - DARK GRAY 2 1/2"
MIL 01	ALUMINUM EXPANDED - BLACK
MIL 02	METAL CLADDING CANOPY/ACCENT PANEL - BLACK

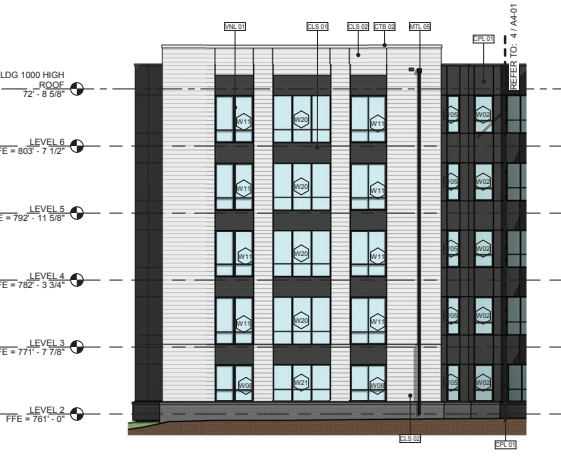
EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
MIL 03	METAL CANOPY PREF. FABRICATED - BLACK
MIL 04	ALUMINUM FIN. - ORANGE
MIL 05	ALUMINUM DOWNSPOUT AND SCUPPER - BLACK
WNL 01	WYVIL WINDOW - BLACK



5 BLDG 1000 - WEST ELEVATION COURTYARD B
1/8" = 1'-0"



4 BLDG 1000 - SOUTH ELEVATION COURTYARD B
1/8" = 1'-0"



3 BLDG 1000 - EAST ELEVATION COURTYARD B
1/8" = 1'-0"



2 BLDG 1000 - NORTH ELEVATION PART A1
1/8" = 1'-0"



1 BLDG 1000 - EAST ELEVATION PART A
1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

ISSUE

NO.	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION

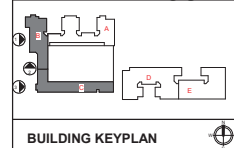
DESCRIPTION

PROJECT INFORMATION

PROJECT NO.	
DATE	

BLDG 1000 ELEVATION

SCHEMATIC DESIGN
JOB NUMBER: 1822302
DRAWN BY: CHECKED BY:
Author Checker

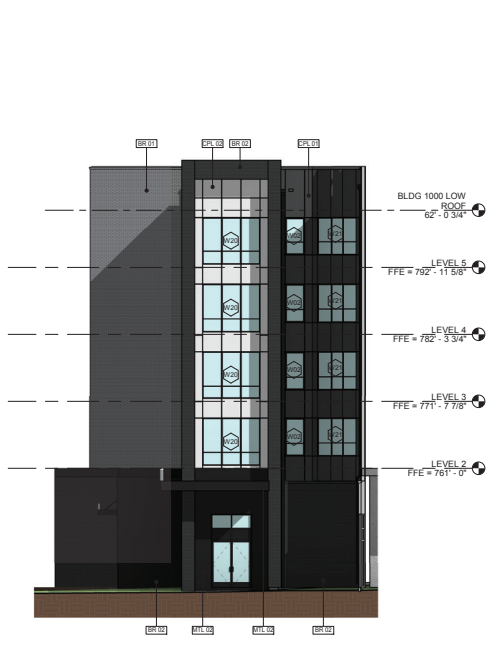


EXTERIOR FINISH LEGEND

NO.	MATERIAL DESCRIPTION
BR 01	MASONRY BRICK - GRAY
BR 02	MASONRY BRICK - BLACK
BR 03	MASONRY BRICK - ACCENT
CLB 01	CEMENTITIOUS LAP SIDING - DARK GRAY
CLB 02	CEMENTITIOUS LAP SIDING - WHITE
CLB 03	CEMENTITIOUS LAP SIDING - WOODSTONE
CPL 01	CEMENTITIOUS PANEL W/ REVEAL - WHITE
CPL 02	CEMENTITIOUS PANEL W/ REVEAL - DARK GRAY
CPL 03	CEMENTITIOUS PANEL - MED. GRAY
CPL 04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY
CPL 05	CEMENTITIOUS PANEL W/ REVEAL - CREAM
CPL 06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE
CTB 01	CEMENTITIOUS TRIM BOARD - DARK GRAY
CTB 02	CEMENTITIOUS TRIM BOARD - WHITE
CTB 03	CEMENTITIOUS TRIM BOARD - DARK GRAY - 2 1/2"
MTL 01	ALUMINUM STOREFRONT - BLACK
MTL 02	METAL CLADDING CANOPY ACCENT PANEL - BLACK



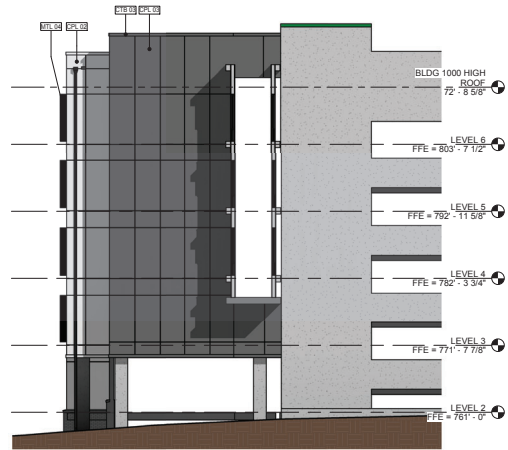
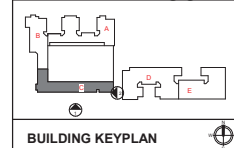
3 BLDG 1000 - WEST ELEVATION PART C
 1/8" = 1'-0"



2 BLDG 1000 - WEST ELEVATION PART B.1
 1/8" = 1'-0"



1 BLDG 1000 - WEST ELEVATION PART B
 1/8" = 1'-0"



2 BLDG 1000 - EAST ELEVATION PART C
1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
BR 01	MASONRY BRICK - GRAY
BR 02	MASONRY BRICK - BLACK
BR 03	MASONRY BRICK - ACCENT
CLB 01	CEMENTITIOUS LAP SIDING - DARK GRAY
CLB 02	CEMENTITIOUS LAP SIDING - WHITE
CLB 03	CEMENTITIOUS LAP SIDING - WOODTONE
CPL 01	CEMENTITIOUS PANEL W/ REVEAL - WHITE
CPL 02	CEMENTITIOUS PANEL - DARK GRAY
CPL 03	CEMENTITIOUS PANEL - MED. GRAY
CPL 04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY
CPL 05	CEMENTITIOUS PANEL W/ REVEAL - CREAM
CPL 06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE
CTB 01	CEMENTITIOUS TRIM BOARD - DARK GRAY
CTB 02	CEMENTITIOUS TRIM BOARD - WHITE
CTB 10	CEMENTITIOUS TRIM BOARD - DARK GRAY - 3 1/2"
MTL 01	ALUMINUM STOREFRONT - BLACK
MTL 02	METAL CLADDING - CANOPY ACCENT PANEL - BLACK

EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
MTL 03	METAL CANOPY PREFABRICATED - BLACK
MTL 04	ALUMINUM FIN - ORANGE
MTL 05	ALUMINUM DOOR/SWITCH AND SCUPPER - BLACK
WNL 01	WYLL WINDOW - BLACK



1 BLDG 1000 - SOUTH ELEVATION PART C
1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

BLDG 1000 ELEVATION

SCHEMATIC DESIGN

JOB NUMBER: 1822302

DRAWN BY: Author
CHECKED BY: Checker

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ISSUE	DATE	DESCRIPTION

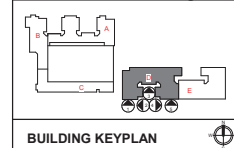
REVISION	DATE	DESCRIPTION

DATE	DESCRIPTION

<p>BLDG 2000 ELEVATIONS</p> <p>SCHEMATIC DESIGN</p> <p>JOB NUMBER: 1822302</p> <p>DRAWN BY: Author CHECKED BY: Checker</p>
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EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
BR 01	MASONRY BRICK - GRAY
BR 02	MASONRY BRICK - BLACK
BR 03	MASONRY BRICK - ACCENT
CLB 01	CEMENTITIOUS CLAP SIDING - DARK GRAY
CLB 02	CEMENTITIOUS CLAP SIDING - WHITE
CLB 03	CEMENTITIOUS CLAP SIDING - WOODTONE
CPL 01	CEMENTITIOUS PANEL - DARK GRAY
CPL 02	CEMENTITIOUS PANEL W/ REVEAL - WHITE
CPL 03	CEMENTITIOUS PANEL - MED. GRAY
CPL 04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY
CPL 05	CEMENTITIOUS PANEL W/ REVEAL - CREAM
CPL 06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE
CTB 01	CEMENTITIOUS TRIM BOARD - DARK GRAY
CTB 02	CEMENTITIOUS TRIM BOARD - WHITE
CTB 03	CEMENTITIOUS TRIM BOARD - DARK GRAY - 2 1/2"
MFL 01	ALUMINUM STOREFRONT - BLACK
MFL 02	METAL CLADDING CANOPY ADJACENT PANEL - BLACK

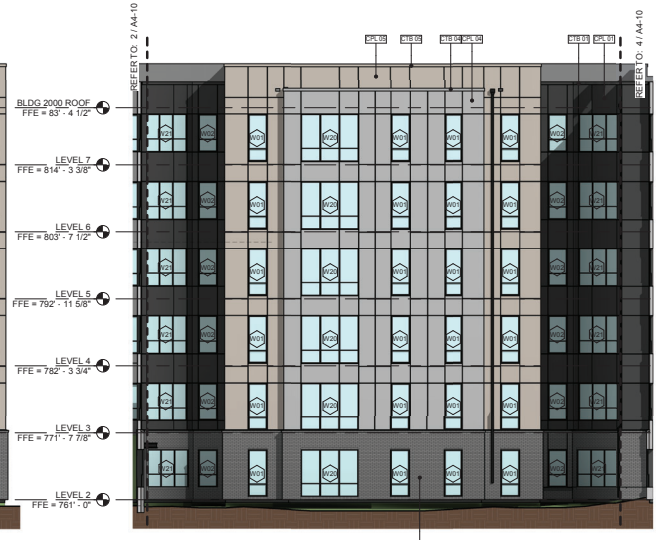
EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
MFL 03	METAL CANOPY FRM FABRICATED - BLACK
MFL 04	ALUMINUM FRM - ORANGE
MFL 05	ALUMINUM DOWNPOUT AND SCOPPER - BLACK
UNL 01	VINYL WINDOW - BLACK



5 BLDG 2000 - SOUTH ELEVATION PART D2
 1/8" = 1'-0"



4 BLDG 2000 - EAST ELEVATION - COURTYARD PART D
 1/8" = 1'-0"



3 BLDG 2000 - SOUTH ELEVATION COURTYARD PART D
 1/8" = 1'-0"



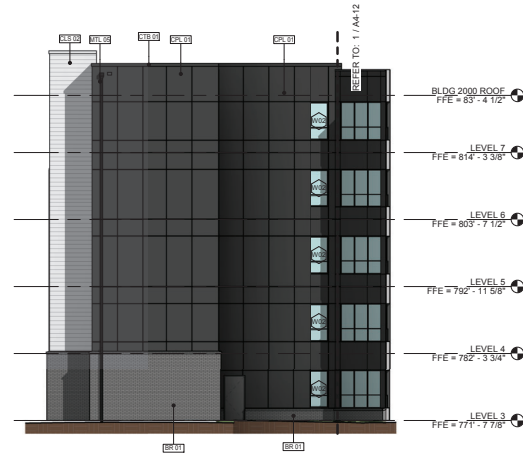
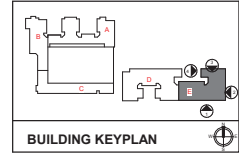
2 BLDG 2000 - WEST ELVATION COURTYARD PART D
 1/8" = 1'-0"



1 BLDG 2000 - SOUTH ELEVATION PART D1
 1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
BR 01	MASONRY BRICK - GRAY
BR 02	MASONRY BRICK - BLACK
BR 03	MASONRY BRICK - ACCENT
CLS 01	CEMENTITIOUS LAP SIDING - DARK GRAY
CLS 02	CEMENTITIOUS LAP SIDING - WHITE
CLS 03	CEMENTITIOUS LAP SIDING - WOOD TONE
CPL 01	CEMENTITIOUS PANEL - DARK GRAY
CPL 02	CEMENTITIOUS PANEL W/ REVEAL - WHITE
CPL 03	CEMENTITIOUS PANEL - MED. GRAY
CPL 04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY
CPL 05	CEMENTITIOUS PANEL W/ REVEAL - GREEN
CPL 06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE
CTB 01	CEMENTITIOUS TRIM BOARD - DARK GRAY
CTB 02	CEMENTITIOUS TRIM BOARD - WHITE
CTB 03	CEMENTITIOUS TRIM BOARD - DARK GRAY - 2 1/2"
MTL 01	ALUMINUM STOREFRONT - BLACK
MTL 02	METAL CLADDING CANOPY/ACCENT PANEL - BLACK

EXTERIOR FINISH LEGEND	
NO.	MATERIAL DESCRIPTION
MTL 03	HEAVY CANOPY/FRONT FABRICATED - BLACK
MTL 04	ALUMINUM FR. - ORANGE
MTL 05	ALUMINUM DOWNPOUT/AND SCUPPER - BLACK
WNL 01	PANEL WINDOW - BLACK



4 BLDG 2000 - EAST ELEVATION COURTYARD E
1/8" = 1'-0"



3 BLDG 2000 - NORTH ELEVATION PART E
1/8" = 1'-0"



2 BLDG 2000 - EAST ELEVATION PART E
1/8" = 1'-0"



1 BLDG 2000 - SOUTH ELEVATION PART E
1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

BLDG 2000 ELEVATIONS

SCHEMATIC DESIGN
JOB NUMBER: 1822302
DRAWN BY: Author
CHECKED BY: Checker

1/2/2023 8:43:37 AM C:\Users\lucan1823252.DWG\Broomfield_2023_1.rvt @dwelldesignstudio.com

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ISSUE

NO.	DATE	DESCRIPTION

REVISION

NO.	DATE	DESCRIPTION

PROJECT

PROJECT NAME	1800 N. NORTH WALNUT
PROJECT ADDRESS	BLOOMINGTON, IN
PROJECT NO.	
PROJECT DATE	

BLDG 2000 ELEVATIONS

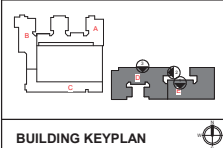
SCHEMATIC DESIGN

JOB NUMBER: 1822302

DRAWN BY: CHECKED BY:
 Author Checker

A4-12

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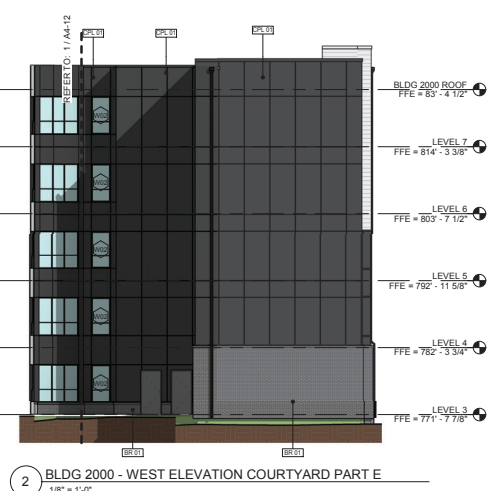


EXTERIOR FINISH LEGEND

NO.	MATERIAL DESCRIPTION
BR 01	MASONRY BRICK - GRAY
BR 02	MASONRY BRICK - BLACK
BR 03	MASONRY BRICK - ACCENT
CLB 01	CEMENTITIOUS CLAP SIDING - DARK GRAY
CLB 02	CEMENTITIOUS CLAP SIDING - WHITE
CLB 03	CEMENTITIOUS CLAP SIDING - WOODTONE
CPL 01	CEMENTITIOUS PANEL - DARK GRAY
CPL 02	CEMENTITIOUS PANEL W/ REVEAL - WHITE
CPL 03	CEMENTITIOUS PANEL - MED GRAY
CPL 04	CEMENTITIOUS PANEL W/ REVEAL - LIGHT GRAY
CPL 05	CEMENTITIOUS PANEL W/ REVEAL - CREAM
CPL 06	CEMENTITIOUS PANEL W/ REVEAL - ORANGE
CTB 01	CEMENTITIOUS TRIM BOARD - DARK GRAY
CTB 02	CEMENTITIOUS TRIM BOARD - WHITE
CTB 03	CEMENTITIOUS TRIM BOARD - DARK GRAY - 2 1/2"
MFL 01	ALUMINUM STOREFRONT - BLACK
MFL 02	METAL CLADDING CANOPY ACCENT PANEL - BLACK

EXTERIOR FINISH LEGEND

NO.	MATERIAL DESCRIPTION
MFL 03	METAL CANOPY FRG FABRICATED - BLACK
MFL 04	ALUMINUM FRG - ORANGE
MFL 05	ALUMINUM DOWNPOUT AND SCOPPER - BLACK
UNL 01	VINYL WINDOW - BLACK





2 NORTH WALNUT



1 NORTH WALNUT - SOUTH

ISSUE	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

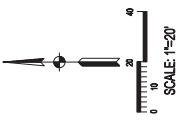
3D VIEWS

SCHEMATIC DESIGN

JOB NUMBER: 1822302

DRAWN BY: Author
 CHECKED BY: Checker

SP-04



DEMOLITION LEGEND

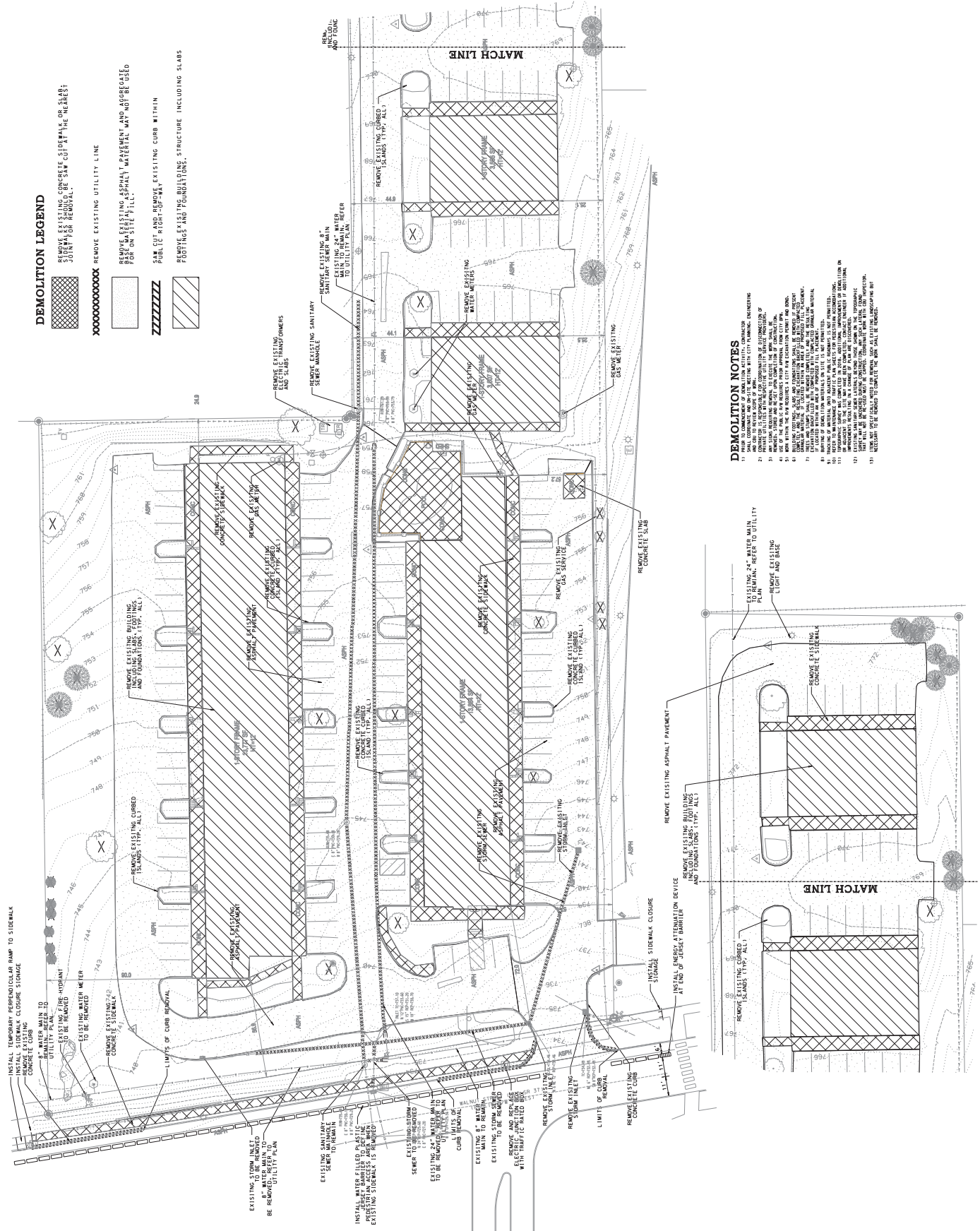
- REMOVE EXISTING CONCRETE, SIDEWALK OR SLAB. JOINTS FOR REMOVAL TO SHOWN AT THE REQUEST.
- REMOVE EXISTING UTILITY LINE
- REMOVE EXISTING ASPHALT PAVEMENT AND AGGREGATE FOR DRIVEWAYS, DRIVEWAYS, ASPHALT MATERIAL MAY NOT BE USED
- PUBLIC RIGHT-OF-WAY
- REMOVE EXISTING CURB WITHIN
- REMOVE EXISTING BUILDING, STRUCTURE INCLUDING SLABS, PORTINGS AND FOUNDATIONS.

SB
Soils & Civil Engineers, Inc.
1000 E. 12th Street
Bloomington, Indiana, 47403
Tel: 317-346-8800
Fax: 317-346-8801
www.soilsandcivil.com

1300 N. WALNUT
BLOOMINGTON, IN.
COLLEGE DEVELOPMENT GROUP

NO.	REVISIONS	BY	DATE

5527
C200
DATE: 1/06/19
PROJECT: DEMOLITION PLAN



DEMOLITION NOTES

1. SHALL CONDUIT AND JOINTS BE SET WITH CITY PLANNING, ENGINEERING
2. CONTRACTOR TO VERIFY ALL UTILITIES AND REMOVE ALL UTILITIES OF
3. CONTRACTOR TO VERIFY ALL UTILITIES AND REMOVE ALL UTILITIES OF
4. CONTRACTOR TO VERIFY ALL UTILITIES AND REMOVE ALL UTILITIES OF
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15. CONTRACTOR TO VERIFY ALL UTILITIES AND REMOVE ALL UTILITIES OF



SOILS MAP

- C18 - Grider-Upton land complex
- C1C - Grider-Upton land complex
- U6 - Udon remnants
- H1C 12 Subwatershed
- Buck Creek-Beechlosson Creek
- HUCT#0512020105

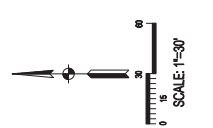
LEGAL DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 9 NORTH, RANGE 1 WEST, MONROE COUNTY, INDIANA, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT THAT IS 1,185.00 FEET NORTH OF DEGREES 26 MINUTES WEST AND 22.00 FEET SOUTH 88 DEGREES 48 MINUTES WEST OF THE SOUTHWEST CORNER OF SAID SECTION 28, SAID POINT OF BEGINNING BEING ON THE WEST RIGHT-OF-WAY OF DUNN STREET; THENCE SOUTH 88 DEGREES 48 MINUTES WEST OVER AND ALONG THE NORTH LINE OF MILLER CORP'S ADDITION FOR A DISTANCE OF 929.73 FEET; THENCE NORTH 0 DEGREES 03 MINUTES 19 SECONDS EAST FOR A DISTANCE OF 375.10 FEET TO A 1/4 INCH IRON ROD (FERROD); AT THE REAL POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 32 MINUTES WEST FOR A DISTANCE OF 644.28 FEET TO A 1/4 INCH IRON ROD (FERROD); ON THE EAST RIGHT-OF-WAY OF INDIANA STATE ROAD 371 (NORTH WALNUT STREET); THENCE NORTH 10 DEGREES 21 MINUTES 53 SECONDS WEST OVER AND ALONG SAID EAST RIGHT-OF-WAY FOR A DISTANCE OF 323.12 FEET TO A 1/4 INCH IRON ROD (FERROD); THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 88 DEGREES 27 MINUTES EAST FOR A DISTANCE OF 390.38 FEET TO A 1/4 INCH IRON ROD (FERROD); THENCE SOUTH 0 DEGREES 34 MINUTES 41 SECONDS EAST FOR A DISTANCE OF 171.14 FEET TO A 1/4 INCH IRON ROD (FERROD); THENCE NORTH 88 DEGREES 41 SECONDS EAST FOR A DISTANCE OF 358.99 FEET TO A 1/4 INCH IRON ROD (FERROD); THENCE SOUTH 0 DEGREES 00 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 142.71 FEET TO A 1/4 INCH IRON ROD (FERROD); THENCE SOUTH 88 DEGREES 32 MINUTES 04 SECONDS WEST FOR A DISTANCE OF 511.77 FEET TO THE REAL POINT OF BEGINNING.

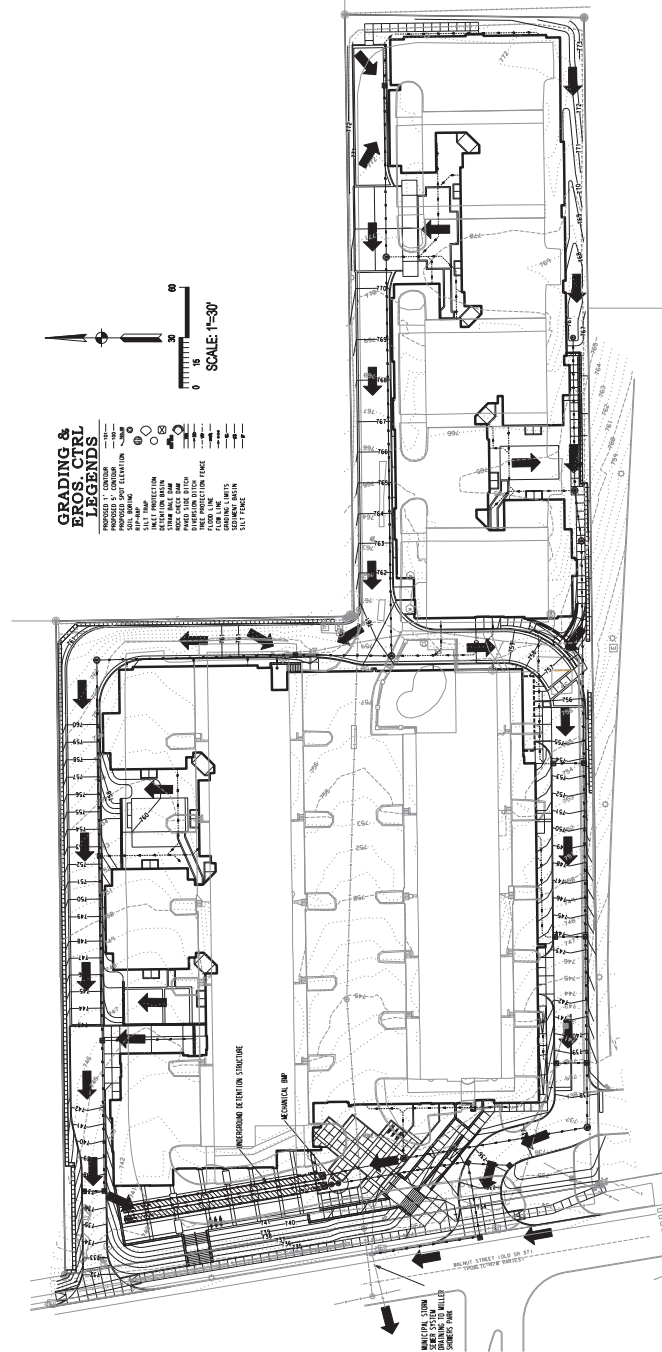


VICINITY MAP

COMPLETE CONSTRUCTION COMPLETED BY PART OF THIS PROJECT

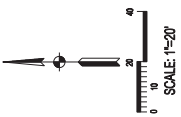


- GRADING & EROSION CONTROL LEGENDS**
- PROPOSED 1" CONTOUR
 - PROPOSED 2" CONTOUR
 - PROPOSED 5% SLOPE
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 - PROPOSED 1000% SLOPE



INDEX AND NARRATIVE

- 418 - Soils map including soil descriptions and indication the soil map for the project is shown on this sheet.
- 419 - Proposed storm water system location, size & direction of flow.
- 420 - Proposed storm water system location, size & direction of flow to a below grade detention basin and outfall to the existing municipal storm water system.
- 421 - Proposed for-site construction activities, access, and project site.
- 422 - Proposed silt fence and/or silt fence/soil area location. Silt fence will not be shown on this sheet.
- 423 - Existing topography.
- 424 - Proposed final topography.
- 425 - Proposed final topography.
- 426 - Proposed final topography.
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SITE LEGEND

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864" ASPH.	864" ASPHALT
870" ASPH.	870" ASPHALT
876" ASPH.	876" ASPHALT
882" ASPH.	882" ASPHALT
888" ASPH.	888" ASPHALT
894" ASPH.	894" ASPHALT
900" ASPH.	900" ASPHALT
906" ASPH.	906" ASPHALT
912" ASPH.	912" ASPHALT
918" ASPH.	918" ASPHALT
924" ASPH.	924" ASPHALT
930" ASPH.	930" ASPHALT
936" ASPH.	936" ASPHALT
942" ASPH.	942" ASPHALT
948" ASPH.	948" ASPHALT
954" ASPH.	954" ASPHALT
960" ASPH.	960" ASPHALT
966" ASPH.	966" ASPHALT
972" ASPH.	972" ASPHALT
978" ASPH.	978" ASPHALT
984" ASPH.	984" ASPHALT
990" ASPH.	990" ASPHALT
996" ASPH.	996" ASPHALT
1002" ASPH.	1002" ASPHALT
1008" ASPH.	1008" ASPHALT
1014" ASPH.	1014" ASPHALT
1020" ASPH.	1020" ASPHALT
1026" ASPH.	1026" ASPHALT
1032" ASPH.	1032" ASPHALT
1038" ASPH.	1038" ASPHALT
1044" ASPH.	1044" ASPHALT
1050" ASPH.	1050" ASPHALT
1056" ASPH.	1056" ASPHALT
1062" ASPH.	1062" ASPHALT
1068" ASPH.	1068" ASPHALT
1074" ASPH.	1074" ASPHALT
1080" ASPH.	1080" ASPHALT
1086" ASPH.	1086" ASPHALT
1092" ASPH.	1092" ASPHALT
1098" ASPH.	1098" ASPHALT
1104" ASPH.	1104" ASPHALT
1110" ASPH.	1110" ASPHALT
1116" ASPH.	1116" ASPHALT
1122" ASPH.	1122" ASPHALT
1128" ASPH.	1128" ASPHALT
1134" ASPH.	1134" ASPHALT
1140" ASPH.	1140" ASPHALT
1146" ASPH.	1146" ASPHALT
1152" ASPH.	1152" ASPHALT
1158" ASPH.	1158" ASPHALT
1164" ASPH.	1164" ASPHALT
1170" ASPH.	1170" ASPHALT
1176" ASPH.	1176" ASPHALT
1182" ASPH.	1182" ASPHALT
1188" ASPH.	1188" ASPHALT
1194" ASPH.	1194" ASPHALT
1200" ASPH.	1200" ASPHALT
1206" ASPH.	1206" ASPHALT
1212" ASPH.	1212" ASPHALT
1218" ASPH.	1218" ASPHALT
1224" ASPH.	1224" ASPHALT
1230" ASPH.	1230" ASPHALT
1236" ASPH.	1236" ASPHALT
1242" ASPH.	1242" ASPHALT
1248" ASPH.	1248" ASPHALT
1254" ASPH.	1254" ASPHALT
1260" ASPH.	1260" ASPHALT
1266" ASPH.	1266" ASPHALT
1272" ASPH.	1272" ASPHALT
1278" ASPH.	1278" ASPHALT
1284" ASPH.	1284" ASPHALT
1290" ASPH.	1290" ASPHALT
1296" ASPH.	1296" ASPHALT
1302" ASPH.	1302" ASPHALT
1308" ASPH.	1308" ASPHALT
1314" ASPH.	1314" ASPHALT
1320" ASPH.	1320" ASPHALT
1326" ASPH.	1326" ASPHALT
1332" ASPH.	1332" ASPHALT
1338" ASPH.	1338" ASPHALT
1344" ASPH.	1344" ASPHALT
1350" ASPH.	1350" ASPHALT
1356" ASPH.	1356" ASPHALT
1362" ASPH.	1362" ASPHALT
1368" ASPH.	1368" ASPHALT
1374" ASPH.	1374" ASPHALT
1380" ASPH.	1380" ASPHALT
1386" ASPH.	1386" ASPHALT
1392" ASPH.	1392" ASPHALT
1398" ASPH.	1398" ASPHALT
1404" ASPH.	1404" ASPHALT
1410" ASPH.	1410" ASPHALT
1416" ASPH.	1416" ASPHALT
1422" ASPH.	1422" ASPHALT
1428" ASPH.	1428" ASPHALT
1434" ASPH.	1434" ASPHALT
1440" ASPH.	1440" ASPHALT
1446" ASPH.	1446" ASPHALT
1452" ASPH.	1452" ASPHALT
1458" ASPH.	1458" ASPHALT
1464" ASPH.	1464" ASPHALT
1470" ASPH.	1470" ASPHALT
1476" ASPH.	1476" ASPHALT
1482" ASPH.	1482" ASPHALT
1488" ASPH.	1488" ASPHALT
1494" ASPH.	1494" ASPHALT
1500" ASPH.	1500" ASPHALT

MATERIALS LEGEND

1	COMPLETED AGGREGATE BASE #5.5, TYPE "D"
2	3" HMA BASE ON COMPLETED AGGREGATE BASE #5.5, TYPE "D"
3	4" THICK, #200 AGGREGATE BASE #5.5, TYPE "D"
4	4" STANDING CURB
5	CONCRETE SIDEWALK - 8" WITH WARPS
6	4" THICK CONCRETE SIDEWALK - 8" WITH WARPS
7	CONCRETE SIDEWALK - 8" WITH WARPS
8	4" THICK CONCRETE SIDEWALK - 8" WITH WARPS
9	CONCRETE SIDEWALK - 8" WITH WARPS
10	PERPENDICULAR CURB RAMP
11	BLENDED TRANSITION CURB RAMP
12	PRECAST CONCRETE MODULAR BLOCK WALL

COLLEGE DEVELOPMENT GROUP
 BLOOMINGTON, IN
 1300 N. WALNUT
 JOB TTLS

NO.	DATE	BY	DATE

582701
 1/06/20
 OFFSITE SIDEWALK

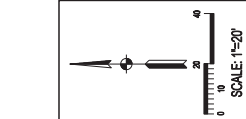


MATERIALS LEGEND

- 1" MIN SURFACE ON
- 2" COMPACTED AGGREGATE BASE #5.5, TYPE "D"
- CONCRETE SLAB #5.5, CONCRETE
- 4" COMPACTED AGGREGATE BASE #5.5, TYPE "D"
- 5" STANDING CURB
- CONCRETE SIDEWALK - WITH PARADES
- PAVEMENT
- CONCRETE CURB RAMP
- BLENDED TRANSITION CURB RAMP
- STREET TREE

SITE LEGEND

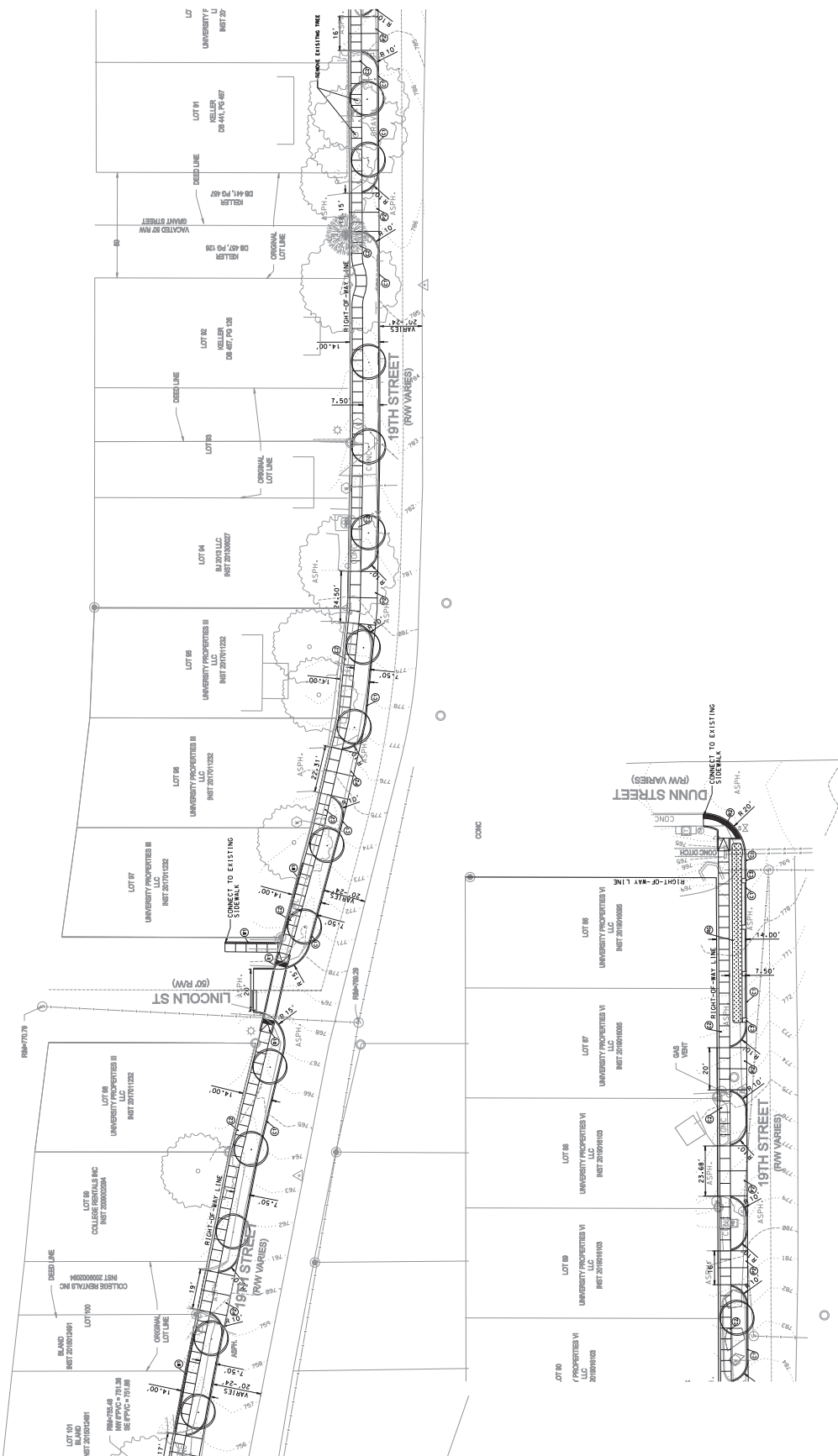
- 16" x 8" MANHOLE
- 18" x 18" MANHOLE
- 24" x 24" MANHOLE
- 36" x 36" MANHOLE
- 48" x 48" MANHOLE
- 60" x 60" MANHOLE
- 72" x 72" MANHOLE
- 84" x 84" MANHOLE
- 96" x 96" MANHOLE
- 108" x 108" MANHOLE
- 120" x 120" MANHOLE
- 132" x 132" MANHOLE
- 144" x 144" MANHOLE
- 156" x 156" MANHOLE
- 168" x 168" MANHOLE
- 180" x 180" MANHOLE
- 192" x 192" MANHOLE
- 204" x 204" MANHOLE
- 216" x 216" MANHOLE
- 228" x 228" MANHOLE
- 240" x 240" MANHOLE
- 252" x 252" MANHOLE
- 264" x 264" MANHOLE
- 276" x 276" MANHOLE
- 288" x 288" MANHOLE
- 300" x 300" MANHOLE



COLLEGE DEVELOPMENT GROUP
BLOOMINGTON, IN.
1300 N. WALNUT
JOB TITLE

REVISIONS	BY	DATE

PROJECT: 582705
SAB
DATE: 1/06/20
OFFSITE SIDEWALK



- GRADING NOTES**
11. VERIFY ALL EXISTING GRADES AND CONDITIONS BEFORE THE START OF CONSTRUCTION.
 12. THE PROPOSED GRADE SHALL BE THE EXISTING GRADE UNLESS NOTED OTHERWISE ON THE PLAN. THE 4" FINISH GRADE SHALL BE A MINIMUM OF 1" BELOW THE FINISH GRADE.
 13. ALL NEW CONSTRUCTION SHALL BE GRADDED TO THE PROPOSED GRADE UNLESS NOTED OTHERWISE ON THE PLAN.
 14. ALL EXISTING STRUCTURES SHALL REMAIN UNLESS NOTED OTHERWISE ON THE PLAN.
 15. ALL EXISTING UTILITIES SHALL REMAIN UNLESS NOTED OTHERWISE ON THE PLAN.
 16. ALL EXISTING UTILITIES SHALL BE DELETED UNLESS NOTED OTHERWISE ON THE PLAN.
- UTILITY LEGEND**
- 17. 1" DIA. ASPHALT PAVEMENT
 - 18. 4" DIA. ASPHALT PAVEMENT
 - 19. 6" DIA. ASPHALT PAVEMENT
 - 20. 8" DIA. ASPHALT PAVEMENT
 - 21. 10" DIA. ASPHALT PAVEMENT
 - 22. 12" DIA. ASPHALT PAVEMENT
 - 23. 14" DIA. ASPHALT PAVEMENT
 - 24. 16" DIA. ASPHALT PAVEMENT
 - 25. 18" DIA. ASPHALT PAVEMENT
 - 26. 20" DIA. ASPHALT PAVEMENT
 - 27. 22" DIA. ASPHALT PAVEMENT
 - 28. 24" DIA. ASPHALT PAVEMENT
 - 29. 26" DIA. ASPHALT PAVEMENT
 - 30. 28" DIA. ASPHALT PAVEMENT
 - 31. 30" DIA. ASPHALT PAVEMENT
 - 32. 32" DIA. ASPHALT PAVEMENT
 - 33. 34" DIA. ASPHALT PAVEMENT
 - 34. 36" DIA. ASPHALT PAVEMENT
 - 35. 38" DIA. ASPHALT PAVEMENT
 - 36. 40" DIA. ASPHALT PAVEMENT
 - 37. 42" DIA. ASPHALT PAVEMENT
 - 38. 44" DIA. ASPHALT PAVEMENT
 - 39. 46" DIA. ASPHALT PAVEMENT
 - 40. 48" DIA. ASPHALT PAVEMENT
 - 41. 50" DIA. ASPHALT PAVEMENT
 - 42. 52" DIA. ASPHALT PAVEMENT
 - 43. 54" DIA. ASPHALT PAVEMENT
 - 44. 56" DIA. ASPHALT PAVEMENT
 - 45. 58" DIA. ASPHALT PAVEMENT
 - 46. 60" DIA. ASPHALT PAVEMENT
 - 47. 62" DIA. ASPHALT PAVEMENT
 - 48. 64" DIA. ASPHALT PAVEMENT
 - 49. 66" DIA. ASPHALT PAVEMENT
 - 50. 68" DIA. ASPHALT PAVEMENT
 - 51. 70" DIA. ASPHALT PAVEMENT
 - 52. 72" DIA. ASPHALT PAVEMENT
 - 53. 74" DIA. ASPHALT PAVEMENT
 - 54. 76" DIA. ASPHALT PAVEMENT
 - 55. 78" DIA. ASPHALT PAVEMENT
 - 56. 80" DIA. ASPHALT PAVEMENT
 - 57. 82" DIA. ASPHALT PAVEMENT
 - 58. 84" DIA. ASPHALT PAVEMENT
 - 59. 86" DIA. ASPHALT PAVEMENT
 - 60. 88" DIA. ASPHALT PAVEMENT
 - 61. 90" DIA. ASPHALT PAVEMENT
 - 62. 92" DIA. ASPHALT PAVEMENT
 - 63. 94" DIA. ASPHALT PAVEMENT
 - 64. 96" DIA. ASPHALT PAVEMENT
 - 65. 98" DIA. ASPHALT PAVEMENT
 - 66. 100" DIA. ASPHALT PAVEMENT

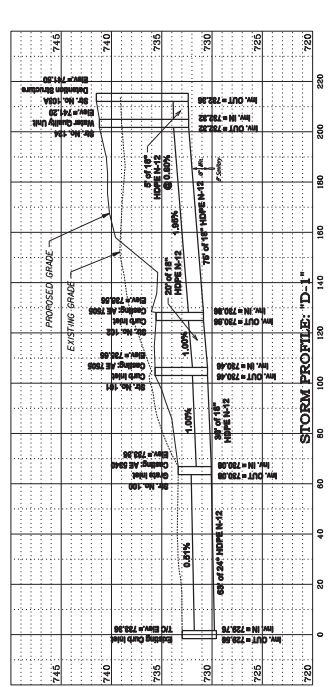
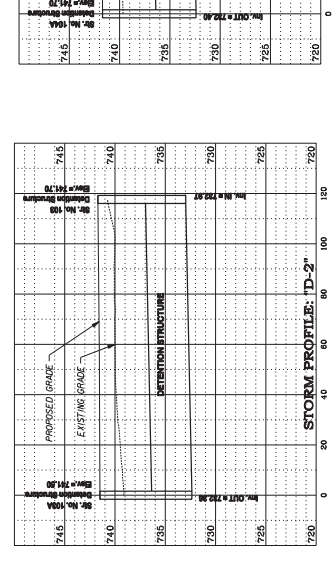
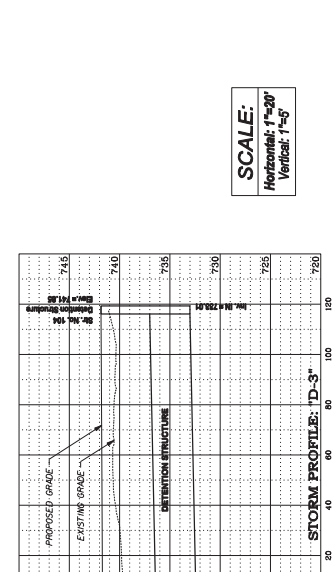
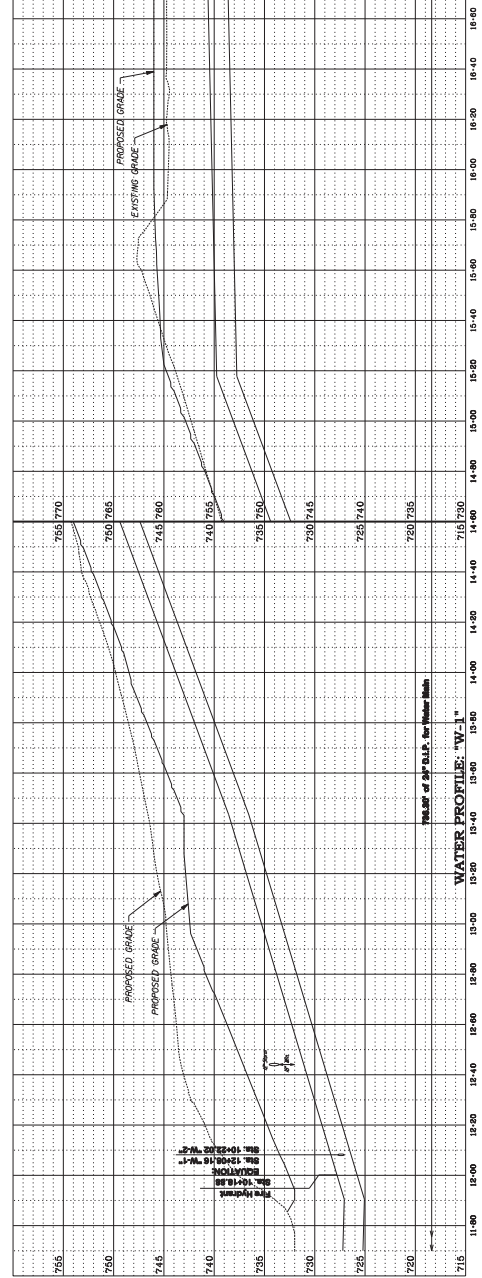
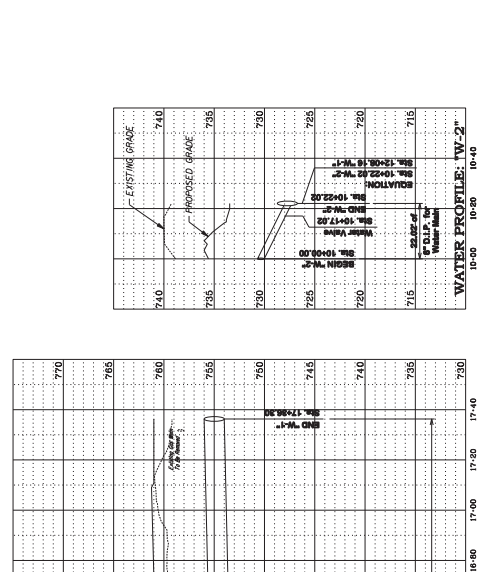
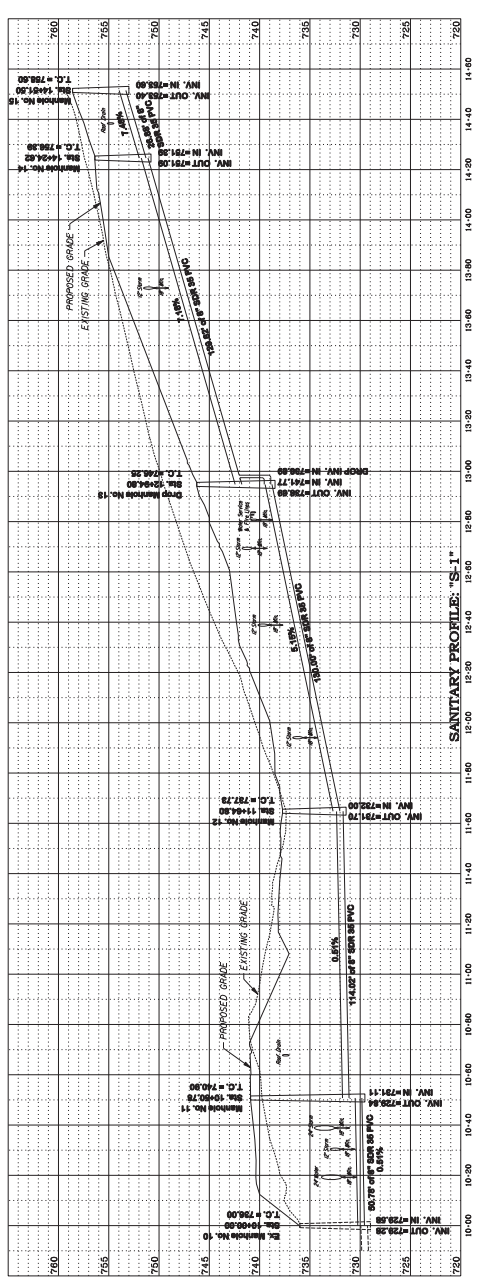
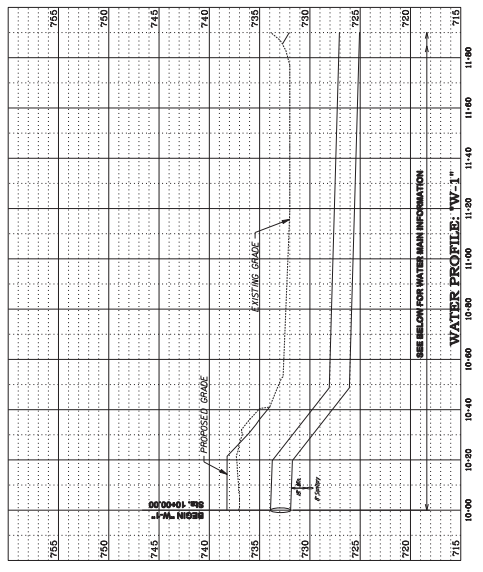




COLLEGE DEVELOPMENT GROUP
 BLOOMINGTON, IN.
 1300 N. WALNUT
 JOB TTLS

REVISIONS	BY	DATE

DATE: 1/06/20
 SHEET: C219
 PROJECT: 532700
 DRAWN BY: JAB
 CHECKED BY: JAB
 UTILITY PROFILES



SCALE:
 Horizontal: 1"=50'
 Vertical: 1"=5'

PROFILE NOTES
 1. SEE THE PLAN SHEET FOR THE LOCATION OF ALL UTILITY PROFILES.

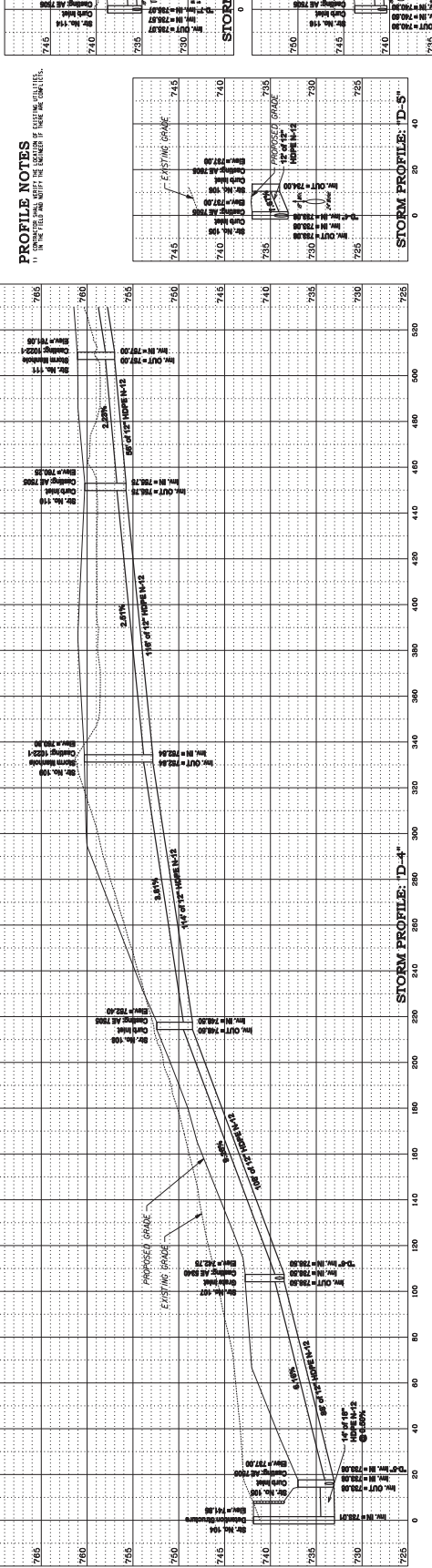
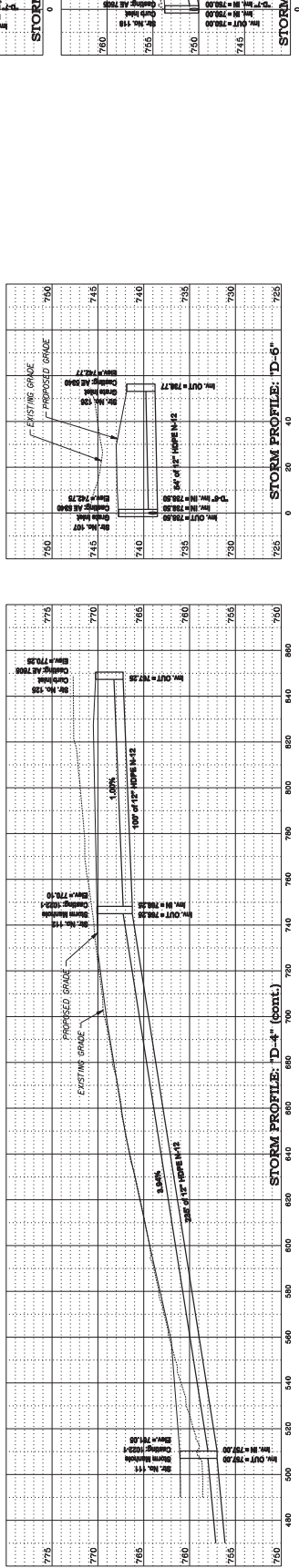
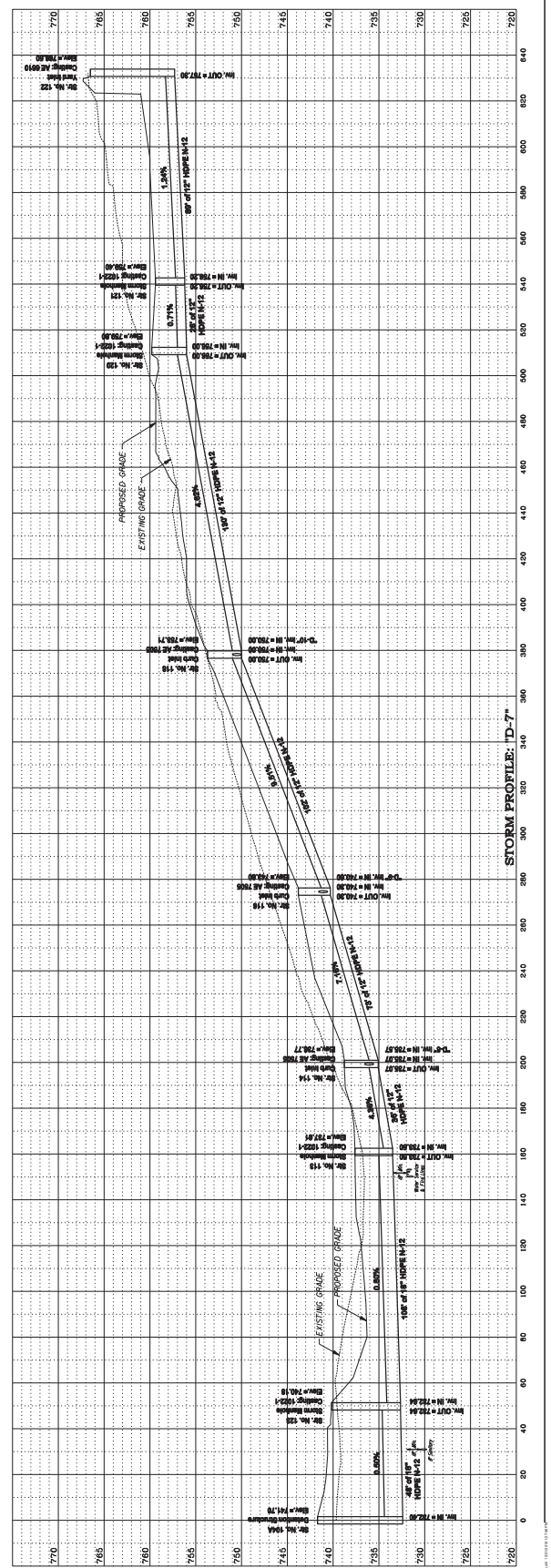
SCALE:
Horizontal: 1"=20'
Vertical: 1"=5'

C218
SUB
DATE: 1/06/20
UTILITY PROFILES

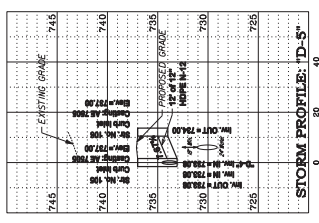
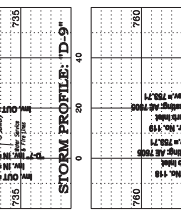
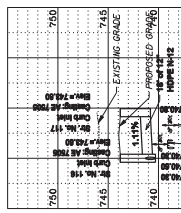
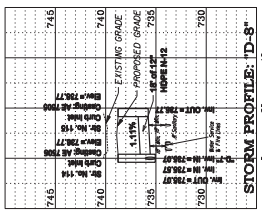
REVISIONS	BY	DATE

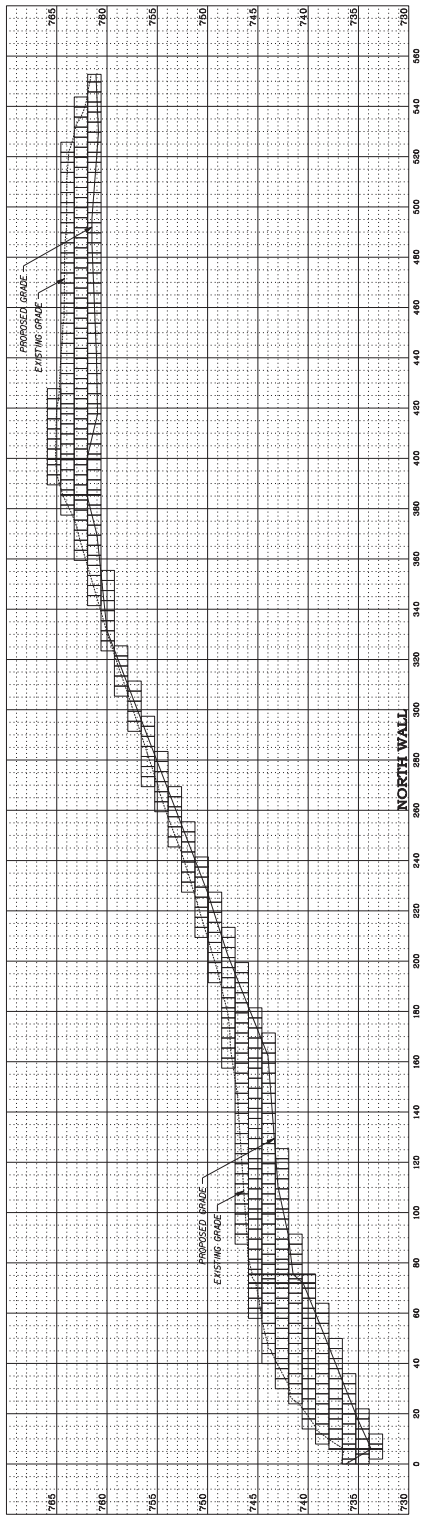
COLLEGE DEVELOPMENT GROUP
BLOOMINGTON, IN
1300 N. WALNUT
JOB TTLS

SB
Soils Break & Associates, Inc.
1215 S. Columbia Street, Suite 100
Bloomington, Indiana 47403
Phone: 317.346.8300
Fax: 317.346.8301
www.soilsbreak.com

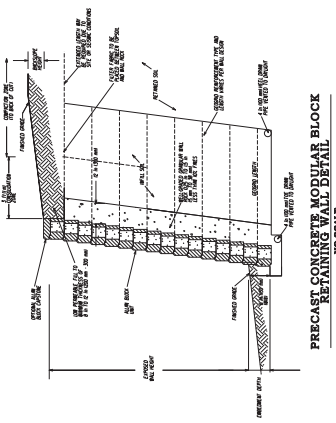
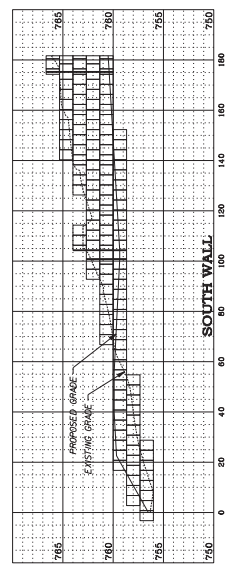


PROFILE NOTES
1. THE FIELD SURVEY OF THE UTILITIES IS BASED ON THE FOLLOWING DATA:

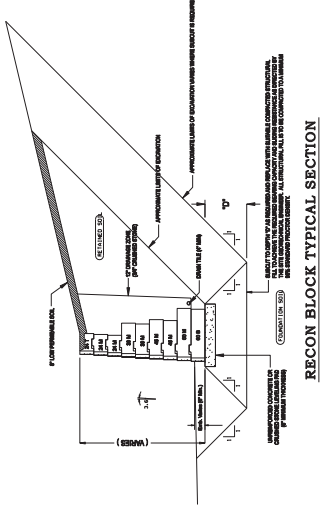




SCALE:
Horizontal: 1"=20'
Vertical: 1"=5'



PRECAST CONCRETE MODULAR BLOCK RETAINING WALL DETAIL
NO SCALE



RECON BLOCK TYPICAL SECTION
NO SCALE

