

**Bloomington Historic Preservation Commission Showers City Hall
McCloskey Room, Thursday February 27, 2020, 5:00 P.M.
AGENDA**

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. February 13, 2020 Minutes

IV. CERTIFICATES OF APPROPRIATENESS

Staff Review

A. COA 20-10

614 W. Allen Street
Petitioner: Robyn Corning
Alterations to the exterior. See packet for details.

Commission Review

A. COA 20-4

703 S. Woodlawn Avenue (Elm Heights Historic District)
Petitioner: Lyndsi Brown
Build deck between porch stoops and replace iron guard rails on stair step with cedar wood.

B. COA 20-8

812 S. Morton Street (McDoel Historic District)
Petitioner: J.T. Forbes & Martha Shedd
Construction of rear addition to existing home. See packet for details.

C. COA 20-9

410 W. Smith Avenue (Greater Prospect Hill Historic District)
Petitioner: Brian O'Quinn
Rebuild ADU. Includes changing siding material and roof shape.

D. COA 20-11

1009 W. 9th Street (Near West Side Conservation District)
Petitioner: Marc Cornett
Construction of single family home.

E. COA 20-12

1017 W. 9th Street (Near West Side Conservation District)
Petitioner: Marc Cornett
Construction of single family home.

F. COA 20-13

642 N. Madison Street (Showers Furniture Factory Historic District)
Petitioner: Lucas Brown and Don Weiler
Adaptive reuse of Kiln building. Includes substantial additions and alterations.

V. DEMOLITION DELAY

Commission Review

A. Demo Delay 19-25

414 E. 9th Street
Petitioner: David Kerber
Full demolition

B. Demo Delay 20-7

1209 W. 2nd Street
Petitioner: Mary Friedman
Full demolition

C. Demo Delay 20-8

110 S. Indiana Avenue
Petitioner: Michael Martin
Partial demolition. Remove part of wall to install new door for required egress.

VI. NEW BUSINESS

VII. OLD BUSINESS

- A. 2020 Preserving Historic Places Conference, South Bend, IN.
- B. Restaurant Row Design Guidelines Discussion

VIII. COMMISSIONER COMMENTS

IX. PUBLIC COMMENTS

X. ANNOUNCEMENTS

XII. ADJOURNMENT

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Next meeting date is March 12, 2020 at 5:00 P.M. in the McCloskey Room. **Posted:** 2/20/2020

Bloomington Historic Preservation Commission
Showers City Hall McCloskey Room,
Thursday February 13, 2020
MINUTES

I. CALL TO ORDER

Meeting was called to order by **John Saunders**, @ 5:00 pm.

II. ROLL CALL

Commissioners

John Saunders
Jeff Goldin
Chris Sturbaum
Sam DeSollar
Lee Sandweiss
Susan Dyer
Doug Bruce

Advisory

Jenny Southern

Absent

Deb Hutton
Derek Richey
Ernesto Casteneda
Duncan Campbell

Staff

Mayor John Hamilton
Conor Herterich, HAND
Eddie Wright, HAND
Phillippa Guthrie, Legal
Doris Sims, HAND
Eric Sader, HAND
Mary Catherine Carmichael, Office of the Mayor
Keegan Gulick, Planning
Alex Crowley, ESD

Guests

Don Wyler
Lucas Brown
Barre Klapper
Shawn Eurton

Craig Bailey
Scott Libson
Paul Prather

III. APPROVAL OF MINUTES

A. January 23, 2020 Minutes

Jeff Goldin made a motion to approve January 23, 2020 Minutes, **Sam DeSollar** seconded.

Motion carried 5-0-2 (Yes-No-Abstain)

IV. OLD BUSINESS - Part one

A. Courtesy Review: Kiln Rehab Project, Lucas Brown

Mayor John Hamilton gave a brief history of development of the Showers complex. See packet for details.

Don Weiler gave a brief description of who is involved with the kiln collective. Also, the goals for the Kiln project. All the people involved with the Kiln will be owner operators. A historic walkway as well as a greenspace are being discussed and planned.

Lucas Brown gave a presentation on the design plans of the project, and presented examples of similar designs from around the country that he plans to incorporate into the design of the Kiln project.

Jeff Goldin asked about logistics and the amount of space in the rooms of the Kiln. **Chris Sturbaum** asked about details of the open spaces where the doors were located. **Lee Sandweiss** asked about the planned date of completion. **Sam DeSollar** inquired about the setback in reference to the floors of the building. Also he asked about the roof and use of solar panels, and the masonry work at the front of the building. **Jenny Southern** asked about the placement of the building in reference to Morton Street. She also inquired about handicap parking spaces. **Chris Sturbaum** asked what was to the immediate east of the building. Jenny also asked about placement of the dumpsters.

Jeff Goldin has concerns that once the project is finished there would be no connections to the old building but he feels like this is a good use of the building. **Chris Sturbaum** agrees, but he feels like something could be done to avoid the blank spaces on the building. He inquired about tax credits for renovation of the building. **Lee Sandweiss** is happy the Kiln is being saved. **Doug Bruce** agrees and feels like this is a perfect use especially for a building that was not intended to be a permanently occupied structure. He likes the look of the base and the lower levels. He also likes the metal panels but he's not sure how windows will fit on this building. **Sam DeSollar** echoes Doug's comments, he likes that they are maintaining the old building. The setbacks make the different floors look like different buildings. He also made comments and provided direction on the back half of the building as well as the

entrance and roof. He stated they should try to hide the solar panels. **Susan Dyer** likes the plans and use of the building from a historical standpoint. **Jenny Southern** likes the design and she likes the use of the skylights in the building. She also suggested the planting of some black gum trees in the area which would have a connection to the original use of the building. **John Saunders** commented that it is very good project and a great addition to the area, and he thanked everyone for coming and presenting the project.

V. **CERTIFICATES OF APPROPRIATENESS**

Commission Review

A. COA 20-4

703 S. Woodlawn Avenue (Elm Heights Historic District)

Petitioner: Lyndsi Brown

Build deck between porch stoops and replace iron guard rails on stair step with cedar wood.

COA 20-4 tabled until the next meeting, petitioner not present.

B. COA 20-5

412 E. 4th Street (Restaurant Row Historic District)

Petitioner: Shawn Eurton

Rebuild 2nd level entry stair & deck, raise stair roofing. Enlarge rear bedroom windows (2) to meet egress. Move rear window.

Conor Herterich gave presentation. See packet for details.

Discussion ensued

Jeff Goldin asked for a clarification of what wood clad vinyl windows are. **Shawn Eurton** had a cutaway sample of the window. **Sam DeSollar** asked if windows in the structure are original windows. **Doug Bruce**, who is involved in the project, explained which windows might be original windows in the structure. **Jenny Southern** asked about the look of the outside staircase.

Jeff Goldin stated he supports the project **Chris Sturbaum, Lee Sandweiss, Sam DeSollar, Susan Dyer, Jenny Southern & John Saunders** agreed.

Jeff Goldin made a motion to approve **COA 20-5**, **Lee Sandweiss** seconded.

Motion carried 6-0-1.

C. COA 20-6

1018 E. 1st Street (Elm Heights Historic District)

Petitioner: Barre Klapper

Demolish existing 1-car garage.

Conor Herterich gave presentation. See packet for details.

Discussion ensued

Jeff Goldin asked how the neighborhood feels about the demolition. **Jenny Southern** stated the neighborhood does not like for garages to be torn down, so if the Commission approves they need to be clear in their wishes. **Chris Sturbaum** asked if they were trying to replace a one car garage with a two car garage. **Sam DeSollar** stated that if they tear down and replace they will need a variance for setback. **Jenny Southern** asked about set back. She also asked about adverse possession.

Chris Sturbaum stated that he has repaired garages in worse shape than this, and it could be repaired as opposed to replacement. **Jeff Goldin** stated that removal would not affect the property. **Doug Bruce** agreed with Chris, but with an accessory structure he has never seen anyone come in and try to straighten a similar structure. But with the long driveway a new structure won't be as visible. **Sam DeSollar** stated that he is divided on this project. **Jenny Southern** asked if they need a COA to change the driveway. Chris asked if the limestone retaining wall would remain.

Jeff Goldin made a motion to approve **COA 20-6**, **Susan Dyer** seconded.
Motion carried 5-0-2.

D. COA 20-7

1018 E. 1st Street (Elm Heights Historic District)

Petitioner: Barre Klapper

Build new wood frame garage.

Conor Herterich gave presentation. See packet for details.

Discussion ensued

Jeff Goldin asked about the raising of the driveway. **Sam DeSollar** asked about the surface area before the removal of the garage. He also asked about the foundation of the garage and what kind of siding would be used. **Jenny Southern** asked what kind of siding is on the garage now. She also asked about the slope and the drainage of the current driveway. Jenny also stated she does not like the door of the garage.

Jeff Goldin supports the project. **Chris Sturbaum** suggested they consider doors period appropriate to the previous structure that appear to swing open. **Lee Sandweiss** agrees. **Doug Bruce** would like to see a door that reflects the style of door used at the time of the door on the previous structure. **Sam DeSollar** suggested that they extend the roof to avoid the rain, he proposes they table this and talk about with the driveway. **Barrie Clapper** asked if they would approve this without any changes to the driveway and if they want to build a new driveway, they would have to come back as a whole new project.

Chris Sturbaum made a motion to approve **COA 20-7**, with the condition the door receive a period look, **Jeff Goldin** seconded with the provision the staff review the siding and if the driveway changes they must return to the commission.
Motion Carried 7-0-0.

VI. DEMOLITION DELAY

Staff Review

A. Demo Delay 20-4

1000 S. Washington Street
Petitioner: Matt Murphy
Partial demolition

Conor Herterich gave presentation. See packet for details.

Commission Review

A. Demo Delay 19-25

414 E. 9th Street
Petitioner: David Kerber
Full demolition

Conor Herterich gave presentation. See packet for details.

Discussion ensued

Lee Sandweiss stated there is some interesting cabinetry in the house. **Sam DeSollar** stated that the house is a solid house but the Commission doesn't have purview over the interiors. He stated that the house could be restored. **Jeff Goldin** stated that this house is a gem, but the Commission would have a hard time defending the house with standalone designation. Jenny Southern stated that she has never seen steep shed roofs on a house. **Chris Sturbaum** asked if they approve the demolition how they could make a recommendation. **Conor Herterich** stated they have until March 3 before the 90 day waiting period is up.

Chris Sturbaum made a motion to suggest they request that the owner add something to the structure that will add to the character of the neighborhood rather than destroy what the Commission views as a contributing structure, but that is not worthy of a standalone designation at this time. **Lee Sandweiss** seconded.
Motion carried 7-0-0.

Sam DeSollar suggested they draw up some ideas for changes to the structure and send those to the owner.

Jeff Goldin made a motion to table **DD 19-25** until the Feb. 27th meeting, **Sam DeSollar** seconded.
Motion carried 7-0-0

B. Demo Delay 20-5

222 E. Smith Avenue

Petitioner: Mark and Tracy Rothrock

Full demolition

Conor Herterich gave presentation. See packet for details.

Discussion ensued

Jeff Goldin made a motion to waive the demo delay period for **DD 20-5**, **Chris Sturbaum** seconded.

Motion carried 7-0-0

C. Demo Delay 20-6

3415 E. Adair Lane

Substantial demolition

Conor Herterich gave presentation. See packet for details.

Discussion ensued

Doug Bruce stated that he likes what they are doing to the house. **John Saunders** stated they are changing the fabric of the neighborhood with the work.

Jeff Goldin made a motion to waive the demo delay period for **DD 20-6**, **John Saunders** seconded.

Motion carried 7-0-0

VII. NEW BUSINESS

Chris Sturbaum stated he would like to look into a grant to investigate the Kohr building to determine if it's worthy of national register designation. Designation would help leverage the Kohr building and give it a different future with the tax credits. The grant would help pay for the National Register designation. **Conor Herterich** stated he would look into the grant process, and will touch base with Duncan Campbell. The Commissioners stated they will table the discussion until the until the Feb. 27th meeting.

VIII. OLD BUSINESS - Part two

B. 2020 Preserving Historic Places Conference, South Bend, IN.

Conor Herterich stated that camp is available April 14th and conference follows on April 15th and 16th, and scholarships are available for both the camp and/or the conference. Commissioners would need to let Conor know by March 1st.

C. Restaurant Row Design Guidelines Discussion

D. Commissioners decided to table the Restaurant Row Design Guidelines Discussion until the next meeting due to time constraints. **Sam DeSollar** suggested they submit the guideline suggestions in writing.

IX. COMMISSIONER COMMENTS

X. PUBLIC COMMENTS

XI. ANNOUNCEMENTS

XII. ADJOURNMENT

Meeting was adjourned by **John Saunders** @ 7:15 pm.

END OF MINUTES

COA: 20-10

Address: 614 W. Allen Street

Petitioner: Robyn Corning

Parcel #: 53-08-05-402-041.000-009

Rating: Non-Contributing

Structure; Cross Gable Bungalow c. 1930



Background: Located in the McDoel Historic District, zoned RC.

Request: Several alterations to include:

1. Removal of poorly constructed shed addition on east elevation.
2. Removal of chimney.
3. Removal of partial brick veneer and wheelchair ramp on the building front.
4. Removal of two windows on north elevation (rear).
5. Replacement of board and batten siding with vinyl lap siding.

Guidelines: McDoel Historic District Design Guidelines, pgs 12. (following staff report)

Recommendation: Staff **APPROVES COA 20-10** with the following comments:

1. Staff finds that besides the chimney, none of the features being removed are original to the building.
2. Staff supports the petitioner's investment in a "non-contributing" building and finds that the scope of work could potentially return the building to a "contributing" rating through the removal of non-original features and repair of the original windows on the south and east elevations.

VII. Non- Contributing Principle Structures and Additions

This section is reviewed by staff

Non-contributing principal structures are reviewed by staff for minor exterior changes. Additions to non-contributing structures and new accessory buildings are reviewed under the guidelines that pertain to contributing buildings. This is to maintain consistent size and massing generally of buildings that are added to the neighborhood.

VIII. Appendix

***The following are survey classifications that assist in determining the significance of your home to the district. Information about your property is available on the city website:**

Outstanding (O) The "O" rating means that the property has enough historic or architectural significance that it is already listed, or should be considered for individual listing in the National Register of Historic Places. Outstanding resources can be of local, state, or national importance.

Notable (N) A rating of "N" means that the property did not quite merit an Outstanding rating, but is still above average in its importance. Further research or investigation may reveal that the property could be eligible for National Register listing.

Contributing (C) A "C" rating was given to any properties meeting the basic inventory criterion of being pre-1960, but that are not important enough to stand on their own as individually outstanding or notable. Such resources are important to the density or continuity of the area's historic fabric. Contributing properties can be listed on the National Register of Historic Places if they are part of an historic district, but would not usually qualify individually.

Non-Contributing (NC) Properties rated "NC" were not included in the inventory unless they were located within an historic district. Such properties are usually either post-1960 or they are older structures that have been badly altered and have lost their historic character or they are otherwise incompatible with their historic surroundings. These properties are not eligible for the National Register.

IX. Procedures for Changing the Guidelines

- 1) Changes to the guidelines, if desired, shall be initiated from and drafted by the McDoel Gardens neighborhood organization.
- 2) The neighborhood organization shall inform the Historic Preservation Commission of the proposed changes to the guidelines.
- 3) All property owners in the Conservation District shall be notified of the proposed changes to the guidelines. They will be given copies of the proposed changes and notice of the time and place of the public hearing on the proposal.
- 4) The neighborhood organization shall provide a system whereby all property owners have the opportunity to cast a vote on the proposal.
- 5) If 51% of the property owners who cast a vote approve the changes, the new guidelines are forwarded to the Historic Preservation Commission for ratification.

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: 20-10

Date Filed: 2-13-2020

Scheduled for Hearing: 2-27-2020

Address of Historic Property: 614 WEST ALLEN STREET BLOOMINGTON

Petitioner's Name: RHODY CONSTRUCTION, LLC

Petitioner's Address: 215 DOUGLAS RD WARWICK RI 02886

Phone Number/e-mail: 401-626-2311 RCORNING@HOTMAIL.COM

Owner's Name: ROBIN CORNING / JOHN F. PENA JR.

Owner's Address: 215 DOUGLAS RD WARWICK RI 02886

Phone Number/e-mail: 401-626-2311 RCORNING@HOTMAIL.COM

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

* Amended 2-18-2020

removal of two windows on north elevation in bedroom 2.

A "Complete Application" consists of the following:

1. A legal description of the lot. 015-07900-00 Dixie Highway Lot 22

2. A description of the nature of the proposed modifications or new construction:

REMOVAL OF NON-ORIGINAL TO HOME - SHED + HANDICAP RAMP,
REMOVAL OF CHIMNEY - NOT NEEDED, REMOVAL OF 2 WINDOWS IN BR. BEDROOM
REMOVAL OF 2 FOOT BRICK FACADE ON FRONT - WATER DAMAGE
REMOVAL OF ROOF, GUTTERS, SIDING

3. A description of the materials used.

INSTALLATION: NEW WINDOWS #12 - SINGLE HUNG JELD-WEN VINYL
NEW ROOF - CERTAINTED LANDMARK SHINGLES
NEW SIDING - VINYL CERTAINTED MAINSTREET 9"
NEW GUTTERS - SPECTRA ALUMINUM
+ DOWNSPOUTS

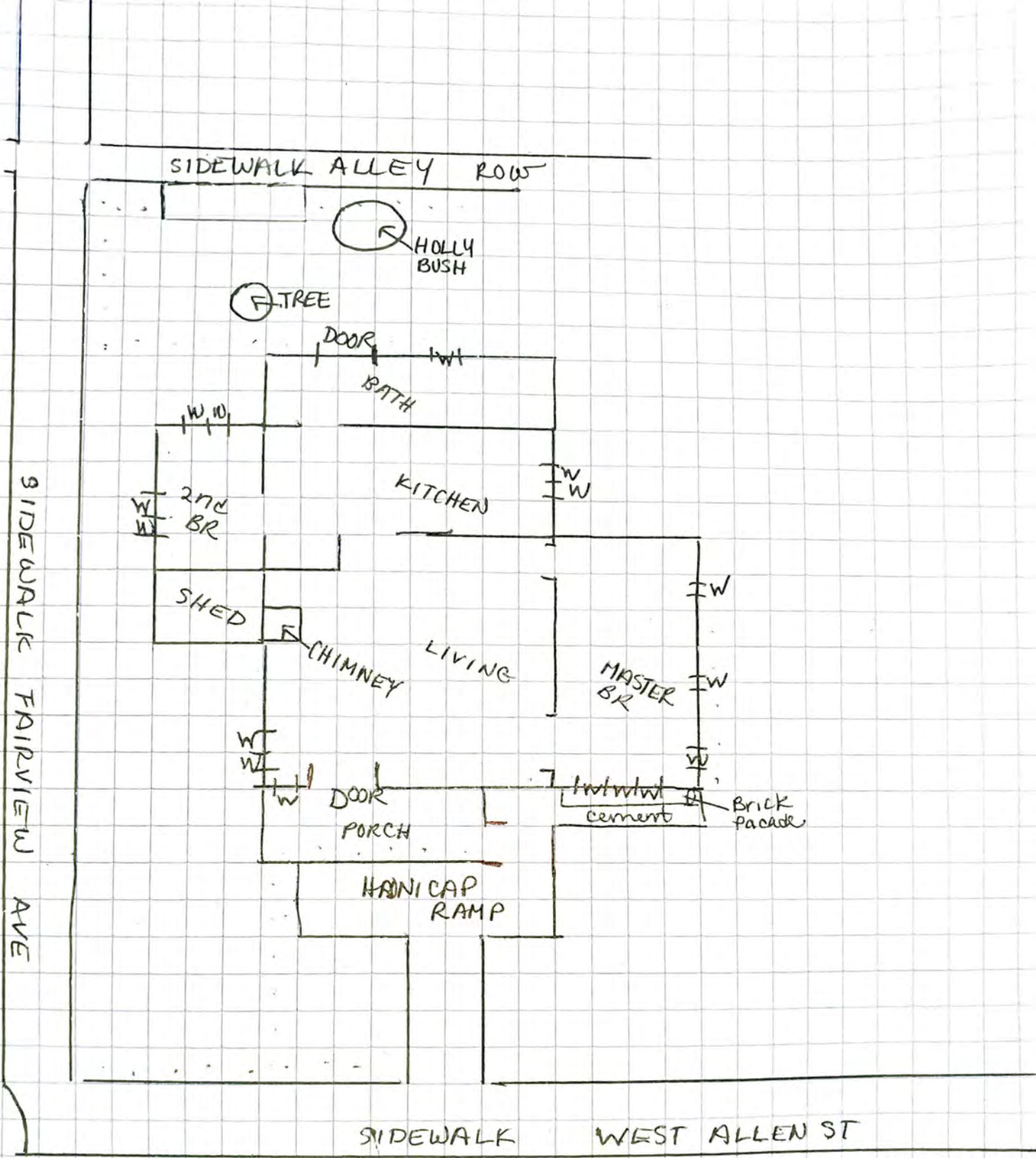
INSTALLATION: 24x24 GRAVEL DRIVEWAY IN REAR
#53

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

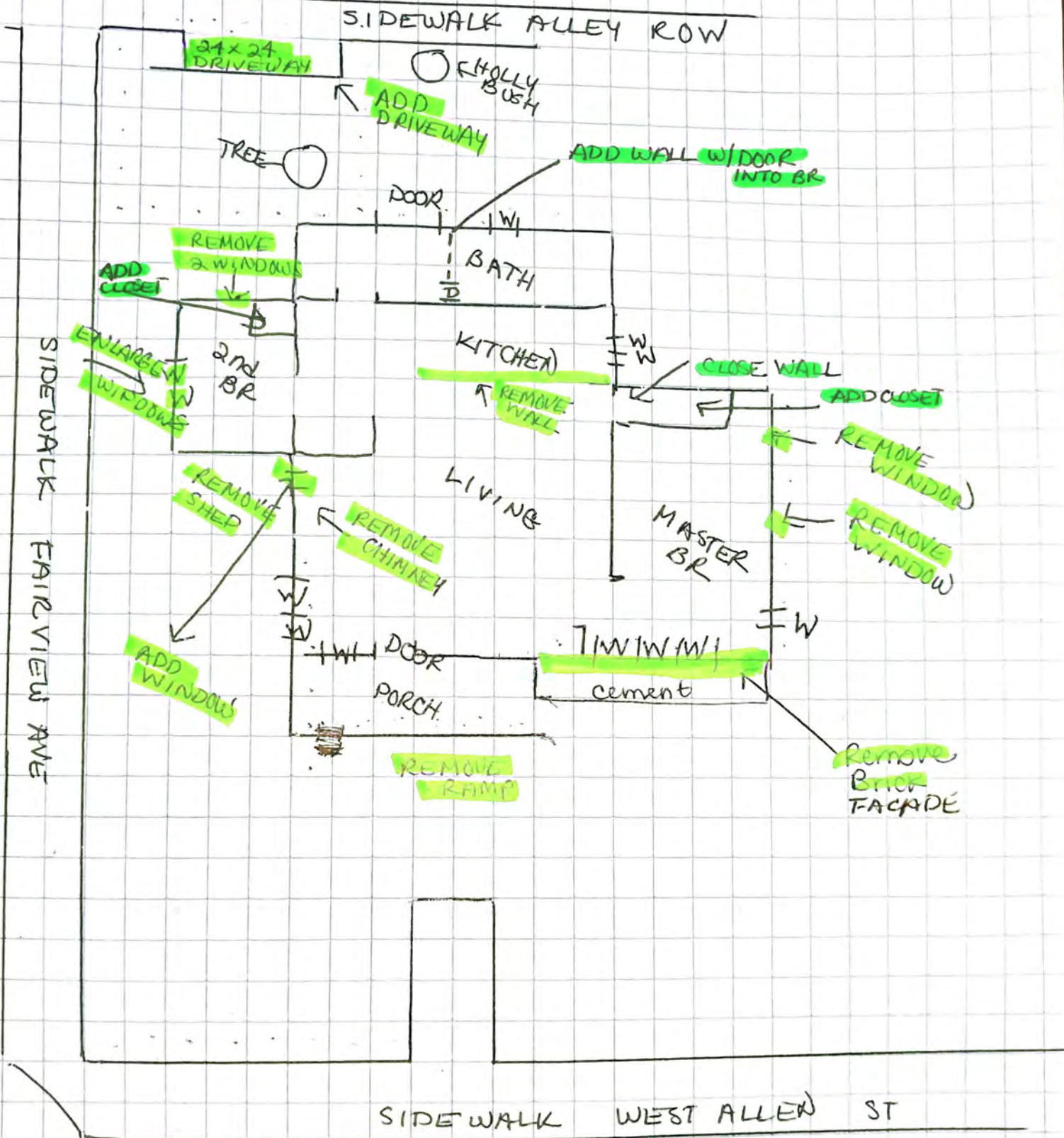
6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



614 WEST ALLEN ST

ORIGINAL



614 WEST ALLEN ST

RENOVATION



614



STOP
ALL WAY









COA: 20-4

Address: 703 S. Woodlawn

Petitioner: Lyndsi Brown

Parcel #: 53-08-04-110-002.000-009

Rating: Contributing

Structure; Arts & Crafts Foursquare, c. 1920



Background: The petitioner completed the work without obtaining a COA which was brought to the attention of staff by neighborhood residents.

Request: Rebuild deck between porch stoops and replace iron guard rails on the stair step with wood.

Guidelines: Elm Heights Historic District Design Guidelines, pg. 22

1. Guard Rails: Guidelines for architectural metals state that the removal or replacement of the metal elements requires a COA and that substitute materials should only be considered if using the original material is not technically feasible.

Recommendation: Staff recommends partial approval of COA 20-4 with the following recommendations:

1. Staff recommends approval of the replacement of the wooden platform between the stoops. The guidelines do not address this kind of feature, it does not impact the historic character or materials of the building, and it can be removed in the future.
2. Staff recommends that the metal railings be reinstalled. Metal guardrails are a feature of the streetscape in this area. The guidelines state that the metal should be retained and repaired and if they have to be replaced they should be replaced in kind.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____

Date Filed: _____

Scheduled for Hearing: _____

Address of Historic Property: _____

Petitioner's Name: _____

Petitioner's Address: _____

Phone Number/e-mail: _____

Owner's Name: _____

Owner's Address: _____

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. _____

2. A description of the nature of the proposed modifications or new construction:

3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

4.3 Architectural Metals

Architectural metals hold a significant place in the history of Elm Heights. Metals have been an integral part of the detailing and the surfacing of homes, street elements, and site features since the original development of the neighborhood. The shapes, textures, and detailing of these metals reflect the nature of their manufacture, whether wrought, cast, pressed, rolled, or extruded. Traditional architectural metals, as well as more contemporary metals, are found throughout Elm Heights. These include copper, tin, terneplate, cast iron, wrought iron, lead, brass, and aluminum.

Metals are commonly used for roofing and guttering applications, such as standing-seam roofs, flashing, gutters, downspouts, finials, cornices, copings, and crestings. Original copper guttering and steel windows retain the charm and maintain the historical character of our area. Other architectural elements, including storm doors, vents and grates, casement windows and industrial sash, railings, hardware, decorative features, and trim work, are often crafted or detailed in metal. These details make Elm Heights not only spectacular to look at but also unique in appearance. Architectural metals also appear throughout Elm Heights in the form of fences, gates, streetlights, signs, site lighting, statuary, fountains, and grates.

Our neighborhood is also home to three Lustron houses. These prefabricated, enameled steel homes were produced following World War II in an effort to reduce housing shortages due to the return of service personnel.

Preservation Goals for Architectural Metals

To retain and restore the original architectural metals of buildings and sites through repair, coating, and routine maintenance.

Things to Consider as You Plan

Preserving architectural metal surfaces and details requires routine maintenance and regular inspection to prevent their deterioration due to the elements or structural fatigue. Early detection of corrosion in metal surfaces is therefore essential to reduce costs. Maintaining a watertight paint film is critical to the life of metal details. The removal of all rust, followed by priming with a zinc-based primer or other rust inhibitor is an important first step. Copper and bronze surfaces should never be painted as they develop a characteristic patina over time. When corroded metals become fragile, coating with a rust converter may be the best solution to halting further damage. Unpainted soft metal elements like brass or bronze hardware may be protected from corrosion with a clear lacquer following a proper cleaning.

If a feature of a painted metal element, such as a decorative cornice, is missing or deteriorated, replacement in kind may not be feasible. In such a case, the replication of the detail in fiber glass, wood, or aluminum may be appropriate.

Asphalt products such as roofing tar can corrode metals and should never be used to patch flashing or other metal surfaces.

The care of metals can be a complicated and complex task. Consult with a specialist or the Historic Preservation Commission to best restore or maintain all metal features.



Guidelines for Architectural Metals

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow each numbered item assist applicants with the COA process.

- I. Removal, replacement, or restoration of existing architectural metal elements including roofing and gutter applications, steel windows, casement windows and industrial sash, storm doors, vents, grates, railings, fencing, and all decorative features of architectural metal elements that are integral components of the building or site and visible from the right-of-way.**
 - Replace missing elements based on accurate documentation of the original or use a compatible new design. Consider compatible substitute materials only if using the original material is not technically feasible.
- II. Addition of permanent metal features including but not restricted to: buildings, roofs, doors, windows, trim, fencing, and other architectural elements.**
 - The installation of new metal garden artwork or decorative item(s) does not require a COA.

COA: 20-8

Address: 812 S. Morton Street

Petitioner: J.T. Forbes

Parcel #: 53-01-55-240-000.000-009

Rating: Contributing

Structure; American Foursquare c. 1925



Background: Located in the McDoel Historic District, the petitioners previously received approval for alterations to the structure. This request is for an addition.

Request: Addition to the rear of home that will serve as living space and will connect home to the garage.

Guidelines: McDoel Historic District Design Guidelines, pgs 11. (following staff report)

Recommendation: Staff recommends conditional approval of COA 20-8 with the following comments

1. Staff finds that the location of the addition to the rear of the primary structure is appropriate.
2. Staff finds the addition to be appropriately scaled and is subordinate to the primary structure.
3. Staff finds that the cement board lap siding, standing seam metal roof, and fenestration on the addition is compatible with the primary structure.
4. Staff finds there is not enough differentiation to distinguish between the historic building and the addition. Staff recommends approval if the following condition is met: The addition is either inset so it does not share a contiguous wall with the primary building or differentiation is accomplished with the use of siding or other architectural features.

Materials

There are no material restrictions for accessory structures within these guidelines.

1. GARAGES AND CARPORTS:

Preferable

An added garage should be no larger than 25% of the size of the house and should be compatible with the design and materials.

A carport should be set back 1/3 or more from the front façade of the house.

Acceptable

A garage holding no more than two cars.

2. OUTBUILDINGS:

Preferable

Outbuildings should be placed to the rear of the house where there is little visual access.

Acceptable

Storage buildings that meet zoning requirements and are smaller than 10x16' and not on a permanent foundation, are acceptable.

VI. Additions (New)

This section is reviewed by the Commission

The ability to expand on the lot is important to the changing needs of families and predicts the longevity of ownership in the neighborhood. In McDoel the modest sizes of the houses are valued, but the owners are encouraged to seek ways to adapt the property for current uses while maintaining footprints in keeping with the neighborhood.

Preferable

Additions should be scaled to the size of the existing house. The larger McDoel houses are roughly 1500 square feet on the first floor. Additions should be placed where visibility from the street is minimized. The roof slope should be compatible with the existing house and the peak should be equal in height or lower than the peak of the house gable. Windows should reflect the number, placement and pattern of windows on the house elevations. Materials should closely match those on the existing structure.

Acceptable

Additions should maintain the style and massing of contributing property in the area. Where no other expansion is possible and nearby contributing structures have second floors, a second floor addition may be considered. An addition should be scaled to the existing structure and integral to the design of the original structure.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: 20-8

Date Filed: 2/4/2020

Scheduled for Hearing: 2/27/2020

Address of Historic Property: 812 South Morton Street, Bloomington, IN 47403

Petitioner's Name: J Thomas Forbes & Martha Louise Shedd

Petitioner's Address: 2147 South Bent Tree Drive, Bloomington, IN 47401

Phone Number/e-mail: (812) 606-7232/jt.forbes@gmail.com & (812) 320-1050/marthashedd@gmail.com

Owner's Name: Petitioners own the property and intend to live there.

Owner's Address: Same as above, until we can permanently occupy this property.

Phone Number/e-mail: (812) 606-7232/jt.forbes@gmail.com & (812) 320-1050/marthashedd@gmail.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 015-52400-00 M M Campbells Lot 9

2. A description of the nature of the proposed modifications or new construction:

We were granted a building permit and Certificate of Appropriateness (COA) to renovate the existing structure.

With work underway on the existing structure, we are now seeking a COA for new construction of an addition that will allow us to age in place.

The proposed addition will add a master bedroom and bathroom, laundry facilities, a half-bathroom on the same level as the main floor.

This design will make the house accessible and facilitate our plans to age in place in this, our last home.

This design is a single-story with a different roof line than the main house with exterior walls on the same plane as the current house.

The addition will be differentiated from the existing two-story structure by being a single-story structure with a gabled roof.

(We also are working with the Planning Department on a variance from side yard building setback standards to allow a zero foot setback for the existing garage to accommodate the overall design we propose.)

3. A description of the materials used.

All materials will be of superior quality to the original, compliant with McDoel Guidelines, and the same as what was approved in the COA for the existing structure. Examples are appended to this application.

The roof will be the same non-reflective Firestone steel roof panel system with standing seams, gutting and downspouts used on the existing structure.

The alley-side entry door will be the same Craftsman-styler exterior door and storm door in the COA approved for the existing structure.

Double-hung architectural windows of the same dimension approved in the COA for the existing structure will be used on the addition.

Hardie cement board siding of the same dimension as the existing structure will be used on the addition and garage. We are open to using HardiePanel cement board of a board and batten design if this is more satisfactory to the Bloomington Historic Preservation Commission.

The variance referenced above will permit us to create a home with a fully-accessible ground floor so that we can age in place.

The variance referenced above will permit us to create a home with a fully-accessible ground floor so that we can age in place.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

PETITIONERS' STATEMENT

We respectfully request Certificate of Appropriateness (COA) for an addition to our residence at 812 South Morton Street in the McDoel Historic District. We have a COA for the existing house structure and will use the same materials as were approved for that project.

We are committed to this neighborhood and this property as a place to age in place. Many of our adjacent future neighbors, and principal authors of the McDoel Historic District Design Guidelines, have greeted us warmly and are supportive of us transforming what had become a stagnant commercial space, and more recently a vacant structure where drugs were consumed on the porch, back into a vibrant home where friends, loved ones, and neighbors gather.

We have studied the history of the neighborhood and legacy of the house. For the first 69 years, the house served as a single-family owned residence before becoming an investment property for the last two property owners. The property was a home to common laborers who tarried for the Fagan Stone Company, Indiana University, the Monon Railroad, Monroe County Schools, and the Radio Corporation of America. We seek to restore this legacy and make the house a signature of hospitality and vitality on our side of the B Line Trail. We intend to live here and make it our last home before we toss away the mortal coil.

The aims of the McDoel Historic District Guidelines affirm our approach to renewing this home:

“Livability should be supported by maintaining affordability and property values, fostering energy conservation, fostering the visual compatibility of the neighborhood, promoting aging in place, and sustaining the character of contributing buildings.”

Sitting atop a hill overlooking Morton Street, the existing house structure was built in 1925. The garage was added in 1954 and it seems that a concrete floor was poured in 1960. Neighborhood lore has it that new drywall, insulation, wiring, and a heating and cooling unit was added in the early part of this century as part of a project to convert the garage to office space.

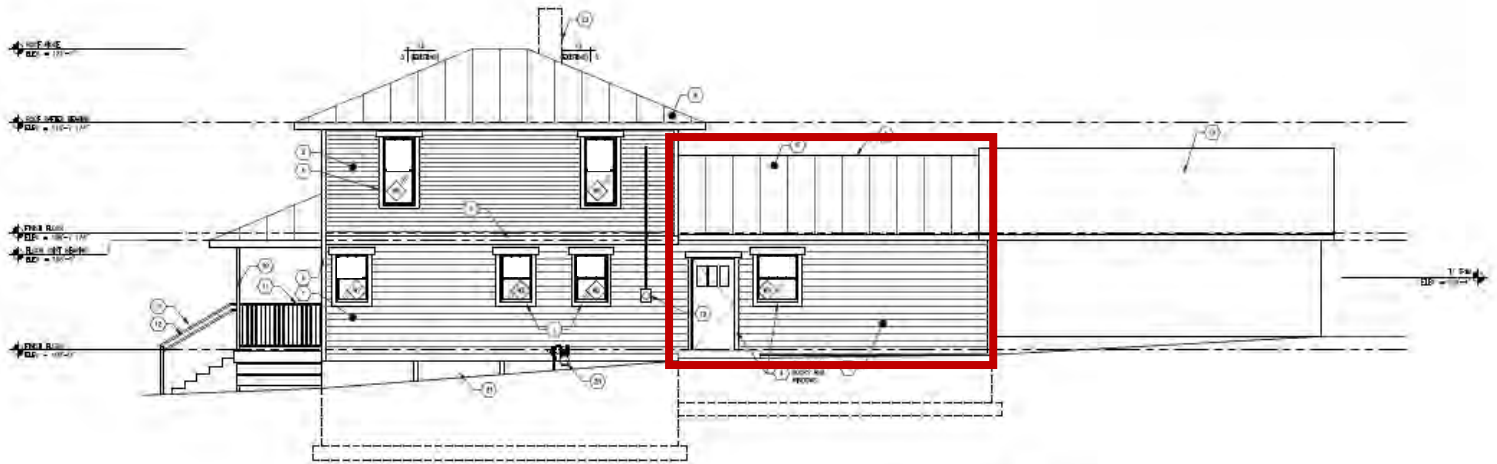
The new one-story addition will add approximately 500 square feet to the property, providing a master bedroom and bathroom, laundry facilities, a half-bathroom, and connect the garage to the house to create one accessible ground floor layout in anticipation of passing into our decrepitude.

We propose using the same roofing, siding, windows, and doors as approved in the COA for the existing house (see attached). In order to differentiate the structures, we will build a single-story structure with a standard gabled roof. If the Commission wishes the addition to be further differentiated from the existing structure, we propose siding the addition and garage with HardiePanel® board and batten design instead of the HardiePlank® lap siding design we prefer. We have considered “shifting” the addition off the northern and southern planes of the exterior walls of the existing structure, but the compact nature of the property lines, proximity of the garage to the existing structure, and alignment needed to connect the mechanical infrastructure shared by the house and addition make this a costly aesthetic choice. The shifted lines of the house might also invite mischief from the hearty revelers and troubled souls who traverse the alley.

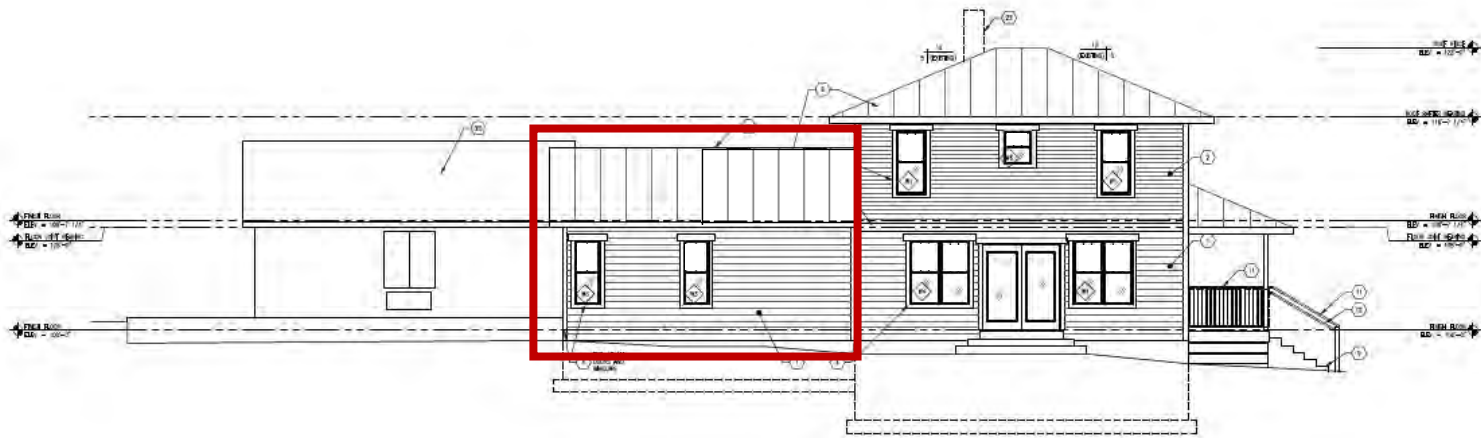
Thank you for consideration. We are both humbled and proud to add our names to the Boshears, Dillard, Hays, and Stalcup families who knew the house at 812 South Morton as a home where adults and children lived, loved, and welcomed co-workers, friends, family members, and neighbors.

4. DRAWING OF PROPOSED ADDITION

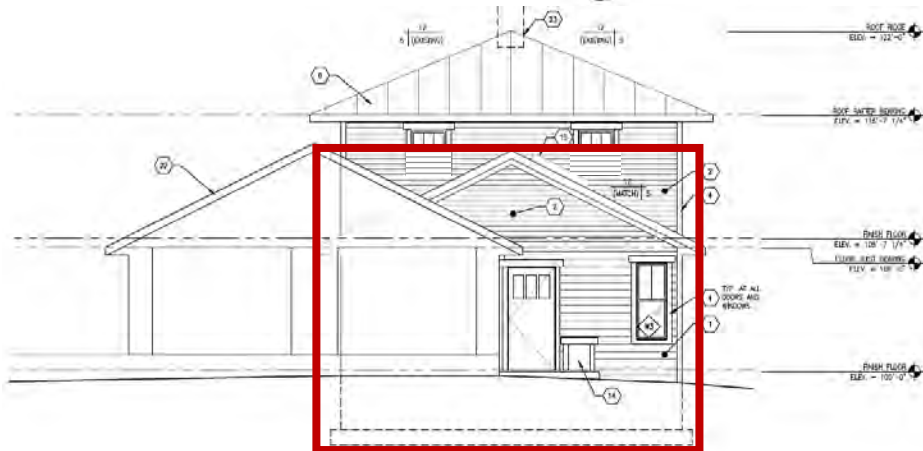
(Taken from Original Professional Architectural Drawings Submitted to and approved by the Monroe County Building Department)



1 NORTH ELEVATION



1 SOUTH ELEVATION



2 WEST ELEVATION

4. LIST OF PROPOSED MATERIALS



Standing Seam Metal Roof of Non-Reflective Material by Firestone®



Craftsman Style Steel Exterior Door by Jeld-Wen®



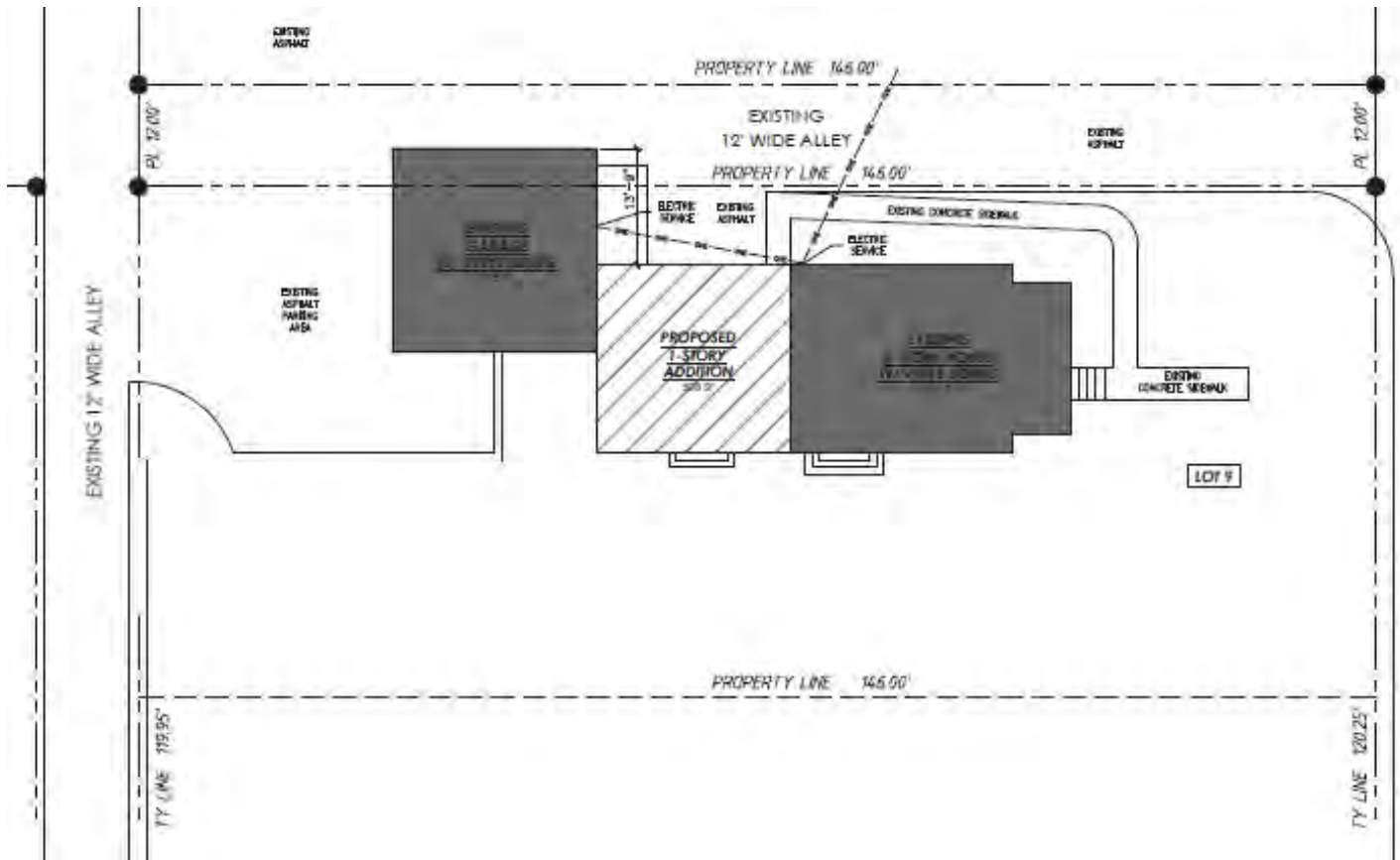
Clad Architectural Double Hung Windows by Sun Windows®

Cement Siding
HardiePanel® Board and Batten Pattern
or
HardiePlank® Lap Siding Pattern



5. SCALED DRAWING OF 812 SOUTH MORTON STREET

Taken from professional architectural drawings for our home



5. SCALED DRAWING OF 812 SOUTH MORTON STREET
Taken from Monroe County Elevate Database



6. EXTERIOR PHOTOS OF OUR HOME AND IMMEDIATE SURROUNDINGS



North side of Home from Morton Street



South side of Home from Morton Street



Alley on North side of House



Existing House and Garage from Vacant Lot to the South



Space between existing House and Garage where proposed addition is planned to be built.



View of Alley from existing Garage Door on West side of Garage

6. EXAMPLES OF NEIGHBORING ARCHITECTURE



SUPPLEMENT – CERTIFICATE OF APPROPRIATENESS FOR EXISTING STRUCTURE

CERTIFICATE OF APPROPRIATENESS

Issued by the City of Bloomington Housing and Neighborhood
Development Department

Address of Historic Property:

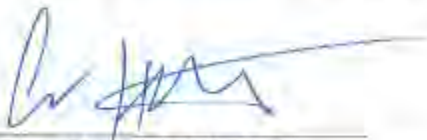
812 S. Morton Street
Bloomington, Indiana

Summary of Work Approved:

*Several alterations to the structure to include; removal of chimney, replacement of asphalt shingle roof with non-reflective, standing seam metal roof, Replacement of 1/1 vinyl windows with aluminum double clad windows of the same size and pane configuration, replace wooden doors with three panel Craftsmen style steel doors and install single pane storm doors, install steel railing on porch steps, remove vinyl siding. **CONDITION:** Replacement siding must be either wood or fiberous cement material (i.e. HardieBoard), and the reveal of the siding must be between 3 to 5-3/8 inches.*

A copy of the complete approved plans may be obtained from the Department of Housing and Neighborhood Development Office located at City Hall, 401 N. Morton Street, Suite 130 under case number **COA 19-70**.

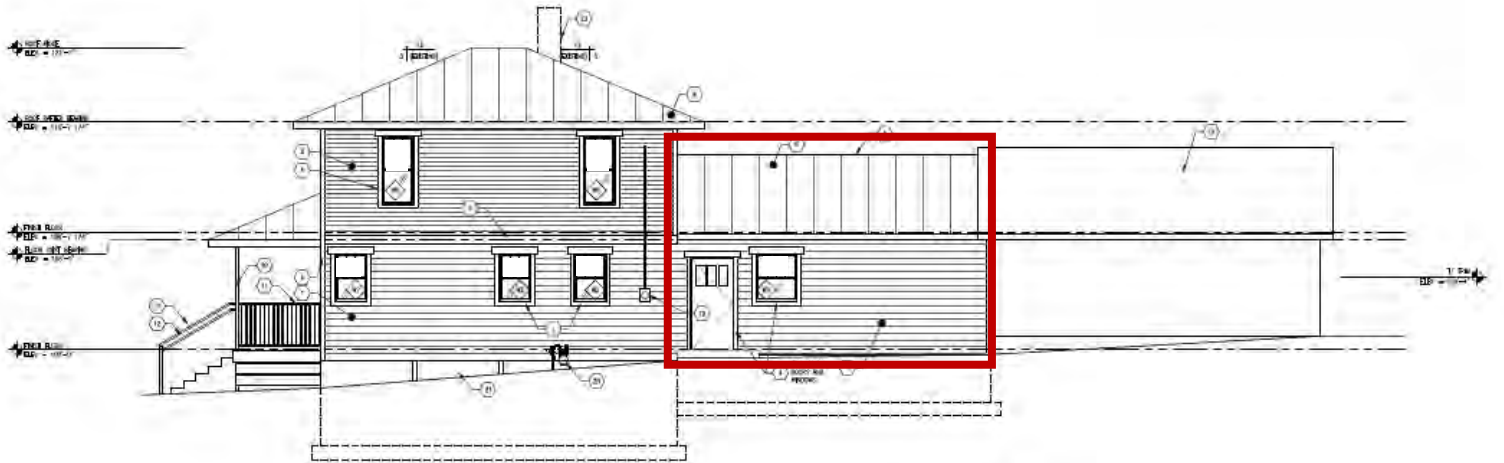
This Certificate is effective for two years following the date of issue. Exterior work outside of the scope of this approval is not permitted and subject to fines outlined in Municipal Code, Title 8, Chapter 8.16.020.



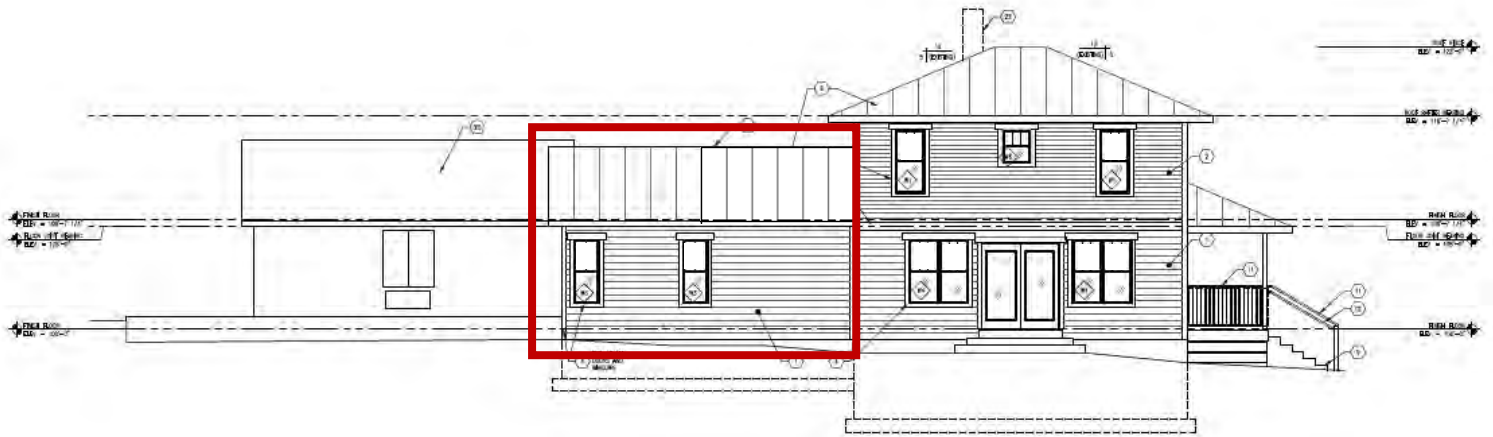
Conor Herterich, City Staff
Historic Preservation Program Manager

Approved: December 17, 2019

DRAWING OF PROPOSED ADDITION
(Taken from Original Professional Architectural Drawings
submitted to and approved by the Building Department)



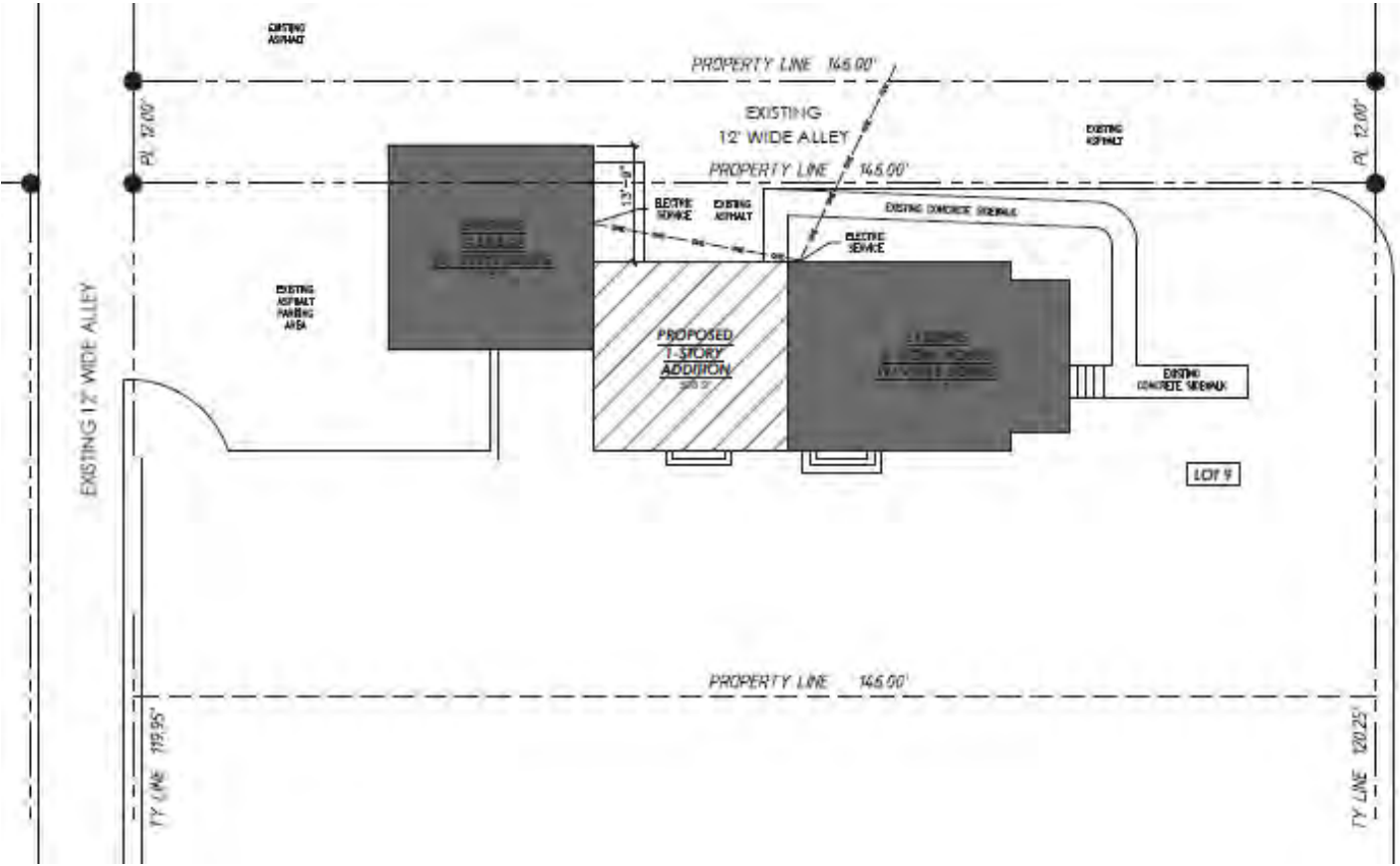
1 NORTH ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

SCALED DRAWING OF 812 SOUTH MORTON STREET

Taken from professional architectural drawings for our home



SCALED DRAWING OF 812 SOUTH MORTON STREET
Taken from Monroe County Elevate Database



EXTERIOR PHOTOS OF OUR HOME AND IMMEDIATE SURROUNDINGS



North side of Home from Morton Street



South side of Home from Morton Street



Alley on North side of House



Existing House and Garage from Vacant Lot to the South



Space between existing House and Garage where proposed addition is planned to be built.



View of Alley from existing Garage Door on West side of Garage

PETITIONERS' STATEMENT

We respectfully request Certificate of Appropriateness (COA) for an addition to our residence at 812 South Morton Street in the McDoel Historic District. We have a COA for the existing house structure and will use the same materials as were approved for that project.

Sitting atop a hill overlooking Morton Street, the existing house structure was built in 1925 and served as a single-family owned residence for 69 years before becoming an investment property for the last two individuals who held title to the property. The garage was added in 1954 and it seems that a concrete floor was poured in 1960. Neighborhood lore has it that new drywall, insulation, wiring, and a heating and cooling unit was added in the early part of this century as part of a project to convert the garage to office space. The north side of the garage encroaches on the alley by approximately 4.5 feet.

We are committed to this neighborhood and this property as place to age in place. Many of our adjacent future neighbors, and principal authors of the McDoel Historic District Design Guidelines, have greeted us warmly and are supportive of us transforming what had become a stagnant commercial space, and more recently a vacant structure where drugs were consumed on the porch, back into a vibrant home where friends, loved ones, and neighbors gather.

We have studied the history of the neighborhood and legacy of the house. For 69 years, it served as a home to common laborers who tarried for the Fagan Stone Company, Indiana University, the Monon Railroad, Monroe County Schools, and the Radio Corporation of America. We seek to restore this legacy and make the house a signature of hospitality and vitality on our side of the B Line Trail.

The aims of the McDoel Historic District Guidelines affirm our approach to renewing this home:
"Livability should be supported by maintaining affordability and property values, fostering energy conservation, fostering the visual compatibility of the neighborhood, promoting aging in place, and sustaining the character of contributing buildings."

The new addition will add approximately 500 square feet to the property, providing a master bedroom and bathroom, laundry facilities, a half-bathroom, and connect the garage to the house to make the first floor accessible in the event we experience mobility issues as we age in this, our last home. We propose using the same roofing, siding, windows, and doors as approved for the existing house. We are open to using different siding materials if the Bloomington Historic Preservation Commission feels that it is important to differentiate the addition and garage from the original house.

Thank you for consideration. We are both humbled and proud to add our names to the Boshears, Dillard, Hays, and Stalcup families who knew the house at 812 South Morton as a home where adults and children lived, loved, and welcomed co-workers, friends, family members, and neighbors. Approval of this variance will allow us to develop this property for ourselves and the future generations of McDoel Gardens.

EXAMPLES OF NEIGHBORING ARCHITECTURE



COA: 20-9

Address: 410 W. Smith Avenue

Petitioner: Brian O'Quinn

Parcel #: 53-08-05-101-005.000-009

Rating: Contributing



Structure; Side Gable c. 1930



Background: Located in the Greater Prospect Historic District, zoned RC. Has a separate address from primary structure on the lot.

Request: Several alterations to include:

1. Replacement of gable roof with asphalt shingle shed style roof.
2. Replacement siding with fiber cement board and batten.
3. Replacing and reorienting windows. Wood or aluminum clad wood awning windows for the longer horizontals and casement windows on the east and west sides (taller to satisfy secondary egress requirement for dwelling).

Guidelines: Greater Prospect Hill District Design Guidelines, pgs 12.

Recommendation: Defer to the HPC with the following comments:

1. Staff finds that it is likely that the ADU is from the same era of construction as the primary house on the lot (c. 1930).
2. The GPH guidelines do not differentiate between primary and accessory structures in the section applicable to this project “changes to the public way façade”.
3. Staff finds that the proposed changes are enough to downgrade the status to “non-contributing”, however; this is an accessory structure, and will remain subordinate in size to the primary structure on the lot. Staff finds that the use of non traditional roof and siding styles can be reasonably accommodated without a detrimental impact to the historic character of the area.

B. CHANGES TO THE PUBLIC WAY FAÇADE

The following Public Way Façade guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.

Changes to the public way façade shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: The **public way façade** refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
2. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
3. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

Prioritize the retention of the roof's original shape as viewed from the public way façade. Chimneys may be removed unless they are an outstanding characteristic of the property.

C. REMOVAL OF ORIGINAL MATERIALS

The following Removal of Original Materials guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.

Removal of original materials shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: In general, **original material** refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles.
2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.
3. Regarding removal of original siding, we encourage flexibility. If the homeowner wishes to use another material, then it should be consistent with the appearance of the original material.
 - Horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
 - Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
 - Vinyl or aluminum may be used as the primary exterior siding, although if underlying original materials remain (e.g., door and window trim, clapboard), care should be taken during installation of newer materials to protect them from cuts and removal (to preserve for possible future restoration). Vinyl and aluminum siding are also acceptable if used as a continuation of what is currently on the structure.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: 20-9
Date Filed: 2-7-2020
Scheduled for Hearing: 2-27-2020

Address of Historic Property: 410 W. Smith Ave.
Petitioner's Name: Brian O'Quinn
Petitioner's Address: 417 W. Prospect St.
Phone Number/e-mail: 518-330-1300 / bko1300@gmail.com
Owner's Name: same
Owner's Address: _____
Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. Existing ADU behind 350 S. Madison St.

2. A description of the nature of the proposed modifications or new construction:
I would like to change the roof to a single plane shed roof to take advantage of the south facing exposure. It needs to be rebuilt regardless because of serious termite damage.

Replacing rotten T111 with a fiber cement board and batten

Replacing and orienting windows to better suit the house. Existing windows are vinyl basement sliders and alley side are wood but are pretty badly water and termite damaged

3. A description of the materials used.
Dimensional asphalt shingles

Cement board / Boral

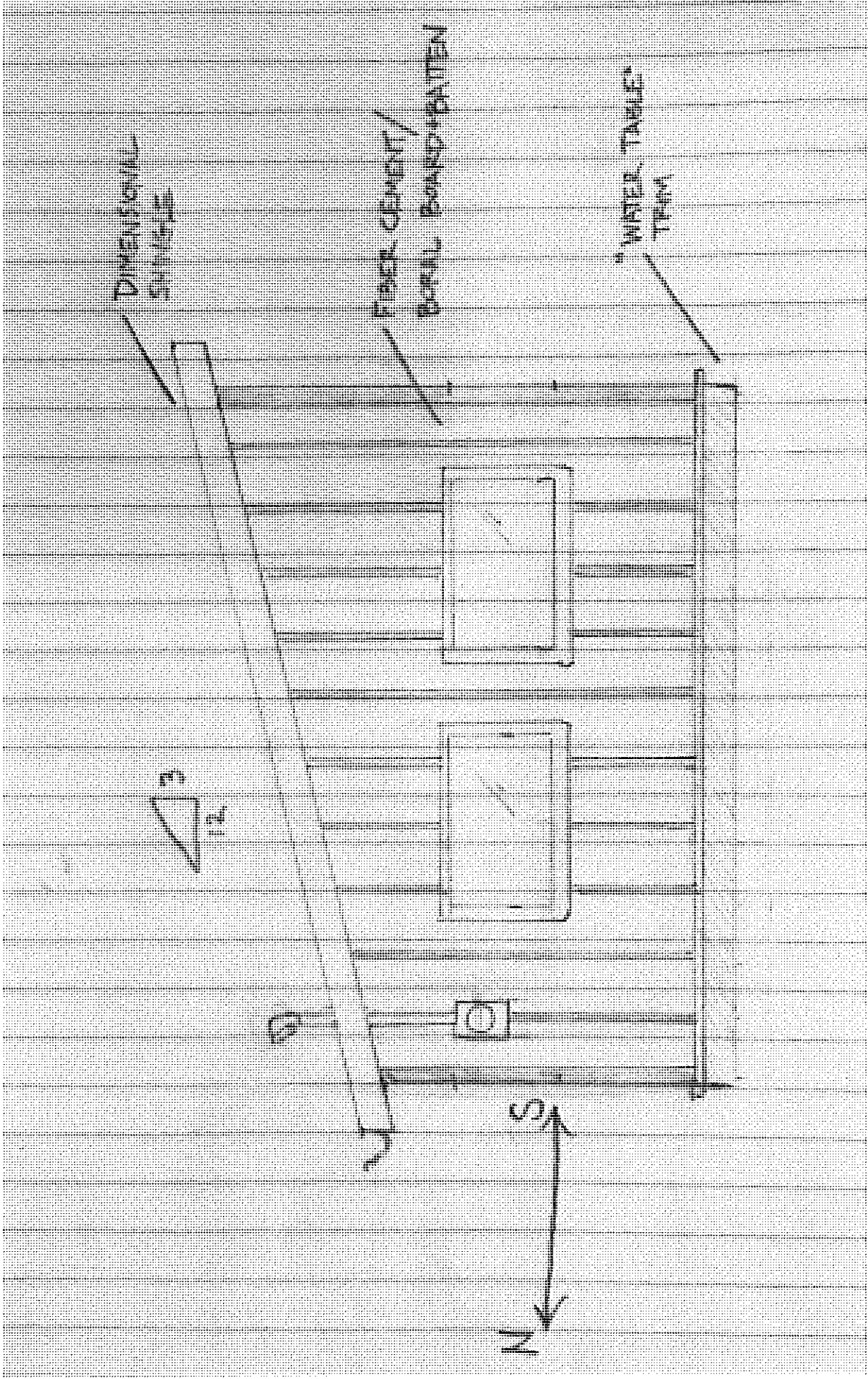
Windows to be decided

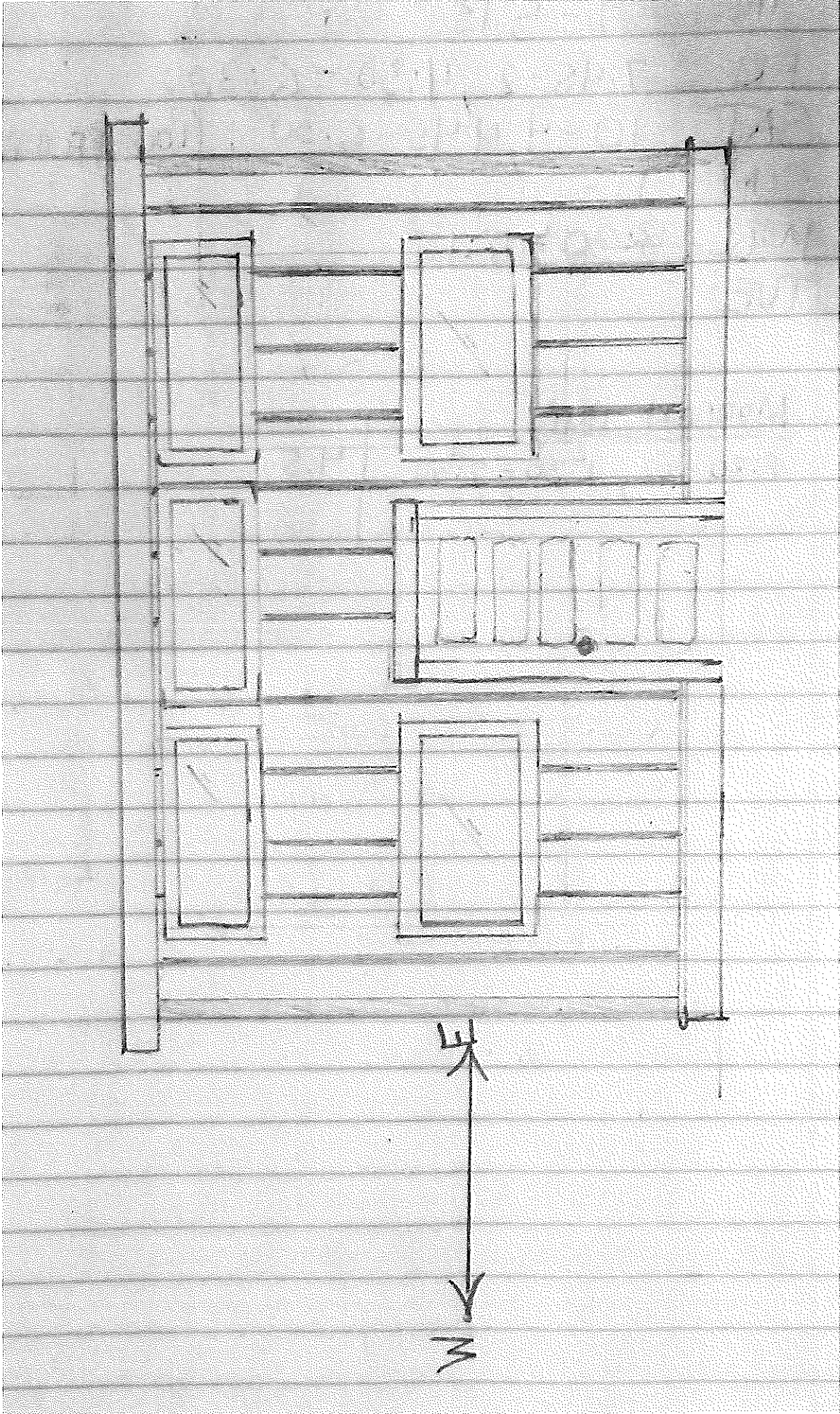
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

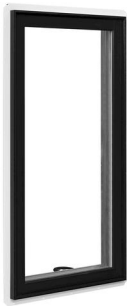
5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.









COA: 20-9

Address: 410 W. Smith Avenue

Petitioner: Brian O'Quinn

Parcel #: 53-08-05-101-005.000-009

Rating: Contributing



Structure; Side Gable c. 1930



Background: Located in the Greater Prospect Historic District, zoned RC. Has a separate address from primary structure on the lot.

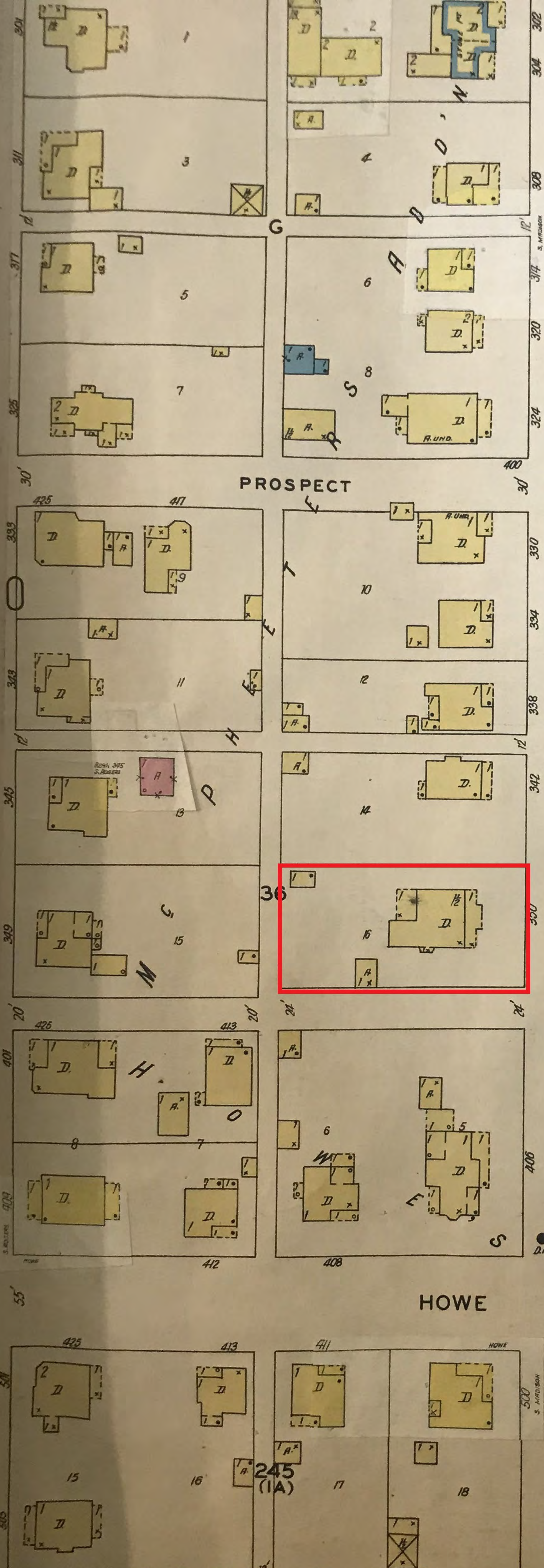
Request: Several alterations to include:

1. Replacement of gable roof with asphalt shingle shed style roof.
2. Replacement siding with fiber cement board and batten.
3. Replacing and reorienting windows. Wood or aluminum clad wood awning windows for the longer horizontals and casement windows on the east and west sides (taller to satisfy secondary egress requirement for dwelling).

Guidelines: Greater Prospect Hill District Design Guidelines, pgs 12.

Recommendation: **Defer to the HPC** with the following comments:

1. Staff finds that it is likely that the ADU is from the same era of construction as the primary house on the lot (c. 1930).
2. The GPH guidelines do not differentiate between primary and accessory structures in the section applicable to this project “changes to the public way façade”.
3. Staff finds that the proposed changes are enough to downgrade the status to “non-contributing”, however; this is an accessory structure, and will remain subordinate in size to the primary structure on the lot. Staff finds that the use of non traditional roof and siding styles can be reasonably accommodated without a detrimental impact to the historic character of the area.



1927 Sanborn





410





COA: 20-11

Address: 1009 W. 9th Street

Petitioner: Marc Cornett

Parcel #: 53-05-32-403-016.000-005

Rating: N/A

Structure; New Construction



North Elevation - Front (facade option)



East Elevation - Side (Gable Porch Roof - option)

Background: Located in the Near West Side Conservation District, the new construction would be a single family residential home. No variances are needed.

Request: New construction of a primary structure.

1. Stylistically the design is similar to an American Foursquare.
2. Setback will match setback of previous house on lot within a few inches.
3. Materials List: Foundation (CMU) Siding (painted cement board lap) Windows (HPC pick) Primary Roof (asphalt shingles) Porch Roof (asphalt shingle or SS metal)

Guidelines: Under construction

Recommendation: **APPROVE COA 20-11** with the following comments:

1. Staff finds that the height, scale, massing, and setback of the proposed structure is compatible with those found in the district.
2. Staff find that the proposed design differentiates itself from the district's historic buildings through the fenestration, contrast of upper level siding, and foundation material.
3. Staff finds that the proposed design meets the compatible yet differentiated standard required for new construction in a conservation district and recommends approval.

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: 20-11

Date Filed: 2-14-2020

Scheduled for Hearing: 2-27-2020

Address of Historic Property: 1009 W. 9th St.

Petitioner's Name: MARC CORNETT

Petitioner's Address: 101 E. KIRKWOOD AVE., BLOOMINGTON, IN 47408

Phone Number/e-mail: (812) 325.5964 / marccornett2016@gmail.com

Owner's Name: REYNARD CROSS, W. Ninth BLOOMINGTON, LLC

Owner's Address: 940 N. JACKSON ST. 47404

Phone Number/e-mail: (812) 349-8018 / reyacross@gmail.com

Instructions to Petitioners

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Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 1009 W. 9th St - (013-23300-00 FAIRVIEW LOT 54)

2. A description of the nature of the proposed modifications or new construction:

THE OWNER PROPOSES TO BUILD A NEW 'FOUR SQUARE'
HOUSE THAT INCLUDES 3 BEDROOMS. IT WILL BE
TRADITIONALLY PATTERNED TO RESPECT THE TYPES
FOUND IN THE HISTORIC CORE NEIGHBORHOOD.

3. A description of the materials used.

FOUNDATION - CMU, SIDING - PAINTED CEMENT LAP, PANEL
and BATTEN OR SHINGLE STYLE (3) OPTIONS WITH 6" x 4" LAP.
TRIM - PAINTED COMPOSITE, ROOFS - MAIN - SHINGLES,
PORCHES - SHINGLE OR STANDING SEAM METAL,
PORCH TRIM + RAILINGS - PAINTED 1X and 2X COMPOSITE
PICKETS and TOP + BOTTOM RAILS,
WINDOWS - VINYL, FIBERGLASS OR CLAD DOUBLE HUNG and
AWNING STYLE (IN BATHS)

-SEE ELEVATIONS -

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

A.



North Elevation - Front (facade option)

1009 W. Ninth St.

copyright © 2020 Marc Cornett

'Four Square' House Pattern

Owner: Reynard Cross, W. Ninth Bloomington, LLC

A.



North Elevation - Front (facade option)

1009 W. Ninth St.

copyright © 2020 Marc Cornett

'Four Square' House Pattern

Owner: Reynard Cross, W. Ninth Bloomington, LLC

B.



North Elevation - Front (facade option)

1009 W. Ninth St.

copyright © 2020 Marc Cornett

'Four Square' House Pattern

Owner: Reynard Cross, W. Ninth Bloomington, LLC

Owner: Reynard Cross, W. Ninth Bloomington, LLC



East Elevation - Side (Gable Porch Roof - option)

Main Floor Plan - 768 SF

'Four Square' House Pattern

1009 & 1017 W. Ninth St.

Upper Floor Plan - 768 SF

Owner: Reynard Cross, W. Ninth Bloomington, LLC



West Elevation - Side (Hip Porch Roof - option)

Main Floor Plan - 768 SF

'Four Square' House Pattern

1009 & 1017 W. Ninth St.

Upper Floor Plan - 768 SF



South Elevation - Rear

1009-1017 W. Ninth St. copyright © 2020 Marc Cornett

'Four Square' House Pattern

Owner: Reynard Cross, W. Ninth Bloomington, LLC

COA: 20-12

Address: 1017 W. 9th Street

Petitioner: Marc Cornett

Parcel #: 53-05-32-403-014.000-005

Rating: N/A

Structure; New Construction



North Elevation - Front (facade option)

Background: The petitioner has a few versions of the Foursquare design that offer differing porch, fenestration, and siding patterns and is open to feedback from the HPC to guide final selections.

Request: New construction of a primary structure.

1. Stylistically the design is similar to an American Foursquare.
2. Setback will match setback of previous house on lot within a few inches.
3. Materials List: Foundation (CMU) Siding (painted cement board lap) Windows (HPC pick) Primary Roof (asphalt shingles) Porch Roof (asphalt shingle or SS metal)

Guidelines: Under construction

Recommendation: **APPROVE COA 20-11** with the following comments:

1. Staff finds that the height, scale, massing, and setback of the proposed structure is compatible with those found in the district.
2. Staff find that the proposed design differentiates itself from the district's historic buildings through the fenestration, contrast of upper level siding, and foundation material.
3. Staff finds that the proposed design meets the compatible yet differentiated standard required for new construction in a conservation district and recommends approval.

APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS

Case Number: 20-12

Date Filed: 2-14-2020

Scheduled for Hearing: 2-27-2020

Address of Historic Property: 1017 W. 9th St.

Petitioner's Name: MARCO CORNETT

Petitioner's Address: 101 E. KIRKWOOD AVE., BLOOMINGTON, IN 47408

Phone Number/e-mail: (812) 325-5964 / marccornett2016@gmail.com

Owner's Name: REYNARD CROSS, W. Ninth BLOOMINGTON, LLC

Owner's Address: 940 N. JACKSON ST. 47404

Phone Number/e-mail: (812) 349-8018 / reyacross@gmail.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 1017 W. 9th St - (013-23290-00 FAIRVIEW LOT 56)

2. A description of the nature of the proposed modifications or new construction:

THE OWNER PROPOSES TO BUILD A NEW 'FOUR SQUARE'
HOUSE THAT INCLUDES 3 BEDROOMS. IT WILL BE
TRADITIONALLY PATTERNED TO RESPECT THE TYPES
FOUND IN THE HISTORIC CORE NEIGHBORHOOD.

3. A description of the materials used.

FOUNDATION - CMU, SIDING - PAINTED CEMENT LAP, PANEL
and BATTEN OR SHINGLE STYLE (3) OPTIONS WITH 6" x 4" LAP.
TRIM - PAINTED COMPOSITE, ROOFS - MAIN - SHINGLES,
PORCHES - SHINGLE OR STANDING SEAM METAL,
PORCH TRIM + RAILINGS - PAINTED 1X and 2X COMPOSITE
PICKETS and TOP + BOTTOM RAILS,
WINDOWS - VINYL, FIBERGLASS OR CLAD DOUBLE HUNG and
AWNING STYLE (IN BATHS)

- SEE ELEVATIONS -

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



North Elevation - Front (facade option)

1017 W. Ninth St.

copyright © 2020 Marc Cornett

'Four Square' House Pattern

Owner: Reynard Cross, W. Ninth Bloomington, LLC



North Elevation - Front (facade option)

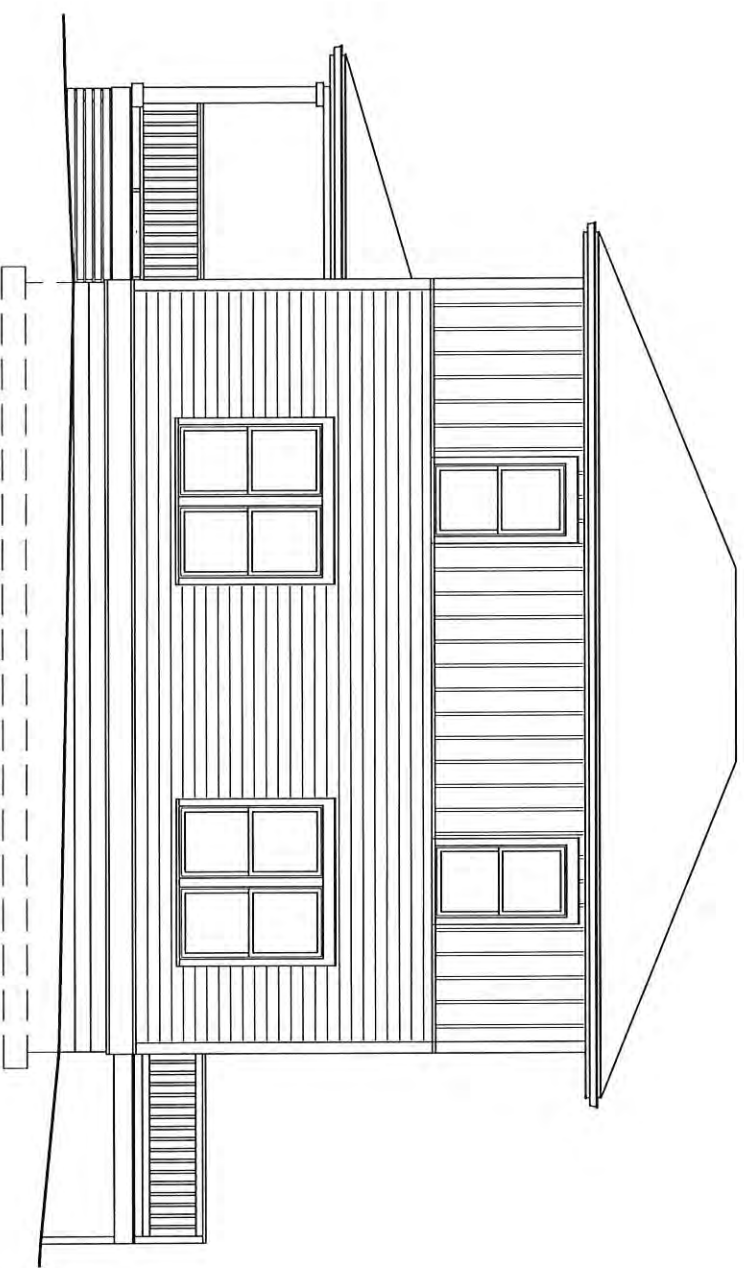
1017 W. Ninth St.

copyright © 2020 Marc Cornett

'Four Square' House Pattern

Owner: Reynard Cross, W. Ninth Bloomington, LLC

Owner: Reynard Cross, W. Ninth Bloomington, LLC



West Elevation - Side

Main Floor Plan - 768 SF

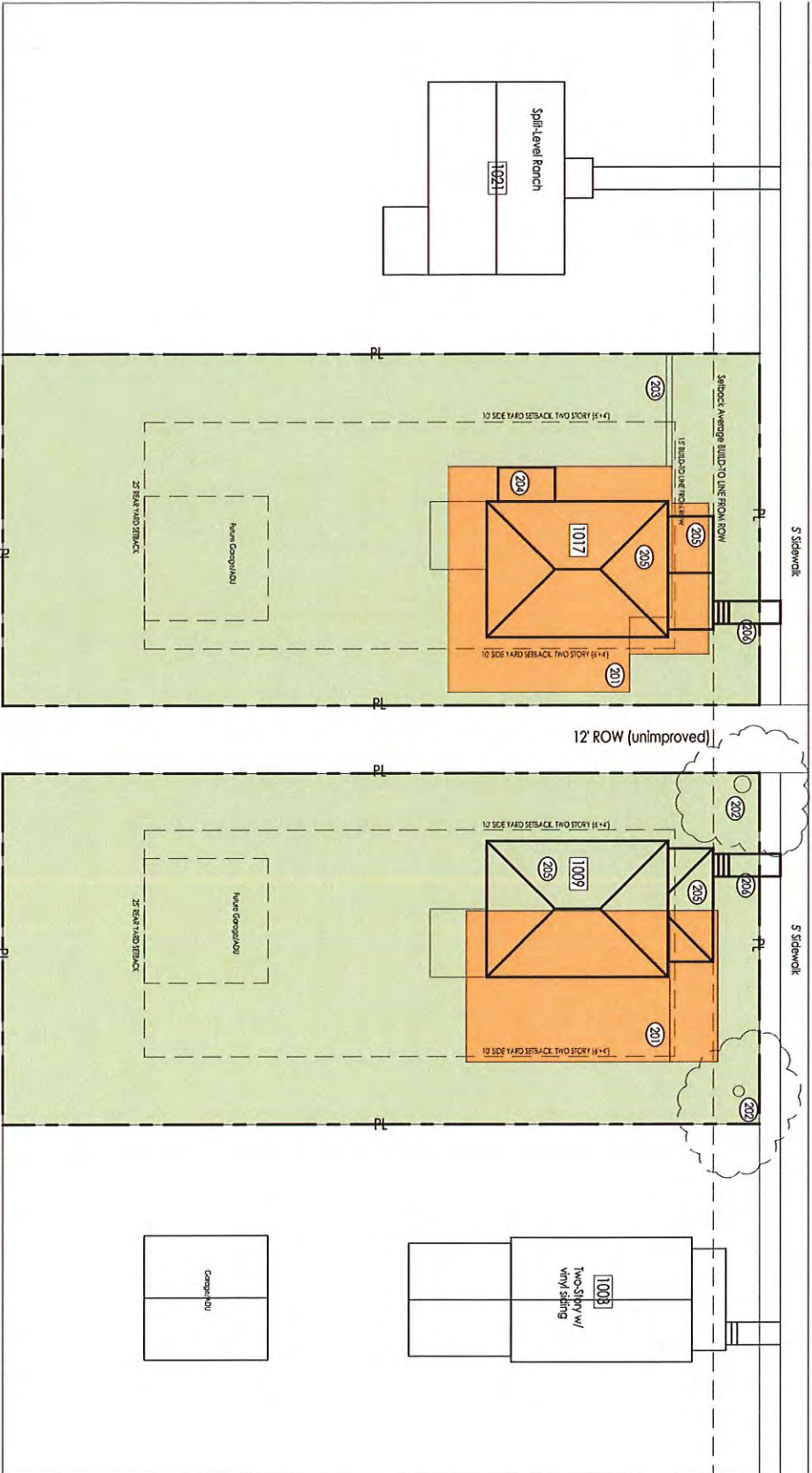
'Four Square' House Pattern

Upper Floor Plan - 768 SF

1009 & 1017 W. Ninth St.

5 Sidewalk
5 Tree Row

W. Ninth Street



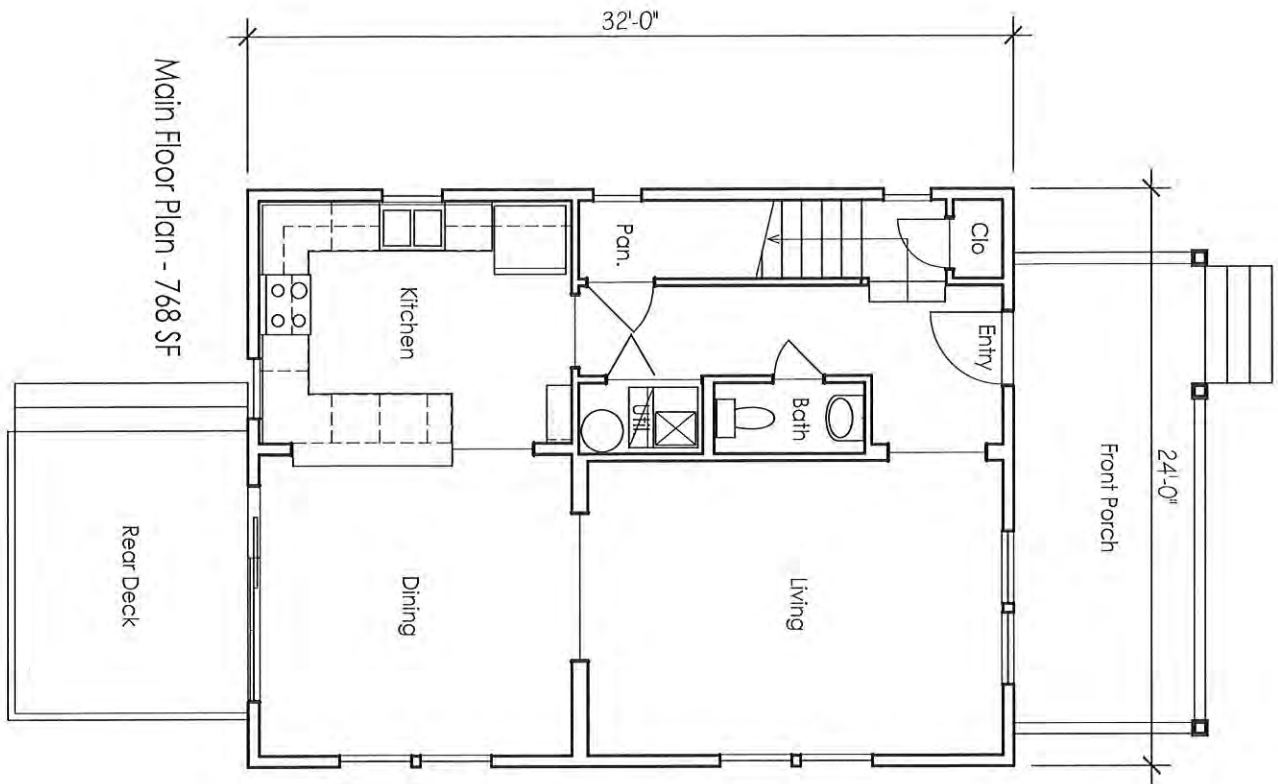
Site Plan



- 201 EXISTING HOUSE FOOTPRINT TO BE REMOVED.
- 202 EXISTING TREE TO REMAIN, TRIM and REMOVE DEAD LIMBS AS REQUIRED.
- 203 EXISTING STONE WALL AT GRADE CHANGE TO BE REMOVED.
- 204 EXISTING LOWER GRADE TO REMAIN / PROPOSED WALK-OUT CRAWLSPACE AREA.
- 205 PROPOSED NEW CONSTRUCTION FOOTPRINT.
- 206 PROPOSED NEW 4' SIDEWALK AND STEPS.

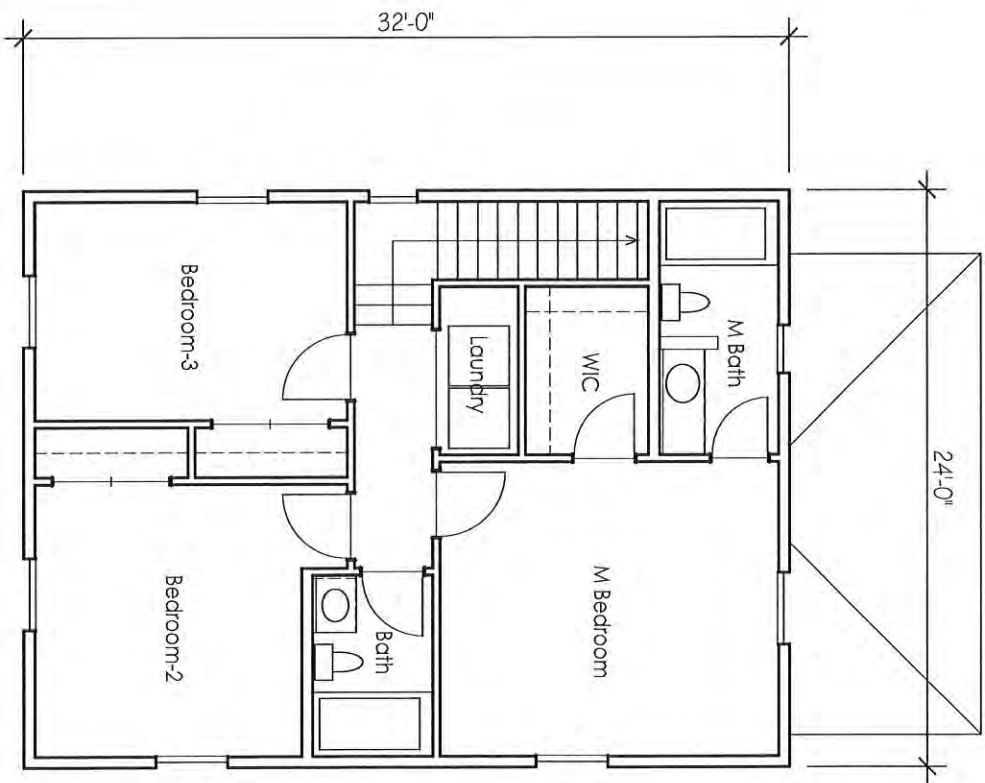
1009 and 1017 W. 9th St.

Owner: Reynard Cross, W. Ninth Bloomington, LLC



Main Floor Plan - 768 SF

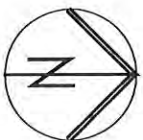
Rear Deck



Upper Floor Plan - 768 SF

'Four Square' House Pattern

1009 & 1017 W. Ninth St.



COA: 20-13

Address: 642 N. Madison Street

Petitioner: The Kiln Collective

Parcel #: 53-05-32-403-014.000-005

Rating: Contributing

Structure; Industrial, c. 1915



Background: Located in the Showers Brothers Furniture Factory Historic District, the adaptive reuse of this building is part of a larger initiative to utilize the historic Showers furniture buildings to contribute to the success of the City's Trades District.

Request: Adaptive reuse of the Kiln to convert to office/commercial space.

1. Conversion of original bay openings into glass framed entrances.
2. Two story rooftop addition.
3. Materials List: Aluminum clad Pella lifestyle windows/ standing seam metal siding/ flush panel metal siding/ wood soffit material/ reuse of original Kiln brick.

Guidelines: Showers Brothers Furniture Factory Design Guidelines, pgs. 4, 5, 8, 16-18.

National Park Service Preservation Brief 14: New Exterior Additions to Historic Buildings, pgs 15-18.

Please find applicable guidelines on the pages following the staff report.

Recommendation: On the next page.

COA: 20-13

Recommendation: DEFER to HPC with the following comments:

- Staff identifies the following character-defining features to be preserved: Use of red brick, five bays on the west wall, the outline of rectangular recessed walls that feature large pilasters and are topped by a corbelled brick cornice.
- Staff finds that the size and massing of the rooftop addition overwhelms the Kiln's proportions and profile and that rooftop additions are generally not advisable for historic one story structures, especially when the addition adds more than a story in height.
- Staff finds that the above mentioned issues are somewhat mitigated by the following:
 - The set back of the additional levels from the primary elevation of the Kiln helps soften the visual impact of the additional stories.
 - The Kiln's roof is not a character defining feature so a rooftop addition will not result in the loss of such a feature.
 - The recognition that any adaptive reuse project that seeks to utilize the building for office/commercial space is going to demand severe alterations because the Kiln was originally constructed to dry lumber, not house a modern workforce.
- Ultimately, staff finds that after review of the historic district design guidelines and federal preservation literature, the design as proposed should not be approved, however; staff also recognizes that the adaptive reuse of the Kiln is a unique and difficult challenge because of the building's design, and that any reuse of the building to meet modern commercial needs will require creative solutions that must come at the expense of its historic materials, features, and form.

3. Administration Building 1916

The Administration Building, completed in 1916, is the most elegant building in the collection. The architect of this building is J.L. Nichols, one of Bloomington's earliest native architects. *The Indianapolis Sunday Star* (August 27, 1916) described it as "...built of Oriental brick and occupies ground space of 60x114 feet. It is three stories high, counting the basement and is entirely fireproof. The cost was \$30,000." It contained an assembly hall which seated 900 people. It was called at this time, "The prettiest building in Bloomington." The building is divided into three horizontal sections: a high water table (or piano nobile) articulated with alternating brick courses and limestone caps; a mid-section with steel casement windows; and a cornice above a partial limestone frieze with several high parapets masking a bow truss roof. Brick pilasters are topped and anchored by limestone details.

4. Dry Kilns Building

The Kin Building is located north of the Planning Mill and is a rectangular brick multi-wythe building (approx. 107' x 50'). The interior of the building is divided into five bays accessed by replacement docking doors. The west side of the building contained the loading facilities and large paired doors once lined this elevation. Other than the west side, there are few openings. The east side of the building runs along the alley at a one story level showing massive brick pilasters and blank recessed brick walls topped by a corbelled brick cornice. The reuse of this building will involve creating appropriate openings to bring light into the building, which is closed on two sides.

Character Defining Features

A large group of people, representing both current and prospective owners, participated in the discussions to develop these Showers Brothers Furniture Factory Buildings Guidelines. During this analysis period, an effort was made to identify the design linkages among the individual buildings. These elements help the area cohere as a unique place and add value to the tech park redevelopment.

The most prominent feature is the universal use of red brick which links even the high style Administration Building to City Hall's functional Plant #1. Even the most utilitarian buildings in the complex feature limestone detailing on the windows and doors, which is used to punctuate the openings.

The iconic saw tooth roof, practically designed for light and ventilation, forms the silhouette of the two remaining factory buildings (Plant #1 and the Planning Mill) and has become the hallmark of the city in 20 short years since City Hall was renovated. Just as intrinsic to the group is the use of parapet walls. Similarly interpreted, the Administration Building has decorative parapet walls around the perimeter of the roof facing all four directions. The principal features face east and west. The Planning Mill has a continuous parapet wall along the alley parallel to Morton Street.

All four buildings have walls framed by pilasters and brick corbels several wythes deep in repeating and proportionate patterns. The classical revival Administration Building displays a much more elaborate interpretation of this same pattern, with pilasters topped by limestone capitals that support a wide limestone frieze. The outline of rectangular recessed walls is repeated even on this more architecturally complex office building. The other utilitarian factory buildings show plainer wall framing entirely in brick, and articulated by solids (pilasters) and voids (recessed panels)



Administration Building



Kin



Plant #1 (west side)



Plant #1 (looking south)

DESIGN GUIDELINES

1. General Prioritization of Decisions

The Commission's evaluation of an application will be based upon the degree to which proposed changes are in harmony with the character of this collection of thematic buildings in the old Showers campus. The statement of intent, or "Goals," at the beginning of each of the following sections of these Guidelines should serve to aid in identifying character-defining design features and the most sympathetic approach to proposed alterations. The following prioritized list of approaches to the Commission's decisions illustrates activities from the least amount of intervention to the greatest amount. The owner, manager or developer should follow them, in order, to ensure a successful project.

- A. *Identify, Retain, and Preserve the form and detailing of the materials and features that define the historic character of the structure, keeping in mind that the designated buildings share design elements that are enhanced by their thematic use on the old Showers campus.* These are basic treatments that should prevent actions that may cause the diminution or loss of the structure's overall historic character, or that of the old Showers campus. It is important to remember that loss of character can be caused by the cumulative effect of insensitive actions whether large or small.
- B. *Protect and Maintain the materials and features that have been identified as important and must be retained during the rehabilitation work.* Protection usually involves the least amount of intervention and is done before other work.
- C. *Repair the character-defining features and materials when it is necessary.* Repairing begins with the least amount of intervention possible. Patching, piecing-in, splicing, consolidating or otherwise reinforcing according to recognized preservation methods are the techniques that should be followed. Repairing may also include limited replacement in extremely deteriorated or missing part of features. Replacements should be based on surviving prototypes.
- D. *Replacement of entire character-defining features or materials follows repair when the deterioration prevents repair.* The essential form and detailing should still be evident so that the physical evidence can be used to re-establish the feature. If 60% of a window or parapet is intact then it should be repaired, rather than removed and replaced with new and compatible material. If there are multiple examples of a feature, or wholesale replacement is requested, then the decision will be based upon whether repair is technically or economically feasible. See Guidelines for Existing Structures (4. A. 3).
- E. *The preferred option, when replacement is necessary, is replacement of the entire feature in-kind using the same material.* Because this approach may not always be technically or economically feasible the Commission will consider the use of compatible substitute material. The Commission does not recommend removal and replacement of a feature that could be repaired.
- F. *Missing historic features should be replaced with new features that are based on adequate historical, pictorial and physical documentation.* The commission may consider a replacement feature that is compatible with the remaining character-defining features. The new design should match the scale, size, and material of the historic feature or may approximate it in simpler form.
- G. *Alterations or Additions that may be needed to assure the continued use of the historic structure or site should not radically change, obscure or destroy character-defining spaces, materials, features or finishes.* The Commission encourages new uses that are compatible with the historic structure or site and that do not require major alterations or additions.

3. General Guidelines

- A. The design approach to the buildings should begin with the premise that the features of historical and architectural significance described within these Guidelines should be preserved. In general, this will minimize alterations.
- B. Changes and additions to the building and its environment which have taken place in the course of time are evidence of the history of the property and the neighborhood. These changes may have developed significance in their own right, and if so, this significance should be recognized and respected.
- C. Deteriorated materials and/or features, whenever possible, should be repaired rather than replaced or removed.
- D. When replacement of features that define the historic character of the building is necessary, it should be based upon physical or documentary evidence of original or later contributing features.
- E. New materials should, whenever possible, match the material being replaced in physical properties and should be compatible with the size, scale, color, material and character of the property and its environment.
- F. New additions or alterations should not disrupt the essential form and integrity of the building and should be compatible with the size, scale, color, material and character of the building and its environment.
- G. New additions or related new construction should be differentiated from the existing fabric, thus should not necessarily be imitative of an earlier style or period.
- H. New additions or alterations should be done in such a way that if they were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.
- I. Surface cleaning shall use the mildest method possible. Sandblasting, wire brushing, power washing or other similar abrasive cleaning methods may not be permitted. Consult the following National Park Service technical reports on the appropriate treatment of historic materials. They are available online at <http://www.nps.gov/tps/how-to-preserve/briefs.htm>, including "The Dangers of Abrasive Cleaning to Historic Buildings Brief #6" and "Removing Graffiti from Historic Masonry Brief #38." Another accepted reference is "Keeping It Clean," also published by the National Park Service and available on-line at <http://www.nps.gov/tps/how-to-preserve/preservedocs/Keeping-It-Clean.pdf>.
- J. These Guidelines are not intended to prohibit the incorporation of new or existing technologies that enhance energy conservation, efficiency, or alternative energy generation for the buildings or for the Certified Technology Park.

4. Guidelines for Existing Structures

Goal: Existing contributing historic structures and their character-defining architectural features shall be preserved and repaired, rather than replaced, except as otherwise permitted herein.

A. Exterior Walls, General

See also all following sections for Guidelines pertaining to specific features of Exterior Walls.

1. Existing character-defining elements and features (decorative and functional) of exterior walls including masonry, wood, architectural metals, cornices, parapets, shutter hardware, tie rod plates, loading hoists, and other industrial features should be retained and repaired using recognized preservation methods, rather than replaced or obscured.
2. When character-defining elements and features (decorative and functional) of exterior walls cannot be repaired, they should be replaced with materials and elements which match the original in material, color, texture, size, shape, profile and detail of installation. Any replacement design for a fixture or window that is within the thematic group and that has been previously approved for a State or Federal tax credit project may be approved at the Staff level.
3. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.
4. Using existing openings is preferred, but new openings may be approved on a case-by-case basis.
5. Use of existing original openings in their original size and shape is preferred but other designs may be approved on a case-by-case basis.
6. Re-opening original openings which time have been over filled is encouraged.
7. New balconies or attached walkways must be made of compatible materials and may be approved on a case-by-case basis.



The Kiln, Planning Mill, and Plant #1 all have repeating patterns of corbels (built up wythes of brick), and piers (attached pilasters). The importance of these features should be kept in mind when designing new openings.

6. Guidelines for Additions to Existing Structures

Goal: The intent of these guidelines is to allow for the creation of additional space that is compatible with the massing, materials, texture, and scale of historic material; to guide the form and design of all new additions to the buildings; and, to ensure that new construction is compatible with the historic physical character of the building, allowing for contemporary expression.

A. Additions to Existing Structures

1. These guidelines apply only to facades that are open to view from any existing or proposed street or way that is open to public travel.
 2. According to Standard 9 of the Secretary of the Interior Standards for Rehabilitation, additions should be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the building.
 3. In general, new construction should reflect the period in which it was built and should not necessarily be imitative of an earlier style, period, or method of construction. However, new construction shall strive to relate to the urban context and the particular streetscape of which it is a part in building height, massing, setback, rhythm, scale, proportions, and materials.
 4. New construction has the potential for reinforcing and enhancing the unique character of the historic buildings. Proposals for new construction will be reviewed for compatibility with the existing architecture including review of such critical factors as building materials, existing buildings, visual association and urban context.
 5. New construction that is affixed to any portion of an existing building shall be designed so that the character defining features of the existing building are not substantially changed, obscured, damaged, or destroyed so that if the new construction were to be removed in the future, the essential form, detail, and overall integrity of the historic building would be unimpaired.
 6. The Commission encourages design features associated with new construction that are guided by sustainable building design principles provided such features are compatible with the character of the buildings that are thematically linked.
- B. Rooftop Additions (Including New Construction and Roofdecks)**
1. Rooftop additions may be considered if the underlying roof is not a character-defining feature (as in the saw tooth roofs of the Planning

Mill or Plant #1, for example).

2. Where permitted, care should be taken to make the rooftop addition minimally visible from existing or proposed streets and ways open to public travel. "Minimally visible" is defined as any rooftop addition which, when viewed from public ways, due to its placement and size does not call attention to itself nor detract from any significant architectural features.

3. All rooftop additions, including rooftop equipment and utilities, will be carefully reviewed on a case-by-case basis for their appropriateness of location and visibility. Additionally, the massing, materials, and details will be reviewed for their appropriateness and impact to the character-defining features of the thematic Showers buildings.

4. Rooftop additions that contribute to the sustainability, energy conservation and efficiency, or alternative energy generation of the building and/or of the Certified Technology Park will receive favorable consideration during the review of items in Criterion #2 above.

C. Utilities

1. The location of mechanical and/or electrical equipment, stair or elevator head houses, satellite dishes, antennas and other communication devices should be integrated into the design of the new addition so as to minimize the visibility of the utilities. When located on the roof, such equipment should be set back as to minimize visibility from an existing or proposed street or way that is open to public travel (see above Rooftop Additions section)



There are several examples of existing additions that are either non-contributing or may require redesign for more practical use.

7. Guidelines for Signage

Goal: Due to the industrial nature of the Showers Furniture Factory, Plant #1, the Kohn, and Planning Mill, the buildings were not designed with public signage in mind, as was the case for historic retail buildings on the Courthouse Square. As a result, a particularly difficult challenge in adapting the buildings for reuse is the creation of sensitive signage plans. Fortunately, the signage plans developed by CFC Properties, the City of Bloomington, and Indiana University for Plant #1 were very skillfully done. These signage guidelines seek to continue and build upon that success.

As a general rule, new signs should preserve, complement, and enhance, rather than compete with, the character of historic buildings and the surrounding district. Careful consideration should be given to historic context, building forms, and site layout when selecting, designing, and reviewing new signage. While some signage may be allowed under zoning ordinances, they may not be appropriate for the buildings.

This section contains guidelines for all signs as follows:

- General
- Freestanding signs
- On building signs
- Awning and canopy signs
- Window signs

General

1. The development of a master signage plan for each building or group of buildings re-developed together is encouraged. Such plans should be created at the time of restoration planning so as to guide individual sign design and location decisions, present a coordinated and harmonious appearance, and minimize damage to historic fabric. This exercise is particularly important when a building will contain multiple businesses, in which case signage should be grouped in directory signs whenever possible.

2. Preference should be given to ground signs and attachment of signage to building additions rather than directly to historic fabric.

3. The scale of signage should be in proportion to the façade, respecting the building's size, scale and mass, height, and rhythms and sizes of windows and door openings.

4. Obscuring historic building features such as cornices, gables, pilasters, or other decorative elements with new signs is discouraged.

5. Use of natural materials such as painted wood, stone (ground signs), iron, steel, and aluminum is encouraged.

6. If signage must be illuminated, the use of indirect or bare-bulb sources that do not produce glare is the preferred method of illuminating signs. Internal illumination is discouraged.

7. Original Showers Company signage areas should be preserved and remain visible (i.e., Administration Building).

Freestanding signs

1. Freestanding signs are the most appropriate signage for the buildings. Such signs are best suited for contexts in which building forms are set back from the street, where buildings were not designed with signage in mind, or where historic Showers signage occupies logical sign locations.

2. Since the historic buildings and not the grounds are designated as historic, it is not necessary to get a Certificate of Appropriateness for new ground signs, or to change existing ground signs.

On building signs

1. Attaching signage to building additions rather than historic fabric is encouraged.

2. In situations where signage is directly attached to historic fabric, it should be installed in a manner which allows for updates and/or new tenant signage without drilling into stone, brick, or even mortar. By way of example, preference should be given to signage affixed to a semi-permanent sign backer board, sign frame, or other re-usable attachment point(s) over signage that is directly affixed to the building. If signage or signage parts must be attached directly to the building, it should be attached to wood or to mortar rather than directly into stone or brick.

3. Building-mounted signage should be modest in scale and design so as not to compete with the building's historic character.

4. Wall signs should be located above storefront windows and below second story windows.

Awnings and Canopies

1. Attachment of awnings and canopies to existing buildings is generally discouraged, but may be considered on a case-by-case basis.

2. Awnings or canopies should be mounted in a manner which does not damage historic building elements.

3. Awning and canopy materials should be canvas or metal, in a shape that reflects the door or window openings they cover, and any signage lettering

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: 20-13

Date Filed: 2-20-2020

Scheduled for Hearing: 2-27-2020

Address of Historic Property: 600 Block, North Madison St.

Petitioner's Name: The Kiln Collective

Petitioner's Address: 700 N Rogers

Phone Number/e-mail: don@bailey-weiler.com / 812-330-1169

Owner's Name: Same

Owner's Address: Same

Phone Number/e-mail: Same

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. N/A

2. A description of the nature of the proposed modifications or new construction:
The proposed modifications include the addition of two additional stories on top of the existing structure,
circulation spaces between the two existing buildings on the site, and restoration of the existing brick masonry.
A new entrance off the eastern alley will allow accessible access to all but one of the business spaces.
New openings will be created in the Power House and on the north side of the Kiln building facing 11th St.

3. A description of the materials used.
The primary first floor exterior materials will consist of corbeled red brick matching the existing brick and mortar.
The second and third floor materials will be primarily matte black standing seam and flush metal panels.
The secondary second and third floor materials will be local hardwood (ash, hickory, or oak) and glazing.
There are no existing windows. The proposed windows will be black aluminum wood clad windows and black frame storefront.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

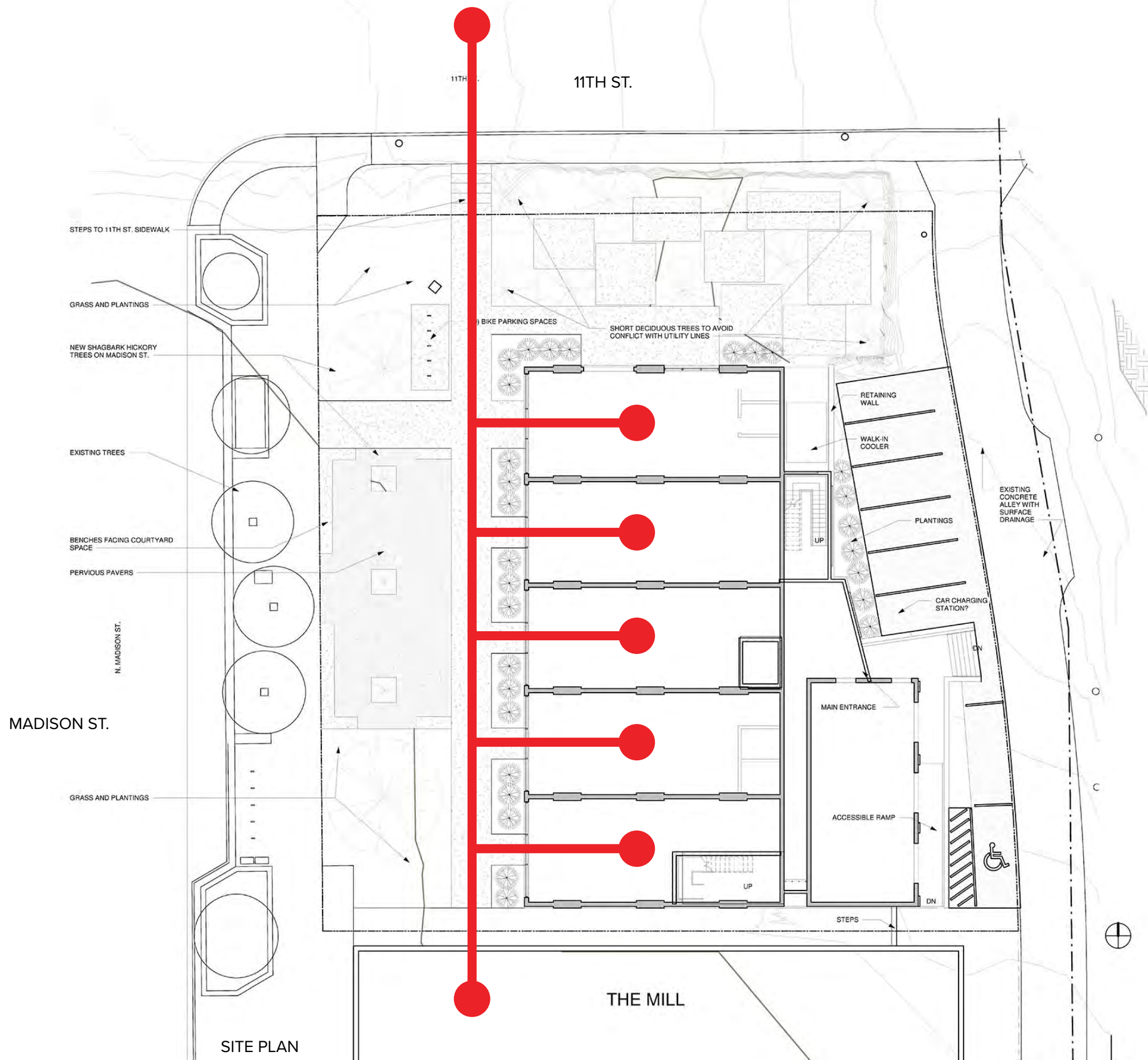
The Kiln Petitioner's Statement

Members of the Kiln Collective and the Architect met with the Historic Preservation Commission to review the proposed changes. The Commissioners were largely in favor of the proposed preservation and additions. The primary feedback included comments about the eastern façade along the alley, the roof overhangs, and the solar sawtooth roof. In response to the meeting comments, the roof overhang was modified to minimize the overhang at the east, west, and North. The south overhang remains unchanged. The eastern façade was modified to introduce the historic red brick and corbeling at the first floor. This was done to make a connection to the historic building on the alley side and to aesthetically bridge the Power House and the Kilns. The stair tower offered an opportunity to introduce an historic map showing the Shower's Brothers complex from 1927 Sanborn maps. The solar sawtooth was removed because the Kiln did not historically incorporate a sawtooth roof.

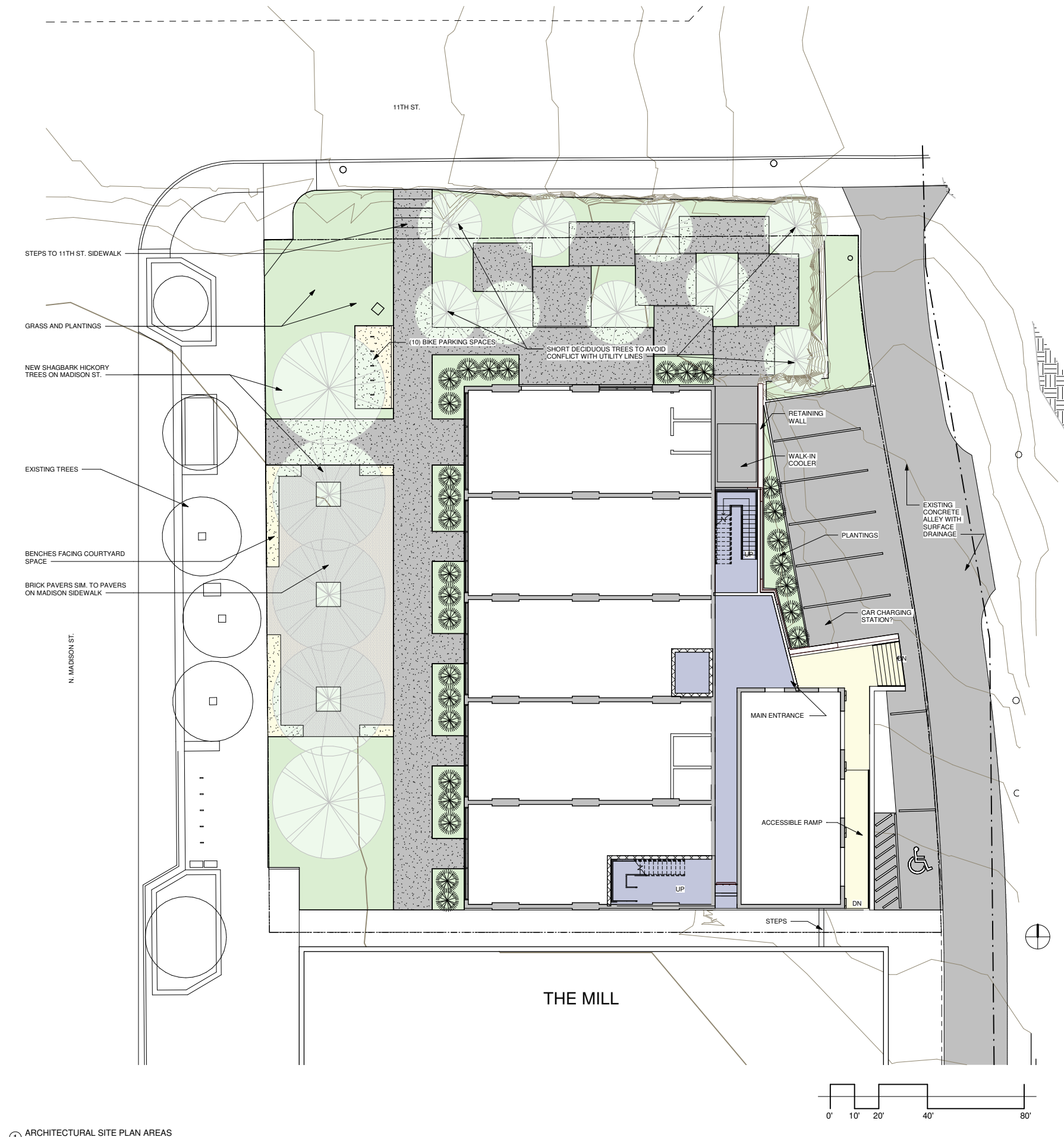
The building addition pays respect to the historic Kiln structure while also looking toward the future of Bloomington and the Trades District. By stepping back from the first floor, the historic western façade is the primary focus. The modulation of the upper level facades respond to the bays and corbelling of the lower structure. And, the project will celebrate the story of the Shower's Brothers complex.



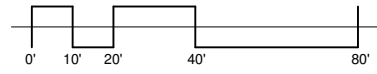
FROM MADISON AND 11TH ST. NORTHWEST







1 ARCHITECTURAL SITE PLAN AREAS
1" = 10'-0"



DRAWINGS ARE FOR PRELIMINARY APPROVAL PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.

brownsmith STUDIOS
 @architecture • @design • @build
 2055 W INDUSTRIAL PK DR.
 BLOOMINGTON, IN 47404
 lucas@brownsmithstudios.com
 812-961-8687

BAILEY & WEILER
 DESIGN • BUILD

700 N ROGERS ST.
 BLOOMINGTON, IN 47404
 P 812-330-1169
 F 812-904-7561
 craig@bailey-weiler.com

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THE KILN
 TRADES DISTRICT
 BLOOMINGTON, IN

CERTIFICATION

REVISIONS

NO.	DATE	DESCRIPTION

ARCHITECTURAL SITE PLAN -
 COLOR
 02-17-20
 PRINT 24" X 36" FULL SIZE OR 12X18 HALF SIZE

SHEET NUMBER
AS 104









THE KILN COLLECTIVE



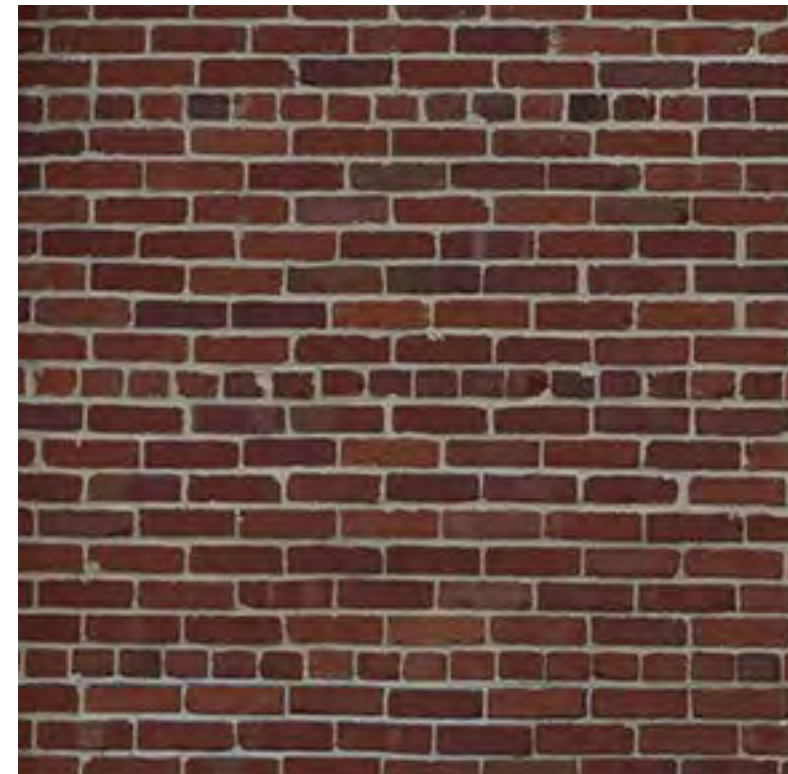
BLOOMINGTON HISTORIC PRESERVATION COA REVIEW
FEBRUARY 17, 2020



PELLA LIFESTYLE WINDOWS AND STORE-FRONT - BLACK ALUMINUM CLAD



ASH - SOFFIT MATERIAL



KILN BRICK - ORIGINAL



STANDING SEAM METAL SIDING - MATTE BLACK



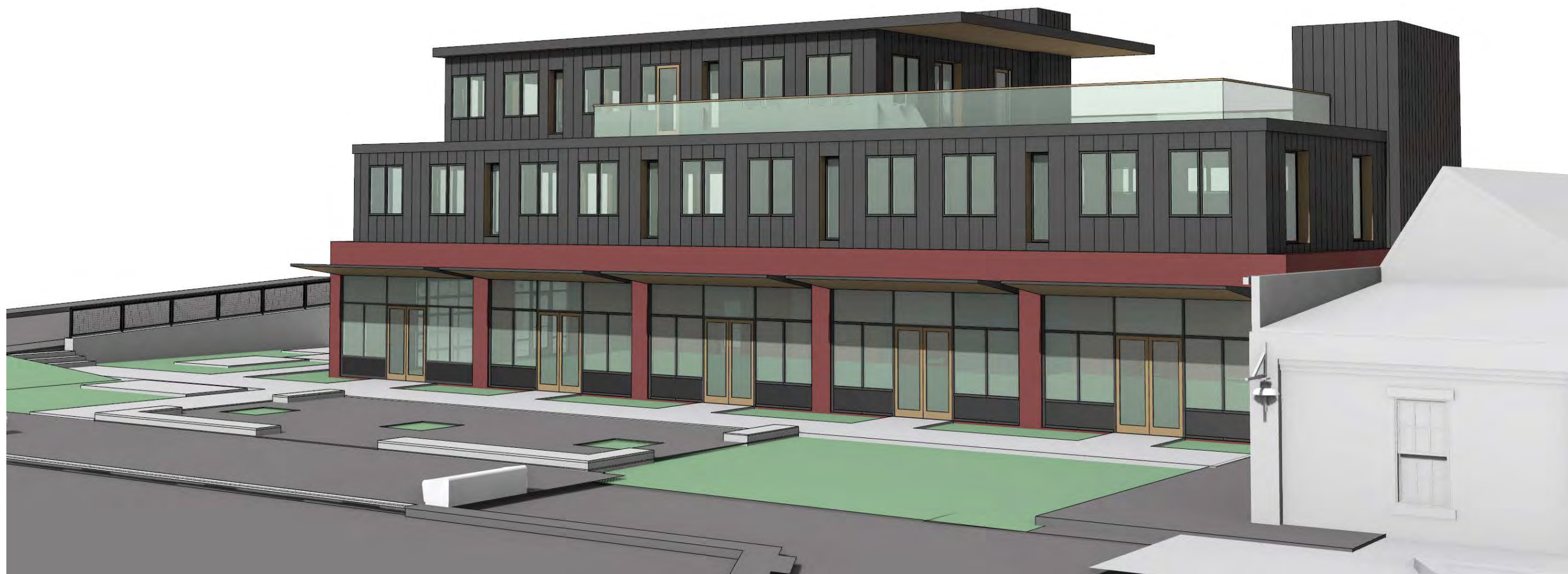
FLUSH PANEL METAL SIDING - MATTE BLACK



FROM ALLEY AND 11TH ST. NORTHEAST



FROM ALLEY SOUTHEAST



FROM MADISON SOUTHWEST



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

Demo Delay: 19-25 Commission Decision

Address: 414 E. 9th Street

Petitioner: David Kerber

Parcel Number: 53-05-33-302-020.000-005

Property is Contributing

Structure; Colonial Revival c. 1923



Background: This property is in the Old Showers Furniture Factory study area. This was built c. 1923 by local dentist Fred Prow and was part of the Prow Gardens redevelopment. After consulting Bill Coulter and extensive research by several parties, the architect remains unknown.

Request: Full demolition.

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Recommendation: Staff recommends releasing **Demo Delay 19-25**. It can't be proven that locally significant architects designed the home. Historically, the home was part of a redevelopment which sought to transform a relatively poor area occupied by Bloomington's African American community into a "new and exclusive addition in the heart of the city", designed for a wealthier and likely whiter clientele than those who formerly occupied the area. Staff does not find that Prows Addition "Has significant character, interest, or value as part of the development of the City", nor does it "Exemplify the cultural, political, economic, social, or historic heritage of the community."

67446
BL
11/26/19



Demolition Application
Monroe County Building Department
501 N. Morton St Rm 220-B, Bloomington, Indiana 47404
Phone Number: (812) 349-2580 FAX: (812) 349-2967
<http://www.co.monroe.in.us/buildingdept.html>

Date: 11/26/19

Project Address: 414 E 9TH ST Bloomington, IN 47408
Street City, State Zip

Township: Bloomington Section #: 33

Parcel Number 53-05-33-302-020.000-005

Subdivision: 013-10040-00 Acres Creek Lot #: 10

Applicant Name: DAVID KATZ Phone #: 812-287-9977

Property Owner Name: 5703 LLC
Address: 905 E 9TH ST, SUITE 235 Phone #: 317-295-7000
Street City, State & Zip
INDIANAPOLIS, IN 46250

Contractor: (if applicable) TRD
Phone #: _____

Type of Utilities Connected to this Structure

Gas Electricity Septic/Sewer Water Other
Lid Already Disconnected By Arbors Crew

WORK BEING PERFORMED:

COMPLETE DEMO (STRUCTURE & FOUNDATION)
HOUSE

The applicant hereby certifies and agrees as follows: (1) That applicant has read this application, and attests that the information that has been furnished is correct (2) If there is any misrepresentation in this application, Monroe County may revoke any permit issued in reliance upon such misrepresentation (3) Agrees to comply with all Monroe County ordinances and grant Monroe County officials the right to enter onto the property for the purpose of inspecting the work permitted & posting notices (4) Is authorized to make this application.

Signature [Signature]
Owner/Applicant

C-01 NC-14

Owner-
OCC

RECEIVED



Tax Bill

Parcel Information

Parcel Number	53-05-33-302-020.000-005
Tax ID	013-10040-00
Owner Name	57UB Llc
Owner Address	6925 E 96th Street, Ste 255 Indianapolis, In 46250
Legal Description	013-10040-00 PROWS GARDEN LOT 10

2018 PAY 2019

Deductions

Type	Amount
Supplemental Hsc	\$14,420.00
Standard Hmst	\$45,000.00

Payments

Tax Set	Charge Type	Total Charge	Posted Pay.	Balance Due
Bloomington City Bloomington Twp	Spring Installment	\$712.18	\$1,424.36	\$-712.18
Bloomington City Bloomington Twp	Fall Installment	\$712.18	\$0	\$0
Bloomington City Bloomington Twp	Year Total	\$1,424.36	\$1,424.36	\$0

Overlay Report

**DULY ENTERED
FOR TAXATION**

NOV 21 2019

Catherine Smith

Auditor Monroe County, Indiana

2019017154 WAR \$25.00
11/22/2019 02:08:08P 2 PGS
Eric Schmitz
Monroe County Recorder IN
Recorded as Presented



WARRANTY DEED

THIS INDENTURE WITNESSETH That

Keith Craddock, of legal age

Grantor(s), of Monroe County, in the State of Indiana **CONVEYS AND WARRANTS** to

57UB LLC, an Indiana limited liability company

Grantee(s), of Monroe County, in the State of Indiana, for the sum of \$1.00 and other valuable consideration, the following described real estate in Monroe County, Indiana:

Lot Number Ten (10) in Prow's Gardens, a sub-division of part of Young's Sub-division of Out Lot Number 27 in the City of Bloomington, Indiana, as shown by the plat thereof recorded in Plat Cabinet B, Envelope 56, in the Office of the Recorder of Monroe County, Indiana.

Tax ID No.: 53-05-33-302-020.000-005

The address of the real estate described herein is 414 E. 9th Street, Bloomington, IN 47408.

Subject to Taxes for the year 2019 due and payable 2020 and thereafter, and, subject to Covenants, Conditions, Restrictions, and Easements of record.

IN WITNESS WHEREOF, Grantor(s) has/have executed this Deed this 20th day of November, 2019.

Keith Craddock
Keith Craddock

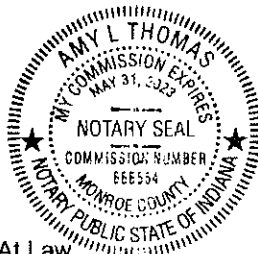
STATE OF Indiana

County OF Monroe

Before me, the undersigned, a Notary Public in and for said county and state, do hereby certify that Keith Craddock personally appeared this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal, this the 20th day of November, 2019.

Amy L Thomas
Notary Public



My Commission Expires:

(SEAL)

Prepared By: Vincent S. Taylor, Attorney At Law

I affirm under penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. Name: John Bethell

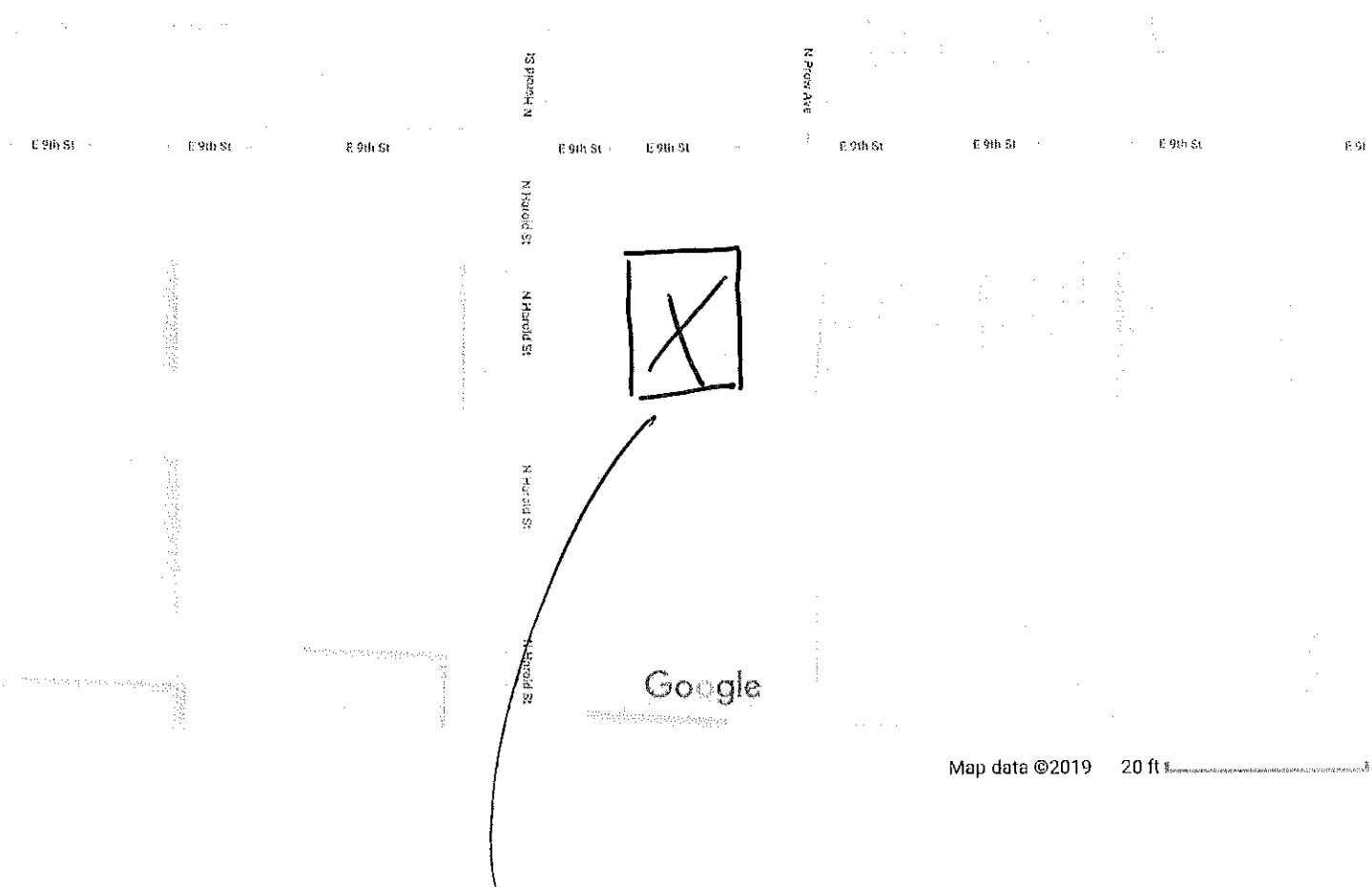
Grantee's address/mailling address to which tax statements should be mailed is:

6925 E. 96th Street, Suite 255 Indianapolis, IN 46250

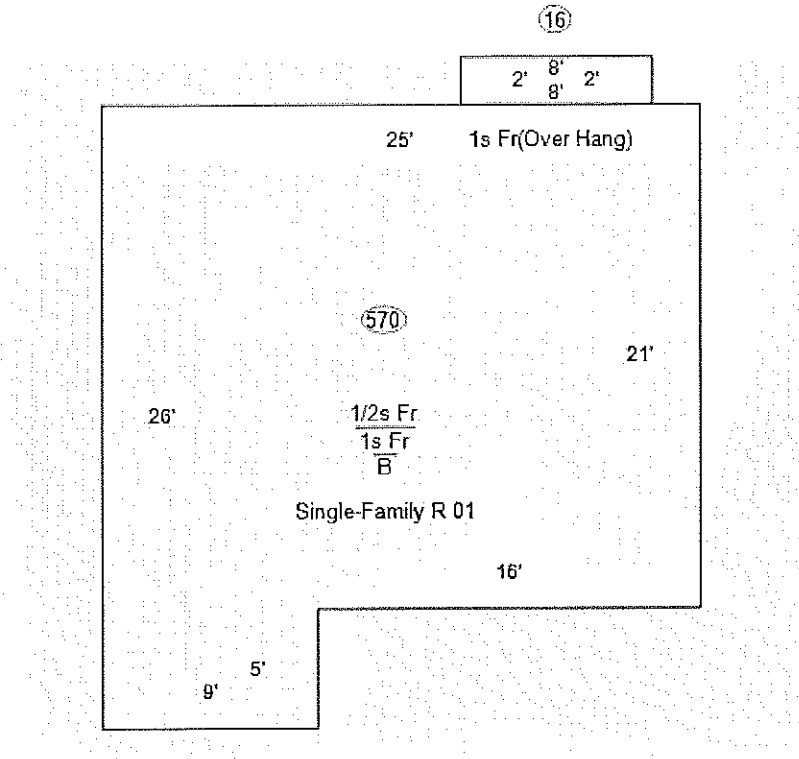
Grantee's address if the above mailing address is not a street address or rural route address:

53-64958

414 E 9th St



Removendo Au
 estrutura,
 fundação,
 concreto (bato / divide?)



REMOVED
ALL
SITING
FOUNDATION
RATIO DRIVE?

Parcel Information

Owner Name	57UB Llc
Owner Address	6925 E 96th Street, Ste 255 Indianapolis, In 46250
Parcel Number	53-05-33-302-020.000-005
Alt Parcel Number	013-10040-00
Property Address	414 E 9th St, Bloomington, In 47408-3685
Property Class Code	530
Property Class	3 Family Dwell - Platted Lot
Neighborhood	1310 Trending 2006 - A, 53005059-005
Legal Description	013-10040-00 PROWS GARDEN LOT 10

Taxing District

Township	Bloomington Township
Corporation	Monroe County Community

Land Description

Land Type	Acreage	Dimensions
9	0.08	

Transfer of Ownership

Date	Name	Buyer	Document	Deed Type	Sale Price
1900-01-01	Unknown			Wd	
1900-01-01	Roberts, Lottie B		0	Mi	
1973-08-09	Craddock, Keith		0	Mi	

Valuation Record

Assessment Date	Reason for Change	Land	Improvements	Total Valuation
2019-03-12	Annual Adjustment	\$65,400.00	\$65,200.00	\$130,600.00
2018-03-21	Annual Adjustment	\$65,800.00	\$61,900.00	\$127,700.00
2017-03-30	Annual Adjustment	\$65,800.00	\$61,400.00	\$127,200.00
2016-05-02	Annual Adjustment	\$65,800.00	\$68,300.00	\$134,100.00
2015-05-27	General Revaluation	\$65,800.00	\$65,900.00	\$131,700.00
2014-05-15	Annual Adjustment	\$65,800.00	\$64,800.00	\$130,600.00
2013-06-03	Annual Adjustment	\$65,800.00	\$59,700.00	\$125,500.00
2012-06-27	Annual Adjustment	\$65,800.00	\$59,900.00	\$125,700.00
2011-06-08	Annual Adjustment	\$65,800.00	\$75,200.00	\$141,000.00
2010-03-01	Annual Adjustment	\$65,800.00	\$75,200.00	\$141,000.00
2009-03-01	Miscellaneous	\$65,800.00	\$71,600.00	\$137,400.00
2008-03-01	Miscellaneous	\$65,800.00	\$65,900.00	\$131,700.00
2007-03-01	Miscellaneous	\$52,800.00	\$71,600.00	\$124,400.00
2006-03-01	Miscellaneous	\$35,300.00	\$89,400.00	\$124,700.00
2005-03-01	Miscellaneous	\$10,100.00	\$77,000.00	\$87,100.00
2002-03-01	General Revaluation	\$10,100.00	\$77,000.00	\$87,100.00
1995-03-01	General Revaluation	\$0	\$0	\$0
1994-03-01	General Revaluation	\$0	\$0	\$0

Sales

Sale Date	Sale Price	Buyer Name	Seller Name
-----------	------------	------------	-------------

Public Utilities

Water	N
Sewer	N
Gas	N
Electricity	N
All	Y

Exterior Features

Exterior Feature	Size/Area
------------------	-----------

Special Features

Description	Size/Area
-------------	-----------

Summary of Improvements

Buildings	Grade	Condition	Construction Year	Effective Year	Area
Single-family R 01	D+2	F	1899	1950	1,156

Single-Family R 01

Accommodations

Bed Rooms	3
Finished Rooms	9

Plumbing

Full Baths	3
Full Baths Fixtures	
Half Baths	
Half Baths Fixtures	
Kitchen Sinks	3

Other Residential Dwelling

Heat Type	Central Warm Air
Fireplaces	1
Attached Garages	

Floors

Floor	Construction	Base	Finished
1	Wood Frame	586	586
1/2	Wood Frame	570	570
B		570	

Overlay by Landuse and Soil

PIN 18 53-05-33-302-020.000-005
 Total Acreage 0.078
 Total Adj. Acreage 0.080

Soil Type	Land Use Code	Land Type	GIS Acreage	Adj. Acreage
Ctb	5	Non-tillable Land	0.078	0.080

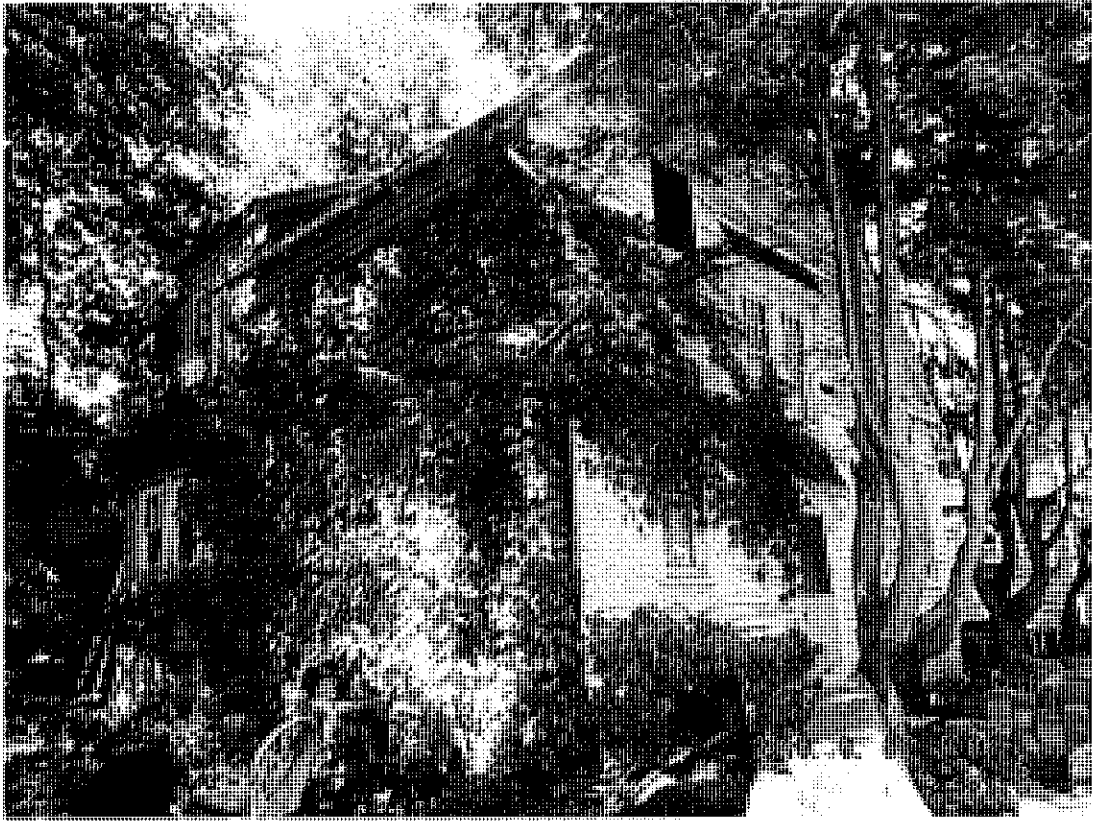
Overlay by Landuse

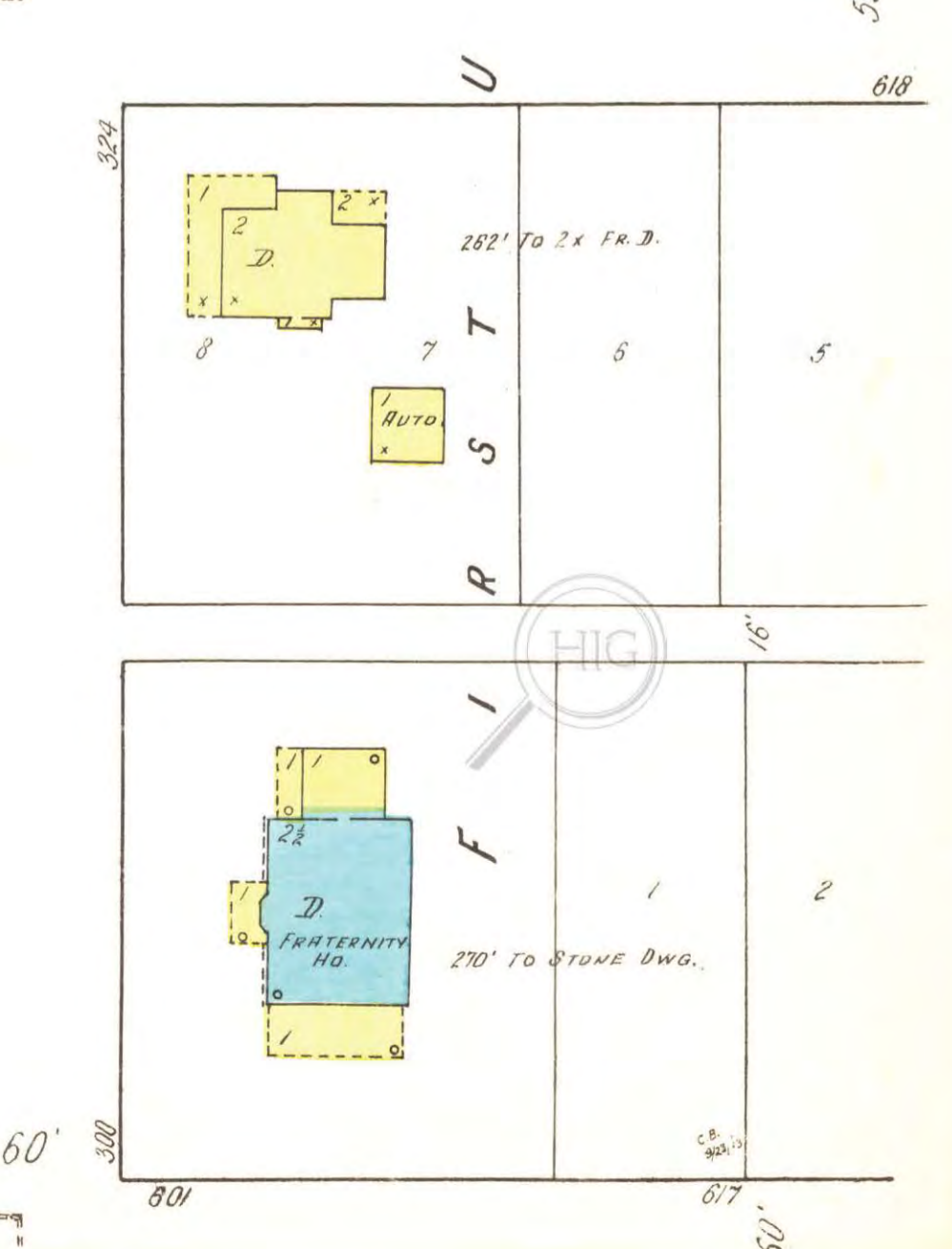
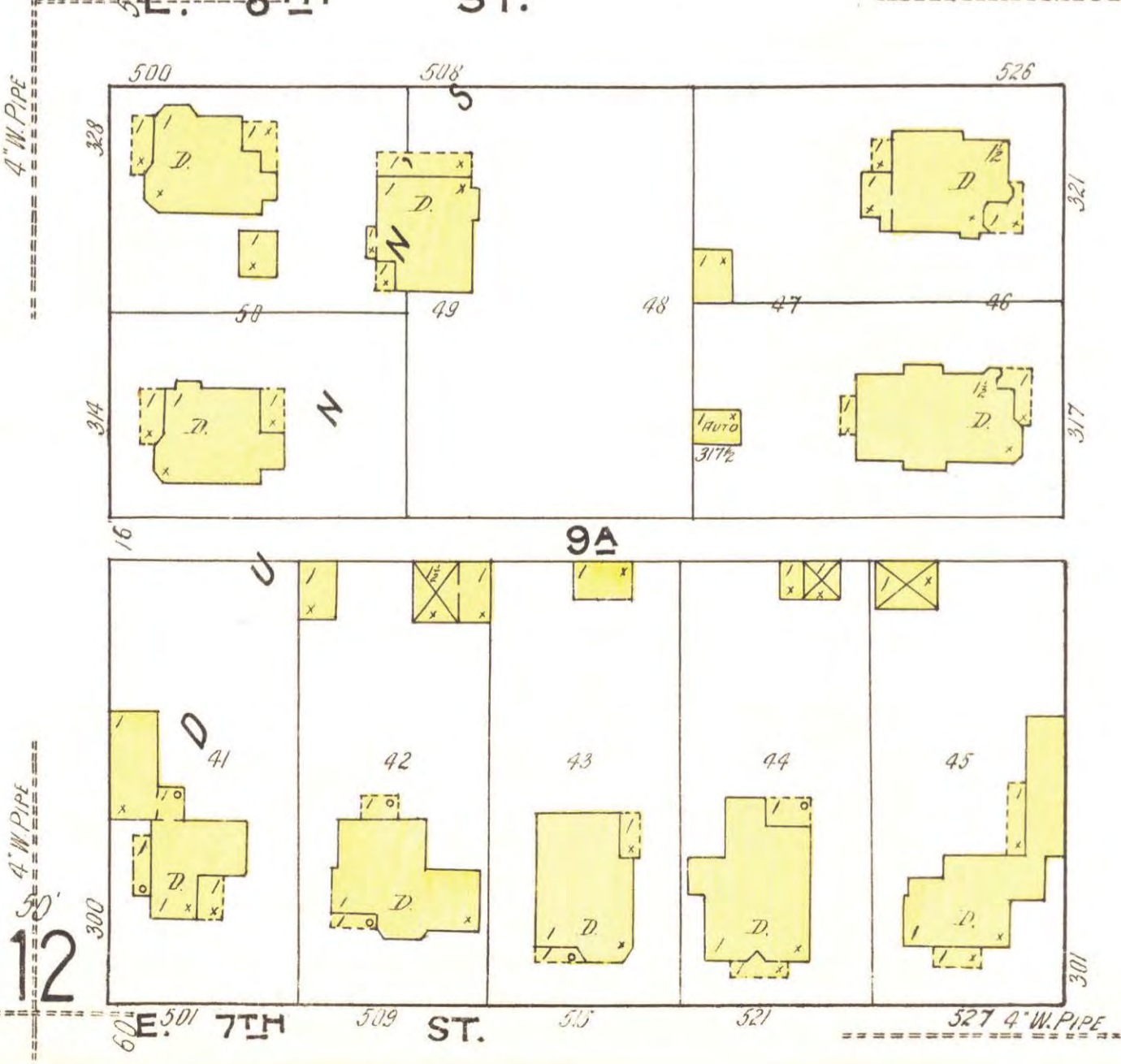
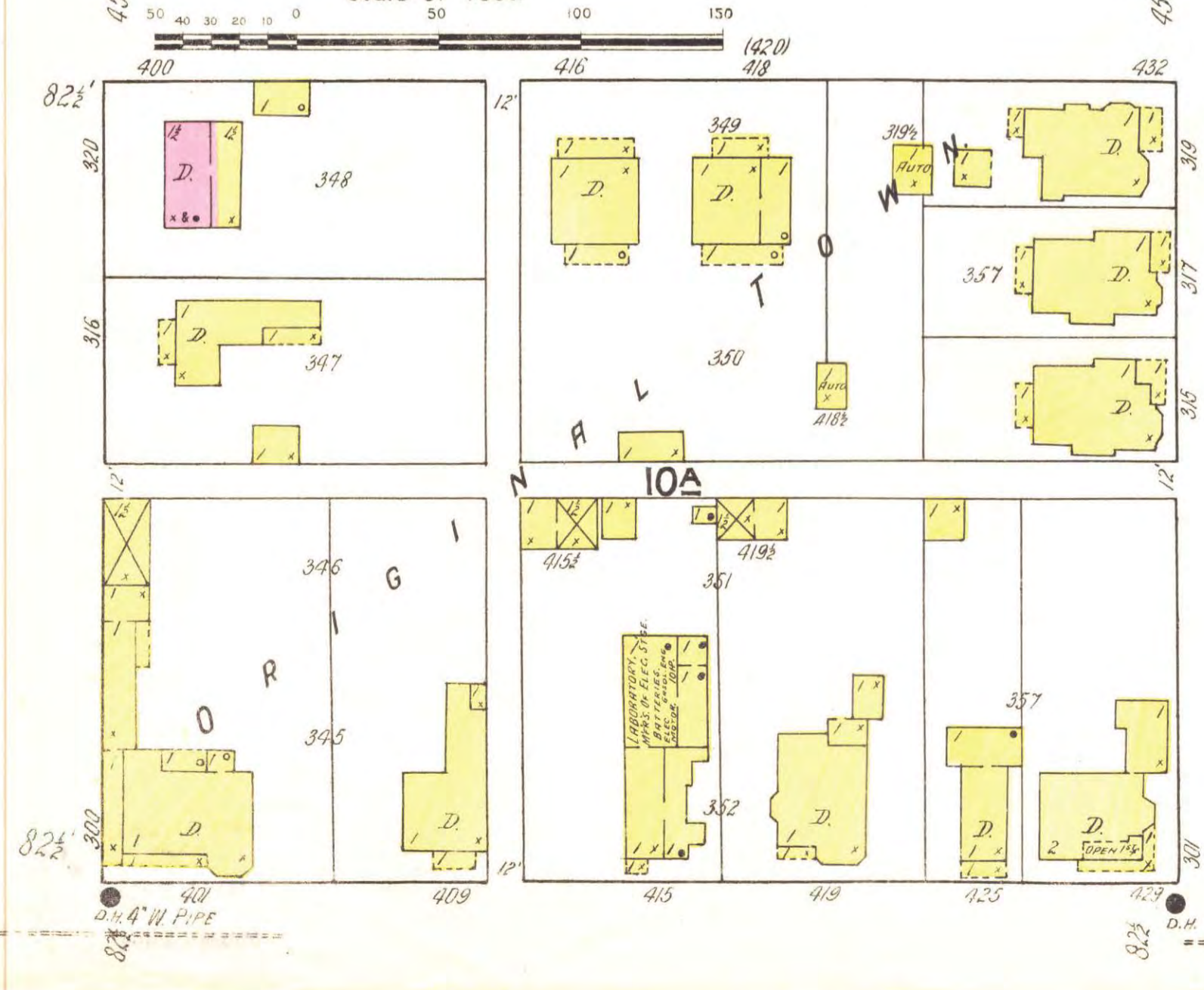
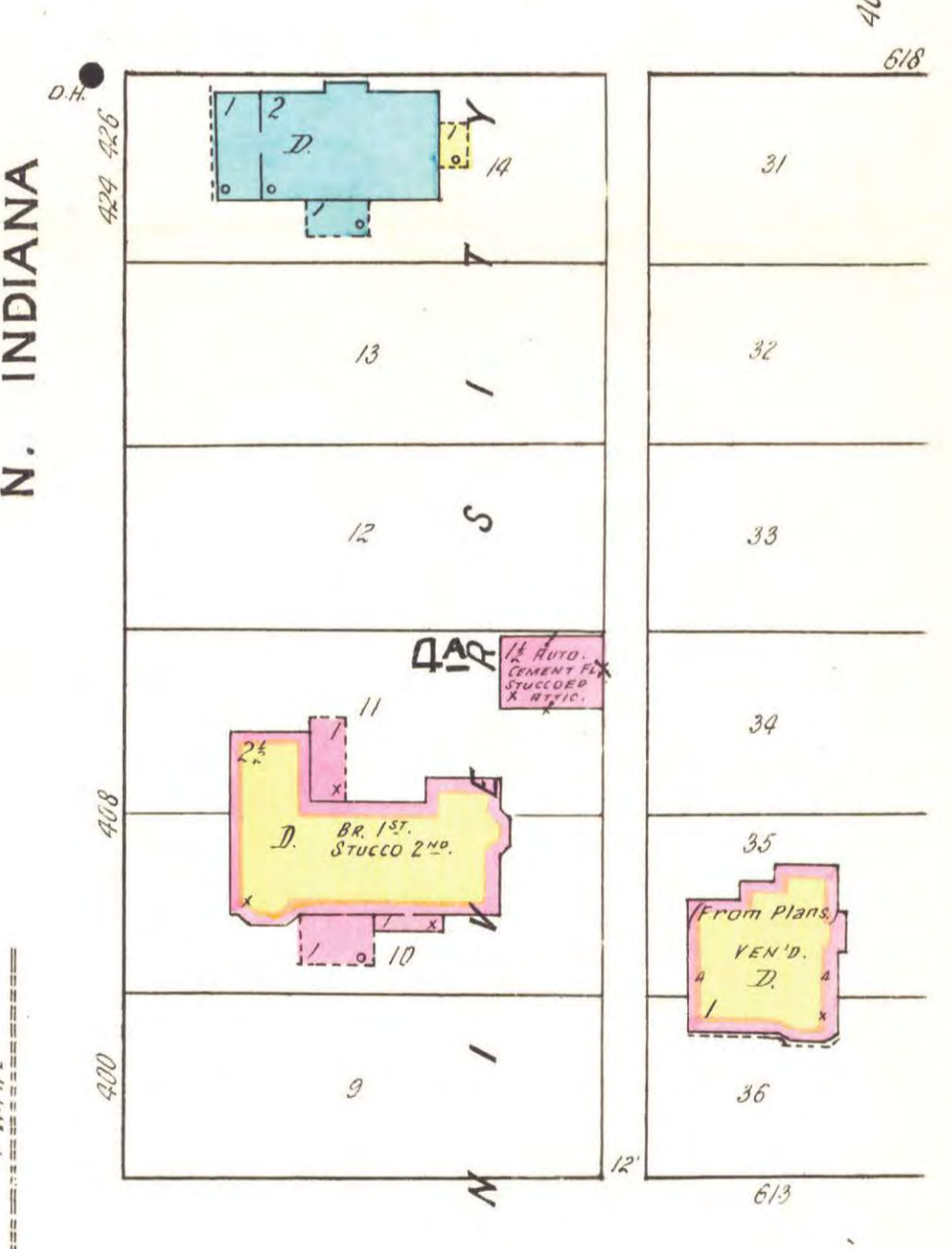
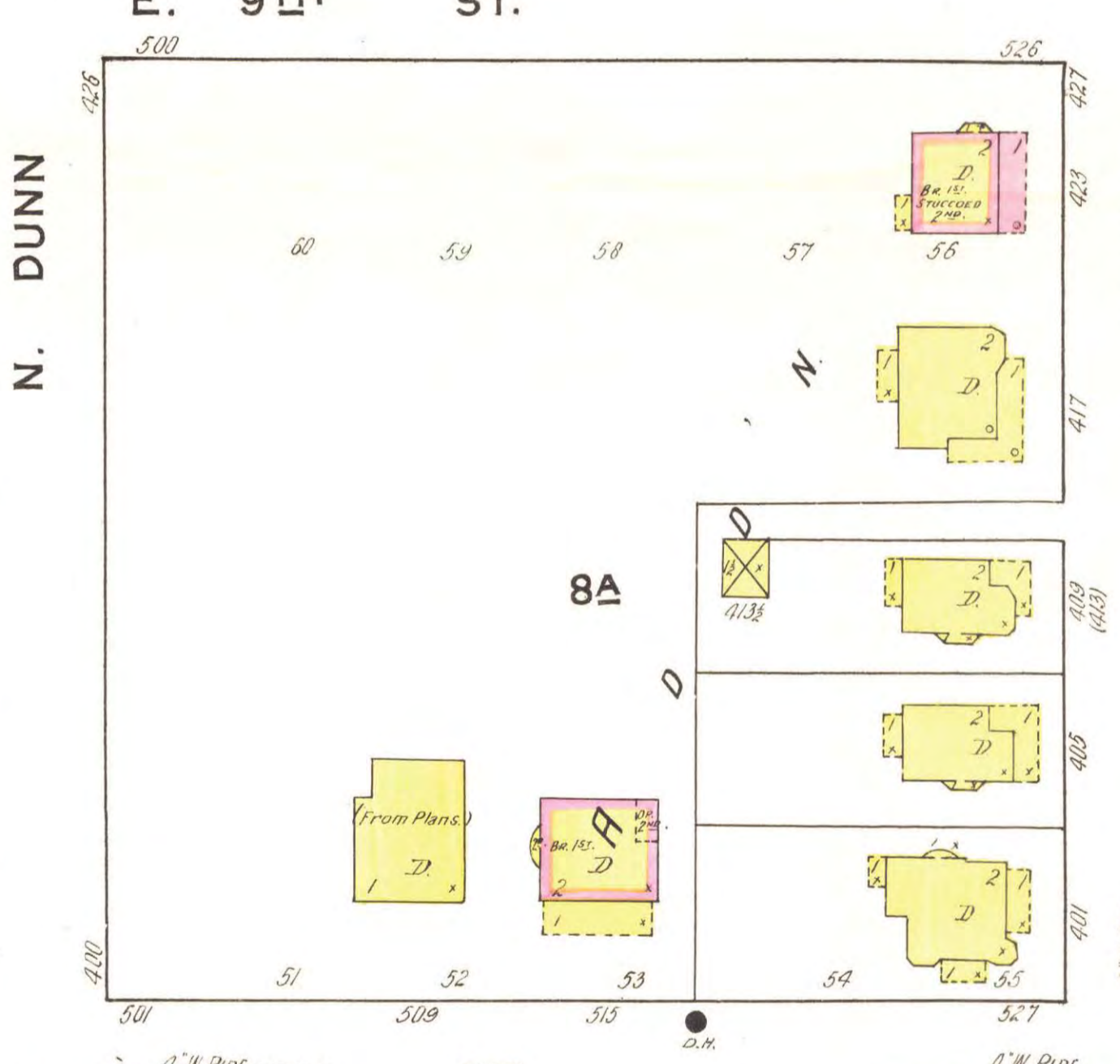
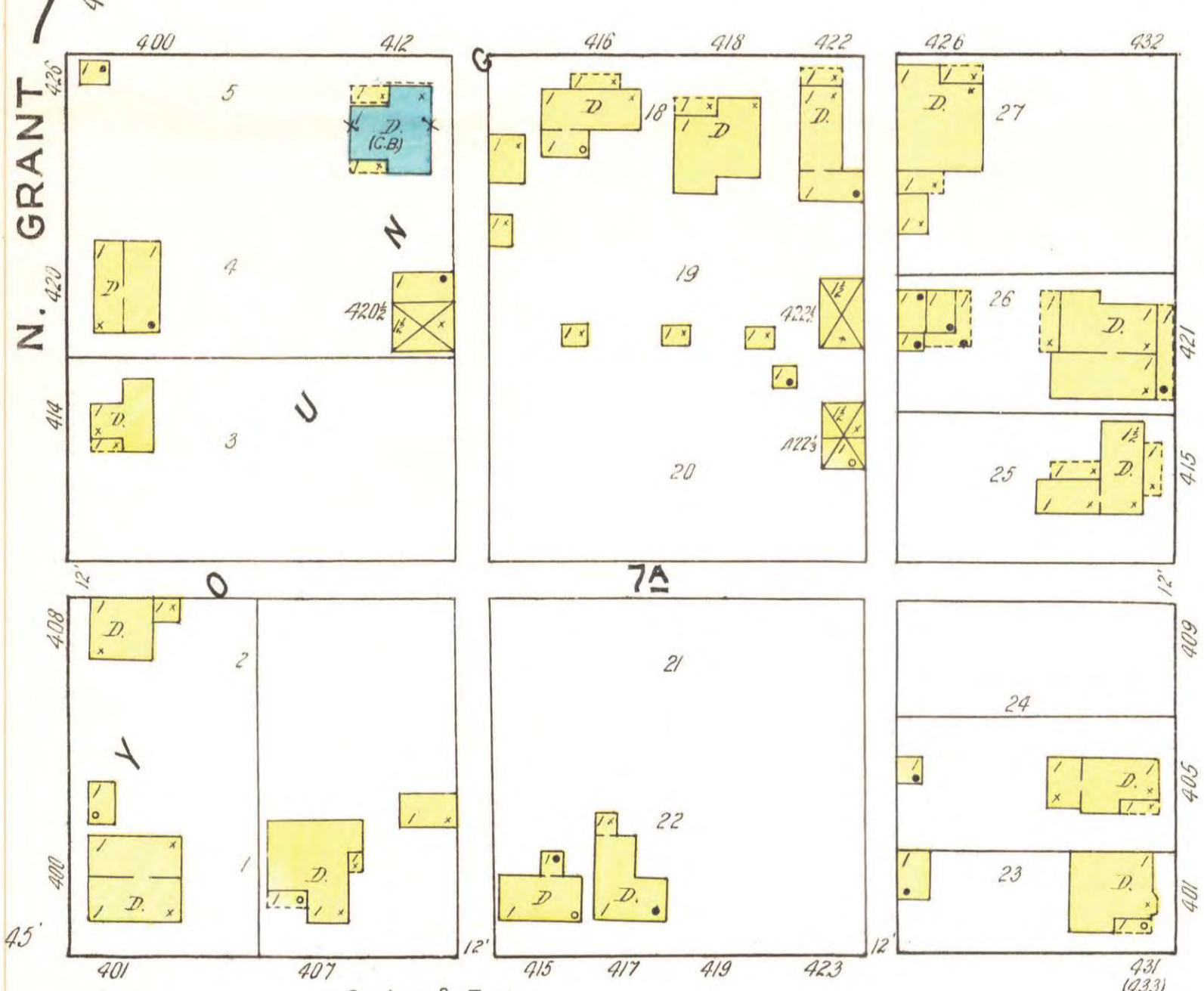
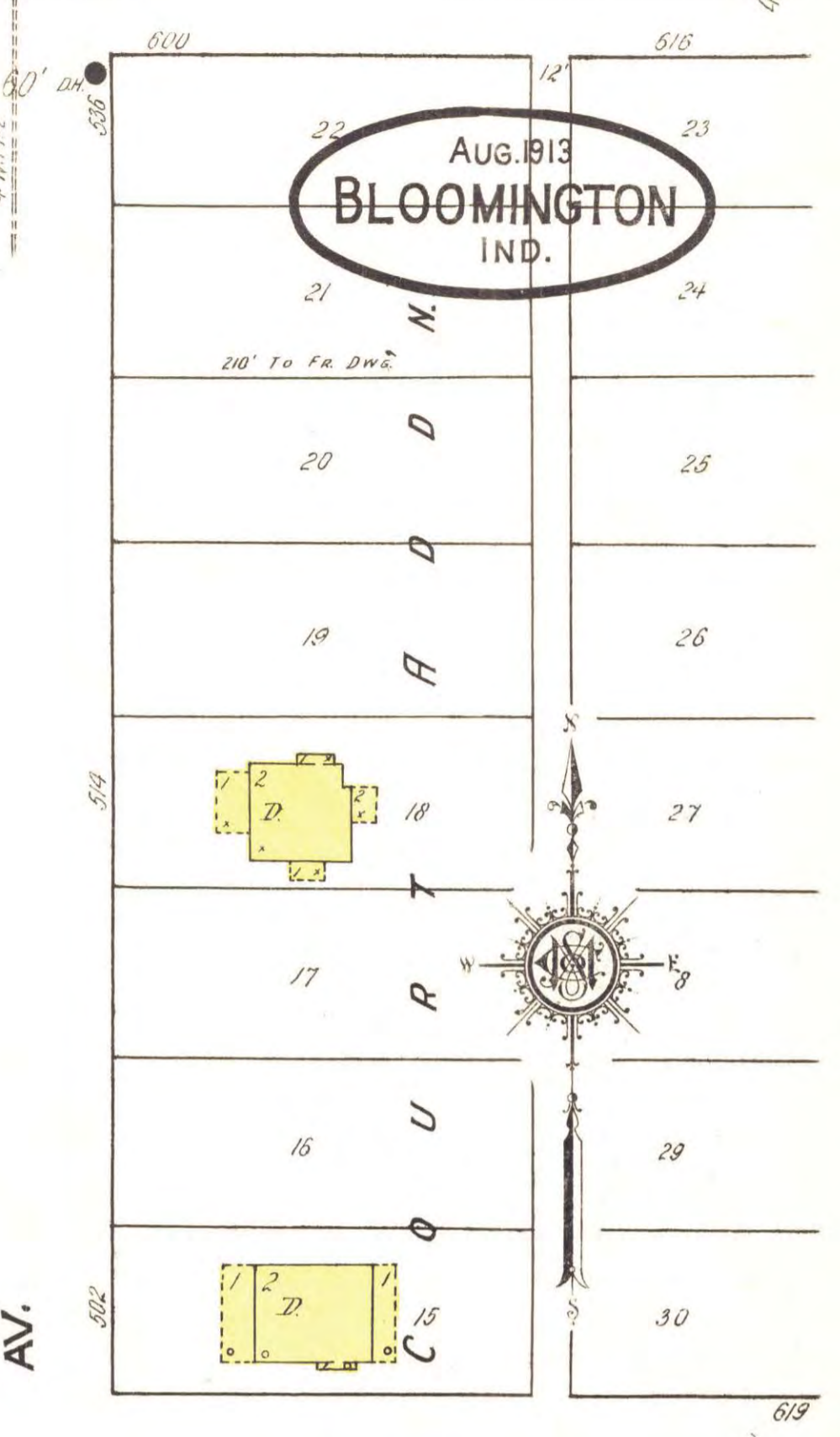
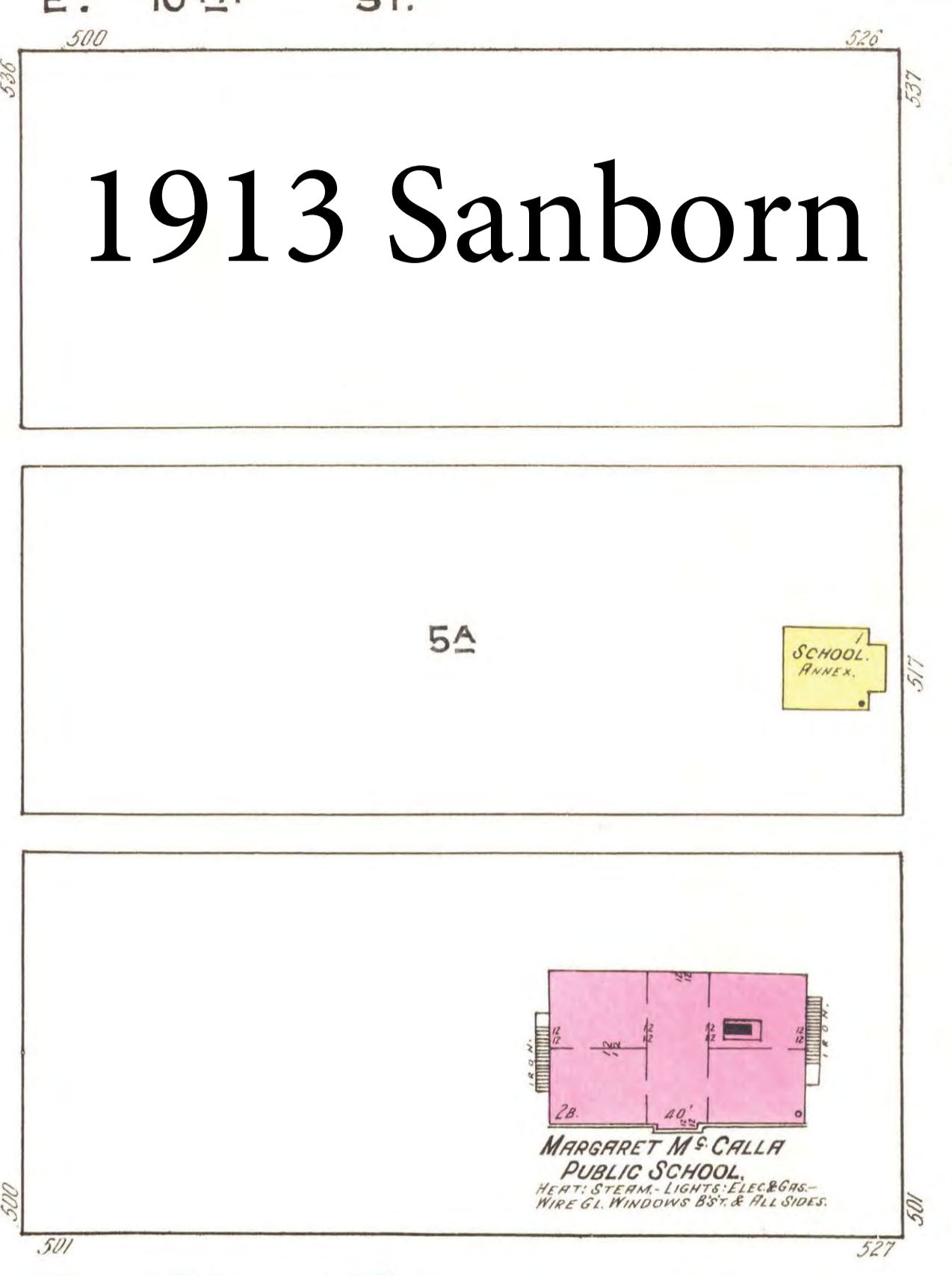
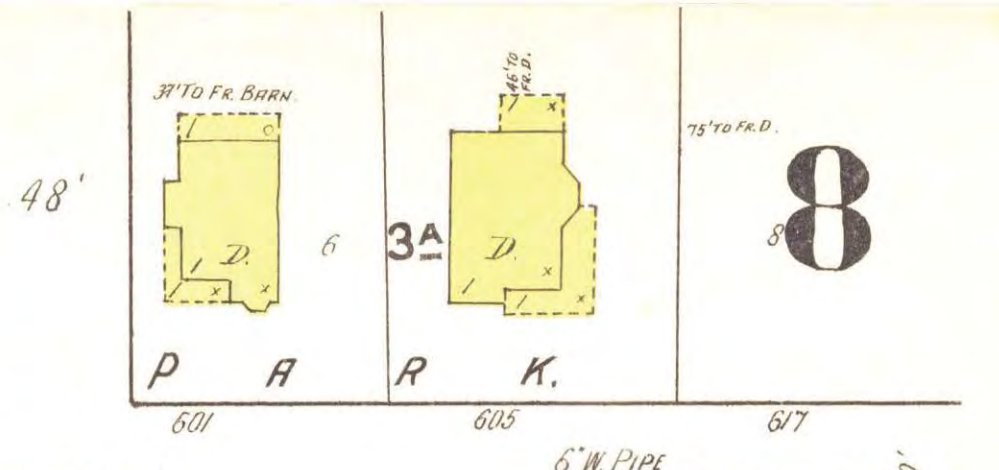
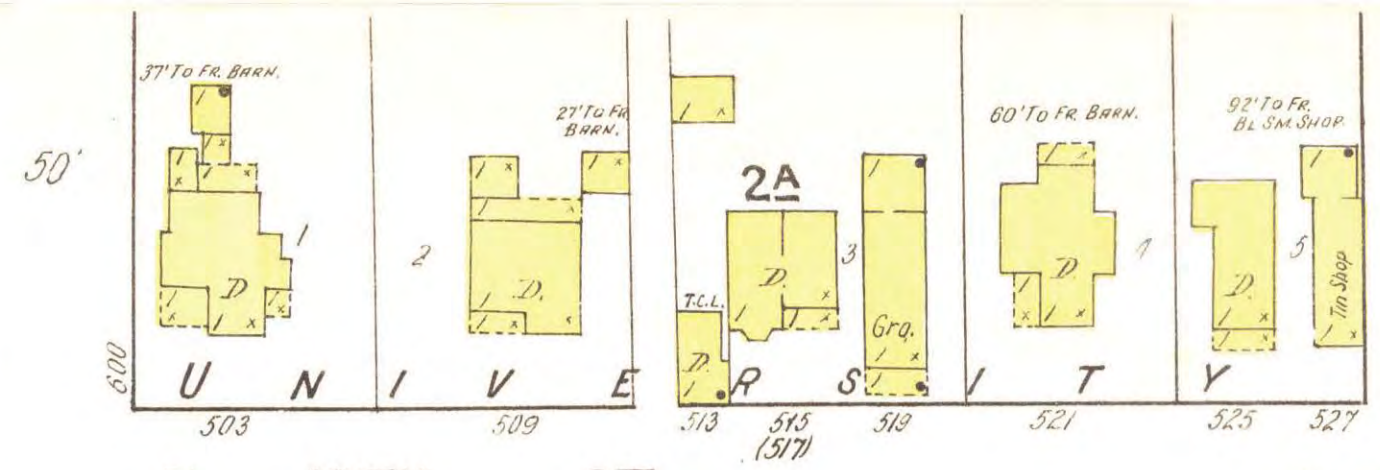
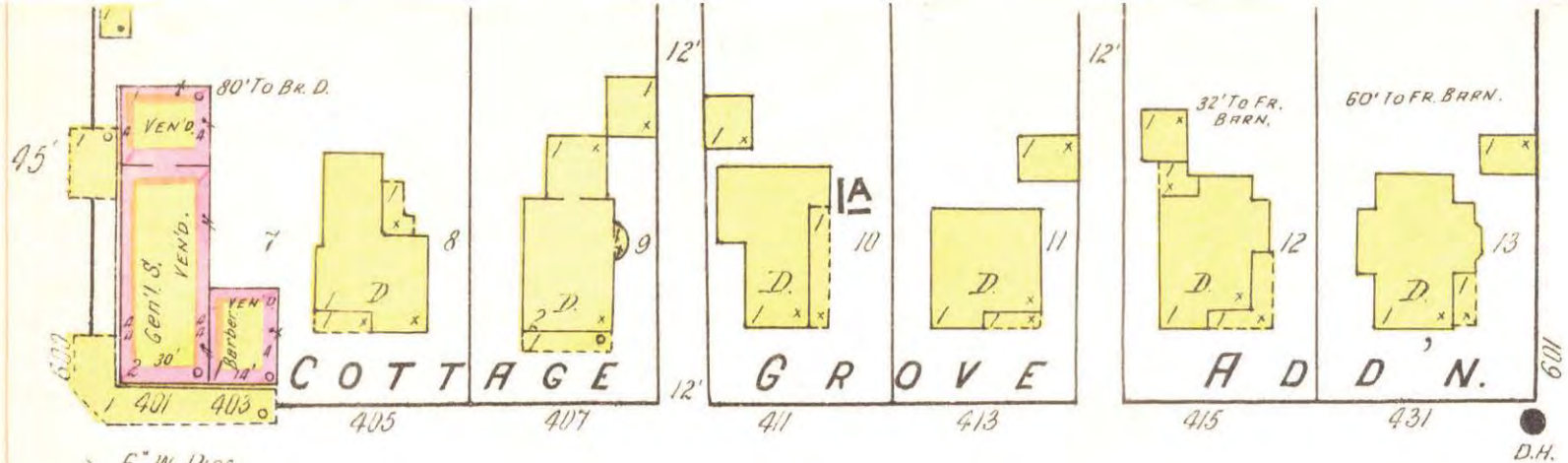
PIN 18 53-05-33-302-020.000-005
 Total Acreage 0.078
 Total Adj. Acreage 0.080

Land Use Code	Land Type	GIS Acreage	Adj. Acreage
5	Non-tillable Land	0.078	0.080
Unk		0.000	0.000

Monroe County, IN
414 E 9th ST

000 0000000000 0000000000 0000000000 0000000000



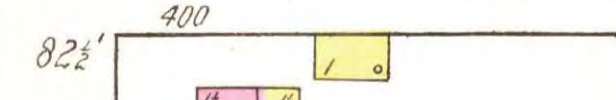


1913 Sanborn

AUG. 1913
BLOOMINGTON
IND.



Scale of Feet.



Demo Delay: 20-7
Commission Decision

Address: 1209 W. 2nd Street

Petitioner: Justin Sullivan

Parcel Number: 53-08-02-104-009.000-009

Property is Notable

Structure; Tudor Revival c. 1935



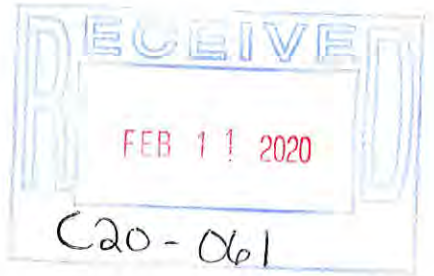
Background: The petitioner requested full demolition in 2018 and the HPC released the demo delay on April 12, 2018. Moving the home was discussed but it proved to be economically unfeasible. More than a year has passed and no action has been taken which, according to the BMC, requires another demo delay review.

Request: Full demolition.

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. The BHPC may thus employ demolition delay for 90 day from the date the application was received and may request an additional 30 days if necessary for further investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

Recommendation: Staff recommends releasing **Demo Delay 20-7**. Nothing has changed since the HPC last released the demolition delay. Staff did not conduct additional research to supplement information included in the 2018 staff report.

67994
BL
2-11-2020



Demolition Application
Monroe County Building Department
501 N. Morton St Rm 220-B, Bloomington, Indiana 47404
Phone Number: (812) 349-2580 FAX: (812) 349-2967
<http://www.co.monroe.in.us/buildingdept.html>

Date: 2-11-20

Project Address: 1209 W 2nd St. Bloomington IN 47403
Street City, State Zip

Township: Perry Section #: 5

Parcel Number 53-08-05-200-054.000-009

Subdivision: _____ Lot #: _____
Applicant Name: Justin Sullivan Phone #: 812-333-0995

Property Owner Name: Mary Friedman
Address: 629 WOODCREST DR Bloomington Phone #: 812-333-0995
Street City, State & Zip 47401

Contractor: (if applicable) OMEGA Properties
Phone #: 812-333-0995

Type of Utilities Connected to this Structure

Gas Electricity Septic/Sewer Water Other

WORK BEING PERFORMED:

Demolition of EXISTING HOUSE
and 2 garages

The applicant hereby certifies and agrees as follows: (1) That applicant has read this application, and attests that the information that has been furnished is correct. (2) If there is any misrepresentation in this application, Monroe County may revoke any permit issued in reliance upon such misrepresentation (3) Agrees to comply with all Monroe County ordinances and grant Monroe County officials the right to enter onto the property for the purpose of inspecting the work permitted & posting notices (4) Is authorized to make this application.

Signature _____
Owner/Applicant

Demo Delay

This has an expired demo delay approval.



**DULY ENTERED
FOR TAXATION**

FEB 15 2018

Catherine Smith

Auditor Monroe County, Indiana

File Number: 44459

TRUSTEE'S DEED

ROBIN JOAN STIPP and DANIEL ROBERT STILLIONS, Co-Trustees of the JEAN STILLIONS TRUST DATED DECEMBER 23, 1998, ("Grantor"), of Monroe County, in the State of Indiana, CONVEYS to OMEGA VISIONS, LLC, an Indiana limited liability company ("Grantee"), organized and existing under the laws of the State of Indiana, for and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is acknowledged, the following described real estate located in Monroe County, State of Indiana:

Parts of Seminary Lots 154 and 151, being a part of the Northwest quarter of Section 5, Township 8 North, Range 1 West, in Monroe County, State of Indiana, and more particularly described as follows, to-wit: Beginning at a point 334.2 feet West of the center of the North end of a stone wall which runs along the East line of said Seminary Lot 154 and which said North end of said stone wall is at the South side of the old Stanford and Bloomington Pike Roads and running thence South 369 feet; thence East 88 feet; thence North 179 feet; thence East 145.2 feet; thence North 263.7 feet to a point; thence on a curve to the left, with a 20 foot radius, to a point 20 feet North and 20 feet West of the beginning of said curve; thence West 17.8 feet to the Southerly right-of-way of State Highway 45; thence in a Southwesterly direction over and along the Southerly line of said State Highway 45 to a point directly North of the place of beginning; thence South to the place of beginning.

Tax Parcel No.: 53-08-05-200-027.000-009 and 53-08-05-200-054.000-009

Auditor's Parcel No.: 015-32510-01 and 015-32520-01

SUBJECT TO:

1. Real estate taxes and assessments for the year 2017 due and payable 2018, and all subsequent taxes and assessments.
2. Any and all covenants, conditions, restrictions, agreements, limitations, encumbrances and easements, if any, which are either observable or of record.
3. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records.
4. Taxes for 2018, due and payable in 2019.
5. Right of Way Grant in favor of City of Bloomington, Indiana Board of Public Works recorded June 4, 1996, in Deed Record 446, page 63, in the office of the Recorder of Monroe County, Indiana.

6. Encroachment Agreement by and between Eleanor T. Barkley Limited Partnership, an Indiana limited partnership, and Robert W. Stillions and Jean Stillions, Trustees of the Robert W. Stillions and Jean Stillions Revocable Trust, dated April 1, 1994, recorded April 5, 2004, as Instrument No. 2004006376, in the office of the Recorder of Monroe County, Indiana.
7. All covenants, conditions, restrictions, easements, and encumbrances as shown by the recorded plat of Seminary Lots 1-178, recorded in Plat Cabinet C, Envelope 220, in the office of the Recorder of Monroe County, Indiana. NOTE: This clause omits any covenant, condition, or restriction based on race, color, religion sex, handicap, familial status or national origin as provided in 42 U.S.C. Â§3604, unless and only to the extent that the covenant (a) is not in violation of state or federal law, (b) is exempt under 42 U.S.C. Â§3607, or (c) relates to a handicap, but does not discriminate against handicapped people.

The undersigned herein swear or affirm under the penalties for perjury that they are the successor trustees under the Trust Agreement referred to below. The undersigned state they became successor trustees upon the death of Jean Stillions on 10/25/17. The Trust Agreement includes Robert W. Stillions as successor trustee upon Jean's death, however, Robert W. Stillions died on 9/24/17.

NOTE: Balance of page left blank intentionally. Signatures and acknowledgments appear on following page(s).

In Witness Whereof, Grantor has executed this deed on this 13th day of February, 2018.

JEAN STILLIONS TRUST DATED DECEMBER 23, 1998

BY: Robin Joan Stipp TTEE
ROBIN JOAN STIPP, Successor Co-Trustee

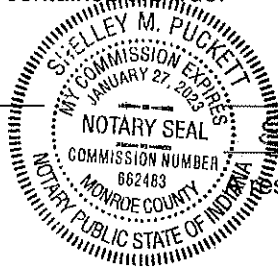
BY: Daniel Robert Stillions TTEE
DANIEL ROBERT STILLIONS, Successor Co-Trustee

STATE OF Indiana)
COUNTY OF Monroe) SS:

Before me, Shelley M Puckett, a Notary Public in and for said County and State, this 13th day of February, 2018, personally appeared ROBIN JOAN STIPP and DANIEL ROBERT STILLIONS, Co-Trustees of the JEAN STILLIONS TRUST DATED DECEMBER 23, 1998, who executed the foregoing deed; and who, having been duly sworn, stated that any representations therein contained are true.

My Commission Expires:

1/27/23



Shelley M Puckett
Shelley M Puckett, Notary Public
Resident of Monroe County, Indiana

Mailing addresses:

Per IC 32-21-2-3(b): Mailing address to which statements should be mailed under IC 6-1.1-22-8.1:

629 Woodcrest Drive Bloomington, IN 47401

Per IC 32-21-2-3(b): Street address or rural route address of Grantee if above mailing address is NOT a street address or rural route address:

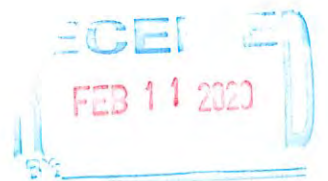
This instrument was prepared by Morris H. Erickson, Attorney at Law, Bloomington, Indiana.

"I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law." - Morris H. Erickson



Remove all 3 structures

FRIEDMAN, MARY
Project - FRIEDMAN-RES DEMO-1209
Address - 1209 2ND ST W
Parcel - 53-08-05-200-054.000-009
App # - 67994 Twp - PR-05













Demo Delay: 20-8

Commission Decision

Address: 110 S. Indiana Street

Petitioner: Justin Sullivan

Parcel Number: 53-08-02-104-009.000-009

Property is Notable

Structure; Commercial, Colonial Revival c. 1920



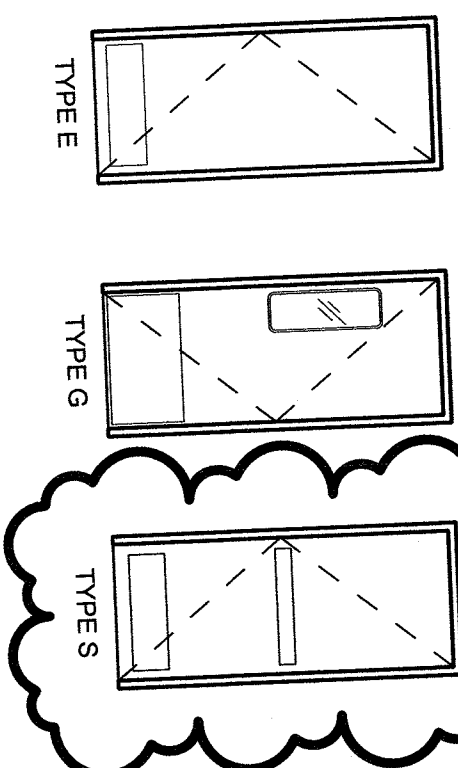
Background: Known as the Varsity Pharmacy Building. The applicant was told that a door needed to be added to meet fire egress.

Request: Partial demolition. Creation of door opening on the alley (south) façade.

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review. The BHPC may thus employ demolition delay for 90 day from the date the application was received and may request an additional 30 days if necessary for further investigation within the first 30 days of the review period. During the demolition delay waiting period, the BHPC must decide whether to apply Local Designation to the property.

Recommendation: Staff recommends releasing **Demo Delay 20-8** . Staff would ask petitioner to consider adding the door to the west or north façade if that would still satisfy egress requirements.

INTERIOR DOOR LEGEND



RESTROOM DOOR (TYPE E)

No.	Item	Description	Manufacturer	Finish
3	Hanging Items	7A2714MFB79	McKinney	626
1	Securing Devices	PR5425L N Lock, Shallow Core Turn, Privacy / PR5425L N-893-487 1-3/4	Yale Lock	626
1	Closing Devices	8916 Door Closer 8916 AF89P	Dorma	689
2	Protective Trim Units	K1050 BAE Kickplate 1'0" x 3/4" each side	Rockwood	630
3	Accessories	GJ64 Rubber Silencer	Glynn Johnson	Gray
1	Stops and Holders	473 Door Stop w/ Hook	Rockwood	626

WORKROOM DOOR (TYPE G)

No.	Item	Description	Manufacturer	Finish
1	Traffic Door Package	SCP8 36" x 84"	Elison	As Selected

EXTERIOR SECURITY DOOR (TYPE S)

No.	Item	Description	Manufacturer	Finish
3	Hanging Devices	TH2314MFB91 Hinge Macro Bearing 4.5 x 4.5	McKinney	630
1	Securing Devices	C807 7-Pin Core Combined "K" Keyway	Falcon Lock	626
1	Securing Devices (active leaf)	CD3527NL-OP LBR Panic Device	Von Dupin	628/630
1	Closing Devices	8916 Door Closer 8916 AF89P	Dorma	689
1	Protective Trim Units	K1050 BAE Kickplate 8" x 3/4"	Rockwood	630
1	Accessories	137NA Weather Strip 17" 3/8" x 84"	National Guard	A
1	Accessories	Door Sweep 18052CNB36	Pankko	A

INTERIOR DOOR SCHEDULE - "D"

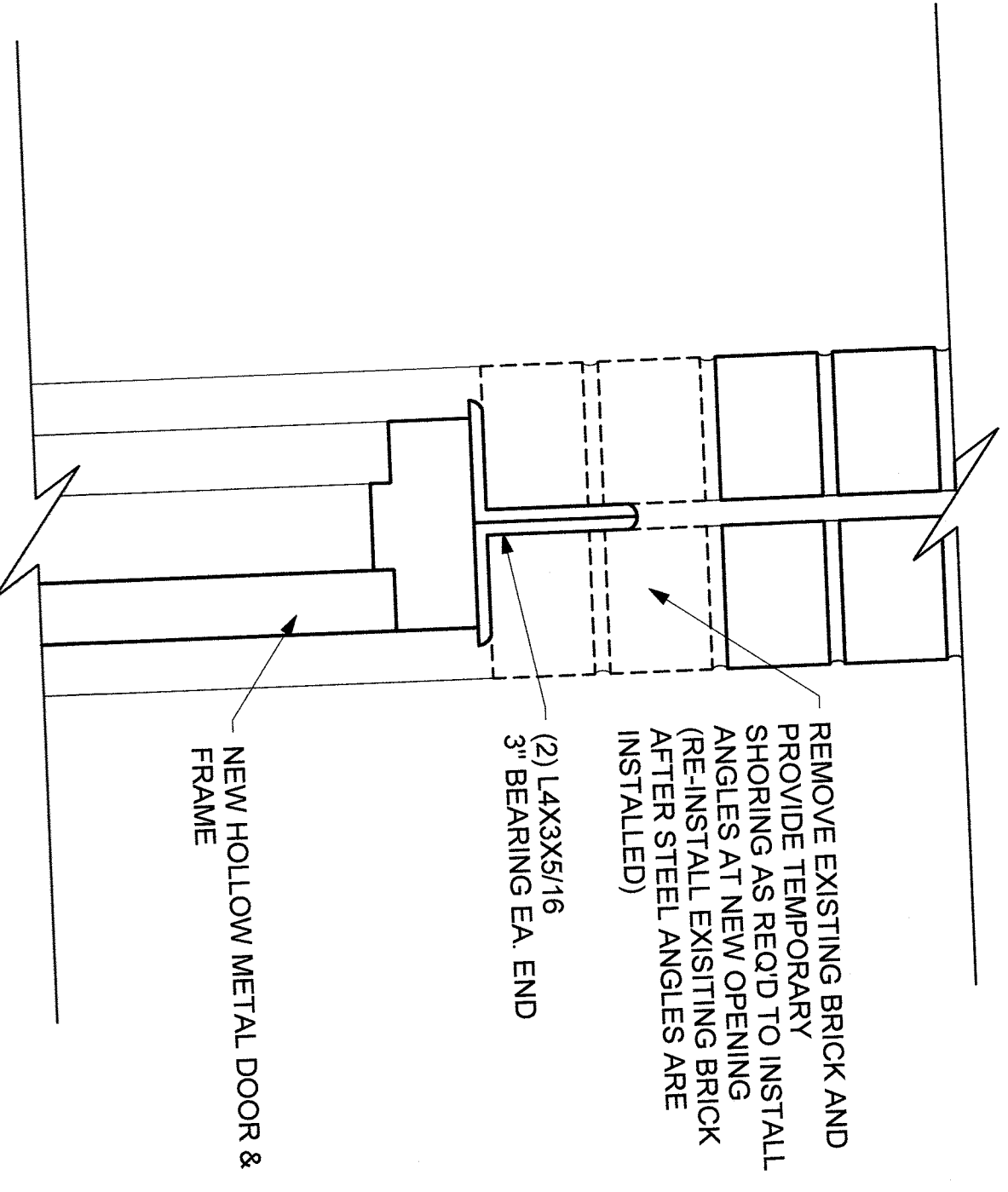
DESIGN ID	COUNT	DESCRIPTION	CONSTR. TYPE	DOOR FINISH	FRAME FINISH	FRAME MATERIAL	FIRE RATING	FURN. BY	INST. BY	COMMENTS
DOOR 10096	1	DOOR - SINGLE DOOR - DOUBLE ACTING - 36IN 916MM	G	PL0003	SW7017-SG MTL	MTL	NR	SB	GC	ELIASON, SEE HARDWARE SET # 11, DOOR TYPE G, HOLLOW METAL DOOR FINISH, PL0003, PANIC FINISH, SW7017-SG
10190	2	DOOR - SINGLE FLUSH	E	PL0003	SW7020-SG MTL	MTL	NR	SB	GC	LOCKNET BRQZE HARDWARE SET # 9
X1001	1	DOOR - SINGLE FLUSH - 36IN	S		MTL		NR	SB	GC	HOLLOW METAL DOOR FINISH, PANIC FINISH, SW7017-SG HARDWARE SET # 12

RESPONSIBILITY LEGEND

- GC-GC FURNISHED BY GC / INSTALLED BY THE GC
 - L-L-L FURNISHED BY LANDLORD / INSTALLED BY THE LANDLORD
 - SB-GC FURNISHED BY STARBUCKS WAREHOUSE OR VENDOR / INSTALLED BY GC
 - SB-SB FURNISHED BY STARBUCKS WAREHOUSE OR VENDOR / INSTALLED BY SB
- NOTE:** ALL RESPONSIBILITIES TO BE CONFIRMED WITH STARBUCKS DESIGN MANAGER PRIOR TO ORDERING / CONSTRUCTION

MASONRY LINTEL DETAIL

Scale: 3/8" = 1'-0"



- A. STARBUCKS VENDOR TO PROVIDE DOOR HARDWARE COMPONENTS. GC TO INSTALL.
- B. SEE SHEET A101 FOR TAGGED LOCATION OF EXTERIOR DOORS AND WINDOWS.
- C. PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS THIS BUILDING SHALL SATISFY THE FOLLOWING (10081.1-10):
 - a) THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - b) THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - c) PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS ACROSS REQUIRED AND THE PAD SHALL NOT EXCEED MORE THAN ONE-HALF OF THE DOOR WIDTH MEASURED FROM THE LATCH SIDE.
 - d) PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 308.
 - e) FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.



STARBUCKS
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

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STARBUCKS TEMPLATE VERSION | 2019.01.11

Design Forum Architects Inc.

Design Forum Engineering

2056 Green Rd
 Manufacturing, OH 43026
 Tel: (614) 882-7100

Donald J. Reihman
 Licensed Professional Engineer
 License: A61997047

Timothy L. Reihman, PE
 2056 Green Rd
 Manufacturing, OH 43026
 Tel: (614) 882-7100

REGISTERED ARCHITECT
 DONALD J. REIHMAN
 NO. 19700147
 ARCHITECTS
 02/11/20

PROJECT NAME:
INDIANA UNIVERSITY

PROJECT ADDRESS:
 110 SOUTH INDIANA AVE
 BLOOMINGTON, IN 47408

STORE #: 2387
 PROJECT #: 06160-057
 ISSUE DATE:
 DESIGNER: KATIE GORIN
 PRODUCTION DESIGNER: LEOUS LANTZ
 CHECKED BY: DON REIHMAN

Revision Schedule

Rev	Date	By	Description
2	2/5/2020		PLAN REVIEW COMMENTS

SHEET TITLE:
WINDOW AND DOOR SCHEDULES

SCALE: NO SCALE

SHEET NUMBER:

WALL BLOCKING KEY

SYMBOL	ITEM	WEIGHT	HEIGHT	APPROXIMATE WIDTH
A	CBE Shelves	300LBS	4'-10" to 5'-2"	Extent of Backbar Upper Casework
B	Artwork / Community Board	100LBS	5'-9" to 10'-10"	Varies - See FF&E Plan and Interior Elevations
C	Menu Boards/ Hardware	300LBS	6'-6" to 8'-10"	Extent of Backbar Upper Casework
D	Shelves and Data Rack at Manager's Desk	300LBS	3'-9" to 7'-2"	7'-0" Centered Above Manager's Desk and Data Rack

- Provide fire treated 2x6 or 2x8 wood stud blocking as required to support any wall attachments.
- See interior elevations for correct locations.

WALL CONSTRUCTION SCHEDULE

WALL LABELING KEY:	INTERIOR SHEATHING	WALL STUD	INTERIOR MODIFIER
A	BOTH SIDES 5/8" TYPE 'X' GYP. BOARD (BOTH SIDES UP TO 6'-3" AFF)	1x6	
B	BOTH SIDES 5/8" TYPE 'X' GYP. BOARD (BOTH SIDES UP TO 4'-0" AFF)	1x6	

GENERAL NOTES

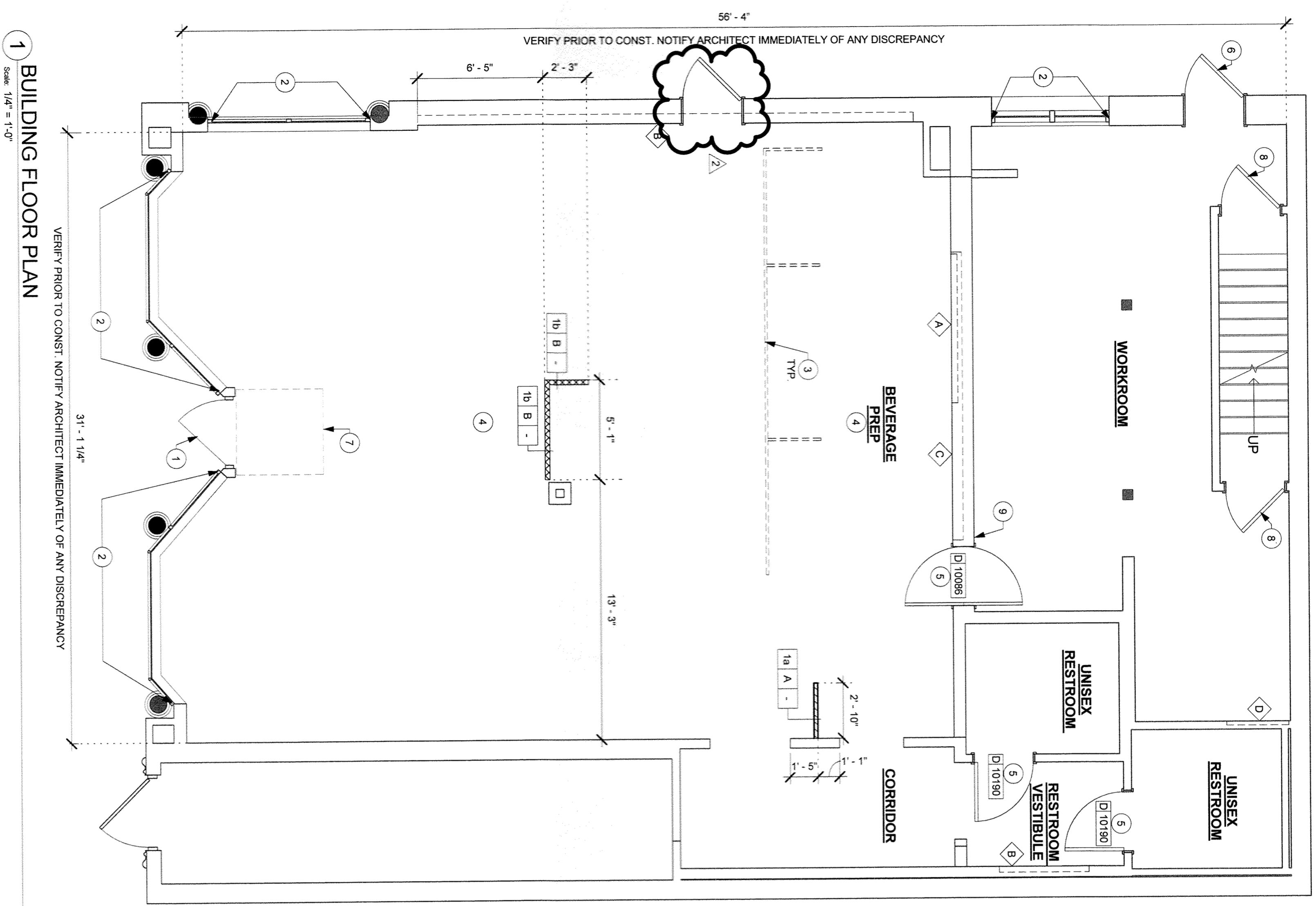
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTED STAIRS PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT ANY WALL ATTACHMENT AND/OR SIGNAGE.
- IF EXISTING EXTERIOR ENTRANCE THRESHOLD EXCEEDS MINIMUM BARRIER FREE PROVISION OF THE CODE REMOVE AND REPLACE WITH ACCESSIBLE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS TO BE BEVELED WITH A SLOPE NO GREATER THAN 1:12.
- ALL DIMENSIONS ARE TO FINISHED FACE UNLESS SHOWN OR NOTED OTHERWISE.
- INSTALL MOISTURE RESISTANT GREEN BOARD ON BACKBAR WALL PER PROJECT MANUAL.
- ALL DOORS SHALL BE 32" RISE/IN MINIMUM CLEAR ALL DOORS SHALL BE OPENED TO 90 DEGREE POSITION UNLESS OTHERWISE NOTED.
- STARBUCKS VENDOR TO PROVIDE DOOR HARDWARE COMPONENTS AND GC TO INSTALL.
- VERIFY ALL EXISTING DOORS, HARDWARE AND FRAMES MEET STARBUCKS AND/OR CODE REQUIREMENTS.
- PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE CITY.

KEYED NOTES

- EXISTING STOREFRONT DOOR TO REMAIN. GC TO ENSURE IN PROPER WORKING ORDER AND REPAIR AS NECESSARY. REPLACE HARDWARE AS REQUIRED.
- EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN. GC TO ENSURE LIKE NEW CONDITION AND REPAIR AS NECESSARY.
- OUTLINE OF BAR PER CASEWORK MANUFACTURER.
- PROVIDE FIRE TREATED WOOD BLOCKING AS REQUIRED TO SUPPORT ANY WALL ATTACHMENTS.
- INSTALL NEW DOORS AS INDICATED. SEE SHEET A807 FOR DOOR AND HARDWARE TYPE.
- EXISTING SERVICE DOOR TO REMAIN.
- EXISTING CUT-OUT IN SLAB FOR WALK-OFF MAT. REPLACE WITH NEW MAT.
- EXISTING INTERIOR DOOR TO REMAIN. GC TO ENSURE IN PROPER WORKING ORDER AND REPAIR AS NECESSARY. REPLACE HARDWARE AS REQUIRED.
- EXISTING FIRE EXTINGUISHER LOCATION.

LEGEND

- NEW FULL HEIGHT WALL
- NEW PARTIAL HEIGHT WALL
- EXISTING WALL
- EXISTING COLUMN
- WALL BLOCKING CALL OUT
- XX
- XX
- XX TAG



1 BUILDING FLOOR PLAN

Scale: 1/4" = 1'-0"

VERIFY PRIOR TO CONST. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY



STARBUCKS
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(209) 318-1575

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STARBUCKS TEMPLATE VERSION 12/19/01.11
Design Forum Architects Inc.
2026 Stevens Rd
Merrimack, NH 03042
Tel: (603) 882-1500

Design Forum Engineering
2026 Stevens Rd
Merrimack, NH 03042
Tel: (603) 882-1500

REGISTERED ARCHITECT
DONALD J. REITHMAN
NO. 157200147
AR 19700147
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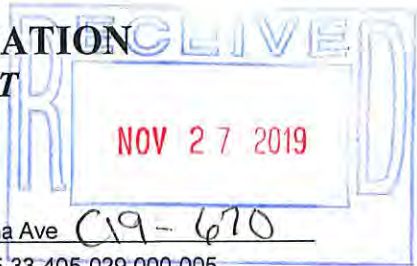
Rev	Date	By	Description
2	2/5/2020	PLAN REVIEW	CMTS

SHEET TITLE:
BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"
SHEET NUMBER:

COMMERCIAL BUILDING PERMIT APPLICATION

MONROE COUNTY BUILDING DEPARTMENT

501 N. Morton St. Rm 220, Bloomington, Indiana 47404
Phone Number:(812) 349-2580 FAX: (812) 349-2967



47449
BL
11-27-19

Project Name Starbucks Coffee Co **Project Address** 110 South Indiana Ave C19-670
City Bloomington **State** IN **Zip Code** 47408 **Parcel No.** 53-05-33-405-029.000-005
Township Bloomington **Section No.** _____ **Lot No.** _____

Property Owners Name Moravec Realty LLC **Phone No.** _____
Property Owners Address 1600 W Brian Dr., Columbus **State** IN **Zip Code** 47201

Applicants Name Michael Martin **Phone No.** 608-407-9090
Applicants Address 319 Elaines Court, Dodgeville **State** WI **Zip Code** 53533

Proposed Work: New Construction Addition Remodel Other Tenant Interior Upfit
Type of use (ie. office) Coffee Shop **Rental:** Yes No **Total number of units:** 1
Total Square Footage of proposed structure/remodel/addition 1926
First Floor Area sq ft 1926 **Second Floor Area sq ft** _____ **Third Floor Area sq ft** _____
Basement Area sq ft _____ **Other Floors Area sq ft** _____

State Construction Design Release number: 412403 **Sprinkler System** Yes No

Type of Construction III-B **Use group** A-2
Maximum number of employees per shift: 5-7 **Building height in stories:** 1 **Height in feet** _____
Maximum number of Public 50
Fire Alarm YES NO
General Contractor: _____ **HVAC Contractor** _____
Phone Number _____ **Phone Number** _____
Plumbing Contractor _____ **Electrical Contractor** _____
License Number _____ **Phone #** _____ **License Number** _____ **Phone #** _____

TBD

Driveway Permit No. _____ State of Indiana Monroe County City of Bloomington
Wastewater system to be connected to: City of Bloomington Sewer Other sanitary system Septic
Flood Plain: Yes No **Sink Holes:** Yes No **Watershed:** Yes No
Sign specification submitted with plans: Yes No

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department. As the Person eligible and responsible for obtaining a permit or permits as required in Section 430-7 of the Monroe County Building Code, and based upon information contained within these plans, I certify that these plans are identical to those released for construction by the Indiana Department of Fire and Building Services. I also understand that if it is determined that these plans are not identical, all permits obtained as a result of their submittal may be revoked as stated in Section 430-15 of the Monroe County Building Code.

Signature of Applicant: Michael Moravec **Date:** 11/26/2019
Email address mike@permit.com

(10/15/19)updated

Interior Remodel