

# CITY OF BLOOMINGTON



# PLAN COMMISSION

March 8, 2021 @ 5:30 p.m.

Zoom Meeting:

<https://bloomington.zoom.us/j/95953837752?pwd=M2JmT1JPb3ZjdEhCeHE5Yk9UZlI6Zz09>

**CITY OF BLOOMINGTON  
PLAN COMMISSION  
March 8, 2021 at 5:30 p.m.**

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**ROLL CALL**

**MINUTES TO BE APPROVED:** None

**REPORTS, RESOLUTIONS AND COMMUNICATIONS:**

**PETITIONS:**

ZO-01-21 through ZO-10-21 **City of Bloomington**

Request: Multiple text amendments to the Unified Development Ordinance (UDO) and the adoption of a new Zoning Map for the City of Bloomington.

**\*\*An overview presentation will be given of the entire proposal. Public comment will only be taken on those petitions that are heard. The likely petitions for this evening are ZO-01-21, ZO-02-21, and ZO-05-21, with the rest of the petitions likely continued to additional hearings.\*\***

**Specifically the following will be considered:**

**ZO-01-21 UDO Technical Text Amendments** - Technical corrections for scrivener's errors, punctuation, references, and/or citations.

**ZO-02-21 UDO Chapter 2, Zoning Districts, Amendments** - Technical corrections for text amendments that add, remove, or edit text to clarify existing standards and generally are not substantive changes.

**ZO-03-21 UDO Chapter 3, Use Regulations, Amendments** - Technical corrections for text amendments that add, remove, or edit text to clarify existing standards and generally are not substantive changes.

**ZO-04-21 UDO Chapter 4, Development Standards & Incentives, Amendments** - Technical corrections for text amendments that add, remove, or edit text to clarify existing standards and generally are not substantive changes.

**ZO-05-21 UDO Chapter 5, Subdivision Standards, Amendments** - Technical corrections for text amendments that add, remove, or edit text to clarify existing standards and generally are not substantive changes.

**ZO-06-21 UDO Chapter 6, Administration & Procedures, Amendments** - Technical corrections for text amendments that add, remove, or edit text to clarify existing standards and generally are not substantive changes.

**ZO-07-21 UDO Chapter 7, Definitions, Amendments** - Technical corrections for text amendments that add, remove, or edit text to clarify existing standards and generally are not substantive changes.

**ZO-08-21 Delete RE District Zone** - Delete the RE district zone and change all district zone references, use standards, other applicable sections of the UDO to the R1 District Zone.

**ZO-09-21 Duplex, Triplex, and Fourplex Text Amendments** - Text amendments related to permitted, conditional, use specific standards, for duplex, triplex, and fourplex uses in the R1, R2, R3, and R4 District Zones.

**\*\*Next Regular Meeting April 12, 2021**

**Last Updated: 3/5/2021**

*Auxiliary aids for people with disabilities are available upon request with adequate notice.  
Please call [812-349-3429](tel:812-349-3429) or e-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

**ZO-10-21 New Zoning Map** - Official Zoning Map will be changed to locate the new PO - Parks and Open Space, R4 - Residential Urban, and MS - Mixed-Use Student Housing zoning districts; to correct split zone lots; to rezone the MH - Mixed-Use Healthcare district, where Bloomington Hospital is currently located; to rezone Planned Unit Developments; to rezone RE to R1 while amending uses to align with RE; and to adjust some zoning district boundaries in order to align with the Comprehensive Plan.

**\*\*Next Regular Meeting April 12, 2021**

**Last Updated: 3/5/2021**

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## Case #s ZO-01-21 through ZO-10-21 Memo

**To:** Bloomington Plan Commission

**From:** Jackie Scanlan, AICP Development Services Manager

**Date:** March 8, 2021

**Re:** Text Amendments to Unified Development Ordinance and Draft Zoning Map

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The Planning and Transportation Department proposes to complete the Unified Development Ordinance (UDO) and Zoning Map Update process by adopting a new Official Zoning Map and amending various sections of the UDO.

Based on guidance from the 2018 Comprehensive Plan, the Department led an effort to repeal and replace the previous UDO that culminated in the 2019 adoption of a new UDO, which became effective in April 2020. Staff has worked with the new UDO since that time and has identified portions of the code that contain errors or that may require additional amending. Staff has been compiling and analyzing those potential amendments since the new UDO was adopted in 2019. A public outreach effort was initiated in October 2020 to present a draft zoning map as well as potential text amendments. The draft map and amendments were reassessed and amended after the public outreach process. A new proposal was created, and was released in February 2021.

Written comments received via email and the website since the proposal was posted on February 12, 2021 are below. Comments received prior to posting, based on the October 2020 Public Outreach Draft, will be located at: <https://bloomington.in.gov/planning/udo/map/updates>.

The proposal is divided into ten (10) petitions by subject matter. Those petitions are as follows:

1. ZO-01-21 | Technical Corrections
2. ZO-02-21 | Chapter 2: Zoning Districts
3. ZO-03-21 | Chapter 3: Use Regulations
4. ZO-04-21 | Chapter 4: Development Standards & Incentives
5. ZO-05-21 | Chapter 5: Subdivision Standards
6. ZO-06-21 | Chapter 6: Administration & Procedures
7. ZO-07-21 | Chapter 7: Definitions
8. ZO-08-21 | Deletion of RE Zoning District
9. ZO-09-21 | Duplex, Triplex, and Fourplex
10. ZO-10-21 | Proposed Zoning Map

### ZO-01-21 | Technical Corrections

This petition contains corrections to errors in the new UDO. These errors range from misplaced or missing references to incorrect numbers to terminology correction to missing text. There are



16 amendments identified, some appearing multiple times in the code. These amendments are needed to provide accurate and clear language for use of the code.

#### ZO-02-21 | Chapter 2: Zoning Districts

This petition clarifies that the step back requirement in the DC, DG, and ST character areas are for the entirety of the building over the respective story limit in each overlay. This is the only amendment in this chapter. This amendment is needed so that it is clear that a partial step back does not meet code.

#### ZO-03-21 | Chapter 3: Use Regulations

This petition deals with the amendment of details related to allowed uses. The amendments run the gamut and will be discussed in additional detail at a later hearing. The amendments from the petition adjust the separation and maximum floor plate requirements for the student housing use; clarify language related to garden fencing, as well as the regulations related to accessory livestock and their structures; clarify standards for uses such as how to count fuel dispenser hoses and how to regulate two-story storage unit buildings; adjust accessory structure maximums for mixed use and multifamily zoning districts, as well as for agricultural buildings in R1; adjust home occupation standards to allow for more area in the home or accessory structure to be used; remove minimum lot size requirements for accessory dwelling units (ADUs), as well as clarifying standards and regulations related to detached ADUs to align with previous code; and clarify time limits for accessory uses such as ‘special event’ or ‘farm produce sales’. There are 28 amendments identified, some with multiple code references. The changes are necessary for various reasons. Some amendments are included because staff has found during the administration of the code that it is needlessly ambiguous or confusing, such as how to count fuel dispensers, the location of garden fencing regulations, or sending Notice to the neighbors of by-right ADUs. Other amendments are included because current code does not seem to serve the use properly, as in the case of the current accessory structure size restrictions related to multifamily developments or agricultural uses. Some amendments are included because administration of the code has shown that the restriction was either unnecessarily restrictive or too lenient, as is the case with by-right student housing standards and farm produce sales time limits, respectively.

#### ZO-04-21 | Chapter 4: Development Standards & Incentives

This petition deals with the amendment of details related to design requirements for uses. These amendments also run the gamut and will be discussed in additional detail at a later hearing. The amendments from the petition match wording from the Transportation Plan; clarify on-site parking maximum areas for some multi-family and adds motorcycle parking dimensions; clarify when particular regulations apply to different types or scales of development; explicitly disallows disturbance in a karst conservancy easement (KCE); exempt required pedestrian easements from impervious surface coverage maximum calculations; increase parking space allowance for ‘medical clinic’; clarify that crushed stone is allowed in single-family development (matched old UDO regulation); add architectural requirements in the Mixed-Use Student Housing zoning district; clarify architectural and neighborhood transition standards; adjust mulch and shrub allowances and requirements; adjust sign standards for upper story uses and multi-tenant center signs; add R4 to regulations previously limited to R1-R3. There are 27 amendment identified, some with multiple code references. These changes are important for various reasons.

Some amendments reiterate regulations that were transferred from the old UDO in odd ways such as clarifying no disturbance in a KCE, gravel driveways for single-family development, and allowable locations for mulch in landscaping. Other changes fill gaps that have been found in administration of the code, such as the lack of architectural standards in the MS zoning district, the need for motorcycle parking space dimensions, or exclusion of R4 in some standards. Some regulations are newly proposed and stem from issues that staff has identified, such as the repeated demonstrated need that ‘medical clinic’ requires more parking than code allows, and the restrictions for signs for upper-floor uses.

#### ZO-05-21 | Chapter 5: Subdivision Standards

This petition amends tree plot width and sidewalk/multiuse path language to require widths to match Transportation Plan guidance if it is wider than the base UDO widths; clarifies that any new single-family or plex residential lot must have street frontage, but that multifamily lots are not required to have street frontage (matches old UDO regulation); requires environmentally sensitive areas to be placed in common area (matches old UDO regulation); and syncs neighborhood intersection distances with Transportation Plan. There are 5 amendments identified. These amendments are needed to provide clarity on development standard requirements in subdivisions by relating them to the Transportation Plan, as well as correcting two items that were potentially inadvertently changed from the last UDO.

#### ZO-06-21 | Chapter 6: Administration & Procedures

This petition deletes the provisions that require major site plan review for expansions of existing developments that increase the units on a lot by 10 percent or more or that increase the gross floor area by more than 10,000 square feet or 25%, whichever is less; amends the minimum unit threshold for major site plan review from 30 to 50 units; replaces language that restricts expansion of structures in a floodplain from a one-time expansion to being allowed if State code is met. There are 4 amendments identified. The first three amendments address issues that we have seen at Plan Commission and in working with potential applicants. The first is that confusion is created when a by-right project is taken to the Plan Commission and neighbors do not understand the available recourse. The Department seeks to incorporate transparency in petitions, which is why the thresholds were set fairly low. However, for smaller scale projects, the benefit to the community of presenting the petitions in a public forum does not outweigh the extra time added for the petitioner and Plan Commission, and in fact, creates confusion. Additionally, the dwelling unit percentage expansion provision would require small apartment buildings that add one or two units to be seen by the Plan Commission. That was not the intent of the provision. The floodplain provision change syncs expansion limits with the State code.

#### ZO-07-21 | Chapter 7: Definitions

This petition clarifies that you can have more multiple primary uses in multiple buildings on one lot (ex. apartment complex with commercial in one building); modifies the definition of multifamily to incorporate upper floor residential units; amends definition of family to sync with the ADU regulations adopted in 2020; adds definitions for firearm sales and small livestock; amends the medical clinic definition to include birthing centers; and amends the porch definition. There are 7 amendments identified. These amendments are needed to clarify regulations for

common existing uses and to add uses that we have seen issues with when discussing their potential location with member of the public.

#### ZO-08-21 | Deletion of RE Zoning District

The deletion of the Residential Estate (RE) zoning district stems from the attempt to map the Residential Large Lot (R1) zoning district. The R1 zoning district was a new district added to the code in the April 2020 adopted version. When staff began considering locations for the R1 zoning district, we looked at lots that would meet the minimum lot size for R1 or larger that were not existing RE. It became apparent that most lot-sized based potential R1 areas were located in larger R2 surroundings with very similar development. Based on existing neighborhoods and surrounding development, it made more sense to leave those areas as R2. The other potential locations for R1 were existing RE areas. The decision was made to functionally combine the two districts.

This petition effectively combines the RE and R1 zoning districts by removing the RE district from code and the map; amending the R1 uses to incorporate a few uses that were allowed in RE but not R1; and mapping the new R1 district in the previous RE locations. This allows for continued availability of the agricultural uses from RE, while enabling the smaller lot development of R1. This encourages a more realistic urban agricultural scale that the Comprehensive Plan envisions. One aspect of RE is that it was created, in part, to provide protection for environmentally-sensitive areas by limiting subdivision with its 2.5 acre minimum lot size. Switching the minimum lot size to the R1 standard allows for additional development, while the existing environmental protections in code will still protect those sensitive areas and require their preservation.

#### ZO-09-21 | Duplex, Triplex, and Fourplex

This petition amends the locations where the uses ‘dwelling, duplex’ (duplex), ‘dwelling, triplex’ (triplex), and ‘dwelling, fourplex’ (fourplex) are allowed and amends the Use-Specific Standards associated with those uses. Deeper discussion of the proposal will occur at a later meeting, but the description below describes the proposed text amendments. The petition proposes duplex as a Conditional Use in the R1-R4 zoning districts, and triplex and fourplex as Conditional Uses in the R4 zoning district. The Use-Specific Standards for all three uses are also amended.

Conditional Use Criteria required to be met by all conditional use requests, including duplex, triplex, and fourplex:

General Compliance Criteria 20.06.040(d)(6)(B)

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals

Additional Criteria Applicable to Conditional Uses 20.06.040(d)(6)(C)

- i. Consistency with Comprehensive Plan and Other Applicable Plans
- ii. Provides Adequate Public Services and Facilities
- iii. Minimizes or Mitigates Adverse Impacts

1. The proposed use and development shall not result in the excessive destruction, loss or damage of any natural, scenic, or historic feature of significant importance.
2. The proposed development shall not cause significant adverse impacts on surrounding properties nor create a nuisance by reason of noise, smoke, odors, vibrations, or objectionable lights.
3. The hours of operation, outside lighting, and trash and waste collection shall not pose a hazard, hardship, or nuisance to the neighborhood.
4. The petitioner shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the pre-submittal neighborhood meeting for the specific proposal, if such a meeting is required.

Conditional Uses can be heard by either the Board of Zoning Appeals or the Hearing Officer. As was done during the introduction of ADUs, the Department would initially take all plex requests to the Board of Zoning Appeals. Additionally, the Director can require that an applicant attempt to attend the relevant Neighborhood Association meetings and would do so, as we informally encouraged for new ADUs.

The April 2020 UDO left in the Use-Specific Standards asterisk (\*) for duplexes and triplexes in the R1-R3 zoning districts without denoting that the uses were either Permitted, Conditional, Accessory, or Temporary. The asterisk with no use allowance designated does not make sense and cannot be administered. The current proposal corrects that situation.

The use-specific standards for a duplex have been amended to remove the provision that related the legality of the use to how the property was zoned under a previous zoning code; remove the provisions that attempted to regulate the size of the structure based on whether or not a demolition permit had been recently issued; remove the requirement for two street-facing doors on all duplexes; and removes the 40 foot maximum width provision. The proposal adds a provision that the owner or registered agent for the property cannot have a Notice of Violation on file in the Department for a period of three years prior to the application for a conditional use for a duplex; requires two street-facing doors for all newly constructed duplexes, but allows remodels and conversions to have a minimum of one street-facing door; and creates a 150 foot buffer around any approved duplex in R1-R3 for a period of two years, so that within such time no other duplexes can be approved in that buffer area in the R1-R3 zoning districts.

The use-specific standards that are removed are convoluted and some regulate current uses based on previous zoning codes, which is not ideal. The 40 foot maximum was removed as it is not appropriate in all areas where duplexes are an option, and similarly the two door requirement was amended for remodels and additions because adding a second door on the front of the house may inadvertently lead to structures that are out of character. The notice of violation provision will limit the option for plexes to those who are not otherwise under enforcement for violation the UDO within the last three years. The buffer was included to help spread out the locating of duplexes, both spatially and in time, while lessening the ‘first come, first served’ concern by lifting the buffer after two years.

Triplexes and Fourplexes require the same conditional use approval as duplexes. The use-specific standards were amended in some of the same ways by adding the provision that limits application to those without notices of violation in the previous three years; removing the references to previous zoning designations; removing the demolition/addition limitations; and allowing for existing structures to maintain a minimum of one exterior door facing the street, with a maximum of two entrances facing a street.

The use-specific standards were amended to remove the convoluted reference to a previous zoning code, as well as to demolition permits on the site. The notice of violation provision will limit the option for plexes to those who are not otherwise under enforcement for violation the UDO within the last three years. Triplexes and Fourplexes are limited to the R4 zoning district and Mixed-Use districts, which are intended to have greater development and therefore the separation requirement is not included.

#### ZO-10-21 | Proposed Zoning Map

This petition updates the Official Zoning Map in order to best apply the updated Unified Development Ordinance regulations; locates the new MS, PO, R1, R4 districts; aligns the Official Zoning Map with the goals of the Comprehensive Plan; rezones parcels to correct split zoned lots; rezones parcels that no longer match the existing or likely future uses on the site; rezones 102 PUDs to base zoning districts; rezones the MH district to match the Bloomington Hospital Site Redevelopment Master Plan Report; rezones most EM parcels to ME.

The UDO created four new base zoning districts MS, PO, R1, and R4. The MS district was designed to accommodate an adequate supply of housing opportunities for students in areas adjacent to or within easy walking distance to campus and be located along nearby commercial corridors. The Comprehensive Plan proposes that student housing should be located away from the downtown and in close proximity to Indiana University.

Staff began the process of locating the new MS district locations by looking for areas that met the UDO and Comprehensive Plan's goals. The area designated as "Gateway North" was identified in the Comprehensive Plan as an appropriate location for increased student housing. Staff selected areas for the MS district that met the purpose and goals of both the UDO and the Comprehensive Plan. Areas that were chosen for the MS district include the "Gateway North" and the Indiana & 10th "Urban Village Center" as they are identified in the Comprehensive Plan as suitable for higher density multifamily and mixed-use developments. The area directly east of the New Hospital Campus was also identified as an area which would be suitable for higher density multifamily and mixed-use developments due to its location to the new Hospital, and University in general. PUDs that met the MS district's allowed uses, specifically "Student Housing or Dormitory," and were located in close proximity to the University were included in the MS district.

Staff began the process of locating the PO district locations by identifying properties owned and operated by the City of Bloomington as official City Parks. The entrance to the Clear Creek Trail along W. Tapp Rd. was also identified as an area that would be suitable to be PO. Official City

Parks located in the MD district were excluded from consideration as they are also located in Character District Overlays and have additional standards placed on them.

Staff identified areas currently zoned as RE as those best suited for the newly proposed R1 district (as proposed in ZO-08-21).

Staff began the process of locating the R4 district locations by identifying locations that met the UDO and Comprehensive Plan's goals. This analysis included identifying properties that met the lot size of the zoning distinct; had access to many public services; and were accessible to pedestrians, cyclists, and vehicles. An attempt was made to locate R4 along arterials, the edges or neighborhoods, or adjacent to more intense zoning districts. PUDs that met the R4 district's dimensional standards or allowed uses, and were eligible to be rezoned to a base zoning district, were also included in the R4 district.

Staff analyzed all base zoned parcels within the City and identified parcels that did not align with the goals of the Comprehensive Plan, were currently split zoned, or no longer matched the current or likely future use of the property. Areas were identified as opportunities where a change in the zoning would further the goals of the Comprehensive Plan while keeping the uses on the site compatible with the surroundings. New RM areas were located in areas within close proximity of the downtown, amenities, or the University. New MM areas were located near the new 7 Line Trail in order to encourage commercial and residential growth along the new amenity. Split zoned lots were removed from the Zoning Map by drawing the district boundaries utilizing existing property lines. Staff identified parcels that featured uses that would not be allowed in their current zoning district and identified areas where rezoning to a different base zoning district would better serve the current uses and the goals of the Comprehensive Plan.

The UDO was written with the expectation that PUDs would be expired after certain thresholds were met, after a period of inactivity, or if the PUD is no longer operating within the guidelines of the PUD. Staff analyzed all 119 of the city's currently existing PUDs. Reviewing information including but not limited to: initial year of approval, allowed uses, underlying zoning, surrounding zoning, and last year of approved petition. This data was used to identify those PUDs which were either obsolete or built out enough to warrant rezoning to one or more base zoning districts. 102 PUDs in total were identified as having met at least of the four triggers for being eligible to be rezoned:

- At least 95 percent of a PUD has been built-out [20.06.070(c)(5)(D)],
- The preliminary plan shall be considered abandoned if, three years after the approval of the preliminary plan by the Common Council, no final plan approval has been granted for any section of the Planned Unit Development [20.06.070(c)(3)(E)(2)[a]],
- 10 years after the approval of the preliminary plan by the Common Council, final plan approval has been granted for one or more sections of the Planned Unit Development, but sections of the Planned Unit Development remain without approved final plans [20.06.070(c)(3)(E)(2)[b]], or
- If a PUD is no longer proceeding in accordance with its PUD district ordinance, commitments, or time requirements imposed through the procedures in this Section 20.06.070(c) or by agreement [20.06.070(c)(5)(C)].

Staff analyzed the existing MH district ahead of Bloomington Hospital's relocation. Much of the current MH district was included in the recent Bloomington Hospital Site Redevelopment Master Plan Report. Staff matched the Master Plan's proposed zoning districts for areas included in the Report. Parcels zoned MH that were not included in the Master Plan were analyzed by staff to match the surrounding uses and the proposed districts from the Master Plan. Staff has not designated any parcels in the city to be zoned MH.

Staff analyzed all of the current zoning districts while undergoing this process and determined that parcels currently zoned EM would be better able to meet the goals of the Comprehensive Plan if they were zoned ME. Many of the areas currently zoned EM were identified as areas that did not align with the goals of the Comprehensive Plan, or no longer matched the current or likely future use of the property. This initial analysis rezoned many EM parcels to different base zoning districts, and the remaining EM areas were rezoned to ME.

(2) **Dimensional Standards**

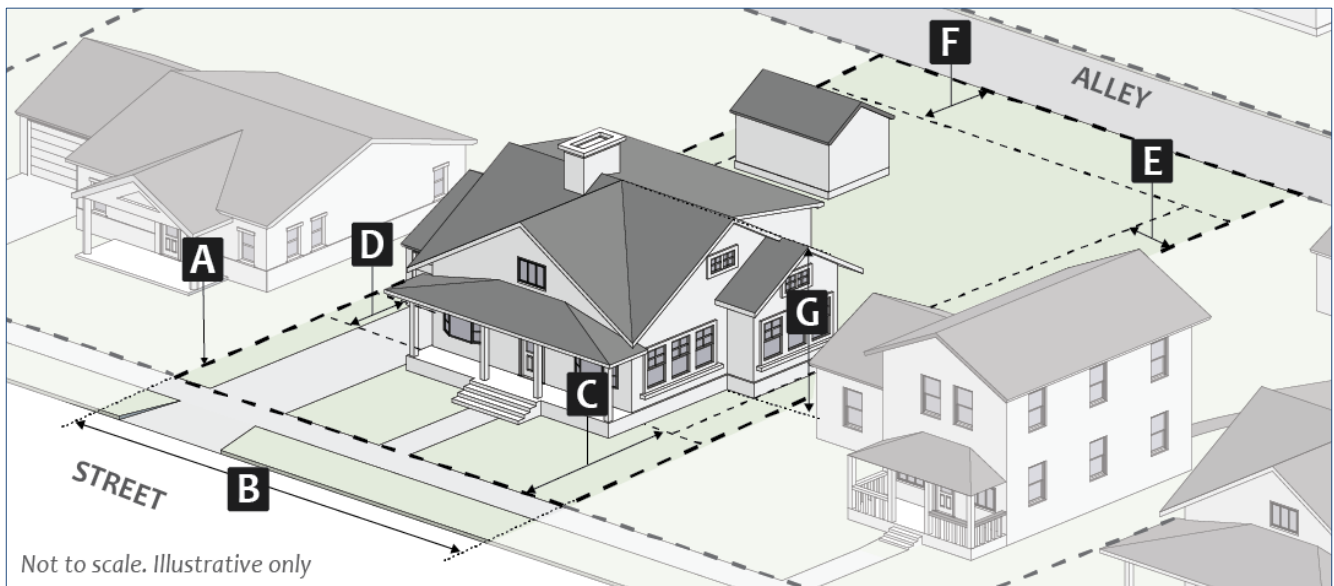
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-4: R2 District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	7,200 square feet (0.165 acres)[1]
<b>B</b>	Lot width	60 feet [1]
Building Setbacks (Minimum)		
<b>C</b>	Front	15 feet or the median front setback of abutting residential structures, whichever is less.
<b>D</b>	Attached front-loading garage or carport	25 feet [2]
<b>E</b>	Side	First Floor: 8 feet [3] Each story above the ground floor: 10 feet [1] [3]
<b>F</b>	Rear	25 feet [1]
Other Standards		
	Impervious surface coverage (maximum)	40%
<b>G</b>	Primary structure height (maximum)	40 feet
	Accessory structure height (maximum)	20 feet

**Notes:**

- [1] See Section 20.04.110 (Incentives) for alternative standards.
- [2] Or equal to the setback of the primary structure, whichever is greater.
- [3] Legally established lots of record that are less than the minimum lot width may reduce the required setback up to 2 feet.



**Figure 6: R2 District Dimensional Standards**



(2) **Dimensional Standards**

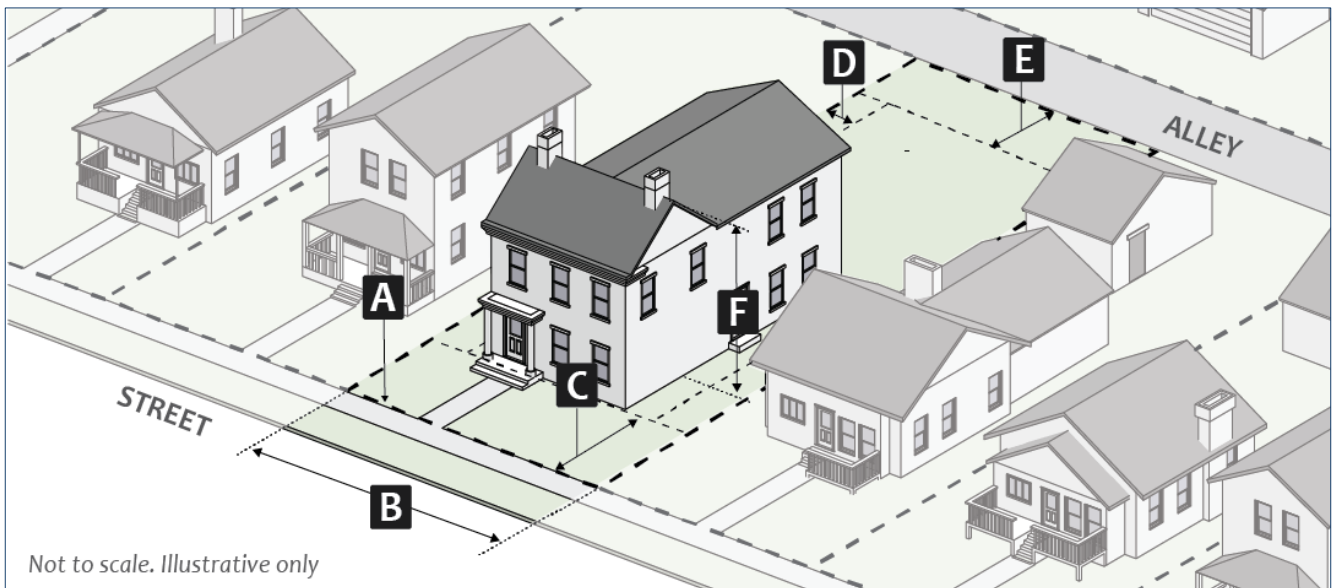
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-5: R3 District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres) [1]
<b>B</b>	Lot width	50 feet [1]
Building Setbacks (Minimum)		
<b>C</b>	Front build-to line	15 feet or the median front setback of abutting residential structures, whichever is less.
	Attached front-loading garage or carport	10 feet behind the primary structure's front building wall
<b>D</b>	Side	First floor: 6 feet [2] Each story above the ground floor: 10 feet [1] [2]
<b>E</b>	Rear	25 feet [1]
Other Standards		
	Impervious surface coverage (maximum)	45%
<b>F</b>	Primary structure height (maximum)	35 feet
	Accessory structure height (maximum)	20 feet

**Notes:**

- [1] See Section 20.04.110 (Incentives) for alternative standards.
- [2] Legally established lots of record that are less than the minimum lot width may reduce the required setback up to 2 feet.



**Figure 8: R3 Dimensional Standards**

(2) **Dimensional Standards**

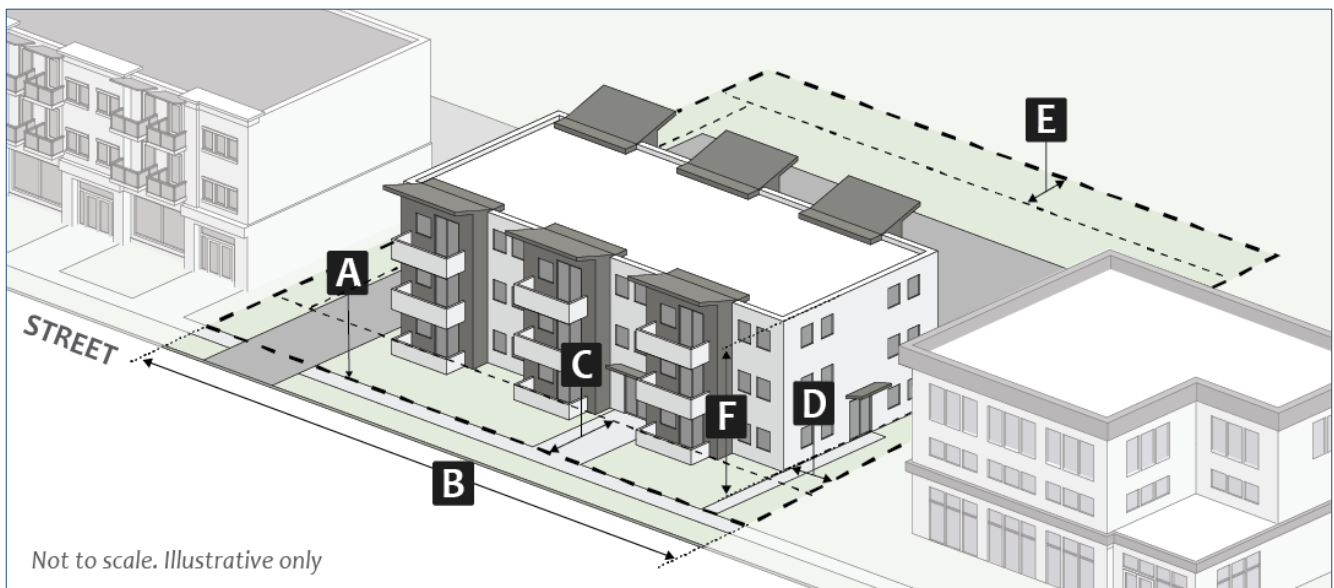
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-7: RM District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		Multifamily Dwelling	Single-Family, Duplex, Triplex, or Fourplex Dwelling
<b>A</b>	Lot area	5,000 square feet (0.115 acres)	R4 district standards apply
<b>B</b>	Lot width	50 feet	
Building Setbacks (Minimum)			
<b>C</b>	Front	15 feet	R4 district standards apply
	Attached front-loading garage or carport	25 feet [1]	
<b>D</b>	Side	10 feet [2]	
<b>E</b>	Rear	<del>10 feet</del> [2] <b>15 feet</b>	
Other Standards			
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall	R4 district standards apply
	Impervious surface coverage (maximum)	60%	
	Landscape area (minimum)	40%	
<b>F</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [2] [3]	
	Accessory structure height (maximum)	20 feet	

**Notes:**

- [1] Or equal to the setback of the primary structure, whichever is greater.
- [2] Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [3] See Section 20.04.110 (Incentives) for alternative standards.



(2) **Dimensional Standards**

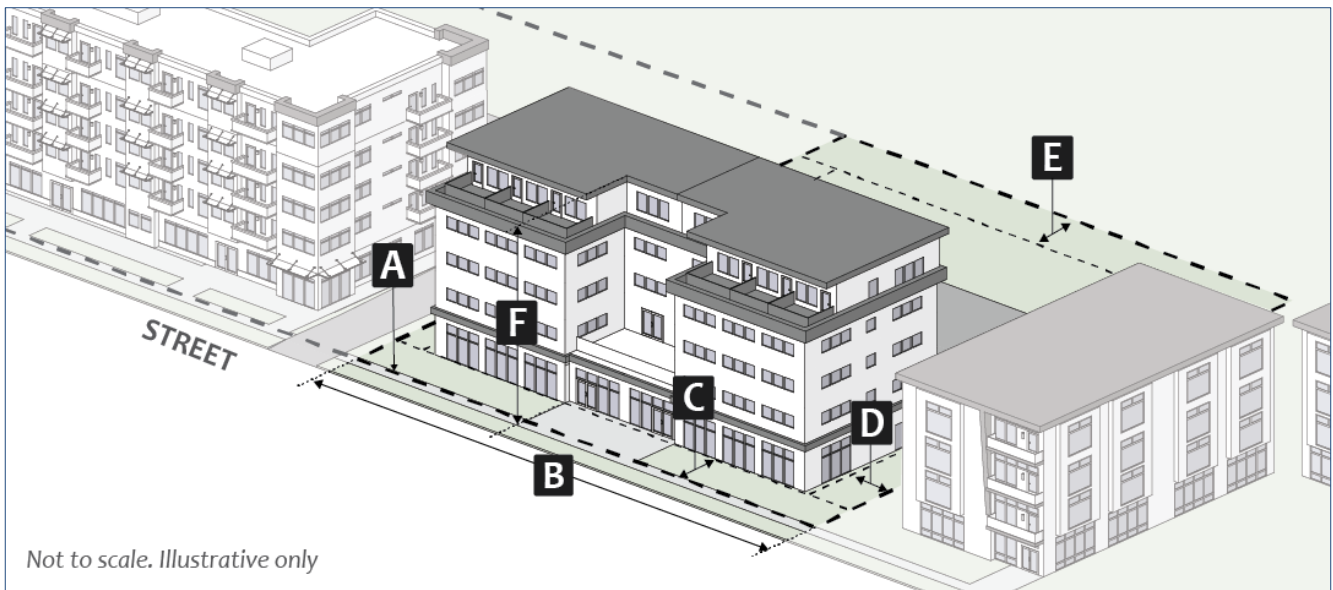
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010(Dimensional Standards) also apply.

**Table 02-8: RH District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		Multifamily Dwelling	Single-Family, Duplex, Triplex, or Fourplex Dwelling
<b>A</b>	Lot area	5,000 square feet (0.115 acres)	R4 district standards apply
<b>B</b>	Lot width	50 feet	
Building Setbacks (Minimum)			
<b>C</b>	Front	15 feet	R4 district standards apply
	Attached front-loading garage or carport	25 feet [1]	
<b>D</b>	Side	10 feet [2]	
<b>E</b>	Rear	<del>10 feet</del> [2] <u>15 feet</u>	
Other Standards			
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall	R4 district standards apply
	Impervious surface coverage (maximum)	65%	
	Landscape area (minimum)	35%	
<b>F</b>	Primary structure height (maximum)	5 stories, not to exceed 63 feet [2] [3]	
	Accessory structure height (maximum)	20 feet	

**Notes:**

- [1] Or equal to the setback of the primary structure, whichever is greater.
- [2] Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 14: RH Dimensional Standards**

(2) **Dimensional Standards**

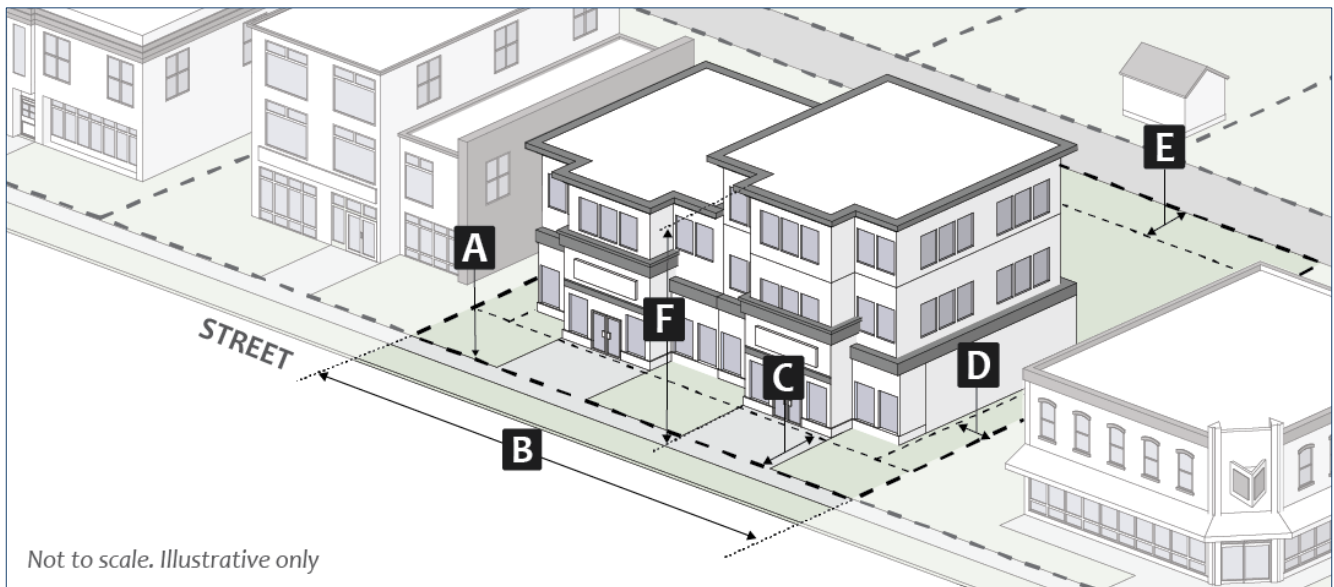
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-11: MN District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front build-to range	15 to 25 feet
	Front building façade at build-to range (minimum)	70%
<b>D</b>	Side	7 feet [1]
<b>E</b>	Rear	10 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	60%
	Landscape area (minimum)	<del>25%</del> 40%
	Area of any individual commercial tenant (maximum)	5,000 square feet gross floor area
<b>F</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3]
	Accessory structure height (maximum)	20 feet

**Notes:**

- [1] Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.

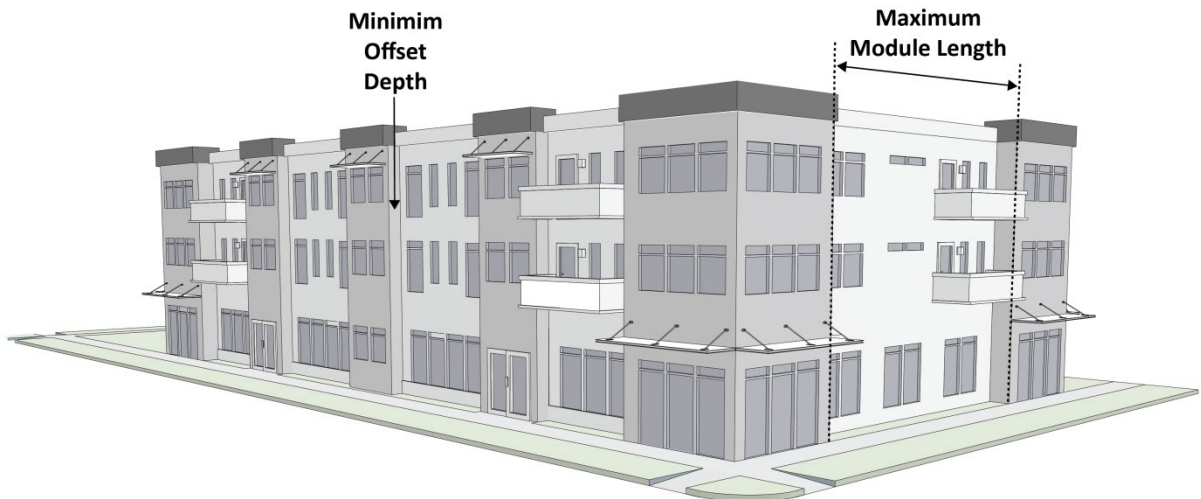


**Figure 20: MN Dimensional Standards**

- i. ~~Vary or repeat based on the maximum façade module lengths shown in the table below; and Are offset by a minimum depth (projecting or recessing) of five percent of the total façade length, at a minimum of five feet, and the offset shall extend the length and height of its module; and~~
- ii. ~~Are offset by a minimum depth (projecting or recessing) of five percent of the total façade length, at a minimum of five feet, and the offset shall extend the length and height of its module. Vary or repeat based on the maximum façade module lengths shown in the table below.~~

**Table 02-28: Primary Building Articulation**

Downtown Character Overlays	Lengths of Façade Articulation Modules	
	Maximum	Minimum
CS, UV	50 feet	20 feet
DC, DG	65 feet	20 feet
DE	45 feet	20 feet
ST	100 feet	none



**Figure 48: Primary Building Articulation**

**(9) Façade Materials**

All street and non-street facing façades of a primary building shall comply with the materials requirements shown in the following table:

# Chapter 20.04: Development Standards & Incentives

## 20.04.010 Applicability

### (a) New Development

The requirements of this chapter shall apply to all new development pursuant to Section 20.01.020 (Authority, Applicability, and Jurisdiction), unless otherwise exempted in this Chapter.

### (b) Activities That Trigger Compliance

- (1) Construction of any new primary structure on a lot shall require compliance with all standards in this Chapter unless an exception is stated in this UDO.
- (2) Table 04-1 identifies activities that trigger compliance for conforming sites and structures with specific development standards contained in Chapter 20.04: (Development Standards & Incentives). These standards shall not exempt development activity that falls below the thresholds identified in Table 04-1 from complying with applicable standards of this UDO or any applicable federal, state, or local regulations. Additional information on applicability is provided in the referenced sections.
- (3) Section 20.06.090(f) (Nonconforming Site Features ) identifies activities that trigger full and limited compliance for lawful nonconforming sites and structures with specific development standards contained in Chapter 20.04: (Development Standards & Incentives).
- (4) For purposes of this section, "entire site" shall mean the total area of the lot on which development is occurring. "Disturbed area" shall mean those areas of the lot or those portions of the structure that are included in the project area or that are affected by the proposed development activity.

**Table 04-1: Development Standards Compliance Thresholds For Conforming Sites and Structures**

UDO Standard	UDO Section	Change of Use		New Development		Redevelopment			
		Entire Site	Disturbed Areas Only	Entire Site	Disturbed Areas Only	Minor Site Plan		Major Site Plan	
						Entire Site	Disturbed Areas Only	Entire Site	Disturbed Areas Only
Dimensional Standards	20.04.020		✓	✓			✓	✓	
Environment	20.04.030		✓	✓			✓	✓	
Floodplain	20.04.040		✓	✓			✓	✓	
Access and Connectivity	20.04.050	✓		✓		✓		✓	
Parking and Loading	20.04.060	✓		✓		✓		✓	
Site and Building Design	20.04.070		✓	✓			✓	✓	
Landscape, Buffering, and Fences	20.04.080		✓	✓		✓		✓	
Outdoor Lighting	20.04.090	✓		✓			✓	✓	
Signs	20.04.100	✓		✓		✓		✓	

**Table 04-2: Residential District Dimensional Standards**

sq. ft. = square feet

Dimensional Standards		RE	R1	R2	R3	R4	RM [1]	RH [1]	RMH [1]	
<b>Lot Dimensions (Minimum, only for lots created after the effective date)</b>									<b>Entire Development</b>	<b>Dwelling Site</b>
Lot area	sq. ft.	108,900	20,000 [2]	7,200 [2]	5,000 [2]	4,000	5,000	5,000	43,560	3,000
	acres	2.50	0.459 [2]	0.165 [2]	0.115 [2]	0.092	0.115	0.115	1.00	0.069
Lot width		200 feet	100 feet [2]	60 feet [2]	50 feet [2]	35 feet	50 feet	50 feet	200 feet	40 feet
<b>Building Setbacks (Minimum)</b>										
Front build-to line		None	None	None	15 feet [3]	None	None	None	None	None
Front		30 feet	15 feet	15 feet [3]	None	15 feet [3]	<del>10 feet</del> 15 feet	<del>10 feet</del> 15 feet	25 feet	10 feet
Attached front-loading garage or carport		30 feet [4]	25 feet [4]	25 feet [4]	10 feet behind the primary structure's front building wall		25 feet [4]		None	None
Side		30 feet	First floor: 8 feet Each story above the ground floor: 10 feet [2]	First floor: 8 feet Each story above the ground floor: 10 feet [2] [5]	First floor: 6 feet Each story above the ground floor: 10 feet [2] [5]	5 feet	10 feet [6]	10 feet [6]	20 feet	Primary Structure: 7 feet Accessory Structure: 2 feet
Rear		60 feet	25 feet [2]	25 feet [2]	25 feet [2]	25 feet	15 feet [6]	15 feet [6]	20 feet	
<b>Other Standards</b>										
Front parking setback (minimum)		None	None	None	None	None	20 feet behind the primary structure's front building wall		None	None
<del>Side parking setback (minimum)</del>		<del>None</del>	<del>None</del>	<del>None</del>	<del>None</del>	<del>None</del>	<del>8 feet</del>	<del>8 feet</del>	<del>None</del>	<del>None</del>
<del>Rear parking setback (minimum)</del>		<del>None</del>	<del>None</del>	<del>None</del>	<del>None</del>	<del>None</del>	<del>8 feet</del>	<del>8 feet</del>	<del>None</del>	<del>None</del>
Impervious surface coverage (maximum)		15%	30%	40%	45%	50%	60%	65%	None	65%
Landscape area (minimum)		None	None	None	None	None	40%	35%	None	None
Primary structure height (maximum)		40 feet	40 feet	40 feet	35 feet	40 feet	3 stories, not to exceed 40 feet [2] [6]	5 stories, not to exceed 63 feet [2] [6]	None	20 feet
Accessory structure height (maximum)		30 feet	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet	None	20 feet

**Notes:**

- [1] Any single-family, duplex, triplex, or fourplex development shall be subject to the R4 residential lot standards.
- [2] See Section 20.04.110 (Incentives) for alternative standards.
- [3] Or the median front setback of abutting residential structures, whichever is less.
- [4] Or equal to the setback of the primary structure, whichever is greater.
- [5] Legally established lots of record that are less than the minimum lot width may reduce the required setback up to 2 feet.



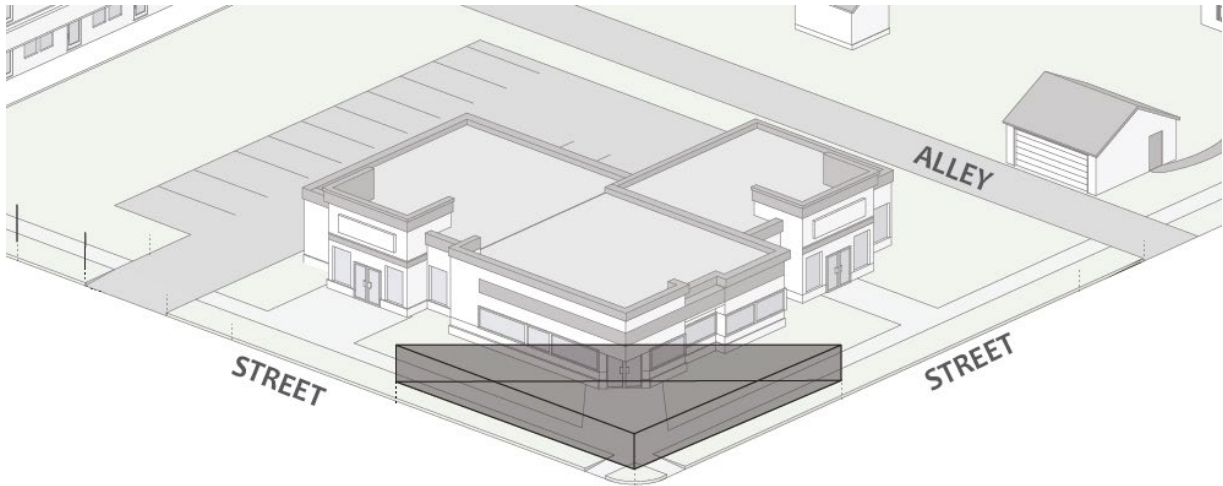
**Table 04-3: Mixed-Use District Dimensional Standards**

sq. ft. = square feet

Dimensional Standards		MS	MN	MM	MC	ME	MI	MD	MH
<b>Lot Dimensions (Minimum, only for lots created after the effective date)</b>									
Lot area	sq. ft.	5,000	5,000	5,000	5,000	5,000	5,000	See Table 04-4	10,890
	acres	0.115	0.115	0.115	0.115	0.115	0.115		0.25
Lot width		50 feet	50 feet	50 feet	50 feet	50 feet	50 feet		65 feet
<b>Building Setbacks (Minimum)</b>									
Front build-to range		None	15 to 25 feet	15 to 25 feet	None	None	None	See Table 04-4	None
Front building façade at build-to range (minimum)		None	70%	70%	None	None	None		None
Front		15 feet	(see above)	(see above)	15 feet	15 feet	15 feet		25 feet
Side [1]		15 feet	7 feet	7 feet	7 feet	10 feet	10 feet		10 feet
Rear [1]			10 feet						
<b>Other Standards</b>									
Front parking setback (minimum)		20 feet behind the primary structure's front building wall						See Table 04-4	20 feet behind the primary structure's front building wall
<del>Side parking setback (minimum)</del>		<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>		<del>8 feet</del>
<del>Rear parking setback (minimum)</del>		<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>	<del>8 feet</del>		<del>8 feet</del>
Impervious surface coverage (maximum)		70%	60%	60%	60%	70%	60%		60%
Landscape area (minimum)		30%	<del>25%</del> 40%	40%	40%	30%	40%		40%
Area of any individual commercial tenant (maximum)		None	5,000 sq. ft. gross floor area	None	None	None	None		None
Primary structure height (maximum) [1] [2] [3]		6 stories, not to exceed 75 feet	3 stories, not to exceed 40 feet	4 stories, not to exceed 50 feet	4 stories, not to exceed 50 feet	5 stories, not to exceed 63 feet	4 stories, not to exceed 50 feet		3 stories, not to exceed 40 feet
Accessory structure height (maximum)		20 feet	20 feet	30 feet	30 feet	30 feet	30 feet		25 feet

**Notes:**





**Figure 51: Vision Clearance Triangle**

**(B) Vision Clearance Triangle Leg Lengths**

The vision clearance triangle leg lengths shall be as specified in the most current edition of the policy on geometric design of highways and streets published by the American Association of State Highway and Transportation Officials. Deviation from these standards shall require written approval from the City Planning and Transportation Department.

**(C) Vertical Clear Area**

No primary or accessory structures, landscaping, fences, walls or signs shall be placed in or to project into the vision clearance triangle between the heights of two and one-half feet and nine feet above the crown of the adjacent street.

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**(d) Pedestrian and Bicycle Circulation**

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**(1) Purpose**

To reduce greenhouse gas emissions and improve the health and quality of life of city residents by providing safe, convenient, and attractive pedestrian and bicycle transportation paths, sidewalks, trails, and other facilities throughout the City.

**(2) Applicability**

Pedestrian facilities shall be required on both sides of all streets, with the exception of new single-family, duplex, and triplex residences built on existing legal lots of record on non-classified (neighborhood) streets with no adjacent pedestrian facilities, and additions to existing residential structures; and except that culs-de-sac less than 300 feet in length and providing access to less than 10 residential units shall be required to provide pedestrian facilities on one side of the street. All required trails and connector paths shall be provided. Where there are conflicting standards in this UDO and the most recently adopted Transportation Plan, the Planning and Transportation Director shall determine which standard governs.

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## 20.04.060 Parking and Loading

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### (a) Purpose

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This section is intended to regulate the amount and design of off-street parking and loading for different land uses and to help protect the public health, safety, and general welfare by:

- (1) Avoiding and mitigating traffic congestion;
  - (2) Providing necessary access for service and emergency vehicles;
  - (3) Providing for safe and convenient interaction between motor vehicles, bicycles, and pedestrians;
  - (4) Encouraging multi-modal transportation options and enhanced pedestrian safety;
  - (5) Providing flexibility to respond to the transportation, access, and loading impacts of various land uses in different areas of the city;
  - (6) Reducing stormwater runoff, reducing heat island effect from large expanses of pavement, improving water quality, and minimizing dust pollution; and
  - (7) Avoiding and mitigating the adverse visual impact of large concentrations of exposed parking.
- 

### (b) Applicability

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Compliance with this Section 20.04.060 (Parking and Loading) shall be required pursuant to Section 20.04.010 (Applicability) and the specific applicability criteria established in Sections 20.04.060(d) through 20.04.060(l).

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### (c) Parking Calculations

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#### (1) Generally

- (A) All parking and loading requirements that are based on square footage shall be calculated on the basis of gross floor area of the subject use, unless otherwise specified.
- (B) Parking spaces designed or designated exclusively for recreational vehicles, motorcycles, scooters, and other two-wheeled vehicles shall not be included in the calculation of minimum or maximum vehicle parking requirements.
- (C) Parking spaces intended for storage of business vehicles, such as fleet vehicles, delivery vehicles, or vehicles on display associated with sales or rental shall not be included in the calculation of minimum or maximum vehicle parking requirements unless otherwise stated. Businesses with parking areas designed exclusively for vehicle display shall provide a minimum of one van accessible ADA parking space.
- ~~(D)~~ When measurements of the minimum number of required parking spaces for vehicles or bicycles result in a fractional number, any fraction of 0.5 or larger shall be rounded up to the next higher whole number.
- ~~(E)~~(D) When measurements of the maximum number of required parking spaces for vehicles or bicycles result in a fractional number, any fraction of 0.5 or larger shall be rounded down to the next lowest whole number.
- ~~(F)~~(E) Lots containing more than one use shall provide parking and loading based on the shared parking calculations in Section 20.04.060(g)(1).

**(D) Building Expansions or Changes ~~of~~in Use**

Building expansions or changes ~~in~~ef use that require additional vehicle parking spaces pursuant to Section 20.04.060(b) shall also require additional bicycle parking spaces based on the percentages in Table 04-13: Minimum Bicycle Parking Requirements, as applied to the building expansion area or the additional parking required by the change ~~of~~in use.

**(E) When No On-Site Vehicle Spaces are Provided**

Where no vehicle parking spaces are provided on site, one bicycle parking space shall be required for every 5,000 square feet of gross floor area in each primary building, or a minimum of six bicycle parking spaces, whichever is greater.

**(F) Existing Public Bicycle Parking Spaces**

Permanent bicycle parking spaces available for public use, such as City installed bicycle racks or bike corrals that exist at the time of development, expansion, or change ~~of~~in use, and are located within 100 feet of the primary entrance to the primary building may be used to satisfy up to two required bicycle parking spaces.

**(G) Bicycle Parking Reduction**

Subject to the approval of the Planning and Transportation Department, the number of bicycle parking spaces may be reduced if:

- i. Unique or unusual characteristics exist on a development site that would preclude safe travel of bicycles to and from the site; or
- ii. Existing bicycle parking facilities are located within the public right-of-way and within 100 feet of the building's main entrance, provided that a minimum of four bicycle parking spaces are provided on site.

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**(m) Bicycle Parking Location and Design**


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**(1) Location****(A) Rights-of-way**

Bicycle parking spaces shall not be located fully or partially within a public right-of-way without prior approval of the City.

**(B) Access and Pedestrian Obstruction**

All required bicycle parking spaces shall be located so that a minimum three-foot clear pedestrian passage space is provided to all sides of a standard six-foot bicycle parked in each required space, and so that there is at least 54 inches of clearance remaining for ADA compliance on pedestrian pathways.

**(C) Design and Proximity**

Required bicycle parking spaces shall be designed to allow bicycles to be secured with a lock to a fixed object and shall be located within 50 feet of the main entrance of each primary building on site.

**(D) Collocation**

Bicycle parking facilities may be located in a non-required vehicular automobile parking space so long as it is not a parking space required to comply with the Americans with Disabilities Act and the location meets the other provisions of this section.

- iii. The pedestrian entry shall contain at least three of the following architectural details:
  1. Pilasters or facade modules;
  2. Public art display;
  3. Prominent building address, building name, and lighting;
  4. Raised corniced entryway parapet; or
  5. Buttress and arched entry.

**(I) Windows on Primary Facades**

All first-story windows on the primary façade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

**(J) Anti-Monotony Standards**

In the case of new construction of multifamily units, any development containing more than three individual buildings shall incorporate the following variations to break up monotony in design:

- i. Differences in rooflines;
- ii. Differences in building footprint;
- iii. Differences in the number of floors per building.

**(J)(K) Street Addresses**

- i. Street address displays shall consist of Arabic numerals (e.g., 1, 2, 3...) no less than eight inches in height. For multifamily uses, the address display shall a minimum of five inches and a maximum of 10 inches in height.
- ii. Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.
- iii. All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials, and shall be clearly visible and identifiable from the street.

**(3) Residential**

**(A) Applicability**

The following standards shall apply to the construction, expansion, addition, or alteration of any building in the RE, R1, R2, R3, R4, RM, RH and RMH zoning districts.

**(B) Materials**

Primary exterior finish building materials used on residential dwellings shall consist of any of the following:

- i. Horizontal lap siding (e.g., vinyl, cementitious, wood);
- ii. V-grooved tongue-and-groove siding;
- iii. Wood-grained vertical siding materials in a board-and-batten or reverse batten pattern;
- iv. Cedar or other wood materials (excluding EIFS);
- v. Stucco, plaster, or similar systems (excluding EIFS);
- vi. Stone;
- vii. Split face block, ground face block, or brick;

- (B) Screened outdoor storage facilities shall be adequately protected from damage by vehicles through the installation of bollards and shall be properly maintained and kept in good repair at all times.

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**(n) Fences and Walls**

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**(1) Applicability**

Unless otherwise provided below, this Section 20.04.080(n) shall apply to all new development.

- (A) Fences and walls used to screen trash receptacles, mechanical equipment, and other areas requiring screening are exempt from the height limits in Section 20.04.080(n)(3); however they shall not be less than six feet in height.
- (B) Utility substation and transmission facilities, quarry and stone processing, jails, detention facilities, kennels, and prisons are exempt from Section 20.04.080(n)(3).
- (C) Retaining walls are exempt from the height standards but shall be constructed in accordance with manufacturer's specifications or generally accepted engineering standards.
- (D) Fences and walls used to screen swimming pools shall not be less than five feet in height or greater than eight feet in height.
- (E) Fences and walls located in the RE, ~~IN-PO~~, and MI zoning districts are exempt from height standards.
- (F) Decorative features of fences such as post tops are exempt from height requirements provided, they extend no more than 12 inches from the top of the fence and are spaced at least eight feet apart.
- (G) Fences intended exclusively to protect food garden plots from animals shall not be more than 12 feet in height. The portion of the fence that exceeds five feet in height shall, by the use of voids and solids via latticework or other similar techniques, be of open construction. This portion of the fence shall be constructed of materials widely accepted in the fence industry for garden protection.

**(2) Fence and Wall Location**

- (A) Fences and walls shall be permitted up to the property line.
- (B) No fence or wall shall be located within a public or private easement unless written permission from the easement holder has been granted.

**(3) Fence and Wall Height****(A) Interior Lots**

- i. Behind the front building wall of the primary structure, fences and walls shall not exceed a combined height of eight feet, except as provided in Subsection (1)(G) above.
- ii. Forward of the front building wall of the primary structure, fences and walls shall not exceed four feet in height.

**(B) Corner Lots**

On corner lots where the structure has two front building walls, one frontage shall be considered a secondary front building wall.

**(B) Plan Commission, Board of Zoning Appeals, or Common Council Decision**

Any person that has standing to obtain judicial review of a zoning decision as established in Indiana Code 36-7-4-1603: Standing may appeal a zoning decision made by the Plan Commission according to the judicial review process established in Indiana Code 36-7-4-1600: Judicial Review. Such appeal shall be filed at the appropriate venue in the judicial district where the land affected by the zoning decision is located and shall be filed no later than 30 days after the date of the zoning decision.

**(C) Plat Committee Decision**

A Plat Committee decision may be appealed to the Plan Commission pursuant to the procedure set forth in Section 20.06.080(d) (Administrative Appeal). Any appeal shall be filed with the Planning and Transportation Department within 10 days of the Plat Committee's decision.

**(D) Time of Expiration during Appeals**

If an appeal by writ of certiorari is taken from a decision, the time during which such appeal is pending shall not be counted in determining whether the permit or approval has expired under subsection (A) through (C).

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## 20.06.050 Development Permits and Procedures

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**(a) Site Plan Review****(1) Purpose**

The site plan review procedure is intended to ensure that potential impacts of development are considered before submittal of a petition for construction or issuance of a building permit and to:

- (A) Promote well-planned and well-designed use of property;
- (B) Promote a high character of community development;
- (C) Review site plans relative to site layout, improvements and engineering in the interest of public health, safety, convenience, and welfare;
- (D) Promote new development that has a positive impact on the community as a whole, does not negatively impact neighbors, protects sensitive natural resources, is well-designed to maximize efficient use of the land and surrounding transportation system, and provides for adequate stormwater management;
- (E) Determine compliance with the standards of this UDO;
- (F) Protect environmental quality; and
- (G) Ensure that the statutory requirements established in the Indiana Code for development plan review and approval are met.

**(2) Applicability****(A) Activities Subject to Site Plan Review**

Site plan review is required prior to the issuance of a building permit and/or construction of physical site improvements. Site plan review is required for all development and changes [in](#) [of](#) use subject to this UDO, including the following, unless exempted by subsection B below:

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**(f) Certificate of Zoning Compliance**

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**(1) Purpose**

The Certificate of Zoning Compliance procedure is intended to provide a mechanism for City staff to ensure that the establishment of and alterations to uses, sites, and structures conform to the standards of this UDO.

**(2) Applicability****(A) Generally**

- i. A Certificate of Zoning Compliance shall be required for any of the following activities:
  1. Alteration, erection, construction, reconstruction, division, enlargement, demolition, partial demolition or moving of any building, structure, sign, or mobile home;
  2. Establishment of a use or change in use to another use (see Section 20.06.090(c)(2) (Change of Use));
  3. Enlargement in the area used for any use or relocation of a use to another portion of a lot, site, or building;
  4. Grading, improvement, or other alteration of land, including paving or the establishment of drives or parking areas, or any other land distributing activity.
  5. Tree removal requests that decrease the baseline canopy cover shall follow the procedures outlined in Section 20.06.050(a) (Site Plan Review), and shall comply with the requirements of Section 20.04.030(i) (Tree and Forest Preservation).
  6. Any action that would result in partial or complete demolition of any exterior portion of a building or structure that is listed as "Outstanding," "Notable," or "Contributing" on the City of Bloomington Survey of Historic Sites and Structures as the same may be amended or replaced ("Historic Survey"). Such action shall be subject to the procedures outlined in Section 20.06.050(c) (Demolition Delay Permit). An accessory building or structure not attached to the principal building or structure upon the listed parcel shall not be considered "listed" within the meaning of this UDO unless the accessory building or structure is of the same era of construction as the principal building or structure, as determined by the staff. Such determination shall be based upon resources that may include but shall not be limited to Sanborn Company Fire Insurance maps, visual inspection of the accessory building or structure, and records and expertise of Historic Preservation Commission or its staff.
- ii. A single Certificate of Zoning Compliance may be issued for a combination of such actions if they occur together. Any petition for a Certificate of Zoning Compliance, permit, or other approval for an action described in subsection (A)(i.6) above shall be subject to the procedures outlined in Section 20.06.050(c) (Demolition Delay Permit).

**(B) Exemptions**

Activities involving the removal of dead, dying, or hazardous trees, or exotic, invasive vegetation, as verified by the Planning and Transportation Department, are exempt from receiving a Certificate of Zoning Compliance, unless such removal decreases the baseline canopy cover.



(i) **Certificate of Nonconforming Use**

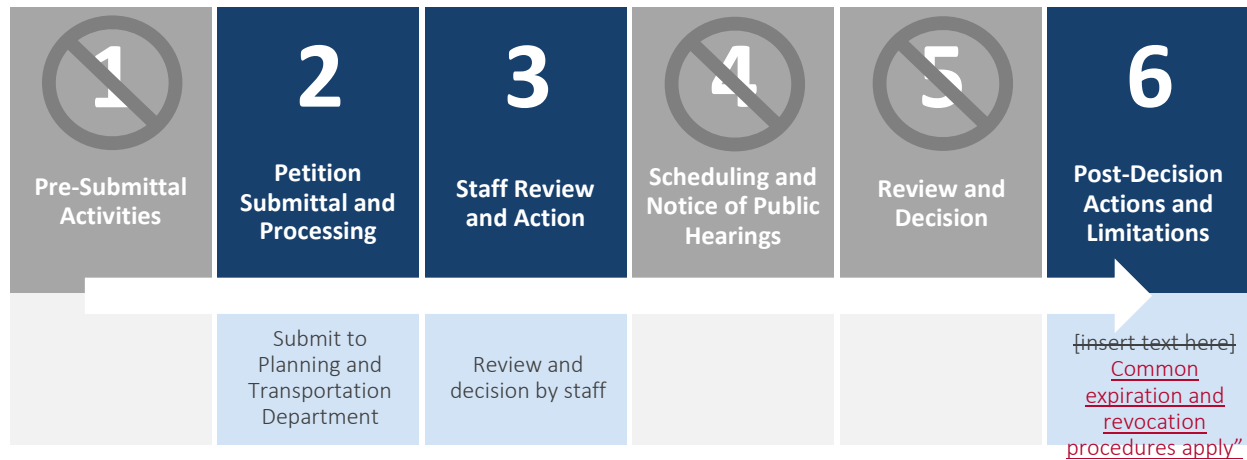
(1) **Purpose and Applicability**

A person who owns or operates a nonconforming use that has not been deemed abandoned pursuant to Section 20.06.090(c)(3) (Abandonment of a Nonconforming Use), may request a Certificate of Nonconforming Use to protect the lawful nonconforming status.

(2) **Certificate of Nonconforming Use Review Process**

Figure 06.05-11 identifies the applicable steps from 20.06.040 (Common Review Procedures) that apply to certificate of nonconforming use review. Additions or modifications to the common review procedures are noted below.

**Figure 06.05-10: Summary of Certificate of Nonconforming Use Review Procedure**



(A) **Petition Submittal and Processing**

The Certificate of Nonconforming Use petition shall be submitted, accepted, and revised, and may be withdrawn, in accordance with Section 20.06.040(c) (Petition Submittal and Processing).

(B) **Staff Review and Action**

The Planning and Transportation Director shall review the Certificate of Nonconforming Use petition, and shall and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(d) (Staff Review and Action), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria) and the following criteria:

- i. The petitioner shall demonstrate that the use is a lawful nonconforming use prior to the issuance of the certificate.

(C) **Post-Decision Actions and Limitations**

Post-decision actions and limitations in Section 20.06.040(h) shall apply with the following modifications:



**(7) Compliance to the Maximum Extent Practicable**

Where compliance with the requirements of this section is precluded by a lack of sufficient developable area due to the size of the lot, the layout of existing development, or the presence of significant wetlands, floodplains, watercourses, hazard areas, or other significant environmental features, the petitioner shall comply with the requirements of this section to the maximum extent practicable, as determined by the Planning and Transportation Director.

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**(c) Nonconforming Uses**

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Nonconforming uses of land, buildings, or structures are subject to the following additional limitations:

**(1) Limitations on Continuation of Nonconforming Uses**

- (A) A nonconforming use may be extended throughout a conforming building or structure, provided that:
  - i. No structural alteration of the building (or portion of such building containing the nonconforming use in the case of buildings with multiple uses) shall be permitted;
  - ii. No additional dwelling units shall be permitted in the building;
  - iii. No additional nonresidential units and/or uses shall be permitted; and
  - iv. Such extension would not result in a violation of the parking standards pursuant to Section 20.04.060 (Parking and Loading).
- (B) Any existing occupied conforming single-family residential dwelling that is deemed to be a nonconforming use may make improvements to the main and accessory structures so long as improvements do not increase the degree of nonconformity or increase the height or building footprint.
- (C) A nonconforming use that is located in a nonconforming building or structure or on a lot with nonconforming site features shall comply with the requirements of Sections 20.06.090(d) and 20.06.090(f) as applicable.
- (D) No additional structure not conforming to the requirements of this UDO shall be erected in connection with the nonconforming use of land or structure.
- (E) Whenever a nonconforming use of land or a building has been discontinued for a period of one-year, future use of land or building shall comply with this UDO.

**(2) Change of Use**

- (A) A nonconforming use that has been changed to a less nonconforming use pursuant to this subsection may not subsequently be changed back to a more nonconforming use.
- (B) A nonconforming use, if changed to a conforming use, may not subsequently be changed back to any nonconforming use unless otherwise permitted by this UDO.
- (C) A lawful nonconforming use which has been abandoned, including a use involving occupancy by four or five adults which has been voluntarily waived and relinquished pursuant to Section 20.06.090(c)(4) (Residential Occupancy), shall not be resumed or replaced by another nonconforming use.

**Dwelling, Accessory Unit**

An additional residential dwelling unit, but not a mobile home, camper, or recreational vehicle, that is located on the same lot as a single-family dwelling unit, either within the same building as the single-family dwelling unit or in a detached building. Without limiting the generality of the previous sentence, this definition includes a transportable living unit that meets either the applicable City building code or the construction standards of the federal Manufactured Housing Act, contains less than 500 square feet of gross floor area, is mounted on a permanent foundation, and is connected to City utilities as required for other types of dwelling units.

**Dwelling, Cottage Development**

A cluster of at least five attached or detached single-family dwellings located within a common development that use shared access, parking, and common spaces. Cottage developments can include homes on individual lots, homes owned as condominiums, or leased homes. This use can include communities of five or more factory built small single-family detached dwellings containing less than 500 square feet of gross floor area, commonly referred to as Tiny Homes, provided that each home meets either the Indiana Building Code or the federal Manufactured Housing Construction and Safety Standards Law of 1974 (42 U.S.C. 5401 et seq.), and that each dwelling has any wheels removed, is mounted on a permanent foundation, and is connected to city water, sewer, and electric services. This definition shall not include a "Manufactured Home Park."

**Dwelling, Duplex**

A single building on a single lot containing two dwelling units under one roof, each of which is occupied by one family.

**Dwelling, Fourplex**

A single building on a single lot containing four dwelling units under one roof, each of which is occupied by one family.

**Dwelling, Live/Work**

A dwelling unit containing an integrated living and working space in different areas of the unit.

**Dwelling, Manufactured Home**

Means a dwelling unit, designed and built in a factory, which bears a seal certifying that it was built in compliance with the federal Manufactured Housing Construction and Safety Standards Law of 1974 (42 U.S.C. 5401 et seq.) and that was constructed after January 1, 1981, and that exceeds 950 square feet of occupied space. This definition includes double-wide mobile homes of two such units designed to be used in combination at a building site. This definition is not intended to apply to other modular housing or prefabricated housing panels, trusses, or other sub-elements, nor any other dwelling unit that is defined as a "Dwelling, [MobileManufactured Home](#)."

**Dwelling, Mobile Home**

Any factory-fabricated portable structure, residential or nonresidential, designed to be towed or transported on its own chassis for placement on a temporary or permanent foundation, or on its own structure or elements thereof, without the aid of house moving equipment or other specialized but separate supporting apparatus, and that is not a "Dwelling, Manufactured Home" as defined by this UDO.

ZO-01-21 Technical	Full UDO Page Number	RedLine Page Number	Citation	Current Language	Proposed Language/Change	Synopsis
	<b>Chapter 2</b>					
	20,22	20,22	20.02.020 Table 02-4 and Table 02-5	Side Yard first floor setback	Add [3] to the first floor setback for the R2 district and [2] to the first floor setback for the R3 district	Visually clarifies that the 2' reduction for side yard setback requirements also applies to the base setback.
	26	26	20.02.020 Table 02-7	RM Rear Setback says 10' in Table 02-7 and 15' in Table 04-2	Make setback 15' in both sections	Sync discrepancy
	28	28	20.02.020 Table 02-8	RH Rear setback says 10' in Table 02-8 and 15' in Table 04-2	Make setback 15' in both sections	Sync discrepancy
	34	34	20.02.030 Table 02-11	Minimum landscape area is 25%	Minimum landscape area is 40%	Balances percentage of landscape area to impervious surface coverage
	66-67	67	20.02.060(a)(8)(B)(i)		Reverse language from (i) and (ii) so that table reference is correct.	Adjusts location text so that table will correspond with correct citation.
	<b>Chapter 4</b>					
	107	108	Table 04-2	RM Front Setback says 15' in Table 02-7 and 10' in Table 04-2	Make setback 15' in both sections	Sync discrepancy
	107	108	Table 04-2	RH Front setback says 15' in Table 02-8 and 10' in Table 04-2	Make setback 15' in both sections	Sync discrepancy
	108	108	20.04.020 Table 04-3	Minimum landscape area is 25%	Minimum landscape area is 40%	Balances percentage of landscape area to impervious surface coverage for MN.
	108-109	108,110	20.04.020 Table 04-2 and 04-3		Add row for side and rear parking setback and reference section- [20.04.080(h)(1)(A)(i)]	References the required 8' side and rear parking setback/landscaped area.
	137	140	20.04.050(d)(2)	Sidewalk installation for construction of a single family residence	Adds language from previous UDO to not require the construction of a sidewalk with the construction of a single family residence if on a non-classified street and no adjacent sidewalks. Extends that language to duplex and triplex.	Inserts missing language previously approved
	144	147	20.04.060(c)(1)(D)	When measurements of the minimum number of required parking spaces for vehicles or bicycles result in a fractional number, any fraction of 0.5 or larger shall be rounded up to the next higher whole number.	Remove	The duplicate language has caused confusion.
	164	167	20.04.070(d)(3)(B)(iv)		Move EIFS reference from "iv" to "v"	Moves EIFS reference from wood-grained materials to stucco section where it more closely matches.
	188	192	20.04.080(n)(1)(E)	Fences and walls located in the RE, IN, and MI	Change IN to PO	replaces incorrect citation
	<b>Chapter 6</b>					
	293	298	20.06.050(i) Figure 06.05-10	Missing text - Step #6 graphic labeled "insert text here"	In Step #6 graphic labeled "insert text here" should say "Common expiration and revocation procedures apply".	Fixes error where text should have been added.
	<b>Chapter 7</b>					
	369	374*	20.07.010	Dwelling, Manufactured Home- Means a dwelling unit, designed and built in a factory, which bears a seal certifying that it was built in compliance with the federal Manufactured Housing Construction and Safety Standards Law of 1974 (42 U.S.C. 5401 et seq.) and that was constructed after January 1, 1981, and that exceeds 950 square feet of occupied space. This definition includes double-wide mobile homes of two such units designed to be used in combination at a building site. This definition is not intended to apply to other modular housing or prefabricated housing panels, trusses, or other sub-elements, nor any other dwelling unit that is defined as a "Dwelling, Manufactured Home."	Means a dwelling unit, designed and built in a factory, which bears a seal certifying that it was built in compliance with the federal Manufactured Housing Construction and Safety Standards Law of 1974 (42 U.S.C. 5401 et seq.) and that was constructed after January 1, 1981, and that exceeds 950 square feet of occupied space. This definition includes double-wide mobile homes of two such units designed to be used in combination at a building site. This definition is not intended to apply to other modular housing or prefabricated housing panels, trusses, or other sub-elements, nor any other dwelling unit that is defined as a "Dwelling, Manufactured-Mobile Home."	Fixes an incorrect word in the definition.
	<b>All Chapters</b>					
		106, 161, 272, 293, 347		Change of Use	Change in Use	The UDO refers to both Change of and Change in Use. The proper and defined term is Change in Use

(4) **Primary Building Roof Design**

(A) All primary buildings shall incorporate the roof shapes shown in the following table:

**Table 02-25: Primary Building Roof Design**

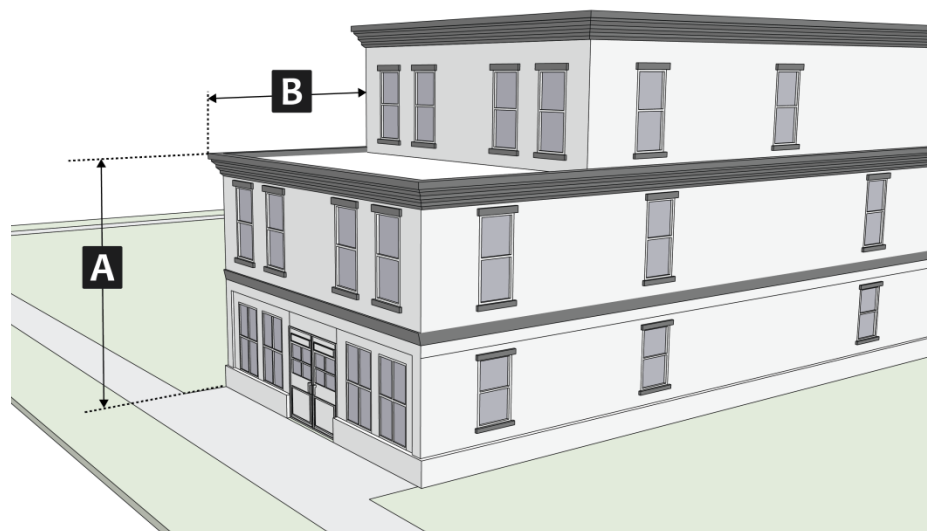
Character Area	Roof Shape Permitted
CS, DC	Flat roofs with parapets.
UV	Kirkwood Corridor: Flat roofs with parapets. Restaurant Row: Sloped or pitched gable and/or hip roofs.
DE	Sloped or pitched gable and/or hip roofs; except that primary buildings facing Rogers, Walnut, Third, or Washington Streets or College Avenue may incorporate flat roofs with parapets. Each section of a sloped or pitched roof with a roof ridge greater than 40 feet in width parallel to a street shall incorporate at least one dormer into that section of the roof.
DG, ST	Each section of a sloped or pitched roof with a roof ridge greater than 65 feet in width parallel to a street shall incorporate at least one dormer into that section of the roof.

- (B) Where roofs with parapets are permitted, the parapet height shall not exceed 15 percent of the supporting wall height.
- (C) Where sloped roofs are permitted, the roof shall have at least an 8:12 pitch.

(5) **Upper Floor Façade Stepbacks**

All primary buildings shall comply with the following standards for upper floor stepbacks:

- (A) The first three stories of building façade in the DC character area, and the first two stories in the DG and ST character areas shall comply with the build-to range in Section 20.02.010 (Dimension Standards).
- (B) Portions of the building façade facing the street above three stories in the DC character area, and portions of the building façade facing the street above two stories in the DG and ST character areas, shall step back from the lower story vertical facade/wall plane a minimum of 15 feet.



**Figure 47: Upper Floor Façade Stepbacks**

ZO-02-21 Chapter 2	Full UDO Page Number	RedLine Page Number	Citation	Current Language	Proposed Language/Change	33 Synopsis
	64	64	20.02.060(a)(5)(B)	Portions of the building facade facing the street above three stories.....	<b>All</b> portions of the building facade facing the street above.....	Clarifies that <u>all</u> portions of the building above three stories must be setback from the front facade.

## 20.03.020 Allowed Use Table

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
<b>RESIDENTIAL USES</b>																			
<b>Household Living</b>																			
Dwelling, single-family (detached)	P	P	P	P	P	P*	P*	P	P	P	P*	P*	P*			P*			20.03.030(b)(1)
Dwelling, single-family (attached)			P*	P*	P*	P*	P*		P*	P*	P*				P*				20.03.030(b)(2)
Dwelling, duplex	C	*	*	*	P*	P*	P*		P*	P*	P*	C*			P*				20.03.030(b)(3)
Dwelling, triplex		*	*	*	P*	P*	P*		P*	P*	P*	C*			P*				20.03.030(b)(4)
Dwelling, fourplex					C*	P*	P*		P*	P*	P*	P*			P*				20.03.030(b)(4)
Dwelling, multifamily					C*	P	P		P	P*	P*	P	P*	C	P*				20.03.030(b)(5)
Dwelling, live/work					C*	P*	P*			P*	P*	P*			P*				20.03.030(b)(6)
Dwelling, cottage development		C*	C*	C*	C*	C*	C*	C*		C*									20.03.030(b)(7)
Dwelling, mobile home								P*											20.03.030(b)(8)
Manufactured home park								P*											20.03.030(b)(9)
<b>Group Living</b>																			
Assisted living facility					C	P	P			C	P	P		P	P	P			
Continuing care retirement facility					C	P	P			C	P	P		P	P	P			
Fraternity or sorority house									P*					P*					20.03.030(b)(10)
Group care home, FHAA small	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		P*		P*			20.03.030(b)(11)
Group care facility, FHAA large					P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*			20.03.030(b)(11)
Nursing or convalescent home					C	P	P			C	P	P	P	P	P	P			
Opioid rehabilitation home, small	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		P*		P*			20.03.030(b)(11)
Opioid rehabilitation home, large					P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*			20.03.030(b)(11)
Residential rooming house						P*	P*		P	P*	P	P	C*						20.03.030(b)(12)
Student housing or dormitory						C*	P*		P*	C*	P*	P*		P*	C*				20.03.030(b)(13)
Supportive housing, small							C			C	C	C		C	C	C			
Supportive housing, large											C	C		C	C	C			
<b>PUBLIC, INSTITUTIONAL, AND CIVIC USES</b>																			
<b>Community and Cultural Facilities</b>																			
Art gallery, museum, or library					C*	C	C			P	P	P		P	P				20.03.030(c)(1)
Cemetery or mausoleum														P					

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
Wind energy system, large													P*				P*		20.03.030(f)(4)
Wind energy system, small	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	P*	P*	20.03.030(f)(5)
<b>ACCESSORY USES</b>																		20.03.030(g)(1)	
Chicken flock	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		P*	20.03.030(g)(2)
Detached garage	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*								20.03.030(g)(3)
Drive-through											A*	A							20.03.030(g)(4)
Dwelling, accessory unit	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		A*	A*			20.03.030(g)(5)
Electric vehicle charging facility	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Greenhouse, noncommercial	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Home occupation	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*			20.03.030(g)(6)
Outdoor retail and display										T*	T*	T*			T*		A*		20.03.030(g)(7)
Outdoor trash and recyclables receptacles						A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		20.03.030(g)(8)
Recycling drop-off, self-serve						A	A		A	A	A	A	A	A	A	A	A		
Swimming pool	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	20.03.030(g)(9)
<b>TEMPORARY USES</b>																		20.03.030(h)(1)	
Book buyback									T*	T*	T*	T*		T*	T*				20.03.030(h)(2)
Construction support activities	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	20.03.030(h)(3)
Farm produce sales	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*			20.03.030(h)(4)
Real estate sales or model home	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*		20.03.030(h)(5)
Seasonal sales									T*	T*	T*	T*	T*	T*	T*	T*			20.03.030(h)(6)
Special event	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*		T*	<a href="#">20.03.030(h)(7)</a>

## 20.03.030 Use-Specific Standards

### (a) Generally

- The Use-Specific Standards listed in this Section 20.03.030 apply to those uses listed on the same line of Table 3-1, regardless of whether those uses are shown as Permitted, Conditional, Conditional Accessory, Accessory, or Temporary uses. These Use-Specific standards cannot be modified through the Conditional Use approval process in Section 20.06.050(b) (Conditional Use Permit), but relief may be granted through the Variance process in Section 20.06.080(b) (Variance).

**(C) Design**

- i. The front elevation building width of the triplex or fourplex dwelling structure shall not exceed 40 feet.
- ii. The following design elements of the triplex or fourplex dwelling shall be similar in general size, shape, and design with the majority of existing structures on the same block face on which it is located:
  - 1. Roof pitch;
  - 2. Front porch width and depth;
  - 3. Front building setback; and
  - 4. Vehicle parking access (i.e., front-, side-, or rear-access garage or parking area).
- iii. In the R1, R2, R3, and R4 zoning districts, no triplex dwelling structure shall contain more than nine bedrooms total, and no fourplex dwelling structure shall contain more than 12 bedrooms total.
- iv. Each individual dwelling unit shall have separate utility meters.

**(5) Dwelling, Multifamily**

**(A) Ground Floor Parking**

Any portions within the ground floor of a structure used for vehicular parking shall be located at least 20 feet behind the building façade facing a public street. If there are multiple primary buildings on a site, this requirement only applies to the building closest to a public street.

**(A)(B) Size**

In the MN and R4 zoning districts, no more than eight multifamily dwelling units shall be constructed on one single lot or parcel.

**(B)(C) Ground Floor Units**

- i. Ground floor dwelling units shall be prohibited in the MD-ST (Showers Technology) and MD-CS (Courthouse Square) Downtown Character Overlays, and the ME zoning district.
- ii. In the MD zoning district, each dwelling unit located on the ground floor shall be located at least 20 feet behind each building façade facing a public street.

**(6) Dwelling, Live/Work**

- (A) The residential unit shall be located above or behind the nonresidential areas of the structure.
- (B) The residential living space shall be occupied by the owner of the commercial or manufacturing activity or the owner’s employee, including that person’s household.
- (C) The resident owner or employee is responsible for the commercial or manufacturing activity performed.
- (D) In the R4, RM, and RH zoning districts, the commercial activity area shall not exceed 50 percent of the gross floor area of the unit.
- (E) Signs are limited to not more than two internally illuminated wall or window signs not exceeding 10 square feet in total area.
- (F) The work activities shall not adversely impact the public health, safety, or welfare of adjacent properties.



- (E) Where minimum spacing is required by subsections (C) and (D) above, the distance shall be measured from the nearest property line of the property from which spacing is required to the nearest property line on which the group home will be located, using a straight line, without regard to intervening structures or public rights-of-way.

**(12) Residential Rooming House**

- (A) No residential rooming house shall contain more than four bedrooms, not including the living space occupied by the residential rooming house owner.
- (B) No bedroom occupied by a person other than the residential rooming house owner shall be rented for a period of less than 30 consecutive days.

**(13) Student Housing or Dormitory**

**(A) Ground Floor Parking**

No more than 50% of the ground floor of a building adjacent to a public street can be used for parking.

**(A)(B) Location**

In the RM, RH, MN, MM, MC, and MI zoning districts, each student housing or dormitory use shall be separated from any other student housing or dormitory use by at least 300 feet,

- i. By at least 300 feet, as measured between the closest points on the two lots containing the student housing or dormitory uses, and
- ii. By at least 300 feet, as measured between the closest points of two or more residential or mixed use structures within one lot containing the student housing or dormitory use.

However, if the affordable housing incentive codified at Section 20.04.110(c) has been earned, only the requirements of 20.03.030(b)(13)(A)(i) apply to each student housing or dormitory use in the RM, RH, MN, MM, MC, and MI zoning districts.

**(B)(C) Building Floor Plate**

- i. In the MN zoning district, the maximum building floor plate for a student housing or dormitory use shall be 2,5005,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g) (Building Floor Plate). However if the affordable housing incentive codified at Section 20.04.110(c) has been earned, the maximum building floor plate for a student housing or dormitory use in the MN zoning district shall be 5,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g).
- ii. In the RM and MD zoning districts, the maximum building floor plate for a student housing or dormitory use shall be 5,00010,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g) (Building Floor Plate). However if the affordable housing incentive codified at Section 20.04.110(c) has been earned, the maximum building floor plate for a student housing or dormitory use in the RM and MD zoning districts shall be 10,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g).

iii. In the RH, MM, MC, and MI zoning districts, the maximum building floor plate for a student housing or dormitory use shall be ~~10,000~~20,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g) (Building Floor Plate). However if the affordable housing incentive codified at Section 20.04.110(c) has been earned, the maximum building floor plate for a student housing or dormitory use in the RH, MM, MC, and MI zoning districts shall be 20,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g).

In the MS zoning district, the maximum building floor plate for a student housing or dormitory use shall be 20,000 square feet per lot, pursuant to the measurement standards in Section 20.04.020(g) (Building Floor Plate). However if the affordable housing incentive codified at Section 20.04.110(c) has been earned, there shall be no maximum building floor plate for a student housing or dormitory use in the MS zoning district.

~~(C)~~(D) **Building Height**

- i. In the RH zoning district, the maximum building height for a student housing or dormitory use shall be ~~four~~three stories, not to exceed ~~40~~50 feet, except as necessary to accommodate additional height earned through the affordable housing incentive in Section 20.04.110(c).
- ii. In the MD-DC character area, the maximum building height for a student housing or dormitory use shall not exceed 40 feet.
- iii. In the MD-CS, MD-UV, MD-DE, MD-DG, and MD-ST Downtown Character Overlays, the maximum building height for a student housing or dormitory use shall not exceed 30 feet.

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**(c) Public, Institutional, and Civic Uses**

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**(1) Art Gallery, Museum, or Library**

In the R4 zoning district, art galleries, museums, and libraries shall be limited to 7,000 square feet gross floor area.

**(2) Community Center**

In the RM and RH zoning districts, community centers shall be a Permitted use when created through renovation of an existing building. If a community center requires new construction or a major addition to an existing structure (greater than 33 percent of the existing gross floor area), then the use shall be subject to a conditional use approval.

**(3) Day Care Center, Adult or Child**

- (A) When located in a Residential zoning district, an adult or child day care center shall not be located closer than 500 feet to any other adult or child day care center.
- (B) When a license is required by the state, proof of licensing shall be presented with the petition for the conditional use approval. Day care centers exempt from state licensing requirements shall provide proof of exemption.
- (C) The operation of the facility shall not include overnight occupancy by the clients.
- (D) A Level 3 buffer pursuant to Section 20.04.080(g)(3) (Buffer Yard Types), shall be established along the property line(s) separating a day-care center and any single-family detached, duplex, triplex, or fourplex dwellings.

**(c) Public, Institutional, and Civic Uses****(1) Art Gallery, Museum, or Library**

In the R4 zoning district, art galleries, museums, and libraries shall be limited to 7,000 square feet gross floor area.

**(2) Community Center**

In the RM and RH zoning districts, community centers shall be a Permitted use when created through renovation of an existing building. If a community center requires new construction or a major addition to an existing structure (greater than 33 percent of the existing gross floor area), then the use shall be subject to a conditional use approval.

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- (C) The operation of the facility shall not include overnight occupancy by the clients.
- (D) A Level 3 buffer pursuant to Section 20.04.080(g)(3) (Buffer Yard Types), shall be established along the property line(s) separating a day-care center and any single-family detached, duplex, triplex, or fourplex dwellings,.

**(4) Jail or Detention Facility**

- (A) Adequate access shall be provided to a street classified as a collector or arterial per the Transportation Plan.
- (B) The design and intensity of the use, site, and structure shall be compatible with the surrounding area.
- (C) Site design and security measures shall ensure that the peace and safety of the surrounding area shall not be disturbed or impaired

**(5) Urban Agriculture, Noncommercial****(A) Structures**

- i. Greenhouses and hoop houses are limited to a maximum height of 15 feet, shall be located at least 10 feet from any lot line and may not cover more than 25 percent of the property.
- ii. Cold frames are limited to a maximum height of four feet and shall be located at least 10 feet from any lot line.
- iii. Agricultural stands are limited to a maximum height of 12 feet and shall be located at least 10 feet from any abutting lot with an occupied residential use.
- iii. Fences intended exclusively to protect food garden plots from animals shall not be more than 12 feet in height. The portion of the fence that exceeds five feet in height shall, by the use of voids and solids via latticework or other similar techniques, be of open construction. This portion of the fence shall be constructed of materials widely accepted in the fence industry for garden protection.

**(B) Location**

- i. Structures containing large or medium livestock or any structures containing livestock waste (except chicken coops) shall meet the following minimum setbacks:
  - 1. Front setback: 75 feet;
  - 2. Side setback: 50 feet;
  - 3. Rear Setback: 75 feet.
- ii. Structures containing small livestock shall meet the following minimum setbacks:
  - 1. Front setback: 35 feet;
  - 2. Side setback: 15 feet;
  - 3. Rear Setback: 25 feet.

**(C) Number of Livestock**

- i. Domesticated livestock are permitted in accordance with the requirements indicated in Table 03-3 below, unless otherwise prohibited or limited by this UDO or other regulation.
- ii. The maximum number of livestock per acre shall be cumulative between the categories of domesticated animals.
- iii. ~~Animals less than four months of age shall be calculated at one-half the unit value.~~

**Table 03-3: Number of Animals Allowed**

Animal Type	<u>Pasture-Size Area Required (minimum)</u>	Livestock per Acre (maximum)
Large Livestock	1 acre <u>of pasturage</u>	1 per acre of pasturage
Medium Livestock	0.5 acres <u>of pasturage</u>	1 per 0.5 acre of pasturage [1]
<u>Small Livestock</u>	<u>Lot size equals district minimum</u>	<u>2 per minimum area required</u>

**Notes:**

[1] ~~Hybrid or miniaturized medium livestock that weight less than 100 pounds when fully grown shall count as one-third each towards the maximum animals per acre allowed.~~

**(2) Kennel**

- (A) The parts of a building where animals are boarded shall be fully enclosed, with solid core doors and no operable windows, and shall be sufficiently insulated so no unreasonable noise or odor can be detected off premises.
- (B) Animals shall not be permitted outside except within a secure animal run, and no outdoor animal run shall be permitted within 200 feet of any adjacent residential district or use, except where the adjoining property is owned or occupied by the operator of the kennel.
- (C) The perimeter of the kennel operation shall be enclosed with an opaque fence that meets the following standards:
  - i. Minimum depth underground: 12 inches.
  - ii. Height: Eight feet from grade.
  - iii. Minimum gauge of chain-link fence: 11

**Notes:**

~~[1] Hybrid or miniaturized medium livestock that weight less than 100 pounds when fully grown shall count as one-third each towards the maximum animals per acre allowed.~~

**(2) Kennel**

- (A) The parts of a building where animals are boarded shall be fully enclosed, with solid core doors and no operable windows, and shall be sufficiently insulated so no unreasonable noise or odor can be detected off premises.
- (B) Animals shall not be permitted outside except within a secure animal run, and no outdoor animal run shall be permitted within 200 feet of any adjacent residential district or use, except where the adjoining property is owned or occupied by the operator of the kennel.
- (C) The perimeter of the kennel operation shall be enclosed with an opaque fence that meets the following standards:
  - i. Minimum depth underground: 12 inches.
  - ii. Height: Eight feet from grade.
  - iii. Minimum gauge of chain-link fence: 11
  - iv. Minimum fence setback: 20 feet from any adjoining property line.
  - v. Where a kennel operation abuts a residential land use, a minimum of one evergreen shrub with a mature height of at least 10 feet shall be planted no more than six feet on center along the entire length of the shared property line.
- (D) Prior to establishment, the property owner, or the kennel operator if the operator is not the property owner, shall provide proof of all necessary licenses to the Planning and Transportation Director.
- (E) A plan for management of animal wastes shall be submitted with the conditional use petition.

**(3) Orchard or Tree Farm, Commercial**

Commercial orchards and/or tree farms shall be limited to 25 percent of the lot area when allowed as an accessory use.

**(4) Pet Grooming and Veterinarian Clinic**

If a pet grooming or veterinarian clinic has a kennel associated with it, then it shall comply with Section 20.03.030(d)(2) and the following standards:

- (A) In the MN, MM, and MD zoning districts, outdoor kennel facilities are not permitted.
- (B) In the MC zoning district, outdoor kennels shall require a conditional use permit pursuant to Section 20.06.050(b) (Conditional Use Permit).

**(5) Amenity Center**

In the RE, R1, R2, R3, and R4 zoning districts, an amenity center shall not be established on a lot or parcel larger than one acre. The amenity center shall not exceed 5,000 square feet of gross floor area.

**(6) Recreation, Indoor**

In the R3, R4, RM, and RH zoning districts, indoor recreation facilities shall be permitted when created through the renovation of an existing building. If a recreation center requires new construction or a major addition to an existing structure (greater than 33 percent of the existing gross floor area), then the use shall be subject to a conditional use approval.

**(13) Equipment Sales and Rental**

- (A) Outdoor display of equipment for sale or rental shall only be permitted in the MC and EM zoning districts.
- (B) In the MC zoning district, all outdoor display of merchandise shall be contained on an improved surface such as asphalt, concrete, or pavers.
- (C) Any outdoor display area shall not block ADA-accessible parking areas, parking lot access aisles, or sidewalk areas, and shall not reduce the number of parking spaces below any minimum requirement for the use in this UDO.

**(14) Vehicle Fuel Station**

- (A) In the MM, MD, and ME zoning districts, the use shall be limited to a total of four metered fuel dispenser units. [For the purpose of this section, each hose shall count as one fuel dispenser unit.](#)
- (B) In the MM, MD, and ME zoning districts, major overhaul, body and fender work, upholstery, welding and spray painting shall be prohibited as an accessory use of a vehicle fuel station.
- (C) In the MM, MD, MC, and ME zoning districts, all activities other than vehicle fueling shall be conducted within a completely enclosed building.
- (D) In the MM, MD, MC, and ME zoning districts, no outdoor storage of automobile parts, discarded tires, or similar materials shall be permitted.
- (E) Outdoor storage of more than three wrecked or temporarily inoperable vehicles awaiting repairs shall be prohibited.
- (F) In the ME zoning district:
  - i. All structures including fuel canopies shall be similar in appearance to the surrounding development with respect to architectural style, color, and materials;
  - ii. Fuel canopies shall be located to the side or rear of properties to minimize visual impact from public streets; and
  - iii. At least 50 percent of the total number of dispenser units shall provide alternative fuels including, but not limited to biodiesel, electricity, majority ethanol blend, hydrogen or natural gas.

**(15) Vehicle Impound Storage**

Vehicle impound storage lots shall be screened with a solid fence or wall at between eight and 10 feet in height and shall provide at least one tree and three shrubs per 10 linear feet of fencing to minimize the visual impact of the use on surrounding properties, public streets, and public open spaces. Required plantings shall be located on the side of the fence closest to abutting properties.

**(16) Vehicle Parking Garage**

In the MD-CS, MD-DC, MD-UV, MD-DG, and MD-ST Downtown Character Overlays, a freestanding primary use vehicle parking garage, or a parking garage that is attached to but not located within the building envelope of a structure containing another primary use shall require conditional use permit approval pursuant to Section 20.06.050(b) (Conditional Use Permit).

**(17) Vehicle Repair, Major or Minor**

- (A) All major overhaul, body and fender work, upholstery and welding, and spray painting shall be conducted within a completely enclosed building.

- (B) Only storage of goods and materials are allowed in self-storage rental spaces. The use of storage spaces to conduct or operate a business is prohibited.
- (C) The use of power tools, paint sprayers, or the servicing, repair or fabrication of furniture, boats, trailers, motor vehicles, lawn mowers, appliances, and other similar equipment within a storage unit is prohibited.
- (D) The storage of hazardous materials is prohibited.
- (E) Security fencing shall not include razor wire or barbed wire.
- (F) Where the site is adjacent to a Residential zoning district or a portion of a PUD zoning district designated for single-family residential uses:
  - i. Loading docks are prohibited on the side of the facility facing the residentially zoned land;
  - ii. A permanent screen shall be required along all property boundaries and shall conform to landscaping and screening requirements in Section 20.04.080(m) (Screening);
  - iii. Public access shall only be permitted between 6:00 a.m. and 10:00 p.m.
- (G) If the facility is located in an MN, MM or MD district, all storage shall be contained within a fully enclosed structure that:
  - i. Is at least a two-story structure with [a defined use on the upper floor\(s\) and if storage units are provided on the upper floors, then access to the units shall be from interior hallways.](#) ~~storage units on upper floors with access doors to storage units accessed from interior hallways.~~
  - ii. Does not have any garage doors or access doors to any storage unit facing any public street, park, or open space, unless the doors are screened from all visible public streets, parks, and open spaces.

**(3) Gravel, Cement, or Sand Production, or Quarry**

Each facility shall be screened with a solid fence or wall between eight and 10 feet in height and shall provide at least one tree and three shrubs per 10 linear feet of fencing to minimize the visual impact of the use on surrounding properties, public streets, and public open spaces. Required plantings shall be located on the side of the fence closest to abutting properties.

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**(f) Utilities and Communication**

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**(1) Communication Facility**

**(A) Purpose**

These standards are intended to provide sensible and reasonable development standards that comply with the requirements of state and federal law for public and private telecommunication service and to:

- i. Maximize the use of any communication facilities in order to reduce the total number of facilities needed to serve the communications needs of the area;
- ii. Minimize the adverse, undesirable visual effects of communication facilities; and
- iii. Provide for the reasonable location of communication facilities in the city.

(1) **Generally**

Accessory uses and structures customarily incidental to the principal use and/or structure shall be permitted subject to site plan requirements, all necessary permits and approvals, and other applicable requirements.

(A) **Compliance Required**

Accessory structures shall comply with all dimensional and development standards for the subject zoning district regardless of whether a temporary use permit or certificate of zoning compliance is required.

(B) **Exemptions**

The installation of flag poles and/or detached structures that serve as covered, short-term Class II bicycle parking facilities shall not count towards the maximum number of accessory structures allowed.

(C) **Prohibitions**

A mobile home, manufactured home, recreational vehicle, semi-tractor trailer, boat, or motor vehicle shall not be used as an accessory structure in any zoning district.

(D) **Timing**

Accessory structures are not permitted on a parcel prior to any primary structure being constructed, except where the accessory structure is being used in conjunction with the act of constructing a primary structure or for agricultural purposes.

(E) **Number and Size Permitted**

The maximum number (per lot or parcel) and maximum footprint (cumulative total per parcel) of [enclosed](#) accessory structures permitted is indicated in the table below:

**Table 03-4: Number and Size of [Enclosed](#) Accessory Structures Permitted**

Zoning District	Maximum Number	Maximum Footprint (cumulative total)
RE	None	<a href="#">50 percent of the square footage of the primary structure</a>
R1	2	1,000 square feet or 50 percent of the square footage of the primary structure, whichever is less <a href="#">[1]</a>
R2		840 square feet
R3		580 square feet
R4		400 square feet
RM, RH, RMH	None	<a href="#">840 square feet or 15 percent of the cumulative square footage of the primary building(s) footprint, whichever is greater.</a>
MS, MN, MM, MD, MC, ME, MH		<a href="#">1000 square feet or 15 percent of the cumulative square footage of the primary building(s) footprint, whichever is greater.</a>
MI, EM, PO	None	None

**NOTES:**

[\[1\] Agricultural accessory structures are exempt from the size limitations.](#)

(F) **Location**

- i. Unless otherwise authorized in this UDO, accessory structures shall be located no closer than 35 feet from the front property line and five feet from side and rear property lines.



- ii. Flag poles shall be located no closer than 12 feet from the front property line and one foot from the side and rear property lines.

**(G) Design**

Accessory structures larger than 120 square feet shall incorporate materials, scale, colors, architectural details, and roof slopes that are compatible with the principal building(s).

**(2) Chicken Flocks**

One chicken flock as defined in the Bloomington Municipal Code Section 7.01.010, may be kept as an accessory use to a permitted principal use, provided that such use is permitted by and complies with all regulations of Title 7 (Animals) of the Bloomington Municipal Code, as amended. The regulations of Title 7 (Animals) of the Bloomington Municipal Code are expressly incorporated into this UDO by reference.

**(3) Detached Garage Design**

(A) For detached garages accessory to residential uses, exposed or corrugated metal facades are not permitted. The exterior finish building materials used for a detached garage shall comply with the standards in Section 20.04.070(d)(3)(B) (Materials).

(B) Detached garages and carports shall be located a minimum of 10 feet behind the primary structure's front facade and five feet from side and rear property lines, except for exceptions listed in Section 20.04.020(e)(3) (Exceptions to Setback Requirements).

**(4) Drive-Through**

(A) In the MM district, all uses, except for financial institutions shall be limited to one drive-through bay. Financial institutions shall be allowed up to three drive-through bays.

(B) In the MC district, all uses, except for financial institutions shall be limited to two drive-through bays. Financial institutions shall be allowed up to three drive-through bays.

**(5) Dwelling, Accessory Unit**

**(A) Purpose**

These ~~accessory dwelling unit~~ ("ADU") standards are intended to permit the creation of legal ADUs that are compatible with residential neighborhoods while also adding housing options for the City's workforce, seniors, families with changing needs, and others for whom ADUs present an affordable housing option.

**(B) Generally**

i. This use shall be accessory to a single-family or duplex dwelling that is the principal use on the same lot or parcel.

ii. Not more than one ADU may be located on one lot.

~~iii. ADUs shall not be established on a lot that is less than the minimum lot size of the zoning district.~~

~~iv.iii.~~ ADUs shall not contain more than two bedrooms.

~~v.iv.~~ No more than one family, as defined in Chapter 20.07: (Definitions), shall reside in one accessory dwelling unit; provided, however, that units lawfully in existence prior to the effective date of the ordinance from which this section derives where the number of residents located in one accessory dwelling unit lawfully exceed that provided by the definition of family in Chapter 20.07: (Definitions), may continue to be occupied by the same number of persons as occupied the accessory dwelling unit on that effective date.

~~vi.v.~~ A request for an ADU shall be required to submit a separate site plan petition with the Planning and Transportation Department.

**(C) Utilities**

All ADUs shall be connected to the public water main and sanitary sewer that are adjacent to the property on which the ADU is located, per City of Bloomington Utilities' Rules and Regulations or Construction Specifications. Where water or sanitary sewer mains are not adjacent to the property and the primary dwelling on the lot uses a septic system, the ADU may use the septic system in compliance with Monroe County Health Department Standards.

**(D) Standards for Attached ADUs**

- i. The maximum square footage of any attached ADU shall be 840 square feet.
- ii. The maximum height of any attached ADU shall be the same as that applicable to the primary dwelling structure in the zoning district where the ADU is located.
- iii. Each ADU shall be set back from each property line by at least the same setback distance applicable to the primary dwelling structure in the zoning district where the ADU is located.

**(E) Standards for Detached ADUs**

Detached ADUs shall meet the architectural and foundation requirements for a single-family dwelling within the applicable zoning district as found in Section 20.04.070(d)(3) (Residential).

- i. The maximum gross floor area of ~~the detached ADU~~ the detached ADU portion of any accessory structure ~~any detached ADU~~ shall be 840 square feet or the maximum square footage allowed for accessory structures permitted by Section 20.03.030(g) (Accessory Uses and Structures), whichever is less.
- ii. The detached ADU shall not exceed 25 feet in height.
- iii. The detached ADU shall not extend closer to any street than the existing primary dwelling structure.
- iv. The detached ADU shall comply with the requirements for accessory structures in Section 20.03.030(g) (Accessory Uses and Structures). Where one or more of the standards in Section 20.03.030(g) (Accessory Uses and Structures) conflict with these use-specific standards, these use-specific standards shall govern.
- v. A detached ADU shall be set back from any side or rear property ~~line that does not abut an alley by at least 10 feet, and from any side or rear property line that abuts an alley~~ by at least five feet.
- vi. Existing single-story detached accessory structures converted to ADUs shall be exempt from the setback requirements pursuant to Section 20.06.090(d) (Nonconforming Structures).

**(F) Historic Districts**

If located within a historic district, any exterior changes or new construction shall be in compliance with the historic district's guidelines and any required certificate of appropriateness shall be obtained pursuant to Title 8 (Historic Preservation and Protection) of the Bloomington Municipal Code.

**(G) Owner Occupancy**

- i. ADUs shall only be permitted on a property where either the primary dwelling unit or the ADU is occupied by the owner of the property.
- ii. The owner of each property on which an ADU is located shall sign an affidavit pledging agreement with the terms of this section. The affidavit shall specify which dwelling unit (either the primary dwelling unit or the ADU) the owner will occupy. If at any time the owner moves from one dwelling unit to the other, the owner shall file an updated affidavit. Otherwise, all affidavits shall be filed annually with the Planning and Transportation Department.
- iii. Any primary dwelling or ADU used as a rental unit shall register with the Department of Housing and Neighborhood Development (HAND) and receive appropriate certification prior to occupancy.

**~~(H) Noticing~~**

- ~~i. The petitioner shall be responsible for mailing notice to all persons owning land within 300 linear feet from any property line of the parcel for which an ADU is being requested.~~
- ~~ii. Mailed notices shall be postmarked and sent via first class mail at least 10 days prior to final action by the Director. A notarized affidavit shall be submitted stating compliance with this section before any permits are issued.~~
- ~~iii. The mailed notice shall include:~~
  - ~~1. The physical address, zoning designation, and primary use of the subject property;~~
  - ~~2. A brief narrative summarizing the request and demonstrating compliance with this Section 20.03.030(g)(5);~~
  - ~~3. The location and hours where a copy of the petition is on file for examination; and~~
  - ~~4. Any other information relevant to the petition required by the Director.~~

**~~(H)~~ Recorded Documents**

- i. Prior to receiving a building permit for an ADU, the petitioner shall record a deed or title restriction with the Monroe County Recorder, in a form acceptable to the City, stating that:
  1. The ADU shall not be sold separately from the primary unit; and
  2. Either primary dwelling unit or the ADU shall be occupied by the owner(s) of record as their primary residence.
- ii. If at any time the City determines that the subject property is in violation of this UDO or in violation of the deed or title restriction, the ADU approval shall be withdrawn. In addition, the City may require that the ADU be removed from the property, which may include but is not limited to removal of any second kitchen on the property, including all kitchen appliances and cabinets.

**(G) Maximum Floor Area**

- ~~i. No more than 15 percent of the total interior floor area of the dwelling unit may be used in connection with the Home Occupation. However, no Home Occupation shall be limited to less than 200 square feet, nor shall the area of a Home Occupation exceed 500 square feet.~~
- ~~i. For Home Occupations located within a primary structure no more than 50 percent of the total interior floor area of the dwelling unit may be used in connection with the Home Occupation.~~
- ~~ii. If there is more than one Home Occupation being conducted within a dwelling unit, then all Home Occupations within the dwelling unit shall cumulatively use no more than 15 percent or 500 square feet of the dwelling unit, whichever is less.~~
- ~~ii. If there is more than one Home Occupation being conducted within a dwelling unit, then all Home Occupations within the dwelling unit shall cumulatively use no more than 50 percent of the dwelling unit.~~
- ~~iii. Area used for storage of materials or products used in the Home Occupation shall be included in this calculation.~~
- ~~iii. Area used for storage of material or products used in the Home Occupation shall be included in this calculation.~~
- ~~iv. For Home Occupations located within an accessory structure no more than 840 square feet or the maximum square footage allowed for accessory structures permitted by Section 20.03.0309(g) (Accessory Uses and Structures), whichever is less maybe be used in connection with the Home Occupation.~~
- ~~v. Exempted Uses are excluded from square footage limitations in Section 20.03.030 (g)(6)(A)~~

**(H) Multiple Home Occupations**

- i. More than one Home Occupation may be permitted within an individual dwelling unit.
- ii. Where multiple Home Occupations are conducted within an individual dwelling unit, the operations standards of this subsection shall be applied to the combined total of all Home Occupation activities, not to each Home Occupation individually.

**(I) Residential Character**

There shall not be any interior or exterior, structural or aesthetic alterations that change the residential character of the dwelling unit within which the Home Occupation operates.

**(J) Location and Entrance**

- ~~i. The Home Occupation shall be conducted entirely within the primary structure or attached garage.~~
- ~~ii. The use of any attached or detached garage for a Home Occupation shall not interfere with the provision of any required off-street parking.~~

**(K) Outdoor Display and Storage**

Outdoor display of goods, materials, supplies, or equipment is prohibited.

(C) Portable lavatories shall be located as to minimize impacts to adjacent residential uses.

**(4) Farm Produce Sales**

A temporary use permit is not required to operate a farm produce sales use, but such use shall comply with the standards of this UDO, in addition to the following standards:

- (A) Temporary tents, structures, or stands used for the sale of farm produce shall not exceed 150 square feet;
- (B) Farm produce sales operations shall not block ADA-accessible parking areas, parking lot access aisles, or sidewalk areas, and shall not reduce the number of parking spaces below any minimum requirement for the principal use in this UDO;
- (C) Farm produce sales shall not operate on the same lot for more than 180 ~~consecutive~~ consecutive days in a calendar year; and
- (D) The Bloomington Community Farmers' Market and any other farmers' market approved by the City shall be exempt from this requirement.

**(5) Real Estate Sales or Model Home**

Real estate sales or model homes are permitted in any zoning district on the site of the development for which the sales are taking place. They are permitted to remain on the site of the development from 15 days before homes are offered for sale until 15 days after all homes or home sites within the development are sold.

**(6) Seasonal Sales**

- (A) Fireworks sales shall be permitted only at locations within the MC zoning district.
- (B) A temporary use permit shall be required and shall be valid for a maximum of 30 consecutive days.
- (C) No property shall be issued more than three temporary use permits in a calendar year.
- (D) The temporary use shall be located on a lot that fronts on a collector or arterial street.
- (E) The temporary use shall be located at least 50 feet from any residential district.

**(7) Special Event**

(A) A temporary use permit is required for a special event and is permitted for 15 days. No property shall be issued more than one special event permit per calendar year.

ZO-03-21 Chapter 3	Full UDO Page Number	RedLine Page Number	Citation	Current Language	Proposed Language/Change	Synopsis
	73	73	Table 03-1	Student housing or dormitory use	Adding Use Specific Standard for MS	Adding a Building Floor Plate Maximum
	77 and 104	77 and 105	20.03.030(h) and Table 03-1		Add new section (7) Special Event- A temporary use permit is required for a special event and is permitted for 15 days. No property shall be issued more than one special event permit per calendar year. *Also include a reference to this Use Specific Standard in Table 03-1 and an asterisk next to the "T" in the table.	Adds a time limit for special events.
	80	80	20.03.030(b)(5)(A)	Multifamily. No language limiting the amount of the ground floor of a building that can be used for parking	Any portions within the ground floor of a structure used for vehicular parking shall be located at least 20 feet behind the building façade facing a public street. If there are multiple primary buildings on a site, this requirement only applies to the building closest to a public street.	Provides a limitation on the amount of a ground floor that can be used for parking to insure that there is a use on the ground floor besides parking.
	84	84	20.03.030(b)(13)(A)	Student Housing. No language limiting the amount of the ground floor of a building that can be used for parking	No more than 50% of the ground floor of a building adjacent to a public street can be used for parking.	Provides a limitation on the amount of a ground floor that can be used for parking to insure that there is a use on the ground floor besides parking.
	84	84	20.03.030(b)(13)(B)	In the RM, RH, MN, MM, MC, and MI zoning districts, each student housing or dormitory use shall be separated from any other student housing or dormitory use by at least 300 feet.	Student Housing: Adjusting Separation Requirement	Separation required on one lot for non-incentive projects.
	84	84	20.03.030(b)(13)(C)i, ii, & iii	Different building floor plate allowances for student housing in different districts	Student Housing: Adjusting Building Floor Plate	Larger building floor plates allowed for incentive projects
	84	84	20.03.030(b)(13)(D)	In the RH zoning district, the maximum building height for a student housing or dormitory use shall be four stories, not to exceed 50 feet...	In the RH zoning district, the maximum building height for a student housing or dormitory use shall be <b>three</b> stories, not to exceed <b>40</b> feet...	Reducing base height allowance in the RH for non-incentive projects
	85	85	20.03.030(c)(5)	Fences intended exclusively to protect food garden plots from animals shall not be more than 12 feet in height. The portion of the fence that exceeds five feet in height shall, by the use of voids and solids via latticework or other similar techniques, be of open construction. This portion of the fence shall be constructed of materials widely accepted in the fence industry for garden protection.	Duplicate language from 20.04.080(n)(1)(G)	Duplicates this requirement to the Use Specific Standards since this exception for fencing is related specifically to this use. However, needed still in Fence section because there is context there.
	87	87	20.03.030(d)(1)(B)	Structures containing livestock or livestock waste (except chicken coops) shall meet the following setbacks:	Structures containing <b>Large or Medium</b> livestock or <b>any structures containing</b> livestock waste (except chicken coops) shall meet the following <b>minimum</b> setbacks	Clarifies the setbacks are for Large or Medium livestock
	87	87*	20.03.030(d)(1)(B)	None	Structures containing Small livestock shall meet the following minimum setbacks: Front setback: 35 feet; Side setback: 15 feet; Rear Setback: 25 feet	Adds reduced setbacks for small livestock
	87	87	20.03.030(d)(1)(C) Table 03-3	Pasture Size (minimum)	Area required (minimum)	
	87	87	20.03.030(d)(1)(C) Table 03-3	None	Add "Small Livestock --- Area required (minimum)= Lot size equals district minimum ---- Livestock per Acre (maximum)= 2 per minimum area required	
	87	87	20.03.030(d)(1)(C) Table 03-3	Note	Delete	Small Livestock addition covers this.
	87	87 88	20.03.030(d)(1)(C)(iii)	Animals less than four months of age shall be calculated at one-half the unit value	Delete	Very difficult to enforce long term.
	90	91	20.03.030(d)(14)(A)	....the use shall be limited to a total of four metered fuel dispenser units.	Add second sentence under (A) that says "For the purpose of this section, each hose shall count as one fuel dispenser unit".	Clarifies what is counted for a fuel dispensary unit.
	92	93	20.03.030(e)(2)(G)(i)	Is at least a two-story structure with storage units on upper floors with access doors to storage units accessed from interior hallways	Is at least a two-story structure with a <b>defined use on the upper floor(s) and if storage units are provided on the upper floors, then access to the units shall be from interior hallways.</b>	Modifies language to clarify that other permitted uses are allowed on the upper floors of a self storage building and that does not have to be storage units.
	97	97	20.03.030(g)(1)(E) and Table 03-4	The maximum number (per lot or parcel) and maximum footprint (cumulative total per parcel) of accessory structures permitted....	The maximum number (per lot or parcel).....of <b>enclosed</b> accessory structures	Clarifies that only enclosed accessory structures are regulated by number and size.
	97	97	20.03.030(g)(1) Table 03-4	RM,RH  15 percent of the cumulative square footage of the primary building(s) footprint	RM, RH  840 sq ft. or 15 percent of the cumulative square footage of the primary building(s) footprint whichever is more.	Allows for a minimum cumulative total squarefootage for accessory strutures in districts with varied sized primary structures
	97	97	20.03.030 (g)(1) Table 03-4	Maximum Footprint (cumulative total) 50 percent of the square footage of the primary structure	Delete RE	These properties are largely urban farms and accessory structures on farms are larger than primary structures.
	97	97	20.03.030 (g)(1) Table 03-4	Maximum Footprint (cumulative total) 50 percent of the square footage of the primary structure	Add Note for R1: Agricultural structures are exempt from size limitations.	These properties are largely urban farms and accessory structures on farms are larger than primary structures.
	97	97	20.03.030 (g)(1) Table 03-4	MS, MN, MM, MD, MC, ME, MH  15 percent of the cumulative square footage of the primary building(s) footprint.	MS, MN, MM, MD, MC, ME, MH  1,000 square feet or 15 percent of the square footage of the primary structure, whichever is greater	Many commerical and MFR structures are small enough that a 15% limit often limits the size of an accessory structure to square footage less than would be allowed at a similarly sized SFR. This is different that then proposed change to RM/RH/RMH because these structures are more often commercial, and many uses are likely to desire and utilize additional square footage.
	98	98	20.03.030(g)(5)(B)(iii)	ADUs shall not be established on a lot that is less then the minimum lot size of the zoning district	Remove	Removes minimum lot size requirement to allow an ADU.
	98	99	20.03.030(g)(5)(E)(i)	The maximum gross floor area of any detached ADU shall be 840 square feet.....	The maximum gross floor area of <b>the detached ADU portion of any accessory structure</b> shall be 840.....	Codifies an interpretation
	99	99	20.03.030 (g)(5)(E)(v)	A detached ADU shall be set back from any side or rear property line that does not abut an alley by at least 10 feet, and from any side or rear property line that abuts an alley by at least five feet.	A detached ADU shall be set back from any side or rear property line by at least five feet.	
	99	100	20.03.030(g)(5)(H)	Public notification requirements for ADU	Remove	Removes notification requirements for ADUs. Notification causes confusion for non-discretionary approval.
	101	102	20.03.030 (g)(6)(G)	i. No more than 15 percent of the total interior floor area of the dwelling unit may be used in connection with the Home Occupation. However, no Home Occupation shall be limited to less than 200 square feet, nor shall the area of a Home Occupation exceed 500 square feet. ii. If there is more than one Home Occupation being conducted within a dwelling unit, then all Home Occupations within the dwelling unit shall cumulatively use no more than 15 percent or 500 square feet of the dwelling unit, whichever is less. iii. Area used for storage of materials or products used in the Home Occupation shall be included in this calculation.	i. For Home Occupations located within a primary structure no more than 50 percent of the total interior floor area of the dwelling unit may be used in connection with the Home Occupation. ii. If there is more than one Home Occupation being conducted within a dwelling unit, then all Home Occupations within the dwelling unit shall cumulatively use no more than 50 percent of the dwelling unit. iii. Area used for storage of material or products used in the Home Occupation shall be included in this calculation. iv. For Home Occupations located within an accessory structure no more than 840 square feet or the maximum square footage allowed for accessory structures permitted by Section 20.03.0309(g) (Accessory Uses and Structures), whichever is less maybe be used in connection with the Home Occupation. v. Exempted Uses are excluded from square footage limitations in Section 20.03.030 (g)(6) (A)	
	100	102	20.03.030 (g)(6)(J)	i. The Home Occupation shall be conducted entirely within the primary structure or attached garage	Delete i. Change ii. The use of any attached or detached garage for a Home Occupation shall not interfere with the provision of any required off-street parking.	Allows Home Occupations in detached structures and maintain rules for parking
	104	105	20.03.030(h)(4)(C)	Farm produce sales shall not operate on the same lot for more than 180 consecutive days; and	Farm produce sales shall not operate on the same lot for more than 180 days in a calendar year; and	Limits farm produce sales to only 180 days and allows enforcement

# Chapter 20.04: Development Standards & Incentives

## 20.04.010 Applicability

### (a) New Development

The requirements of this chapter shall apply to all new development pursuant to Section 20.01.020 (Authority, Applicability, and Jurisdiction), unless otherwise exempted in this Chapter.

### (b) Activities That Trigger Compliance

- (1) Construction of any new primary structure on a lot shall require compliance with all standards in this Chapter unless an exception is stated in this UDO.
- (2) Table 04-1 identifies activities that trigger compliance for conforming sites and structures with specific development standards contained in Chapter 20.04: (Development Standards & Incentives). These standards shall not exempt development activity that falls below the thresholds identified in Table 04-1 from complying with applicable standards of this UDO or any applicable federal, state, or local regulations. Additional information on applicability is provided in the referenced sections.
- (3) Section 20.06.090(f) (Nonconforming Site Features ) identifies activities that trigger full and limited compliance for lawful nonconforming sites and structures with specific development standards contained in Chapter 20.04: (Development Standards & Incentives).
- (4) For purposes of this section, "entire site" shall mean the total area of the lot on which development is occurring. "Disturbed area" shall mean those areas of the lot or those portions of the structure that are included in the project area or that are affected by the proposed development activity.

**Table 04-1: Development Standards Compliance Thresholds For Conforming Sites and Structures**

UDO Standard	UDO Section	Change of Use		New Development		Redevelopment			
		Entire Site	Disturbed Areas Only	Entire Site	Disturbed Areas Only	Minor Site Plan		Major Site Plan	
						Entire Site	Disturbed Areas Only	Entire Site	Disturbed Areas Only
Dimensional Standards	20.04.020		✓	✓			✓	✓	
Environment	20.04.030		✓	✓			✓	✓	
Floodplain	20.04.040		✓	✓			✓	✓	
Access and Connectivity	20.04.050	✓		✓		✓		✓	
Parking and Loading	20.04.060	✓		✓		✓		✓	
Site and Building Design	20.04.070		✓	✓			✓	✓	
Landscape, Buffering, and Fences	20.04.080		✓	✓		✓		✓	
Outdoor Lighting	20.04.090	✓		✓			✓	✓	
Signs	20.04.100	✓		✓		✓		✓	



**Table 04-6: Authorized Exceptions to Setback Requirements**

DU = dwelling unit

Type of Exception	Extent of Exception
Air conditioners (ground)	Up to 5 feet if screened by a fence, wall, or appropriate landscaping.
Air conditioners (window)	Up to 30 inches.
Architectural features	Up to 18 inches.
Awnings, balconies, canopies, patios, <u>and</u> steps, <u>and</u> <del>uncovered/open porches</del>	Up to 6 feet.
Bay windows, chimneys, eaves,	Up to 3 feet.
Decks	Up to 6 feet into the side or rear setback provided that no deck is closer than 2 feet to a side property line.
Fire Escapes	Up to 6 feet into side and rear setbacks.
Front Entry	For the RE, R1, and R2 zoning districts, an entry or covered front addition a maximum of 6 feet deep and with a width not to exceed one-third the width of the primary façade of the structure.
Handicap ramps	Exempt from all setback requirements.
Satellite dishes	Up to 5 feet into the front setback and no closer than one foot to the side and rear property lines.
Detached garages or carports	Where a rear alleyway provides access to a detached garage or carport, the setback from the property line that runs parallel to the alleyway to the detached garage or carport may be reduced to three feet.
Additions to existing <u>primary</u> structures	For single-family, duplex, and triplex structures, additions to existing <u>primary</u> -structures may use existing side or rear setbacks already established on the lot, provided that the gross floor area of the existing structure is not increased by more than 50 percent. In no case shall the setback be less than 10 feet (rear) or 4 feet (side).

(C) Where this UDO establishes a maximum setback from the front property line, that maximum setback may be increased by up to five feet to accommodate access required by the Americans with Disabilities Act, utility or access easements, or to prevent encroachment of building projections over the public right-of-way.

**(4) Through Lots**

On a through lot, the Planning and Transportation Director shall determine which lot line shall be deemed the front lot line based on the existing and/or proposed building orientation of surrounding lots. Through lots adjacent to an arterial street shall comply with the standards established in 20.05.050(j)(7)(A)iii (Buffer).

**(f) Building Height**

**(1) Measurement**

Maximum building heights are expressed in both overall dimension and the number of stories, where applicable.

**(A) Stories**

Story height is measured between the floor of a story to the floor of the story above it. For single-story buildings and the uppermost story of a multistory building, the measurement shall be from the floor of the story to the ceiling.



- (B) Adjacent to slopes of greater than 18 percent;
- (C) Adjacent to water resources;
- (D) Adjacent to other environmental features that are required to be preserved as part of this UDO;  
or
- (E) Presence of tree cover on 50% or more of the surface area of the slope.

**(6) Construction Measures**

Any development on slopes between 12 percent and 18 percent shall incorporate construction measures such as retaining walls and walkout basements as well as current preferred practices for erosion control measures during construction, as provided in Section 20.04.030(d)(3)(A).

**(7) Street Grades**

Arterial and collector streets shall not exceed grades of six percent and neighborhood-local streets or alleys shall not exceed grades of eight percent unless the petitioner demonstrates that steeper grades will minimize disturbances to existing topography.

**(8) Street Design**

All drives and streets shall follow the topography with a minimum of cutting and filling.

**(9) Soil Constraints**

When unstable or contaminated soils are found, the effect of cutting and filling, alterations to slope, and the stabilization measures required to either avoid or address unstable or contaminated soils shall be minimized to the maximum extent practicable, given the soil condition to be avoided or mitigated.

**(10) Overlapping Preservation Areas**

Where acreage set aside to fulfill the conservation or buffer requirements in Section 20.04.030(e), Section 20.04.030(g), Section 20.04.030(h), and Section 20.04.030(i) also meets the requirements for steep slope preservation under this section, such acreage shall be counted toward fulfillment of all applicable requirements.

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**(d) Siltation and Erosion Prevention**

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**(1) Applicability**

- (A) This subsection applies to any land development or land-disturbing activities that include one or more of the following conditions:
  - i. That disturbs a ground surface of 1,000 square feet or more;
  - ii. That involves excavation or filling of dirt, sand, or clean fill, including but not limited to single-family development;
  - iii. That involves street, highway, or bridge construction, enlargement, relocation or reconstruction; or
  - iv. That involves the laying, repairing, replacing, or enlarging of an underground pipe, facility, or any utility.
- (B) All municipal government departments, including the City Utilities Department, shall comply with this section.

**(3) Compound Karst Features**

For the purposes of this subsection, compound karst features shall be defined as any two or more karst features where the last closed contour of the features are located within 100 feet of each other. The outer boundary of the compound karst feature shall be drawn by connecting the last closed contour at its widest point of each individual karst feature with a tangential line.

**(4) Karst Conservancy Easement (KCE)**

All karst features shall be protected by Karst Conservancy Easements (KCE). Such easements shall be established in accordance with the following standards:

- (A) No land-disturbing activity, permanent or temporary structures, or the placement of any fill material shall be allowed within a KCE.
- (B) The outer perimeter of the KCE shall be protected with silt fencing and/or tree protection fencing during the entire period of construction.
- (C) For all individual karst features, the KCE shall encompass the entire feature and all of the area within 25 feet horizontally from the last closed contour line of the feature. The last closed contour line shall be as shown on the City's geographic information system (GIS) using a contour interval of two feet. When the City has reason to doubt the accuracy of the GIS data, the City shall use field verification to determine the location of the last closed contour.
- (D) For all compound karst features, the KCE shall encompass the entire outer boundary of the compound karst feature as defined in 20.04.030(g)(3) above and all of the area within 25 feet horizontally from the outer boundary of the compound karst feature.

**(5) Setback**

No structures shall be located within 10 feet of a Karst Conservancy Easement.

**(6) Stormwater Discharge**

Stormwater discharge into a karst feature shall not be increased over, or substantially reduced below its pre-development rate.

**(7) Stormwater Detention**

Karst Conservancy Easements shall not be used for stormwater detention. Drainage shall be designed to route runoff through vegetative filters or other filtration measures before entering a karst feature.

**(8) Disturbance**

No land-disturbing activity, mowing, or temporary or permanent structure shall be allowed within the sinkhole nor within 25 feet of the last closed contour of the sinkhole.

**~~(8)~~(9) Spring or Cave Entrances**

Spring or cave entrances shall not be modified except for the placement of a gate to prevent human access.

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**(h) Wetlands**

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**(1) Applicability**

This section shall apply to all land-disturbing activities on properties containing wetland resources.

**(3) Conflicting Provisions**

- (A) This section is not intended to repeal, abrogate, or impair any existing easements, covenants, or deed restrictions. However, where this section and another conflict or overlap, whichever imposes the more stringent restrictions shall prevail.
- (B) In cases where there is a discrepancy between the mapped floodplain (SFHA) on the FIRM and the actual ground elevations, the elevation provided on the profiles shall govern.
- (C) If the elevation of the site in question is below the base flood elevation, that site shall be included in the SFHA and regulated accordingly.
- (D) If the elevation (natural grade) of the site in question is above the base flood elevation and not located within the floodway, that site shall be considered outside the SFHA and the floodplain regulations will not be applied. The property owner shall be advised to apply for a LOMA.

**(4) Interpretation**

- (A) In the interpretation and application of this ordinance all provisions shall be:
  - i. Considered as minimum requirements;
  - ii. Liberally construed in favor of the governing body; and
  - iii. Deemed neither to limit nor repeal any other powers granted under state statutes.

**(5) Warning and Disclaimer of Liability**

The degree of flood protection required by this UDO is considered reasonable for regulatory purposes and is based on available information derived from engineering and scientific methods of study. Larger floods can and will occur on rare occasions. Therefore, this UDO does not create any liability on the part of the City of Bloomington, the Indiana Department of Natural Resources, or the State of Indiana, for any flood damage that results from reliance on this UDO or any administrative decision made lawfully thereunder.

**(d) Flood Hazard Reduction**

All development ~~on platted lots~~ shall comply with the provisions of this Section 20.04.040(d). Petitions for new or revised subdivisions shall also comply with the standards in Section 20.05.050(c).

**(1) Conditional Uses**

The following are conditional uses in the floodway fringe, subject to approval under Section 20.06.050(b) (Conditional Use Permit).

- (A) Transportation facilities, including, but not limited to, bridges, streets or drives;
- (B) Any other flood-tolerant or open space uses, such as storage of materials not subject to flood damage that do not contain hazardous pollutants;
- (C) Parking lots constructed solely of permeable pavers;
- (D) Recreational equipment; and
- (E) Buildings/structures.

**(2) General Standards**

The following standards apply to all SFHAs and known flood prone areas:

- (A) New construction and substantial improvements shall be anchored to prevent flotation, collapse or lateral movement of the structure.

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**(c) Driveways and Access**

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**(1) Number of Drives****(A) Single-Family, Duplex, Triplex, and Fourplex Residential Uses**

For single-family, duplex, triplex, and fourplex residential uses, a maximum of one driveway access point shall be permitted, regardless of the number of street frontages, except that a circle drive shall be permitted according to the following standards:

- i. The maximum circle drive width shall be 10 feet;
- ii. The lot shall have at minimum of 120 feet of street frontage on the street the circle drive will access; and
- iii. The minimum distance between the driveway access points of a circle drive shall be 60 feet, measured from the inside edge of each driveway where it intersects the public right-of-way.

**(B) All Other Uses**

No property shall be permitted to have more than two driveway access points per street frontage.

**(2) Location and Separation of Drives****(A) Generally**

- i. No entrance or drive shall be installed:
  1. Within 50 feet of any intersection.
  2. ~~Within the front parking setback~~ Closer to a street than the existing or proposed front building wall running less than 45 degrees from parallel to the street right-of-way or ingress/egress easement.
- ii. For nonresidential uses located on corner lots, drive access shall be located on the street assigned the lower functional classification according to the Transportation Plan.
- iii. Multifamily dwelling developments may use garages with individual driveways accessing the street provided that the street being accessed is designated a local street and consistent with access management by the Transportation Plan or is a private street.

**(B) Street Classification**

The classification of all streets shall be as indicated on the Transportation Plan as contained in the Comprehensive Plan.

**(C) Distance Calculations**

- i. The distances applicable to the standards outlined in this Section 20.04.050 shall be determined as follows:
  1. By measuring from the intersection right-of-way line to the back of curb or edge of pavement (whichever is less) of the entrance or drive; or
  2. By measuring from the back of curb or edge of pavement of the first entrance or drive to the back of curb or edge of pavement (whichever is less) to the second entrance or drive.

- ii. If the parcel is not large enough to achieve the separation required below, then the drive shall be installed at a location farthest from the intersection subject to approval by the Transportation and Traffic Engineer.

**(D) Arterial or Collector Streets**

**i. Single-Family, Duplex, Triplex, and Fourplex Residential Uses**

No entrance or drive along an arterial or collector street shall be installed within 50 feet of any intersecting street.

**ii. All Other Uses**

1. No entrance or drive along an arterial or collector street shall be installed:
  - [a] Within 150 feet of any intersecting street.
  - [b] Within 100 feet of another driveway entrance.
2. If the distance separation requirement cannot be met, then the entrance or drive shall be located equidistant from the two adjacent drives, or as approved by the City Engineer.

**(E) ~~Local~~ Neighborhood Streets**

**i. Single-Family, Duplex, Triplex, and Fourplex Residential Uses**

No entrance or drive along a ~~neighborhood~~ local street shall be installed within 30 feet of any intersecting street.

**ii. All Other Uses**

1. No entrance or drive along a neighborhood street shall be installed:
  - [a] Within 100 feet of any intersecting street.
  - [b] Within 50 feet of another driveway entrance.
2. If the distance separation requirement cannot be met, then the entrance or drive shall be located equidistant from the two adjacent drives, or as approved by the City Engineer.

**(F) Improved Alley Access in the R3 and R4 District**

In the R3 and R4 zoning district, a driveway accessing the street shall be prohibited if the side or rear setback is accessible via an improved alley. Required parking spaces pursuant to Section 20.04.060 (Parking and Loading), shall be accessed directly from the adjacent alley.

**(3) Driveway and Access Design**

**(A) Generally**

- i. The City Planning and Transportation Department shall determine curb radii and other construction standards for all entrances based on the smallest design vehicle possible and to still accommodate the most common vehicle and occasional larger vehicles with appropriate encroachments, and whether an acceleration lane, deceleration lane, or passing blister is required.
- ii. Driveways shall not impede the flow of drainage. Where driveway culverts are necessary to accommodate drainage, the culvert pipe size shall be determined by a licensed engineer to prevent flooding.

**(B) Driveway Pavement Widths****i. Single-Family, Duplex, Triplex, and Fourplex Residential Uses**

The width of a driveway between the required front building setback and the street shall not exceed 18 feet.

**ii. All Other Uses**

No entrance or drive shall exceed the following pavement widths for two-way traffic (if one-way, the measurements shall be one-half of the below requirements):

1. 24 feet if from a nonresidential use onto an arterial or collector street. The City Engineer may authorize a 34-foot entrance to accommodate heavy truck use.
2. 24 feet if from a nonresidential use onto a ~~neighborhood-local~~ street.
3. 24 feet if from a mixed-use multifamily residential use onto any type of street.

**(C) Surface Material**

- i. Unless specifically stated otherwise in this UDO, all entrances and drives shall be asphalt, concrete, or other material approved by the city.
- ii. The Planning and Transportation Director may approve structurally engineered, permeable parking pavers for entrances and drives provided these areas are intended for low intensity or intermittent vehicular use and pavers are designed and used to mitigate the negative environmental impacts of impervious surfaces.
- iii. Areas using permeable pavers shall not be counted in impervious surface calculations.
- iv. For new development, all driveway aprons onto a street shall be constructed of concrete.
- v. Enlargement or modification of an existing driveway shall require the driveway apron to be surfaced with asphalt or concrete.
- vi. Drive cuts shall ramp to meet the pedestrian and/or bicycle facility in order to keep the pedestrian and/or bicycle facility at the same grade, unless approved by the Transportation and Traffic Engineer due to site elevation constraints.
- vii. Surface materials for single-family residential driveways shall be as required in Section 20.04.060(i)(7).

**(4) Vision Clearance Triangle****(A) Applicability**

- i. A vision clearance triangle shall be maintained at every street intersection.
- ii. Vision clearance triangles for intersections may be reduced upon a determination by the City Planning and Transportation Department that such a reduction is not expected to have a significant impact on vehicle, bicycle, or pedestrian safety at the intersection and such a reduction is within engineering standards or guidelines for vehicle, bicycle, or pedestrian modes.

**(10) Paths, Sidewalks, and Trails****(A) Construction Standards**

All path, sidewalk, and trail improvements shall be constructed as per the City of Bloomington standards and/or AASHTO requirements.

**(B) Additional Facility Amenities**

Additional amenities shall be required in accordance with the design standards identified in the Transportation Plan.

**(C) Sidewalks****i. Material and Width**

Sidewalks shall be constructed of durable, smooth, and skid resistant material approved by the City and a minimum width of five feet.

**ii. External Sidewalks**

Sidewalks shall be located a minimum of one foot inside the public right-of-way or within a pedestrian easement along all abutting street frontages.

**iii. Internal Sidewalks**

Sidewalks shall be provided that link abutting streets to primary entrances of primary buildings on the site, link separate facilities within the site to each other, and provide access to adjoining transit stops. Internal sidewalks shall not be required for lots containing primary single-family, duplex, triplex, or fourplex dwelling uses.

**iv. Separation**

Sidewalks shall have a minimum separation of five feet from the curb, or edge of pavement where no curb exists. In situations where the minimum separation cannot be achieved due to constraints such as limited public right-of-way, mature trees, or unsuitable topography, the sidewalk location may be designed to avoid the constraints, provided that a pedestrian easement is established for any locations where the sidewalk is not within the public right-of-way, and that the minimum five foot separation is maintained.

1. In situations where the sidewalk must be located within a pedestrian easement on private property, the portions of the sidewalk within the pedestrian easement shall not count toward the maximum impervious surface coverage or against the minimum landscape area for the property.
2. In situations where the City Planning and Transportation Department has determined that a pedestrian easement is not feasible due to right-of-way width constraints or site elevation constraints, the City Planning and Transportation Department may approve the following design options:
  - [a] A 10-foot-wide sidewalk with reduced vegetated plot width.
  - [b] Integral sidewalk with a minimum six-inch curb and six-foot wide sidewalk.

**v. Cross-Slopes**

All sidewalks (over entrances and drives, intersections, etc.) shall be constructed to comply with the Americans with Disabilities Act and all applicable adopted City standards.

**Table 04-10: Maximum Vehicle Parking Allowance**

DU = dwelling unit sq. ft. = square feet

Use	Maximum Vehicle Parking Allowance
Supportive housing, large	
<b>PUBLIC, INSTITUTIONAL, AND CIVIC USES</b>	
<b>Community and Cultural Facilities</b>	
Art gallery, museum, or library	2 spaces per 1,000 sq. ft. GFA
Cemetery or mausoleum	No limit
Club or lodge	1 space per 4 seats in main assembly area, or 5 spaces per 1,000 sq. ft. GFA, whichever is greater
Community center	No limit
Conference or convention center	2 spaces per 1,000 sq. ft. GFA for surface parking No limit for structured parking
Crematory	3.3 spaces per 1,000 sq. ft. GFA
Day-care center, adult or child	3.3 spaces per 1,000 sq. ft. GFA
Government service facility	No limit
Jail or detention facility	No limit
Meeting, banquet, or event facility	4 spaces per 1,000 sq. ft. GFA
Mortuary	3.3 spaces per 1,000 sq. ft. GFA
Park	No limit
Place of worship	1 space per 4 seats in main assembly area, or 5 spaces per 1,000 sq. ft. GFA, whichever is greater
Police, fire, or rescue station	No limit
Urban agriculture, noncommercial	No limit
<b>Educational Facilities</b>	
School, college or university	No limit
School, public or private	No limit
School, trade or business	4 spaces per 1,000 sq. ft. GFA
<b>Healthcare Facilities</b>	
Hospital	1 space per patient bed design capacity
Medical clinic	<del>3.3</del> 5 spaces per 1,000 sq. ft. GFA
Methadone treatment facility	3.3 spaces per 1,000 sq. ft. GFA
Opioid rehabilitation facility	3.3 spaces per 1,000 sq. ft. GFA
<b>COMMERCIAL USES</b>	
<b>Agricultural and Animal Uses</b>	
Kennel	No limit
Orchard or tree farm, commercial	No limit
Pet grooming	No limit
Plant nursery or greenhouse, commercial	3.3 spaces per 1,000 sq. ft. of GFA retail sales
Veterinarian clinic	3.3 spaces per 1,000 sq. ft. GFA
<b>Entertainment and Recreation</b>	



- ii. Parking areas shall be designed to ensure safe and easy ingress, egress, and movement through the interior of the lot.
- iii. For surface parking lots with 100 or more parking spaces, landscaped bioretention areas located below the surface level of the parking spaces, shall be provided on the interior of the parking lot to help direct traffic flow and to provide landscaped areas within such lots.
- iv. No park strip shall be used for parking unless otherwise approved by the City Planning and Transportation Department based on considerations of pedestrian and traffic safety, visual appearance, and buffering.
- v. All parking shall comply with parking landscape standards in Section 20.04.080 (Landscaping, Buffering, and Fences).
- vi. For single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, Parking shall be prohibited within the setback between the street and the building except on a driveway that meets the provisions of this Section 20.04.060.
- vii. No commercial vehicles or trailers shall be parked overnight at a residence unless that home is occupied by the business owner or employee.

**(B) In the RE, R1, R2, R3, and R4, RM, and RH District**

- i. Parking for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses shall be prohibited within the required front building setback between the street and the building except on a single drive not exceeding 18 feet in width.
- ii. In cases where the side or rear setback area is accessible via an improved alley, no front yard drive or parking shall be permitted. In the RE, R1, R2, R3, and R4 districts, the required parking area shall directly access the alley and be limited to 20 feet in depth and 20 feet in width. Depth of required parking areas may exceed 20 feet if leading to a vehicular entrance of a detached garage or carport. In the RM and RH districts, the required parking area shall directly access the alley and be limited to 40 feet in depth and 20 feet in width. Determinations of whether an alley allows for safe access shall be made by the City Planning and Transportation Department.
- iii. For lots at the corner of a street and the alley, the driveway on the alley shall be setback 15' from the intersection of the street and the alley.

**(3) Dimensions of Parking Spaces and Drive Aisles**

All on-site parking and maneuvering areas shall be constructed according to the following minimum dimensional standards:

- (A) All parking aisles shall terminate with a bump-out for turnaround maneuverability.
- (B) The length of a parking stall may be reduced to 16 feet allowing the front of vehicles to overhang the required parking space by two feet; provided that:
  - i. Any raised curb in the overhang areas is no more than four inches in height; and
  - ii. The front of the parking space is located adjacent to a landscaped area or sidewalk that is at least six feet in width.

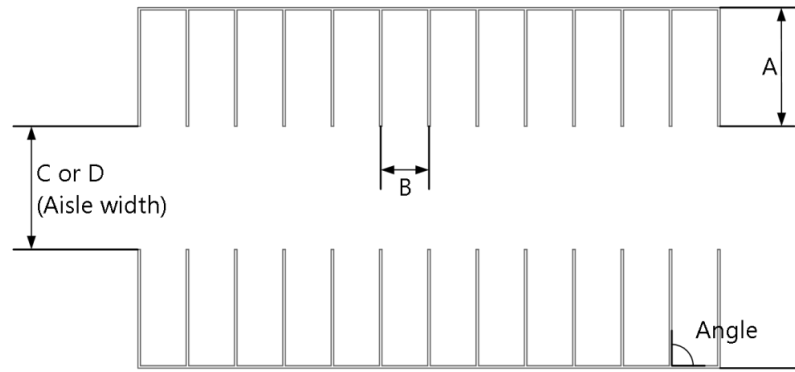


Figure 52: Illustrative Scale and Character

Table 04-11: Parking Dimensions (in feet) [2]

Angle	Parking Space		One-Way Aisle	Two-Way Aisle
	A	B	C	D
0° (parallel)	8.0	22.5 [1]	12.0	20.0
30°	15.0	8.5	12.0	20.0
45°	17.0	8.5	12.0	20.0
60°	17.5	8.5	16.0	20.0
90°	16.0	8.5	20.0	20.0

**Notes:**

[1] End spaces may be a minimum of 20 feet in length where no obstruction exists.

[2] Parking spaces for motorcycles may be provided and must be a minimum of 3 feet in width and 6 feet in depth.

(C) If the petitioner can provide different acceptable standards based on a professionally recognized source of parking lot design, the City Planning and Transportation Department may approve alternative standards pursuant to the minor modification process outlined in Section 20.06.080(a) (Minor Modification).

**(4) Stacked Parking**

Stacked parking arrangements are permitted.

**(5) Back-out Parking**

**(A) Generally**

All on site vehicle parking areas shall be designed to avoid the need for vehicles to back onto public streets when exiting the parking space, unless otherwise stated in this UDO.

**(B) Exceptions**

Single-family, duplex, triplex, and fourplex uses in any zoning district shall be permitted to back-out directly onto an alley or a public street, other than an arterial street.

**(C) Back-out Parking Waiver**

Back-out parking within the required side or rear setback may be allowed onto adjacent alleys subject to the following standards:

- i. The lot in question does not exceed 20,000 feet in area;

- ii. A maximum of eight back-out parking spaces are permitted per site; and
- iii. Parking shall directly access an improved alley.

#### (6) Stormwater Drainage

- (A) Parking lots shall be constructed such that all surface water is directed into an approved landscape bumpout, island, or endcap per Section 20.04.080(h)(2) (Landscape Bumpouts, Islands, and Endcaps). Stormwater run-off that cannot be directed into approved landscape bumpouts, islands, or endcaps shall be treated using one or more of the best management practices prescribed in Section 20.04.060(i)(6)(E) or directed into the stormwater drainage system.
- (B) Water draining from a parking lot shall not flow across a sidewalk.
- (C) Stormwater drainage plans for off-street parking lots shall be reviewed and approved by the City.
- (D) All parking lots, excluding drives that do not afford direct access to abutting parking spaces, shall have a slope of five percent or less.
- (E) For all new parking lots containing 12 or more spaces, the following best management practices shall be used to improve stormwater infiltration and water quality:
  - i. Permeable pavement materials shall be installed. If such materials are the only practice employed from this list, then they shall cover at least 25 percent of the total parking lot area; or
  - ii. Treatments such as culvert outfalls, bioretention basins, or vegetated swales designed to the specifications of City of Bloomington Utilities shall be installed; or
  - iii. Other combinations of best management practices for stormwater infiltration and water quality subject to approval by the City of Bloomington Planning and Transportation and Utilities Departments.

#### (7) Surface Material

- (A) Except for single family residences or as stated in subsection (6) above, or an exception is provided elsewhere in this UDO, all areas used for parking shall be hard surface of concrete, asphalt, brick pavers, or other approved material. Where crushed stone parking surfaces are approved, they shall be contained within a raised, permanent border.
- (B) All new driveway aprons onto a street shall be surfaced with concrete. Enlargement or modification of an existing driveway shall require the driveway apron to be surfaced with concrete, except that the driveway apron for a single-family, duplex, triplex, or fourplex use on a local street may use asphalt or concrete.
- (C) Areas using permeable parking pavers shall not count towards impervious surface calculations.
- (D) Except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses, and display areas for vehicle sales and rental uses, all off-street parking spaces shall be striped or otherwise designated to clearly mark each space.
- (E) All driving lanes and parking aisles in parking lots shall be curbed, unless an alternative design allowing for adequate stormwater management is approved.

**(B) Lighting Fixture Styles**

- i. Lighting fixture styles shall generally conform to the prevailing pattern of street lighting found on adjacent properties and street block faces.
- ii. All pedestrian scaled street lighting in the MD district shall be of a traditional design style (gas lamp, acorn, or similar decorative style) except as otherwise provided below.
- iii. Properties in the following Downtown Character Overlays may use traditional or contemporary design styles:
  1. Downtown Core;
  2. University Village (excluding Kirkwood Corridor and Restaurant Row);
  3. Downtown Gateway; and
  4. Showers Technology.

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**(d) Building Design**

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**(1) Third-Party Review**

The Planning and Transportation Director may retain an independent third-party consultant to review any proposed building design in order to assist with review of compliance with the standards in this 20.04.070(d). Where the decision on an application is made by the Plan Commission or City Council (as shown in Table 06-1), the consultant may offer alternative compliant design option(s) that addresses each element of building design addressed in this 20.04.070(d). The body making the final decision on the application may approve some or all of the suggested design options if it determines that the suggested option:

- (A) Significantly enhances the visual appeal of the building;
- (B) Significantly enhances the perceived quality of the building facades visible from public streets;
- (C) Creates no adverse impacts on surrounding properties beyond those that would be permitted if the standards in this 20.04.070(d) were applied; and
- (D) Strengthen the public-private interaction at the street level.

**(2) Mixed-Use and Nonresidential****(A) Applicability**

The following standards shall apply to parcels in the MN, MM, MC, MS, ME, MI, and MH zoning districts.

**(B) Exceptions**

Single-family detached, duplex, triplex, and fourplex dwellings shall not be subject to the architectural standards of this Section 20.04.070(d)(1). Such residential dwelling units shall be subject to the architectural standards in Section 20.04.070(d)(3).

**(C) Materials**

All facades of a primary building shall consist of one or more of the following primary and secondary exterior finish materials:

**i. Primary Exterior Finish Materials**

1. Cementitious siding;
2. Masonry;

3. Brick;
4. Natural stone;
5. Precast concrete;
6. Split-faced block; and/or
7. Transparent glass.

**ii. Secondary Exterior Finish Materials**

1. Wood;
2. EIFS; or
3. Metal (except corrugated)

3.4. Other products that replicate the appearance and durability of the above materials, as approved by the staff.

**(D) Exterior Facades**

All facades of a primary building shall incorporate three or more of the following design elements every 40 feet to avoid blank, uninterrupted walls:

- i. Awning or canopy;
- ii. Change in building facade height (minimum of five feet of difference);
- iii. A regular pattern of transparent glass constituting a minimum of 50 percent of the total wall/facade area of the first-floor facade/elevation facing a street;
- iv. Wall elevation recesses and/or projections, the depth that are at least three percent of the horizontal width of the building façade.

**(E) Patterns**

All facades of a primary building visible from any roadway shall contain the following color and texture changes:

- i. Facades shall consist of at least one primary and one secondary color.
- ii. At least one of these elements, either texture or color, shall repeat horizontally across the facade.
- iii. Variations in texture and color elements shall repeat vertically a minimum of every 30 feet.

**(F) Eaves and Roofs**

Buildings with sloped roofs (those greater than 3:12 pitch) visible from any roadway shall contain overhanging eaves, extending no less than two feet past the supporting walls. Flat roofs (those less than 3:12 pitch) shall include a parapet on supporting walls.

**(G) 360-Degree Architecture**

Those sides of a building that are not visible from the street frontage shall have a finished facade that is similar to the visible facades in terms of materials and architectural detailing.

**(H) Primary Pedestrian Entry**

- i. One primary pedestrian entrance shall be provided for every façade facing a street.
- ii. On corner or through lots, the façade facing the higher classified street shall have the primary pedestrian entrance. For purposes of this section, I-69 shall not be used as the higher classified street.

- iii. The pedestrian entry shall contain at least three of the following architectural details:
  1. Pilasters or facade modules;
  2. Public art display;
  3. Prominent building address, building name, and lighting;
  4. Raised corniced entryway parapet; or
  5. Buttress and arched entry.

**(I) Windows on Primary Facades**

All first-story windows on the primary façade of a primary structure shall be transparent and shall not make use of dark tinting or reflective glass.

**(J) Anti-Monotony Standards**

In the case of new construction of multifamily units, any development containing more than three individual buildings shall incorporate the following variations to break up monotony in design:

- i. Differences in rooflines;
- ii. Differences in building footprint;
- iii. Differences in the number of floors per building.

**(J)(K) Street Addresses**

- i. Street address displays shall consist of Arabic numerals (e.g., 1, 2, 3...) no less than eight inches in height. For multifamily uses, the address display shall a minimum of five inches and a maximum of 10 inches in height.
- ii. Street address displays shall be placed above all exterior entrances visible from a public street, private drive, or parking lot.
- iii. All street addresses shall contrast with the color of the surface on which they are mounted, shall consist of reflective materials, and shall be clearly visible and identifiable from the street.

**(3) Residential**

**(A) Applicability**

The following standards shall apply to the construction, expansion, addition, or alteration of any building in the RE, R1, R2, R3, R4, RM, RH and RMH zoning districts.

**(B) Materials**

Primary exterior finish building materials used on residential dwellings shall consist of any of the following:

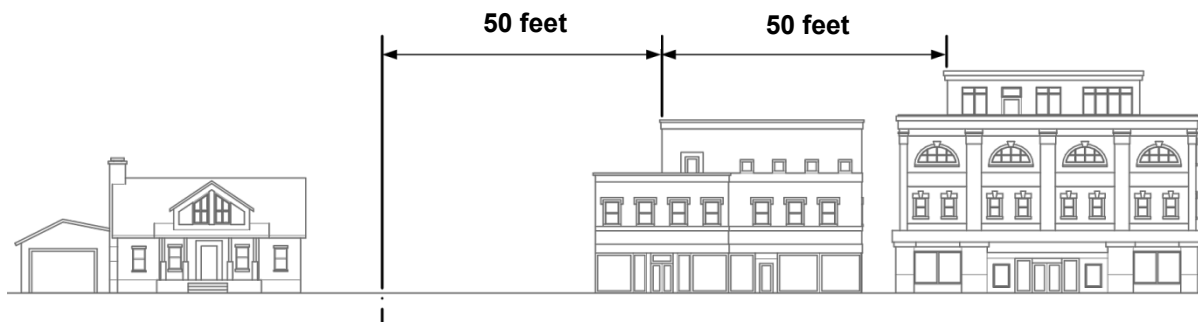
- i. Horizontal lap siding (e.g., vinyl, cementitious, wood);
- ii. V-grooved tongue-and-groove siding;
- iii. Wood-grained vertical siding materials in a board-and-batten or reverse batten pattern;
- iv. Cedar or other wood materials (excluding EIFS);
- v. Stucco, plaster, or similar systems (excluding EIFS);
- vi. Stone;
- vii. Split face block, ground face block, or brick;

**(5) Neighborhood Transition Standards****(A) Setbacks**

Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the minimum building setback of the adjacent residential zoning district along the common property line or the minimum building setback of the zoning district where the building is located, whichever is greater. When adjacent to the RE, R1, R2, R3, or R4 zoning district, the minimum setback shall be increased by one foot for each foot of building height over 30 feet.

**(B) Building Height**

- i. Any portion of a building within 50 feet of a property in the RE, R1, R2, R3, or R4 zoning district shall not exceed the maximum building height allowed in the abutting residential district or the maximum building height of the zoning district where the building is located, whichever is lower. Where a lot abuts two or more residential districts, the residential district with the lowest maximum building height shall govern. Portions of buildings within 50 feet are not eligible for additional building height under Section 20.04.110 (Incentives).
- ii. Any portion of a building between 50 feet and 100 feet of a property in the RE, R1, R2, R3, or R4 zoning district shall not exceed the maximum building height allowed in the abutting residential district, plus one story (not to exceed 15 feet); or the maximum building height of the zoning district where the building is located, whichever is lower. Where a lot abuts two or more residential districts, the residential district with the lowest maximum building height shall govern. Portions of buildings between 50 feet and 100 feet are not eligible for additional building height under Section 20.04.110 (Incentives).
- iii. Any portion of a building beyond 100 feet from a property in the RE, R1, R2, R3, or R4 zoning district shall not exceed the allowed building height of the zoning district where the building is located. Portions of buildings beyond 100 feet are eligible for additional building height under Section 20.04.110 (Incentives).
- iv. Building features referenced in Table 04-7: *Authorized Exceptions to Height Requirements*, shall be designed to minimize visibility from adjacent residential districts and fit within the allowed building height of the zoning district where the building is located, to the maximum extent practicable.



**Figure 3.2 E: Building Height in Transition Areas**

**(6) Street Addresses**

- (A) Street address displays shall consist of Arabic numerals (e.g., 1, 2, 3...) no less than three inches in height.

**(F) Substitution****i. Public Art**

The Planning and Transportation Department may allow up to five percent of the minimum landscape area requirement to be replaced with public art. Public art shall not replace required buffer yard landscaping as required by Section 20.04.080(g) or required parking lot landscaping required by Section 20.04.080(h) and shall not count towards impervious surface area on the lot.

**ii. Existing Vegetation**

1. The City Planning and Transportation Department may permit the substitution of required landscape with existing vegetation provided that the existing vegetation is in good health and quality and is found on the permitted plant list in this UDO.
2. Vegetation preserved to meet the requirements of Section 20.04.030(i), (Tree and Forest Preservation), may be substituted for required landscaping, provided it meets the requirements of Section 20.04.080(c)(2).
3. Existing vegetation listed in Section 20.04.080(d), shall be credited towards required landscaping based on the following values:

**[a] Deciduous Trees**

A credit of one tree per every four inches DBH of an existing qualified deciduous tree is earned. No single existing tree shall count towards more than four individual required trees.

**[b] Evergreen Trees**

A credit of one tree per every 12 feet in height of an existing qualified evergreen tree is earned. No single existing tree shall count towards more than three individual required trees.

**[c] Shrubs**

A credit of one shrub per every one existing qualified shrub is earned.

**(G) Ground Cover**

- i. Turf grass and other vegetative ground cover shall be used for all landscaped areas, except that parking lot bumpouts, islands, endcaps smaller than 324 square feet, and areas within 12 inches of a building foundation may use decorative mulch or stone.
- ii. ~~Planting beds shall not extend more than~~ Except as provided in Section 20.04.080(c)(2)(G)(i), decorative mulch or stone shall not be used as groundcover except one foot beyond the dripline of shrubbery and shall be no more than six feet in diameter surrounding trees.

**(3) Tree Protection**

- (A) Any existing trees intended to be preserved and counted toward minimum landscape requirements shall be protected during the entire duration of construction.
- (B) Construction activities shall be prohibited within the tree protection zone, a three-foot minimum radius surrounding the dripline of the tree.
- (C) No equipment or supply storage, equipment movement, rest or picnicking area, or any land disturbing activities shall be allowed in the tree protection zone.



**ii. Type**

A minimum of 75 percent of the required trees shall be large, canopy trees.

**iii. Location**

Trees shall be planted within 10 feet of the parking lot edge.

**(C) Shrubs****i. Number**

Parking lot perimeter areas shall contain a minimum of three shrubs per one parking space.

~~**ii. Type**~~

~~A minimum of 50 percent of the required shrubs shall be evergreen.~~

~~**iii. Location**~~

~~Shrubs shall be planted within five feet of the parking lot edge.~~

~~**iv. Height**~~

~~Shrubs planted in parking lot perimeter areas shall be selected from species that grow to a minimum height of four feet.~~

**(2) Landscape Bumpouts, Islands, and Endcaps****(A) Number**

Parking lots with 12 or more parking spaces shall provide one landscape bumpout, island, or endcap per every 10 parking spaces.

**(B) Minimum Area**

The width and length of each required landscape bumpout, island, or endcap shall be equal to the width and length of the adjacent parking space.

**(C) Minimum Planting**

Each landscape bumpout, island, or endcap shall contain at least one large canopy tree. Where a bumpout, island, or endcap area is equal to the width and length of two parking spaces, a minimum of two large canopy trees shall be provided.

**(D) Stormwater Filtration**

Parking lot bumpouts, islands, or endcaps shall be installed lower than the parking surface to allow stormwater run-off to enter the bumpout, island, or endcap for natural treatment and filtration. Any parking areas with curbing shall incorporate gaps to allow stormwater to enter the bumpout, island, or endcap.

**(E) Placement**

Landscape bumpouts, islands, or endcaps shall be installed to control vehicular circulation and define major drives. Such islands shall be placed at intervals of no more than 10 consecutive spaces.

- i. Fences and walls along the front setback of the front building wall shall comply with Section 20.04.080(n)(3)(A).
- ii. Fences and walls along the lot frontage of the secondary front building wall, shall not exceed four feet forward of the build to line or the building setback line, whichever applies.
- iii. Behind the build to line or front building setback line, on the secondary front building wall, fences and walls shall not exceed eight feet in height, except as provided in Subsection (1)(G) above.
- iv. The portion of fences up to and between the build to line/building setback line and the secondary front building wall that exceed five feet in height, shall, by use of voids and solids via latticework or other similar techniques, be of open construction. This portion of the fence shall be constructed of materials widely accepted in the fence industry for permanent open-topped fencing.
- v. Any determinations as to the secondary front building wall shall be decided by the City Planning and Transportation Department.

**(C) Through Lots**

On through lots where the structure has two front building walls, one frontage shall be considered a secondary front building wall.

- i. Fences and walls along the front setback of the front building wall shall comply with Section 20.04.080(n)(3)(A).
- ii. Fences and walls greater than four feet in height, along the lot frontage of the secondary front building wall, when adjacent to a ~~neighborhood-local~~ street or secondary collector street, shall meet the building setback.
- iii. Fences and walls greater than four feet in height, along the lot frontage of the secondary front building wall, when adjacent to a primary collector street or arterial street, shall be set back at least 10 feet from the property line.
- iv. The portion of fences up to and between the build to line/building setback line and the secondary front building wall that exceed five feet in height, shall, by use of voids and solids via latticework or other similar techniques, be of open construction. This portion of the fence shall be constructed of materials widely accepted in the fence industry for permanent open-topped fencing.
- v. Where no primary structure exists on the parcel, fences and walls shall not exceed four feet in height, except as provided in Subsection (1)(G) above.

**(4) Fence and Wall Design**

**(A) Prohibitions**

Except in the EM zoning district, the following shall be prohibited from use as a component of a fence or wall:

- i. Barbed wire;
- ii. Security wire;
- iii. Sharpened top spikes;
- iv. Electrified wires; and
- v. Other similar elements or materials.

## ii. Multi-tenant Centers

### 1. First Story

The cumulative square footage of all permanent wall signs for an individual use shall not exceed one and one-half square feet per lineal foot of the use's façade width facing either a public or private street or parking area if no street frontage is adjacent for locations on the first floor. For purposes of this section, only one façade of the building will be used to measure allowance with the exception of corner locations in multi-tenant buildings, which shall be permitted to use the side facade as additional facade width.

### 2. Upper Story Retail Uses

[a] ~~Retail uses~~ located above the first story shall be permitted a wall sign allowance equal to 50 percent of the total allowance permitted for first story uses as provided in Section 20.04.100(l)(2)(A)ii.1 above.

[b] The sign shall be located on the lease space or along a wall within five feet of the lease space.

### ~~3. Upper Story Office Uses~~

~~Non-retail tenants without first story street frontage shall be permitted to display a maximum of four square feet of signage at the exterior entrance.~~

### ~~4.3. Additional Sign~~

Multi-tenant centers shall be permitted a single wall or projecting sign that does not exceed 20 square feet in area.

## iii. Multifamily

Developments containing more than two units shall be permitted wall signage that shall not cumulatively exceed 24 square feet.

## iv. Limits

No property shall be limited to less than 20 square feet of wall signage and no use or tenant shall exceed 100 square feet of wall signage.

### (B) Location

Wall signs for individual tenants within a multi-tenant center shall be located on the tenants lease space, except as regulated in Section 20.04.100(l)(2)(A)ii.2 above.

### (C) Maximum Projection

No part of a wall sign, other than a projecting sign or awning, shall project more than 12 inches from the wall or face of the building to which it is attached.

## (3) Projecting Signs

The following standards apply to projecting signs:

- (A) Any property that uses a freestanding sign shall be prohibited from using a projecting sign.
- (B) A maximum of one projecting sign is permitted per tenant per street frontage.
- (C) A minimum separation of 100 feet shall be provided between all projecting signs on the same building facade.
- (D) Projecting signs shall be limited to a maximum of 54 square feet in area.
- (E) Projecting sign areas shall count toward overall wall sign square footage allowance.

**(5) Affordable Housing Incentives****(A) Reduced Bulk Requirements**

The following dimensional standards shall apply to single-family, duplex, triplex, and fourplex residential lots in the R1, R2, ~~and R3,~~ and R4 zoning districts that meet either of the two criteria in subsection (2) above:

- i. The minimum lot area for subdivision may be reduced up to 30 percent.
- ii. The minimum lot width for subdivision may be reduced up to 20 percent.
- iii. The side building setbacks may be reduced to five feet regardless of the number of stories.
- iv. The rear building setback may be reduced to 15 feet.
- v. Where these standards conflict with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards), the neighborhood transition standards shall govern.

**(B) Primary Structure Height****i. Eligibility**

In addition to the eligibility criteria in 20.04.110(c)(2), affordable housing projects seeking increased maximum primary structure height shall comply with the following criteria:

1. The building shall contain six or more dwelling units; and
2. Unit size and bedroom mix for deed-restricted units shall be comparable to those for market-rate units.

**ii. Tier 1 Projects**

Projects that meet the Tier 1 affordability standards may increase the primary structure height by one floor of building height, not to exceed 12 feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).

**iii. Tier 2 Projects**

Projects that meet the Tier 2 affordability standards may increase the primary structure height by two floors of building height, not to exceed 24 feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).

**iv. Sustainable Development Bonus**

1. Projects that are eligible for increased primary structure height for affordable housing and sustainable development shall be eligible for one additional floor of building height, not to exceed 12 feet.
2. The additional floor of building height granted under this subsection (iv) shall be limited to 50 percent of the building footprint area of primary structure, and that additional floor shall be set back at least 10 feet further than the lower floors of the building.

**(6) Other Standards**

The following standards shall apply to all affordable housing projects seeking incentives under this section 20.04.110(c).

ZO-04-21 Chapter 4	Full UDO Page Number	RedLine Page Number	Citation	Current Language	Proposed Language/Change	73 Synopsis
	105	106		"Table 04-1: Development Standards Compliance Thresholds"	"Table 04-1: Development Standards Compliance Thresholds <b>For Conforming Sites and Structures</b> "	Add "for conforming sites and structures" to the title of the table so its clear the table only applies to conforming sites
	112	115	20.04.020(e)(3) Table 04-6	Additions to existing structures	Additions to existing <b>primary</b> structures...	clarifies that the allowance to utilize existing setbacks applies to primary structures and not accessory structures
	111	115	20.04.020 (e) table 04-6	Type of Exception Awnings, balconies, canopies, patios, steps, and uncovered/open porches	remove uncovered/open porches, or any reference to porch as they should not have an exception	The definition of porch is changing and porches should not be allowed an exception
	115	118	20.04.030(c)(7)	Arterial and collector streets shall not exceed grades of six percent and neighborhood streets or alleys shall not exceed grades of eight percent unless the petitioner demonstrates that steeper grades will minimize disturbances to existing topography.	Arterial and collector streets shall not exceed grades of six percent and neighborhood streets or alleys shall not exceed grades of eight percent unless the petitioner demonstrates that steeper grades will minimize disturbances to existing topography.	Matches language of UDO with Transportation Plan
	122	125	20.04.030(g)		Add new section (8) Disturbance- No land-disturbing activity, mowing, or temporary or permanent structure shall be allowed within the sinkhole and the 25 feet of the last closed contour of a sinkhole.	Adds specific language preventing disturbance around a sinkhole.
	127	130	20.04.040(d)	All development on-platted-lots shall comply.....	All development shall comply.....	Removes the word "platted lot" to make this section applicable to all property and not just platted lots of record.
	134	137	20.04.050(c)(2)(A)(i)(2)	Within the front parking setback running less than 45 degrees.....	Closer to a street than the existing or proposed front building wall.	Allow drive-through lanes and drives to be even with the front of a building rather than 20' behind the front.
	135	138	20.04.050(c)(2)(F)	In the R3 zoning district, a driveway accessing the street shall be prohibited.....	In the R3 <b>and R4</b> zoning district, a driveway.....	Adds R4 reference to this section since it also applies.
	135	138	20.04.050(c)(2)(E) & (E)(i)	Neighborhood Streets	replace with Local Streets, to match language of the Transportation Plan	Matches language of UDO with Transportation Plan
	136	139	20.04.050(c)(3)(B)(ii)(2)	24 feet if from a nonresidential use onto a neighborhood street.	24 feet if from a nonresidential use onto a neighborhood- <b>Local</b> street.	Matches language of UDO with Transportation Plan
	139	142	20.04.050(d)(10)(C)(iv)(1)	In situations where the sidewalk must be located within a pedestrian easement on private property, the portions of the sidewalk within the pedestrian easement shall not count toward the maximum impervious surface coverage for the property	In situations where the sidewalk must be located within a pedestrian easement on private property, the portions of the sidewalk within the pedestrian easement shall not count toward the maximum impervious surface <b>or minimum landscape area</b> coverage for the property	Adds clarification that for situations where a sidewalk is not able to be located within the right-of-way that it does not count toward the minimum landscape area as well as the maximum impervious surface coverage.
	147	150	20.04.060(e) Table 04-10	Medical clinic maximum parking allowance is 3.3 spaces per 1000 sq. ft. GFA	Adjust to 5 spaces per 1000 sq. ft. GFA	Several variances have been approved with a demonstrated need for these uses to have a slightly higher need
	153	156	20.04.060(i)(2)(B) and (B)(ii)	In the RE, R1, R2, R3, and R4 District	In the RE, R2, R3, R4, <b>RM, and RH</b> District	Adds allowance for these standards to be used in the RM and RH districts for single family uses.
	153	156	20.04.060(i)(2)(B)(ii)	None	Add "In the RM and RH district the required parking area shall directly access the alley and be limited to 40 feet in depth and 20 feet in width".	Adds allowance for a longer rear yard driveway in the RM and RH district since the occupancy is higher.
	153	156	20.04.060(i)(2)(B)(ii)	None	Add " for corner lots on an alley, the parking area from the alley shall be setback at least 15' from the property line adjacent to the public street."	
	154	157	20.04.060(i)(3) Table 04-11		Add Footnote: Parking spaces for motorcycles may be a minimum of 3 feet wide by 6 feet deep.	Adds allowance for reduced parking stall dimensions for motorcycle parking spaces
	155	158	20.04.060(i)(7)(A)		Except <b>for single family residences</b> or as stated in subsection (6) above.....	Allows for SFR to utilize crushed stone for driveways.
	162	165	20.04.070(d)(2)(A)		Add Mixed Use Student Housing District (MS) to list of applicable districts	includes the MS district in the architectural section
	162	166	20.04.070(d)(2)(C)(ii)		Add metal (except corrugated) to list of permitted secondary exterior finish materials	Adds allowance for metal to be used as a secondary material
	162	167	20.04.070(d)(2)		Add anti-monotony standards to the Mixed Use zoning districts	Adds language
	165	169	20.04.070(d)(5)(A)		Add sentence at end of paragraph that uses same language from Table 04-5 "When adjacent to the RE, R1, R2, R3, or R4 zoning district, the minimum setback shall be increased by one foot for each foot of building height over 30 feet".	Add reference to additional setback requirement to the Transition Zone section.
	170	174	20.04.080(c)(2)(G)(ii)	Planting beds shall not extend more than one foot beyond.....	Except as provided in 20.04.080(c)(2)(G)(i) Decorative mulch or stone shall not extend more than one foot beyond.....	States that mulch and stone can only be used around landscaping.
	184	188	20.04.080(H)(1)(c)(ii)	A minimum of 50 percent of the required shrubs shall be evergreen	There are extremely limited options for native evergreen shrubs, and this requirement greatly limits the species diversity of shrubs in landscape plans.	Removes the requirement for 50 percent evergreen shrubs.
	189	193	20.04.080(n)(3)(C)(ii)	Fences and walls greater than four feet in height, along the lot frontage of the secondary front building wall, when adjacent to a neighborhood street or secondary collector street, shall meet the building setback	Fences and walls greater than four feet in height, along the lot frontage of the secondary front building wall, when adjacent to a neighborhood- <b>Local</b> street or secondary collector street, shall meet the building setback	Matches language of UDO with Transportation Plan
	207	211	20.04.100(l)(2)(A)(ii)(2) & (3)	Upper Story Retail Uses - / Upper Story Office Uses - Non-retail tenants without first story street frontage.....	Strike 'Retail' / <del>Upper Story Office Uses - Non-retail tenants without first story street frontage.....</del>	Combines signage allowance for all second story uses
	207	211	20.04.100(l)(2)(A)(ii)(4)	Multi-tenant centers shall be permitted a single wall sign that does not exceed 20 square feet in area.	<b>Multi-tenant</b> centers shall be permitted a single wall <b>or projecting</b> sign that does not exceed 20 square feet in area.	Adds allowance for a center sign to be a projecting sign.
	213	217	20.04.110(c)(5)(A)	The following dimensional standards shall apply.....residential lots in the R1, R2, and R3 zoning districts.....	Add R4 to list of allowable districts	Expands the areas for possible affordable housing opportunities

**(c) Traditional Subdivision (TD)**

**(1) Purpose**

The traditional subdivision is intended to be used as follows:

- (A) Ensure the creation of a grid-like street and alley system that allows for maximum connectivity to adjacent neighborhoods as well as nonresidential activity centers;
- (B) Create a pedestrian-scale streetscape design featuring narrow street profiles, on-street parking, building forward orientation, short block lengths, and decorative street lighting;
- (C) Facilitate compatible development of parcels located next to existing subdivisions characterized by more grid-like street patterns;
- (D) Facilitate development on properties not characterized by environmental features;
- (E) Provide a range of development options (including mixed-uses, affordable housing, accessory dwelling units) where warranted by adjacent development patterns; and
- (F) Help achieve the goals and policies related to land development in the Comprehensive Plan.

**(2) Development Standards**

**Table 05-3: TD Subdivision Development Standards**

General Standards	
Parent tract size (minimum)	3 acres
Applicable base zoning districts	R2, R3, R4, RM, RH, MS, MN, MM
Open space required (minimum) [1]	5%
Lots served by alleys (minimum percentage)	67%
Block length (maximum)	800 feet
Cul-de-sac length (minimum)	Not permitted
Cul-de-sac length (maximum)	Not permitted
Right-of-Way Standards	
Transportation facilities	Required to meet Transportation Plan guidance
On-street parking [2]	Required on at least one side of all streets
Tree plot width (minimum)	Residential areas: <a href="#">Per Transportation Plan, or 7 feet, whichever is greater</a> Mixed-use/nonresidential areas: 0 feet, tree grates required
Sidewalk/multiuse path width (minimum)	Residential areas: <a href="#">Per Transportation Plan, or 5 feet, whichever is greater</a> Mixed-use/nonresidential areas: 8 feet

**NOTES:**

[1] Measured as a percent of gross acreage and shall be identified as common open space on the plat.

[2] Where on-street parking is provided, it shall comply with the standards in 20.04.060(o) (On-street Parking Standards for Private Streets).

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**(e) Lots**

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**(1) Generally**

- (A) The shape, location and orientation of all lots within a development shall be appropriate for the uses proposed and be in accordance with the zoning districts.
- (B) Residential lots shall have side lot lines that are within 15 degrees of a right angle to the street and right-of-way.
- (C) Except as permitted by this UDO, lots shall not be permitted to be through lots.

**(2) Intersection Radii**

- (A) At intersections of streets and alleys, property line corners shall be rounded by arcs of at least 20 feet in radius, or by chords of such arcs.
- (B) At intersections of streets, the property line corners shall be rounded by arcs with radii of not less than 25 feet, or by chords of such arcs.
- (C) At intersections of alleys, the property line corners shall be rounded by arcs with radii of not less than 10 feet, or by the chord of such arcs.

**(3) Design**

- (A) Commercial developments (e.g., multi-tenant centers, commercial areas, and office parks) shall be designed as a single project no matter how many lots are created. All areas of the parent tract shall be shown as they are intended to be laid out and used.
- (B) All lots shall be designed with a depth-to-width ratio not to exceed four to one.
- (C) The minimum lot width of all lots shall be measured at the required front building setback line.
- (D) All new [single-family, duplex, triplex, and fourplex](#) residential lots shall have frontage on a public street right-of-way or shall be part of a cottage home development with frontage on a public street right-of-way.
- (E) The Plan Commission may modify lot and setback standards in order to create a common area development plat. This approval is subject to the following standards:
  - i. A petitioner shall request a common area development designation with the primary plat;
  - ii. All individual units shall be placed on an individual lot;
  - iii. All units shall have individual utility service;
  - iv. Lot lines shall not extend more than 10 feet from any structure; and
  - v. All areas outside of individual lots shall be placed within common area.
- (F) The Plan Commission may approve alternative setback standards in order to create a zero-lot line development plat, subject to the following standards:
  - i. The petitioner shall request a zero-lot line development designation with the primary plat;
  - ii. All individual units shall be placed on an individual lot; and
  - iii. All units shall have individual utility service.

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**(f) Monuments and Markers**

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**(1) Installation of Monuments and Markers**

All monument and marker improvements shall be installed per 865 IAC 1-12-18.

**(2) Centerline Monuments**

Monuments conforming to 865 IAC 1-12-18(a)(2) shall be set on street centerlines at the beginning and end of curves and at the intersection of centerlines. When it is not practical to set a centerline monument in accordance with 865 IAC 1-12-18(a)(2), a centerline monument conforming to 865 IAC 1-12-18(a)(3) shall be set.

**(3) Reporting**

Upon completion of the development, as-built drawings shall be submitted showing where monuments and markers were placed. This shall be accompanied by an affidavit from the surveyor certifying that the monuments and markers are still accurately in place, and were not removed, moved, or buried such that they do not accurately denote surveyed lines or cannot be easily located.

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**(g) Open Space**

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**(1) Generally**

- (A) All residential developments shall have a percentage of the land set aside for open space.
- (B) Subdivisions shall provide the minimum required open space per Table 05-5: Subdivision Development Standards.

**(2) Common Areas**

In addition to easements required by Subsection 20.07.080(b): Easements, the following environmental features shall be placed within Common Areas on the plat:

- (A) Karst Features: All karst features and their required buffer zones that have a total area of one-half (0.5) acre or greater.
- (B) Riparian Buffers: All riparian buffers defined as Streamside or Intermediate Zones.
- (C) Floodways: All areas within regulatory floodways.
- (D) Wetlands: All delineated wetlands and required wetland buffer areas.
- (E) Forested Areas: All contiguous areas of tree cover totaling one (1) acre or greater that are required to be preserved.

**(2)(3) Site Features that Qualify as Open Space**

The following features count toward the minimum open space requirements as described:

**(A) Conservation Areas**

Any required preservation/conservation area shall count toward open space requirements.

**(B) Man-made Water Features**

Any man-made water feature (including retention facilities) shall count toward minimum open space if it supports aquatic life and provides native habitat as follows:

**i. Surface Area**

A surface area at normal pool elevation of at least 32,670 square feet (0.75 acres); and

**ii. Perimeter Access**

1. A buffer area around the full circumference of the water feature of at least 50 feet from the top of bank shall be available as open space.



- ii. A permanent public sign shall be installed at the terminus of the stub street stating clearly that the street will connect to future development.

**(F) Gated Entrances**

Gated entrances are not permitted.

**(G) Intersections**

All intersections of two streets shall be within 15 degrees of perpendicular as measured at the street centerlines. Intersections of more than two streets at one point shall not be permitted. [Local Neighborhood](#) street intersections with center line offsets of less than 125 feet shall not be permitted.

**(H) Right-of-way Width**

- i. The minimum right-of-way width shall be as indicated on the Transportation Plan unless specified otherwise in this UDO.
- ii. The minimum right-of-way dimensions established in the Transportation Plan may be reduced upon approval of the City Traffic and Transportation Engineer and Fire Chief, or designee if:
  - 1. The reduction will mitigate environmental impacts; or
  - 2. The reduction will result in alignment with adjacent streets.

**(I) Street Width**

- i. The minimum street pavement width shall be as indicated on the Transportation Plan. Street width shall be determined by measuring from back of curb to back of curb unless specified otherwise in this UDO.
- ii. The minimum street width dimensions established in the Transportation Plan may be reduced upon approval of the City Traffic and Transportation Engineer and Fire Chief, or designee if:
  - 1. The reduction will mitigate environmental impacts; or
  - 2. The reduction will result in alignment with adjacent streets.

**(J) Curb Type**

All subdivisions shall use vertical curbs.

**(K) Cul-de-sac Length**

The maximum cul-de-sac length shall be as indicated in Table 05-5: Subdivision Development Standards.

**(L) Cul-de-sac Terminus**

The terminus of each cul-de-sac shall be a round bulb, large enough to accommodate the largest fire truck in service within the city.

**(M) Permanent Dead-end Streets**

Dead-end streets are prohibited. Dead-end streets do not include culs-de-sac or stub streets.

**(N) Eyebrows**

Eyebrow street designs shall not be permitted.

ZO-05-21 Chapter Five	Full UDO Page Number	RedLine Page Number	Citation	Current Language	Proposed Language/Change	78 Synopsis
	222	226	20.05.030(c)(2)Table 05-3	Tree Plot Width (minimum)- Residential areas: 7 feet	<b>per Transportation Plan, or 7 feet, whichever is greater</b>	synchronize UDO with standards in Transportation Plan
	222	226	20.05.030(c)(2)Table 05-3	Sidewalk/multiuse path width (minimum) Residential areas: 5 feet	Per Transportation Plan, or 5 feet, whichever is greater	synchronize UDO with standards in Transportation Plan
	229	233	20.05.050(e)(3)(D)	All new residential lots shall have frontage on a public street.....	All new <b>single family, duplex, triplex, and fourplex</b> residential lots shall have frontage on a public street.....	Clarifies existing language
	230	234	20.05.050(g)(2)		Add language from 20.07.080(c) of the previous UDO that requires particular environmental features over a certain size to be placed in common area	Adds missing language from the previous UDO protecting environmental features.
	233	238	20.05.050(j)(5)(G)	Neighborhood street intersections with center line offsets of less than 125 feet shall not be permitted.	<del>Neighborhood Local street intersections with center line offsets of less than 125 feet shall not be permitted.</del>	Matches language of UDO with Transportation Plan

9. Projects that qualify for affordable housing incentives and/or sustainable development incentives established in Section 20.04.110 (Incentives), provided that, if located adjacent to one or more lots in an R1, R2, R3, or R4 district or such project does not contain more than 50 dwelling units.

ii. **Major Site Plan Review**

Major site plan approval is required for any project that meets or exceeds the following criteria, unless otherwise exempted from site plan review under Section 20.06.050(a)(2)(B):

1. Development located within 500 feet, measured radially, from the centerline of State Road 37;
2. Development that contains more than 15,000 square feet of gross floor area;
3. Development that contains more than 5030 dwelling units;
- ~~4. Expansions, alterations, or modifications that increase the gross floor area of an existing structure by more than 10,000 square feet or more than 25 percent, whichever is less;~~
- ~~5. Expansions, alterations, or modifications that increase the total number of existing dwelling units on a lot by 10 percent or more;~~
- ~~6.4.~~ Any expansion, alteration, or modification of a lawful nonconforming site feature or building that meets or exceeds the thresholds established in paragraphs (2), (3), (4), or (5) above;
- ~~7.5.~~ Projects that qualify for affordable housing or sustainable development incentives on parcels located adjacent to one or more lots in an R1, R2, R3, or R4 district that contain more than 50 dwelling units;
- ~~8.6.~~ Any minor site plan determined by the Planning and Transportation Director to require major site plan review due to unusual size, complexity, or the creation of potential significant unanticipated impacts on the city or surrounding neighborhoods; or
- ~~9.7.~~ Any project that would individually qualify for minor site plan review but that, when considered collectively with prior minor site plan approvals for adjacent lots or sites under common or related ownership within the last three years, would have required major site plan review, if the Planning and Transportation Director concludes that the combined impact of any such adjacent projects creates impacts similar to those requiring major site plan review.

(3) **Minor Site Plan Review Process**

Figure 06.05-1 identifies the applicable steps from 20.06.040 (Common Review Procedures) that apply to that apply to minor site plan review. Additions or modifications to the common review procedures are noted below.

5. The building permit application was filed prior to the effective date of this UDO, unless otherwise provided by Section 20.01.040(b) (Effect of Change in the Law after Filing of Complete ).
- ii. In the event that said application or permit expires or is suspended or revoked as provided in the Bloomington Municipal Code or other applicable regulation of the city or Monroe County, any new permit application may be subject to the regulations in this UDO, subject to Section 20.01.040(b) (Effect of Change in the Law after Filing of Complete ).

**(D) Abandonment of Residential Occupancy**

Where such a use is classified as a lawful nonconforming use under this Section 20.06.090(c)(4), the use shall not be subject to termination through cessation or abandonment except when the right to continue such a lawful nonconforming use is terminated by the owner's execution and proper recording in the chain of title, in a form acceptable to city staff, of an express, voluntary, permanent, and irrevocable waiver and relinquishment of such right.

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**(d) Nonconforming Structures**

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**(1) Authority to Continue**

A lawfully nonconforming structure may continue in its existing condition unless and until full or limited compliance with the development standards of this UDO is required as set forth in Section 20.06.090(f)(2) and the following provisions. No increase in the degree of nonconformity with any development standard is permitted except as expressly provided herein.

**(2) Nonconforming Structures in Regulated Floodplains**

**(A) Changes to Structures**

Any structure or use located in a regulated floodplain shall be governed by the general regulations of this Section 20.06.090 to the extent that nonconformance is related to requirements other than those governing regulated floodplains. To the extent that nonconformance is related to the regulations of the regulated floodplains, modifications to a lawful nonconforming structure are allowed ~~only on a one-time basis and only~~ where:

- i. A permit is issued by the Department of Natural Resources for such modifications; and
- ii.

~~ii. Such modifications may not increase the value of the structure, excluding the value of land, by more than 40 percent of its pre-improvement market value unless such structure is brought into compliance. If the addition, in combination with all other additions to the abode or residence that have been constructed since the abode or residence was originally built, would increase the market value of the abode or residence to an amount more than fifty percent (50%) greater than: (1) the market value of the abode or residence if no additions have been constructed since the abode or residence was originally built; or (2) the approximate market value the abode or residence would have in the form in which the abode or residence was originally built if at least one (1) addition has already been constructed. (d) For the purposes of subsection (c), the market value of an abode or a residence does not include the value of the land on which the abode or residence is built.~~

**(B) Replacement of Structures**

A lawful nonconforming structure or any structure which contains a lawful nonconforming use which has been partly or completely destroyed or removed by accidental cause, including Acts of God, may be replaced, provided the elevation of the lowest floor, including the basement floor, must be at least two feet above the regulatory flood elevation; all necessary permits must be obtained from the Department of Natural Resources and all other applicable requirements of state law are met; and that application for a building permit must be made within six months of the date of destruction or removal.

**(3) Restoration and Repairs**

A lawful nonconforming structure, or a structure containing a lawful nonconforming use, may be restored when the conditions of this Section 20.06.090 have been met regardless of other regulations in this UDO. Replacement, restoration, and repairs shall conform to building code and other applicable regulations set forth by the Bloomington Municipal Code.

**(4) Structure Damaged or Destroyed**

- (A) A lawful nonconforming structure or a structure which contains or is associated with a lawful nonconforming use, which has been partly or completely destroyed or removed by accidental cause, including Acts of God, may be replaced, provided the owner or agent makes application for a building permit within six months of the date of destruction or removal.
- (B) The replacement structure shall be placed on the footprint of the old structure, may not be higher than the old structure, and shall be substantially the same architecture and constructed of similar materials, unless any deviation would bring the structure or use into or closer to compliance with the regulations of this UDO, to the extent possible and to the extent permitted by building code or other applicable regulation.

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**(e) Nonconforming Lots**

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A lawfully nonconforming lot may continue in its existing condition unless and until full or limited compliance with the development standards of this UDO is required as established in Section 20.06.090 (Nonconformities).

ZO-06-21 Chapter Six	Full UDO Page Number	RedLine Page Number	Citation	Current Language	Proposed Language/Change	82 Synopsis
	269	274	20.06.050(a)(2)(C)(ii)(5)	Expansions, alterations, or modifications that increase the total number of existing dwelling units on a lot by 10 percent or more;	Delete	This requirement for major site plan review is too stringent and not needed. These situations are limited compliance only. Will lessen by-right developments at PC, as well. Captures one additional unit on a two-unit, would require PC approval. Will lessen by-right developments at PC, as well.
	269	274	20.06.050(a)(2)(C)(ii)(4)	Expansions, alterations, or modifications that increase the gross floor area of an existing structure by more than 10,000 square feet or more than 25 percent, whichever is less;	Delete	This requirement for major site plan review is too stringent and not needed. These situations are limited compliance only. Will lessen by-right developments at PC, as well.
	269	274	20.06.050(a)(2)(C)(ii)(3)	Development that contains more than 30 dwelling units	Development that contains more than 50 dwelling units.	This requirement for major site plan review is too stringent and not needed. These situations are limited compliance only. Will lessen by-right developments at PC, as well.
	344	349 350	20.06.090(d)(2)(A)(ii)	prohibits additions to structures to a one-time basis that does not increase the value more than 40%.	Add language from the Flood Control Act 14-28-1-26 (c)- A person may not construct an addition to an abode or a residence located in a floodway if the addition, in combination with all other additions to the abode or residence that have been constructed since the abode or residence was originally built, would increase the market value of the abode or residence to an amount more than fifty percent (50%) greater than: (1) the market value of the abode or residence if no additions have been constructed since the abode or residence was originally built; or (2) the approximate market value the abode or residence would have in the form in which the abode or residence was originally built if at least one (1) addition has already been constructed. (d) For the purposes of subsection (c), the market value of an abode or a residence does not include the value of the land on which the abode or residence is built."	Replaces language in UDO that only allows for a one-time addition, to be consistent with the State code.

**Building****Building (Generally)**

For all other contexts, any structure having a roof supported by columns, walls or air pressure.

**Building (Floodplain Regulations)**

For purposes of floodplain regulations, see "Structure."

**Building Base**

The street level portion of a building facade. The building base is typically one or two stories tall in height and contains such features as display windows, kick plates, pedestrian entrances and a sign band.

**Building Cap**

The uppermost portion of a building facade. The building cap is typically located above the uppermost windows and contains a cornice that is integrated with the roof form and downspouts/gutters for stormwater diversion.

**Building Code**

The Indiana Building Code, which establishes and controls the standards for constructing all forms of permanent structures and related matters.

**Building Middle**

The area of the facade of a building between the base and the cap. This area includes evenly spaced and similarly sized windows, as well as balconies and other architectural features.

**Building or Structure, Accessory**

Means a subsidiary or auxiliary building or structure located on the same zoning lot with the primary building or structure and that is customarily incidental to the primary building or structure or to the primary use of the land. This includes, but is not limited to, Automated Teller Machines (ATMs) and automated ice dispensers.

**Building or Structure, Attached**

A building or structure that is structurally connected to another structure by a foundation, wall, bridge, or roof line, or appears to be connected. Carports, garages, porch awnings, and the like are considered attached structures and must abide by all regulations pertaining to primary structures.

**Building or Structure, Detached**

A building or structure that has no structural connection with the primary building or structure or any other building or structure.

**Building or Structure, Enclosed**

A building or structure that is fully enclosed on all sides by solid walls and a roof that are integral parts of the building and are distinguished from the side or top surfaces of the contents of the building or structure.

**Building or Structure, Lawful Nonconforming**

Any building or structure that does not comply with one or more provisions of this UDO, but that lawfully existed upon the effective date of the provisions of this UDO with which the building or structure does not comply.

**Building or Structure, Primary**

A building or structure in which is conducted ~~any~~<sup>the</sup> primary use that is a permitted use of the lot on which it is located.

**Dwelling, Multifamily**

~~One or more buildings or portion of buildings on a single lot that contains five or more individual dwelling units, where each unit is occupied by one family and provided with an individual entrance to the outdoors or to a common hallway, and regardless of whether the dwelling units are owned or rented. This definition shall not include "Dwelling, Single-family Attached," "Dwelling, Duplex," "Dwelling, Triplex," "Dwelling, Fourplex," "Student Housing or Dormitory," or "Dwelling, Accessory Unit."~~ One or more buildings or portion of buildings on a single lot that contains one or more individual dwelling units, where each unit is occupied by one family and provided with an individual entrance to the outdoors or to a common hallway, and regardless of whether the dwelling units are owned or rented. This definition shall not include "Dwelling, Single-Family Detached", "Dwelling, Single-family Attached," "Dwelling, Duplex," "Dwelling, Triplex," "Dwelling, Fourplex," "Student Housing or Dormitory," or "Dwelling, Accessory Unit."

**Dwelling, Short-Term Rental**

The rental of an entire dwelling unit for monetary consideration for a period of time less than 30 consecutive days, not including a "Bed and Breakfast," "Residential Rooming House," or "Hotel/Motel." This definition does not include offering the use of one's property where no fee is charged or collected.

**Dwelling, Single-family Attached**

Two or more attached single-family dwelling units attached side by side under one roof that share a common vertical side or rear wall reaching from the building foundation to the roof structure, each of which is occupied by one family on its own lot.

**Dwelling, Single-family Detached**

A single building on a single lot on a permanent foundation containing one residential dwelling unit designed for and occupied by one family and that is completely separate from any other building. This definition includes "Dwelling, Manufactured Home" but does not include "Dwelling, Mobile Home." A single-family detached dwelling may also include an "Accessory Dwelling Unit" if it meets the requirements for that additional use under this UDO.

**Dwelling, Triplex**

A single building on a single lot containing three dwelling units under one roof, each of which is occupied by one family.

**Easement**

A nonpossessory interest in land granted by a property owner to the city, the general public, a corporation, or other persons for specific purposes including but not limited to the construction of utilities, drainage ways, and streets, or for the protection of natural features.

**Easement, Conservancy**

An easement that restricts any land-disturbing activities within a defined area. The purpose of a conservancy easement includes retaining or protecting natural, scenic, or open space values of real property; assuring its availability for forest, recreational or open space use, and protecting natural resources.

**Easement, Drainage**

An easement that permits the unobstructed flow of upstream stormwater runoff. A drainage easement may include detention or retention ponds, swales, wetlands or underground pipes, and that allows the City Utilities Department access for installation, maintenance, repair or removal of drainage facilities.



**Expansion to an Existing Manufactured Home Park or Subdivision**

For purposes of floodplain regulations, the preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads).

**Exterior Finish Material, Primary**

An exterior finish material that covers more than 20 percent of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**Exterior Finish Material, Secondary**

An exterior finishing material that covers 20 percent or less of a building facade. Windows, doors, building trim, cornices, and similar architectural features shall not count toward calculation of the square footage of the building facade.

**FAA**

The United States Federal Aviation Administration.

**Façade**

That portion of any exterior elevation on a building extending from grade to the top of the roof or parapet covering the entire width of the structure. The facade shall include the entire walls, including wall faces, parapets, fascia, windows, doors, canopies, and roof structures. Also, in the case of attached buildings, a portion of the exterior of a building that gives the appearance of a unitary module shall constitute a facade regardless of whether that portion coincides with the sides of individual buildings. (For example, a single building may have more than one facade, and a facade may cross building lines, provided there is unitary ownership or control of both buildings.)

**Facade Open Area**

Areas within a building facade that provide voids or relief, such as windows or balconies.

**Facade, Primary**

Those portions of a facade that are adjacent to or front on a private or public street, park or plaza.

**Family**

An individual or group of persons that meets at least one of the following definitions.

- 1) An individual or a group of people all of whom are related to each other by blood, marriage, or legal adoption, foster parent responsibility, or other legal status making the person a dependent of one or more persons legally residing in the household under federal or state law.
- 2) A group of no more than five adults aged 55 years of age or older living together as a single housekeeping unit in a dwelling unit.
- 3) A group of people whose right to live together is protected by the federal Fair Housing Act Amendments of 1988, and/or the Bloomington Human Rights Ordinance, as amended and interpreted by the courts, including but not limited to persons that are pregnant.
- 4) In the RE, R1, R2, R3, and R4 zoning districts, and in single-family residential portions of Planned Unit Developments, a group of no more than three adults, and their dependent children, living together as a single housekeeping unit in a dwelling unit, ~~or a combination of a single family dwelling unit and an accessory dwelling unit.~~

- 5) In all other zoning districts, "family" also includes a group of no more than five adults and their dependent children, living together as a single housekeeping unit in a dwelling unit.
- 6) A group of people who are shareholders in the same cooperative corporation that owns a facility meeting the definition of cooperative housing in which no more than two adults per bedroom occupy the facility.

**Farm Produce Sales**

The seasonal selling or offering for sale at retail directly to the consumer of fresh fruits, vegetables, flowers, herbs, or plants, processed food stuffs and products such as jams, honey, pickled products, sauces, and baked goods, where the vendors are generally individuals who have raised the produce or have taken the same or other goods on consignment for retail sales.

**Farmer's Market**

An occasional or periodic market held in an open area or structure where groups of individual sellers offer for sale to the public items such as fresh produce, seasonal fruits, fresh flowers, arts and crafts items, and food and beverages dispensed from booths located on site.

**FCC**

United States Federal Communications Commission.

**FEMA**

The United States Federal Emergency Management Agency.

**FHA**

The Fair Housing Act.

**Final Plan, PUD**

The detailed construction drawings for all or part of a Planned Unit Development.

**Financial Institution**

A federal or State-regulated facility that provides financial and banking services to individuals and businesses. These services may include deposit banking and closely related functions such as making loans, investments, and fiduciary activities. The term does not include "check cashing," except where separately permitted. Accessory uses may include automatic teller machines and offices.

**Findings of Fact**

The written findings of an approving body as required by Indiana Code 36-7-4-707 for subdivisions of land, Indiana Code 36-7-4-915 for actions of the Board of Zoning Appeals, and Indiana Code 36-7-4-1406 for site plans.

**Firearm Sales**

A business in which at least 10% of the gross floor area is used for or 10% of sales revenues are earned from, the wholesale or retail sale of firearms and ammunition, the repair of firearms, or the creation or fitting of special barrels, stocks, or trigger mechanisms for firearms. This does not include "Pawn Shop."

**Livestock, Small**

Small livestock includes domesticated animals weighing less than 100 pounds including but not limited to sheep, rams, lambs, burros, goats, kids, swine, other animals that the Planning and Transportation Director determines to be of similar size, weight, and that have similar impacts on the land, and any animals normally found in the wild state that are being kept for exhibition or commercial purposes or as private pets. Wild animals requiring a possession permit through the Indiana Department of Natural Resources are excluded from this definition and are prohibited.

**Lodging House**

See "Residential Rooming House."

**Lot**

A contiguous parcel of land in identical ownership throughout, bounded by other lots or streets, and used or set aside and available for use as the site of one or more buildings or other definite purpose. For the purpose of this UDO, a lot may or may not coincide with a lot of record and shall be duly recorded.

**Lot Area**

The computed area contained within the boundary of all perimeter lot lines.

**Lot Depth**

The horizontal distance between the front and rear lot lines.

**Lot Line, Corner**

The point at which two lot lines meet.

**Lot Line, Front**

That portion of a lot that abuts and runs parallel to a street. For corner lots, both sides that abut a street are front lot lines.

**Lot Line, Rear**

The line dividing one lot from another and on the opposite side of the lot from the front lot line. In the case of an irregular or triangular shaped lot, a line 10 feet inside the lot boundary, parallel to and at the maximum distance from the front lot line. In the case of a corner lot, a lot line that adjoins a front lot line and extends away from the street shall be considered side lot lines.

**Lot Line, Side**

Any lot line that is not a front lot line or a rear lot line.

**Lot of Record**

A lot that was created by subdivision, the plat of which has been approved as required by applicable city and state law and recorded in the Office of the Monroe County Recorder; or a parcel of land, the bounds of which have been legally established by a separate deed and duly recorded in the Office of the Monroe County Recorder. "Legally established" means not in violation of any city or state subdivision regulations existing at the time the lot was established by deed. Also, a parcel described by a single deed containing more than one metes and bounds description shall be one lot of record unless the parcels described by such separate descriptions have, in the past, been lawfully established parcels of record with separate deeds.

**Multiuse Path**

A hard-surface pathway physically separated from the street by a tree plot, located within the public right-of-way, and designed for bicyclists, pedestrians, and other non-motorized traffic.

**Multi-use Trail**

A hard-surface, off-road pathway used by bicyclists, pedestrians, and other nonmotorized traffic typically located within or along a greenway.

**Mural**

A painting on the side of a building, wall, or structure; or a painting on the ground or the ceiling of a building or structure. A mural that does not function as a sign is not regulated by the Unified Development Ordinance. Murals that function as a sign are regulated in the Unified Development Ordinance as a wall sign.

**MUTCD**

The Manual on Uniform Traffic Control Devices.

**National Flood Insurance Program (NFIP)**

The federal program that makes flood insurance available to owners of property in participating communities nationwide through the cooperative efforts of the Federal Government and the private insurance industry.

**National Geodetic Vertical Datum (NGVD) of 1929**

As corrected in 1929 is a vertical control used as a reference for establishing varying elevations within the floodplain.

**Native Species**

Naturally occurring, indigenous plants within the City of Bloomington. Native species are adapted to the soil and climate in which they live and have evolved defenses to many diseases and pests.

**Nature Preserve**

Areas with environmental resources intended to remain in a predominately natural or undeveloped state to provide resource protection or passive recreation.

**New Construction**

For purposes of floodplain regulations, any structure for which the "start of construction" commenced after the effective date of the community's first floodplain ordinance.

**New Manufactured Home Park or Subdivision**

For purposes of floodplain regulations, a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including at a minimum, the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads) is completed on or after the effective date of the community's first floodplain ordinance.

**Night Club**

See "Bar or Dance Club."

**Non-Boundary River Floodway**

The floodway of any river or stream other than a boundary river.

**North American Vertical Datum of 1988 (NAVD 88)**

As adopted in 1993 is a vertical control datum used as a reference for establishing varying elevations within the floodplain.

**Porch**

An uncovered, unenclosed, structure projecting from the main wall of a primary building. A roofed structure that is not more than 50 percent enclosed (except for removable screens, or screen doors), on at least two sides, that projects from the exterior wall of a building. If a porch extends from the front of a building or from any side of the building that faces a street, that side of the porch must be open, and the side(s) that faces the street must not be more than 50 percent enclosed (except for removable screens, or screen doors).

**Preliminary Plan, PUD**

A drawing or map made to measurable scale upon which is presented a description and definition of the way in which the design requirements of the Planned Unit Development are to be met.

**Premises**

See "Property."

**Preschool**

See "School, Public or Private."

**Preservation Area**

Sites with environmental resources intended to be preserved in their natural state.

**Primary School**

See "School, Public or Private."

**Property**

A lot, parcel, tract, or plot of land and the improvements thereon.

**Proposal**

Any new construction, including accessory structures of at least eight hundred forty square feet, or any building addition larger than ten percent of the gross floor area of a structure.

**Public Improvements**

The erection, construction, alteration, operation, or maintenance of facilities serving the public interest that may include but is not limited to storm drainage facilities, streets, highways, parkways, sidewalks, pedestrian-ways, transportation corridors, trees, lawns, landscaping, parking areas, lot improvements, or utilities.

**Public Place**

Any area on public or private property that is easily accessible and clearly visible to the general public. If located on private property, the area must be open to the general public and clearly visible from adjacent public property such as a street or other public thoroughfare or sidewalk.

**Public Safety and Nuisance**

For purposes of floodplain regulations, anything which is injurious to the safety or health of an entire community, neighborhood or any considerable number of persons, or unlawfully obstructs the free passage or use, in the customary manner, of any navigable lake, or river, bay, stream, canal, or basin.

**Public Way**

Any street, alley, channel, tunnel, bridge, easement, right-of-way, or other way that is dedicated or granted for public use.

ZO-07-21 Chapter Seven						
	359	364	20.07.010	Building or Structure, Primary: A building or structure in which is conducted the primary use of the lot on which it is located.	A building or structure in which is conducted <b>any primary use that is a permitted use.</b>	90. Clarifies language where there may be multiple buildings on a lot in which permitted uses are contained.
	369	375	20.07.010	Multifamily: One or more buildings or portion of buildings on a single lot that contains five or more individual dwelling units, where each unit is occupied by one family and provided with an individual entrance to the outdoors or to a common hallway, and regardless of whether the dwelling units are owned or rented. This definition shall not include "Dwelling, Single-family Attached," Dwelling, Duplex," "Dwelling, Triplex," "Dwelling, Fourplex," "Student Housing or Dormitory," or "Dwelling, Accessory Unit."	Multifamily: One or more buildings or portion of buildings on a single lot that contains <b>one</b> or more individual dwelling units, where each unit is occupied by one family and provided with an individual entrance to the outdoors or to a common hallway, and regardless of whether the dwelling units are owned or rented. This definition shall not include "Dwelling, Single-Family Detached", "Dwelling, Single-family Attached," Dwelling, Duplex," "Dwelling, Triplex," "Dwelling, Fourplex," "Student Housing or Dormitory," or "Dwelling, Accessory Unit."	Allows for upper floor dwelling units, and creates a definition for multiple buildings on a peroperty that only have one unit in each building but less than five total units.
	373	378	20.07.010	ADU reference in Family: In the RE, R1, R2, R3, and R4 zoning districts, and in single-family residential portions of Planned Unit Developments, a group of no more than three adults, and their dependent children, living together as a single housekeeping unit in a dwelling unit or a combination of a single-family dwelling unit and an accessory dwelling unit.	In the RE, R1, R2, R3, and R4 zoning districts, and in single-family residential portions of Planned Unit Developments, a group of no more than three adults, and their dependent children, living together as a single housekeeping unit in a dwelling unit.	Aligns definition of "family" for ADUs with adopted Use Specific Standards for ADUs
		379	20.07.010	New definition	Firearm Sales: A business in which at least 10% of the gross floor area is used for or 10% of sales revenues are earned from, the wholesale or retail sale of firearms and ammunition, the repair of firearms, or the creation or fitting of special barrels, stocks, or trigger mechanisms for firearms. This does not include "Pawn Shop." Allowed Use: P in MM, MC,ME	
	382	389	20.07.010	None	Add definition for "Livestock, Small: Small livestock includes domesticated animals weighing less than 100 pounds including but not limited to sheep, rams, lambs, burros, goats, kids, swine, other animals that the Planning and Transportation Director determines to be of similar size, weight, and that have similar impacts on the land, and any animals normally found in the wild state that are being kept for exhibition or commercial purposes or as private pets. Wild animals requiring a possession permit through the Indiana Department of Natural Resources are excluded from this definition and are prohibited.	
	386	393	20.07.010	Medical clinic definition	Add "birthing center" to list of uses included in this definition	Clarifies that birthing centers are allowed and classified as medical clinics.
	393	401	20.07.010	Porch: An uncovered, unenclosed, structure projecting from the main wall of a primary building.	A roofed structure that is not more than 50 percent enclosed (except for removable screens, or screen doors), on at least two sides, that projects from the exterior wall of a building, If a porch extends from the front of a building or from any side of the building that faces a street, that side of the porch must be open, and the side(s) that faces the street must not be more than 50 percent enclosed (except for removable screens, or screen doors)	Aligns UDO definition of porch to architectural definition

# TABLE OF CONTENTS

## Chapter 20.01: Ordinance Foundation ..... 1

<b>20.01.010</b>	<b>Title, Purpose, and Effective Date .....</b>	<b>1</b>
(a)	Title .....	1
(b)	Purpose .....	1
(c)	Effective Date .....	2
<b>20.01.020</b>	<b>Authority, Applicability, and Jurisdiction .....</b>	<b>2</b>
(a)	Authority .....	2
(b)	General Applicability .....	2
(c)	Jurisdiction .....	3
(d)	Severability .....	3
(e)	Official Zoning Map .....	3
<b>20.01.030</b>	<b>Interpretation and Conflicting Provisions.....</b>	<b>3</b>
(a)	Rules of Interpretation.....	3
<b>20.01.040</b>	<b>Transition from Prior Regulations.....</b>	<b>5</b>
(a)	General Transition Rules .....	5
(b)	Effect of Change in the Law after Filing of Complete Petition .....	8
(c)	Petitions for Variance or Rezoning (Map Change Other Than PUD) .....	9
<b>20.01.050</b>	<b>Comprehensive Plan .....</b>	<b>9</b>
(a)	Purpose .....	9
(b)	Comprehensive Plan Incorporated .....	9
(c)	Transportation Plan .....	9
(d)	Relationship between Comprehensive Plan and this UDO .....	9
(e)	Relationship of Subarea Plans to the Comprehensive Plan.....	10

## Chapter 20.02: Zoning Districts..... 11

<b>20.02.010</b>	<b>Zoning Districts Established .....</b>	<b>11</b>
(a)	Summary Table of Zoning Districts .....	11
(b)	Base Zoning Districts .....	12
(c)	Planned Unit Development Districts.....	12
(d)	Overlay Zoning Districts.....	12
(e)	Official Zoning Map Revisions .....	12
(f)	Standards .....	13
(g)	Overlay District Applicability.....	13
<b>20.02.020</b>	<b>Residential Zoning Districts .....</b>	<b>15</b>
<del>(a)</del>	<del>RE: Residential Estate .....</del>	<del>15</del>
(b)	R1: Residential Large Lot .....	17
(c)	R2: Residential Medium Lot.....	19
(d)	R3: Residential Small Lot.....	21
(e)	R4: Residential Urban.....	23
(f)	RM: Residential Multifamily.....	25
(g)	RH: Residential High Density.....	27
(h)	RMH: Manufactured/Mobile Home Park .....	29
<b>20.02.030</b>	<b>Mixed-Use Zoning Districts .....</b>	<b>31</b>
(a)	MS: Mixed-Use Student Housing .....	31
(b)	MN: Mixed-Use Neighborhood Scale.....	33
(c)	MM: Mixed-Use Medium Scale .....	35
(d)	MC: Mixed-use Corridor.....	37
(e)	ME: Mixed-use Employment.....	39
(f)	MI: Mixed-use Institutional .....	41
(g)	MD: Mixed-use Downtown .....	43
(h)	MH: Mixed-use Healthcare .....	55

# Chapter 20.02: Zoning Districts

## 20.02.010 Zoning Districts Established

### (a) Summary Table of Zoning Districts

The following zoning districts are established as shown in Table 02-1. All development shall comply with all other applicable regulations in this UDO including, without limitation, Chapter 20.03: (Use Regulations) and Chapter 20.04: (Development Standards & Incentives).

**Table 02-1: Summary Table of Zoning Districts**

Prior District Name	District Name
<b>Residential</b>	
<del>RE - Residential Estate</del>	<del>RE - Residential Estate</del>
<del>RE - Residential Estate</del>	R1 - Residential Large Lot [New]
RS - Residential Single-Family	R2 - Residential Medium Lot
RC - Residential Core	R3 - Residential Small Lot
---	R4 - Residential Urban [New]
RM - Residential Multifamily	RM - Residential Multifamily
RH - Residential High-Density Multifamily	RH - Residential High-Density Multifamily
MH - Manufactured/Mobile Home Park	RMH - Manufactured/Mobile Home Park
<b>Mixed-Use</b>	
---	MS - Mixed-Use Student Housing
CL - Commercial Limited	MN - Mixed-Use Neighborhood-Scale
CG - Commercial General	MM - Mixed-Use Medium-Scale
CA - Commercial Arterial	MC - Mixed-Use Corridor
BP - Business Park	ME - Mixed-Use Employment
IN - Institutional	MI - Mixed-Use Institutional
CD - Commercial Downtown	MD - Mixed-Use Downtown
MD - Medical	MH - Mixed-Use Healthcare
<b>Nonresidential</b>	
IG - Industrial General	EM - Employment
QY - Quarry	
---	PO - Parks and Open Space [New]
<b>Planned Development District</b>	
PUD - Planned Unit Development	PUD - Planned Unit Development
<b>Overlay Zoning Districts</b>	
CSO - Courthouse Square	DCO - Downtown Character Overlay
DCO - Downtown Core Overlay	
UVO - University Village Overlay	
DEO - Downtown Edges Overlay	
DGO - Downtown Gateway Overlay	
STPO - Showers Technology Park Overlay	



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## 20.02.020 Residential Zoning Districts

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### ~~(a) RE: Residential Estate~~

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#### ~~(1) Purpose~~

~~The RE district is intended to provide residential development on large lots while allowing for limited agricultural and civic uses and protecting sensitive environmental resources.~~



Figure 1: Illustrative Scale and Character

**(2) Dimensional Standards**

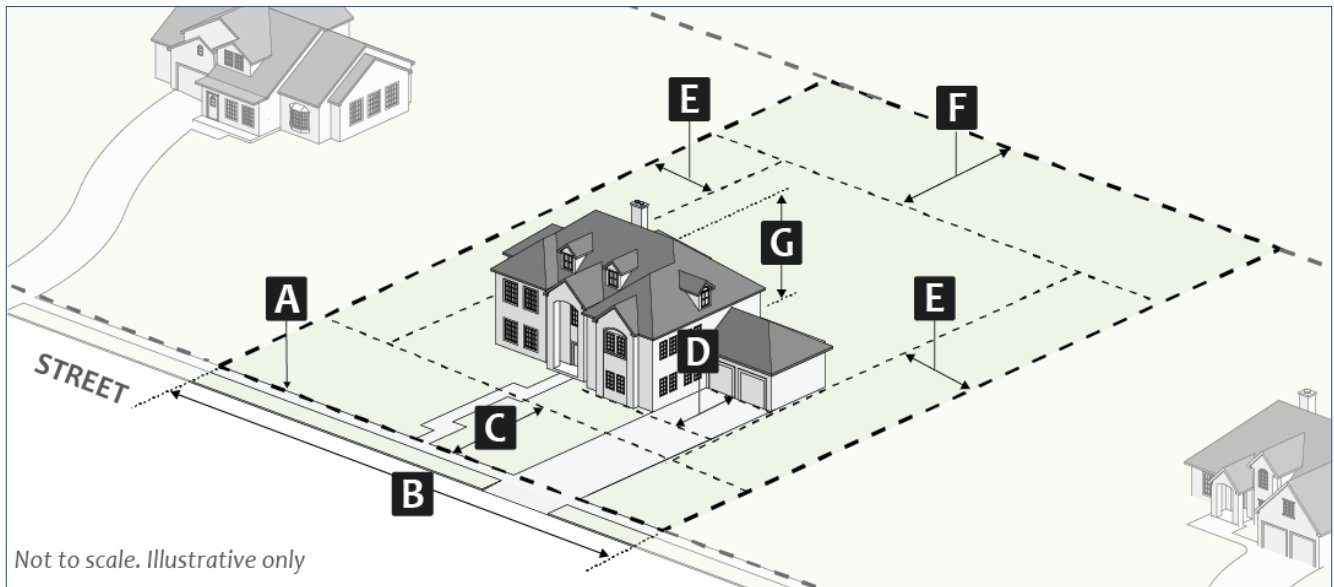
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-2: RE District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	108,900 square feet (2.50 acres)
<b>B</b>	Lot width	200 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	30 feet
<b>D</b>	Attached front-loading garage or carport	30 feet [1]
<b>E</b>	Side	30 feet
<b>F</b>	Rear	60 feet
Other Standards		
	Impervious surface coverage (maximum)	15%
<b>G</b>	Primary structure height (maximum)	40 feet
	Accessory structure height (maximum)	30 feet

**Notes:**

[1] Or equal to the setback of the primary structure, whichever is greater.



**Figure 2: RE District Dimensional Standards**

(2) **Dimensional Standards**

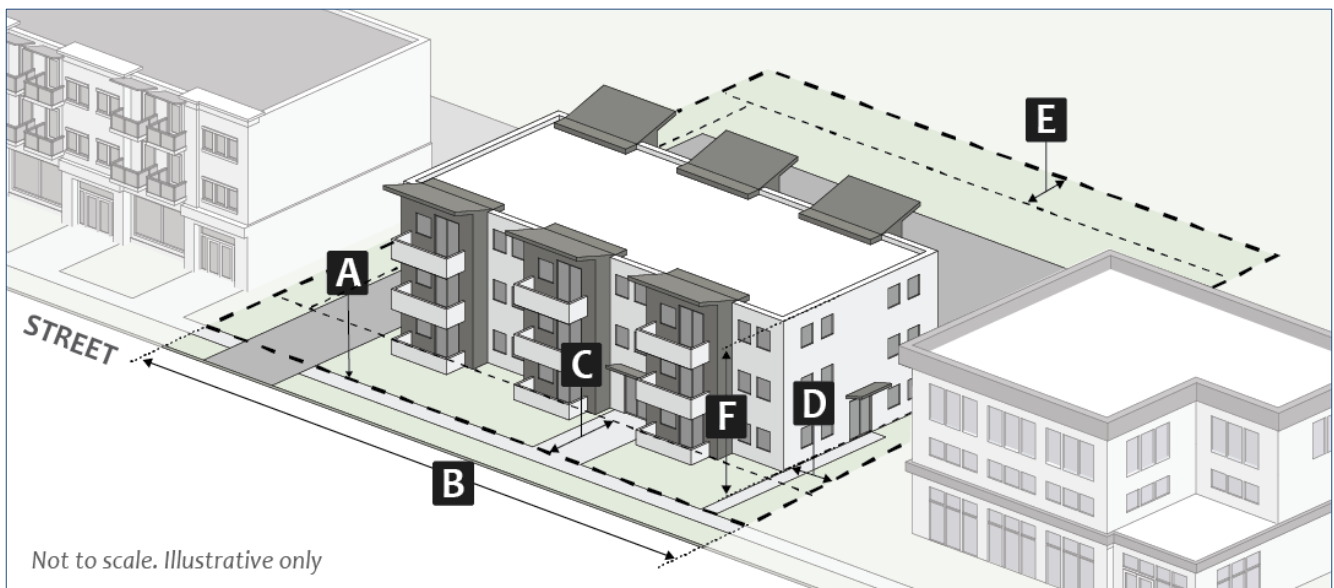
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-6: RM District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		Multifamily Dwelling	Single-Family, Duplex, Triplex, or Fourplex Dwelling
<b>A</b>	Lot area	5,000 square feet (0.115 acres)	R4 district standards apply
<b>B</b>	Lot width	50 feet	
Building Setbacks (Minimum)			
<b>C</b>	Front	15 feet	R4 district standards apply
	Attached front-loading garage or carport	25 feet [1]	
<b>D</b>	Side	10 feet [2]	
<b>E</b>	Rear	10 feet [2]	
Other Standards			
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall	R4 district standards apply
	Impervious surface coverage (maximum)	60%	
	Landscape area (minimum)	40%	
<b>F</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [2] [3]	
	Accessory structure height (maximum)	20 feet	

**Notes:**

- [1] Or equal to the setback of the primary structure, whichever is greater.
- [2] Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [3] See Section 20.04.110 (Incentives) for alternative standards.



(2) **Dimensional Standards**

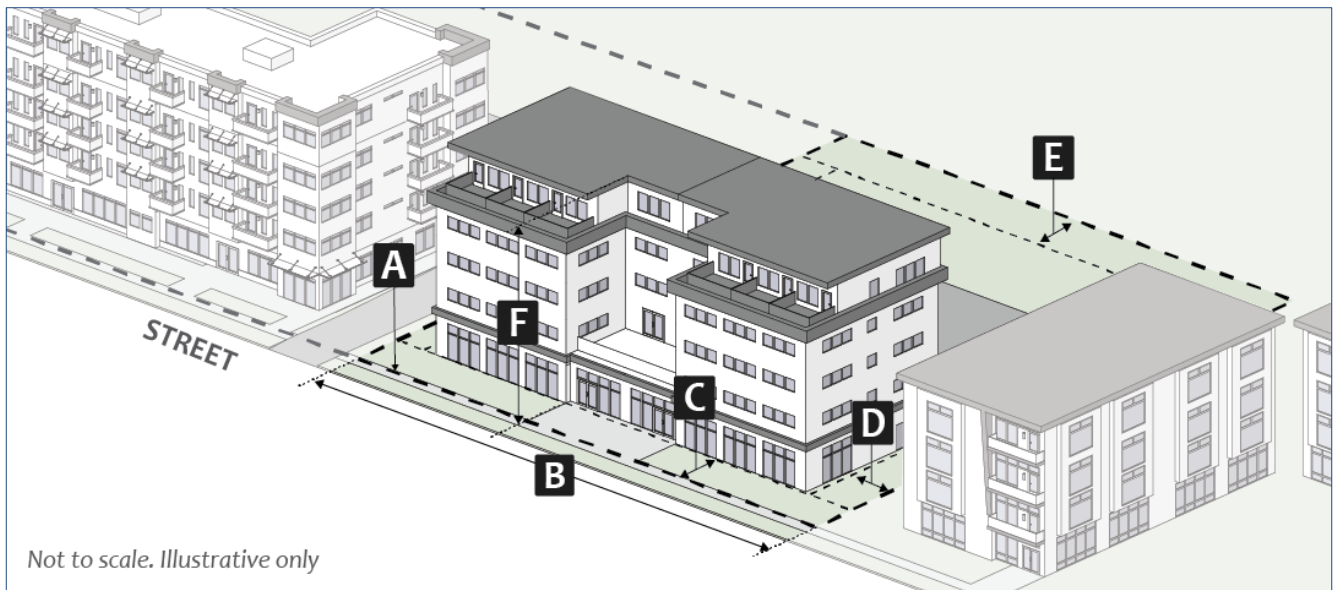
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-7: RH District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		Multifamily Dwelling	Single-Family, Duplex, Triplex, or Fourplex Dwelling
<b>A</b>	Lot area	5,000 square feet (0.115 acres)	R4 district standards apply
<b>B</b>	Lot width	50 feet	
Building Setbacks (Minimum)			
<b>C</b>	Front	15 feet	R4 district standards apply
	Attached front-loading garage or carport	25 feet [1]	
<b>D</b>	Side	10 feet [2]	
<b>E</b>	Rear	10 feet [2]	
Other Standards			
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall	R4 district standards apply
	Impervious surface coverage (maximum)	65%	
	Landscape area (minimum)	35%	
<b>F</b>	Primary structure height (maximum)	5 stories, not to exceed 63 feet [2] [3]	
	Accessory structure height (maximum)	20 feet	

**Notes:**

- [1] Or equal to the setback of the primary structure, whichever is greater.
- [2] Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 14: RH Dimensional Standards**

(2) **Dimensional Standards**

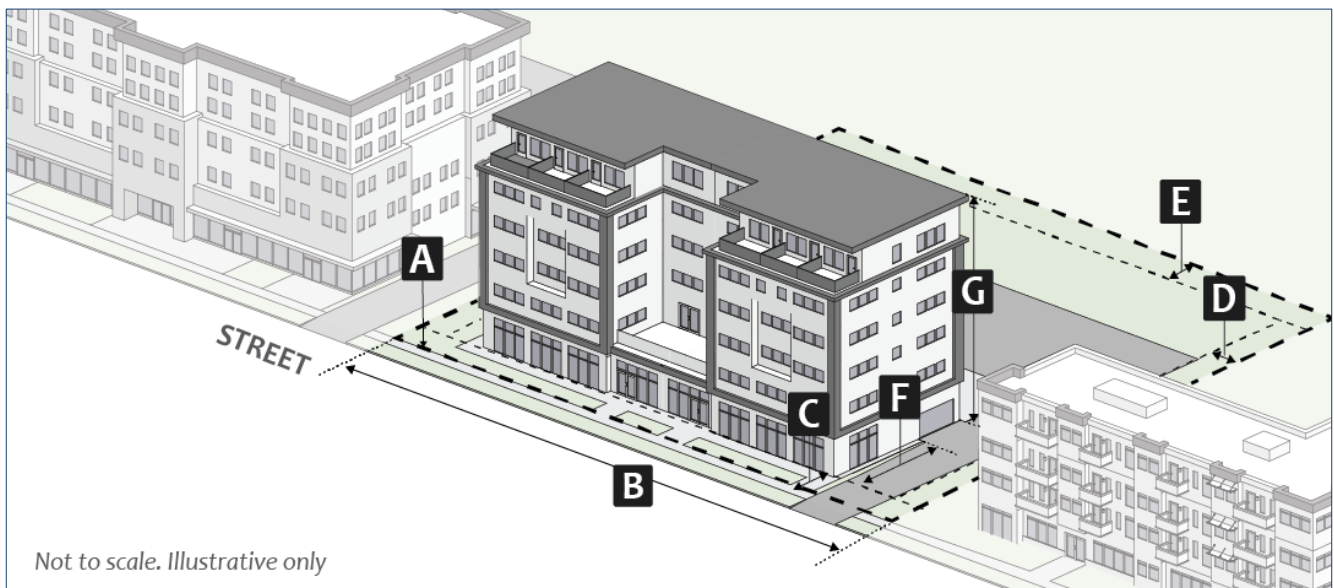
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-9: MS District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	15 feet
<b>D</b>	Side	15 feet [1]
<b>E</b>	Rear	15 feet [1]
Other Standards		
<b>F</b>	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	70%
	Landscape area (minimum)	30%
<b>G</b>	Primary structure height (maximum) [2]	6 stories, not to exceed 75 feet [1] [2]
	Accessory structure height (maximum)	20 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.



**Figure 18: MS Dimensional Standards**

(2) **Dimensional Standards**

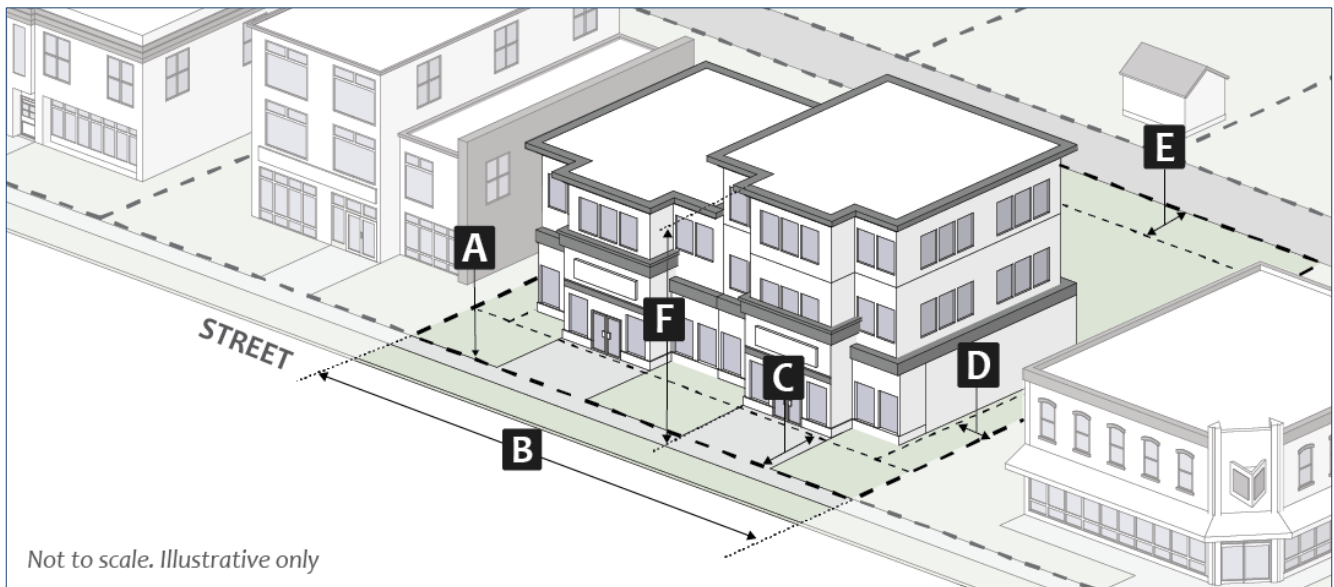
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-10: MN District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front build-to range	15 to 25 feet
	Front building façade at build-to range (minimum)	70%
<b>D</b>	Side	7 feet [1]
<b>E</b>	Rear	10 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	60%
	Landscape area (minimum)	25%
	Area of any individual commercial tenant (maximum)	5,000 square feet gross floor area
<b>F</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3]
	Accessory structure height (maximum)	20 feet

**Notes:**

- [1] Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 20: MN Dimensional Standards**



(2) **Dimensional Standards**

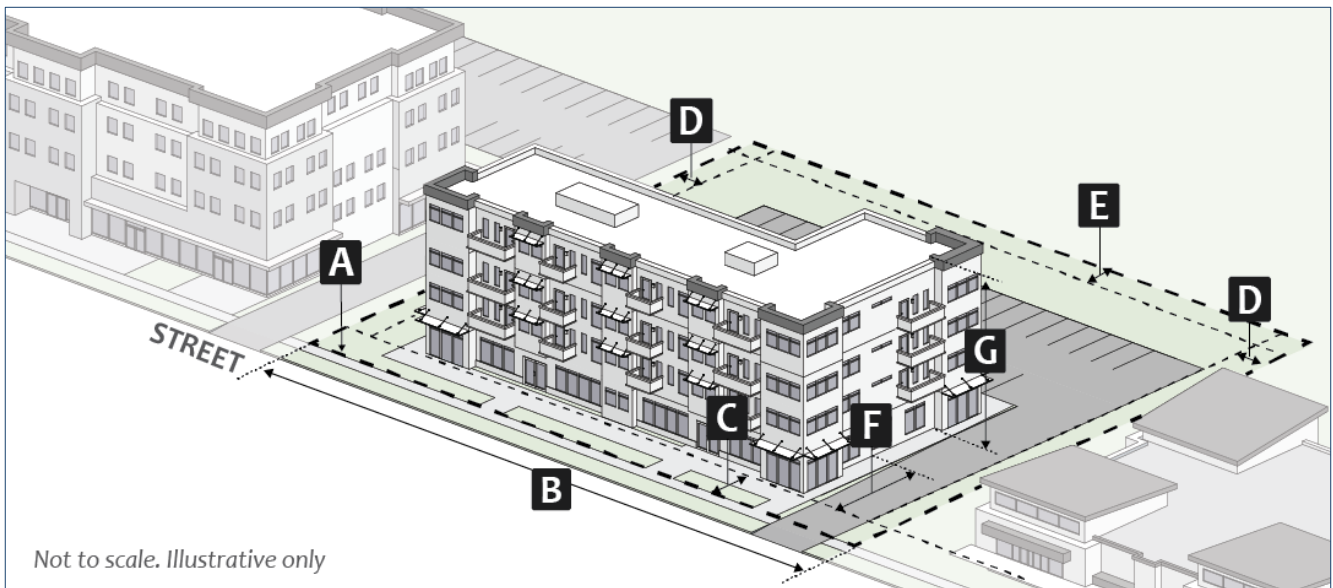
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-11: MM District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front build-to range	15 to 25 feet
	Front building façade at build-to range (minimum)	70%
<b>D</b>	Side	7 feet [1]
<b>E</b>	Rear	7 feet [1]
Other Standards		
<b>F</b>	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	60%
	Landscape area (minimum)	40%
<b>G</b>	Primary structure height (maximum)	4 stories, not to exceed 50 feet [1] [2] [3]
	Accessory structure height (maximum)	30 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.



Not to scale. Illustrative only

Figure 22: MM Dimensional Standards

(2) **Dimensional Standards**

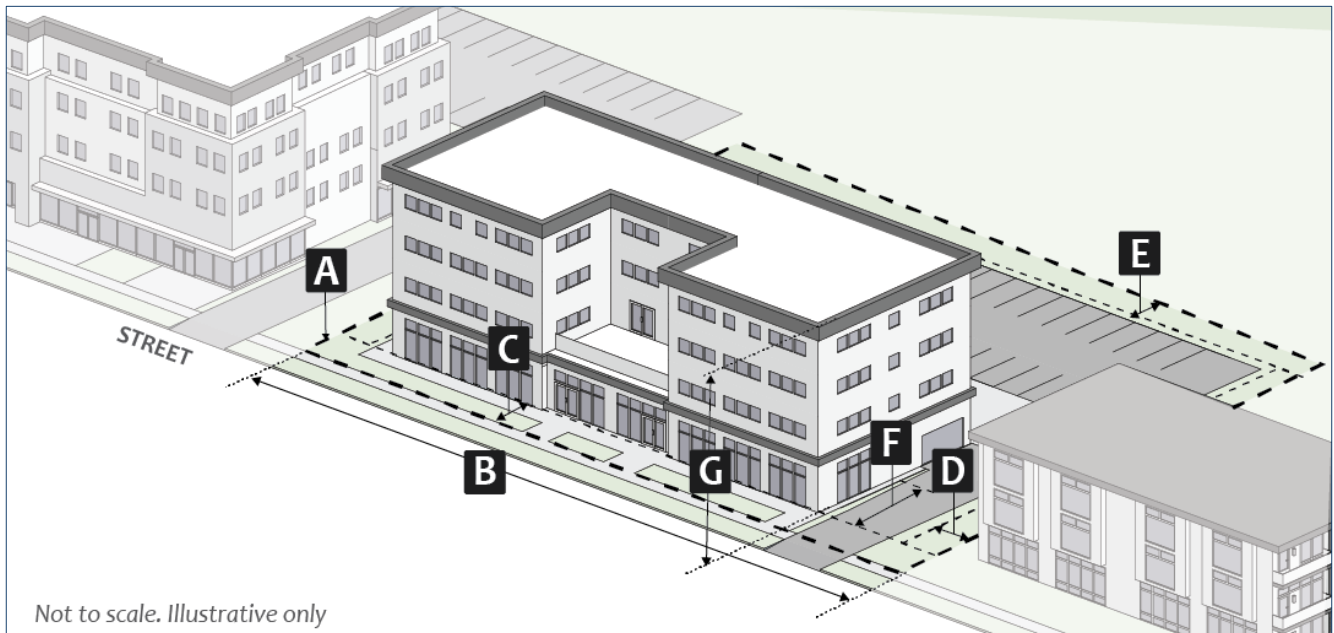
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-12: MC District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	15 feet
<b>D</b>	Side	7 feet [1]
<b>E</b>	Rear	7 feet [1]
Other Standards		
<b>F</b>	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	60%
	Landscape area (minimum)	40%
<b>G</b>	Primary structure height (maximum)	4 stories, not to exceed 50 feet [1] [2] [3]
	Accessory structure height (maximum)	30 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 24: MC Dimensional Standards**



(2) **Dimensional Standards**

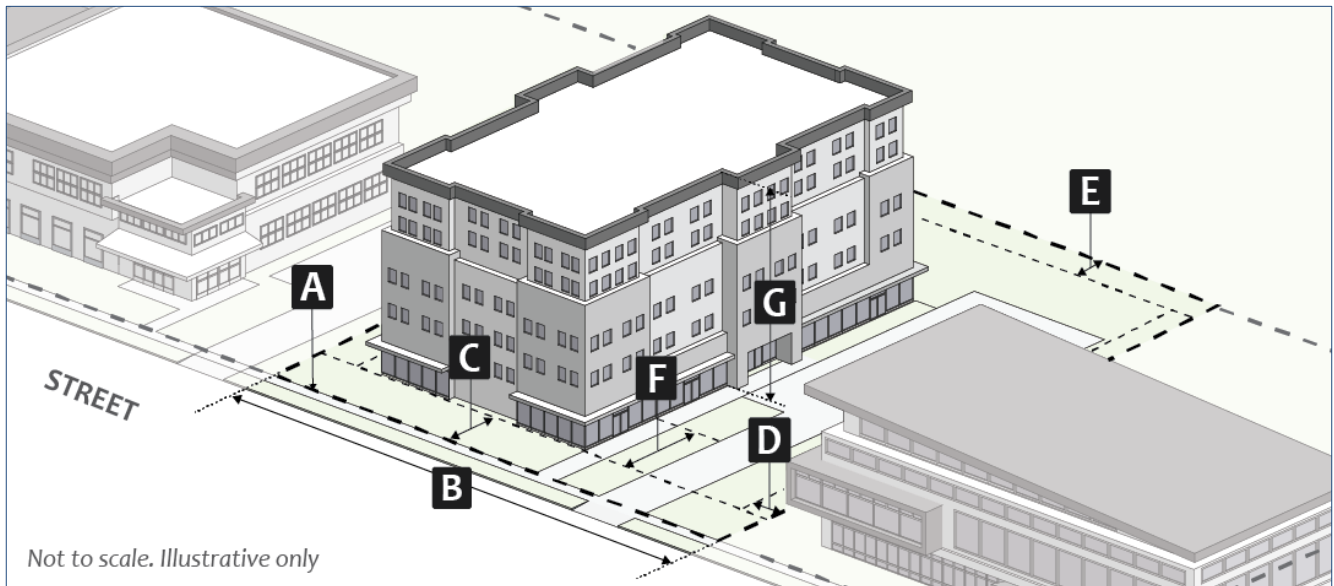
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-13: ME District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	15 feet
<b>D</b>	Side	10 feet [1]
<b>E</b>	Rear	10 feet [1]
Other Standards		
<b>F</b>	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	70%
	Landscape area (minimum)	30%
<b>G</b>	Primary structure height (maximum)	5 stories, not to exceed 63 feet [1] [2] [3]
	Accessory structure height (maximum)	30 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 26: ME Dimensional Standards**

(2) **Dimensional Standards**

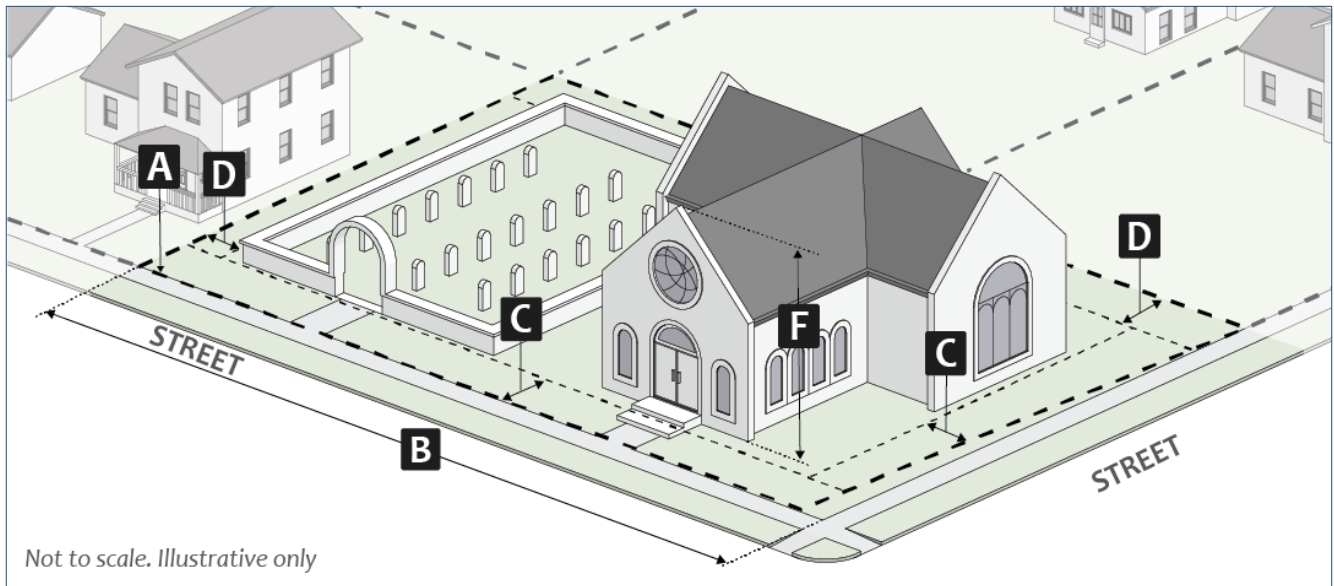
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-14: MI District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	5,000 square feet (0.115 acres)
<b>B</b>	Lot width	50 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	15 feet
<b>D</b>	Side	10 feet [1]
	Rear	10 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	60%
	Landscape area (minimum)	40%
<b>F</b>	Primary structure height (maximum)	4 stories, not to exceed 50 feet [1] [2] [3]
	Accessory structure height (maximum)	30 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 28: MI Dimensional Standards**

**(B) Dimensional Standards**

The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-15: MD-CS Dimensional Standards**

Building Setbacks		
<b>A</b>	Build-to range	0 to 5 feet
<b>B</b>	Building façade at build-to range (minimum)	90%
	Front (maximum)	None
	Side (minimum)	None [1]
	Rear (minimum)	None [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure’s front building wall
	Impervious surface coverage (maximum)	100%
<b>C</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3] [4]
	Primary Structure height (minimum)	25 feet
	Accessory structure height (maximum)	25 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] Buildings that include one or more dwelling units that meet the definition of “Student Housing or Dormitory” shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).



**Figure 30: MD-CS Downtown Character Overlay Dimensional Standards**

**(B) Dimensional Standards**

The following table is a summary of the character area specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

Table 02-16: MD-DC Dimensional Standards		
<b>Building Setbacks</b>		
<b>A</b>	Build-to range	0-5 feet
<b>B</b>	Building façade at build-to range (minimum)	70%
	Adjacent to B-Line (minimum)	10 feet
	Side (minimum)	None [1]
	Rear (minimum)	None [1]
<b>Other Standards</b>		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	100%
<b>C</b>	Primary structure height (maximum)	4 stories, not to exceed 50 feet [1] [2] [3] [4]
	Primary Structure height (minimum)	35 feet
	Accessory structure height (maximum)	25 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] Buildings that include one or more dwelling units that meet the definition of "Student Housing or Dormitory" shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).

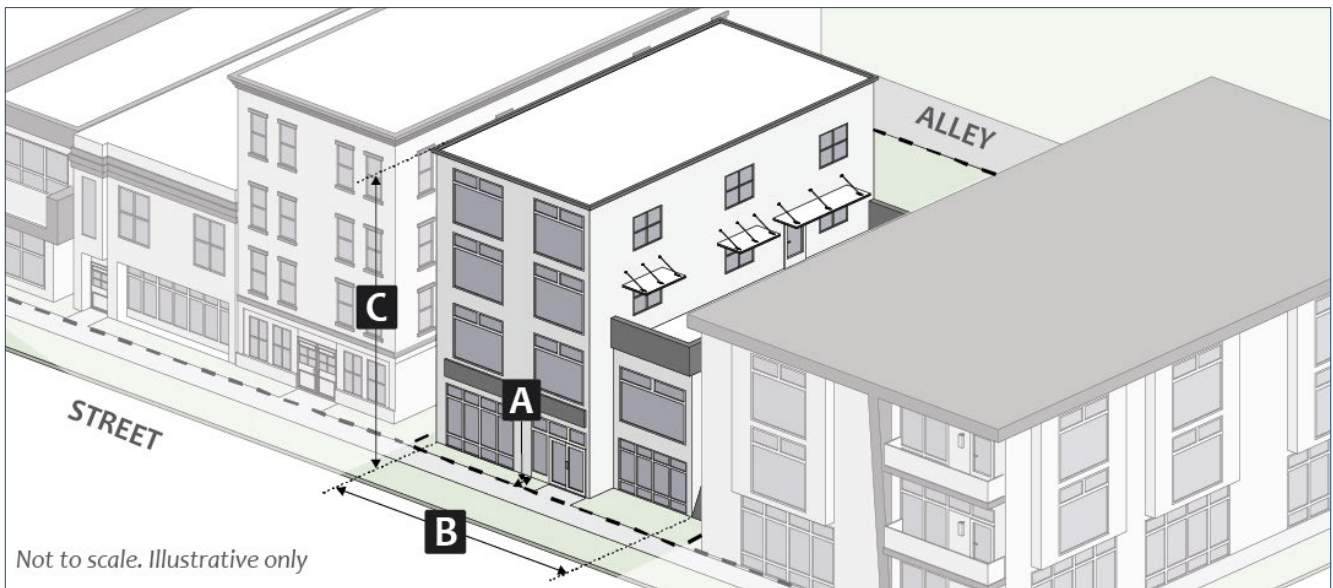


Figure 32: MD-DC Downtown Character Overlay Dimensional Standards

**(B) Dimensional Standards**

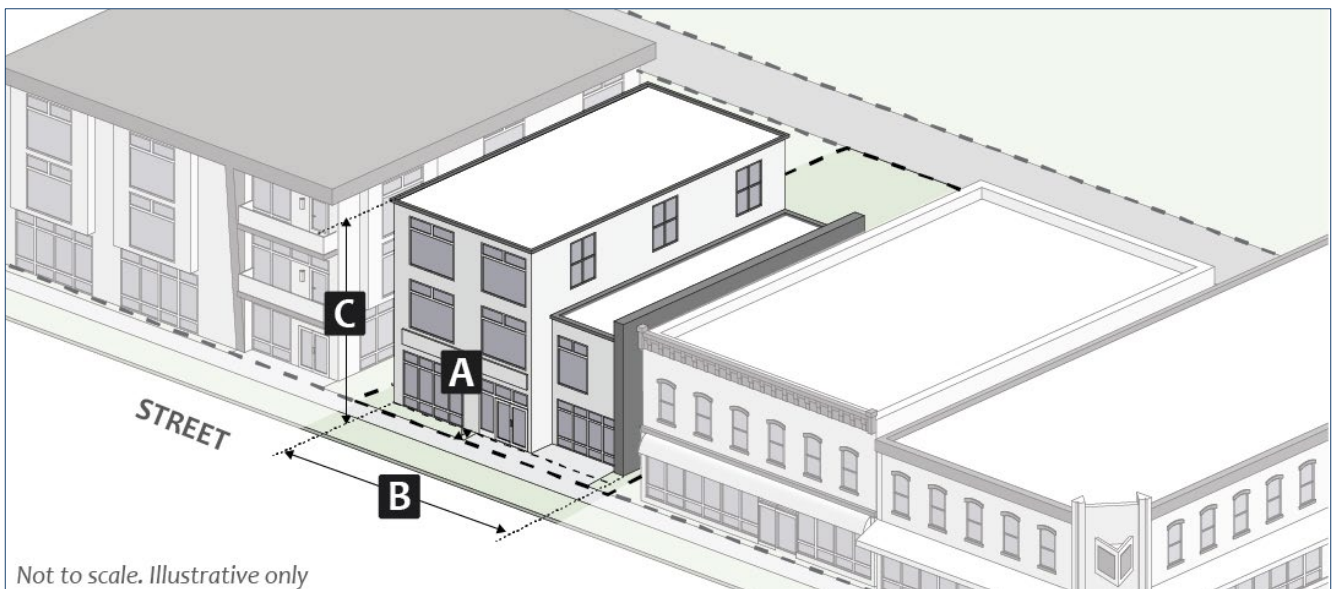
The following table is a summary of the character area specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-17: MD-UV Dimensional Standards**

Building Setbacks				
<b>A</b>	Build-to range	0 to 15 feet		
<b>B</b>	Building façade at build-to percentage (minimum)	70%		
	Side (minimum)	None [1]		
	Rear (minimum)	None [1]		
Other Standards		General	Kirkwood Corridor	Restaurant Row
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall		
	Impervious surface coverage (maximum)	85 %	100 %	85%
	Landscape area (minimum)	15%	n/a	15%
<b>C</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3] [4]	3 stories, not to exceed 40 feet [1] [2] [3] [4]	3 stories, not to exceed 35 feet [1] [2] [3] [4]
	Primary Structure height (minimum)	25 feet	25 feet	20 feet
	Accessory structure height (maximum)	25 feet		

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] Buildings that include one or more dwelling units that meet the definition of "Student Housing or Dormitory" shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).



**Figure 34: MD-UV Downtown Character Overlay Dimensional Standards**



**(B) Dimensional Standards**

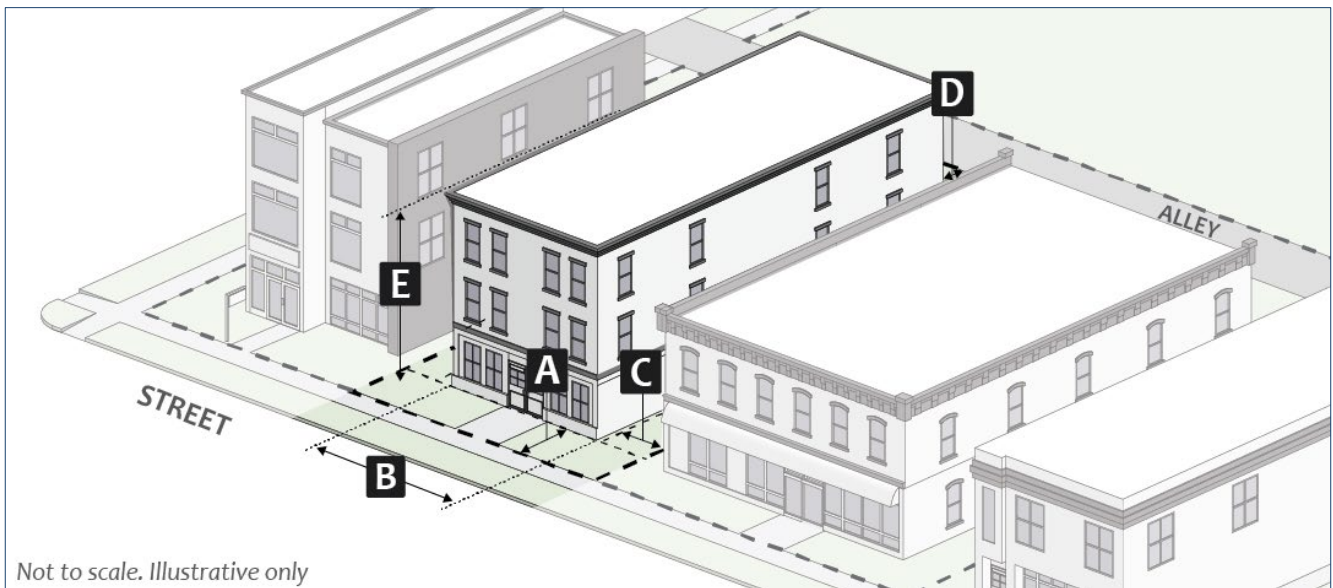
The following table is a summary of the character area specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-18: MD-DE Dimensional Standards**

Building Setbacks		
<b>A</b>	Build-to range	0 to 15 feet
<b>B</b>	Building façade build-to percentage (minimum)	70%
<b>C</b>	Side (minimum)	7 feet [1]
<b>D</b>	Rear (minimum)	10 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure’s front building wall
	Impervious surface coverage (maximum)	75%
	Landscape area (minimum)	25%
<b>E</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3] [4]
	Primary Structure height (minimum)	20 feet
	Accessory structure height (maximum)	25 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] Buildings that include one or more dwelling units that meet the definition of “Student Housing or Dormitory” shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).



**Figure 36: MD-DE Downtown Character Overlay Dimensional Standards**

**(B) Dimensional Standards**

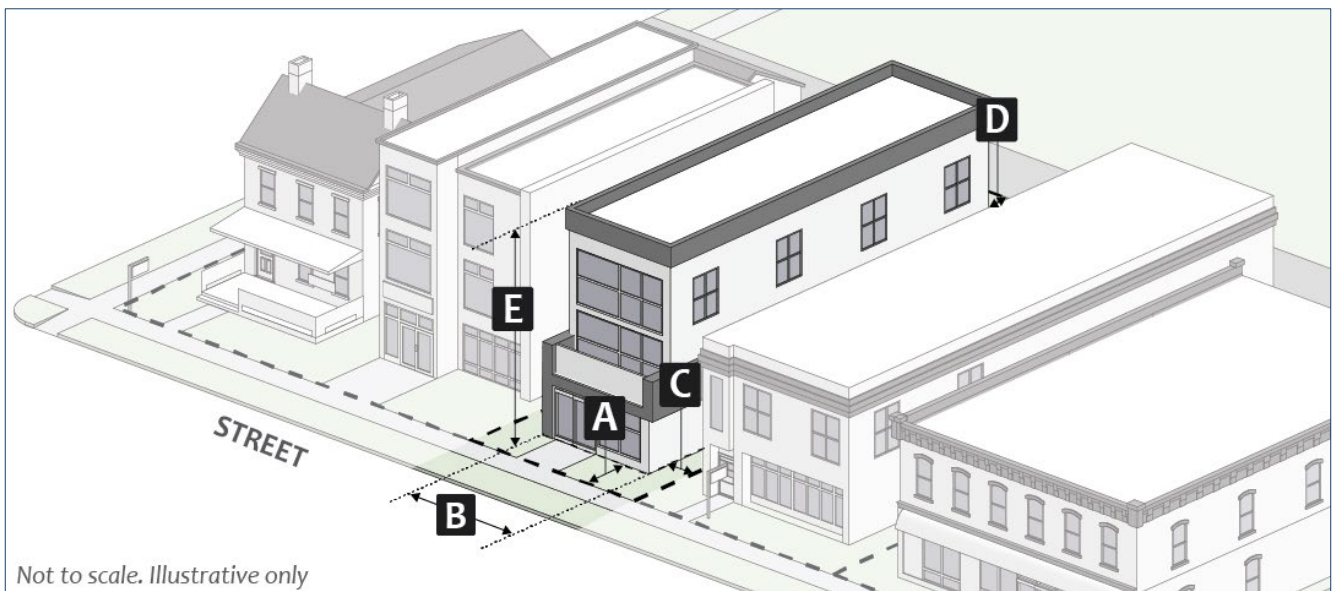
The following table is a summary of the character area specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-19: MD-DG Dimensional Standards**

Building Setbacks		
A	Build-to range	0 to 15 feet
B	Building façade build-to percentage (minimum)	70%
C	Side (minimum)	5 feet [1]
D	Rear (minimum)	5 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure’s front building wall
	Impervious surface coverage (maximum)	75%
	Landscape area (minimum)	25%
E	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3] [4]
	Primary Structure height (minimum)	25 feet
	Accessory structure height (maximum)	30 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] Buildings that include one or more dwelling units that meet the definition of “Student Housing or Dormitory” shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).



**Figure 38: MD-DG Downtown Character Overlay Dimensional Standards**

**(B) Dimensional Standards**

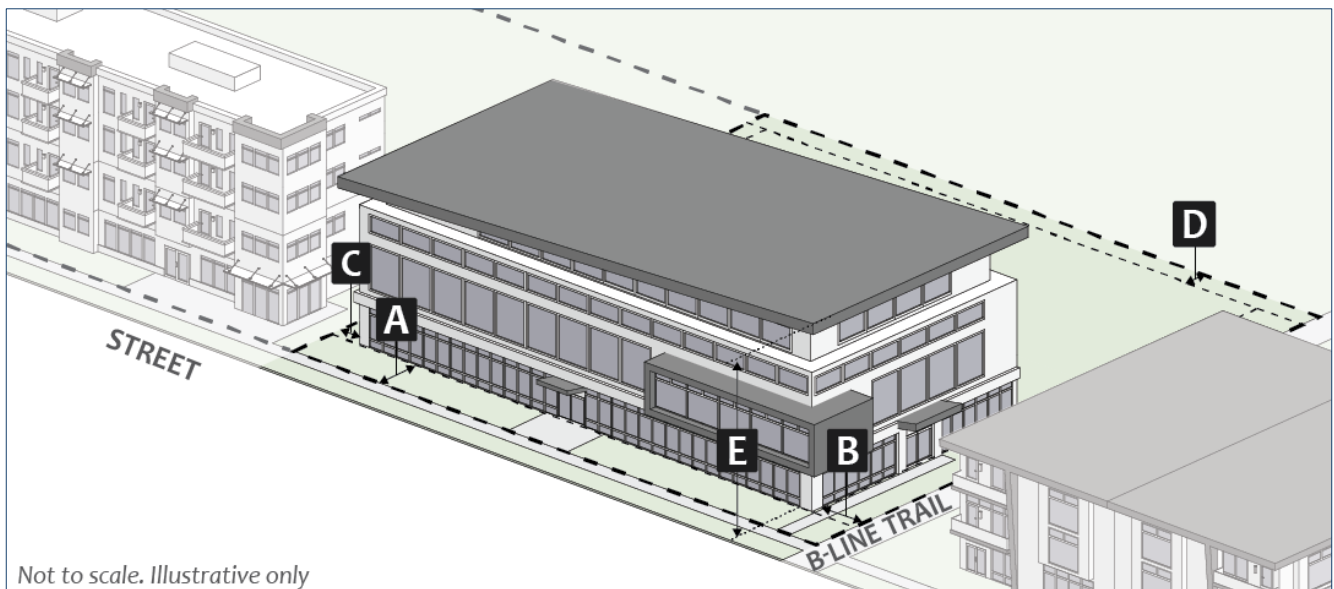
The following table is a summary of the character area specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-20: MD-ST Dimensional Standards**

Building Setbacks		
<b>A</b>	Front (maximum)	15 feet
<b>B</b>	Adjacent to B-Line (minimum)	15 feet
<b>C</b>	Side building setback (minimum)	5 feet [1]
<b>D</b>	Rear building setback (minimum)	5 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	75%
	Landscape area (minimum)	25%
<b>E</b>	Primary structure height (maximum)	4 stories, not to exceed 50 feet [1] [2] [3] [4]
	Primary Structure height (minimum)	25 feet
	Accessory structure height (maximum)	30 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.
- [4] Buildings that include one or more dwelling units that meet the definition of "Student Housing or Dormitory" shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).



**Figure 40: MD-ST Downtown Character Overlay Dimensional Standards**



(2) **Dimensional Standards**

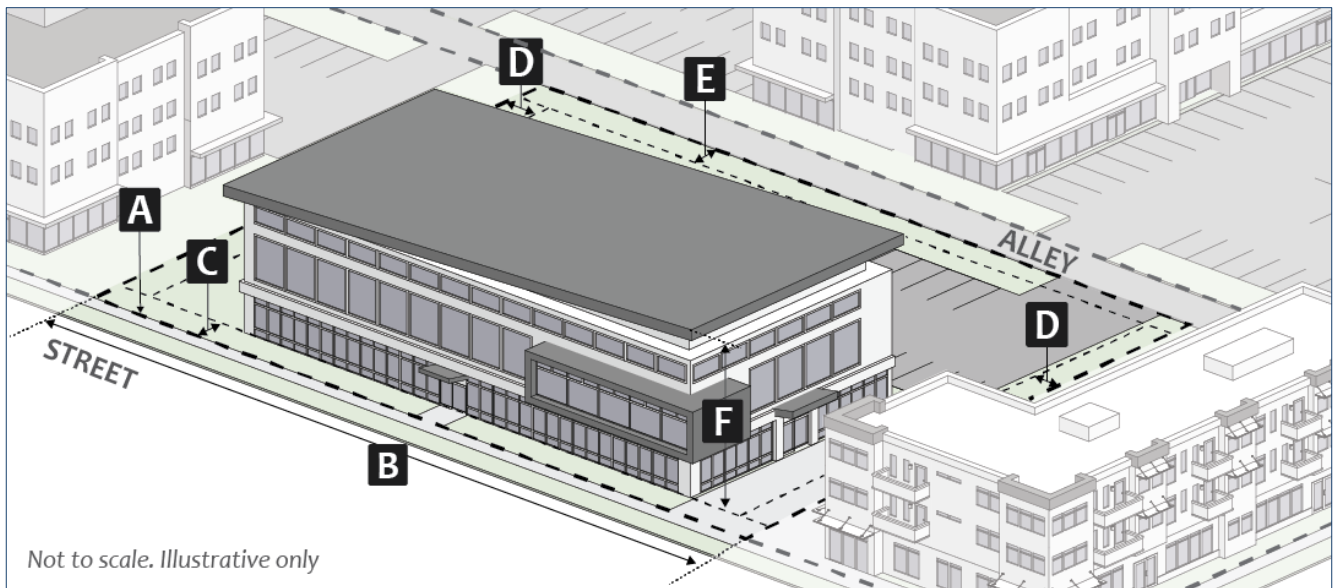
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-21: MH District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	10,890 square feet (0.250 acres)
<b>B</b>	Lot width	65 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	25 feet
<b>D</b>	Side	10 feet [1]
<b>E</b>	Rear	10 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	60%
	Landscape area (minimum)	40%
<b>F</b>	Primary structure height (maximum)	3 stories, not to exceed 40 feet [1] [2] [3]
	Accessory structure height (maximum)	25 feet

**Notes:**

- [1] Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height on the ground floor shall be 12 feet.
- [3] See Section 20.04.110 (Incentives) for alternative standards.



**Figure 42: MH Dimensional Standards**

(2) **Dimensional Standards**

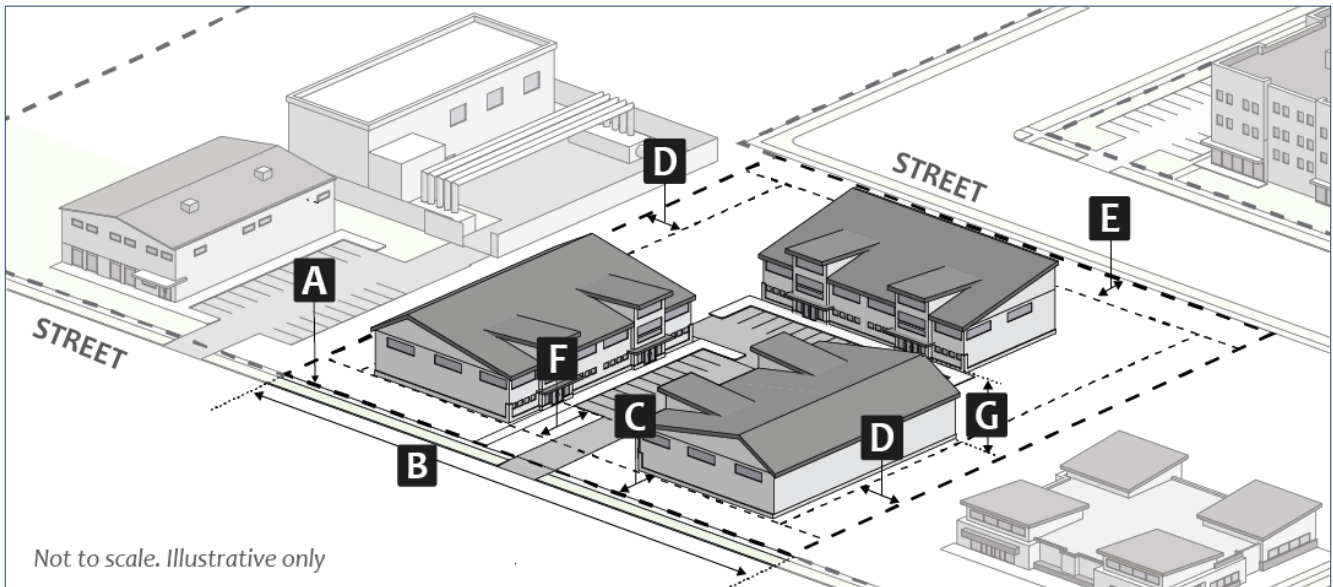
The following table is a summary of the district-specific dimensional standards. Additional standards from Section 20.04.010 (Dimensional Standards) also apply.

**Table 02-22: EM District Dimensional Standards**

Lot Dimensions (Minimum, only for lots created after the effective date)		
<b>A</b>	Lot area	None
<b>B</b>	Lot width	100 feet
Building Setbacks (Minimum)		
<b>C</b>	Front	25 feet
<b>D</b>	Side	20 feet [1]
<b>E</b>	Rear	20 feet [1]
Other Standards		
	Front parking setback (minimum)	20 feet behind the primary structure's front building wall
	Impervious surface coverage (maximum)	70%
	Landscape area (minimum)	30%
<b>F</b>	Primary structure height (maximum)	4 stories, not to exceed 50 feet [1]
	Accessory structure height (maximum)	35 feet

**Notes:**

[1] Buildings abutting a property in the RE, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).



**Figure 44: EM Dimensional Standards**

## 20.03.020 Allowed Use Table

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \* = use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
<b>RESIDENTIAL USES</b>																			
<b>Household Living</b>																			
Dwelling, single-family (detached)	P	P	P	P	P	P*	P*	P	P	P	P*	P*	P*			P*			20.03.030(b)(1)
Dwelling, single-family (attached)			P*	P*	P*	P*	P*		P*	P*	P*				P*				20.03.030(b)(2)
Dwelling, duplex	C	*	*	*	P*	P*	P*		P*	P*	P*	C*			P*				20.03.030(b)(3)
Dwelling, triplex		*	*	*	P*	P*	P*		P*	P*	P*	C*			P*				20.03.030(b)(4)
Dwelling, fourplex					C*	P*	P*		P*	P*	P*	P*			P*				20.03.030(b)(4)
Dwelling, multifamily					C*	P	P		P	P*	P*	P	P*	C	P*				20.03.030(b)(5)
Dwelling, live/work					C*	P*	P*			P*	P*	P*			P*				20.03.030(b)(6)
Dwelling, cottage development		C*	C*	C*	C*	C*	C*	C*		C*									20.03.030(b)(7)
Dwelling, mobile home								P*											20.03.030(b)(8)
Manufactured home park								P*											20.03.030(b)(9)
<b>Group Living</b>																			
Assisted living facility					C	P	P			C	P	P		P	P	P			
Continuing care retirement facility					C	P	P			C	P	P		P	P	P			
Fraternity or sorority house									P*					P*					20.03.030(b)(10)
Group care home, FHAA small	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		P*		P*			20.03.030(b)(11)
Group care facility, FHAA large					P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*			20.03.030(b)(11)
Nursing or convalescent home					C	P	P			C	P	P	P	P	P	P			
Opioid rehabilitation home, small	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		P*		P*			20.03.030(b)(11)
Opioid rehabilitation home, large					P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*			20.03.030(b)(11)
Residential rooming house						P*	P*		P	P*	P	P	C*						20.03.030(b)(12)
Student housing or dormitory						C*	P*		P	C*	P*	P*		P*	C*				20.03.030(b)(13)
Supportive housing, small							C			C	C	C		C	C	C			
Supportive housing, large											C	C		C	C	C			
<b>PUBLIC, INSTITUTIONAL, AND CIVIC USES</b>																			
<b>Community and Cultural Facilities</b>																			
Art gallery, museum, or library					C*	C	C			P	P	P		P	P				20.03.030(c)(1)
Cemetery or mausoleum														P					

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
Club or lodge											P	P			P				
Community center			C	C	C	P*	P*			P	P	P		P	P			20.03.030(c)(2)	
Conference or convention center												P	P	P	P				
Crematory												C		C			C		
Day-care center, adult or child	A*	A*	A*	A*	A*	C*	C*	C*	P*	P*	P*	P*	C*	C*	P*	P*	A*	20.03.030(c)(3)	
Government service facility											P	P	P	P	P		P		
Jail or detention facility														C*			C*	20.03.030(c)(4)	
Meeting, banquet, or event facility											P	P	P	P	P				
Mortuary											P	P		P					
Park	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Place of worship	C	C	C	C	C	C	C	C	C	C	P	P	C	P	P	C			
Police, fire, or rescue station	C	C	C	C	C	C	C	C	C	C	P	P	P	P	P	P	P		
Urban agriculture, noncommercial	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	20.03.030(c)(5)	
<b>Educational Facilities</b>																			
School, college or university												C	C	P					
School, public or private	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	P*	P*	C*	P*	P*			20.03.030(c)(6)	
School, trade or business											P	P	P	P	P		P		
<b>Healthcare Facilities</b>																			
Hospital														C		C			
Medical clinic										P	P	P	P	P	P	P			
Methadone treatment facility												P*		C*		C*		20.03.030(c)(7)	
Opioid rehabilitation facility											C*	C*	C*		C*	C*		20.03.030(c)(7)	
<b>COMMERCIAL USES</b>																			
<b>Agricultural and Animal Uses</b>																			
Crops and pasturage	P*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		A*	A*		20.03.030(d)(1)	
Kennel												C*					C*	20.03.030(d)(2)	
Orchard or tree farm, commercial	P	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	P	20.03.030(d)(3)	
Pet grooming										P*	P*	P*			P*		P*	20.03.030(d)(4)	
Plant nursery or greenhouse, commercial	C	C*									P	P	P						
Veterinarian clinic										C*	P*	P*			P*			20.03.030(d)(4)	
<b>Entertainment and Recreation</b>																			

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
Amenity center	P*	P*	P*	P*	P*	P	P	P	A	P	P	P	P	P	P				20.03.030(d)(5)
Country club	€											P							
Recreation, indoor				P*	P*	P*	P*		A	C	P	P			P				20.03.030(d)(6)
Recreation, outdoor	€											C	P	P			C		
Sexually oriented business											C*	P*					P*		20.03.030(d)(7)
Stadium														C					
<b>Food, Beverage, and Lodging</b>																			
Bar or dance club									P		P	P			P				
Bed and breakfast	€*	C*	C*	C*	C*	C*	P			P	P	P			P				20.03.030(d)(8)
Brewpub, distillery, or winery									P*	P*	P*	P*	P*		P*		P*		20.03.030(d)(9)
Hotel or motel									P			P	C		P				
Restaurant						C*	C*		P	P	P	P	P*	A	P	A	A		20.03.030(d)(10)
<b>Office, Business, and Professional Services</b>																			
Artist studio or workshop	A*	A*	A*	A*	A*	P	P			P	P	P	C	C	P				20.03.030(d)(11)
Check cashing											C	C							
Financial institution									P		P	P	C		P		A		
Fitness center, small						A	A		P	P	P	P	A	A	P	A	A		
Fitness center, large									P	P	P	P			P	A			
Office										P	P	P	P	P	P	P*	P		20.03.030(d)(12)
Personal service, small						A	A		P	P	P	P	P	C	P				
Personal service, large									C	C	P	P	P		P				
Tattoo or piercing parlor											P	P			P				
<b>Retail Sales</b>																			
Building supply store											P	P					P		
Grocery or supermarket						A	A		P	P	P	P	P		P				
Liquor or tobacco sales											P	P			P				
Pawn shop											P	P			P				
Retail sales, small						C	C		P	P	P	P	P		P				
Retail sales, medium									P		P	P			P				
Retail sales, large												P			P				
Retail sales, big box												P					P		
<b>Vehicles and Equipment</b>																			
Equipment sales or rental										P*	P*	P*			P*		P*		20.03.030(d)(13)
Transportation terminal											P	P		P	P		P		
Vehicle fleet operations, small											P	P					P		

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
Vehicle fleet operations, large												P					P		
Vehicle fuel station											P*	P*	P*		P*		P*		20.03.030(d)(14)
Vehicle impound storage																	P*		20.03.030(d)(15)
Vehicle parking garage						A	A		A		P	P	P	A	P*	C			20.03.030(d)(16)
Vehicle repair, major												P*					P*		20.03.030(d)(17)
Vehicle repair, minor										C*	P*	P*			P*				20.03.030(d)(17)
Vehicle sales or rental											P	P	P						
Vehicle wash											P*	P*					P*		20.03.030(d)(18)

**EMPLOYMENT USES**

**Manufacturing and Processing**

Commercial laundry											P	P					P		
Food production or processing											C	C	C				C		
Manufacturing, artisan										P	P	P	C		P		P		
Manufacturing, light													P		C		P		
Manufacturing, heavy																	C		
Salvage or scrap yard																	C		

**Storage, Distribution, or Warehousing**

Bottled gas storage or distribution																	P		
Contractor's yard												P	C				P		
Distribution, warehouse, or wholesale facility												C	C				P		
Storage, outdoor														P*			P*	A*	20.03.030(e)(1)
Storage, self-service									A*	C*	P*	P*	P*	A*	P*		P*		20.03.030(e)(2)

**Resource and Extraction**

Gravel, cement, or sand production																	C*		20.03.030(e)(3)
Quarry																	C*		20.03.030(e)(3)
Stone processing																	P		

**UTILITIES AND COMMUNICATION**

Communication facility	C*	C*										C*	C*	P	C*	C*	P		20.03.030(f)(1)
Solar collector, ground- or building-mounted	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	P		20.03.030(f)(2)
Utility substation and transmission facility	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		20.03.030(f)(3)
Wind energy system, large													P*				P*		20.03.030(f)(4)

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
Wind energy system, small	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	P*	P*	20.03.030(f)(5)
<b>ACCESSORY USES</b>																			20.03.030(g)(1)
Chicken flock	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		P*	20.03.030(g)(2)
Detached garage	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*								20.03.030(g)(3)
Drive-through											A*	A							20.03.030(g)(4)
Dwelling, accessory unit	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		A*	A*			20.03.030(g)(5)
Electric vehicle charging facility	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Greenhouse, noncommercial	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Home occupation	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*			20.03.030(g)(6)
Outdoor retail and display										T*	T*	T*			T*		A*	20.03.030(g)(7)	
Outdoor trash and recyclables receptacles						A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*		20.03.030(g)(8)
Recycling drop-off, self-serve						A	A		A	A	A	A	A	A	A	A			
Swimming pool	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	A*	20.03.030(g)(9)
<b>TEMPORARY USES</b>																			20.03.030(h)(1)
Book buyback									T*	T*	T*	T*		T*	T*				20.03.030(h)(2)
Construction support activities	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	20.03.030(h)(3)
Farm produce sales	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*			20.03.030(h)(4)
Real estate sales or model home	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*	T*		20.03.030(h)(5)
Seasonal sales									T*	T*	T*	T*	T*	T*	T*	T*			20.03.030(h)(6)
Special event	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T		T	

## 20.03.030 Use-Specific Standards

### (a) Generally

- The Use-Specific Standards listed in this Section 20.03.030 apply to those uses listed on the same line of Table 3-1, regardless of whether those uses are shown as Permitted, Conditional, Conditional Accessory, Accessory, or Temporary uses. These Use-Specific standards cannot be modified through the Conditional Use approval process in Section 20.06.050(b) (Conditional Use Permit), but relief may be granted through the Variance process in Section 20.06.080(b) (Variance).

- i. A composite sample of the native soil, consisting of no less than five individual samples, has been tested for lead content and the lead content in the soil is determined to be at or below the residential screening levels for soil exposure, direct-contact for lead established by the Indiana Department of Environmental Management; and either:
  1. Proof through maps, deeds, prior permits or a combination of those sources that the site has only been used for residential or agricultural activities in the past; or
  2. A composite sample of the native soil, consisting of no less than five individual samples, has been tested for metal content using the US EPA 3050B, 3051, or a comparable method and that the metals arsenic, cadmium, mercury, molybdenum, nickel, selenium, and zinc are determined to be at or below the residential screening levels for soil exposure, direct-contact established by the Indiana Department of Environmental Management.
- ii. If metal content in soil exceeds established thresholds, food products may only be grown in raised beds filled with clean topsoil.
- iii. As an alternative to meeting the standards in (i) or (ii) above, food products may be grown in clean soil brought to the site without completing a soil test of the soil native to the site.

**(6) School, Public or Private**

- (A) Each public or private high school shall be located on a site with direct access to an arterial or collector street.
- (B) Each public or private elementary or middle school located on a site adjacent to an arterial or collector street shall provide an automobile pick-up/drop-off area adequate to protect student safety with access from either a collector or local street, and shall provide a direct pedestrian connection to at least one local street adjacent to the site.

**(7) Methadone Treatment Facility or Opioid Rehabilitation Facility**

- (A) Each clinic or facility shall be at least 1,000 feet from the nearest property line of a lot containing a primary use that falls under the Household Living category, Group Living category, a Place of Worship, or a Public or Private School;
- (B) Each clinic or facility shall include a waiting and departure lounge sufficient in size to accommodate all scheduled patrons, which shall be open to patrons at least one hour before and after any official business is to be conducted. Such areas shall include restroom facilities that shall be open at least one hour prior to the beginning of scheduled services.

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**(d) Commercial Uses**

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**(1) Crops and Pasturage****(A) Generally**

- i. Except in the R1E zoning district, this use shall be accessory to a principal use on the same lot or parcel.
- ii. Land with a slope in excess of 15 percent shall not be considered in determining the total pasture size and shall not be used for pasture purposes.
- iii. All outside pens, exercise areas, and pastures shall be fenced.



**(3) Orchard or Tree Farm, Commercial**

Commercial orchards and/or tree farms shall be limited to 25 percent of the lot area when allowed as an accessory use.

**(4) Pet Grooming and Veterinarian Clinic**

If a pet grooming or veterinarian clinic has a kennel associated with it, then it shall comply with Section 20.03.030(d)(2) and the following standards:

- (A) In the MN, MM, and MD zoning districts, outdoor kennel facilities are not permitted.
- (B) In the MC zoning district, outdoor kennels shall require a conditional use permit pursuant to Section 20.06.050(b) (Conditional Use Permit).

**(5) Amenity Center**

In the ~~RE~~-R1, R2, R3, and R4 zoning districts, an amenity center shall not be established on a lot or parcel larger than one acre. The amenity center shall not exceed 5,000 square feet of gross floor area.

**(6) Recreation, Indoor**

In the R3, R4, RM, and RH zoning districts, indoor recreation facilities shall be permitted when created through the renovation of an existing building. If a recreation center requires new construction or a major addition to an existing structure (greater than 33 percent of the existing gross floor area), then the use shall be subject to a conditional use approval.

**(7) Sexually Oriented Business****(A) Purpose**

Within the city it is acknowledged that there are some uses, often referred to as sexually oriented businesses, which because of their nature can have a negative impact on nearby property, particularly when these sexually oriented businesses are concentrated together or located in direct proximity to places where children congregate including but not limited to: residential uses; child care centers; places of worship; schools; libraries; playgrounds; and/or parks. Special regulations for these sexually oriented businesses are necessary to ensure that these adverse impacts will not contribute to the blighting of surrounding areas. The primary goal of these regulations is to prevent the concentration or location of these uses in a manner that would exacerbate their adverse effects.

**(B) Location**

A sexually oriented business shall not be located on a property within 500 feet (measured from the nearest property line of the property from which spacing is required to the nearest wall of the building or tenant space that houses the sexually oriented business use using a straight line, without regard to intervening structures or public rights-of-way) of any of the following:

- i. Place of Worship;
- ii. School, Public or Private (preschool, K-12);
- iii. Day care center, adult or child;
- iv. Park (including publicly owned multiuse trails);
- v. Library;
- vi. Homeless Shelter;
- vii. ~~RE~~-R1, R2, R3, R4, or RMH zoning district, including any portion of a Planned Unit Development designated for single-family residential use;

- viii. RM or RH zoning district, including any portion of a Planned Unit Development designated for multifamily residential use; and
- ix. Another Sexually Oriented Business.

**(C) PUDs**

For the purposes of this section, sexually oriented businesses shall be considered permitted uses in any PUD zoning district created before February 12, 2007, where the underlying zoning is MC, MM, and IN.

**(D) Exterior Display**

No sexually oriented business shall be conducted in any manner that permits the observation from any right-of-way of material depicting specified sexual activities or specified anatomical areas by display, decoration, sign, show window or other opening.

**(8) Bed and Breakfast**

- (A) In the ~~RE~~-R1, R2, R3, R4, and RM zoning districts, this use is limited to single-family detached dwellings.
- (B) In the ~~RE~~-R1, R2, R3, R4, and RM zoning districts, the maximum number of guest units for any bed and breakfast shall be three. In all other zoning districts, the maximum number of guest units for any bed and breakfast establishment shall be eight.
- (C) The business owner or manager of the bed and breakfast establishment shall be required to reside on the property or on an adjacent property.
- (D) Each guest stay shall be limited to a maximum of 30 consecutive days.
- (E) The exterior design of any exterior modification of the structure or premises shall include façade articulation, and numbers and locations of windows and building entrances on the primary building façade, that are similar to those in the surrounding area and neighborhood.

**(9) Brewpub, Distillery, or Winery**

- (A) In the MN zoning district, brewpubs, distilleries, or wineries shall not manufacture more than 5,000 barrels of beverage (all beverages combined) annually.
- (B) In the MM, MD, and MC zoning districts, brewpubs, distilleries, or wineries shall not manufacture more than 20,000 barrels of beverage (all beverages combined) annually.
- (C) Brewpubs, distilleries, or wineries shall maintain copies of all reports filed with the bureau of alcohol, tobacco and firearms (ATF) and shall be able to demonstrate, upon request of the city, that they have not exceeded the annual beverage production limit in any 12-month period.
- (D) In the MN, MM, and MC zoning districts, brewpubs, distilleries, or wineries shall maintain at least 15 percent of the gross floor area of the facility or 500 square feet of floor space, whichever is greater, for public use as a tavern, restaurant, or tasting area.
- (E) In the MD zoning district, brewpubs, distilleries, or wineries shall maintain at least 50 percent of the gross floor area of the facility for public use as a tavern, restaurant, or tasting area.
- (F) Brewpubs may ship beverages for consumption at other sites, but only if it is demonstrated that:
  - i. The location and flow of shipping traffic does not impact access by other users; and
  - ii. The proposed shipping routes are designed to accommodate the weight of the delivery vehicles.

**(10) Restaurant**

- (A) In the current RM, RH, and ME zoning districts, the restaurant shall contain no more than 2,500 gross square feet of floor area. Such smaller establishments typically include but are not limited to cafes, coffee shops, delis, and small restaurants.
- (B) In the RM and RH zoning districts, structures containing this use shall be similar in appearance to the surrounding buildings with respect to architectural style, roof pitch, color and materials.

**(11) Artist Studio or Workshop**

In the ~~RE~~, R1, R2, R3, and R4 zoning districts:

- (A) The artist studio shall be accessory to a residential use.
- (B) No retail activity shall be permitted in association with the artist studio.
- (C) No display of art pieces for public viewing, such as within a gallery, shall be permitted.
- (D) Use of the artist studio shall be limited to the production of art by the resident of the home in which the studio is located.

**(12) Office**

In the MH zoning district, only office uses performing services related to the medical or health care industries are permitted.

**(13) Equipment Sales and Rental**

- (A) Outdoor display of equipment for sale or rental shall only be permitted in the MC and EM zoning districts.
- (B) In the MC zoning district, all outdoor display of merchandise shall be contained on an improved surface such as asphalt, concrete, or pavers.
- (C) Any outdoor display area shall not block ADA-accessible parking areas, parking lot access aisles, or sidewalk areas, and shall not reduce the number of parking spaces below any minimum requirement for the use in this UDO.

**(14) Vehicle Fuel Station**

- (A) In the MM, MD, and ME zoning districts, the use shall be limited to a total of four metered fuel dispenser units.
- (B) In the MM, MD, and ME zoning districts, major overhaul, body and fender work, upholstery, welding and spray painting shall be prohibited as an accessory use of a vehicle fuel station.
- (C) In the MM, MD, MC, and ME zoning districts, all activities other than vehicle fueling shall be conducted within a completely enclosed building.
- (D) In the MM, MD, MC, and ME zoning districts, no outdoor storage of automobile parts, discarded tires, or similar materials shall be permitted.
- (E) Outdoor storage of more than three wrecked or temporarily inoperable vehicles awaiting repairs shall be prohibited.
- (F) In the ME zoning district:
  - i. All structures including fuel canopies shall be similar in appearance to the surrounding development with respect to architectural style, color, and materials;
  - ii. Fuel canopies shall be located to the side or rear of properties to minimize visual impact from public streets; and

**(G) Abandoned Towers**

Any tower unused or left abandoned for six months shall be removed by the tower owner at the owner's expense. Should the communication tower owner fail to remove the tower after 30 days from the date a notice of violation is issued, the city may remove the tower and bill the owner for the costs of removal and cleanup of the site.

**(H) Noncommercial Antennas**

Noncommercial antennas for individual, private use, including but not limited to, amateur radio antennas, shall be permitted as an accessory use in all residential districts, subject to the following standards:

**i. Height**

The height of a noncommercial antenna shall not exceed 75 feet, measured from the ground, whether the antenna is mounted on the roof or on the ground.

**ii. Setbacks**

No such antenna shall be located within a front setback and shall be set back at least five feet from any side or rear property line.

**(I) Additional Standards for the MD Zoning District**

Communication facilities shall be strictly limited to antennas or other communication equipment accessory to the primary use of the building. No free-standing communication facilities are allowed.

- i. All antennas or other communication equipment shall be no taller than 10 feet above the height of the building to which they are affixed.
- ii. All communication facilities shall be mounted on a building of at least two stories in height.
- iii. Communication facilities shall be designed to blend into the surrounding environment through the use of color, camouflaging, materials, and/or architectural treatment, except in an instance where the color is dictated by federal or state authorities such as the Federal Aviation Administration (FAA).

**(2) Solar Collector, Ground- or Building-Mounted**

- (A) Accessory solar collectors shall only be located behind the front yard setback or on rooftops.
- (B) In the ~~RE~~, R1, R2, R3, and R4 zoning districts, accessory building-mounted solar collectors may exceed the maximum building height requirement by a maximum of 36 inches. For all other zoning districts, accessory building-mounted solar collectors may exceed the maximum building height requirement by a maximum five feet.

**(3) Utility Substation and Transmission Facility**

Utility substations and transmission facilities (not including sewer or water boost or lifting stations) shall be screened with a solid fence or wall at between eight and ten feet in height and shall provide at least one tree and three shrubs per 10 linear feet of fencing to minimize the visual impact of the use on surrounding properties, public streets, and public open spaces. Required plantings shall be located on the side of the fence closest to abutting properties.

**Table 03-4: Number and Size of Accessory Structures Permitted**

Zoning District	Maximum Number	Maximum Footprint (cumulative total)
RE	None	50 percent of the square footage of the primary structure
R1	2	1,000 square feet or 50 percent of the square footage of the primary structure, whichever is less
R2		840 square feet
R3		580 square feet
R4		400 square feet
RM, RH, RMH MS, MN, MM, MD, MC, ME, MH	None	15 percent of the cumulative square footage of the primary building(s) footprint.
MI, EM, PO	None	None

**(F) Location**

- i. Unless otherwise authorized in this UDO, accessory structures shall be located no closer than 35 feet from the front property line and five feet from side and rear property lines.
- ii. Flag poles shall be located no closer than 12 feet from the front property line and one foot from the side and rear property lines.

**(G) Design**

Accessory structures larger than 120 square feet shall incorporate materials, scale, colors, architectural details, and roof slopes that are compatible with the principal building(s).

**(2) Chicken Flocks**

One chicken flock as defined in the Bloomington Municipal Code Section 7.01.010, may be kept as an accessory use to a permitted principal use, provided that such use is permitted by and complies with all regulations of Title 7 (Animals) of the Bloomington Municipal Code, as amended. The regulations of Title 7 (Animals) of the Bloomington Municipal Code are expressly incorporated into this UDO by reference.

**(3) Detached Garage Design**

- (A) For detached garages accessory to residential uses, exposed or corrugated metal facades are not permitted. The exterior finish building materials used for a detached garage shall comply with the standards in Section 20.04.070(d)(3)(B) (Materials).
- (B) Detached garages and carports shall be located a minimum of 10 feet behind the primary structure's front facade and five feet from side and rear property lines, except for exceptions listed in Section 20.04.020(e)(3) (Exceptions to Setback Requirements).

**(4) Drive-Through**

- (A) In the MM district, all uses, except for financial institutions shall be limited to one drive-through bay. Financial institutions shall be allowed up to three drive-through bays.
- (B) In the MC district, all uses, except for financial institutions shall be limited to two drive-through bays. Financial institutions shall be allowed up to three drive-through bays.

**Table 04-2: Residential District Dimensional Standards**

sq. ft. = square feet

Dimensional Standards		RE	R1	R2	R3	R4	RM [1]	RH [1]	RMH [1]	
<b>Lot Dimensions (Minimum, only for lots created after the effective date)</b>										
Lot area	sq. ft.	<del>108,900</del>	20,000 [2]	7,200 [2]	5,000 [2]	4,000	5,000	5,000	43,560	3,000
	acres	<del>2.50</del>	0.459 [2]	0.165 [2]	0.115 [2]	0.092	0.115	0.115	1.00	0.069
Lot width		<del>200 feet</del>	100 feet [2]	60 feet [2]	50 feet [2]	35 feet	50 feet	50 feet	200 feet	40 feet
<b>Building Setbacks (Minimum)</b>										
Front build-to line		<del>None</del>	None	None	15 feet [3]	None	None	None	None	None
Front		<del>30 feet</del>	15 feet	15 feet [3]	None	15 feet [3]	10 feet	10 feet	25 feet	10 feet
Attached front-loading garage or carport		<del>30 feet [4]</del>	25 feet [4]	25 feet [4]	10 feet behind the primary structure's front building wall		25 feet [4]		None	None
Side		<del>30 feet</del>	First floor: 8 feet Each story above the ground floor: 10 feet [2]	First floor: 8 feet Each story above the ground floor: 10 feet [2] [5]	First floor: 6 feet Each story above the ground floor: 10 feet [2] [5]	5 feet	10 feet [6]	10 feet [6]	20 feet	Primary Structure: 7 feet Accessory Structure: 2 feet
Rear		<del>60 feet</del>	25 feet [2]	25 feet [2]	25 feet [2]	25 feet	15 feet [6]	15 feet [6]	20 feet	
<b>Other Standards</b>										
Front parking setback (minimum)		<del>None</del>	None	None	None	None	20 feet behind the primary structure's front building wall		None	None
Impervious surface coverage (maximum)		<del>15%</del>	30%	40%	45%	50%	60%	65%	None	65%
Landscape area (minimum)		<del>None</del>	None	None	None	None	40%	35%	None	None
Primary structure height (maximum)		<del>40 feet</del>	40 feet	40 feet	35 feet	40 feet	3 stories, not to exceed 40 feet [2] [6]	5 stories, not to exceed 63 feet [2] [6]	None	20 feet
Accessory structure height (maximum)		<del>30 feet</del>	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet	None	20 feet

- Notes:**
- [1] Any single-family, duplex, triplex, or fourplex development shall be subject to the R4 residential lot standards.
  - [2] See Section 20.04.110 (Incentives) for alternative standards.
  - [3] Or the median front setback of abutting residential structures, whichever is less.
  - [4] Or equal to the setback of the primary structure, whichever is greater.
  - [5] Legally established lots of record that are less than the minimum lot width may reduce the required setback up to 2 feet.
  - [6] Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).

**Table 04-3: Mixed-Use District Dimensional Standards**

sq. ft. = square feet

Dimensional Standards		MS	MN	MM	MC	ME	MI	MD	MH
<b>Lot Dimensions (Minimum, only for lots created after the effective date)</b>									
Lot area	sq. ft.	5,000	5,000	5,000	5,000	5,000	5,000	See Table 04-4	10,890
	acres	0.115	0.115	0.115	0.115	0.115	0.115		0.25
Lot width		50 feet	50 feet	50 feet	50 feet	50 feet	50 feet		65 feet
<b>Building Setbacks (Minimum)</b>									
Front build-to range		None	15 to 25 feet	15 to 25 feet	None	None	None	See Table 04-4	None
Front building façade at build-to range (minimum)		None	70%	70%	None	None	None		None
Front		15 feet	(see above)	(see above)	15 feet	15 feet	15 feet		25 feet
Side [1]		15 feet	7 feet	7 feet	7 feet	10 feet	10 feet		10 feet
Rear [1]			10 feet						
<b>Other Standards</b>									
Front parking setback (minimum)		20 feet behind the primary structure's front building wall						See Table 04-4	20 feet behind the primary structure's front building wall
Impervious surface coverage (maximum)		70%	60%	60%	60%	70%	60%		60%
Landscape area (minimum)		30%	25%	40%	40%	30%	40%		40%
Area of any individual commercial tenant (maximum)		None	5,000 sq. ft. gross floor area	None	None	None	None		None
Primary structure height (maximum) [1] [2] [3]		6 stories, not to exceed 75 feet	3 stories, not to exceed 40 feet	4 stories, not to exceed 50 feet	4 stories, not to exceed 50 feet	5 stories, not to exceed 63 feet	4 stories, not to exceed 50 feet		3 stories, not to exceed 40 feet
Accessory structure height (maximum)		20 feet	20 feet	30 feet	30 feet	30 feet	30 feet		25 feet

- Notes:**
- [1] Buildings abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
  - [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height shall be 12 feet.
  - [3] See Section 20.04.110 (Incentives) for alternative standards.

**Table 04-4: Downtown Character Overlay Dimensional Standards**

sq. ft. = square feet

Dimensional Standards	MD-CS	MD-DC	MD-UV	MD-DE	MD-DG	MD-ST
<b>Lot Dimensions (Minimum)</b>						
Lot area	None	None	None	None	None	None
Lot width	None	None	None	None	None	None
<b>Building Setbacks</b>						
Front build-to range	0 to 5 feet	0 to 5 feet	0 to 15 feet	0 to 15 feet	0 to 15 feet	None
Front building façade at build-to range (minimum)	90%	70%	70%	70%	70%	None
Front (maximum)	None	None	None	None	None	15 feet
Adjacent to B-Line (minimum)	None	10 feet	None	None	None	15 feet
Side (minimum) [1]	None	None	None	7 feet	5 feet	5 feet
Rear (minimum) [1]	None	None	None	10 feet	5 feet	5 feet
<b>Other Standards</b>						
Front parking setback (minimum)	20 feet behind the primary structure's front building wall					
Impervious surface coverage (maximum)	100%	100%	General and Restaurant Row: 85% Kirkwood Corridor: 100%	75%	75%	75%
Landscape area (minimum)	None	None	General and Restaurant Row: 15% Kirkwood Corridor: None	25%	25%	25%
Primary structure height (maximum) [1] [2] [3] [4]	3 stories, not to exceed 40 feet	4 stories, not to exceed 50 feet	General and Kirkwood Corridor: 3 stories, not to exceed 40 feet Restaurant Row: 3 stories, not to exceed 35 feet	3 stories, not to exceed 40 feet	3 stories, not to exceed 40 feet	4 stories, not to exceed 50 feet
Primary structure height (minimum)	25 feet	35 feet	General and Kirkwood Corridor: 25 feet Restaurant Row: 20 feet	20 feet	25 feet	25 feet
Accessory structure height (maximum)	25 feet	25 feet	25 feet	25 feet	30 feet	30 feet

- Notes:**
- [1] Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the standards in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
  - [2] Where a nonresidential use is proposed on the ground floor, the minimum floor to ceiling height shall be 12 feet.
  - [3] See Section 20.04.110 (Incentives) for alternative standards. Additional height incentives shall not be available for student housing or dormitories.
  - [4] Buildings that include one or more dwelling units that meet the definition of "Student Housing or Dormitory" shall be subject to the maximum building heights established in Section 20.03.030(b)(13) (Student Housing or Dormitory).



**Table 04-5: Nonresidential District Dimensional Standards**

sq. ft. = square feet

Dimensional Standards	EM	PO
<b>Lot Dimensions (Minimum, only for lots created after the effective date)</b>		
Lot area	None	None
Lot width	100 feet	None
<b>Building Setbacks (Minimum)</b>		
Front	25 feet	15 feet
Side	20 feet [1]	5 feet
Rear	20 feet [1]	5 feet
<b>Other Standards</b>		
Front parking setback (minimum)	20 feet behind the primary structure's front building wall	15 feet
Impervious surface coverage (maximum)	70%	None
Landscape area (minimum)	30%	None
Primary structure height (maximum)	4 stories, not to exceed 50 feet [1]	20 feet
Accessory structure height (maximum)	35 feet	20 feet

**Notes:**

[1] When adjacent to the RE, R1, R2, R3, or R4 zoning district, the minimum setback shall be increased by one foot for each foot of building height over 30 feet.

**(d) Lot and Space Requirements**

**(1) Minimum Lot Dimensions**

No space that is needed to meet the width, setback, area, open space, impervious surface coverage, parking, landscaping, or other requirements of this UDO for a lot or building may be sold, leased, or subdivided away from such lot or building. All lots affected by a proposed subdivision shall meet the standards of this UDO.

**(2) Number of Primary Buildings or Uses per Lot**

- (A) Except for projects approved as cottage development pursuant to Section 20.03.030(b)(7) (Dwelling, Cottage Development), only one principal building for single-family, duplex, triplex, or fourplex uses, with permitted accessory buildings, may be located on a lot or parcel. Every dwelling shall have legal means of access to a right-of-way.
- (B) Where a lot or parcel is used for multifamily, mixed-use, commercial, or industrial purposes, more than one primary building may be located upon the lot when such buildings conform to all requirements of this UDO applicable to the uses and district.
- (C) No lot shall be divided to contain more dwelling units than are permitted by the regulations of the zoning district in which they are located.

**Table 04-6: Authorized Exceptions to Setback Requirements**

DU = dwelling unit

Type of Exception	Extent of Exception
Air conditioners (ground)	Up to 5 feet if screened by a fence, wall, or appropriate landscaping.
Air conditioners (window)	Up to 30 inches.
Architectural features	Up to 18 inches.
Awnings, balconies, canopies, patios, steps, and uncovered/open porches	Up to 6 feet.
Bay windows, chimneys, eaves,	Up to 3 feet.
Decks	Up to 6 feet into the side or rear setback provided that no deck is closer than 2 feet to a side property line.
Fire Escapes	Up to 6 feet into side and rear setbacks.
Front Entry	For the <del>RE</del> -R1, and R2 zoning districts, an entry or covered front addition a maximum of 6 feet deep and with a width not to exceed one-third the width of the primary façade of the structure.
Handicap ramps	Exempt from all setback requirements.
Satellite dishes	Up to 5 feet into the front setback and no closer than one foot to the side and rear property lines.
Detached garages or carports	Where a rear alleyway provides access to a detached garage or carport, the setback from the property line that runs parallel to the alleyway to the detached garage or carport may be reduced to three feet.
Additions to existing structures	For single-family, duplex, and triplex structures, additions to existing structures may use existing side or rear setbacks already established on the lot, provided that the gross floor area of the existing structure is not increased by more than 50 percent. In no case shall the setback be less than 10 feet (rear) or 4 feet (side).

- (C) Where this UDO establishes a maximum setback from the front property line, that maximum setback may be increased by up to five feet to accommodate access required by the Americans with Disabilities Act, utility or access easements, or to prevent encroachment of building projections over the public right-of-way.

**(4) Through Lots**

On a through lot, the Planning and Transportation Director shall determine which lot line shall be deemed the front lot line based on the existing and/or proposed building orientation of surrounding lots. Through lots adjacent to an arterial street shall comply with the standards established in 20.05.050(j)(7)(A)iii (Buffer).

**(f) Building Height**

**(1) Measurement**

Maximum building heights are expressed in both overall dimension and the number of stories, where applicable.

**(A) Stories**

Story height is measured between the floor of a story to the floor of the story above it. For single-story buildings and the uppermost story of a multistory building, the measurement shall be from the floor of the story to the ceiling.

(B) In the ~~RE~~, R1, R2, R3, and R4 District

- i. Parking for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses shall be prohibited within the required front building setback between the street and the building except on a single drive not exceeding 18 feet in width.
- ii. In cases where the side or rear setback area is accessible via an improved alley, no front yard drive or parking shall be permitted. The required parking area shall directly access the alley and be limited to 20 feet in depth and 20 feet in width. Depth of required parking areas may exceed 20 feet if leading to a vehicular entrance of a detached garage or carport. Determinations of whether an alley allows for safe access shall be made by the City Planning and Transportation Department.

(3) Dimensions of Parking Spaces and Drive Aisles

All on-site parking and maneuvering areas shall be constructed according to the following minimum dimensional standards:

- (A) All parking aisles shall terminate with a bump-out for turnaround maneuverability.
- (B) The length of a parking stall may be reduced to 16 feet allowing the front of vehicles to overhang the required parking space by two feet; provided that:
  - i. Any raised curb in the overhang areas is no more than four inches in height; and
  - ii. The front of the parking space is located adjacent to a landscaped area or sidewalk that is at least six feet in width.

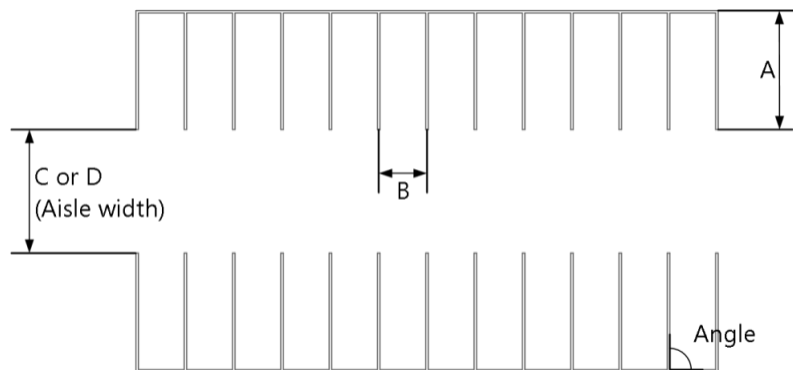


Figure 52: Illustrative Scale and Character

Table 04-11: Parking Dimensions (in feet)

Angle	Parking Space		One-Way Aisle	Two-Way Aisle
	A	B	C	D
0° (parallel)	8.0	22.5 [1]	12.0	20.0
30°	15.0	8.5	12.0	20.0
45°	17.0	8.5	12.0	20.0
60°	17.5	8.5	16.0	20.0
90°	16.0	8.5	20.0	20.0

Notes:

**(3) Residential****(A) Applicability**

The following standards shall apply to the construction, expansion, addition, or alteration of any building in the ~~RE~~, R1, R2, R3, R4, RM, RH and RMH zoning districts.

**(B) Materials**

Primary exterior finish building materials used on residential dwellings shall consist of any of the following:

- i. Horizontal lap siding (e.g., vinyl, cementitious, wood);
- ii. V-grooved tongue-and-groove siding;
- iii. Wood-grained vertical siding materials in a board-and-batten or reverse batten pattern;
- iv. Cedar or other wood materials (excluding EIFS);
- v. Stucco, plaster, or similar systems;
- vi. Stone;
- vii. Split face block, ground face block, or brick;
- viii. Cast or cultured stone;
- ix. Cast in place concrete;
- x. Earthen structural materials; or
- xi. Other materials that replicate the look and durability of the above materials, as approved by the staff.

**(C) Minimum Coverage**

Exterior finish building materials listed above, or a combination of such materials, shall extend from roofline to within six inches of finished grade.

**(D) Foundations**

All buildings shall be placed on permanent foundations.

**(E) Roofs**

- i. For attached and detached single-family dwellings, duplex, triplex, fourplex, and multifamily dwelling units that have sloped roofs, the roof shall consist of shingles, shakes, tile, standing-seam metal, or V-grain metal. Additions to attached or detached single-family dwelling units may use flat roofs (less than a 3:12 roof pitch).
- ii. Primary structures larger than 1,000 square feet of gross floor area may use a flat roof (less than 3:12 roof pitch) with a parapet and shall comply with any applicable standards established in Subsection 20.03.030: *Use-Specific Standards*.

**(F) Rain Gutters and Downspouts**

Rain gutters and downspouts are required.

**(G) Uniform Architecture**

When the rear or side facade of a newly constructed building is adjacent to a street, the architecture of these facades shall be made to match that of the front facade. Such matching shall occur through use of similar materials, window/doorway openings, variation in rooflines, or fenestration.

**(H) Anti-monotony Standards**

In the case of new construction of multifamily units, any development containing more than three individual buildings shall incorporate the following variations to break up monotony in design:

- i. Differences in rooflines;
- ii. Differences in building footprint;
- iii. Differences in the number of floors per building.

**(4) Refuse and Recycling Containers**

Except for single-family, duplex, triplex, and fourplex dwellings, all uses shall provide adequate space on site for refuse and recycling containers. Such areas shall comply with the standards in Section 20.04.080(m)(3) (Loading, Service, and Refuse Areas).

**(5) Neighborhood Transition Standards****(A) Setbacks**

Buildings abutting a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall comply with the minimum building setback of the adjacent residential zoning district along the common property line or the minimum building setback of the zoning district where the building is located, whichever is greater.

**(B) Building Height**

- i. Any portion of a building within 50 feet of a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall not exceed the maximum building height allowed in the abutting residential district or the maximum building height of the zoning district where the building is located, whichever is lower. Where a lot abuts two or more residential districts, the residential district with the lowest maximum building height shall govern. Portions of buildings within 50 feet are not eligible for additional building height under Section 20.04.110 (Incentives).
- ii. Any portion of a building between 50 feet and 100 feet of a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall not exceed the maximum building height allowed in the abutting residential district, plus one story (not to exceed 15 feet); or the maximum building height of the zoning district where the building is located, whichever is lower. Where a lot abuts two or more residential districts, the residential district with the lowest maximum building height shall govern. Portions of buildings between 50 feet and 100 feet are not eligible for additional building height under Section 20.04.110 (Incentives).
- iii. Any portion of a building beyond 100 feet from a property in the ~~RE~~, R1, R2, R3, or R4 zoning district shall not exceed the allowed building height of the zoning district where the building is located. Portions of buildings beyond 100 feet are eligible for additional building height under Section 20.04.110 (Incentives).
- iv. Building features referenced in Table 04-7: *Authorized Exceptions to Height Requirements*, shall be designed to minimize visibility from adjacent residential districts and fit within the allowed building height of the zoning district where the building is located, to the maximum extent practicable.

- (C) Facilities for the operation of active or passive solar energy systems and other alternate energy systems shall be exempt from the screening requirements.

## (2) Ground-Mounted Mechanical Equipment

The following standards shall apply to all uses except for single-family, duplex, triplex, fourplex, mobile home, and manufactured home residential uses.

- (A) Outdoor ground-mounted mechanical equipment (e.g., subpanels, air conditioners, heating, cooling and ventilating equipment, kitchen hoods and vents, swimming pool equipment, pumps and heaters, propane tanks), and all other mechanical equipment shall be located where it is not visible from public open space, public trails, public streets, or from adjacent properties to the maximum extent practicable.
- (B) In cases when ground-mounted mechanical equipment is visible from a public open space, public trail, public street, or adjacent property, the equipment shall be screened from view by a solid wall or fence or a vegetative screen that satisfy the following criteria:
  - i. The wall or fence shall be of a height equal to or greater than the height of the mechanical equipment being screened and shall be compatible with the architecture and landscaping of the development; or
  - ii. The vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the equipment to be screened at the time of planting.
- (C) Screening of ground-mounted solar energy equipment is not required.

## (3) Loading, Service, and Refuse Areas

- (A) Outdoor loading, service, and refuse areas shall be integrated into the building design if possible or shall be located where they are not visible from public open space, public trails, public streets, or from adjacent properties, to the maximum extent practicable.
- (B) Refuse areas shall not be located within the front setback and shall be a minimum of five feet from side and rear property lines, except for:
  - i. Side and rear locations adjacent to alleyways;
  - ii. Side and rear locations adjacent to the ~~RE~~-R1, R2, R3, and R4 zoning districts shall have a minimum 25-foot setback from the respective property lines.
- (C) In cases when loading, service, and refuse areas are visible from a public open space, public trail, public street, or adjacent property, the loading, service, and refuse areas shall be screened from view by:
  - i. A solid wall or fence a minimum of six feet in height, or high enough to ensure that the contents of the enclosure are not visible from adjacent parcels or public rights-of-way. Such enclosures shall match the general design and materials of the primary structure (but excluding unfinished CMU block). At least one side of such fence or wall shall incorporate a movable gate for access.
  - ii. The use of chain-link fencing for loading, service, or refuse area screening shall be prohibited.

## (4) Design

- (A) Outdoor trash receptacles, dumpsters, compactors and similar containers shall be placed on an impervious surface.

- (B) Screened outdoor storage facilities shall be adequately protected from damage by vehicles through the installation of bollards and shall be properly maintained and kept in good repair at all times.

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## (n) Fences and Walls

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### (1) Applicability

Unless otherwise provided below, this Section 20.04.080(n) shall apply to all new development.

- (A) Fences and walls used to screen trash receptacles, mechanical equipment, and other areas requiring screening are exempt from the height limits in Section 20.04.080(n)(3); however they shall not be less than six feet in height.
- (B) Utility substation and transmission facilities, quarry and stone processing, jails, detention facilities, kennels, and prisons are exempt from Section 20.04.080(n)(3).
- (C) Retaining walls are exempt from the height standards but shall be constructed in accordance with manufacturer's specifications or generally accepted engineering standards.
- (D) Fences and walls used to screen swimming pools shall not be less than five feet in height or greater than eight feet in height.
- (E) Fences and walls located in the ~~RE~~-IN, and MI zoning districts are exempt from height standards.
- (F) Decorative features of fences such as post tops are exempt from height requirements provided, they extend no more than 12 inches from the top of the fence and are spaced at least eight feet apart.
- (G) Fences intended exclusively to protect food garden plots from animals shall not be more than 12 feet in height. The portion of the fence that exceeds five feet in height shall, by the use of voids and solids via latticework or other similar techniques, be of open construction. This portion of the fence shall be constructed of materials widely accepted in the fence industry for garden protection.

### (2) Fence and Wall Location

- (A) Fences and walls shall be permitted up to the property line.
- (B) No fence or wall shall be located within a public or private easement unless written permission from the easement holder has been granted.

### (3) Fence and Wall Height

#### (A) Interior Lots

- i. Behind the front building wall of the primary structure, fences and walls shall not exceed a combined height of eight feet, except as provided in Subsection (1)(G) above.
- ii. Forward of the front building wall of the primary structure, fences and walls shall not exceed four feet in height.

#### (B) Corner Lots

On corner lots where the structure has two front building walls, one frontage shall be considered a secondary front building wall.

- (B) Lighting of any tree protection area or conservation easement, including but not limited to those required by Section 20.04.030 (Environment), is prohibited.

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**(d) Multifamily Residential Lighting**

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A parcel occupied by a multifamily dwelling shall not be illuminated by more than 6,000 lumens per primary structure, including a maximum of 2,000 lumens per building entryway of any combination of motion detector activated lighting and bulbs rated at no more than 1,000 lumens.

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**(e) Mixed-Use and Nonresidential Lighting**

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**(1) Adjacent to Residential Districts**

Mixed-use and nonresidential uses bordered by any ~~RE~~, R1, R2, R3, R4, or RHM zoning district shall be allowed a total light output of not more than 40,000 lumens per acre. Provided, regardless of parcel size, the allowance shall be sufficient to provide a maximum of 2,500 lumens per entryway with motion detector activated lighting counted as one-half lumens.

**(2) Use-Specific Conditions****(A) Canopies, Pavilions, or Drive-Through Bays****i. Illuminance**

The canopy, pavilion, or drive-through bay shall be designed to achieve no greater than the minimal illuminance level of a service station pump island as recommended by the Illuminating Engineering Society of North America (IESNA RP-33: Lighting for Exterior Environments).

**ii. Shielding**

All light fixtures mounted on or recessed into the lower surface of canopies, pavilions, or drive-through bays shall be full cutoff, fully shielded and use flat lenses. Such fixtures shall be recessed so the fixture does not extend below the lower horizontal surface of the canopy, pavilion, or drive-through bay.

**(B) Outdoor Recreational Facilities****i. Illuminance**

All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America (IESNA RP-6: Sports and Recreational Area Lighting).

**ii. Light Trespass**

All lighting fixtures shall be installed so that light trespass from any property line, except a property line abutting a public street, shall not exceed two footcandles at a point one meter beyond the property line.

**iii. Restriction**

Field lighting for all outdoor recreational facilities shall be turned off within 30 minutes after the completion of the last event of the night.



**(2) Changeable Copy**

Unless specified otherwise in this UDO, signs may incorporate areas for changeable copy, provided that the changeable copy area does not exceed 40 percent of the total sign area.

**(3) Electronic Reader Boards**

Unless otherwise provided in this UDO, electronic reader boards may only be utilized when incorporated into permanent signage, provided that they do not exceed more than 40 percent of the total area of any sign face, and that information is displayed in increments of no less than 20 seconds.

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**(h) Waiver of Right to Damages**

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- (1) The Plan Commission, the Board of Zoning Appeals, and the City Planning and Transportation Department are each authorized to request waivers of the right to and receipt of damages pursuant to Indiana Code 22-13-2-1.5, Indiana Code 36-7-2-5.5, and Indiana Code 32-24, in connection with any petition for a permit or other approval that may involve erection of a new sign or removal or alteration of a lawfully erected sign, including a lawful nonconforming sign.
- (2) Waivers may be requested from the following:
  - (A) The petitioner;
  - (B) The property owner;
  - (C) The sign owner; and
  - (D) Any other person with an interest in the site or the sign.
- (3) The owner and/or the petitioner shall be responsible for obtaining waivers from all persons listed in Section 20.04.100(h)(2).

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**(i) Residential District Sign Standards**

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**(1) Applicability**

This section applies to the ~~RE~~-R1, R2, R3, R4, RM, RH, and RMH zoning districts.

**(2) Single-Family and Condominium Subdivision**

Each subdivision shall be permitted one freestanding sign per development entrance, subject to the following standards:

**(A) Freestanding Sign Area**

The maximum sign area shall not exceed 32 square feet per side.

**(B) Freestanding Sign Height**

The maximum height shall not exceed six feet in height.

**(C) Changeable Copy**

Changeable copy shall be prohibited as part of a freestanding sign.

**(D) Number**

The permitted subdivision sign may be replaced with two signs of a maximum 16 square feet in area per sign if a sign is placed on each side of the entrance.

**(E) Wall Signage**

No wall signage is permitted.

- vii. Signs shall not be placed within the right-of-way of the B-Line Trail. Sandwich board signs for properties with frontage along the trail shall be placed within the setback between the building and the trail right-of-way.

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## 20.04.110 Incentives

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### (a) Applicability

These affordable housing and sustainable development incentives are available to all development, except for Student Housing or Dormitory projects located in the MD zoning district .

### (b) General Standards

The following standards apply to all projects seeking the affordable housing or sustainable development incentives in this Section 20.04.110.

#### (1) Neighborhood Transition Standards

- (A) All projects abutting a property in the ~~RE~~-R1, R2, R3, or R4 zoning district shall comply with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards).
- (B) Where a primary structure's maximum height incentive is in conflict with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards), the neighborhood transition standards shall govern. The petitioner may request relief from the neighborhood transition standards in accordance with the development standards variance procedure pursuant to Section 20.06.080(b) (Variance).

#### (2) Waiver of Fees

- (A) When a petition qualifies for one or more of the incentives in this Section 20.04.110, filing fees for the Plan Commission and/or Board of Zoning Appeals shall be waived.
- (B) When a petition that qualifies for one or more of the incentives in this Section 20.04.110 has been approved by the decision-making body:
- i. Fees associated with right-of-way excavation permits for the project shall be waived; and
  - ii. Sewer hook-on fees for the project may be waived or reduced by the utilities service board.

#### (3) Administration

- (A) A petition for these development incentives shall be included with a petition for development approval.
- (B) Projects that qualify for the affordable housing incentive and/or the sustainable development incentive established in Section 20.04.110: (Incentives), shall have the site plan portion of the petition processed as a minor (rather than major) site plan, except when the project is adjacent to a lot in the R1, R2, R3, or R4 zoning districts or contains more than 50 dwelling units.
- (C) Staff shall determine if the project is eligible to receive incentives and if it satisfies the criteria established in this Section 20.04.110.

**(b) Conservation Subdivision (CS)**

**(1) Purpose**

The conservation subdivision is intended to be used as follows:

- (A) Facilitate clustered development of land while ensuring maximum protection of environmentally sensitive features and set asides of significant common open space;
- (B) Provide for necessary connectivity to adjoining street systems to provide adequate levels of emergency service and traffic mitigation;
- (C) Allow very limited development for those parcels containing environmental features such as mature tree stands, karst geology, steep slopes, and water resources;
- (D) Fulfill the policy recommendations included in the Environment element of the Comprehensive Plan; and
- (E) Provide subdivision design controls that ensure the space-efficient installation of utilities, street and sidewalk network, as well as the placement of individual building lots.

**(2) Development Standards**

**Table 05-2: CS Subdivision Development Standards**

<b>General Standards</b>	
Parent tract size (minimum)	5 acres
Applicable base zoning districts	All base zoning districts
Open space required (minimum) [1]	50%
Lots served by alleys (minimum percentage)	Not permitted
Block length (maximum)	1,760 feet
Cul-de-sac length (minimum)	Not permitted
Cul-de-sac length (maximum)	Not permitted
<b>Right-of-Way Standards</b>	
Transportation facilities	Required to meet Transportation Plan guidance
On-street parking [2]	<del>RE zone: not permitted</del> R1 zone: not required R2 zone: not required
Tree plot width (minimum)	5 feet [3]
Sidewalk/multiuse path width (minimum)	Per Transportation Plan

**NOTES:**

- [1] Measured as a percent of gross acreage and shall be identified as common open space on the plat.
- [2] Where on-street parking is provided, it shall comply with the standards in 20.04.060(o) (On-street Parking Standards for Private Streets).
- [3] May be reduced to a two-foot grass separation to allow for preservation of existing quality vegetation.

**(3) Abandonment of a Nonconforming Use**

A lawful nonconforming use shall be deemed abandoned when the nonconforming use has been replaced by a conforming use or when the nonconforming use has ceased and has not been resumed for a continuous period of six months, or when the furnishings have been removed and not replaced for a continuous period of six months.

**(4) Residential Occupancy****(A) Authority to Continue**

In the ~~RE-~~R1, R2, R3, and R4 zoning districts, a nonconforming use involving occupancy of a dwelling unit by four or five adults who are not all related to each other, which was duly registered on or before October 1, 1985, in accordance with Ordinance 85-15; or was duly registered on or before November 1, 1995, in accordance with Ordinance No. 95-21, shall be deemed a lawful nonconforming use which may be continued under this UDO, without further registration, and shall be considered a lawful nonconforming use that may continue only as provided in this section.

**(B) Transition from Prior Regulations**

- i. Where a lawfully existing dwelling unit was lawfully occupied by four or five adults who were not all related to each other on the effective date of this UDO, but becomes nonconforming under this UDO because of being so occupied, the property owner may register such property as a lawful nonconforming use, and if properly and timely registered, such use will be a lawful nonconforming use which may be continued under this UDO without further registration.
- ii. Forms for such registration shall be available in the Planning and Transportation Department and shall be completed by the property owner or agent and filed in the Planning and Transportation Department within 180 days of the effective date of this UDO.
- iii. For existing structures, the use to be vested pursuant to this provision shall be the use lawfully in effect as of the effective date of this UDO, or the predominant lawful use for the preceding five years, whichever is greater.

**(C) Pending or Approved Building Permit**

- i. When a complete building permit application has been filed with the Monroe County Building Department, where the proposed structure included a nonconforming use involving a dwelling unit intended for occupancy by four or five adults who are not all related to each other shall be considered a lawful nonconforming subject to the following:
  1. The building permit application conforms to all applicable regulations in effect at the time of application;
  2. The property owner's intention to accommodate said four or five adults is stated in writing;
  3. The property was registered pursuant to this subsection within 180 days of the effective date of this UDO;
  4. The property was lawfully eligible for occupancy by four or five adults not all related to each other prior to the effective date of this UDO;

**District, Residential**

Refers to the ~~RE~~, R1, R2, R3, R4, RM, RH, and RMH zoning districts and residential portions of Planned Unit Developments.

**DNR**

The Indiana Department of Natural Resources.

**Dripline**

The perimeter of a tree's spread measured to the outermost tips of the branches and extending downward to the ground.

**Drive**

A vehicular access to a development site, including private streets or roads and excluding an aisle serving as direct access to a row of parking spaces.

**Drive Apron**

The driving surface area, typically located within the public right-of-way, between the edge of a paved street and the driveway accessing a private property.

**Drive-through**

A facility, building feature, or equipment at which an occupant of a vehicle may make use of the service or business without leaving their vehicle. This use includes drive-by parcel pickup facilities.

**Drive-through Bay**

The portion of a drive-through use or structure, including any awnings, structures, or service windows, where individual vehicles are parked to receive service.

**Driveway**

A surfaced area intended solely for the purpose of accessing a garage or parking area, other than an aisle serving as direct access to a row of parking spaces

**Dwelling Site**

A site within a manufactured home park and/or mobile home park with required improvements and utilities that is leased for the long-term placement of a manufactured home and/or mobile home.

**Dwelling Unit**

One or more rooms containing cooking, living, sanitary, and sleeping facilities, occupied by not more than one family (see definition of "Family"). The dwelling unit shall be characterized by but not limited to:

- 1) A single house number with a single mailbox for the receipt of materials sent through the United States mail;
- 2) A single kitchen adequate for the preparation of meals;
- 3) A tenancy based upon a legal relationship of a unitary nature, i.e., a single lease, mortgage, or contractual sales agreement for the entire premises.

A dwelling unit occupied by more than one "family" (see definition) shall be constructed and regulated as a "residential rooming house" (see definition).

**FAA**

The United States Federal Aviation Administration.

**Façade**

That portion of any exterior elevation on a building extending from grade to the top of the roof or parapet covering the entire width of the structure. The facade shall include the entire walls, including wall faces, parapets, fascia, windows, doors, canopies, and roof structures. Also, in the case of attached buildings, a portion of the exterior of a building that gives the appearance of a unitary module shall constitute a facade regardless of whether that portion coincides with the sides of individual buildings. (For example, a single building may have more than one facade, and a facade may cross building lines, provided there is unitary ownership or control of both buildings.)

**Facade Open Area**

Areas within a building facade that provide voids or relief, such as windows or balconies.

**Facade, Primary**

Those portions of a facade that are adjacent to or front on a private or public street, park or plaza.

**Family**

An individual or group of persons that meets at least one of the following definitions.

- 1) An individual or a group of people all of whom are related to each other by blood, marriage, or legal adoption, foster parent responsibility, or other legal status making the person a dependent of one or more persons legally residing in the household under federal or state law.
- 2) A group of no more than five adults aged 55 years of age or older living together as a single housekeeping unit in a dwelling unit.
- 3) A group of people whose right to live together is protected by the federal Fair Housing Act Amendments of 1988, and/or the Bloomington Human Rights Ordinance, as amended and interpreted by the courts, including but not limited to persons that are pregnant.
- 4) In the ~~RE~~, R1, R2, R3, and R4 zoning districts, and in single-family residential portions of Planned Unit Developments, a group of no more than three adults, and their dependent children, living together as a single housekeeping unit in a dwelling unit or a combination of a single-family dwelling unit and an accessory dwelling unit.
- 5) In all other zoning districts, "family" also includes a group of no more than five adults and their dependent children, living together as a single housekeeping unit in a dwelling unit.
- 6) A group of people who are shareholders in the same cooperative corporation that owns a facility meeting the definition of cooperative housing in which no more than two adults per bedroom occupy the facility.

**Farm Produce Sales**

The seasonal selling or offering for sale at retail directly to the consumer of fresh fruits, vegetables, flowers, herbs, or plants, processed food stuffs and products such as jams, honey, pickled products, sauces, and baked goods, where the vendors are generally individuals who have raised the produce or have taken the same or other goods on consignment for retail sales.

**Farmer's Market**

An occasional or periodic market held in an open area or structure where groups of individual sellers offer for sale to the public items such as fresh produce, seasonal fruits, fresh flowers, arts and crafts items, and food and beverages dispensed from booths located on site.

## 20.03.020 Allowed Use Table

**Table 03-1: Allowed Use Table**

P = permitted use, C = conditional use permit, A = accessory use, T = temporary use, Uses with an \*= use-specific standards apply  
Additional uses may be permitted, prohibited, or require conditional use approval in Downtown Character Overlays pursuant to Section 20.03.010(e).

Use	Residential								Mixed-Use								Non-Residential		Use-Specific Standards
	RE	R1	R2	R3	R4	RM	RH	RMH	MS	MN	MM	MC	ME	MI	MD	MH	EM	PO	
<b>RESIDENTIAL USES</b>																			
<b>Household Living</b>																			
Dwelling, single-family (detached)	P	P	P	P	P	P*	P*	P	P	P	P*	P*	P*			P*			20.03.030(b)(1)
Dwelling, single-family (attached)			P*	P*	P*	P*	P*		P*	P*	P*				P*				20.03.030(b)(2)
Dwelling, duplex	C	C*	C*	C*	C*	P*	P*		P*	P*	P*	C*			P*				20.03.030(b)(3)
Dwelling, triplex		*	*	*	C*	P*	P*		P*	P*	P*	C*			P*				20.03.030(b)(4)
Dwelling, fourplex					C*	P*	P*		P*	P*	P*	P*			P*				20.03.030(b)(4)
Dwelling, multifamily					C*	P	P		P	P*	P*	P	P*	C	P*				20.03.030(b)(5)
Dwelling, live/work					C*	P*	P*			P*	P*	P*			P*				20.03.030(b)(6)
Dwelling, cottage development		C*	C*	C*	C*	C*	C*	C*		C*									20.03.030(b)(7)
Dwelling, mobile home								P*											20.03.030(b)(8)
Manufactured home park								P*											20.03.030(b)(9)
<b>Group Living</b>																			
Assisted living facility					C	P	P			C	P	P		P	P	P			
Continuing care retirement facility					C	P	P			C	P	P		P	P	P			
Fraternity or sorority house									P*					P*					20.03.030(b)(10)
Group care home, FHAA small	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		P*		P*			20.03.030(b)(11)
Group care facility, FHAA large					P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*			20.03.030(b)(11)
Nursing or convalescent home					C	P	P			C	P	P	P	P	P	P			
Opioid rehabilitation home, small	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*		P*		P*			20.03.030(b)(11)
Opioid rehabilitation home, large					P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*			20.03.030(b)(11)
Residential rooming house						P*	P*		P	P*	P	P	C*						20.03.030(b)(12)
Student housing or dormitory						C*	P*		P	C*	P*	P*		P*	C*				20.03.030(b)(13)
Supportive housing, small							C			C	C	C		C	C	C			
Supportive housing, large											C	C		C	C	C			
<b>PUBLIC, INSTITUTIONAL, AND CIVIC USES</b>																			
<b>Community and Cultural Facilities</b>																			
Art gallery, museum, or library					C*	C	C			P	P	P		P	P				20.03.030(c)(1)
Cemetery or mausoleum														P					

- (2) Any of the uses listed as Household Living uses in Table 03-1: *Allowed Use Table*, may be organized as cooperative housing, but shall be a permitted use or a conditional use only in those zoning districts where another Household Living use with the same layout and number of units would be allowed as a permitted use or conditional use, and shall be subject to those use-specific standards applicable to such Household Living use with the same layout and number of units. For example, a cooperative housing facility that meets the definition of “dwelling, multifamily” in terms of layout and number of units is a permitted use available only in those zoning districts where a “dwelling, multifamily” is a permitted use in Table 03-1: *Allowed Use Table*, and is a conditional use available only in those zoning districts where a “Dwelling, multifamily,” is listed as a conditional use in Table 03-1: *Allowed Use Table*, and is subject to those Use-specific standards applicable to a “dwelling, multifamily” in Section 20.03.030(b)(5).

**(b) Residential Uses**

**(1) Dwelling, Single-Family (Detached)**

- (A) In the RM, RH, MN, MM, MC, ME, and MH zoning districts, single-family detached dwelling units shall be permitted only on lots of record lawfully established before February 12, 2007.
- (B) Any legally established single-family dwelling that was established prior to the effective date of this UDO shall not be made non-conforming by adoption of this UDO.
- (C) Occupancy of a single-family detached dwelling unit is subject to the definition of “family” in Chapter 20.07: (Definitions).

**(2) Dwelling, Single-Family (Attached)**

**(A) Access**

- i. Each individual dwelling unit shall have a separate entrance facing the street frontage to which the building address is assigned. Buildings on corner lots may have entrances facing either street frontage.
- ii. Each dwelling shall have direct access to a street or alley.

**(B) Design**

In the R2 and R3 zoning districts, the maximum number of dwelling units allowed in one single-family attached structure shall be two, and each individual dwelling unit shall be located on a separate lot.

**(C) Occupancy**

Occupancy of single-family attached dwelling units is subject to the definition of “Family” in Chapter 20.07: (Definitions).

**(3) Dwelling, Duplex**

**(A) Generally**

- i. ~~The property owner (or HAND registered agent) shall have no Notices of Violation on file in the Planning and Transportation Department for the prior three years at application. For any property that has been rezoned to R1, R2, or R3 after 04/18/2020 that was not previously designated in the R1, R2, or R3 zoning districts, duplex dwelling uses shall be permitted by right and shall not require conditional use permit approval.~~



~~iii.~~~~ii. For any property zoned R1, R2, or R3 on 04/18/2020, duplex dwelling uses may be established on a lot or parcel where a demolition permit has been issued when:~~

- ~~1. No more than 35 percent of the gross square footage of the existing principal dwelling structure has been demolished or removed within the previous three calendar years; and~~
- ~~2. The proposed duplex structure does not exceed the total gross square footage of the original structure that was demolished or removed by more than 25 percent.~~

**(B) Occupancy**

Occupancy of each dwelling unit in a duplex dwelling is subject to the definition of "Family" in Chapter 20.07: (Definitions).

**(C) Design**

In the R1, R2, R3, and R4 zoning districts the following shall apply:

- ~~i. Each unit in a newly constructed duplex dwelling shall have a separate exterior entrance facing a public or private street. Duplex dwellings created through renovation or expansion of existing structures shall have at least one exterior entrance facing a public or private street. Each individual dwelling unit shall have a separate exterior entrance facing a public or private street.~~
- ~~ii. The front elevation building width of the duplex dwelling structure shall not exceed 40 feet.~~
- iii. The following design elements of the duplex dwelling shall be similar in general shape, size, and design with the majority of existing single-family or duplex structures on the same block face on which it is located:
  1. Roof pitch;
  2. Front porch width and depth;
  3. Front building setback; and
  4. Vehicle parking access (i.e., front-, side-, or rear-access garage or parking area).
- iv. No duplex dwelling structure shall contain more than six bedrooms total.
- v. Each individual dwelling unit shall have separate utility meters.

**(D) Approval**

In the R1, R2, and R3 zoning districts, upon Conditional Use approval, a 150 foot buffer shall be created around the approved duplex dwelling. No newly created or expanded (through addition or habitable space) duplex dwellings shall be allowed in said buffer in the R1, R2, and R3 zoning districts for a period of 2 years after the date of the Conditional Use approval. For purposes of this section, the 150 feet shall be measured from the property lines of the parcel receiving approval.

**(4) Dwelling, Triplex and Fourplex****(A) Generally**

- ~~i. The property owner (or HAND registered agent) shall have no Notices of Violation on file in the Planning and Transportation Department for the prior three years at the time of Conditional Use application. For any property that has been rezoned to R1, R2, or R3 after 04/18/2020 that was not previously designated in the R1, R2, or R3 zoning districts, triplex dwelling uses shall be permitted by right and shall not require conditional use permit approval.~~
- ~~ii. For any property that has been rezoned to R4 after 04/18/2020 that was previously designated in the R1, R2 or R3 zoning districts, fourplex dwelling uses shall require conditional use permit approval.~~
- ~~iii. For any property zoned R1, R2, or R3 on 04/18/2020, triplex dwelling uses may be established on a lot or parcel where a demolition permit has been issued when:
  - ~~1. No more than 35 percent of the gross square footage of the existing principal dwelling structure has been demolished or removed within the previous three calendar years; and~~
  - ~~2. The proposed triplex structure does not exceed the total gross square footage of the original structure that was demolished or removed by more than 25 percent.~~~~

**(B) Occupancy**

Occupancy of each unit in a triplex and fourplex dwelling is subject to the definition of "Family" in Chapter 20.07: (Definitions).

**(C) Design**

- ~~i. The front elevation building width of the triplex or fourplex dwelling structure shall not exceed 40 feet.~~
- ~~i. Triplex and fourplex dwellings shall have a minimum of one exterior entrance and no more than two exterior entrances facing a public or private street.~~
- ii. The following design elements of the triplex or fourplex dwelling shall be similar in general size, shape, and design with the majority of existing structures on the same block face on which it is located:
  1. Roof pitch;
  2. Front porch width and depth;
  3. Front building setback; and
  4. Vehicle parking access (i.e., front-, side-, or rear-access garage or parking area).
- iii. In the ~~R1, R2, R3, and~~R4 zoning districts, no triplex dwelling structure shall contain more than nine bedrooms total, and no fourplex dwelling structure shall contain more than 12 bedrooms total.
- iv. Each individual dwelling unit shall have separate utility meters.

**(5) Dwelling, Multifamily****(A) Size**

In the MN and R4 zoning districts, no more than eight multifamily dwelling units shall be constructed on one single lot or parcel.

**(5) Affordable Housing Incentives****(A) Reduced Bulk Requirements**

The following dimensional standards shall apply to single-family ~~and~~ duplex, ~~triplex, and fourplex~~ residential lots in the R1, R2, and R3 zoning districts that meet either of the two criteria in subsection (2) above:

- i. The minimum lot area for subdivision may be reduced up to 30 percent.
- ii. The minimum lot width for subdivision may be reduced up to 20 percent.
- iii. The side building setbacks may be reduced to five feet regardless of the number of stories.
- iv. The rear building setback may be reduced to 15 feet.
- v. Where these standards conflict with the neighborhood transition standards established in Section 20.04.070(d)(5) (Neighborhood Transition Standards), the neighborhood transition standards shall govern.

**(B) Primary Structure Height****i. Eligibility**

In addition to the eligibility criteria in 20.04.110(c)(2), affordable housing projects seeking increased maximum primary structure height shall comply with the following criteria:

1. The building shall contain six or more dwelling units; and
2. Unit size and bedroom mix for deed-restricted units shall be comparable to those for market-rate units.

**ii. Tier 1 Projects**

Projects that meet the Tier 1 affordability standards may increase the primary structure height by one floor of building height, not to exceed 12 feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).

**iii. Tier 2 Projects**

Projects that meet the Tier 2 affordability standards may increase the primary structure height by two floors of building height, not to exceed 24 feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).

**iv. Sustainable Development Bonus**

1. Projects that are eligible for increased primary structure height for affordable housing and sustainable development shall be eligible for one additional floor of building height, not to exceed 12 feet.
2. The additional floor of building height granted under this subsection (iv) shall be limited to 50 percent of the building footprint area of primary structure, and that additional floor shall be set back at least 10 feet further than the lower floors of the building.

**(6) Other Standards**

The following standards shall apply to all affordable housing projects seeking incentives under this section 20.04.110(c).

- i. Silver Certification by the U.S. Green Building Council (USGBC) Leadership in Energy and Environmental Design (LEED) rating system;
- ii. Silver Certification by the Home Innovation National Green Building Standard (NGBS) Green Certified rating system;
- iii. Petal Certification by the International Living Future Institute Living Building Challenge (LBC) rating system; or
- iv. Three Green Globes Certification by the Green Building Initiative (GBI) Green Globes Certification rating system;
- v. Another verified third-party sustainability program producing equal or greater sustainability benefits to at least one of the programs listed in subsections (i.) through (iv.) above, as determined by the Planning and Transportation Director.

### (3) Sustainable Development Incentives

#### (A) Single-Family, Duplex, Triplex, and Fourplex Uses

- i. Single-family ~~and~~, duplex, ~~triplex, and fourplex~~ residential projects in the R1, R2, and R3 zoning districts that satisfy the sustainable development criteria in Option 1 or Option 2 above shall be eligible for the reduced bulk requirements established in Section 20.04.110(c)(5)(A) (Reduced Bulk Requirements).
- ii. Single-family, duplex, triplex, and fourplex residential uses that satisfy the sustainable development criteria in Option 1 or Option 2 above shall not be eligible for additional primary structure height.

#### (B) All Other Uses

Projects that satisfy the sustainable development criteria in Option 1 or Option 2 above shall be eligible for additional primary structure height as established below:

- i. One floor of building height, not to exceed 12 feet, beyond the maximum primary structure height established for the zoning district where the project is located, as identified in Section 20.04.020 (Dimensional Standards).
- ii. Projects that qualify for the affordable housing incentives in Section 20.04.110(c) (Affordable Housing) in addition to the sustainable development incentive in 20.04.110(d)(2) shall be eligible for the additional incentive height described in Section 20.04.110(c)(5)(B)iv.

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## 20.04.120 Operation and Maintenance

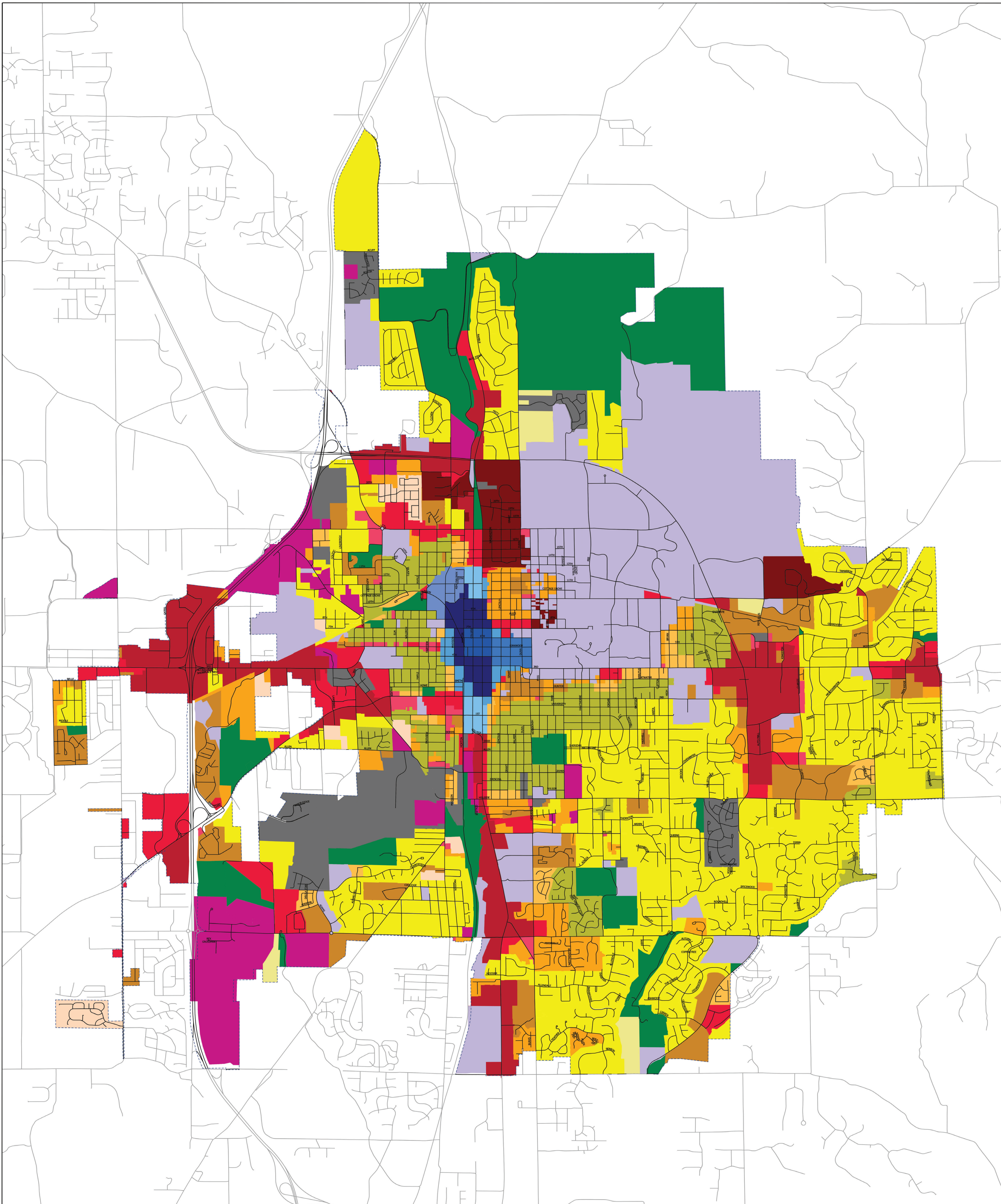
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### (a) Siltation and Erosion

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- (1) Sedimentation basins and other control measures necessary to meet the requirements of Section 20.04.030(d) (Siltation and Erosion Prevention) shall be maintained by the property owner during construction.
- (2) Any site stabilization measures shall be maintained by the property owner in perpetuity.
- (3) Sediment shall be removed to maintain a depth of three feet.





### Zoning Districts

- |                              |   |                                |
|------------------------------|---|--------------------------------|
| (R1) Residential Large Lot   | (RH) Residential High-Density Multifamily | (MC) Mixed-Use Corridor        |
| (R2) Residential Medium Lot  | (RMH) Manufactured/Mobile Home Park       | (ME) Mixed-Use Employment      |
| (R3) Residential Small Lot   | (MS) Mixed-Use Student Housing            | (MI) Mixed-Use Institutional   |
| (R4) Residential Urban       | (MN) Mixed-Use Neighborhood-Scale         | (PO) Parks and Open Space      |
| (RM) Residential Multifamily | (MM) Mixed-Use Medium-Scale               | (PUD) Planned Unit Development |

### Mixed-Use Downtown Overlay Zoning Districts

- |                            |                            |
|----------------------------|----------------------------|
| (MD-CS) Courthouse Square  | (MD-DE) Downtown Edges     |
| (MD-DC) Downtown Core      | (MD-DG) Downtown Gateway   |
| (MD-UV) University Village | (MD-ST) Showers Technology |

## Zoning Map

Public Hearings Draft  
02/26/2021

0 0.25 0.5 Miles







Jacqueline Scanlan <scanlanj@bloomington.in.gov>

## uReport Input on Plexes

Liz Carter <cartere@bloomington.in.gov>

Wed, Feb 17, 2021 at 8:49 AM

To: Scott Robinson <robinsos@bloomington.in.gov>, Jackie Scanlan <scanlanj@bloomington.in.gov>

Good morning,

While doing my weekly uReport data compilation, I saw this uReport was assigned to Carmen:

[https://bloomington.in.gov/crm/tickets/view?ticket\\_id=174689](https://bloomington.in.gov/crm/tickets/view?ticket_id=174689)

Other: Please don't lose to the myths being put out about duplexes in town. Core neighborhoods are core for a reason - that is where individuals can be good for the environment and their pocketbooks by having shorter commutes. Plexes also save residents money on utilities. Both are housing costs too. And the notion that single family homes are somehow cheaper than plexes is backwards. Homes in poor condition may be cheap but square foot for square foot of the same quality plexes will always win out. So many other myths too. Keep doing what you need to in order to build smart for our future.

I am going to go ahead and close this with a message that their input has been passed on to leadership. There was not any contact information for the uReporter.

Thank you.

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	<p><b>Liz Carter</b>          Senior Zoning Compliance Planner          Planning and Transportation Dept.          City of Bloomington, IN  <a href="mailto:cartere@bloomington.in.gov">cartere@bloomington.in.gov</a>          812-349-3592  <a href="http://bloomington.in.gov">bloomington.in.gov</a></p>
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Jacqueline Scanlan &lt;scanlanj@bloomington.in.gov&gt;

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**[Planning] Support housing options - Please forward to all Plan Commission Members**

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**Jonathan Wunrow** <jonwunrow@gmail.com>

Tue, Mar 2, 2021 at 7:20 AM

Reply-To: jonwunrow@gmail.com

To: planning@bloomington.in.gov

Greetings, please forward my email below to all Bloomington Plan Commission Members.

Dear Plan Commissioners:

I am writing to express my support of plexes throughout Bloomington including, and especially, in the areas walkable to downtown. I want our neighborhoods to be as welcoming and accessible as possible. My wife and I live on the corner of 9th and Maple and I totally support the increased affordability and accessibility that expanding the R4 Zone to the Oct. 2020 drafted map.

I also urge you to allow duplexes by right / permitted in all residential zones, which will help decrease the administrative burden on staff and commissions. Keeping the same footprint of current homes, while allowing them to be divided into plexes will improve the diversity of our core neighborhoods, which i whole-heartedly support.

I am not in any way concerned about issues that may arise with street parking that have been voiced. On any give day of the week, there is ample street-side parking in my neighborhood for more cars, if plexes are allowed.

Thank you for supporting measures to increase housing options in Bloomington.

Jon Wunrow



Jacqueline Scanlan &lt;scanlanj@bloomington.in.gov&gt;

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**[Planning] Forward to Plan Commissioners: support more housing options**

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**Matt C** <mattcaldie@gmail.com>  
Reply-To: mattcaldie@gmail.com  
To: planning@bloomington.in.gov

Tue, Mar 2, 2021 at 8:51 PM

Please forward my email to all Plan Commission Members.

Dear Plan Commissioners: I am writing to express my support of plexes throughout Bloomington including, and especially, in the areas walkable to downtown. I believe these core nodes are particularly important when it comes to increasing missing middle housing in Bloomington, and they are the areas that will benefit most from increased population density.

I urge you to expand the R4 zone to the map drafted by staff in October 2020. I also urge you to allow duplexes by right / permitted in all residential zones, which will help decrease the administrative burden on staff and commissions.

I believe allowing plexes is a critical component of increasing housing stock in Bloomington. It will help the city financially, and it may very well help from environmental and equity standpoints as well. While this action alone will not necessarily improve affordable housing, it is a part of the solution and we have to start somewhere.

Thank you for supporting measures to increase housing options in Bloomington.





Jacqueline Scanlan &lt;scanlanj@bloomington.in.gov&gt;

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**[Planning] for Plan Commission: Support housing options for Bloomington**

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**Jessika Griffin** <jessikagriffin0@gmail.com>

Wed, Mar 3, 2021 at 7:39 PM

Reply-To: jessikagriffin0@gmail.com

To: planning@bloomington.in.gov

Please forward my message to plan commission members.

I live in Prospect Hill, and have seen too many friends and neighbors leave the neighborhood and even leave the city or state due to our housing prices. It's not possible for an average family to purchase a home in walkable areas of town, forcing them to rent or purchase further out of town. Right now a house near me that is 1,000 square feet is for sale for \$330k, which is completely normal and expected in walkable areas right now.

I am writing to express my support of plexes throughout Bloomington including, and especially, in the areas walkable to downtown. I would love the opportunity to welcome more neighbors.

I urge you to expand the R4 zone to the map drafted by staff in October 2020. I also urge you to allow duplexes by right / permitted in all residential zones, which will help decrease the administrative burden on staff and commissions. Really I think quadplexes should be permitted by right across the entire city.

A walkable city needs at least 16 dwelling units per acre, and our walkable areas are sitting at only 8 dwelling units per acre. The "core" / pre-car neighborhoods are too sprawled as it is and we must act now to provide more housing options.

I believe allowing plexes is a critical component of increasing housing stock in Bloomington. While this will not necessarily improve affordable housing by itself, it is a part of the solution and we have to start somewhere.

Thank you for supporting measures to increase housing options in Bloomington.

--

**Jessika Griffin**[jessikagriffin0@gmail.com](mailto:jessikagriffin0@gmail.com)[jessika@jessikagriffin.com](mailto:jessika@jessikagriffin.com)[LinkedIn](#) • [Website](#)



Jacqueline Scanlan <scanlanj@bloomington.in.gov>

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## [Planning] against upzoning

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**Stewart, David E** <daestewa@indiana.edu>

Thu, Mar 4, 2021 at 11:12 AM

Reply-To: daestewa@indiana.edu

To: "planning@bloomington.in.gov" <planning@bloomington.in.gov>

We (David and Linda Stewart) are very much opposed to the proposed Upzoning plan.

We believe that the zoning should remain in place according to the Comprehensive Plan developed already.

We vote.

Thank you for registering our opposition.

Sincerely,

Dave and Linda Stewart  
[1015 S. Dunn Street](#)  
Bloomington, Indiana



Jacqueline Scanlan <scanlanj@bloomington.in.gov>

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## [Planning] Oppose changing UDO

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**Janet Ellis** <ellis.jan@gmail.com>  
Reply-To: ellis.jan@gmail.com  
To: planning@bloomington.in.gov

Thu, Mar 4, 2021 at 12:35 PM

I oppose amending the UDO to increase density in core neighborhoods. The UDO, adopted in 2018 after years of hard-fought public hearings, promotes building in underdeveloped areas outside the core instead of adding housing to already-dense core neighborhoods. Why should this be changed only 3 years later, in the middle of a pandemic, when in person meetings are curtailed? This is too important of an issue to resolve without proper public input.

Jan Ellis



Jacqueline Scanlan &lt;scanlanj@bloomington.in.gov&gt;

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**[Planning] Stop Bloomington upzoning**

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Victoria L Nelson &lt;nelsonvl@gmail.com&gt;

Thu, Mar 4, 2021 at 6:06 PM

Reply-To: nelsonvl@gmail.com

To: planning@bloomington.in.gov

Dear Commissioners,

I have watched Bloomington go from a place where affordable housing was fairly plentiful, to the opposite. And I hear city officials state it's because of population growth and we need to increase density to accommodate more people. But increasing density actually benefits only developers, not the people and certainly not lower-income people.

The city could choose to protect affordable housing that already exists. The opposite has happened in my neighborhood. First the South Park property. High-density three story buildings totally out of character with the neighborhood. That corner now looks like the city of Chicago, which I do not appreciate.

In my own neighborhood three small houses at the corner of Miller Drive and Henderson were demolished to allow the development of higher-density multifamily housing. I have no doubt similar situations exist in many other areas in the city.

This is the destruction of affordable housing. It happened here because the city planning department up-zoned the property from single-family to duplex, then to high density, in order to make it attractive to developers.

No doubt there's little profit in the rental of 3 little houses there. But there was value in it. For years there were families with children who lived there. Their kids played in the yard all the time. This is a location within walking distance of both an elementary school and a high school. On two bus lines. But it will no longer be home to lower-income families.

City officials publicly lament the lack of affordable housing in the city. So perhaps there will be construction of new high-density housing for low-income families. But is that the only choice low-income folks will have? I've seen this kind of thing happen in Chicago and many other cities. It's like the line from a BB King song - "We're going to build some new apartments for y'all".

This is what you call progressive?

I don't think a progressive city relegates all low-income citizens to "the projects". If our city council chooses not to protect existing affordable housing, then talk about wanting affordable housing in this city is really just lip service.

Sincerely,

Victoria Nelson  
Bloomington



Jacqueline Scanlan <scanlanj@bloomington.in.gov>

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## [Planning] strongly opposed to upzoning proposal

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**Marcia Gero** <godisfaithful7@gmail.com>  
Reply-To: godisfaithful7@gmail.com  
To: planning@bloomington.in.gov

Thu, Mar 4, 2021 at 6:37 PM

Greetings.

I would like to register opposition to the current upzoning proposal, on my behalf as well my husband Glenn's.

We want to encourage neighborhoods where families can own their homes and accumulate wealth, as opposed to a city where everyone rents and never accumulates wealth.

We are not in favor of a rental city, and we don't think as a city we should be encouraging developers (whose appetite is never satisfied).

We are not in favor of promoting duplexes.

We do not want to encourage dense housing development.

We understand that dense development is in fact the opposite of what the Comprehensive Plan advises, so why is the plan even moving in that direction?

Please do not vote for the upzoning proposal! And why not wait to consider it until the Pandemic is behind us. What is the rush?

Sincerely,

Marcia and Glenn Gero



Jacqueline Scanlan &lt;scanlanj@bloomington.in.gov&gt;

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## [Planning] To the Plan Commission: Support More Housing Options

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**Deborah Myerson** <deborah.myerson@gmail.com>  
Reply-To: deborah.myerson@gmail.com  
To: planning@bloomington.in.gov

Thu, Mar 4, 2021 at 6:39 PM

*Please forward this email to all Plan Commission Members.*

To the Members of the Plan Commission:

According to the [Bloomington Housing Study](#) published in July 2020, in the next decade the city will need 1,555 new for-sale homes and 1,037 new rental homes--for a wide range of incomes and affordability.

Producing enough housing to meet predicted demand — especially in a useful mix of types, prices, and locations — is key to addressing local housing challenges. We can't have affordable, accessible housing if we don't have enough homes for everyone.

So, where will this housing go? Who will build it? How can the city encourage and support meeting these target goals?

### **I urge you to support the following measures in the Unified Development Ordinance map:**

1. Expand the R4 zone to align with the map drafted by staff in October 2020.
2. Allow duplexes by right in all residential zones. This will reduce the time and cost to make these viable housing options.

According to the Bloomington Housing Study mentioned above, young professionals report difficulty in finding units affordable that met their specific needs. Making it easier to add duplexes, triplexes, or other missing middle housing in Bloomington can help provide needed options.

We'll have even bigger housing issues related to [affordability](#), [accessibility](#), [racial inequity](#), and [climate change challenges](#) later if we don't tackle necessary changes now. And the pandemic has magnified the urgent need for [housing stability](#).

Updating zoning to allow more residential diversity in our neighborhoods isn't going to [solve housing challenges with speed or simplicity](#) — but it is an important step in the right direction.

Thank you for your consideration.

Sincerely,

Deborah Myerson (she/her/hers)  
Cell: 812.993.0898  
[deborah.myerson@gmail.com](mailto:deborah.myerson@gmail.com)

**P.S. I invite you to read more about why reforming zoning to permit more housing options is so important in my essay in the Limestone Post, [Invisible Neighbors: How To Include People Left Out of B-town's Neighborhoods](#).**



Jacqueline Scanlan &lt;scanlanj@bloomington.in.gov&gt;

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**[Planning] Fwd: UDO up zone**

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**Elizabeth Gallman** <bethgallman@hotmail.com>  
Reply-To: bethgallman@hotmail.com  
To: "planning@bloomington.in.gov" <planning@bloomington.in.gov>

Fri, Mar 5, 2021 at 11:15 AM

Sent from my iPhone

Begin forwarded message:

**From:** Elizabeth Gallman <bethgallman@hotmail.com>  
**Date:** March 5, 2021 at 10:58:37 AM EST  
**To:** Beth Gallman <bethgallman@hotmail.com>  
**Subject:** Fwd: UDO up zone

Sent from my iPad

Begin forwarded message:

**From:** [bethgallman@hotmail.com](mailto:bethgallman@hotmail.com)  
**Date:** March 5, 2021 at 10:28:46 AM EST  
**To:** [planning@bloomington.in.com](mailto:planning@bloomington.in.com)  
**Subject:** UDO up zone

Dear Planning, Please send this letter to all members (Flavia Burrell, Chris Cockerham, Beth Cate, Israel Herrera, Jillian Kenzie, Neil Kapper, Susan Sandberg, Karin St.John, Brad Wisler) of the Plan Commission. Thank you, Elizabeth Gallman

Dear members of the Plan Commission,

I am opposed to passing any up zone proposal right now because of the world wide coronavirus pandemic. "Density" has proved to assist in the spread of this disease, and I wonder why you would want to create any more in the core of our town, especially in the most dense area. The President of the US refers to actions that encourage the spread of this pandemic as a big mistake and encouraged Americans to remain vigilant. As to solutions that will be helpful in the future there will be better building regulations that will clean and sterilize the air, and shots we are perfectly sure of. Let's wait a moment for a time when science and engineering are better able to handle the challenge. All across this country people and businesses are moving away from density, seeking opportunities to work in their homes and communities in uncrowded situations. We do not need more density in the core. I think we should await a better day.

Additionally, I have observed the successful building projects that have been completed and are anticipated - especially in the north beginning at 13th Street and going to 17th Street.

These will provide thousands of residential opportunities. Also the CITY has many opportunities created by redevelopment and land undeveloped. I do not think that this city needs to upzone its core.

Thank you for your time and attention, Elizabeth Gallman

[bethgallman@hotmail.com](mailto:bethgallman@hotmail.com)  
2111 Queens Way  
Bloomington, Indiana  
47401



Sent from my iPad

# Written Objections: Public Hearings Draft

A form to submit a written objection to Z0-08-21 - Delete RE District Zone - Delete the RE district zone and change all district zone references, use standards, other applicable sections of the UDO to the R1 District Zone.

Email address \*

thomas.mooradian@att.net

## Written Objection to ZO-08-21 \*

Hello and thank you for the opportunity to object to the proposed zoning change.

My wife and I purchased a Residential Estate (RE) property on N. Dunn St. about 8 months ago - just a few months after the new UDO went into effect. The primary reason we purchased it was to establish a sustainable, efficient farm and orchard on the 6 acres of land. I have been very excited about the possibilities of having a working farm so close to town because I believe it can present a wonderful opportunity to educate young people who don't live in the rural countryside about where their food comes from. Being so close to town also means the food I grow can help contribute to solving our concerns about food security locally as well.

My plan has been to gradually transition the property to a functional farm/orchard while I continue to work full-time. After several years of gradually building up the land and capabilities, I plan to retire from my day job and make farming on my property into a full-time job. I believe the land will be able to produce significant volumes of high quality food on a consistent basis and can provide tremendous benefits to the community.

I read the new UDO carefully before purchasing the home and emailed with an individual in the city's Planning and Transportation Department to clarify what I would be allowed to do with the property before I purchased it. At that time, it seemed clear that I would be allowed to operate a commercial orchard, produce and sell food crops, and set up pastures for animals with very limited restrictions.

It seems now, less than a year later, my aspirations may be shattered. I am very concerned about being switched into the R1 zone because that looks like it would mean my rights to have a commercial tree farm / orchard and crops/pasturage will go from "permitted" to "accessory use only". It is not totally clear what "accessory use" means but it seems like that means a smaller portion of my land could be used for growing food to support our local community. That change seems to be moving the city in the opposite direction it wants to go. It makes much more sense to allow large open lots like mine to be used to produce something for the good of the community (and the economy) rather than forcing it to serve as nothing more than a giant lawn that requires fossil fuels to mow it and fertilizers to stay green and healthy while producing nothing of value for anyone.

My specific requests are:

- 1) Please do not eliminate the RE zone
- 2) If you decide to proceed with eliminating the RE zone, then please place my property at 2410 N. Dunn St. into a zoning category that allows for agriculture with fewer restrictions than residential zones.
- 3) If you are unable to heed either of my first two requests, then please ensure zone R1 is adapted so that I may still enjoy the following rights (which are allowable today in the RE zone):
  - A) Exemption from fence height restrictions (or allowance up to 8 feet) when growing crops or pasturing animals (so that I may keep deer from eating my crops)
  - B) Unlimited number of outbuildings (so that I may have places to keep animals and their feed, tool and tractor storage, and crop cleaning/processing/storage, etc.
  - C) Rights to use maximal amount of my property for orchard and crops / pasturage (i.e. not limited to just 25% or less of the lot)
  - D) Opportunities to operate a commercial tree farm/orchard, plant nursery, or food production farm. I realize that you probably do not want to grant all R1 properties this right but consider two things: i) you could include a provision that this applies only if the lots are 4 acres or larger or ii) you could simply put this allowance in place and assume that nobody with a small in-town lot is going to operate a commercial orchard anyway and that only a few rare people like me with the desire and the size of lot would ever actually exercise this right.

Thank you very much for hearing me out and please let me know if there is anything else I can do to clarify my desires or to work with you to come up with a solution that is fair and agreeable to all.

Tom Mooradian

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## Written Objections: Public Hearings Draft

A form to submit a written objection to Z0-10-21 - New Zoning Map - Official Zoning Map will be changed to locate the new PO - Parks and Open Space, R4 - Residential Urban, and MS - Mixed-Use Student Housing zoning districts; to correct split zone lots; to rezone the MH - Mixed-Use Healthcare district, where Bloomington Hospital is currently located; to rezone PUDs - Planned Unit Developments; to rezone RE to R1 while amending uses to align with RE; and to adjust some zoning district boundaries in order to align with the Comprehensive Plan.

Email address \*

pwdorfman@gmail.com

## Written Objection to ZO-10-21 \*

I want to call to your attention the small area of extreme West 8th Street in the Near West Side that is still mapped R4. (It's unclear whether you're include the short stub of North Oak St.) I can't fathom this suggestion. The area includes 16 lots, one vacant, the rest a mix of single-family and "Other Commercial" structures, about half owner-occupied. There's nothing in this section that suggests itself for compatibility of large plexes. What I mainly want to point out is that this is the most remote section of the neighborhood - remote in the sense that there is no outlet from 8th Street to Adams. This is the far corner of the NWS.

So, let's say you add two quadplexes -- that seems consistent with the intent of R4. Two quads could be 8 three-bedroom units of housing, which in turn could be as many as 24 new people in each quad. (Potentially, each bedroom is a couple.) Let's say it's 40 new tenants in total. It seems irresponsibly optimistic to assume half of them won't have cars, but let's assume this only introduces 20 new cars to the neighborhood. Each quad would be required to provide two off-street parking spaces (which is absurd, but let's let that go for now). So now there are 16 new cars looking for street parking spaces. That's a ridiculous burden to put on the residents of that end of 8th Street.

On top of that, it's potentially 20 new cars coming and going from their homes. The only ways available to come and go are east on 8th Street either to Rogers or turning left on Fairview toward 11th St., or down Elm to West Kirkwood. That's a lot of new traffic through a neighborhood with 23-foot-wide streets.

I want to point out also that this area is very near the new cooperative housing structure at 921 W. 9th. That building, when completed in August, will house 18 people. They too will have cars. Immediately west of that structure is a house with an ADU. Then two vacant lots, each of which, under the city's new zoning proposal, would be eligible to become a duplex. Also in this immediate area is the former Girls Inc. property; we don't know what's going to happen to that.

Given the impact on traffic and parking in the Near West Side, I don't think you could choose a worse place to put new R4 density.

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Email address \*

j.conlin@sbcglobal.net

## Written Objection to ZO-10-21 \*

I am a home owner who will be most effected by this new zoning. I live at the end of Homestead Drive. When we bought our home in 2004, we chose this location and neighborhood because Hoosier Acres is so unique compared to other neighborhoods. We were told by the developer where the current IU health building now stands, that a street would never go through to Clarizz from Homestead Drive. A proposal hand been voted down. How many times do the home owners have to fight to keep a street from Homestead to Clarizz from being passed? This is stressful and tiresome. Our streets are safe with low speed limits and less traffic. A street going to Clarizz would put us all in danger, especially the children. Why you are considering changing this old established neighborhood is so concerning. We are surrounded by apartments and condos and a new 5 story dwelling is unnecessary and an eyesore.

With the new hospital moving to this side of town there will be need of more (not less) medical office spaces closer to the hospital.

The medical building that currently exists on the site is only 10 years old and in no need of tear down (if the property is rezoned to RH the value of the building is minimal given the opportunity to develop multi-family housing).

The rezoning of the property and removal of the PUD could potentially open up the extension of Homestead Drive to Clarizz if and when the property is built out as multi-family housing, which as a matter of public safety is concerning given the lack of sidewalks in Hoosier Acres (which I appreciate).

The buffer provided by the PUD plat, that the Hoosier Acres residents fought to put in place, will be greatly diminished if rezoned to Residential High Density.

Please choose the PUD to be zoned as a mixed use healthcare rather than the proposed residential high density-multi family. And please do not even consider a street connecting Homestead Drive with Clarizz.

Julia Conlin  
3434 E. Homestead Drive  
Bloomington, Indiana 47401  
812-369-0806

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Email address \*

m.conlin@sbcglobal.net

## Written Objection to ZO-10-21 \*

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Mark Conlin  
3434 E. Homestead Drive  
Bloomington, Indiana 47401  
812-320-9254

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Email address \*

.....  
juliebess17@gmail.com

Written Objection to ZO-10-21 \*

I am against the rezoning plan for a multitude of reasons, but mostly because we do not need more high density housing on the east side. Develop the areas of Bloomington that need it, such as the dilapidated areas on the west side. This will only ruin Bloomington's east side neighborhoods and there is no good reason for it.  
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