

**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday July 22nd, 2021, 5:00 P.M.**

AGENDA

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
 - A. July 8, 2021 Minutes
- IV. STAFF REPORT**
- V. CERTIFICATES OF APPROPRIATENESS**
 - A. COA 21-28**
316 N. Washington Street (Washington Terrace Apartments)
Petitioner: John Rabold (Granite Property Management)
Installation of wall signage to the building.
 - B. COA 21-29**
811 W. Howe Street (Greater Prospect Hill Historic District)
Petitioner: Sarah Murray & Eric Bumbalough
Stabilize a cistern and building an addition to the home.
 - C. COA 21-30**
904 W. 2nd Street (Greater Prospect Hill Historic District)
Petitioner: David Ondrik
Removal and replacement of limestone retaining wall.
 - D. COA 21-31**
1016 W. Kirkwood Avenue (Near Westside Conservation District)
Petitioner: Dawn Gray – Springpoint Architects
New Construction of a 1.5 story home and accessory garage
 - E. COA 21-32**
601 S. Ballantine Road (Elm Heights Historic District)
Petitioner: Apex Home Services
Add 98 square feet of deck on back of home to existing deck.
- VI. RESOLUTIONS**
- VII. DEMOLITION DELAY**
- VIII. NEW BUSINESS**
- IX. OLD BUSINESS**
- X. COMMISSIONER COMMENTS**
- XI. PUBLIC COMMENTS**
- XII. ANNOUNCEMENTS**
- XII. ADJOURNMENT**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call
812-349-3429 or email, human.rights@bloomington.in.gov.*

Next meeting date is August 5, 2021 at 5:00 P.M. and will be a teleconference via Zoom.

Posted: 7/16/2021

**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday June 10th, 2021, 5:00 P.M.**

AGENDA

I. CALL TO ORDER

Meeting was called to order by Chair, **Jeff Goldin @ 5:04 p.m.**

II. ROLL CALL

Commissioners Present:

Jeff Goldin
John Saunders
Sam DeSollar
Reynard Cross
Chris Sturbaum
Doug Bruce

Advisory Present:

Duncan Campbell
Matt Seddon

Absent:

Derek Richey
Jenny Southern

Staff Present:

Brent Pierce, HAND
John Zody, HAND
Dee Wills, HAND
Keegan Gulick, City Planning and Transportation
Daniel Dixon, City Legal
Jane Kupersmith, Economic and Sustainable Development

Guests Present:

CATS
Loren wood
Kacie Kirby
John Rabold
Rich Ham
Tucker Jaroll
Russ Herndon
Sasha Shumyatsky
Ashley S.

**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday July 8th, 2021, 5:00 P.M.**

AGENDA

I. CALL TO ORDER

Meeting was called to order by Chair, **Jeff Goldin @ 5:04 p.m.**

II. ROLL CALL

Commissioners Present:

Jeff Goldin
John Saunders
Chris Sturbaum
Sam DeSollar
Reynard Cross
Matt Seddon
Elizabeth Mitchell

Advisory Present:

Duncan Campbell
Jenny Southern

Staff Present:

John Zody, HAND
Brent Pierce, HAND
Gloria Colom, HAND
Dee Wills, HAND
Philippa Guthrie, City Legal Department
Keegan Gulick, City Planning and Transportation
Lauren Travis, Economic & Sustainable Development
Kaisa Goodman, Economic & Sustainable Development

Guests Present:

Joseph Patrick
Ryan Cohen
Blaine Reames
Michael Cordaro
CATS

III. APPROVAL OF MINUTES

A. June 10, 2021 Minutes

Sam DeSollar made a motion to approve **June 10, 2021 Minutes** with the **Correction to COA-21-23** that **Sam DeSollar** made a motion to deny.

Matt Seddon seconded.

Motion Carries: 5 Yes (Sturbaum, Saunders, DeSollar, Goldin, Seddon) 0 No, 1 Abstain (Mitchell)

IV. STAFF REPORT

- A. Director John Zody
- Indiana Historic Preservation Update

John Zody announced the new **Program Manager Gloria Colom** was attending the Meeting, and that she will be starting with the **HAND Department** on Monday July 12, 2021. **John Zody** stated the **McDoel Gardens Neighborhood** has applied to be on the **National Register**, and will go before the **State Historic Preservation Review Board** next Tuesday in Indianapolis. **John Zody** stated that the **Smith House** the **Commission** designated earlier this summer is pending before the **Council** and that it may be **August** or **September** before it is heard. **Brent Pierce** thanked **Jeff Goldin** for participating in the interview process along with **Jackie Scanlan** from **City Planning**.

V. CERTIFICATES OF APPROPRIATENESS

VI. RESOLUTIONS

- A. Virtual Meeting Policy
- Requires HPC adoption

Brent Pierce explained the Resolution to the Commissioners about going back to in person meetings. **Philippa Guthrie** gave more details of the Resolution and why this policy needed to be voted on. More discussion ensued. See packet for details. There was a question about whether there needed to be 50 percent of members present or 50 percent of quorum present. **Jeff Goldin** stated that he was not comfortable voting on the Resolution until there was some clarification about who needed to be present for the meetings. **Philippa Guthrie** stated that while the board continues with the Agenda, she would find more clarification.

5:41 p.m.: **Philippa Guthrie** gave clarification for the statute about the **Virtual Meeting Policy**.

John Saunders made a motion to approve the **Virtual Meeting Policy Resolution**. **Matt Seddon** seconded.

Motion Carries: 6 Yes (Sturbaum, Saunders, DeSollar, Seddon, Cross, Goldin) 0 No, 1 Abstain (Mitchell)

VII. DEMOLITION DELAY

A. **DD 21-10**

2412 W. 3rd Street

Petitioner: Ralph Schwartz – K & R Construction

Full Demolition

Brent Pierce gave presentation. See packet for details.

Duncan Campbell stated that he didn't know how they were supposed to make a determination about this Demo Delay when they cannot see the building. **Elizabeth Mitchell** asked if anyone knew any of the history of this building. **Jeff Goldin** stated that it did not appear that any of this research has been done. **John Zody** stated that he approved the unsafe order for this property. **John Saunders** asked what zone this property was in. **Jeff Goldin** stated that it was zoned **MC**. **Keegan Gulick** stated that **MC** stands for **Mixed Use Corridor** and it allows for commercial and signal family.

Elizabeth Mitchell agreed that she could not see the property and would like to know the history of the building. **John Saunders** stated that he had been by this house and it was an old limestone building that was in extremely bad condition, and that he would support demolition. **Sam DeSollar** stated that he would support this application. **Reynard Cross** also stated that he would support this application. **Matt Seddon** agreed. **Brent Pierce** commented that this property had been vacant for 5 years. More discussion ensued. See packet for details.

Jeff Goldin made a motion to release **Demo Delay 21-10**.

John Saunders seconded.

Motion Carries: 6 Yes (Sturbaum, Saunders, DeSollar, Seddon, Cross, Goldin) 0 No, 1 Abstain (Mitchell)

VIII. NEW BUSINESS

A. Kaisa Goodman & Lauren Travis

- Presentation on the Bloomington Green Home Improvement Program (BGHIP)

Kaisa Goodman & Lauren Travis gave presentation. See packet for details.

B. Courtesy Review: Johnson Creamery 400 W 7th Street

Brent Pierce introduced **Joseph Patrick Director of Development** with **Peerless** to the board. **Joseph Patrick** gave presentation. See packet for details.

Sam DeSollar stated that he was happy to hear that they are repairing and restoring the smoke stack, and happy to hear that this is an initial design. More discussion ensued. See packet for details.

IX. OLD BUSINESS

X. COMMISSIONER COMMENTS

John Saunders commented about a program called **Impossible Engineering**. And that one of the episodes was about restoring and repurposing an old abandoned power station. **John Saunders** thought this might give the Developers of the **Johnson Creamery** some ideas.

XI. PUBLIC COMMENTS

XII. ANNOUNCEMENTS

XII. ADJOURNMENT

Meeting was adjourned by **Jeff Goldin @ 6:45 p.m.**

END OF MINUTES

Video record of meeting available upon request.

COA: 21-28

Staff Recommendation

Rating: Notable

Address: 316 N Washington St

Petitioner: Granite Management

Parcel #: 53-05-33-310-351.000-005

Structure: Apartments, Colonial Revival, 1929



Background: The Building is located in the North Washington Historic c District.

Request: Placement of sign on the front façade.

Guidelines: US Secretary of the Interior Technical Preservation Services

- Signs should be viewed as part of an overall graphics system for the building. They do not have to do all the "work" by themselves. The building's form, name and outstanding features, both decorative and functional, also support the advertising function of a sign. Signs should work with the building, rather than against it.
- Sign placement is important: new signs should not obscure significant features of the historic building.

Recommendation: Staff DOES NOT APPROVES COA 21-28 with the following comments:

Although the sign has been moved from the masonry to the paneled section, it does not compliment the historic nature of the building .

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____

Date Filed: _____

Scheduled for Hearing: _____

Address of Historic Property: 316 N Washington St, Bloomington, IN 47408

Petitioner's Name: Granite Management (property manager)

Petitioner's Address: 124 E Kirkwood Ave, Bloomington, IN 47408

Phone Number/e-mail: 812.727.7000 / jribold@granitesl.com

Owner's Name: CSF Bloomington LLC

Owner's Address: 225 N Washington St Bloomington, IN 47408

Phone Number/e-mail: 317.435.4398 / kelly@weybright.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. Parcel #53-05-33-310-351.000-005; property class: 4 To 19 Family Apartments

2. A description of the nature of the proposed modifications or new construction:
Wanting to add a sign that promotes the property management company for this rental property.

Mounting a sign to the front portion of the building on the siding, not the masonry.

3. A description of the materials used.
Commercial sign (dibond) and screws

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



GRANITE

316

COA: 21-29

Staff Recommendation

Rating: Contributing

Address: 811 W. Howe

Petitioner: Sarah Murray & Eric Bumbalough

Parcel #: 53-08-05-112-004.000-009

Structure: House; Free Classic/ Pyramidal
Bungalow C. 1910



Background: The property is located in the Greater Prospect Hill Local Historic District

Request: Remove 8x10' jut out, fill in and stabilize cistern underneath. Rebuild with slight addition/ expansion.

Guidelines: Greater Prospect Hill District Design Guidelines, pg. 21

1. New structures accessory to primary buildings should be visually compatible with existing historic neighborhood patterns for accessory structures and of material consistent with the historic neighborhood pattern.
2. New structures should be placed, where possible, in a subordinate position to the primary building on the lot.

Recommendation: Staff APPROVES COA 21-29 with the following comments:

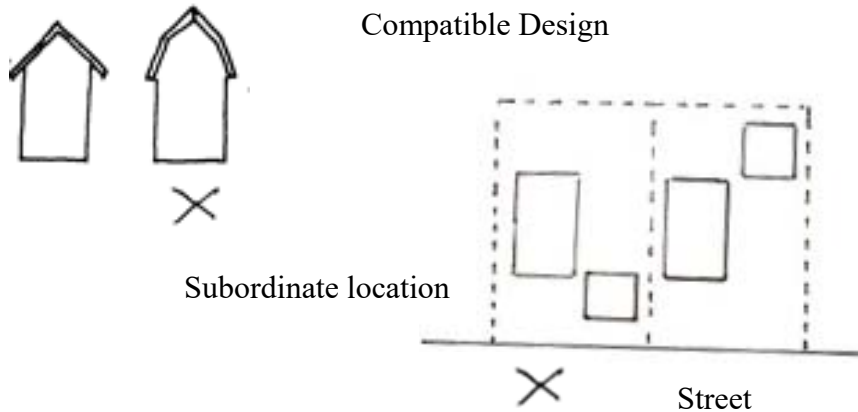
1. The submitted proposal is in line with the existing guidelines.

ACCESSORY STRUCTURES

SUBJECT TO REVIEW AND APPROVAL:

All accessory structures greater than 80 square feet within the boundaries of the Greater Prospect Hill Historic District.

Definition: Any structure secondary to the principal building on the lot and greater than 80 square feet in size is subject to the following guidelines:



RECOMMENDED

1. New structures accessory to primary buildings should be visually compatible with existing historic neighborhood patterns for accessory structures and of material consistent with the historic neighborhood pattern.
2. New structures should be placed, where possible, in a subordinate position to the primary building on the lot.

UTILITIES & EQUIPMENT

Definition: Any utilities that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as air-conditioning equipment).

RECOMMENDED

Mechanical equipment, such as permanent air conditioning equipment and meters should be placed in locations that have the least impact on the character of the structure and site and the neighboring buildings.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: 21-29

Date Filed: _____

Scheduled for Hearing: July 22, 2021

Address of Historic Property: _____

Petitioner's Name: _____

Petitioner's Address: _____

Phone Number/e-mail: _____

Owner's Name: _____

Owner's Address: _____

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. _____

2. A description of the nature of the proposed modifications or new construction:

3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

W Howe St



811 W Howe St,
Bloomington, IN 47403

819

807





811

PROUD
PILOT
PARTICIPANT

WE SUPPORT INCLUSIVE
COMMUNITIES!
Neighbors United





MURRAY-BUMBALOUGH RESIDENCE

ARCHITECT'S PROJECT NUMBER 2021-06 MAY 14, 2021

DRAWING SET INDEX

- S.1 COVER / INDEX/ SITE PLAN / SCHEDULES
- A.1 DEMOLITION PLAN & FOUNDATION PLAN
- A.2 MAIN FLOOR PLAN & ROOF PLAN
- A.3 EXTERIOR ELEVATIONS
- A.4 EXTERIOR ELEVATIONS
- A.5 BUILDING SECTIONS / INTERIOR ELEVATIONS
- E.1 ELECTRICAL PLANS

GENERAL PLAN NOTES

- A. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUD WALLS WITH INSULATION.
- B. ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUD WALLS UNLESS OTHERWISE NOTED.
- C. CONSTRUCTION AND INSTALLATIONS ARE TO CONFORM WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- D. FIELD VERIFY ALL DIMENSIONS IN FLOOR PLAN PRIOR TO FABRICATION OF ANY CASEWORK TO BE SURE OF PROPER FIT.
- E. REPORT ANY DISCREPANCIES ENCOUNTERED ON THESE DRAWINGS PRIOR TO CONSTRUCTION, TO THE ARCHITECT.
- F. DIMENSIONS ON FLOOR PLANS ARE MEASURED FROM FACE OF STUD TO FACE OF STUD.
- G. PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED BEHIND ALL CASEWORK, HOOKS, SHELVING, ETC...
- H. PLUMBING, ELECTRIC, MECHANICAL CONTRACTORS TO PROVIDE ALL LAYOUT, SIZING AS REQUIRED.
- J. FINAL SHELVING DESIGN AND LAYOUT (CLOSETS, STORAGE CLOSETS, PANTRY) TO BE DETERMINED BY OWNER.
- K. FINAL KITCHEN AND BATHROOM FINISHES, APPLIANCES, MATERIALS AND FIXTURES TO BE DETERMINED BY OWNER.

WINDOW SCHEDULE

OPENING NO.	R.O. WIDTH	R.O. HEIGHT	TYPE	QUANTITY	REMARKS
A	-	-	-	-	NOT USED
B	3'-0"	1'-6"	GLASS BLOCKS	1	6 OVER 3 STACKED GLASS BLOCKS
C	3'-6"	5'-6"	DOUBLE HUNG	1	
D	2'-6"	5'-6"	DOUBLE HUNG	4	
E	2'-6"	6'-8"	SINGLE GLAZED PATIO DOOR	1	

WINDOW SCHEDULE NOTES:

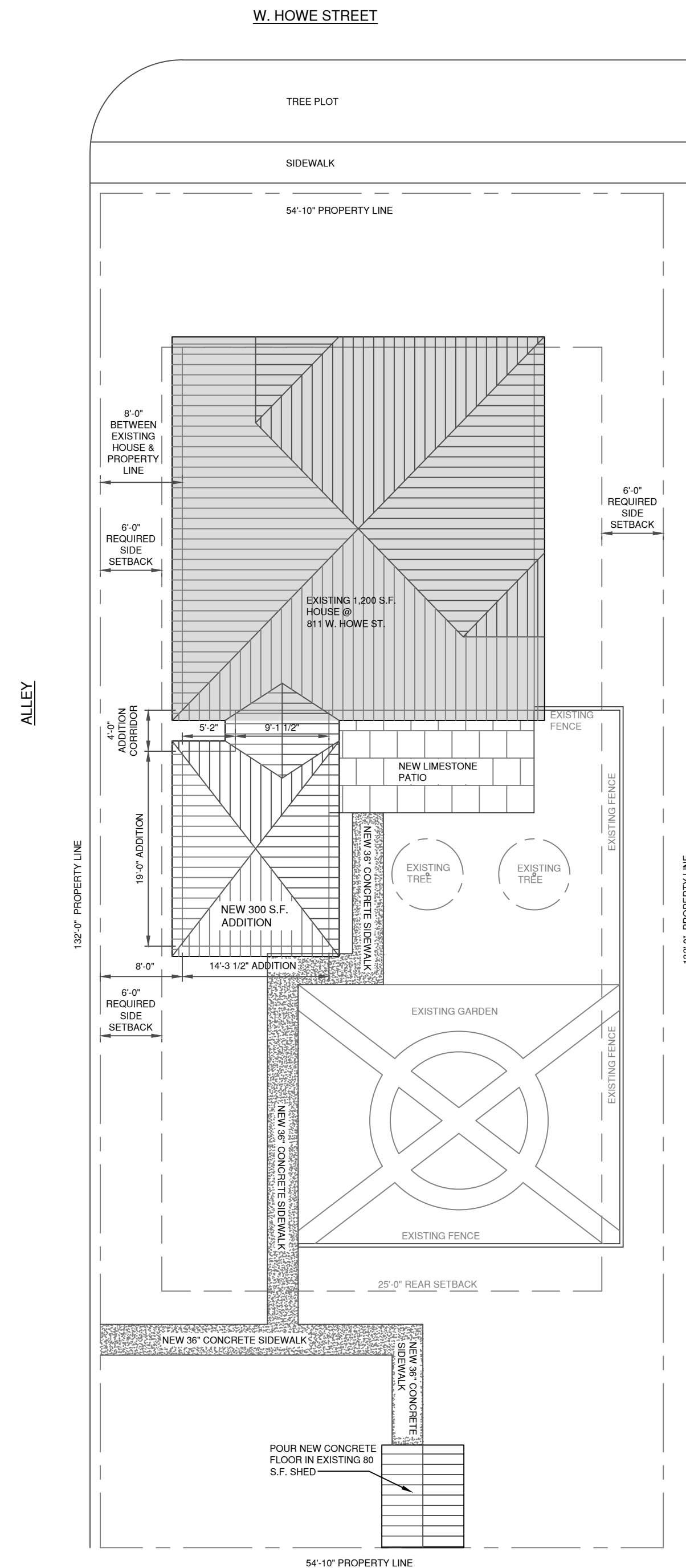
- VERIFY WINDOW MANUFACTURER WITH CONTRACTOR AND OWNER
- VERIFY HARDWARE/OTHER OPTIONS WITH OWNER
- VERIFY WALL THICKNESS FOR PROPER JAMB EXTENSIONS

DOOR SCHEDULE

OPENING NO.	ROOM NAME	R.O. WIDTH	R.O. HEIGHT	TYPE / LOCKSET	REMARKS
1					
2					
3					
4	UTILITY CLOSET	2'-8"	6'-8"	PASSAGE	WALL MOUNT SLIDING LOUVERED (FOR VENTILATION) BARN DOOR
5	HALL BATHROOM	3'-0"	6'-8"	PRIVACY	POCKET DOOR
6	BEDROOM	2'-8"	6'-8"	PRIVACY	POCKET DOOR
7	CLOSET	3'-0"	6'-8"	PASSAGE	SLIDING CLOSET DOORS

ALL INTERIOR DOORS TO BE INSTALLED BY OWNER

DOOR SCHEDULE NOTES:



SITE PLAN

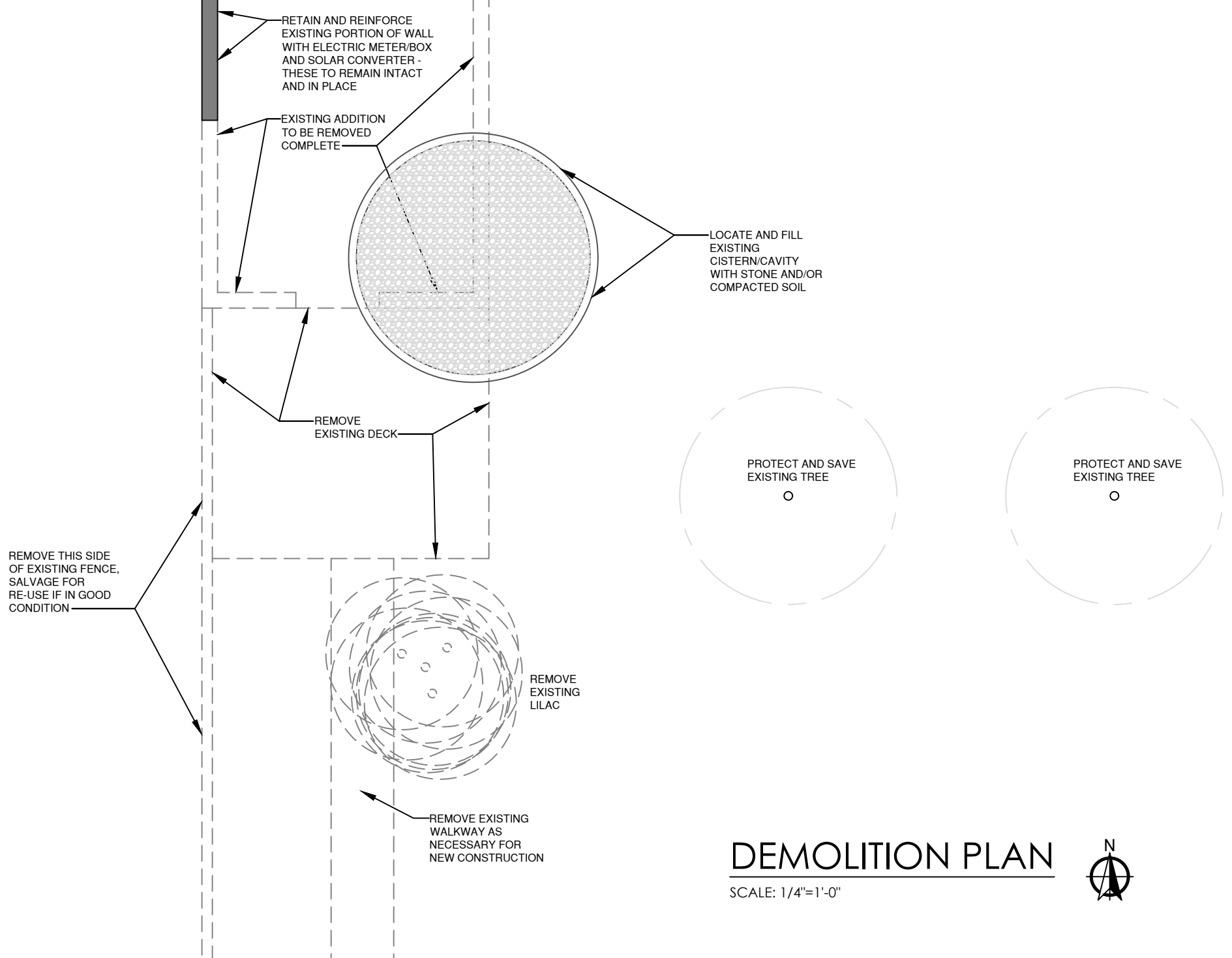
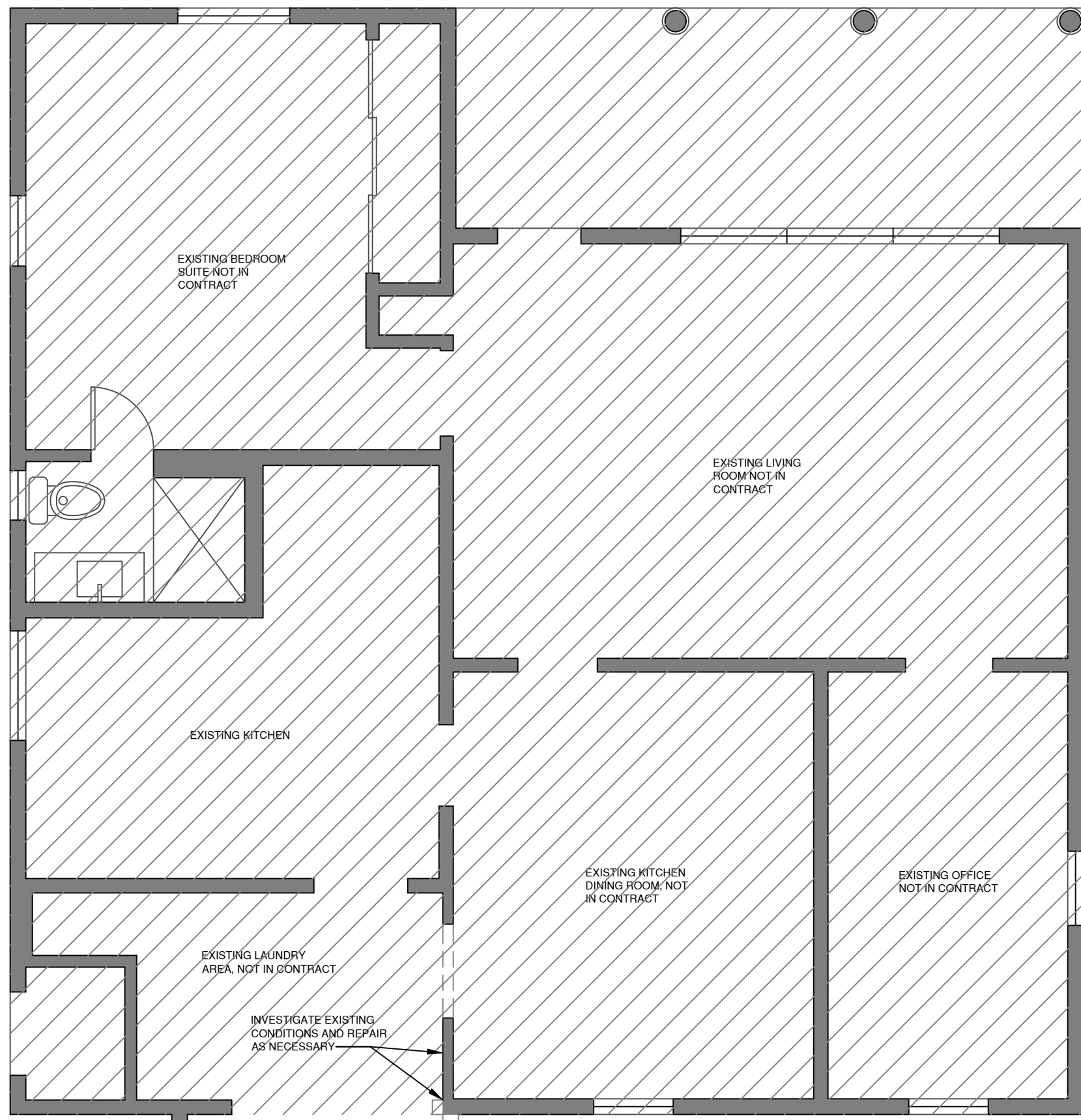
SCALE: 3/32"=1'-0"

L. NOGGLE DESIGNS
Architectural Design

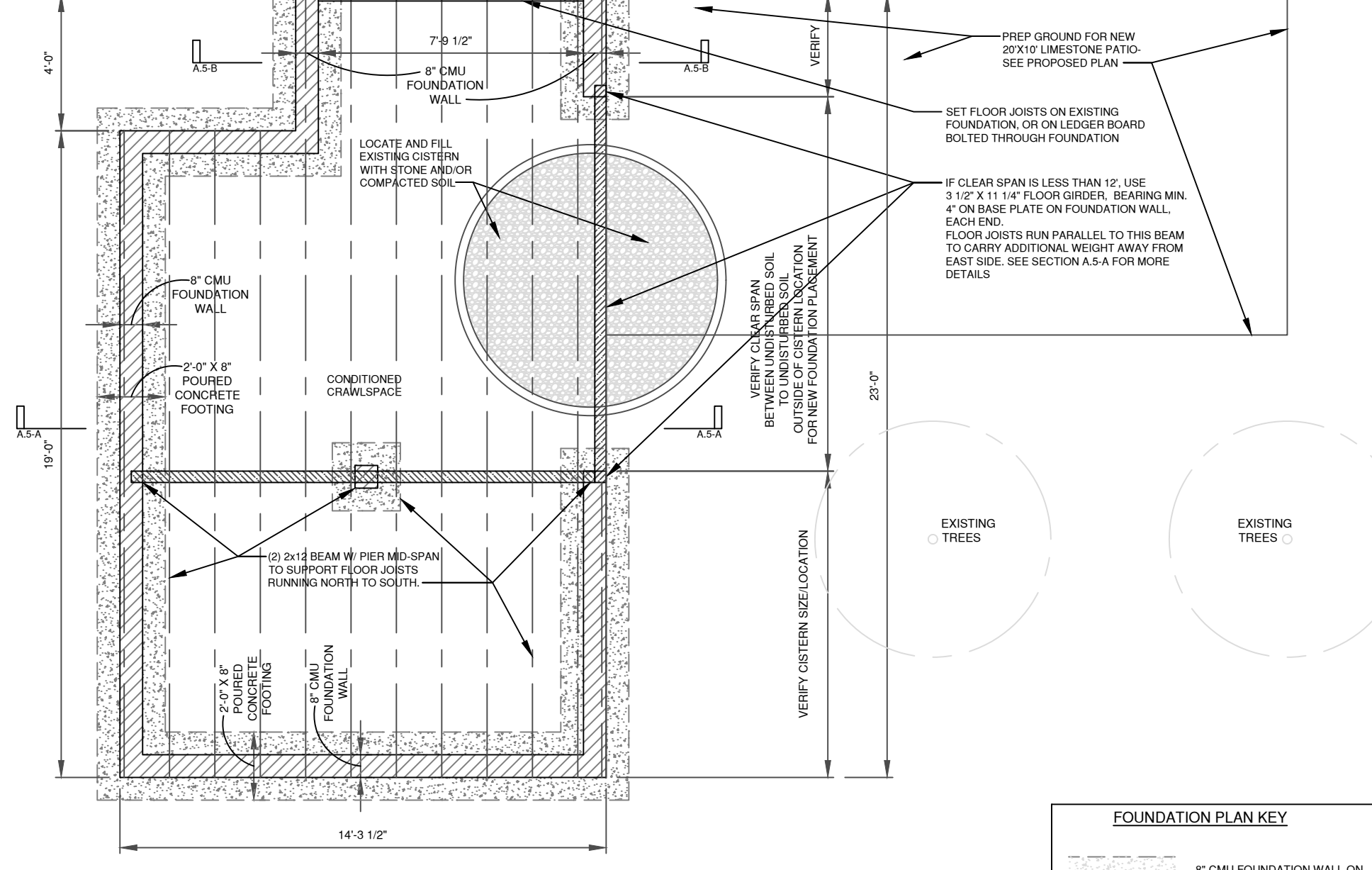
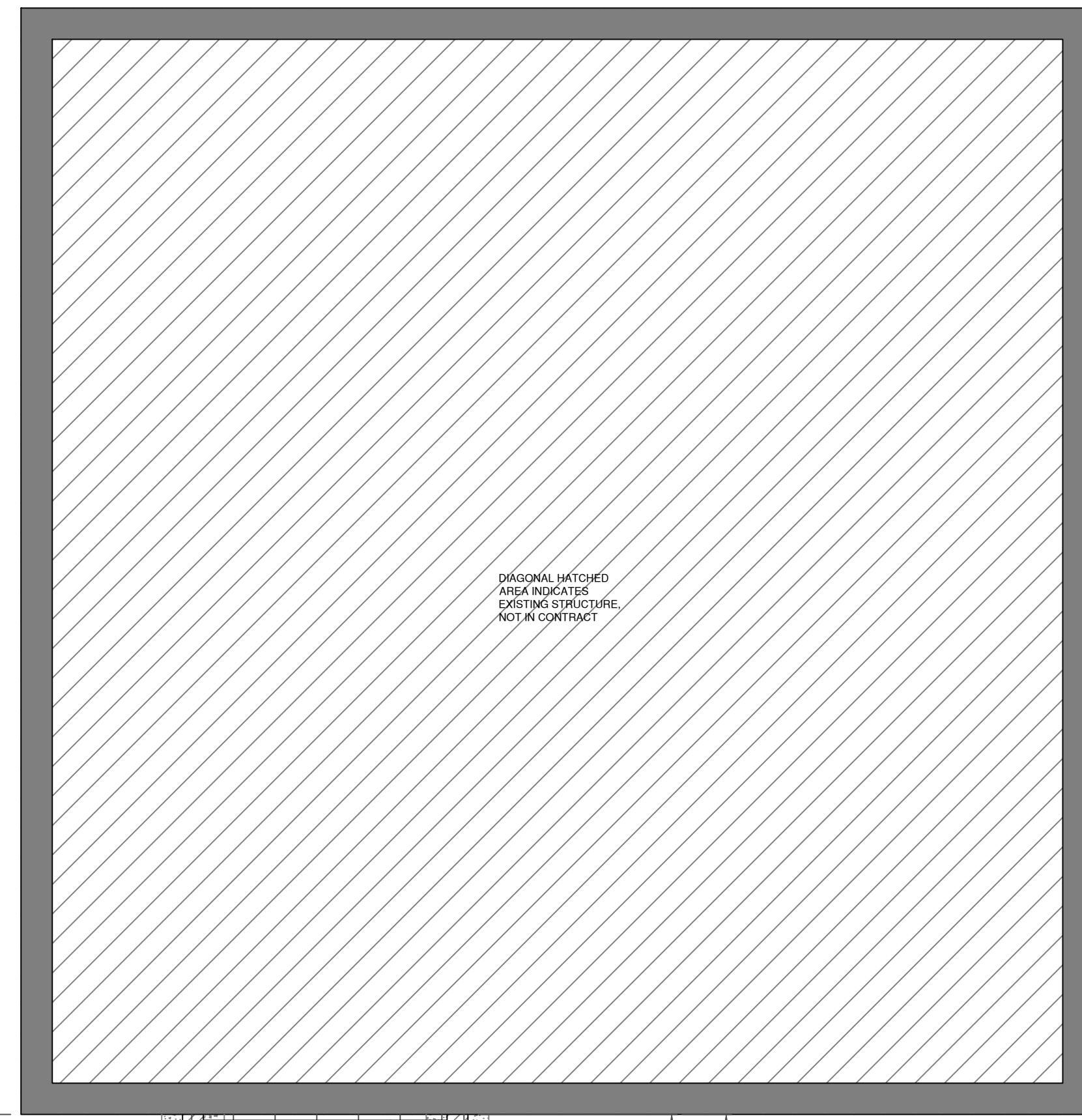
RESIDENTIAL ADDITION AND RENOVATION
MURRAY-BUMBALOUGH RESIDENCE
811 W. HOWE ST.
BLOOMINGTON, INDIANA

PROJECT NUMBER:
2106
DATE:
MAY 14, 2021
DRAWN BY:
L. NOGGLE

S.1

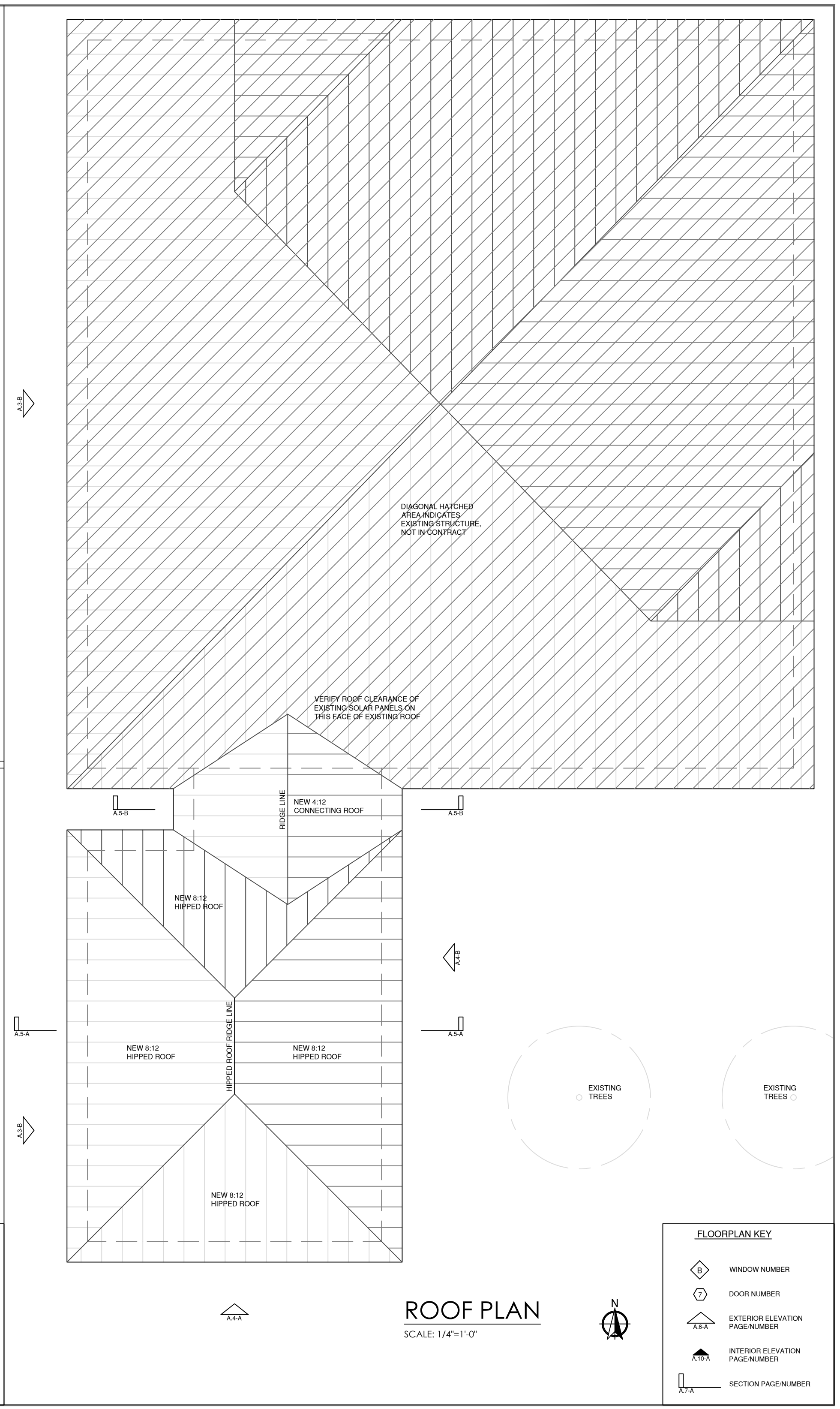
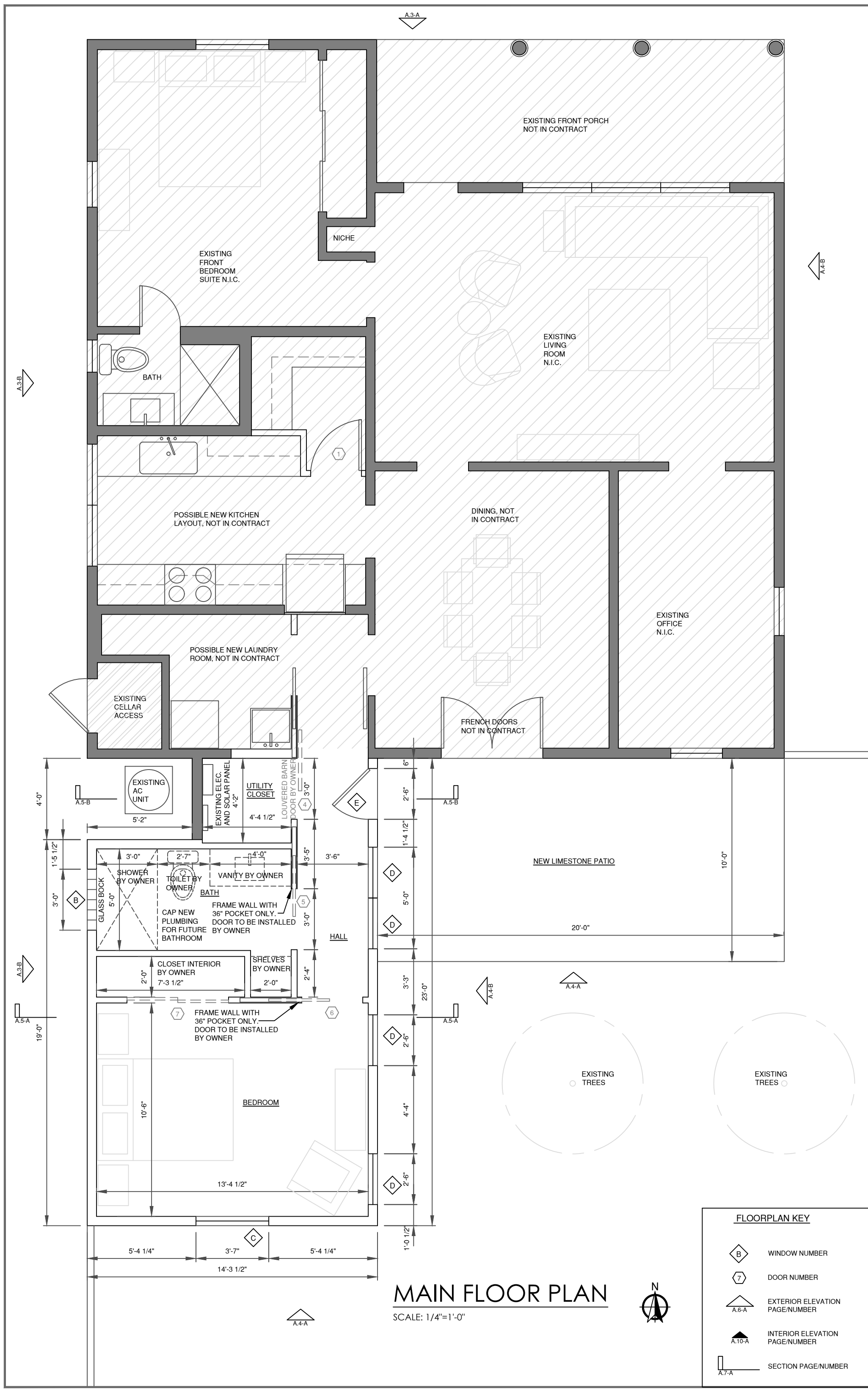


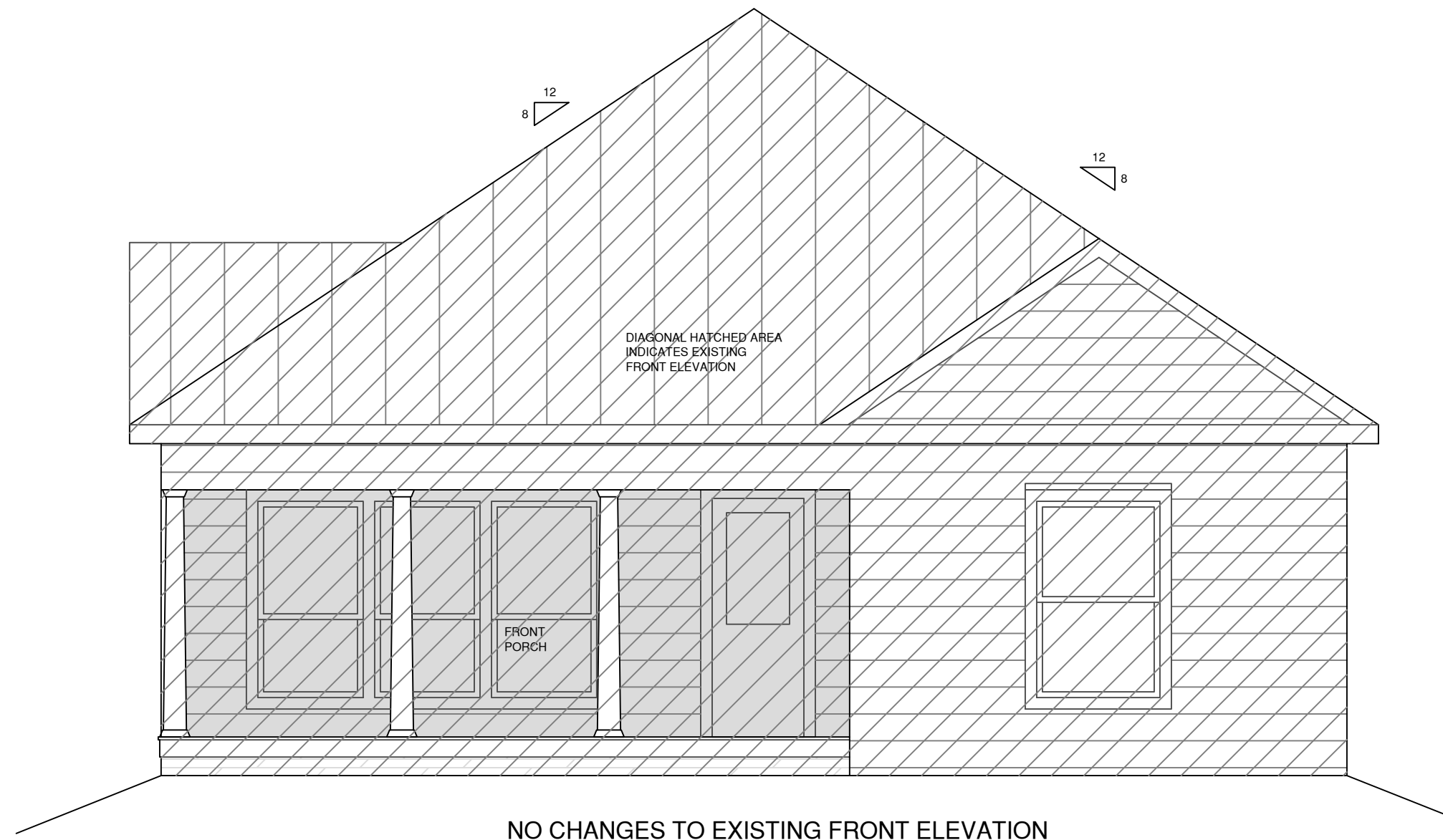
DEMOLITION PLAN
SCALE: 1/4"=1'-0"



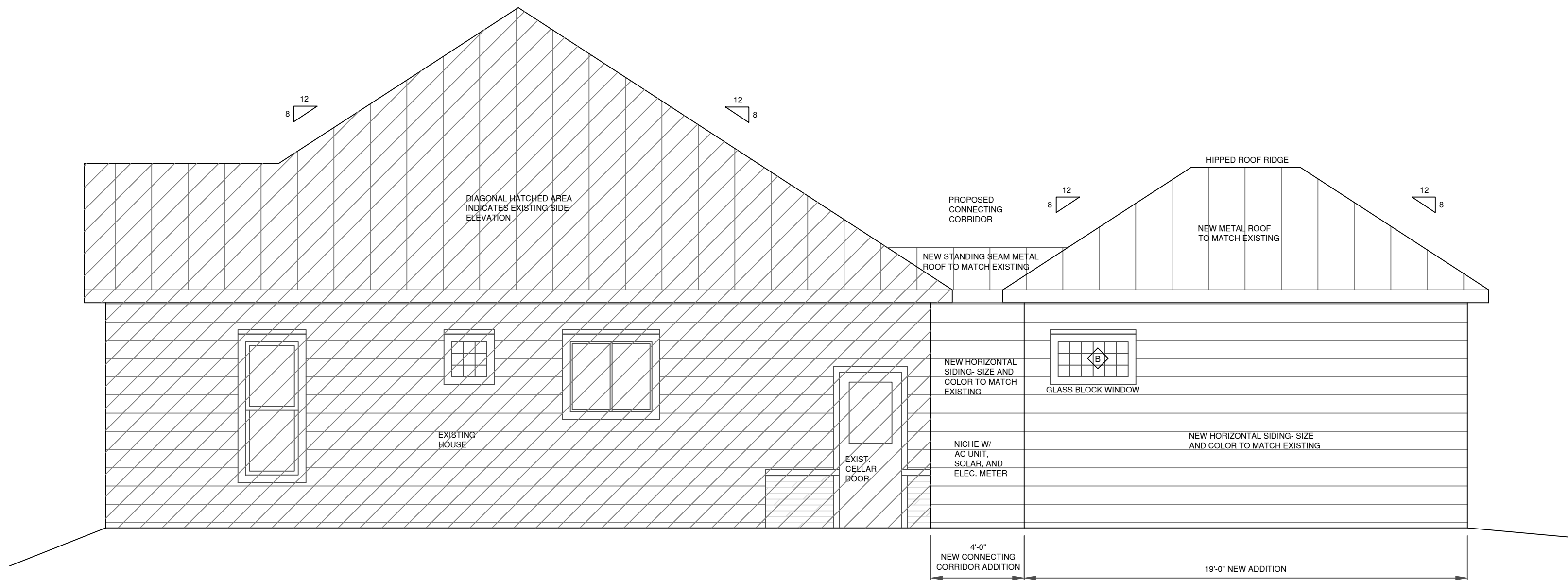
FOUNDATION PLAN
SCALE: 1/4"=1'-0"

FOUNDATION PLAN KEY	
	8" CMU FOUNDATION WALL ON 24"x8" CONTINUOUS POURED CONCRETE FOOTING
	SECTION PAGE NUMBER

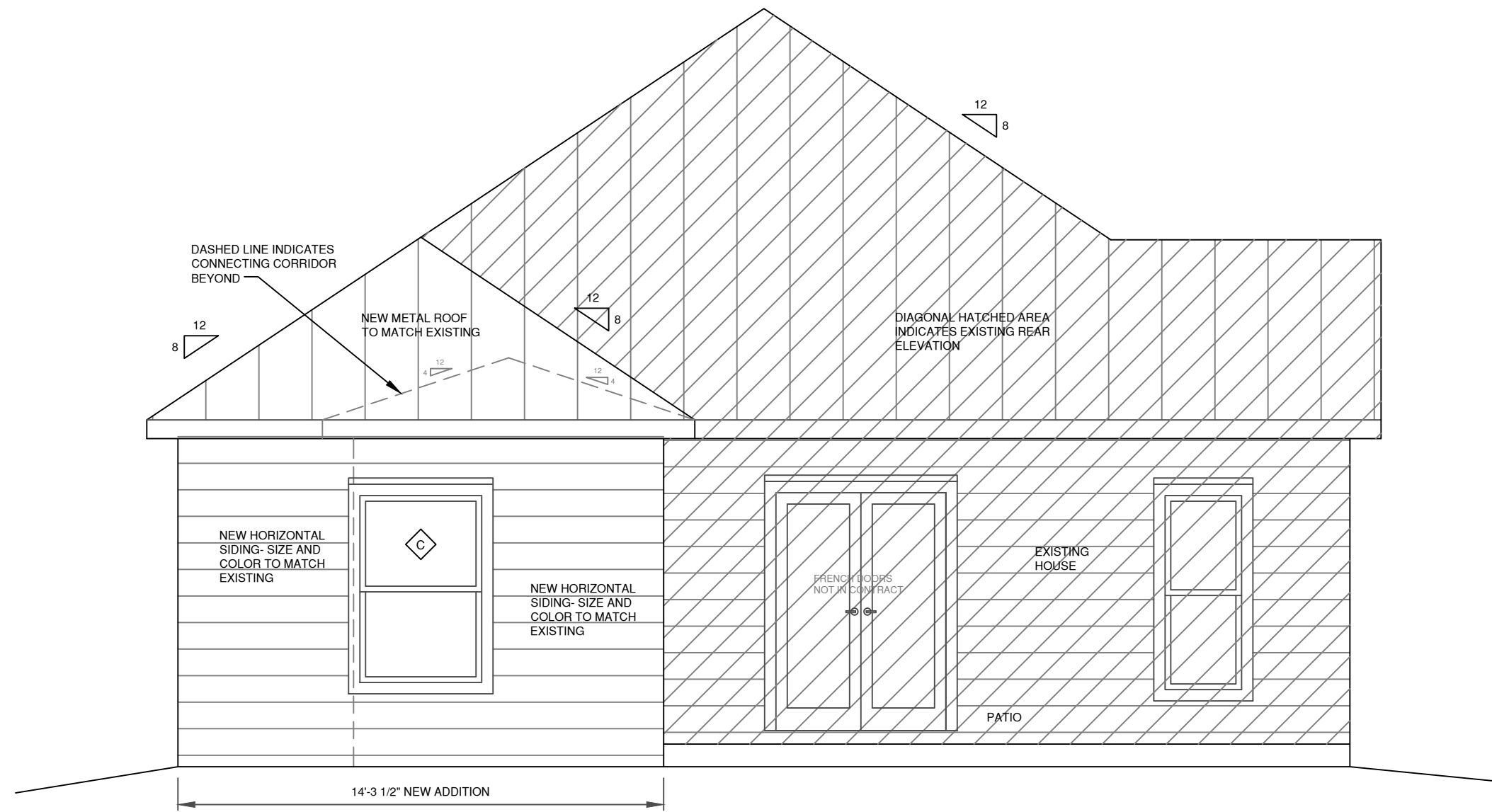




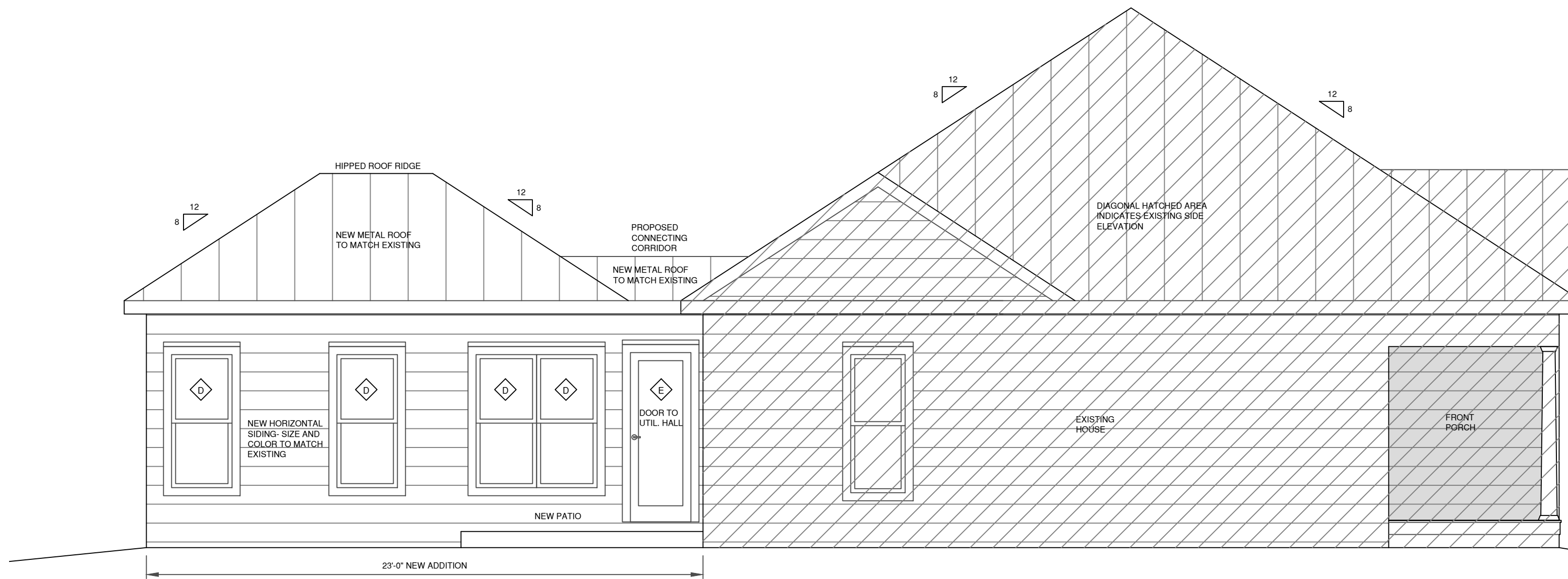
A NORTH ELEVATION
FRONT EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



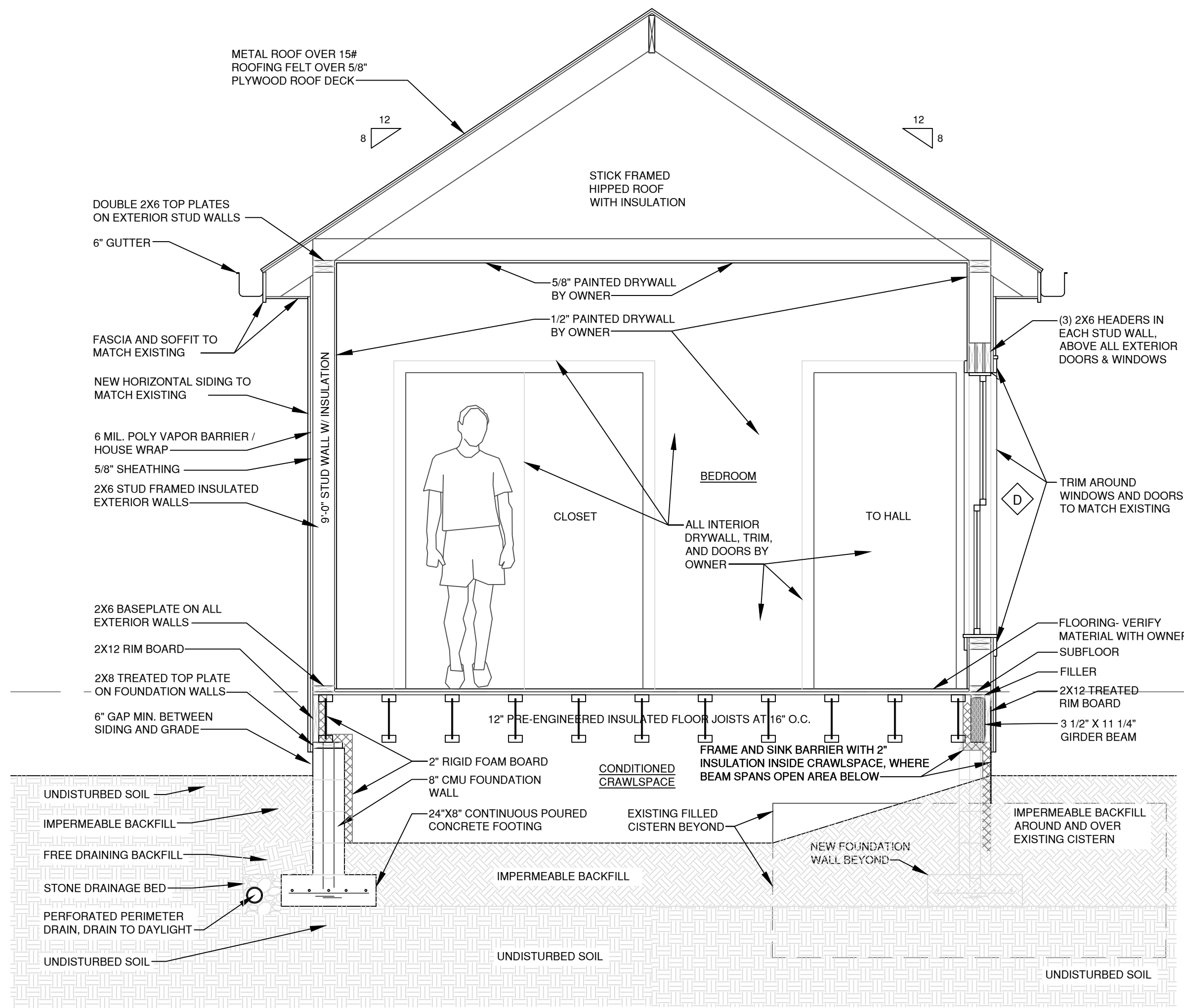
B WEST ELEVATION
SIDE EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



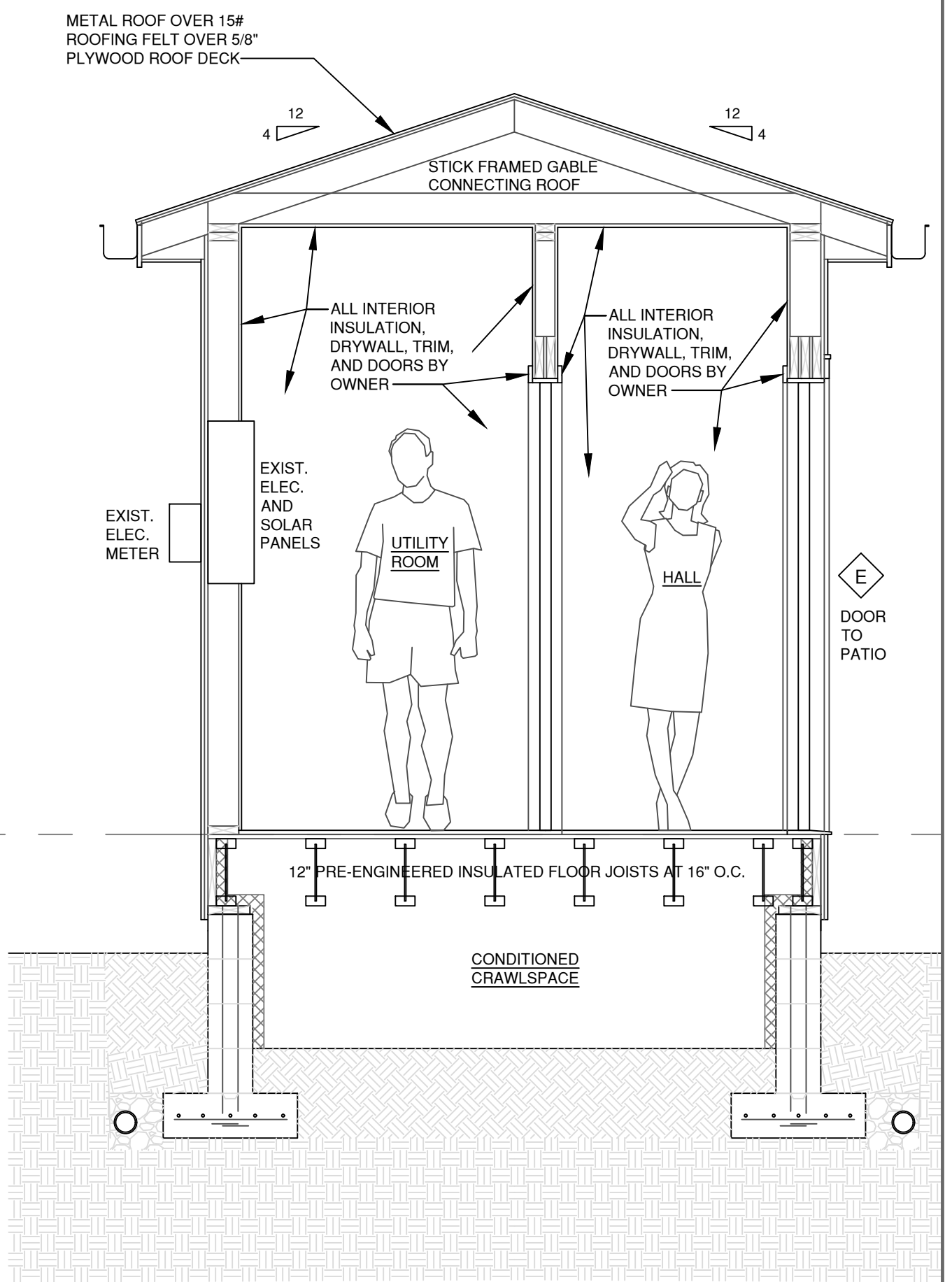
A SOUTH ELEVATION
REAR EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



B EAST ELEVATION
SIDE EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



A BUILDING SECTION
SCALE: 1/2"=1'-0"



B BUILDING SECTION
SCALE: 1/2"=1'-0"

L. NOGGLE DESIGNS
Architectural Design

RESIDENTIAL ADDITION AND RENOVATION
MURRAY-BUMBALOUGH RESIDENCE
811 W. HOWE ST.
BLOOMINGTON, INDIANA

PROJECT NUMBER:
2106
DATE:
MAY 14, 2021
DRAWN BY:
L. NOGGLE

A.5

PH 812.320.5865
Inoggle@gmail.com

COA: 21-30

Address: 904 W. 2nd Street

Staff Recommendation

Petitioner: David Ondrik

Parcel #: 53-08-05-113-011.000-009

Rating: Contributing

Structure: House, Arts and Crafts/California Bungalow, c. 1900



Background: The property is located in the Greater Prospect Hill Local Historic District.

Request: Demolish and rebuild limestone wall in the same style reusing as much existing material to prevent collapse

Guidelines: Greater Prospect Hill District Design Guidelines,

- No products imitating the “grain” of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials (pg. 25).
- Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA (pg. 26).

Recommendation: Staff APPROVES COA 21-30 with the following comments:

1. Keep the new design as close to the existing one as possible, taking into consideration salvaged materials as well as improvements to drainage and structural stability.

B. CHANGES TO THE PUBLIC WAY FAÇADE

The following Public Way Façade guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.

Changes to the public way façade shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: The **public way façade** refers to the side of the house that faces the street to which the house has a public postal address. In the case of corner lots, both the postal street as well as the cross street are considered public way façades.

The intent of the GPHHD (Greater Prospect Hill Historic District) is to encourage homeowner improvements and maintenance of properties that are compatible with the original character of the homes.

Existing architectural details (specifically original historic elements) for windows, porches, doors and eaves on the public way façade shall be retained or replaced in the same style or in a design appropriate to the character of the house or streetscape.

1. Retain the proportions of all original openings (e.g., doors, windows, etc.). Replacement of windows and doors determined to be original should duplicate the original in size and scale in ways that do not visually impact the public way façade of the house and continue to reflect the period of the house. (For issues regarding accessibility, see Section VII, Safety and Access, found on page 27.)
2. Retain siding determined to be original. If using alternative materials as siding, the homeowner should use material that is compatible with the original material's character. For example, horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the "grain" of wood should be used. Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
3. Vinyl and aluminum siding may be used, although care should be taken during installation to retain original materials where they exist (e.g., door and window trim and underlying siding if it is original).

Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles. (See Section C, Removal of Original Materials, found on page 26).

Prioritize the retention of the roof's original shape as viewed from the public way façade. Chimneys may be removed unless they are an outstanding characteristic of the property.

C. REMOVAL OF ORIGINAL MATERIALS

The following Removal of Original Materials guidelines are new and were not found in the 2008 Prospect Hill Conservation District Guidelines. The addition of these guidelines is necessary to address the elevation of the Prospect Hill Conservation District to a Historic District.

Removal of original materials shall be reviewed for COA (Certificate of Appropriateness) approval by HAND (Housing and Neighborhood Development) staff. Either the homeowner or HAND staff may appeal to the BHPC (Bloomington Historic Preservation Commission) for further review.

The following guidelines relate to the above actions and they are enforceable by the BHPC.

Definition: In general, **original material** refers to the material and elements first used on the structure, but may also include materials used in subsequent updates to the house. (Note that some, many, or all original materials may already have been removed from the structure, while in other cases, some original materials may exist but remain hidden under more recently added materials.)

1. Retain historical character-defining architectural features and detailing, and retain detailing on the public way façade such as brackets, cornices, dormer windows, and gable end shingles.
2. Avoid removing or altering historic material or distinctive architectural features, like those listed. If materials are original and in good shape, means with which to keep them intact should be explored. If the existing material cannot be retained because of its condition, document the material and its condition and apply for a COA. If the desire is to restore or renovate to a certain design or style, provide a replacement plan and apply for a COA.
3. Regarding removal of original siding, we encourage flexibility. If the homeowner wishes to use another material, then it should be consistent with the appearance of the original material.
 - Horizontal fiber cement siding with identical lap reveal is appropriate. When hardboard or concrete board siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood. No products imitating the “grain” of wood should be used.
 - Brick, limestone, clapboard, cement board, wood, shingles, stucco are recommended materials.
 - Vinyl or aluminum may be used as the primary exterior siding, although if underlying original materials remain (e.g., door and window trim, clapboard), care should be taken during installation of newer materials to protect them from cuts and removal (to preserve for possible future restoration). Vinyl and aluminum siding are also acceptable if used as a continuation of what is currently on the structure.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number:29-30_____

Date Filed:_____

Scheduled for Hearing: July 22, 2021

904 W 2nd St

Address of Historic Property: _____

David Ondrik

Petitioner's Name: _____

904 W 2nd St

Petitioner's Address: _____

503-334-6740

Phone Number/e-mail: _____

David Ondrik

Owner's Name: _____

904 W 2nd St

Owner's Address: _____

503-334-6740

Phone Number/e-mail: _____

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. Bloomington Longview Lot 12, Perry Township, Monroe County

2. A description of the nature of the proposed modifications or new construction:

The limestone retaining wall along 2nd street is crumbling and shifting forward. To prevent collapse
we intend to demolish the current wall, save as many pieces of limestone as we can,
and rebuild a wall in the same style with new Indiana limestone. The dirt will be dug out behind
and backfilled with gravel and dirt to update the drainage and prevent premature
decay. Description from contractor Baker Stone Work is attached below.

3. A description of the materials used.

Indiana limestone, mortar, rock, gravel, PVC piping.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

BAKER STONE WORK
1545 Hupp Road
BLOOMINGTON, IN 47401
812-824-2004 office/ 812-824-6500 fax
812-327-7977 Mike's Jone's cell
812-327-3242 Charles Nelson cell
Email charley.bakerstonework@gmail.com

Proposal for: Becky Holtzman 904 W. 2nd Street 327-1330 email:
becky@beckytomato.com

Date: March 17, 2020

Dismantle limestone retaining wall from corner to corner along front of property saving all salvageable stone, dismantle stone steps

Dig back bank as needed, relay wall using original stone and adding new stone as needed

Re set steps, (2 deteriorated steps will be replaced with new ones)

Place perforated pipe behind wall, place 1 ½" drain pipes through base of wall approx. every 4'

Bury downspouts from both front corners of porch through existing opening in base of wall

Backfill with crushed stone to 1' of grade and backfill remainder with soil



904 W 2nd St,
Bloomington, IN 47403

**Red line above highlights
the retaining wall.**

W 2nd St

W 2nd St













COA: 21-31

Staff Recommendation

Rating: Non-Contributing

Address: 1016 W. Kirkwood

Petitioner: Dawn Gray, Springpoint Architects

Parcel #: 53-05-32-410-041.000-005

Structure: New Structure

Saddlebag c. 1900/1955, demolished (COA: 20-1)



Background: The property is located in front of the cemetery in the Near West Side Conservation District.

Request: New construction of a one and a half story home with gable-form with an inset porch and new one and a half story garage.

Guidelines: Near West Side Conservation District Design Guidelines, pg. 29

- If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed.
- Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.
- Any building height that appears either diminutive or overscale in relation to its context (pg. 29).

Recommendation: Staff recommends **CONDITIONAL** approval of COA 21-31

Staff recommends **Approval** of the following items:

1. The use of proposed materials including fiber cement lap siding (pg. 20), asphalt shingles for the roof , fiber cement panels, composite trim, wood frame construction, and the limestone veneer at the base as these are consistent with the allowed materials in the NWS Design Guidelines.
2. The setbacks for both the main house and garage structure.
3. The measurements and proportions of the floor plan for the main house and garage.

Staff recommends **Redesign** of the following:

1. The height is in keeping with the larger historic context but is overscale in the immediate context of the neighboring structures and for the specific gable design of the Backs House. Therefore staff recommends providing a separate porch roof as is customary in two story and one and a half story houses in the Near West Side neighborhood (double pen, hall and parlor, foursquare houses) or creating a setback for the second story similar to that of the back façade and to bungalows found in the historic district in order to scale the structure to its historical context.

Examples of Traditional House Forms in the Near West Side



Double Pen: 513 W. 7th Street, c. 1900



Shotgun House: 904 W. 7th Street, c. 1925



Hall and Parlor: 418 N. Maple Street, c. 1915



I-House: Old Boarding House (now Recovery Engagement Center; with side and rear additions clearly visible), 221 N. Rogers Street, c. 1850



Gabled Ell: 1125 W. 7th Street, c. 1900



Pyramidal Roof Cottage: 1101 W. 8th Street, c. 1905



T-plan Cottage: 722 W. 8th Street, c. 1905



Bungalow: 722 W. 6th Street, c. 1925



Foursquare: 210 N. Elm Street, c. 1920

MASS

Definition: The three-dimensional outline of a building, including the perception of the general shape and form as well as size of a building. See the architectural description of traditional forms provided in the introduction for guidance. The overall massing of a building relates to the organization and relative size of the building sections or pieces of a building.

RECOMMENDED

1. The perceived total mass and site coverage of a new building should be consistent with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.

FOUNDATION/ FIRST FLOOR ELEVATION

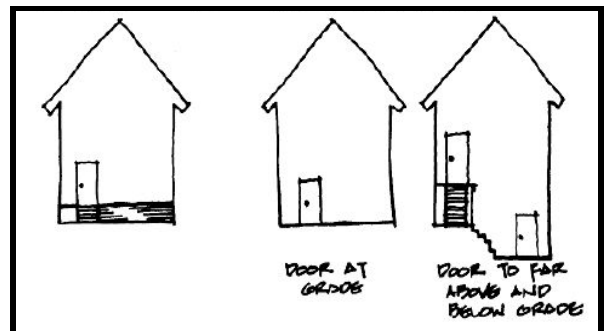
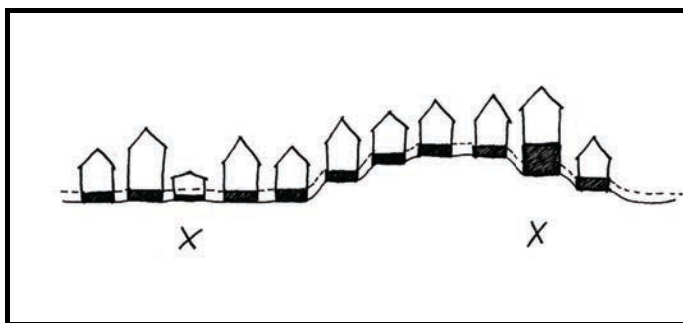
Definition: The supporting base upon which a building sits and the finished elevation of the living space.

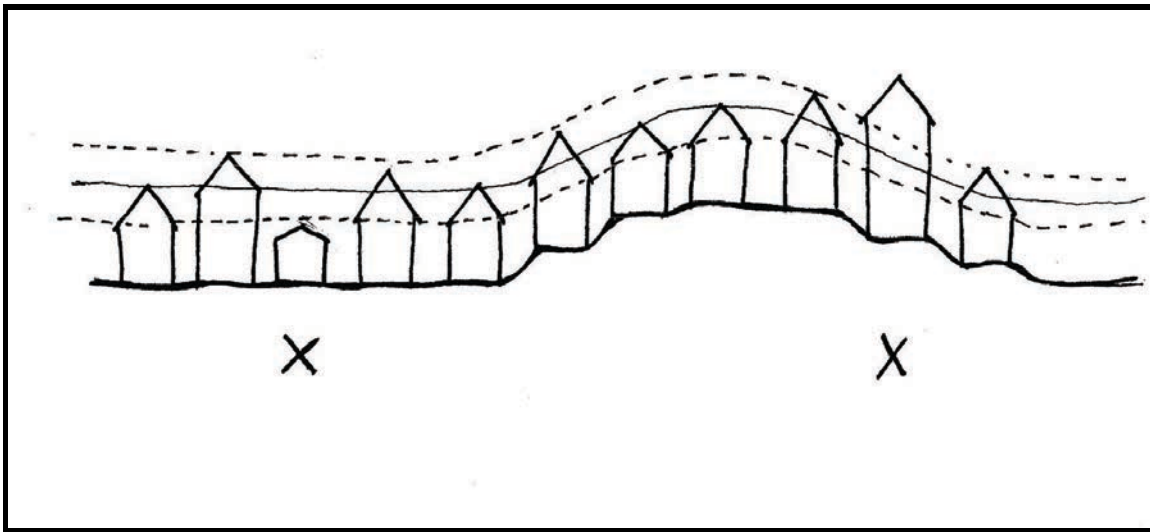
RECOMMENDED

1. New construction first-floor elevation and foundation height should be consistent with contiguous buildings.

NOT RECOMMENDED

1. High, raised entrances if surrounding buildings are raised only two or three steps off the ground.
2. Designs that appear to hug the ground if surrounding buildings are raised on high foundations.





BUILDING HEIGHT/ SIDE SETBACK

Definition: The relationship between the height of the house and the distance between houses.

RECOMMENDED

1. A new house of the same height as existing houses may be as close to them as they are to each other.
2. A new house that is taller than the house next to it must be set back further from the side property line than existing houses.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: 21-31

Date Filed: _____

Scheduled for Hearing: July 22, 2021

Address of Historic Property: 1016 W Kirkwood

Petitioner's Name: Dawn Gray, Springpoint Architects

Petitioner's Address: 213 S. Rogers Street

Phone Number/e-mail: 812 219-1271/dawn@springpointarchitects.com

Owner's Name: Del and Kelly Backs

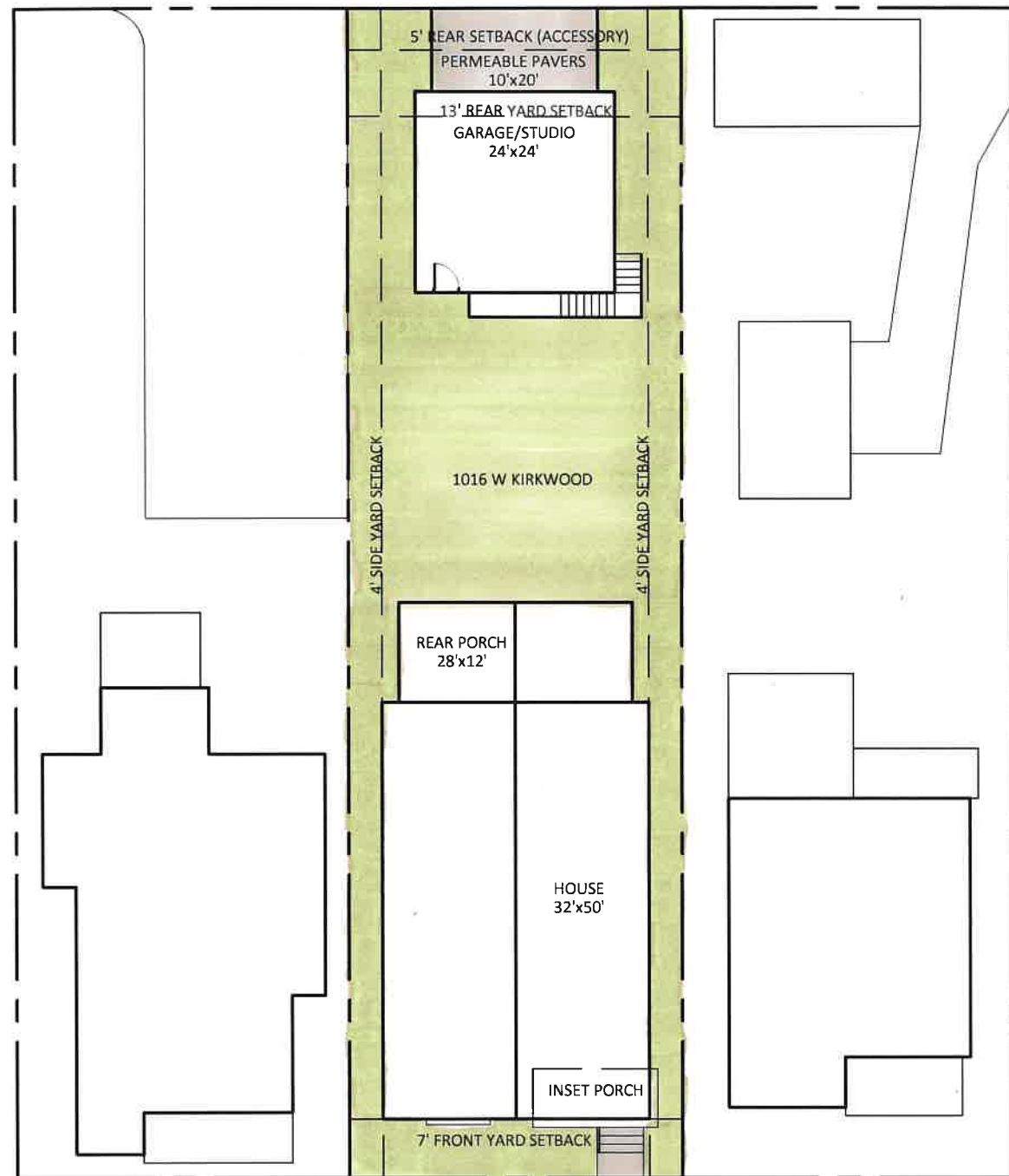
Owner's Address: 4405 Golf View Dr., Spencer, IN 47460

Phone Number/e-mail: 812 325-6747/dbacks@racetrackers.com

Instructions to Petitioners

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ALLEY



1016 W KIRKWOOD

REAR PORCH
28'x12'

HOUSE
32'x50'

INSET PORCH

7' FRONT YARD SETBACK

SIDEWALK

WEST KIRKWOOD AVENUE

SITE PLAN

SCALE: 1:20'



BACKS RESIDENCE
BLOOMINGTON, INDIANA



SUBJECT PROPERTY (FROM REAR) - 1016 W KIRKWOOD



STREET VIEW (TO WEST)



STREET VIEW (TO EAST)



EXAMPLE 1 - 803 W 6TH STREET



EXAMPLE 2 - 112 MAPLE STREET



EXAMPLE 2 - 111 S ROGERS STREET



SECOND FLOOR
ELEVATION 10'-0"

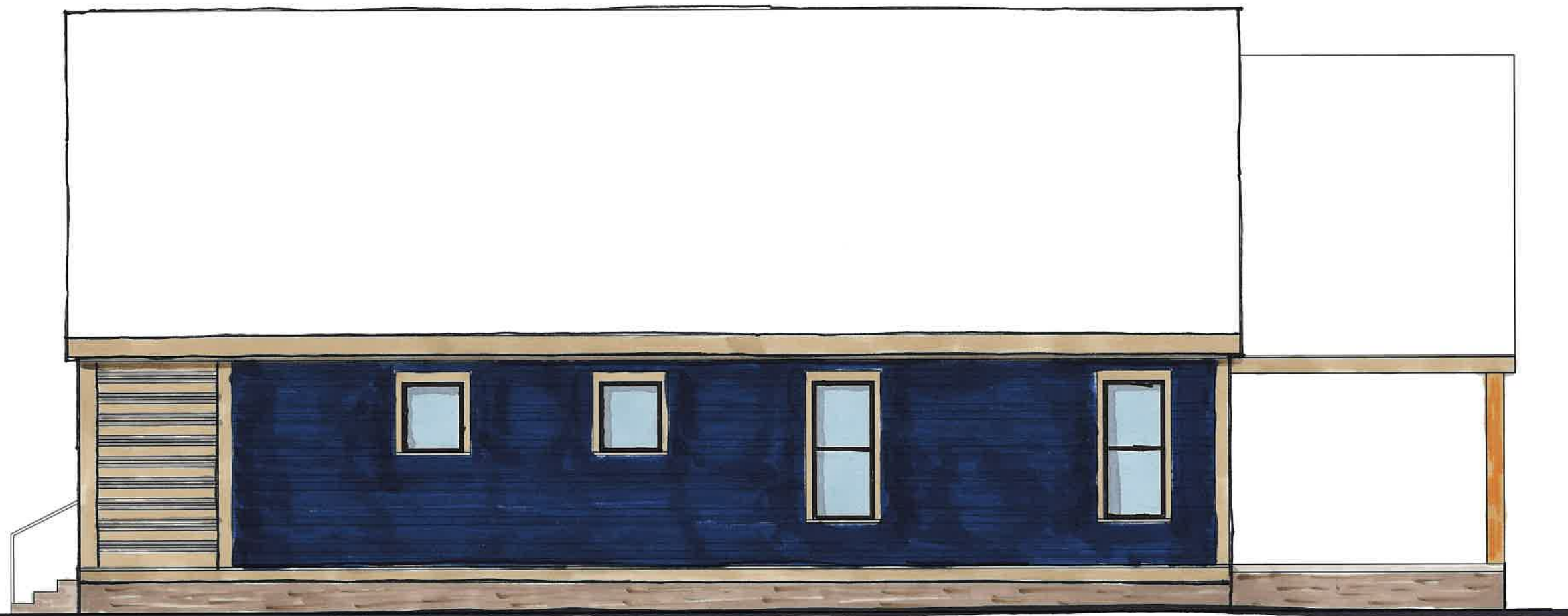
FINISH FLOOR
ELEVATION 0'-0"

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

SECOND FLOOR
ELEVATION 10'-0"

FINISH FLOOR
ELEVATION 0'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

SECOND FLOOR
ELEVATION 10'-0"

FINISH FLOOR
ELEVATION 0'-0"

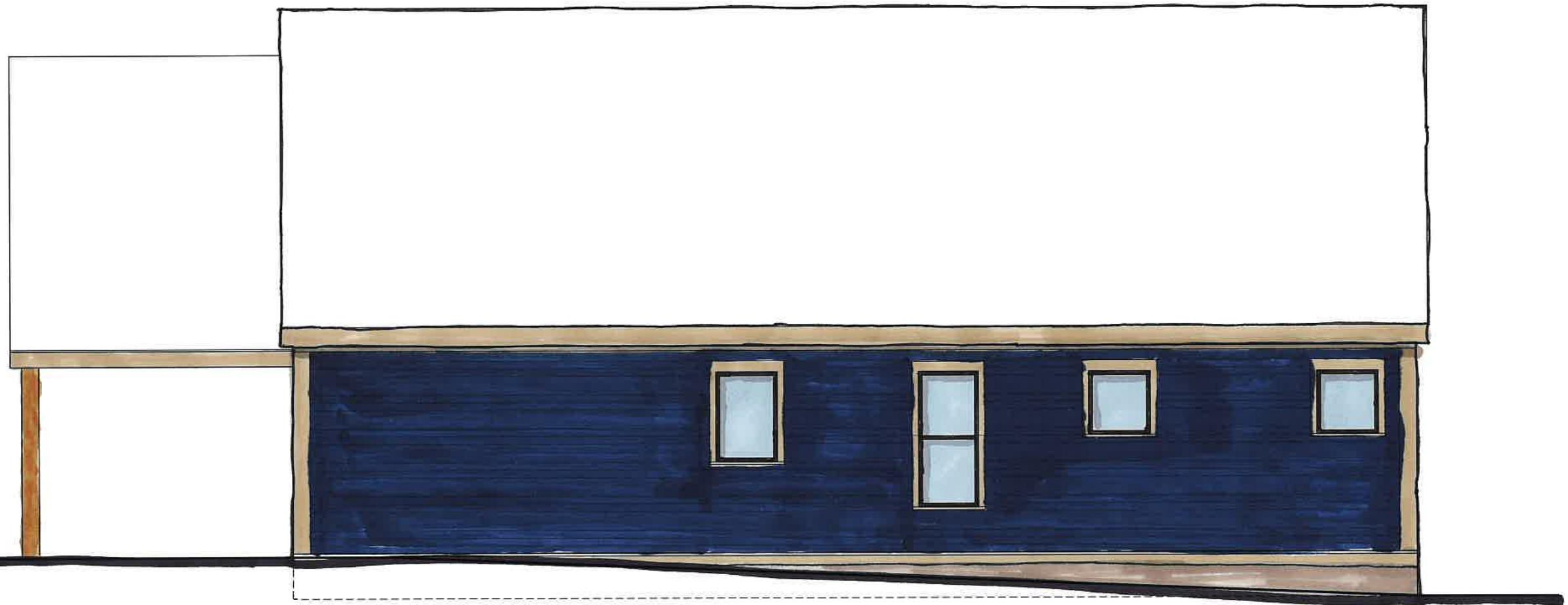


NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SECOND FLOOR
ELEVATION 10'-0"

FINISH FLOOR
ELEVATION 0'-0"



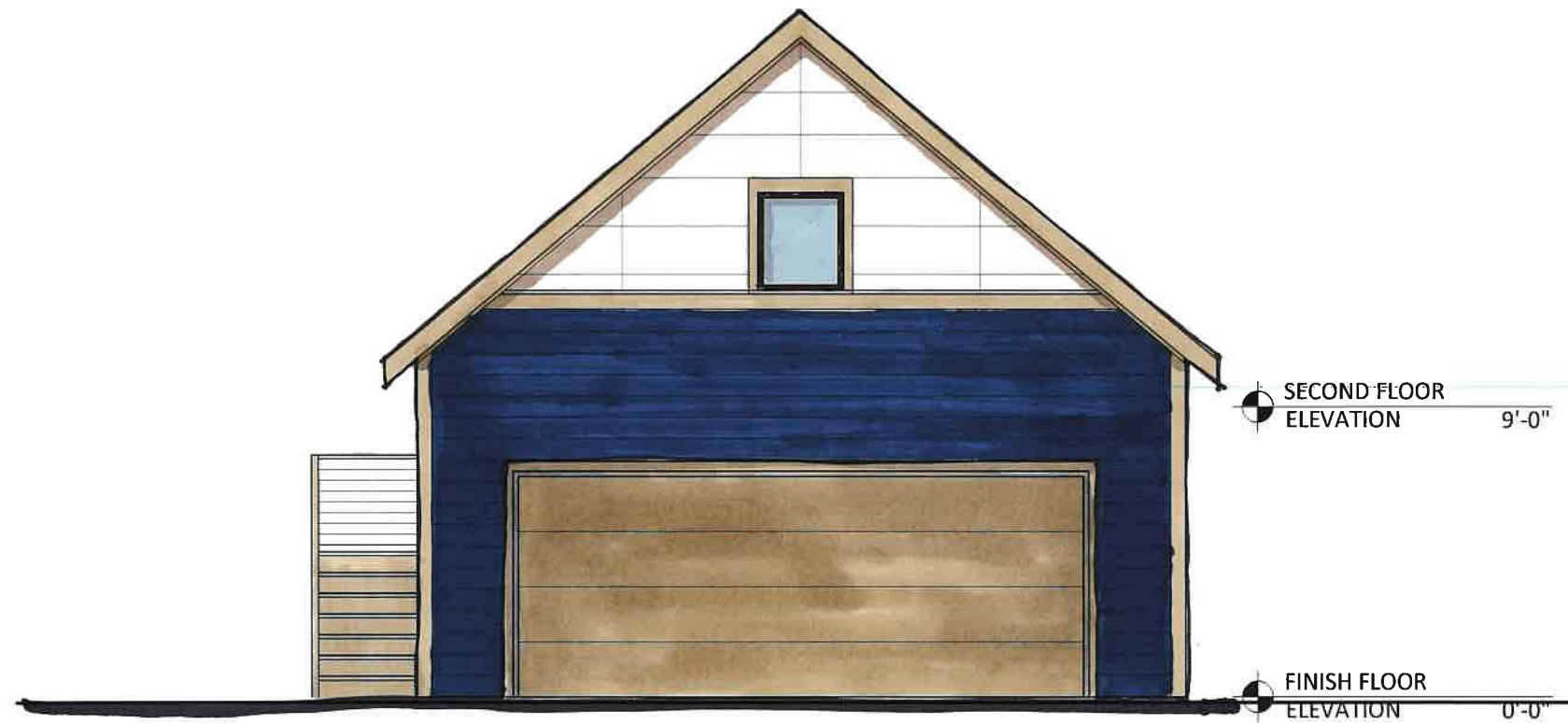
WEST ELEVATION

SCALE: 1/8" = 1'-0"



GARAGE
SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BACKS RESIDENCE
BLOOMINGTON, INDIANA



GARAGE
NORTH ELEVATION
SCALE: 3/16" = 1'-0"

BACKS RESIDENCE
BLOOMINGTON, INDIANA



STREET ELEVATION

SCALE: 1/8" = 1'-0"

BACKS RESIDENCE
BLOOMINGTON, INDIANA

COA: 21- 32

Address: 601 S Ballantine Rd

Staff Recommendation

Petitioner: O'connor, Timothy W & Gail joint Revocable Living Trust

Rating: Contributing

Parcel #: 53-08-04-115-016.000-009

Structure: House, Colonial Revival c. 1935



Background: Located on the corner of Ballantine Rd and 2nd St in the Elm Heights Local Historic District

Request: Build deck addition (approximately 14' x 7', level with current deck 98 sq. ft.) and stairs from deck to the driveway below facing 2nd Street. Railing, lumber, posts, rim joists of treated wood to match existing deck.

Guidelines: Elm Heights Historic District Guidelines (pg. 30)

- Employ materials appropriate to the neighborhood, such as stone, brick, or materials suggested by the style of the house, when constructing any additions..
- Decks should be constructed well behind the primary facade. Although wood is the preferred building material, some composite decking materials may be considered.
- All new construction should be self-supporting, not anchored into masonry foundations, and be removable without destroying historic materials.

Recommendation: Staff **APPROVES COA 21-32** for the following reasons:

- The addition is minimal and consists of an addition to an existing deck. It is distant from the secondary artery way (2nd street) and does not impact the primary façade in any way.
- Wood is used as the main material and to match the existing deck.

5.2 Patios, Terraces, and Decks

Lovely historic terraces and patios of both brick and limestone can be seen throughout Elm Heights. Outdoor entertainment and relaxation areas were commonly built into the design of many of the homes in the neighborhood; they included porches, patios, and both at-grade and rooftop terraces. Their appropriate placement is dependent on the house's style.

Preservation Goals for Patios, Terraces, and Decks

To preserve original patios and terraces and encourage historically correct addition of new ones.



Guidelines for Patios, Terraces, and Decks

A Certificate of Appropriateness (COA) is required for the following bolded, numbered items. The bullet points that follow each numbered item further assist applicants with the COA process

I. The removal or reconstruction of patios, terraces, or decks.

II. The addition of new patios, terraces, or decks.

- New patios or terraces should avoid disturbance of a property's character-defining features and be subordinate to the scale and mass of the home.
- Appropriately scaled, landscaped, and constructed patio seating areas may be permitted in front of the primary facade of the house with permission of the BHPC.
- Employ materials appropriate to the neighborhood, such as stone, brick, or materials suggested by the style of the house, when constructing any additions.
- Decks should be constructed well behind the primary facade. Although wood is the preferred building material, some composite decking materials may be considered.
- All new construction should be self-supporting, not anchored into masonry foundations, and be removable without destroying historic materials.

Things to Consider as You Plan

If a deck is being planned as an addition, consult with the BHPC for compatible materials. Wood decks must be sealed and require regular maintenance, so you may wish to consider a terrace or patio instead for a more maintenance-free structure. While decks are often added to the rear or side elevations of the house to lessen their street visibility, roof terraces on the side of the house are always visible from the street.



Rubber membranes are often used to give old rooftop terraces new life; consider painting the top of your new black membrane with an elastomeric reflective coating to make it more comfortable to walk on and to save on air conditioning.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number:21-32

Date Filed:_

Scheduled for Hearing: July 22, 2021

Address of Historic Property: _____

Petitioner's Name: _____

Petitioner's Address: _____

Phone Number/e-mail:_____

Owner's Name:_____

Owner's Address:_____

Phone Number/e-mail:_____

Instructions to Petitioners

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Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. _____

2. A description of the nature of the proposed modifications or new construction:

3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



Monroe County, IN

P&T Received
06/16/21
C21-306
Local District No Rental

06/16/2021

R-21-544

Residential Building Permit

Status: Active**Date Created:** Jun 16, 2021

Applicant

Brandon Sturgis
office@apexhslc.com
PO Box 7256
Bloomington, Indiana 47407
8123614365

Location

601 S Ballantine RD
Bloomington, IN 47401-5019

Owner:

O'Connor, Timothy W
601 S Ballantine Rd Bloomington, IN 47401-5019

Project Info

Addition**Addition Sq ft**

98

Scope of Project

New Deck area

Estimated Project Cost (Do not include the dollar symbol [\$.])

8,000

Building Type

Single Family (1 unit)

Primary Contractor

Contractor Name

Apex Home Services

Contractor Email

office@apexhslc.com

Contractor Registration #

NA

Contractor Phone #

812-361-4365

Project Details

First Floor Sq. Ft

0

Second Floor Sq. Ft

0

Deck sq.ft (30" + above grade)

98

Covered Porch(es) Sq. Ft

0

Attached Garage Sq. Ft

0

Detached Garage Sq. Ft

0

Basement Sq. Ft

0

Number of Bedrooms (Proposed)

0

Number of Bedrooms (Current)

2

Energy/Insulation Information

Performance Compliance

Foundation Type

Other

Roof Structure

N/A

Floor System

Wood Joist

Total Square Footage of project area

98

Will 5 or more acres be disturbed?

No

Is the property part of a Subdivision?

No

Site Specifications

Is this property on sewer?

Yes

Septic Permit #

NA

Is there an existing driveway that is pre-existing on the site?

Yes

Will there be structural changes made to the pre-existing driveway?

No

Code Requirements

Plumbing Code

Indiana Residential Plumbing Code

Electrical Code

Indiana Residential Electrical Code

Certify Application

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

Brandon Sturgis

06/16/2021

Staff Dept Section - General

Staff Use - Building Front Office

Staff Use - Building Inspectors

Living and Non-Living Sq Ft Total

0

Planning Staff Review



Apex Home Services, LLC

PO Box 7256 Bloomington, IN 47407

812.361.4365

PROJECT SITE PLAN:

JOB GIS INFO:

Owner Name	O'connor, Timothy W & Gail Joint Revocable Living Trust
Owner Address	601 S Ballantine Rd Bloomington, In 47401
Parcel Number	53-08-04-115-016.000-009
Alt Parcel Number	015-21510-00
Property Address	601 S Ballantine Rd, Bloomington, In 47401-5019
Property Class Code	510
Property Class	1 Family Dwell - Platted Lot
Neighborhood	158 Trending 2006 - A, 53009151-009
Legal Description	015-21510-00 Outlook Lots 15 & 16

JOB SITE:





Apex Home Services, LLC

PO Box 7256 Bloomington, IN 47407

812.361.4365

PROJECT CONSTRUCTION PLAN:

JOB: Tim & Gail O'Connor

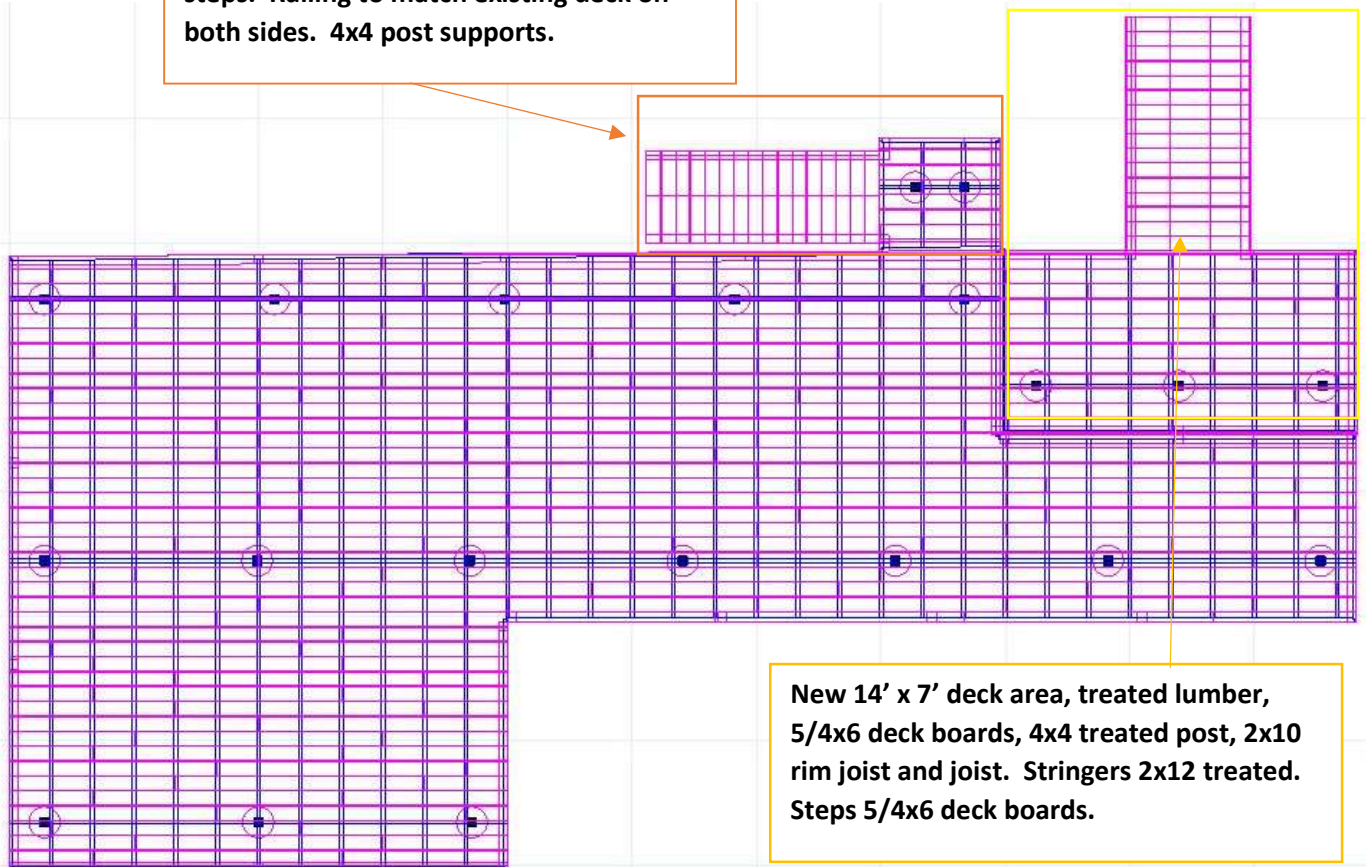
601 S Ballantine Road Bloomington, IN 47401

SCOPE OF WORK:

Construct new deck area, approximately 14' x 7' level with current deck. Constructed of treated lumber with construction to match current deck. Build steps down to yard from new deck area. Construct a new set of stairs that goes from the current deck to the driveway below. Constructed of treated lumber with construction to match current deck.

PLANS:

New stairs from deck down to driveway below. 2x12 stringers, 5/4 x 6 deck board steps. Railing to match existing deck on both sides. 4x4 post supports.



New 14' x 7' deck area, treated lumber, 5/4x6 deck boards, 4x4 treated post, 2x10 rim joist and joist. Stringers 2x12 treated. Steps 5/4x6 deck boards.