

# CITY OF BLOOMINGTON



August 4, 2021 @ 2:00 p.m.

Zoom Meeting:

<https://bloomington.zoom.us/j/99655921577?pwd=OFICT0t4UGVuL0ZMVU50OTZzUGNwUT09>

Meeting ID: 996 5592 1577

Passcode: 291914

CITY OF BLOOMINGTON  
HEARING OFFICER  
August 4, 2021 at 2:00 p.m.

\*Kelly Conference Room #155

❖Virtual Meeting Link:

<https://bloomington.zoom.us/j/99655921577?pwd=OFICT0t4UGVuL0ZMVU50OTZzUGNwUT09>

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**PETITIONS:**

- V-11-21      **Rimrock Storage Bloomington, LLC**  
1901 W. 3<sup>rd</sup> St.  
Request: Variance to allow a Building Feature (steps) to encroach into the front yard setback.  
*Case Manager: Jackie Scanlan*
- V-12-21      **Catalent Indiana, LLC**  
1300 S. Patterson Dr.  
Request: Variance from the maximum amount of wall signage allowed for an individual tenant.  
*Case Manager: Eric Greulich*

**GIS Map Link:** <https://arcg.is/qvizy0>

**\*\*Next Meeting: August 18, 2021**

*Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call [812-349-3429](tel:812-349-3429) or E-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).*

**BLOOMINGTON HEARING OFFICER  
STAFF REPORT  
LOCATION: 1901 W. 3<sup>rd</sup> Street**

**CASE #: V-11-21  
DATE: August 4, 2021**

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**PETITIONER:** Rimrock Storage Bloomington LLC  
343 NW Cole Terrace, Suite 201 Lake City, FL 32055

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**REQUEST:** The petitioner is requesting a variance Building Feature (steps) encroachment into front yard setback.

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**REPORT:** The property is located at 1901 W. 3<sup>rd</sup> Street and is zoned Mixed-Use Corridor (MC) and is currently developed with a self-storage facility. The surrounding properties to the north, east, and northwest are also zoned MC and are developed. The properties directly east and south are in the County planning jurisdiction. The property immediately to the south is part of this development. The site was previously zoned Commercial Arterial (CA).

This petition is being reviewed under the previous Unified Development Ordinance (UDO) per 20.01.040(b)(4) in the current UDO because the original site plan was filed under the previous UDO. The regulation that is the petitioner is seeking to vary has not changed from the previous UDO to the current UDO, as well.

Steps that are part of a building, or directly attached, can only encroach into a required setback from a distance of 6 feet. The building on this site is built at the front building setback of 15 feet. The steps used to access the building from the right-of-way extend all the way to the right-of-way, and even encroach into the right-of-way. If the steps were not immediately appended to the building, they would not have to meet the 6 foot setback encroachment maximum. The petitioner is requesting a variance to allow the steps to remain, to allow access to the right-of-way to and from the building.

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#### **CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE**

**20.06.080(b)(3)(E) (i) Standards for Granting Variances from Development Standards:** A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

**PROPOSED FINDING:** No injury to the public health, safety, morals, and general welfare is found as a result of this petition. The UDO dictates pedestrian access to the building site from the public right-of-way. The stairs provide that access and additional ADA access is provided to the site.

2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

**PROPOSED FINDING:** No adverse effect to the use or value of the adjacent properties is found as a result of this petition. The addition of the stairs connected to the right-of-way improves access options to the site, and does not affect access to any surrounding sites.

3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

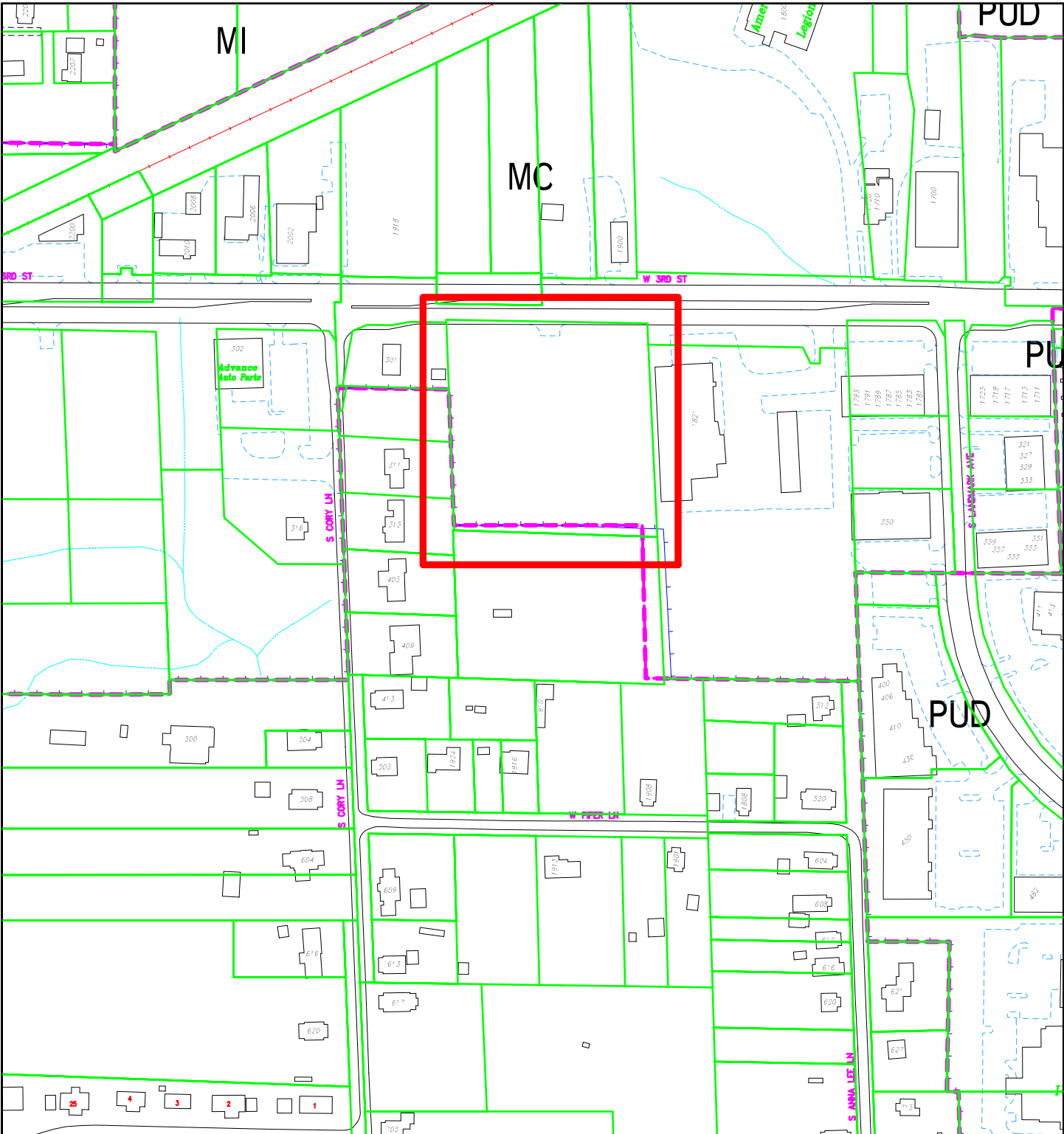
**PROPOSED FINDING:** Practical difficulty is found in that the property contains steep grade change near the public right-of-way. While under construction, it was determined that the building would need to be placed higher than the elevation of the right-of-way. The UDO requires pedestrian connection to the building, but also prefers that the building be built at the front setback line in order to improve the interface between the public pedestrian realm and the site. As a result, there is not room on the site to separate the stairs needed at the right-of-way and the building, therefore the stairs become a Building Feature. The topography of the site presented a peculiar situation that requires variance from the Building Feature setback requirement in order for access to the buildings to meet UDO requirements.

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**RECOMMENDATION:** Based upon the written findings above, the Department recommends that the Hearing Officer adopt the proposed findings and recommends approval of V-11-21 with the following conditions:

1. This variance does not approve right-of-way encroachment for the stair or railing, which must be sought separately from the Engineering Department and Board of Public Works.
2. The railing needed for these stairs may not encroach over the clear path of the public sidewalk.
3. This variance is for the specific stairs already existing on the site. No additional encroachment is allowed without additional variance.





5 PUD

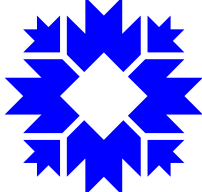
MI

MC

PUD

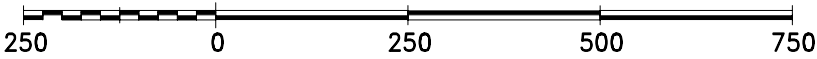
PUD

City of Bloomington  
Planning

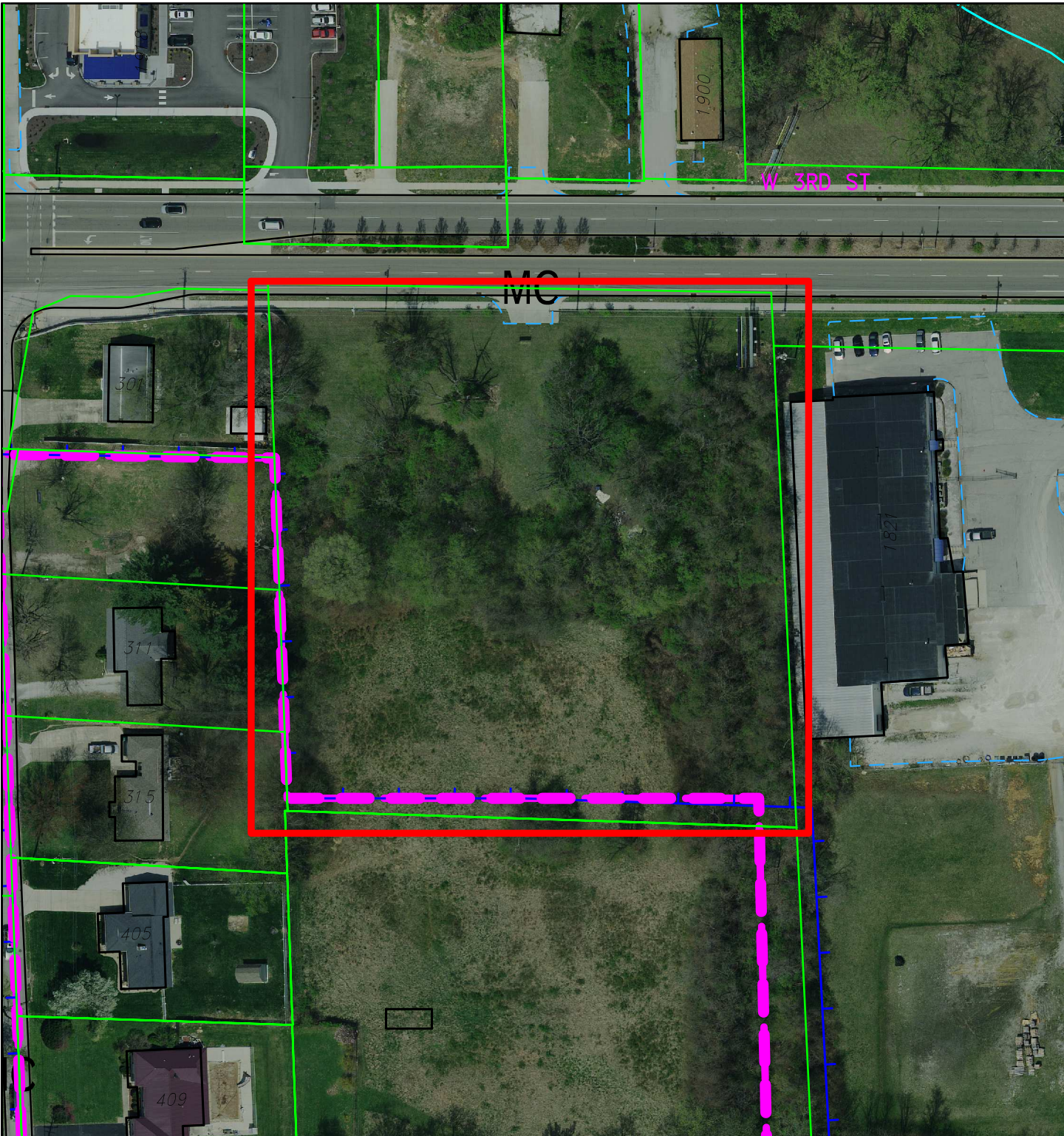


Scale: 1" = 250'

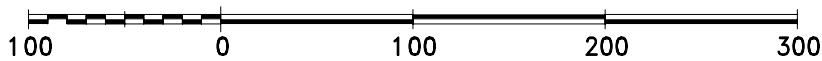
By: scanlanj  
30 Jul 21



For reference only; map information NOT warranted.

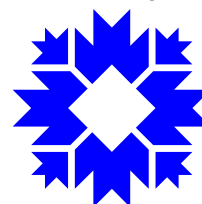


By: scanlanj  
30 Jul 21



For reference only; map information NOT warranted.

City of Bloomington  
Planning



Scale: 1" = 100'



**Millstone Management LLC**  
9800 Westpoint Drive, Suite 200  
Indianapolis, IN 46256  
317-525-9464



Encroachment Location

**Board of Public Works**  
**401 N Morton St**  
**Bloomington, IN 47403**

**ExtraSpace Self Storage - Bloomington**  
**1901 W 3rd Street**  
**Bloomington, IN 47404**

**RE: Encroachment Items**

Board Members,

Below is a description of the encroaching items that have been indicated in the attached encroachment exhibit and photos as being located in the public right of way.

1. Handrails
  - a. The development has two handrails whose purpose is to service the stairway that connects the sidewalk along 3<sup>rd</sup> Street to the entry/egress doors on the adjacent "Building 101". These handrails are required to be installed on the stairway by building code and the resulting condition is a roughly 6" encroachment into the public right of way and sidewalk space.

Thank you for your consideration of this issue. Please feel free to reach out for any reason regarding this topic.

Sincerely,

A handwritten signature in black ink that reads "Adrien Dannemiller".

Adrien Dannemiller – Owner  
Millstone Management LLC



SCALE 1" = 10 ft

BEARINGS BASED ON SPCS IN WEST NAD 83  
DATE OF FIELD WORK: 05/19/2019

**LEGEND**

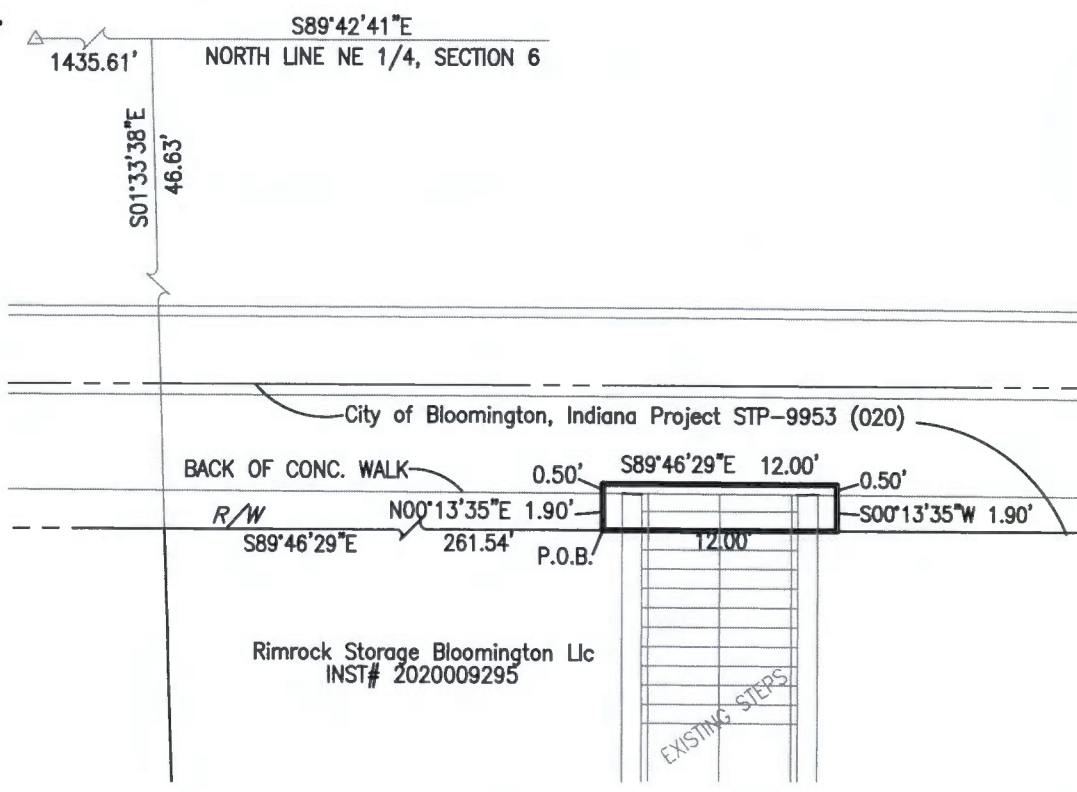
PROPERTY LINE —————  
RIGHT-OF-WAY R/W - - - - -

**WEST THIRD ST**  
VARIABLE R/W

NW COR., NE 1/4,  
SEC. 6, T8N, R1W,



Charles D. Graham  
Registration No. LS29500014



**LEGAL DESCRIPTION**

A part of Seminary Lot One Hundred Eighty (180) as shown by the recorded plat thereof, in the office of the Recorder of Monroe County, Indiana, being more particularly described as follows:  
Commencing at a Mag nail at the North Quarter corner of Section 6, Township 8 North, Range 1 West, Monroe County, Indiana, thence along the North line of Section 6, South 89 degrees 42 minutes 41 seconds East (bearings based on SPCS IN West NAD 83) 1435.61 feet; thence South 01 degree 33 minutes 34 seconds East 46.63 feet to the South right of way of West Third Street; thence along the said right of way South 89 degrees 46 minutes 29 seconds East 261.54 feet to a point 1.00 foot West of existing concrete steps and the Point of Beginning; thence leaving said right of way and continuing 1.00 feet West of said steps North 00 degrees 13 minutes 35 seconds East 1.90 feet to the back of an existing concrete walk; thence continuing North 00 degrees 13 minutes 35 seconds East into said walk 0.50 feet; thence parallel with said back of walk South 89 degrees 46 minutes 29 seconds East 12.00 feet; thence South 00 degrees 13 minutes 35 seconds West 0.50 feet to said back of walk; thence running 1.00 feet East of said walk South 00 degrees 13 minutes 35 seconds West 1.90 feet to the said right of way; thence along said right of way North 89 degrees 46 minutes 29 seconds West 12.00 feet to the Point of Beginning. Containing in all 28.8 square feet, more or less

ENCROACHMENT EXHIBIT  
RIMROCK STORAGE BLOOMINGTON LLC  
CITY OF BLOOMINGTON IN  
1901 W 3RD STREET BLOOMINGTON IN



BYNUM FANYO & ASSOCIATES, INC.  
528 North Walnut Street  
Bloomington, Indiana 47404  
Phone (812) 332-8030 Fax (812) 332-2990









**BLOOMINGTON HEARING OFFICER  
STAFF REPORT  
LOCATION: 1300 S Patterson Drive**

**CASE #: V-12-21  
DATE: August 4, 2021**

**PETITIONER:** Catalent Indiana, LLC  
1300 S Patterson Drive

**CONSULTANT:** Premier Sign Group  
1428 Sadlier Circle East Drive  
Indianapolis, IN

**REQUEST:** The petitioner is requesting a variance from the 300 square foot maximum wall signage allowance to allow for 325 square feet of wall signage.

**REPORT:** The property is located at 1300 S. Patterson Drive and is zoned Planned Unit Development (PUD) and is occupied by Catalent. Surrounding properties include a mix of warehousing and distribution uses to the west and north, offices to the east, and an asphalt/concrete distributor to the south.

The existing Catalent buildings on this site are approximately 363,000 square feet and 427,000 square feet in size. The petitioner recently constructed a new entrance and expansion to the east side of the southern building and would like to install wall signage on this entrance. There is currently 220 square feet of wall signage on the north entrance of the building. The petitioner is proposing to install a 105 square foot wall sign.

The UDO states that no use shall be permitted to exceed 300 square feet of wall signage. The petitioner is requesting a variance from the maximum amount of signage allowed in order to allow 325 square feet of wall signage.

#### **CRITERIA AND FINDINGS FOR DEVELOPMENT STANDARDS VARIANCE**

**20.06.080(b)(3)(E) (i) Standards for Granting Variances from Development Standards:** A variance from the development standards of the Unified Development Ordinance may be approved only upon determination in writing that each of the following criteria is met:

1) *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*

**PROPOSED FINDING:** No injury to the public health, safety, morals, and general welfare is found as a result of this petition. The amount of signage proposed is proportional and appropriate to the size of the buildings on this campus.

2) *The use and value of the area adjacent to the property included in the Development Standards Variance will not be affected in a substantially adverse manner.*

**PROPOSED FINDING:** No adverse effect to the use or value of the adjacent properties is found as a result of this petition. Again, the amount of signage proposed is proportional and appropriate to the amount of building façade. The buildings total 790,000 square feet in size and the amount of signage proposed along each façade is appropriate.

3) *The strict application of the terms of the Unified Development Ordinance will result in practical difficulties in the use of the property; that the practical difficulties are peculiar to the property in question; that the Development Standards Variance will relieve the practical difficulties.*

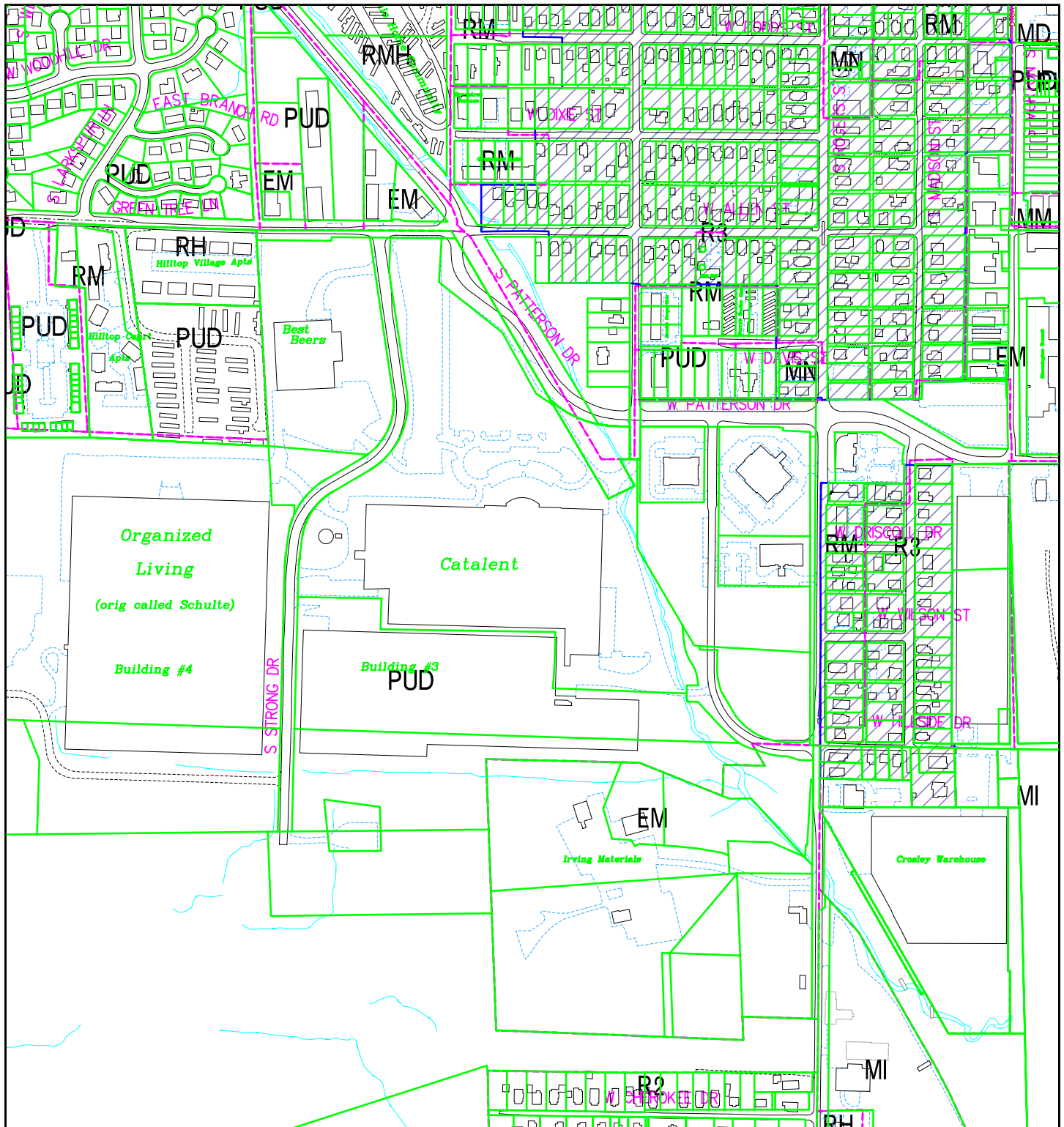
**PROPOSED FINDING:** Practical difficulty is found in the size of the campus and the buildings on it. It is much larger than the wide majority of properties and uses that are typical in the district. The UDO intends to allow proportional signage, but the buildings on this site are significantly larger compared to a typical building where the 300 square feet maximum is appropriate. The practical difficulties are also peculiar to this property because this property has road frontage on three sides and therefore signage along each side and at the main entrances is necessary for identification purposes. The granting of the variance will allow for signage to be placed along each façade that is appropriate to the length and size of building along each façade.

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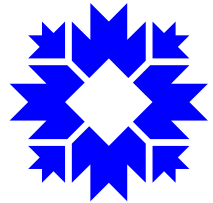
**RECOMMENDATION:** Based upon the written findings above, the Department recommends that the Hearing Officer adopt the proposed findings and recommends approval of V-12-21 with the following conditions:

1. The petitioners must obtain a sign permit for this and all non-permitted signs on campus prior to installation of the wall signs approved with this variance.
2. The variance applies to only the wall signs shown in the request. Any other signage that does not meet UDO requirements will require additional variance.



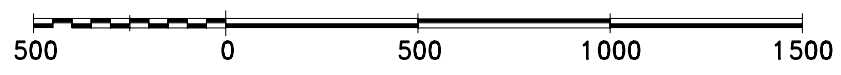


City of Bloomington  
Planning



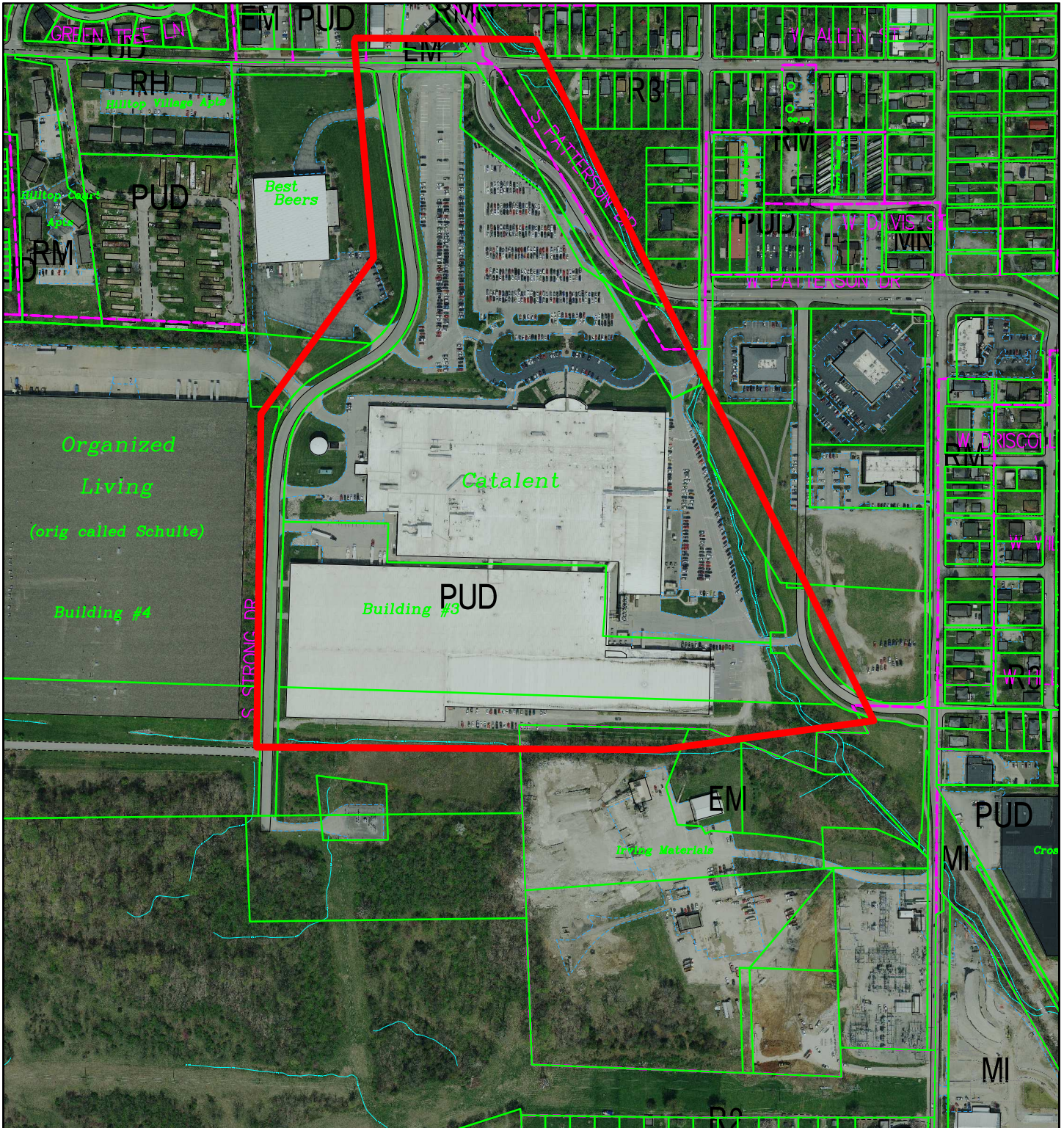
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By: greulice  
30 Jul 21

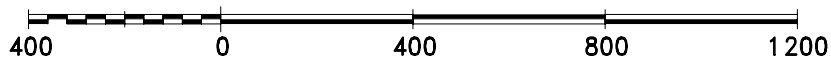


For reference only; map information NOT warranted.



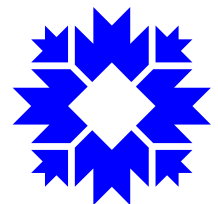


By: scanlanj  
30 Jul 21



For reference only; map information NOT warranted.

City of Bloomington  
Planning



Scale: 1" = 400'





July 12, 2021

To Whom it may Concern:

Premier Sign Group, on behalf of Catalent Indiana, LLC, is requesting a zoning variance for 1300 S. Patterson Drive, Bloomington, IN 47403. The building at this address was recently expanded, resulting new entrances that do not currently include any identification signage. The old building entrance includes a double-sided sign to identify the facility. New offices are accessed via a different driveway, and the signage is not visible by employees and visitors who access the facility along this route. The proposed sign would provide identity to visitors arriving at the new portion of the facility, and would not be visible from any location where the older sign is visible. New signage would help to streamline vehicular access to and around the facility. It would not create any drainage or environmental issues.

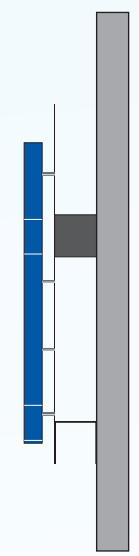
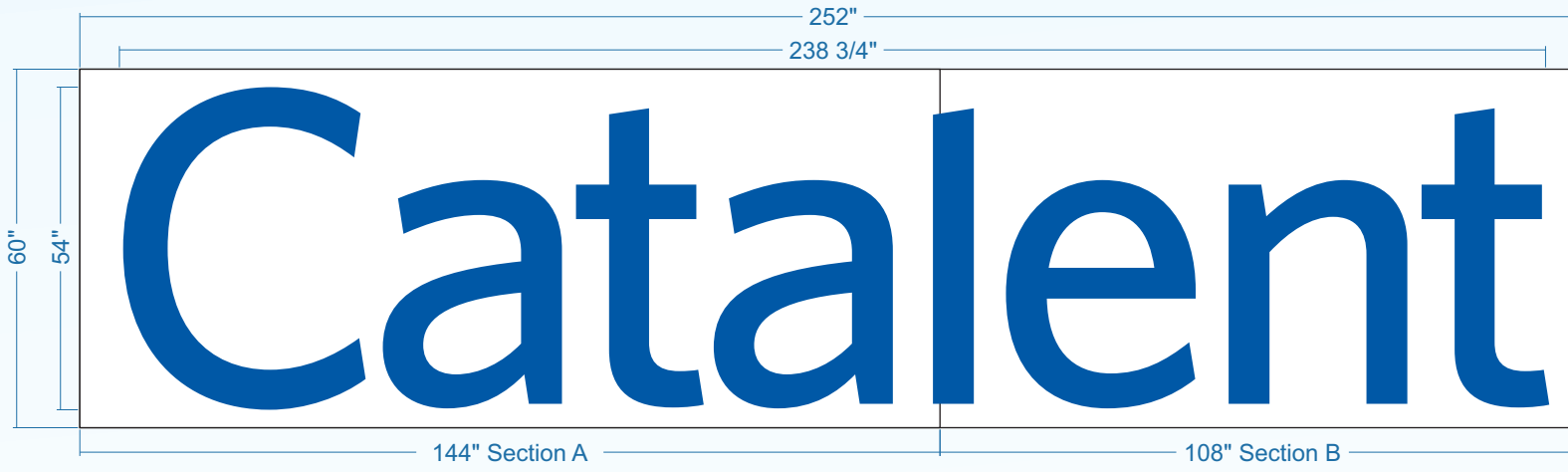
We would like to install a halo-illuminated wall sign identifying the new section of the facility in order to direct employees and visitors and to identify the building as a Catalent facility. The attached information is provided for review and approval.

Thanks,



Zach Akers

Premier Sign Group



Reverse-Lit Letters

**SPECIFICATIONS**

- Faces: .080" MF Aluminum
- Returns: .063" x 3" MF Aluminum
- Backs: .150" Clear polycarbonate
- Illumination: White LEDs
- Power Supply: 120V-277V Variable-input drivers
- Backer: .080" MF Aluminum
- Raceway: 7" Large aluminum raceway, brake-formed spacer along bottom
- Mounting: Fasten to Backer/Raceway with 2" nylon spacers
- Paint:  Pantone PMS 2945C (faces & returns)
  - High-Intensity White (interiors)
  - White with Suede Additive (backer panel 1st & 2nd sfcs)
  - TBD (Raceway & spacer to match wall finish)
- UL Listed for wet locations
- Qty: 1



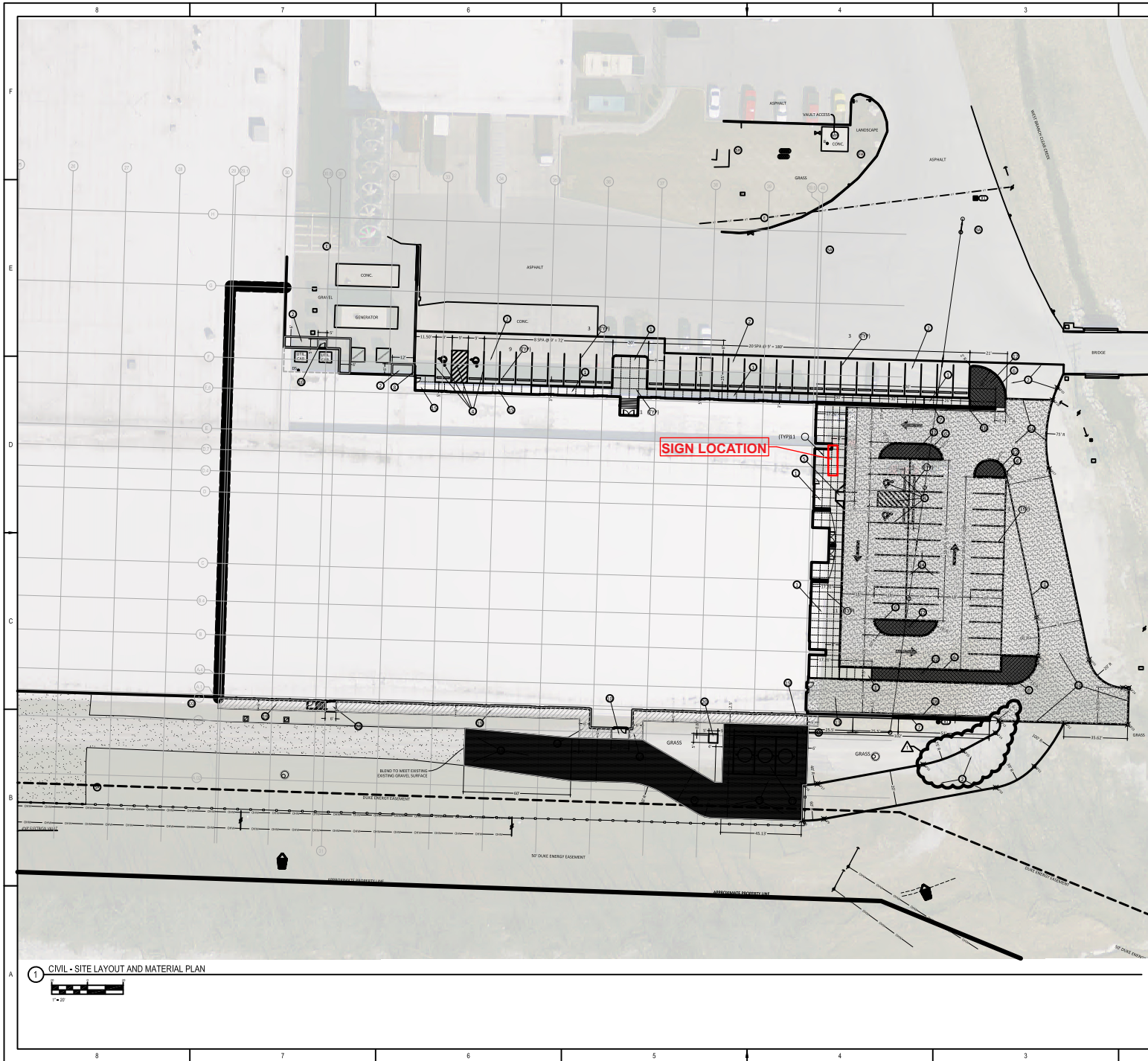
**CLIENT**  
 Catalent Indiana, LLC  
**LOCATION**  
 Bloomington IN  
**ACCOUNT EXECUTIVE**  
 Zach Akers  
**DESIGNER**  
 ZA  
**Date**  
 02.02.21

**PROJECT INFO**

This drawing was created to assist you in visualizing our proposal. The original idea herein is the property of Premier Sign Group. Permission to copy or revise this drawing can only be obtained through written agreement with Premier Sign Group.







**GENERAL NOTES**

- CONTRACTOR IS REQUIRED TO VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- ALL STREET CUTOFFS FOR UTILITIES AND OTHER IMPROVEMENTS SHALL BE REQUIRED TO MATCH EXISTING PAVEMENT SECTION OF STREET.
- ALL DISBURSED AREAS SHALL RECEIVE 6" OF TOP SOIL AND SEED OR BE IMPROVED AS NOTED OTHERWISE.
- REFER TO DETAIL SHEETS FOR DETAILS CORRESPONDING TO PLAN NOTES.
- ALL DIMENSIONS ARE TO FACE OF CURB, POINT OF TANGENCY, FACE OF BUILDING, EDGE OF PAVEMENT, OR EDGE OF ROAD, UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY DIMENSIONS WITH FIELD SURVEYOR. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- COORDINATES ARE PROVIDED TO FACE OF CURB, POINT OF TANGENCY, EDGE OF PAVEMENT, CONTRACTOR TO CORRELATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ACTUAL BUILDING DIMENSIONS. ADVISE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL AREAS NOT TO FACE OF CURB UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ADDITION LOCATION AND DIMENSIONS.
- CONTRACTOR SHALL WARRANT THE CONSTRUCTION OF STORMWATER POLLUTION PREVENTION MEASURES NECESSARY PRIOR TO START OF WORK TO AVOID SEDIMENT CLOSING NOT LEAVE THE SITE.

**PLAN NOTES**

- MONOTHEC CONCRETE CURBS AND WALK - REFER TO DETAILS
- STANDARD BITUMINOUS PAVEMENT - REFER TO DETAIL
- PAVEMENT MARGINS, 4" WIDE WHITE - AUTO PARKING
- 4" WIDE GRASS AND PAVED DRIVE - REFER TO PRELIMINARY MATERIALS OF WORK. 4" WIDE PAVED DRIVE (CONCRETE) FINISHED, PAVING MARGIN AND MONOTHEC CURB (SEE NOTES) REFER TO DETAIL
- ADA RAMP - REFER TO DETAILS
- STANDARD CONCRETE CURB - REFER TO DETAILS
- CONCRETE RETAINING WALL REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS
- CONCRETE RETAINING WALL TO MATCH EXISTING
- CONCRETE WALKED STEPS - REFER TO DETAIL
- CONCRETE STOPS - REFER TO DETAIL
- CONCRETE JOINTS - REFER TO DETAILS
- LANDSCAPE GRASSES
- CONCRETE JAVIERIS - REFER TO DETAILS
- CONCRETE PAVEMENT - REFER TO DETAILS
- CONCRETE SIDEWALK - REFER TO DETAIL
- CONCRETE BARRIER CURB - REFER TO DETAIL
- CONCRETE TRENCH REFER TO ARCHITECTURAL DRAWINGS
- 6" THICK AND COMPACTED GRAVEL PAVEMENT SECTION - REFER TO DETAIL
- 6" WIDE BY 4" THICK SL. RIVER GRAVEL BORDER - REFER TO DETAIL
- 4" THICK CONCRETE PAD

**LAYOUT CONTROL POINTS**

Control Point	Northing	Easting
CP1	NOT USED	NOT USED
CP2	NOT USED	NOT USED
CP3	NOT USED	NOT USED
CP4	NOT USED	NOT USED
CP5	NOT USED	NOT USED
CP6	NOT USED	NOT USED
CP7	NOT USED	NOT USED
CP8	3421046.4123	310629.0612
CP9	3421695.3588	3106541.5684
CP10	3421712.8046	3106637.8125
CP11	3421724.7145	3106650.3505
CP12	3421749.1821	3106676.1291
CP13	3421750.2474	3106639.6711
CP14	3421741.4267	310667.7647
CP15	3421733.58	3106616.20
CP16	3421713.5496	3106579.8683
CP18	3421714.4027	3106529.6428
CP19	NOT USED	NOT USED
CP20	NOT USED	NOT USED
CP21	NOT USED	NOT USED
CP22	NOT USED	NOT USED
CP23	3421748.1418	3106711.7341
CP24	3421768.6130	3106712.1316
CP25	3421768.7292	3106709.0412
CP26	3421784.5992	3106690.0548
CP27	3421898.2420	3106627.5984
CP28	3421929.8649	3106669.6648
CP29	3421936.8696	3106732.1213
CP30	3421888.8644	3106643.5456
CP31	3421808.1429	3106660.5700
CP32	3421788.8250	3106661.5100
CP33	3421782.9337	3106660.9577
CP34	3421770.5784	3106645.7524

**LEGEND**

- LANDSCAPE PLANTING AREA
- TRAFFIC DIRECTION ARROW
- BUILDING CONSTRUCTION UNIT LINE REFER TO ARCHITECTURAL AND STRUCTURAL PLANS
- CONCRETE PAVEMENT
- SL RIVER GRAVEL 6" WIDE BORDER
- 4" THICK GRAVEL PAVEMENT



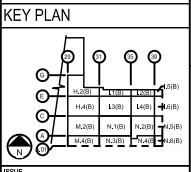
1300 SOUTH PATTERSON DRIVE  
P.O. BOX 970  
BLOOMINGTON, IN 47402-0970  
(P) 817.312.2865  
WWW.CATALENT.COM



CLARK, RICHARDSON AND BESUP  
CONSULTING ENGINEERS, INC.  
CRB ARCHITECTS/ENGINEERS P.C.  
701 EMERSON ROAD  
SUITE 500  
C/O CLARK, RICHARDSON AND BESUP  
PHONES: 314.951.1515  
FAX: 314.951.4117



Bledsoe Riggert Cooper James  
LAND SURVEYING - CIVIL ENGINEERING - GIS  
1351 WEST TAPP ROAD  
BLOOMINGTON, INDIANA 47403  
PROJECT NO. 13-06-007



**ISSUE**

REV	DATE	DESCRIPTION
01	07/20/19	ISSUE FOR APPROVAL - COMPLETE
02	07/20/19	ISSUE FOR CONSTRUCTION - COMPLETE
03	07/20/19	BUILT #12

**SIGNATURE/SEAL**

STATE OF INDIANA  
Professional Engineer  
No. 072031  
State of  
BLOOMINGTON, INDIANA 47403  
08-20-2020

SEAL & SIGNATURE APPLY ONLY TO CURRENT REV

THIS DRAWING AND ALL THE INFORMATION CONTAINED THEREIN IS THE SOLE PROPERTY OF CATALENT INDIANA LLC AND IS NOT TO BE REPRODUCED OR USED WITHOUT THE WRITTEN CONSENT OF CATALENT INDIANA LLC.

DATE: 07JUN19 DRAWN BY: GBM  
AREA: B CHECKD BY: YGR

CLASSIFICATION:  
PROJECT NAME: BLOOMINGTON  
CP  
EXPANSION  
DRAWING NAME: CIVIL  
SITE LAYOUT AND MATERIAL  
PLAN  
DRAWING NUMBER: C01-01

CIVIL - SITE LAYOUT AND MATERIAL PLAN





GENERAL NOTES

1. REFER TO SHEET A301 FOR SYMBOLS AND ABBREVIATIONS.
2. REFER TO SHEET A301 FOR WINDOW AND DOOR TYPES.
3. REFER TO SHEETS A301 - A303 FOR EXTERIOR PLAN DETAILS.
4. REFER TO SHEETS A301 - A303 FOR EXTERIOR SECTION DETAILS.

REV	DATE	DESCRIPTION
1	07/20/20	ISSUED FOR CONSTRUCTION - SHELL
2	07/20/20	BULLETIN #1
3	07/20/20	BULLETIN #2
4	07/20/20	BULLETIN #3
5	07/20/20	BULLETIN #4

SIGNATURE SEAL



SEAL & SIGNATURE APPLY ONLY TO CURRENT REV

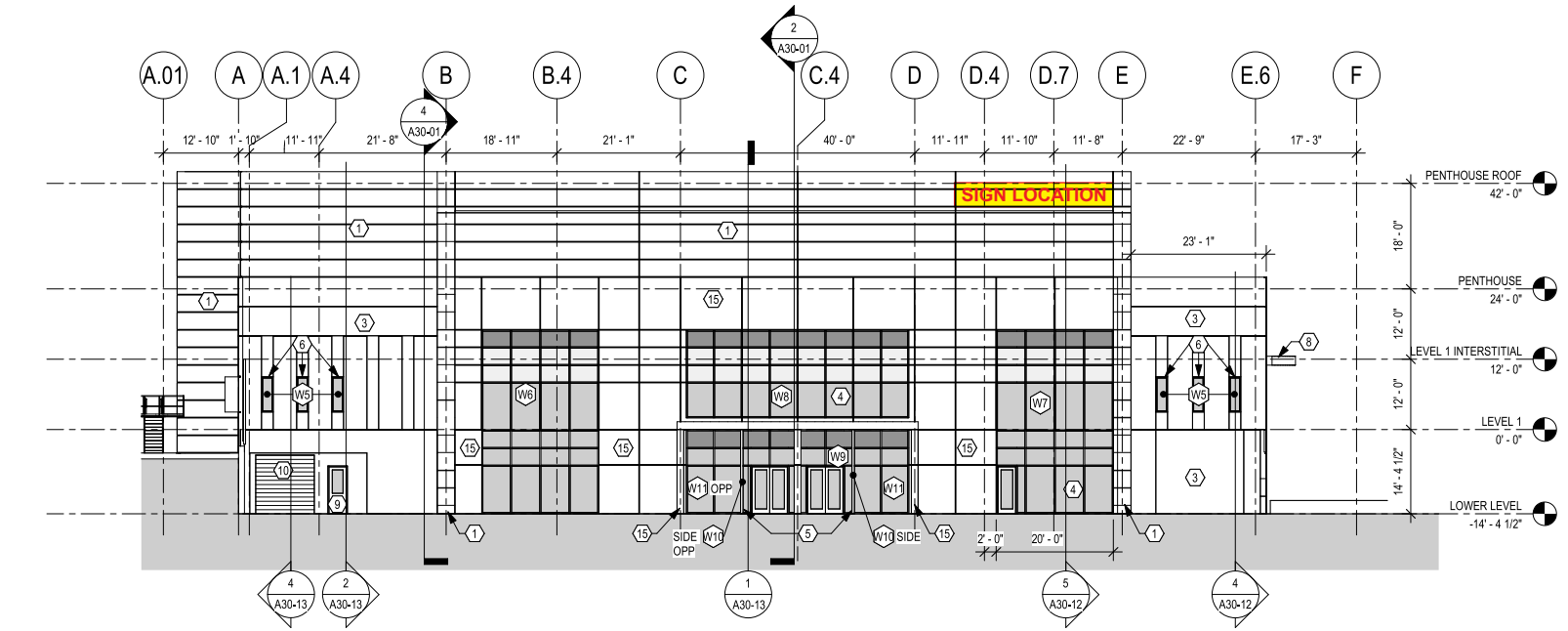
THIS DRAWING AND ALL THE INFORMATION CONTAINED THEREIN IS THE SOLE PROPERTY OF CATALENT INDIANA LLC AND IS NOT TO BE REPRODUCED OR USED WITHOUT THE WRITTEN CONSENT OF CATALENT INDIANA LLC.

DATE: 10JUL20 DRAWN BY: MBH  
AREA: B CHECKED BY: SMS

CLASSIFICATION: NA  
PROJECT NAME: BLOOMINGTON DP EXPANSION

DRAWING NAME: ARCHITECTURAL EXTERIOR ELEVATIONS

DRAWING NUMBER: A20-01



3 EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"





GENERAL NOTES

- REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET A202 FOR WINDOW AND LOUVER TYPES.
- REFER TO SHEETS A001 - A003 FOR EXTERIOR PLAN DETAILS.
- REFER TO SHEETS A001 - A003 FOR EXTERIOR SECTION DETAILS.

SHEET NOTES

- ARCHITECTURAL HORIZONTAL INSULATED METAL WALL PANEL (IMP) (NOT USED).
- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
- GLAZED ALUMINUM CURTAIN WALLS. SEE SHEET A202 FOR TYPES.
- ALUMINUM FRAMED ENTRANCES AND STOREFRONT.
- ALUMINUM WINDOWS. SEE SHEET A202 FOR WINDOW TYPES.
- FIXED LOUVERS. SEE SHEET A202 FOR LOUVER TYPES.
- ALUMINUM CANOPY.
- HOLLOW METAL DOORS AND FRAME.
- OVERHEAD COILING DOOR.
- METAL LANDING STAIR AND METAL RAILING SYSTEM WITH THE KICK.
- REDECK.
- EXTERIOR GALVANNEED METAL STAIR, LANDING AND RAILINGS WITH THE KICK.
- LADDER. INCLUDE FULL APERTURE AT LADDER TO PENTHOUSE ROOF.
- EXTERIOR TRUSS PANELS (W/ANSI SCREEN).
- LOAD BEARING (CB) TO MATCH EXISTING.
- CONTINUATION OF EXISTING ROOF TO BE FROM DETAIL 12-602.
- FOUNDATION WALL.
- LOADING DOOR LEVELER, SCALE, BUMPER, RESTRAINTS.
- CONDUIT FOR CABLE AND CONDUIT OUT.

REV	DATE	DESCRIPTION
1	05/11/20	ISSUE FOR CONSTRUCTION SHEET
2	05/20/20	BULLETIN #1
3	06/02/20	BULLETIN #2
4	06/02/20	BULLETIN #3
5	06/02/20	BULLETIN #4



SEAL & SIGNATURE APPLY ONLY TO CURRENT REV

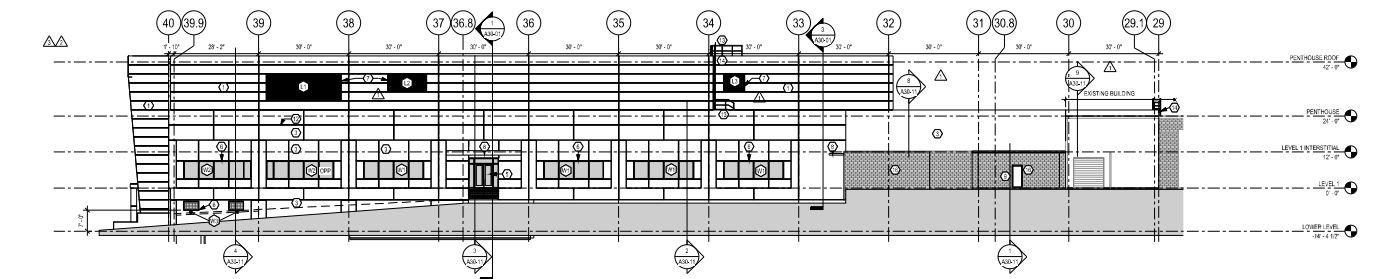
THIS DRAWING AND ALL THE INFORMATION CONTAINED THEREIN IS THE SOLE PROPERTY OF CATALENT INDIANA LLC AND IS NOT TO BE REPRODUCED OR USED WITHOUT THE WRITTEN CONSENT OF CATALENT INDIANA LLC.

DATE: 10/11/20 DRAWN BY: MHH  
AREA: B CHECKED BY: SMS

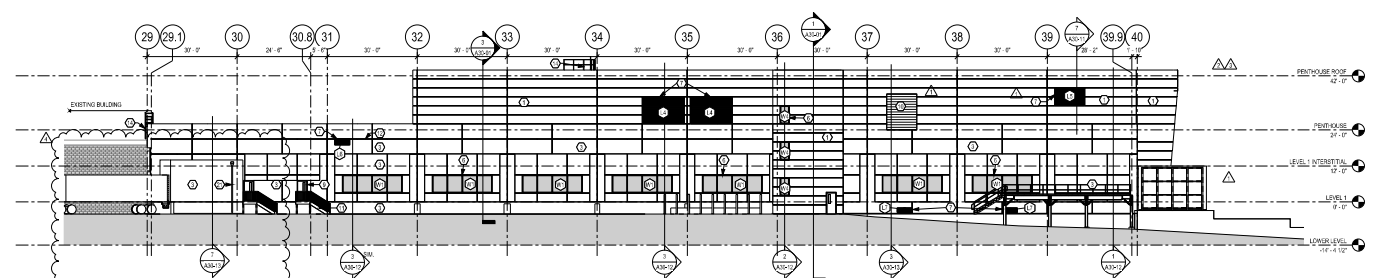
CLASSIFICATION: NA  
PROJECT NAME: BLOOMINGTON DP EXPANSION

DRAWING NAME: ARCHITECTURAL EXTERIOR ELEVATIONS

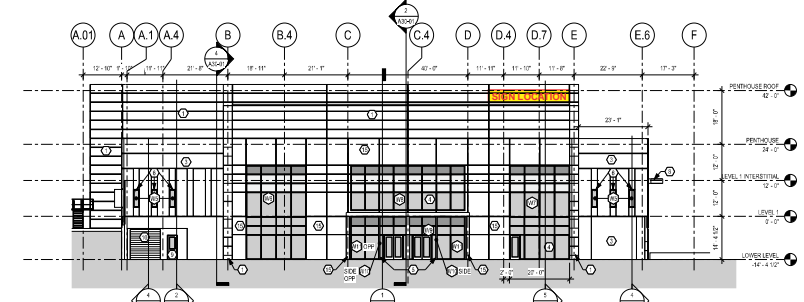
DRAWING NUMBER: A20-01



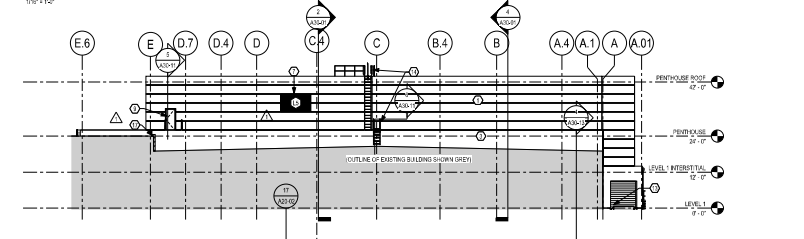
1 EXTERIOR ELEVATION - NORTH  
1/16" = 1'-0"



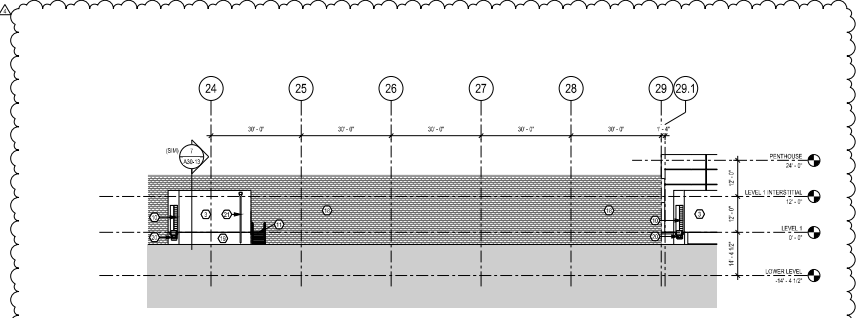
2 EXTERIOR ELEVATION - SOUTH  
1/16" = 1'-0"



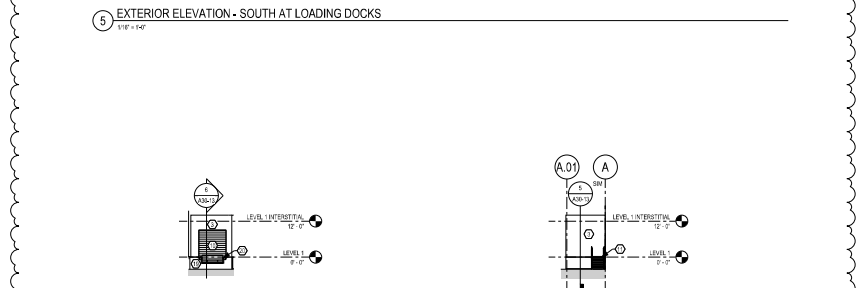
3 EXTERIOR ELEVATION - EAST  
1/16" = 1'-0"



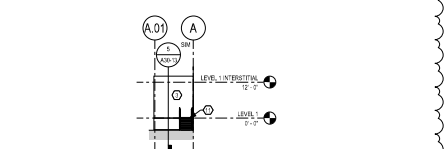
4 EXTERIOR ELEVATION - WEST  
1/16" = 1'-0"



5 EXTERIOR ELEVATION - SOUTH AT LOADING DOCKS  
1/16" = 1'-0"



6 EXTERIOR ELEVATION - WEST AT LOADING DOCKS  
1/16" = 1'-0"



7 EXTERIOR ELEVATION - EAST AT LOADING DOCKS  
1/16" = 1'-0"



**CITY OF BLOOMINGTON**  
**Planning and Transportation Department**  
**401 N. Morton St., Bloomington, Indiana 47404**



**Phone: 812-349-3423**

**Fax: 812-349-3520**

**Email: [planning@bloomington.in.gov](mailto:planning@bloomington.in.gov)**

**APPLICATION FOR PERMANENT SIGN PERMIT**

**\* MAKE CHECKS PAYABLE TO THE CITY OF BLOOMINGTON**

Date Applied: 1300 S PattersonDr  
Bloomington, IN 47403

Name of Business: Catalent Indiana, LLC

Type of Business Use: Manufacturing

Address of Business: 1300 S PattersonDr, 47403

Business Phone: 812-355-6746

Alternative Phone/Fax: \_\_\_\_\_

Name of Applicant: Zach Akers

Applicant Phone: 314-613-4411

(OFFICE USE ONLY)
Application #: _____
Permit Fee: <u>\$125.00 per sign</u>
Total Fee: _____
Date Issued: _____
Permit Reviewer: _____

**A SCALED SITE PLAN IS REQUIRED WITH YOUR APPLICATION.**

In order to receive a **permanent sign permit**, the applicant shall submit a site plan containing the following elements:

1. Scale and North arrow;
2. Location of building(s), driveway(s), and parking area(s);
3. Location and size (in square feet) of all existing sign(s);
4. Indicate type of existing sign(s): wall, pole, or ground signage;
5. Location and dimensions of proposed sign(s);
6. Distance between building and proposed sign location(s);
7. Name and location of adjacent street frontage(s), if applicable; and
8. Distance between curb edge and sign location.

**CERTIFICATION**

I am the owner or authorized agent responsible for compliance, and hereby acknowledge the following:

1. I have read this application and all related documentation and I represent that the information furnished is correct.
2. I agree to comply with all City ordinances and State statutes, which regulate construction, land use, and occupancy.
3. Any changes made to sign dimensions or location shall be submitted to the City of Bloomington for review.
4. If any misrepresentation is made in this application, the City may revoke any Certificate issued based upon this misinformation.
5. No sign installation is allowed until a permit has been issued by the Planning and Transportation Department.

**Applicant's Signature** Zach Akers

**Date** February 22, 2021

If you have questions about sign ordinance requirements, please call the **Bloomington Planning and Transportation Department** @ 812-349-3423.