

CITY OF BLOOMINGTON



PLAN COMMISSION

August 9, 2021 @ 5:30 p.m.
Zoom Meeting:

<https://www.google.com/url?q=https://bloomington.zoom.us/j/93420125584?pwd%3DYkhGQkhDb2ptOWNkRjJWcEtwbjFYdz09&sa=D&source=calendar&ust=1628687197535149&usg=AOvVaw0XS9HbkzpIvMbWb68VhTFF>

**CITY OF BLOOMINGTON
PLAN COMMISSION
August 9, 2021 at 5:30 p.m.**

❖**Virtual Meeting:**

<https://bloomington.zoom.us/j/93420125584?pwd=YkhGQkhDb2ptOWNkRjJWcEtwbjFYdz09>

Meeting ID: 934 2012 5584 **Passcode:** 597094

ROLL CALL

MINUTES TO BE APPROVED: July 12, 2021

REPORTS, RESOLUTIONS AND COMMUNICATIONS:

PETITION CONTINUED TO: September 13, 2021

SP-18-21 **Overlook on Third, LLC**
4550 E Third Street
Request: Major Site Plan review for 175 unit multifamily apartments. A self-storage building is also included in this petition.
Case Manager: Keeqan Gulick

SP-19-21 **Strauser Construction Co. Inc.**
1300 N Lincoln Street
Request: Major Site Plan approval to allow the construction of a 16 unit, multifamily structure in the mixed-use student housing zoning district.
Case Manager: Keeqan Gulick

DP-20-21 **Bledsoe Riggert Cooper James**
3111 S Walnut Street Pike
Request: Primary Plat approval of 33 single family lots on 10.34 acres in Ivy Chase Subdivision Phase II
Case Manager: Eric Greulich

CONSENT AGENDA:

DP-17-21 **IU Health Southern Indiana Physicians**
2606 E Creeks Edge Drive
Request: Secondary Plat amendment of the 3rd re-plat of parcels E/F of Canada Farm Subdivision Phase #1 to combine lots 7 & 8.
Case Manager: Eric Greulich

PETITIONS:

***Next Meeting September 13, 2021*

Last Updated: 8/6/2021

Auxiliary aids for people with disabilities are available upon request with adequate notice.

Please call [812-349-3429](tel:812-349-3429) or e-mail human.rights@bloomington.in.gov.

- SP-21-21 **RealAmerica Redevelopment, LLC**
1730 S Walnut St
Request: Major Site Plan approval for a new 64-unit mixed-use
Structure.
Case Manager: Keegan Gulick
- ZO-22-21 **Wheeler Mission Ministries**
135, 201, 205 S Westplex Ave
Request: Rezone 1.31 acres from Mixed-Use Employment (ME) to
Mixed-Use Medium Scale (MM).
Case Manager: Eric Greulich

Petition Map: <https://arcg.is/1HCzXG>

****Next Meeting September 13, 2021**

Last Updated: 8/6/2021

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Please call [812-349-3429](tel:812-349-3429) or e-mail human.rights@bloomington.in.gov.

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
LOCATION: 2605 E. Creeks Edge Drive**

**CASE #: DP-17-21
DATE: August 9, 2021**

PETITIONER: IU Health Southern Indiana Physicians
2605 E Creeks Edge Drive

CONSULTANT: Andrew B. Buroker, Faegre Baker Daniels, LLP
600 E. 96th Street, Indianapolis, IN

REQUEST: The petitioner is requesting a Secondary Plat amendment of the Third Replat of Parcels E/F of Canada Farm Subdivision Phase 1 to combine lots #7 and #8.

STAFF REPORT: The site is located at 2605 E. Creeks Edge Drive and is zoned Mixed-Use Medium-Scale (MM). One lot on the petition site has been developed with a medical office building currently being occupied by IU Health. The other lot contains a detention facility. Surrounding land uses include multi-family residences (Oaklawn) to the north, commercial uses to the south, single family residences to the east, and multi-family residences (Steeplechase) to the west.

A site plan was approved for this property under PUD-29-05. The current lot line arrangement was approved with the re-plat for this property and the properties to the south under PUD-13-06. With the previous approvals, there was a lot created for the office building (Lot #8) and a separate lot created for a common area lot that contains a detention pond and spring (Lot #7). The detention pond does provide stormwater detention for the multi-family residences to the west, as well as for this lot, and the UDO requires it to be located on a Common Area lot.

The petitioner is requesting to amend the lot lines of Parcel E to remove the lot line that between Lot #8 and Lot #7 to create just one lot, Lot #8. The petitioner has prepared a facilities maintenance plan for the detention pond and that will be recorded with this deed for this property. The facilities plan places all of the maintenance responsibilities for the detention pond on the owner of the lot. The City of Bloomington Utilities Department has reviewed the plan and approved it.

There will be no changes to the site plan or property as a result of this lot line adjustment. With this petition, the petitioner is requesting a waiver from Section 20.05.050(h)(4) of the UDO that requires detention facilities to be located on a common area.

SECONDARY PLAT REVIEW: The Plan Commission or Plat Committee shall review the secondary subdivision petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6) (Approval Criteria) and the following standards:

General Compliance Criteria [20.06.040(d)(6)(B)]

i. Compliance with this UDO

The proposed use and development shall comply with all applicable standards in this UDO, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.

PROPOSED FINDINGS: The proposed amendment to the plat meets all of the standards of the Unified Development Ordinance, with the exception of the requested waiver to not require the existing detention pond to be located on a common area lot. The granting of the waiver will not be detrimental to the public safety, health, or general welfare because the pond will still be maintained to the required specifications. The recording of the facilities maintenance plan will place the ownership and maintenance responsibilities of the pond entirely on this property owner, which they are in agreement with and have prepared themselves. The property is unique in that the detention area is one of several detention ponds scattered throughout the overall PUD and serves only a portion of the development to the west and the pond predominantly serves this lot. The placement of the maintenance responsibilities on just one property owner can actually make it easier for future enforcement if maintenance is required. An access easement for City of Bloomington Utilities will be included in case future maintenance for enforcement issues is required.

ii. Compliance with Other Applicable Regulations

The proposed use and development shall comply with all other city regulations and with all applicable regulations, standards, requirements, or plans of the federal or state governments and other relevant entities with jurisdiction over the property or the current or proposed use of the property. This includes, but is not limited to, floodplain, water quality, erosion control, and wastewater regulations

PROPOSED FINDINGS: There are no known federal or state regulations that would pertain to this development or site. This approval does not constitute approval or review for any federal or state requirements and the petitioner is responsible for ensuring compliance with any other applicable regulations.

iii. Compliance with Utility, Service, and Improvement Standards

1. As applicable, the proposed use and development shall comply with federal, state, county, service district, city, and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards
2. Municipal sewer and water hookup are required for all developments except for instances where written approvals by the City Utilities Department and the County Health Department grant an exception to the hookup requirement. All sewer and water facilities shall meet the design specifications of the City Utilities Department
3. When public improvements are required, the petitioner or authorized representative shall post performance and maintenance guarantees for such improvements. Such financial guarantees shall be submitted, reviewed, and approved per 20.06.060(c)(3)(E)iii (Financial Bond Required).

PROPOSED FINDINGS: There would not be any changes to the detention pond with this petition. The City of Bloomington Utilities Department has reviewed and approved the proposed Facilities Maintenance Plan that would govern the long term ownership and maintenance of the detention pond. An access easement for City of Bloomington Utilities will be included in case future maintenance for enforcement issues is required.

iv. Compliance with Previous Approvals

The proposed use and development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval for all or part of the property that is in effect and not proposed to be changed. This includes consistency with any approved phasing plan for development and installation of public improvements and amenities.

PROPOSED FINDINGS: The combining of the existing common area lot with the lot currently owned by Southern Indiana Physicians does not change the use of the property or the approved site plan.

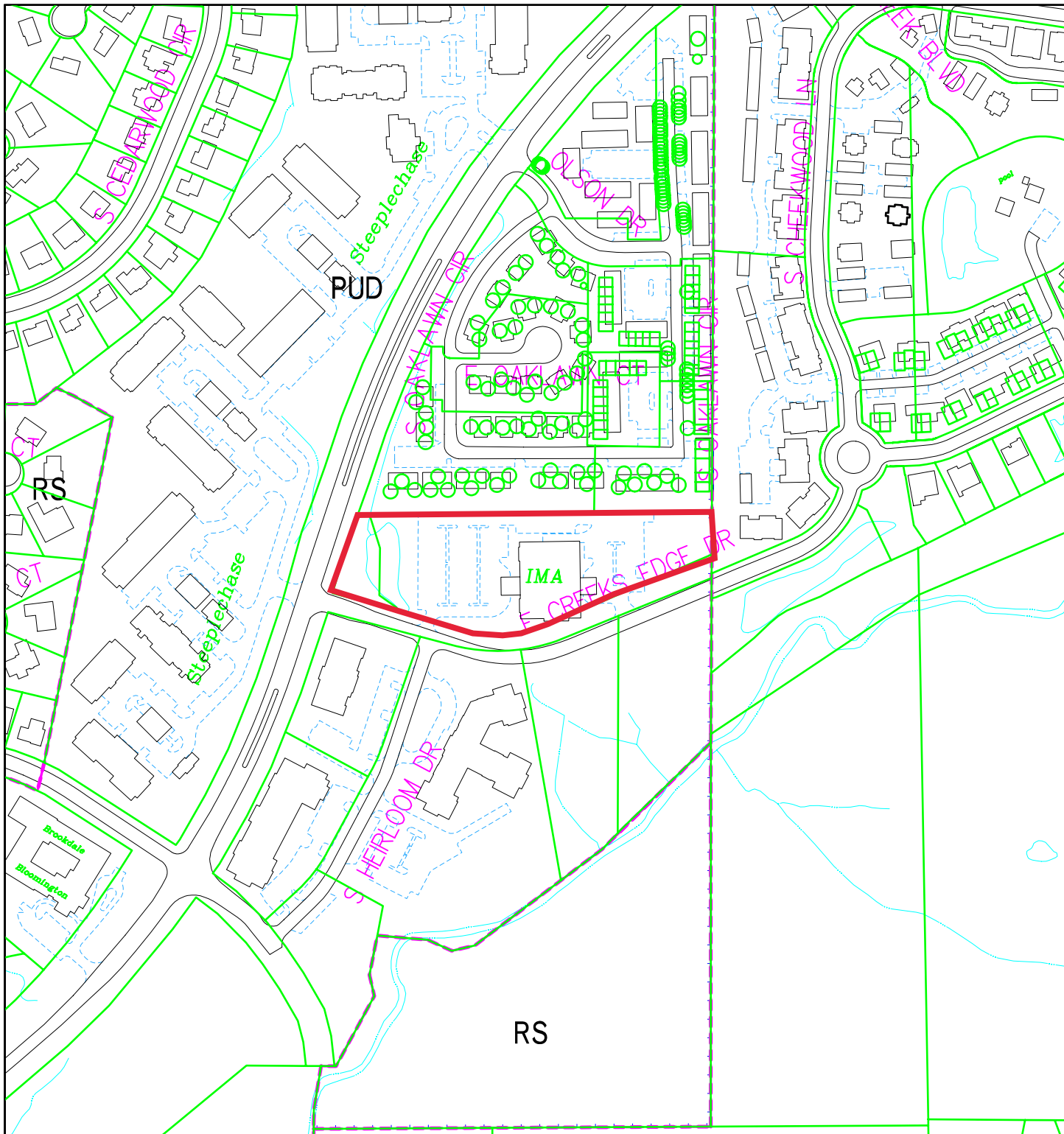
PLAT REVIEW:

Right-of-Way Dedication: No right-of-way dedication is required with this request. All required right-of-way was dedicated with previous plats.

Utilities: The Utilities Department has reviewed the proposed facilities maintenance plan and has approved the submitted plan. An access easement for City of Bloomington Utilities will be included in case future maintenance for enforcement issues is required.

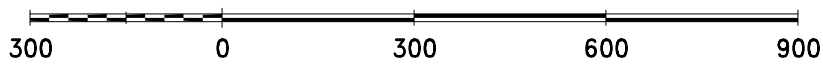
RECOMMENDATION: Staff recommends adopting the proposed findings for DP-17-21 and the associated waiver and approval of this petition with the following conditions of approval:

- 1) Future amendments of this Secondary Plat can be reviewed at staff level.
- 2) Following all revisions to this Secondary Plat, the Planning and Transportation Director shall sign the plat at the appropriate locations.
- 3) The petitioner shall file the Secondary Plat with the County Recorder's Office and within thirty (30) days provide the Planning and Transportation Department with a copy of the recorded mylar.
- 4) The petitioner shall file the Facilities Maintenance Plan with the County Recorder's Office when filing the Secondary Plat and within thirty (30) days provide the Planning and Transportation Department with a copy of the recorded Plan.
- 5) The Secondary Plat shall contain an access easement for the City of Bloomington Utilities Department to provide access to the stormwater feature.

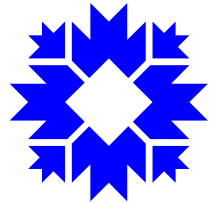


DP-37-19 IU Health
 2605 E Creeks Edge Drive
 Plat Committee
 Site location, zoning, parcels

By: greulice
 6 Dec 19

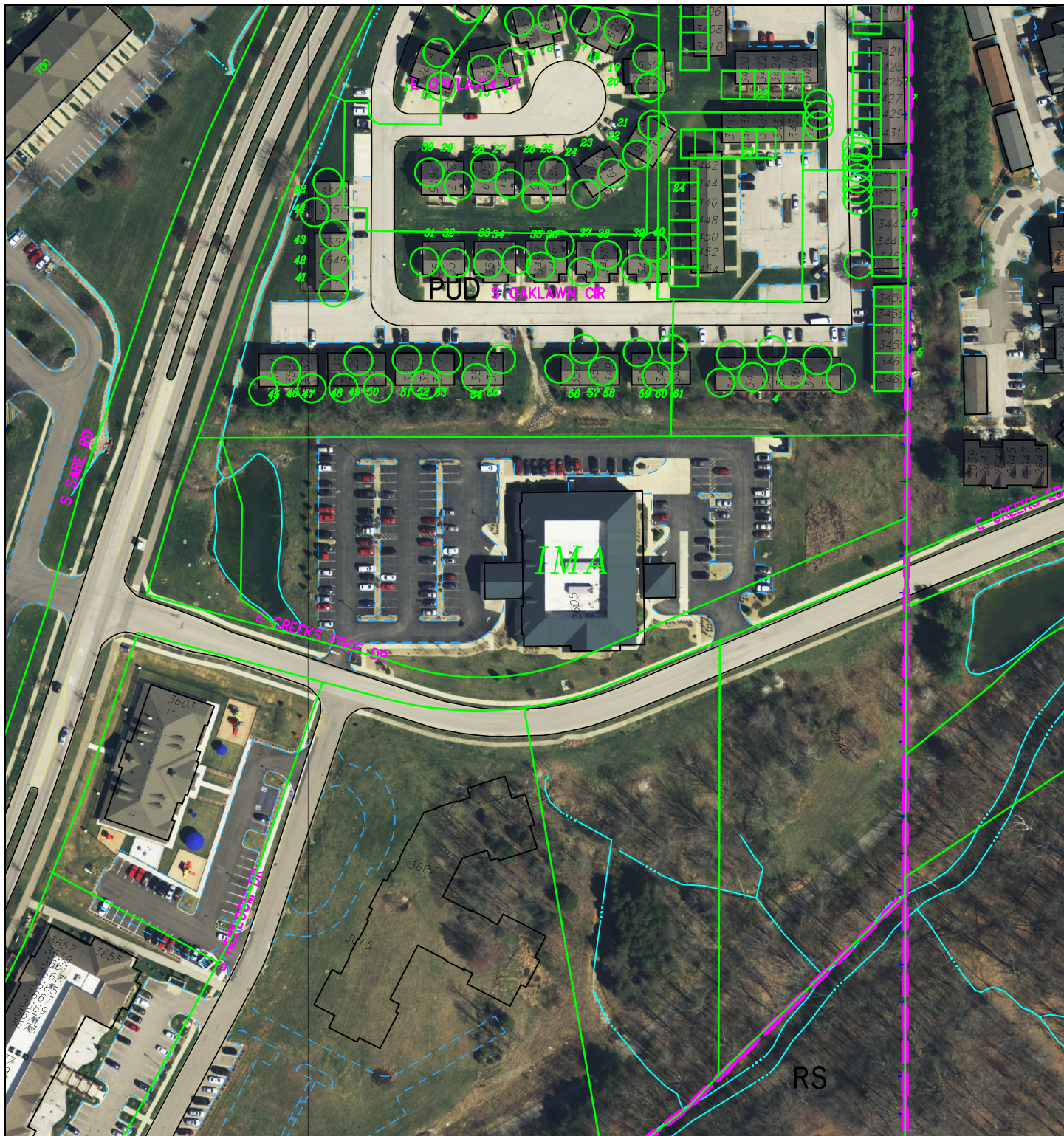


City of Bloomington
 Planning & Transportation



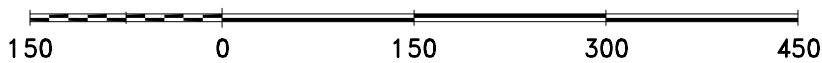
Scale: 1" = 300'

For reference only; map information NOT warranted.



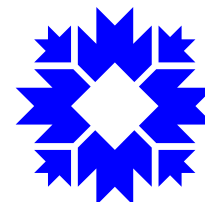
DP-37-19 IU Health
 2605 E Creeks Edge Drive
 Plat Committee
 2016 Aerial Photograph

By: greulice
 6 Dec 19



For reference only; map information NOT warranted.

City of Bloomington
 Planning & Transportation



Scale: 1" = 150'

City of Bloomington
Planning and Transportation Department
Plat Committee
Proposed Plat Amendment to Lots 7 and 8, Canada Farms
Subdivision Phase I
2605 East Creek's Edge Drive, Bloomington, IN 47401

Petitioner's Statement

Indiana University Health Southern Indiana Physicians, Premier Multispecialty Group requests a plat amendment of Canada Farm Subdivision, Phase 1. The amended plat would combine Lot 7 (parcel number 53-08-15-107-071.007-009) with Lot 8 (parcel number 53-08-15-107-071.008-009) of the existing subdivision into a new combined Lot 8.

Rogers Property Management LLP, an Indiana limited liability partnership, currently owns Lot 7, consisting of 0.39 +/- acres with existing site improvements of only a storm water detention basin. This Lot 7 was originally designed as a common area lot in the subdivision, but it is still owned by a private entity. This plat amendment would combine this lot with Lot 8 and guaranty inspection and maintenance of the retention basin by the adoption of a Retention Basin Operations and Maintenance Manual.

DOC-2605 East Creeks Edge Drive MOB, LLC is the owner of Lot 8, consisting of an approximately 4-acre tract with a 1 story medical office building and associated parking lot. The owner of Lot 8 leases the medical office building to petitioner and proposes to purchase Lot 7 to hold title to both Lots 7 and 8, which then combines them into one parcel under one ownership.

This plat amendment is being requested as the initial step needed for the construction of an on-premises double-sided freestanding monument sign on the combined Lot 8 for IU Health Bloomington's Orthopedics Sports Medicine facility, currently located in the medical office building located on Lot 8. The facility currently has a lower than desired level of visibility from the South Sare Road intersection with East Creek's Edge Drive, and the proposed freestanding monument sign will allow for better visibility and way-finding to the medical office building facility for patients and the public.

An Application for Permanent Sign Permit for the proposed freestanding monument sign is being filed concurrently with the plat amendment petition.

Thank you for your consideration.

Retention Basin Operations And Maintenance Manual

For the Property Owner:

**Doc-2605 East Creeks Edge
Drive Mob, Llc**
309 N. Water Street, Suite 500
Milwaukee, WI 53202

For property at:

2605 E. Creek's Edge Drive
Bloomington, Monroe County, Indiana

Property Occupant:

Indiana University Health
Southern Indiana Physicians

Manual Prepared By:

Bynum Fanyo & Associates, Inc.
528 N. Walnut Street
Bloomington, IN 47404
Ph: (812)332-8030
BFA Project No.: 401933

Date:

25 October, 2019

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9. Exhibit C: Basin Component Photographs

Narrative

Doc-2605 East Creeks Edge Drive Mob, Llc, is the owner of Lot 8A of Canada Farm Subdivision Phase I in Monroe County, Indiana addressed as 2605 East Creek's Edge Drive, Bloomington, IN 47401. Improvements on Lot 8A include a medical office building (Indiana University Health Southern Indiana Physicians) with accompanying asphalt parking lots and a stormwater retention basin. Said retention basin is more specifically located in the western portion of the lot at latitude/longitude N39.128373° / W86.502804° and is the subject of this Operations and Maintenance Manual. The retention pond is in the form of a wet detention basin consisting of an excavated impoundment area with a principal outlet control structure and a surface overflow spillway.

Definitions

Retention Basin:

A retention basin is an excavated stormwater impoundment consisting of the impoundment area, an earthen dam, a concrete outlet control structure (inlet and casting) and a surface overflow spillway. Retention basins maintain a normal pool level of stormwater year round and usually include additional dry storage volume above normal pool for the temporary detention of rainfall runoff. The purpose of a retention basin is to slow down rainfall runoff and improve water quality. To function as intended the retention basin and its individual components require routine maintenance. The location of the retention basin is shown in Exhibit A.

Rainfall Runoff:

Rainfall runoff in urban areas contain many types and forms of pollutants. When compared to rainfall runoff from pre-developed conditions, high concentrations and some contaminants that are not naturally present in runoff from undeveloped lands are found. Runoff from undeveloped watersheds contain metals, nutrients, sediment particles, oxygen-demanding compounds, and other constituents. Once a watershed is developed, constituent loads increase because rainfall runoff volumes increase and the sources of many of these pollutants also increase. Supplemental applications of compounds, such as fertilizers, tend to increase the availability of some pollutants to stormwater runoff. Retention basins are implemented into project designs to offset the effects of these pollutants.

Retention Basin Owner:

Retention basin owners are typically the property owner. The owner may also be the lessee of the property in the case of long-term leases of commercial and industrial zoned properties. The owner of this retention basin is Doc-2605 East Creeks Edge Drive Mob, Llc.

Inspections

Routine inspections and maintenance are the responsibility of the retention basin owner. The retention basin owner shall be financially responsible for any maintenance or repairs required by the City of Bloomington Utilities (CBU) or its representatives during their inspections. The approved maintenance plan and inspection forms provided with this manual should be used as guidance for performing maintenance activities. Completed inspection forms must be maintained by the retention basin owner and produced upon request by the CBU. The CBU must be notified of any changes in retention basin ownership, major repairs or retention basin failure in writing within 30 days. The letter should be addressed to:

City of Bloomington Utilities
Engineering Dept.
600 E. Miller Dr.
Bloomington, IN 46401
Ph: (812)349-3930

The CBU and/or its authorized representative have the right to enter the property to inspect the retention basin. In the event the CBU finds the retention basin in need of maintenance or repair, the CBU will notify the retention basin owner of the necessary maintenance or repairs and give the owner a timeframe for completing the maintenance or repairs. If the maintenance or repairs are not completed within the designated timeframe, the CBU may perform the maintenance or repairs and bill the retention basin owner for the cost of the work.

Inspection & Maintenance Activities

Refer to the checklist provided with this manual for inspection, maintenance, and repair of the retention basin. The checklist is to be used by the retention basin owner in performing routine inspections and may also be used by the CBU to perform its own annual inspections.

Retention basin owners must routinely inspect retention basins to verify that all components are functioning as designed and are not in danger of failing. Retention basins require maintenance to function properly as a water quality and quantity facility. Maintenance can range from soil erosion repairs to eradication of invasive plant species.

The retention basin owner agrees to the maintenance and inspection programs included with this manual. Inspections must be performed on an annual basis between May 1 and September 1 and documented on the inspection forms included with this manual.

Retention Basin Owner Acknowledgment

This Operation and Maintenance Manual is submitted to the City of Bloomington Utilities (CBU) with the intent to insure the longevity and adequate functioning of the retention basin owned by Doc-2605 East Creeks Edge Drive Mob, Llc. By submitting this Operation and Maintenance Manual to the CBU with plans to maintain said retention basin, the retention basin owner agrees to follow and abide by the inspection schedule and maintenance activities listed in this manual. The retention basin owner is responsible for any additional maintenance and/or repair activities to maintain the function and longevity of the retention basin. All responsibilities for inspection and maintenance of the retention basin as well as any other responsibilities and obligations which shall be borne by the owner, Doc-2605 East Creeks Edge Drive Mob, Llc, shall also be borne by any successors in interest to the property.

Retention Basin Owner Signature:

Date

Printed Owner & Title

Retention Basin Inspection Checklist
 IU Health Southern Indiana Physicians
 Owner: Doc-2605 East Creeks Edge Drive Mob, Llc

Location: Retention pond at west edge of property at 2605 E. Creek's Edge Dr., Bloomington, IN 47401
 Date: _____
 Inspector: _____
 Signature: _____

Time: _____
 Title: _____
 Refer to Exhibits A - C
 Y = Yes
 N = No

Maintenance Item	Y or N	Comments	Recommended Maintenance Procedure
Adjacent banks w/ at least 95% ground cover			Use only seed mix from Exhibit 2. Mow to 6" height in mid June only.
Erosion at pipes discharging to the basin			Repair eroded areas by adding natural rock or stones 6" and larger in the washed area to a level flush with the surrounding ground surface.
Invasive plant species present			Eradicate any and all plant species listed in the Landscape Standards of the City of Bloomington Ordinance Chapter 20.05.058 Exhibit LA-B that are within or on the adjacent banks.
Animal burrows present			Contact the City of Bloomington Animal Control or a licensed animal trapper for removal services.
Steel grated casting blocked or damaged			Remove trash and debris from the casting. Remove all plants within 2 feet of the casting.
Concrete outlet control structure in good condition			Check for cracking or serious spawling of concrete. If present then contact a contractor to repair.
Surface overflow spillway clear of obstructions			Remove trash, debris and woody plants between the pond and the sidewalk ramp at the property driveway entrance.

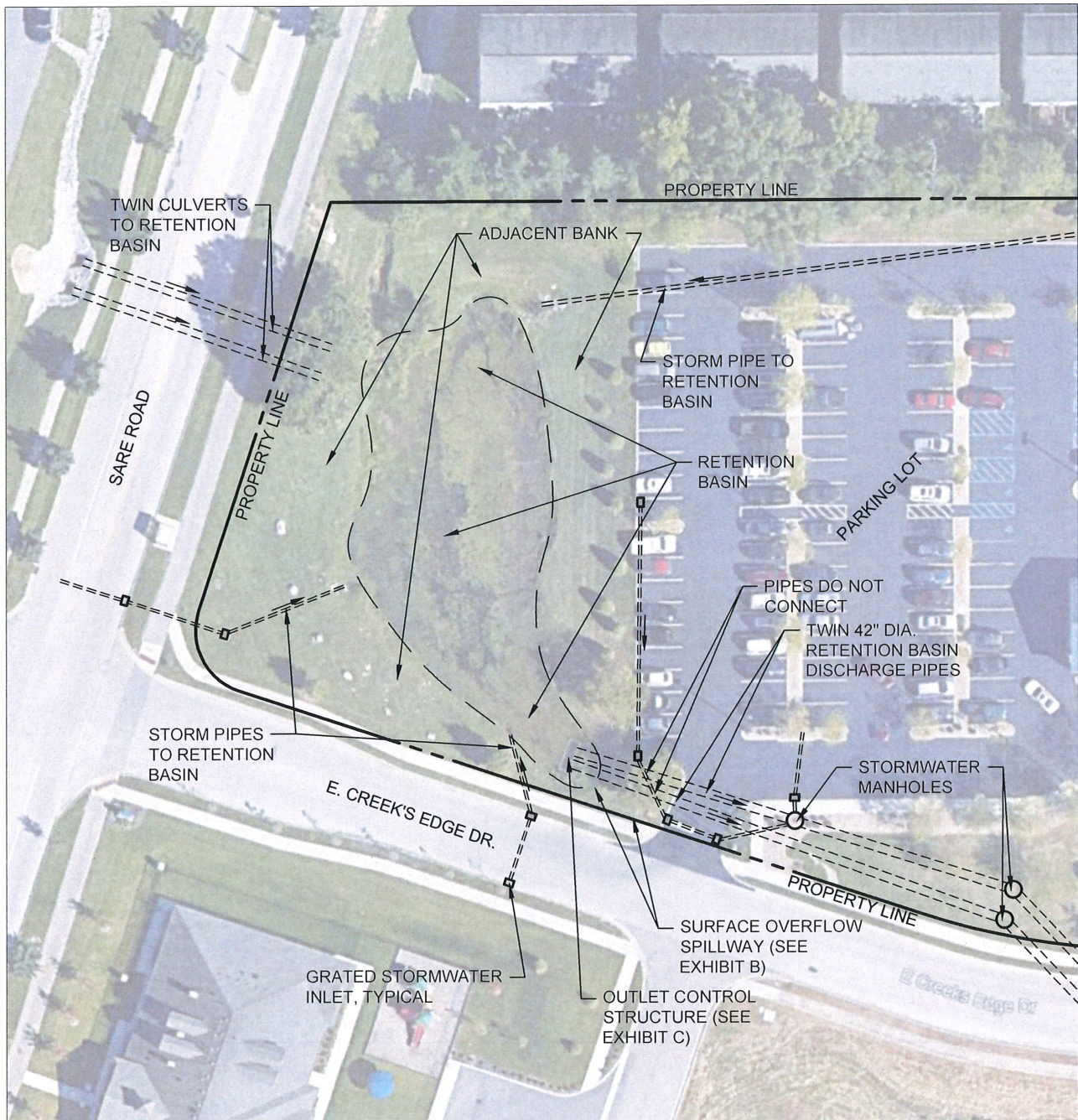
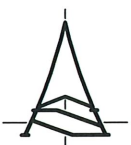
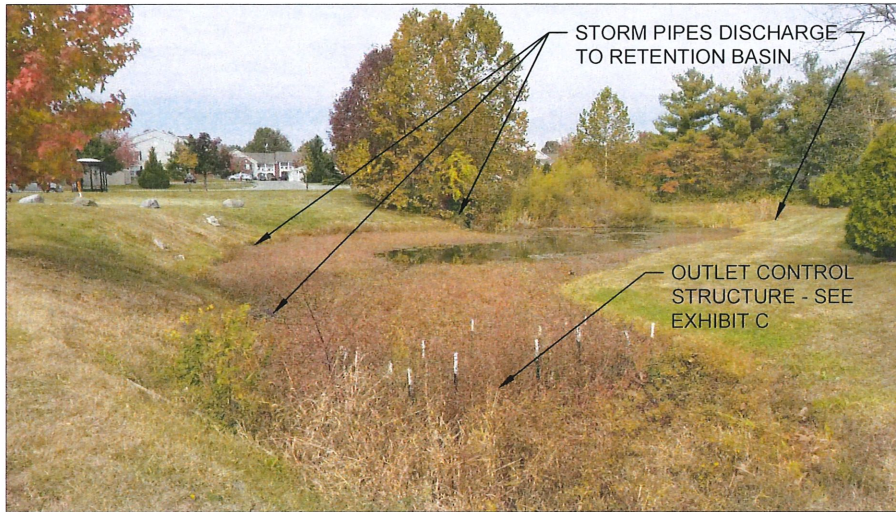


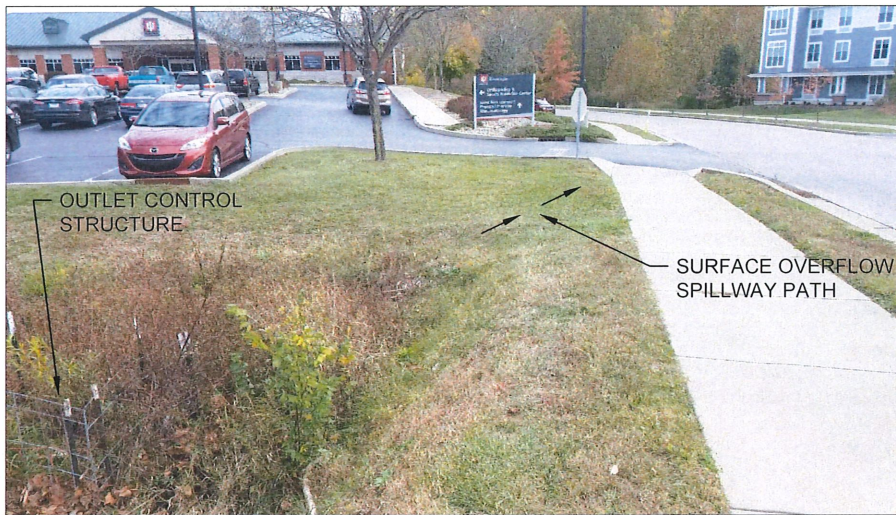
EXHIBIT A LOCATION MAP



APPROXIMATE
SCALE: 1"=60'



RETENTION BASIN
(SE LOOKING NW)



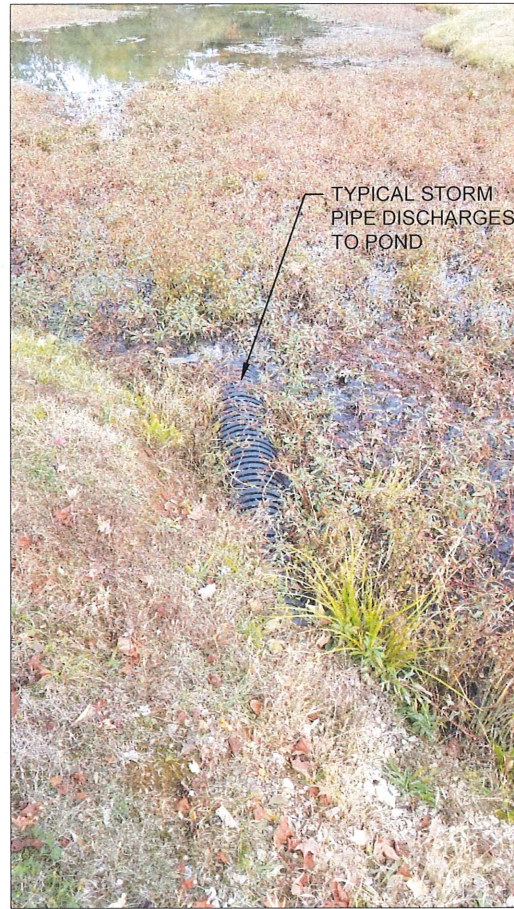
SURFACE OVERFLOW SPILLWAY

EXHIBIT B
BASIN COMPONENT PHOTOGRAPHS



OUTLET CONTROL STRUCTURE
(OPEN GRATED CASTING ON
CONCRETE INLET)

OUTLET CONTROL
STRUCTURE



TYPICAL STORM
PIPE DISCHARGES
TO POND

TYPICAL STORM PIPE TO
POND

EXHIBIT C
BASIN COMPONENT PHOTOGRAPHS

PLAT CABINET "D", ENVELOPE 50

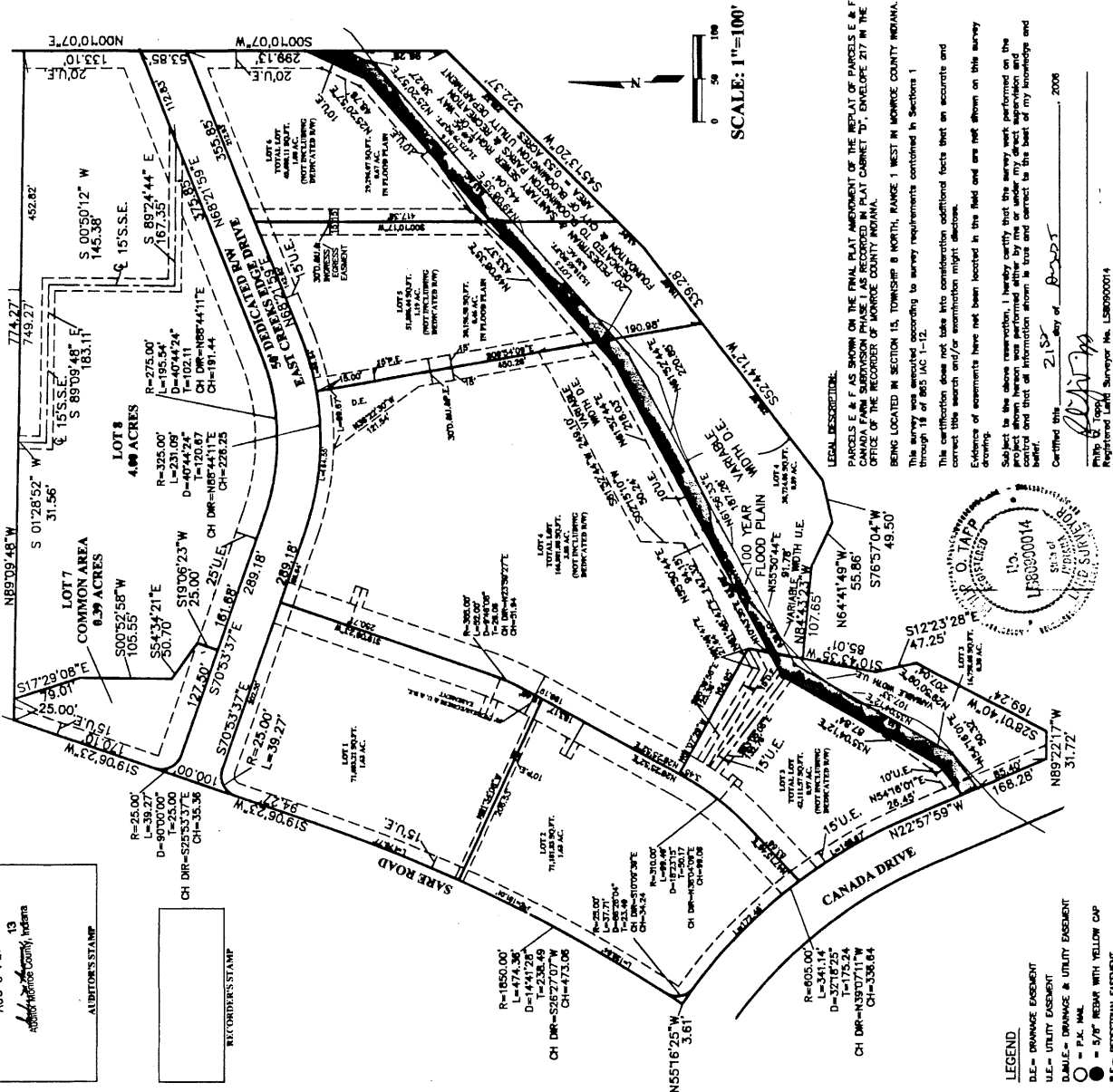
Pat Haley
Monroe County Recorder - IN
IN 2808017949 SPL
89/65/2005 12:50:20 1 PGS
P.Lime Fax: 528.80

FINAL PLAT AMENDMENT THIRD REPLAT OF PARCELS E/F CANADA FARM SUBDIVISION PHASE I

DAILY ENTERED
FOR TAXATION
AUG 31 2006
19
Monroe County, Indiana

ALBERTUS'S STAMP

BLK CONRAD'S STAMP



LOCATION MAP

USGS QUAD MAP
SCALE: 1"=2000'

PLAT COMMISSION AND BOARD OF PUBLIC WORKS
Under the authority provided by Chapter 15, Acts of 1947, enacted by the General Assembly of the State of Indiana and confirmed adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington as follows:

Approved by the Board of Public Works at a meeting held

Pat Haley
Pat Haley, Recorder
Tommy B. ...
Tommy B. ...

I affirm under penalties of perjury that I have taken reasonable care to insure each parcel security number in this document, unless required by law.
W.S. Struble
W.S. Struble, Director

Approved by the City Planning Commission at a meeting held

W.S. Struble
W.S. Struble, Director

The undersigned, Sherwood Hills South, Inc. & Progress Property Management L.L.P., an Indiana limited liability partnership, being the owners of the above described lots and common areas hereby certify that they are the true and correct owners of the same and that the same are being subdivided as shown on this plat.

IN WITNESS WHEREOF, Sherwood Hills South, Inc. & Progress Property Management L.L.P. by *Kenneth E. Blackwell*, its duly authorized officer, has caused this plat to be signed and sealed this 28th day of August, 2006.

Kenneth E. Blackwell
Kenneth E. Blackwell, General Partner for Progress Property Management L.L.P. by *Tommy B. ...*, its duly authorized officer, has caused this plat to be signed and sealed this 28th day of August, 2006.

Tommy B. ...
Tommy B. ...

STATE OF INDIANA)
COUNTY OF MONROE)

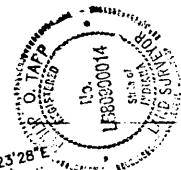
Before me, a Notary Public in and for the State of Indiana and Monroe County, personally appeared Kenneth E. Blackwell for Sherwood Hills South, Inc. & Progress Property Management L.L.P., a duly organized corporation under the laws of the State of Indiana, and Tommy B. ... for Progress Property Management L.L.P., a duly organized limited liability partnership under the laws of the State of Indiana, both of whom acknowledged to me that they are the true and correct owners of the above described lots and common areas and that they are being subdivided as shown on this plat.

My Commission Expires *November 8, 2008*
Tommy B. ...
Tommy B. ...

Tommy B. ...
Tommy B. ...

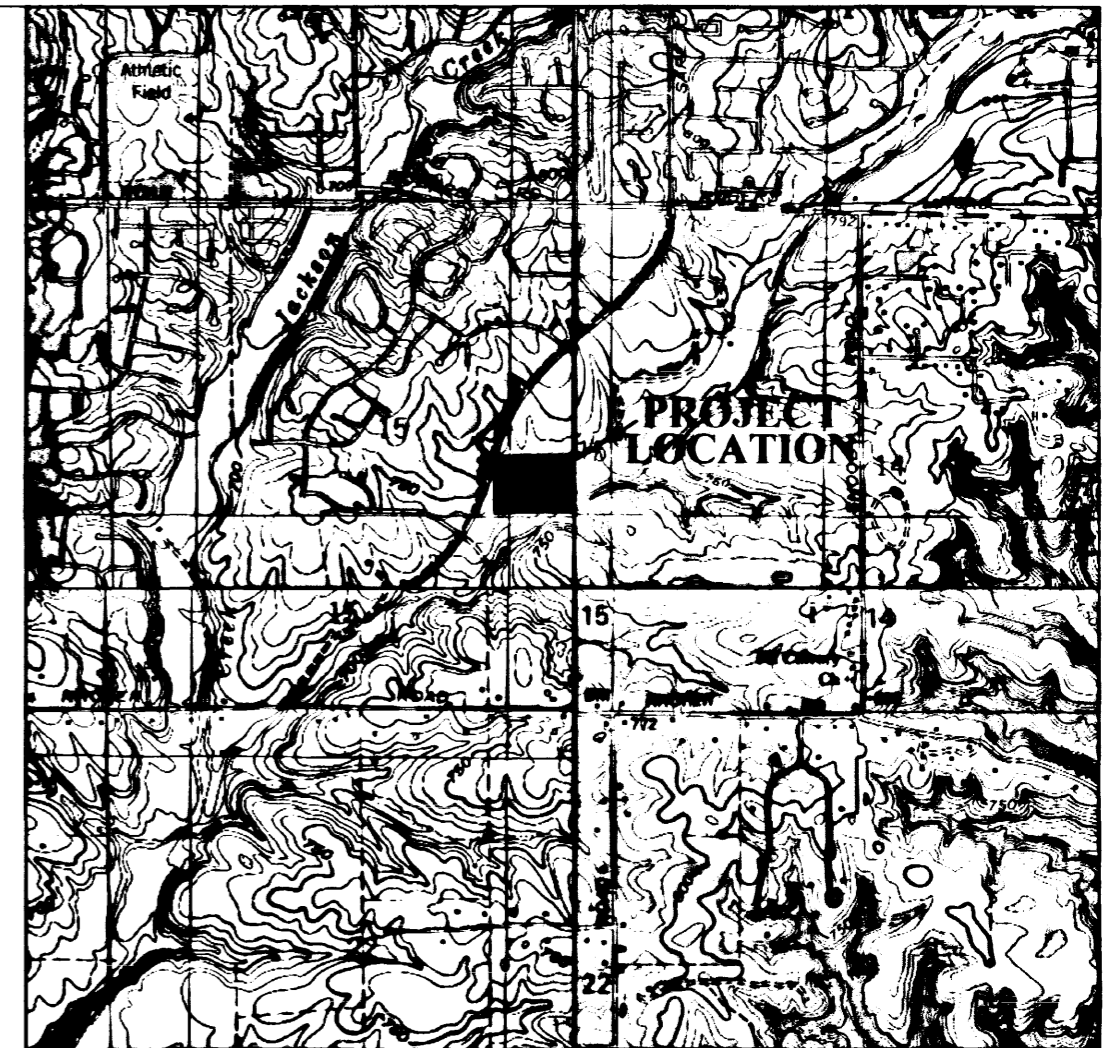
JOB NO. 6015
SHEET 1 OF 1

LEGAL DESCRIPTION:
PARCELS E & F AS SHOWN ON THE FINAL PLAT AMENDMENT OF THE REPLAT OF PARCELS E & F CANADA FARM SUBDIVISION PHASE I AS RECORDED IN PLAT CABINET "D", ENVELOPE 217 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY INDIANA.
BEING LOCATED IN SECTION 15, TOWNSHIP 8 NORTH, RANGE 1 WEST IN MONROE COUNTY INDIANA.
This survey was conducted according to survey requirements contained in Sections 1 through 18 of 803 IAC 1-12.
This certification does not take into consideration additional facts that an accurate and correct title search only of examination might disclose.
Evidence of encumbrances have not been located in the field and are not shown on this survey drawing.
Subject to the above reservation, I hereby certify that the survey work performed on this project above described was performed either by me or under my direct supervision and that I am a duly licensed and qualified land surveyor in the State of Indiana.
Certified by *Tommy B. ...*
Tommy B. ...
Registered Land Surveyor No. L586900014
State of Indiana



LEGEND
D.E. = DRAINAGE EASEMENT
U.E. = UTILITY EASEMENT
D.U.A.L.E. = DRAINAGE & UTILITY EASEMENT
P.A.K. = P.A.K. MAIL
R.E. = PEDESTRIAN EASEMENT
S.S.E. = SANITARY SEWER EASEMENT TO CITY OF INDIANAPOLIS UTILITIES

FINAL PLAT AMENDMENT THIRD REPLAT OF PARCELS E/F CANADA FARM SUBDIVISION PHASE I



LOCATION MAP

USGS QUAD MAP
 SCALE: 1"=2000'

PLAN COMMISSION AND BOARD OF PUBLIC WORKS

Under the authority provided by Chapter 174, Acts of 1947, enacted by the General Assembly of the State of Indiana and ordinance adopted by the Common Council of the City of Bloomington, Indiana, this plat was given approval by the City of Bloomington as follows:

Approved by the Board of Public Works at a meeting held:

August 22nd, 2006
 [Signature]
 President

Member
 [Signature]
 Member

Approved by the City Plan Commission at a meeting held:

July 10, 2006
 [Signature]
 Director
 [Signature]
 President

I affirm under penalties of perjury, that I have taken reasonable care to reflect each social security number in this document, unless required by law.

[Signature]
 Name

The undersigned, Sherwood Hills South, Inc. & Rogers Property Management LLP, an Indiana limited liability partnership, being the owners of the above described real estate, does hereby lay off, plat and subdivide the same into lots and streets in accordance with this plat. The within plat shall be known and designated as Final Plat Amendment, Third Replat of Parcels E / F Canada Farm Subdivision Phase I.

IN WITNESS WHEREOF, Sherwood Hills South, Inc. by Kenneth E. Blackwell, & Rogers Property Management LLP, by Bradford J. Bomba, Jr., M.D., General Partner have hereunto executed this 28th day of August 2006.

[Signature]
 Kenneth E. Blackwell
 Sherwood Hills South, Inc., by Kenneth E. Blackwell
 [Signature]
 Bradford J. Bomba, Jr.
 Rogers Property Management LLP, by Bradford J. Bomba, Jr., M.D., General Partner

STATE OF INDIANA)

COUNTY OF MONROE)

Before me, a Notary Public in and for the State of Indiana and Monroe County, personally appeared Kenneth E. Blackwell for Sherwood Hills South, Inc. & Bradford J. Bomba, Jr., M.D., General Partner for Rogers Property Management LLP, and being the owners of the described real estate, and who acknowledged the execution of the foregoing plat for the Real Estate known as Final Plat Amendment, Third Replat of Parcels E / F Canada Farm Subdivision, Phase I as their voluntary act and deed for the uses and purposes therein expressed.

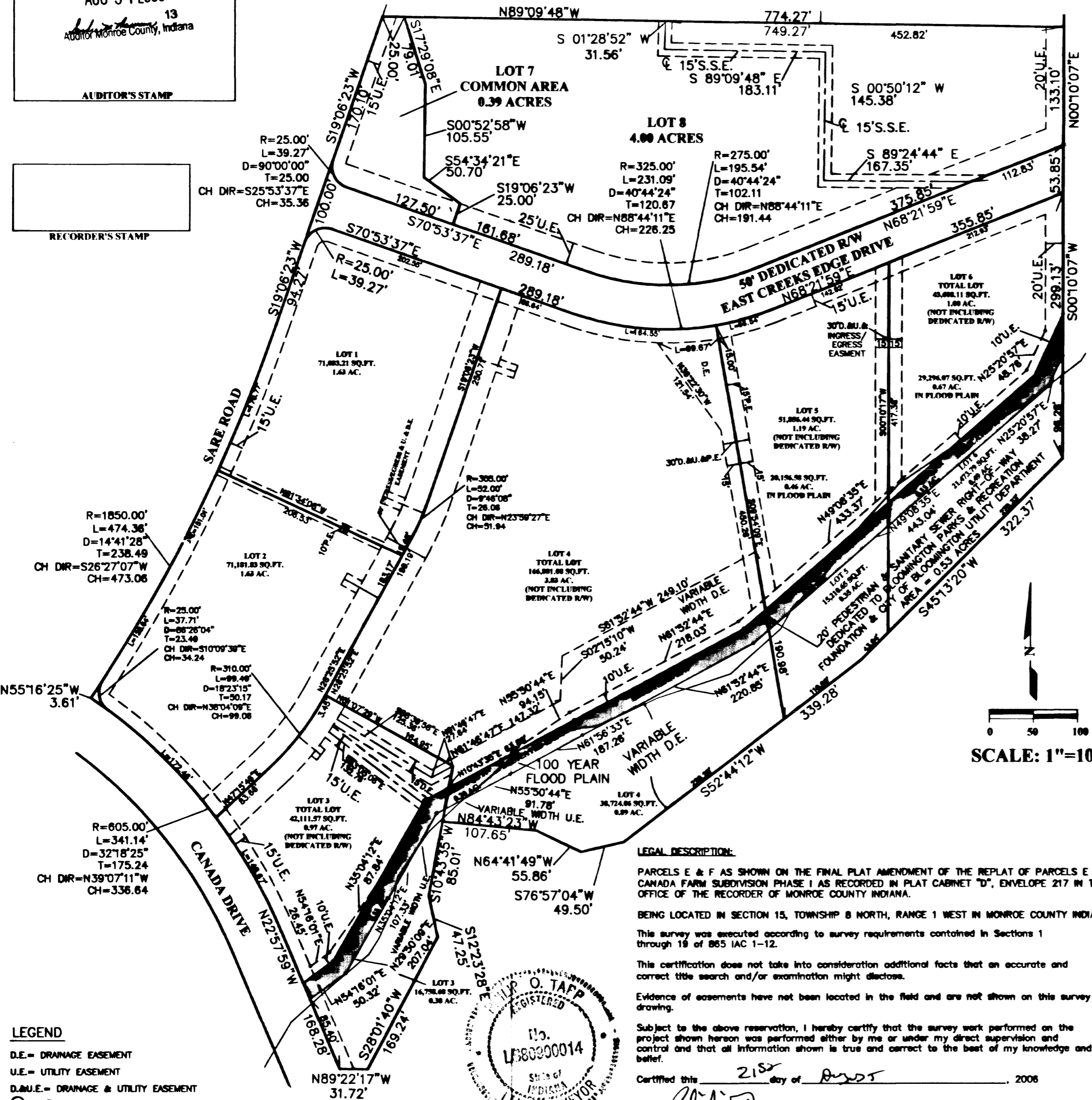
WITNESS my hand and Notarial Seal this 28th day of August, 2006.

My Commission Expires: November 8, 2008
 [Signature]
 Lori K Gehlhausen

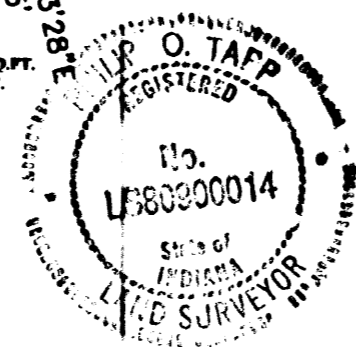
JOB NO. 6015
 SHEET 1 OF 1

DULY ENTERED
 FOR TAXATION
 AUG 31 2006
 13
 Auditor Monroe County, Indiana
 AUDITOR'S STAMP

RECORDER'S STAMP



- LEGEND**
- D.E.= DRAINAGE EASEMENT
 - U.E.= UTILITY EASEMENT
 - D.U.E.= DRAINAGE & UTILITY EASEMENT
 - = P.K. NAIL
 - = 5/8" REBAR WITH YELLOW CAP
 - P.E.= PEDESTRIAN EASEMENT
 - S.S.E.= SANITARY SEWER EASEMENT TO CITY OF BLOOMINGTON UTILITIES



LEGAL DESCRIPTION:

PARCELS E & F AS SHOWN ON THE FINAL PLAT AMENDMENT OF THE REPLAT OF PARCELS E & F CANADA FARM SUBDIVISION PHASE I AS RECORDED IN PLAT CABINET "D", ENVELOPE 217 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY INDIANA.

BEING LOCATED IN SECTION 15, TOWNSHIP 8 NORTH, RANGE 1 WEST IN MONROE COUNTY INDIANA. This survey was executed according to survey requirements contained in Sections 1 through 19 of B65 IAC 1-12.

This certification does not take into consideration additional facts that an accurate and correct title search and/or examination might disclose.

Evidence of easements have not been located in the field and are not shown on this survey drawing.

Subject to the above reservation, I hereby certify that the survey work performed on the project shown hereon was performed either by me or under my direct supervision and control and that all information shown is true and correct to the best of my knowledge and belief.

Certified this 21st day of August, 2006

[Signature]
 Philip O. Tapp
 Registered Land Surveyor No. LS80900014
 State of Indiana

**BLOOMINGTON PLAN COMMISSION
STAFF REPORT
Location: 1730 S Walnut St.**

**CASE #: SP-21-21
DATE: August 9, 2021**

PETITIONER: RealAmerica Development, LLC
8250 Dean Road
Indianapolis, IN 47401

REQUEST: The petitioner is requesting major site plan review for a new 64-unit multifamily dwelling facility and commercial area in the Mixed-Use Corridor (MC) zoning district.

BACKGROUND:

Area: 1.43 acres
Current Zoning: Mixed-Use Corridor (MC)
Comp Plan Designation: Regional Activity Center
Existing Land Use: Vacant
Proposed Land Use: Dwelling, Multifamily/Commercial
Surrounding Uses: North – Park
South – Commercial
East – Commercial
West – Park

REPORT: The property is located at 1730 S Walnut Street. This property is currently zoned Mixed-Use Corridor (MC) and is vacant. The properties to the south, north, and east are also currently zoned MC and developed with commercial uses. The property to the west is currently zoned Parks and Open Space (PO) and developed with Switchyard Park. The site is currently developed with a vacant commercial structure and surface parking lot. The petitioner will fully demolish the existing structure. This property is not located in any historic districts or overlay districts.

The petitioner is proposing a new 5-story multifamily and commercial structure. The petitioner has designed the project to achieve the Tier 2 Affordable Housing Incentives, found in 20.04.110 (c). This proposed development will include a 64-unit/116 bedroom mixed-use development with 107,637 square feet of gross floor area. The proposed commercial space is approximately 3,000 square feet and is located immediately adjacent to S Walnut Street. Of the dwelling units, 48 will be affordable units, 16 will be market rate units. The structure will provide 56 vehicle parking spaces in a ground level parking garage. There will also be 12 vehicle parking spaces located in a surface parking lot to serve the commercial space. The petitioner may do a lot line adjustment to their property. If this is done, the property will still be required to meet impervious surface coverage, setbacks, and minimum landscaping already established on the lot.

MAJOR SITE PLAN REVIEW 20.06.050(a)(2)(C)(ii): Major site plan approval is required for developments which qualify for the affordable housing incentive, and that contain more than 50 dwelling units. This proposed development contains 64 dwelling units and will be utilizing Tier 2 affordable housing incentives in order to increase maximum building height.

SITE PLAN ISSUES:**Dimensional Standards:**

- **Setbacks:** The MC zoning district requires a 15' front setback and 7' side and rear setback. This site plan demonstrates compliance with required setbacks.
- **Height:** The maximum height in the MC zoning district is 4 stories not to exceed 50'. The petitioner will utilize Tier 2 affordable housing incentives to allow for the building height to be increased by up to two floors, not to exceed 24', for a total of 5 stories.
- **Impervious Surface Coverage:** The maximum impervious surface coverage in the MC zoning district is 60%. The proposed site plan demonstrates compliance with the required maximum.

Environmental: Some parts of the site may require environmental remediation if developed. A copy of the Environmental Commission's memorandum has also been included with this report.

Bicycle Parking/Alternative Transportation: Residential uses are required to provide bicycle parking spaces at 10% of the provided vehicle parking or 1 space per 5 bedrooms, whichever is more. Since they have 116 bedrooms, a minimum of 23 bicycle parking spaces will be required. The commercial space will be required to provide at least 6 bicycle parking spaces. This development will provide a 6' sidewalk and tree plot along south Walnut Street.

Landscaping: A minimum of one canopy tree shall be planted per 40 feet of property that abuts a public right-of-way. The proposed site plan meets this requirement of 4 street trees. The City's Urban Forester will need to be consulted about the species of street trees which can be utilized with this development. A compliant landscape plan including all parking lot and interior landscape requirements will be required before a grading permit will be issued. A condition is included.

Access: This development will have a single access point on S Walnut Street. The driveway is located on the adjacent property and will utilize an existing access easement from S Walnut Street.

Parking: Minimum vehicle parking is not required at this location as the property is not adjacent to R3 or in the Mixed-Use Downtown zoning district. This development will provide 56 parking spaces in a ground floor parking garage to serve the residents. There will also be a surface parking lot with 12 spaces to serve the commercial space. The maximum parking allowance is 4 spaces per 1,000 square feet which would give them a maximum allowance of 12 spaces for the commercial space.

Affordable Housing: Tier 2 Incentives require that at least 60 percent of the total gross floor area of the building be dedicated to residential dwelling units; and a minimum of 7.5 percent of the total dwelling units are income-restricted permanently to households earning below 120 percent of the HUD AMI for Monroe County, Indiana; and a minimum of 7.5 percent of the total dwelling units are income-restricted permanently to households earning below 80 percent of the HUD AMI for Monroe County, Indiana. The developer is working with the Housings and Neighborhood Development Department (HAND) to ensure compliance with these requirements.

Architecture: The building will be finished with a mix of stone veneer, metal, fiber cement siding, and concrete masonry. The exterior façade of the building incorporates wall elevation projections, a regular pattern of glass on the first floor, and changes in façade height to comply with the patterns requirements of the UDO. The flat roof features parapets on the supporting walls to meet the roof

design requirements. A pedestrian entrance is shown along S Walnut Street for both the commercial space and dwelling units.

GENERAL COMPLIANCE CRITERIA: All petitions shall be subject to review pursuant to the following criteria and shall only be approved if they comply with these criteria 20.06.040(d)(6)(A).

Compliance with this UDO: *The proposed use and development shall comply with all applicable standards in this UDO, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.*

Proposed Finding: This development will meet all applicable standards in the UDO.

Compliance with Other Applicable Regulations: *The proposed use and development shall comply with all other city regulations and with all applicable regulations, standards, requirements, or plans of the federal or state governments and other relevant entities with jurisdiction over the property or the current or proposed use of the property. This includes, but is not limited to, floodplain, water quality, erosion control, and wastewater regulations.*

Proposed Finding: This development is in compliance with other city regulations.

Compliance with Utility, Service, and Improvement Standards:

1. *As applicable, the proposed use and development shall comply with federal, state, county, service district, city, and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.*
2. *Municipal sewer and water hookup are required for all developments except for instances where written approvals by the City Utilities Department and the County Health Department grant an exception to the hookup requirement. All sewer and water facilities shall meet the design specifications of the City Utilities Department.*
3. *When public improvements are required, the petitioner or authorized representative shall post performance and maintenance guarantees for such improvements. Such financial guarantees shall be submitted, reviewed, and approved per 20.06.060(c)(3)(E)iii (Financial Bond Required).*

Proposed Finding: This development is in compliance with other applicable regulations. They are improving the sidewalk and tree plot along S Walnut Street.

Compliance with Prior Approvals: *The proposed use and development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval for all or part of the property that is in effect and not proposed to be changed. This includes consistency with any approved phasing plan for development and installation of public improvements and amenities.*

Proposed Finding: No relevant prior approvals are found with this petition.

COMPREHENSIVE PLAN: The Comprehensive Plan designates this site as ‘Regional Activity Center’ and acknowledges that this district may incorporate medium to high-density multifamily residential uses. Incorporating multifamily residential within the district is supported. The Comprehensive Plan states,

“The main purpose of the district is to provide semi-urban activity centers that complement, rather than compete with, the Downtown district”

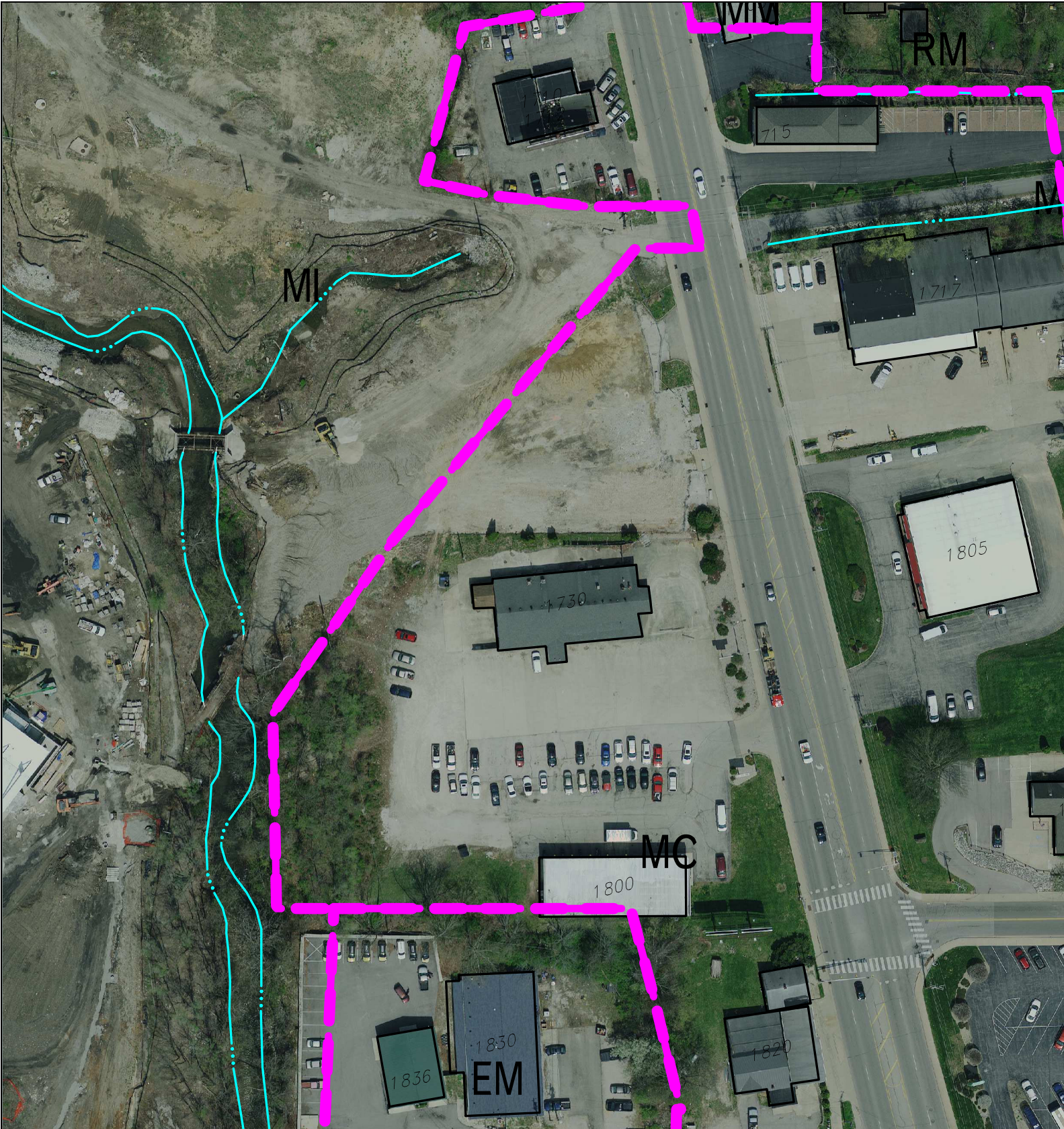
The Comprehensive Plan also notes that this district must shift the existing dominant automobile orientation to a more balanced orientation by increasing access for transit, bicycle, and walking modes of transportation. For guidance on development approvals in this district the Comprehensive Plan states the following:

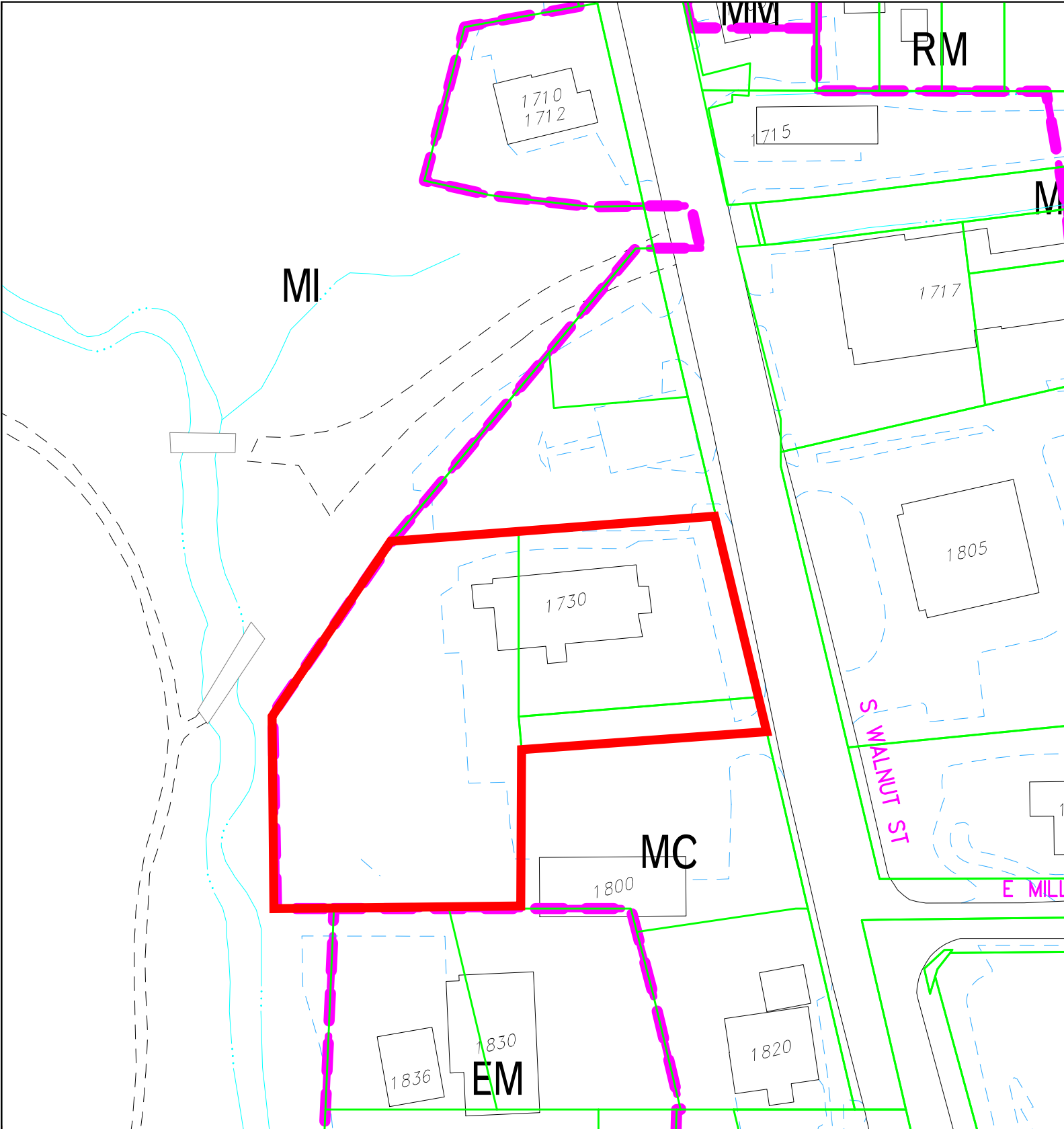
- Less intense commercial uses should be developed adjacent to residential areas to buffer the impacts of such development. Multifamily residential and office uses could likewise serve as transitional elements.
- Redevelopment within the district should be encouraged to grow vertically, with the possibility of two or three-story buildings to accommodate denser office development, residential multifamily, structured parking, and improved multimodal connectivity.
- The goal for redevelopment is to create a few high-density (retail with office and residential) activity nodes.

CONCLUSION: This petition meets all requirements of the UDO. This petition will provide 48 units of affordable housing and 16 market rate units adjacent to Switchyard Park. This petition is also in line with the goals of the Comprehensive Plan and the goals of the Urban Corridor district by providing a higher intensity multifamily residential and commercial uses. This petitioner may work with the City of Bloomington in the future to slightly reduce the size of the development parcel, but all UDO requirements will continue to be met on site.

RECOMMENDATION: The Planning and Transportation Department recommends that the Plan Commission adopt the proposed findings and approve SP-21-21 with the following conditions:

1. This project is approved pursuant to compliance with the Tier 2 Affordable Housing Incentive criteria, as outlined in the petitioner statement and this report, and will have to meet all requirements associated with such Incentives.
2. The petitioner will provide the required number of bicycle parking spaces on the site plan prior to the issuance of a grading permit.
3. A landscape plan that meets all UDO requirements, including required street trees, must be submitted and approved prior to issuance of a grading permit.







City of Bloomington
Bloomington Environmental Commission

MEMORANDUM

Date: August 9, 2021
To: Bloomington Plan Commission
From: Bloomington Environmental Commission
Subject: SP-21-21: The Retreat at Switchyard Park
1730 S. Walnut Street

The purpose of this memo is to convey the environmental concerns and subsequent recommendations for conditions of approval for this development petition. The Environmental Commission's (EC) objective is that the results of our review and suggestions will lead to enhancement of the ecosystem services provided, and the climate-change mitigation attributes of the site.

Comments

1.) LANDSCAPE PLAN

The Landscape Plan is missing labeling and needs to be revised prior to the issuance of a Grading Permit.

2.) PARKING SPACES

It is unclear how many surface parking spaces there are in the surface lot. Please clarify.

Recommended Conditions of Approval

- 1.) Revise the Landscape Plan
- 2.) Clarify the number of parking spaces in the surface lot.



8250 Dean Road
Indianapolis, IN 46240
O: 317.815.5929
F: 317.815.5930
RealAmericaLLC.com

Mr. Keegan Gulick
Zoning & Long Range Planner
Planning & Transportation Department
City of Bloomington
401 N. Morton Street
Bloomington, IN 47404

July 2, 2021

RE: Retreat @ the Switchyard

Dear Keegan,


Please find enclosed our application for the Plan Commission for the Retreat @ the Switchyard.

As a reminder on the origins of this development, in December of 2019, the City of Bloomington issued a Request for Information from qualified development teams to create affordable housing, market rate housing and commercial space on the former site of Night Moves. The City's goal was to maximize the site for these uses while primarily creating affordable housing next to the City's beautiful new park. RealAmerica submitted a response to the RFI and was selected as the developer for the site. In September 2020 we submitted a financing application to the Indiana Housing & Community development Authority to finance the 48 affordable apartments. We received an allocation of tax credits in February 2021 and are now able to move forward with the building.

We are proposing a 64-unit, mixed-income, mixed-use building at 1730 S. Walnut Street in Bloomington. The building will contain 48 apartments for low- and moderate-income residents with 10 of these units set aside for clients of Stone Belt. The remaining 16 apartments will be market rate. The frontage of the building will have approximately 3,000 square feet of commercial space. We do not have a tenant for this space yet. The design of the building is a "4 over 1" with ground floor parking behind the commercial space and apartments on floors two through five.

The location is excellent for this mix of uses. The neighborhood is currently a mix of residential uses with apartments and single-family homes nearby and commercial buildings also along South Walnut. Our future residents will be able to walk to Switchyard Park to take advantage of all the amenities included at the park. They will also be able to walk to the bus stop on Miller Drive.

Sincerely,

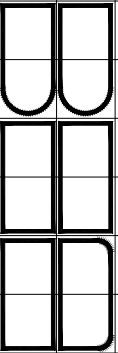


Jeffrey A. Ryan
Vice President of Development

PROPOSED: Real America Retreat at Switchyard Park

1730 S. WALNUT ST.
BLOOMINGTON, IN 47401

UTILITY CONTACT INFORMATION	
GAS	SEWER AND WATER
CITY OF BLOOMINGTON 801 E. MAIN ST. BLOOMINGTON, IN 47401 317-344-4400	CITY OF BLOOMINGTON 801 E. MAIN ST. BLOOMINGTON, IN 47401 317-344-4400
TELEPHONE	CABLE TELEVISION
3400 SOUTH WASHINGTON STREET BLOOMINGTON, IN 47404 317-344-4400	3400 SOUTH WASHINGTON STREET BLOOMINGTON, IN 47404 317-344-4400
	INTERNATIONAL UTILITY LOCATION
	3400 SOUTH WASHINGTON STREET BLOOMINGTON, IN 47404 317-344-4400



BYNUM FANYO & ASSOCIATES, INC.

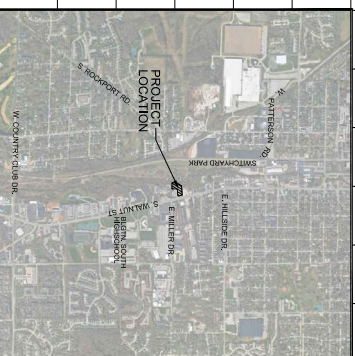
528 North Walnut Street
Bloomington, Indiana 47404 (812) 332-8030

OWNER/DEVELOPER:
REAL AMERICA, LLC
8250 DEAN RD.
INDIANAPOLIS, IN 46240

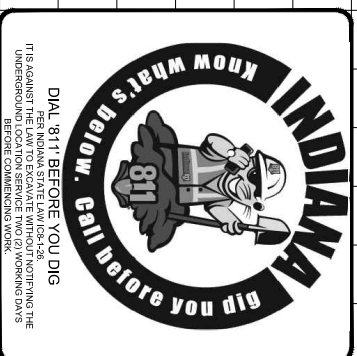
THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS

SHEET INDEX

SHEET NO.	SHEET NO.
C101	GENERAL NOTES & MISCELLANEOUS DETAILS
C201	DEMOLITION PLAN
C202	SITE & UTILITY PLAN
C203	GRADING, DRAINAGE & SWPP PLANS
C204	SWPPP - EROSION CONTROL
C205	LANDSCAPE PLAN
C206	MAINTENANCE OF TRAFFIC PLAN
C301 - C302	MISCELLANEOUS DETAILS
C401	SWPPP INFORMATION & DETAILS
C402 - C403	SWPPP DETAILS



VICINITY/LOCATION MAP
SCALE: 1"=1,500'



architect
civil engineering
planning

Certified By:

JEFFREY S. FANYO, P.E.
IND. REG. NO. 60018283

Revisions

REAL AMERICA RETREAT
PROJECT NO. 402111

REAL AMERICA RETREAT
PROJECT NO. 402111

GENERAL NOTES

1. BOUNDARY AND TOPO BY BRUNN FANTO AND ASSOCIATES, 528 NORTH WALNUT STREET, BLOOMINGTON, INDIANA 47404. PHONE (812) 332-8030.
2. DEVELOPER: REAL WORKS, LLC, 9250 BURNING BUSH, INDIANAPOLIS, IN 46240.
3. PROJECT ADDRESS: 1730 S. WALNUT ST. BLOOMINGTON, INDIANA 47401.
4. ALL WORKS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS OF CONSTRUCTION.
5. ALL RIGHTS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
6. THE EXISTING EDITION OF THE MANUAL DEPARTMENT OF TRANSPORTATION, CHANGING IMPROVEMENTS TO ROAD DESIGN, SECTION 2-12.1, SHALL BE USED THROUGHOUT THE PROJECT UNLESS NOTED OTHERWISE.
7. EXISTING UTILITIES ON SITE SHALL BE RELOCATED AS REQUIRED. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH RELOCATION.
8. SAFE, CLEARLY MARKED FREIGHTWAY AND VEHICULAR ACCESS TO ALL ADVANT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

PARKING AND PAVEMENT NOTES

1. ALL SPUR, PARKING, DRIVEWAYS, AND OTHER TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION AS APPLICABLE.
2. ALL DRIVEWAYS ARE TO BE CONCRETE UNLESS INDICATED OTHERWISE.
3. CONTRACTOR SHALL FURNISH AND INSTALL PAVEMENT MARKINGS AS SHOWN ON THESE PLANS.
4. CONTRACTOR SHALL COMPUTE THE INSTALLATION OF ALL SPUR, PARKING, DRIVEWAYS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON THE SITE.
5. ALL DRIVEWAYS SHALL BE TO BE SHARP AND CLEAR WITHOUT SHIMMING.
6. CONTRACTOR SHALL SAW-CUT JEANS AT EXISTING CURBS AS NECESSARY TO MAINTAIN SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO EXISTING CURBS AT ALL INTERSECTIONS TO MAINTAIN SMOOTH TRANSITIONS TO EXISTING PAVING SURFACES. (CHECK AT ALL INTERSECTIONS).
7. CONTRACTOR SHALL COMPLY WITH ALL PERMITS REQUIRED BY THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, ISSUED BY A.C.C. OF AMERICA, INC. AND ALL LOCAL PERMITS AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON. UTILITIES ENGINEERING DEPARTMENT AT (812)349-3460.

GRADING NOTES

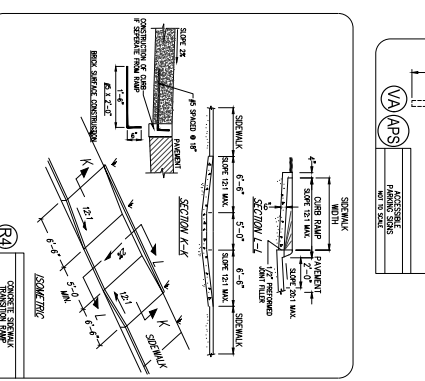
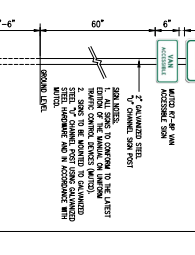
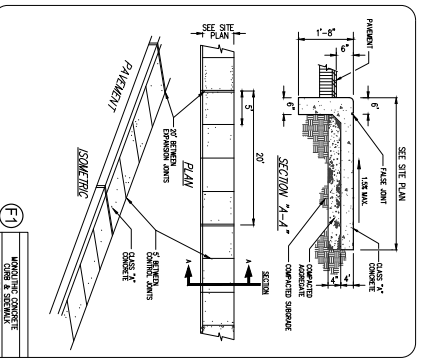
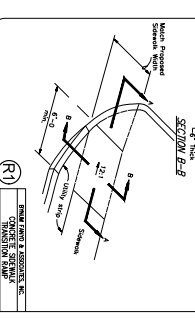
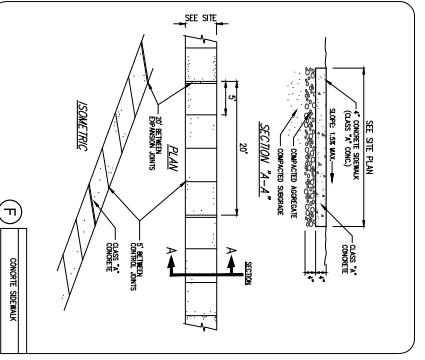
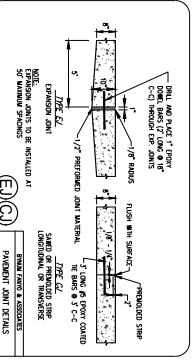
1. NEW FINISHED CONTOURS SHALL BE MADE BY FINISH GRADING IN AREAS TO BECOME PARKING AND USE OF PAVED OR FINISH PAVEMENT. FINISHED SURFACES SHALL BE TO BE SLOPED OR FINISHED TO BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS.
2. ALL CUTS SHALL BE PROTECTED WITH CURBS. ALL CUTS SHALL BE PROTECTED BY THE CONTRACTOR.
3. CONTRACTOR SHALL OBTAIN AND COMPARE WITH ALL UTILITY COMPANIES TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON. UTILITIES ENGINEERING DEPARTMENT AT (812)349-3460.
4. ALL AREAS NOT COVERED BY FINISH GRADING OR PAVING ARE TO BE RELOCATED (SEEDED OR PLY LAWNED PAVING).
5. UNDESIRABLE EXISTING MATERIALS AND ALL WASTE REMAINING FROM GRADING AND OVERSIGHT SHALL BE REMOVED FROM THE SITE.
6. BEFORE ANY WORKING WORKS BEGIN, CONTRACTOR SHALL SUBMIT AND HAVE APPROVED ALL FINISH GRADING AND FINISH PAVING PLANS TO THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION. FINISH GRADING AND FINISH PAVING PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.
7. THESE DOCUMENTS ARE SUBMITTAL IN WHOLE AND CANNOT BEAM EXCEPT FOR REVISIONS TO THE FINISH GRADING AND FINISH PAVING PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BLOOMINGTON. UTILITIES ENGINEERING DEPARTMENT AT (812)349-3460.
8. ALL FINISH GRADING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION AS APPLICABLE.
9. ALL FINISH GRADING SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND ALL STATE AND LOCAL REGULATIONS.
10. CONTRACTOR SHALL SUBMIT AND HAVE APPROVED ALL FINISH GRADING AND FINISH PAVING PLANS TO THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.

ON-SITE UTILITY NOTES

1. ALL WATER PIPE 8" AND LARGER SHALL BE PRESSURE CLASS 500 PER WATER PIPE CODE AND ALL 12" AND LARGER SHALL BE PRESSURE CLASS 800 PER WATER PIPE CODE.
2. WATER MAINS FININGS OF SAND AND GRAVEL SHALL BE DOUBLE RIBBON CONCRETE TO PREVENT FININGS FROM ENTERING THE MAINS.
3. 2" WATER MAINS SHALL BE 589-2 (1995) AND 4" PIPE MAIN BE OTHER 589-2 (1995) OR 9000 (06-14).
4. MECHANICAL REPAIRS SHALL BE MADE AT ALL PIPE LINE BREAKS, TESTS, TESTS, FLOODS, ETC. SEE THE RESTRICTION DETAIL ON SHEET C-202.
5. ALL WATER LINE CUTS SHALL BE MADE BY THE CONTRACTOR AND FINISHED WITH FRESH CONCRETE. ALL CUTS SHALL BE MADE BY THE CONTRACTOR AND FINISHED WITH FRESH CONCRETE. ALL CUTS SHALL BE MADE BY THE CONTRACTOR AND FINISHED WITH FRESH CONCRETE.
6. HYDRANT LOCATION SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT.
7. ALL PERMITS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.
8. THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION AS APPLICABLE, SHALL BE USED THROUGHOUT THE PROJECT UNLESS NOTED OTHERWISE.
9. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND ALL STATE AND LOCAL REGULATIONS.
10. CONTRACTOR SHALL SUBMIT AND HAVE APPROVED ALL ON-SITE UTILITY NOTES TO THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE INSTALLED IN A HEALTHY, VIGOROUS CONDITION AND BE FREE OF DISEASE AND PESTS.
2. ALL PLANTS SHALL BE CONFORMER GROWN OR BARBERED AS SPECIFIED.
3. ALL TREES SHALL BE SHADY-TOLERANT, FULL REEFED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL TREES SHALL BE GATED OR STAKED WHILE SHOWN IN THE DETAILS.
5. ALL PLANTING MATERIAL SHALL BE SHIPPED TO THE SITE WITH A 5' DAPPER MULCH BAG OR OTHER INSTALLED MULCH. TREES TO HAVE A 5' DAPPER MULCH BAG.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED BEFORE PLANTING.
7. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT, UTILITIES ENGINEERING DIVISION.



PROVISIONS

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

Bloomington, Indiana
(812) 339-2490 (Fax)

BEA
BYNUM FANTO & ASSOCIATES, INC.

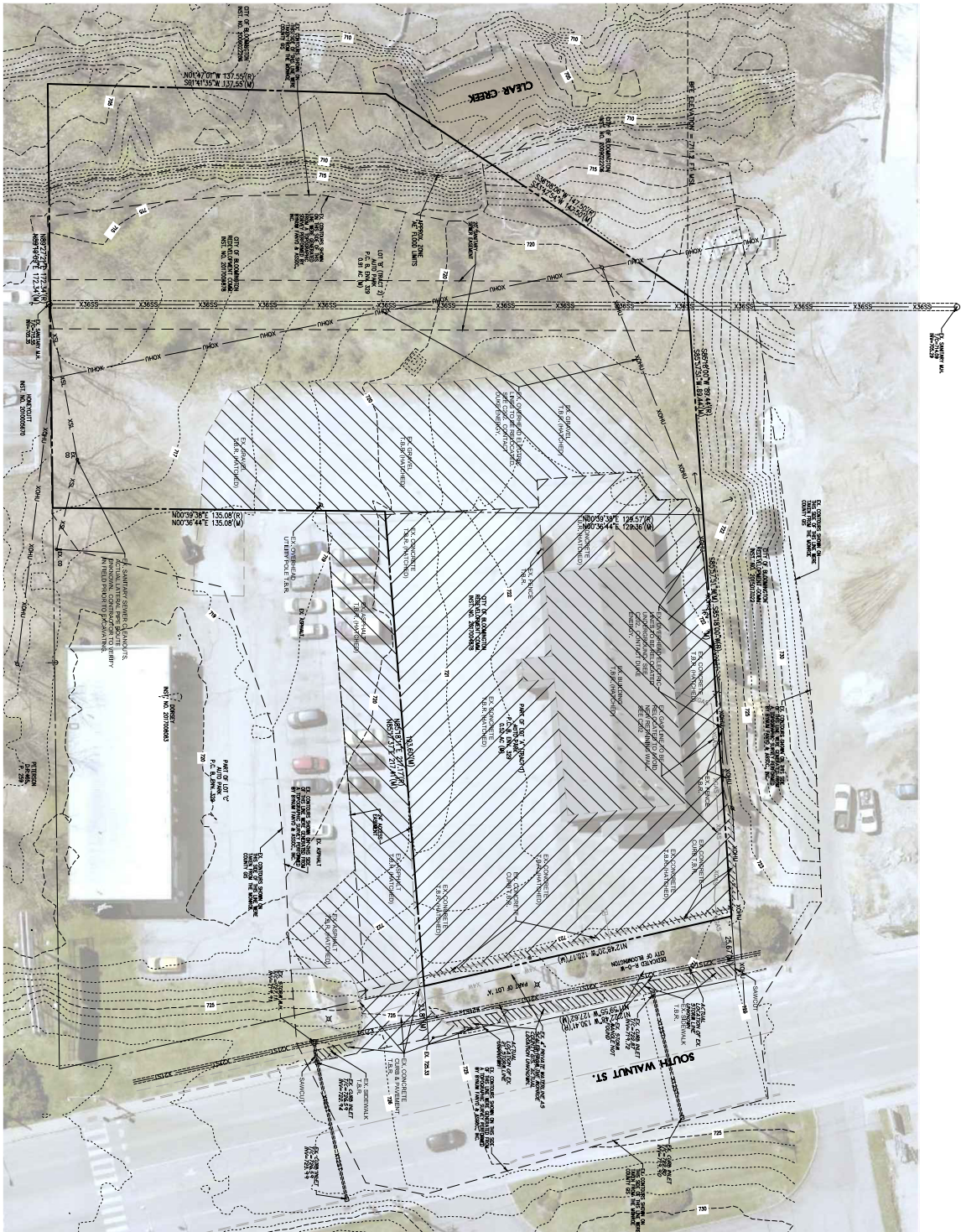
528 North Walnut Street
(812) 332-8030

prepared by:

PROPOSED
REAL AMERICA RETREAT AT SWITCHYARD PARK
1730 S. WALNUT ST.
BLOOMINGTON, INDIANA 47401

THE
GENERAL NOTES &
DETAILS ANNEXES

Designed by: BEA
Drawn by: BEA
Sheet No: 03-001
Project No.: 402111



SCALE: 1"=20'

EXISTING LEGEND

- PROPERTY LINE
- FENCE
- WATER LINE PER PRIVATE OWNER
- CONCRETE & ELEVATION
- SANITARY SHIELD PIPE
- SPOON SHIELD PIPE
- OVERHEAD ELECTRIC LINES
- UNDERGROUND ELECTRIC LINES
- OVERHEAD TELEPHONE LINES
- UNDERGROUND TELEPHONE LINES
- GAS LINE PIPE

DEMOLITION LEGEND

- CONSTRUCTION LINES
- TO BE DEMOLISHED
- TO REMAIN UNDEMOLISHED

INVASIVE SPECIES

CONTRACTOR SHALL REMOVE ALL INVASIVE PLANT SPECIES LOCATED ON THE SUBJECT PROPERTY AND LISTED IN THE CITY OF BLOOMINGTON LIMITED DESTRUCTION ORDINANCE SPECIES. THIS SHALL INCLUDE SUCH SPECIES AS TREE OF HEAVEN, HAMBURGER, HORNED POISON IVY AND BURNING BUSH.

TREE REMOVAL PERMIT

CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE CITY OF BLOOMINGTON PRIOR TO ANY TREE REMOVAL.

SFHA (FLOODPLAIN) NOTE

CLEAR CREEK IS APPROXIMATELY 70 FT WEST OF THE SUBJECT PROPERTY. THE ASSOCIATED ZONE A/C SFHA 100 YR REEF AS CALLED FROM FEMA FIRM MAP DATED EFFECTIVE DATE DECEMBER 17, 2010 IS 112 FT SL. THIS SHEET SHALL INCLUDE SUCH SPECIES AS TREE OF HEAVEN, HAMBURGER, HORNED POISON IVY AND BURNING BUSH.

PROVISIONS:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

bloomington, indiana
(812) 339-2990 (Fax)

BFA
BYNUM FANVO & ASSOCIATES, INC.

528 north walnut street
(812) 332-8030

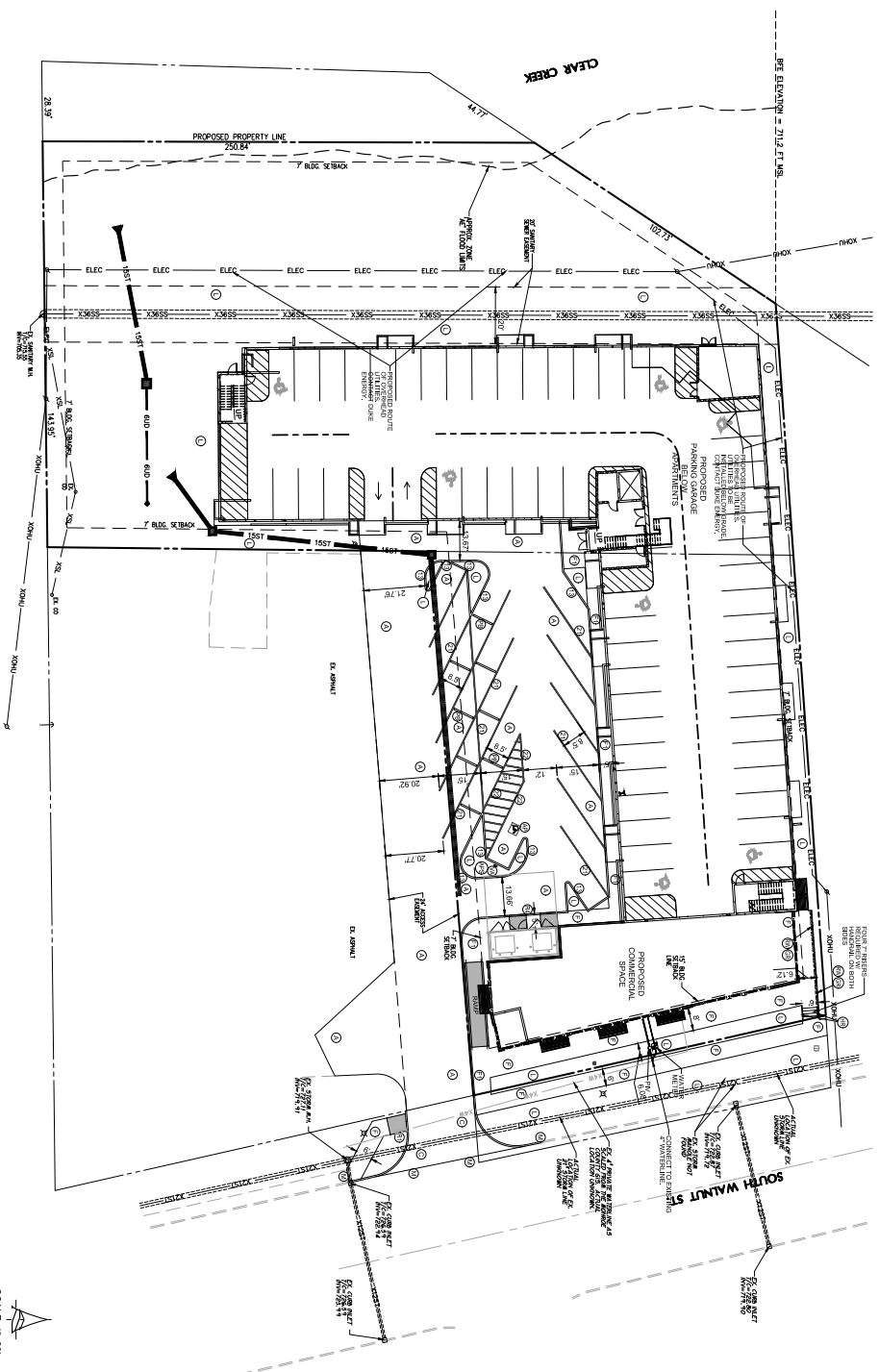
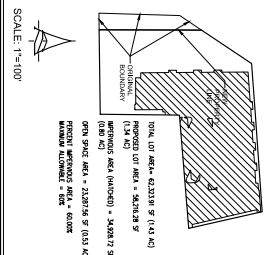
designed by: BFT
drawn by: BFT
sheet no: 0201
project no.: 402111

**PROPOSED
REAL AMERICA RETREAT AT
SWITCHYARD PARK**

1730 S. WALNUT ST.
BLOOMINGTON, INDIANA 47401

**TITLE:
DEMOLITION PLAN**

IMPERVIOUS AREA



SCALE 1"=20'

EXISTING LEGEND

---	PROPERTY LINE
---	FOUR
---	WATER LINE (PRIVATELY OWNED)
---	CONTOR & ELEVATION
---	SANITARY SEWER PIPE
---	STORM SEWER PIPE
---	OVERHEAD ELECTRIC LINES
---	UNDERGROUND ELECTRIC LINES
---	UNDERGROUND TELEPHONE LINES
---	OVERHEAD TELEPHONE LINE
---	DATA LINE PIPE

SITE LEGEND

(1)	BUILDINGS FOOTPRINT
(2)	IMPERVIOUS PAVEMENT
(3)	CONCRETE CURB
(4)	CONCRETE DRIVEWAY
(5)	CONCRETE DRIVEWAY
(6)	CONCRETE DRIVEWAY
(7)	CONCRETE DRIVEWAY
(8)	CONCRETE DRIVEWAY
(9)	CONCRETE DRIVEWAY
(10)	CONCRETE DRIVEWAY
(11)	CONCRETE DRIVEWAY
(12)	CONCRETE DRIVEWAY
(13)	CONCRETE DRIVEWAY
(14)	CONCRETE DRIVEWAY
(15)	CONCRETE DRIVEWAY
(16)	CONCRETE DRIVEWAY
(17)	CONCRETE DRIVEWAY
(18)	CONCRETE DRIVEWAY
(19)	CONCRETE DRIVEWAY
(20)	CONCRETE DRIVEWAY
(21)	CONCRETE DRIVEWAY
(22)	CONCRETE DRIVEWAY
(23)	CONCRETE DRIVEWAY
(24)	CONCRETE DRIVEWAY
(25)	CONCRETE DRIVEWAY
(26)	CONCRETE DRIVEWAY
(27)	CONCRETE DRIVEWAY
(28)	CONCRETE DRIVEWAY
(29)	CONCRETE DRIVEWAY
(30)	CONCRETE DRIVEWAY

UTILITY LEGEND

(1)	4" PVC WATER SERVICE LINE
(2)	6" PVC WATER SERVICE LINE
(3)	8" PVC WATER SERVICE LINE
(4)	10" PVC WATER SERVICE LINE
(5)	12" PVC WATER SERVICE LINE
(6)	15" PVC WATER SERVICE LINE
(7)	18" PVC WATER SERVICE LINE
(8)	21" PVC WATER SERVICE LINE
(9)	24" PVC WATER SERVICE LINE
(10)	27" PVC WATER SERVICE LINE
(11)	30" PVC WATER SERVICE LINE
(12)	36" PVC WATER SERVICE LINE
(13)	42" PVC WATER SERVICE LINE
(14)	48" PVC WATER SERVICE LINE
(15)	54" PVC WATER SERVICE LINE
(16)	60" PVC WATER SERVICE LINE
(17)	66" PVC WATER SERVICE LINE
(18)	72" PVC WATER SERVICE LINE
(19)	78" PVC WATER SERVICE LINE
(20)	84" PVC WATER SERVICE LINE
(21)	90" PVC WATER SERVICE LINE
(22)	96" PVC WATER SERVICE LINE
(23)	102" PVC WATER SERVICE LINE
(24)	108" PVC WATER SERVICE LINE
(25)	114" PVC WATER SERVICE LINE
(26)	120" PVC WATER SERVICE LINE
(27)	126" PVC WATER SERVICE LINE
(28)	132" PVC WATER SERVICE LINE
(29)	138" PVC WATER SERVICE LINE
(30)	144" PVC WATER SERVICE LINE
(31)	150" PVC WATER SERVICE LINE
(32)	156" PVC WATER SERVICE LINE
(33)	162" PVC WATER SERVICE LINE
(34)	168" PVC WATER SERVICE LINE
(35)	174" PVC WATER SERVICE LINE
(36)	180" PVC WATER SERVICE LINE
(37)	186" PVC WATER SERVICE LINE
(38)	192" PVC WATER SERVICE LINE
(39)	198" PVC WATER SERVICE LINE
(40)	204" PVC WATER SERVICE LINE
(41)	210" PVC WATER SERVICE LINE
(42)	216" PVC WATER SERVICE LINE
(43)	222" PVC WATER SERVICE LINE
(44)	228" PVC WATER SERVICE LINE
(45)	234" PVC WATER SERVICE LINE
(46)	240" PVC WATER SERVICE LINE
(47)	246" PVC WATER SERVICE LINE
(48)	252" PVC WATER SERVICE LINE
(49)	258" PVC WATER SERVICE LINE
(50)	264" PVC WATER SERVICE LINE
(51)	270" PVC WATER SERVICE LINE
(52)	276" PVC WATER SERVICE LINE
(53)	282" PVC WATER SERVICE LINE
(54)	288" PVC WATER SERVICE LINE
(55)	294" PVC WATER SERVICE LINE
(56)	300" PVC WATER SERVICE LINE
(57)	306" PVC WATER SERVICE LINE
(58)	312" PVC WATER SERVICE LINE
(59)	318" PVC WATER SERVICE LINE
(60)	324" PVC WATER SERVICE LINE
(61)	330" PVC WATER SERVICE LINE
(62)	336" PVC WATER SERVICE LINE
(63)	342" PVC WATER SERVICE LINE
(64)	348" PVC WATER SERVICE LINE
(65)	354" PVC WATER SERVICE LINE
(66)	360" PVC WATER SERVICE LINE
(67)	366" PVC WATER SERVICE LINE
(68)	372" PVC WATER SERVICE LINE
(69)	378" PVC WATER SERVICE LINE
(70)	384" PVC WATER SERVICE LINE
(71)	390" PVC WATER SERVICE LINE
(72)	396" PVC WATER SERVICE LINE
(73)	402" PVC WATER SERVICE LINE
(74)	408" PVC WATER SERVICE LINE
(75)	414" PVC WATER SERVICE LINE
(76)	420" PVC WATER SERVICE LINE
(77)	426" PVC WATER SERVICE LINE
(78)	432" PVC WATER SERVICE LINE
(79)	438" PVC WATER SERVICE LINE
(80)	444" PVC WATER SERVICE LINE
(81)	450" PVC WATER SERVICE LINE
(82)	456" PVC WATER SERVICE LINE
(83)	462" PVC WATER SERVICE LINE
(84)	468" PVC WATER SERVICE LINE
(85)	474" PVC WATER SERVICE LINE
(86)	480" PVC WATER SERVICE LINE
(87)	486" PVC WATER SERVICE LINE
(88)	492" PVC WATER SERVICE LINE
(89)	498" PVC WATER SERVICE LINE
(90)	504" PVC WATER SERVICE LINE
(91)	510" PVC WATER SERVICE LINE
(92)	516" PVC WATER SERVICE LINE
(93)	522" PVC WATER SERVICE LINE
(94)	528" PVC WATER SERVICE LINE
(95)	534" PVC WATER SERVICE LINE
(96)	540" PVC WATER SERVICE LINE
(97)	546" PVC WATER SERVICE LINE
(98)	552" PVC WATER SERVICE LINE
(99)	558" PVC WATER SERVICE LINE
(100)	564" PVC WATER SERVICE LINE

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPT'S AND VERIFY ENGINEER OF ANY MODIFICATIONS IN LOCATION OR ELEVATION OR ANY REQUIRED DUE TO CONFLICTING ELEVATIONS.

SITE & UTILITY PLAN

DESIGNED BY: BEE
 DRAWN BY: BEE
 SHEET NO. 2002
 PROJECT NO. 402111

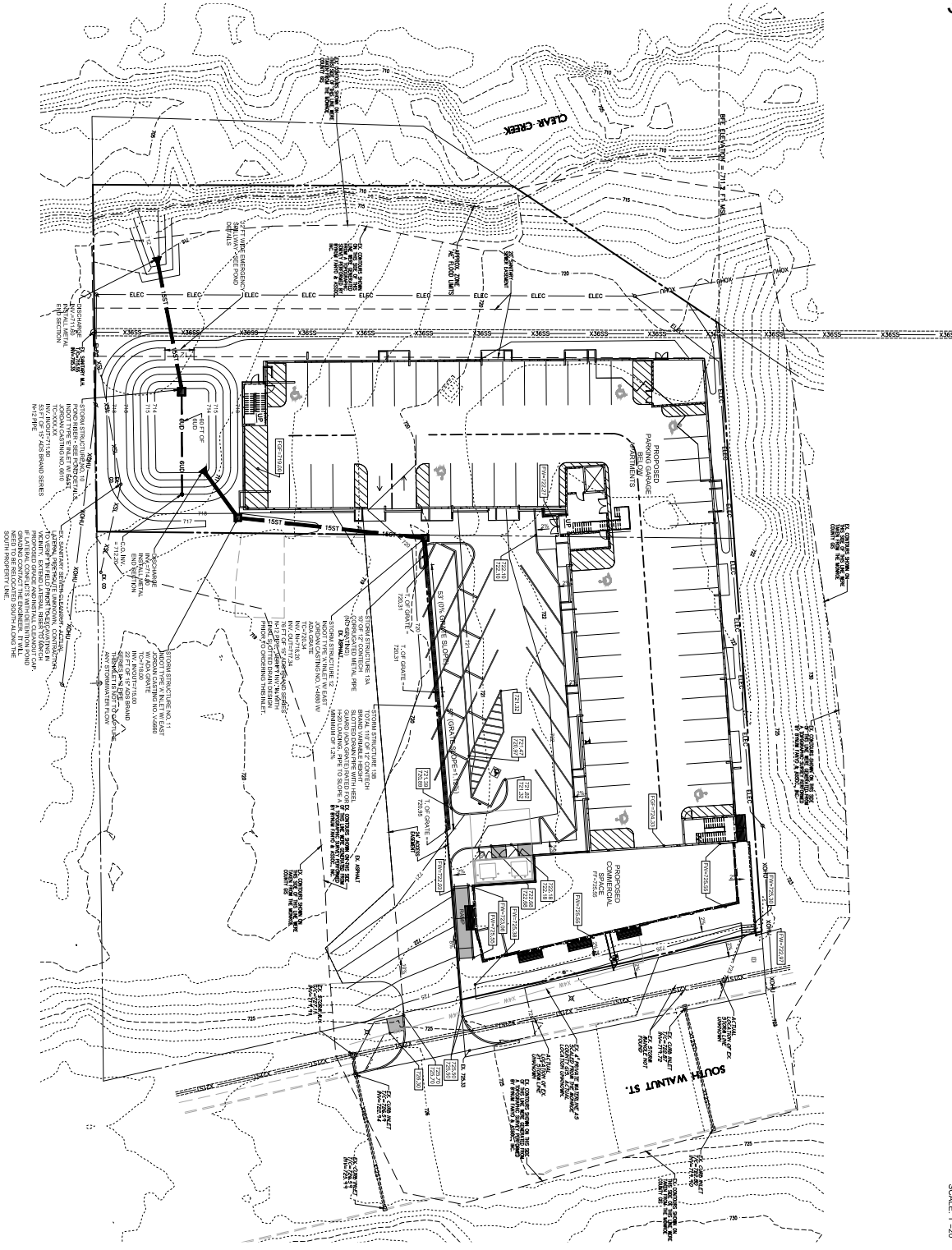
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 PLANNING

BYNUM FANVO & ASSOCIATES, INC.
 528 NORTH WALNUT STREET
 (812) 332-8030

bloomington, indiana
 (812) 339-2990 (Fax)

PROVISIONS:



SCALE: 1"=20'

EXISTING LEGEND

---	PROPERTY LINE
- - - -	TRUNK
- - - - -	WATER LINE PER (PRIVATELY OWNED)
- - - - -	CONCRETE & ELEVATION
- - - - -	SMALLER SIZES PER
- - - - -	STONE SINKER PIPE
- - - - -	OVERHEAD ELECTRIC LINES
- - - - -	UNDERGROUND ELECTRIC LINES
- - - - -	OVERHEAD TELEPHONE LINES
- - - - -	UNDERGROUND TELEPHONE LINE
- - - - -	CAS LINE PER

UTILITY LEGEND

---	2" POLYETHYLENE GLYCOL PER PER STREET
---	12" POLYETHYLENE GLYCOL PER PER STREET
---	24" POLYETHYLENE GLYCOL PER PER STREET
---	36" POLYETHYLENE GLYCOL PER PER STREET
---	48" POLYETHYLENE GLYCOL PER PER STREET
---	60" POLYETHYLENE GLYCOL PER PER STREET
---	72" POLYETHYLENE GLYCOL PER PER STREET
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---	552" POLYETHYLENE GLYCOL PER PER STREET
---	564" POLYETHYLENE GLYCOL PER PER STREET
---	576" POLYETHYLENE GLYCOL PER PER STREET
---	588" POLYETHYLENE GLYCOL PER PER STREET
---	600" POLYETHYLENE GLYCOL PER PER STREET
---	612" POLYETHYLENE GLYCOL PER PER STREET
---	624" POLYETHYLENE GLYCOL PER PER STREET
---	636" POLYETHYLENE GLYCOL PER PER STREET
---	648" POLYETHYLENE GLYCOL PER PER STREET
---	660" POLYETHYLENE GLYCOL PER PER STREET
---	672" POLYETHYLENE GLYCOL PER PER STREET
---	684" POLYETHYLENE GLYCOL PER PER STREET
---	696" POLYETHYLENE GLYCOL PER PER STREET
---	708" POLYETHYLENE GLYCOL PER PER STREET
---	720" POLYETHYLENE GLYCOL PER PER STREET
---	732" POLYETHYLENE GLYCOL PER PER STREET
---	744" POLYETHYLENE GLYCOL PER PER STREET
---	756" POLYETHYLENE GLYCOL PER PER STREET
---	768" POLYETHYLENE GLYCOL PER PER STREET
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---	888" POLYETHYLENE GLYCOL PER PER STREET
---	900" POLYETHYLENE GLYCOL PER PER STREET
---	912" POLYETHYLENE GLYCOL PER PER STREET
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---	936" POLYETHYLENE GLYCOL PER PER STREET
---	948" POLYETHYLENE GLYCOL PER PER STREET
---	960" POLYETHYLENE GLYCOL PER PER STREET
---	972" POLYETHYLENE GLYCOL PER PER STREET
---	984" POLYETHYLENE GLYCOL PER PER STREET
---	996" POLYETHYLENE GLYCOL PER PER STREET
---	1008" POLYETHYLENE GLYCOL PER PER STREET
---	1020" POLYETHYLENE GLYCOL PER PER STREET
---	1032" POLYETHYLENE GLYCOL PER PER STREET
---	1044" POLYETHYLENE GLYCOL PER PER STREET
---	1056" POLYETHYLENE GLYCOL PER PER STREET
---	1068" POLYETHYLENE GLYCOL PER PER STREET
---	1080" POLYETHYLENE GLYCOL PER PER STREET
---	1092" POLYETHYLENE GLYCOL PER PER STREET
---	1104" POLYETHYLENE GLYCOL PER PER STREET
---	1116" POLYETHYLENE GLYCOL PER PER STREET
---	1128" POLYETHYLENE GLYCOL PER PER STREET
---	1140" POLYETHYLENE GLYCOL PER PER STREET
---	1152" POLYETHYLENE GLYCOL PER PER STREET
---	1164" POLYETHYLENE GLYCOL PER PER STREET
---	1176" POLYETHYLENE GLYCOL PER PER STREET
---	1188" POLYETHYLENE GLYCOL PER PER STREET
---	1200" POLYETHYLENE GLYCOL PER PER STREET
---	1212" POLYETHYLENE GLYCOL PER PER STREET
---	1224" POLYETHYLENE GLYCOL PER PER STREET
---	1236" POLYETHYLENE GLYCOL PER PER STREET
---	1248" POLYETHYLENE GLYCOL PER PER STREET
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---	1284" POLYETHYLENE GLYCOL PER PER STREET
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---	1764" POLYETHYLENE GLYCOL PER PER STREET
---	1776" POLYETHYLENE GLYCOL PER PER STREET
---	1788" POLYETHYLENE GLYCOL PER PER STREET
---	1800" POLYETHYLENE GLYCOL PER PER STREET

GRADING LEGEND

---	PAVED EXISTING CURB, SIDEWALK OR
---	PAVED CONTOUR
---	ELEVATION CONTOUR
---	FINISH FLOORING
---	SPOT GRADE ELEVATION
---	TOP OF CURB ELEVATION OVER
---	PAVEMENT ELEVATION
---	FINISH BASEMENT FLOOR ELEVATION
---	FINISH CONCRETE PAVEMENT ELEVATION
---	FINISH FLOOR ELEVATION
---	FINISH FLOOR GRADE ELEVATION
---	FINISH FLOOR GRADE ELEVATION ON LOW
---	SIDE OF RETAINING WALL
---	FINISH PAINT ELEVATION
---	FINISH TOP OF CASTING ELEVATION
---	FINISH TOP OF RETAINING WALL
---	FINISH TOP OF RETAINING WALL

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPT'S AND NOTIFY ALL AGENCIES CONCERNED WITH ANY CHANGES TO CONTRACTOR PRIOR TO & AFTER ANY EXCAVATION OR UNDERGROUND CHANGES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS & DEPT'S AND NOTIFY ALL AGENCIES CONCERNED WITH ANY CHANGES TO CONTRACTOR PRIOR TO & AFTER ANY EXCAVATION OR UNDERGROUND CHANGES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS & DEPT'S AND NOTIFY ALL AGENCIES CONCERNED WITH ANY CHANGES TO CONTRACTOR PRIOR TO & AFTER ANY EXCAVATION OR UNDERGROUND CHANGES.

designed by: JBT
 drawn by: JBT
 sheet no: 0203
 project no: 402111

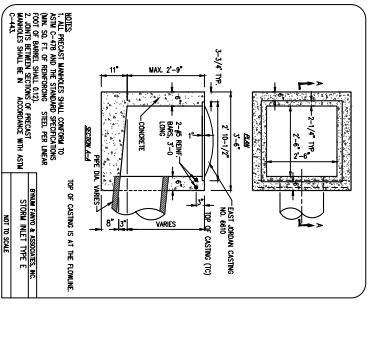
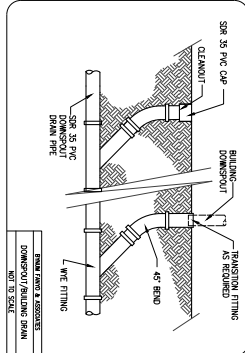
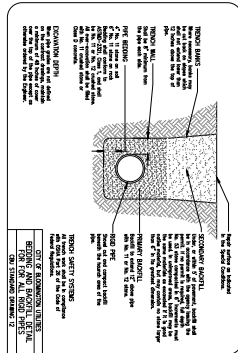
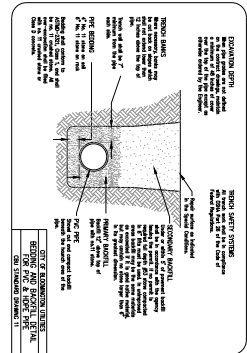
**PROPOSED
 REAL AMERICA RETREAT AT
 SWITCHYARD PARK**
 1730 S. WALNUT ST.
 BLOOMINGTON, INDIANA 47401

BEA
 BYNUM FANVO & ASSOCIATES, INC.
 528 north walnut street
 (812) 332-8030

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

bloomington, indiana
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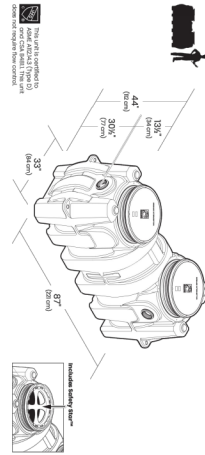
PROVISIONS:



SIZE	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"	4"	6"
NET WEIGHT (LBS)	0.15	0.25	0.40	0.60	0.85	1.40	2.10	3.00	4.50	8.00
NET WEIGHT (KG)	0.07	0.11	0.18	0.27	0.38	0.64	0.95	1.36	2.04	3.63
NET WEIGHT (LBS)	0.15	0.25	0.40	0.60	0.85	1.40	2.10	3.00	4.50	8.00
NET WEIGHT (KG)	0.07	0.11	0.18	0.27	0.38	0.64	0.95	1.36	2.04	3.63

SPECIFICATION AND SUBMITTAL

CB-250 100/200 GPM Great Basin™ Indoor/Outdoor Grease Interceptor



SUBMITTAL

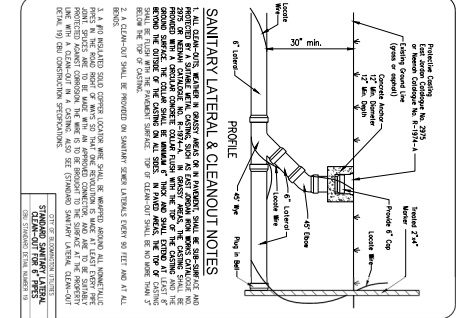
Standard

Options

Accessories

Approval

SCHIER CB-250

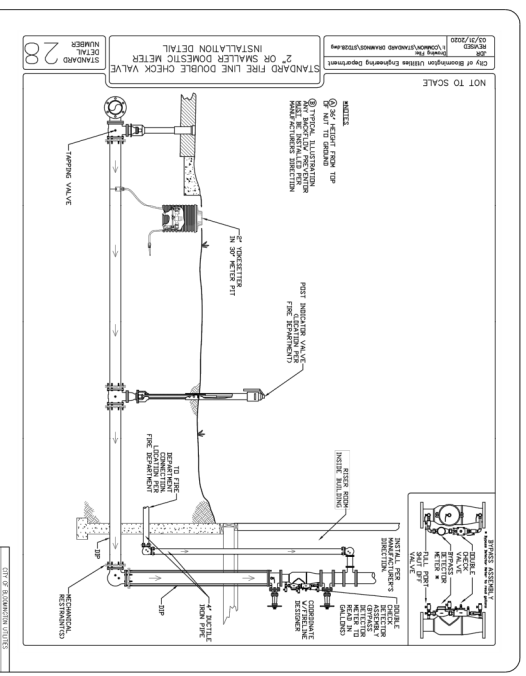


SANITARY LATERAL & CLEANOUT NOTES

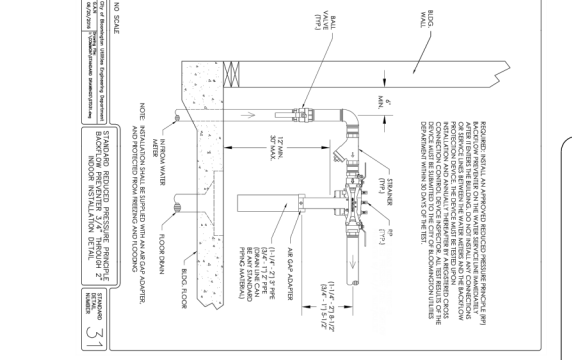
1. SANITARY LATERALS SHALL BE INSTALLED ON SANITARY CLEAN LATERALS EVERY 80 FEET AND AT ALL BENDS.

2. A CLEAN-OUT SHALL BE PROVIDED ON SANITARY CLEAN LATERALS EVERY 80 FEET AND AT ALL BENDS.

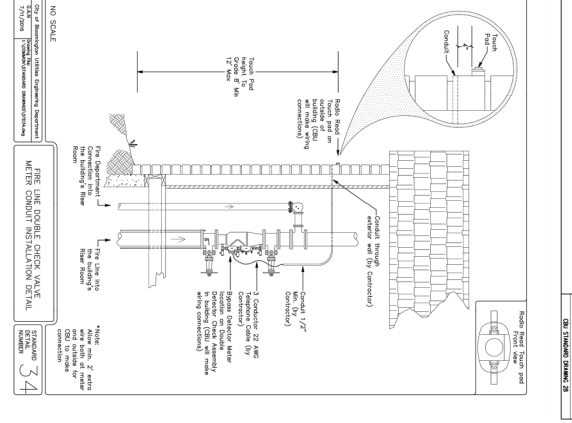
3. THE CLEAN-OUT SHALL BE INSTALLED ON SANITARY CLEAN LATERALS EVERY 80 FEET AND AT ALL BENDS.



STANDARD FIRE LINE DOUBLE CHECK VALVE



FIRE LINE DOUBLE CHECK VALVE



FIRE LINE DOUBLE CHECK VALVE

PROVISIONS:

BYNUM FAYO & ASSOCIATES, INC.

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

528 north walnut street
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(812) 332-8030

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designed by: JBT
drawn by: JBT
sheet no: C207
project no.: 402111

PROPOSED REAL AMERICA RETREAT AT SWITCHYARD PARK

1730 S. WALNUT ST.
BLOOMINGTON, INDIANA 47401

MISCELLANEOUS

designed by: JBT
drawn by: JBT
sheet no: C207
project no.: 402111

RULE 5 NARRATIVE

SECTION 1 - CONSTRUCTION DEMONSTRATION

1.1. ALL WORK SHALL BE COMPLETED WITHIN THE PERIOD OF TIME SPECIFIED IN THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER.

SECTION 2 - CONSTRUCTION CONTRACT

2.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER.

SECTION 3 - QUALITY CONTROL

3.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER.

SECTION 4 - COST CONSTRUCTION CONTRACT

4.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER.

SECTION 5 - FINISH CONSTRUCTION CONTRACT

5.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER.

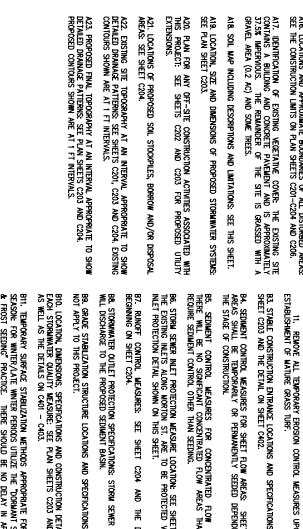


SOIL DESCRIPTION
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES IN A TIMELY MANNER.

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REQUIREMENTS
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FINISHES 1.21

Item	Quantity	Unit
Concrete	100	cubic yards
Rebar	50	linear feet
Formwork	200	square feet

Partial Storm Water Pollution Management Handling and Soil Stabilization

Item	Quantity	Unit
Stormwater	100	gallons
Soil	50	cubic yards
Material	200	square feet

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PROPOSED REAL AMERICA RETREAT AT SWITCHYARD PARK
 1730 S. WALNUT ST. BLOOMINGTON, INDIANA 47401

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

BYNUM FANJO & ASSOCIATES, INC.
 528 North Walnut Street
 (812) 332-8030

DESIGNED BY: JBT
 DRAWN BY: JBT
 SHEET NO: C-01
 PROJECT NO: 402111

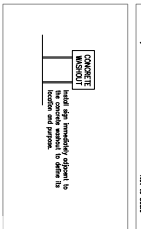
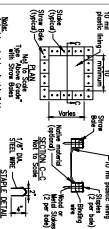
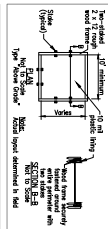
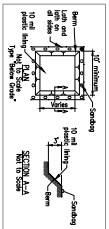
BEA
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

528 North Walnut Street
 (812) 332-8030

DESIGNED BY: JBT
 DRAWN BY: JBT
 SHEET NO: C-01
 PROJECT NO: 402111

TEMPORARY CONCRETE WASHOUT AREA

REQUIREMENTS: Concrete washout areas shall be constructed of concrete or masonry...

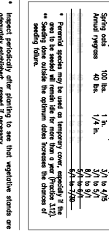
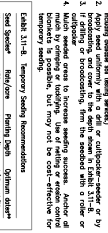
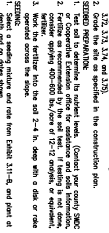


INSTALLATION: Temporary concrete washout facilities shall be constructed on a concrete or masonry pad...

MAINTENANCE: Temporary concrete washout facilities shall be maintained to prevent concrete washout from exiting the site...

TEMPORARY SEEDING

REQUIREMENTS: Soil and seeded preparation: Good soil and fertile organic matter shall be available...

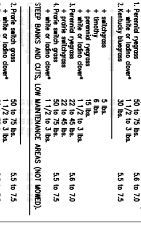
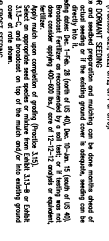


INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

MAINTENANCE: Seeded areas shall be maintained to prevent soil erosion and to ensure proper seed germination...

TEMPORARY DRAINAGE PROTECTION

REQUIREMENTS: Temporary drainage protection shall be installed to prevent runoff from exiting the site...

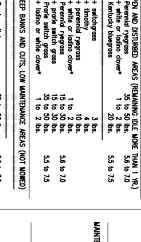
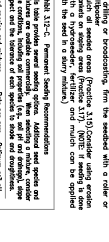
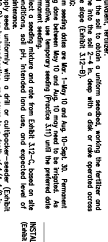
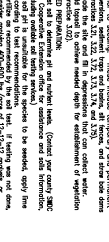


INSTALLATION: Temporary drainage protection shall be installed to prevent runoff from exiting the site...

MAINTENANCE: Drainage protection shall be maintained to prevent erosion and to ensure proper water flow...

TEMPORARY SEEDING

REQUIREMENTS: Soil and seeded preparation: Good soil and fertile organic matter shall be available...

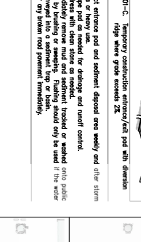


INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

MAINTENANCE: Seeded areas shall be maintained to prevent soil erosion and to ensure proper seed germination...

TEMPORARY GRASSLAND IMPROVEMENT

REQUIREMENTS: Temporary grassland improvement shall be installed to prevent runoff from exiting the site...

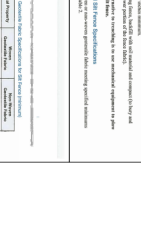
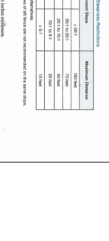
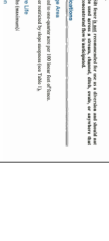


INSTALLATION: Temporary grassland improvement shall be installed to prevent runoff from exiting the site...

MAINTENANCE: Grassland improvement shall be maintained to prevent erosion and to ensure proper water flow...

TEMPORARY SEEDING

REQUIREMENTS: Soil and seeded preparation: Good soil and fertile organic matter shall be available...

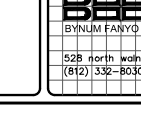
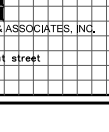
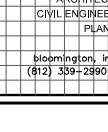
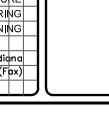


INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

MAINTENANCE: Seeded areas shall be maintained to prevent soil erosion and to ensure proper seed germination...

TEMPORARY SEEDING

REQUIREMENTS: Soil and seeded preparation: Good soil and fertile organic matter shall be available...



INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

MAINTENANCE: Seeded areas shall be maintained to prevent soil erosion and to ensure proper seed germination...

REQUIREMENTS: Temporary concrete washout facilities shall be constructed on a concrete or masonry pad...

INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

INSTALLATION: Temporary drainage protection shall be installed to prevent runoff from exiting the site...

INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

INSTALLATION: Temporary grassland improvement shall be installed to prevent runoff from exiting the site...

INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

INSTALLATION: Temporary seeding areas shall be prepared by removing topsoil to a depth of 100 mm...

DESIGNED BY: BFL

ARCHITECTURE: CIVIL ENGINEERING

PLANNING

528 North Walnut Street

Bloomington, Indiana

(812) 339-2990 (Fax)

BYNUM FANVO & ASSOCIATES, INC.

528 North Walnut Street

(812) 332-8030

PROPOSED REAL AMERICA RETREAT AT SWITCHYARD PARK

1730 S. WALNUT ST. BLOOMINGTON, INDIANA 47401

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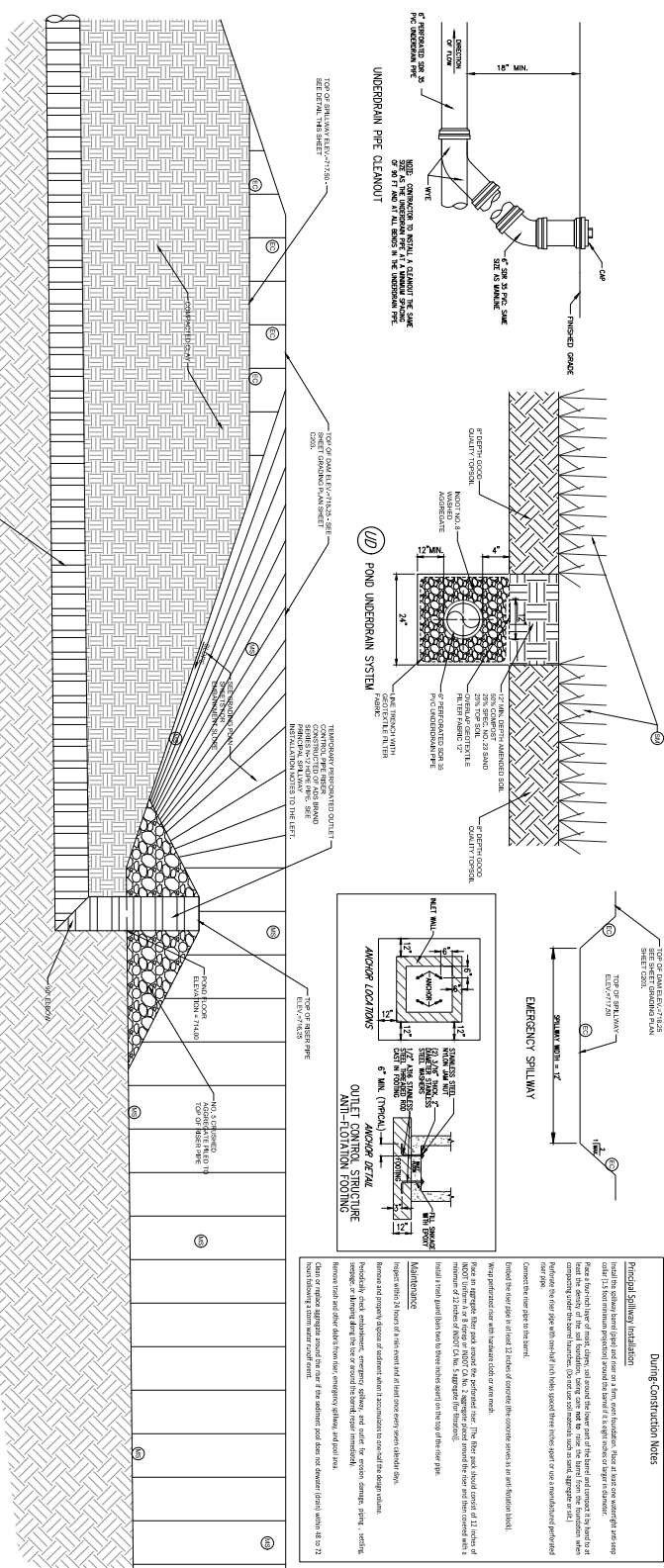
1730 S. WALNUT ST. BLOOMINGTON, INDIANA 47401

DESIGNED BY: BFL

ARCHITECTURE: CIVIL ENGINEERING

PLANNING

Technical drawings and tables for various construction details, including 'DETAIL 1' and 'DETAIL 2'. The drawings show cross-sections of concrete washout areas, seeding areas, and drainage protection. Tables provide material specifications and dimensions for each detail.



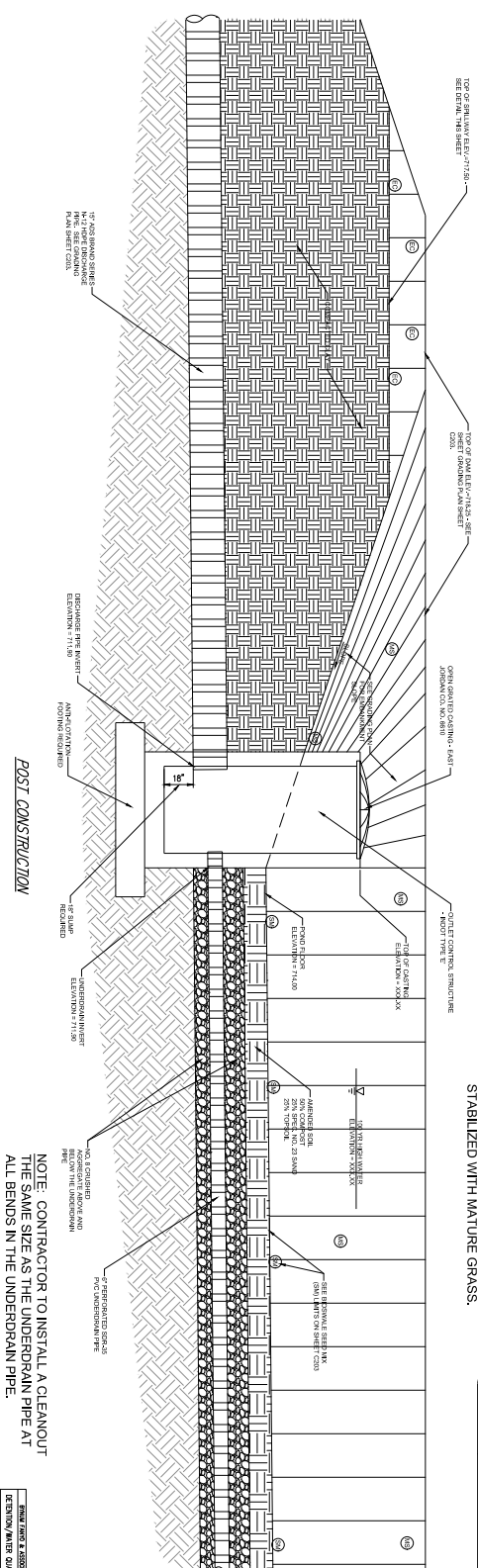
NOTE: UPON COMPLETION OF ALL SITE IMPROVEMENTS AND THE ESTABLISHMENT OF MATURE GRASS TURF ACROSS THE SITE, REPLACE THE PERFORATED RISER PIPE AND THE 90° ELBOW WITH THE CONCRETE OUTLET CONTROL STRUCTURE AND THE UNDERDRAIN PIPE SYSTEM SPECIFIED IN THE POST CONSTRUCTION POND DETAIL BELOW.

DURING CONSTRUCTION

NOTE: THE POND UNDERDRAIN PIPES, GRAVEL, AND AMENDED BACKFILL AND SPECIAL PLANTINGS SHALL BE COMPLETED ONLY AFTER THE SITE AND POND EMBANKMENTS HAVE BEEN STABILIZED WITH MATURE GRASS.

REINFORCEMENT BARS

USE 3/8\"/>



POST CONSTRUCTION

NOTE: CONTRACTOR TO INSTALL A CLEANOUT THE SAME SIZE AS THE UNDERDRAIN PIPE AT ALL BENDS IN THE UNDERDRAIN PIPE.

During Construction Notes

Precast Spillway Installation

Install the spillway (precast) pipe and set on a firm, level foundation. Place a firm concrete support on one side of the 12 foot minimum projection and the level of the support shall be a right angle to the pipe. The pipe shall be supported on one side by a 12 foot minimum projection and the level of the support shall be a right angle to the pipe. The pipe shall be supported on one side by a 12 foot minimum projection and the level of the support shall be a right angle to the pipe. The pipe shall be supported on one side by a 12 foot minimum projection and the level of the support shall be a right angle to the pipe.

designed by: JBT
 drawn by: JBT
 sheet no: 0403
 project no: 402111

PROPOSED REAL AMERICA RETREAT AT SWITCHYARD PARK

1730 S. WALNUT ST.
 BLOOMINGTON, INDIANA 47401

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING

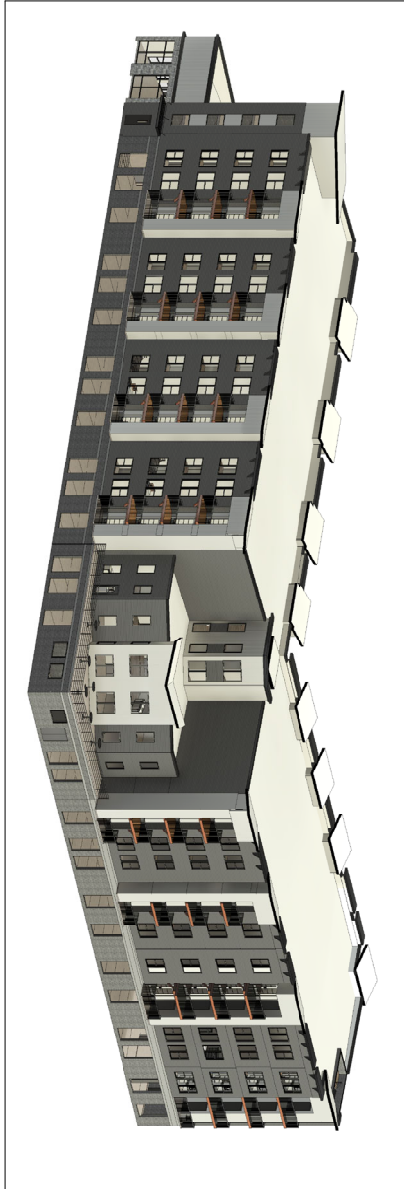
BEA
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 528 north walnut street
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bloomington, indiana
 (812) 339-2990 (Fax)

revisions:



① EXTERIOR PERSPECTIVE 1



② EXTERIOR PERSPECTIVE 2



③ EXTERIOR PERSPECTIVE 3

RETREAT AT SWITCHYARD BLOOMINGTON
 1730 SOUTH WALNUT STREET
 BLOOMINGTON, INDIANA 47401

OWNER
 RETREAT AT SWITCHYARD
 BLOOMINGTON, LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
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ARCHITECT
 REAL AMERICA DESIGN, LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
 731.717.815.5929
STRUCTURAL ENGINEER

CIVIL ENGINEER

GENERAL CONTRACTOR
 REAL AMERICA CONSTRUCTION, LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
 731.717.815.5930

PROJECT NUMBER
 2042

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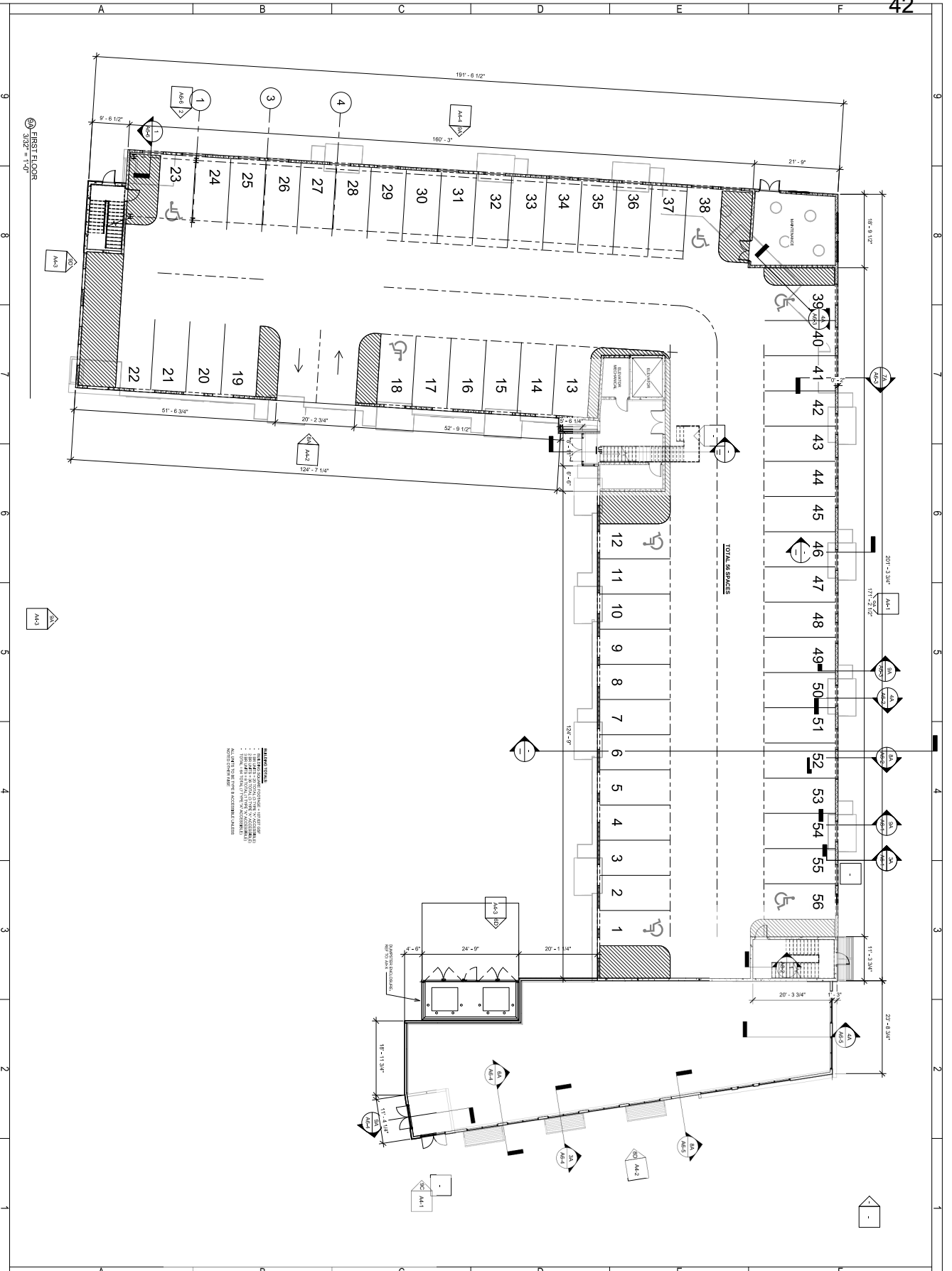


REAL AMERICA
 8250 N. DEAN ROAD
 INDIANAPOLIS, INDIANA 46240
 731.717.815.5929 / 731.733.5800

NO.	DATE	REVISIONS

EXTERIOR PERSPECTIVES

A0-0



REVISIONS

- 1. REVISED TO SHOW UNIT 19
- 2. REVISED TO SHOW UNIT 20
- 3. REVISED TO SHOW UNIT 21
- 4. REVISED TO SHOW UNIT 22

DATE: 11/11/2011

RETREAT AT SWITCHYARD BLOOMINGTON
 1730 SOUTH WALNUT STREET
 BLOOMINGTON, INDIANA 47401

OWNER
 RETREAT AT SWITCHYARD
 BLOOMINGTON, LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
 731.781.9229
 F317.81.9590

ARCHITECT
 REALAMERICA DESIGN, LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
 F317.81.9590

STRUCTURAL ENGINEER

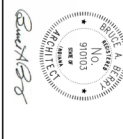
GENERAL CONTRACTOR
 COMBUSTION CONSTRUCTION, LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
 731.781.9229
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CIVIL ENGINEER

PROJECT NUMBER: 20-42

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PROFESSIONAL SEAL



REALAMERICA

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 INDIANAPOLIS, INDIANA 46240
 731.781.9229
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REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE: **FIRST FLOOR PLAN**

SHEET NUMBER: **A2-1**

SECOND FLOOR
 SIZE = 119



NOTES:
 1. SEE ALL DIMENSIONS.
 2. SEE ALL NOTES.
 3. SEE ALL DIMENSIONS.
 4. SEE ALL NOTES.
 5. SEE ALL DIMENSIONS.
 6. SEE ALL NOTES.

RETREAT AT SWITCHYARD BLOOMINGTON
 1730 SOUTH WALNUT STREET
 BLOOMINGTON, INDIANA 47401

OWNER
 RETREAT AT SWITCHYARD
 BLOOMINGTON, LLC
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ARCHITECT
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 F317815530

STRUCTURAL ENGINEER
 CIVIL ENGINEER

GENERAL CONTRACTOR
 CONSTRUCTION CONSTRUCTION LLC
 8250 DEAN ROAD
 INDIANAPOLIS, IN 46240
 F317815530

PROJECT NUMBER:
 20-2

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NO.	DATE	REVISIONS

SHEET TITLE
SECOND FLOOR PLAN
SHEET NUMBER
A2-2

THIRD FLOOR
3/32" = 1'-0"



ALL DIMENSIONS ARE IN FEET AND INCHES.
DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.



<p>RETREAT AT SWITCHYARD BLOOMINGTON 1700 SOUTH WALNUT STREET BLOOMINGTON, INDIANA 47401</p>																					
<p>OWNER RETREAT AT SWITCHYARD BLOOMINGTON, IN 8250 DEAN ROAD INDIANAPOLIS, IN 46240 TEL: 317.815.5529 F317.815.5530</p>																					
<p>ARCHITECT REAL AMERICA DESIGN, LLC 8250 DEAN ROAD INDIANAPOLIS, IN 46240 TEL: 317.815.5529 F317.815.5530</p>																					
<p>STRUCTURAL ENGINEER</p>																					
<p>CIVIL ENGINEER</p>																					
<p>GENERAL CONTRACTOR RECONSTRUCTION, LLC 8250 DEAN ROAD INDIANAPOLIS, IN 46240 TEL: 317.815.5529 F317.815.5530</p>																					
<p>PROJECT NUMBER: 20-42</p>																					
<p>CONTRACTOR'S NOTE: THE ARCHITECTURAL & ENGINEERING DRAWINGS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. NO OTHER USE IS PERMITTED WITHOUT THE WRITTEN CONSENT OF REAL AMERICA DESIGN, LLC. ALL COMMON ELEMENTS OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</p>																					
<p>PROFESSIONAL SEAL</p>																					
<p>REAL AMERICA 8250 N. DEAN ROAD INDIANAPOLIS, IN 46240 TEL: 317.815.5529 WWW.REALAMERICAD.COM</p>																					
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY	CHK															
NO.	DATE	DESCRIPTION	BY	CHK																	
<p>THIRD FLOOR PLAN</p>																					
<p>A2-3</p>																					



GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.

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PROJECT NUMBER:
 20-02

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 www.realamerica.com

NO.	DATE	REVISIONS

SHEET TITLE
 FOURTH FLOOR PLAN

SHEET NUMBER
 A2-4

FOURTH FLOOR
 SHEET 19

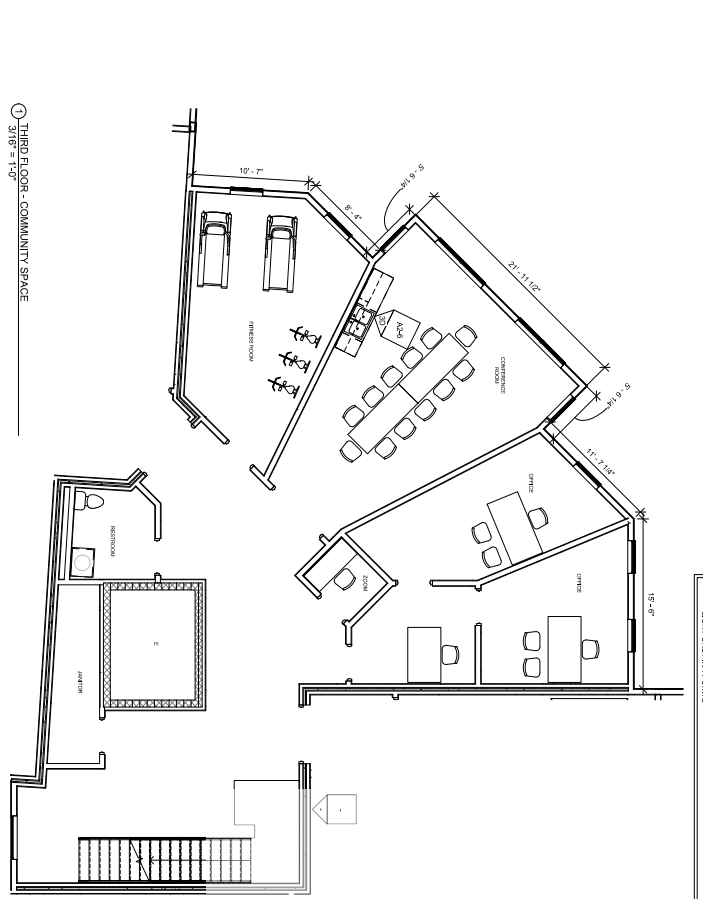
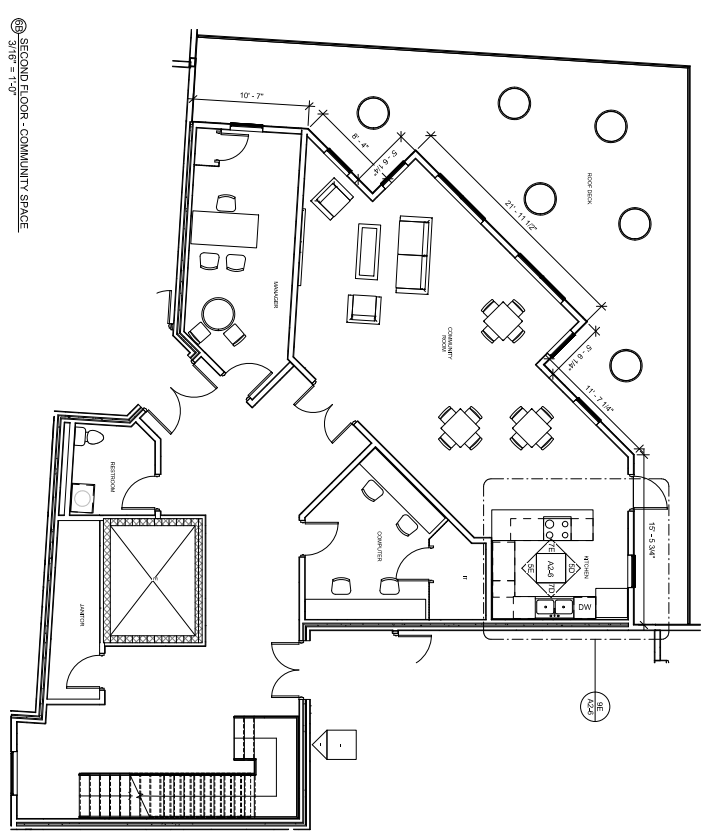
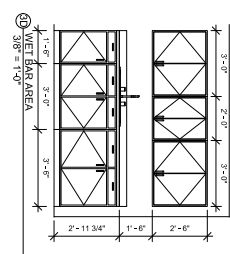
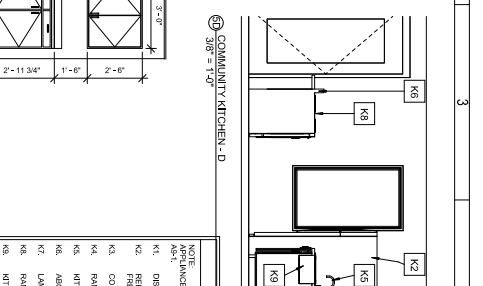
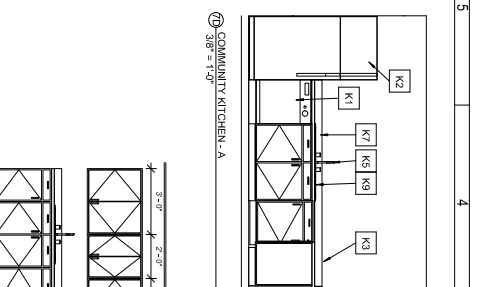
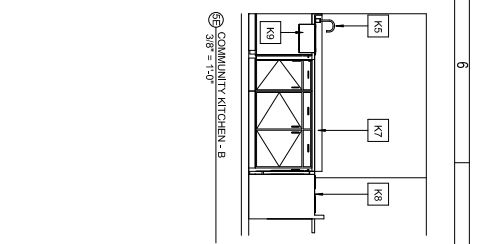
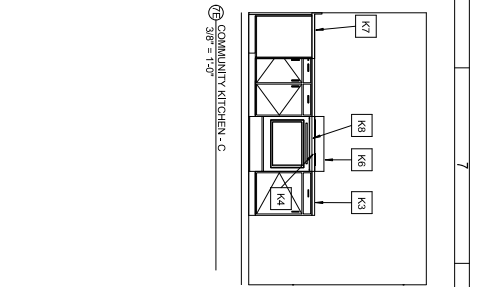
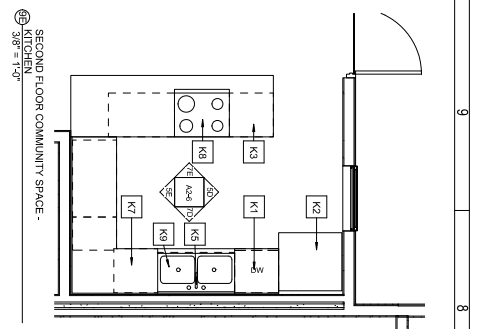


FIFTH FLOOR
3/27 = 1/0"



DISCLAIMER: THESE DRAWINGS ARE THE PROPERTY OF REAL AMERICA REAL ESTATE SERVICES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF REAL AMERICA REAL ESTATE SERVICES, INC.

<p>RETREAT AT SWITCHYARD BLOOMINGTON 7700 SOUTH WALNUT STREET BLOOMINGTON, INDIANA 47401</p>		<p>OWNER RETREAT AT SWITCHYARD BLOOMINGTON, LLC 8250 DEAN ROAD INDIANAPOLIS, IN 46240 731.781.9229 F317.819.5590</p>		<p>ARCHITECT REAL AMERICA DESIGN, LLC 8250 DEAN ROAD INDIANAPOLIS, IN 46240 731.781.9229 F317.819.5590</p>		<p>STRUCTURAL ENGINEER</p>		<p>CIVIL ENGINEER</p>		<p>GENERAL CONTRACTOR RECONSTRUCTION LLC 8250 DEAN ROAD INDIANAPOLIS, IN 46240 731.781.9229 F317.819.5590</p>		<p>PROJECT NUMBER: 20-02</p>		<p>CONTRACTOR NOTE: THE ARCHITECTURAL & ENGINEERING DRAWINGS ARE SHOWN IN CONFORMANCE WITH REAL AMERICA REAL ESTATE SERVICES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF REAL AMERICA REAL ESTATE SERVICES, INC.</p>		<p>PROFESSIONAL SEAL</p>		<p>REAL AMERICA 8250 N. DEAN ROAD INDIANAPOLIS, IN 46240 731.781.9229 www.realtor.com</p>		<p>SHEET NUMBER</p>		<p>SHEET TITLE</p>		<p>FIFTH FLOOR PLAN</p>		<p>A2-5</p>	
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COMMUNITY SPACE NOTES

- SEE SHEET A2-6 FOR COMMUNITY SPACE PLAN.
- SEE SHEET A2-6 FOR COMMUNITY SPACE PLAN.
- SEE SHEET A2-6 FOR COMMUNITY SPACE PLAN.

COMMUNITY PLAN NOTES

- FINISH EQUIPMENT PROVIDE FLOOR OUTLET.
- TV LOCATION, CABLE TV, AND ELEC @ OUTLET 1"Ø 4"Ø 4"Ø.
- WRITE FROM AREA, REFER TO OTHER SHEETS.

KITCHEN KEY NOTES

K1	APPLIANCE SCHEDULES (BAKE BLD AND ALT) FINISH/INLET LOCATED ON SHEET A2-6.
K2	DRINKWASHER, STAINLESS STEEL (K20)
K3	REFRIGERATOR, STAINLESS STEEL, SINGLE DOOR TOP
K4	COUNTERTOP, SOLID SURFACE/CABINET BODY (K1)
K5	RANGE CONTROLS ON FRONT PAN UNIT'S (K1)
K6	ABOVE RANGE WINDOW/2" STAINLESS STEEL
K7	LAMINATE COUNTERTOP WINDOW IN SINK (K20)
K8	RANGE (BAKE) UNLESS NOTED OTHERWISE) STAINLESS STEEL (K20)
K9	WET BAG AREA
K10	WET BAG AREA
K11	SCOPED PANEL IN X UNITS
K12	FINISHED END PANELS
K13	REMOVABLE BASE CABINET, FLOOR AND WALL FINISHES
K14	TO EXTEND BEHIND AND BELOW CABINETS, TYPICAL PIPES IN X UNITS
K15	SWITCH TO CONTROL RANGE HOOD MOUNTED TO APPLIANE PANEL IN X UNITS
K16	DOUBLE (WOOD) RECYCLING LIGHT STAINLESS STEEL EXHAUST FAN & LIGHT (WALL) IN X UNITS

RETREAT AT SWITCHYARD BLOOMINGTON
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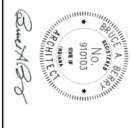
STRUCTURAL ENGINEER

GENERAL CONTRACTOR
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 731.781.9229
 F317.819.5590

PROJECT NUMBER:
 20-02

CONTRACT NOTES: THE ARCHITECTURAL & ENGINEERING DRAWINGS ARE GIVEN IN CONFORMANCE WITH THE REALAMERICA DESIGN, LLC. NO OTHER USE WITHOUT THE WRITTEN CONSENT OF REALAMERICA DESIGN, LLC. ALL COMMON AREAS SHALL BE CONSIDERED AS COMMON AREAS UNLESS OTHERWISE NOTED.

PROFESSIONAL SEAL



REALAMERICA DESIGN, LLC
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 731.781.9229
 www.realamericadesign.com

SECOND & THIRD FLOOR - COMMUNITY SPACE

A2-6

DATE:	2020.08.10
BY:	REALAMERICA DESIGN, LLC
REVISIONS:	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT

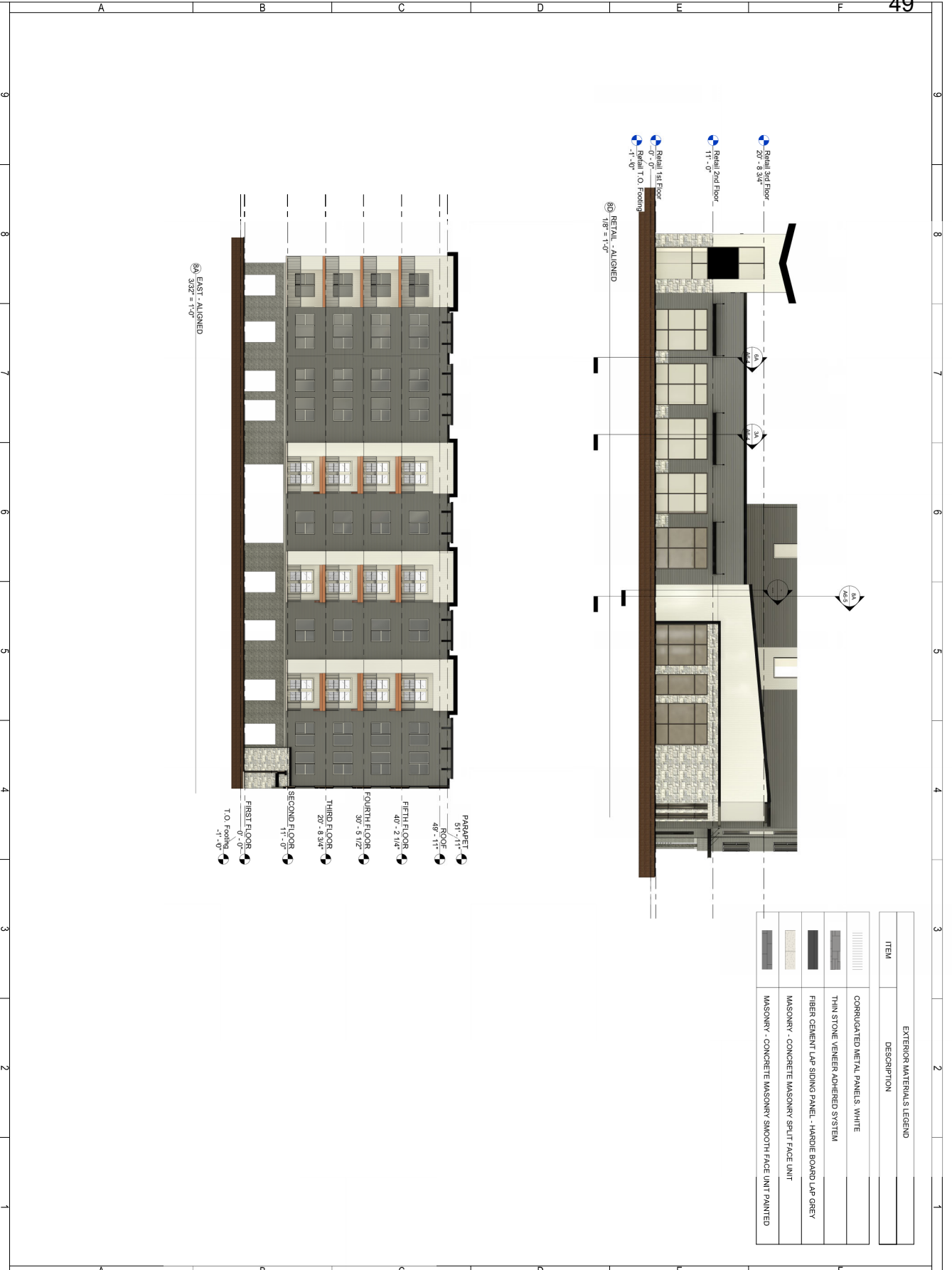


ITEM	DESCRIPTION
1	EXTERIOR MATERIALS LEGEND
2	CORRUGATED METAL PANELS, WHITE
3	THIN STONE VENEER ADHERED SYSTEM
4	FIBER CEMENT LAP SIDING PANEL, - HARDBOARD LAP GREY
5	MASONRY - CONCRETE MASONRY SPLIT FACE UNIT
6	MASONRY - CONCRETE MASONRY SMOOTH FACE UNIT PAINTED

- ELEVATION REF NOTES**
- CORRUGATED METAL PANELS WHITE
 - THIN STONE VENEER ADHERED SYSTEM
 - FIBER CEMENT LAP SIDING PANEL, - HARDBOARD LAP GREY
 - MASONRY - CONCRETE MASONRY SPLIT FACE UNIT PAINTED
 - MASONRY - CONCRETE MASONRY SMOOTH FACE UNIT PAINTED
 - RETREAT AT SWITCHYARD BLOOMINGTON EXHIBIT WITH LOGO, CAST IN PLACE CONCRETE
 - PRE-FINISHED METAL CEILING, COORDINATES COMPARTMENT EQUIPMENT MATERIALS FROM MANUFACTURER'S FULL LINE
 - PRE-FINISHED METAL CEILING, COORDINATES THE COLOR/FINISH TO (DO NOT)
 - PERIODICALLY MAINTAIN SMOKE DETECTOR SYSTEM REFER TO XXXXX
 - PREPARED ALUM. RAIL SYSTEM REF TO XXXXX
 - MANUFACTURED VINYL WINDOW SYSTEM
 - FULL GLASS STONEFRONT ENTRY SYSTEM
 - FIBER CEMENT PANEL BOARD AND BATTONS, TYPE D (LAMBS HANDLE IN FIBER CEMENT TRIM BOARD), 1/2" BATTONS, COORDINATE TO MATCH FIELD TO 22 FIBER CEMENT TRIM BOARD, 1/4" COORDINATE TO MATCH FIELD COLOR THIS 22 FIBER CEMENT TRIM BOARD, 1/4" SWAP COORDINATE TO MATCH FIELD COLOR THIS WITHIN
 - PREPARED METAL PAVSA, WITH DWP EDGE
 - WOOD FRAMING MEMBER, FINISH AS SELECTED BY ARCHITECT REFER TO XXXXX
 - MANUFACTURED METAL DOOR AND FRAME REFER TO DOOR SCHEDULE
 - STAINLESS STEEL FOLLOW METAL DOOR AND FRAME REFER TO DOOR SCHEDULE
 - STAINLESS STEEL MANUFACTURED GUTTER, CALCULATE SEE
 - SHIELD HINGE VINYL WINDOW (SEE SCHEDULES UNITS) GASKETS AND SHEET PAX FOR MORE INFORMATION, TYP)
 - INSULATED TEMPERED GLASS PATIO DOOR (SEE SCHEDULES UNITS) PLAN SHEETS AND SHEET PAX FOR MORE INFORMATION, TYP)
 - INSULATED TEMPERED GLASS ENTRY DOOR (SEE SCHEDULES UNITS) PLAN SHEETS AND SHEET PAX FOR MORE INFORMATION, TYP)
 - FIXED WINDOW (SEE SCHEDULES UNITS) PLAN SHEETS AND SHEET PAX FOR MORE INFORMATION)
 - VTRC CLOSET REF. MECHANICAL

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11	PREPARED ALUM. RAIL SYSTEM REF TO XXXXX
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18	STAINLESS STEEL FOLLOW METAL DOOR AND FRAME REFER TO DOOR SCHEDULE
19	STAINLESS STEEL MANUFACTURED GUTTER, CALCULATE SEE
20	SHIELD HINGE VINYL WINDOW (SEE SCHEDULES UNITS) GASKETS AND SHEET PAX FOR MORE INFORMATION, TYP)
21	INSULATED TEMPERED GLASS PATIO DOOR (SEE SCHEDULES UNITS) PLAN SHEETS AND SHEET PAX FOR MORE INFORMATION, TYP)
22	INSULATED TEMPERED GLASS ENTRY DOOR (SEE SCHEDULES UNITS) PLAN SHEETS AND SHEET PAX FOR MORE INFORMATION, TYP)
23	FIXED WINDOW (SEE SCHEDULES UNITS) PLAN SHEETS AND SHEET PAX FOR MORE INFORMATION)
24	VTRC CLOSET REF. MECHANICAL

<p>RETREAT AT SWITCHYARD BLOOMINGTON</p> <p>7780 SOUTH WALNUT STREET BLOOMINGTON, INDIANA 47401</p>		<p>OWNER</p> <p>RETREAT AT SWITCHYARD BLOOMINGTON, LLC 8250 DEAN ROAD BLOOMINGTON, IN 47420 731.815.5529 F31378155590</p>	
<p>ARCHITECT</p> <p>REAL AMERICA DESIGN, LLC 1100 NORTH DEAN ROAD INDIANAPOLIS, IN 46220 731.815.5590 F31378155590</p>		<p>GENERAL CONTRACTOR</p> <p>CONSTRUCTION CONSTRUCTION LLC 8250 DEAN ROAD INDIANAPOLIS, IN 46240 731.815.5529 F31378155590</p>	
<p>PROJECT NUMBER:</p> <p>20-22</p>		<p>CONSULTANT NOTES:</p> <p>1. EXHIBIT UNITS: THE ARCHITECTURAL & ENGINEERING DRAWINGS IS TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN WRITING. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN WRITING. ANY CHANGES TO THE DRAWINGS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN WRITING.</p>	
<p>PROFESSIONAL SEAL</p> <p>REAL AMERICA DESIGN, LLC INDIANAPOLIS, IN 46220 F31378155590</p>		<p>REAL AMERICA DESIGN, LLC</p> <p>8250 DEAN ROAD BLOOMINGTON, IN 47420 731.815.5529 F31378155590</p>	
<p>SHEET TITLE</p> <p>BUILDING ELEVATIONS</p> <p>SHEET NUMBER</p> <p>A4-1</p>		<p>DATE:</p> <p>SCALE:</p> <p>BY:</p> <p>CHECKED:</p> <p>APPROVED:</p> <p>DATE:</p>	



ITEM	DESCRIPTION
EXTERIOR MATERIALS LEGEND	
	CORRUGATED METAL PANELS, WHITE
▨	THIN STONE VENEER ADHERED SYSTEM
▨	FIBER CEMENT LAP SIDING PANEL - HARBOUR BOARD LAP GREY
▨	MASONRY - CONCRETE MASONRY SPLIT FACE UNIT
▨	MASONRY - CONCRETE MASONRY SMOOTH FACE UNIT PAINTED

RETREAT AT SWITCHYARD BLOOMINGTON

1700 SOUTH WALNUT STREET
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731.781.9229
F317.81.9250

PROJECT NUMBER:
20-2

CONTRACTOR NOTE: THE ARCHITECTURAL & ENGINEERING DRAWINGS ARE SOLELY IN CONFORMANCE WITH REAL AMERICA DESIGN, LLC. NO OTHER USE WITHOUT REAL AMERICA DESIGN, LLC'S WRITTEN CONSENT. REAL AMERICA DESIGN, LLC IS A COMPANY MEMBER OF COMMON WEALTH REALTY SERVICES, INC. (NYSE:RESI).



REAL AMERICA
8250 N. DEAN ROAD
INDIANAPOLIS, IN 46240
731.781.9229
www.realtimera.com

NO.	DATE	REVISIONS	BY

SHEET TITLE
BUILDING ELEVATIONS
SHEET NUMBER
M4-2



ITEM	DESCRIPTION
	EXTERIOR MATERIALS LEGEND
	CORRUGATED METAL PANELS, WHITE
	THIN STONE VENEER ADHERED SYSTEM
	FIBER CEMENT LAP SIDING PANEL - HARDIE BOARD LAP GREY
	MASONRY - CONCRETE MASONRY SPLIT FACE UNIT
	MASONRY - CONCRETE MASONRY SMOOTH FACE UNIT PAINTED

RETREAT AT SWITCHYARD BLOOMINGTON
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STRUCTURAL ENGINEER

GENERAL CONTRACTOR
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 F317.815.5530

PROJECT NUMBER:
 20-22

PROFESSIONAL SEAL
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REALAMERICA
 8250 N. DEAN ROAD
 INDIANAPOLIS, IN 46240
 17317.815.5529
 www.realamericadesign.com

NO.	DATE	REVISIONS

SHEET TITLE
BUILDING ELEVATIONS
SHEET NUMBER
M4-3

9 8 7 6 5 4 3 2 1



WEST
3/32" = 1'-0"

WEST - ALIGNED
3/32" = 1'-0"

9 8 7 6 5 4 3 2 1

EXTERIOR MATERIALS LEGEND	
ITEM	DESCRIPTION
	CORRUGATED METAL PANELS, WHITE
	THIN STONE VENEER ADHERED SYSTEM
	FIBER CEMENT LAP SIDING PANEL - HARDBOARD LAP GREY
	MASONRY - CONCRETE MASONRY SPLIT FACE UNIT
	MASONRY - CONCRETE MASONRY SMOOTH FACE UNIT PAINTED

- PARAPET 51' - 11"
- ROOF 49' - 11"
- FIFTH FLOOR 40' - 2 1/4"
- FOURTH FLOOR 30' - 5 1/2"
- THIRD FLOOR 20' - 8 3/4"
- SECOND FLOOR 11' - 0"
- FIRST FLOOR 0' - 0"
- T.O. Footing -1' - 0"

- PARAPET 51' - 11"
- ROOF 49' - 11"
- FIFTH FLOOR 40' - 2 1/4"
- FOURTH FLOOR 30' - 5 1/2"
- THIRD FLOOR 20' - 8 3/4"
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- T.O. Footing -1' - 0"

RETREAT AT SWITCHYARD BLOOMINGTON
1730 SOUTH WALNUT STREET
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CIVIL ENGINEER

GENERAL CONTRACTOR
REAL AMERICA CONSTRUCTION, LLC
8250 DEAN ROAD
INDIANAPOLIS, IN 46240
1317.815.5529
F317.815.5530

PROJECT NUMBER:
20-22

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REAL AMERICA
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INDIANAPOLIS, IN 46240
1317.815.5529
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NO.	DATE	DESCRIPTION	BY

SHEET TITLE
BUILDING ELEVATIONS
SHEET NUMBER
M4-4

BLOOMINGTON PLAN COMMISSION
STAFF REPORT
LOCATION: 135, 201, 205 S. Westplex Ave.

CASE #: ZO-22-21
DATE: August 9, 2021

PETITIONER: Wheeler Mission Ministries
 205 E. New York St, Indianapolis

REQUEST: The petitioner is requesting to rezone 1.31 acres from Mixed-Use Employment (ME) to Mixed-Use Medium Scale (MM). The petitioner has also requested a waiver from the required second hearing.

BACKGROUND:

Area: 1.31 acres
Current Zoning: Mixed-Use Employment (ME)
Comp Plan Designation: Urban Corridor
Existing Land Use: Office and Homeless Shelter
Proposed Land Use: Office and Homeless Shelter
Surrounding Uses: North – Office and light manufacturing
 South – Office and light manufacturing
 East – Office
 West – Office and retail

REPORT: The petition site encompasses three properties that total 1.31 acres and are located at 135, 201, and 205 S. Westplex Ave. The properties are zoned Mixed-Use Employment (ME). The property is currently developed with several office buildings that house a variety of uses by the petitioner including office space, community meeting space, and sleeping facilities. Surrounding land uses include other commercial offices and manufacturing buildings.

The petitioner recently acquired the building at 201 S. Westplex Avenue and would like to expand their use into that building. The building would be used to provide overnight sleeping accommodation for those experiencing homelessness, community meeting and training spaces, as well as on-site office space for staff. The petitioner would also be proposing an addition to combine the existing buildings at 201 and 215 S. Westplex.

The Unified Development Ordinance identifies the petitioner’s land use as “supportive housing”, which is not a permitted or conditional use in the current Mixed-Use Employment district. The petitioner is requesting to rezone the three properties to Mixed-Use Medium Scale (MM) in order to allow for the expansion of their use on the site.

COMPREHENSIVE PLAN: The Comprehensive Plan designates this site as ‘Urban Corridor’. The Urban Corridor district is identified as having excellent access to major roadways, utilities, and other services like transit, fire, and police service. This district generally has high intensity uses and is expected to change by incorporating mixed uses and increasing activity. This petition furthers many goals of the Comprehensive plan by expanding social service uses, providing housing for members of our community experiencing homelessness, and providing services along an existing corridor with good pedestrian facilities, multi-modal access, and transit service. The Comprehensive Plan specifically addresses this in

Goal 5.1 Housing Affordability- Improve access to affordable housing for a continuum of needs in

Bloomington, including people experiencing homelessness, low-income, and moderate-income households.

20.06.070(b)(3)(E)(i)(1) ZONING MAP AMENDMENT PLAN COMMISSION REVIEW AND RECOMMENDATION:

The following criteria are those that the Plan Commission must consider when reviewing a zoning map amendment request.

[a] The recommendations of the Comprehensive Plan;

PROPOSED FINDING: The Comprehensive Plan designates the site as Urban Corridor and identifies this area as appropriate for high intensity uses and notes that these areas are well served by existing infrastructure. A diversity of land uses in this district is also encouraged. In addition, providing a mix of housing for residents of the community, including those experiencing homelessness, is encouraged in multiple sections of the Comprehensive Plan.

[b] Current conditions and character of structures and uses in each zoning district;

PROPOSED FINDING: The site has currently been developed with several buildings owned by the petitioner that provide the requested service. The location of the site immediately adjacent to a Bloomington Transit route along 3rd Street as well as recent improvements to 3rd Street for protected bike lanes further increases the multi-modal transportation options for users at this location. Approval of this request would allow for improvements to the existing facilities and allow expanded service offerings for members of the community.

[c] The most desirable use for which the land in each zoning district is adapted;

PROPOSED FINDING: The Comprehensive Plan states that a wide range of land uses is appropriate within this district. The rezoning of this site to Mixed-Use Medium Scale (MM) would also match adjacent land to the east that is zoned the same.

[d] The conservation of sensitive environmental features;

PROPOSED FINDING: There are no known sensitive environmental features on this site.

[e] The conservation of property values throughout the jurisdiction; and

PROPOSED FINDING: The proposed rezoning and expansion of services at this facility is not expected to have any negative impacts on adjacent property values.

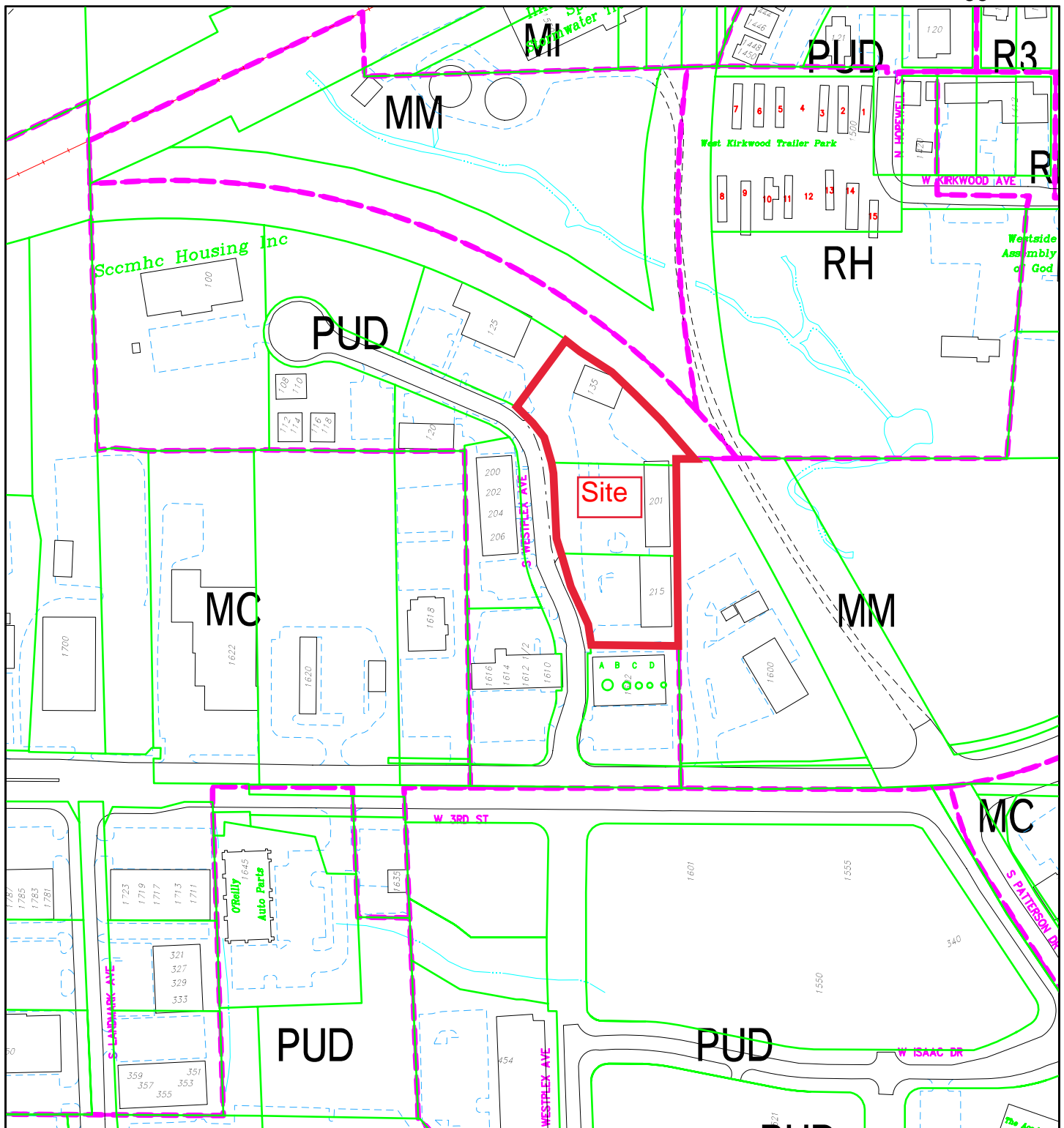
[f] Responsible development and growth

PROPOSED FINDING: The rezoning of this site will help further many goals of the Comprehensive Plan and facilitate additional resources available to the community. The Comprehensive Plan states that this district is appropriate for higher intensity uses and the high level of access to this site makes it even more ideal for different forms of access.

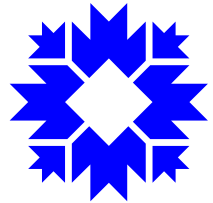
CONCLUSION: The Department believes that the rezoning of this site to Mixed-Use Medium Scale would match the Comprehensive Plan designation of the site as Urban Corridor. This site was recently rezoned from a Planned Unit Development to Mixed-Use Employment based on the approved list of uses in the PUD and the Comprehensive Plan, and ME matched the uses of the majority of properties in this area. The rezoning of these properties to Mixed-Use Medium scale would not affect adjacent businesses and would allow this use to expand and better serve the needs of the overall community in an area that is appropriate and in line with the Comprehensive Plan.

RECOMMENDATION: The Department recommends the Plan Commission approve the waiver to not require a second hearing and forward this petition to the Common Council with a favorable recommendation and the following conditions:

1. A compliant site plan, including a landscape plan, shall be submitted for each location with submittal of the associated building permit application. All improvements shall be installed before final occupancy is issued for each site.
2. A plan for the correction of any deficiencies to existing sidewalk ramps and facilities along this road frontage of the petition properties will be submitted of the building permit application and will be installed before final occupancy is issued.
3. Right-of-way dedication consistent with the Transportation Plan is required within 180 days of approval by Common Council.

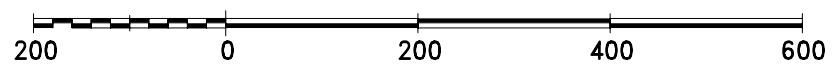


City of Bloomington
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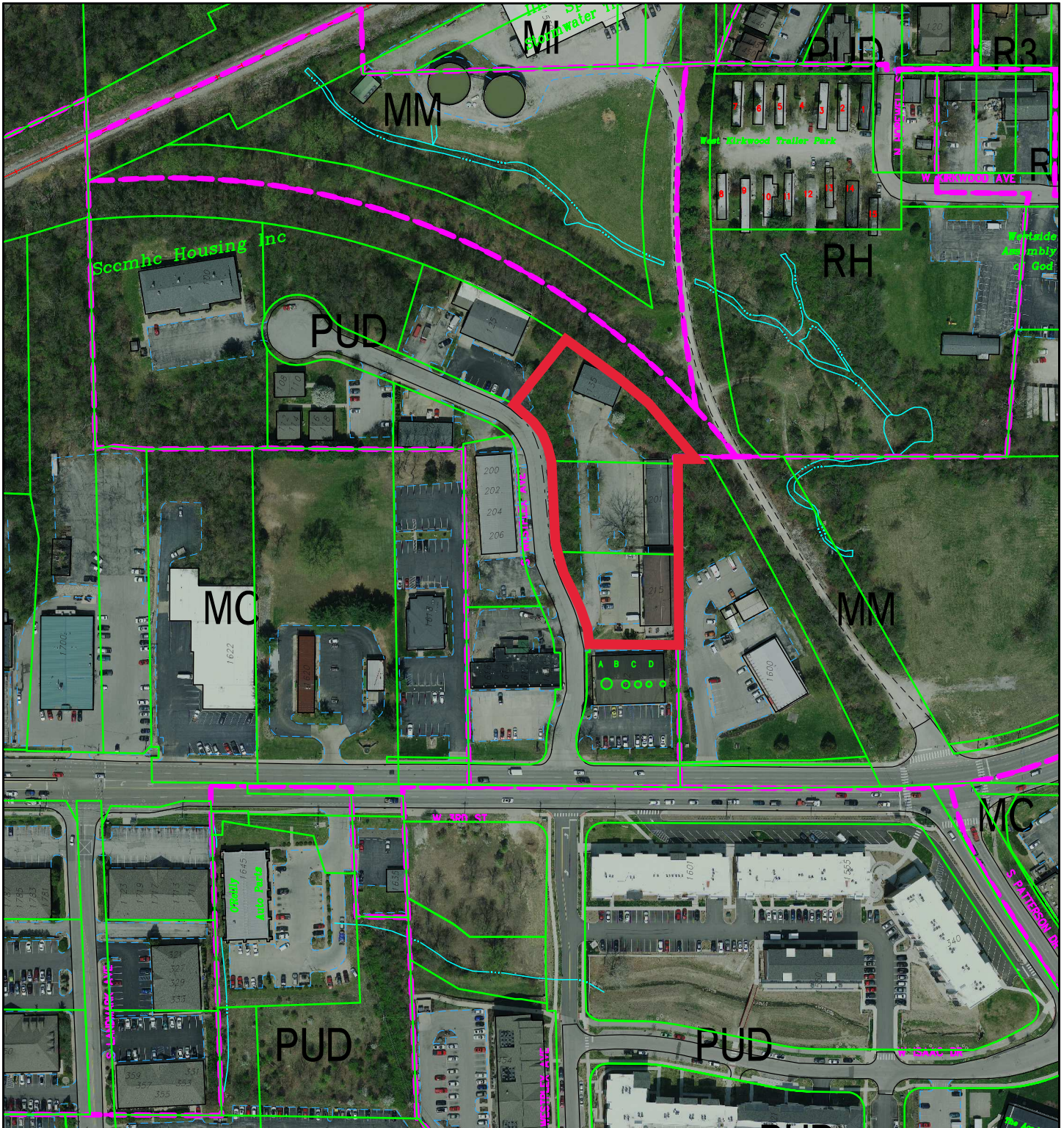


Scale: 1" = 200'

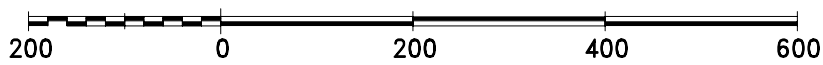
By: greulice
28 Jun 21



For reference only; map information NOT warranted.

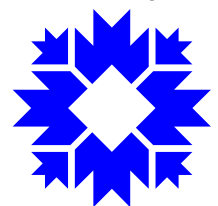


By: greulice
 28 Jun 21



For reference only; map information NOT warranted.

City of Bloomington
 Planning



Scale: 1" = 200'

Rezone Request

Wheeler Mission Ministries – Petitioner Statement

Subject Properties:

- **135 S. Westplex**
- **201 S. Westplex**
- **215 S. Westplex**
(see Exhibit 1)

Request Description:

We hereby request rezoning of the Subject Properties from the current status, Mixed Use-Employment, to the status, Mixed Use-Medium Scale.

Background:

Since 2002, a homeless shelter has operated at 215 S. Westplex Avenue, here in Bloomington. In 2015, operation of the shelter, originally known as Backstreet Mission, was assumed by Wheeler Mission Ministries, a leading provider of services for our homeless neighbors in Central Indiana for over 100 years. In total, this homeless shelter has occupied the property at 215 S. Westplex Avenue for nearly 20 years.

In 2019, Wheeler Mission acquired the property at 135 S. Westplex, and has modified it to provide services for the homeless.

In 2020, Wheeler Mission began the process of acquiring the property known as 201 S. Westplex Avenue. Due to delays caused by the Covid-19 pandemic, this sale did not close until late May 2021, just a few days after the City of Bloomington officially implemented a new set of Zoning maps under an updated Unified Development Ordinance.

Over the past year, two processes have simultaneously occurred that create the need for the current request:

- Wheeler Mission Ministries, Inc. acquired ownership of 201 S. Westplex Ave., the third of three adjacent properties in a cul-de-sac off South Westplex Avenue. This acquisition was made possible in part by grant funding that was based upon zoning practices that were in place at the time of purchase. These three properties are the Subject Properties of this request.
- The City of Bloomington created and implemented an updated Unified Development Ordinance. As a result, it appears that existing zoning for these properties has been cancelled and replaced with the Mixed Use-Employment classification.

Planned Use and Purpose of Zoning Request:

The Subject Properties are presented in EXHIBIT 1.

- The plan for **all three properties** includes a holistic approach to bring Help, Hope, and Healing to those in need by providing...
 - a safe place for our guests both day and night

- emergency shelter
 - meals for the hungry
 - life skills development
 - substance abuse programs
 - spiritual education & encouragement
 - connections with relevant social service agencies
 - connections with employment
 - connections with long-term housing
- **215 S. Westplex** -- Wheeler Mission currently uses this building for administration, sleeping, dining, classes, case management, and counseling.
 - **201 S. Westplex** -- Wheeler Mission Ministries, Inc. purchased the 201 S. Westplex property specifically to provide additional space to provide emergency shelter and temporary housing as well as other services within the scope of our mission.
 - **135 S. Westplex** – This building is used primarily as a guest services facility that allows for day shelter, training, and overnight shelter during the most extreme conditions

It is our understanding that this zoning change is required in order for us to provide emergency shelter, sleep space, and temporary housing in these buildings.

Site Plan:

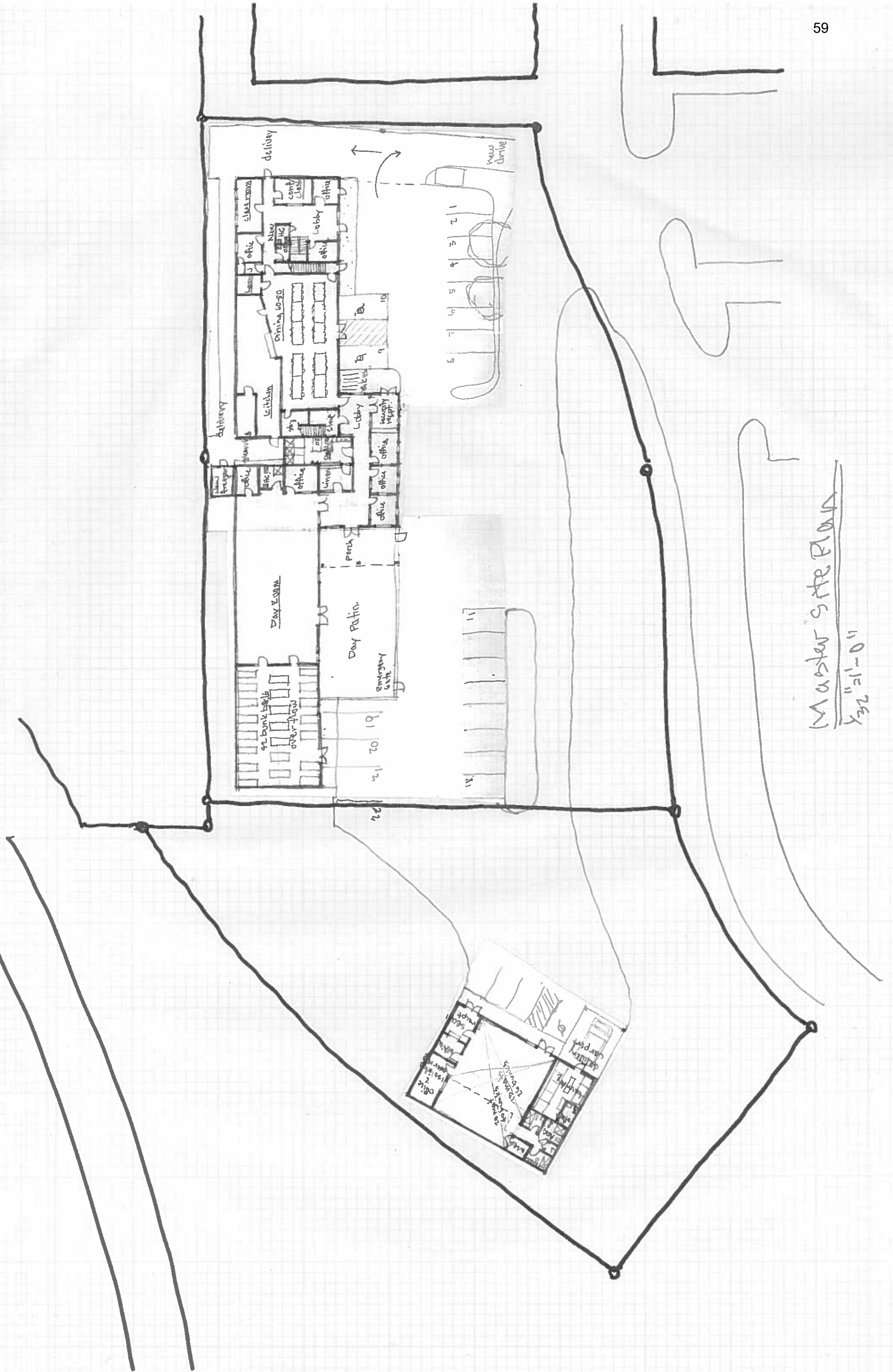
Current plans include...

- Interior Renovation of 201 S Westplex to accommodate lodging and programs in accordance with applicable building and fire codes. (See EXHIBIT 2)
- Future addition of a canopy to provide sheltered passage from 215 building to 201 building in accordance with local building and fire codes.
- Future addition of Outdoor Courtyard, fenced and partially covered, to accommodate relaxation for guests. (Location will be determined pending architectural engineer guidance.)

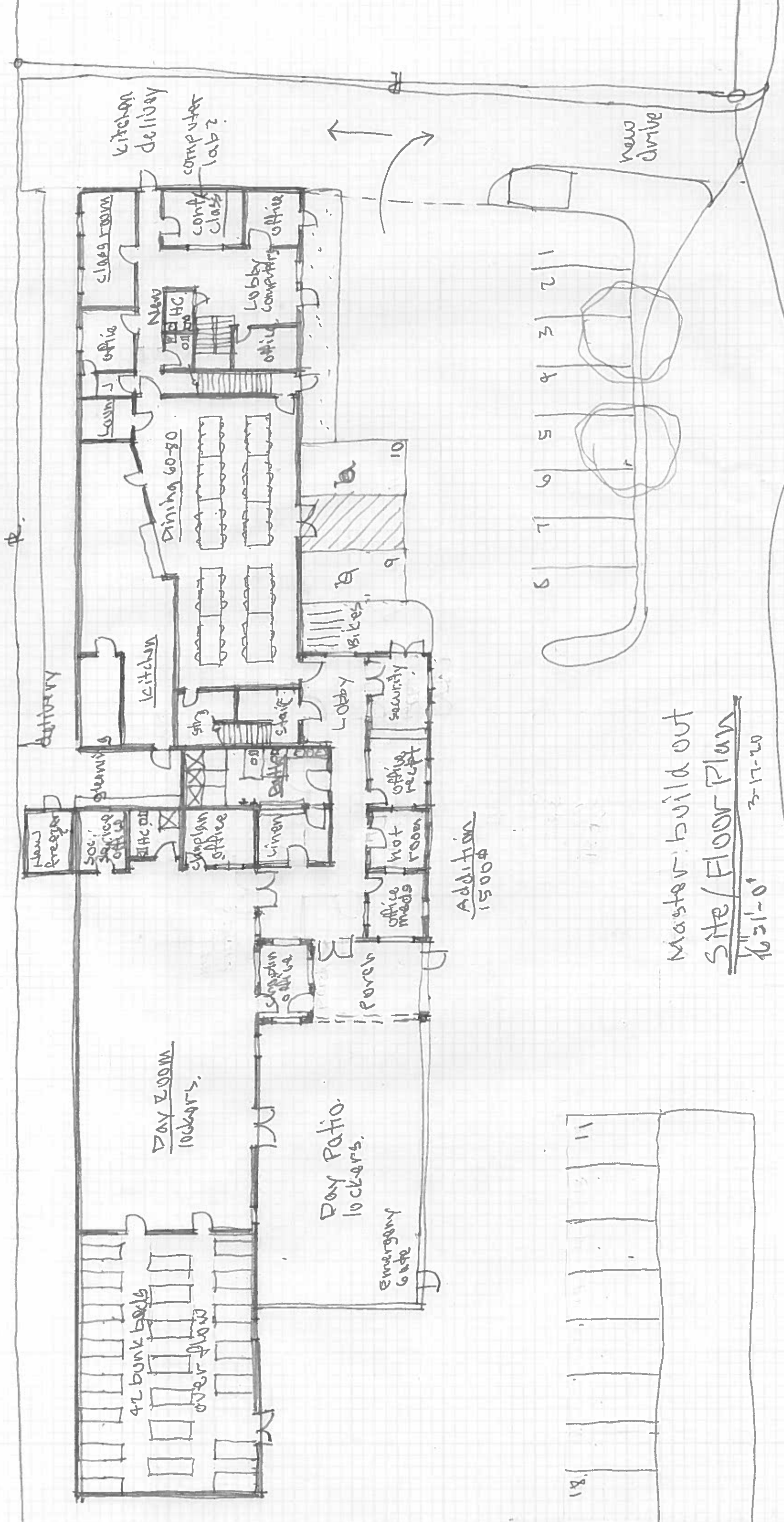
It is understood that compliance with all applicable building, safety, and fire codes will be an integral part of any plans for improvement, renovation, or development of the Subject Properties.

Since we are a Not-For-Profit, and in order to conserve funds, we are providing simple images and drawings for this zoning approval. Our intent is to secure the services of Tabor-Bruce Architecture and Design for final plans immediately upon approval of this rezoning request and prior to any construction or renovation.

Finally, because our operation at Westplex predates the current zoning map and ordinance, and because this process has been somewhat complicated by the recent implementation of the UDO, we would be grateful for anything that could be done to shorten or expedite this process. Please see EXHIBIT 3 to see advice that we received just one year ago (July 2020).

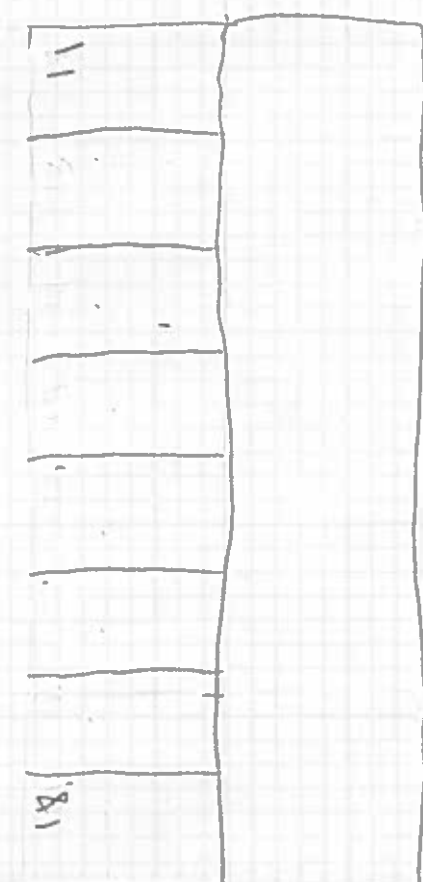


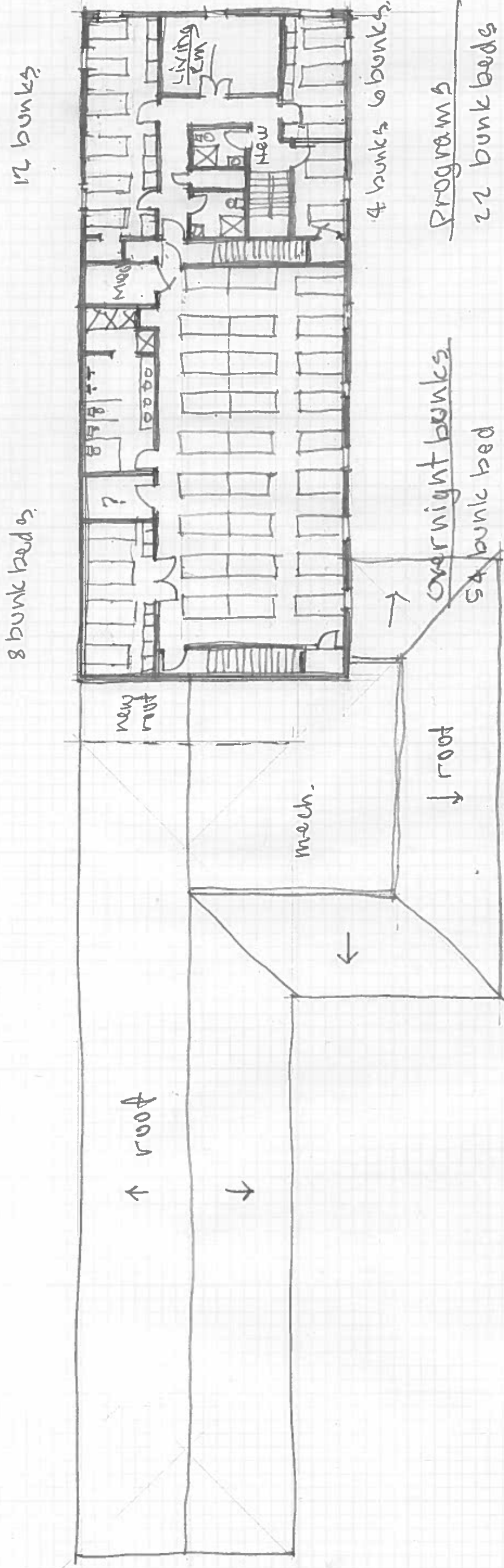
Master Site Plan
 1/0-11-01
 1/32" = 1'-0"



Master build out
 Site/Floor Plan
 1621-0' 3-17-20

Addition
 1500





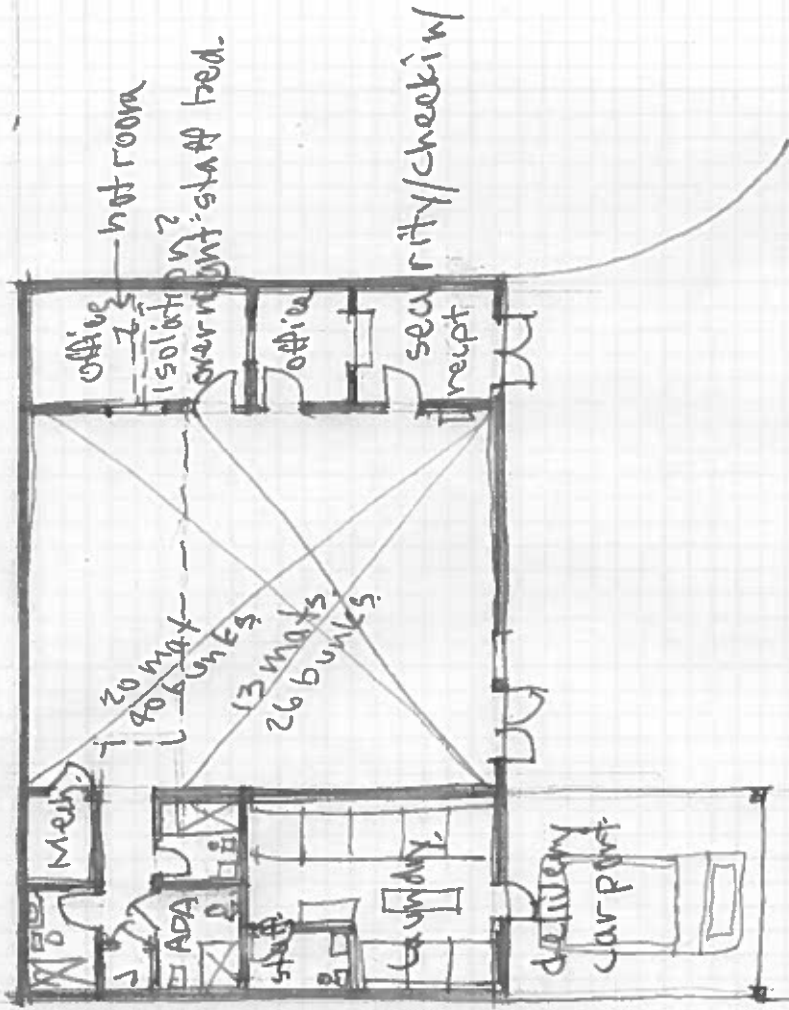
Master build out.

2nd Floor Plan

16"=1'-0"

3-17-20

Total 96 bed.



Site/Floor Plan

1/16" = 1'-0"

3-17-20

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO TABOR BRUCE ARCHITECTURE & DESIGN INC.



REVISIONS

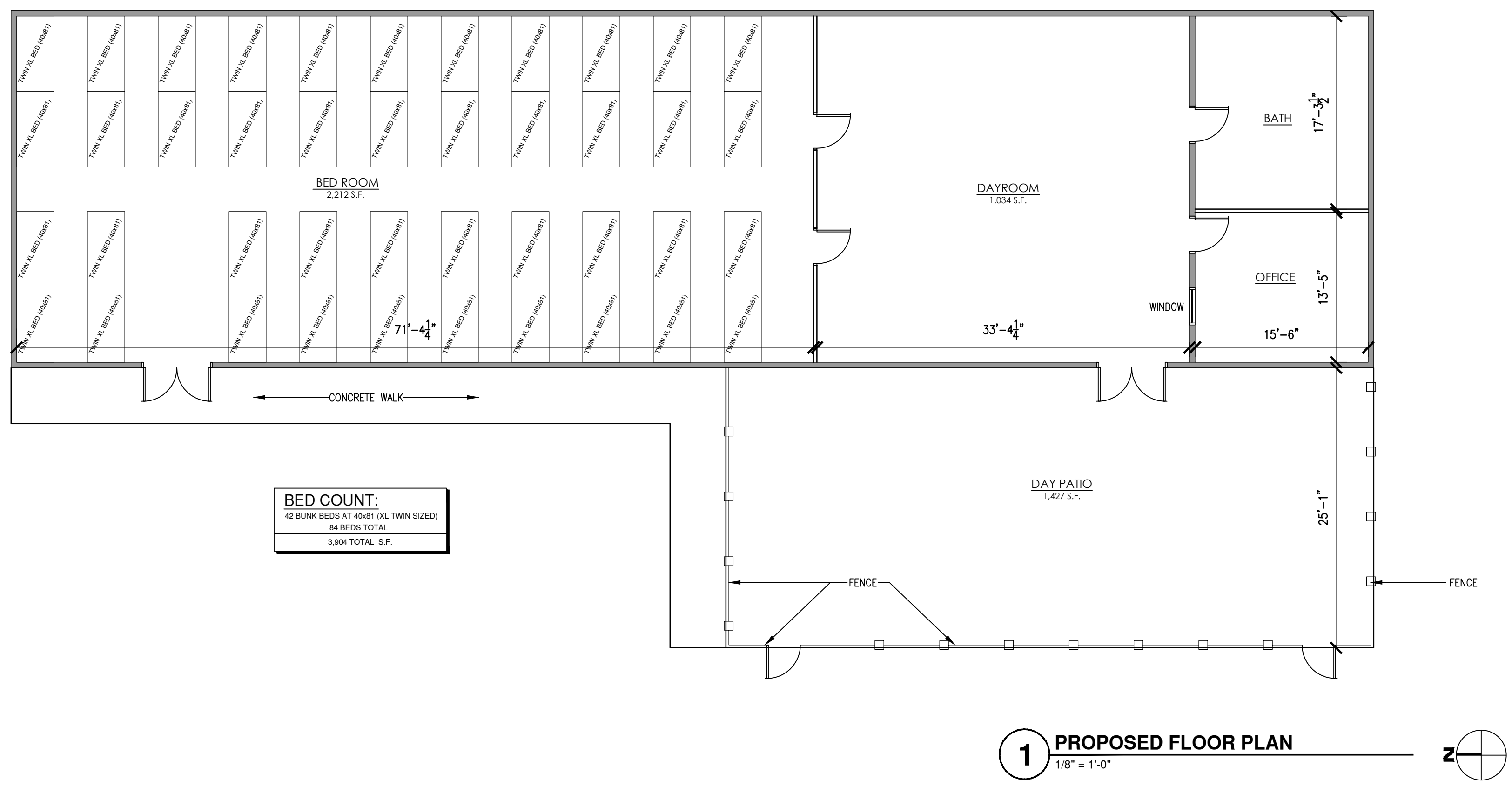
TOILET ROOM RENOVATIONS FOR:
**THE ANNEX FOR
WHEELER MISSION**
201 S. WESTPLEX AVE.
BLOOMINGTON, INDIANA 47404

- FLOOR PLAN KEYNOTES:**
- NEW 1 1/2" WD. STUD WALL FURRING & 5/8" GYP. BD. ALIGN WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
 - NEW 2X WD. STUD WALL @ 16" O.C. AS INDICATED PER WALL TYPES. ALIGN W/ EXIST. WALL WHERE APPLICABLE & MATCH EXIST. FINISH.
 - NEW WD. PARTIAL HT. STUD WALL @ 16" O.C. W/ STAINED WD. CAP. INSTALL 5/8" GYP. BD. ON BOTH SIDES & FINISH PER INTERIOR DWG'S.
 - INFILL EXIST. WD. STUD WALL @ 16" O.C. AS INDICATED. INSTALL 5/8" GYP. BD. ON BOTH SIDES & ALIGN W/ EXIST. WALL, ALIGN W/ EXIST. WALL & MATCH FINISH.
 - NEW EXTERIOR INSUL. WDW., SEE SCHED. FOR SIZING.
 - NEW INTERIOR WDW., SEE SCHED. FOR SIZING.
 - NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED FIXED ALUM. STOREFRONT WINDOW W/ TEMPERED GLAZING PER IBC CODE.
 - PROVIDE POST FOR ADA DOOR OPENING ASSIST DEVICE @ ENTRY LOC.
 - NEW EXTERIOR MTL. INSUL. DOOR, FRAME & HARDWARE. SEE SCHED.
 - NEW INTERIOR DOOR, FRAME & HARDWARE. SEE SCHED.
 - NEW KAWNEER TRIFAB 450 SERIES DBL. GLAZED ANODIZED ALUM. STOREFRONT SYSTEM W/ TEMPERED GLAZING PER IBC CODE.
 - NEW KAWNEER TRIFAB 190 SERIES FULL GLAZED ANODIZED ALUM. STOREFRONT DOORS W/ TEMPERED GLAZING PER IBC CODE.
 - NEW INTERIOR CASED OPENING.
 - SOLID SURFACE COUNTERTOP & BASE CABINET (WHERE APPLICABLE). SEE ENLARGED PLANS & INTERIOR ELEVATIONS FOR DETAILS.
 - NEW ADA COMPLIANT FLR. MTD. WATER CLOSET PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
 - NEW ADA COMPLIANT WALL MTD. LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
 - NEW ADA COMPLIANT DROP-IN LAVATORY PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES & VENT AS REQ'D.
 - NEW ADA COMPLIANT WALL MTD. URINAL PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
 - NEW ADA COMPLIANT WALL MTD. GRAB BARS @ EA. SIDE OF WATERCLOSET. SEE ENLARGED PLANS FOR DETAILS.
 - NEW WALL MTD. DRINKING FOUNTAIN PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
 - NEW FLR. MTD. MOP SINK PER SCHED., TIE INTO EXIST. SUPPLY & WASTE LINES. VENT AS REQ'D.
 - PROVIDE MIN. 2X8 BLOCKING FOR FUTURE GRAB BAR TO BE MOUNTED 34"-38" A.F.F. (TYP. @ ADAPTABLE TOILETS & SHOWER STALLS). SHOWER STALL BLOCKING SHALL BE ADJACENT TO FIBERGLASS SHELL PER I.B.C. & SHALL SUPPORT LOAD OF 250 LBS.
 - NEW BOBRICK 1540 CLASSIC SERIES HIGH PRESSURE LAMINATE TOP & BTM. BRACED TOILET PARTITIONS & URINAL SCREENS.
 - NEW AMCO ELVORON CPL. LIFT. CONFIRM W/ MFG. ALL NECESSARY REQUIREMENTS FOR STRUCTURAL, MECHANICAL & PLUMBING SYSTEMS PRIOR TO CONSTRUCTION.
 - NEW 1 1/2" SQ. MTL. GUARDRAIL (PAINTED), TOP OF RAIL +42" ABOVE FIN. SURFACE. FINAL DESIGN DETERMINED BY OWNER.
 - NEW 1 1/2" MTL. HANDRAIL (PAINTED), TOP OF RAIL +36" ABOVE FIN. SURFACE. EXTEND HANDRAILS +12" PAST FINAL RISER @ ALL LANDINGS.
 - NEW STAIRS.
 - NEW REINF. CONC. EXTERIOR STAIR, RAMP SYSTEM, OR WALK SEE CIVIL DWG'S. FOR DETAILS & CONSTRUCTION LIMITS.
 - NEW STRUCTURAL COL., SEE STRUCTURAL DWG'S. WRAP W/ 1 1/2" WD. STUDS, 5/8" GYP. BD. & FINISH PER INTERIOR DWG'S.

- GENERAL FLOOR PLAN NOTES:**
- DO NOT SCALE DRAWINGS, DIMENSIONS SHALL PREVAIL. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. IF CONTRACTOR FAILS TO VERIFY DIMENSIONS AS INDICATED, ANY AND ALL CORRECTIVE ACTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD & DO NOT INCLUDE WALL FINISHES.
 - ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
 - FIELD VERIFY PLAN DIMENSIONS PRIOR TO ANY CASEWORK FABRICATION.
 - ALL NEW WALLS SHALL BE FINISHED TO MATCH EXISTING SURFACES INCLUDING PRIMER & PAINT.
 - CAULK ALL JOINTS BETWEEN DIFFERENT MATERIALS IE: GYPSUM BOARD & MASONRY.
 - ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), & WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
 - ANY OPERABLE WDW'S. W/ SILL LESS THAN 36" ABV. FIN. FLR. SHALL BE EQUIPPED W/ A OPENING CONTROL DEVICE PER 1013.8.1.
 - IF NO WINDOW SCHEDULE IS PRESENT, CONTRACTOR/OWNER SHALL PROVIDE A MIN. OF 1 CODE COMPLIANT EGRESS WINDOW IN EVERY SLEEPING ROOM.
 - SIZE OF STAIR RISERS MAY VARY ACCORDING TO SIZE OF FLOOR SYSTEM.

SYMBOLS LEGEND:

	DENOTES NEW FULL HEIGHT MASONRY WALLS		DENOTES DETAIL INDICATOR
	DENOTES NEW FULL HEIGHT STUD WALLS		DENOTES SHEET NUMBER
	DENOTES EXISTING WALLS TO REMAIN WHEN APPLICABLE		DENOTES SECTION INDICATOR
	DENOTES DETAIL INDICATOR		DENOTES ELEVATION INDICATOR
	DENOTES SHEET NUMBER		DENOTES SPACE NAME
	DENOTES SECTION INDICATOR		DENOTES SPACE NUMBER
	DENOTES ELEVATION INDICATOR		DENOTES SPACE IDENTIFIER
	DENOTES NEW DOOR AND FRAME SYMBOL		DENOTES WALL TYPES; SEE SHEET G103 FOR WALL TYPE INFORMATION
	EXTERIOR WINDOW IDENTIFIER		F.D. FLOOR DRAIN LOCATION
	REVISION NOTE		FLOOR PLAN KEYNOTE



BED COUNT:
42 BLNK BEDS AT 40x81 (XL TWIN SIZE)
84 BEDS TOTAL
3,904 TOTAL S.F.

PROJECT NO.	1520
DATE	JUNE 26, 2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	FLOOR PLAN
SHEET NO.	AE101

I FEEL THIS ZONING REQUEST WOULD BE BETTER IF THE PROPERTY
WAS LOCATED IN THE MAYOR'S BACKYARD.

RECEIVED

AUG - 3 2021



**City of Bloomington
Planning and Transportation Department**



CITY OF BLOOMINGTON PLAN COMMISSION

Notice of Public Hearing
(2 hearings – with waiver requested)

The City of Bloomington Plan Commission will hold a public hearing at 5:30 p.m., on August 9 2021, and September 13, 2021 via an online meeting (the meeting link will be listed in the posted packet and on the City's website) and in the Common Council Chambers Room #115 of the City Hall building at 401 N. Morton to consider the petition of: Wheeler Mission Ministries

for the purpose of: a request to rezone 1.31 acres from Mixed-Use Employment (ME) to Mixed-Use Medium Scale (MM)

for the property located at 135, 201, and 215 S. Westplex Ave. and to which you are an adjacent property owner.

Under the provisions of Indiana Law, you may appear and speak on the merits of this proposal at the public hearing to be held at the time and date as set out herein. The hearing may be continued from time to time as may be found necessary. **The petitioner has requested a waiver from the required second hearing.** You may also file written comments with the Plan Commission in the Planning and Transportation Department office (401 N. Morton Street, Suite #130, Bloomington, IN 47404), where the petition is on file and may be examined by interested persons. If you have any questions concerning this matter, you may telephone the petitioner (at the number listed below) or the City Planning and Transportation Department office at 812-349-3423.

Wheeler Mission Ministries, Inc/ Rick Doll-Facility Operation:

Petitioner/Counsel for Petitioner

205 E . New York St.

Address

Indianapolis, IN 46204

City/State/Zip

317.635.3575 Ext.201

Phone

RickDoll@WheelerMission.org

Email