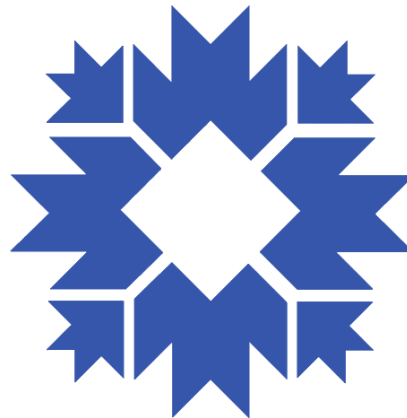


BHPC MEETING PACKET



Thursday November 18, 2021

5:00 p.m.

Prepared by HAND Staff

Zoom:

<https://bloomington.zoom.us/j/95852185508?pwd=M3J2aDgrdjdXaWh1QUN3eWRKYThKQT09>

Meeting ID: 958 5218 5508

Passcode: 082945

One tap mobile

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New Business

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**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday November 18, 2021, 5:00 P.M.**

AGENDA

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. October 28, 2021 Minutes

IV. CERTIFICATES OF APPROPRIATENESS

Staff Approvals

A. COA 21-86

104 E Kirkwood Ave.

Petitioner: Norma Sessamen, Bone Dry Roofing

Re-roof.

Commission Review

B. COA 21-80

1005 E Wylie St. (Elm Heights Historic District)

Petitioner: Heidi Smith

Replace carport, wood deck and steps, and railing. See packet for details.

C. COA 21-81

816 W Kirkwood Ave. (Near West Side Conservation District)

Petitioner: Stephanie Bruce and Michael Boisvenue

Demolition of two structures on the property.

D. COA 21-82

1205 S Madison St. (McDoel Gardens Historic District)

Petitioner: Juan Carlos Carrasquel

Full demolition of existing structure.

E. COA 21-83

916 S Morton St. (McDoel Gardens Historic District)

Petitioner: Barre Klapper, Springpoint Architects

Resubmittal of the garage, deck, privacy fence design.

F. COA 21-84

914 E University St. (Elm Heights Historic District)

Petitioner: Aviva Tavel Mintz

Various changes to front and back yard. See packet for details.

G. COA 21-85

1014 E Wylie St. (Elm Heights Historic District)

Petitioner: Sam DeSollar

Alter and expand garage, modify fence, steps, and retaining wall

V. DEMOLITION DELAY

Commission Review

A. DD 21-16

914 S Meadowbrook Dr. (Contributing)

Petitioner: Glen Harris

Partial demolition due to fire damage

B. DD 21-17
1505 W 17th St. (Contributing)
Petitioner: Darrel McDonald
Full Demolition

C. DD 21-18
311 W 2nd St. (Contributing)
Petitioner: Karen Valiquett
Full Demolition

D. DD 21-19
313 W 2nd St. (Contributing)
Petitioner: Karen Valiquett
Full Demolition

E. DD 21-20
409 W 2nd St. (Contributing)
Petitioner: Karen Valiquett
Full Demolition

VI. NEW BUSINESS

Commission Review

- A. BHPC Grant – For Standard Oil Building
- B. 2022 BHPC Calendar Draft
- C. The Cascades National Register Nomination
- D. Monroe County HPC Visit

VII. OLD BUSINESS

- A. 620 S Ballantine Rd.
- B. Maple Heights Conservation District Elevation Process

VIII. COMMISSIONER COMMENTS

IX. PUBLIC COMMENTS

X. ANNOUNCEMENTS

XII. ADJOURNMENT

Auxiliary aids for people with disabilities are available upon request with adequate notice. Please call 812-349-3429 or email, human.rights@bloomington.in.gov.

Next meeting date is December 9, 2021 at 5:00 P.M. and will be a teleconference via Zoom.

Posted: 11/10/2021

**Bloomington Historic Preservation Commission, Teleconference
Meeting, Thursday, October 28, 2021, 5:00 P.M.**

AGENDA

I. CALL TO ORDER

Meeting was called to order by Vice Chair **John Saunders @ 5:01 p.m.**

II. ROLL CALL

Commissioners Present:

Lee Sandweiss
Reynard Cross
Sam DeSollar
Matt Seddon
John Saunders
Chris Sturbaum (Entered Meeting @ 5:30 p.m.)

Advisory Members Present:

Jenny Southern
Duncan Campbell

Staff Present:

Gloria Colom, HAND
John Zody, HAND
Dee Wills, HAND
Daniel Dixon, City Legal Department
Keegan Gulick, City Planning and Transportation

Guests Present:

CATS
Cindy Thrasher
Bruce Norton
Joan White
Noah Rogers
Michael Fierst
Katherine McIntosh
Jennifer Burt
Steve Wyatt

III. APPROVAL OF MINUTES

A. October 14, 2021 Minutes

Sam DeSollar made a motion to approve **October 14, 2021 Minutes** with the exception of **COA 21-70** where there is an advisory member as second to the motion.

Matt Seddon seconded.

Motion Carries: 6 Yes (Sanweiss, Saunders, Bruce, Seddon, Cross), 0 No, 0 Abstain.

IV. CERTIFICATES OF APPROPRIATENESS

Staff Approval

A. COA 21-78

1208 E 1st St. (Elm Heights Historic District)
Petitioner: Heather Scherschel & Charles Morgan
Removal of dead tree and tree parts. See packet for more details.

Gloria Colom gave presentation. See packet for details.

B. COA 21-79

106 W 6th St. (Courthouse Square Historic District)
Petitioner: Bruce Norton
Temporary Sign and Awning. See packet for more details.

Gloria Colom gave presentation. See packet for details.

Commission Review

C. COA 21-70

1302 E 2nd St. (Elm Heights Historic District)
Petitioner: Noah Rogers
Roofed screened back deck. See packet for more details.

Gloria Colom gave presentation. See packet for details.

Noah Rogers stated that he would match the color scheme of what is existing on the home, along with shingles and gutters.

Sam DeSollar asked about the vertical corner boards, and if there was any feedback from the neighborhood, or reaction to the new drawings.

Reynard Cross commented that he thinks the **Petitioner** did what the **Commission** asked for and that he is satisfied with what has been presented.

Matt Seddon made a motion to approve **COA 21-70**.

John Saunders seconded.

Motion Carries: 4 Yes (Sandweiss, Saunders, Seddon, Cross), 0 No, 1 Abstain (DeSollar).

D. COA 21-72

106 W 6th St. (Courthouse Square Historic District)
Petitioner: Bruce Norton
Permanent Sign and Awning.

Gloria Colom gave presentation. See packet for details.

Bruce Norton stated that he thought the picture explained very well the dimensions, the sign fits within the sign guidelines.

Sam DeSollar asked if the **Petitioner** could describe the columns that are coming down, the size of them and the placement of them. **Bruce Norton** replied that they are support posts and explained the dimensions of the posts. **Sam DeSollar** asked why the awning stopped where it did.

Sam DeSollar commented that once you put columns under an awning, it is no longer an awning, it becomes a canopy. In the **Courthouse Square District** there are two existing canopies. One of them is in front of **Fountain Square Mall** and the other is in front of the **Social Cantina**, the one that detracts the most from the square. **Sam DeSollar** commented that he had no issue with the sign but with the guidelines is that if it is going to be an awning, it should have no support post and needs to be self-supporting. **Duncan Campbell** commented about the location of the support posts, and if this was intended to cover a seating area, and also commented about the safety of the posts. **Bruce Norton** stated that the Social Cantina has a fence between the posts, so it closes off the seating area and that this could be a possibility. **Keegan Gulick** commented that **Planning** would not have jurisdiction over this.

Sam DeSollar made a motion to approve the signage and the awning, if it is self-supporting for **COA 21-70**.

Lee Sandweiss seconded.

Motion Carries: 5 Yes (Sandweiss, Saunders, DeSollar, Seddon, Cross), 0 No, 0 Abstain.

E. COA 21-73

410 E Saville Ave. (Matlock Heights Historic District)

Petitioner: Michael E. Fierst

Adding skylights. See packet for details.

Gloria Colom gave presentation. See packet for details.

Duncan Campbell asked how many skylights are there, and if they are all the domed light tube style. **Gloria Colom** gave details.

Sam DeSollar made a motion to approve **COA 21-73**.

Matt Seddon seconded.

Motion Carries: 6 Yes (Sandweiss, Sturbaum, Saunders, DeSollar, Seddon, Cross), 0 No, 0 Abstain.

F. COA 21-74

616 S Woodlawn Ave. (Elm Heights Historic District)

Petitioner: Joan White

Lifting carport roof.

Gloria Colom gave presentation. See packet for details.

Sam DeSollar asked if the carport roof was connected to the house in any way, or if it was free standing. **Joan White** stated that it was connected to the house.

Sam DeSollar asked if it was basically detaching, cranking it up and re-attaching.

Lee Sandweiss commented that this was pretty straight forward and would support it.

Jenny Southern commented that the carport was free standing and it is butted up against the building.

Matt Seddon made a motion to approve **COA 21-74**.

Lee Sandweiss seconded.

Motion Carries: 6 Yes (Sandweiss, Sturbaum, Saunders, DeSollar, Seddon, Cross), 0 No, 0 Abstain.

G. COA 21-75

411 E Saville Ave. (Matlock Heights Historic District)
Petitioner: Cindy Thrasher
Demolishing chimney.

Gloria Colom gave presentation. See packet for details.

Duncan Campbell commented that from the photo it looked like there was a fireplace or a wood burning stove. **Cindy Thrasher** stated that it was a wood burning stove and that the owners want to change it to gas. **Duncan Campbell** stated that he would have liked to see a picture of the chimney the way it was, and explained why. **Cindy Thrasher** explained that she tried to get some pictures, but none were available. **Cindy Thrasher** stated that the fireplace was not original to the home, it was built in the 1970's.

Sam DeSollar commented that if you look at Google Maps from 2013, that the chimney is not even visible from the street.

Matt Seddon made a motion to approve **COA 21-75**.

Lee Sandweiss seconded.

Motion Carries: 6 Yes (Sandweiss, Sturbaum, Saunders, DeSollar, Seddon, Cross). 0 No, 0 Abstain.

H. COA 21-76

2300 N Martha St. (Matlock Heights Historic District)
Petitioner: Katherine and Eric McIntosh
Above Ground Swimming Pool with surrounding wood deck and fence.

Gloria Colom gave presentation. See packet for details.

Sam DeSollar asked if the existing chain link fence was going to be removed and replaced with a wood fence. Katherine McIntosh replied that the wood fencing will just be around the pool for safety reasons.

Chris Sturbaum commented about the wood stain. **Sam DeSollar** commented that the yard looked to have slope and that he would encourage the **Petitioner** to a cut and fill so that the pool lies as low as possible.

Matt Seddon made a motion to approve **COA 21-76**.

Sam DeSollar seconded.

Motion Carries: 6 Yes (Sandweiss, Sturbaum, Saunders, DeSollar, Seddon, Cross). 0 No, 0 Abstain.

I. COA 21-77

619 W Smith Ave. (Greater Prospect Hill Historic District)
Petitioner: Steve Wyatt
Reopening the front porch. See packet for details.

Gloria Colom gave presentation. See packet for details.

Steve Wyatt stated that he was trying to make the house look like it used to look.

Sam DeSollar asked if **Steve Wyatt** was going to leave the existing concrete floor as is, and if the siding was going to come off of the whole house. **Steve Wyatt** replied that the removal of siding would just be from the porch, and the concrete floor would remain. More discussion ensued about the siding. See packet for details. **Reynard Cross** stated that he was in favor of anything that can be done to this house. **John Saunders** asked about the turn posts, and what kind of wood is going to be used, and if the door would be fiberglass or wood.

Lee Sandweiss commented that it was a great project and that she will support it. **Chris Sturbaum** commented that this was the way to go. **Sam DeSollar** commented that it looks good. **Matt Seddon** commented that anything they could do to make this look more original and that he loved the sensitivity. **Reynard Cross** commented that he knew this house well, and that there is very little you could do to make it not look better.

Matt Seddon made a motion to approve **COA 21-77**.

Reynard Cross seconded.

Motion Carries: 6 Yes (Sandweiss, Sturbaum, Saunders, DeSollar, Seddon, Cross), 0 No, 0 Abstain.

V. DEMOLITION DELAY

VI. NEW BUSINESS

- A.** Changing the next Historic Preservation Commission meeting date from Thursday November 11, 2021 to Thursday November 18, 2021

Gloria Colom gave details. See packet for details.

VII. OLD BUSINESS

- A.** Update on 21-58 608 W 3rd St (Paris Dunning House) – Roof tile replacement
- B.** Update on 21-52 601 W 4th St. – Replacing back deck
- C.** Update on Demolition Delay 518 W 2nd St.
- D.** Update on the Faris House Common Council Dates.

Gloria Colom gave an update about each project. See packet for details.

VIII. COMMISSIONER COMMENTS

IX. PUBLIC COMMENTS

X. ANNOUNCEMENTS

XII. ADJOURNMENT

Meeting was adjourned by **Jeff Saunders @ 6:08 p.m.**

END OF MINUTES

Video record of meeting available upon request.

COA: 21-86
STAFF APPROVAL

Address: “Allen Building”
104 E Kirkwood Ave.
Petitioner: Norma Sessamen,
Bone Dry Roofing
Parcel #: 53-05-33-310-293.000-005

Rating: NOTABLE

Survey: c. 1905 Queen Anne



Background: Courthouse Square Historic District

Request: Re-roofing

Guidelines: Courthouse Square Historic District Guidelines (Pg. 7)

- 2(i)(viii) Roof Repair where the new surface matches the original surface and the pitch is not changed.
- 33(i) A certificate of Appropriateness is not required for the following: Repairs and maintenance designated by the commission under its rules.

Staff Approves of 21-86

The repairs aren't visible from the street and are part of the building's maintenance.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-86 _____

Date Filed: _____ 11/3/2021 _____

Scheduled for Hearing: _____ 11/28/2021 _____

Address of Historic Property: 104 E Kirkwood Ave

Petitioner's Name: Bone Dry Roofing/Norma Sessamen

Petitioner's Address: 7735 Winton Drive Blmgtn, IN 47408

Phone Number/e-mail: 317/474-7404

Owner's Name: The Allen Building and Michael Latham

Owner's Address: 104 E Kirkwood Ave

Phone Number/e-mail: 812/320-2366

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. _____

2. A description of the nature of the proposed modifications or new construction:

Re-roof

3. A description of the materials used.

104 sq TPOInstall 1/2" recovery board and .060mil TPO system with all accessories including 10 Yr Warranty for entire project.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



104 E Kirkwood Ave

COA: 21-80
STAFF RECOMMENDATIONS

Address: 1005 E Wylie St.

Petitioner: Heidi Smith

Parcel #: 53-08-04-114-028.000-009

Rating: Non-Contributing

Survey: C. 1940, Colonial Revival



Background: Elm Heights Historic District

Request: Replace carport, wood deck and steps, and railing. See packet for details.

Guidelines: Elm Heights Historic District Guidelines

- Pg. 15 (3.4) A Certificate of Appropriateness (COA) is required for the following bolded, numbered item. The bullet points that follow the numbered item further assist applicants with the COA process.
- I. Installation, removal, or expansion of all driveways and parking areas, as well as walkways visible from the public right-of-way.
- Design walkways, driveways, and parking areas in keeping with the neighborhood setting.
- Locate parking at the rear of the property and screen appropriately.
- Protect and maintain mature trees, plantings, and green space as much as possible when planning parking areas.
- Refer to the guidelines for Accessibility, Safety, and Aging in Place , Section 5.6, when planning disability access.
- Pervious pavers or pavements cannot to be used in exchange for open space requirements.

Pg. 29 For both additions and new construction, retaining a specific site's topography and character-defining site features assures compatibility. This is especially critical during new site development. The descriptions and guidelines included in Neighborhood Site and Setting, Section 3, will be useful for ensuring the compatibility of proposed site development within the historic district. The guidelines for various site features, including driveways, fences, lighting, garages, mature trees, and plantings, apply to both existing site features and proposed development. Consistency in setback, orientation, spacing, and distance between adjacent buildings creates compatibility within the district. The proportion of built mass to open space should remain consistent with that in surrounding areas to ensure the compatibility of both additions and new construction.

Staff recommends APPROVAL of 21-80

Comments:

- The owners began removing the stone and concrete flooring from the backyard.
- They replaced the metal roof and structure of the carport with a wooden structure, however they maintained the same footprint.
- The property is considered non-contributing and the alterations do not affect the massing of the building and minimally change the facade.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-80 _____

Date Filed: _____ 10/20/2021 _____

Scheduled for Hearing: _____ 11/18/2021 _____

Address of Historic Property: 1005 E Wylie St

Petitioner's Name: Heidi Smith

Petitioner's Address: 3684 Sterling Ave 47401

Phone Number/e-mail: 812-320-9472 craigandheidi@bluemarble.net

Owner's Name: Crimson Investments, LLC

Owner's Address: 3746 E Commodore Trail 47408

Phone Number/e-mail: same

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “**Complete Application**” consists of the following:

1. A legal description of the lot. 1005 E Wylie St parcel #53-08-04-114-028.000-009

2. A description of the nature of the proposed modifications or new construction:
Replace damaged carport. Repair crumbling concrete steps and
unstable iron railing at front door. Replace with wood deck, steps and railing. Pour 10x10 concrete pad
in back yard.

3. A description of the materials used.
Shingles, wood, white metal sheets to cover carport, concrete

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

10/21/2021 1005 E Wylie ST

Good Morning Gloria,

Attached the GIS drawing and carport "before" pic I found online. We have decided not to revamp the entrance. We will just repair existing concrete steps.

Let me know if this works!

Have a great day,
Heidi





FR
00
W
Y



06/14/2019











COA: 21-81
STAFF RECOMMENDATIONS

Address: 816 W Kirkwood Ave.
Petitioner: Stephanie Bruce and Michael Boisvenue
Parcel #: 53-05-32-410-013.000-005
Survey: c. 1900, T-Plan Cottage

Rating: CONTRIBUTING



Background: Near West Side Conservation District

Request: Demolition of two secondary structures on the property.

Guidelines: Near West Side Conservation District Guidelines (Pg. 44)

- The historic or architectural significance of the structure is such that, upon further consideration by the BHPC, it does not contribute to the historic character of the district.
- The structure or property cannot be put to any reasonable economically beneficial use without approval of demolition. A finding that the structure or property cannot be adapted to the specific use the applicant has applied for may or may not be acceptable as a rationale to approve demolition.

Staff recommends approval of COA 21-81:

The structure located at 812 W Kirkwood Ave. was originally classified as a summer kitchen built in 1900. However, this has been contested by the owner throughout previous meetings and conversations with the Near West Side (NWS) Neighborhood Association construction subcommittee.

Neighborhood comments From Peter Dorfman
(October 28, 2021)

Thanks. We've already told the applicant that the neighborhood Design Review Committee does not oppose these demolitions. You can include that in your report to the commission.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-81

Date Filed: _____ 10/25/2021

Scheduled for Hearing: _____ 11/18/2021

Address of Historic Property: _____ 816 West Kirkwood, Bloomington, IN

Petitioner's Name: _____ Stephanie Bruce / Michael Boisvenue

Petitioner's Address: _____ Boisvenue - 444 E 3rd Street, #202, Bloomington

Phone Number/e-mail: _____ Boisvenue - 3.14159mjb@gmail.com

Owner's Name: _____ Stephanie Bruce (Potential buyer Michael Boisvenue)

Owner's Address: _____ 4899 North Bruce Lane, Unionville, IN 47468

Phone Number/e-mail: _____ Bruce (812)320-9157 / Boisvenue (317)679-9482

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 812 and 816 West Kirkwood, Bloomington, IN

2. A description of the nature of the proposed modifications or new construction:
Demolish two adjacent structures on property.

3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

OCTOBER 25, 2021

REQUEST TO REMOVE TWO STRUCTURES: 816 WEST KIRWOOD AVENUE, BLOOMINGTON, INDIANA

I am requesting permission to demolish and remove two (2) detached structures which are located at 816 West Kirkwood Avenue, Bloomington, Indiana 47401

STRUCTURE ONE – This is a one-car garage at the rear (north) of the property, situated along the alley. The condition of the structure is not optimal, with patchy repairs made over the years. Without having entered, it is apparent from the leaning and sagging of roof and walls that there are structural issues.

STRUCTURE TWO – This is a former one-car garage at the front (south) of the property, nearer to and visible from Kirkwood Avenue. The structure has been used by the current owner as an art workshop/studio. At some point an addition was made to the structure, extending the length of the structure by about 4 feet (going south) and the entry to the structure is part of the addition. Most of the structure's exterior is original lap siding, which does not look to be airtight, has major cracks, and in many places warped/bowed. The roof also undulates showing possible weakness in rafters which are comprised of 2x4 lumber (instead of 2x6's which would be optimal). The structure sits to the east of the house and is at a slightly lower elevation and there is evidence outside and inside of water (not just moisture) making its way in the lower areas of the structure. On the lower parts of the structure exterior, there is indicating frequent water exposure. Some of the limestone foundation blocks are askew and likely no longer providing structural support.

REQUEST: I would ask that the structures be removed since I would intend to do significant replacement and upgrading to many parts of the main house – replacing the current vinyl siding, insulating, replacing storm windows, removing rotted rear deck, and upgrading several necessary items inside the house. There is no intention to alter the architectural aspects of the house or make any additions which would change the footprint of the house. The time and effort to renovate the house will be significant and thus the two detached structures would not be a priority. Due to the smaller size of both structures, the insufficient structural elements, and the water damage present in Structure Two, I would seek to remove them from the property.

NOTE: As a graduate of Indiana University (BSPA 1988), I was happy to make a permanent return to Bloomington in July of this year. For the five years previous I lived in Greenfield, Indiana, the town of my boyhood. There I purchased two large Victorian-era homes and renovated them, enhancing/upgrading the mechanical aspects (HVAC, electric, plumbing, etc.), and keeping the overall historical aspects of both properties. To this end, I received the 2019 Preservation Award from the Greenfield Historic Landmarks Board for work on my residence at 114 West Fifth Street. I recently received a second Preservation Award on Sunday, October 3, for my work renovating 433 West Main Street. I mention this to highlight my dedication to preserving and enhancing the historic character of properties and neighborhoods. I am anxious to return the 816 West Kirkwood Avenue residence to its historic charm, but sadly I believe the two detached structures would require significant additional efforts and I do not believe the buildings would be useful. I thank you in advance for your consideration of my request. (ATTACHED PHOTOS OF STRUCTURE ONE AND TWO)

Michael J. Boisvenue
444 East Third Street, #202
Bloomington, IN 47401
PH: (317)679-9482
EMAIL 3.14159mjb@gmail.com

STRUCTURE ONE

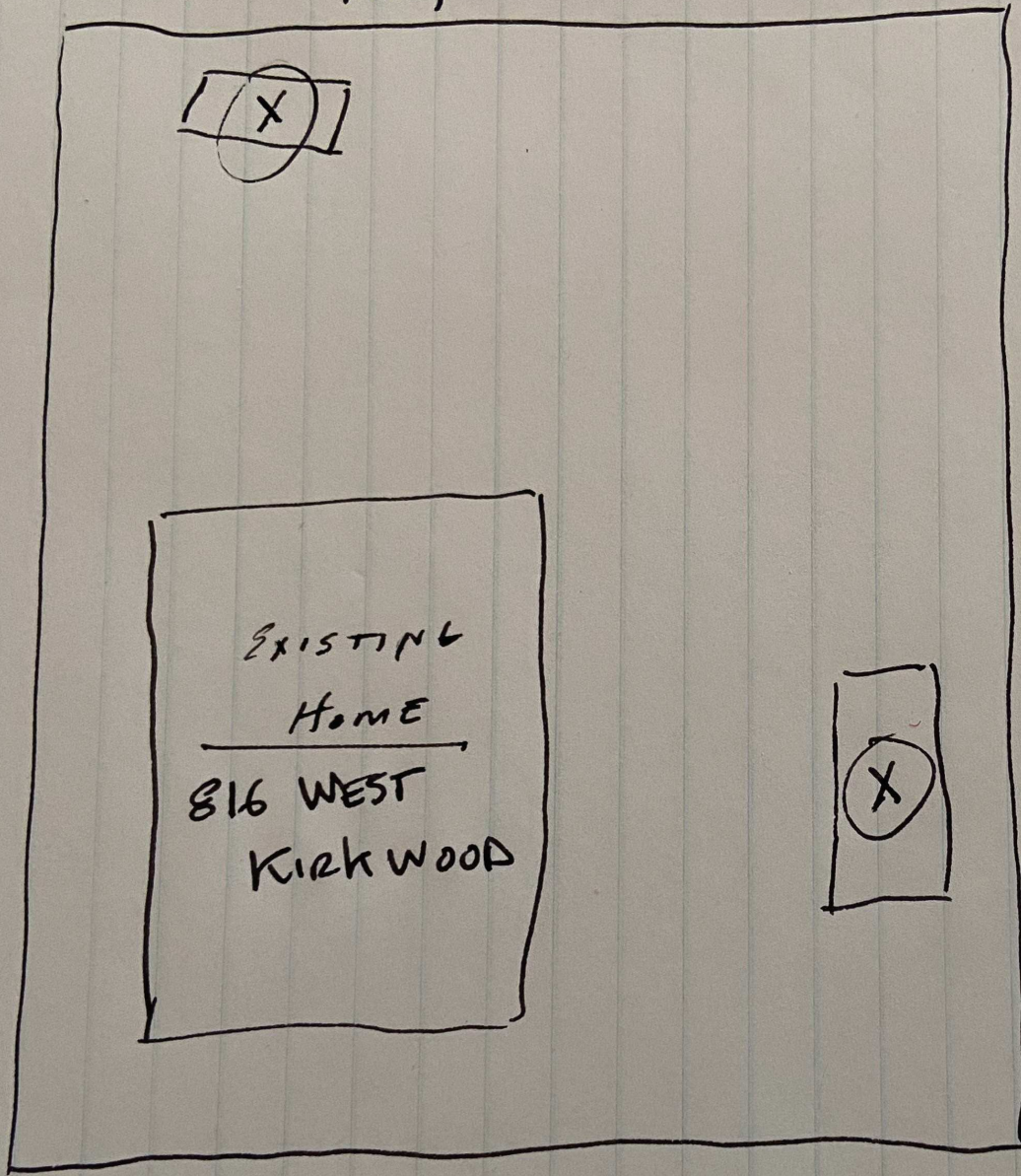


STRUCTURE TWO





← Alley →



↑
North

STRUCTURES TO
REMOVE MARKED
WITH (X)

← Kirkwood Avenue →

COA: 21-82
STAFF RECOMMENDATIONS

Address: 1205 S Madison St.

Petitioner: Juan Carlos Carrasquel

Parcel #: 53-08-05-406-044.000-009

Rating: CONTRIBUTING

Survey: C. 1916, Carpenter-builder/Pyramidal Cottage



Background: McDoel Gardens Historic District

Request: Full demolition of existing structure.

Guidelines: McDoel Gardens Historic District Guidelines (Pg. 8)

- Guiding principles
- In general, all houses within the neighborhood should be kept and maintained. If the structure is contributing*, that is, it is fifty years old or older and not significantly altered from the original form, and is in good or repairable condition (that is if restoration would cost less than replacement), then a certificate of appropriateness for demolition of the structure will not generally be given. Exceptions may be made if demolition of this structure contributes to the public good of the neighborhood.

Staff recommends conditional approval of COA 21-82:

The Housing and Neighborhood Development Department issued an order to repair the structure within 30 days on March 29, 2021.

A letter was sent on May 19, 2021 that the structure was not in compliance with the order to seal dated March 29, 2021.

Explore the possibility of selling and moving the structure so that it can potentially be restored with a lower economic impact on the owner.

McDoel Gardens Response

You can tell Juan Carlos Carrasquel to not waste his and our time. The answer is no. We know the house, and the previous owner. That house is part of our fabric and history. He has been practicing demolition by neglect. Any problems are of his own making.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: _____ COA 21-82 _____

Date Filed: _____ 10/26/2021 _____

Scheduled for Hearing: _____ 11/18/2021 _____

Address of Historic Property: 1205 S Madison St, Bloomington, IN

Petitioner's Name: Juan Carlos Carrasquel

Petitioner's Address: 222 South Walnut Street

Phone Number/e-mail: 812.369.0785/juan@juansells.com

Ana Carrasquel (Juan Carlos Carrasquel has Power of Attorney)

Owner's Name: _____
222 S Walnut St Bloomington IN 47404

Owner's Address: _____

Phone Number/e-mail: 812.369.0785 / juan@juansells.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A **“Complete Application”** consists of the following:

1. A legal description of the lot. 015-24790-00 Dodds Lot 41 & Vac Alley

2. A description of the nature of the proposed modifications or new construction:
Full demolition of existing structure.

3. A description of the materials used.

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

POTTER ENGINEERING
Structural Engineering
P.O. Box 5563
Bloomington, IN 47407
Phone (812) 331-7981
EMAIL- kevinbpotter@gmail.com

September 2, 2021

Juan Carlos Carrasquel
222 South Walnut Street
Bloomington, IN 47401

Re: 1205 South Madison Street

Per your request, we recently performed a structural and drainage inspection for your house located at 1205 South Madison Street, Bloomington, IN. The results of this inspection are summarized as follows:

1. A 12 foot by 18 foot wood framed addition with a shed type low sloped roof is attached to the rear (east) wall of the original home. The foundation wall under the East, South, and North sides of the addition is in poor condition with large openings in the foundation walls. (see photos 2, 3, and 6) The roof has leaked badly resulting in collapse of two large sections of the ceiling. (see photos 12 and 14) The roof leaking has also damaged the floor sheathing and floor framing. (see photo 6 showing deteriorated band joist along south wall)
2. The roof over the original house has wood shingles covered with asphalt shingles. The surface is very wavy. The roof soffits and fascia boards are in poor condition. (see photos 5, 7, and 8) Substantial roof leaking has occurred in the Northeast room with a large section of ceiling failure. (see photo 15) No roof gutter exists along the South side (see photo 5)
3. Substantial foundation settlement has occurred along the South wall as measured with a laser level. The South wall of the kitchen was found to be 2 ½" lower than the North wall of the home. This has resulted in sloped floors and large separations in the foundation walls at the Southwest corner and near the middle of the south wall. (see photos 11 and 12) The settlement has also resulted in some of the interior walls being out of plumb. Foundation settlement has occurred at the Northeast corner resulting in step cracks in the block foundation walls. (see photos 9 and 10) In our opinion, the foundation problems have been made worse by poor surface grading, lack of gutters, and gutter overflow. The front yard slopes down from the sidewalk directly to the front wall of the home. Photo 1 shows a hole eroded under the East foundation wall. Photo 4 shows a large depression at the Northwest porch corner due to gutter overflow. Photo 12 shows a line in the crushed stone due to lack of roof gutter on the south side of the roof.

4. The brick chimney has several bricks missing above the roof line. (see photo 7)
5. The floor structure and access steps for the entrance stoop on the South side are missing. Only the perimeter foundation walls remain. Someone has placed a wood pallet on top of the stoop, but there are still no steps. (see photo 16)
6. The exterior siding is aluminum siding and was probably installed in the 50's or 60's. The siding is in fair condition.
7. The windows have aluminum storm windows over older wood framed windows. The windows are in poor condition.
8. A remodel had been started on the bathroom with new drywall installed on the walls. The drywall joints had not yet been spackled. All of the other wall, ceiling, and floor finishes in the home were very dated. The ceilings appeared to be original plaster covered with acoustical tile and then covered with drywall. (see photo 15) The kitchen cabinets were very old and dated.
9. The floor framing consists of 2 x 8 floor joists bearing on the North and South foundation walls and also bearing on a center beam running East/ West under the interior East/ West wall above. The center beam is supported on a series of limestone support piers.
10. A small cellar exists under the Northeast room. Stairs are on the East side.

In our opinion, the following work would be required to correct structural deficiencies and to make the home marketable and habitable.

- a. Remove and replace the South foundation wall due to significant foundation settlement that has occurred along this wall.
- b. Underpin the foundation wall footings at the Northeast corner with steel pier underpinning to prevent further settlement. Repair the mortar cracks as required.
- c. Install a French drain with a 4" or 6" perforated pipe covered with crushed stone along the entire front foundation wall to intercept water from the front yard. Extend the pipe to daylight.

- d. Remove and replace the entire wood framing for the rear addition including the roof structure, walls, and floor structure.
- e. The gaps in the foundation walls on the East and North sides of the east addition need to be filled in with new concrete block and poured concrete footings as required.
- f. The wood deck on the North side of the rear addition is beyond repair and needs to be removed.
- g. All layers of roofing need to be removed from the roof. Install new roof sheathing and roof shingles. Fascia board and soffit repair are also required.
- h. All new interior wall, ceiling, and floor finishes are required. All ceiling materials need to be removed down to the framing before installing new drywall.
- i. The chimney needs to be removed.
- j. New kitchen cabinets should be installed.
- k. The bathroom remodel needs to be finished.
- l. The aluminum siding should be repaired and the window trim boards should be covered with aluminum.
- m. A new floor structure and steps are required for the rear entrance stoop.
- n. New roof gutters and downspouts are required.
- o. A new porch entrance door is required and a new basement entrance door is required.
- p. Additional support piers are required under the center beam in the crawl space with the new piers to be placed half way between the existing limestone support piers.

An inspection of the existing HVAC system, electrical system, and plumbing should also be performed. Upgrades and repairs for these systems will probably be required based on the age of these components.

We recommend comparing costs for the above listed repairs versus the cost of demolition and full rebuild. It may be more feasible to rebuild based on the scope of required repairs and the fact that additional repairs may be required based on hidden conditions discovered during the remodel that cannot be determined until finished materials are removed.

Please contact us if there are questions.

A handwritten signature in black ink, appearing to read "Kevin B. Potter". The signature is fluid and cursive, with the first name "Kevin" and last name "Potter" clearly distinguishable.

Kevin B. Potter
Structural Engineer/ Inspector

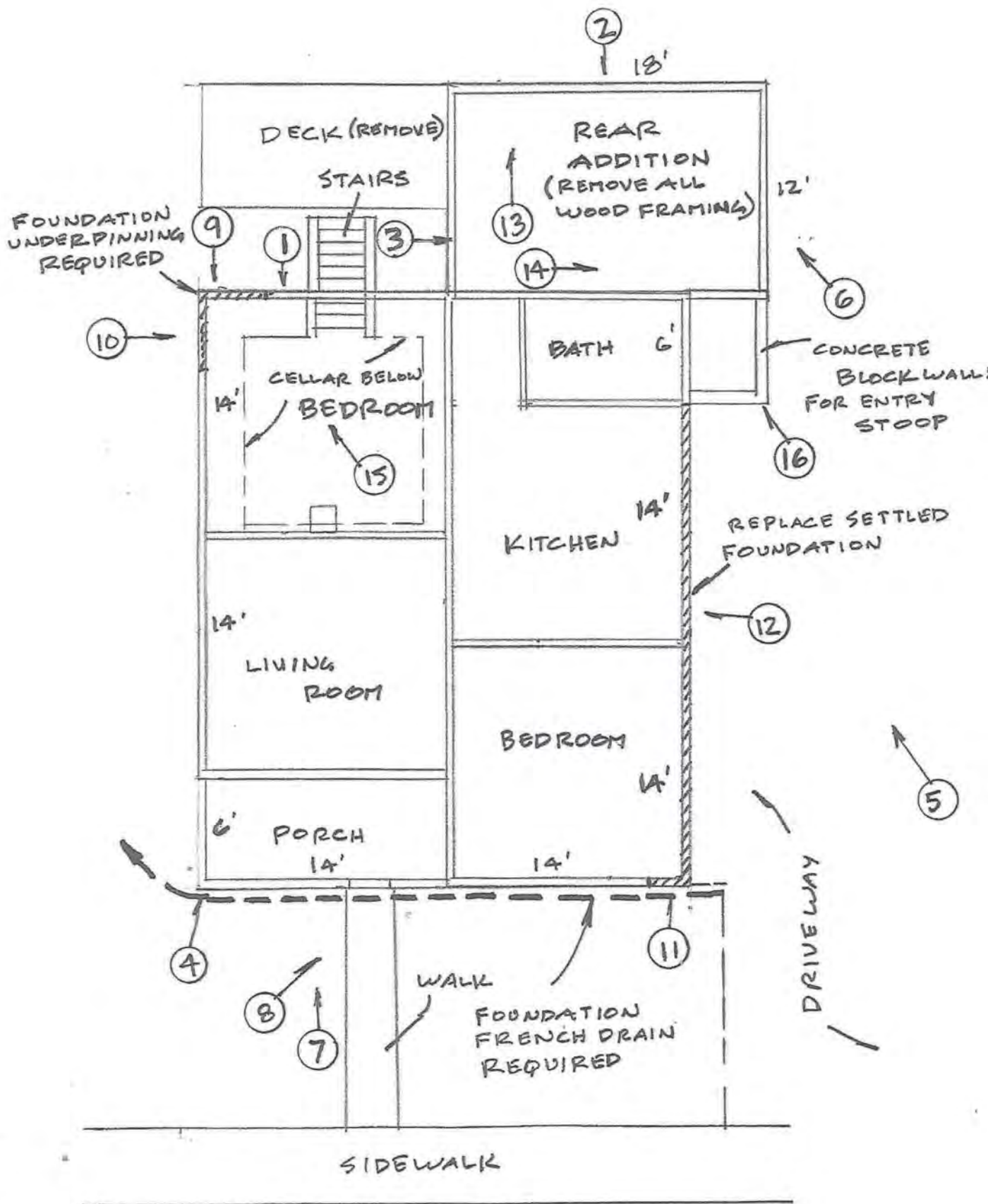


PHOTO NUMBER & DIRECTION

1205 S. MADISON STREET
BLOOMINGTON, INDIANA





① EAST FOUNDATION WALL



② EAST SIDE - REAR ADDITION



46

NORTH SIDE - REAR ADDITION ③



NORTHWEST CORNER ④



5 SOUTH WALL



SOUTH WALL - EAST ADDITION 6



WEST SIDE 7



WEST SIDE 8



NORTH END - EAST WALL (9)



NORTH WALL - EAST END (10)



SOUTH WEST CORNER (11)



SOUTH WALL (12)



EAST ROOM CEILING (13)



EAST ROOM CEILING (14)



49

NORTHEAST ROOM CEILING (15)



SOUTH PORCH FOUNDATION (16)

COA: 21-83
STAFF RECOMMENDATIONS

Address: 916 S Morton St.

Petitioner: Barre Klapper,
Springpoint Architects

Parcel #: 53-08-05-401-079.000-009

Survey: c. 1934, Arts and Crafts,
California Bungalow

Rating: CONTRIBUTING



Background: McDoel Historic District

Request: Resubmittal of the garage, deck, privacy fence design.

Guidelines: McDoel Historic District Guidelines (pg. 10)

- New structures accessory to contributing houses should be visually compatible with existing neighborhood patterns.
- Placement on lot: Existing historic accessory structures are generally found within the backyard of the lot. to be compatible with this pattern, permanent new accessory structures should be placed within the backyard when feasible. Existing historic accessory structures placed in backyards are often visible from the public way; this is acceptable with new accessory structures as well.

Staff recommends approval of COA 21-83:

- This is a new proposal for the garage which would be located behind the house. Unlike the previous proposal, the garage will be unattached and the existing mudroom won't change. The proposal does not impact the massing of the house. It is visible from the alley but not from Morton St.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-83

Date Filed: 10/29/2021

Scheduled for Hearing: 11/18/2021

Address of Historic Property: 916 S Morton Street, Bloomington, IN 47403

Petitioner's Name: Barre Klapper, Springpoint Architects

Petitioner's Address: 213 S Rogers St, Ste. 5, Bloomington, IN 47404

Phone Number/e-mail: 812-322-4491/barre@springpointarchitects.com

Owner's Name: Wayne & Dee Dee Poole

Owner's Address: 916 S Morton Street, Bloomington, IN 47403

Phone Number/e-mail: 317-997-5586/poolewd2020@gmail.com

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. 015-08290-00 M M Campbells Lot 17

2. A description of the nature of the proposed modifications or new construction:

This project is being resubmitted since it was discovered that with 2021 UDO changes an accessory structure up to 1,000 SF is now allowed in a MM district. As a detached garage it can have a 5' rear setback. No variance is required. The project is now revised to include the garage, deck and privacy fence.

- Remove exterior concrete slab and ramp, wood deck and steps
- New 1-1/2 story garage, 24' x 28' footprint to match the width of the house
- Add deck and fencing between mudroom and garage

3. A description of the materials used.

Reference attached drawings for list of materials.

Product information included:

- Thermatru Smooth Star fiberglass exterior door, door style to match mudroom door
- Clopay Grand Harbor garage doors

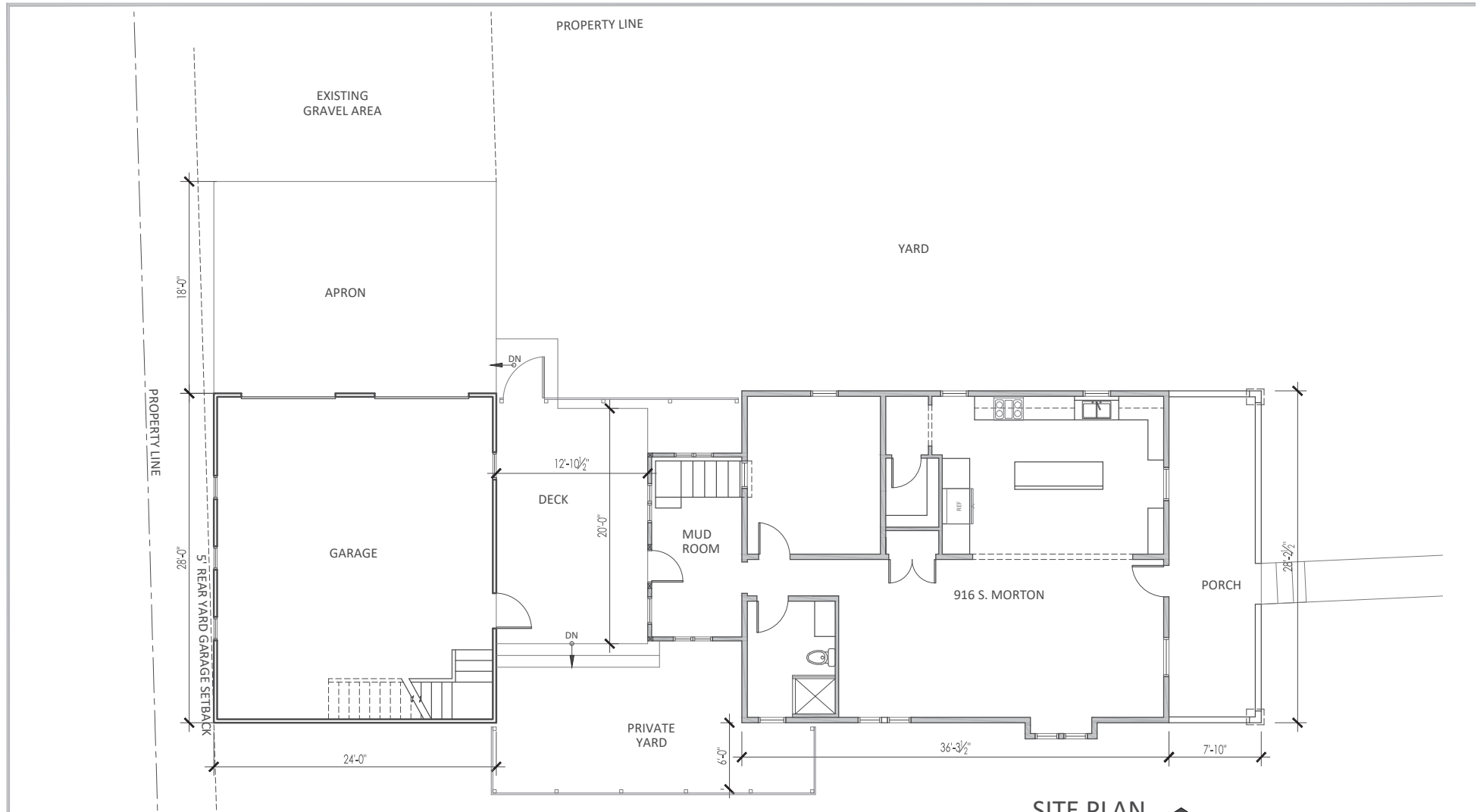
4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer's brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

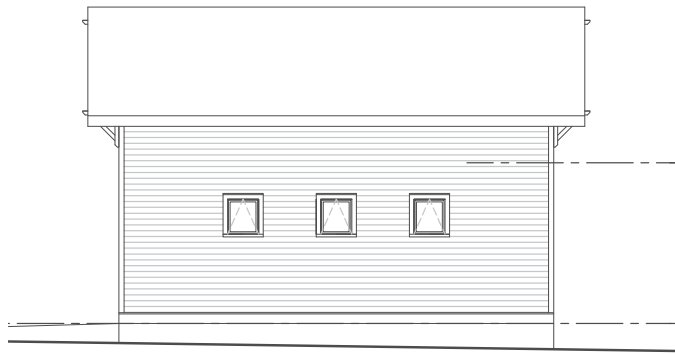
If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.

The owner is considering applying for a rear yard setback variance to allow the garage to sit 5' rather than 7' off the alley. This does not impact this HPC application.



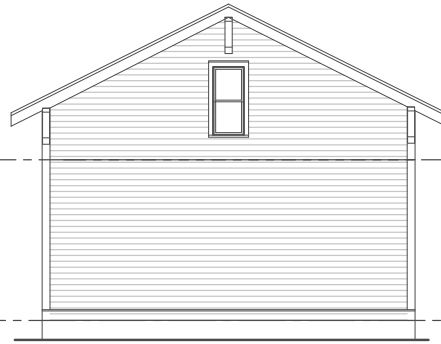
SITE PLAN
 SCALE: 1/8"=1'-0"





WEST ELEVATION

SCALE: 1/8"=1'-0"



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

EXTERIOR MATERIALS:

ORIGINAL HOUSE AND MUDROOM:
-ALUMINUM SIDING TO REMAIN

NEW GARAGE:

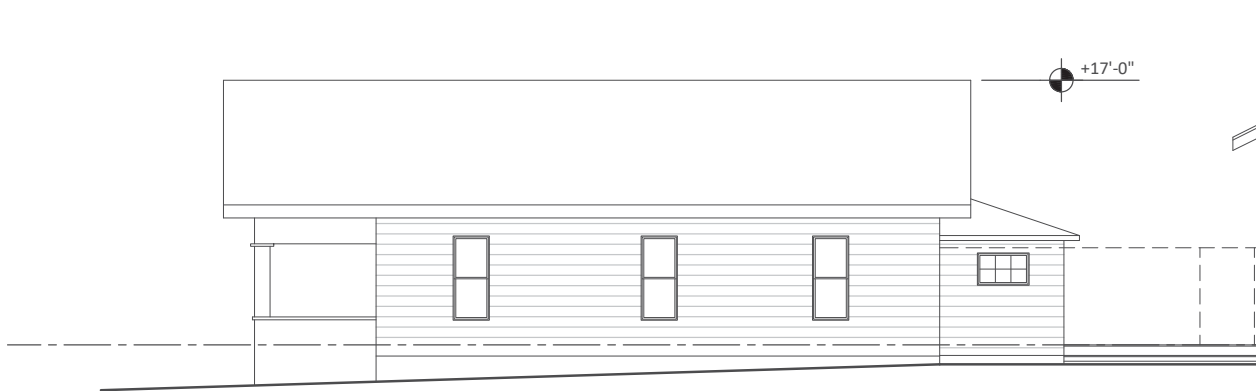
- FIBER CEMENT BOARD SIDING, 4.5 EXPOSURE (TO MATCH ORIGINAL WOOD SIDING, SMOOTH SIDE OUT)
- 6" CORNER TRIM
- WINDOW TRIM: 1x 4 JAMB, 1 x 6 HEAD TRIM W/1x CAP, 2x SILL
- 1 x 8 SKIRTBOARD WITH CAP
- 1 x 10 FASCIA BOARD & FLY RAFTER
- WOOD CLAD WINDOWS
- EAVE BRACKETS (GARAGE)
- CARRIAGE STYLE GARAGE DOORS
- FIBERGLASS ENTRY DOOR WITH LITE
- MALARKEY MODIFIED POLYMER ASPHALT ROOF

FENCE:

- 4 x 4 CEDAR POSTS WITH 2x4 TOP AND BOTTOM RAILS
- 1 x 6 VERTICAL CEDAR PICKETS WITH 1x TOP CAP

+10'-4"

+/-0'-0"



+17'-0"

+10'-4"

+/-20'-4"

+10'-4"

+/-0'-0"



NORTH ELEVATION

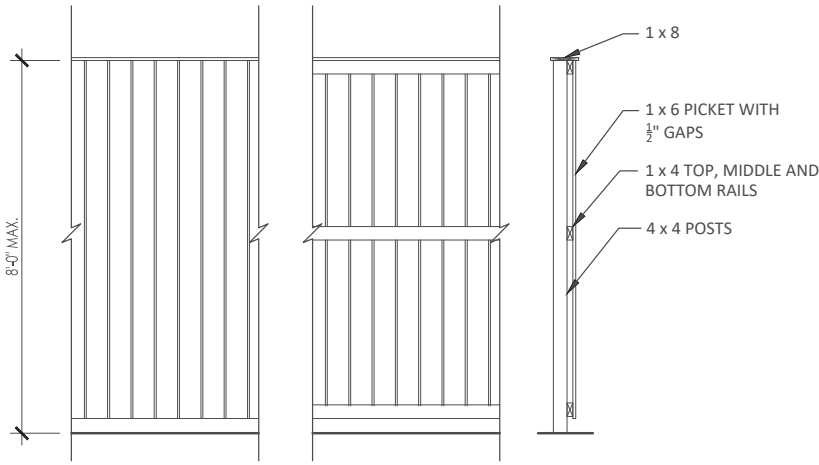
SCALE: 1/8"=1'-0"

EXTERIOR MATERIALS:

ORIGINAL HOUSE AND MUDROOM:
 -ALUMINUM SIDING TO REMAIN

NEW GARAGE:
 - FIBER CEMENT BOARD SIDING, 4.5 EXPOSURE (TO MATCH ORIGINAL WOOD SIDING, SMOOTH SIDE OUT)
 - 6" CORNER TRIM
 - WINDOW TRIM: 1x 4 JAMB, 1 x 6 HEAD TRIM W/1x CAP, 2x SILL
 - 1 x 8 SKIRTBOARD WITH CAP
 - 1 x 10 FASCIA BOARD & FLY RAFTER
 - WOOD CLAD WINDOWS
 - EAVE BRACKETS (GARAGE)
 - CARRIAGE STYLE GARAGE DOORS
 - FIBERGLASS ENTRY DOOR WITH LITE
 - MALARKEY MODIFIED POLYMER ASPHALT ROOF

FENCE:
 - 4 x 4 CEDAR POSTS WITH 2x4 TOP AND BOTTOM RAILS
 - 1 x 6 VERTICAL CEDAR PICKETS WITH 1x TOP CAP



FENCE
DETAIL
 SCALE: 3/8"=1'-0"



GARAGE
EAST ELEVATION
 SCALE: 1/8"=1'-0"



NORTH/EAST ELEVATION



SOUTH ELEVATION



REMOVE GABLE END VENT,
MUDROOM HIP ROOF, ALUMINUM
SIDING

REMOVE CONC. SLAB & RAMP,
WOOD DECK AND STEPS

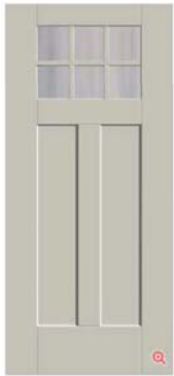
WEST/SOUTH ELEVATION



REMOVE GABLE END VENT,
MUDROOM HIP ROOF, ALUMINUM
SIDING

REMOVE CONC. SLAB & RAMP,
WOOD DECK AND STEPS

WEST ELEVATION



Smooth-Star®

POOLE RESIDENCE
PROPOSED DOOR TO GARAGE

Craftsman Lite 2 Panel Shaker Flush-Glazed | Style No. S4816XJ-SOLF1

★★★★☆ 3.8 (14) REVIEWS

3 Available Sizes

VIEW ON HOME

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carriage house LOOKS
for LESS



Grand Harbor® Garage Doors

Enhance the classic details of your home without breaking your budget.

When budget is the deciding factor, this low-maintenance, insulation-optional steel frame carriage house style garage door combines clean lines and classic charm to provide a popular style at a great value.

Accented with decorative black wrought iron hardware, these doors have the appearance of a swing-out door, but offer the convenience of modern overhead operation.

Solid Top Sections

Solid top sections in rectangular, square and arch designs provide more design options to complement new home styles.

Faux Top Sections

Faux top sections create the illusion of a window by using a solid dark gray steel background with arch, square and rectangular grille overlays. Provides added security while creating the appearance of a new window.

Glazed Top Sections

Glazed top sections in clear or obscure glass and wrap-in grilles create square and rectangular designs. Wrought iron windows feature a black iron-look design on a seeded look acrylic that provides an Old World European style to complement light fixtures, entry doors and other decorative features.

Glazed top sections (w/iron) NOT available in 10'0" and 10'6" with doors.
Note: All glazed top sections available up to 30x30x1/8".
Short glazed top sections (30x20) clear steel and wrought iron short (30x20) available up to 30x30x1/8".
Additional charges for obscure glass apply.
Contact your local dealer for door width restrictions.
Acrylic windows require special ordering. Never use products that contain ammonia or petroleum products to clean acrylic.
Please visit [www.thermatru.com](#) for complete details.

Door Designs

Top/Window Sections

COA: 21-84
STAFF RECOMMENDATIONS

Address: 914 E University St.

Petitioner: Aviva Tavel Mintz

Parcel #: 53-08-04-100-017.000-009

Rating: CONTRIBUTING

Survey: C. 1935, Colonial Revival



Background: Elm Heights Historic District

Request: Various changes to front and back yard. See packet for details.

Guidelines: Elm Heights Historic District Guidelines

- For new fences, use historically appropriate materials for Elm Heights, which, depending on the type and style of architecture, may include iron, stone, brick, or wood (14).
- Design walkways, driveways, and parking areas in keeping with the neighborhood setting (15).

Staff recommends approval of COA 21-84:

- The proposal creates minimum impact on the neighborhood landscape. The proposed fence would be for the backyard and the materials are compatible with those specified in the historic district guideline.

11/4/2021 10:34 a.m. – 914 E University St. (Elm Heights)

Elm Heights Design Subcommittee. Jenny Southern called – No problem with the pavers or the fencing as long as the pavers aren't poured concrete.

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-84

Date Filed: 11/3/2021

Scheduled for Hearing: 11/18/202

Address of Historic Property: 914 E. University St.

Petitioner's Name: AVIVA TAVEL

Petitioner's Address: 5961 N. New Jersey St., Indpls., IN 46220

Phone Number/e-mail: avivatavel@gmail.com

Owner's Name: Same as Petitioner

Owner's Address: " " "

Phone Number/e-mail: 317-331-3777

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A "Complete Application" consists of the following:

1. A legal description of the lot. Survey attached

2. A description of the nature of the proposed modifications or new construction:
Please reference drawing overlay on survey.

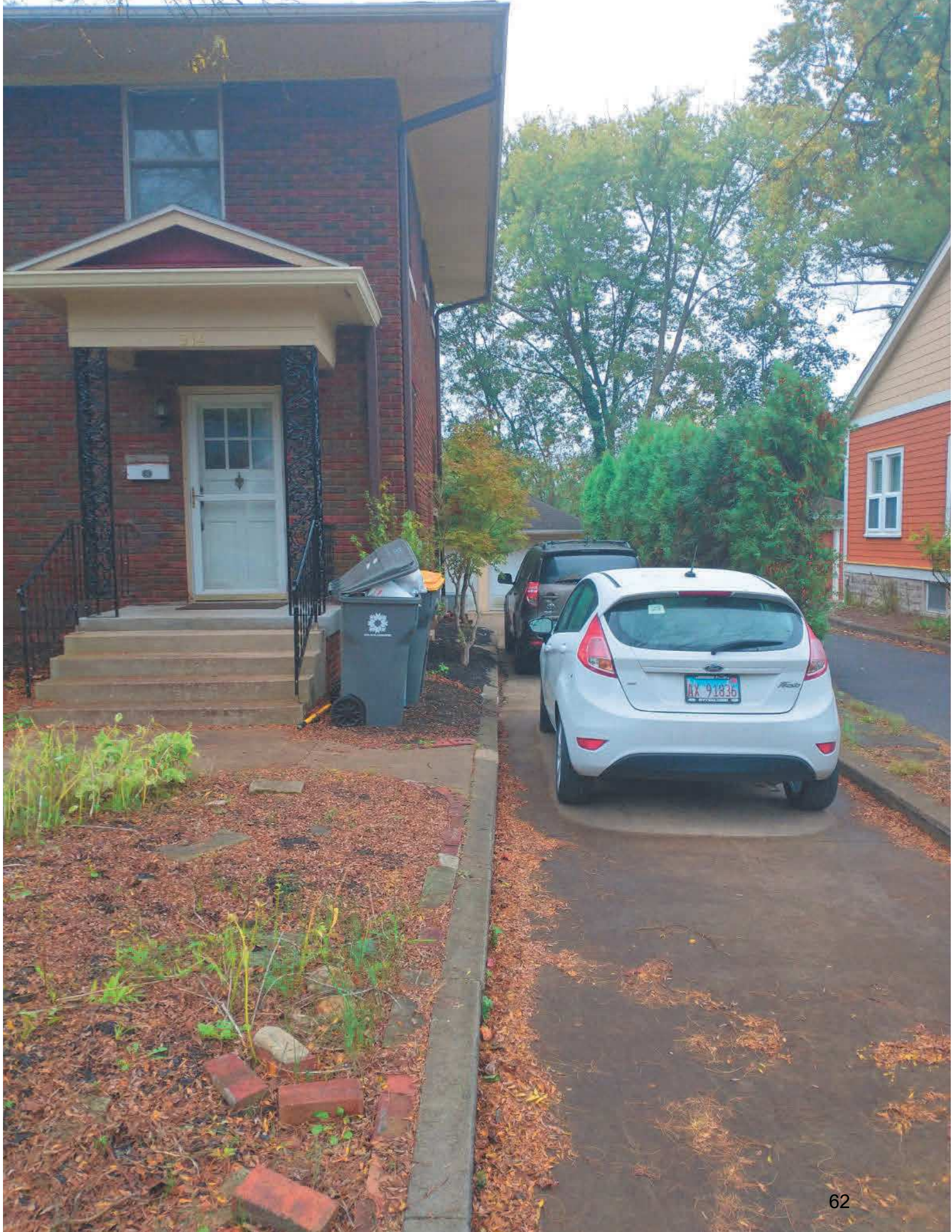
3. A description of the materials used.
Please see 'attached' documents from manufacturer.

4. **Attach a drawing or provide a picture of the proposed modifications.** You may use manufacturer's brochures if appropriate.

5. **Include a scaled drawing,** survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. **Affix at least three photographs showing the existing full facade at each street frontage and the area of modification.** If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

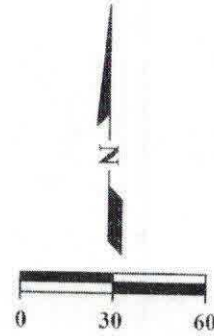
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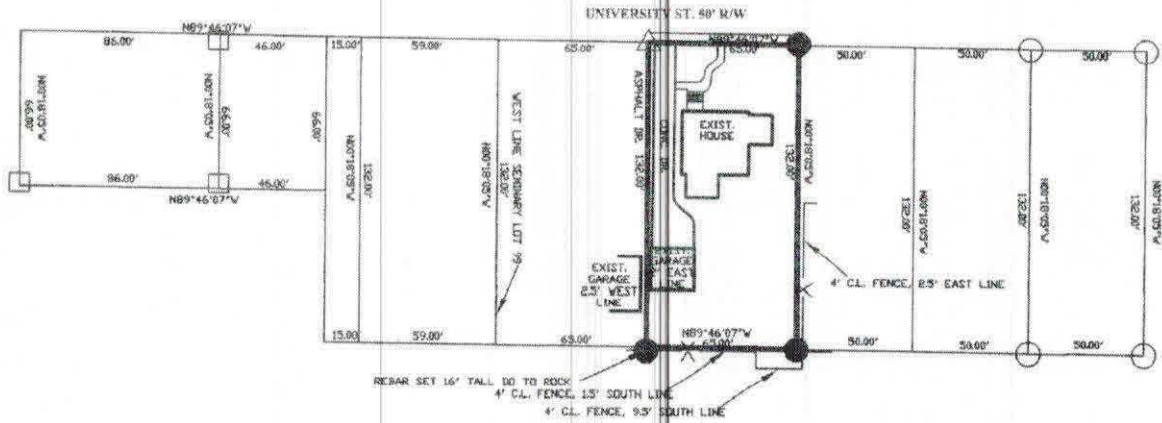


Philip O. Tapp & Company, Inc.

BOUNDARY SURVEY PART OF SEMINARY LOT 99 BLOOMINGTON, IN JOB #6870



SCALE: 1"=60'

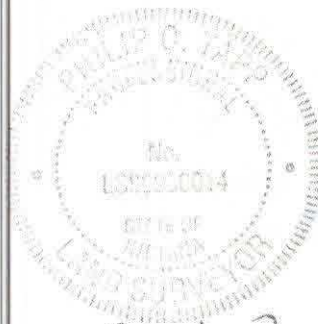


LEGEND

- REBAR/YELLOW CAP SET FLUSH ●
- GRAHAM REBAR/CAP FOUND, FLUSH ○
- DECKARD REBAR/CAP FOUND FLUSH □
- MAGNAIL IN CONCRETE SET FLUSH △

NOTE:

1. FIELD WORK COMPLETED
07-09-2020.
2. BASIS OF BEARING IS STATE PLANE
COORDINATES VIA GPS SURVEY.
3. REBAR/YELLOW CAP SET ARE STAMPED:
TAPP, LS 80900014.



Philip O. Tapp
7/9/2020

I affirm under penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.

PHILIP O. TAPP

SHEET 1 OF 3

4321 W. Angels Way
Bloomington, IN 47403
Phone: 812-327-8522



Philip O. Tapp & Company, Inc.

**BOUNDARY SURVEY
PART OF SEMINARY LOT 99
BLOOMINGTON, IN
JOB #6870**



UNIVERSITY ST. 50' R/W SCALE: 1"=60'

** Very narrow - cannot easily move trash cans to the front without moving car(s) from the driveway.*

Present spot of trash cans due to narrow space. Visible from the street.

ASPHALT DR. 132.00'



EXIST. HOUSE

Enclosed porch

EXIST. GARAGE 2' EAST LINE

EXIST. GARAGE 2.5' WEST LINE

EXISTING WALL

Proposed fence + gate

Future placement of trash cans

Proposed: Short Yard Edging mulch + flowers with Pavers in-between

Proposed: Black decorative Fence Not to exceed 4'

Proposed: Wood Fence Not to exceed 8'

65.00'

N89°46'07"W

65.00'

132.00'

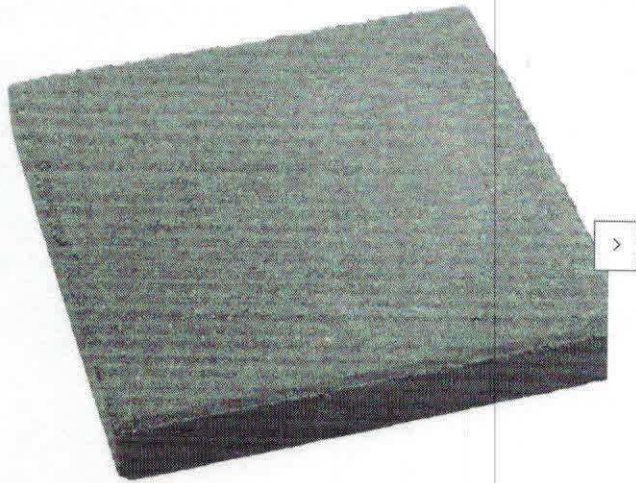
N00°18'05"W

65.00'

N89°46'07"W

65.00'

SHEET 2 OF 3
4321 W. Angels Way
Bloomington, IN 47403
Phone: 812-327-8522



\$1.78

0

View Q&A

Square 12-in L x 12-in W x 2-in H Patio Stone
Item #179560 Model #C8833-RED

THIS ITEM IS OUT OF STOCK
We'll notify you once this item is back in stock.

Notify Me

Ideal to overlay or create a new patio or walkway
Classic brick color tones
Classic square shape with smooth surface

Manufacturer Color/Finish: Red



Add 10% Extra (Recommended)

Sq. Ft. Included (1 Unit = Max 1.00 Sq. Ft.)

1.00 Sq. Ft.

Total Price

\$1.78

Free Store Pickup
Unavailable

Delivery
Unavailable

OVERVIEW

The square patio stone is an easy landscape addition to a patio or pathway. It is also great for step stones in a garden or for a walkway. For a distinct look, this patio stone can also be used to create a variety of patterns to design a unique space.

Ideal to overlay or create a new patio or walkway

Classic brick color tones

Classic square shape with smooth surface

Perfect for patios, walkways and outdoor rooms



Square 12-in L x 12-in W x 2-in H Patio Stone

\$1.78

Prop65
Warning
Label

[Back To Top](#)

Overview

Specifications

Reviews

Questions & Answers

Product Features

Redy-Edge 36" Wood Landscape Edging

Model Number: 2689039 | Menards® SKU: 2689039



EVERYDAY LOW PRICE

\$6.99

11% MAIL-IN REBATE Good Through 10/23/21

\$0.77

FINAL PRICE

\$6.22 each

You Save \$0.77 with Mail-In Rebate

43 People have purchased this product in the past 30 days

* Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®



Pick Up At Store

Seasonal Item

10 In-Stock at **INDIANAPOLIS EAST**
Check Another Store for Availability



Shipping & Delivery

Available

Description & Documents

Redy-Edge Brand Southern Yellow Pine lawn edging is beautifully designed to make neat edges around plant beds, patios, walkways, and more. It includes pre-installed 3/16" x 6" steel pins. This edging features a flexible design to allow installation in curved landscape applications and features beveled top edges.

Features

- Easy to install
- Eco-friendly
- Flexible design for curved edging applications



Shipping Dimensions: 35.75 H x 10.37 W x 1.37 D

Shipping Weight: 5.8125 lbs

Brand Name: **Classic Baluster**

Specifications

Product Type	Lawn Edging	Overall Length	36 inch
Overall Height	5-1/2 inch	Thickness	1-3/8 inch
Package Quantity	1	Includes	1 - 3' flexible lawn edge with stakes
Material	Wood	Return Policy	Regular Return (View Return Policy)

Please Note: Prices, promotions, styles and availability may vary by store and online. Inventory is sold and received continuously throughout the day; therefore, the quantity shown may not be available when you get to the store. This inventory may include a store display unit. Online orders and products purchased in-store qualify for rebate redemption. Mail-in Rebate is in the form of merchandise credit check, valid in-store only. Merchandise credit check is not valid towards purchases made on MENARDS.COM®. By submitting this rebate form, you agree to resolve any disputes related to rebate redemption by binding arbitration and you waive any right to file or participate in a class action. Terms and conditions available at www.rebateinternational.com

FREE IN-STORE PICKUP Over one million online items eligible. >



You're shopping

Castleton

OPEN until 8 pm

Delivering to

46256

vigoro rockdale gate



Cart | 0 items



Home / Outdoors / Garden Center / Garden Fencing

Internet #302617742 Model #860442 Store SKU #1002635136

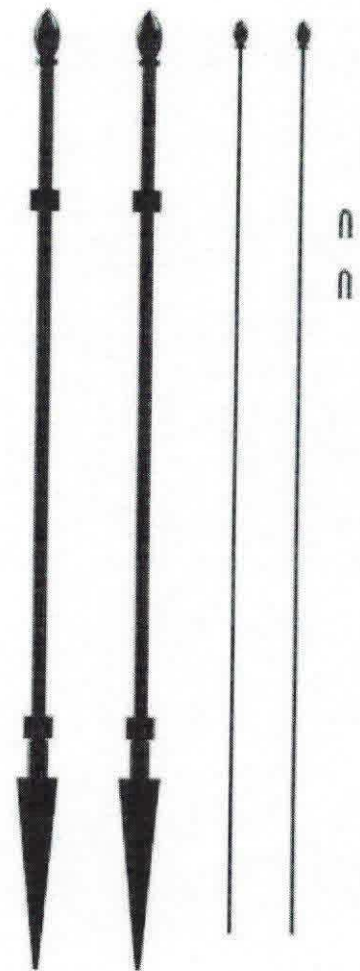
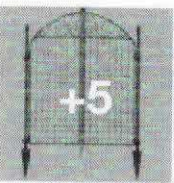
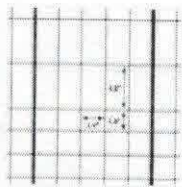
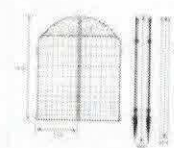
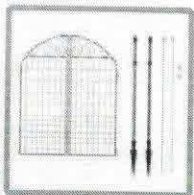
Rockdale 41.9 in. Black Steel Fence Gate

★★★★★ (632) Questions & Answers (154)



Live Chat

Feedback



Hover Image to Zoom

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vigoro rockdale gate



Cart | 0 items



Home / Outdoors / Garden Center / Garden Fencing

Internet #311263886 Model #860404MC

Vigoro

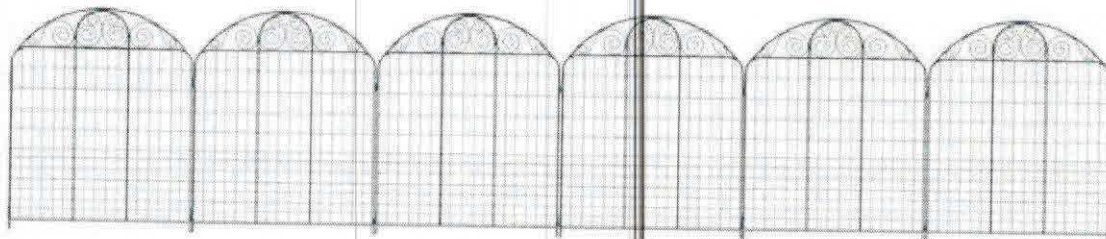
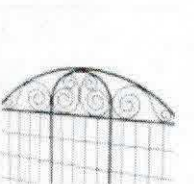
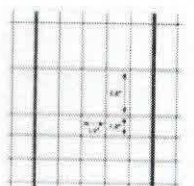
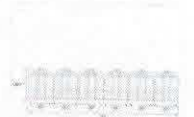
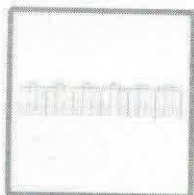
Rockdale 43.8 in. Black Steel Fence Panel (6-Pack)

★★★★★ (94) Questions & Answers (31)



Live Chat

Feedback



Hover Image to Zoom

COA: 21-85
STAFF RECOMMENDATIONS

Address: 1014 E Wylie St.

Petitioner: Sam DeSollar

Parcel #: 53-08-04-114-014.000-009

Rating: CONTRIBUTING

Survey: C. 1930, American Foursquare



Background: Elm Heights Historic District

Request: Alter and expand garage, modify fence, steps, and retaining wall

Guidelines: Elm Heights Historic District Guidelines (pg. 14-15)

- New retaining walls should be appropriate in height to the grade of the yard. Rear yard concrete block retaining walls may be considered depending on position, visibility, and design.
- Installation, removal, or expansion of all driveways and parking areas, as well as walkways visible from the public right-of-way.
- Design walkways, driveways, and parking areas in keeping with the neighborhood setting.
- Locate parking at the rear of the property and screen appropriately.
- Protect and maintain mature trees, plantings, and green space as much as possible when planning parking areas.
- Refer to the guidelines for Accessibility, Safety, and Aging in Place , Section 5.6, when planning disability access.
- Pervious pavers or pavements cannot to be used in exchange for open space requirements.
- **When available, use the traditional alley network for access to garages or parking areas. To help preserve green space, city code prohibits parking areas larger than 20 by 20 ft. unless the property is zoned multifamily.**

Staff recommends approval of COA 21-85:

The proposal is in keeping with the historic district guidelines

**APPLICATION FORM
CERTIFICATE OF APPROPRIATENESS**

Case Number: COA 21-85

Date Filed: 11 3 2021

Scheduled for Hearing: 11 18 2021

Address of Historic Property: 1014 E. Wylie Street

Petitioner's Name: Sam DeSollar

Petitioner's Address: 731 E. University Street, Bloomington, IN 47401

Phone Number/e-mail: 510.207.1588 samdesollar@gmail.com

Owner's Name: Matthew Baggetta + Jennifer Brass

Owner's Address: 1014 E. Wylie Street

Phone Number/e-mail: 415.608.9657 brassj@indiana.edu

Instructions to Petitioners

The petitioner must attend a preliminary meeting with staff of the Department of Housing and Neighborhood Development during which the petitioner will be advised as to the appropriateness of the request and the process of obtaining a Certificate of Appropriateness. The petitioner must file a "complete application" with Housing and Neighborhood Department Staff no later than seven days before a scheduled regular meeting. The Historic Preservation Commission meets the second Thursday of each month at 5:00 P.M. in the McCloskey Room. The petitioner or his designee must attend the scheduled meeting in order to answer any questions or supply supporting material. You will be notified of the Commission's decision and a Certificate of Appropriateness will be issued to you. Copies of the Certificate must accompany any building permit application subsequently filed for the work described. If you feel uncertain of the merits of your petition, you also have the right to attend a preliminary hearing, which will allow you to discuss the proposal with the Commission before the hearing during which action is taken. Action on a filing must occur within thirty days of the filing date, unless a preliminary hearing is requested.

Please respond to the following questions and attach additional pages for photographs, drawings, surveys as requested.

A “**Complete Application**” consists of the following:

1. A legal description of the lot. 015-23210-00 Finley Lot 13 and 015-23220-00 SEM PT LOT 105

2. A description of the nature of the proposed modifications or new construction:

Modify existing limestone garage - convert double door to single door - remove center pier and install new steel support lintel.

Add 8' x 16' storage area to east side of garage. Resurface existing asphalt driveway (see site plan)

and add post mounted handrail at front entry. (see attached photos and drawings) Modify existing fence/gate as shown on site plan. Remove +/- 4'6" of 18" hight retaining wall at garage, and add landing and steps up to yard with limestone clad retaining wall.

3. A description of the materials used.

Match roof slope and roof materials. Storage area to be clad in painted smooth fiber cement lap siding to match siding at rear of house. Garage door to be uninsulated steel with attached panels on front and glazed upper section.

(Clopay "Grand Harbor"). Access door to be fiberglass quarter glazed as shown. Railing material to match existing adjacent railing (black iron).

4. Attach a drawing or provide a picture of the proposed modifications. You may use manufacturer’s brochures if appropriate.

5. Include a scaled drawing, survey or geographic information system map showing the footprint of the existing structure and adjacent thoroughfares, Geographic Information System maps may be provided by staff if requested. Show this document to Planning Department Staff in order to ascertain whether variances or zoning actions are required.

6. Affix at least three photographs showing the existing full facade at each street frontage and the area of modification. If this petition is a proposal for construction of an entirely new structure or accessory building, include photographs of adjacent properties taken from the street exposure.

If this application is part of a further submittal to the Board of Zoning Appeals for a Conditional Use or development standard variance, please describe the use proposed and modification to the property which will result.



1014 E. Wylie Street

Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN
Existing Conditions



1014 E. Wylie - Driveway



1018 E. Wylie Street (to east)



1004 E. Wylie Street (to west)

Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

Existing Conditions



1014 E. Wylie Street - Existing Lower Guardrail



1014 E. Wylie Street - Front Steps

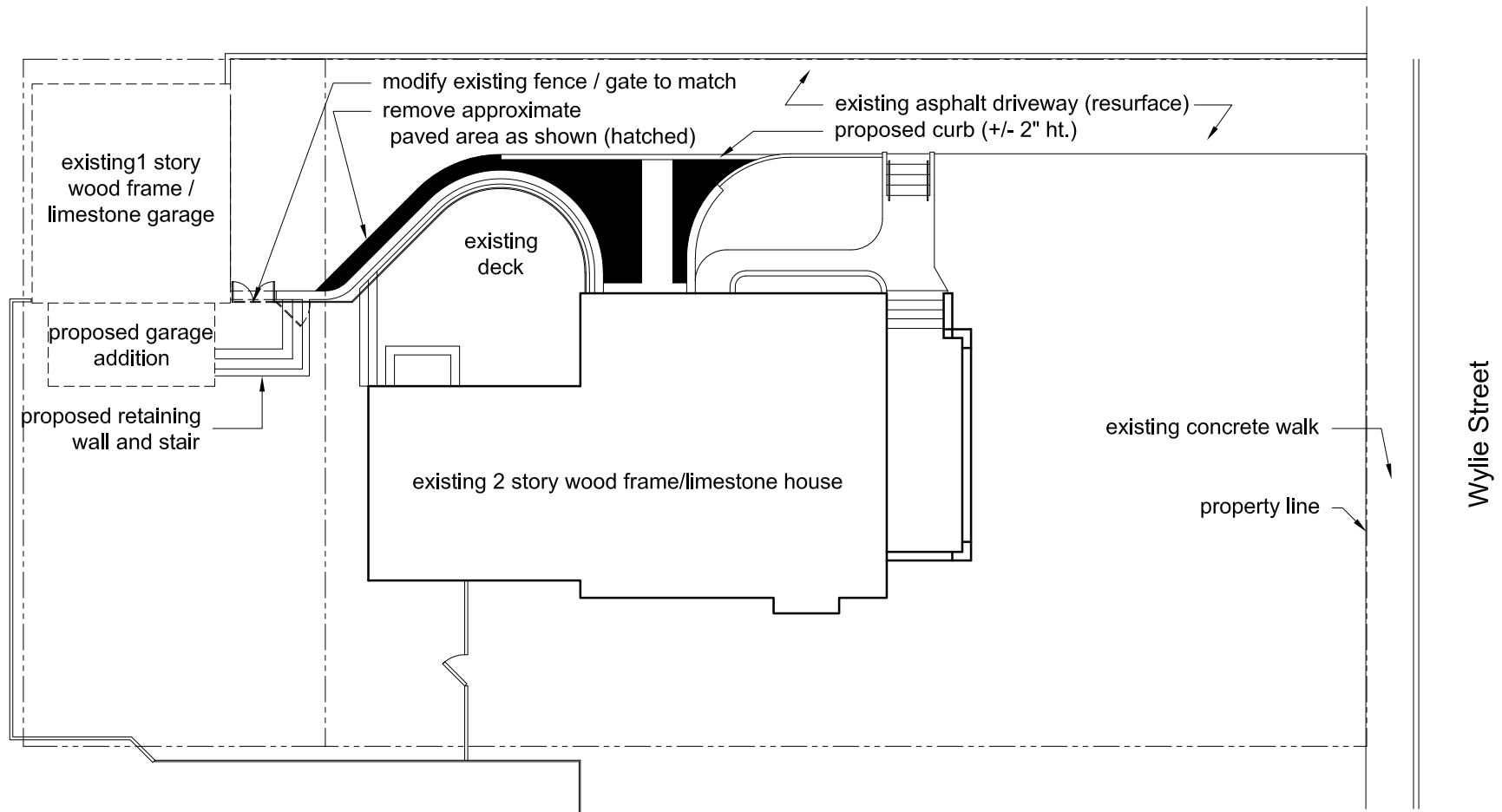


1014 E. Wylie Street - Garage Detail

Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

Existing Conditions



Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

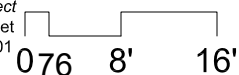
Proposed Site Plan

1/16" = 1'-0"

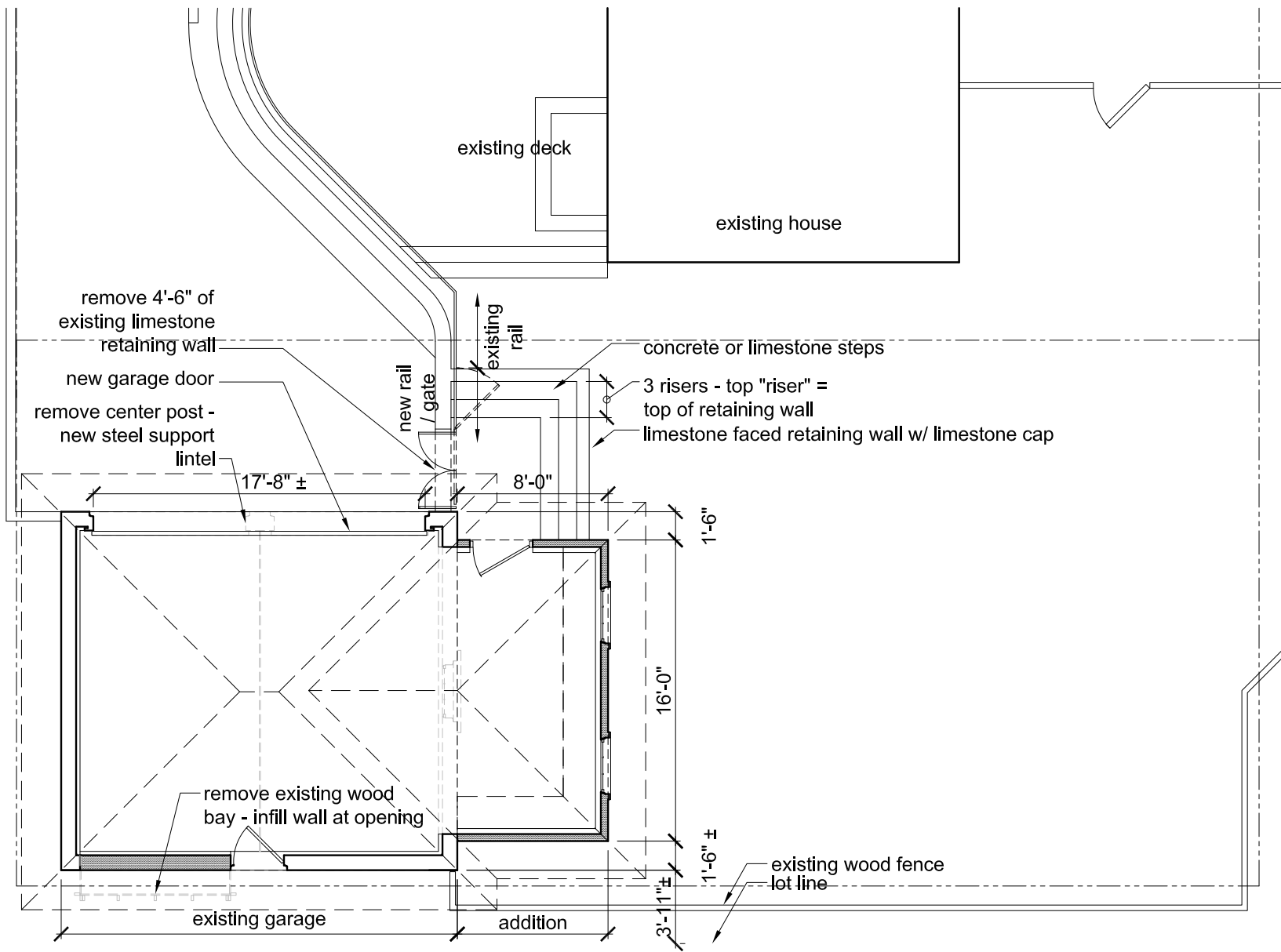


north

Sam DeSollar Architect
 731 E University Street
 Bloomington, IN 47401
 t 510.207.1588



03 November 2021



Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

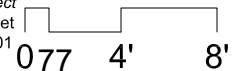
Proposed Plan

1/8" = 1'-0"

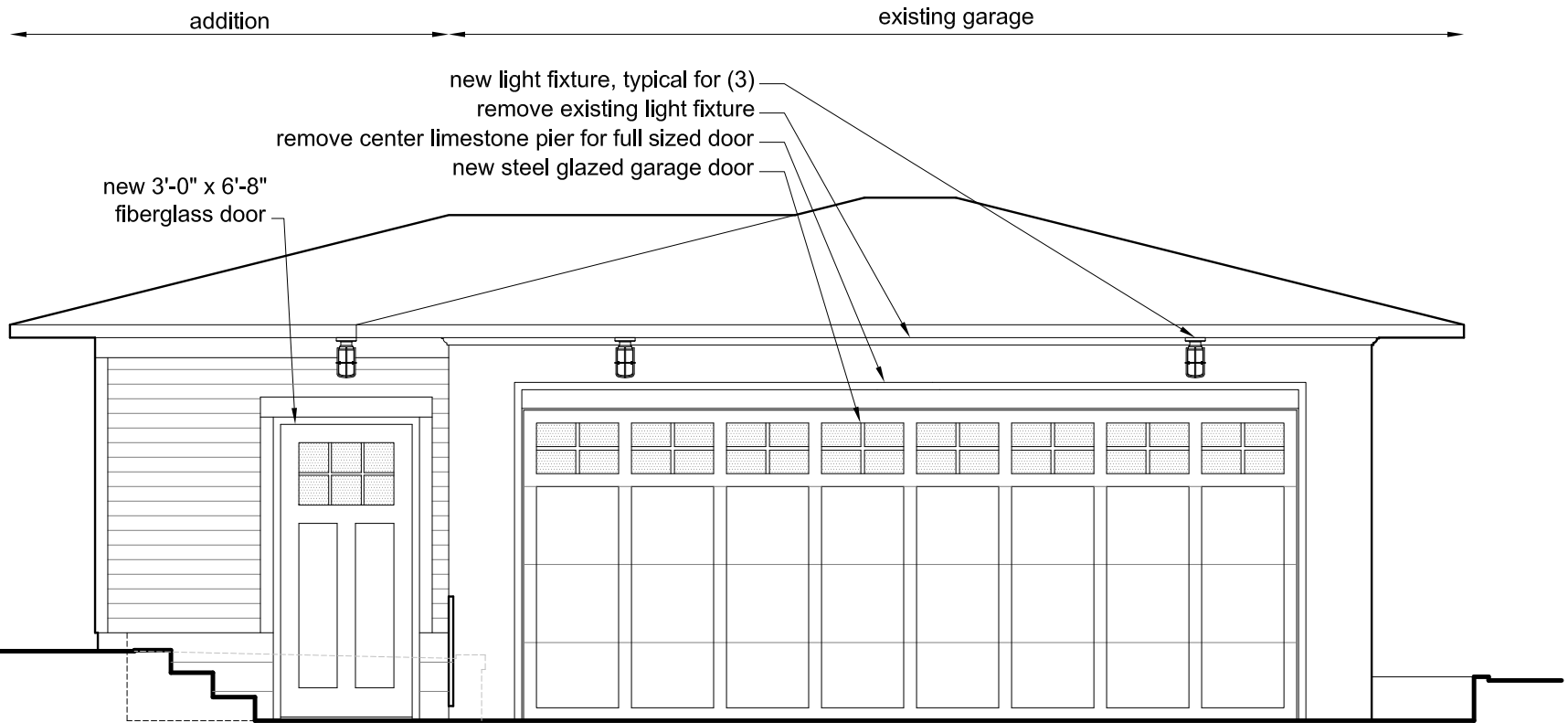


north

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 Bloomington, IN 47401
 t 510.207.1588



03 November 2021



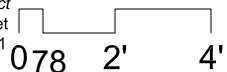
Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

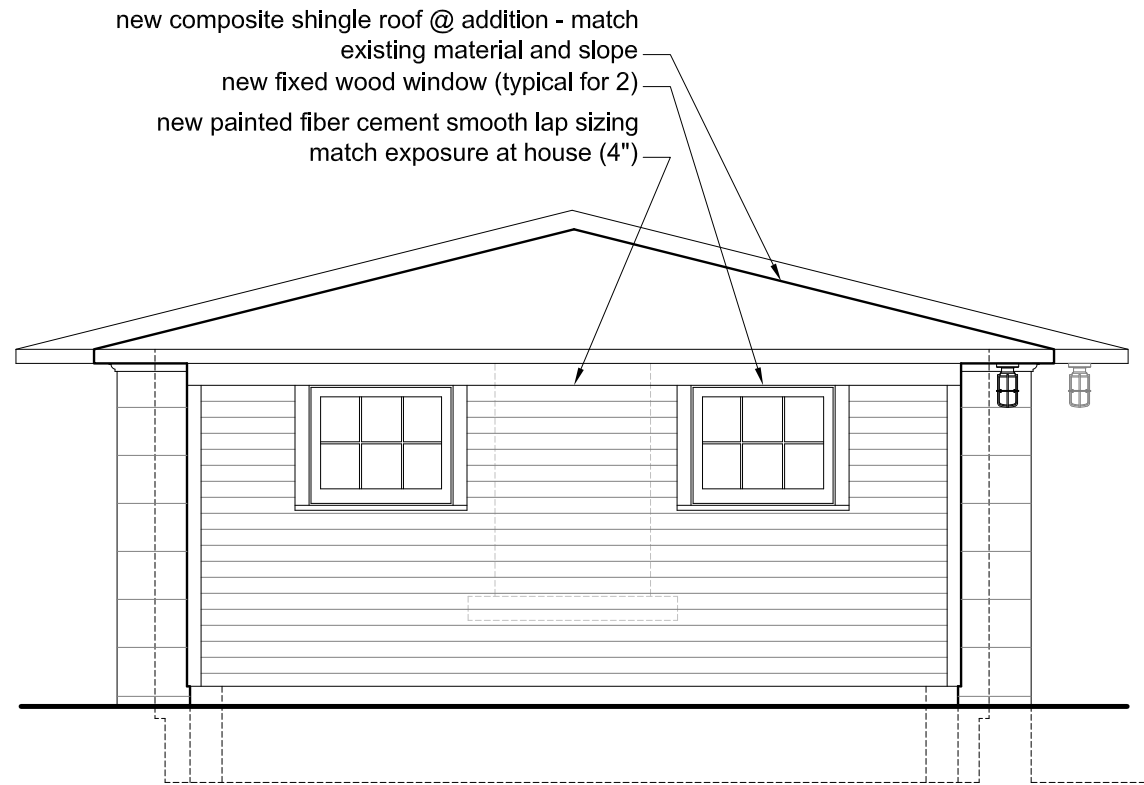
Proposed North Elevation

1/4" = 1'-0"

Sam DeSollar *Architect*
 731 E University Street
 Bloomington, IN 47401
 t 510.207.1588



078
 03 November 2021



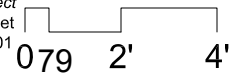
Brass Baggetta Residence Renovations

1014 E. Wylie Street, Bloomington, IN

Proposed East Elevation

1/4" = 1'-0"

Sam DeSollar *Architect*
 731 E University Street
 Bloomington, IN 47401
 t 510.207.1588

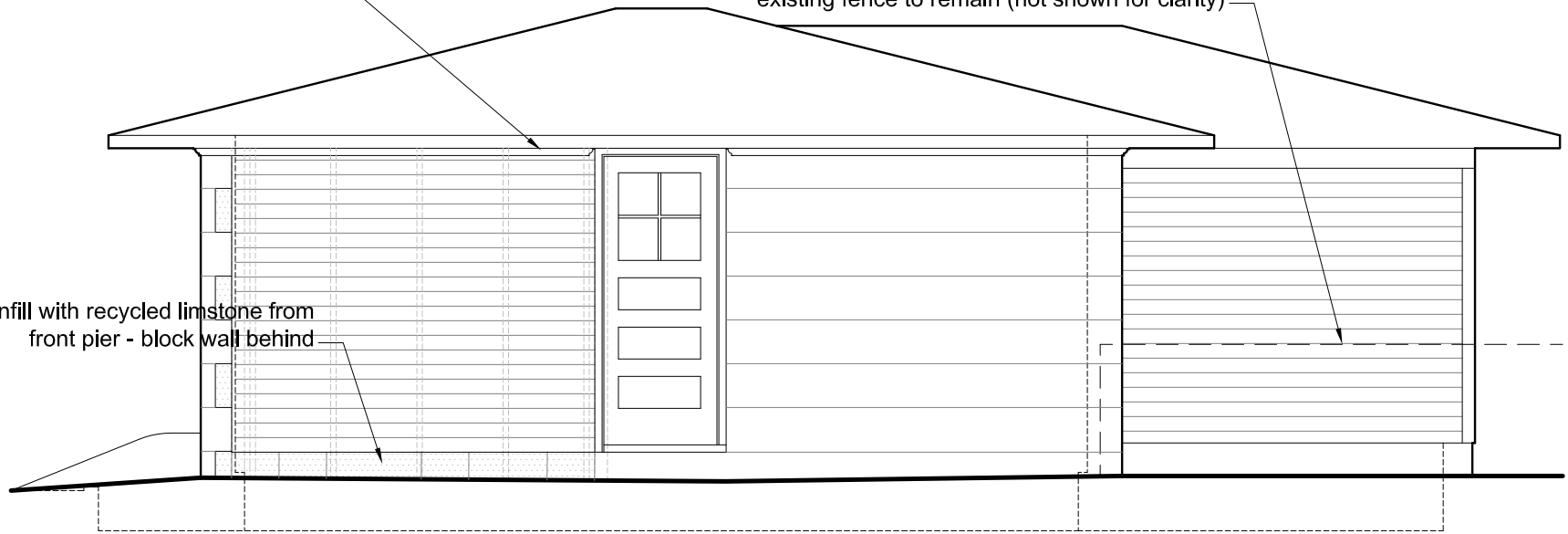


079
 03 November 2021

remove existing wood infill - fill in masonry opening with lap siding to match house (4" exposure)

existing fence to remain (not shown for clarity)

repair / infill with recycled limestone from front pier - block wall behind



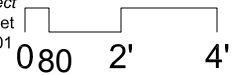
Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

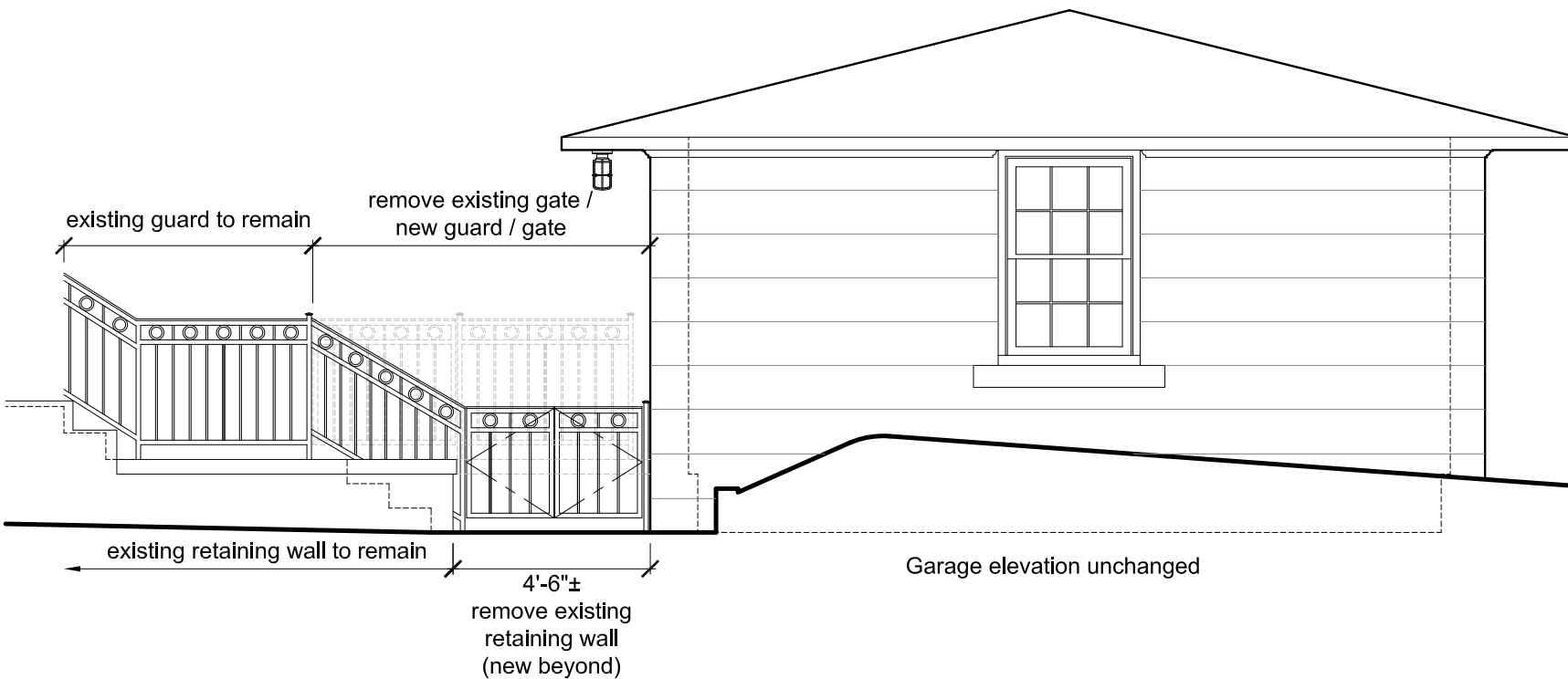
Proposed South Elevation

1/4" = 1'-0"

Sam DeSollar *Architect*
731 E University Street
Bloomington, IN 47401
t 510.207.1588



03 November 2021



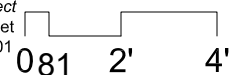
Brass Baggetta Garage Renovations

1014 E. Wylie Street, Bloomington, IN

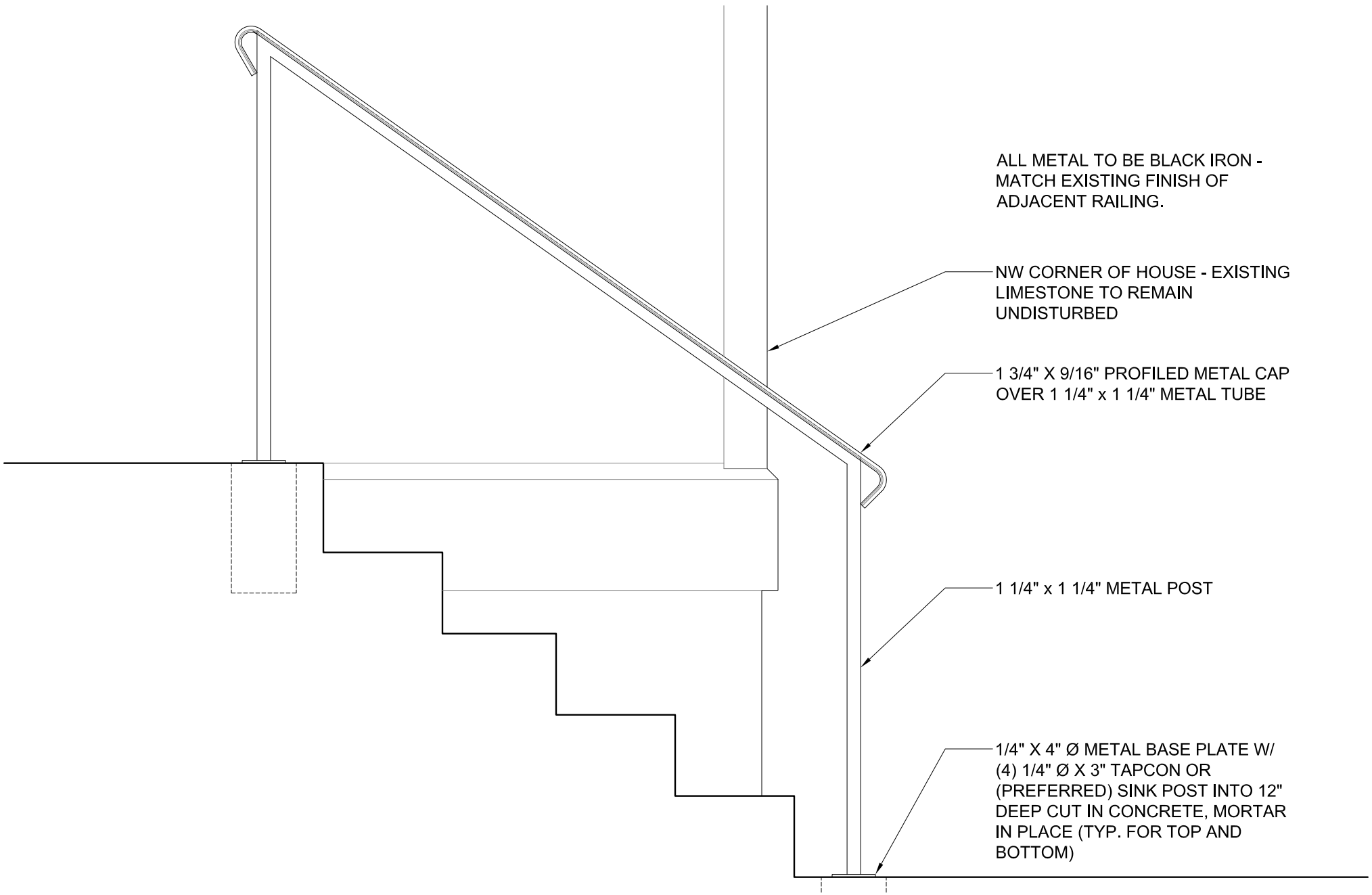
Proposed West Elevation

1/4" = 1'-0"

Sam DeSollar *Architect*
731 E University Street
Bloomington, IN 47401
t 510.207.1588



03 November 2021



ALL METAL TO BE BLACK IRON -
MATCH EXISTING FINISH OF
ADJACENT RAILING.

NW CORNER OF HOUSE - EXISTING
LIMESTONE TO REMAIN
UNDISTURBED

1 3/4" X 9/16" PROFILED METAL CAP
OVER 1 1/4" X 1 1/4" METAL TUBE

1 1/4" x 1 1/4" METAL POST

1/4" X 4" Ø METAL BASE PLATE W/
(4) 1/4" Ø X 3" TAPCON OR
(PREFERRED) SINK POST INTO 12"
DEEP CUT IN CONCRETE, MORTAR
IN PLACE (TYP. FOR TOP AND
BOTTOM)

Brass Baggetta Garage Renovations

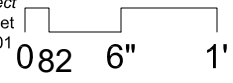
1014 E. Wylie Street, Bloomington, IN

Proposed Handrail Elevation

1" = 1'-0"

Sheet No.

Sam DeSollar *Architect*
731 E University Street
Bloomington, IN 47401
t 510.207.1588



03 November 2021

Demolition Delay 21-16
STAFF RECOMMENDATIONS

Address: 914 S Meadowbrook Dr.

Petitioner: Glenn Harris

Parcel #: 53-08-02-403-038.000-009

Rating: CONTRIBUTING

Survey: 1960 Ranch



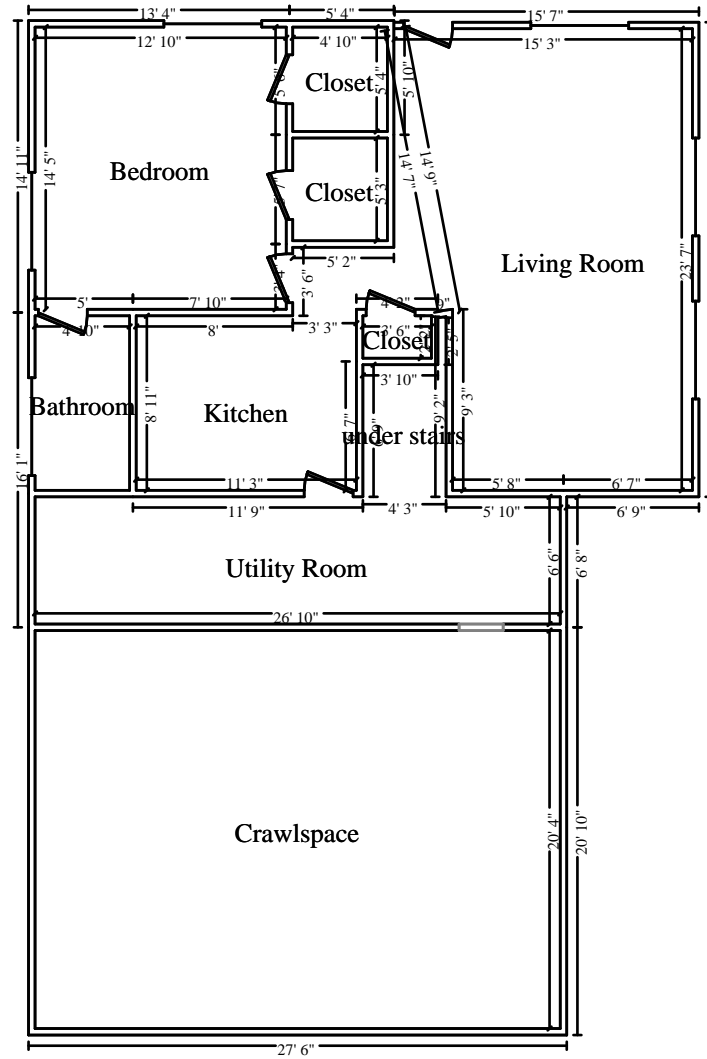
Background: Building is slightly altered with three original fixed windows, original door. It suffered damage from fire.

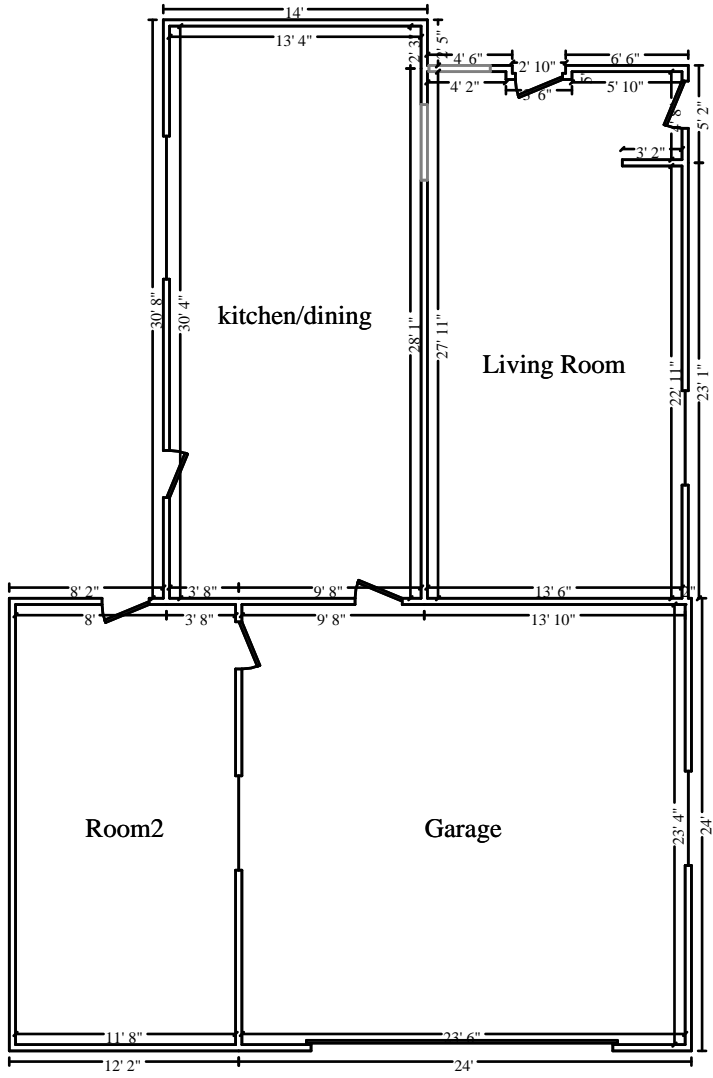
Request: Partial demolition after fire damage, turn the garage into living space and add a garage.

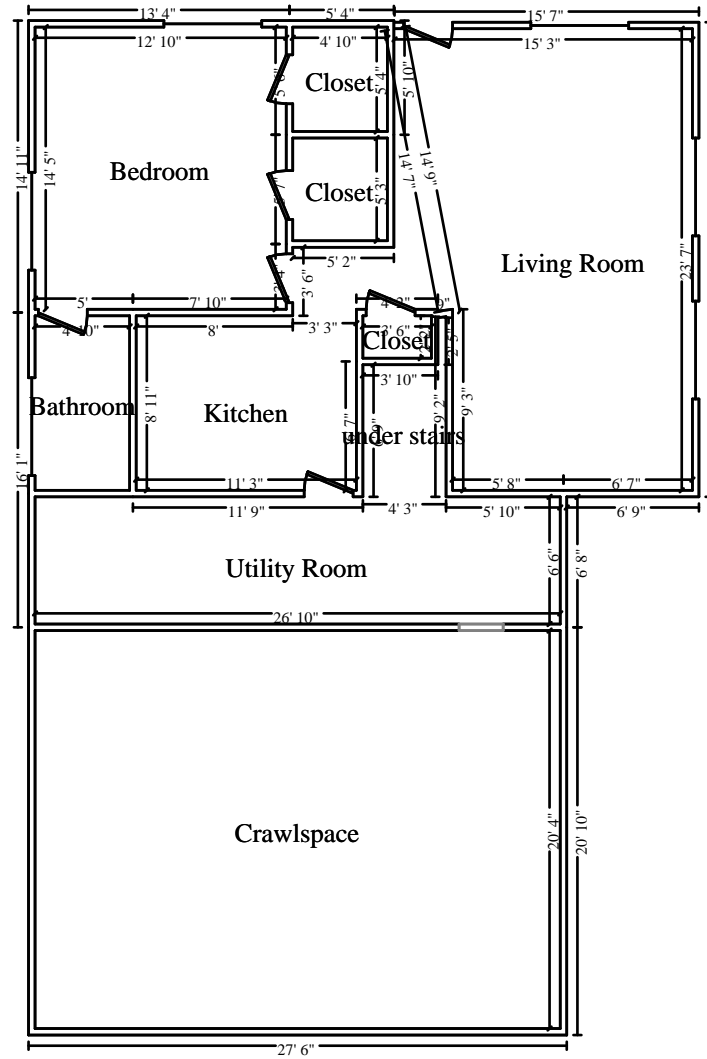
Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

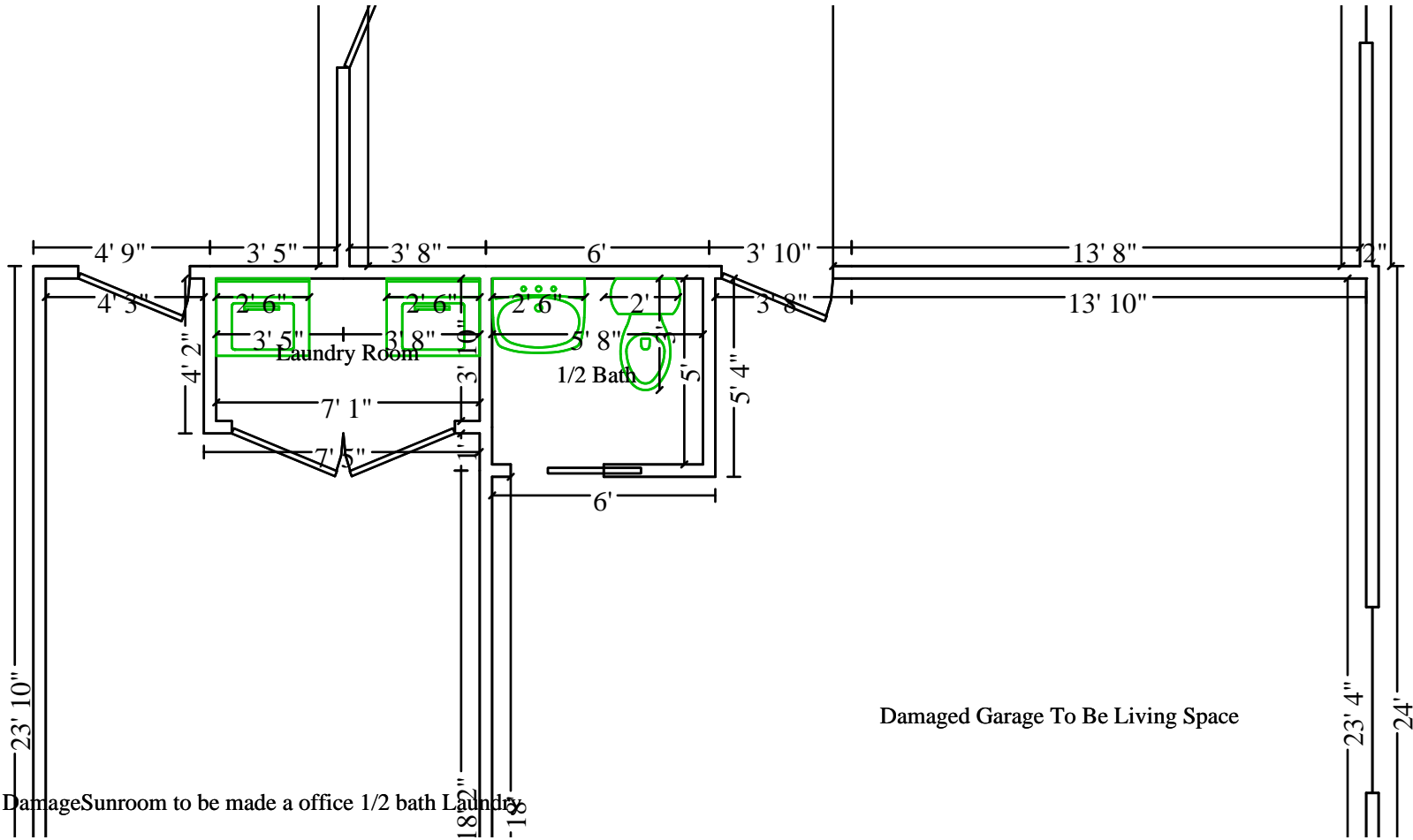
Staff recommends the release of 21-16.

The owners are proposing improvements to the house after a fire that did extensive damage to the building.









Loss Type:Fire

Date Of Loss:7/21/2021 12:00:00 AM

Loss Category:Residential

Customer Name:Wasserman, Julie

E-mail Address:juliebess17@gmail.com

Job Address:914 S Meadowbrook Dr
Bloomington, IN, 47404

Main Contact Number:1-512-549-1209

Billing Address:Same

Matterport Link:

Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Job Number:21-218-STC Album:Inspection



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Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Inspection



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Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Shingle holes



File Name:image:20310.JPG

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Tarping and containment



File Name:image:452.JPG

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Tarping and containment



File Name:image:460.JPG

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Tarping and containment



File Name:image:463.JPG

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



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Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



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Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



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Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



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Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



File Name:34234C6F-AA34-473D-B1D8-8F9DEE8B3A92_L0_001.jpg

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



File Name:681392A9-377A-4C66-8D08-90CE97B94DB8_L0_001.jpg

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



File Name:A90198BB-3991-4F38-AA45-69F89F965D44_L0_001.jpg

Description:

HiRes Image URL:[Click Me](#)

Job Number:21-218-STC Album:Garage area



File Name:F5397E15-B1D7-4A45-85AD-BEEF83BF759A_L0_001.jpg

Description:8/18/21(4)

HiRes Image URL:[Click Me](#)

Demolition Delay 21-17
STAFF RECOMMENDATIONS

Address: 1505 W. 17th St.
Petitioner: David Szatkowski Revocable Trust
Parcel #: 53-05-32-201-060.006-005
Survey: c. 1930 Colonial Revival

Rating: CONTRIBUTING



Background: Structure is slightly altered “Front porch with arched gable roof, decorative metal columns, concrete floor and steps. Side porch on east side with brick columns, screened in, second story porch on top with metal railing. Rear porch on top of first story addition with metal railing (SHAARD).”

Request: Full Demolition of main structure

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff recommends the release of 21-17.

The structure is in good condition and is representative of the Colonial Revival style. Staff recommends doing more research on how many colonial revival houses from the 1930s exist in Bloomington.

10/29/2021 12:30-12:50

1505 W 17th street - statements in support of keeping it. **Anchor homestead in the neighborhood. It is a green space that is a signature of the former neighborhood.** It is of historical value. Anecdote, the person Dave Szatkowski, his dad Doug Szatkowski was a renowned stone carver, they got together and he told story that he drove in 1920 and he went to that house and it was a speak easy.

W 17th ST

Bloomington

Bloomington





Monroe County, IN

P&T Received
09/22/21
C21-490
C - '18 No Rental

09/22/2021

R-21-923

Residential Demolition Permit

Status: Active

Date Created: Sep 22, 2021

Applicant

David Szatkowski
darrelmcdonald@gmail.com
1505 W. 17th Street
Bloomington, Indiana 47404
8123252678

Location

1505 W 17th ST
Bloomington, IN 47404-3027

Owner:

Szatkowski, David L Revocable Trust
825 W Gourley Pike Bloomington, IN 47404

Project Information

Owner Name

David L Szatkowski Revocable Trust

Number of Structures to be removed

1

Brief description of proposed work and list all Hazardous Materials to be removed

Demo of house

Number of Underground Storage Tanks

0

Is the property owner doing the work?

Yes

What type of structure are you demolishing?

Primary Residential Structure

Certification

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

David L. Szatkowski

09/22/2021

Staff Use

Planning Staff Review

Number of structures being removed?

1

**Demolition Delay 21-18
STAFF RECOMMENDATIONS**

Address: 311 W 2nd St.

Petitioner: Karen Valiquett

Parcel #: 53-08-04-200-182.000-009

Rating: CONTRIBUTING

Survey: c. 1900, Pyramid Roof Cottage



Background: Condition good, slightly altered

Request: Full Demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff recommends the release of 21-18.

C-21-219

Commercial Demolition Permit

Status: Active

Date Created: Oct 21, 2021

Applicant

Karen Valiquett
kvaliquett@shrewsusa.com
7321 Shadeland Sta
Ste 16
Indianapolis, Indiana 46256
3176431452

Location

311 W 2nd ST
Bloomington, IN 47403-2411

Owner:

City of Bloomington, Indiana
401 N Morton Street Bloomington, IN 47404

Project Information

Owner Name

City of Bloomington

Number of Structures to be removed

1

Brief description of proposed work and list all Hazardous Materials to be removed

Demolition of entire structure (single-family residential, used for commercial purposes). Friable regulated ACM found in basement which will require abatement prior to demolition. The following hazardous materials were found which will require special handling, transporting and disposal prior to demolition activities:

- 6 smoke detectors
- 4 exit signs
- 4 emergency lights
- 5 fire extinguishers
- 25 paint cans
- 11 oil bottles
- Round up weed killer
- Precat epoxy
- Hydraulic sealant
- Foundation sealant
- Seafoam motor treatment
- 2 lighter fluid bottles

Number of Underground Storage Tanks

0

Is the property owner doing the work?

No

Primary Contractor

Contractor's Name

Not yet known, structure demolition will be part of a bid package for the City of Bloomington

Certification










The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

Karen Valiquett
10/21/2021

Staff Use

Planning Staff Review

Timeline

Label	Status	Activated	Completed	Assignee	Due Date
 Building Intake Review	Complete	Oct 21, 2021 at 3:24 pm	Oct 21, 2021 at 3:30 pm	Olivia Hays	-
 Building Department Plan Review	Active	Oct 21, 2021 at 3:30 pm	-	Commercial Building Inspectors	-
 Planning Department Plan Review (City)	Active	Oct 21, 2021 at 3:30 pm	-	-	-
 City Fire Department Review	Active	Oct 21, 2021 at 3:30 pm	-	Tim Clapp	-
 Building Review before Permit Issuance	Inactive	-	-	-	-
 Permit Fees	Inactive	-	-	-	-
 Permit Issuance	Inactive	-	-	-	-
 Commercial Building Inspection	Inactive	-	-	-	-
 City Fire Inspection	Inactive	-	-	-	-
 Final Inspection	Inactive	-	-	-	-

Demolition Delay 21-19
STAFF RECOMMENDATIONS

Address: 313 W 2nd St.

Petitioner: Karen Valiquett

Parcel #: 53-08-05-100-118.000-009

Rating: CONTRIBUTING

Survey: c. 1900, Pyramid Roof Cottage



Background: Condition good, slightly altered

Request: Full Demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff recommends the release of 21-19.



Monroe County, IN

P&T Received
10/22/21
C21-556
C - '18 No Rental

10/22/2021

C-21-220

Commercial Demolition Permit

Status: Active

Date Created: Oct 21, 2021

Applicant

Karen Valiquett
kvaliquett@shrewsusa.com
7321 Shadeland Sta
Ste 16
Indianapolis, Indiana 46256
3176431452

Location

313 W 2nd ST
Bloomington, IN 47403-2411

Owner:

City of Bloomington, Indiana
401 N Morton St Bloomington, IN 47404

Project Information

Owner Name

City of Bloomington

Number of Structures to be removed

1

Brief description of proposed work and list all Hazardous Materials to be removed

Demolition of entire structure. Friable regulated ACM was found in the basement, which will require abatement. Roofing materials are assumed non-friable ACM. Lead based paint is confirmed in the structure. The following sensitive equipment and materials require special handling, transporting and disposal prior to demolition activities:

- 1 Thermostat
- 1 HVAC
- Several cans of paint and lacquer
- 1 window AC

Number of Underground Storage Tanks

0

Is the property owner doing the work?

No

Primary Contractor

Contractor's Name

Not yet known, structure demolition will be part of a bid package for the City of Bloomington

Certification

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

Karen Valiquett

10/21/2021

Staff Use

Planning Staff Review

**Demolition Delay 21-20
STAFF RECOMMENDATIONS**

Address: 409 W 2nd St.

Petitioner: Karen Valiquett

Parcel #: 53-08-05-100-081.000-009

Rating: CONTRIBUTING

Survey: c. 1925, Western Bungalow



Background: Condition good, slightly altered. “Front porch across main elevation, under main roof, arched openings, brick columns and half walls with stone caps, stone floor and steps, wood ramp on north side. Rear porch across rear elevation, hip roof, enclosed on south half, wood columns and floor (SHAARD).”

Request: Full Demolition

Guidelines: According to the demolition delay ordinance, BHPC has 90 days to review the demolition permit application from the time it is forwarded to the Commission for review.

Staff recommends the release of 21-20.



Monroe County, IN

P&T Received
10/21/21
C21-557
C - '18 No Rental

10/21/2021

C-21-221

Commercial Demolition Permit

Status: Active

Date Created: Oct 21, 2021

Applicant

Karen Valiquett
kvaliquett@shrewsusa.com
7321 Shadeland Sta
Ste 16
Indianapolis, Indiana 46256
3176431452

Location

409 W 2nd ST
Bloomington, IN 47403-2413

Owner:

City of Bloomington, Indiana
401 N Morton St Bloomington, IN 47404

Project Information

Owner Name

City of Bloomington

Number of Structures to be removed

1

Brief description of proposed work and list all Hazardous Materials to be removed

Demolition of entire structure (single family residential, used for commercial purposes). No asbestos detected in any of the samples. Roofing materials are assumed non-friable ACM. Lead based paint is confirmed in the structure. The following sensitive equipment and materials require special handling, transporting and disposal prior to demolition activities:

- 8 Fluorescent light tubes
- 3 Fluorescent light ballasts
- 5 Smoke detectors
- 4 Exit signs
- 3 Emergency lights
- 2 Fire extinguishers
- 1 HVAC
- 1 refrigerator
- Cleaning supplies
- several cans of paint

Number of Underground Storage Tanks

0

Is the property owner doing the work?

No

Primary Contractor

Contractor's Name

Not yet known, structure demolition will be part of a bid package for the City of Bloomington

Certification

The applicant hereby certifies and agrees as follows: (1) I am authorized to make application. (2) I have read this application and attest that the information furnished is correct, including that contained in plans. (3) If there is any misrepresentation in this application, or associated documents, Monroe County may revoke any permit or Certificate of Occupancy issued based upon this misinformation. (4) I agree to comply with all Monroe County Ordinances, permit conditions and State statutes which regulate building construction, use, occupancy and site development. (5) I grant and will request Monroe County Officials to enter onto the property listed on this application for the purpose of inspecting the work permitted by this application and posting notices. (6) I will retain the Certificate of Occupancy in my records upon completion of the project. NOTE: Plans shall mean all site and construction plans and specifications, whether furnished prior to or subsequent to the application date. All plans furnished subsequent to application date constitute an amendment to the original application and must be specifically approved by the County with an appropriate endorsement and the signature of the approving official prior to plan implementation. The Permit is not valid, and work is not permitted until signed and issued by the agent of the Monroe County Building Department.

Karen Valiquett

10/21/2021

Staff Use

Planning Staff Review

APPLICATION

BLOOMINGTON HISTORIC PRESERVATION COMMISSION CONSULTING GRANT

GRANT BACKGROUND AND REQUIREMENTS

The Bloomington Historic Preservation Commission Consulting Grant is a reimbursement grant for up to five hundred dollars (“\$500.00”) that is available to historic property owners or tenants in order to pay for consulting work for the rehabilitation of their historic property. The grant money is to be used for consulting fees associated with the rehabilitation of the exterior of a historic building only.

The owner/tenant must be contemplating building rehabilitation within the next year and the building must be listed in areas covered by the 2018 *Bloomington Historic Sites and Structures Report*. This survey information is available on-line at the city web site www.bloomington.in.gov or by contacting Gloria M. Colom Braña, Historic Preservation Program Manager at (812) 349-3507 or gloria.colom@bloomington.in.gov.

The Consultant must be on the Indiana Division of Historic Preservation and Archaeology Qualified Professional list, which is available in the HAND office of City Hall, or recommended by city staff as appropriate to the description of the job. The consultant must be allowed access to the building. A copy of the final consultation report should be given to the owner and to the Bloomington Historic Preservation Commission.

Applicant _____

Phone Number _____

Property Address _____

Owner _____

Preferred Consultant or Firm _____

Briefly describe the work you are contemplating (including any adaptive reuse of the space) and the extent of the work proposed (i.e. facade, storefront, living space conversion).



Bloomington Historic Preservation Commission Schedule of Regular Meetings 2022

Application Deadline (Thur. by 5pm)	Agenda Released (Thur. by Noon)	Packet Released to Commissioners and Neighborhoods (Fri. by 5pm)	Neighborhood Written Input Due (Wed. by 5pm)	Meeting Date (Thur.)
Dec. 30	Jan. 6	Jan. 7	Jan. 12	Jan. 13
Jan. 13	Jan. 20	Jan. 21	Jan. 26	Jan. 27
Jan. 27	Feb. 3	Feb. 4	Feb. 9	Feb. 10
Feb. 10	Feb. 17	Feb. 18	Feb. 23	Feb. 24
Feb. 24	Mar. 3	Mar. 4	Mar. 9	Mar. 10
Mar. 10	Mar. 17	Mar. 18	Mar. 23	Mar. 24
Mar. 31	Apr. 7	Apr. 8	Apr. 13	Apr. 14
Apr. 14	Apr. 21	Apr. 22	Apr. 27	Apr. 28
Apr. 28	May 5	May 6	May 11	May 12
May 12	May 19	May 20	May 25	May 26
May 26	Jun. 2	Jun. 3	Jun. 8	Jun. 9
Jun. 9	Jun. 16	Jun. 17	Jun. 22	Jun. 23
Jun. 30	Jul. 7	Jul. 8	Jul. 13	Jul. 14
Jul. 14	Jul. 21	Jul. 22	Jul. 27	Jul. 28
Jul. 28	Aug. 4	Aug. 5	Aug. 10	Aug. 11
Aug. 11	Aug. 18	Aug. 19	Aug. 24	Aug. 25
Aug. 25	Sept. 1	Sept. 2	Sept. 7	Sept. 8
Sept. 8	Sept. 15	Sept. 16	Sept. 21	Sept. 22
Sept. 29	Oct. 6	Oct. 7	Oct. 12	Oct. 13
Oct. 13	Oct. 20	Oct. 21	Oct. 26	Oct. 27
Oct. 27	Nov. 3	Nov. 4	Nov. 9	Nov. 10
Nov. 23	Dec. 1	Dec. 2	Dec. 7	Dec. 8