



Facility Assessment Update

Kohr Building & Parking Garage

October 2019

Parking Garage



Built 1989

5 Stories

480 spaces

Facility Information

- Urban Land Institute Study
- Engineering Assessment - Arsee Engineers
- Facility Tour



Parking Garage Repair and Retrofit

- Immediate (in conjunction with demo of the site)
 - Install new power service, water service, communications, fire service, and fire alarm controls
 - Reconstruct south facade and guardrail after pedestrian bridge removal
 - Install sealant on column joints
 - Install door sweeps
- 2-3 Years
 - Install new power equipment, switch to LED lighting
 - Repair concrete, repair/replace deck sealant joints and expansion joints; seal deck surfaces
 - Repair facade (glazing, damaged limestone panels, sealant joints)
 - Repair stair towers (painting, door hardware, roof membrane)
 - General maintenance (restriping, etc.)
- 5-10 Years
 - General maintenance (repair concrete and joints, seal deck, painting, etc.)

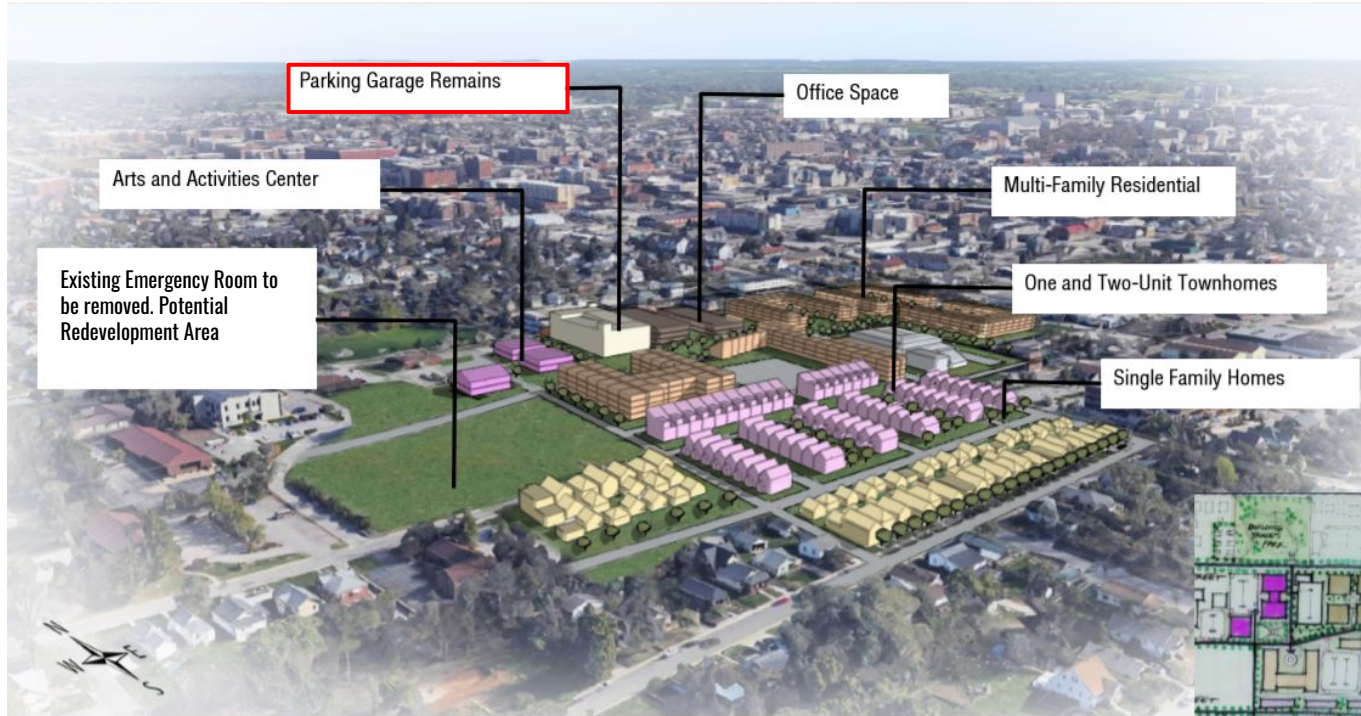
Parking Garage Projected Repair & Retrofit Costs

	PARKING GARAGE
Immediate	\$140,000
2-3 Years	\$1.12M
5-10 Years	\$450,000
TOTAL	\$1.71M

Costs are in 2019 Dollars
Estimates do not include soft costs (A/E fees and CM fees), hazardous material removal, or other construction contingencies

Compared to \$9M estimated cost to construct new

ULI - Concept Plan



Bloomington, Indiana



Conclusions - Parking Garage

In good condition with 20-25 years remaining lifespan

Serves immediate parking needs

Serves future employment and housing parking needs of the redeveloped site

Opportunities for visual enhancement

Cost to repair and retrofit represents significant savings compared to cost of building new

DETERMINATION: Retain

A decorative graphic in the bottom right corner consisting of three overlapping geometric shapes: a dark blue square, a medium blue triangle to its left, and a light blue triangle to its right.

Kohr Building



Built 1947

4 Stories

23,000 sf (incl. basement)

Facility Information to Date

- Urban Land Institute Study
- Engineering Assessment - Arsee Engineers
- Historical Assessment - Ratio Architects
- Environmental Assessment - August Mack
- Facility Tour
- Probable Cost Estimate - IU Health
- Commercial Real Estate Evaluation - Chris Cockerham, FC Tucker



Kohr Building Repair and Repurposing

- Immediate (in conjunction with demo of the site)
 - Install new power service, water service, communications, fire service, and fire alarm controls
 - Remove areas that directly abutt NW corner by hand during demo
 - Reconstruct the NW facade (rear $\frac{1}{3}$ of building facade) to protect from weather and match remaining structure
- 2-3 Years (when building is repurposed)
 - Install new HVAC, new power equipment, new lighting, new plumbing, and new roof
 - Excavate and expose basement wall; install new waterproofing and perimeter drain
 - Replace gutters and downspouts; spot repairs to original limestone facade, limestone cheek walls, and concrete steps; replace handrails

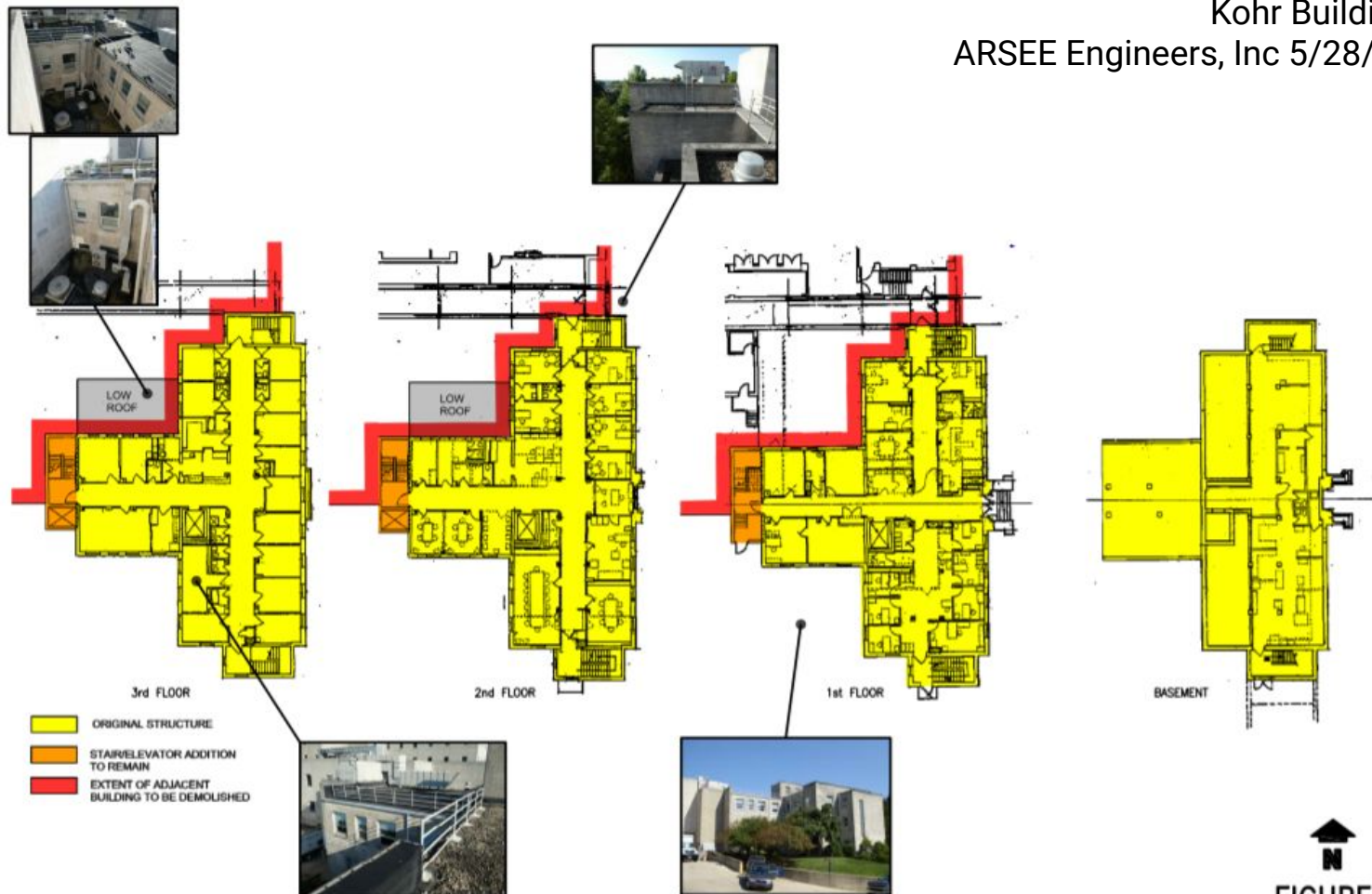



FIGURE 3

Additional Cost Information

Probable Cost Estimate -- prepared by Mike Castor, IU Health

- Includes \$2.85M for code compliance
 - Higher envelope costs to match existing facade
 - Higher demo costs to accurately represent complexity
 - Aligned with current market costs, esp trades (plumbing, masonry, etc)
 - Represents high end of cost estimate range
 - \$7.76M (excluding soft costs, contingencies, and haz material abatement)
 - \$11.36M total probable cost to repair and repurpose (excluding haz material abatement)
- 

Kohr Building Projected Repair & Retrofit Costs

Costs are in 2019 Dollars

	ARSEE ENGINEERS	IU HEALTH
Immediate	\$600,000-\$750,000	--
2-3 Years	\$1.25M - \$1.5M	--
TOTAL (excludes soft costs, contingencies, haz mtl removal, and code compliance)	\$1.85M - \$2.25M	\$4.91M
TOTAL (includes code compliance)	--	\$7.76M
TOTAL PROBABLE COST (includes soft costs and contingencies; but does not include haz mtl removal)	--	\$11.36M

Compared to \$6M estimated cost to construct new

Marketability

Real Estate Evaluation and Proforma -- prepared by Chris Cockerham, FC Tucker

- Assumes 50 individual office suites
- Estimates that \$930K is limit of investment in order to achieve return
- Uncertain whether demand will fill supply
- Cost to repair and repurpose the building exceeds investment level that will produce a return
- Recommends construction of new building as highest and best use of site



Additional Information Gathering in Progress

- IU Health asbestos remediation study Q1 2020
- Demo quotes Q1/Q2 2020
- Questions
 - If City wants to retain certain portions or features of the Kohr building, what is the cost to perform this type of specialized, complex demolition, and is this feasible?
 - If City keeps Kohr building as-is, what is cost City to do a stand alone demo at a later date?
 - What costs will the City incur for asbestos abatement during repair and renovation?



Conclusions - Kohr

More information is needed

Timeline for obtaining results of IU Health Asbestos Abatement Study (end of Q1 2020) and quotes for Kohr demo alternatives (Q1/Q2 2020) extends beyond current decision deadline

HPC may have a role

DETERMINATION: Request extension of Kohr decision deadline



Questions?





Thank You