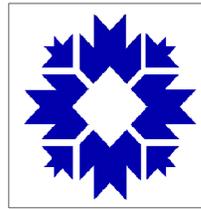
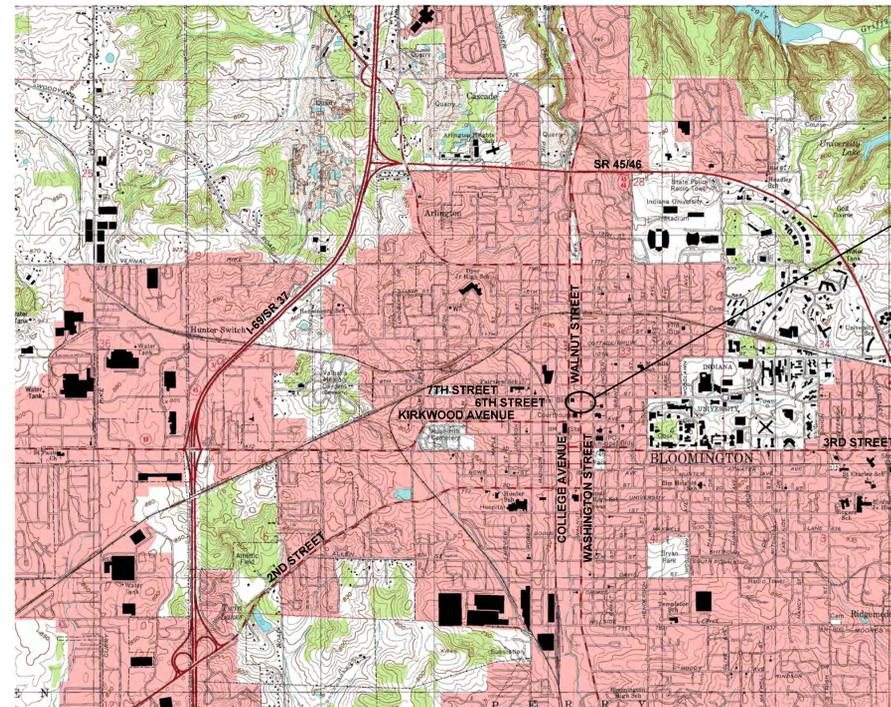
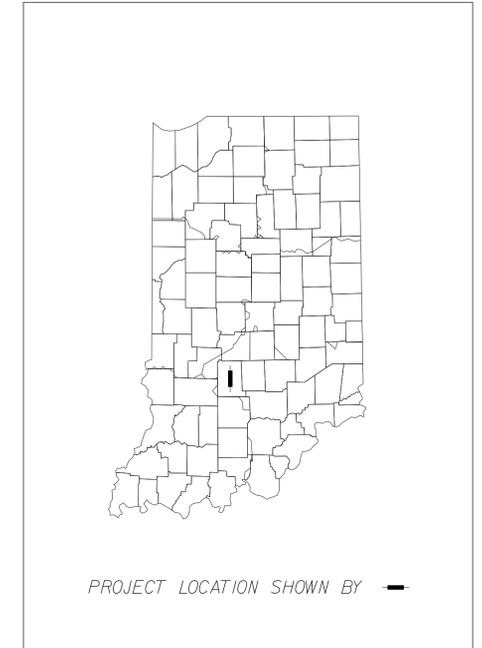


CITY OF BLOOMINGTON DEPARTMENT OF PLANNING AND TRANSPORTATION



DOWNTOWN ALLEY REPAVING PHASE 1: ALLEYS BETWEEN COLLEGE AVENUE AND WASHINGTON STREET AND BETWEEN 6TH AND 7TH STREETS



PROJECT LOCATION



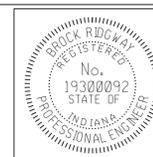
PROJECT LOCATION MAP
CITY OF BLOOMINGTON, MONROE COUNTY

INDIANA DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS CURRENT EDITION
TO BE USED WITH THESE PLANS AND ANY
SUPPLEMENTS THEREOF

PREPARED BY:



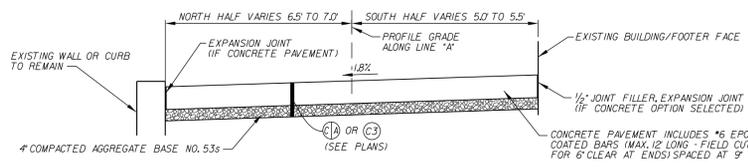
1321 Laurel Oak Drive
Avon, Indiana 46123
(317)370-9672



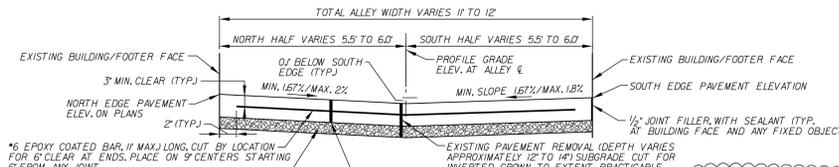
PLANS PREPARED BY:	(317) 370-9672 PHONE NUMBER
CERTIFIED BY: <i>B. Riggs</i>	7-2-2020 DATE
APPROVED FOR LETTING:	DATE

	SHEETS 1 of 29 PROJECT

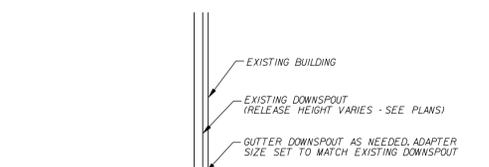
DOWNTOWN ALLEYS - PHASE I



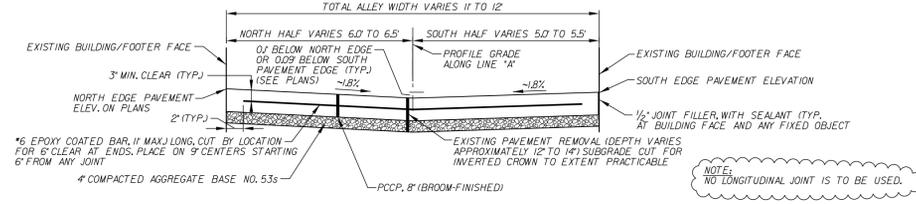
**CONCRETE OR ASPHALT OPTION (TILT SECTION)
ALLEY A-1 (STA. 13+61 TO 14+94) (LOOKING EAST)**



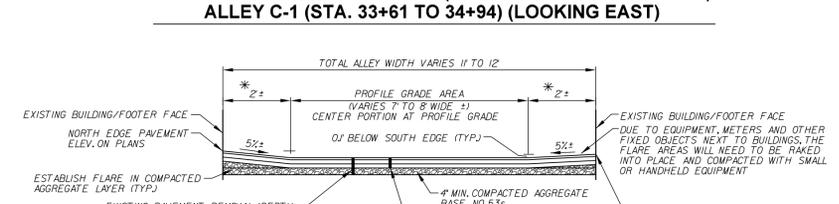
**CONCRETE PAVEMENT OPTION (INVERTED CROWN SECTION)
ALLEY C-1 (STA. 33+61 TO 34+94) (LOOKING EAST)**



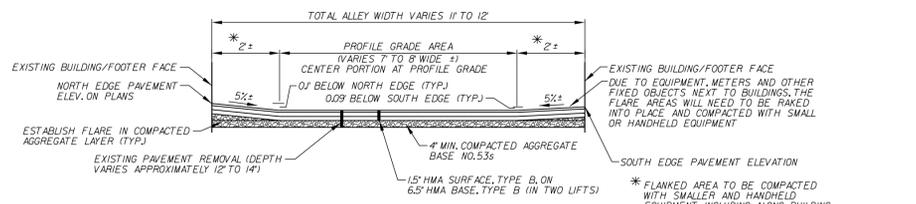
DOWNSPOUT EXTENSION AND ELBOW



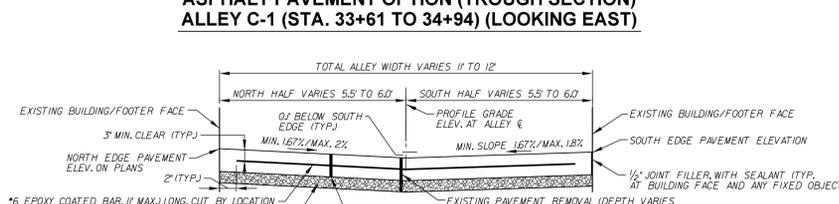
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ALLEY A-2 (STA. 15+06 TO 16+39) (LOOKING EAST)**



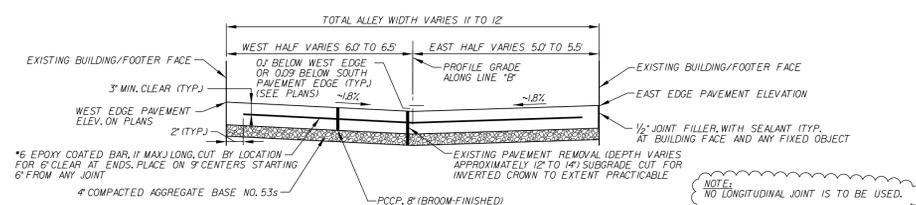
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ALLEY C-1 (STA. 33+61 TO 34+94) (LOOKING EAST)**



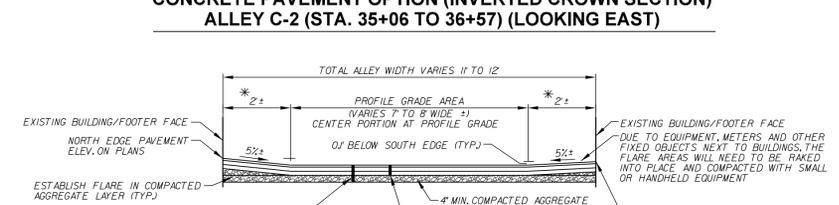
**ASPHALT PAVEMENT OPTION (TROUGH SECTION)
ALLEY A-2 (STA. 15+06 TO 16+39) (LOOKING EAST)**



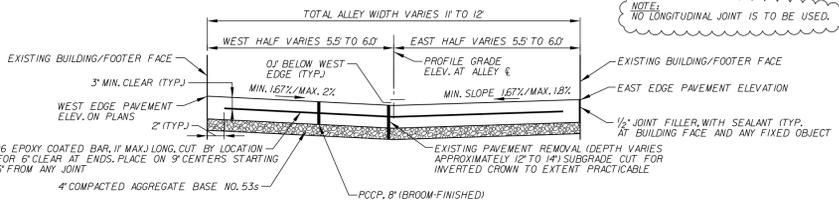
**CONCRETE PAVEMENT OPTION (INVERTED CROWN SECTION)
ALLEY C-2 (STA. 35+06 TO 36+57) (LOOKING EAST)**



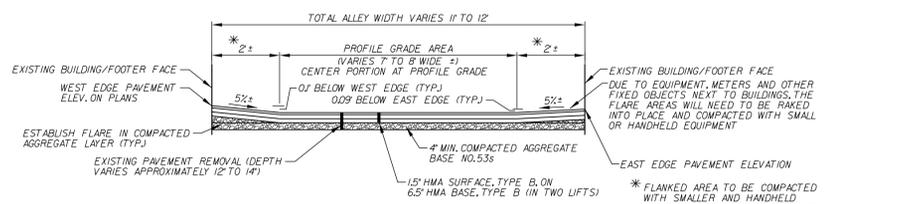
**CONCRETE PAVEMENT OPTION (INVERTED CROWN SECTION)
ALLEY B-1 (STA. 23+62 TO 24+95) (LOOKING NORTH)**



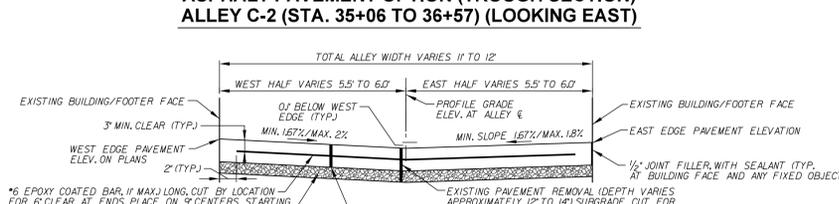
**ASPHALT PAVEMENT OPTION (TROUGH SECTION)
ALLEY C-2 (STA. 35+06 TO 36+57) (LOOKING EAST)**



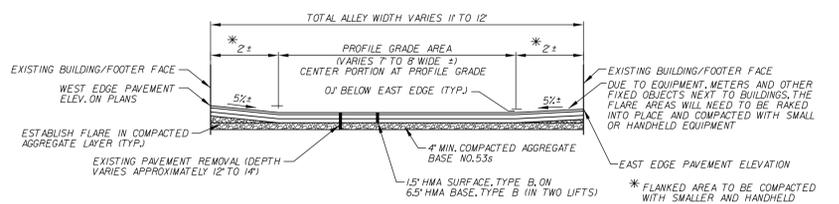
**CONCRETE PAVEMENT OPTION (INVERTED CROWN SECTION)
ALLEY D-2 (STA. 45+06 TO 45+87) (LOOKING NORTH)**



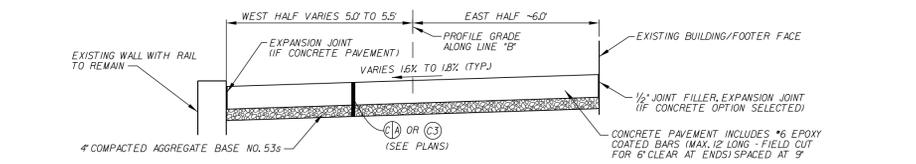
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ALLEY B-1 (STA. 23+62 TO 24+95) (LOOKING NORTH)**



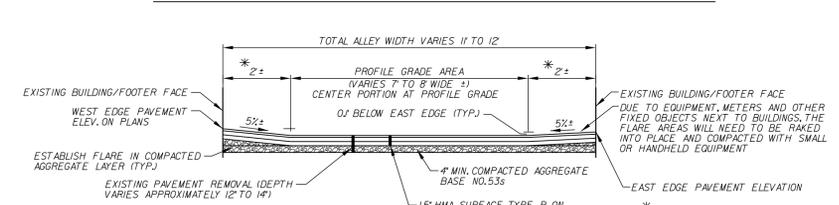
**CONCRETE PAVEMENT OPTION (INVERTED CROWN SECTION)
ALLEY D-1 (STA. 43+62 TO 44+95) (LOOKING NORTH)**



**ASPHALT PAVEMENT OPTION (TROUGH SECTION)
ALLEY D-2 (STA. 45+06 TO 45+87) (LOOKING NORTH)**



**CONCRETE OR ASPHALT OPTION (TILT SECTION)
ALLEY B-2 (STA. 25+07 TO 26+40) (LOOKING NORTH)**



**ASPHALT PAVEMENT OPTION (TROUGH SECTION)
ALLEY D-1 (STA. 43+62 TO 44+95) (LOOKING NORTH)**

UNSUITABLE MATERIALS NOTE
CONTRACTOR SHALL PROOFROLL THE SUBGRADE TO TEST FOR UNSUITABLE MATERIALS PRIOR TO PLACING NEW PAVEMENTS. CONTRACTOR SHALL REPLACE UNSUITABLE MATERIALS BY REMOVAL AND REPLACEMENT WITH COMPACTED AGGREGATE (#53s AS APPROPRIATE). ALL WORK SHALL BE PER STANDARD SPECIFICATIONS.



RECOMMENDED FOR APPROVAL: *B. Ridgway*
DESIGN ENGINEER
DATE: 7-2-2020
DESIGNED: BR DRAWN: SCS
CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION

TYPICAL DETAILS

HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	3 of 29
	PROJECT

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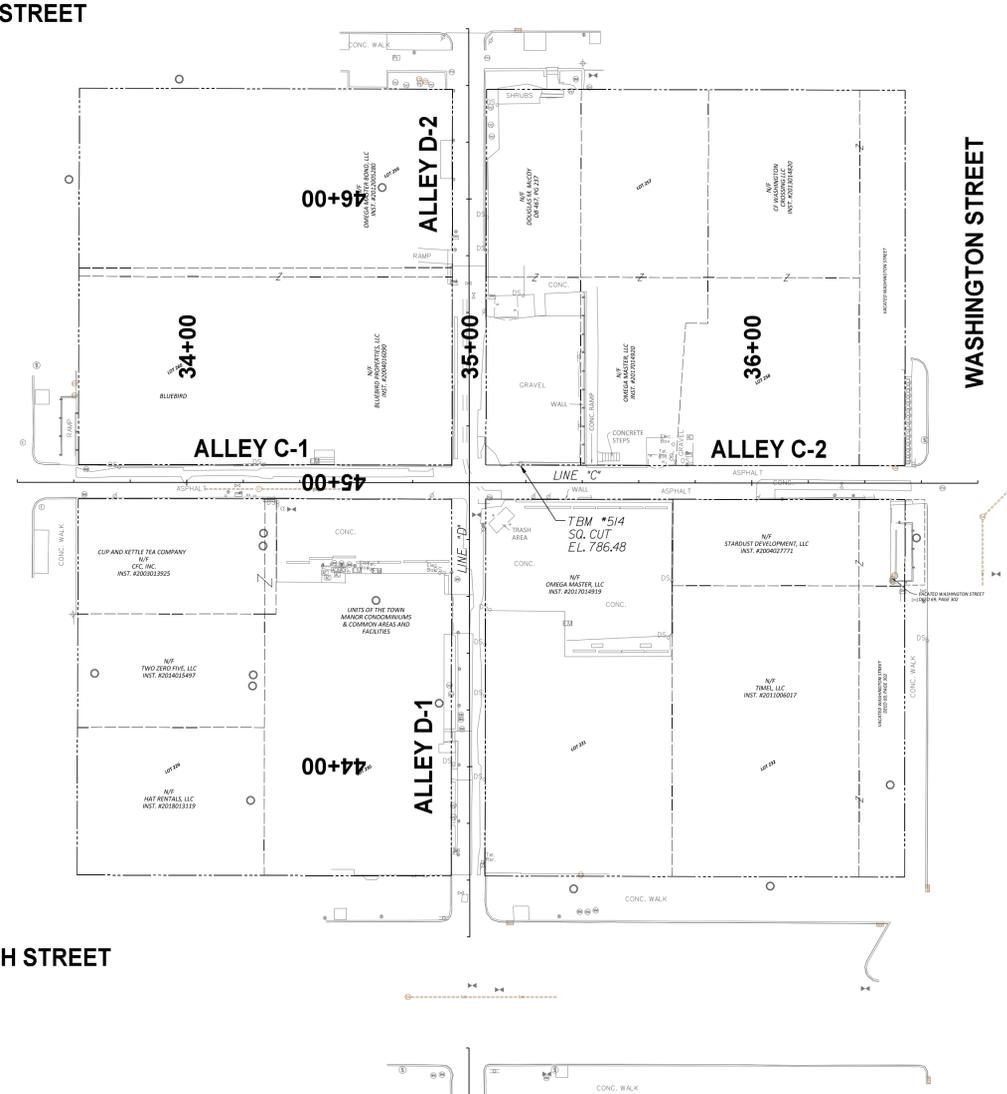
COLLEGE AVENUE



7TH STREET

WALNUT STREET

6TH STREET



WASHINGTON STREET

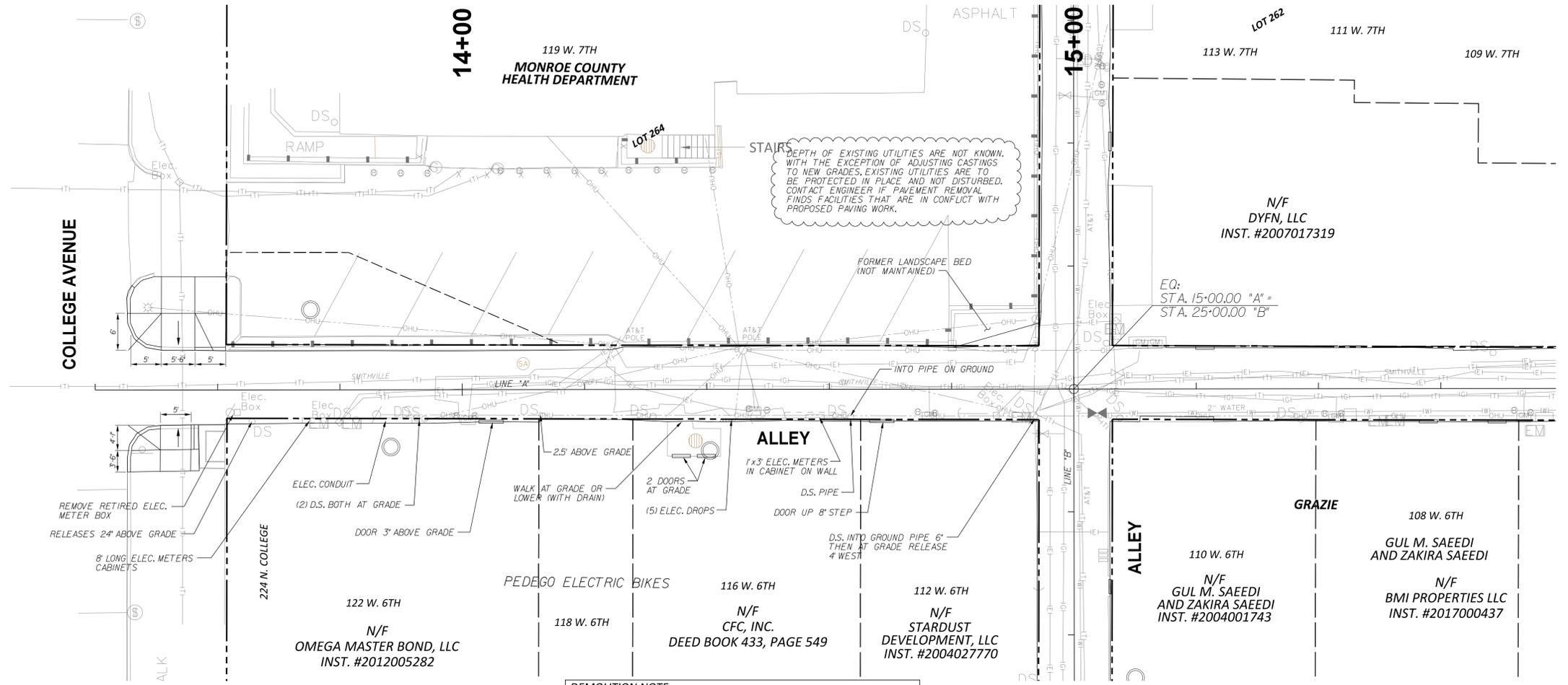


RECOMMENDED FOR APPROVAL	<i>B. Ridgway</i>	7-2-2020
DESIGNED:	BR	DRAWN: SCS
CHECKED:	MT	CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

LOCATION PLAN

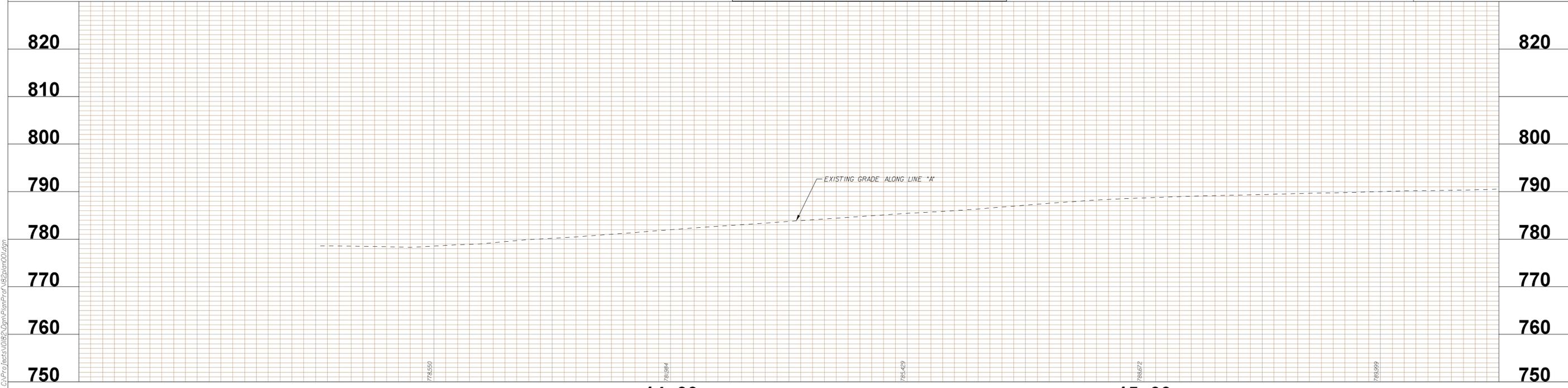
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VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	4 of 29
	PROJECT



DEPTH OF EXISTING UTILITIES ARE NOT KNOWN. WITH THE EXCEPTION OF ADJUSTING CASTINGS TO NEW GRADES, EXISTING UTILITIES ARE TO BE PROTECTED IN PLACE AND NOT DISTURBED. CONTACT ENGINEER IF PAVEMENT REMOVAL FINDS FACILITIES THAT ARE IN CONFLICT WITH PROPOSED PAVING WORK.

DEMOLITION NOTE:
 ALL REMOVAL SHALL BE PERFORMED WITH SMALL EQUIPMENT INCLUDING SAWS AND BACKHOLE, BUT NO HOE RAMS OR OTHER HEAVY EQUIPMENT THAT MIGHT DAMAGE ADJACENT PAVEMENTS OR BUILDINGS.

SEE SHEET 2 FOR LEGEND



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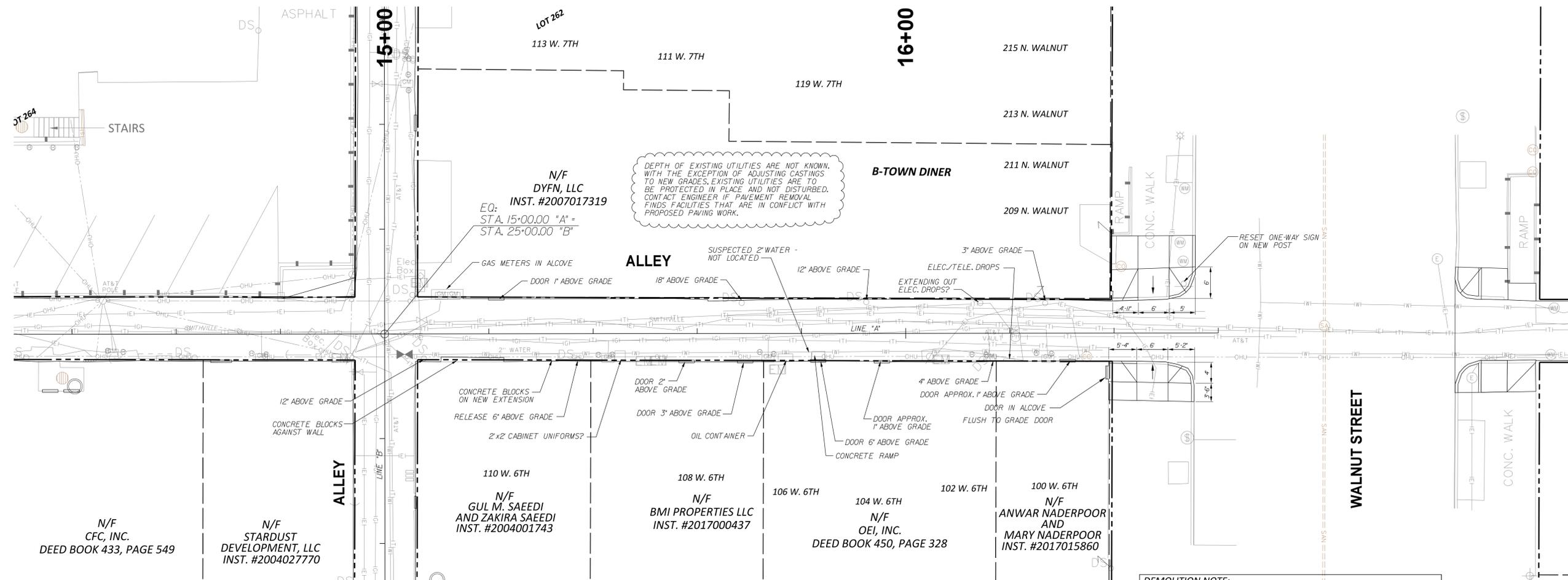
RECOMMENDED FOR APPROVAL: *B. Ridgway* DESIGN ENGINEER 7-2-2020 DATE

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

EXISTING CONDITIONS
 ALLEY A-1

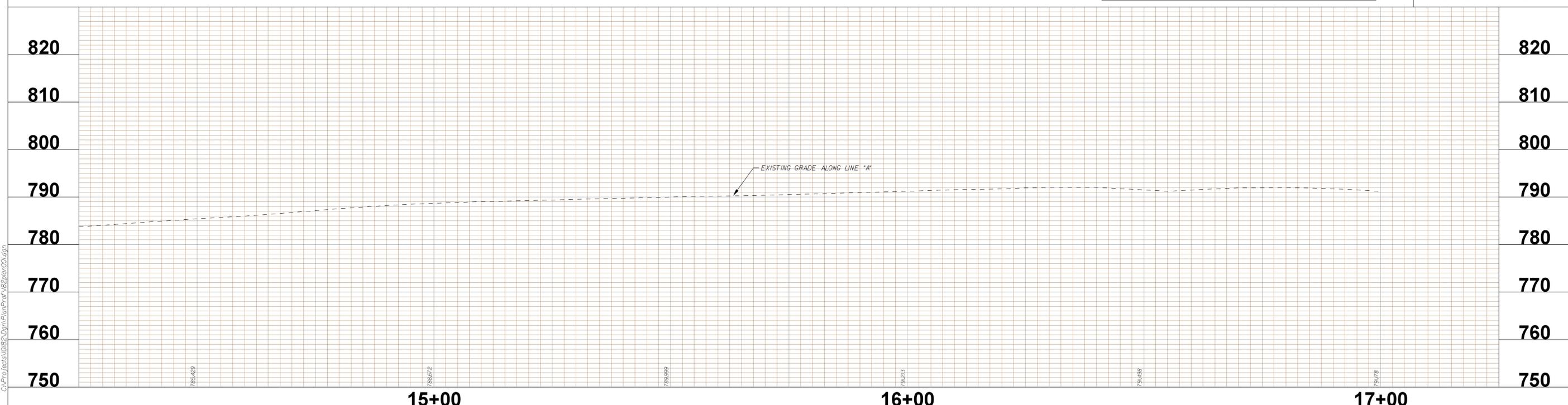
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VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	5 of 29
	PROJECT



DEPTH OF EXISTING UTILITIES ARE NOT KNOWN, WITH THE EXCEPTION OF ADJUSTING CASTINGS TO NEW GRADES, EXISTING UTILITIES ARE TO BE PROTECTED IN PLACE AND NOT DISTURBED. CONTACT ENGINEER IF PAVEMENT REMOVAL FINDS FACILITIES THAT ARE IN CONFLICT WITH PROPOSED PAVING WORK.

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SEE SHEET 2 FOR LEGEND



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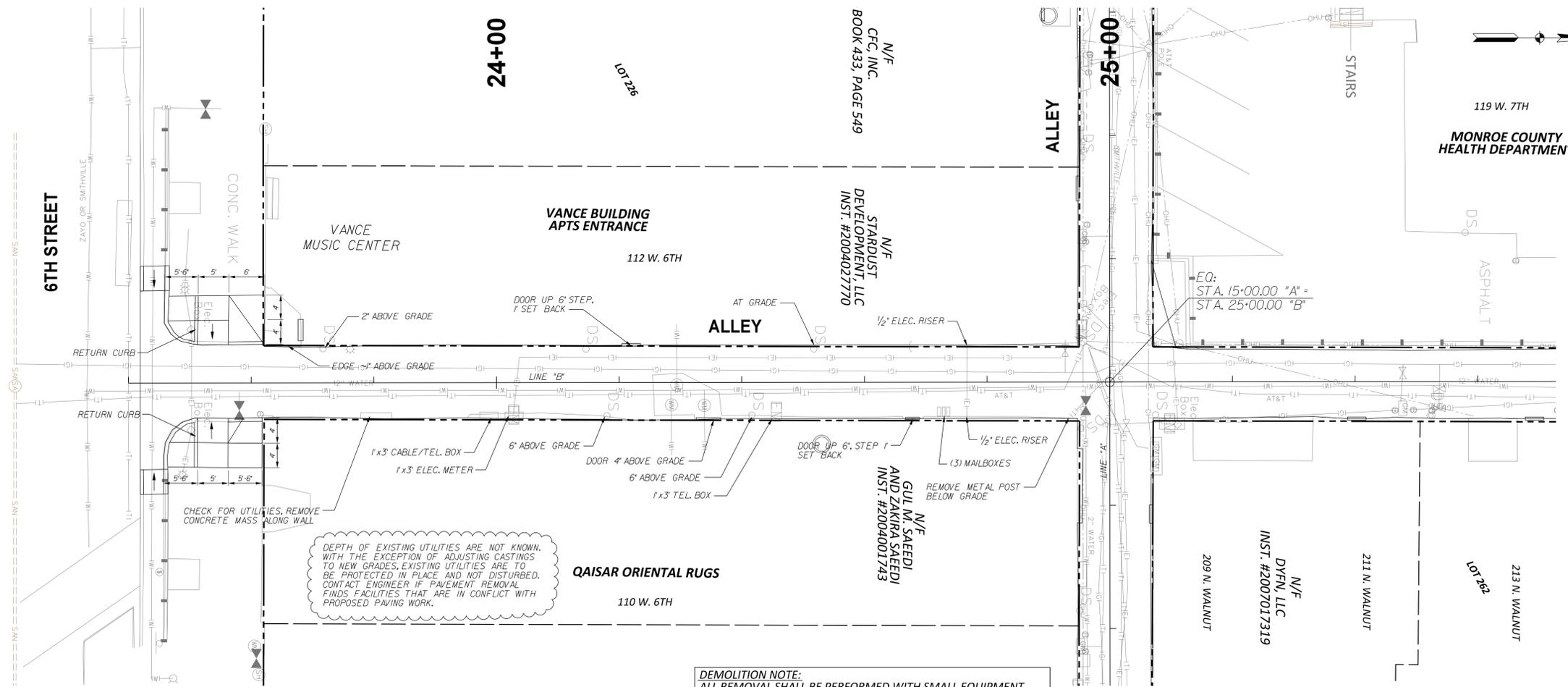
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DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

EXISTING CONDITIONS
 ALLEY A-2

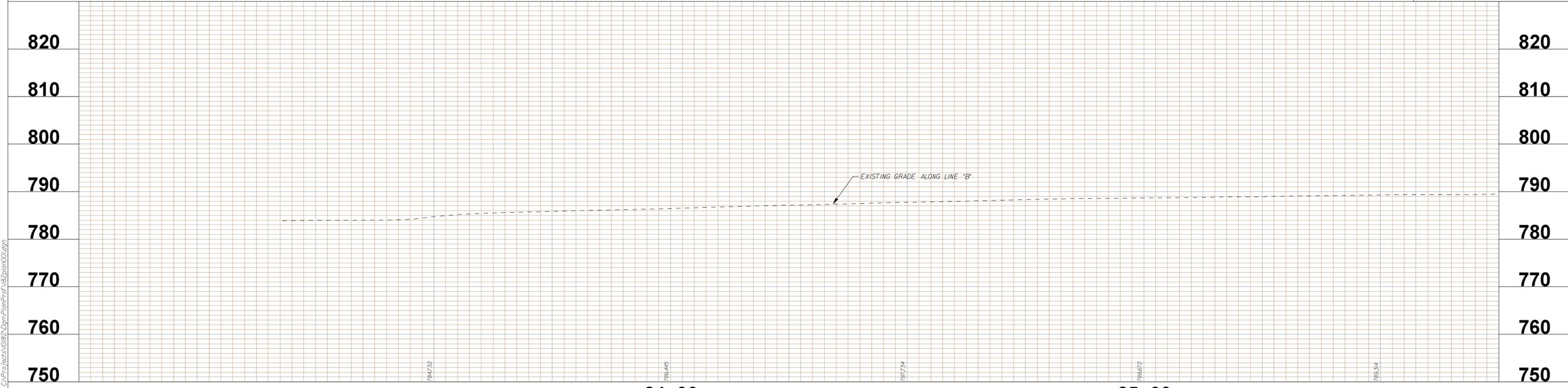
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VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	6 of 29
	PROJECT



DEPTH OF EXISTING UTILITIES ARE NOT KNOWN. WITH THE EXCEPTION OF ADJUSTING CASTINGS TO NEW GRADES, EXISTING UTILITIES ARE TO BE PROTECTED IN PLACE AND NOT DISTURBED. CONTACT ENGINEER IF PAVEMENT REMOVAL FINDS FACILITIES THAT ARE IN CONFLICT WITH PROPOSED PAVING WORK.

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SEE SHEET 2 FOR LEGEND



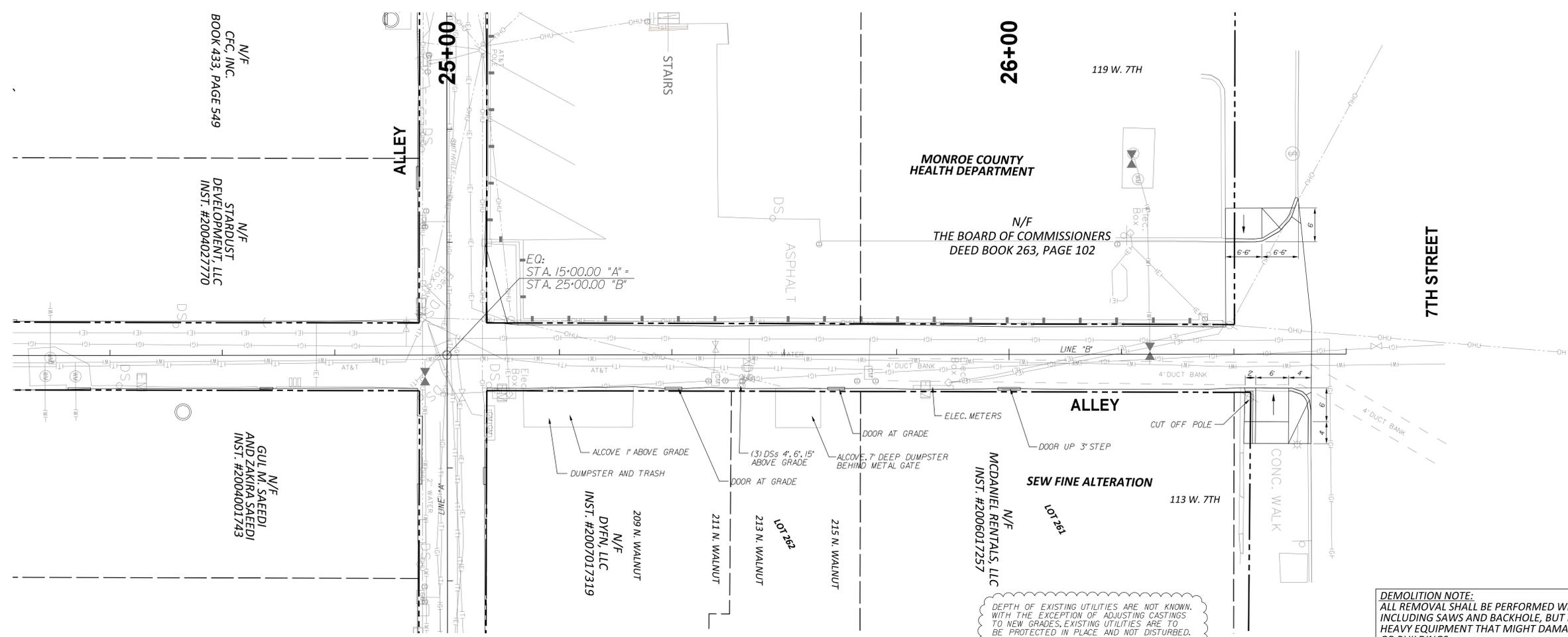
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 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

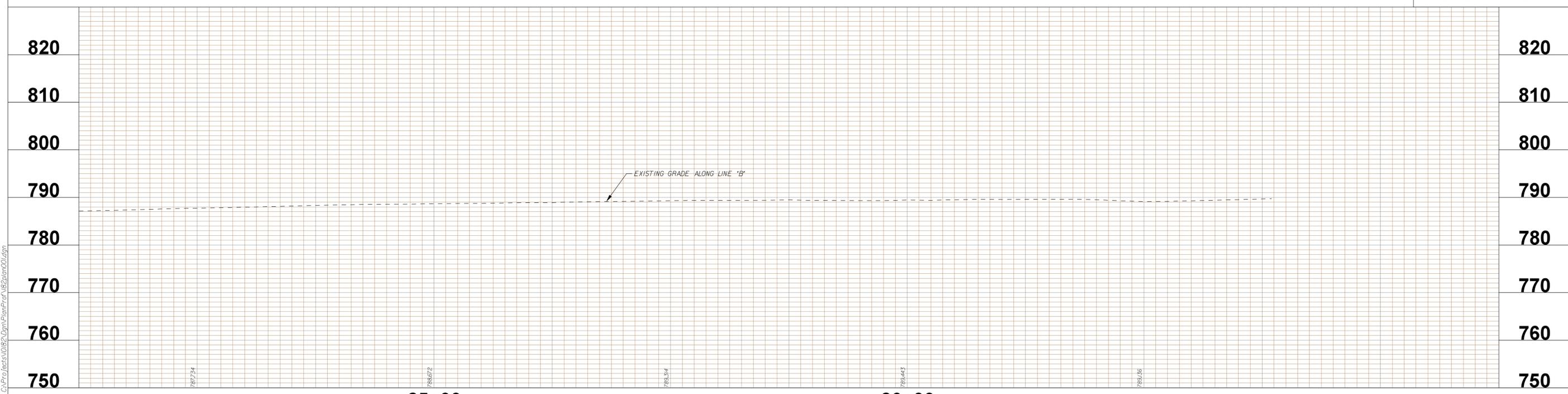
CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 EXISTING CONDITIONS
 ALLEY B-1

HORIZONTAL SCALE	1" = 10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	7 of 29 PROJECT

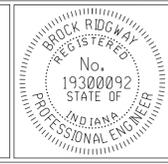


DEMOLITION NOTE:
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SEE SHEET 2 FOR LEGEND



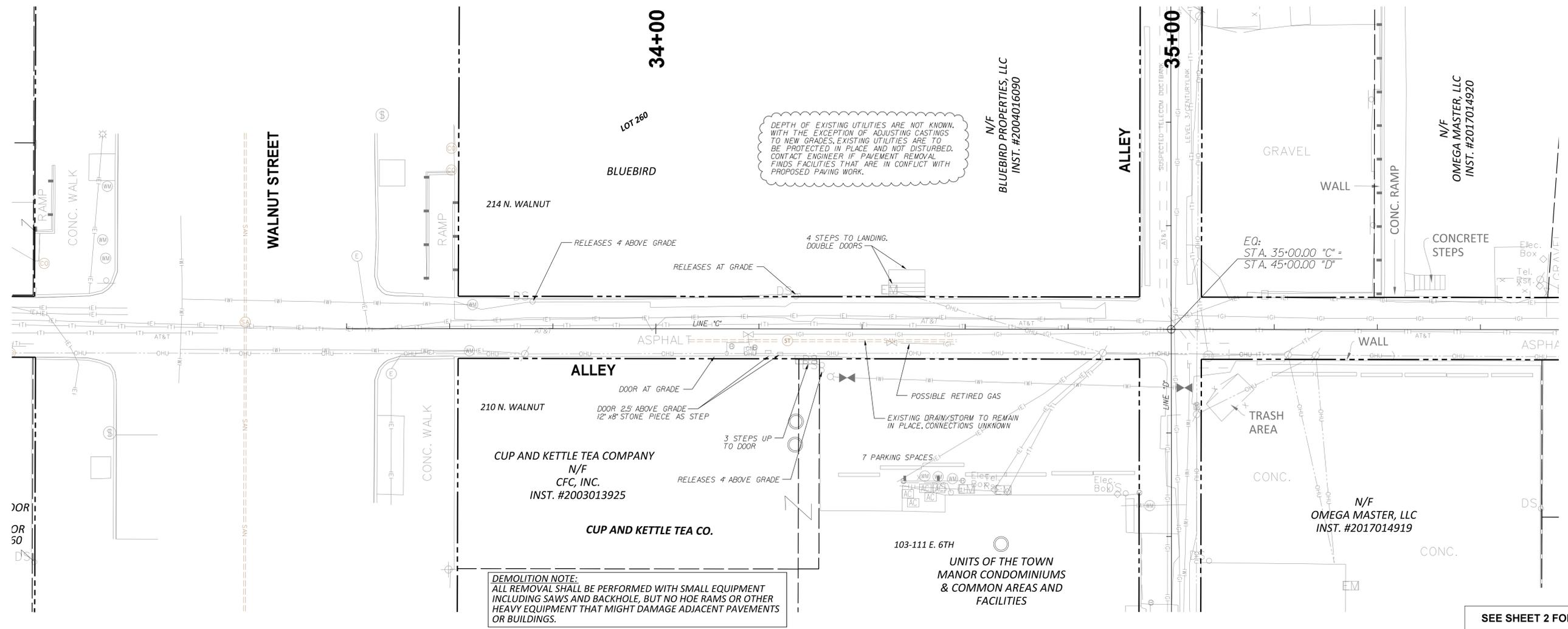
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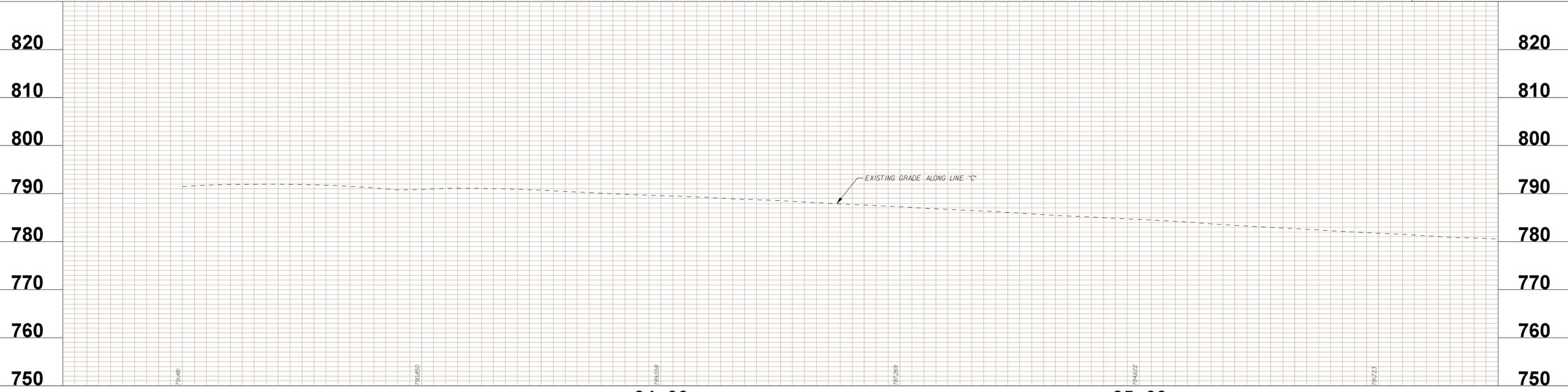
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 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 EXISTING CONDITIONS
 ALLEY B-2

HORIZONTAL SCALE	1" = 10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	8 of 29
	PROJECT



SEE SHEET 2 FOR LEGEND



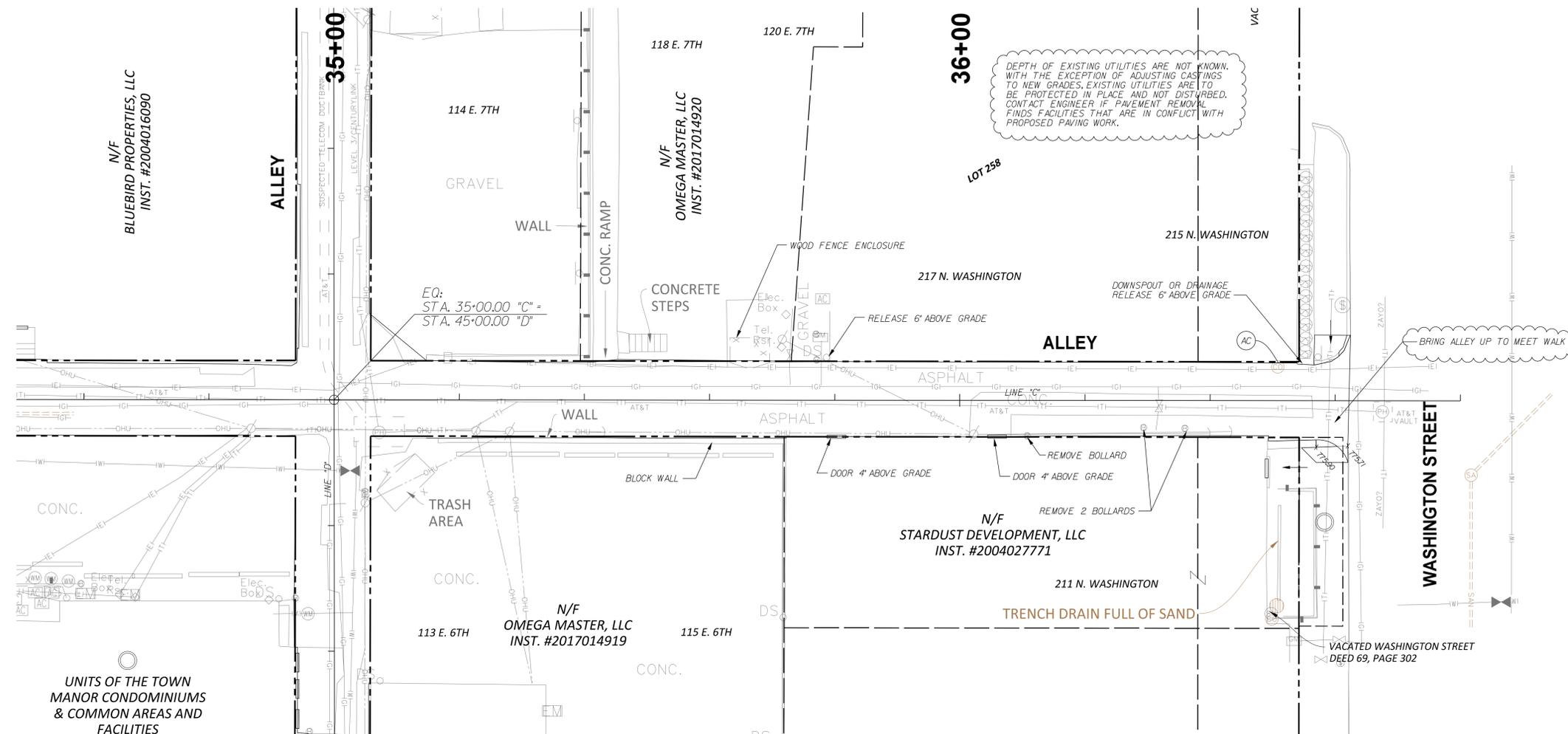
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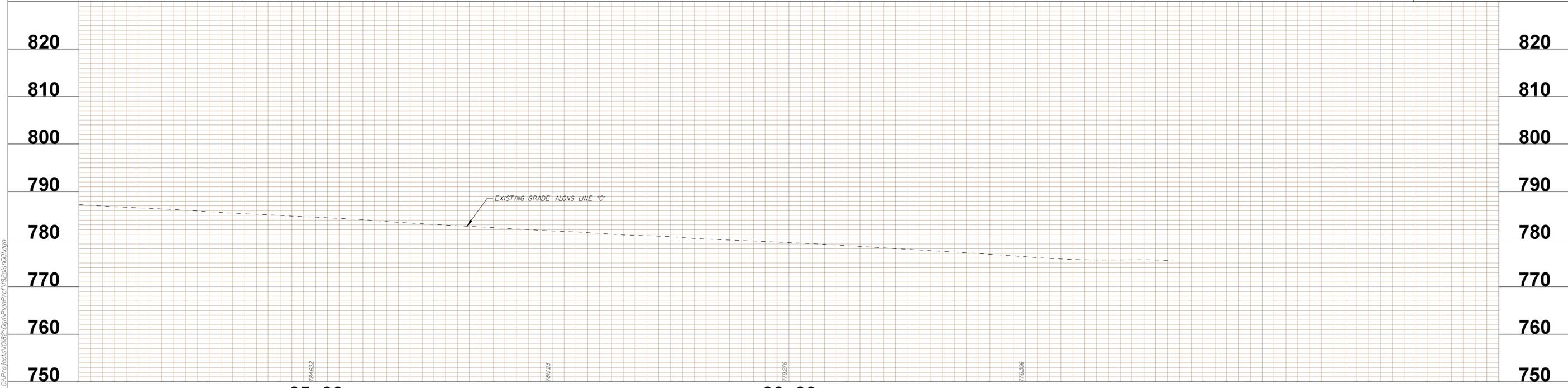
CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 EXISTING CONDITIONS
 ALLEY C-1

HORIZONTAL SCALE	1" = 10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	9 of 29 PROJECT



DEMOLITION NOTE:
 ALL REMOVAL SHALL BE PERFORMED WITH SMALL EQUIPMENT INCLUDING SAWS AND BACKHOLE, BUT NO HOE RAMS OR OTHER HEAVY EQUIPMENT THAT MIGHT DAMAGE ADJACENT PAVEMENTS OR BUILDINGS.

SEE SHEET 2 FOR LEGEND



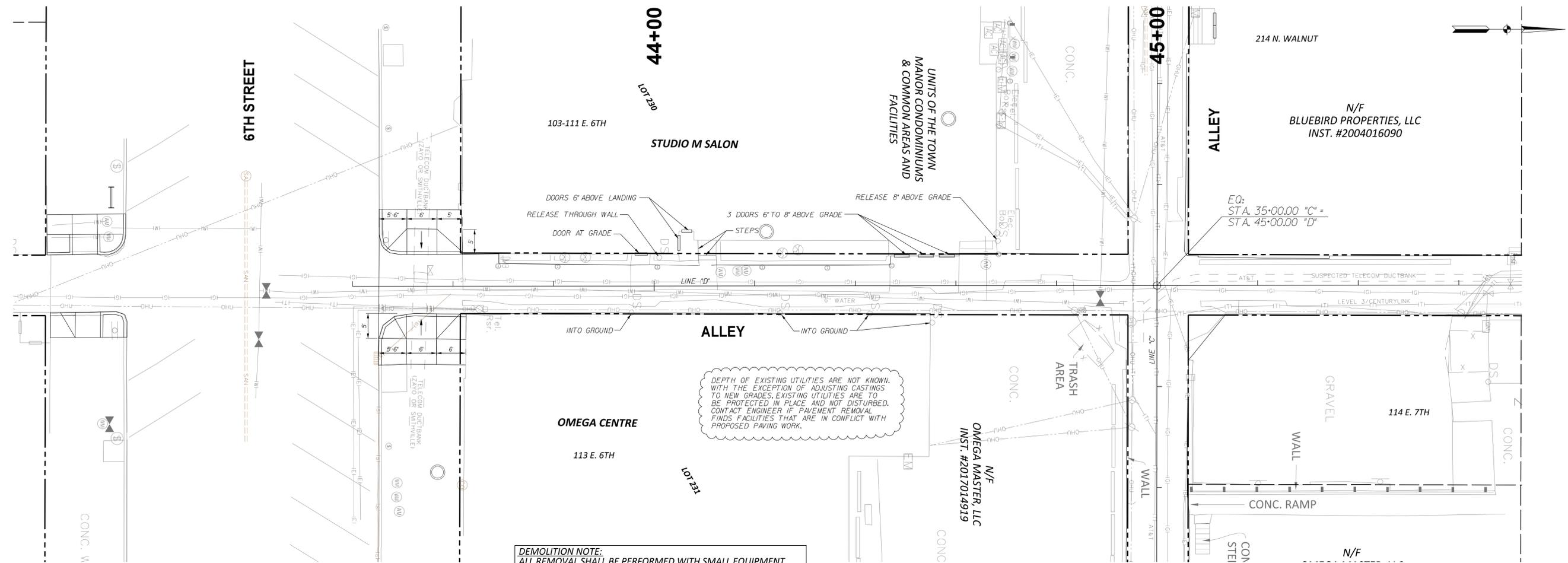
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RECOMMENDED FOR APPROVAL: *B. Ridgway* DESIGN ENGINEER 7-2-2020 DATE
 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 EXISTING CONDITIONS
 ALLEY C-2

HORIZONTAL SCALE	1" = 10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	10 of 29 PROJECT



DEMOLITION NOTE:
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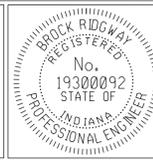
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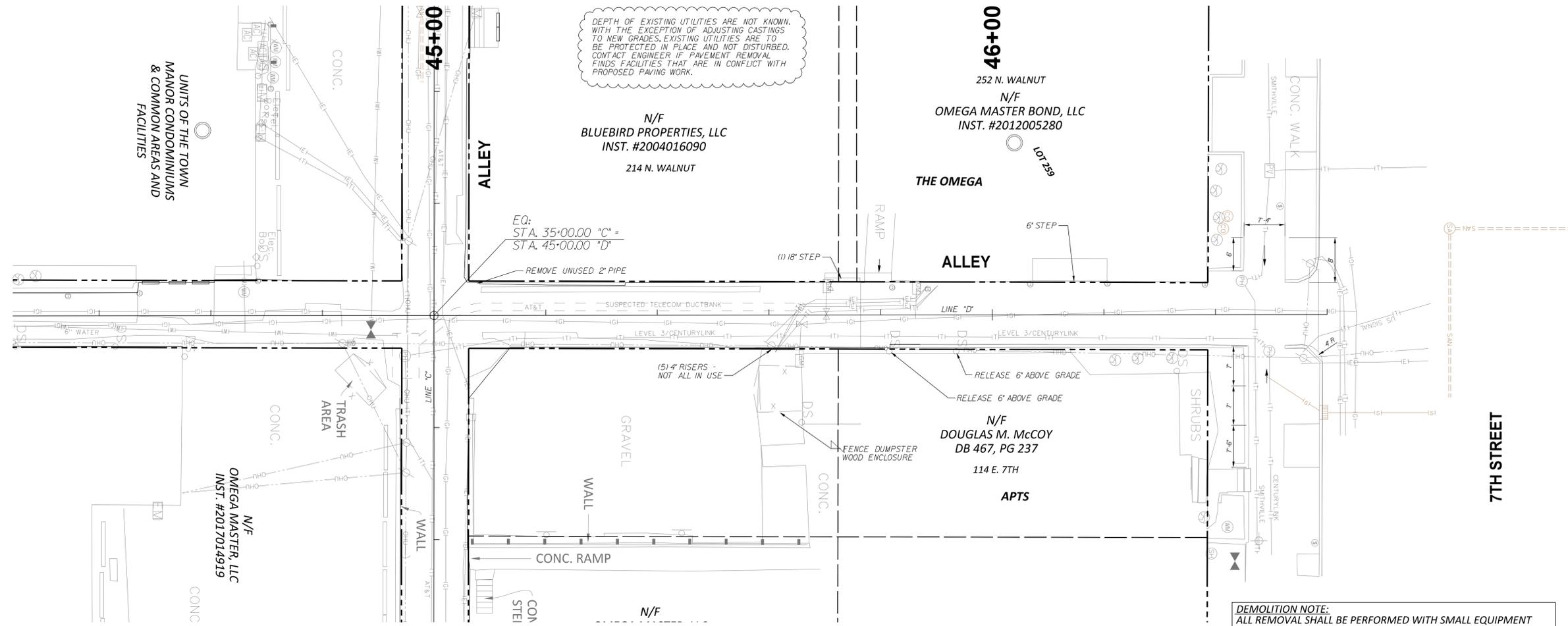


RECOMMENDED FOR APPROVAL: *Bridgway* DESIGN ENGINEER
 DATE: 7-2-2020
 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 EXISTING CONDITIONS
 ALLEY D-1

HORIZONTAL SCALE	1" = 10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	II of 29
	PROJECT

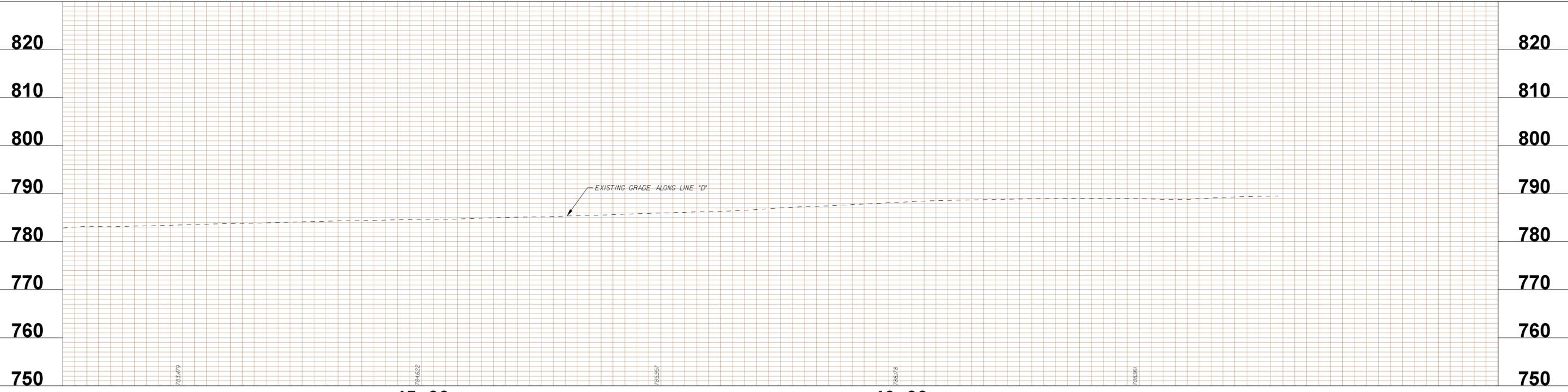
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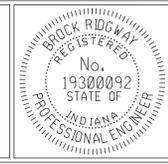
DEPTH OF EXISTING UTILITIES ARE NOT KNOWN. WITH THE EXCEPTION OF ADJUSTING CASTINGS TO NEW GRADES, EXISTING UTILITIES ARE TO BE PROTECTED IN PLACE AND NOT DISTURBED. CONTACT ENGINEER IF PAVEMENT REMOVAL FINDS FACILITIES THAT ARE IN CONFLICT WITH PROPOSED PAVING WORK.

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SEE SHEET 2 FOR LEGEND



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RECOMMENDED FOR APPROVAL: *B. Ridgway* DESIGN ENGINEER 7-2-2020 DATE

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

EXISTING CONDITIONS
 ALLEY D-2

HORIZONTAL SCALE	1" = 10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	12 of 29
	PROJECT



N/F
THE BOARD OF COMMISSIONERS
DEED BOOK 263, PAGE 102

N/F
MCDANIEL RENTALS, LLC
INST. #2006017257

N/F
DYFN, LLC
INST. #2007017319

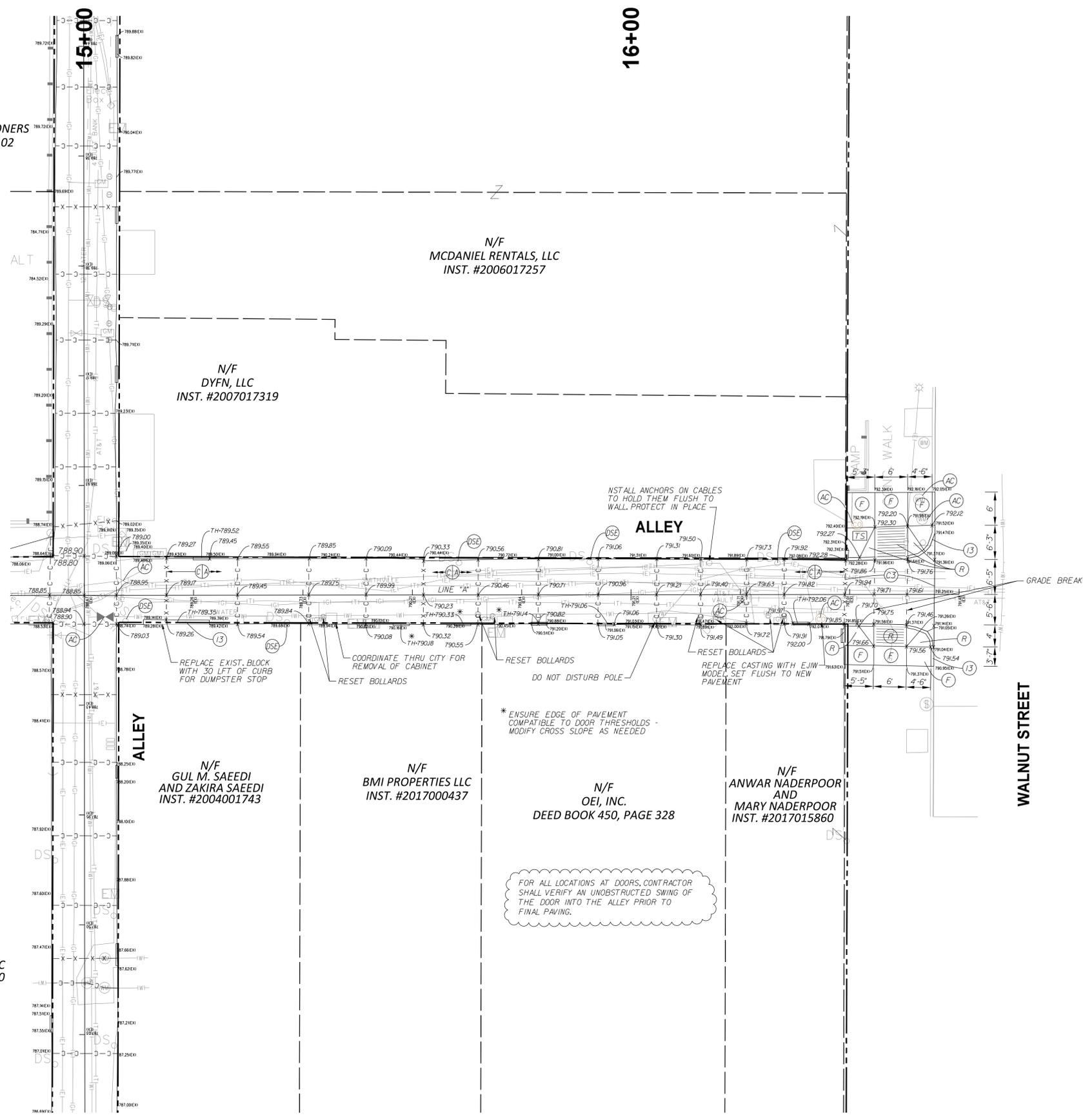
N/F
GUL M. SAEEDI
AND ZAKIRA SAEEDI
INST. #2004001743

N/F
BMI PROPERTIES LLC
INST. #2017000437

N/F
OEI, INC.
DEED BOOK 450, PAGE 328

N/F
ANWAR NADERPOOR
AND
MARY NADERPOOR
INST. #2017015860

N/F
STARDUST
DEVELOPMENT, LLC
INST. #2004027770



GRADING NOTES:

1. NEW PAVEMENTS SHALL GENERALLY BE BUILT TO THE GRADES GIVEN, BUT MINOR SPOT ADJUSTMENTS ARE NECESSARY TO MEET FIXED FEATURES, ESPECIALLY DOOR THRESHOLDS WHICH MUST BE MET ACROSS THE ENTIRE WIDTH OF THE OPENING.
2. CONTRACTOR SHALL SET THE LINES AS GIVEN THEN MAKE THESE MINOR ADJUSTMENTS TO BETTER MEET ADJACENT BUILDING FACES AND OTHER FEATURES. CONFIRM LAYOUT WITH ENGINEER PRIOR TO PLACING NEW PAVING.

LABELLING OF GRADES	
EXISTING GRADES IN SMALL TEXT	790.22(1)
PROPOSED GRADES IN LARGER TEXT	789.90

- LEGEND:**
- X - X - EXPANSION JOINT 3/4", FORMED AND SEALED
 - C - C - CONTRACTION JOINT, FORMED OR SAWED, AND SEALED
 - - - - - EXISTING R/W
 - (13) CONCRETE CURB
 - (AC) ADJUST CASTING TO GRADE
 - (C3) PCCP FOR APPROACHES, 9" ON 6" COMPACTED AGGREGATE NO. 5.5s (THESE AREAS TO BE CONCRETE - NO OPTION AVAILABLE)
 - (CA) AREA OF PAVEMENT MATERIAL OPTION (SEE TYPICAL DETAILS) - OWNER WILL SELECT BASED ON BID RESULTS
 - (DSE) DOWNSPOUT EXTENSION AND ELBOW TO GROUND
 - (F) CONCRETE SIDEWALK, 4" ON 4" COMPACTED AGGREGATE
 - (P) FULL DEPTH PATCHING
 - (R) RAMP AREA, CONCRETE

FOR ALL LOCATIONS AT DOORS, CONTRACTOR SHALL VERIFY AN UNOBSTRUCTED SWING OF THE DOOR INTO THE ALLEY PRIOR TO FINAL PAVING.

* ENSURE EDGE OF PAVEMENT COMPATIBLE TO DOOR THRESHOLDS - MODIFY CROSS SLOPE AS NEEDED

INSTALL ANCHORS ON CABLES TO HOLD THEM FLUSH TO WALL. PROTECT IN PLACE

REPLACE CASTING WITH EJM MODEL, SET FLUSH TO NEW PAVEMENT

COORDINATE THRU CITY FOR REMOVAL OF CABINET

REPLACE EXIST. BLOCK WITH 30' LFT OF CURB FOR DUMPSTER STOP

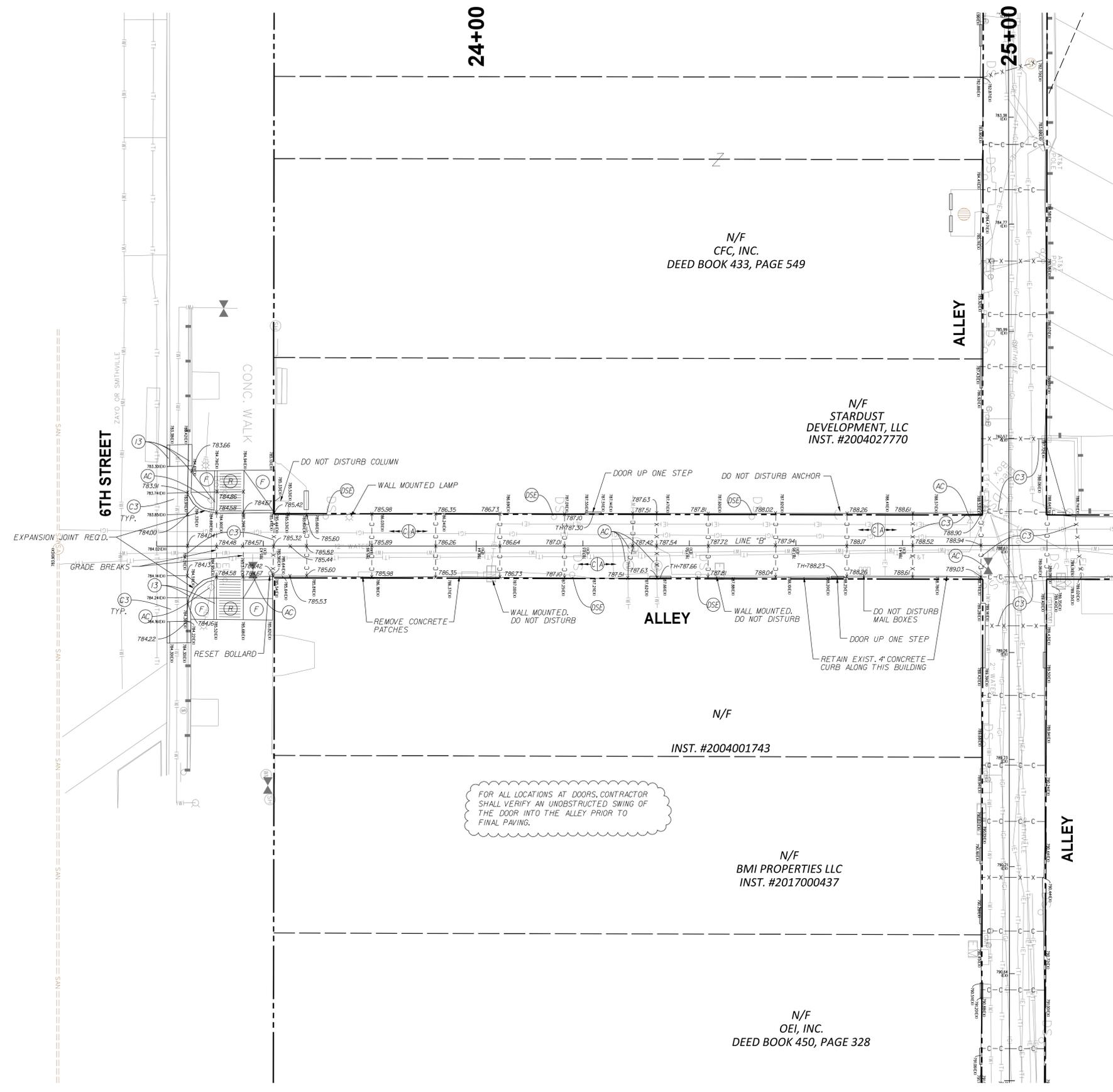
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12-4-19 AM
7/13/2020



RECOMMENDED FOR APPROVAL: *Bridgway* DESIGN ENGINEER 7-2-2020 DATE
DESIGNED: BR DRAWN: SCS
CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION
SITE AND GRADING PLAN
ALLEY A-2

HORIZONTAL SCALE	1"=10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	14 of 29 PROJECT



N/F
CFC, INC.
DEED BOOK 433, PAGE 549

N/F
STARDUST
DEVELOPMENT, LLC
INST. #2004027770

N/F
INST. #2004001743

N/F
BMI PROPERTIES LLC
INST. #2017000437

N/F
OEI, INC.
DEED BOOK 450, PAGE 328

FOR ALL LOCATIONS AT DOORS, CONTRACTOR SHALL VERIFY AN UNOBSTRUCTED SWING OF THE DOOR INTO THE ALLEY PRIOR TO FINAL PAVING.

GRADING NOTES:

- NEW PAVEMENTS SHALL GENERALLY BE BUILT TO THE GRADES GIVEN, BUT MINOR SPOT ADJUSTMENTS ARE NECESSARY TO MEET FIXED FEATURES, ESPECIALLY DOOR THRESHOLDS WHICH MUST BE MET ACROSS THE ENTIRE WIDTH OF THE OPENING.
- CONTRACTOR SHALL SET THE LINES AS GIVEN THEN MAKE THESE MINOR ADJUSTMENTS TO BETTER MEET ADJACENT BUILDING FACES AND OTHER FEATURES. CONFIRM LAYOUT WITH ENGINEER PRIOR TO PLACING NEW PAVING.

LABELLING OF GRADES	
EXISTING GRADES IN SMALL TEXT	796.225(1)
PROPOSED GRADES IN LARGER TEXT	789.90

- LEGEND:**
- X-X- EXPANSION JOINT 3/4", FORMED AND SEALED
 - C-C- CONTRACTION JOINT, FORMED OR SAWED, AND SEALED
 - EXISTING R/W
 - (I3) CONCRETE CURB
 - (AC) ADJUST CASTING TO GRADE
 - (C3) PCCP FOR APPROACHES, 9" ON 6" COMPACTED AGGREGATE, NO.53s (THESE AREAS TO BE CONCRETE - NO OPTION AVAILABLE)
 - (CA) AREA OF PAVEMENT MATERIAL OPTION (SEE TYPICAL DETAILS) - OWNER WILL SELECT BASED ON BID RESULTS
 - (DSE) DOWNSPOUT EXTENSION AND ELBOW TO GROUND
 - (F) CONCRETE SIDEWALK, 4" ON 4" COMPACTED AGGREGATE
 - (P) FULL DEPTH PATCHING
 - (R) RAMP AREA, CONCRETE

6R-03
 7/13/2020
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RECOMMENDED FOR APPROVAL	<i>B. Ridgway</i>	7-2-2020
DESIGNED:	BR	DATE
DRAWN:	SCS	
CHECKED:	MT	

CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION

SITE AND GRADING PLAN
ALLEY B-1

HORIZONTAL SCALE	1"=10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	15 of 29
	PROJECT



N/F
CFC, INC.
DEED BOOK 433, PAGE 549

N/F
STARDUST
DEVELOPMENT, LLC
INST. #2004027770

N/F
GUL M. SAEEDI
AND ZAKIRA SAEEDI
INST. #2004001743

N/F
BMI PROPERTIES LLC
INST. #2017000437

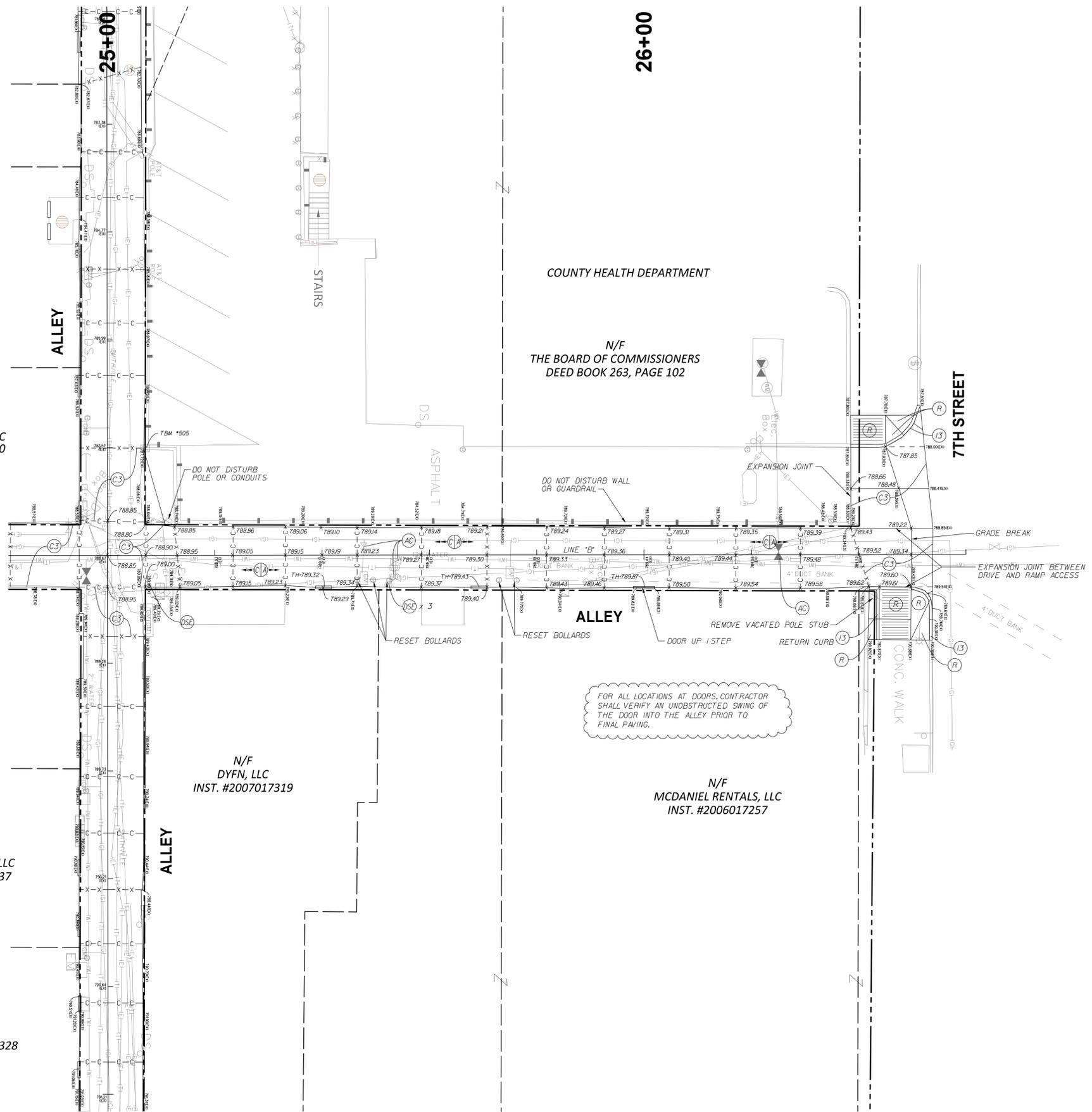
N/F
OEI, INC.
DEED BOOK 450, PAGE 328

N/F
DYFN, LLC
INST. #2007017319

N/F
MCDANIEL RENTALS, LLC
INST. #2006017257

COUNTY HEALTH DEPARTMENT

N/F
THE BOARD OF COMMISSIONERS
DEED BOOK 263, PAGE 102



GRADING NOTES:

- NEW PAVEMENTS SHALL GENERALLY BE BUILT TO THE GRADES GIVEN, BUT MINOR SPOT ADJUSTMENTS ARE NECESSARY TO MEET FIXED FEATURES, ESPECIALLY DOOR THRESHOLDS WHICH MUST BE MET ACROSS THE ENTIRE WIDTH OF THE OPENING.
- CONTRACTOR SHALL SET THE LINES AS GIVEN THEN MAKE THESE MINOR ADJUSTMENTS TO BETTER MEET ADJACENT BUILDING FACES AND OTHER FEATURES. CONFIRM LAYOUT WITH ENGINEER PRIOR TO PLACING NEW PAVING.

FOR ALL LOCATIONS AT DOORS, CONTRACTOR SHALL VERIFY AN UNOBSTRUCTED SWING OF THE DOOR INTO THE ALLEY PRIOR TO FINAL PAVING.

LABELLING OF GRADES	
EXISTING GRADES IN SMALL TEXT	789.22E(1)
PROPOSED GRADES IN LARGER TEXT	789.90

- LEGEND:**
- X - X - EXPANSION JOINT 3/4" FORMED AND SEALED
 - C - C - CONTRACTION JOINT, FORMED OR SAWED, AND SEALED
 - - - - - EXISTING R/W
 - (13) CONCRETE CURB
 - (AC) ADJUST CASTING TO GRADE
 - (C3) PCCP FOR APPROACHES, 9" ON 6" COMPACTED AGGREGATE NO.53s (THESE AREAS TO BE CONCRETE - NO OPTION AVAILABLE)
 - (CA) AREA OF PAVEMENT MATERIAL OPTION (SEE TYPICAL DETAILS) - OWNER WILL SELECT BASED ON BID RESULTS
 - (DSE) DOWNSPOUT EXTENSION AND ELBOW TO GROUND
 - (F) CONCRETE SIDEWALK, 4" ON 4" COMPACTED AGGREGATE
 - (P) FULL DEPTH PATCHING
 - (R) RAMP AREA, CONCRETE

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RECOMMENDED FOR APPROVAL: *B. Ridgway* DESIGN ENGINEER 7-2-2020 DATE

DESIGNED: BR DRAWN: SCS
CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION

SITE AND GRADING PLAN
ALLEY B-2

HORIZONTAL SCALE	1"=10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	16 of 29
	PROJECT

N/F
OMEGA MASTER BOND, LLC
INST. #2012005280

N/F
BLUEBIRD PROPERTIES, LLC
INST. #2004016090

N/F
OMEGA MASTER, LLC
INST. #2017014920

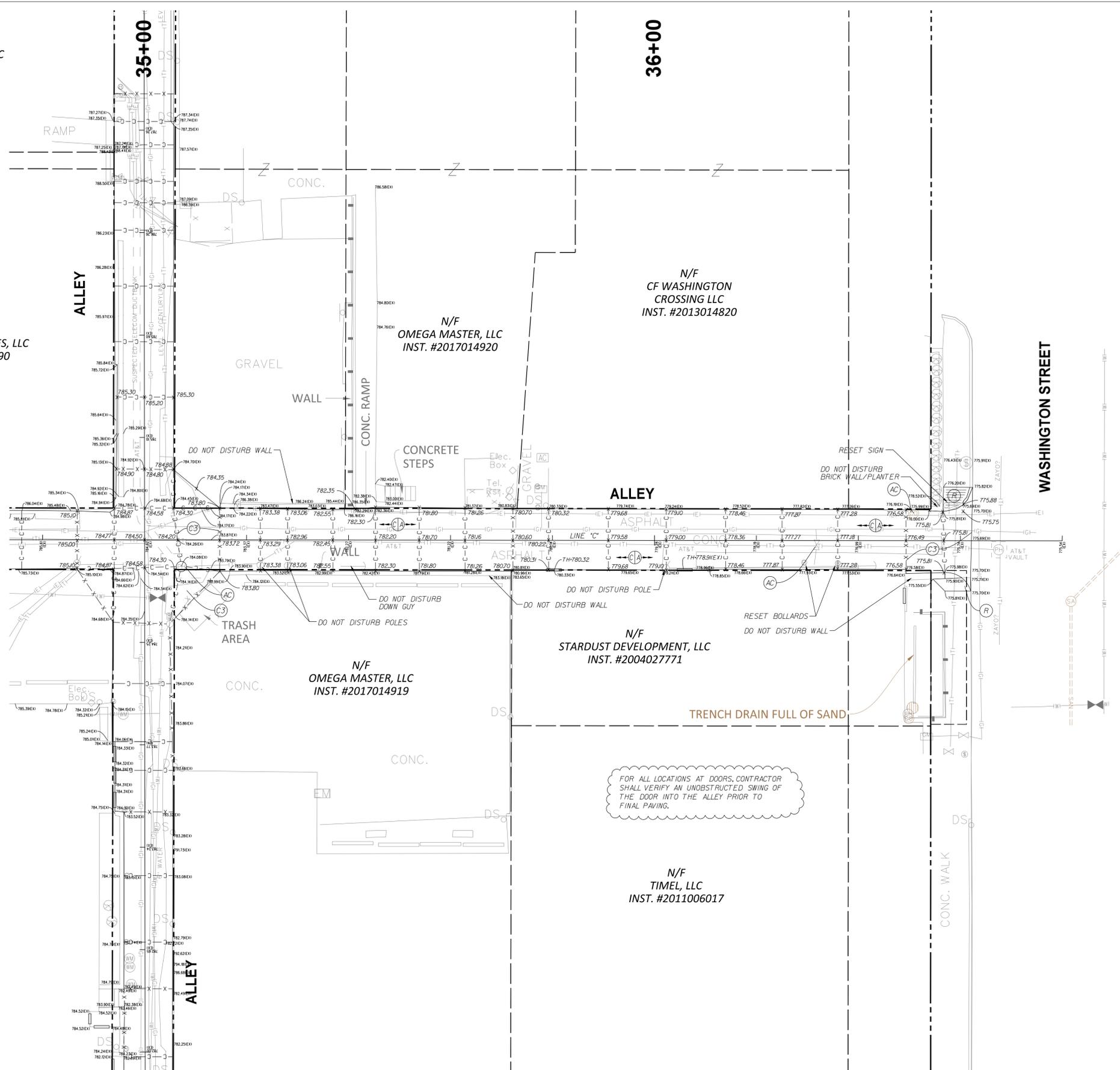
N/F
CF WASHINGTON
CROSSING LLC
INST. #2013014820

N/F
OMEGA MASTER, LLC
INST. #2017014919

N/F
STARDUST DEVELOPMENT, LLC
INST. #2004027771

N/F
TIMEL, LLC
INST. #2011006017

UNITS OF THE TOWN
MANOR CONDOMINIUMS
& COMMON AREAS AND
FACILITIES



GRADING NOTES:

- NEW PAVEMENTS SHALL GENERALLY BE BUILT TO THE GRADES GIVEN, BUT MINOR SPOT ADJUSTMENTS ARE NECESSARY TO MEET FIXED FEATURES, ESPECIALLY DOOR THRESHOLDS WHICH MUST BE MET ACROSS THE ENTIRE WIDTH OF THE OPENING.
- CONTRACTOR SHALL SET THE LINES AS GIVEN THEN MAKE THESE MINOR ADJUSTMENTS TO BETTER MEET ADJACENT BUILDING FACES AND OTHER FEATURES. CONFIRM LAYOUT WITH ENGINEER PRIOR TO PLACING NEW PAVING.

LABELLING OF GRADES	
EXISTING GRADES IN SMALL TEXT	780.20E1
PROPOSED GRADES IN LARGER TEXT	789.90

- LEGEND:**
- X - X - EXPANSION JOINT 3/4" FORMED AND SEALED
 - C - C - CONTRACTION JOINT, FORMED OR SAWED, AND SEALED
 - - - - - EXISTING R/W
 - (13) CONCRETE CURB
 - (AC) ADJUST CASTING TO GRADE
 - (C3) PCCP FOR APPROACHES, 9" ON 6" COMPACTED AGGREGATE NO. 53s (THESE AREAS TO BE CONCRETE - NO OPTION AVAILABLE)
 - (CA) AREA OF PAVEMENT MATERIAL OPTION (SEE TYPICAL DETAILS) - OWNER WILL SELECT BASED ON BID RESULTS
 - (DSE) DOWNSPOUT EXTENSION AND ELBOW TO GROUND
 - (F) CONCRETE SIDEWALK, 4" ON 4" COMPACTED AGGREGATE
 - (P) FULL DEPTH PATCHING
 - (R) RAMP AREA, CONCRETE

FOR ALL LOCATIONS AT DOORS, CONTRACTOR SHALL VERIFY AN UNOBSTRUCTED SWING OF THE DOOR INTO THE ALLEY PRIOR TO FINAL PAVING.

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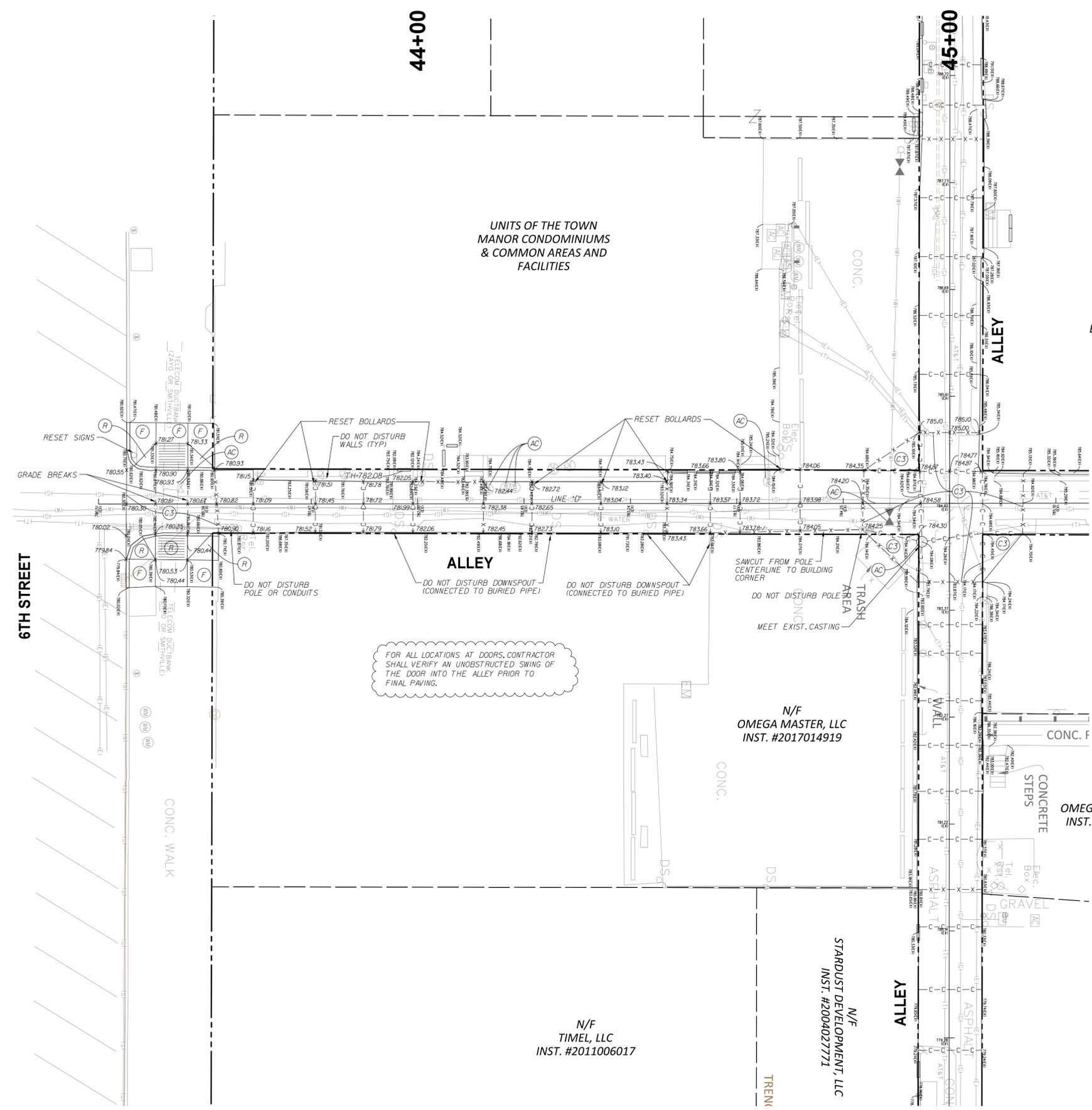
RECOMMENDED FOR APPROVAL: *B. Ridgway* DESIGN ENGINEER 7-2-2020 DATE

DESIGNED: BR DRAWN: SCS
CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION

SITE AND GRADING PLAN
ALLEY C-2

HORIZONTAL SCALE	1"=10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	18 of 29
	PROJECT



GRADING NOTES:

- NEW PAVEMENTS SHALL GENERALLY BE BUILT TO THE GRADES GIVEN, BUT MINOR SPOT ADJUSTMENTS ARE NECESSARY TO MEET FIXED FEATURES, ESPECIALLY DOOR THRESHOLDS WHICH MUST BE MET ACROSS THE ENTIRE WIDTH OF THE OPENING.
- CONTRACTOR SHALL SET THE LINES AS GIVEN THEN MAKE THESE MINOR ADJUSTMENTS TO BETTER MEET ADJACENT BUILDING FACES AND OTHER FEATURES. CONFIRM LAYOUT WITH ENGINEER PRIOR TO PLACING NEW PAVING.

LABELLING OF GRADES	
EXISTING GRADES IN SMALL TEXT	780.210X
PROPOSED GRADES IN LARGER TEXT	789.90

- LEGEND:**
- X - X - EXPANSION JOINT 3/4" FORMED AND SEALED
 - C - C - CONTRACTION JOINT, FORMED OR SAWED, AND SEALED
 - - - - - EXISTING R/W
 - (13) CONCRETE CURB
 - (AC) ADJUST CASTING TO GRADE
 - (C3) PCCP FOR APPROACHES, 9" ON 6" COMPACTED AGGREGATE NO. 53s (THESE AREAS TO BE CONCRETE - NO OPTION AVAILABLE)
 - (CA) AREA OF PAVEMENT MATERIAL OPTION (SEE TYPICAL DETAILS) - OWNER WILL SELECT BASED ON BID RESULTS
 - (DSE) DOWNSPOUT EXTENSION AND ELBOW TO GROUND
 - (F) CONCRETE SIDEWALK, 4" ON 4" COMPACTED AGGREGATE
 - (P) FULL DEPTH PATCHING
 - (R) RAMP AREA, CONCRETE

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RECOMMENDED FOR APPROVAL: *Bridgway* DESIGN ENGINEER DATE: 7-2-2020

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

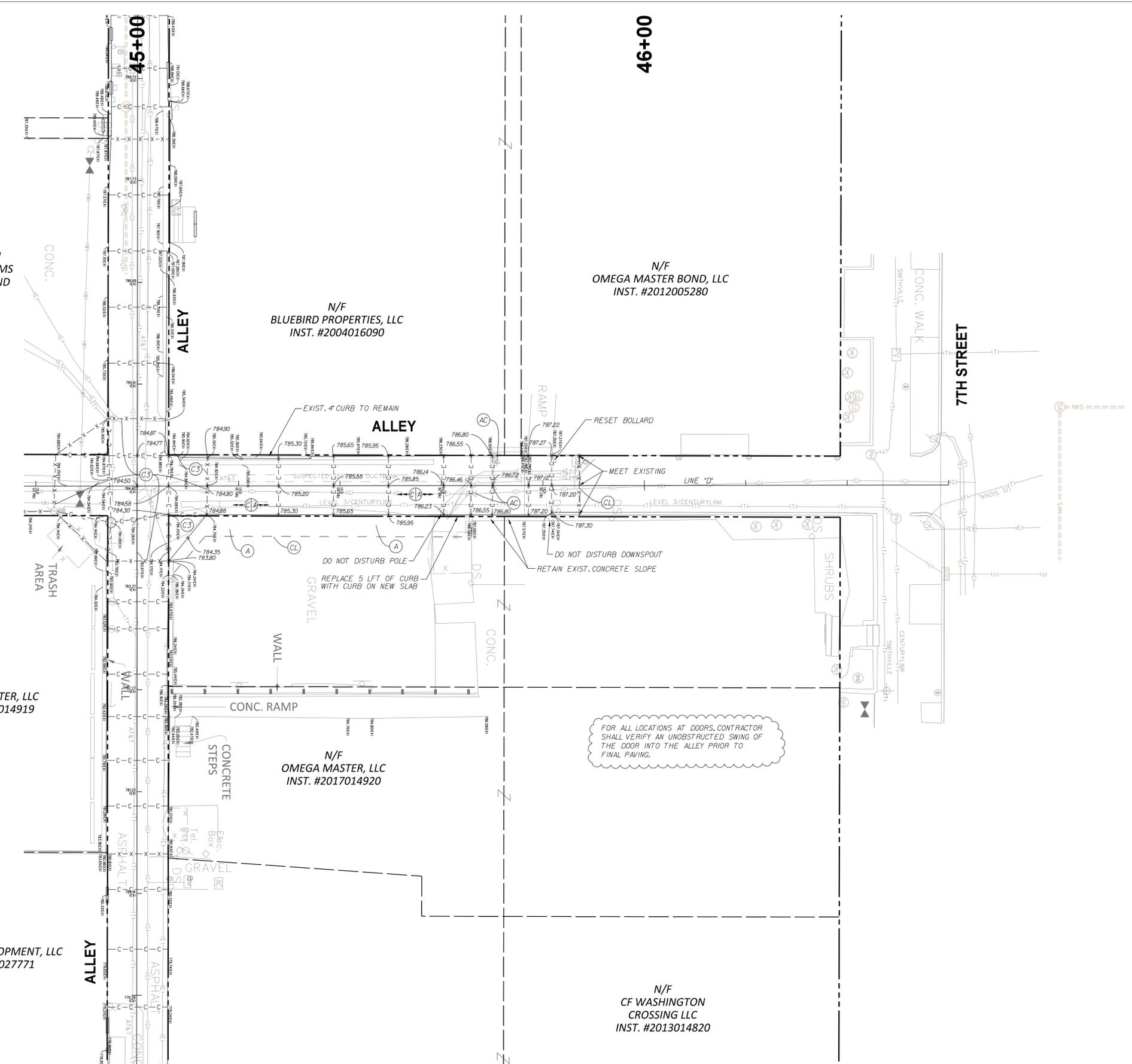
CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

SITE AND GRADING PLAN
 ALLEY D-1

HORIZONTAL SCALE	1"=10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	19 of 29
	PROJECT



UNITS OF THE TOWN
MANOR CONDOMINIUMS
& COMMON AREAS AND
FACILITIES



GRADING NOTES:

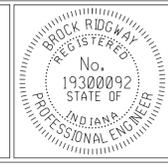
1. NEW PAVEMENTS SHALL GENERALLY BE BUILT TO THE GRADES GIVEN, BUT MINOR SPOT ADJUSTMENTS ARE NECESSARY TO MEET FIXED FEATURES, ESPECIALLY DOOR THRESHOLDS WHICH MUST BE MET ACROSS THE ENTIRE WIDTH OF THE OPENING.
2. CONTRACTOR SHALL SET THE LINES AS GIVEN THEN MAKE THESE MINOR ADJUSTMENTS TO BETTER MEET ADJACENT BUILDING FACES AND OTHER FEATURES. CONFIRM LAYOUT WITH ENGINEER PRIOR TO PLACING NEW PAVING.

FOR ALL LOCATIONS AT DOORS, CONTRACTOR SHALL VERIFY AN UNOBSTRUCTED SWING OF THE DOOR INTO THE ALLEY PRIOR TO FINAL PAVING.

LABELLING OF GRADES	
EXISTING GRADES IN SMALL TEXT	789.20
PROPOSED GRADES IN LARGER TEXT	789.90

- LEGEND:**
- X - X - EXPANSION JOINT 3/4", FORMED AND SEALED
 - C - C - CONTRACTION JOINT, FORMED OR SAWED, AND SEALED
 - - - - - EXISTING R/W
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 - (C3) PCCP FOR APPROACHES, 9" ON 6" COMPACTED AGGREGATE NO. 53s (THESE AREAS TO BE CONCRETE - NO OPTION AVAILABLE)
 - (CA) AREA OF PAVEMENT MATERIAL OPTION (SEE TYPICAL DETAILS) - OWNER WILL SELECT BASED ON BID RESULTS
 - (DSE) DOWNSPOUT EXTENSION AND ELBOW TO GROUND
 - (F) CONCRETE SIDEWALK, 4" ON 4" COMPACTED AGGREGATE
 - (P) FULL DEPTH PATCHING
 - (R) RAMP AREA, CONCRETE

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 7/13/2020



RECOMMENDED FOR APPROVAL: *B. Ridgway* DESIGN ENGINEER DATE: 7-2-2020

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION

SITE AND GRADING PLAN
ALLEY D-2

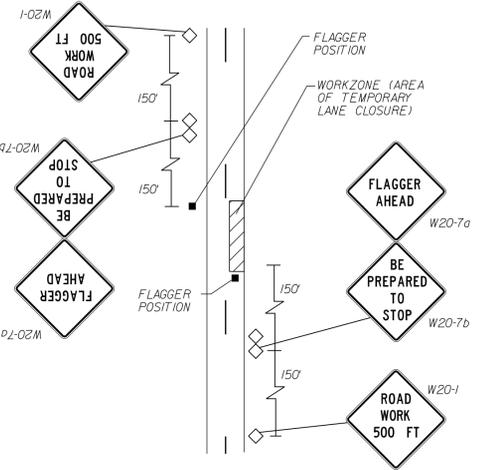
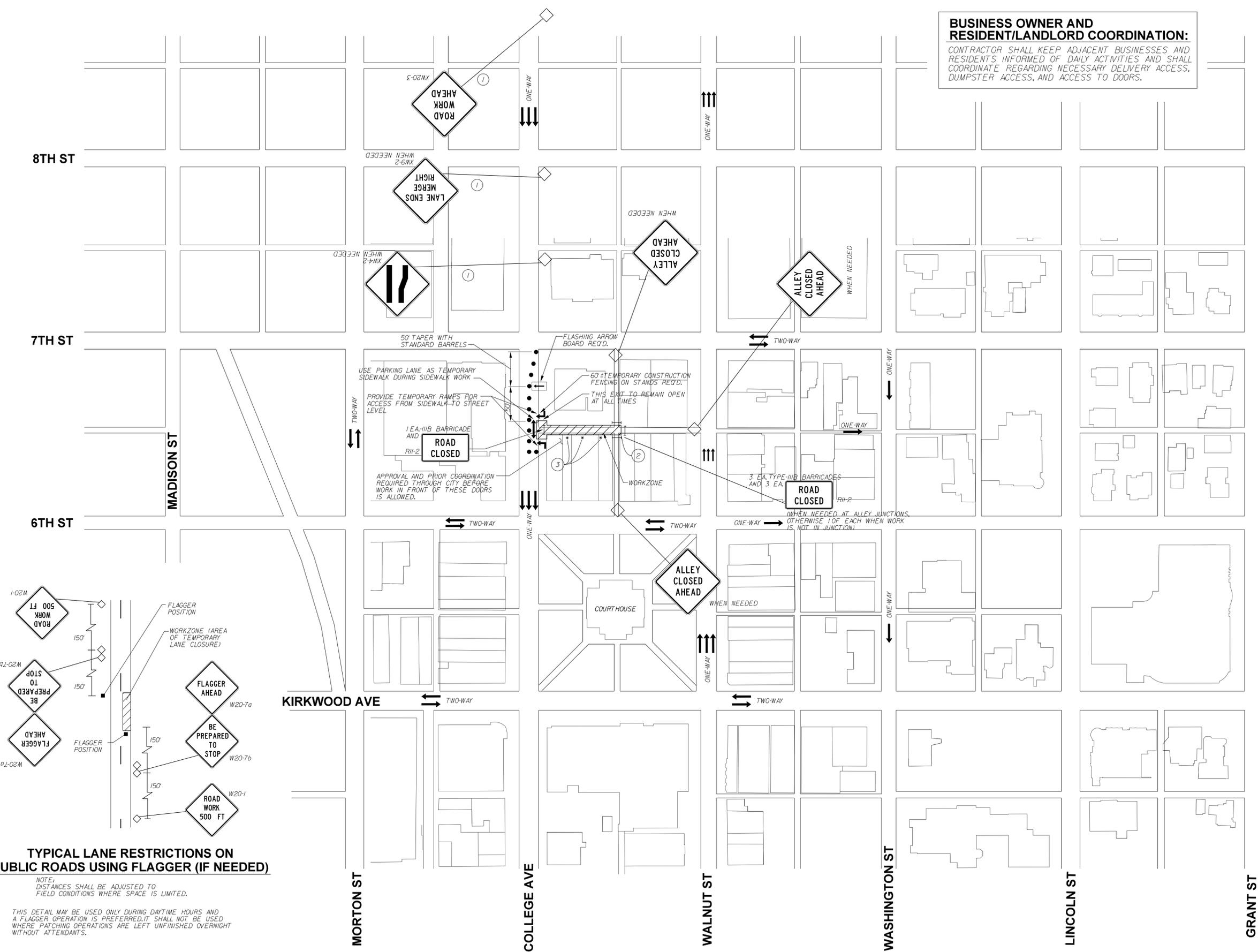
HORIZONTAL SCALE	1"=10'-0"
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	20 of 29
	PROJECT

BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF COLLEGE AVENUE SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE SOUTHBOUND LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF COLLEGE AVENUE IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS. FOR CONCRETE CURING, CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE EAST SIDE OF COLLEGE AVENUE ENTIRELY, POST:

SIDEWALK CLOSED AHEAD
 USE OTHER SIDE

 AT ADJACENT INTERSECTIONS.



TYPICAL LANE RESTRICTIONS ON PUBLIC ROADS USING FLAGGER (IF NEEDED)

NOTE: DISTANCES SHALL BE ADJUSTED TO FIELD CONDITIONS WHERE SPACE IS LIMITED.
 THIS DETAIL MAY BE USED ONLY DURING DAYTIME HOURS AND A FLAGGER OPERATION IS PREFERRED. IT SHALL NOT BE USED WHERE PATCHING OPERATIONS ARE LEFT UNFINISHED OVERNIGHT WITHOUT ATTENDANTS.

MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).

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MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS			
	CONSTRUCTION SIGNS (SHAPE PER MUTCD)		INLET PROTECTION CURB
	TRAFFIC FLOW DIRECTION		CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
	FLASHING ARROW SIGN		WORKZONE

BROCK RIDGWAY
 REGISTERED
 No. 19300092
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

RECOMMENDED FOR APPROVAL: *B. Ridgway* 7-2-2020 DATE

DESIGNED: BR DRAWN: SCS

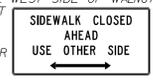
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CITY OF BLOOMINGTON
PLANNING AND TRANSPORTATION
MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
ALLEY A-1

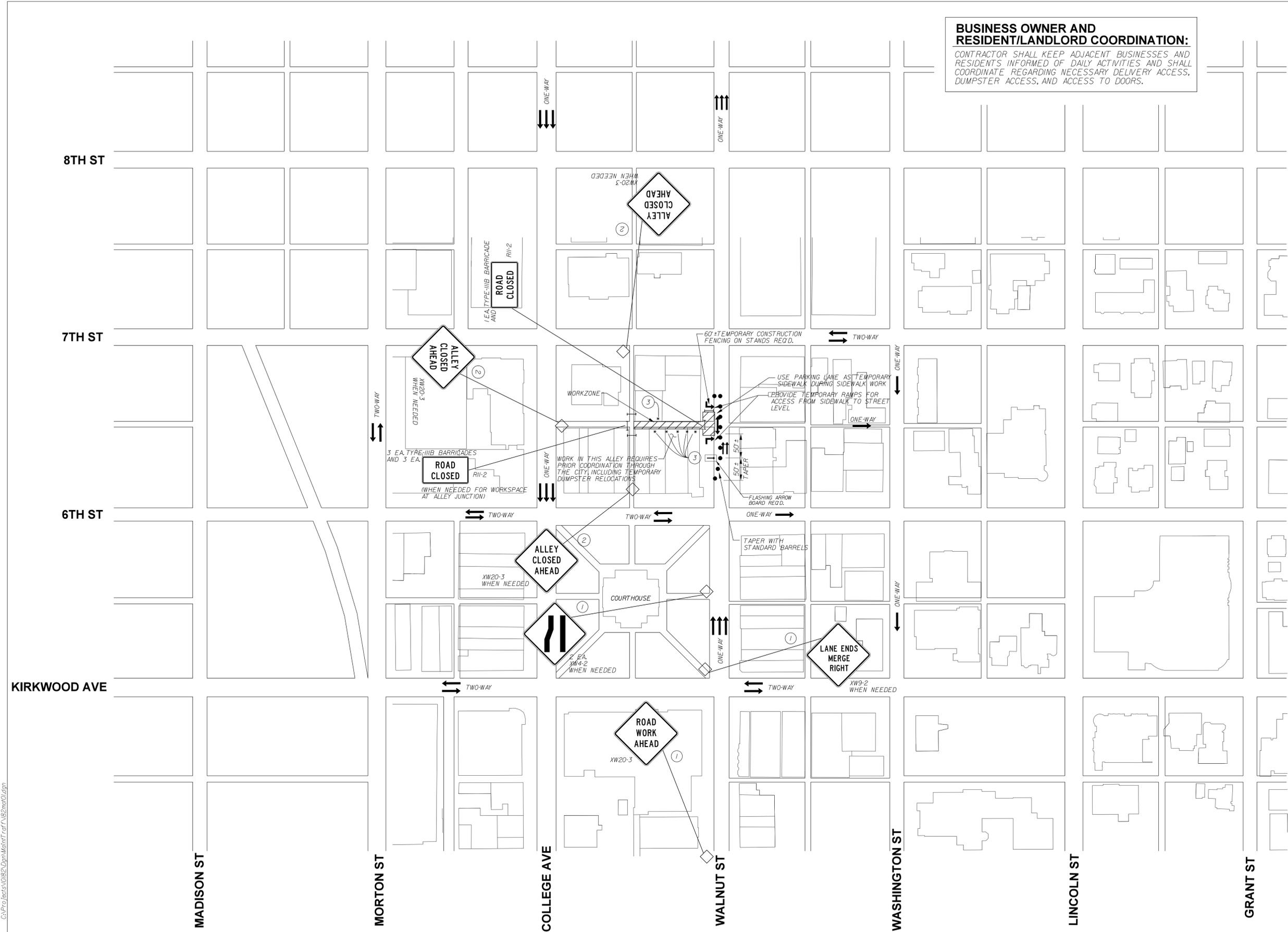
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VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	21 of 29 PROJECT

BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF WALNUT STREET SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE NORTHBOUND LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF WALNUT STREET IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS FOR CONCRETE CURING. CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE WEST SIDE OF WALNUT STREET ENTIRELY, POST



R9-10 OR R9-11
 AT ADJACENT INTERSECTIONS.



MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).

MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS

	CONSTRUCTION SIGNS (SHAPE PER MUTCD)		INLET PROTECTION, CURB
	TRAFFIC FLOW DIRECTION		CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
	FLASHING ARROW SIGN		WORKZONE

PROCK RIDGWAY REGISTERED
 No. 19300292
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

RECOMMENDED FOR APPROVAL: *[Signature]* 7-2-2020 DATE
 DESIGN ENGINEER

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
 ALLEY A-2

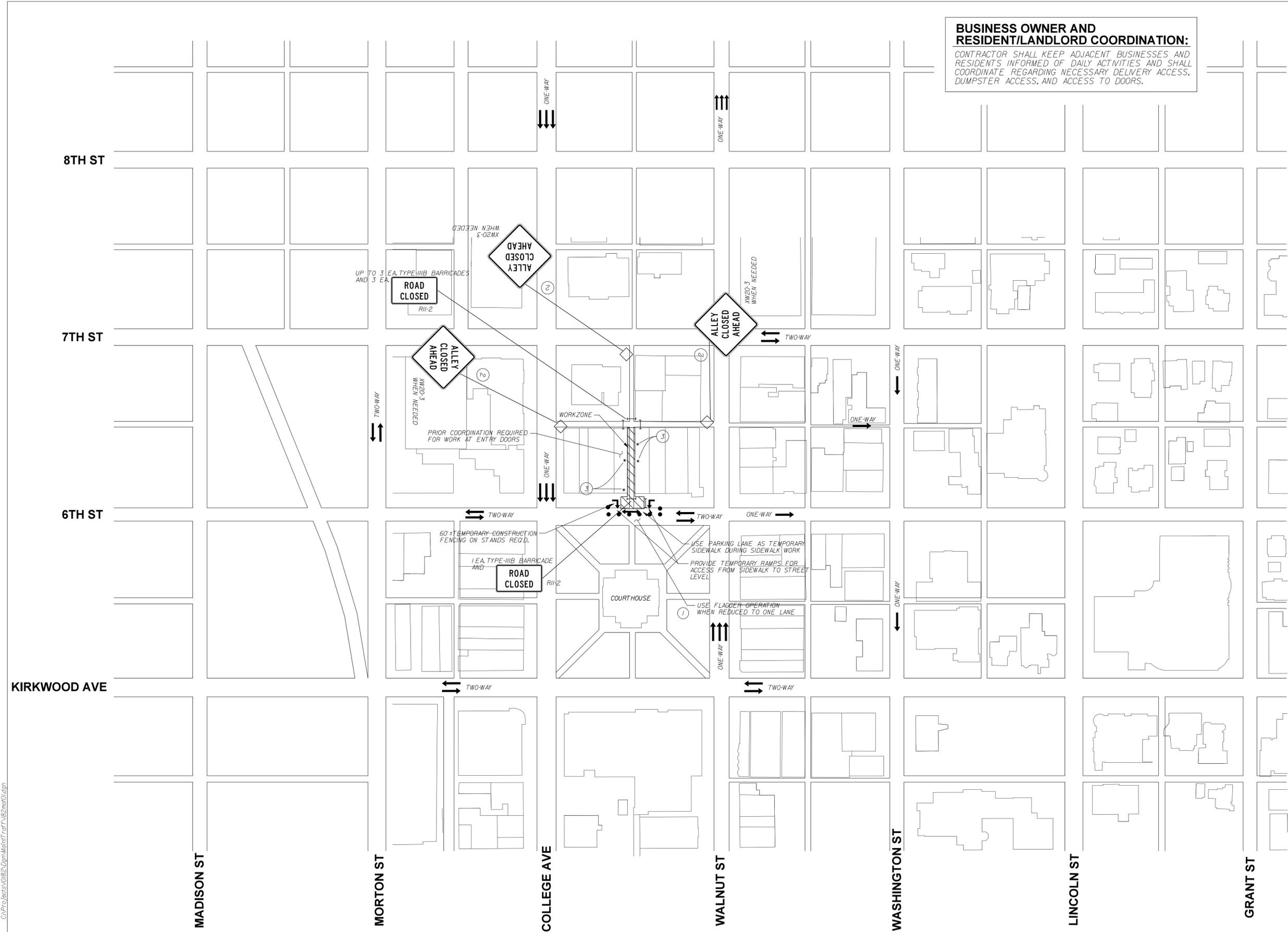
HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	22 of 29 PROJECT

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BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF 6TH STREET SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE NORTHBOUND LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF 6TH STREET IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS. FOR CONCRETE CURING, CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE NORTH SIDE OF 6TH STREET ENTIRELY, POST

 AT ADJACENT INTERSECTIONS.



MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).

MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS

	CONSTRUCTION SIGNS (SHAPE PER MUTCD)		INLET PROTECTION, CURB
	TRAFFIC FLOW DIRECTION		CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
	FLASHING ARROW SIGN		WORKZONE



RECOMMENDED FOR APPROVAL: *B. Ridgway* 7-2-2020 DATE
 DESIGN ENGINEER
 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
 ALLEY B-1

HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	23 of 29 PROJECT

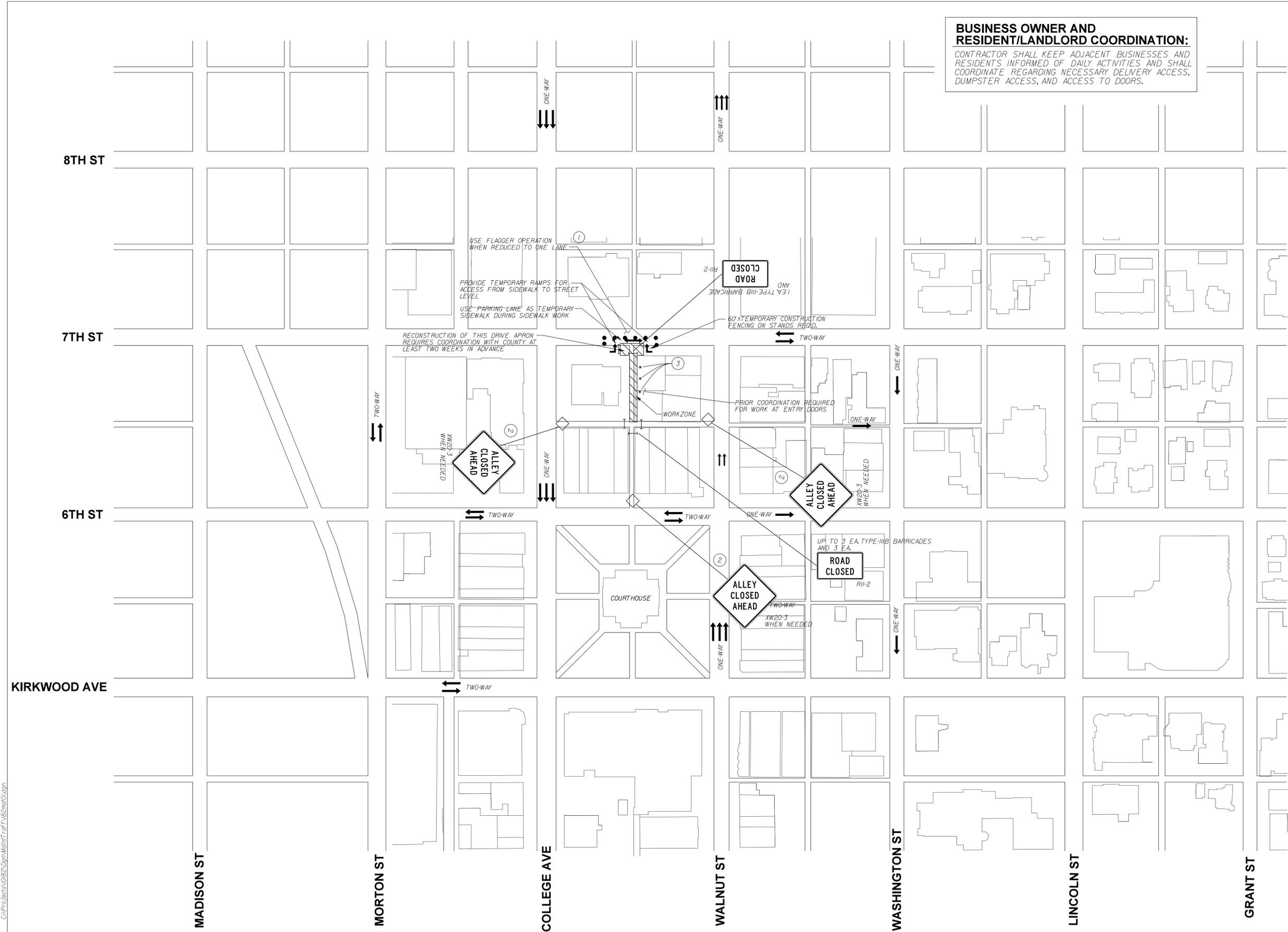
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BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF 7TH STREET SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF 7TH STREET IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS. FOR CONCRETE CURING, CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE SOUTH SIDE OF 7TH STREET ENTIRELY, POST

SIDEWALK CLOSED AHEAD
 USE OTHER SIDE

 AT ADJACENT INTERSECTIONS.



MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).

MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS

	CONSTRUCTION SIGNS (SHAPE PER MUTCD)		INLET PROTECTION, CURB
	TRAFFIC FLOW DIRECTION		CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
	FLASHING ARROW SIGN		WORKZONE

PROCK RIDGWAY REGISTERED
 No. 19300092
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

RECOMMENDED FOR APPROVAL: *[Signature]* 7-2-2020 DATE
 DESIGN ENGINEER

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
 ALLEY B-2

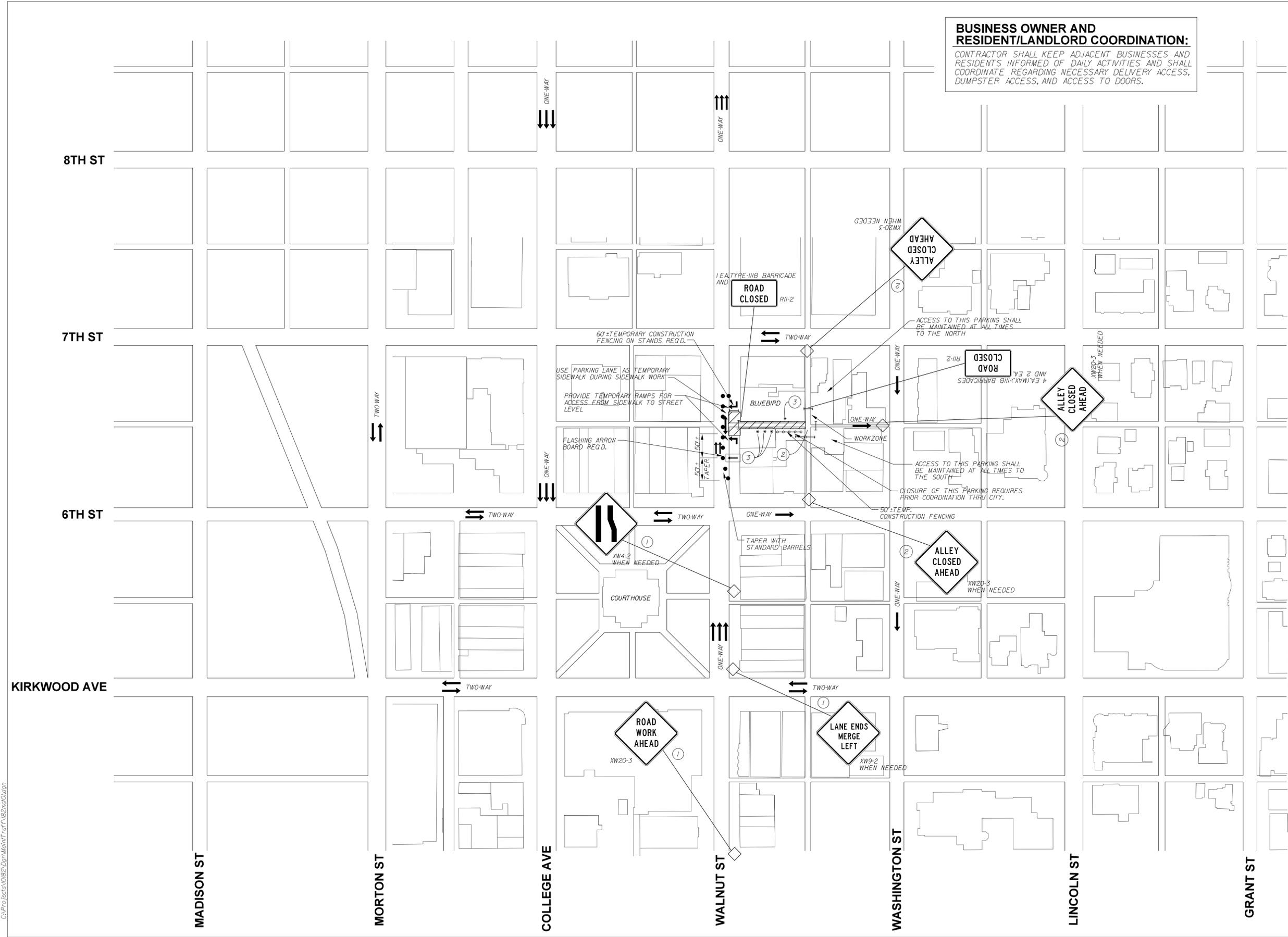
HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	24 of 29 PROJECT

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BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF WALNUT STREET SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE NORTHBOUND LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF WALNUT STREET IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF. CONTRACTOR SHALL FACILITATE ACCESS TO THE PARKING AREAS SO NOTED. ONLY THE PARKING AREA DIRECTLY SOUTH OF THE ALLEY WORK SHALL BE CLOSED AND ONLY AFTER PRIOR COORDINATION WITH CITY.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS. FOR CONCRETE CURING, CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE EAST SIDE OF WALNUT STREET ENTIRELY, POST

 AT ADJACENT INTERSECTIONS.



MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).

MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS

	CONSTRUCTION SIGNS (SHAPE PER MUTCD)		INLET PROTECTION, CURB
	TRAFFIC FLOW DIRECTION		CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
	FLASHING ARROW SIGN		WORKZONE

PROCK RIDGWAY REGISTERED No. 19300092 STATE OF INDIANA PROFESSIONAL ENGINEER

RECOMMENDED FOR APPROVAL *[Signature]* 7-2-2020 DATE
 DESIGN ENGINEER

DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION

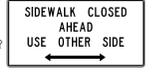
MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
 ALLEY C-1

HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	25 of 29 PROJECT

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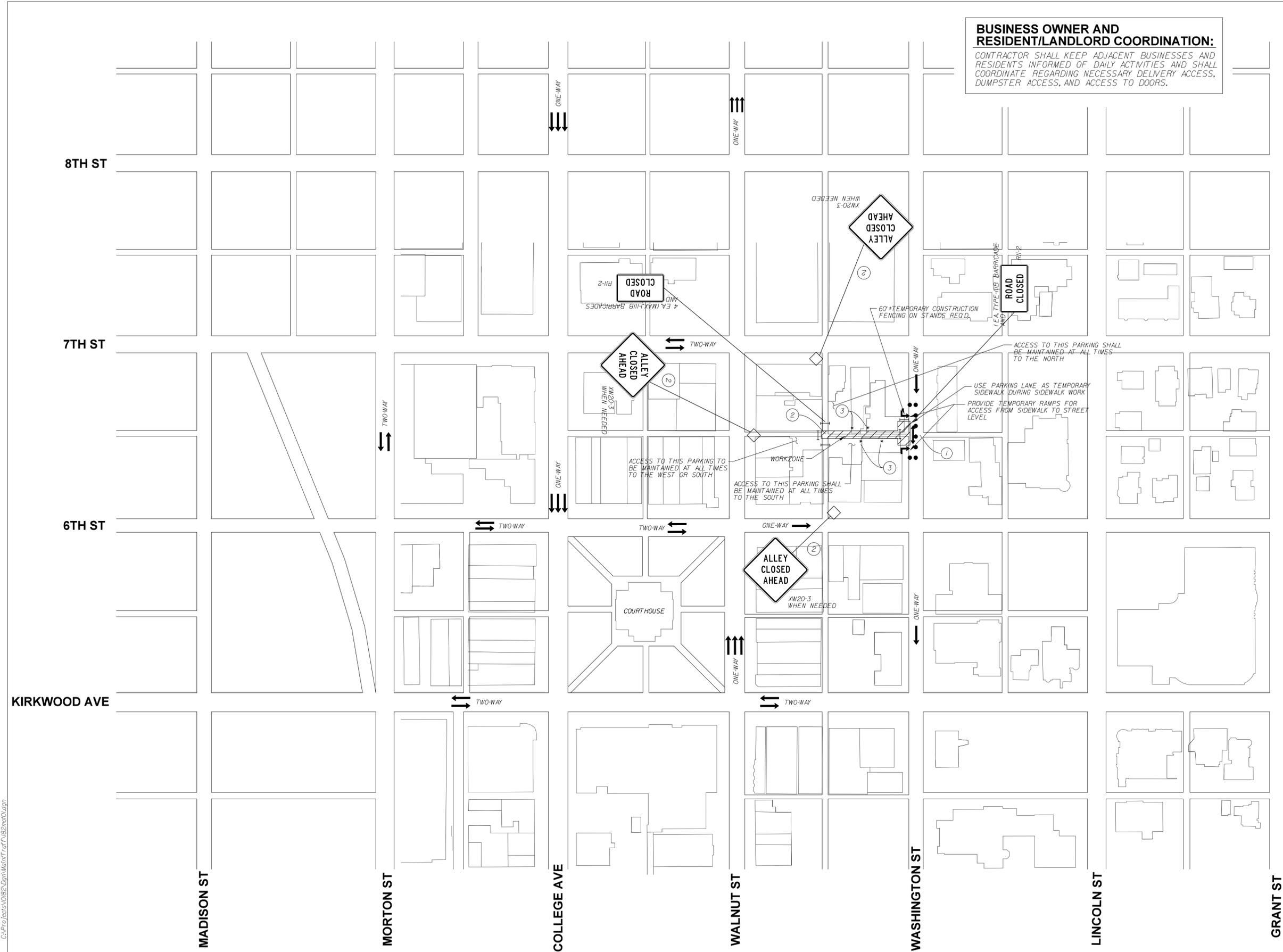
BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF WASHINGTON STREET SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF WASHINGTON STREET IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF. CONTRACTOR SHALL FACILITATE ACCESS TO THE PARKING AREAS SO NOTED. ONLY THE PARKING AREA DIRECTLY SOUTH OF THE ALLEY WORK SHALL BE CLOSED AND ONLY AFTER PRIOR COORDINATION WITH CITY.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS. FOR CONCRETE CURING, CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE WEST SIDE OF WASHINGTON STREET ENTIRELY, POST



R9-10 OR R9-11
 AT ADJACENT INTERSECTIONS.

MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).



MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS

- ◇ CONSTRUCTION SIGNS (SHAPE PER MUTCD)
- TRAFFIC FLOW DIRECTION
- ⚡ FLASHING ARROW SIGN
- ⊙ INLET PROTECTION, CURB
- Ⓞ CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
- ▨ WORKZONE



RECOMMENDED FOR APPROVAL: *B. Ridgway* 7-2-2020 DATE
 DESIGN ENGINEER
 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
 ALLEY C-2

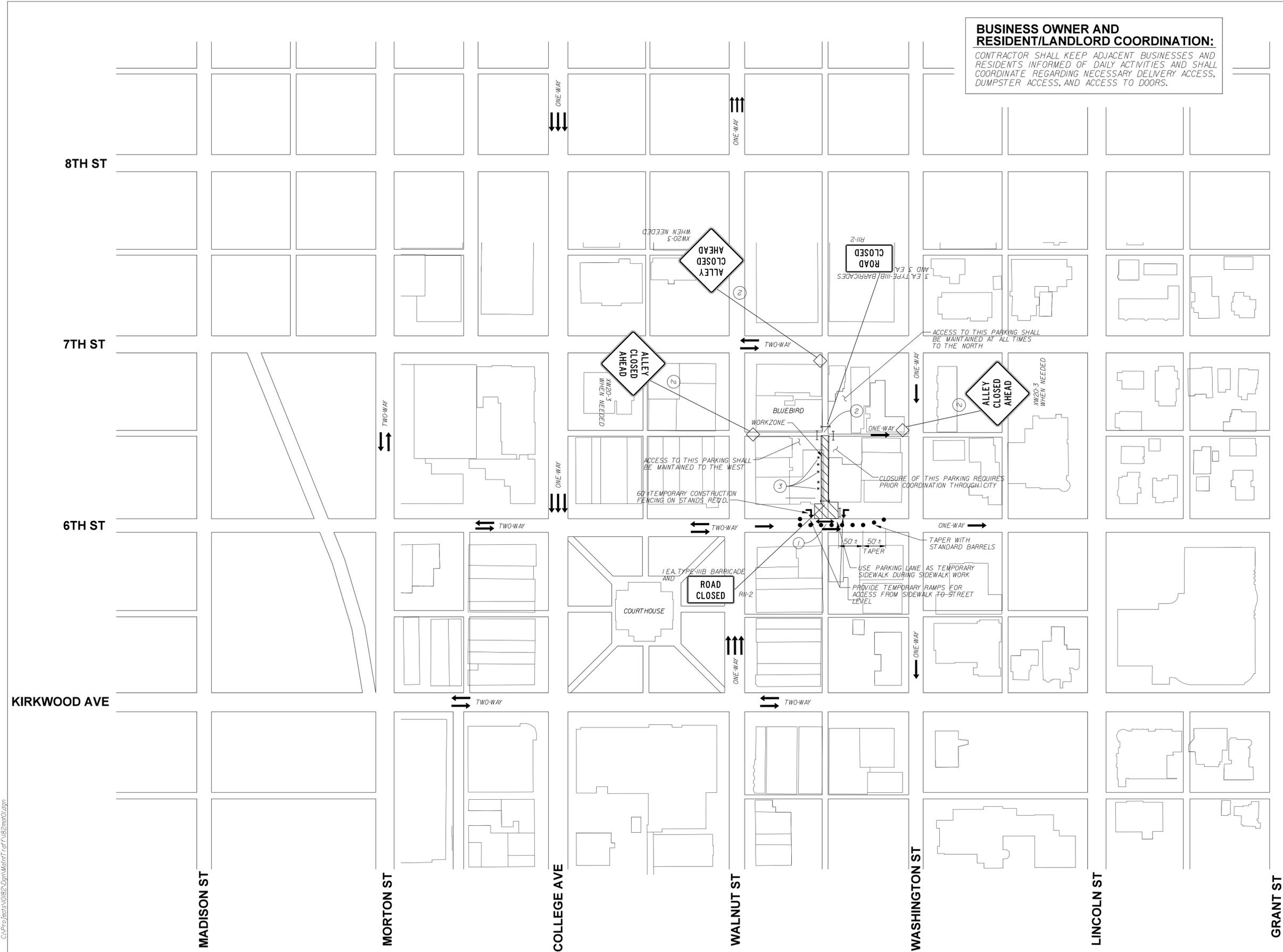
HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	26 of 29 PROJECT

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BUSINESS OWNER AND RESIDENT/LANDLORD COORDINATION:
 CONTRACTOR SHALL KEEP ADJACENT BUSINESSES AND RESIDENTS INFORMED OF DAILY ACTIVITIES AND SHALL COORDINATE REGARDING NECESSARY DELIVERY ACCESS, DUMPSTER ACCESS, AND ACCESS TO DOORS.

- NOTES:**
- CLOSURE OF 6TH STREET SHALL BE LIMITED TO THE PARKING LANE WHENEVER PRACTICABLE. CLOSURE OF ONE LANE IS ALLOWED WHEN WORK IS BEING PERFORMED AT EDGE OF 6TH STREET IN THE SIDEWALKS AND APPROACH AREAS.
 - CLOSURE OF THE ALLEY JUNCTION SHALL BE LIMITED TO WORK HOURS EXCEPT FOR CURING TIME IN THE JUNCTION ITSELF. CONTRACTOR SHALL FACILITATE ACCESS TO THE PARKING AREAS SO NOTED. ONLY THE PARKING AREA DIRECTLY SOUTH OF THE ALLEY WORK SHALL BE CLOSED AND ONLY AFTER PRIOR COORDINATION WITH CITY.
 - DOOR EXITS MUST BE AVAILABLE FOR EMERGENCY USE AT ALL TIMES WITHOUT EXCEPTIONS. CONTRACTOR SHALL PROVIDE TEMPORARY WOODEN STEPS WITH A HAND RAIL WHEN PAVEMENT HAS BEEN REMOVED IN FRONT OF THESE DOORS, ESPECIALLY DURING NON-WORK HOURS. BUSINESS OWNER COORDINATION IS REQUIRED IN ADVANCE OF PAVING IN FRONT OF DOORS. FOR CONCRETE CURING, CONTRACTOR WILL PROVIDE A TEMPORARY WALK OVER THE CURING CONCRETE USING SCAFFOLD LANDING SECTIONS OR SIMILAR MEASURES UNTIL CONCRETE CAN SUPPORT FOOT TRAFFIC WITHOUT DAMAGE.
 - WHEN WORK AND EQUIPMENT ARE EXPECTED TO BLOCK THE NORTH SIDE OF 6TH STREET ENTIRELY, POST

 AT ADJACENT INTERSECTIONS.



MAINTENANCE OF TRAFFIC AND ACCESS IS PRESENTED IN HALF-ALLEY SECTIONS THAT ARE INDEPENDENT OF EACH OTHER. CONTRACTOR MAY PROPOSE TO BUILD IN MULTIPLE AREAS SIMULTANEOUSLY, SUBJECT TO CITY APPROVAL AFTER A REVIEW OF THE COORDINATION OF MULTIPLE CLOSURE AREAS AND THE UNIQUE REQUIREMENTS FOR ACCESS IN EACH SECTION. CONTRACTOR MUST HAVE SUFFICIENT SIGNAGE AND RESOURCES AVAILABLE TO ACTIVELY WORK MULTIPLE AREAS (AREAS THAT ARE NOT UNDER ACTIVE CONSTRUCTION SHALL BE KEPT OPEN OR REOPENED AS APPROPRIATE TO MAXIMIZE ACCESS).

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MAINTENANCE OF TRAFFIC AND EROSION CONTROL ITEMS

	CONSTRUCTION SIGNS (SHAPE PER MUTCD)		INLET PROTECTION, CURB
	TRAFFIC FLOW DIRECTION		CONSTRUCTION FENCING, 48" ORANGE ON TEMPORARY POSTS
	FLASHING ARROW SIGN		WORKZONE



RECOMMENDED FOR APPROVAL: *B. Ridgway* 7-2-2020 DATE
 DESIGN ENGINEER
 DESIGNED: BR DRAWN: SCS
 CHECKED: MT CHECKED: BR

CITY OF BLOOMINGTON
 PLANNING AND TRANSPORTATION
 MAINTENANCE OF TRAFFIC AND ACCESS REQUIREMENTS
 ALLEY D-1

HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	27 of 29 PROJECT

Description	Unit	QUANTITIES BY ALLEY SECTION (JUNCTIONS INCLUDED WITH A-1 and C-1)								TOTALS
		ALLEY A-1	ALLEY A-2	ALLEY B-1	ALLEY B-2	ALLEY C-1	ALLEY C-2	ALLEY D-1	ALLEY D-2	
Construction Engineering	LSUM	0.125	0.125	0.125	0.125	0.125	0.125	0.125	0.125	1
Mobilization & Demobilization	LSUM	0.125	0.125	0.125	0.125	0.125	0.125	0.125	0.125	1
Clearing of Right of Way (Includes all Pavement Removal, Sidewalk, Ramps and Curb Removals, and Common Excavation including existing pavement subbases)	LSUM	0.125	0.125	0.125	0.125	0.125	0.125	0.125	0.125	1
Undistributed Concrete, Class A, for Utility Protection	CYD	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	20
Undistributed Common Excavation for Undercuts	CYD	5	5	5	5	5	5	5	5	40
Compacted Aggregate Base, No. 53s	TON	61	56	61	59	57	54	52	23	424
PCCP for Approaches, 9"	SYD	57	35	53	53	48	40	41	10	337
PCCP, 8"	SYD	158	165	160	169	161	180	139	93	1225
Reinforcing Bars, Epoxy Coated	LBS	3168	2926	2926	2926	3212	3146	2904	1782	22990
Ramp, Concrete	SYD	13	16	23	16	19	7	16	0	110
Curb, Concrete	LFT	43	68	65	47	39	20	52	0	334
Sidewalk, Concrete, 4"	SYD	16	17	6	0	0	0	17	0	56
Bollard, Reset	EA	6	8	1	5	2	2	7	1	32
Pipe, PVC, Downspout Extensions with Elbow	EA	8	4	5	4	2	0	0	0	23
Casting, Adjust to Grade, Manhole	EA	1	1	3	0	2	0	0	0	7
Casting, Valve, Meters, Adjust to Grade	EA	3	5	4	3	4	2	6	3	30
Temporary Ramps, Steps and Walkways	LSUM	0.125	0.125	0.125	0.125	0.125	0.125	0.125	0.125	1
Maintenance of Traffic	LSUM	0.125	0.125	0.125	0.125	0.125	0.125	0.125	0.125	1
Testing, Concrete	LSUM	0.125	0.125	0.125	0.125	0.125	0.125	0.125	0.125	1
ALTERNATE 1 (ASPHALT ALLEY PAVEMENT)										
Deduct - PCCP, 8" (must match Base Bid Amount)	SYD	-158	-165	-160	-169	-161	-180	-139	-93	-1225
Deduct - Reinforcing Bars, Epoxy Coated (Must match Base Bid Amount)	LBS	-3168	-2926	-2926	-2926	-3212	-3146	-2904	-1782	-22990
Add - HMA Surface, B	TON	13	14	13	14	13	15	11	8	101
Add - HMA Base, B	TON	56	59	57	60	58	64	50	33	438

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RECOMMENDED FOR APPROVAL	<i>B. Ridgway</i>	7-2-2020
DESIGNED:	BR	DRAWN:
CHECKED:	MT	CHECKED:

CITY OF BLOOMINGTON PLANNING AND TRANSPORTATION	
MISCELLANEOUS SUMMARY OF QUANTITIES TABLE	

HORIZONTAL SCALE	N/A
VERTICAL SCALE	DESIGNATION
SURVEY BOOK	SHEETS
CONTRACT	29 of 29 PROJECT