

Petition: ZO-10-21

Amendment Number: 1

Sponsor: Brad Wisler

UDO Section/Page: Zoning Map

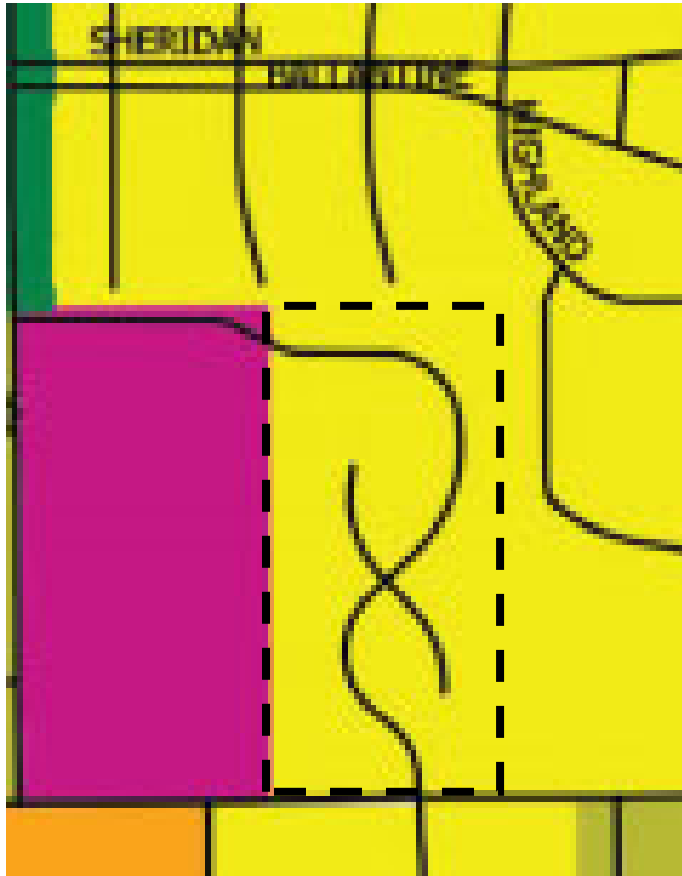
Proposal: Change R4 to R3 on W 8th Street; Change R2 to RM at The Boulders; Change R2 to PUD at Habitat.

Purpose: This set of three rezone requests are compiled by staff. The first is proposed after consultation with the property owner. The current zoning is PUD and the uses allowed in the PUD include duplex and attached townhomes, so the R4 zoning district was selected. However, the petitioner no longer seeks to fulfill the old PUD and would like to match the surrounding R3 district. The second change is to correct an area that is developed as multifamily. The third change is to correct the map to match a rezone that added 7 acres of R2 land to the Thomson PUD in 2019.

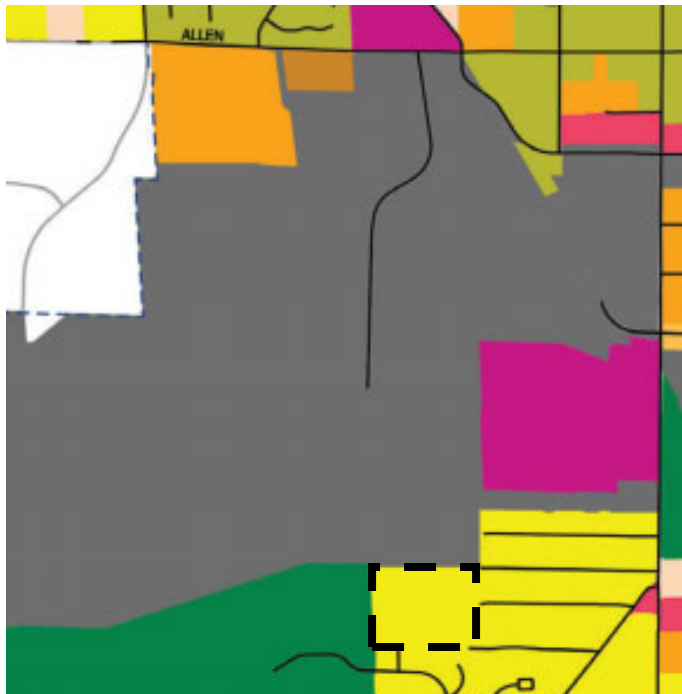
8th Street



Boulders



Habitat



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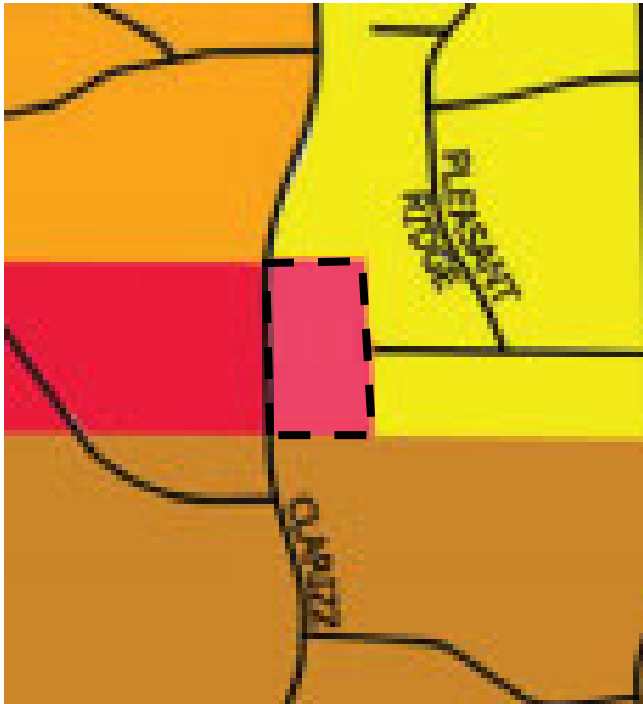
Amendment Number: 2

Sponsor: Brad Wisler

UDO Section/Page: Zoning Map

Proposal: Change Mixed-Use Neighborhood (MN) to Mixed-Use Healthcare (MH).

Purpose: This site is part of a previous PUD. The PUD had very specific use regulations for the portion east of Clarizz and the focus was on the medical clinic use. Rezoning to MH keeps the initial limited intent of the PUD intact.



Petition: ZO-10-21

Amendment Number: 3

Sponsor: Susan Sandberg

UDO Section/Page: Zoning Map

Proposal: Remove R4.

Purpose: To allow for a time-limited pause on the most controversial aspects of the City’s UDO proposal—the plexes and mapping of the R4 zoning districts—in order to collect quality data, consider a variety of alternatives, and ensure meaningful community participation. Reference “Hit the Pause” proposal.

Petition: ZO-10-21

Amendment Number: 4

Sponsor: Susan Sandberg

UDO Section/Page: Zoning Map

Proposal: Remove a portion of R4 in Elm Heights

Purpose: Please consider the removal of the R4 zoning district that is proposed along Jordan Avenue between Atwater Avenue and the north alley between Hunter Avenue & 2nd Street and between Swain Avenue and the midblock alley between Highland Avenue & Ballantine Road.

The proposed R4 district contains a total of thirty-four (34) lots, all with existing, single-family homes. Most of the proposed R4 district falls within the Elm Heights Historic District with only four (4) properties not within the historic boundary. The proposed R4 district contains two (2) notable houses, twenty-five (25) contributing houses and three (3) non-contributing houses.

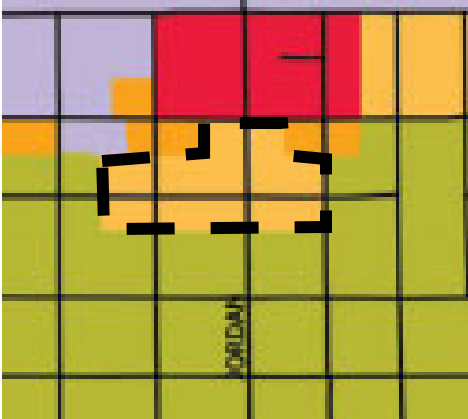
The area along Jordan Street functions as a gateway to the Elm Heights Historic District. As one of the main routes from Indiana University which is situated to the north, Jordan Street runs south through a commercial area and then crosses Third Street and Atwater Avenue, which clearly demarcate the entry into the neighborhood. Since there is a significant change in grade at the Jordan Avenue intersection with Atwater Avenue, prominent retaining walls to each side of Jordan Avenue further accentuate the sense of entry.

The intense rental development pressures due to the proximity to Indiana University have already impacted this area of the neighborhood, creating a precarious imbalance between rental and owner-occupied property. Ownership information gleaned from the Monroe County GIS website shows that approximately a third of the properties within the proposed R4 district are currently owner-occupied. A lack of parking infrastructure in the area is a considerable issue. Even with some on-street parking and alley access, there is a severe shortage of on-street parking, particularly during the weekdays when people park here to walk to campus. In addition, cars are frequently parked haphazardly in the alleys to meet the parking needs of the existing rental properties.

The demarcation of this R4 district contradicts guidance in the Comprehensive Plan which states that higher density should be located along neighborhood edges and along transit routes, and then only if appropriate. While the transportation corridor and south edge of the neighborhood is clearly delineated by Atwater Avenue, the R4 district as proposed is fully embedded within the fabric of the Elm Heights neighborhood.

A significant increase in the density of this area by allowing the conversion of existing houses into duplexes, triplexes and quadplexes could be further destabilizing and risk the remaining component of home ownership. Rezoning this area to R4 puts the maintenance and care of these historic homes, which constitute an important gateway to the Elm Heights Historic District, in jeopardy. Further study is needed to understand the implication of such a zoning change to make sure that it does not put at risk the character and livability of this portion of the neighborhood.

Like all historic districts in the city, the Elm Heights Historic District was created to preserve a particular aspect of Bloomington's architectural fabric that if not thoughtfully maintained will be lost.



Petition: ZO-10-21

Amendment Number: 5

Sponsor: Susan Sandberg

UDO Section/Page: Zoning Map

Proposal: Remove a portion of R4 on South Washington.

Purpose: Please consider deleting the zoning change to R4 zoning of the area along S. Washington street, between Second to Allen, to R3. Move the division between R3 and R4 to the alley between Walnut and Washington, where it has been for decades. Zones typically divide along the length of alleys and at natural features not down the middle of a street. Keeping each block face in the same zone fosters a higher degree of streetscape integrity by allowing each block face to relate to the other side of the street. This will protect the sense of harmony, scale, rhythm, and bulk along this established neighborhood street.

This location along Washington is not suitable for R4 zoning as it is not a transit route and is located within the neighborhood rather than at its edge. The Comprehensive Plan unambiguously guides higher density to edges, along transit routes, and then only if appropriate. It specifies, “Existing core neighborhoods should not be the focus of the city’s increasing density”.

The area consists of 58 fully developed lots, this includes 55 single-family houses, 2 apartment structures and 1 church. Nearly all the houses are listed on the SHAARD as “contributing” or greater and were built in the early part of the last century. Washington is densely populated; the street has parking on one side which is almost always full. Adding more street parking would be a problem.

The American Planning Association’s “Housing Policy Guide”, states, “Local jurisdictions should ensure that comprehensive housing plan policy recommendations support the preservation of existing housing stock as a key component of those plans. Incentivizing and/or mandating the preservation of existing affordable housing is also often the most sustainable way a municipality can ensure housing provision.” And Bloomington’s Comprehensive Plan does include this guidance, “Through re-use rather than replacement of historic structures, historic preservation can be a way to both preserve the physical heritage of the community and enhance affordability and sustainability. It is essential to consider the benefits of historic preservation alongside those of affordability, compatibility, and innovation.”

It is inappropriate to encourage new by-right and higher-density development along south Washington because it would require demolition of the most complete intact fabric of historic houses in the Bryan Park neighborhood. The smaller houses are a mixture of owner-occupied and rental. Many of the larger houses have already been transformed into multifamily duplexes, triplex, fourplexes and tiny efficiency apartments which are in an affordable range. The danger with changing this area to R4 zoning is that it incentivizes demolition and replacement for higher density, more upscale and expensive housing.

Washington is one of the few streets within the neighborhood that has complete sidewalks, some are restored brick from the early part of the last century. South Washington is walkable and has a consistent feel with small lots, narrow front yards, prominent front porches, and a gracious tree canopy. Several houses have been rentals since the 1970s, however there is a trend toward renovation. R3 zoning would encourage stabilization and boost the city’s goal to support and promote affordable home ownership as another method of affordability that can help to raise and keep residents from poverty while they build equity and security in the local community.

South Washington Street Delete Proposed R4



Petition: ZO-10-21

Amendment Number: 6

Sponsor: Susan Sandberg

UDO Section/Page: Zoning Map

Proposal: Remove a portion of R4 on E. Hillside

Purpose: Please remove the R4 zone along E. Hillside, between the alley (at S. Palmer) to the alley (at S. Walnut), and from E. Hillside to E. Wilson. The proposed change to R4 encompasses 59 fully developed single-family lots, developed between the 1920s to 1940s, and lots on Palmer were developed in the 1990s. However, only 10 of the 59 lots are on the edge of the neighborhood on Hillside. The other 49 are located inside the neighborhood. The Comprehensive Plan guides higher density to the edges of neighborhoods only, and it cautions that it should be added “only if appropriate”.

This area is not appropriate for by right R4 development because it presents enormous infrastructure challenges that requires a comprehensive improvement plan for the overall area to insure a successful outcome. Any new edge development along Hillside deserves a full subarea study and public infrastructure investment. Given the successful urban node at Henderson and Hillside, changes along this busy corridor should be linked to this development.

The prevailing development pattern in this area is extremely dense at about 0.12 acres (5,227 sq. ft.) per lot and most of the houses are very modest in size. The area includes a mixture of owner occupied and rental. Palmer contains most of the rental stock. Nearly all the streets (Wilson, Grant, and Palmer) were built sub standardly, and lack basics, such as sidewalk systems, storm sewers, curbs, gutters and are very narrow with deep ruts. Hillside is a hostile street. It is very busy with fast traffic, is narrow and lacks a tree plot between the street and sidewalk. The lots run east to west, parallel with Hillside, except 2 lots that were subdivided to create 4 half lots. Therefore, only 4 houses face Hillside. Side setbacks are narrow which places the south wall only a few feet from the sidewalk and heavy traffic. Because Washington, Lincoln, and Palmer dead end into Hillside, and Grant dead ends at Southern, this area lacks connectivity and is often congested with parked cars.

Creating a pedestrian friendly edge to the neighborhood along Hillside will be challenging, but if successfully completed, will be a true asset for the neighborhood and city. The South Dunn PUD at Henderson and Hillside demonstrates how wonderfully a street can be remade. By right development would only exacerbate the problems along Hillside. Redevelopment in this area needs to be done carefully and sensitively rather than through a patchwork of rebuilding that by-right R4 zone would generate.

Regardless of what happens along Hillside, the houses within the neighborhood are a valuable resource for natural occurring affordable housing (NOAH), for rent as well as offer an opportunity for homeownership and must be protected. The lots are small, the houses are modest, but well-built and some have distinctive character. Small houses on small parcels of land will always be less expensive. R4 zoning incentivizes rental opportunities and must be avoided. The Comprehensive Plan advises: “we must beware of gentrification which removes older, affordable housing options and replaces them with new, high priced housing options. And the American Planners Association’s “Policy Housing Guide” states: that preservation of the existing affordable housing stock is critical for protecting older owner-occupied and renter-occupied

housing. These types of housing units are often the dominant building fabric and largest source of naturally occurring affordable housing for many inner-ring neighborhoods.”

E. Hillside Drive Delete Proposed R4

